

PROPOSAL:

- Temporary Use Permit
- Development Variance Permit

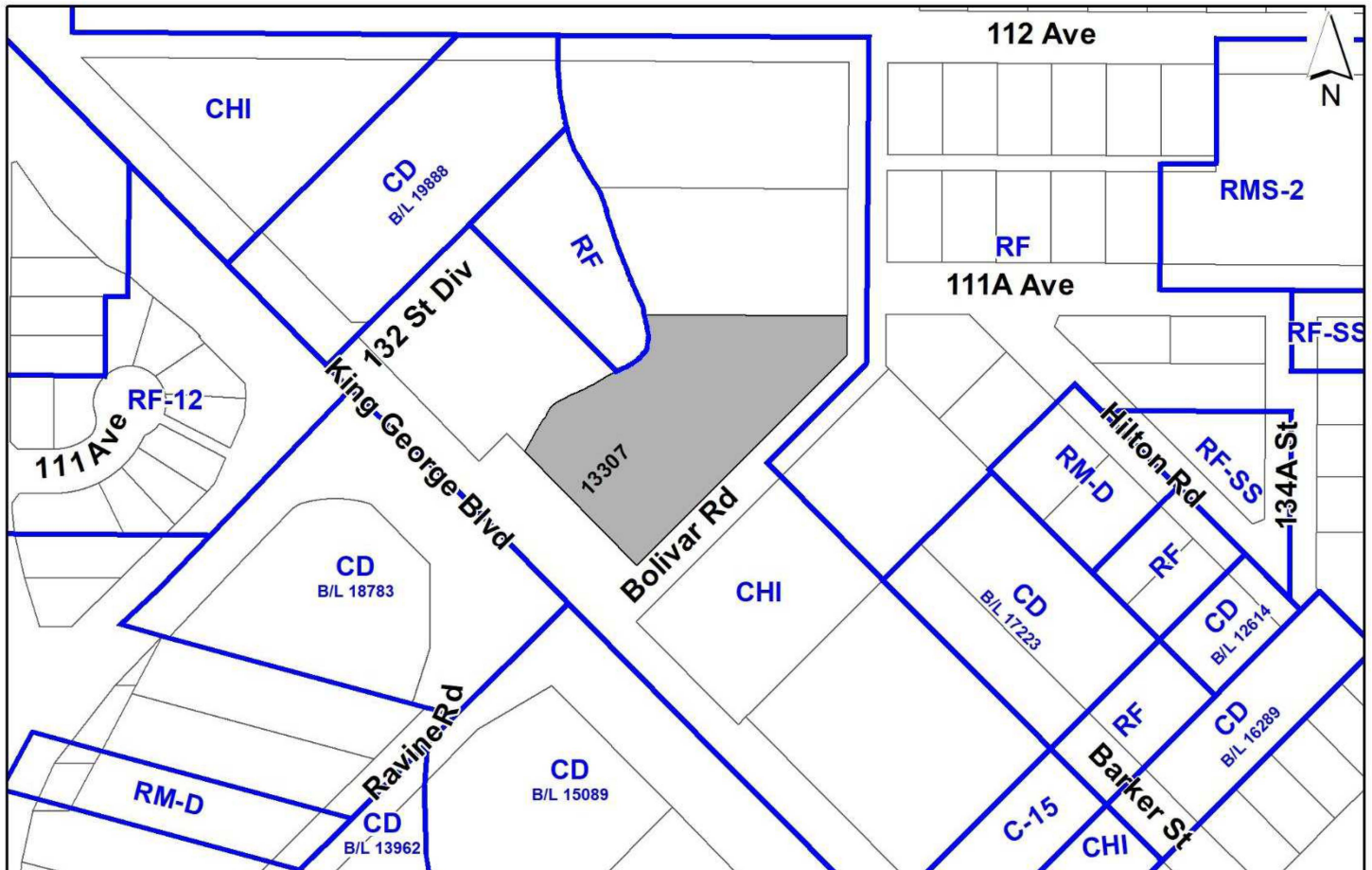
to permit the development of a temporary real estate sales centre for a duration not to exceed 3 years and to permit temporary on-site real estate development marketing signage for a mixed-use high-rise development.

LOCATION: 13307 King George Boulevard

ZONING: CHI

OCP DESIGNATION: Multiple Residential

CITY CENTRE PLAN DESIGNATION: Low to Mid Rise Residential/Top of Bank Buffer/Creek Buffer



RECOMMENDATION SUMMARY

- Approval for Temporary Use Permit (TUP) to proceed to Public Notification.
- Approval for Development Variance Permit (DVP) to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking variances to the maximum number of signs, sign height and sign area, under the Sign Bylaw for temporary on-site real estate development/construction signage ("marketing signage"), to allow temporary marketing signage installed on hoarding on the south and east portion of the site fronting King George Boulevard and Bolivar Road, two (2) temporary free-standing signage structures, and four (4) fascia signs around the roof line of the existing building.

RATIONALE OF RECOMMENDATION

- The subject TUP and DVP proposals are associated with Development Application No. 7923-0234-00, which proposes a phased development consisting of one 21-storey mixed-use tower and two residential towers of 24 and 37-storeys, with a total of 967 residential units. The application received Third Reading at the Regular Council - Public Hearing meeting on February 12, 2024.
- The proposed TUP will allow for the construction of a temporary sales center from which the applicant will be able to market residential units for the proposed development for the subject property and the two properties to the north, including 13340 - 112 Avenue and 11151 Bolivar Road.
- The applicant will post a \$5,000.00 bond to ensure the removal of the temporary building in the future.
- The proposed signage is of a high-quality design.
- Marketing signage on hoarding and/or fencing is standard practice in the development industry.
- Installing the marketing hoarding improves the aesthetic appearance of the development site, which is currently used for an automotive dealership and assists in marketing the project.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Temporary Use Permit No. 24-0042-00 (Appendix VII) to proceed to Public Notification.
2. Council approve Development Variance Permit No. 7924-0042-00 (Appendix V) varying the Sign By-law as described in Appendix VI to proceed to Public Notification.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the Planning and Development Department;
 - (d) submission of \$5,000.00 security to ensure the building is removed and the site is brought into compliance with the Zoning By-law following the expiration of the Temporary Use Permit; and
 - (e) amendment of the existing Highway License Agreement to permit the proposed signs to be situated on City land south of the subject site.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Automotive dealership, under Development Application No. 23-0234-00, at Third Reading, proposing one 21 storeys mixed-use tower and two residential towers of 24 and 37-storeys	Low to Mid Rise Residential/Top of Bank Buffer	CHI
North:	Vacant parcel also under Development Application No. 23-0234-00	Low to Mid Rise Residential/Top of Bank Buffer	CHI

Direction	Existing Use	NCP Designation	Existing Zone
East (Across Bolivar Road):	Development Application No. 17-0397-00, at Third Reading, proposing 3 high rise buildings (26, 31, and 37 storeys), and single family homes	Low to Mid Rise Residential and Townhouse	RF and CHI (CD Bylaw No. 20013 at Third Reading)
South (Across King George Boulevard):	Skytrain guideway and townhouses with riparian protection area	High Rise Residential Type 1	CD (Bylaw No. 15089)
West:	Automotive accessory store, Bolivar Creek and creek buffer area.	Low to Mid Rise Residential and Creek Buffer	CHI and RF

Context & Background

- The subject site is located at 13307 King George Boulevard in the City Centre Plan (Gateway District). The subject site is approximately 6,038 square metres in size, is currently operating as a used automotive dealership, and has Bolivar Creek running along the western portion of the site.
- Development Application No. 7923-0234-00, which received Third Reading at the Regular Council -Public Hearing meeting on February 12, 2024, proposes an OCP Amendment, a rezoning from "Highway Commercial Industrial Zone (CHI)" to "Comprehensive Development Zone (CD)", Development Permits for Form and Character, Sensitive Ecosystems and Hazard Lands, and a subdivision, in order to allow for a phased, mixed-use development consisting of three high-rise buildings.
- The subject site is zoned "Highway Commercial Industrial Zone (CHI)" and is designated "Low to Mid Rise Residential" and "Creek/Top of Bank Buffer" in the City Centre Plan and "Multiple Residential" in the Official Community Plan (OCP).
- Bolivar Creek, a Class A red-coded watercourse is located along the west portion the subject site. No exterior work is proposed on the west side of the subject site and all trees are proposed to be retained under this TUP application.
- This project primarily involves interior renovations of the existing commercial building on the site. The only exterior work is the addition of a ramp for accessibility considerations, which will be located where the south surface parking lot is currently situated, and the addition of signage.
- The City land immediately south of the subject site, where the applicant proposed to erect on-site real estate development signs to advertise their project, is currently leased to the owner under a Highway License Agreement (HLA) for the parking of vehicles. The HLA will be amended to allow for signage.

