



Corporate Report

NO: C012

COUNCIL DATE: May 28, 2007

COUNCIL-IN-COMMITTEE

TO: **Mayor & Council** DATE: **May 24, 2007**

FROM: **Acting General Manager, Planning and Development** FILE: **6520-20** (Grandview Heights #2)

SUBJECT: **Grandview Heights Neighbourhood Concept Plan #2 - Character Defining Elements**

RECOMMENDATION

It is recommended that Council:

1. Receive this report for information; and
2. Authorize staff to hold a public open house in order to seek feedback on a draft preferred land use concept for the Grandview Heights Neighbourhood Concept Plan #2, as shown in Appendix I of this report.

INTENT

The purpose of this report is to respond to comments and directions related to the draft preferred land use concept for Grandview Heights Neighbourhood Concept Plan ("NCP") #2, received at the Council-in-Committee meeting of April 2, 2007. The character defining elements of the NCP area, which were inherent in the proposed plan, have been further refined and are described more fully in this report. Sections of this report also provide information related to the larger Grandview Heights area and how this NCP will be integrated with nearby parks and open space networks and other land uses. This report also illustrates the distinct identity of NCP #2 as a neighbourhood with attractive, accessible and unique public spaces.

BACKGROUND

On April 2, 2007, Council-in-Committee received Corporate Report No. C004. The report described a draft preferred land use concept for Grandview Heights NCP #2 and requested that Council authorize the plan to be taken to a public open house. At that meeting, Council asked a number of questions related to the character of the area. In particular, Council noted that the plan should provide opportunities for public squares/gathering places that add character to the area and celebrate its uniqueness. Council also requested clarification on a number of items, including future population estimates, the time frame for build out, proposed multi-use corridors and cited various transportation and health-related matters. Council also requested clarification that the

South of Fraser Transit Plan process and the Fraser Health Authority had been consulted in the process. Council directed staff to bring back a further report with modifications based on comments made by Council during the discussion on the report. Since that time, staff have worked with the Citizens' Advisory Committee ("CAC") to introduce enhancements and minor modifications to the plan and to better describe its character defining elements.

DISCUSSION

The Context of NCP #2 within Surrounding Plan Areas

Grandview Heights NCP #2 is part of the larger Grandview Heights community. It is bordered by several distinct plan areas.

One of these adjacent plan areas is the Highway 99 Corridor Plan, which contains the major Grandview Corners commercial node at 24 Avenue and 164 Street. Because of its magnitude and stage of development, Grandview Corners has been considered an emerging Town Centre in the Grandview Heights area. Grandview Corners is outside of the NCP #2 Plan area and not part of this report, but its status as a potential municipal town centre will be considered and confirmed during the upcoming major Official Community Plan ("OCP") review. Grandview Heights NCP #2 will support the realization of a successful future town centre area east of Highway 99.

There has been considerable success in achieving space-defining elements and public gathering places in the Grandview Corners development, Larco development, the Smart Centres sites and other projects. These include:

- nine outdoor gathering spaces of different sizes, complete with public art installations at the Larco Village site;
- integration of the Pioneer Greenway into developments that front Croydon Drive and 160 Street; and
- a mini "main street" with angle parking at the neighbourhood commercial site at the northeast corner of 160 Street and 24 Avenue, together with limits on the amount of surface parking.

Appendix II of this report shows the larger context surrounding NCP #2. It highlights existing and future parks and open space opportunities in the area. Access from NCP #2 into abutting developments within the Highway 99 Corridor Local Area Plan will be provided from sidewalks, multi-use corridors and the Grandview Ridge Trail, a defining feature of this neighbourhood. A connection from NCP #2 to the City-owned detention pond south of 24 Avenue will also be explored. At the time the pond was required (in conjunction with development in Grandview Corners), future multiple residential development in NCP #2 was not anticipated. Adjacent uses within NCP #2, however, now include a multi-use corridor, a neighbourhood park and apartment buildings. Connecting the pond to NCP #2 will enhance the trail system and offer viewing opportunities for future residents.

