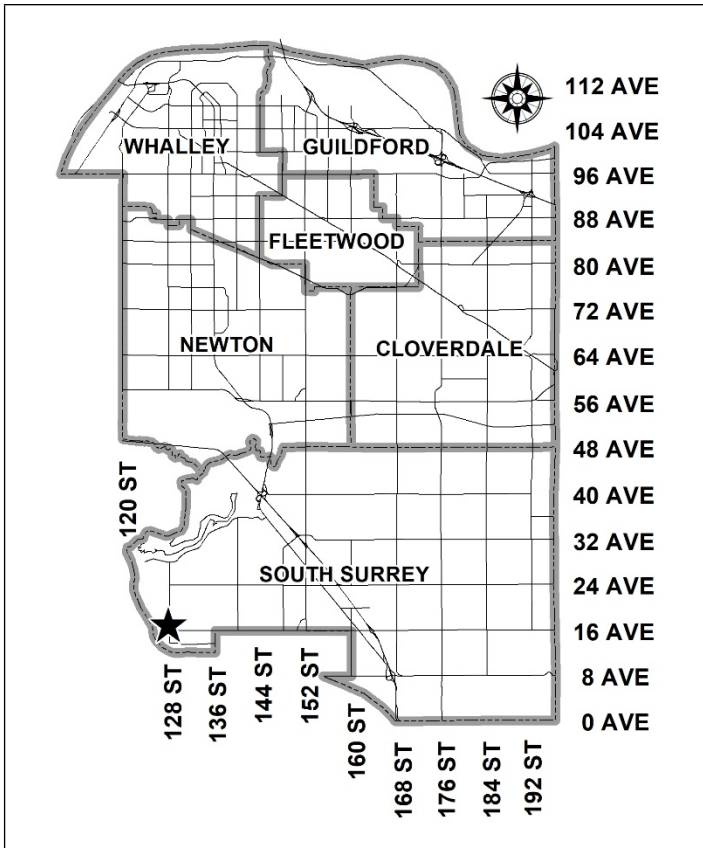


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0096-00

Planning Report Date: March 11, 2024



PROPOSAL:

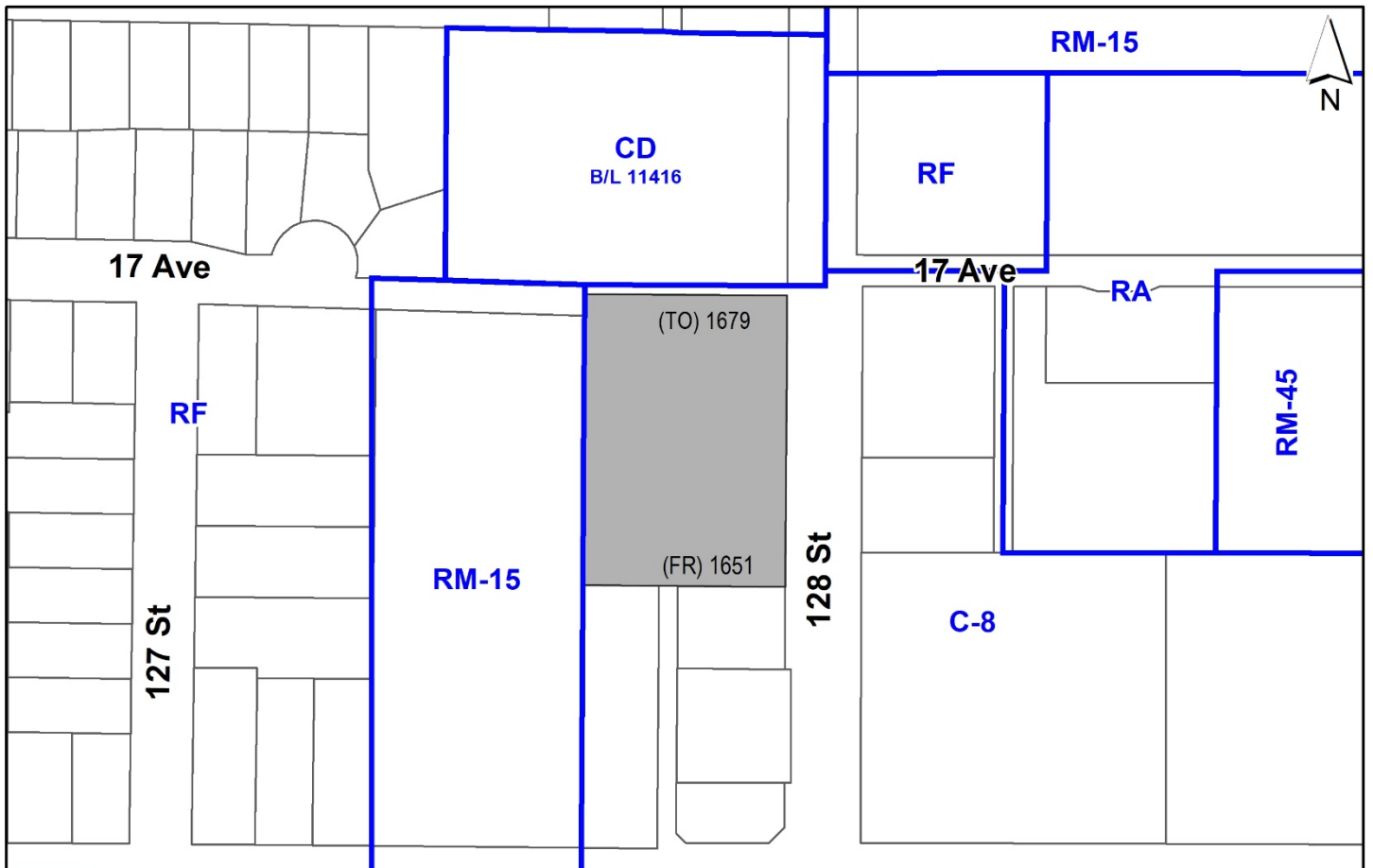
- **OCP Amendment** to allow an FAR of 1.7 within the Commercial land use designation
- **Rezoning** from C-8 to CD (based on C-8 and RM-70)
- **Development Permit**

to permit the development of four-storey mixed-use building, with 2,495 square metres of commercial area on the ground floor, and 60 residential units above.

LOCATION: 1651 to 1679 128 Street

ZONING: C-8

OCP DESIGNATION: Commercial



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) to allow for a Floor Area Ratio (FAR) of 1.7 within the Commercial land use designation.

RATIONALE OF RECOMMENDATION

- The proposal partially complies with the Commercial designation in the Official Community Plan (OCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Ocean Park. The OCP requires that density (FAR) be considered on a net site basis. The site is less than 1.5 FAR when considered on gross density basis which is the maximum permitted for a Commercial designated site in this area, but given the required lane and walkway dedications this increases to 1.7 FAR when considered on a net site basis, thus necessitating the need for an OCP amendment.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks achieve a more urban, pedestrian streetscape in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed sign is high quality and is of an appropriate size and scale for the development.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP, "Table 7a: Land Use Designation Exceptions" to allow for an FAR of 1.7 within the Commercial land use designation and a date be set for Public Hearing.

"Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
Bylaw # xxxxx	Commercial	1651 128 Street Parcel 1, Section 18 Township 1 NWD Reference Plan 57949	Density permitted up to 1.7 (net calculation).

2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the site from "Community Commercial Zone (C-8)" to "Comprehensive Development Zone (CD)" based on "Community Commercial Zone (C-8)" and "Multiple Residential 70 Zone (RM-70)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7923-0096-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;

- (f) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
- (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
- (h) submission of an acoustical report for the units adjacent to 128 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
- (i) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Ocean Park Mall: 1-storey commercial plaza	Commercial	C-8
North (Across walkway):	4-storey apartment building	Multiple Residential	CD (By-law No. 11416)
East (Across 128 Street):	2-storey commercial plaza and 1-storey bank	Commercial	C-8
South:	1 to 2-storey commercial buildings	Commercial	C-8
West:	Townhouses	Multiple Residential	RM-15

Context & Background

- The subject site consists of one lot with a gross site area of 6,075.7 square metres, currently zoned "Community Commercial Zone (C-8)", and designated Commercial in the Official Community Plan (OCP), and Commercial in the Ocean Park Land Use Plan.
- The site is currently occupied by a one-storey commercial plaza with surface parking, which accommodates approximately 15 small commercial units.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing four-storey mixed-use building, with ground floor commercial, and residential apartments above. This complies with the Commercial designation in the OCP and in the Ocean Park LAP. The OCP also allows densities up to 1.5 FAR, and an OCP amendment is proposed to increase the density from 1.5 to 1.7 FAR.
- The proposed Comprehensive Development (CD) Zone will be based on the "Community Commercial (C-8) Zone" and the "Multiple Residential 70 (RM-70) Zone".
- The proposed development will have 2,495 square metres of commercial floor area on the ground floor, and 60 residential units above, with a Floor Area Ratio of 1.7.
- The commercial area is proposed with one large grocery store, and 3 separate smaller CRUs along the southeast portion of the building. There are 20 at grade commercial parking spots proposed off the lane, as well as a loading area.
- The residential lobby is proposed at the southeast corner of the building, with a total of 60 units in 3 storeys. 10 units are proposed as 1-bedroom units and 40 units are 2-bedroom units, and 10 units are 3-bedroom units (some are 2-bedroom and den). All residential parking is proposed to be located in the underground parking structure.
- The proposal includes 4 commercial units (CRU), with one large one intended for a small grocery store, on the north portion of the building, and 3 smaller CRUs along 128 Street, on the south portion of the building.
- The proposal includes a large outdoor courtyard above the commercial space, facing west.
- The proposal includes a 6-metre wide lane dedication along the southern portion of the site, and an 8-metre wide walkway dedication along the northern portion of the site.

	Proposed
Lot Area	
Gross Site Area:	6,075.7 square metres
Road Dedication:	762.6 square metres
Net Site Area:	5,313. square metres
Number of Lots:	1
Building Height:	21.22 metres
Unit Density:	113 units per hectare (46 units per acre)
Floor Area Ratio (FAR):	1.7
Floor Area	
Residential:	6,834.3 square metres
Commercial:	2,495 square metres
Total:	9,329.3 square metres
Residential Units:	
1-Bedroom:	10
2-Bedroom:	40
3-Bedroom:	10

	Proposed
Total:	60 units

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 8 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

- 5 Elementary students at Ocean Cliff Elementary School
- 2 Secondary students at Elgin Park Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2026.

Parks, Recreation & Culture: Fun Fun Park is the closest active park with amenities, including a playground, open space, and bike park, and is 300 metres walking distance from the development. Kwomais Point Park is the closest park with natural area and is 430 metres walking distance from the development.

Surrey Fire Department: No concerns, but some minor changes required.

Advisory Design Panel (ADP) The proposal was considered at the ADP meeting on October 12, 2023 and was conditionally supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report.

Any additional revisions will be completed prior to Council’s consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

Transportation Considerations

Road Network and Infrastructure

- The applicant will be providing the following road improvements to service the subject proposal:

- Construction of a new sidewalk on 128 Street;
- Dedication along the north side of the subject site for the existing walkway; and
- Dedication and construction of a lane connection along the south side of the subject site to 128 Street.

Traffic Impacts

- The applicant submitted a transportation impact analysis (TIA) to evaluate the site-generated traffic impacts and inform any additional required infrastructure improvements.
- According to the TIA, the subject proposal is anticipated to generate approximately three vehicles per minute in the peak hour, based on industry standard rates.
- The results of the TIA indicated that all of the nearby intersections were projected to operate at acceptable levels for all of the standard horizon years and no additional improvements were identified beyond the standard road frontage improvements.

Access and Parking

- The proposal is accessed off the lane west of 128 Street and includes an outlet from the lane onto 128 Street along the southern portion of the site.
- A total of 220 parking spaces are proposed to be provided on site, exceeding the Zoning Bylaw requirements of 170 parking spaces, based on the subject proposal.

Transit and Cycling

- The site is served by bus routes #361, 352 and 350 on 128 Street, as well as bus route #360 on 16 Avenue, 90 metres to the south.
- The site is well served by a bike route on 128 Street, and an east-west neighbourhood bike route from the site to the east, towards the Semiahmoo Town Centre.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
 - The building boasts a state-of-the-art thermal envelope that minimizes heat loss and heat gain. Triple-glazed windows and highly insulated walls not only maintain a consistent indoor temperature but also reduce reliance on mechanical heating and cooling systems.
 - High-efficiency HVAC systems, including integrated heat recovery ventilation with high efficiency fan coils, provide optimal indoor air quality and temperature control, all while consuming minimal energy.
 - The building's podium, amenity pockets and rooftop are adorned with lush green planting, enhancing insulation, reducing the urban heat island effect, and providing a habitat for native flora and fauna. Extensive rooftop planting and 547 cubic-metres of pervious soil volume

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The site complies with the General Urban designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The site is designated Commercial in the Official Community Plan (OCP).
- The proposal partially complies with the Commercial designation in the OCP, which permits residential uses on the upper floors of commercially designated sites provided the ground floor of the development is fully commercial in nature.
- The OCP requires that density (FAR) be considered on a net site basis. The site is less than 1.5 FAR when considered on gross density basis which is the maximum permitted for a Commercial designated site in this area, but given the required lane and walkway dedications this increases to 1.7 FAR when considered on a net site basis, thus necessitating the need for an OCP amendment.
- The proposed building form and scale are appropriate for this area in Ocean Park as it faces a major arterial road. The provision of Commercial space on the ground supports the Commercial designation, whereas the provision of apartment units on the upper floors will help support the viability of the commercial units, as well as providing additional 60 units for housing opportunities.

Amendment Rationale

- The proposal includes an amendment to the OCP to increase the maximum FAR from 1.5 to 1.7.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per square metre flat rate for the floor area above that maximum prescribed the Official Community Plan in order to satisfy the proposed amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.
- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- A1.1 Support compact and efficient land development that is consistent with the Metro Vancouver Regional Growth Strategy (RGS) (2011).

(The proposed development complies with the RGS designation and is a compact and efficient development.)

- A1.3 Accommodate urban land development according to the following order of growth management priorities:
 - a) City Centre and Town Centre locations well-served by local services, infrastructure, and transit; and
 - b) Vacant or under-development commercial, mixed-use and multi-family locations in existing urban areas, particularly along transit corridors and areas well-served by existing community amenities and infrastructure.

(The proposed development is located on an under-developed site in Ocean Park, that is designated Commercial in the OCP, and is well served by bus and bike routes.)

- A4.2 Encourage the full and efficient build-out of existing planned urban areas in order to:
 - Balance residential and business development;
 - provide housing options; and
 - provide amenities for residents.

(The proposed development will provide commercial amenities and apartment living options in the Ocean Park area and is in an existing commercial node, at 128 Street and 16 Avenue.)

- B2.14 Encourage underground parking and provide landscaped open spaces and pedestrian environments in place of surface parking.

(All the required residential and visitor parking, and a portion of the commercial parking is proposed in the underground parking structure.)

- B6.2 Integrate principles of urban design into the planning of neighbourhoods and centres and as part of development review processes, including:
 - Ensuring compatibility of scale, massing and architecture with adjacent sites; and
 - Providing diversity, choice, and variety within a coherent, consistent physical environment.

(The proposed development fits well within the neighbourhood, and is adjacent to areas designated Commercial and Multiple Residential.)

- B6.4 Ensure new development responds to the existing character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.

(The proposed development is sensitive to adjacent developments, like the residential development to the west, and commercial developments to the south and east, as well as providing high quality architectural design.)

- B6.6 Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces by:
 - Locating buildings so that they directly face public streets;
 - Placing street-facing retail uses on the ground floor; and
 - Providing doors, windows, and "active" building faces along public streets.

(The proposed development has street-facing retail units on 128 Street.)

- B6.18 Where there is underground parking, ensure it is safe and accessible.

(The proposed development has underground parking that is safe and accessible.)

- C1.2 Encourage the development of more compact and efficient land uses and servicing systems, emphasizing infill and intensification in order to use existing infrastructure systems efficiently and to minimize the costs of new utility infrastructure.

(The proposed development is of a sufficient density to utilize existing infrastructure systems efficiently.)

- D4.7 Support building designs that allow for mixed use, combining work and living spaces to reduce the need to travel for employment purposes.

(The mixed-use proposal incorporates 3 small commercial units, one large commercial unit and 60 residential units.)

- E1.6 Support the infill and redevelopment on under-utilized properties within Commercial, Mixed Employment and Industrial land designations.

(The proposal would develop an under-developed site in Ocean Park with commercial and residential uses.)

CD By-law

- The applicant proposes to rezone the subject site from "Community Commercial Zone (C-8)" to "Comprehensive Development Zone (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed mixed-use development on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Community Commercial Zone (C-8)" and the "Multiple Residential 70 Zone (RM-70)".

- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the C-8 Zone, RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	C-8 Zone (Part 36)	RM-70 Zone (Part 24)	Proposed CD Zone
Unit Density:	n/a	n/a	n/a
Floor Area Ratio:	0.80	1.50	1.7
Lot Coverage:	50%	33%	76%
Yards and Setbacks	7.5 m	7.5 m	3.0 m North 4.0 m East 4.6 m South 4.9 m West
Principal Building Height:	12 m	50 m	21.5 m

<p>Permitted Uses:</p>	<ol style="list-style-type: none"> 1. Retail stores excluding the following: <ol style="list-style-type: none"> (a) adult entertainment stores; and (b) secondhand stores and pawnshops. 2. Personal service uses excluding body rub parlours. 3. General service uses excluding funeral parlours and drive-through banks. 4. Beverage container return centres provided that: <ol style="list-style-type: none"> (a) the use is confined to an enclosed building or a part of an enclosed building; and (b) the beverage container return centre does not exceed a gross floor area of 418 sq. metres (4,500 sq. ft.). 5. Eating establishments excluding drive-through restaurants. 6. Neighbourhood pubs. 7. Liquor store. 8. Office uses excluding the following: <ol style="list-style-type: none"> i. social escort services ii. methadone clinics iii. marijuana dispensaries 9. Parking facilities. 10. Automotive service uses of 	<p>Multi-unit residential buildings and ground-oriented multiple unit residential buildings</p>	<ol style="list-style-type: none"> 1. Multi-unit residential buildings, no residential uses on the ground floor. 2. Retail stores excluding the following: <ol style="list-style-type: none"> (a) adult entertainment stores; and (b) pawnshops. 3. Personal service uses excluding body rub parlours. 4. General service uses excluding funeral parlours and drive-through banks. 5. Eating establishments excluding drive-through restaurants. 6. Neighbourhood pubs. 7. Liquor store. 8. Office uses excluding the following: <ol style="list-style-type: none"> i. social escort services ii. methadone clinics iii. marijuana dispensaries 9. Parking facilities. 10. Indoor recreational facilities. 11. Entertainment uses excluding arcades and adult entertainment stores. 12. Community services. 13. Child care centres. 14. Cultural Uses
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	<p>vehicles less than 5,000 kilograms [11,023 lbs] G.V.W., provided that such use is associated with a use permitted under Section B.1 of this Zone.</p> <p>11. Indoor recreational facilities.</p> <p>12. Entertainment uses excluding arcades and adult entertainment stores.</p> <p>13. Assembly halls.</p> <p>14. Community services.</p> <p>15. Child care centres.</p> <p>16. One dwelling unit per lot provided that the dwelling unit is: (a) Contained within the principal building; and (b) Occupied by the owner or the owner's employee, for the protection of the businesses permitted on the lot.</p> <p>17. Cultural Uses</p>		
Amenity Space			
Indoor Amenity:	n/a	3 m ² per unit (180 m ² for 60 units)	The proposed 252 m ² exceeds the Zoning By-law requirement.
Outdoor Amenity:	n/a	3 m ² per unit (180 m ² for 60 units)	The proposed 1,065 m ² exceeds the Zoning By-law requirement.
Parking (Part 5)		Required	Proposed
Number of Stalls			
Commercial:		76	110
Residential:		87	98
Residential Visitor:		12	12
Total:		175	220
Bicycle Spaces			
Residential Secure Parking:		72	72

Residential Visitor:	6	6
Commercial Visitor:	8	8

- In terms of land use, ground-oriented residential units have been removed from permitted uses, so the proposal complies with the Commercial designation in the OCP. For the commercial uses, all uses permitted in the C-8 Zone are permitted, with the addition of secondhand store, as there is currently one on the site, and the removal of uses not compatible with the building form and provided parking, such as:
 - Beverage container return centres;
 - Automotive service uses; and
 - Assembly halls.
- Regarding density, the C-8 Zone allows up to 0.80 FAR, and the RM-70 Zone allows up to 1.50 FAR. The application proposes an FAR of 1.7, which provides a good interface with adjacent uses, and good quality outdoor amenity spaces.
- The proposed lot coverage at 76% while higher than the 33% that is permitted under the RM-70 Zone is appropriate for a 4-storey building. The lot coverage permitted under the RM-70 is intended for taller built forms with a smaller building footprint.
- The C-8 Zone allows a maximum 12 metre building height, whereas the RM-70 Zone allows a maximum building height of 50 metres. To ensure the proposal is sensitive to the local context and adjacent buildings, the building height will be a maximum 21.5 metres.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update was approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit application. The current rate is \$4,272.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation.
- The applicant will be required to provide a contribution payable at the per square metre rate applicable at the time of Rezoning Final Adoption. The current fee for South Surrey \$344.89 per square metre for apartments.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects. The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit application
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on June 30, 2023, and the Development Proposal Signs were installed on September 19, 2023. Staff received 18 responses from neighbouring (*staff comments in italics*):
 - Increase in Traffic
The proposal is below the typical threshold to require a Traffic Impact Assessment (TIA), but given neighbourhood concerns, the applicant has provided a TIA. The TIA has demonstrated the current road network can absorb the proposed traffic without additional improvements or infrastructure required or triggered particularly by this application.
 - Retaining wall to the west and site excavation
Residents of the site to the west have expressed concerns regarding the stability of the retaining wall between the two sites, as well as tree retention of the trees on the wall. The applicant has provided additional reports from an arborist and a geotechnical engineer, confirming the viability of retaining the wall and the trees, and that the wall would not be impacted by the excavation for the parkade on the subject site.
 - Increase in density and neighbourhood character
The property north of the subject site is a four-storey apartment building, and the site to west is designated Multiple-Residential, which allows for a density of 1.5 FAR. The subject proposal is developing at 1.5 FAR on gross density, but the walkway and lane dedications have increased the net FAR to 1.7. There are existing apartments in the general area.
 - Disturbance during construction
Surrey is a rapidly developing municipality, and construction disturbance is a temporary inconvenience to allow for needed housing and commercial uses to be provided.

- No need for additional commercial spaces in the neighbourhood
The site is currently a commercial site, and the proposal complies with the sites Commercial OCP designation. The entire ground floor is proposed as commercial, which is an increase in commercial floor area from the current configuration, but the majority of the floor area on the site is proposed as residential.

Public Information Meeting

A Public Information Meeting was held on September 11, 2023, from 6:30 pm to 8:30 pm at the Ocean Park Hall. Correspondence was sent to 520 households, and attendance was between 77 people and 87 people attended (77 people signed in, and there were approximately 10 people who opted not to sign in). From those in attendance, 24 people filled out comment sheets.

From the 24 comment sheets, 13 were in support, highlighting the need for more housing and housing options in Ocean Park, 4 were neutral and 7 people were opposed to the proposal. From the concerns, they match what was received during the pre-notification, with concerns over increase in traffic, disturbance from construction, and increase in density.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant has worked with staff to enhance interface concerns, particularly to the west (residential) and along the northern portion of the site adjacent the pedestrian walkway, and to provide quality amenity spaces.
- Minor outstanding items are to further enhance the weather protection through landscape interventions and to coordinate servicing infrastructure with the public realm.
- The applicant is proposing a four storey mixed-use development inclusive of 4 commercial retail units on the ground floor, and three floors of residential containing 60 residential units.
- The building is designed to maximize active frontages along both 128 Street and the east-west connector walkway. Multiple retail entries create a finer grain and multiple points of access along the 128 Street frontage. The main retail access is set back from the sidewalk, providing a break in the building massing and providing a pocket of outdoor space mid-way along the building length. The residential lobby is located on the southeast corner, and set back from the sidewalk, providing ample outdoor space in front of the lobby, highlighting the lobby entrance, and providing good visibility for vehicles entering and leaving the lane.