DEVELOPMENT PROPOSAL

Planning Considerations

- The developer of Development Application No. 7923-0234-00, Oviedo Properties Ltd, is seeking a TUP to allow a sales centre on the subject site and a DVP to permit on site temporary real estate development signs to market the residential units.
- The sales centre is proposed on the southern-most of the three lots proposed for development under Development Application No. 7923-0234-00.
- The approximately 655-square metre existing building will be renovated to include a reception area, sales presentation area, offices, staff room, kitchen, and washroom.
- There are 17 bylaw-sized trees, all onsite. All trees are proposed to be retained under the subject TUP application.
- This project primarily involves interior renovations of the existing commercial building. The only exterior work is the addition of a ramp for accessibility considerations, which will be located where the south surface parking lot is currently situated, and the addition of marketing signage.
- A surface parking lot with 67 regular parking stalls and 2 accessible parking spaces will be provided on-site for customers with access from Bolivar Road, which exceeds the Zoning Bylaw requirement of 17 parking stalls.
- Should Council support the temporary use, the existing automotive dealership will be moved out by April 2024. The existing cars will not be using any parking stalls shown on the submitted parking plan.
- The TUP is proposed to be in effect for three years, which should be sufficient time for the applicant to complete the sales of the proposed apartments.
- The developer is seeking variances to the maximum number of signs, sign height and sign area under the Sign By-law for temporary on-site real estate development/construction signage (“marketing signage”), to allow for temporary marketing signage installed on hoarding on the south and east portion of the site fronting King George Boulevard and Bolivar Road, two (2) temporary free-standing signage structures, and four (4) fascia signs around the roof line of the existing building.

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

Surrey Fire Department: The Fire Department has no objection to the project.

Transportation Considerations

- The subject site will be accessed via Bolivar Road.
- The site is within 800m of Gateway Station and is accessible from transit routes on King George Boulevard.

POLICY & BY-LAW CONSIDERATIONS

Sign By-law

Signage Variances

- The Sign Bylaw permits a maximum of one temporary on-site real estate development/construction sign along each lot line adjacent to a highway. The permitted sign shall not exceed a maximum of 14 sq. m in sign area and the height of the sign shall not exceed a maximum of 4.5 m and it shall be located at a minimum of 2 m setback from each adjacent highway.
- The applicant is requesting the following variances to the Surrey Sign By-law (By-law No. 1999, No. 13656):
 - to increase the maximum number of temporary on-site real estate development/construction signs from two (2) to eight (8);
 - to increase the allowable sign area for temporary onsite real estate development/construction signage from 14 square metres to a maximum of 103 square metres for the proposed hoarding signs facing King George Boulevard and Bolivar Road;
 - to increase the allowable sign area for temporary onsite real estate development/construction signage from 14 square metres to a maximum of 39 square metres for the proposed fascia signs positioned around the roof line of the existing building;
 - to increase the allowable sign area for temporary onsite real estate development/construction signage from 14 square metres to a maximum of 23 square metres and to increase the allowable height from 4.5 m to 5.6 m for free standing signs.
- Proposed setbacks for all free-standing signs and hoarding signs are a minimum of 2 metres from property line, with the exception of those on City property that will be accommodated through an updated highway license agreement.

Signage Assessment

- The proposed hoarding and free-standing marketing signage consists of a brown background, white text, and channel-lit sign for the logo, depicting the name of the development project "Bridgecity" (see Appendix IV).
- The proposed signage is of a high-quality design.
- The marketing and free-standing signage are important components of the marketing strategy for the site.
- Marketing signage in the form of hoarding and/or fencing is a standard practice in the development industry.
- Installing marketing hoarding improves the aesthetic appearance of the development site, which is currently used for an automotive dealership.
- The proposed signage design has been reviewed by staff and found to be generally acceptable.
- Staff support the requested variances to proceed for consideration.

TREES AND LANDSCAPING

- D.Glyn Romaine, ISA Certified Arborist of van der Zalm + associates Inc prepared an Arborist Assessment for the subject property.
- The Arborist Assessment states that there are a total of 17 mature trees on the site, and no Alder and Cottonwood trees. The applicant proposes to retain all 17 trees as part of this proposed temporary use of the site. As part of the subsequent development of the site, tree removal and tree replacement is outlined in the land use report for the associated Development Application 7923-0234-00.
- No additional landscaping is proposed in association with this temporary use.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan and Building Elevations
- Appendix II. Engineering Summary
- Appendix III. Tree Management Plan
- Appendix IV. Sign Drawings
- Appendix V. Development Variance Permit No. 7924-0042-00
- Appendix VI. Proposed Variances to the Sign By-law
- Appendix VII. Temporary Use Permit No. 7924-0042-00

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

MWC/ar



LEGEND

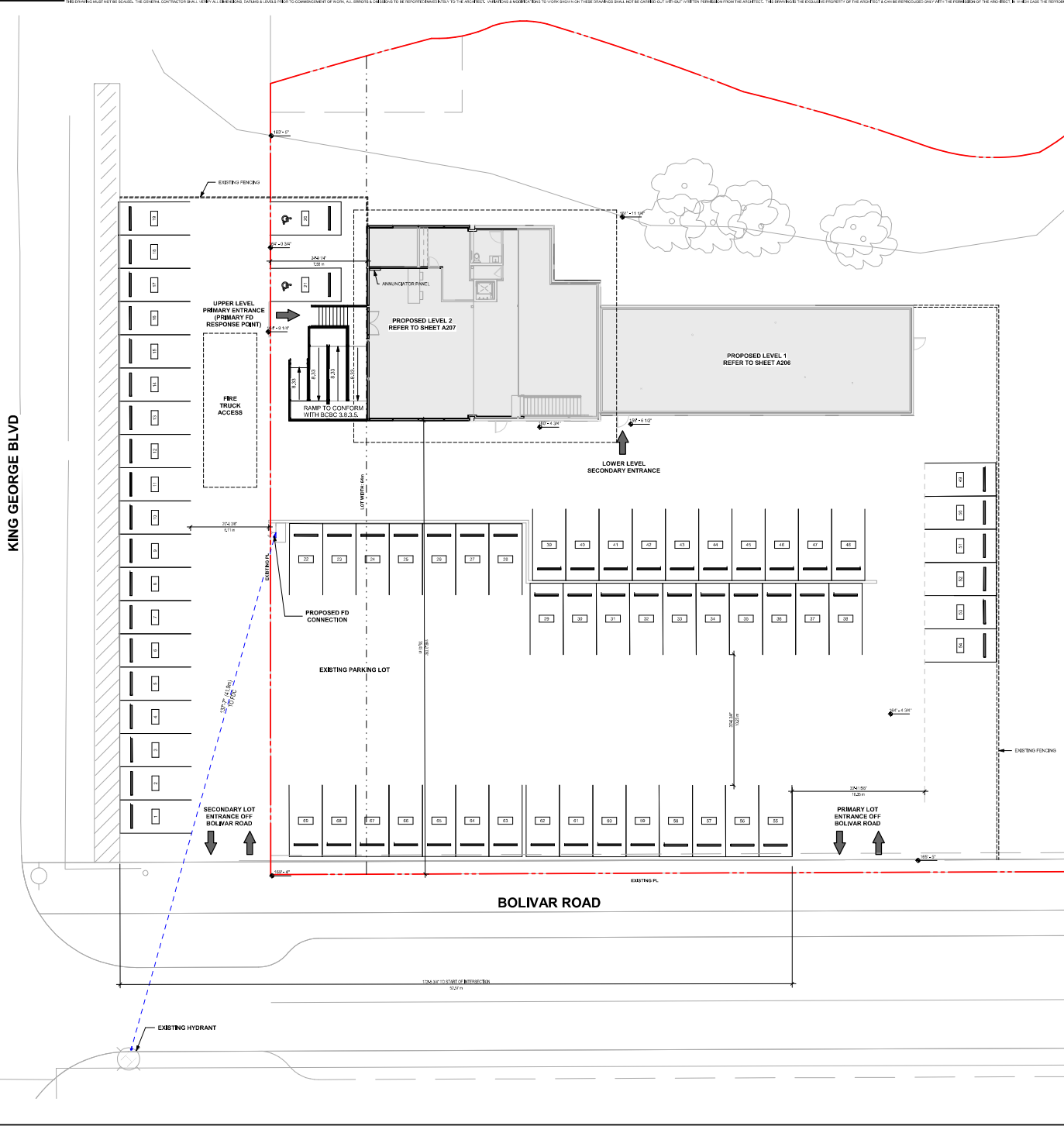
DESCRIPTION	SYMBOL
PROPERTY LINE	---
SETBACK-REAR OR SIDE	-----
SETBACK LINE	-----
GAZELINE	-----
BUILDING OUTLINE ABOVE	-----
FIRE TRUCK ACCESS ROUTE	↔↔↔↔
FIRE HYDRANT	⊕
FIRE DEPARTMENT HOSE CONNECTION	⊕
ELEVATION	↑
DRIVE	↔
VEHICULAR ENTRY	→
PEDESTRIAN ENTRY	→
EXTENT OF PROPOSED PARKING	▭

Building Code Analysis
 Major Occupancy: Group D (Office)
 Building Footprint Area: 485 m²
 Building Height: 2 Storeys

Construction requirements:
 - Construction Article: 3.2.2.83
 - Maximum Building Area Permitted: 2,400 m²
 - 2-level interconnection via open stair 50% max building area (1200m²) met
 - Combustible construction
 - Sprinklered to NFPA 13
 - 45min FRR floor fire separation
 - Load bearing supports to have FRR not less than 45min or be of noncombustible construction.