South of 16 Avenue, the Fergus Creek Habitat Preservation Area will adjoin NCP #2. Connections into this important nature park will be provided from the future Pioneer Greenway (in the Highway 99 Corridor Local Area Plan) and sidewalks and/or walkways along 168 Street and other future local roads in NCP #2.

The Morgan Heights NCP (NCP #1 of the Grandview Heights General Land Use Plan) adjoins NCP #2 to the north. That neighbourhood will be connected to NCP #2 via sidewalk and road extensions of 161A Street and 163 Street. The multi-use pathway proposed for the north side of 24 Avenue will be replicated on the south side in NCP #2. When future NCPs to the north and east commence, appropriate road and pedestrian connections into NCP #2 will be explored. Access to Darts Hill Park and connections to Redwood Park will also need to be considered.

The Grandview Heights General Land Use Plan identified a community-scale park and recreation facility in future NCP #5. The plan noted that the park may include playing fields and a community centre. The General Land Use Plan noted that the exact location or locations would be determined at the NCP stage. In the interim, land may be acquired for park, but either ultimately used for such purposes or held in a land bank. Cultural facilities, including a community centre and other civic amenities, would be more appropriately situated within such a community-scale park, similar to the South Surrey Athletic Park. Provision of area-wide amenities will also be further explored in conjunction with future developments within the Grandview Corners area.

The General Land Use Plan also designated two neighbourhood commercial nodes within the plan area. One is located within NCP #2 and is discussed in the section below. The other is located at the northeast corner of 176 Street and 24 Avenue in future NCP #4. Both of these nodes are intended to serve the convenience needs of local residents. They also have the potential to contribute to the identity and character of their surrounding communities. This can be accomplished through the creation of place-sensitive design guidelines and through the identification of appropriate uses.

Character Defining Elements – NCP #2 as a Sustainable Neighbourhood

At the May 14, 2007 meeting of Council-in-Committee, Council received a presentation by Mark Holland of the Holland Barrs Planning Group, a consultant who specializes in issues of sustainability. Many of the features that were identified by Mr. Holland as being the hallmarks of a sustainable neighbourhood have been integral to the planning of Grandview NCP #2. These include the promotion of a range of densities that reduce the footprint of residential development and provide for a transit friendly and walkable neighbourhood. The exploration of geo-exchange heating and cooling systems, and a network of multi-use streets which will create a safe, walkable community are part of this proposed land use concept.

Appendix III shows the proposed character plan for Grandview Heights NCP #2. NCP #2 will be a community of inter-connected streets and pathways. The character plan includes the following features:

- gateway landmarks at key entrance points into the community on 24 Avenue at 161A Street and 164 Street, and on 20 Avenue at 164 Street and 168 Street; these landmarks may consist of landscape features complemented by guidelines for the buildings that will anchor these entrances and will be further considered at Stage 2 of the NCP;
- entrance markers at secondary access points into the neighbourhood, including the intersections of 167 Street and 16 Avenue and 168 Street and 18 Avenue;
- a neighbourhood square in the vicinity of 168 Street and 24 Avenue and a public square/gathering place to be designed and integrated into the future park site at 23 Avenue and 166 Street;

- trail markers at the entrances to the Grandview Ridge Trail;
- viewpoints with seating areas along the Grandview Ridge Trail where the southwestern exposure grants views toward the ocean and the Semiahmoo Peninsula; at least five viewpoint locations have been identified at this time; during Stage 2, specific guidelines that capture the essence of the terrain will be considered.
- community landmarks at significant visual locations, such as 168 Street and 24 Avenue; and
- "community connectors" that identify key pedestrian routes to connect the communities together.

The commercial focal point of NCP #2 will be centred on the mixed-use node at the southwest corner of 168 Street and 24 Avenue. Storefront uses will be supported by a slightly higher surrounding residential density. A new commercial plaza will be required in conjunction with development of the area and is expected to take on some of the meeting place function associated with the existing corner store. Future local roads that connect to 23 Avenue will have the potential to be closed off for community celebrations.