- Road dedication is provided along the southern portion of the site, providing an east-west lane that connects with the exiting north-south lane to 128 Street. Surface parking, loading for retail, and access to the parkade is provided on the southwestern portion of the site off of the new lane, in a location that minimizes potential conflicts between pedestrians and vehicles.

Landscaping

- A row of mature trees is preserved along the western setback and the northern edge of the site, preserving existing greenery, providing a substantial buffer, and a green outlook for new residents. New planting is provided along the lane and boulevard to further enhance the pedestrian realm. There is also extensive landscaping above the commercial units, for the outdoor amenity space.
- The new trees on the site will consist of a variety of trees including Pacific Fire Vine Maple, Incense Cedar, Flowering Dogwood, Yellowbird Magnolia, Persian Ironwood and Japanese Stewardia and a variety of grass and shrubs.

Indoor Amenity

- The Zoning By-law requires that 207 square metres of both indoor and outdoor amenity space be provided for the residential units in both proposed buildings, based on the requirement of 3 square metres per dwelling unit.
- The proposed 252 square metres of indoor amenity exceeds the minimum required under the Zoning By-law. The indoor amenity space is proposed on the second floor, and it is programmed as a gym and a lounge/party room, both with direct access to the outdoor amenity space.

Outdoor Amenity

- The proposed 1,065 square metres of outdoor amenity exceeds the minimum required under the Zoning By-law.
- There is a large outdoor amenity space proposed on the second floor, with seating areas, and a sauna/steam room. There are also two smaller outdoor amenity spaces on the fourth floor, with additional seating areas.

Outstanding Items

- The applicant is required to resolve all outstanding urban design and landscaping issues and Advisory Design Panel comments, as per Appendix VI.
- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include enhancing the weather protection through landscape interventions and coordinating servicing infrastructure with the public realm.

- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Cody Laschowski, ISA Certified Arborist of Diamond Head prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Quercus rubra	5	0	5
Populus nigra	2	0	2
Acer macrophyllum	1	0	1
Liriodendron tulipifera	7	1	6
Carpinus betulus	1	0	1
Cladrastis ketukea	1	0	1
Prunus x yedoensis	1	0	1
Ulmus americana	1	0	1
Coniferous Trees			
Chamaecyparis lawsoniana	7	2	5
Tsuga heterophylla	6	0	6
Thuja plicata	2	0	2
Total (excluding Alder and Cottonwood Trees)	34	3	31
Total Replacement Trees Proposed (excluding Boulevard Street Trees)			
		45	
Total Retained and Replacement Trees Proposed			
		76	
Estimated Contribution to the Green City Program			
		n/a	

- The Arborist Assessment states that there are a total of 34 mature trees on the site, with no Alder and Cottonwood trees. The applicant proposes to retain 30 trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a proposed total of 6 replacement trees on the site. The applicant is proposing 45 replacement trees, greatly exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Pacific Fire Vine Maple, Incense Cedar, Flowering Dogwood, Yellowbird Magnolia, Persian Ironwood and Japanese Stewardia and a variety of grass and shrubs.

- In summary, a total of 76 trees are proposed to be retained or replaced on the site.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix V.	OCP Amendment Map
Appendix VI.	ADP Comments and Response

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

LFM/ar

CITY OF SURREY

1651-1679 128TH STREET, SURREY, BC

MIXED-USE APARTMENT - CD ZONE

DEVELOPMENT PERMIT APPLICATION

28 FEBRUARY, 2023.

APPLICATION NO.

7923-0096-00

PROJECT INFORMATION

CLIENT:
 CRESSEY DEVELOPMENT
 CONTACT NAME: NATHAN GURVICH
 200-555 WEST 8TH AVE
 VANCOUVER, BC, V5T 1G6
 EMAIL: NATHANGURVICH@CRESSEY.COM
 PHONE: 604.649.3624

ARCHITECT:
 YAMAMOTO ARCHITECTURE INC.
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 EMAIL: TAIZO@YAMAMOTOARCHITECTURE.COM
 PHONE: 604.731.1127

LANDSCAPE ARCHITECT:
 CONNECT LANDSCAPE ARCHITECTURE
 CONTACT NAME: KYLE LABOW
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 VANCOUVER BC V6H 2V1
 EMAIL: KYLE@CONNECTLA.CA
 PHONE: 604.681.3303 EXT.227

CIVIL ENGINEER:
 MPT ENGINEERING CO.LTD
 CONTACT NAME: Al Gerrebos
 #320-11120 Horseshoe Way
 Richmond BC V7A 5H7
 PHONE: 604.270.4137

SURVEYOR:
 OLSON & ASSOCIATES LAND SURVEYING
 CONTACT NAME: GARY ROWBOTHAM
 204-15585 24TH AVENUE
 SURREY BC V4A 2J4
 PHONE: 604.531.4067

ARCHITECTURAL DRAWING SET

SHEET NO.	TITLE	SCALE
A0.1	STATISTICS	
A1.0	SITE PLAN	1/16" = 1'-0
A1.1	SURVEY OVERLAY	1/16" = 1'-0
A1.2	CONTEXT PLAN	NTS
A1.3	BASE PLAN	1/16" = 1'-0
A2.P2	LEVEL P2 PLAN	3/32" = 1'-0
A2.P1	LEVEL P1 PLAN	3/32" = 1'-0
A2.1	LEVEL 1 PLAN	3/32" = 1'-0
A2.2	LEVEL 2 PLAN	3/32" = 1'-0
A2.3	LEVEL 3 PLAN	3/32" = 1'-0
A2.4	LEVEL 4 PLAN	3/32" = 1'-0
A2.5	ROOF PLAN	3/32" = 1'-0
A2.11	TYPICAL UNIT LAYOUT PLANS	1/4" = 1'-0
A2.12	TYPICAL UNIT LAYOUT PLANS	1/4" = 1'-0
A3.1	ELEVATION EAST & NORTH	3/32" = 1'-0
A3.2	ELEVATION WEST & SOUTH	3/32" = 1'-0
A3.3	STREETSCAPE ELEVATION	1/32" = 1'-0
A4.1	SECTIONS	3/32" = 1'-0
A4.2	SECTIONS	3/32" = 1'-0
A4.3	SECTIONS	3/32" = 1'-0
A4.4	DETAILED SECTIONS	1/4" = 1'-0
A5.1	SIGNAGE DETAILS	PER SHEET
A6.1	MATERIAL BOARD	NTS
A6.2	RENDERING	NTS
A7.1	TURNING MOVEMENTS	NTS

STATISTICS:

CIVIC ADDRESS:	1651 - 1679 128TH STREET, SURREY, BC		
LEGAL DESCRIPTION:			
ZONING:	CD		
GROSS SITE AREA:	6,076.6 SQ.M.	=	65,408.0 SQ.FT. (1.50 ACRES)
ROAD DEDICATION AREA:	519.4 SQ.M.	=	5,590.8 SQ.FT.
LANE DEDICATION & CORNER CUT AREA:	247.7 SQ.M.	=	2,666.1 SQ.FT.
NET SITE AREA:	5,309.5 SQ.M.	=	57,151.1 SQ.FT.
LOT COVERAGE	76%		

BUILDING HEIGHT 21.22 m (4 STOREYS)

SETBACKS	PRE-DEDICATION	POST-DEDICATION
FRONT (EAST)	4.13m	4.13m
SIDE (NORTH)	11m	3m
SIDE (SOUTH)	10.58m	4.58m
REAR (WEST)	4.93m	4.93m

	REQUIRED	PROVIDED
INDOOR AMENITY AT LEVEL 2	180 SQ.M. 1,937.5 SQ.FT.	252.3 SQ.M. 2,716.0 SQ.FT.
TOTAL INDOOR AMENITY:	180.0 SQ.M. 1,937.5 SQ.FT.	252.3 SQ.M. 2,716.0 SQ.FT.

	180 SQ.M. 1,937.5 SQ.FT.	876.2 SQ.M. 9,431.4 SQ.FT.	189.0 SQ.M. 2,034.4 SQ.FT.
OUTDOOR AMENITY (PROVIDED AT LEVEL 2)			
OUTDOOR AMENITY (PROVIDED AT LEVEL 4)			
TOTAL OUTDOOR AMENITY:	180.0 SQ.M. 1,937.5 SQ.FT.	1,065.2 SQ.M. 11,465.8 SQ.FT.	

FLOOR SPACE RATIO PROPOSED 1.71 FSR 98,044.0 SQ.FT. = 9,108.5 SQ.M.

PROPOSED FLOOR AREA:	NET AREA:	NET AREA:	EXCLUSIONS:	GROSS AREA:
1ST FLOOR COMMERCIAL:	2,468.5 SQ.M.	26,571.0 SQ.FT.		26,571.0 SQ.FT.
1ST FLOOR RESIDENTIAL:	97.0 SQ.M.	1,044.0 SQ.FT.	1,136.0 SQ.FT. (LOBBY)	2,180.0 SQ.FT.
2ND FLOOR RESIDENTIAL:	2,183.7 SQ.M.	23,505.0 SQ.FT.	2,716.0 SQ.FT. (AMENITY)	26,221.0 SQ.FT.
3RD FLOOR RESIDENTIAL:	2,183.9 SQ.M.	23,508.0 SQ.FT.	2,260.0 SQ.FT. (OPEN TO AMENITY BELOW)	25,768.0 SQ.FT.
4TH FLOOR RESIDENTIAL:	2,175.4 SQ.M.	23,416.0 SQ.FT.		23,416.0 SQ.FT.
ROOF:	0.0 SQ.M.	0.0 SQ.FT.		0.0 SQ.FT.
TOTAL :	9,108.5 SQ.M.	98,044.0 SQ.FT.	6,112.0 SQ.FT.	104,156.0 SQ.FT.
TOTAL GROSS FLOOR AREA:	9,676 SQ.M.	104,156.0 SQ.FT.		
TOTAL AMENITY(+LOBBY) EXCLUSION:	357.9 SQ.M.	3,852.0 SQ.FT.		
TOTAL NET FLOOR AREA:	9,318.5 SQ.M.	100,304.0 SQ.FT.		

APARTMENT UNIT BREAKDOWN:	ACTUAL:	AVERAGE AREA:
0 STUDIO UNITS	0% OF UNITS	0 SQ.FT.
10 ONE BEDROOM UNITS	17% OF UNITS	673 SQ.FT.
40 TWO BEDROOM UNITS	67% OF UNITS	1,063 SQ.FT.
10 THREE BEDROOM UNITS	17% OF UNITS	1,316 SQ.FT.

60 UNITS TOTAL

VEHICLE PARKING:

60 UNITS

RESIDENTIAL STALLS REQUIRED (MINIMUM)		
1.3 SPACE FOR EACH UNIT WITH 1 OR NO BEDROOM	1.3 x 10	= 13 SPACES
1.5 SPACE FOR EACH UNIT WITH 2 MORE BEDROOMS	1.5 x 50	= 74 SPACES
0.2 PER DWELLING UNITS (VISITOR)	0.2 x 60	= 12 SPACES
	TOTAL RESIDENT	101 SPACES

ACCESSIBLE STALLS REQUIRED
2% OF REQUIRED PARKING SPACES 0.02 x 84 = 2 SPACES INCLUDED ABOVE

PARKING PROVIDED		
RESIDENTIAL STALLS	96 SPACES	
VISITOR STALLS	0.2 PER DWELLING UNITS = 60 x 0.2	12 SPACES
	TOTAL RESIDENTIAL PARKING PROVIDED:	110 SPACES
	RESIDENTIAL ACCESSIBLE SPACES PROVIDED:	= 2 SPACES INCLUDED ABOVE

2468.5 SQ.M. (26,571 SF)

COMMERCIAL STALLS REQUIRED (MINIMUM)		
COMMERCIAL	3 SPACE FOR EACH 100 SQ.M	= 74 SPACES
	TOTAL:	74 SPACES

ACCESSIBLE STALLS REQUIRED
2% OF REQUIRED PARKING SPACES 0.02 x 75 = 2 SPACE

TOTAL PARKING (MINIMUM): = 76 SPACES

PARKING PROVIDED		
COMMERCIAL STALLS	106 SPACES	
	TOTAL COMMERCIAL PARKING PROVIDED:	110 SPACES
	COMMERCIAL ACCESSIBLE SPACES PROVIDED:	= 4 SPACE INCLUDED ABOVE

LOADING:

DWELLING USE	REQUIRED	PROVIDED
NO REQUIREMENT	= 0 SPACES	0 SPACES
COMMERCIAL LOADING	NO REQUIREMENT	= 0 SPACES 2 SPACES

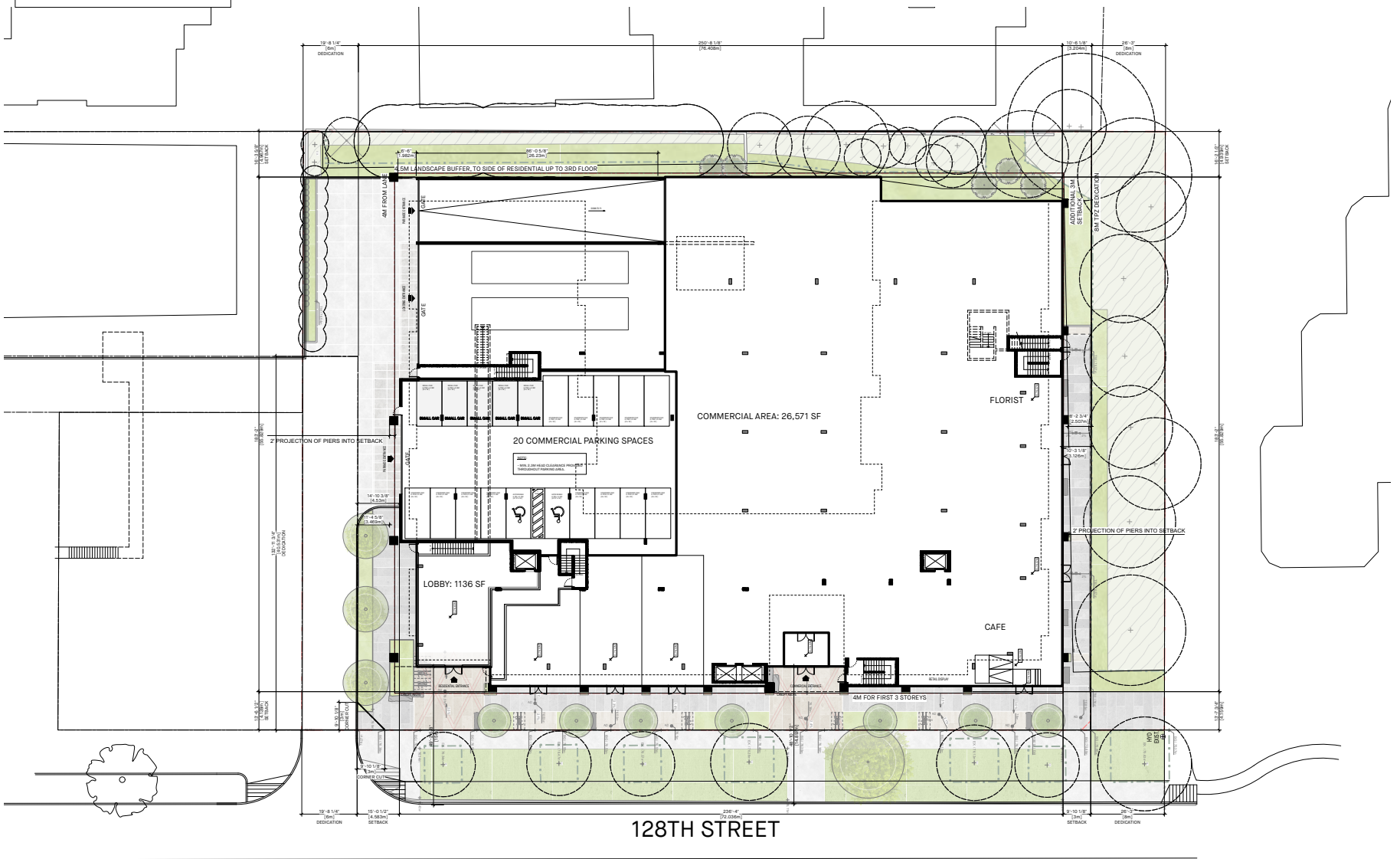
BICYCLE PARKING:

	REQUIRED	PROVIDED
RESIDENTIAL		
1.2 SPACE PER DWELLING UNIT	= 72 SPACES	
BIKE SPACE IN STORAGE LOCKER (HORIZ.) (MIN 10%)	=	72 SPACES
VISITOR (RESIDENTIAL)		
6 VISITOR BICYCLE SPACE	= 6 SPACES	6 SPACES
COMMERCIAL		
2489m/100 x 0.06 =	= 2 SPACES	8 SPACES
TOTAL:	= 80 SPACES	86 SPACES

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PROJECT --		
MIXED-USE DEVELOPMENT		
-		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE --		
STATISTICS		
SCALE --	SHEET NO. --	
DATE -- DEC 21, 2023	AO.1	
DRAWN -- TY		
CHECKED --	PROJ. NO. -- 2103	

PLAN DESCRIPTION : SECTION 18 TOWNSHIP 1 NWD PCL
 ONE, REF PL 57949
 CIVIC ADDRESS : 1679 AND 1651 128TH STREET
 SURREY BC
 TOTAL SITE AREA : 65,399 SF

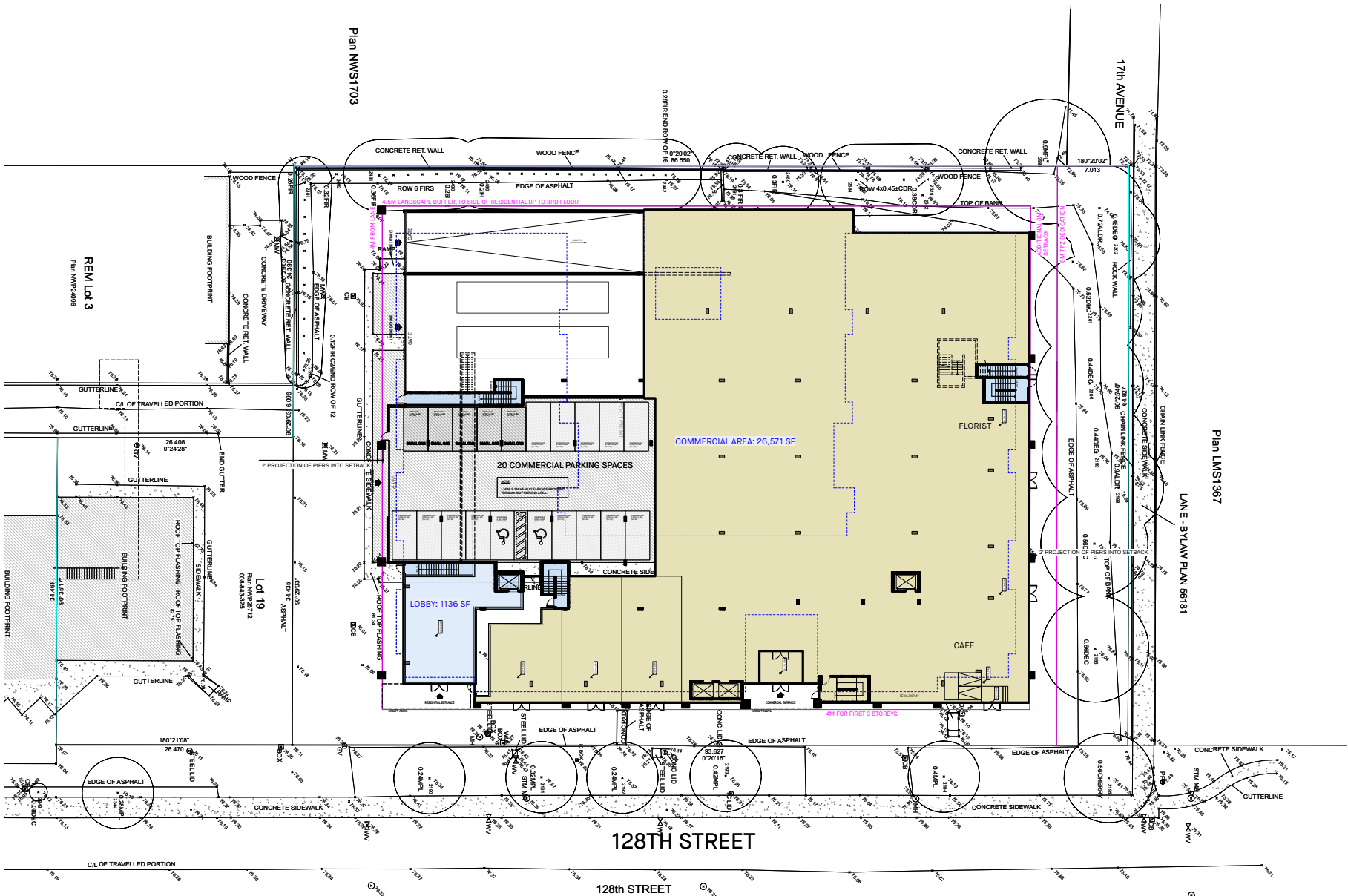
NOTE:
 - LOCATION OF EXISTING TREES ARE SHOWN
 ON SURVEY OVERLAY SHEET.