Area Schedule (PROPOSED)		
Level	Name	Area
LEVEL 1	LEVEL 1 OVERALL	6102 m ²
LEVEL 2	LEVEL 2 OVERALL	6102 m ²
Total Area		12244

PARKING REQUIRED = 2.5 STALLS PER 100sqm = 17 STALLS	
TYPE	COUNT PROVIDED
REG. ACCESSIBLE	2
REGULAR	67



REV.	REVISION	DATE
1	ISSUED FOR PERMIT	18-05-2024



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PROJECT: OSP - BOLIVAR PRESENTATION CENTER

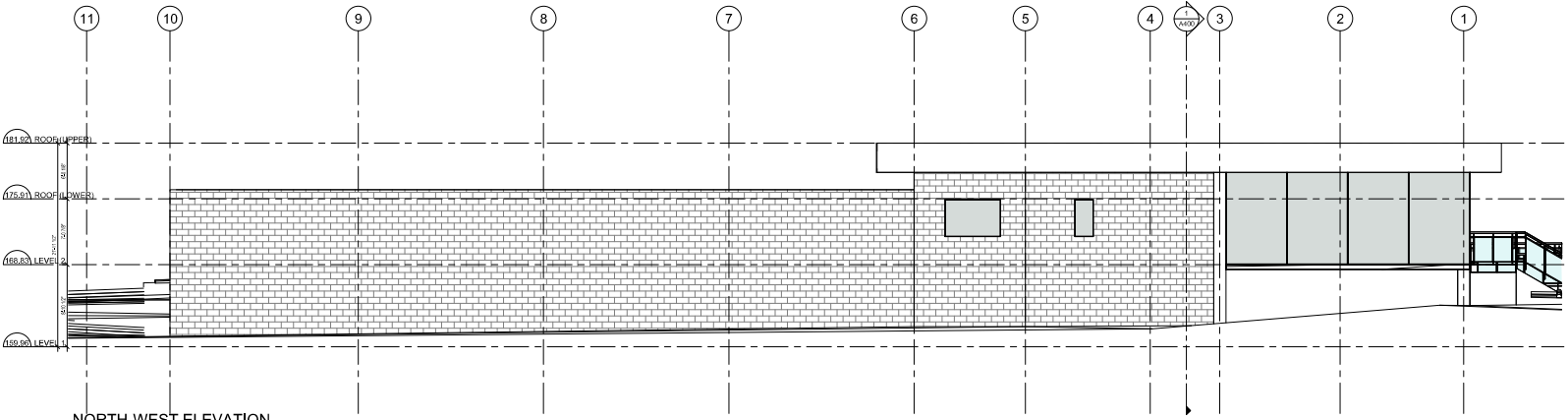
13307 King George Blvd
 Surrey, BC

DATE	SCALE	PLANT DATE
DATE: 25/08/2024	SCALE: 1" = 100'	PLANT DATE: 25/08/2024

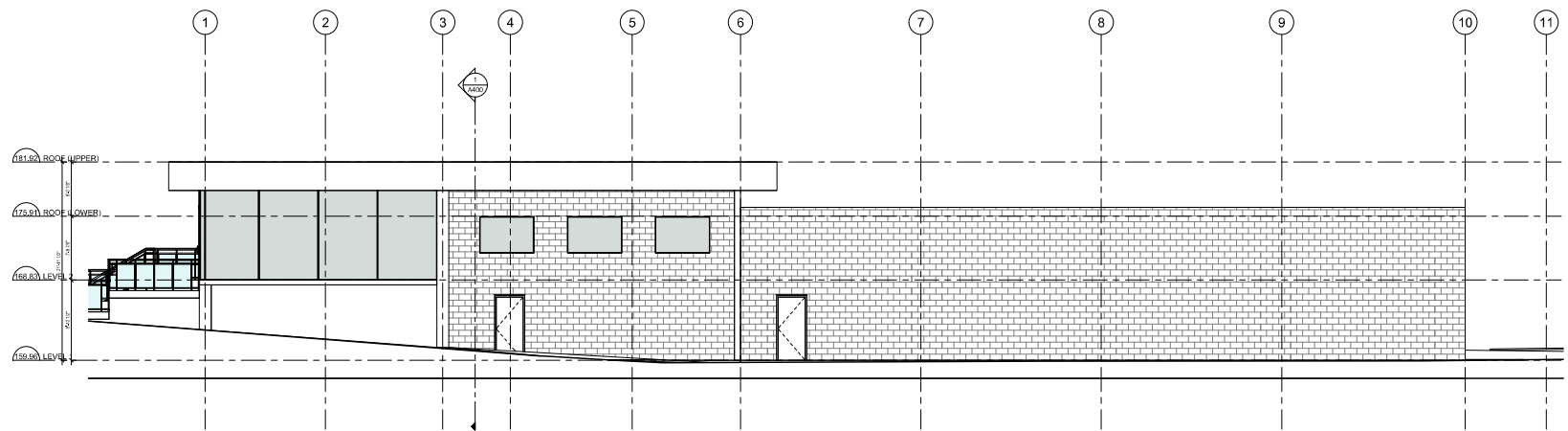
SITE PLAN (PROPOSED)

Sheet No: A101

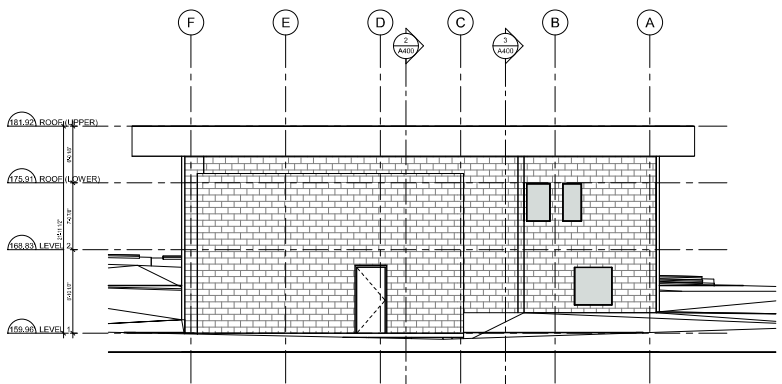
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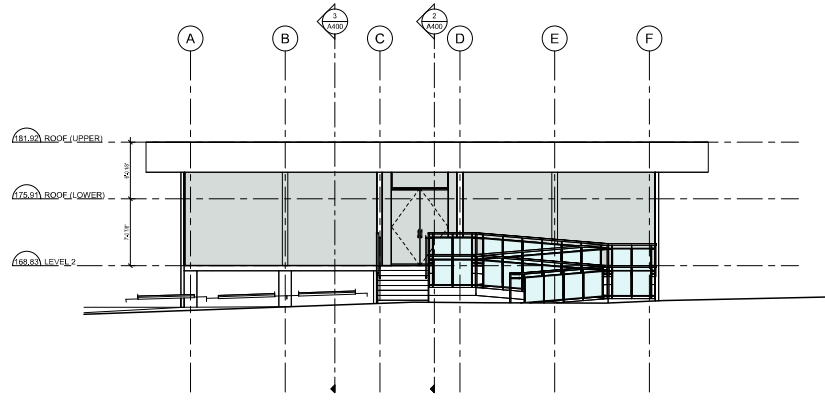
1
NORTH-WEST ELEVATION
(PROPOSED)
3/16" = 1'-0"