A unique element of NCP #2 is the Grandview Ridge Trail. It is proposed to be approximately 2.2 kilometres (1.3 miles) long and located in a roughly 20 metre (66 foot) wide corridor. The trail, situated at the top of the slope, will accommodate a range of users and connect the northern and southern parts of the neighbourhood. Where feasible, existing trees along the ridge area will be retained. With supplemental landscaping, it is expected that the Grandview Ridge Trail will maintain some potential for wildlife movement. At this time, it is anticipated that the trail would be secured by statutory rights-of-way for public passage through residential development sites. It is also anticipated that the net density of such sites will not be affected by the presence of the trail. Figure 1, below, portrays a segment of the Grandview Ridge Trail. It has the potential to be an extremely attractive amenity for abutting developments and the entire community.

Figure 1: Sketch of Grandview Ridge Trail, looking south from potential viewpoint



Another
through

corridors. Recommended
at Plan (ISMP), the corridors

serve a drainage function, but will also incorporate landscaping and a pathway. Approximately 20 metres wide, the multi-use corridors will be strategically located along key streets in NCP #2. They will provide for an attractive street frontage with

recreational and ecological values. Figure 2 shows a sketch of one of the proposed multi-use corridors in NCP #2.

Figure 2: Sketch of Multi-Use Corridor



Through its interconnected network of paths and nodes, future residents in Grandview Heights NCP #2 will have choice and flexibility in how they move about their community. A range of destination points will include three new parks. Appendix IV shows the potential uses of these parks. The detailed design of these areas will be done in consultation with the future community. However at this point, potential park uses that are viable with the size and nature of each park include the following:

- community gardens and climbing wall in the northern park site adjacent to the ridge;
- youth facilities and a games court in the central park located on the site of the Sunnyside Saddle Club; and
- a meditation circle, picnic area and lawn bowling in the 18 Avenue park.

Each park is expected to have trails, natural areas and connections to other neighbourhood amenities. The largest park is centrally located adjacent to both proposed elementary school sites. The park and school together will form the heart of the community. The potential for building a community school in NCP #2 will be encouraged. A community school can maximize community benefit by providing meeting space and helping to ensure the effective use of facilities. This will also help to meet some of the key objectives of the City's Plan for the Social Well-being of Surrey Residents.

As the community develops, opportunities for public art, festivals and other cultural experiences are likely to emerge. The success of the NCP's public spaces will be substantially dependent on how they are programmed and managed over time. The

importance of building and maintaining community partnerships will be essential to this success.

The character of this future community can be further established by assigning a name to the NCP. This has been discussed with the CAC on several occasions. The following names reflect some of the historical and natural features of the NCP and were included among the CAC's suggestions:

- Fergus Creek Ridge;
- Sunnyside Views;
- Meridian Ridge; and
- Sunnyside Heights

A full list of names is proposed to be taken to the next public open house for further deliberation. The naming of off-grid major streets and trails within NCP #2 has also been brought up at the CAC. During Stage 2 of the NCP, it is possible that recommendations on street names may be forwarded to Council.

Transportation, Sustainability Features and Projected Population

Transit Friendly Road Network

The road network proposed in NCP #2 was designed in consultation with Translink to ensure its connectivity and suitability for buses. Future bus service is anticipated for 164 Street, given that it serves the highest density area and is the neighbourhood's main collector route. Community shuttle connections to Semiahmoo Town Centre are envisioned to travel along 24 Avenue or 16 Avenue. Translink staff have commented that a good transit network includes not only the bus stops, but also how people reach them. The extensive network of sidewalks, pathways and regularly spaced roads proposed for NCP #2 will facilitate this access.