128TH STREET

SITE PLAN
 SCALE : 1/16"=1'-0"

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MIXED-USE DEVELOPMENT		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE —		
SITE PLAN		
SCALE — 1/16" = 1'-0"	SHEET NO. —	
DATE — DEC 21, 2023	A1.0	
DRAWN — TY		
CHECKED —	PROJ. NO. — 2103	



Plan NWS1703

Plan LMS1367

LANE - BYLAW PLAN 56181

128TH STREET

17th AVENUE

128th STREET

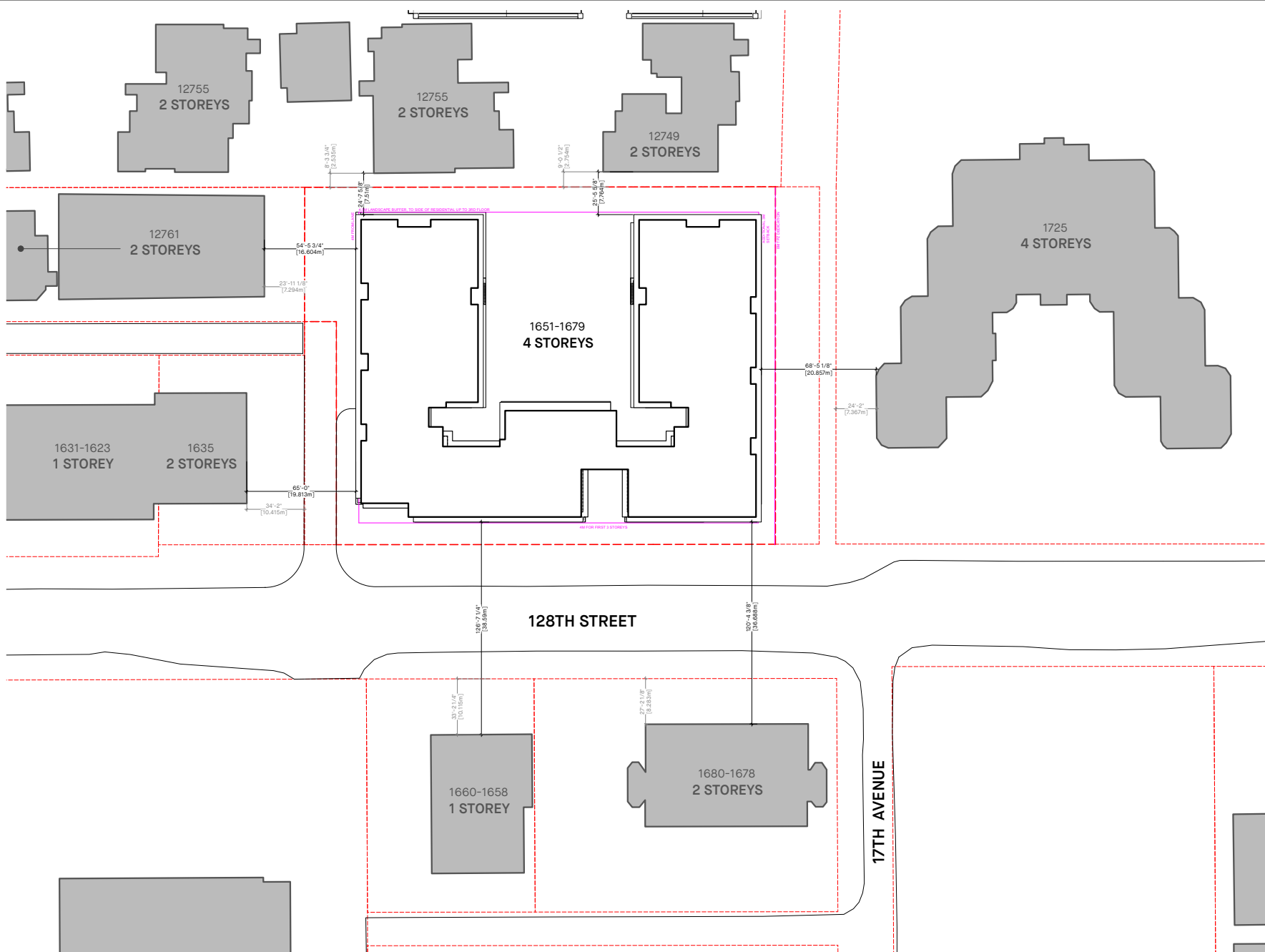
REM Lot 3
Plan NWS2498

Lot 19
Plan NWS1703
00844325

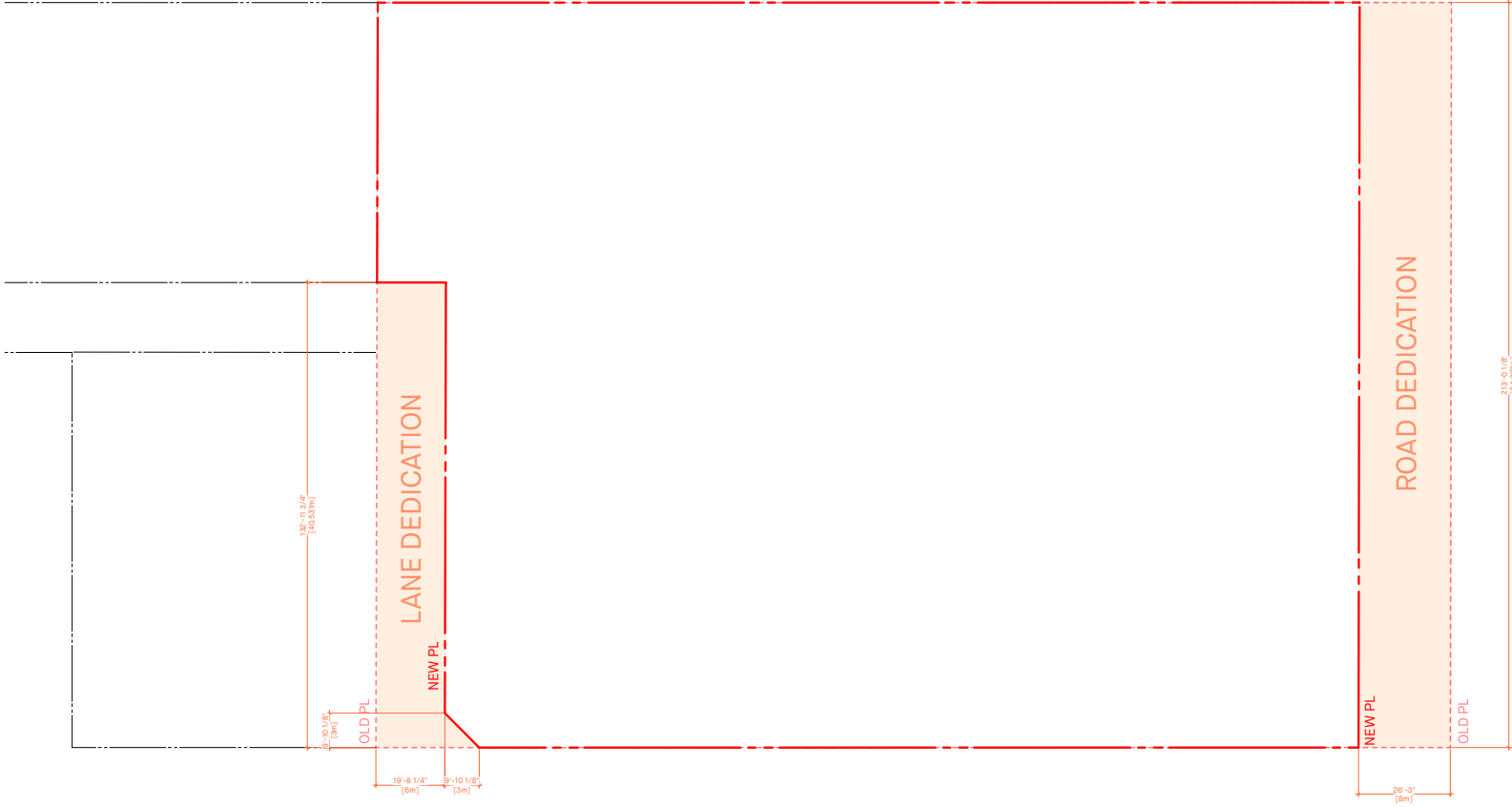


SURVEY OVERLAY
SCALE: 1/16" = 1'-0"

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<p>PROJECT ---</p> <p>MIXED-USE DEVELOPMENT</p> <p>1651 - 1679 128TH STREET SOUTH SURREY, BC</p>		
<p>DRAWING TITLE ---</p> <p>SURVEY OVERLAY</p>		
SCALE --- 1/16" = 1'-0"	SHEET NO. ---	
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DRAWN --- TY		
CHECKED ---	PROJECT NO. --- 2103	

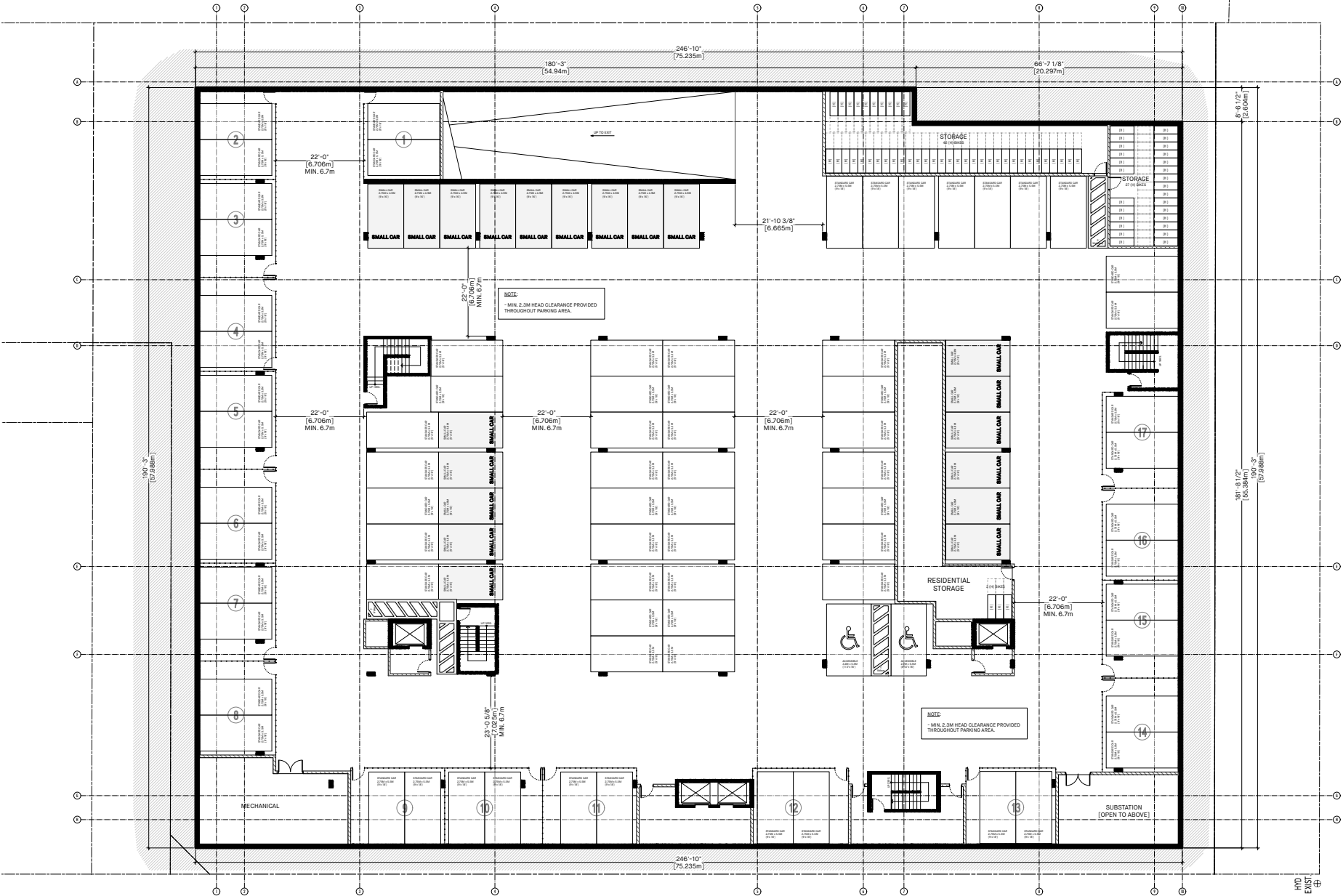


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PROJECT -		
MIXED-USE DEVELOPMENT		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE -		
CONTEXT PLAN		
SCALE - N.T.S.	SHEET NO. -	
DATE - DEC 21, 2023	A1.2	
DRAWN - TY		
CHECKED -	PROJ. NO. - 2103	



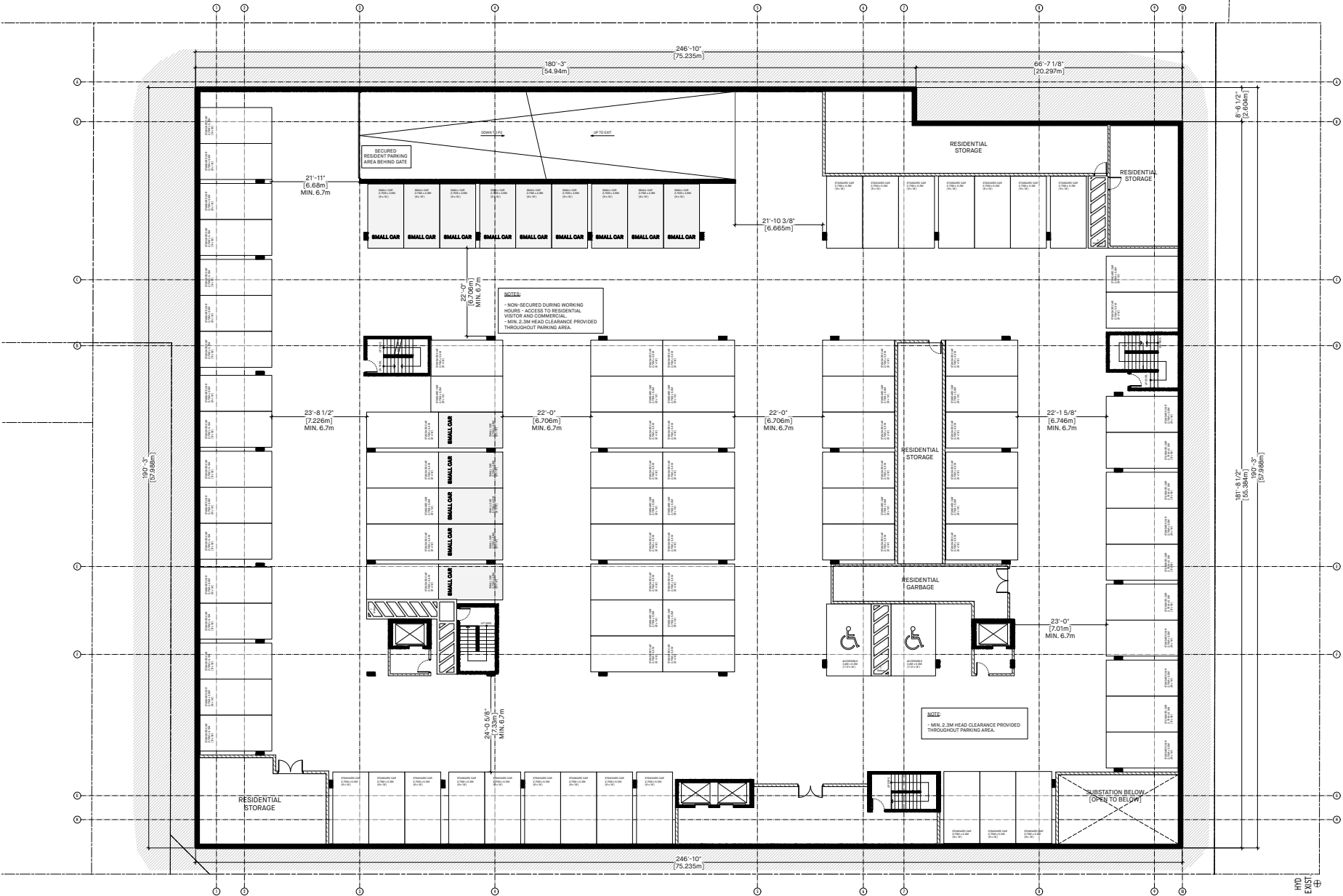
BASE PLAN
SCALE : 1/16"=1'-0"

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PROJECT -		
MIXED-USE DEVELOPMENT - 1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE -		
BASE PLAN		
SCALE - 1/16" = 1'-0"	SHEET NO. -	
DATE - DEC 21, 2023	A1.3	
DRAWN - TY		
CHECKED -	PROJ NO - 2103	



LEVEL P2 PLAN
SCALE: 3/32"=1'-0"

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PROJECT —		
MIXED-USE DEVELOPMENT		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE —		
P2 PLAN		
SCALE —	3/32" = 1'-0"	SHEET NO. —
DATE —	DEC 21, 2023	A2.P2
DRAWN —	TY	
CHECKED —		PROJ. NO. — 2103



NOTES:
 - NON-SECURED DURING WORKING HOURS - ACCESS TO RESIDENTIAL VISITOR AND COMMONS ARE - MIN. 2.3M HEAD CLEARANCE PROVIDED THROUGHOUT PARKING AREA.

NOTES:
 - MIN. 2.3M HEAD CLEARANCE PROVIDED THROUGHOUT PARKING AREA.

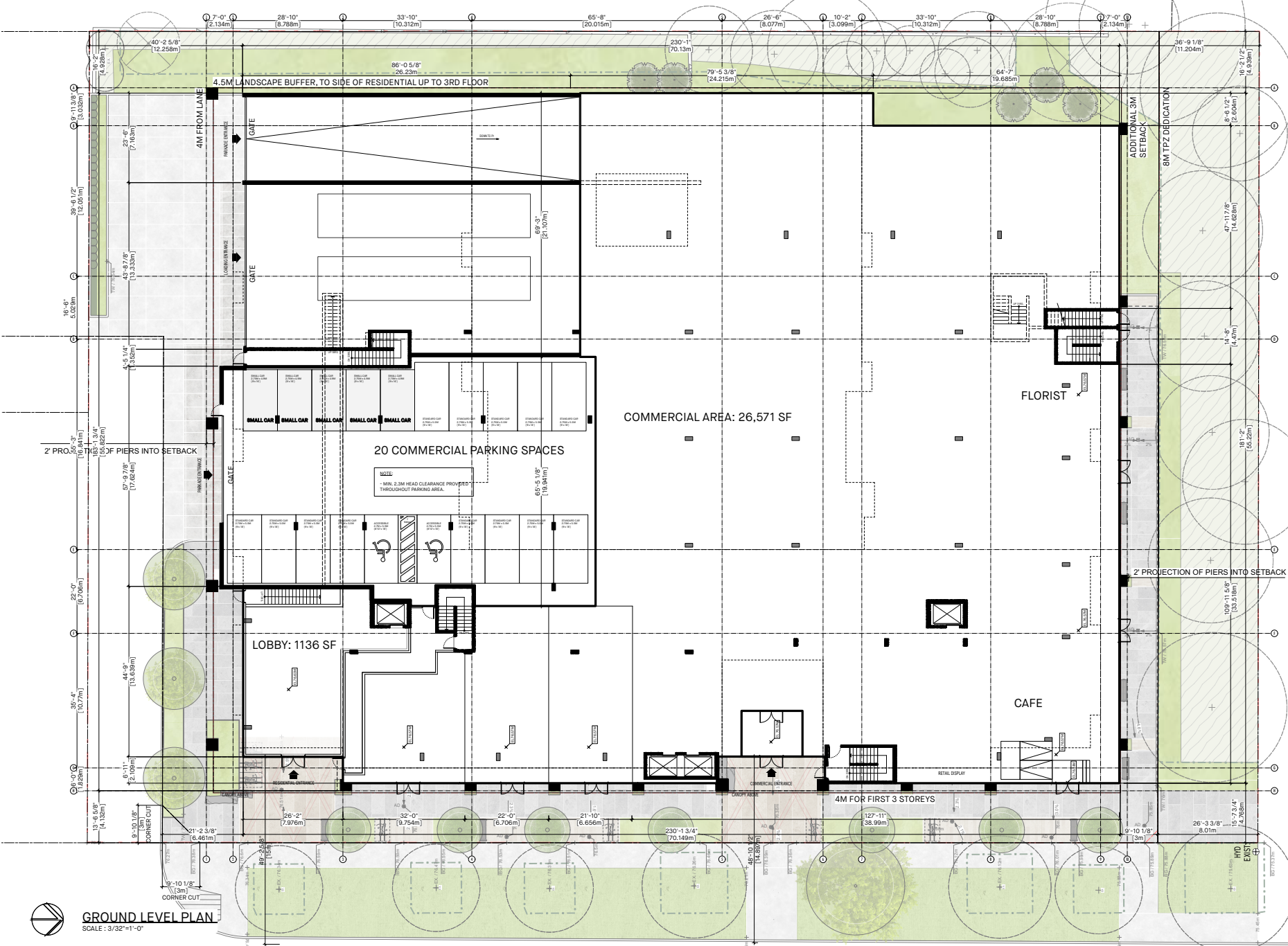
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 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT -
 MIXED-USE DEVELOPMENT
 1651 - 1679 128TH STREET
 SOUTH SURREY, BC

DRAWING TITLE -
 P1 PLAN

SCALE - 3/32" = 1'-0" SHEET NO. -
 DATE - DEC 21, 2023 **A2.P1**
 DRAWN - TY
 CHECKED - PROJ NO - 2103

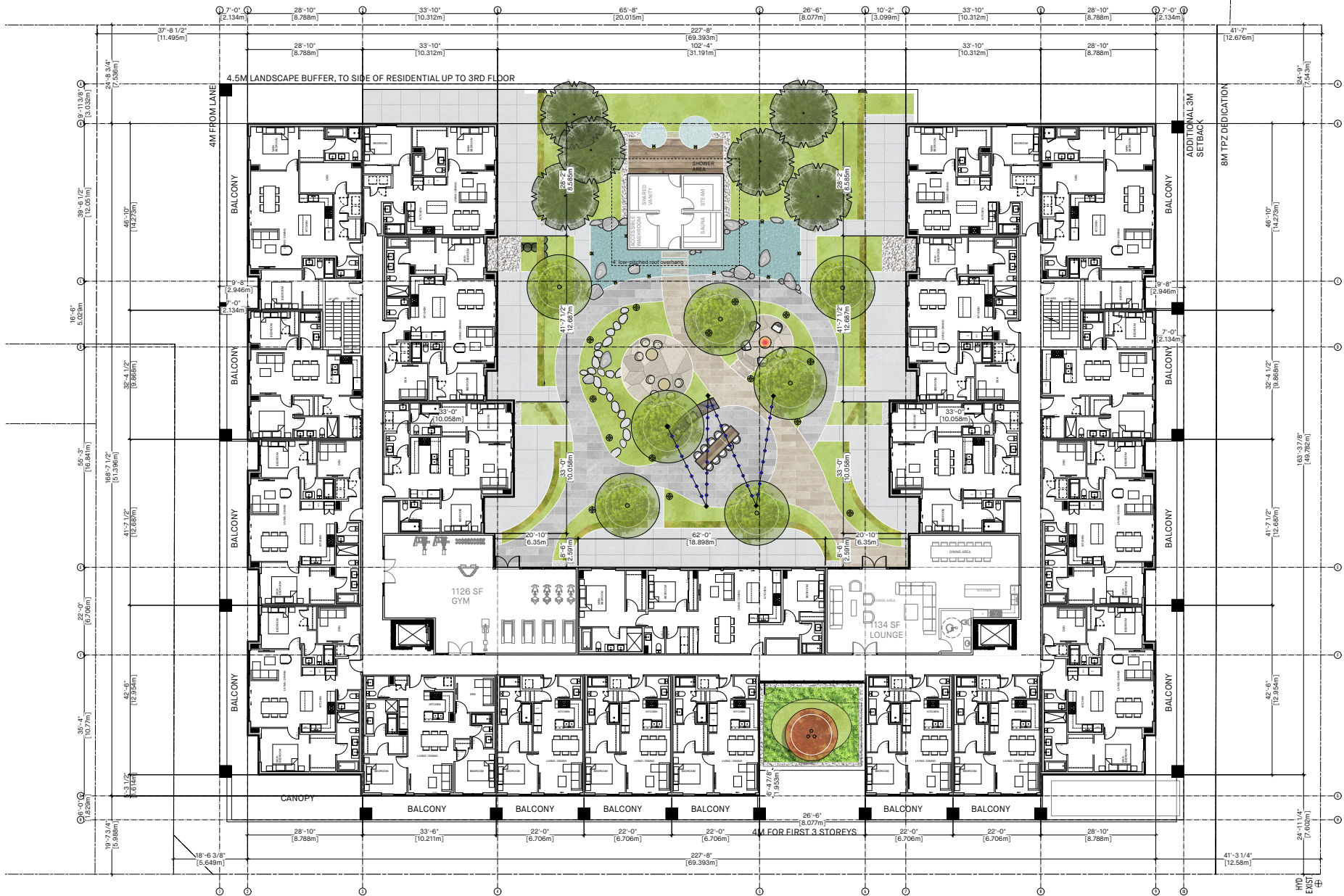


2' PROJECTIONS OF PIERS INTO SETBACK

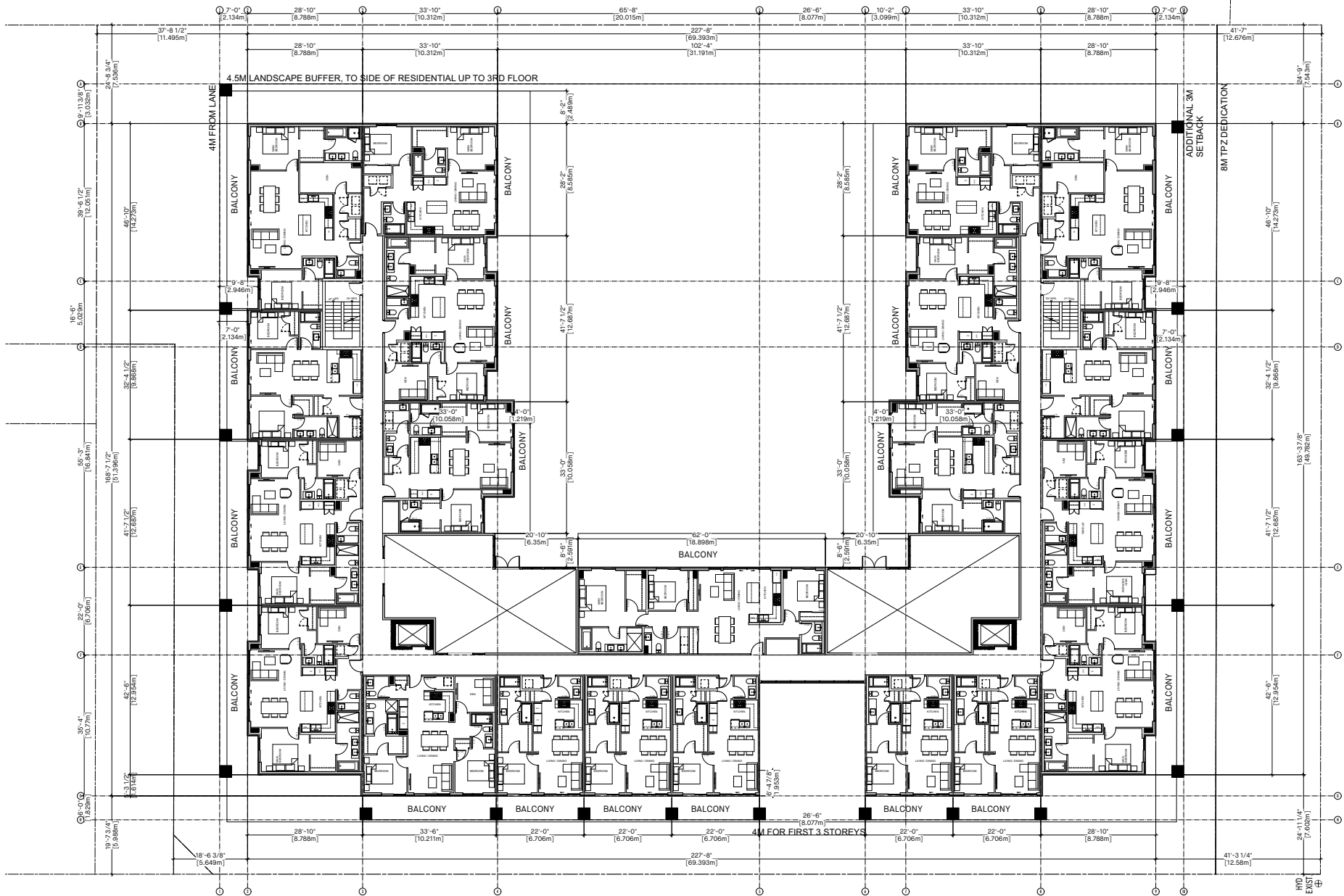
2' PROJECTION OF PIERS INTO SETBACK

GROUND LEVEL PLAN
SCALE: 3/32" = 1'-0"