2
SOUTH-EAST ELEVATION
(PROPOSED)
3/16" = 1'-0"



3
NORTH-EAST ELEVATION (PROPOSED)



4
SOUTH-WEST ELEVATION (PROPOSED)

LEGEND	
ELEVATION	GRAPHIC
WEATHERPROOF RECEPTACLE	WPR
GRID LINE	GRID LINE
ROSE HUB	ROSE HUB
ELEVATION	ELEVATION
PROPERTY LINE	PROPERTY LINE
FINISHED GRADE	FINISHED GRADE
EXISTING GRADE	EXISTING GRADE
EXHAUST/STACK SHAFT (REF. TO MODEL)	EXHAUST/STACK SHAFT (REF. TO MODEL)

NO.	REVISION	DATE
REVISIONS:		

CHRIS DIKEAKOS ARCHITECTS INC.
 15307 King George Blvd
 Surrey, BC
 TEL: 604.591.9887
 FAX: 604.591.9887
 WWW.CHRISDIKEAKOS.COM

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PROJECT:
OSP - BOLIVAR PRESENTATION CENTER

15307 King George Blvd
 Surrey, BC

DATE:

CONTRACT NO:

JOB NO: 21-018 TSD

SCALE: 3/16" = 1'-0"

DATE: 2024-04-11 4:02:27 PM

SHEET TITLE:
ELEVATIONS (PROPOSED)

TO: **Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **April 02, 2024** PROJECT FILE: **7824-0042-00**

RE: **Engineering Requirements
Location: 13307 King George Blvd.**

TEMPORARY USE PERMIT

The following issues are to be addressed as a condition of the proposed Temporary Use Permit to repurpose existing commercial building to be used as a presentation center:

- Access location is required to be minimum 50 metres from the intersection of King George Boulevard;
- Construct 7.3 m concrete letdown to Bolivar Road;
- Replace the current 100 mm AC sanitary service connection with a temporary 150 mm PVC connection to the 900 mm sewer main on King George Boulevard, which has the potential to be used for the future development;
 - Register Restrictive Covenant for the temporary sanitary service connection;
- Existing water meter and water service connection can be used. Onsite plumbing/BFPS to be reviewed through Plumbing permit;
- Ensure premise isolation DCVA installed;
- Provide Water Quality treatment for parking lot prior to discharging off-site. Propose a location for proposed drainage service connection. Discharging directly to the creek is not permitted.

A Servicing Agreement is not required.

DEVELOPMENT VARIANCE PERMIT

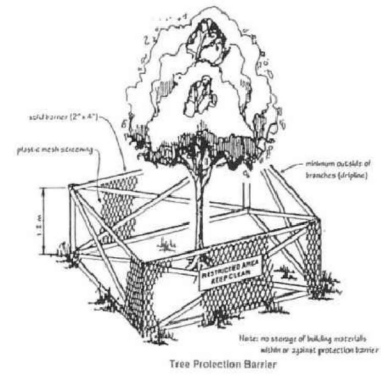
The following issues are to be addressed as a condition of issuance of the Development Variance Permit:

- Applicant is required to meet any HLA requirements per Realty for use of the road allowance.



Janelle Frank, P.Eng.
Development Review Manager

M51



Tree Protection Distance Table

Trunk Diameter (cm)	Minimum Protection Req'd Around Tree (distance from trunk in metres)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5.4
100	6.0

Tree Protection Barrier Detail

- Note:
1. Contact VDZ+A Project Arborist (Glyn Romaine glyn@vdz.ca) for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ) If during excavation it is found that it cannot be completed without severing roots that are critical to the trees health or stability it may be necessary to remove additional trees.
 2. Read this plan together with the arborist report prepared by VDZ+A.
 3. An additional 1m setback is shown for all hand-plotted trees to be retained
 4. If Stump Grinding is to occur in close proximity to trees which are to be retained then it is requested stumps to be removed under Arborist supervision.
 5. It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
 - *Locating TPZ Fencing
 - *Locating Work Zone and Machine access corridors where required
 - *Reviewing the Report with the project foreman or site supervisor.

No.	By:	Description	Date
2	AL	Issued for DP	2023-12-09
1	YY	Issued for Review	2023-05-24

REVISIONS TABLE FOR DRAWINGS
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
Bolivar mixed use development

Location:
11151 Bolivar Road, 13340 112 Avenue & 13307 King George Boulevard, Surrey, B.C.

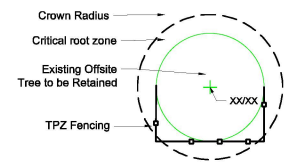
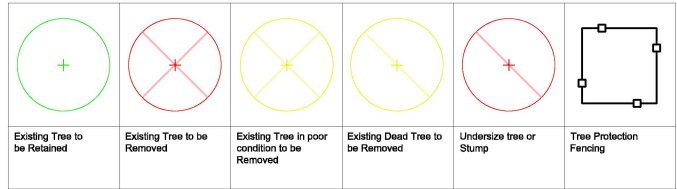
Drawn: YY
Stamp:

Checked: DGR

Approved: -
Original Sheet Size: 24"x36"

Scale: 1:500

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS MUST BE APPROVED BY THE CONSULTANT BEFORE PROCEEDING. CONSTRUCTION SHALL NOT BE PROCEED UNTIL THE LABELLED ISSUED FOR TENDER CONSTRUCTION.



Z:\PROJECTS\ARBORIST\ACTIVATION\AR2023-09\AR2023-09\TREE MANAGEMENT PLAN, MODIFIED 2023101.DWG

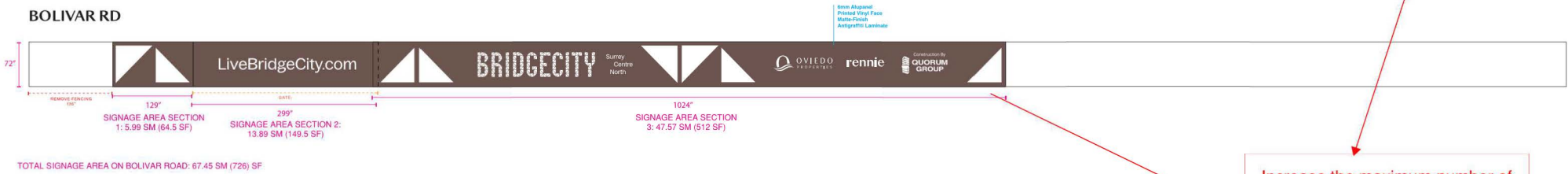
BridgeCity Hoarding – File at 5% scale



Stepped Design Example: 3 sections
1 foot grade change (Actual grade TBC)



