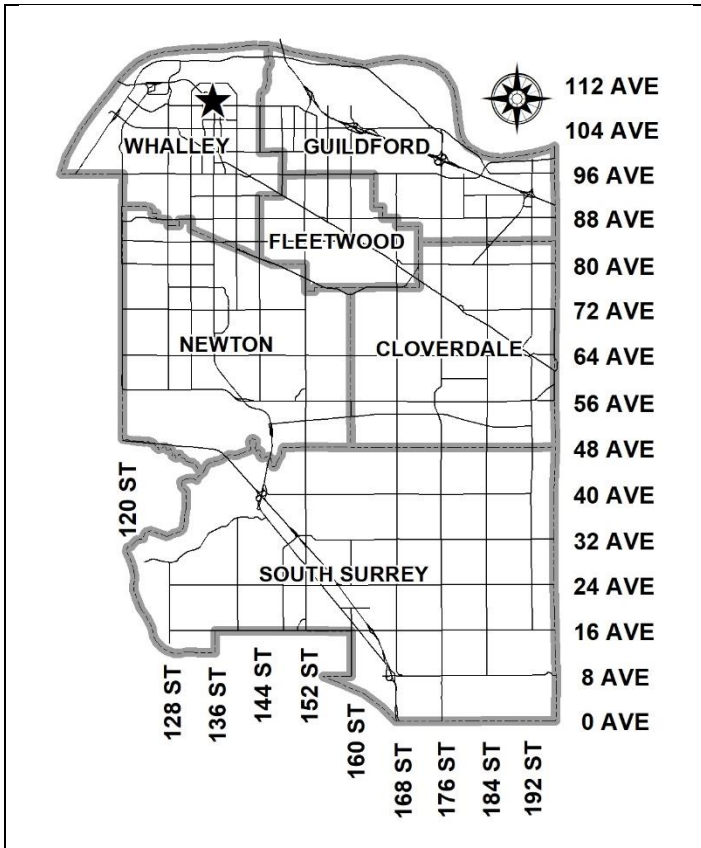


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7923-0303-00

Planning Report Date: February 26, 2024



**PROPOSAL:**

- **Rezoning** from C-8 to CD
- **Development Permit**

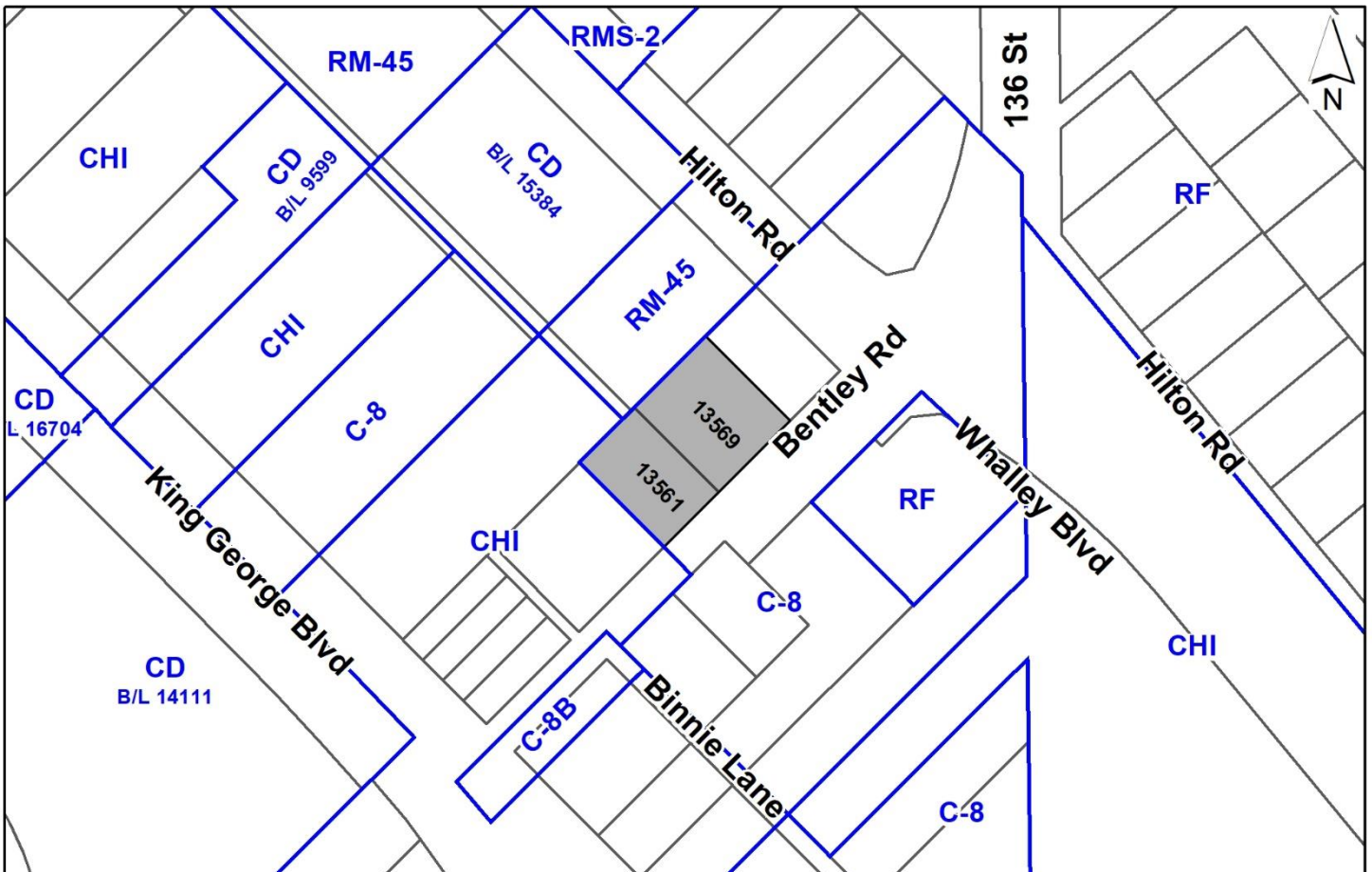
to permit the development of a 6-storey modular apartment building with 60 supportive housing units, and ancillary support services.

**LOCATION:** 13561 Bentley Road  
 13569 Bentley Road

**ZONING:** C-8

**OCP DESIGNATION:** Multiple Residential

**CITY CENTRE PLAN DESIGNATION:** Low to Mid Rise Residential



## RECOMMENDATION SUMMARY

- Rezoning Bylaw to proceed to Public Notification. If supported the By-law will be brought forward for First, Second and Third Reading.
- Approval to draft Development Permit for Form and Character.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

## RATIONALE OF RECOMMENDATION

- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not permitted for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The proposed supportive housing units will provide a significant community benefit to the area and will allow for the rapid delivery of urgent housing under the Rapid Housing Initiative (RHI).
- The proposal is consistent with a number of City policies, including the Sustainability Charter 2.0 (Inclusion Theme), Surrey's Plan for the Social Well-being of Surrey Residents, OCP Section F3 (Affordable Housing), and the Master Plan for Housing the Homeless in Surrey.
- The subject site is located within the City Centre Plan area and its services, amenities, and transit.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the subject site from "Community Commercial Zone (C-8)" to "Comprehensive Development Zone (CD)".
2. Council authorize staff to draft Development Permit No. 7923-0303-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect; and
  - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	CCP Designation	Existing Zone
Subject Site	Vacant lots	Low to Mid Rise Residential	C-8
Northeast:	1-storey commercial building	Low to Mid Rise Residential	C-8
Northwest:	3-storey apartment building	Low to Mid Rise Residential	RM-45
Southeast (Across Bentley Road):	Vacant lots	Mid to High Rise Mixed Use	C-8 & RF
Southwest:	2-storey automotive repair centre	Low to Mid Rise Residential	CHI

## Context & Background

### Rapid Housing Initiative

- In October of 2020, the Government of Canada, through the Canadian Mortgage and Housing Corporation (CMHC), launched the Rapid Housing Initiative (RHI) to help address the urgent housing needs of vulnerable people through the rapid construction of affordable housing.
- In November of 2020, CMHC awarded the City of Surrey \$16.2 million to develop a 44-unit modular supportive housing project in Newton for women experiencing homelessness. This project, which is to be operated by Atira Women's Resource Society Housing Society, was completed in July 2022.
- On October 29, 2021, CMHC awarded the City of Surrey a second RHI grant for \$13.8 million to develop a 30-unit modular supportive housing project for youth transitioning out of government care. The housing is proposed to be located on a portion of City properties located at 13102 – 112A Avenue and 13105 – 112 Avenue and is under construction, with occupancy anticipated April 1, 2024.
- These RHI projects respond to two of the four priority population groups (women and youth) identified as being in need of supportive housing in the Master Plan for Housing the Homeless in Surrey.
- On November 10, 2022, a third round of RHI funding was announced and the City of Surrey was allocated \$11.3 million to develop a minimum of 23 units of new permanent affordable housing. Subsequently, BC Housing confirmed capital funding of \$17.5 million, which when combined with the \$11.3 million received from CMHC, will cover the costs to construct a 6-storey modular supportive housing building on the City-owned properties at 13561 and 13569 Bentley Road (the subject site).