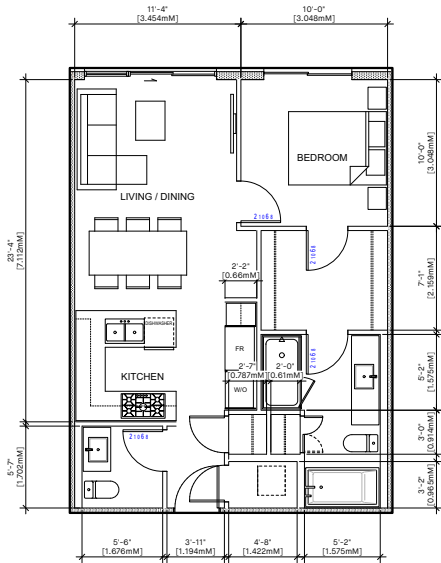
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<p>PROJECT --- MIXED-USE DEVELOPMENT 1651 - 1679 128TH STREET SOUTH SURREY, BC</p>		
<p>DRAWING TITLE --- GROUND LEVEL PLAN</p>		
SCALE --- 3/32" = 1'-0"	SHEET NO. ---	
DATE --- DEC 21, 2023	A2.1	
DRAWN --- TY		
CHECKED ---	PROJECT NO. --- 2103	



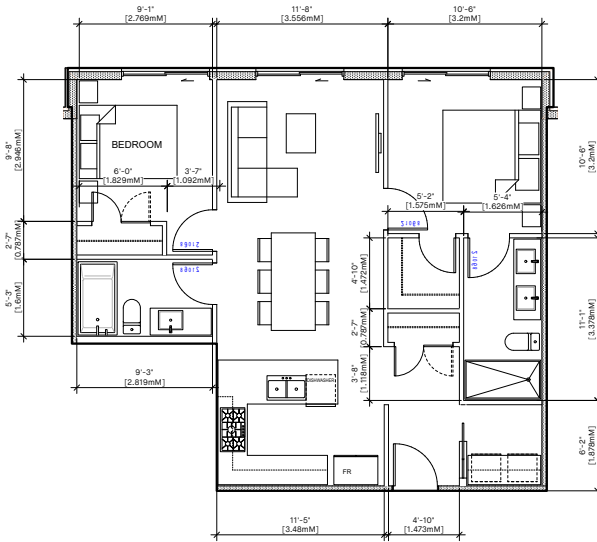
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PROJECT -		
MIXED-USE DEVELOPMENT		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE -		
SECOND LEVEL PLAN		
SCALE - 3/32" = 1'-0"	SHEET NO. -	
DATE - DEC 21, 2023	A2.2	
DRAWN - TY		
CHECKED -	PRG/NO - 2103	



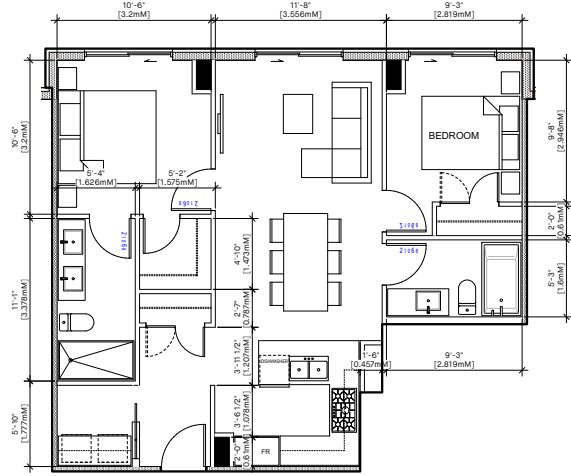
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PROJECT -		
MIXED-USE DEVELOPMENT		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE -		
THIRD FLOOR PLAN		
SCALE - 3/32" = 1'-0"	SHEET NO. -	
DATE - DEC 21, 2023	A2.3	
DRAWN - TY		
CHECKED -	PRG: NO - 2103	



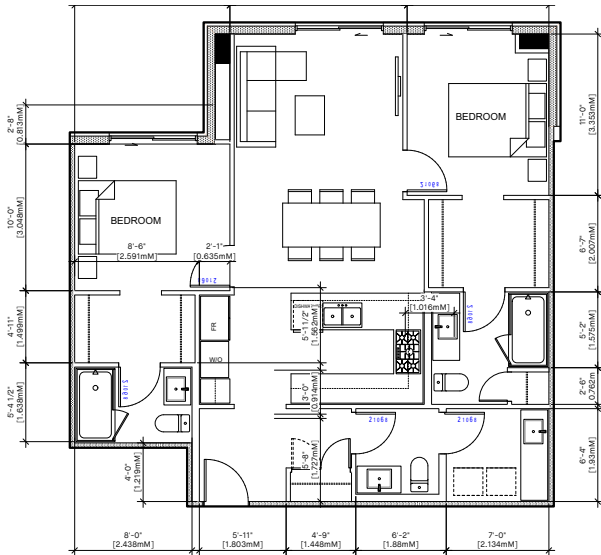
TYPICAL 1 BED: 667 SF
SCALE: 1/4"=1'-0"



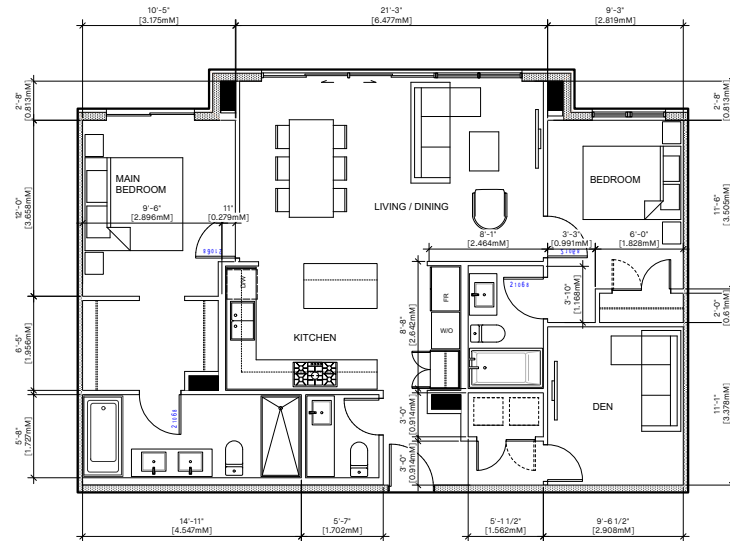
TYPICAL 2 BED: 836 SF
SCALE: 1/4"=1'-0"



TYPICAL 2 BED: 828 SF
SCALE: 1/4"=1'-0"

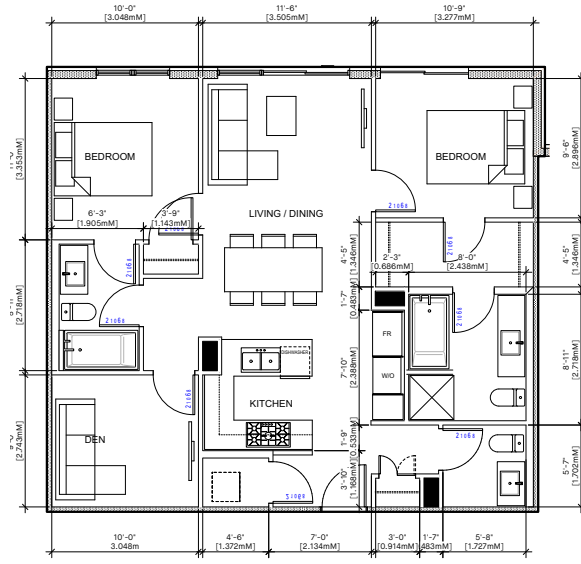


TYPICAL 2 BED: 989 SF
SCALE: 1/4"=1'-0"

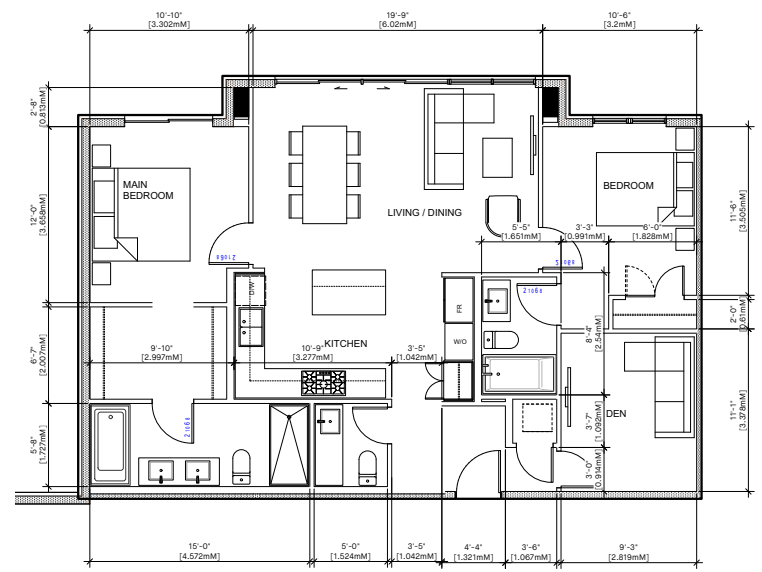


TYPICAL 2 BED + DEN: 1156 SF
SCALE: 1/4"=1'-0"

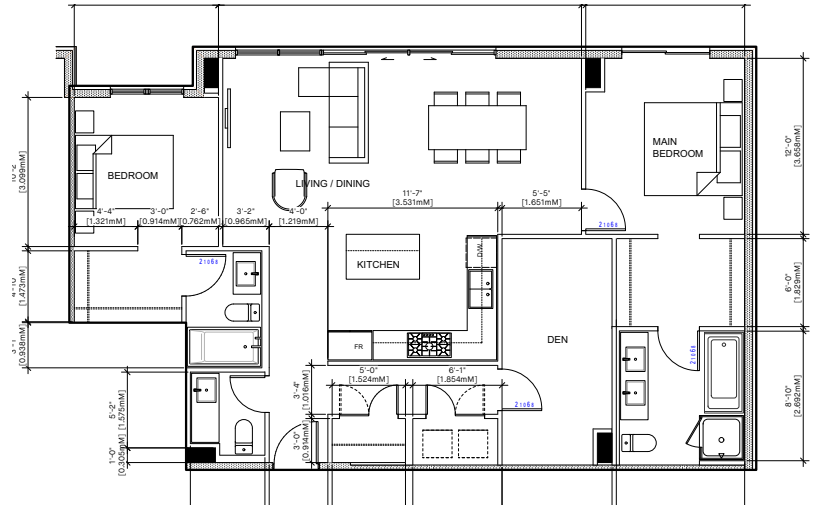
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PROJECT -		
MIXED-USE DEVELOPMENT		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE -		
TYPICAL UNIT PLANS		
SCALE - 1/4" = 1'-0"	SHEET NO. -	
DATE - DEC 21, 2023	A2.11	
DRAWN - TY		
CHECKED -	PRG.NO - 2103	



TYPICAL 2 BED + DEN: 1016 SF
SCALE : 1/4"=1'-0"



TYPICAL 2 BED + DEN: 1175 SF
SCALE : 1/4"=1'-0"



TYPICAL 2 BED + DEN: 1248 SF
SCALE : 1/4"=1'-0"

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PROJECT —		
MIXED-USE DEVELOPMENT		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE —		
TYPICAL UNIT PLANS		
SCALE — 1/4" = 1'-0"	SHEET NO. —	
DATE — DEC 21, 2023	A2.12	
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EAST ELEVATION (128TH STREET)

SCALE: 3/32" = 1'-0"



NORTH ELEVATION

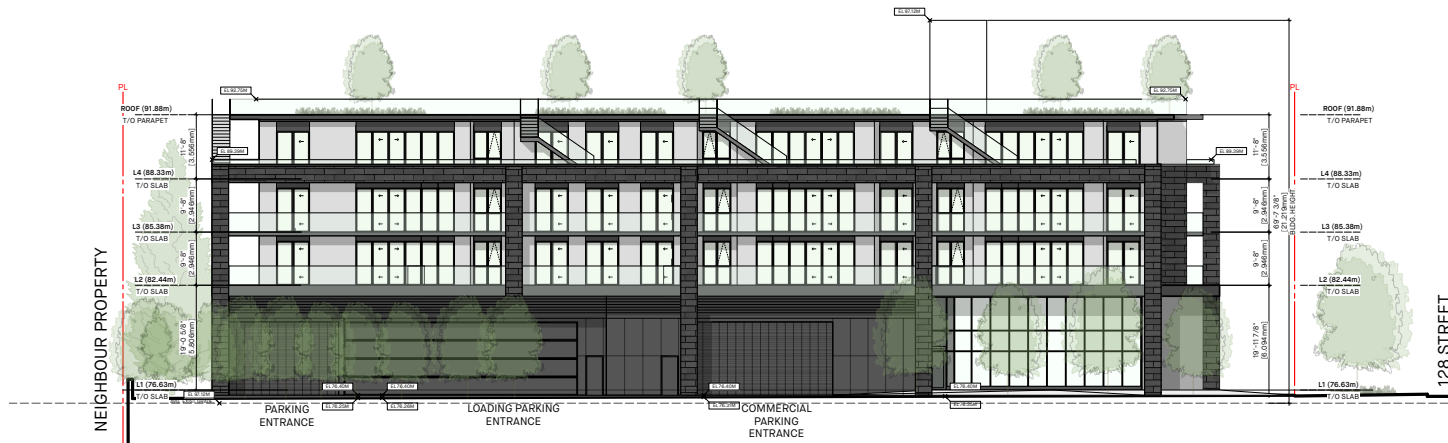
SCALE: 3/32" = 1'-0"

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PROJECT —		
MIXED-USE DEVELOPMENT		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE —		
ELEVATIONS EAST & NORTH		
SCALE — 3/32" = 1'-0"	SHEET NO. —	
DATE — DEC 21, 2023	A3.1	
DRAWN — TY		
CHECKED —	PROJ. NO. — 2103	



WEST ELEVATION

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

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PROJECT -		
MIXED-USE DEVELOPMENT		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE -		
ELEVATIONS WEST & SOUTH		
SCALE - 3/32" = 1'-0"	SHEET NO. -	
DATE - DEC 21, 2023	A3.2	
DRAWN - TY		
CHECKED -	PRG NO - 2103	



STREETSCAPE ELEVATION ALONG 128TH STREET
 SCALE: N.T.S.

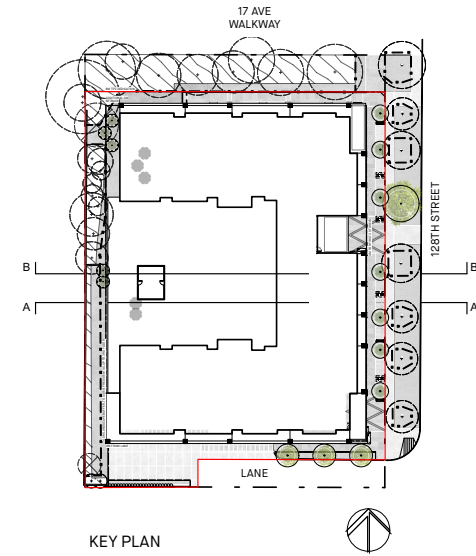
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<p>PROJECT —</p> <p>MIXED-USE DEVELOPMENT</p> <p>—</p> <p>1651 - 1679 128TH STREET SOUTH SURREY, BC</p>		
<p>DRAWING TITLE —</p> <p>STREETSCAPE ELEVATION</p>		
<p>SCALE — N.T.S.</p>		<p>SHEET NO. —</p> <p>A3.3</p>
<p>DATE — DEC 21, 2023</p>		
<p>DRAWN — TY</p>		<p>PROJ. NO. — 2103</p>
<p>CHECKED —</p>		



SECTION A-A
SCALE: 3/32" = 1'-0"

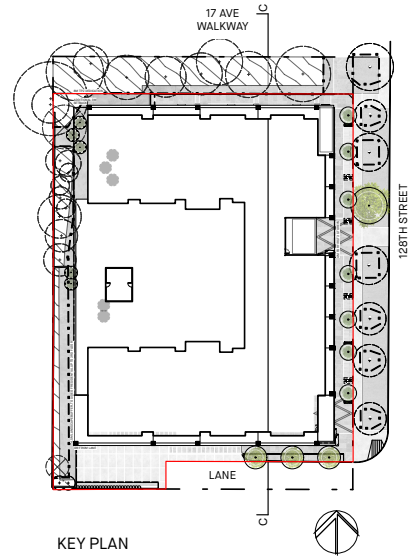


SECTION B-B
SCALE: 3/32" = 1'-0"

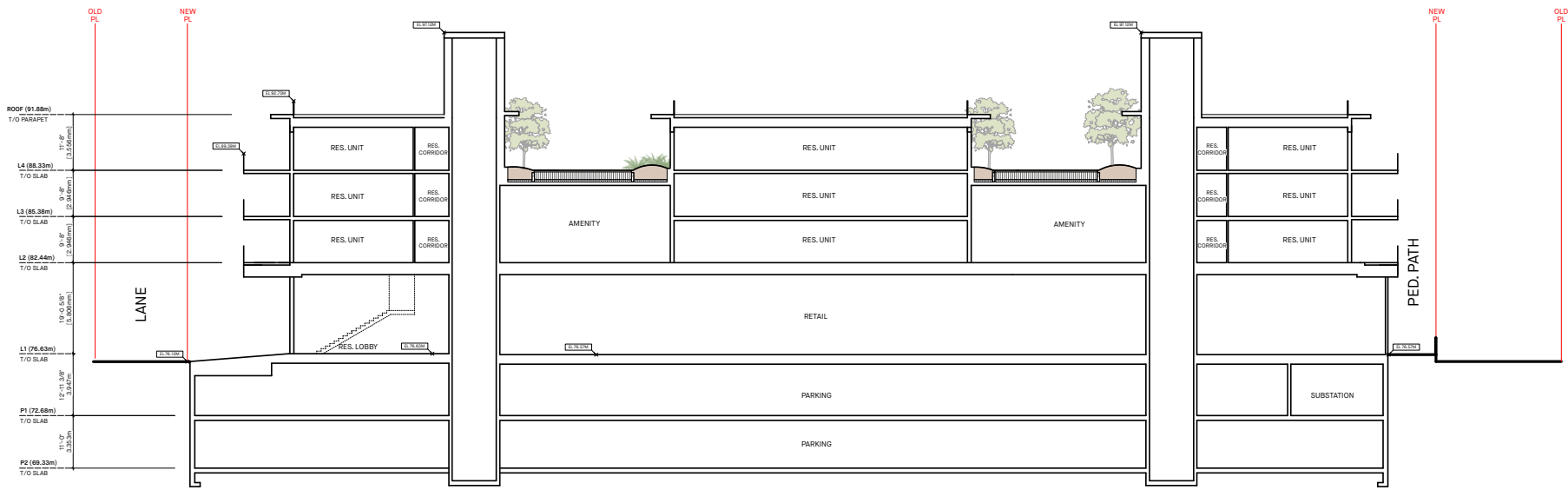


KEY PLAN

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PROJECT --		
MIXED-USE DEVELOPMENT		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE --		
SECTIONS		
SCALE --	SHEET NO. --	
DATE -- DEC. 21, 2023	A4.1	
DRAWN -- TY		
CHECKED --	PROJ. NO. -- 2103	

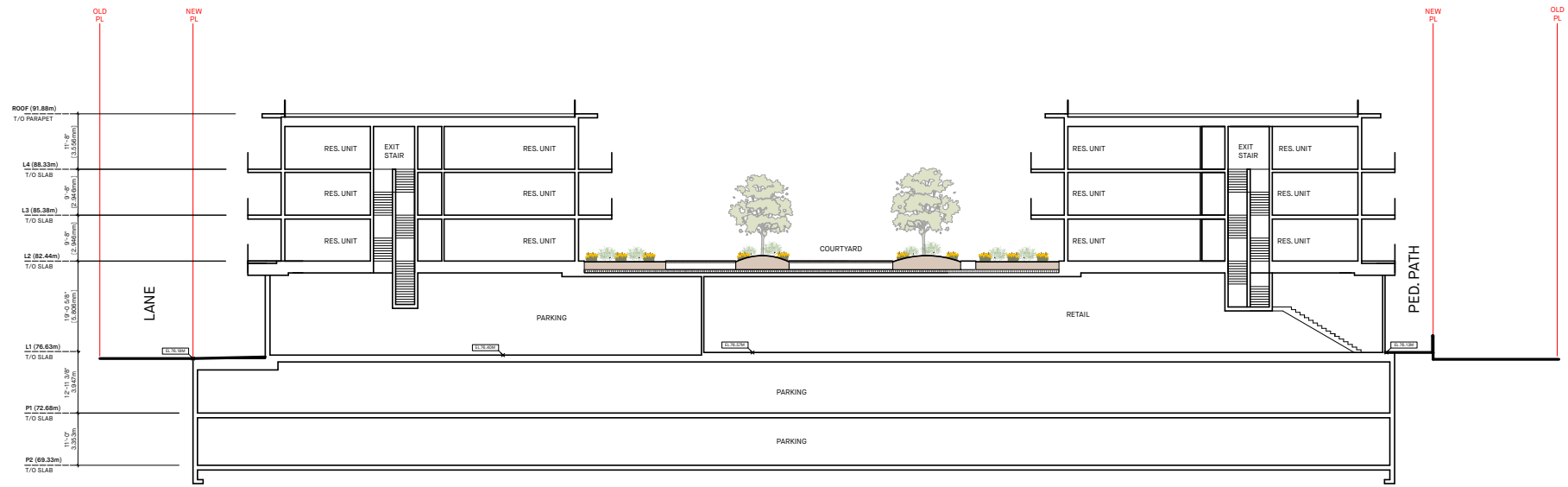
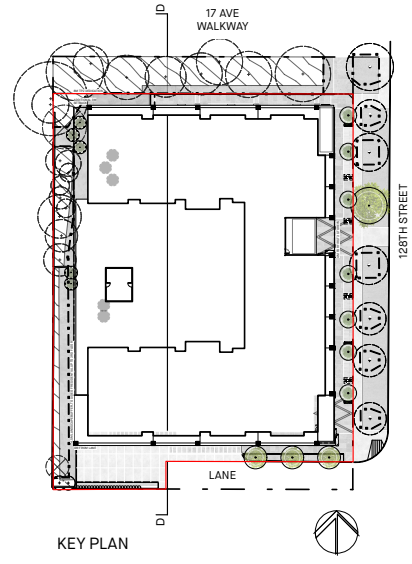