The alignment of 164 Street in NCP #2 has been carefully and thoroughly examined. An alignment west of the existing unopened right-of-way is considered necessary for safety reasons. Traffic congestion in South Surrey was cited by Council-in-Committee as a key concern. Additional highway access points in South Surrey continue to be explored by the City with the Ministry of Transportation. Efforts on the part of the City to encourage alternate modes of transportation and to increase employment opportunities are expected to reduce traffic issues over the longer term.

Multi-Use Streets and a Walkable Neighbourhood

It is estimated that approximately 70 to 80 percent of a city's public space is in streets. The road network in NCP #2 thus presents a tremendous place-making opportunity. Overall, NCP #2 will be a walkable neighbourhood that promotes active living and good health. Future streets through the community will have sidewalks, street trees, and attractive and innovative multi-use corridors in key locations. Through Stage 2 of the NCP, traffic calming and street parking plans will be pursued in addition to detailed building design guidelines. These are all important components that impact the public realm. Staff are also continuing to explore the possibility of developing Surrey's first Green Street in NCP #2. This, together with enhanced infiltration capabilities under all roads, was suggested in the draft Fergus Creek Integrated Stormwater Management Plan.

Retention of forest patches

Appendix I shows the locations of wildlife forest patches, which are high quality stands of older, mature, natural forests. The retention of these patches through park dedication and/or cluster housing will be explored during Stage 2 of the NCP.

Geo-Exchange

The potential for geo-exchange as a source for heating and cooling of homes is currently under investigation. The City, in partnership with the Community Energy Association and Corix Utility Services, has been successful in obtaining a grant from GeoExchange BC to study the opportunities associated with the implementation geoexchange heating and cooling systems in the Grandview Heights community, specifically NCP #2. Hemmera Energy has been retained and is currently completing the technical feasibility study to examine the geotechnical characteristics of the community and potential environmental impacts, the potential cost savings over time, and the subsequent and potential reductions in greenhouse gas emissions. It is expected that the final results from this technical feasibility study will become a key component of the servicing strategy for the neighbourhood, as identified through the Stage 2 NCP planning process. A component of the work will also include possible governance models for the ownership and operation of such utilities should they prove to be feasible.

Population and Health Care

The projected future population of NCP #2 at full build-out (15 to 20 years) and based on the draft preferred land use concept, is 7,000 to 11,000 people. Based on the designations shown in the General Land Use Plan, it was estimated that this NCP would have a population ranging from 4,000 to 9,000 people (out of the total population range of 20,000 to 32,000 people). The General Land Use Plan did state, however, that the suburban area in the vicinity of Edgewood Drive would be further examined during the NCP process and the densities potentially re-evaluated. This process has been undertaken, and the proposed land use concept provides for the ultimate servicing and redevelopment of this area, should the owners wish to redevelop at a future date. Through the course of this planning process, residential densities have increased in certain areas.

It is recognized that the provision of health care facilities to match population growth is a mandate of senior levels of government. Fraser Health Authority staff have been involved in discussions regarding the walkability of the neighbourhood and its impact on health promotion. Staff have also consulted with Dr. Lawrence Frank of UBC, regarding improving the walkability of Surrey neighbourhoods. The relationship between land use planning and health has been noted by representatives from the Fraser Health Authority who have been consulted through the development of the NCP, to date. Staff have also met with the Peace Arch Hospital Foundation and provided them with population estimates for South Surrey.

CONCLUSION

The future neighbourhood that develops in area #2 of Grandview Heights will incorporate many characteristics of a good place. It will offer choices in travel routes and destinations. Clusters of activities will be provided around the commercial plaza and the school/park site. A variety of housing densities and forms will be provided along an interconnected road and pathway network. The foundations of the plan have been established and will be further refined during Stage 2 of the NCP. A placemaking exercise will be conducted with the CAC and other stakeholders to ensure the neighbourhood develops into a place one "never wants to leave".