### Site Context

- The subject site is a 1,393 square metre site, consisting of 2 City-owned properties, located to the northeast of King George Boulevard in the Gateway District of Surrey City Centre.
- The subject site is designated Multiple Residential in the Official Community Plan (OCP), 'Residential Low to Mid Rise up to 2.5 FAR' in the City Centre Plan and is zoned "Community Commercial Zone (C-8)".

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant has submitted a development application that would permit supportive housing units to be located on the subject site within a 6-storey modular apartment building, along with additional support services.

- The applicant proposes the following in order to accommodate 60 supportive housing units:
  - Rezoning from "Community Commercial Zone (C-8)" to "Comprehensive Development Zone (CD)";
  - Lot consolidation; and
  - Development Permit for Form and Character.
- The following table provides specific details of the proposal:

	Proposed
<b>Lot Area</b>	
Gross Site Area:	1,393 square metres
Road Dedication:	405 square metres
Net Site Area:	988 square metres
<b>Number of Lots:</b>	2
<b>Building Height:</b>	6 storeys (22 metres)
<b>Floor Area Ratio (FAR):</b>	3.60 (net) / 2.52 (gross)
<b>Floor Area:</b>	3,513 square metres
<b>Residential Units:</b>	
Studio:	60
Total:	60

## Referrals

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
- Parks, Recreation & Culture: The Parks, Recreation & Culture Department has no concerns. Future active parkland is proposed within 550 metres walking distance of the development as part of the City Centre Plan. 11C – Greenbelt is the closest natural area parkland.
- Surrey Fire Department: The Surrey Fire Department has no concerns but has identified items to be addressed with the submission of the Building Permit.

## Residents and Programming

- The RHI project will provide 60 units of safe, supportive and affordable housing in the City Centre area for people experiencing or at risk of homelessness.
- The building will include a commercial kitchen, dining room, communal laundry rooms, tenant support/counselling rooms, staff offices, and resident lounges.
- The project will replace the temporary, 60-unit Safe Sleep housing project located at 13425 – 107A Avenue on privately-leased land awaiting redevelopment. BC Housing has committed to covering the operating costs of the proposed project. BC Housing will contract with Surrey Urban Mission Society ("SUMS") to operate the proposed housing project.

## Transportation Considerations

- The applicant will be providing the following improvements to support the proposal:
  - Dedication and construction of the north side of Bentley Road with a sidewalk, cycle track, boulevard, and pavement maintaining two-way travel; and
  - Dedication and construction of a new lane along the southwest side of the subject site, ultimately planned as a green lane connection to service future potential development to the north.
- Based on the subject proposal, it is anticipated that the vehicle ownership and site-generated trips will be minimal. The proposal is well below the City's threshold for requiring a site-specific transportation impact assessment.
- Access and parking for the subject site is proposed via the new lane along the southwest property line.

## Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## POLICY & BY-LAW CONSIDERATIONS

### Regional Growth Strategy

- The proposal complies with the "General Urban" designation of the subject site under the Metro Vancouver Regional Growth Strategy (RGS).

### Official Community Plan

#### Land Use Designation

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).

#### Themes/Policies

- The proposal is consistent with a number of City policies, including the Sustainability Charter 2.0 (Inclusion Theme), Surrey's Plan for the Social Well-being of Surrey Residents, OCP Section F3 (Affordable Housing), and the Master Plan for Housing the Homeless in Surrey.

### Secondary Plans

#### Land Use Designation

- The proposal complies with the Low to Mid Rise Residential designation in the City Centre Plan.

### Themes/Objectives

- The proposed development is consistent with the following guiding principles in the City Centre Plan:
  - Encourage Housing Diversity: by providing a variety of housing types and tenures including supportive and social housing.

### CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed 6-storey supportive modular housing building on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)" and the "Special Care Housing 1 Zone (RMS-1)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone, RMS-1 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	RMS-1 Zone (Part 28)	Proposed CD Zone
<b>Floor Area Ratio:</b>	1.50	0.5	3.60
<b>Lot Coverage:</b>	33%	25%	64%
<b>Yards and Setbacks</b>	7.5 metres	7.5 metres	Northeast: 1.5 metres Southeast: 2.5 metres Southwest: 0.0 metres Northwest: 2.5 metres
<b>Principal Building Height:</b>	50 metres	9 metres	22 metres
<b>Permitted Uses:</b>	Multiple unit residential buildings	Care facilities; personal service uses limited to barbershops and hair salons; child care centres; offices; eating establishment; and, convenience store	Multiple unit residential buildings, care facilities, community services and offices.
<b>Parking (Part 5)</b>		<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>			
Office:			2
Residential:		39	0
Residential Visitor:		6	0
Total:		45	2
<b>Bicycle Spaces</b>			
Residential Secure Parking:		72	0
Residential Visitor:		6	6

- The proposed uses are appropriate for the site as they reflect the services that will be required to support the residents in the proposed new modular apartment building.
- If calculated based on gross site area, the floor area ratio (FAR) is 2.50 which complies with the maximum permitted 2.50 FAR for "Multiple Residential" designated properties in the OCP, in select areas, and the Residential Low to Mid Rise up to 2.5 FAR designation in the City Centre Plan. If calculated on the net site area, the FAR is 3.60. As a result, the FAR for the net site area has been increased from 1.50 under the RM-70 Zone to a maximum of 3.60 (net) in the CD Bylaw.
- The variances to setbacks and lot coverage are proposed in order to maximize the efficiency of the building and accommodate the modular construction on the heavily constrained lot.
- The applicant is proposing two (2) off-street parking stalls which constitutes a significant reduction from the 39 stalls that would be required under the Zoning Bylaw. The Zoning Bylaw does not specify a parking rate for this type of supportive housing use. Instead, the applicable rate is 0.65 stalls per unit for residents and 0.1 stalls per unit for visitors, which is the standard rate for non-market apartment units within City Centre.
- Additional off-street parking on the subject site is not possible due to significant site constraints.
- It is not anticipated that any of the residents of the proposed facility would own vehicles. The proximity of the site to King George Boulevard means that it would be reasonable for residents to rely on public transportation.

### **Capital Projects Community Amenity Contributions (CACs)**

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The development will not be required to pay Community Amenity Contributions as they are not required for non-market housing.

### **Affordable Housing Strategy**

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The proposal supports the objectives of the Affordable Housing Strategy by providing a housing option for individuals who are among those most in need.



- A financial Affordable Housing Contribution is not required as this type of non-market housing use does not require a contribution.

### **Public Art Policy**

- Since the application is a non-market housing proposal, no public art contribution will be required.

### **PUBLIC ENGAGEMENT**

- Pre-notification letters were sent on November 26, 2023, and the Development Proposal Signs were installed on January 29, 2024. Staff received no responses from neighboring residents.
- BC Housing and Surrey Urban Mission Society hosted a meeting with local business owners through the Downtown Surrey Business Improvement Association. One business owner attended the meeting and did not express any concerns regarding the subject proposal.

### **DEVELOPMENT PERMITS**

#### **Form and Character Development Permit Requirement**

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the City Centre Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the City Centre Plan.
- The applicant has worked with staff to develop a site plan that appropriately responds to the challenges of this heavily constrained site.
- The siting, massing and architecture of the proposed 6-storey building are well-designed and articulated.
- The applicant and staff will continue to work on improving the screening of the rooftop mechanical units and coordinating site grading and edge conditions prior to final adoption.
- The proposed, new modular building will be 6 storeys (22 metres) in height, and will consist of the following:
  - 3,513 square metres of gross floor area;
  - Approximately 60 self-contained residential suites;
  - Offices and meeting rooms;
  - Lounge, dining, and associated kitchen facilities; and
  - Other spaces associated with the operation of the supportive housing facility.
- The proposed building is comprised of prefabricated modular buildings, which are constructed off site and assembled on the subject site.

- The proposed building is clad with blue fibre cement panels with horizontal longboard wood screening at the base of the building.

### Landscaping

- The landscaping is designed to be durable and simple with a balance of hard and soft landscape materials.

### Outdoor Amenity

- The outdoor amenity area is 20 sq.m in size and includes seating areas for residents.

### Indoor Amenity

- Programmed indoor amenity areas for the residents include a dining area and lounge on the ground floor level.

### Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
  - Improving the edge conditions, particularly the retaining walls next to the lane and shared property lines; and
  - Coordinate rooftop mechanical screening.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

## TREES

- Kelly Koome, ISA Certified Arborist of Koome Urban Forestry prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

**Table 1: Summary of Proposed Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b>			
Butternut	1	1	0
<b>Coniferous Trees</b>			
Douglas Fir	2	2	0
<b>Total</b>	<b>3</b>	<b>3</b>	<b>0</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>3</b>	

<b>Total Retained and Replacement Trees Proposed</b>	<b>3</b>
<b>Estimated Contribution to the Green City Program</b>	<b>\$1,650.00</b>

- The Arborist Assessment states that there are a total of 3 mature trees on the site. There are no Alder and Cottonwood trees on the site. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio for all trees. This will require a proposed total of 6 replacement trees on the site. Since a proposed 3 replacement trees can be accommodated on the site, the proposed deficit of 3 replacement trees will require an estimated cash-in-lieu payment of \$1,650 representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on Bentley Road. This will be determined by the Engineering Department during the servicing design review process.
- In summary, a total of 3 trees are proposed to be retained or replaced on the site with an estimated contribution of \$1,650 to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey, Tree Preservation and Tree Plans

*approved by Ron Gill*

Don Luymes  
General Manager  
Planning and Development

LM/ar

**SUBDIVISION PLAN OF LOTS 1 AND 2  
BOTH OF SECTION 15 BLOCK 5 NORTH RANGE 2 WEST  
NEW WESTMINSTER DISTRICT  
PLAN 9938**

PLAN EPP133056

**PRELIMINARY**

BCGS 92G.026

SCALE



ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 560 mm IN WIDTH BY 432 mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:500

THIS PLAN LIES WITHIN INTEGRATED SURVEY AREA NO. 1, SURREY, BC, NAD83 (CSRS) 4.0.0.BC.1.MVRD.

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN GEODETIC CONTROL MONUMENTS 5402 AND 8726 AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 10

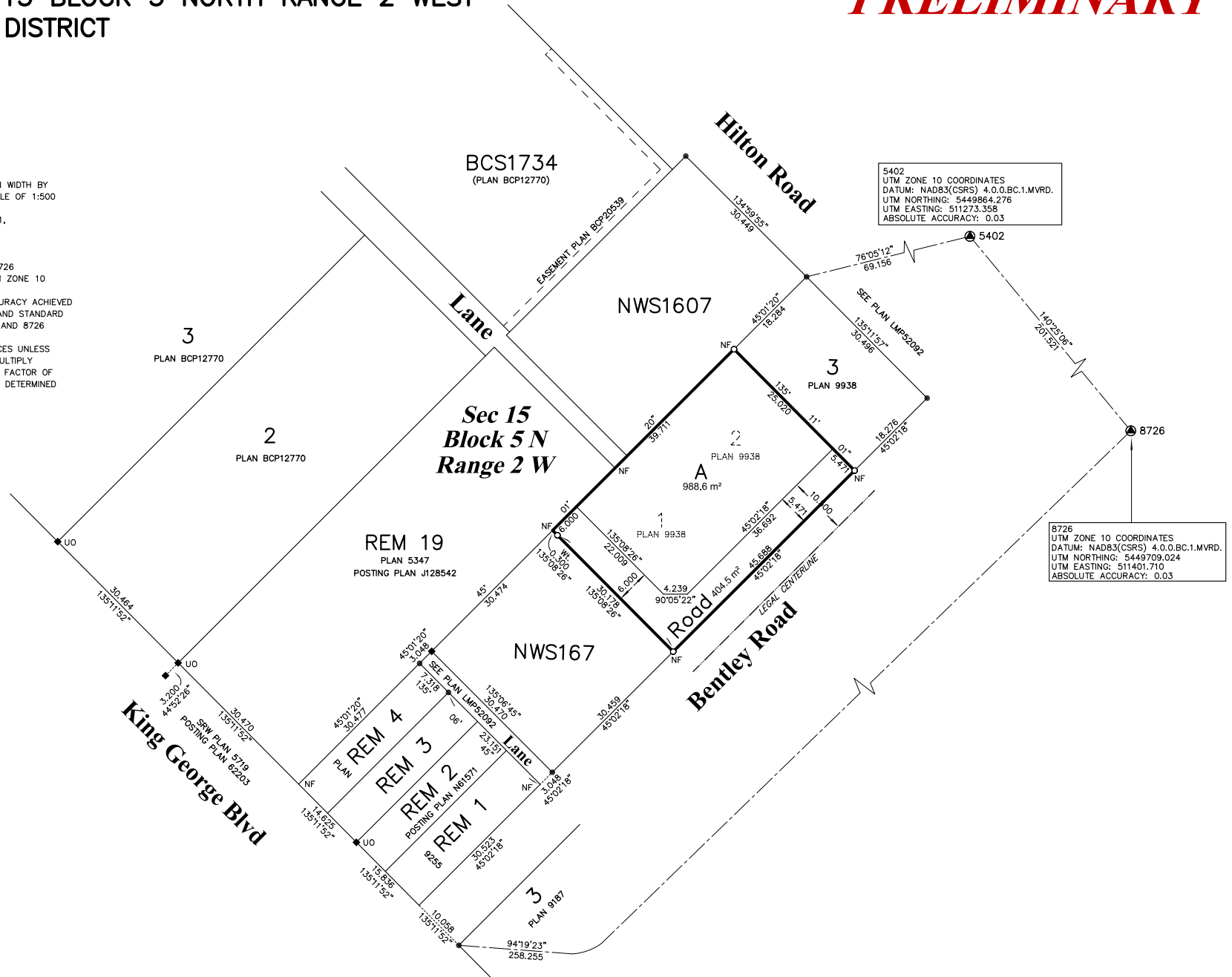
THE UTM COORDINATES AND ESTIMATED ABSOLUTE ACCURACY ACHIEVED ARE DERIVED FROM MASCOT PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR GEODETIC CONTROL MONUMENTS 5402 AND 8726

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF 0.9995916. THE AVERAGE COMBINED FACTOR HAS BEEN DETERMINED FROM CONTROL MONUMENT 5402

**LEGEND**

- ⊙ INDICATES CONTROL MONUMENT FOUND
- INDICATES LEAD PLUG FOUND
- INDICATES STANDARD IRON POST FOUND
- INDICATES STANDARD IRON POST PLACED
- UO INDICATES UNKNOWN ORIGIN

THIS PLAN SHOWS ONE OR MORE WITNESS POSTS WHICH ARE NOT SET ON THE TRUE CORNER(S)



5402  
UTM ZONE 10 COORDINATES  
DATUM: NAD83(CSRS) 4.0.0.BC.1.MVRD.  
UTM NORTHING: 5449964.276  
UTM EASTING: 511273.358  
ABSOLUTE ACCURACY: 0.03

8726  
UTM ZONE 10 COORDINATES  
DATUM: NAD83(CSRS) 4.0.0.BC.1.MVRD.  
UTM NORTHING: 5449709.024  
UTM EASTING: 511401.710  
ABSOLUTE ACCURACY: 0.03

**H.Y. AND ASSOCIATES  
LAND SURVEYING LTD.**

200, 9128 - 152nd STREET  
SURREY, B.C.

V3R 4E7  
(ph) 604-583-1616

File: 236176\_SB.DWG

THIS PLAN LIES WITHIN THE JURISDICTION OF THE APPROVING OFFICER FOR THE CITY OF SURREY

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT - CITY OF SURREY

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE \*\*th DAY OF NOVEMBER, 2023  
CURTIS VAN HOVE, BCLS #1047

**Design Rationale:**

In order to build an efficient modular building, it is required to stack the modules on top of each other with the perimeter walls lined up from the ground up. The modules are also constructed with one module on either side of a double loaded corridor. When 6 modules are stacked on top of each other it will result in a building with imposing form with an industrial or fortress like look and feel.

Our research of this typology brought us to many project examples that use many bright colours and distinct details throughout the whole facade drawing attention to the massive building as a whole. We chose a different approach of choosing a light grayish blue colour as the base colour that will blend into the sky. We then focused on the street facing levels of the building to draw attention away from the upper levels of the building. We introduced a screen with a yellowish wood look that contrast with the colour of the facade to make it pop out. The screen is pulled off of the facade to make it look as if the building steps out at the first two levels when seen from afar. And then when seen at street level the layered effect of the screen in combination with the landscaping will create a building with a sense of lightness that is welcoming appearance in appearance.

To create nuance to the flat portion of the facade we used a dark grey blue that has a similar colour to the windows when seen during the day. This will give the illusion of depth in the facade and transparency to the building. We are also using a textured flat panel and board and batten panel of facade finish to add texture to the building. We have used this method in another project under construction and have found it has the effect of making the facade appear as if it is shimmering when the sun is at a low direct angle and it has the appearance of changing tones as the sun moves around the building during the day. The form of the building is stepped in plan and the parapet roof is shaped so that the building does not have the recognizable massive fortress like form that multistorey modular buildings typically have.