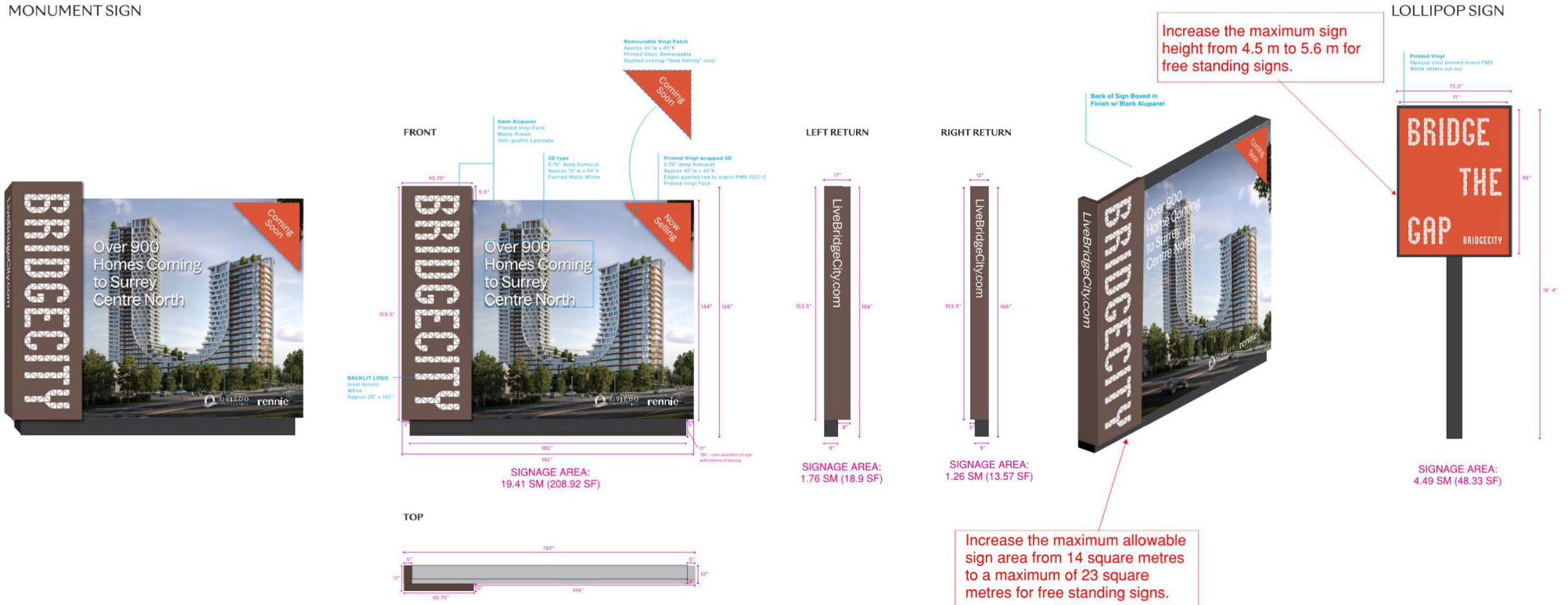
BOLIVAR RD



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JOB NAME: BRIDGECITY	DATE MODIFIED: 03/14/24	FOLD: -- BLEED: --	1	2	3
DESIGNER/AD: KATIE	DUPLICATE: 100 DPI	IMAGE RES: 300 DPI	4	5	6
PM: ELIJA	SOFTWARE: ILLUSTRATOR CC	COLORS: CMYK	7	8	9
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BridgeCity Hoarding — File at 10% scale

MONUMENT SIGN

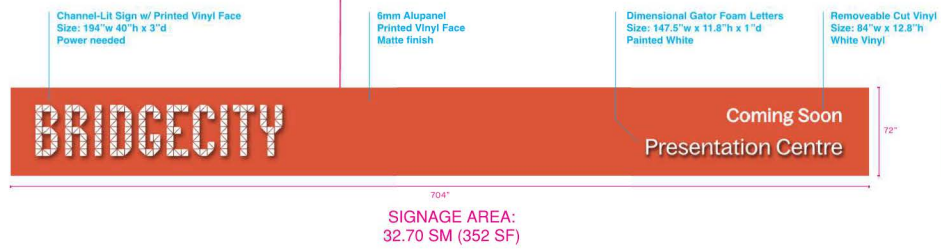


BridgeCity PC Exterior Rooftop — File at 5% scale

Increase the maximum allowable sign area for fascia signs from 14 square metres to a maximum of 39 square metres.



FRONT



SIDE





BRIDGE CITY

Coming Soon
Presentation Centre

BRIDGE CITY

Surrey
Centre
North

A Community of Over 900 Homes
Coming to Surrey Centre North

BRIDGECITY

Coming Soon
Presentation Centre

BRIDGE THE GAP



(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0042-00

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-154-462
LOT 3 EXCEPT: PART ON STATUTORY RIGHT OF WAY PLAN 5719,
SECTION 15 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT
PLAN 5347
13307 King George Blvd

(the "Land")

3. Surrey Sign By-law, 1999, No. 13656, as amended is varied as follows:

- a) In Part 1, Section 7(9.1), the maximum number of temporary on-site real estate signs is increased from two (2) to eight (8);
- b) In Part 1, Section 7(9.1), the sign area is increased from 14 square metres to a maximum of 23 square metres, and the height is increased from 4.5 metres to 5.6 metres for free-standing signs;
- c) In Part 1, Section 7(9.1), the sign area is increased from 14 square metres to a maximum of 103 square metres for hoarding signs; and
- d) In Part 1, Section 7(9.1), the sign area is increased from 14 square metres to a maximum of 39 square metres for fascia signs.

4. This development variance permit applies to only the portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

BridgeCity Hoarding – File at 5% scale

Schedule A

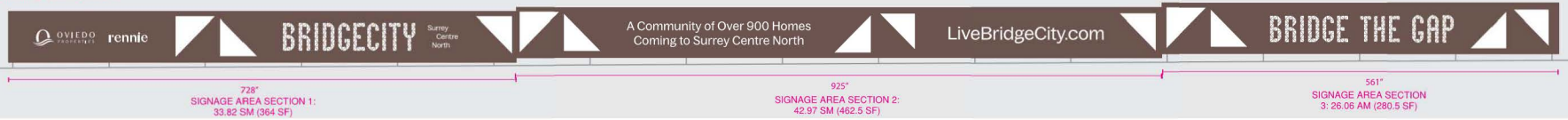
Increase the maximum allowable sign area for hoarding signs from 14 square metres to a maximum of 103 square metres.



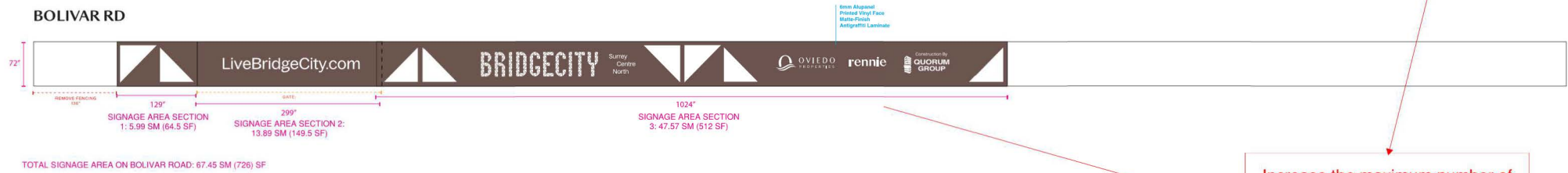
KING GEORGE BLVD



Stepped Design Example: 3 sections
1 foot grade change (Actual grade TBC)



BOLIVAR RD



Increase the maximum number of temporary on-site real estate development/construction signs from two (2) to eight (8).

FAC		202-477-6666 (toll-free)		1-888-235-9939	
CLIENT: OVIEDO	DATE CREATED: 01/03/24	SIZE: REFER TO DOC	PROOF:	CLIENT APPROVAL:	
JOB NAME: BRIDGECITY	DATE MODIFIED: 03/14/24	FOLD: -- BLEED: --	1	2	3
DESIGNER/AD: KATIE	DUE DATE: --	IMAGE RES: 300 DPI	11	FINAL	X
PM: ELIZA	SOFTWARE: ILLUSTRATOR CC	COLORS: CMYK			

BridgeCity Hoarding — File at 10% scale

MONUMENT SIGN

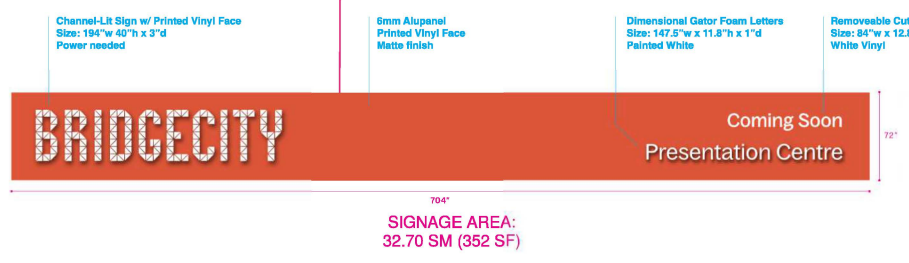


BridgeCity PC Exterior Rooftop — File at 5% scale

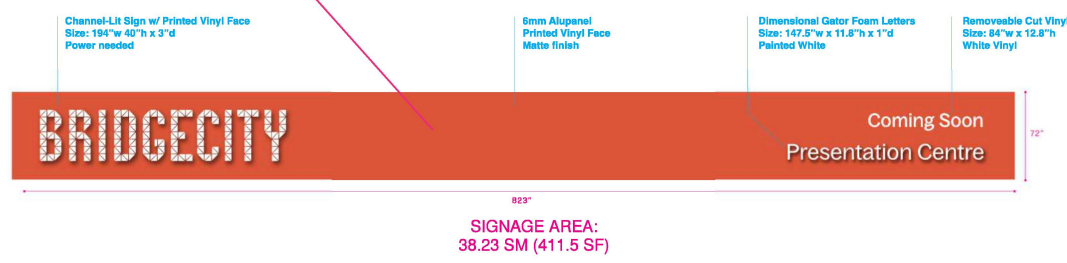
Increase the maximum allowable sign area for fascia signs from 14 square metres to a maximum of 39 square metres.