Several of Council's strategic priorities are reflected in the draft preferred land use concept for NCP #2. These will be more fully elaborated on in the final NCP document. Specifically, these areas are:

- Community Beautification through the protection of key environmental features in parks, along the Grandview Ridge Trail and through the potential use of cluster housing designations, and through the development of high quality, place sensitive design guidelines;
- Creation of a Sense of Place through sustainable and unique features including the proposed multi-use corridors, character plan elements and a name for the NCP;
- Crime Reduction through the application of environmental design principles (CPTED) in the layout of pathways and the design and orientation of housing during both the planning and implementation stages;
- Community Health promotion by the development of a highly walkable community;
- Transportation systems that encourage multiple modes of movement that are safe and sensitive to the environment.

It is expected that the NCP will reflect positively on the City's reputation for innovation and originality.

Subject to Council's authorization, a public open house on the draft preferred land use concept for NCP #2 will be scheduled. Newspaper notices and letters of invitation to area residents, Council committees and other stakeholders will be distributed. Feedback

from the open house will be used to guide the affirmation of a final preferred land use concept which will be presented to Council in a subsequent report.

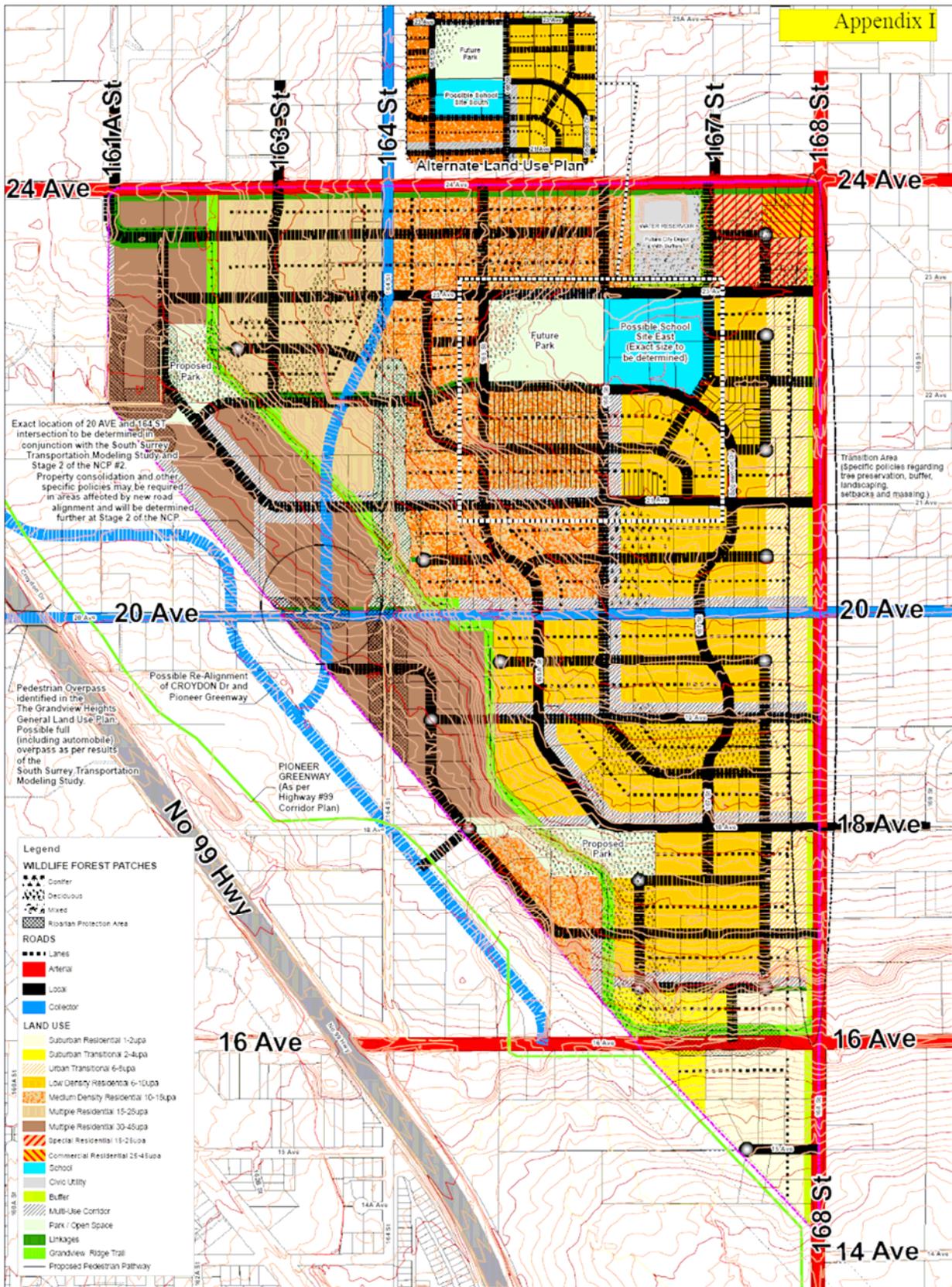
How Yin Leung
Acting General Manager
Planning and Development