The colour palette is also chosen to differentiate building from the common colour palette associated with this building typology and therefore disassociate the building from the stigma that can come with this type of housing. We hope the project will fit well into the surrounding context and neighborhood and become a welcoming comfortable place for the people who live work and visit the building.

NO.	DATE	ISSUE
1	2023-12-20	ISSUED FOR 50% BCH REVIEW
2	2024-01-22	RE-ISSUED FOR DP
3	2024-02-16	RE-ISSUED FOR DP

NO.	DATE	REVISION
-----	------	----------



1 **View from East on Bentley Road**  
 Scale: NTS



6 **View from South on Bentley Road**  
 Scale: NTS



5 **View from South East on Bentley Road**  
 Scale: NTS



**PROJECT**  
**RHI 03**

13569 BENTLEY ROAD,  
 SURREY, B.C.

**BUILDING MASSING &  
 DESIGN RATIONALE**

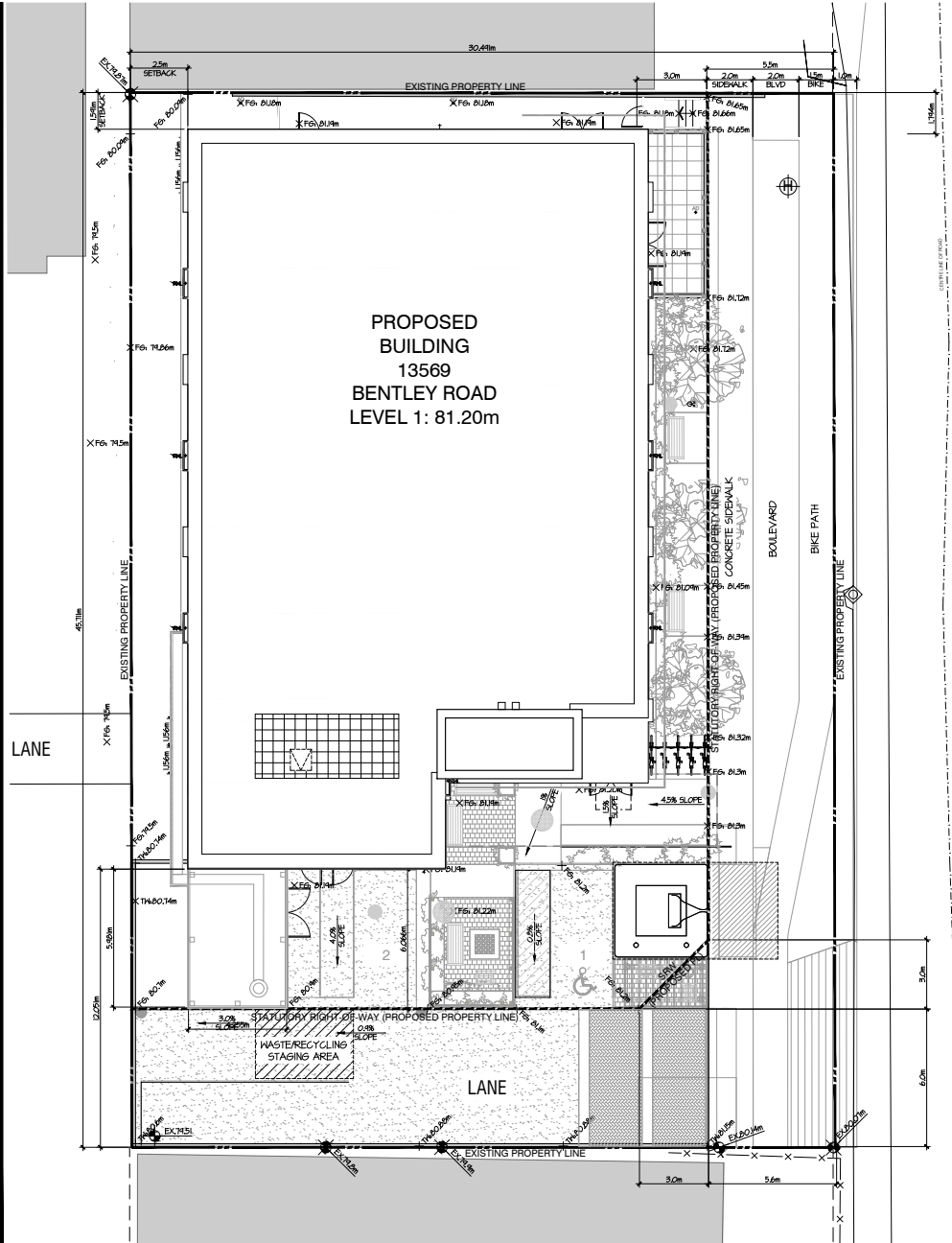
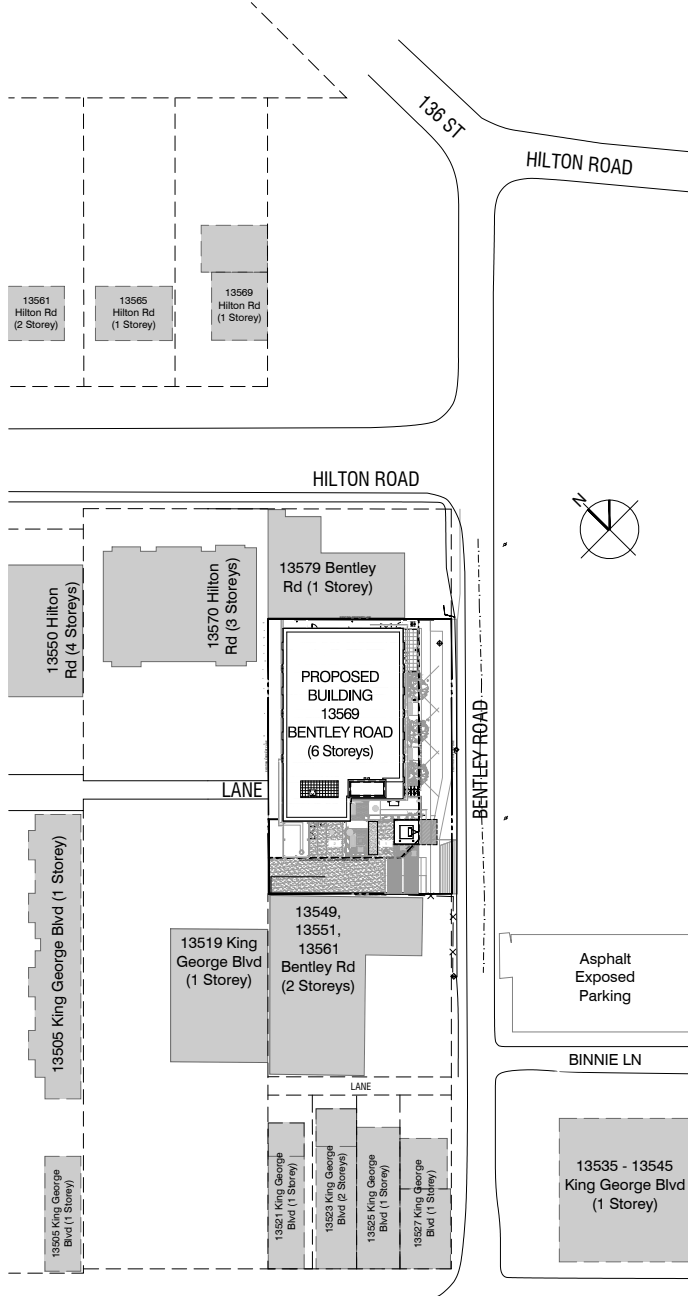
This drawing is an instrument of service, is the property of the architect and may not be reproduced without their permission and approval. Areas that any production carries their name. All designs and other information shown on this drawing are for use on the specific project only and shall not be used elsewhere. Payment of \$ fees due to the architect up to the date of use of this drawing is a condition precedent to the architect.  
 Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible to all dimensions and conditions on the job and the architect shall be relieved of any liability. All dimensions and conditions shown on the drawings. Such drawings shall be submitted to the architect for review before proceeding with fabrication.

PROJECT	A223583
DRAWN	EH
CHECKED	DKJ
SCALE	NTS
DATE	FEB 16, 2024

**A0.04**

NO.	DATE	ISSUE
1	2023-12-20	ISSUED FOR 50% BCH REVIEW
2	2024-01-22	RE-ISSUED FOR DP
3	2024-02-16	RE-ISSUED FOR DP

NO.	DATE	REVISION



**PROJECT**  
 RH1 03

13569 BENTLEY ROAD,  
 SURREY, B.C.

**CONTEXT PLAN & BASE PLAN**

This drawing is an instrument of service to the property of the architect and may not be reproduced without the express and written consent. Any production carries the name of the architect and the architect shall be held responsible for any errors or omissions which appear hereon. The architect shall be held responsible for any errors or omissions which appear hereon. The architect shall be held responsible for any errors or omissions which appear hereon. The architect shall be held responsible for any errors or omissions which appear hereon.