FRONT



SIDE





BRIDGECITY

Coming Soon
Presentation Centre

BRIDGECITY

Surrey
Centre
North

A Community of Over 900 Homes
Coming to Surrey Centre North

BRIDGECITY

Coming Soon
Presentation Centre

BRIDGE THE GAP



Proposed Sign By-law Variances

#	Variance	Sign By-law Requirement	Rationale
1	Increase the maximum number of temporary on-site real estate development/construction signs from two (2) to eight (8).	Only one temporary on site real estate development sign is allowed along each lot line adjacent to a highway (as per Part 1, Section 7(9.1)).	The marketing signage is an important component of the marketing strategy for the site. Installing marketing signage improves the aesthetic appearance of a development site which is currently used for an automotive dealership.
2	Increase the maximum allowable sign area for hoarding signs from 14 square metres to a maximum of 103 square metres.	The sign area shall not exceed a maximum of 14 square metres (as per Part 1, Section 7(9.1)).	The proposed signs are temporary. They will provide easier visibility and wayfinding along both King George Boulevard and Bolivar Road.
3	Increase the maximum allowable sign area for fascia signs from 14 square metres to a maximum of 39 square metres.	The sign area shall not exceed a maximum of 14 square metres (as per Part 1, Section 7(9.1)).	The proposed signs are temporary. They will provide easier visibility and wayfinding along both King George Boulevard and Bolivar Road.
4	Increase the maximum allowable sign area from 14 square metres to a maximum of 23 square metres and the maximum sign height from 4.5 m to 5.6 m for free standing signs.	The sign area shall not exceed a maximum of 14 square metres (as per Part 1, Section 7(9.1)).	The proposed signs are temporary. They will provide easier visibility and wayfinding along both King George Boulevard and Bolivar Road.

(the "City")

TEMPORARY USE PERMIT

NO.: 7924-0042-00

Issued To:

(the Owner)

Address of Owner:

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-154-462
Lot 3 Except: Part on Statutory Right of Way Plan 5719,
Section 15 Block 5 North Range 2 West New Westminster District Plan 5347
13307 King George Boulevard

(the "Land")

3. The authority to issue Temporary Use Permits is granted to municipalities under Sections 492 and 493 of the *Local Government Act* R.S.B.C. 2015, c.1. Pursuant to Implementation, II(c) Implementation Instruments, Temporary Use Permits of Surrey Official Community Plan, 2013, No. 18020, as amended, the entire City of Surrey is designated a Temporary Use Permit area.
4. The temporary use permitted on the Land shall be for a real estate sales centre and associated surface parking lot.
5. The temporary use permitted on the Land shall be in accordance with:
 - (a) The appearance and location of the buildings, access and parking as shown on Schedule A which is attached hereto and forms part of this permit.

6. The temporary use shall be carried out according to the following conditions:
 - (a) Parking is restricted to vehicles less than 5,000 kilograms GVW;
 - (b) The parking surface shall be of a dust-free material such as crushed gravel;
 - (c) Upon termination of this Temporary Use Permit, the real estate centre and temporary parking shall be removed, and the land restored to its original condition.

7. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:

Cash in the amount of \$5,000.00

8. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.

9. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.

10. This temporary use permit is not transferable.

11. This temporary use permit shall lapse on or before three years from date of issuance.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Authorized Agent: Signature

Name (Please Print)

OR

Owner: Signature

Name: (Please Print)

TO THE CITY OF SURREY:

I, _____ (Name of Owner)

being the owner of _____
(Legal Description)

known as _____
(Civic Address)

hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary use permit.

(Owner)

(Witness)

OSP - BOLIVAR PRESENTATION CENTER

Schedule A

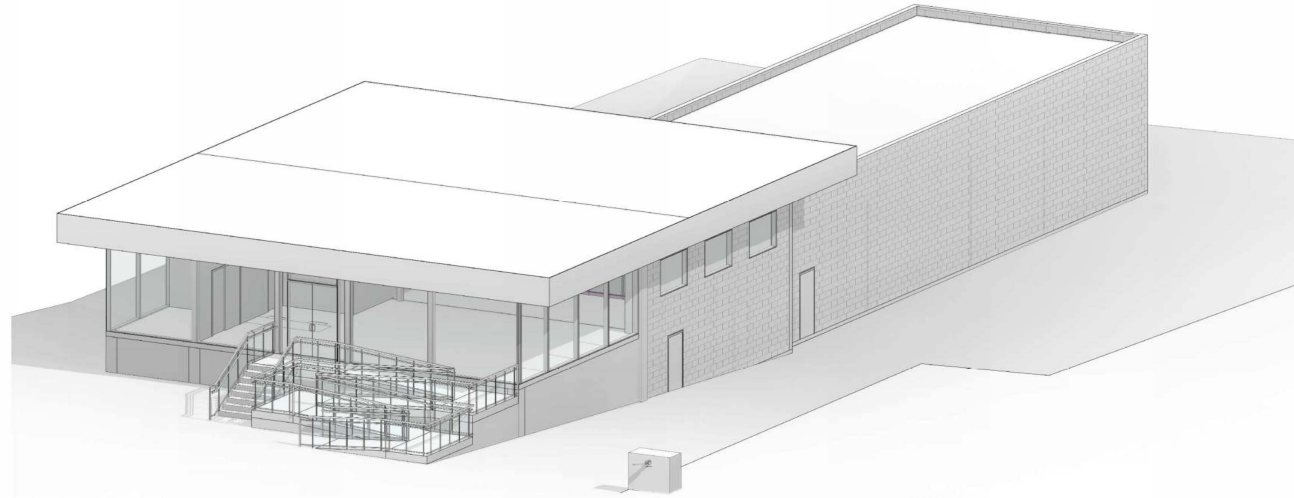
PROJECT ADDRESS :
13307 King George Blvd
Surrey, BC



CHRIS DIKEAKOS ARCHITECTS INC.
1635 W Broadway Vancouver, B.C. V6J 1W9
T 604 291 2660 E-MAIL: INFO@DIKEAKOS.COM
- WEBSITE : WWW.DIKEAKOS.COM



OVIEDO PROPERTIES
101-8310 130th STREET SURREY, BC, V3W 8J9
T 778-218-2657 WWW.OVIEDOPROPERTIES.COM



ISSUED FOR BUILDING PERMIT

MARCH 6 2024

PROJECT CONTACT LIST

OWNER
OVIEDO PROPERTIES
CONTACT: KANWAR DHAMRAIT
101-8310 130th STREET
SURREY, BC V3W 8J9
TEL: 604-268-8789
EMAIL: kanwar@oviedoproperties.com

ARCHITECT
CHRIS DIKEAKOS ARCHITECTS INC.
CONTACT: RICHARD BERNSTEIN
CONTACT: PHILIP POLOTSKY
1025 W BROADWAY
VANCOUVER, BC V6J 1W9
TEL: 604-291-2660
EMAIL: richard_b@dikeakos.com
EMAIL: philip_p@dikeakos.com

INTERIOR DESIGN
AREAS DESIGN
CONTACT: LISA HANSEN
217-706 RIVER ROAD
RICHMOND, BC V6X 1X5
TEL: 778-291-2732
EMAIL: lisa@areasdesign.ca

STRUCTURAL
GLOTTMAN SIMPSON
CONTACT: LEW STEELING
1861 WEST 5th AVENUE
VANCOUVER, BC V6J 1H9
TEL: 604-630-3487
EMAIL: lew@gsimensions.com

MECHANICAL
MCW CONSULTANTS LTD
CONTACT:
1400-1111 W GEORGIA STREET
VANCOUVER, BC V6E 4M3
TEL: 778-291-2732
EMAIL:

ELECTRICAL
MCW CONSULTANTS LTD
CONTACT:
1400-1111 W GEORGIA STREET
VANCOUVER, BC V6E 4M3
TEL: 778-291-2732
EMAIL:

AUTHORITY
CITY OF SURREY
CONTACT:
13450 - 104 AVENUE
SURREY, BC V3T 1V8
TEL:
SMALL:
BUILDING CODE
GHE CONSULTANTS LTD.
CONTACT: ADAM NASEM
800-700 W PENDER STREET
VANCOUVER, BC V6C 1G8
TEL: 604-689-4449
EMAIL: an@ghl.ca

SHEET LIST - Architectural

SHEET NUMBER	SHEET NAME
A000	COVER
A001	CONSTRUCTION ASSEMBLIES & DOOR SCHEDULE
A002	OVERALL SITE
A003	SURVEY
A100	SITE PLAN (EXISTING)
A101	SITE PLAN (PROPOSED)
A102	FIRE TRUCK ACCESS PLAN
A200	FLOOR PLAN - LEVEL 1 AND 2 (EXISTING)
A201	FLOOR PLAN - ROOF PLAN (EXISTING)
A202	FLOOR PLAN - LEVEL 1 AND 2 (DEMOLITION)
A203	FLOOR PLAN - ROOF PLAN (DEMOLITION)
A204	FLOOR PLAN - LEVEL 1 AND 2 (PROPOSED)
A205	FLOOR PLAN - ROOF PLAN AND STAIR PLANS/SECTIONS (PROPOSED)
A300	ELEVATIONS (PROPOSED)
A400	BUILDING SECTIONS (PROPOSED)
A900	INTERIOR WINDOW ELEVATIONS (PROPOSED)