TA/kms/saw

Attachments:

- Appendix I Draft Preferred Land Use Concept
- Appendix II Grandview Heights NCP #2 and Area Parks and Open Space Network
- Appendix III NCP #2 Character Area Plan
- Appendix IV NCP #2 Conceptual Park & Open Space Uses

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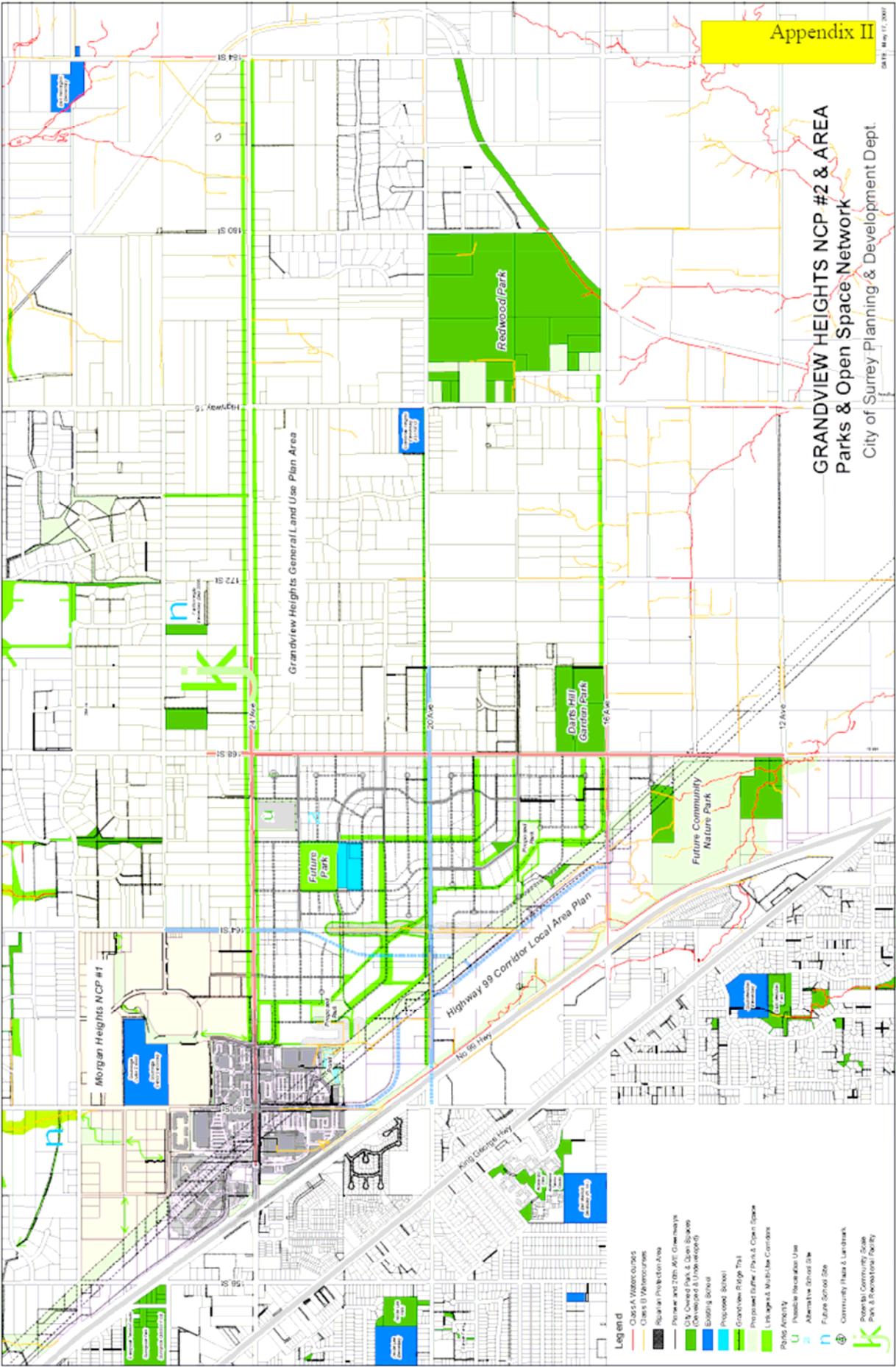
Grandview Heights NCP Area #2
"DRAFT" PREFERRED LAND USE CONCEPT (Stage 1)
 City of Surrey Planning & Development Department