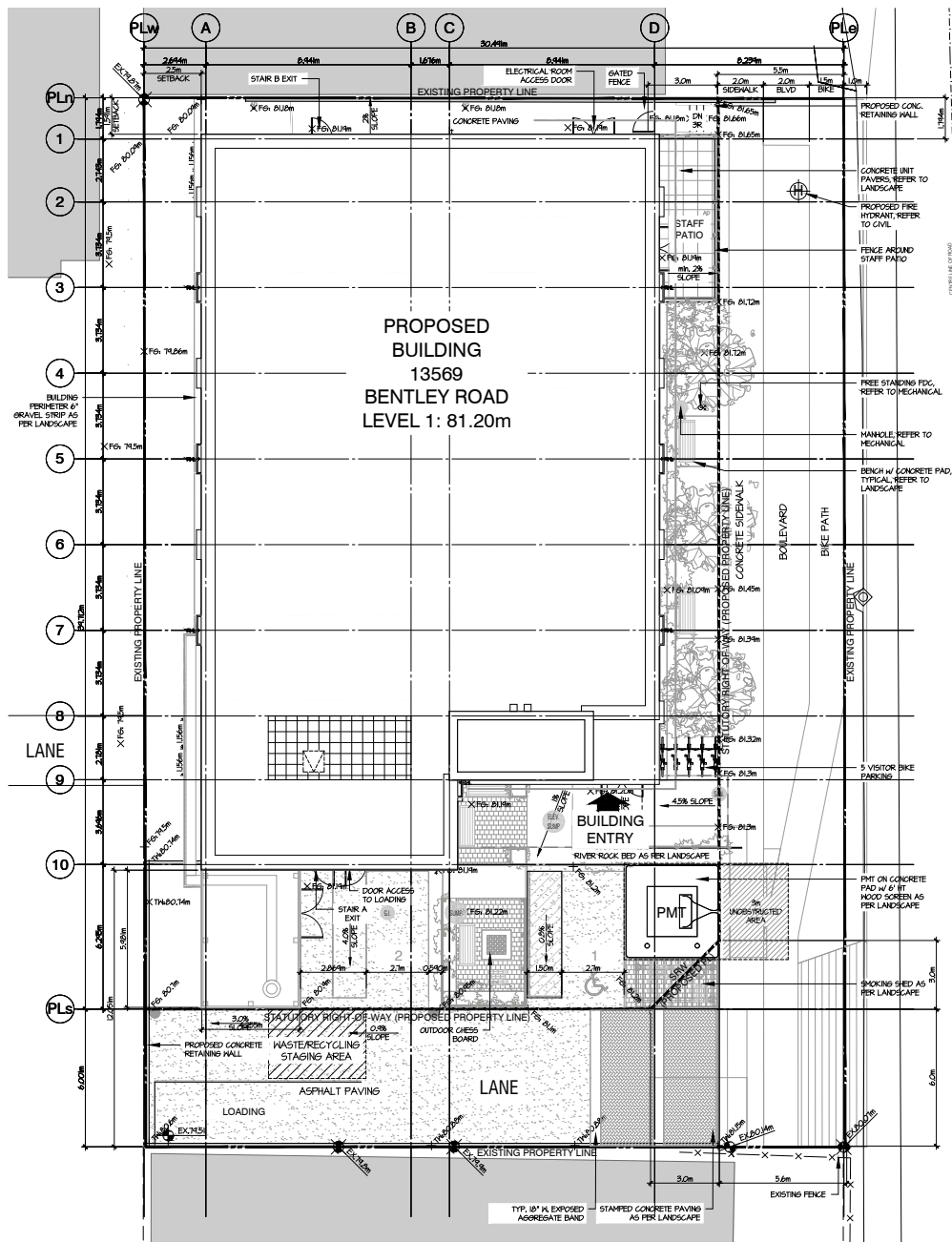
**PROJECT** A223583  
**DRAWN** PL **CHECKED** DJJ

**SCALE** AS NOTED  
**DATE** FEB 16, 2024

A1.01

NO.	DATE	ISSUE
1	2023-12-20	ISSUED FOR 50% BCH REVIEW
2	2024-01-22	RE-ISSUED FOR DP
3	2024-02-16	RE-ISSUED FOR DP

NO.	DATE	REVISION



BENTLEY ROAD



PROJECT  
**RHI 03**

13569 BENTLEY ROAD,  
 SURREY, B.C.

**SITE PLAN**

This drawing is an instrument of service to the property of the architect and may not be reproduced without the express and specific consent of the architect. Any reproduction or use of this drawing for any purpose other than that intended by the architect is prohibited. The architect shall not be responsible for any errors or omissions in this drawing or for any consequences arising therefrom. The architect shall not be held liable for any damages or losses of any kind resulting from the use of this drawing. This drawing shall be returned to the architect upon completion of the project. The architect shall not be held liable for any damages or losses of any kind resulting from the use of this drawing. This drawing shall be returned to the architect upon completion of the project.