KEY PLAN



SECTION C-C
SCALE: 3/32" = 1'-0"

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PROJECT --		
MIXED-USE DEVELOPMENT		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE --		
SECTIONS		
SCALE --	SHEET NO. --	
DATE -- DEC. 21, 2023	A4.2	
DRAWN -- TY		
CHECKED --	PRG. NO. -- 2103	



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PROJECT -		
MIXED-USE DEVELOPMENT		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE -		
SECTIONS		
SCALE -	SHEET NO. -	
DATE - DEC. 21, 2023	A4.3	
DRAWN - TY		
CHECKED -	PROJ. NO. - 2103	



CUSTOMIZED METAL SIGNAGE
SUSPENDED ABOVE CANOPY

DETAIL CUSTOMIZABLE STOREFRONT

SCALE: 1:50



CUSTOMIZED METAL SIGNAGE
SUSPENDED BELOW CANOPY

DETAIL CUSTOMIZABLE STOREFRONT

SCALE: 1:50

NOTES:

SIGNAGE MATERIAL: POWDER COATED STEEL
OR ALUMINUM WITH CONTRASTING
COLOURED LETTERS

TEXT SIZE: MINIMUM 24" AND MAXIMUM 30"
IN HEIGHT

NO WINDOW DECALS WILL BE ALLOWED
UNLESS APPROVED BY OWNER



EAST ELEVATION | 128TH STREET

SCALE: 3/32" = 1'-0"



NORTH ELEVATION

SCALE: 3/32" = 1'-0"

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PROJECT -		
MIXED-USE DEVELOPMENT		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE -		
SIGNAGE DETAILS		
SCALE - 3/32" = 1'-0"		SHEET NO. -
DATE - DEC 21, 2023		A5.1
DRAWN - TY		
CHECKED -		PROJ. NO. - 2103



1

2

3

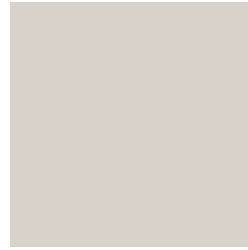
4

5

5

6

7



1 SOFFIT
BEIGE PAINTED



2 CLADDING
FLYNN SPEEDWALL SYSTEM. COLOR:
GREY.
INSTALLATION METHOD: PER
MANUFACTURER'S INSTRUCTIONS.



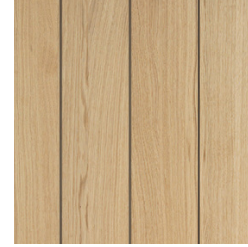
3 CLADDING
FLYNN SPEEDWALL SYSTEM. COLOR:
GREY.
INSTALLATION METHOD: PER
MANUFACTURER'S INSTRUCTIONS.



4 CLADDING
DARK COLOURED BRICK



5 GUARDRAILS
METAL AND GLASS
INSTALLATION METHOD:
'FASCIA-MOUNTED METHOD'

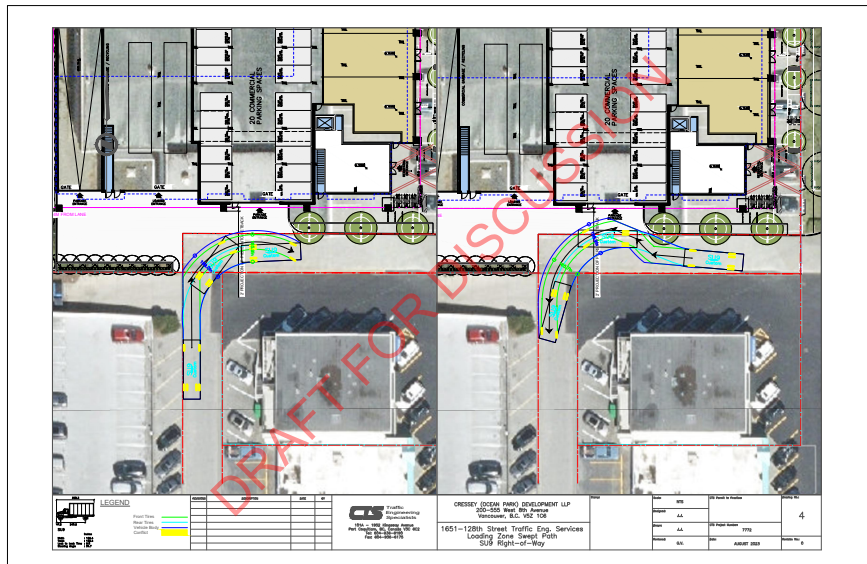
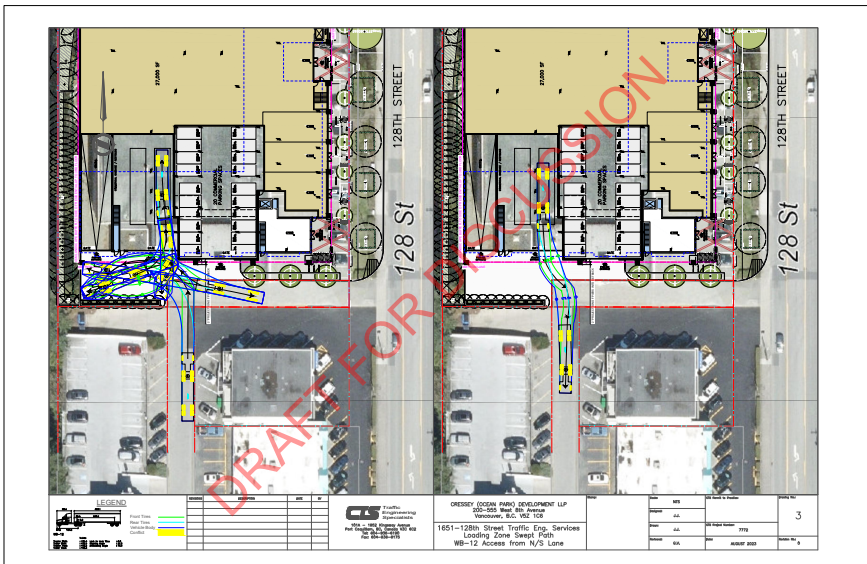
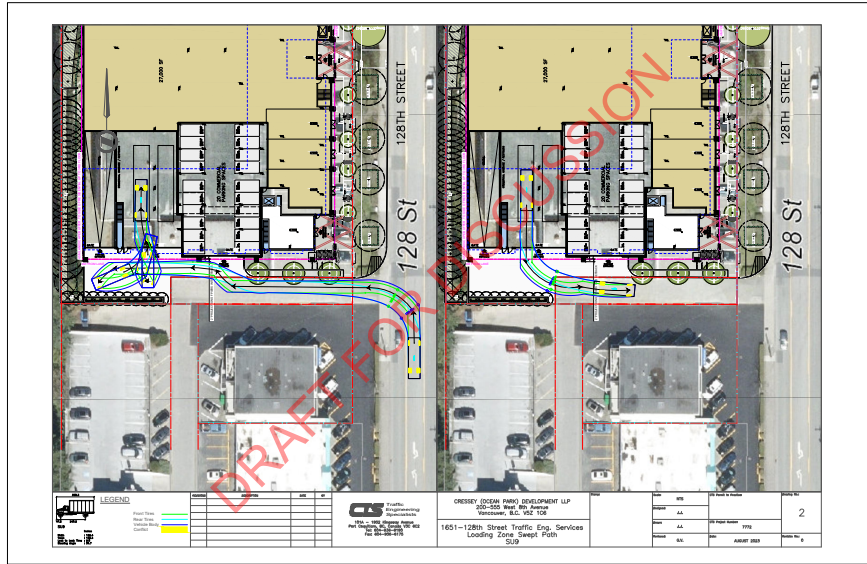
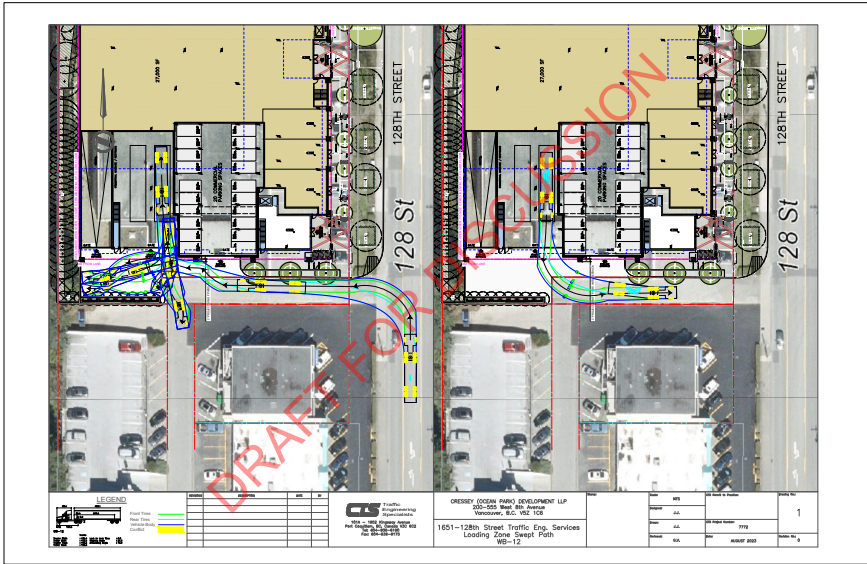


6 SOFFIT (RESIDENTIAL ENTRY)
LONGBOARD



7 WINDOW / DOOR TRIM
(STOREFRONT + RESIDENTIAL)
CANOPY FASCIA
DARK GREY VINYL

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PROJECT -		
MIXED-USE DEVELOPMENT		
1651 - 1679 128TH STREET SOUTH SURREY, BC		
DRAWING TITLE -		
MATERIAL BOARD		
SCALE - 3/32" = 1'-0"	SHEET NO. -	
DATE - DEC 21, 2023	A6.1	
DRAWN - TY		
CHECKED -	PRG.NO - 2103	



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**YAMAMOTO
ARCHITECTURE**

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Vancouver, BC V5T 1R5
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PROJECT -

MIXED-USE DEVELOPMENT

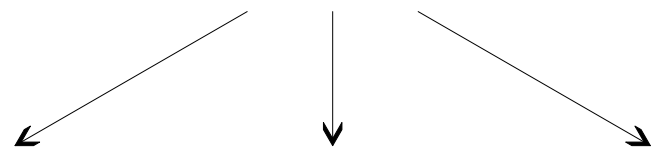
1651 - 1679 128TH STREET
SOUTH SURREY, BC

DRAWING TITLE -

TURNING MOVEMENTS

SCALE - N.T.S.	SHEET NO. -
DATE - DEC 21, 2023	A7.1
DRAWN - TY	
CHECKED -	PROJ NO - 2103

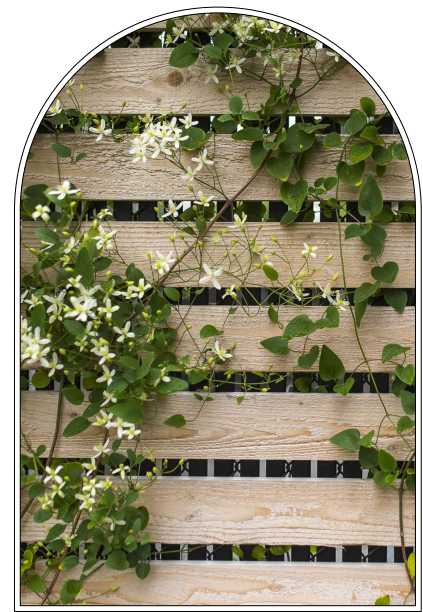
HOME



RESTFULLNESS & RESTORATION



GATHERING & ENTERTAINMENT



AUTHENTICITY

We propose to explore fundamental ideas that contribute to a sense of home. We have identified the following as being central to this:
Home as a place for restfulness and restoration, and a place to gather and entertain, and a place to express authenticity.

KEYPLAN

SEAL

4	ISSUED FOR ADP RESUBMISSION	2023-12-22
3	ISSUED FOR ADP	2023-09-01
2	CHECK SET DP RESUBMISSION	2023-07-26
LAND DEVELOPMENT		
1	APPLICATION	2023-03-20
REVISIONS		

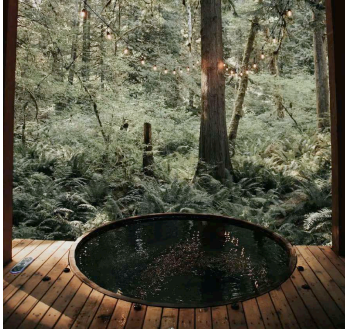
OCEAN PARK

1651 - 1679 128th Street,
South Surrey, British Columbia

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Drawn:	KML
Reviewed:	OM
Project No.	06-814

INSPIRATION AND PRINCIPLES

WELLNESS PAVILLION



DINING & ENTERTAINMENT



LOUNGE



FIRE PIT



STROLL GARDEN



OCEAN PARK

1651 - 1679 128th Street,
South Surrey, British Columbia

Scale: 1:150

Drawn: KML

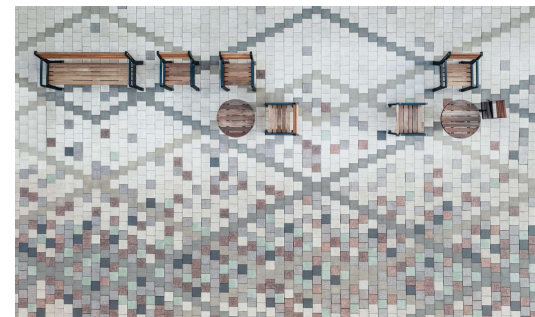
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PROGRAM DIAGRAM - LEVEL 2

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LAND DEVELOPMENT

1 APPLICATION 2023-03-20

REVISIONS

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South Surrey, British Columbia

Scale: N/A

Drawn: KML

Reviewed: OM

Project No. 06-814

CHARACTER

PROGRAM LEGEND	
KEY	DESCRIPTION
1	RESIDENTIAL ENTRY AREA
2	COMMERCIAL ENTRY AREA
3	VEHICLE DRIVE AISLE
4	PEDESTRIAN ACCESS PATH W/ CONTRAST PAVING AND SAWCUT

PAVING LEGEND	
KEY	DESCRIPTION
	DIP CONCRETE BROOM FINISH TO CITY OF SURREY STD.
	CONTRAST COLOURED DIP CONCRETE BROOM FINISH TO CITY OF SURREY STD. COLOUR TBD
	UNIT PAVERS
	UNIT PAVERS

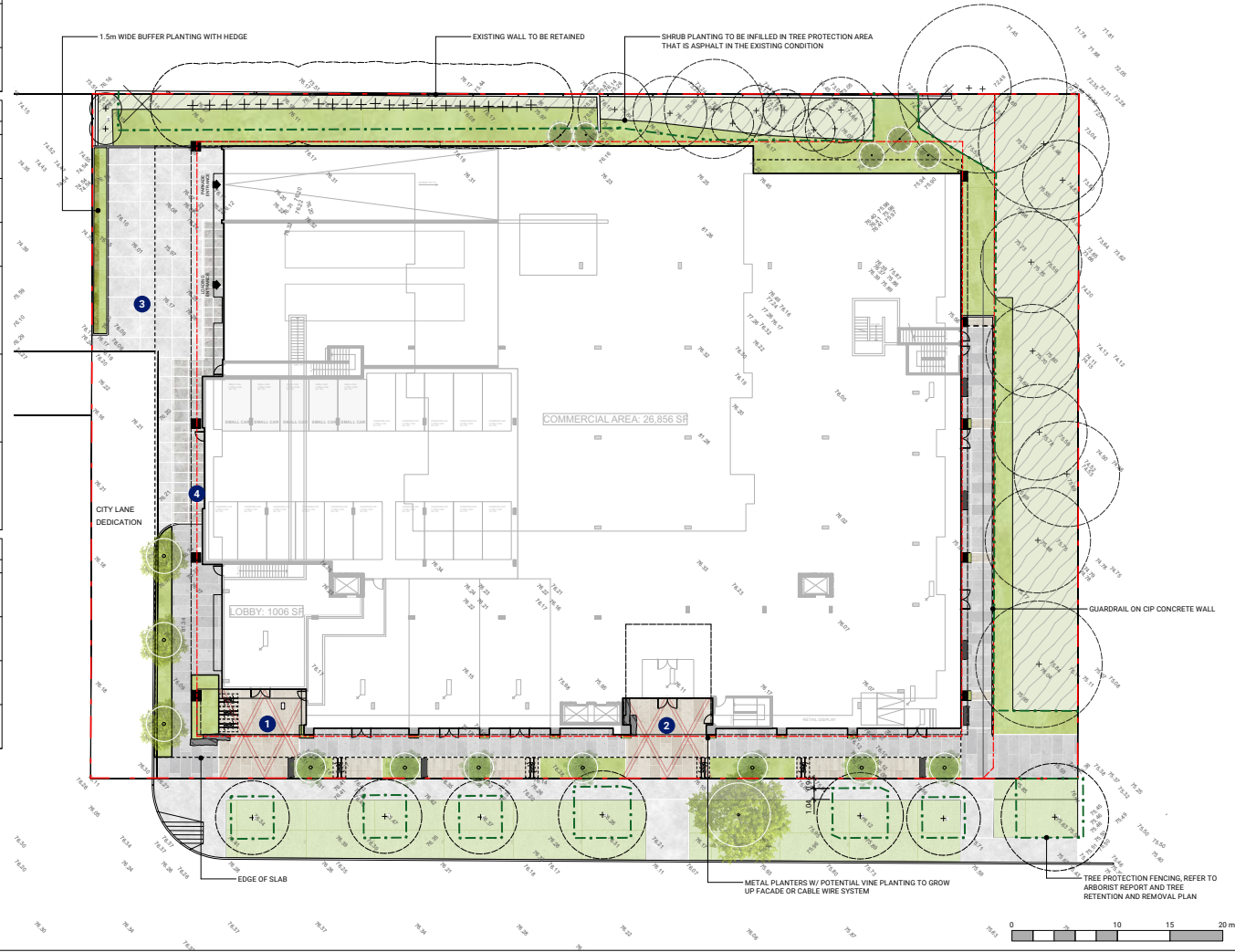
SOFTSCAPE LEGEND	
KEY	DESCRIPTION
	SOD LAWN
	PLANTING
	EXISTING LANDSCAPE TO BE RETAINED
	PROPOSED DECIDUOUS TREE
	EXISTING TREE TO BE RETAINED (REFER TO ARBORIST REPORT)
	EXISTING TREE TO BE REMOVED (REFER TO ARBORIST REPORT)

FURNISHING LEGEND	
KEY	DESCRIPTION
	WOOD-TOPPED BENCH
	BIKE RACK
	METAL PLANTER BOX
	FEATURE STONE SEATING



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LAND DEVELOPMENT		
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REVISIONS		

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SITE PLAN - LEVEL 1

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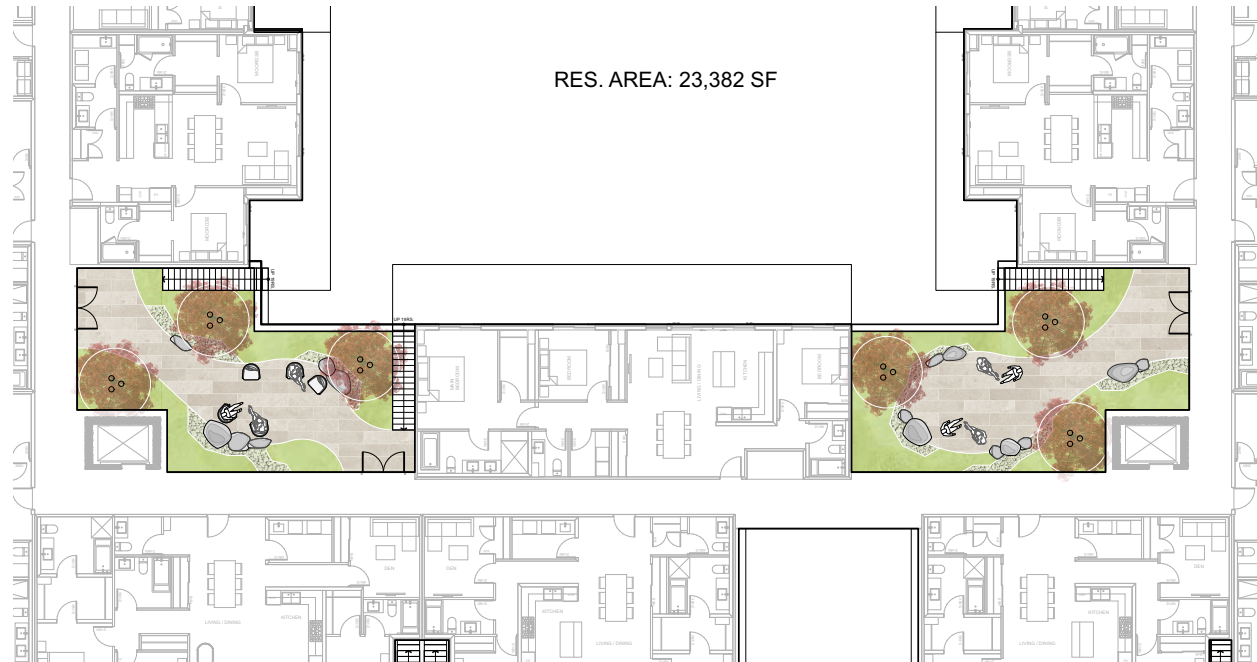


KEYPLAN

PAVING LEGEND	
KEY	DESCRIPTION
	HYDRAPRESSED SLAB PAVERS
	UNIT PAVERS
	UNIT PAVERS
	FLAGSTONE
	WOOD DECK
	RESILIENT RUBBER SURFACE
	STEPSTONES
	GRAVEL DRIP STRIP

SOFTSCAPE LEGEND	
KEY	DESCRIPTION
	PLANTING
	HEDGE
	EXTENSIVE GREEN ROOF
	PROPOSED DECIDUOUS TREE
	PROPOSED CONIFEROUS TREE

FURNISHING LEGEND	
KEY	DESCRIPTION
	WOOD-TOPPED BENCH
	HARVEST TABLE
	HIGH MOVABLE TABLE & CHAIR
	MOVABLE TABLE & CHAIR
	LOUNGE FURNITURE
	FIRE PIT
	KITCHEN COUNTER WITH BBQ & SINK
	HOT TUB / COLD PLUNGE POOL
	BOULDERS
	CATENARY / STRING LIGHTING W/ POSTS