SHEET LIST - Structural

SHEET NUMBER	SHEET NAME
S100	TITLE SHEET
S101	GENERAL NOTES
S102	GENERAL NOTES
S201	LEVEL 01
S202	LEVEL 02
S303	LEVEL 03 ROOF
S601	SECTIONS AND DETAILS

SHEET LIST - Mechanical

SHEET NUMBER	SHEET NAME
M1.0	COVER SHEET
M1.1	SITE PLAN
M2.0	FOUNDATION PLAN
M2.1	MECHANICAL DEMO PLAN
M3.0	LOWER LEVEL - MECHANICAL CONSTRUCTION PLAN
M3.1	UPPER LEVEL - MECHANICAL CONSTRUCTION PLAN
M3.2	ROOF - MECHANICAL CONSTRUCTION PLAN
M4.0	DETAILS AND SCHEDULE

SHEET LIST - Electrical

SHEET NUMBER	SHEET NAME
E1.0	SITE PLAN LEGEND
E1.1	ELECTRICAL SITE PLAN
E2.0	DEMOLITION PLAN
E3.0	LOWER LEVEL FLOOR PLAN
E3.1	UPPER LEVEL FLOOR PLAN
E4.0	SINGLE LINE DIAGRAM AND DETAILS
E5.0	MECHANICAL EQUIPMENT SCHEDULES

SHEET LIST - Fire Protection

SHEET NUMBER	SHEET NAME
FP1.0	COVER PAGE
FP2.1	LOWER AND UPPER LEVEL FP
FP3.0	SCHEMATIC
FP4.0	FP DETAILS

Area Schedule (EXISTING BUILDING)		
Level	Name	Area
LEVEL 1	LEVEL 1 OVERALL	5102 M ²
LEVEL 2	LEVEL 2 OVERALL	2850 M ²
Total Area		7952 M ²

Project Information (EXISTING BUILDING)		
Existing Site Area	65,001 SF (6,028.8 SM)	
Gross Site Area (Excl. Undevelopable Area)	60,806 SF (5,648.1 SM)	
Net Site Area	49,956 SF (4,649.9 SM)	
Floor Area Ratio	0.131642	
Building Height	21.96 FT (6.69 M)	
Riparian Area	19,850 SF (1,844.2 SM)	
Undevelopable Area	4,194 SF (389.7 SM)	

Area Schedule (PROPOSED)		
Level	Name	Area
LEVEL 1	LEVEL 1 OVERALL	5102 M ²
LEVEL 2	LEVEL 2 OVERALL	1982 M ²
Total Area		7084 M ²

Project Information (PROPOSED BUILDING)		
Existing Site Area	65,001 SF (6,028.8 SM)	
Gross Site Area (Excl. Undevelopable Area)	60,806 SF (5,648.1 SM)	
Net Site Area	49,956 SF (4,649.9 SM)	
Floor Area Ratio	0.131642	
Building Height	21.96 FT (6.69 M)	
Riparian Area	19,850 SF (1,844.2 SM)	
Undevelopable Area	4,194 SF (389.7 SM)	

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Building Code Analysis
 Major Occupancy: Group D (Office)
 Building Footprint Area: 485 m²
 Building Height: 2 Storeys

Construction requirements:
 - Construction Article: 3.2.2.83
 - Maximum Building Area Permitted: 2,400 m²
 - 2-level interconnection via open stair 50% max building area (1200m²) met
 - Combustible construction
 - Sprinklered to NFPA 13
 - 45min FRR floor fire separation
 - Load bearing supports to have FRR not less than 45min or be of noncombustible construction.

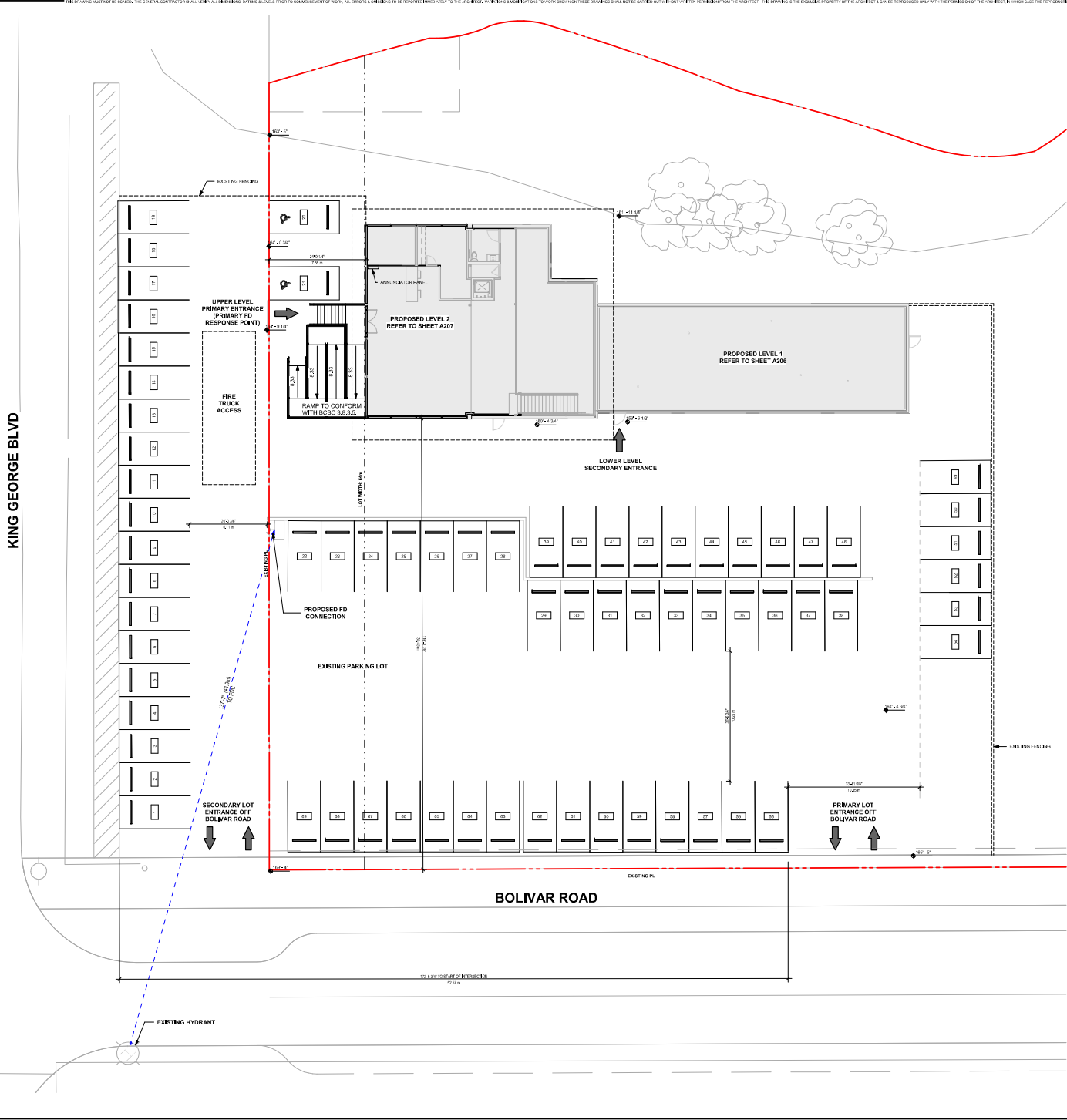
Area Schedule (PROPOSED)		
Level	Name	Area
LEVEL 1	LEVEL 1 OVERALL	6102 m ²
LEVEL 2	LEVEL 2 OVERALL	1782 m ²
Total Area		7884 m ²

PARKING REQUIRED = 2.5 STALLS PER 100sqm = 17 STALLS		
TYPE	COUNT	PROVIDED
REG. ACCESSIBLE	2	2
REGULAR	15	15



LEGEND

DESCRIPTION	SYMBOL
PROPERTY LINE	---
STAYOUT-WEIGHT OR STAY	----
SETBACK LINE	-----
GAZELINE	-----
BUILDING OUTLINE ABOVE	-----
FIRE TRUCK ACCESS ROUTE	↔
FIRE HYDRANT	⊕
FIRE DEPARTMENT HOSE CONNECTION	⊕
ELEVATION	↑
SMOKE	⬇
VEHICULAR ENTRY	➔
PEDESTRIAN ENTRY	➔
EXTENT OF PROPOSED BUILDING	▭