PROJECT A223583  
 DRAWN PL CHECKED DIJ

SCALE 1:100  
 DATE FEB 16, 2024

**A1.02**

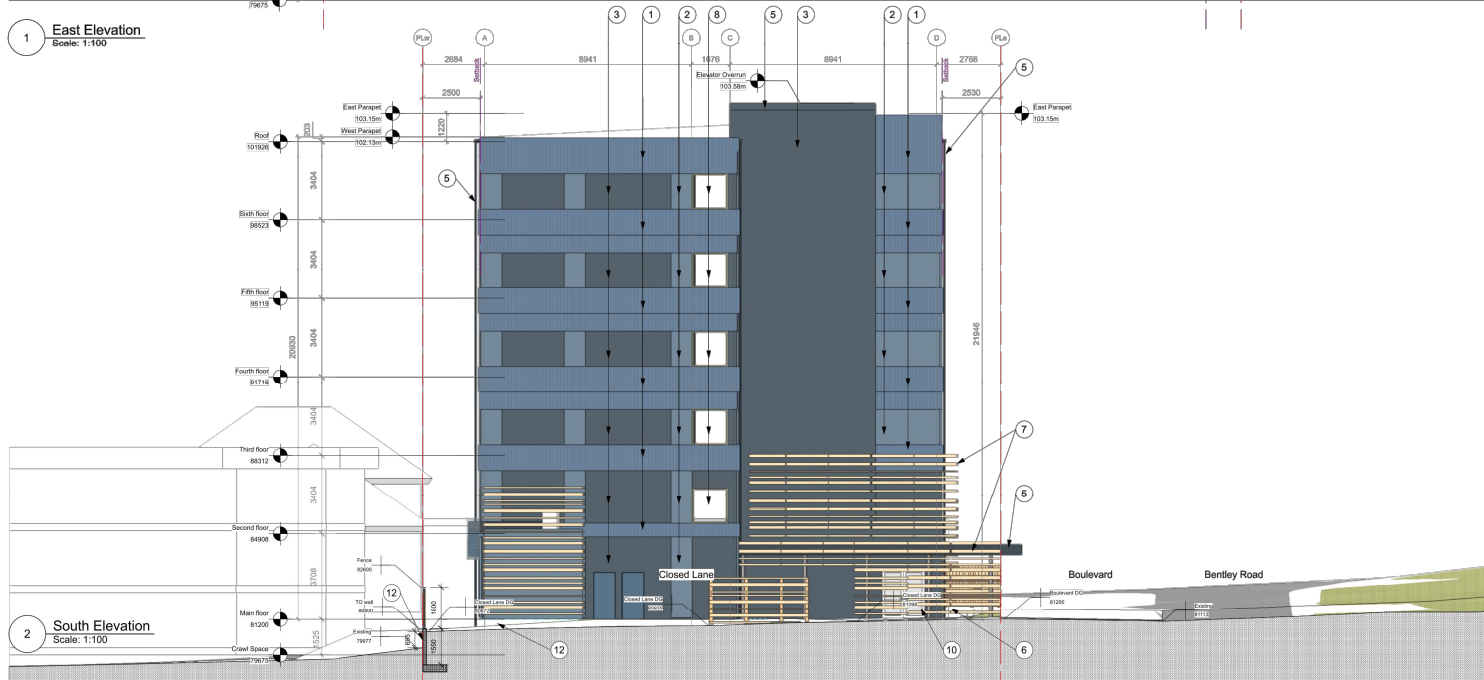


NO.	DATE	ISSUE
1	2023-12-20	ISSUED FOR 50% BCH REVIEW
2	2024-01-22	RE-ISSUED FOR DP
3	2024-02-16	RE-ISSUED FOR DP

NO.	DATE	REVISION



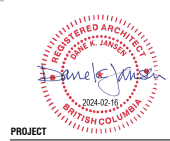
**1 East Elevation**  
 Scale: 1:100



**2 South Elevation**  
 Scale: 1:100

**Materials Samples**

- 1 Cementitious B&B Panel  
 Woodstone Rustic Series  
 Colour: Stone Blue
- 2 Cementitious Panel  
 Woodstone Rustic Series  
 Colour: Stone Blue
- 3 Cementitious Panel  
 James Hardie Cedar Mill  
 Colour: Deep Ocean
- 4 Flashing: Wall, Roof  
 Cascade metallic  
 Colour: Royal Blue SR125
- 5 Flashing: Wall, Roof, RVL  
 Cascade metallic  
 Colour: Iron one
- 6 Wood Post/ Beam Fence  
 Southern Yellow Pine  
 Wood Screen
- 7 Longboard wood grain  
 Southern Yellow Pine  
 Wood Screen
- 8 Vinyl Window Frame  
 Colour: Beige
- 9 Window Flashing  
 Colour: Champagne  
 Metallic SR145
- 10 Storefront Window Door  
 Frame Colour: Silver
- 11 Galvanized Steel Frame  
 Guardrail/ Planter Screen  
 Powder-coat Finish  
 Colour: Slate Grey
- 12 Architectural Concrete  
 (Sand-bleached)  
 Scratch Base, Clearcoat



**PROJECT**

**RHI 03**  
 13569 BENTLEY ROAD,  
 SURREY, B.C.

**ELEVATIONS -  
 EAST & SOUTH**

This drawing is an instrument of service, to the property of the architect and may not be reproduced without their permission and approval. Areas that are production control free zones. All designs and other information shown on this drawing are for use on this project only. It shall not be used for any other project without written permission of the architect. Payment of \$1000 due to the architect up to the date of use of this drawing is a condition precedent to the use thereof.

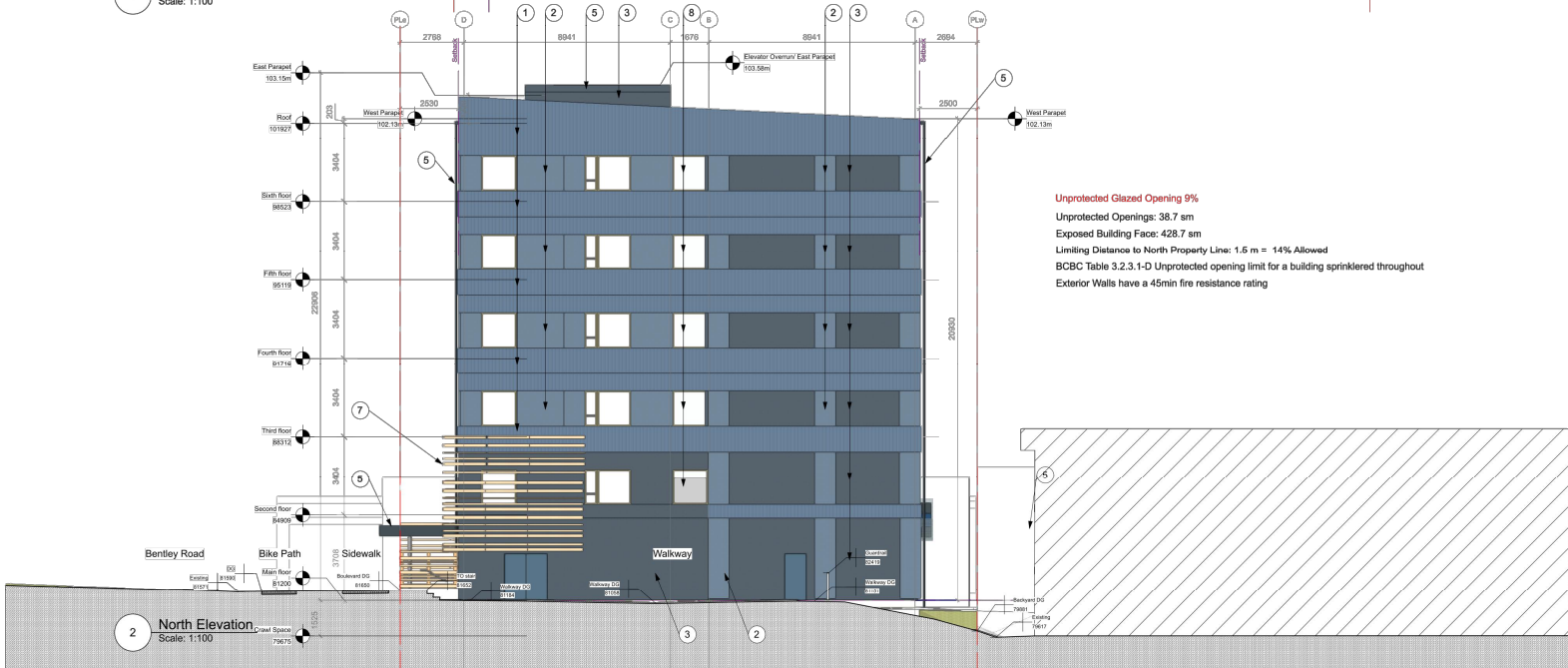
Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible to all dimensions and conditions on the job. The architect shall be relieved of any liability from the drawings and conditions shown on the drawings. Such drawings shall be submitted to the architect for review before proceeding with construction.

**PROJECT A223583**  
 DRAWN EH CHECKED DKJ  
 SCALE 1:100  
 DATE FEB 16, 2024

**A3.01**



1 West Elevation  
 Scale: 1:100



2 North Elevation  
 Scale: 1:100

**Materials Samples**

- 1 Cementitious B&B Panel  
 Woodstone Rustic Series  
 Colour: Stone Blue
- 2 Cementitious Panel  
 Woodstone Rustic Series  
 Colour: Stone Blue
- 3 Cementitious Panel  
 James Hardie Cedar Mill  
 Colour: Deep Ocean
- 4 Flashing1: Wall, Roof  
 Cascade metals  
 Colour: Royal Blue SR125
- 5 Flashing2: Wall, Roof, RVL  
 Cascade metals  
 Colour: Iron one
- 6 Wood Post/ Beam Fence  
 Stain: Natural
- 7 Longboard wood grain  
 Southern Yellow Pine  
 Wood Screen
- 8 Vinyl Window Frame  
 Colour: Beige
- 9 Window Flashing  
 Colour: Champagne  
 Metallic SR145
- 10 Storefront Window Door  
 Frame Colour: Silver
- 11 Galvanized Steel Finish  
 Guardrail/ Planter/ Screer  
 Powder-coat Finish  
 Colour: Slate Grey
- 12 Architectural Concrete  
 (Sand-Blasted)  
 Graffiti Res. Clear-coat