SEAL

4	ISSUED FOR ADP RESUBMISSION	2023-12-22
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LAND DEVELOPMENT		
1	APPLICATION	2023-03-20
REVISIONS		

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SITE PLAN - LEVEL 4

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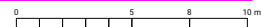
SITE PLAN - ROOF LEVEL



PROGRAM LEGEND	
KEY	DESCRIPTION
1	DINING AREA W/ OUTDOOR KITCHEN & TRELLIS
2	HOT TUB (ALTERNATE TO LOUNGE)
3	LOUNGE AREA (FURNITURE OWNER SUPPLIED)
4	MECHANICAL AREA

PAVING LEGEND	
KEY	DESCRIPTION
	HYDRAPRESSED SLAB PAVERS
	GRAVEL DRIP STRIP

SOFTSCAPE LEGEND	
KEY	DESCRIPTION
	PLANTING
	HEDGE
	EXTENSIVE GREEN ROOF
	PROPOSED DECIDUOUS TREE
	PROPOSED CONIFEROUS TREE



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 - LAND DEVELOPMENT
 - 1 APPLICATION 2023-03-20
- REVISIONS**

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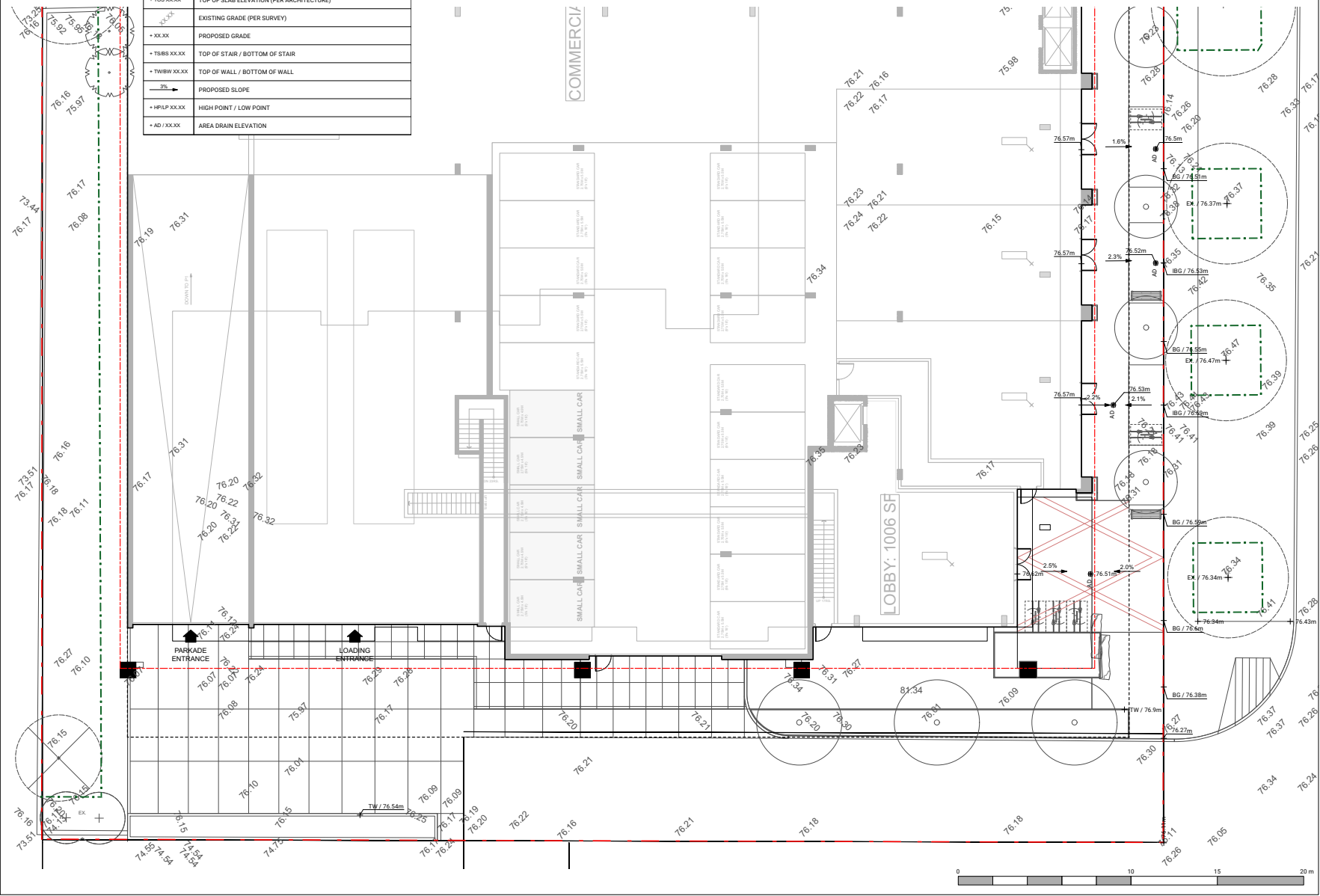
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Scale: 1:100
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Reviewed: OM
Project No. 06-814

**GRADING PLAN - LEVEL 1
SOUTH**

L04.00

KEY	DESCRIPTION
+ BG XX.XX	BUILDING GRADE (PER CIVIL)
+ IBG XX.XX	INTERPOLATED BUILDING GRADE
+ FFE XX.XX	FINISHED FLOOR ELEVATION (PER ARCHITECTURE)
+ TOS XX.XX	TOP OF SLAB ELEVATION (PER ARCHITECTURE)
- EX.XX	EXISTING GRADE (PER SURVEY)
+ XXX.XX	PROPOSED GRADE
+ TSBS XX.XX	TOP OF STAIR / BOTTOM OF STAIR
+ TWBW XX.XX	TOP OF WALL / BOTTOM OF WALL
- 3%	PROPOSED SLOPE
+ HPLP XX.XX	HIGH POINT / LOW POINT
+ AD / XXXX	AREA DRAIN ELEVATION



DATE: 02/20/25 3:37 PM - 001123-D-01-DWG-PLOT-CONNECTION

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LAND DEVELOPMENT		
1	APPLICATION	2023-03-20
REVISIONS		

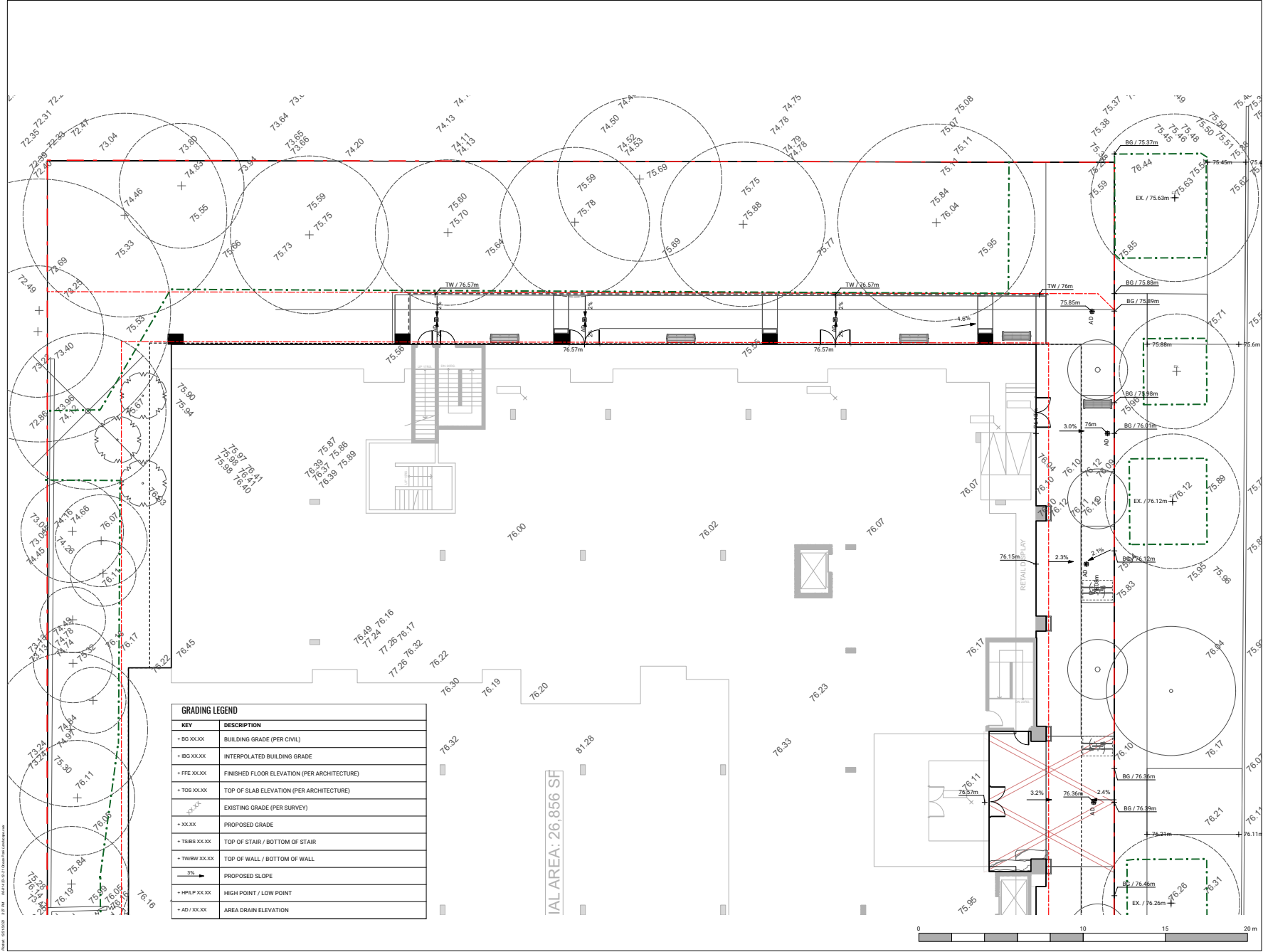
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Drawn:	KML
Reviewed:	OM
Project No.	06-814

GRADING PLAN - LEVEL 1 NORTH

L04.01



GRADING LEGEND	
KEY	DESCRIPTION
+ BG XXXX	BUILDING GRADE (PER CIVIL)
+ BG XXXX	INTERPOLATED BUILDING GRADE
+ FFE XXXX	FINISHED FLOOR ELEVATION (PER ARCHITECTURE)
+ TOS XXXX	TOP OF SLAB ELEVATION (PER ARCHITECTURE)
XXXX	EXISTING GRADE (PER SURVEY)
+ XXXX	PROPOSED GRADE
+ TSBS XXXX	TOP OF STAIR / BOTTOM OF STAIR
+ TWBW XXXX	TOP OF WALL / BOTTOM OF WALL
3%	PROPOSED SLOPE
+ HPLP XXXX	HIGH POINT / LOW POINT
+ AD / XX.XX	AREA DRAIN ELEVATION

IAL AREA: 26.856 SF



L04.01

SOIL LOADING LEGEND

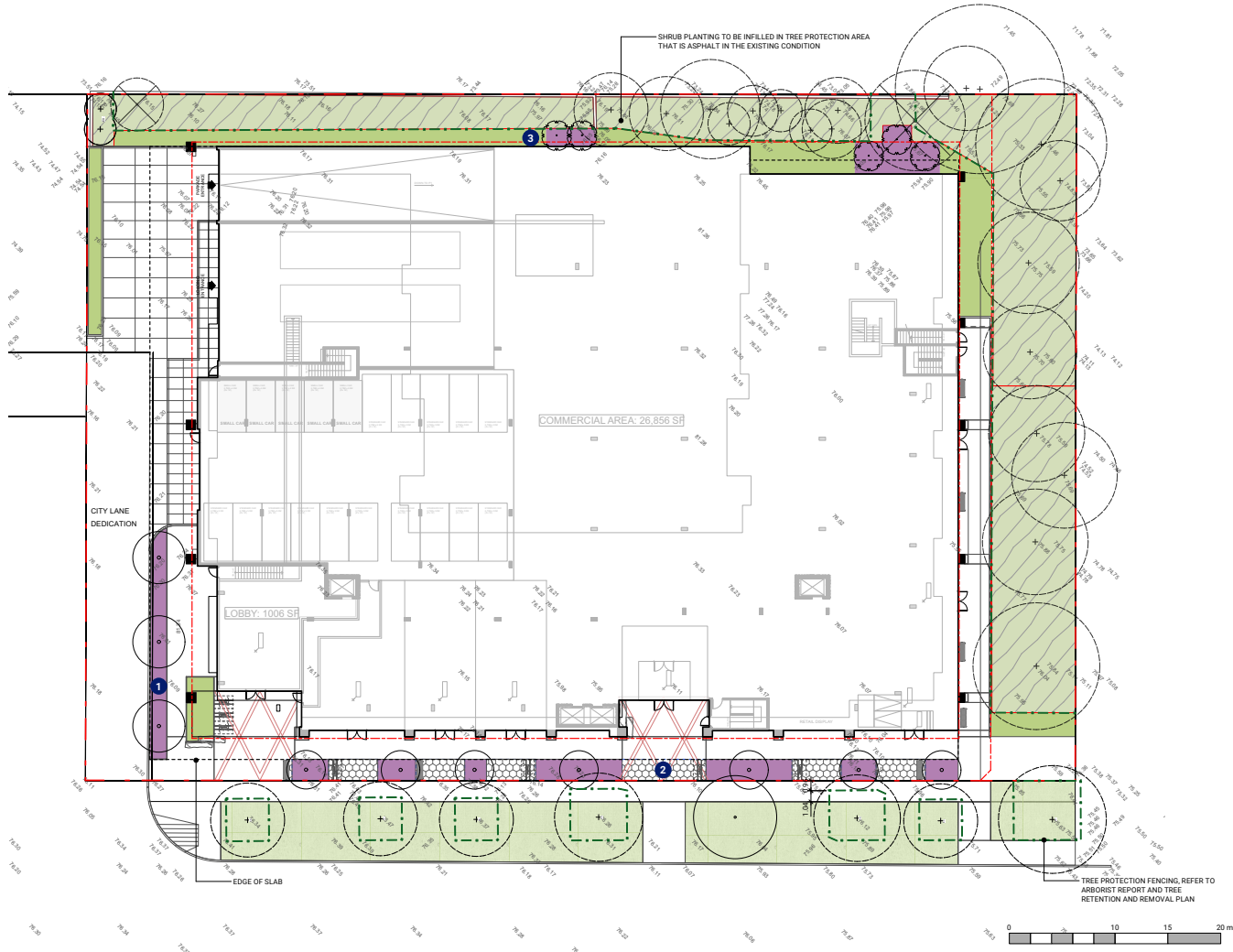
KEY	DESCRIPTION
	200MM DEPTH GROWING MEDIUM
	450MM DEPTH GROWING MEDIUM
	600MM DEPTH GROWING MEDIUM
	900MM DEPTH GROWING MEDIUM
	750MM DEPTH STRUCTURAL SOIL
	BARK MULCH COVERAGE IN TREE PROTECTION ZONE WITH POCKET PLANTING IN SELECT LOCATIONS AS APPROPRIATE WITH TREE ROOTS.

NOTE: MOUNDING OF SOIL IS REQUIRED AT SOME LOCATIONS TO ACHIEVE NECESSARY SOIL DEPTHS.

1	SOIL TYPE & DEPTH	AREA	SOIL VOLUME
	0.9m DEPTH GROW MEDIA	34.7m ²	31.2m ³
	TOTAL	31.2m²	31.2m³
	#TREES	3	
	SOIL VOLUME / TREE	10.4m ³	

2	SOIL TYPE & DEPTH	AREA	SOIL VOLUME
	0.9m DEPTH GROW MEDIA	64.4m ²	58m ³
	0.75m DEPTH STRUCTURAL SOIL	64m ²	12m ³
	TOTAL	70m²	70m³
	#TREES	7	
	SOIL VOLUME / TREE	10m ³	

3	SOIL TYPE & DEPTH	AREA	SOIL VOLUME
	0.45m DEPTH GROW MEDIA	162.9m ²	73.3m ³
	0.9m DEPTH GROW MEDIA	36.6m ²	32.9m ³
	TOTAL	106.2m²	106.2m³
	#TREES	5	
	SOIL VOLUME / TREE	21.24m ³	



KEYPLAN

SEAL

4 ISSUED FOR ADP RESUBMISSION 2023-12-22

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LAND DEVELOPMENT

1 APPLICATION 2023-03-20

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Project No. 06-814

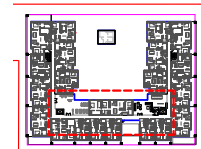
SOILS PLAN - LEVEL 1



L05.00

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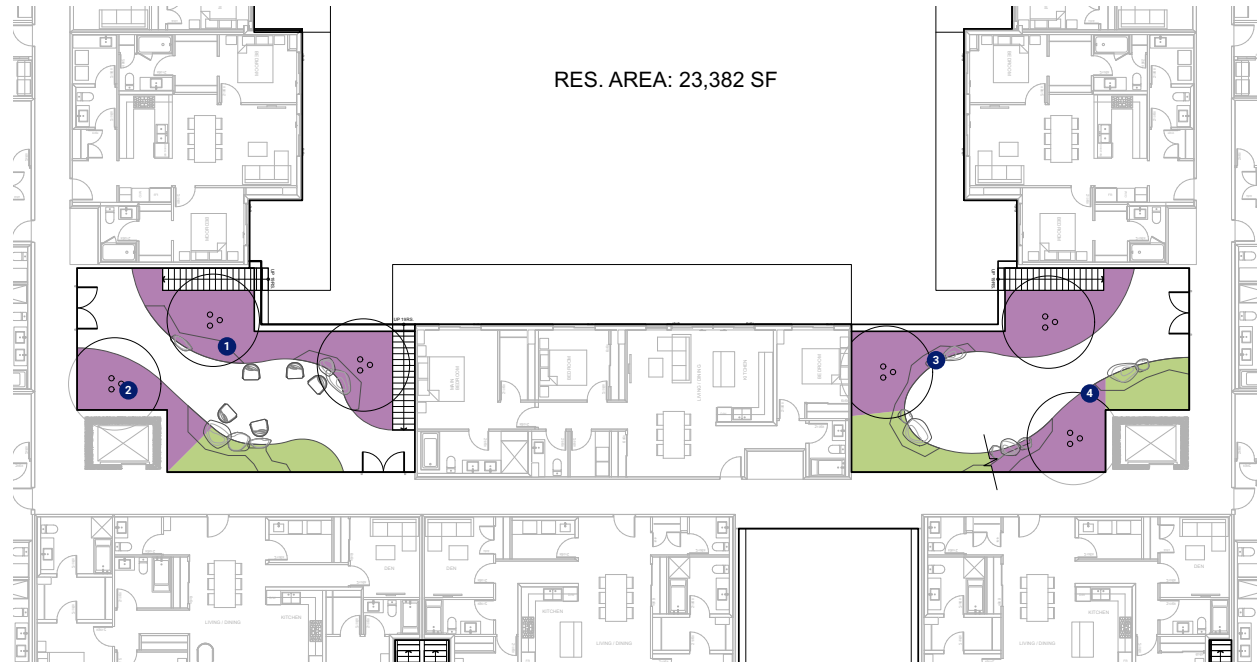
KEYPLAN

SOIL LOADING LEGEND

KEY	DESCRIPTION
	200MM DEPTH GROWING MEDIUM
	450MM DEPTH GROWING MEDIUM
	600MM DEPTH GROWING MEDIUM
	900MM DEPTH GROWING MEDIUM
	750MM DEPTH STRUCTURAL SOIL
	BARK MULCH COVERAGE IN TREE PROTECTION ZONE WITH POCKET PLANTING IN SELECT LOCATIONS AS APPROPRIATE WITH TREE ROOTS.

NOTE: MOUNDING OF SOIL IS REQUIRED AT SOME LOCATIONS TO ACHIEVE NECESSARY SOIL DEPTHS.

	SOIL TYPE & DEPTH	AREA	SOIL VOLUME
1	0.45M DEPTH GROWING MEDIA	0 sq m	0.00 m ³
	0.90M DEPTH GROWING MEDIA	26.87 sq m	24.18 m ³
	TOTAL		24.18 m³
	NO. OF TREES		3
2	0.45M DEPTH GROWING MEDIA	9.3 sq m	4.19 m ³
	0.90M DEPTH GROWING MEDIA	12.1 sq m	10.89 m ³
	TOTAL		15.08 m³
	NO. OF TREES		1
3	0.45M DEPTH GROWING MEDIA	10.05 sq m	4.52 m ³
	0.90M DEPTH GROWING MEDIA	26.88 sq m	24.19 m ³
	TOTAL		28.71 m³
	NO. OF TREES		2
3	0.45M DEPTH GROWING MEDIA	7.19 sq m	3.24 m ³
	0.90M DEPTH GROWING MEDIA	11.43 sq m	10.29 m ³
	TOTAL		13.52 m³
	NO. OF TREES		1
	SOIL VOLUME/TREE		10.29 m ³



SEAL

4	ISSUED FOR ADP RESUBMISSION	2023-12-22
3	ISSUED FOR ADP	2023-09-01
2	CHECK SET DP RESUBMISSION	2023-07-26
	LAND DEVELOPMENT	
1	APPLICATION	2023-03-20

OCEAN PARK

1651 - 1679 128th Street,
South Surrey, British Columbia

Scale:	1:100
Drawn:	KML
Reviewed:	OM
Project No.	06-814

SOILS PLAN - LEVEL 4

PLANT LIST

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing
Trees					
ACa	7	Acer circinatum 'Pacific Fire'	Pacific Fire Vine Maple	3m HL, multistem	as shown
CD-1	6	Calocedrus decurrens	Incense Cedar	3.5m Ht.	as shown
CS	10	Cornus 'Starlight'	Flowering Dogwood	6cm, cal.	as shown
MY	3	Magnolia x brooklynensis 'Yellow Bird'	Yellowbird Magnolia	7cm, cal.	as shown
PP	7	Parrotia persica 'Ruby Vase'	Persian Hornwood	6cm, cal.	as shown
PO	5	Picea omotika	Sesban Spruce	3.5m Ht.	as shown
CoS	1	PROPOSED OFFSITE TREE	TO COS STD.		as shown
SP	7	Stewartia pseudocamellia	Japanese Stewartia	7cm, cal.	as shown
Shrubs					
Ahw	282	Azalea japonica 'Hino White'	Hiro White Azalea	#3 pot	0.6 o.c.
Cyp	407	Ceanothus 'Yankee Point'	California Lilac 'Yankee Point'	#2 pot	0.6 o.c.
Gas	614	Gaultheria shallon	Salal	#1 pot	0.6 o.c.
Haa	40	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#5 pot	0.9 o.c.
Hlg	167	Hydrangea 'Little Gelasia'	Mountain Hydrangea	#3 pot	0.9 o.c.
Lop	130	Lonicera pileata	Privet Honeysuckle	#2 pot	0.6 o.c.
Ma	34	Mahonia aquifolium	Tall Oregon Grape	#3 pot	0.9 o.c.
Rhm	49	Rhododendron macrophyllum	Pacific Rhododendron	#3 pot	1.2 o.c.
Ryp	81	Rhododendron 'Yaku Prince'	Yaku Prince Rhododendron	#2 pot	0.6 o.c.
Ris	36	Ribes sanguineum	Red Flowering Currant	#3 pot	1.2 o.c.
Ron	164	Rosa nutkana	Nootka Rose	#3 pot	0.9 o.c.
Shh	665	Sarcococca hookeriana var. humilis	Sweetbox	#2 pot	0.6 o.c.
Sar	41	Sarcococca nuscifolia	Fragrant Sarcococca-Sweetbox	#3 pot	0.9 o.c.
Tml	735	Taxus x media 'Hilli'	Hilli's Yew	1.5m Ht.	0.6 o.c.
Ferns					
bis	724	Blechnum spicant	Deer Fern	#1 pot	0.45 o.c.
deb	272	Dryopteris erythrosora 'Brilliance'	Autumn Fern	#2 pot	0.6 o.c.
por	612	Polystichum munium	Sword Fern	#2 pot	0.9 o.c.
pos	53	Polystichum setiferum	Soft Field Fern	#1 pot	0.6 o.c.
Ornamental Grasses					
dec	238	Deschampsia cespitosa	Tufted Hair Grass	#1 pot	0.45 o.c.
ima	160	Hakonechloa macra 'Aureola'	Japanese Forest Grass	#1 pot	0.45 o.c.
pah	75	Pennisetum alopecuroides 'Hameln'	Fountain Grass	#1 pot	0.6 o.c.
pk	332	Pennisetum orientale 'Karlsey Rose'	oriental Fountain Grass	#1 pot	0.75 o.c.
Perennials					
---	185	Achillea millefolium	Common Yarrow	#1 pot	0.45 o.c.
ahj	652	Anemone x hybrida 'Honorine Jobert'	Honorine Jobert Japanese Anemone	#1 pot	0.6 o.c.
bmj	484	Brunnera macrophylla 'Jack of Diamond'	Heartleaf Brunnera	#1 pot	0.45 o.c.
egl	33	Echinacea pallida	Pale Purple Coneflower	#1 pot	0.45 o.c.
hg	288	Hosta 'Gaucho'	Hosta	#2 pot	0.6 o.c.
hoj	21	Hosta 'June'	Plantain Lily	#1 pot	0.75 o.c.
hee	25	Hosta sieboldiana 'Elegans'	Plantain Lily	#2 pot	0.75 o.c.
has	35	Hosta 'Sum & Substance'	Plantain Lily	#2 pot	0.9 o.c.
lq	121	Lavandula x intermedia 'Grosso'	Lavender	#1 pot	0.65 o.c.
lbr	143	Ligularia 'Bottle Rocket'	Bottle Rocket	#1 pot	0.6 o.c.
lid	30	Lithodora diffusa	Lithodora	#1 pot	0.3 o.c.
mwl	62	Nepeta racemosa 'Walker's Low'	Catmint	#1 pot	0.6 o.c.
rig	266	Rudbeckia fulgida 'Little Goldstar'	Black-Eyed Susan	#1 pot	0.45 o.c.
tce	160	Tiarela 'Cutting Edge'	Foamfern	#1 pot	0.3 o.c.
Vines					
cta	30	Clematis armandii	Clematis	#3 pot	0.3 o.c.