REV.	REVISION	DATE
1	ISSUED FOR PERMIT	18/05/2024



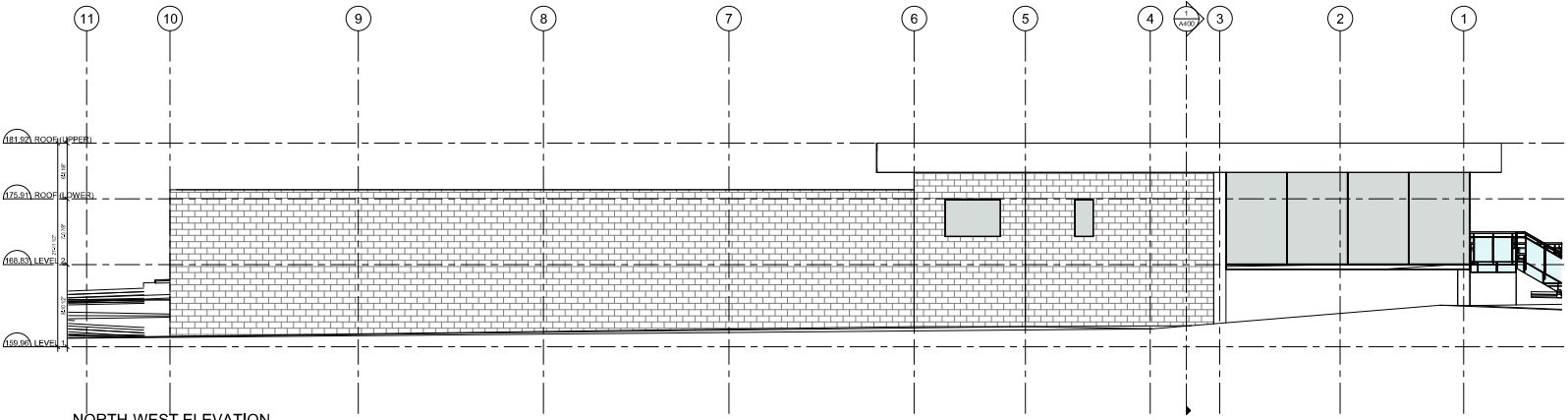
13307 King George Blvd
 Surrey, BC

PROJECT:	OSP - BOLIVAR PRESENTATION CENTER
DATE:	18/05/2024
SCALE:	1" = 100'
PLLOT DATE:	2024/05/18

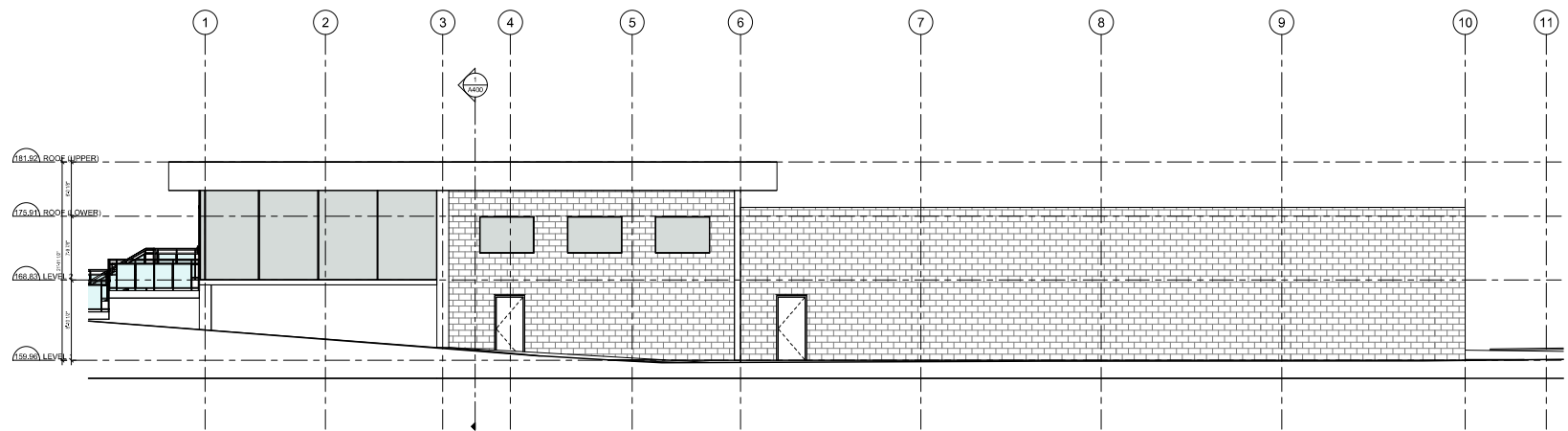
SITE PLAN (PROPOSED)

A101

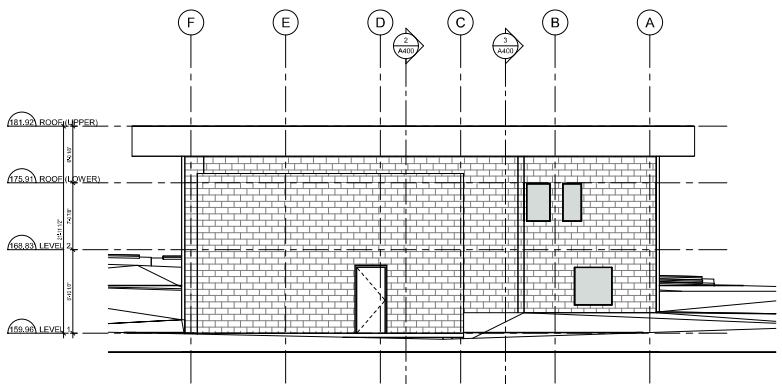
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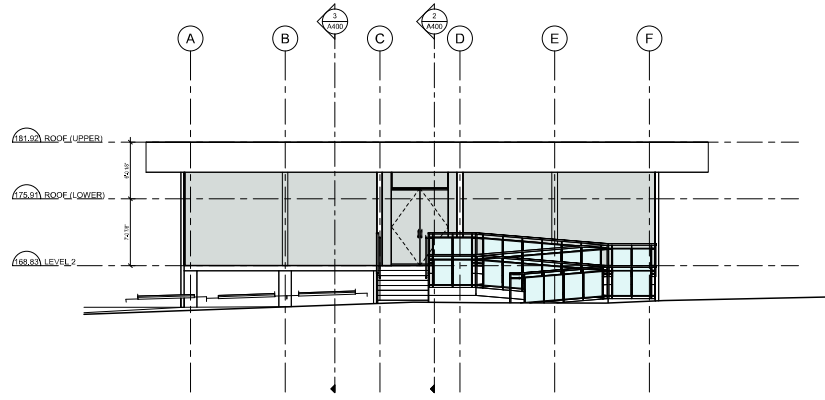
1
NORTH-WEST ELEVATION
(PROPOSED)
3/16" = 1'-0"



2
SOUTH-EAST ELEVATION
(PROPOSED)
3/16" = 1'-0"



3
NORTH-EAST ELEVATION (PROPOSED)



4
SOUTH-WEST ELEVATION (PROPOSED)

LEGEND	
ELEVATION	GRAPHIC
DESCRIPTION	
WEATHERPROOF RECEPTACLE	WPR
GRID LINE	GRID LINE
HOSE END	HOSE END
ELEVATION	ELEVATION
PROPERTY LINE	PROPERTY LINE
FINISHED GRADE	FINISHED GRADE
EXISTING GRADE	EXISTING GRADE
EXHAUST/STACK SHAFT	EXHAUST/STACK SHAFT (REF. TO MODEL)

NO.	REVISION	DATE
REVISIONS:		

CHRIS DIKEAKOS ARCHITECTS INC.
 15307 King George Blvd
 Surrey, BC
 TEL: 604.591.8887
 FAX: 604.591.8887
 WWW.CHRISDIKEAKOS.COM

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PROJECT:
 OSP - BOLIVAR PRESENTATION CENTER

15307 King George Blvd
 Surrey, BC

SHEET:

DATE:

FOR NO. 21-018 TSD

SCALE: 3/16" = 1'-0"

PLT DATE: 2024-04-11 4:02:27 PM

SHEET TITLE:
ELEVATIONS (PROPOSED)