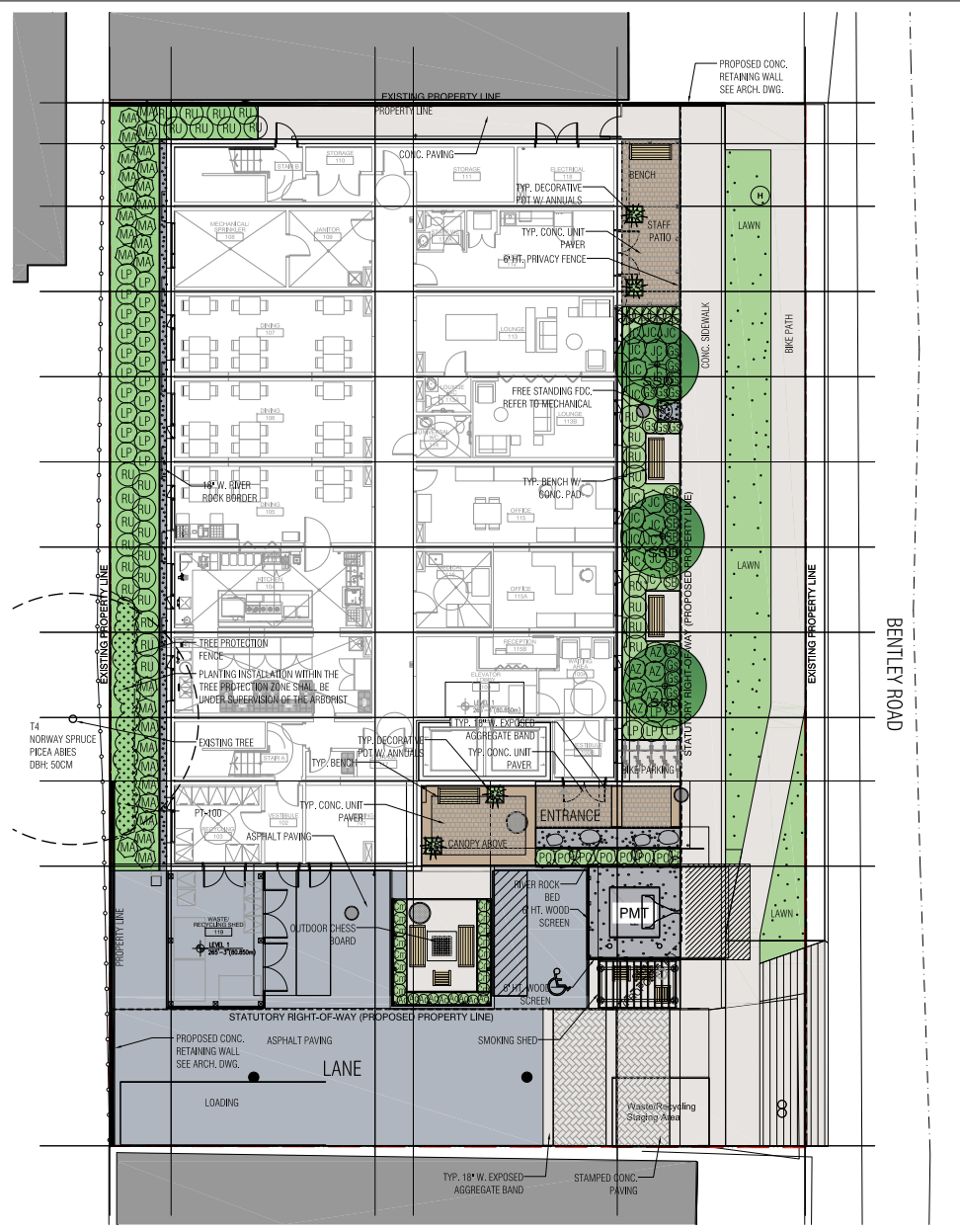
**PROJECT**  
**RHI 03**  
 13569 BENTLEY ROAD,  
 SURREY, B.C.

**ELEVATIONS - WEST & NORTH**

This drawing is an instrument of service, to the property of the architect and may not be reproduced without the express and specific consent of the architect. It is to be used only for the project and conditions on the date of use of this drawing is a condition precedent to the instrument.

PROJECT A223583  
 DRAWN EH CHECKED DKJ  
 SCALE 1:100  
 DATE FEB 16, 2024

**A3.01**



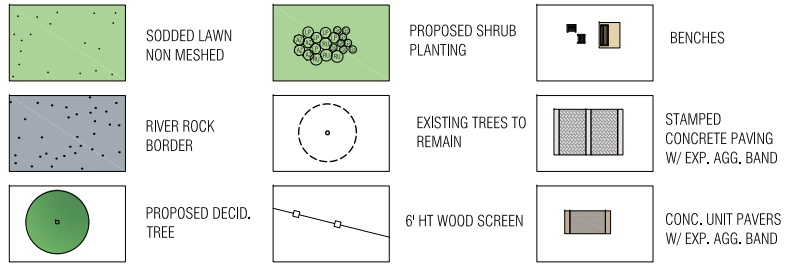
**NOTES:**

- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCNTA OR BCSLA GUIDELINES.
- TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
- AMMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
  - A.) GRASSED AREAS: 450MM B. GROUND COVERS: 450MM C. SHRUBS 450MM
  - D.) TREE PITS: 1000MM WITH 300MM (BELOW ROOT BALL)
- ROOF DECK PLANTERS; MINIMUM DEPTH OF 28" TO MAXIMUM DEPTH OF 36" SOIL DEPTHS
- LAWN AREAS SHALL BE SODDED WITH #1 PREMIUM RESIDENTIAL SOD.
- ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 14" O.C.
- 2" DEPTH OF 1"MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
- IRRIGATION SYSTEM - (AUTOMATIC) DESIGN BUILT BY IRRIGATION CONTRACTOR FOR ALL LANDSCAPED AREAS ON THIS DEVELOPMENT. GROUND LEVEL AND ABOVE.
- LANDSCAPE MAINTENANCE TO BE ASSIGNED TO A QUALIFIED LANDSCAPE CONTRACTOR BY THE STRATA CORPORATION TO ENSURE ONGOING LANDSCAPE MAINTENANCE FOR THE LANDSCAPE WORKS COMMENCING THE UPON THE EXPIRY OF THE LANDSCAPE ESTABLISHMENT PERIOD.
- ROCK BALLAST MATERIAL:
- ALL GRANULAR BALLAST SHALL BE SMOOTH FINISH 1" DIAMETER, DOUBLE WASHED, LOCATE AS SHOWN ON THE DRAWINGS.
- PAVING TYPES AND MATERIALS SEE DRAWING.
- BENCHES - BENCHES BY LANDSCAPE FORMS - NEOLMIANO BENCH. MATERIAL: IPE WOOD & ALUMINUM.
  - TYPE 1 : 69" BACKED, SIZE: 27"D X 69" L. X 31" H. QTY: 4.
  - TYPE 2 : 24" BACKED, SIZE: 27"D X 24" L X 31"H. QTY: 7.
- DECORATIVE POTS SHALL BE POLY-RESIN OR METAL.
- FINAL SELECTION OF STREET TREES SHALL BE MADE BY THE CITY OF SURREY PRIOR TO INSTALLATION. LANDSCAPE CONTRACTOR TO CONTACT CITY ARBORIST TO COORDINATE FINAL LAYOUT OF STREET TREES. INSTALL TO CITY OF SURREY LANDSCAPE REQUIREMENTS.

**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.
<b>TREES</b>					
SSD	3	SORBUS SITCHENSIS	SITKA MOUNTAIN ASH	50M CAL.	B & B
TOC	4	THUJA OCCIDENTALIS SMARAGD	EMERALD GREEN CEDAR	60M CAL.	B & B
<b>SHRUBS &amp; GROUNDCOVERS</b>					
AZ	6	AZALEA JAPONICA GUMPO PINK	PINK AZALEA	#3 POT	CONTAINER
LP	24	LONICERA FLEATA	PIVET HONEYSUCKLE	#3 POT	CONTAINER
JC	17	JUNPERUS CHINENSIS MINT JULEP	SEAGREEN JUNIPER	#3 POT	CONTAINER
MA	28	MAHOMA AQUIFOLIUM	OREGON GRAPE	#3 POT	CONTAINER
PO	8	PRUNUS L. OTTO LUYKENS	OTTO LUYKEN LAUREL	#3 POT	CONTAINER
RU	31	RHODODEDRON UNIQUE	UNIQUE RHODO.	#3 POT	CONTAINER
SB	7	SPRAEA BIMALDA 'DARTS' RED	DART'S RED	#3 POT	CONTAINER
AC	2	ASTILBE CHINENSIS 'VISIONS'	ASTILBE	#1 POT	CONTAINER
CZ	2	COREOPSIS VERTICILLATA ZAGREB	ZAGREB TICKSEED	#1 POT	CONTAINER
CM	16	COREOPSIS VERTICILLATA MOONBEAM	MOONBEAM TICKSEED	#1 POT	CONTAINER
CL	2	CLEMATIS MONTANA	MOUNTAIN CLEMATIS	#1 POT	CONTAINER
GS	14	GAULTHERIA SHALLON	SALAL	#1 POT	CONTAINER
RF	5	RUBRICKIA FULGIDA var 'GOLDSTRUM'	BLACK EYED SUSAN	#1 POT	CONTAINER
PT	100	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	10CM POT	CONTAINER

**SITE LEGEND**



**1 LANDSCAPE PLAN**  
SCALE: 1/100

REVISIONS ISSUED  
1. REV. 11 - 2023 ISSUED FOR RECORDING D.P.  
2. REV. 12 - 2023 ISSUED FOR RECORDING D.P.  
3. REV. 13 - 2023 ISSUED FOR RECORDING D.P.

PROJECT  
**RHI 03**  
**13660 BENTLEY ROAD**  
**SURREY, B.C.**

FOR: TURNBULL CONSTRUCTION PROJECT MANAGERS  
ARCHITECT: TURNBULL ARCHITECTURE INC.  
LANDSCAPE ARCHITECTS: ABC & DEE DESIGN LANDSCAPE ARCHITECTS, INC. (BCOLA) P.O. BOX 448607, VANCOUVER, BC, V6X 4K4, CANADA. TEL: 604-273-8881 FAX: 604-273-8882

DATE: 05/20/2023  
DESIGN: [initials]  
DRAWN: [initials]  
CHECKED: [initials]  
SCALE: AS SHOWN  
JOB NO. [number]

SHEET TITLE  
**LANDSCAPE PLAN**

REV. NO. [number]

SHEET NO.  
**L-1**

ABUTAMA  
LANDSCAPE ARCHITECTS

---

TO: **Director, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **December 11, 2023** PROJECT FILE: **7823-0303-00**

---

RE: **Engineering Requirements  
Location: 13561 Bentley Rd**

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- Dedicate 5.471 m on Bentley Road; and
- Dedicate 3 m x 3 m corner cut at the intersection of the lane and Bentley Road.
- Statutory right-of-way (SRW) is not required.