NOTE: Multi-Use Corridor locations and dimensions are preliminary and will be finalized at Stage 2 of the NCP.

NOTE: This Land Use Map is for discussion purposes only.

GRANDVIEW HEIGHTS NCP #2 & AREA Parks & Open Space Network

City of Surrey Planning & Development Dept.



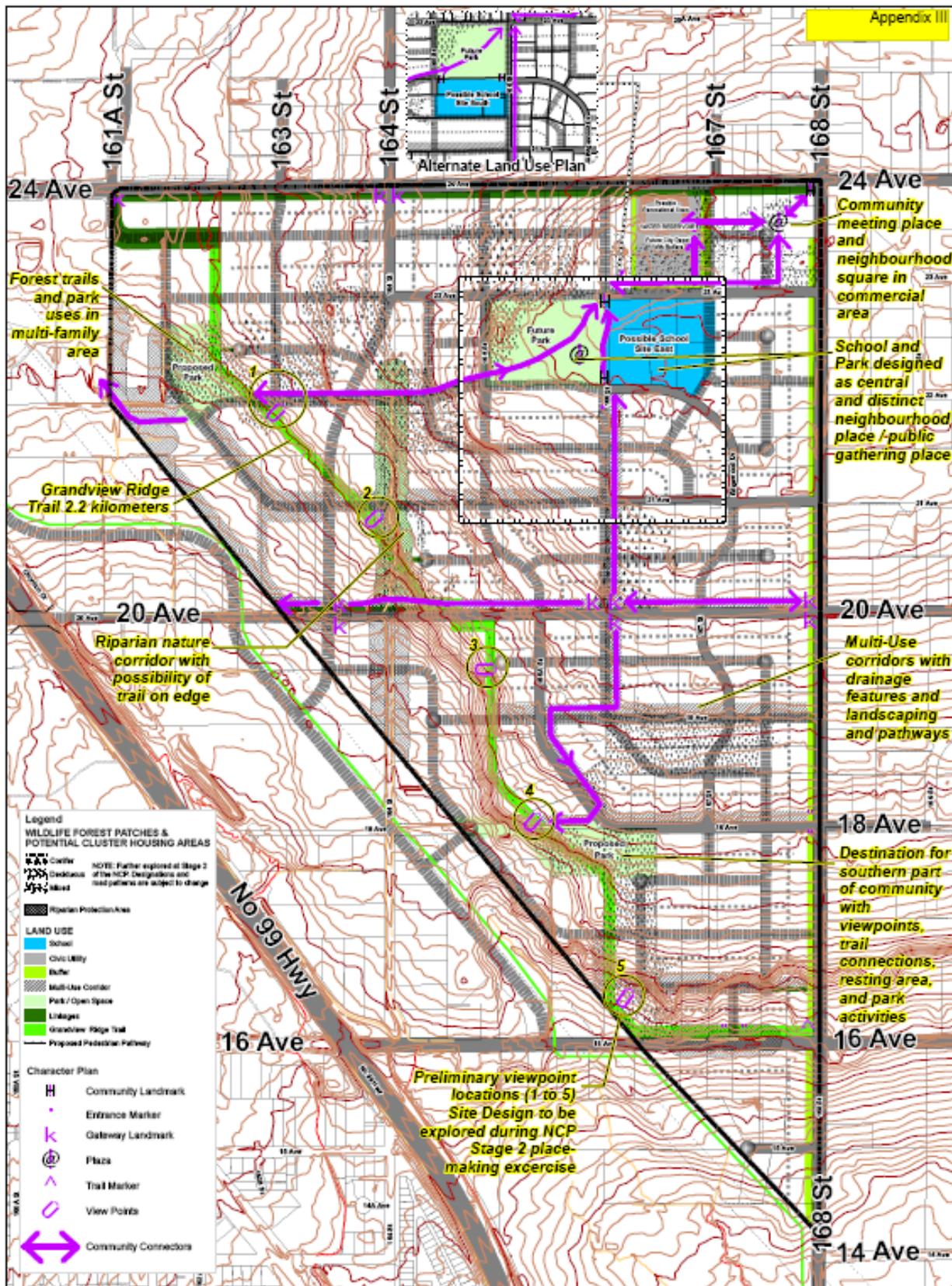
- Legend**
- Orange line: Class A Watercourses
 - Red line: Class B Watercourses
 - Blue line: Riparian Projection Area
 - Green line: Pioneer and 20th Ave Greenways
 - Light green area: City Owned Parks & Open Spaces (Developed & Undeveloped)
 - Blue square: Existing School
 - Light blue square: Proposed School
 - Light green square: Grandview Ridge Trail
 - Light green square: Proposed Buffer (Parks & Open Space)
 - Light green square: Linkages & Multiple Corridors
 - Light green square: Possible Recreation Use
 - Light blue square: Alternative School Site
 - Light blue square: Future School Site
 - Light green square: Community Plaza & Landmark
 - Light green square: Potential Community Scale Park & Recreational Facility

Morgan Heights NCP #1

Grandview Heights General Land Use Plan Area

Highway 99 Corridor Local Area Plan