NOTE
 ● BC NATIVE SPECIES
 ● POLLINATOR/BIRD FRIENDLY

STREETSCAPE MIX



PERENNIAL GRASSLAND MIX



FOREST MIX



PRIVATE PATIO MIX



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KEY PLAN

SEAL

4 ISSUED FOR ADP RESUBMISSION 2023-12-22

3 ISSUED FOR ADP 2023-09-01

2 CHECK SET DP RESUBMISSION 2023-07-26

LAND DEVELOPMENT

1 APPLICATION 2023-03-20

REVISIONS

OCEAN PARK

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 South Surrey, British Columbia

Scale: 1:200

Drawn: KML

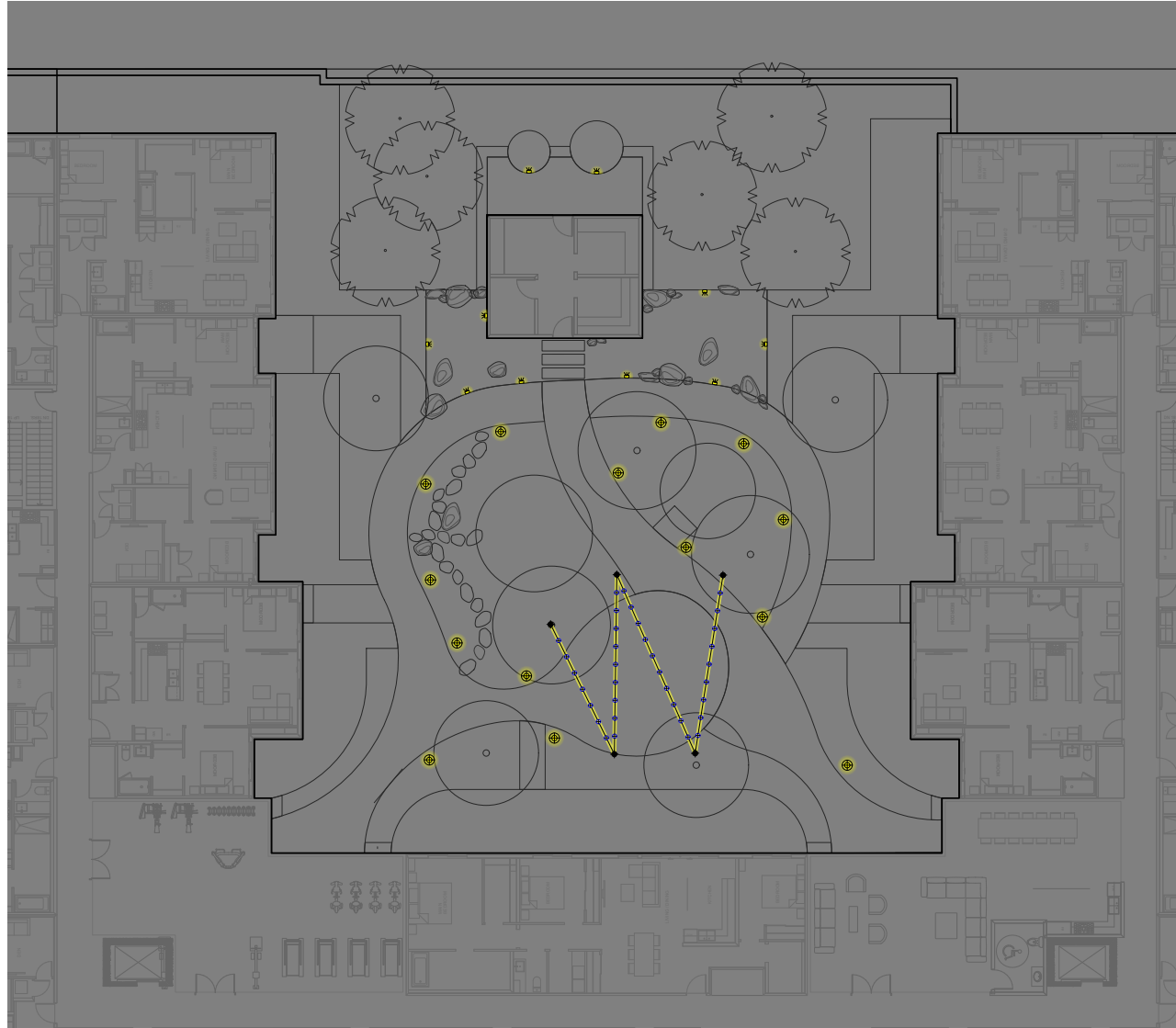
Reviewed: OM

Project No. 06-814

PLANT SCHEDULE

L06.00

SITE LIGHTING	
KEY	DESCRIPTION
	TYPE 1 - BOLLARD
	TYPE 2 - HIGH VISIBLE BOLLARD WITH LIGHT
	TYPE 3 - LINEAR LED STRIP
	TYPE 4 - WALL LIGHT
	TYPE 5 - CATENARY / STRING LIGHTING W/POSTS
	TYPE 6 - UNDERWATER LIGHT



OCEAN PARK

1651 - 1679 128th Street,
South Surrey, British Columbia

Scale: 1:1

Drawn: KML

Reviewed: OM

Project No. 06-814

LIGHTING - LEVEL 2

SITE LIGHTING	
KEY	DESCRIPTION
	TYPE 1 - BOLLARD
	TYPE 2 - HIGH VISIBLE BOLLARD WITH LIGHT
	TYPE 3 - LINEAR LED STRIP
	TYPE 4 - WALL LIGHT
	TYPE 5 - CATENARY / STRING LIGHTING W/POSTS
	TYPE 6 - UNDERWATER LIGHT



OCEAN PARK

1651 - 1679 128th Street,
South Surrey, British Columbia

Scale: 1:1

Drawn: KML







Reviewed: OM

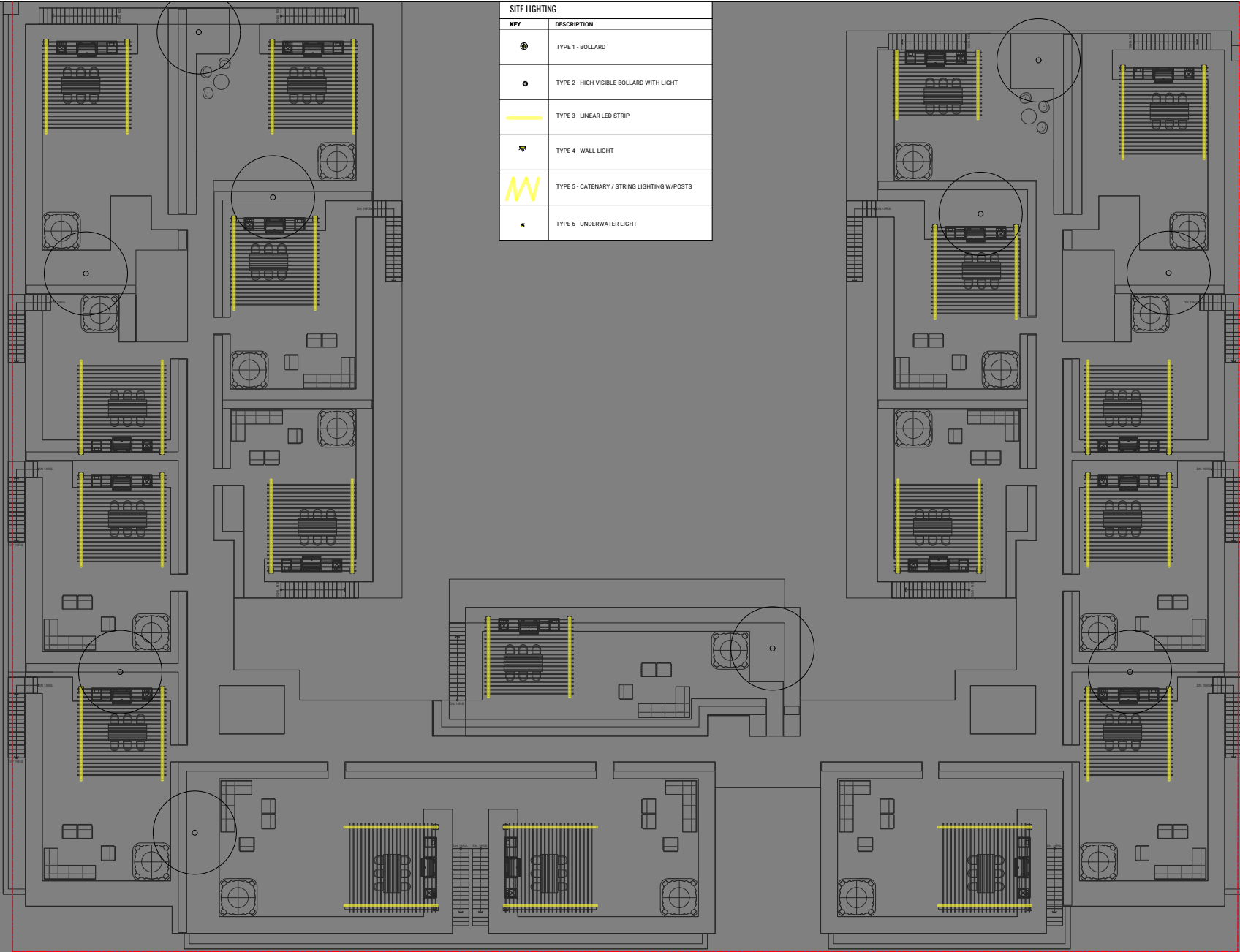
Project No. 06-814

LIGHTING - LEVEL 4

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SITE LIGHTING	
KEY	DESCRIPTION
	TYPE 1 - BOLLARD
	TYPE 2 - HIGH VISIBLE BOLLARD WITH LIGHT
	TYPE 3 - LINEAR LED STRIP
	TYPE 4 - WALL LIGHT
	TYPE 5 - CATENARY / STRING LIGHTING W/POSTS
	TYPE 6 - UNDERWATER LIGHT



KEYPLAN

SEAL

4 ISSUED FOR ADP RESUBMISSION 2023-12-22

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LAND DEVELOPMENT

1 APPLICATION 2023-03-20

REVISIONS

OCEAN PARK

1651 - 1679 128th Street,
South Surrey, British Columbia

Scale: 1:1

Drawn: KML

Reviewed: OM

Project No. 06-814

LIGHTING - ROOF LEVEL

OCEAN PARK

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South Surrey, British Columbia

Scale: AS SHOWN

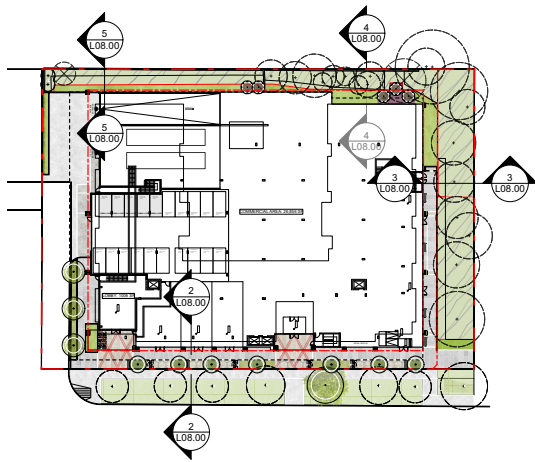
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Reviewed: OM

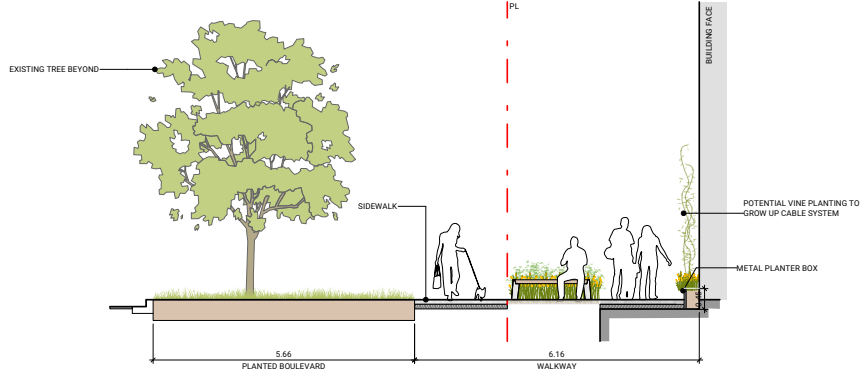
Project No. 06-814

SECTIONS AND
ELEVATIONS

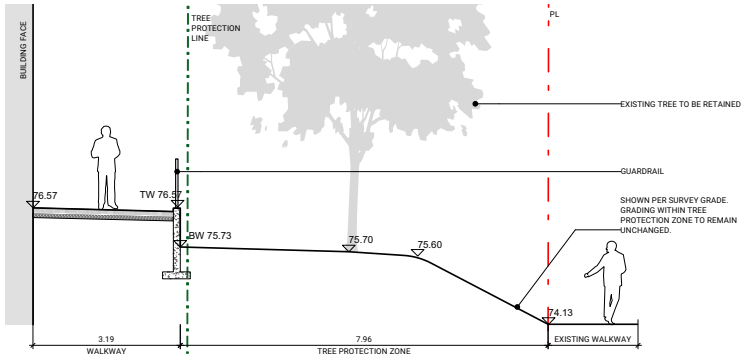
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2 L08.00 Scale: 1:50

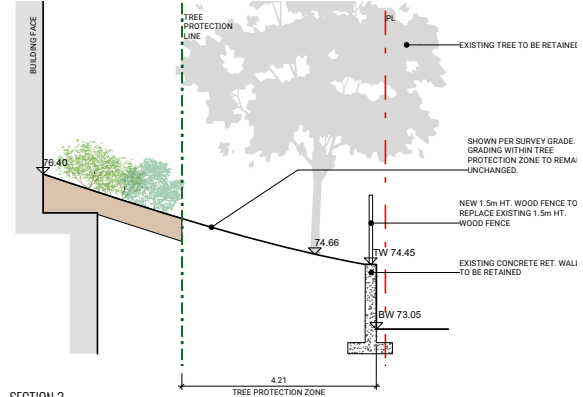


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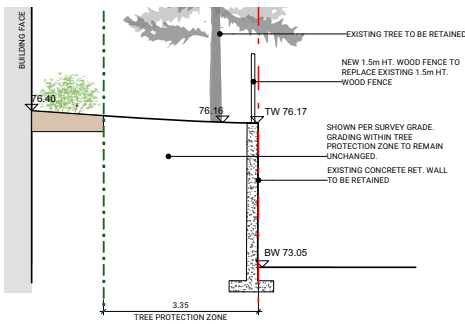


3 L08.00 Scale: 1:50

4 L08.00 Scale: 1:50



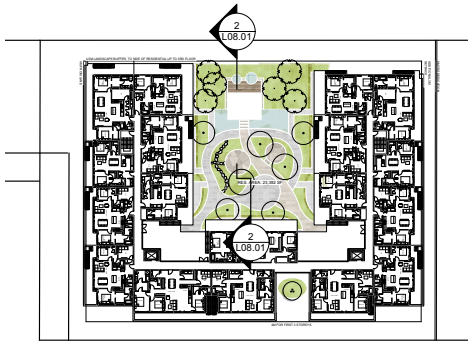
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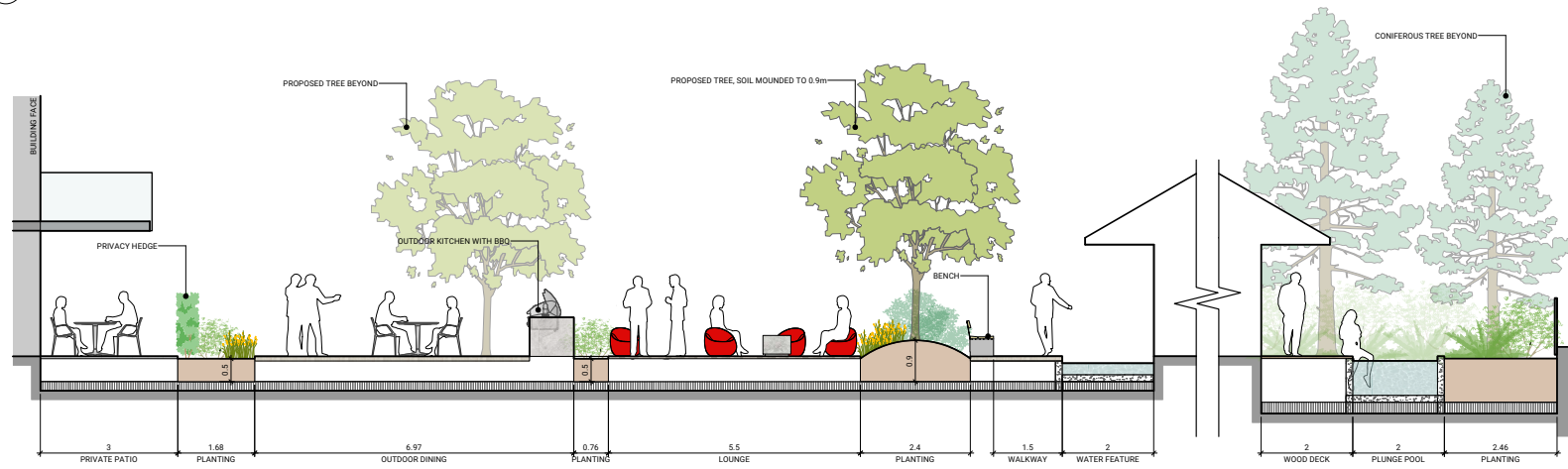
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1
LEVEL 2 KEY PLAN
Scale: 1:500



2
LEVEL 2 - SECTION 1
Scale: 1:50

KEYPLAN

SEAL

4 ISSUED FOR ADP RESUBMISSION 2023-12-22

3 ISSUED FOR ADP 2023-09-01

2 CHECK SET DP RESUBMISSION 2023-07-26

LAND DEVELOPMENT

1 APPLICATION 2023-03-20

REVISIONS

OCEAN PARK

1651 - 1679 128th Street,
South Surrey, British Columbia

Scale: AS SHOWN

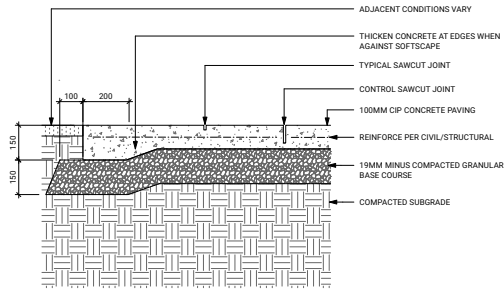
Drawn: KML

Reviewed: OM

Project No. 06-814

SECTIONS AND ELEVATIONS

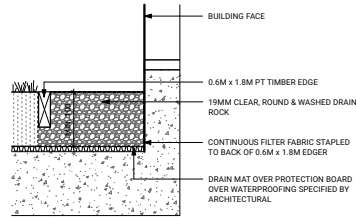
L08.01



NOTES:
1. EXPANSION JOINTS 6M O.C. MAX, CONTROL JOINTS @ 1.5M O.C. UNLESS SHOWN OTHERWISE.
2. ALL JOINTS/SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.
3. REFER TO CITY STANDARDS FOR ALL OFF-SITE CONCRETE FLAT WORKS.