#### *Works and Services*

- Construct Bentley Road to an interim standard;
- Construct lane to residential lane standards;
- Construct adequately-sized service connections (water, sanitary, and storm), complete with inspection chamber/water meter, to service the lot.
- Construct any required upgrades to frontage and downstream servicing to adequately service the proposed land use.

A Servicing Agreement is required prior to Rezone/Subdivision.

### DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Jeff Pang, P.Eng.  
Development Services Manager

M51

### 3.3 Replacement Tree Requirements

Address: 13561&13569 Bentley Rd. Surrey, BC

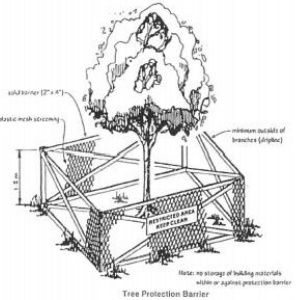
#### Tree Replacement Summary

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	3
<b>Protected Trees to be Removed</b>	3
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	0
<b>Total Replacement Trees Required:</b> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $0 \times \text{one (1)} = 0$ - All other Trees Requiring 2 to 1 Replacement Ratio $3 \times \text{two (2)} = 6$	6
<b>Replacement Trees Proposed</b>	8
<b>Replacement Trees in Deficit</b>	0
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	N/A
Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	0
<b>Total Replacement Trees Required:</b> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $0 \times \text{one (1)} = 0$ - All other Trees Requiring 2 to 1 Replacement Ratio $0 \times \text{two (2)} = 0$	0
<b>Replacement Trees Proposed</b>	N/A
<b>Replacement Trees in Deficit</b>	N/A

#### Summary of Tree Preservation by Species

Tree Species	Existing	Remove	Retain
<b>Coniferous Trees</b>			
Douglas fir	2	2	0
<b>Deciduous Trees</b>			
Butternut	1	1	0
<b>Additional Trees in the Proposed Open Space / Riparian Area</b>	n/a	n/a	n/a
<b>TOTALS:</b>	<b>3</b>	<b>3</b>	<b>0</b>
Total Replacement Trees Proposed (Onsite) Off-site tree(s) not included (Excluding Boulevard Street Trees)			8
<b>Total Onsite Retained + Replacement Trees</b>			<b>8</b>





Tree Protection Distance Table

Trunk Diameter (cm)	Minimum Protection Radius Around Tree (distance from trunk in metres)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5.4
100	6.0

Tree Protection Barrier Detail

NOTE:

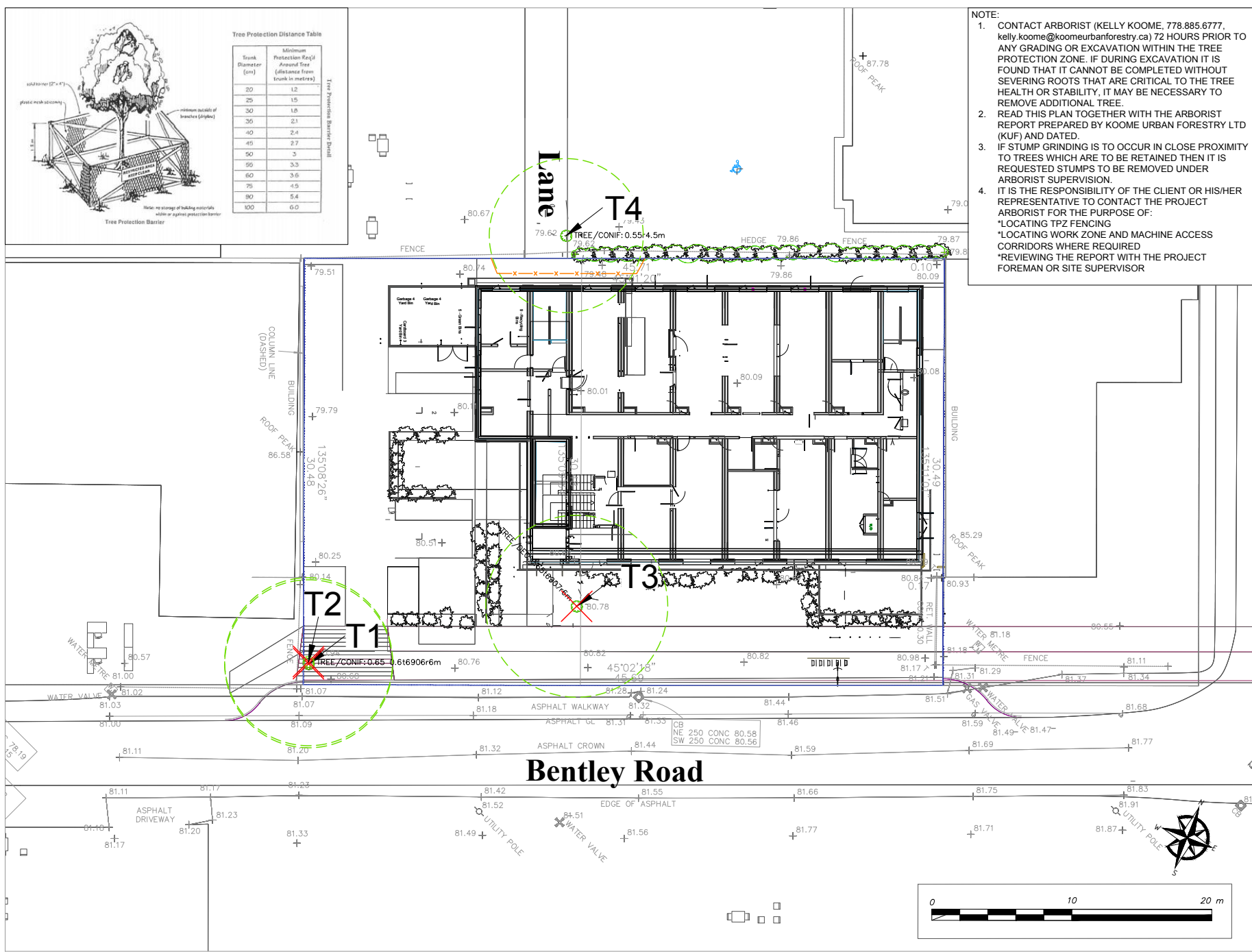
- CONTACT ARBORIST (KELLY KOOME, 778.885.6777, kelly.koome@koomeurbanforestry.ca) 72 HOURS PRIOR TO ANY GRADING OR EXCAVATION WITHIN THE TREE PROTECTION ZONE. IF DURING EXCAVATION IT IS FOUND THAT IT CANNOT BE COMPLETED WITHOUT SEVERING ROOTS THAT ARE CRITICAL TO THE TREE HEALTH OR STABILITY, IT MAY BE NECESSARY TO REMOVE ADDITIONAL TREE.
- READ THIS PLAN TOGETHER WITH THE ARBORIST REPORT PREPARED BY KOOME URBAN FORESTRY LTD (KUF) AND DATED.
- IF STUMP GRINDING IS TO OCCUR IN CLOSE PROXIMITY TO TREES WHICH ARE TO BE RETAINED THEN IT IS REQUESTED STUMPS TO BE REMOVED UNDER ARBORIST SUPERVISION.
- IT IS THE RESPONSIBILITY OF THE CLIENT OR HIS/HER REPRESENTATIVE TO CONTACT THE PROJECT ARBORIST FOR THE PURPOSE OF:
  - "LOCATING TPZ FENCING
  - "LOCATING WORK ZONE AND MACHINE ACCESS CORRIDORS WHERE REQUIRED
  - "REVIEWING THE REPORT WITH THE PROJECT FOREMAN OR SITE SUPERVISOR



305 - 1163 The High Street Coquitlam, BC V3B 7W2

LEGEND

- CROWN RADIUS
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- TREE TAG/NO.
- TREE PROTECTION FENCING
- PROPERTY LINE



2.	10/05/23	KD
1.	10/02/23	KD
(DD/MM/YY) NAME		
REVISIONS		

**PROJECT CODE**  
KUF-TURNBULL\_BC  
Housing\_Bentley Road

**PROJECT ADDRESS**  
13561 & 13569 Bentley Road  
Surrey, BC

**DRAWING TITLE**  
TREE MANAGEMENT PLAN

**T1**