15th Street, 16th Street, 17th Street, 18th Street, 19th Street, 20th Street, 21st Street, 22nd Street, 23rd Street, 24th Street, 25th Street, 26th Street, 27th Street, 28th Street, 29th Street, 30th Street, 31st Street, 32nd Street, 33rd Street, 34th Street, 35th Street, 36th Street, 37th Street, 38th Street, 39th Street, 40th Street, 41st Street, 42nd Street, 43rd Street, 44th Street, 45th Street, 46th Street, 47th Street, 48th Street, 49th Street, 50th Street, 51st Street, 52nd Street, 53rd Street, 54th Street, 55th Street, 56th Street, 57th Street, 58th Street, 59th Street, 60th Street, 61st Street, 62nd Street, 63rd Street, 64th Street, 65th Street, 66th Street, 67th Street, 68th Street, 69th Street, 70th Street, 71st Street, 72nd Street, 73rd Street, 74th Street, 75th Street, 76th Street, 77th Street, 78th Street, 79th Street, 80th Street, 81st Street, 82nd Street, 83rd Street, 84th Street, 85th Street, 86th Street, 87th Street, 88th Street, 89th Street, 90th Street, 91st Street, 92nd Street, 93rd Street, 94th Street, 95th Street, 96th Street, 97th Street, 98th Street, 99th Street, 100th Street



Grandview Heights NCP Area #2
CHARACTER PLAN
 City of Surrey Planning & Development Department