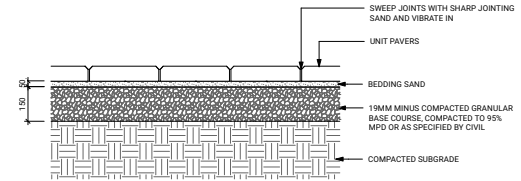
1 TYPICAL CIP CONCRETE - ON GRADE

Scale: 1:10



2 TYPICAL GRAVEL DRIP STRIP - ON SLAB

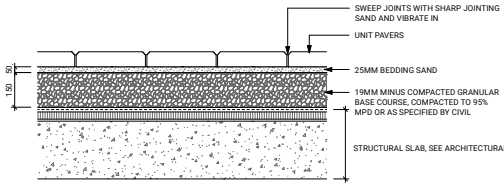
Scale: 1:10



NOTES:
1. USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION

3 TYPICAL UNIT PAVING ON GRADE

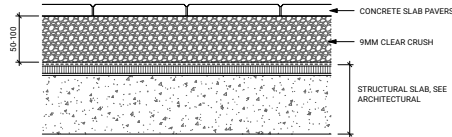
Scale: 1:10



NOTES:
1. USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION

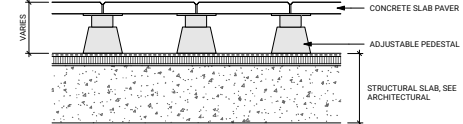
4 TYPICAL UNIT PAVING ON SLAB

Scale: 1:10



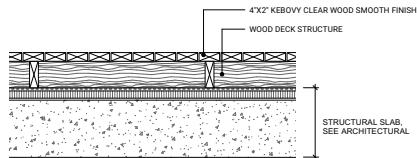
5 SLAB PAVER - ON SLAB

Scale: 1:10



6 TYPICAL SLAB PAVERS - ON INSULATION

Scale: 1:10



7 TYPICAL WOOD DECK - ON SLAB

Scale: 1:10

OCEAN PARK

1651 - 1679 128th Street,
South Surrey, British Columbia

Scale: AS SHOWN

Drawn: KML

Reviewed: OM

Project No. 06-814

DETAILS - HARDSCAPE

MATERIAL COLOR:



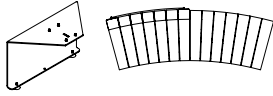
MATERIAL COLOR:



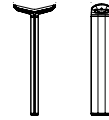
MATERIAL COLOR:



MODEL: PUBLIC BENCHES
STYLE: MULTIPLICITY
SIZE: 24" DEPTH, 95" WIDTH, 33" HEIGHT
MATERIAL: SUPPORT ON POWDERCOAT METAL COLOR STEEL
TOP WOOD IPE
BY: LANDSCAPEFORM



MODEL: PATH LIGHT
STYLE: MULTIPLICITY PATH LIGHT
SIZE: 13 7/8" DEPTH, 6 7/8" WIDTH, 36 3/16" HEIGHT
MATERIAL: POWDERCOAT METAL COLOR STEEL
STAINLESS STEEL BASE PLATE
BY: LANDSCAPEFORM



MODEL: BIKE RACK W/ 2 BIKES CAPACITY
STYLE: RING
SIZE: 11" DEPTH, 35" WIDTH, 27" HEIGHT
MATERIAL: STAINLESS STEEL WITH ELECTROPOLISH FINISH
BY: LANDSCAPEFORM



1 PUBLIC BENCH

2 PATH LIGHT

3 BIKE RACK

MATERIAL COLOR:



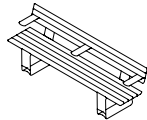
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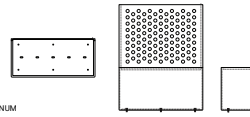
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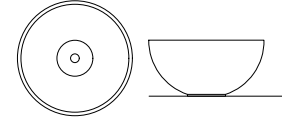
MODEL: CURVED BENCHES
STYLE: LINK
SIZE: 30" DEPTH, 18.25" HEIGHT, LENGTH AND RADIOUS AS POR PLAN
MATERIAL: SUPPORT ON POWDERCOAT METAL COLOR STEEL
TOP WOOD IPE
BY: LANDSCAPEFORM



MODEL: 6' HIGH PLANTER
STYLE: BACKDROP
SIZE: 48" DEPTH, 15" WIDTH, 72" HEIGHT
MATERIAL: POWDER COATED MARINE GRADE ALUMINUM COLOR ALUMINUM
BY: GREEN THEORY



MODEL: FIRE PIT
STYLE: HEMI 36
SIZE: 36" DIAMETER, 17 1/2" HEIGHT
MATERIAL: CONCRETE COLOR SHITAKE
BY: SOLUS

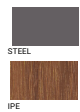


4 CURVED BENCH

5 6' HIGH METAL PLANTER

6 FIRE PIT

MATERIAL COLOR:



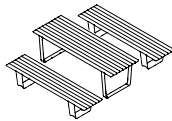
MATERIAL COLOR:



MATERIAL COLOR:



MODEL: TABLE WITH BENCHES
STYLE: MULTIPLICITY TABLE
SIZE: 35" DEPTH, 95" WIDTH, 29" HEIGHT
MATERIAL: POWDERCOAT METAL COLOR STEEL
STAINLESS STEEL BASE PLATE
BY: LANDSCAPEFORM



MODEL: COFFE TABLE W/ CHAIRS W/ARMS
STYLE: CHURMAN
SIZE: 32" DEPTH, 29.25" HEIGHT (TABLE)
22" DEPTH, 24" WIDTH, 33" HEIGHT (CHAIRS W/ARMS)
MATERIAL: POWDERCOAT ALUMINUM COLOR WHITE
BY: LANDSCAPEFORM



MODEL: HIGH TABLE W/ STOOLS
STYLE: CHURMAN
SIZE: 31" DEPTH, 42.25" HEIGHT (TABLE)
19" DEPTH, 22" WIDTH, 35" HEIGHT (STOOL)
MATERIAL: POWDERCOAT ALUMINUM COLOR WHITE
BY: LANDSCAPEFORM



7 TABLE WITH BENCHES

8 COFFE TABLE

9 HIGH TABLE

KEYPLAN

SEAL

4 ISSUED FOR ADP RESUBMISSION 2023-12-22

3 ISSUED FOR ADP 2023-09-01

2 CHECK SET DP RESUBMISSION 2023-07-26

LAND DEVELOPMENT

1 APPLICATION 2023-03-20

REVISIONS

OCEAN PARK

1651 - 1679 128th Street,
South Surrey, British Columbia

Scale: AS SHOWN

Drawn: KML

Reviewed: OM

Project No. 06-814

DETAILS - FURNITURE (1)

INTER-OFFICE MEMO

TO: **Director, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Process Manager, Engineering Department**

DATE: **March 4, 2024** PROJECT FILE: **7823-0096-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 1651 128 Street**

OCP AMENDMENT/DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the OCP Amendment/Development Permit, except for the requirements listed below.

REZONE

Property and Right-of-Way Requirements

- Dedicate 6.0 m for the Lane along the south side of the site.
- Dedicate 3 m x 3 m corner cut at the Lane and 128 Street intersection.
- Dedicate 8.0 m road allowance for the Walkway along the north property line of the site.
- Register 0.5 m SRW on 128 Street for sidewalk maintenance.

Works and Services

- Construct 1.8 m concrete sidewalk along 128 Street.
- Construct the Lane.
- Confirm adequacy of existing infrastructure for the Walkway. Upgrade as required.
- Confirm available downstream storm system capacity up to the nearest trunk storm sewer; upgrade any undersized local storm sewers as determined through design.
- Construct storm system for the proposed development, including Lane and Walkway.
- Provide onsite sustainable drainage works as per the Ocean Bluff and Chantrell Creek Integrated Stormwater Management Plan and provide onsite water quality treatment.
- Construct minimum 250 mm sanitary sewer main along 128 Street.
- Construct adequately-sized storm and sanitary service connections.
- Construct adequately-sized metered water service connection with backflow preventers.

A Servicing Agreement is required prior to Rezone.



Daniel Sohn, P.Eng.
Development Process Manager

IK₁



Department: **Planning and Demographics**
 Date: **February 15, 2024**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23 0096 00**

The proposed development of **60** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	8
---	---

Projected Number of Students From This Development In:	
Elementary School =	5
Secondary School =	2
Total Students =	7

Current Enrolment and Capacities:	
Ocean Cliff Elementary	
Enrolment	310
Operating Capacity	317
# of Portables	2
Elgin Park Secondary	
Enrolment	1379
Operating Capacity	1200
# of Portables	4

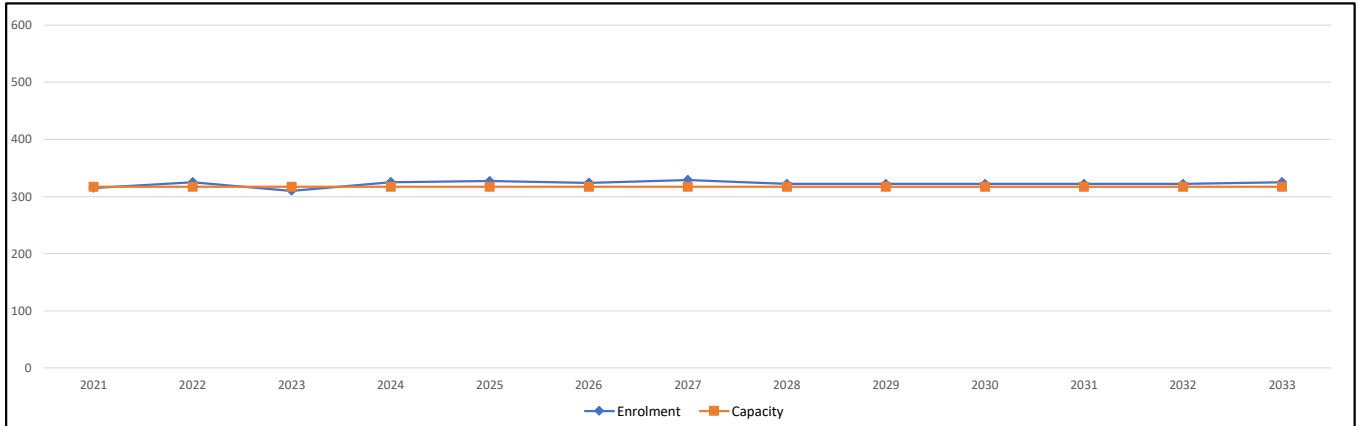
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

Ocean Cliff Elementary enrollment projections are indicating that over the next 10 years, the school will remain steady. Any unexpected enrolment growth will be managed by two to three portables in the short term. There are no current plans to expand the existing school.

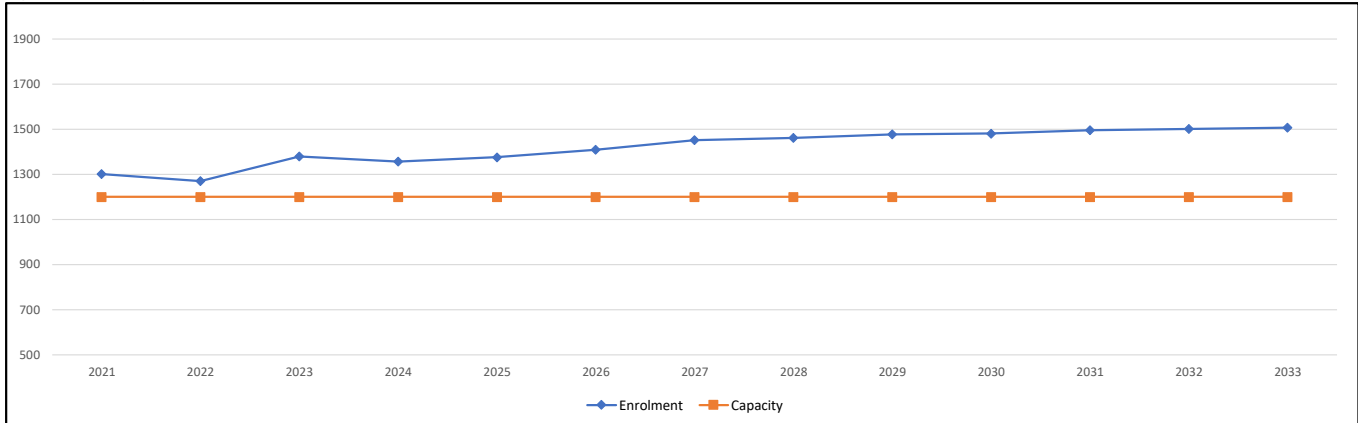
A new 1500 capacity high school, Grandview Heights Secondary, opened in September 2021 which has provided enrolment relief in the South Surrey/White Rock community. Because of boundary changes to the three existing secondary schools on the peninsula, Elgin Park's growth trend is anticipated to modestly grow to 1500 and remain at that enrolment level over the next 10 years. There are no current plans to expand the existing high school.

Ocean Cliff Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Elgin Park Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

4.0 Tree Preservation Summary

Table 2: City of Surrey tree preservation summary table for on-site and off-site trees, including the number of replacement trees proposed.

Surrey Project Number

Site Address 1651-1679 128th Street Surrey, BC

Registered Arborist Cody Laschowski

On-Site Trees	Number of Trees
Protected Trees Identified (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	33
Protected Trees to be Removed	3
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	30
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 3 X two (2) = 6	6
Replacement Trees Proposed	45
Replacement Trees in Deficit	-39
Protected Trees to be Retained in Proposed Open Space / Riparian Areas	-

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

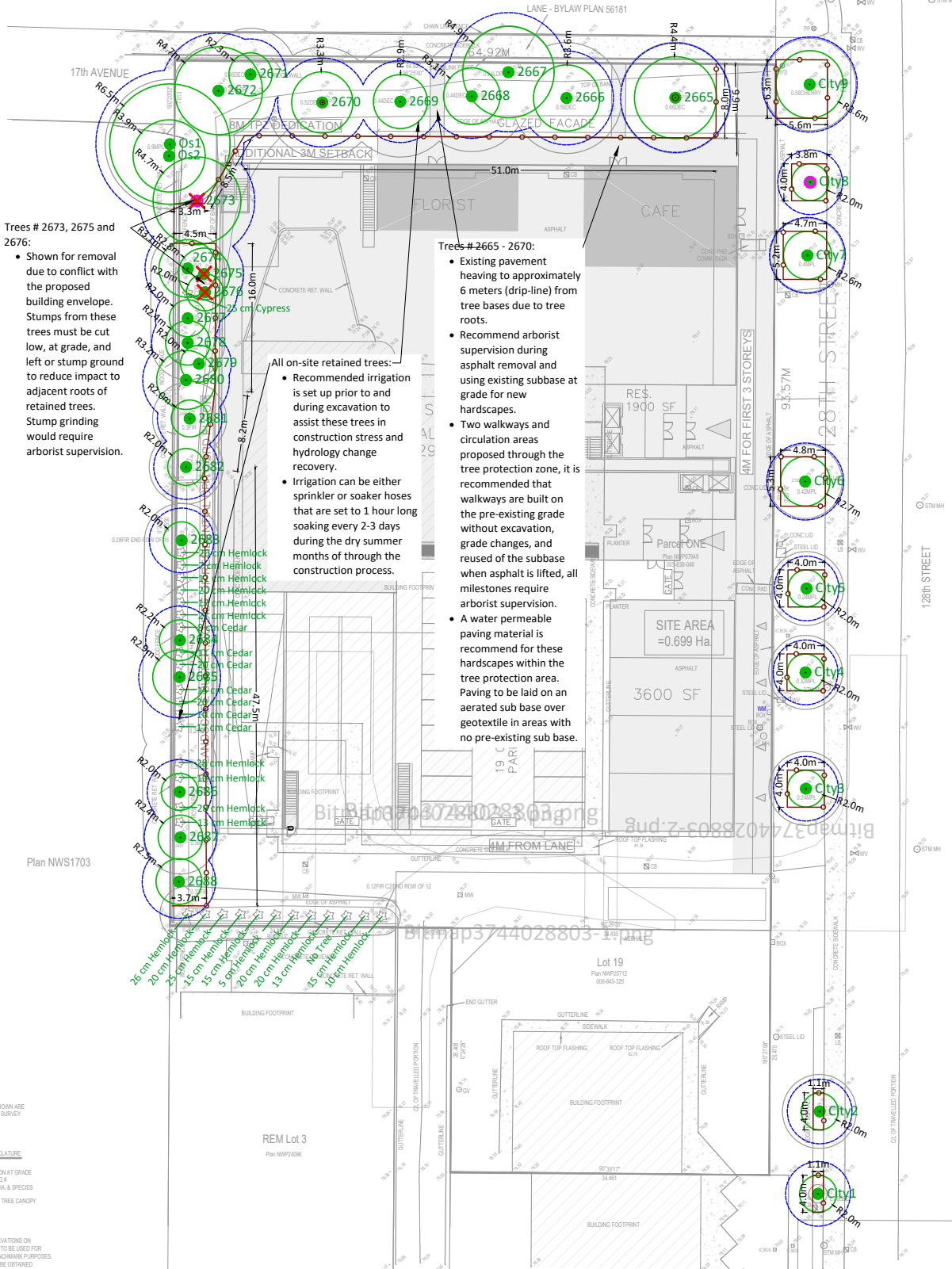
Summary, report and plan prepared and submitted by



Signature of Arborist

August 23, 2022

Date



Trees # 2673, 2675 and 2676:

- Shown for removal due to conflict with the proposed building envelope. Stumps from these trees must be cut low, at grade, and left or stump ground to adjacent roots of retained trees. Stump grinding would require arborist supervision.

Trees # 2665 - 2670:

- Existing pavement heaving to approximately 6 meters (drip-line) from tree bases due to tree roots.
- Recommend arborist supervision during construction and using existing subbase at grade for new hardscapes.
- Two walkways and circulation areas proposed through the tree protection zone, it is recommended that walkways are built on the pre-existing grade without excavation, grade changes, and reuse of the subbase when asphalt is lifted, all milestones require arborist supervision.
- A water permeable paving material is recommend for these hardscapes within the tree protection area. Paving to be laid on an aerated sub base over geotextile in areas with no pre-existing sub base.

All on-site retained trees:

- Recommended irrigation is set up prior to and during excavation to assist these trees in construction stress and hydrology change recovery.
- Irrigation can be either sprinkler or soaker hoses that are set to 1 hour long soaking every 2-3 days during the dry summer months of through the construction process.

LOT DIMENSIONS SHOWN ARE BASED ON GROUND SURVEY

TREE NOMENCLATURE

- ELEVATION AT GRADE
- TREE TAG #
- TRUNK DIA. & SPECIES
- APPROX. TREE CANOPY

NOTE - GROUND ELEVATIONS ON THIS PLAN ARE NOT TO BE USED FOR CONSTRUCTION BENCHMARK PURPOSES. A BENCHMARK MAY BE OBTAINED

LEGEND		REFERENCE DRAWINGS	
	TREE PROTECTION ZONE	1.	Base Survey by: Olsen and Associates dated December 4, 2020
	TREE PROTECTION FENCE	6.	This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provided by the owners' Engineer (P Eng).
	NO-BUILD ZONE	7.	This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.
	TREE TO BE RETAINED		
	TREE TO BE REMOVED		

NOTES

- The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
- All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
- The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (If the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
- Any construction activities or grade changes within the Root Protection Zone must be approved by the project arborist.



3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886 | F 604.733.4879

Drawing title: Tree Retention and Removal Plan (Preliminary)
Project address: 1651 1679 128th Street, Surrey
Client: Cressey

Drawing No: 001
Date: 2022/08/23
Drawn by: CL
Page Size: TABLOID 11"x17"

Page #
1 of 1



17A Ave

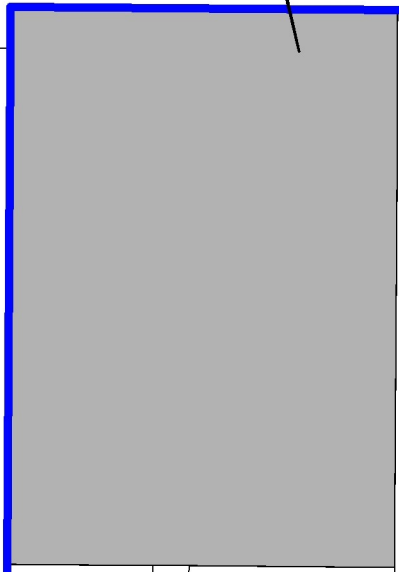
“Amendment to allow for an FAR of 1.7 within the Commercial land use designation”

MR

128 St

17 Ave

URB



COM

16 Ave



YAMAMOTO ARCHITECTURE

1651 – 1679 128th Street
ADP-7923-0096-00

ADP Responses

Blue – Cressey (Ocean Park) Development
Green – Landscape (Connect Landscape Architecture)
Red – Architect (Yamamoto Architecture)

ADVISORY DESIGN PANEL STATEMENT OF REVIEW KEY POINTS:

Consider consolidating the two outdoor amenity spaces	<i>The two outdoor amenity spaces on Level 4 are strategically located to bring natural light and access to the outdoors adjacent to the residential elevators. This will provide more opportunities for residents to enjoy the outdoor space and natural light on a daily basis. The two individual rooms also provide more flexibility for different users to be occupying the different spaces at the same time.</i>
Provide better access to the central courtyard	<i>The pathways leading to the central courtyard have been widened, and planters flanking the walkway re-configured to improve sight-lines and connectivity.</i>
Introduce wood elements to soften the building facade	<i>Wood elements are present within the soffits of the main building entries. In the residential lobby, the wood soffit material will continue inside the lobby to create more warmth at pedestrian level, where it will have the greatest impact.</i>
Reinforce the design at the commercial entries	<i>We have increased the depth of the main canopy over the 128th primary entry and added planting, with a tree, on top of the canopy to be maintained through access in the interior residential corridor. The same wood soffit is used here to reinforce the wood element in the residential canopy soffit.</i>
Consider sustainability measurements throughout the project	<i>The building is designed around passive design principles, including the provision of planted roof areas to manage stormwater, large overhangs to minimize solar gain, and a simple building form. Areas of glazing are strategically located along the central corridor to maximize natural light and reduce reliance on light fixtures. The mixed-use nature of the project maximizes the use of the property and provides jobs and a vibrant community. The project improves sidewalk networks and will encourage pedestrian use. Planting is selected to be native, drought tolerant species wherever possible. A substantial amount of existing trees are retained.</i>
Review and ensure sufficient soil depth is provided along west elevation	<i>Sufficient soil depth provided along west elevation for planting.</i>

FORM AND CHARACTER:

<p>Consider adding weather protection on outdoor amenity space</p>	<p><i>The level 4 outdoor amenity spaces have been improved with a 6' overhang along the eastern edge of the building. One goal of these outdoor amenity spaces is to maximize natural light to the interior corridors. The main courtyard space is flanked by balconies, and the open space has been maximized in order to provide the largest possible space for planting and landscaping.</i></p>
<p>Consider the soft elements of the landscape material and bringing it into the building</p>	<p><i>Landscaping and planting is brought into the building in significant ways, and in several locations. Beyond the main courtyard, planted areas are provided above main entry canopies, and within the level four outdoor amenity spaces.</i></p>
<p>Consider extending the primary commercial entrance canopy to improve visibility and primacy of commercial entrance</p>	<p><i>Primary commercial entrance canopy has been extended to project 8' beyond the face of the storefronts on either side.</i></p>
<p>Canopy design revision to improve weather protection along eastern frontage</p>	<p><i>The canopy design is meant to emphasize the brick piers that connect the lower levels of the building to the upper residential levels. The proposed canopy design will incorporate panels of glass that span in front of the piers so that the pier expression is maintained, while continuous weather protection is provided.</i></p>
<p>Design revision to improving canopy cover at level 4 balconies (residents would value weather protected outdoor space).</p>	<p><i>The soffit overhang on level 4 has been increased to provide additional weather protection, also noting these residents will have access to roof top terraces that could, if desired, include trellis coverings for additional weather protection.</i></p>
<p>Additional articulation or expression of west façade to help soften the edge against the existing development</p>	<p><i>The west façade will be largely un-seen for neighbours to the west, given the change in grade and the existing retaining wall along the western property line. In addition, planting along the west setback will further screen this wall. Aside from these measures, the pier expression will be carried through this elevation through concrete reveals and colour.</i></p>

LANDSCAPE REVIEW:

<p>Provide more detailed planting plans at the next stage</p>	<p><i>Detailed planting plans provided.</i></p>
<p>Coordinate requirements for building foundations with the contractor and project team regarding to retaining existing trees</p>	<p><i>Foundation requirements coordinated with Arborist.</i></p>
<p>Provide covered, all-weather protection in the landscape package, particularly on level four</p>	<p><i>The level 4 outdoor amenity spaces have been improved with a 6' overhang along the eastern edge of the building. One goal of these outdoor amenity spaces is to maximize natural light to the interior corridors. The main courtyard space is flanked by balconies, and the open space has been maximized in order to provide the largest possible space for planting and landscaping.</i></p>

CPTED:

<p>Provide lighting along west façade to improve security without disturbing adjacent neighbors</p>	<p><i>Downlighting provided along west façade to provide visibility and security while minimizing glare to neighbouring homes.</i></p>
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SUSTAINABILITY:

<p>Energy modelling to future climate data (2050-2080) to account for shock events, and to inform fenestration layouts, natural ventilation, passive cooling strategies on different facades</p>	<p><i>The building has been designed to combine large overhangs with ample glazing in order to maximize views and solar gain in winter months. Overhangs in the form of balconies provide shading and passive cooling. Units are wide and shallow in depth, ensuring all spaces are well lit and in proximity to operable windows and doors. The building will be modeled to future climate data 2050 – 2080.</i></p>
<p>Inclusion of renewable energy roof surfaces</p>	<p><i>The roof areas are primarily programmed as private terrace space associated with units below, there is no roof area that is unutilized for either elevator and building equipment or residents terraces.</i></p>
<p>Use slag or fly ash into the structural concrete to reduce embodied carbon</p>	<p><i>Out intention working with structural engineer and concrete supplier is to use fly ash or slag in the concrete structure depending on local availability.</i></p>
<p>Consider collecting rainwater from amenity buildings for re-use as irrigation on sites</p>	<p><i>We are investigating the feasibility of rainwater collection and re-use for both the small water feature on level 2 and/or landscape irrigation.</i></p>