

Three significant business park developments house anchor tenants that include KN&V Chartered Accountants, BC Biomedical Labs and Manulife Securities. The area will benefit from continued residential and commercial growth to the south along the Highway 99 Corridor.

Rosemary Heights Business Park

OVERVIEW

The Rosemary Heights Business Park (77 acres/31.12 ha) is located centrally in South Surrey and is bounded by 32 Avenue to the north, Morgan Creek to the south, 156 Street to the east and Highway 99 to the west.

Business park development has occurred in the westerly portion of Rosemary Heights and residential development in the easterly portion. The area is projected to accommodate approximately 1.05 million square feet of business floor area and 3,650 jobs. Significant residential development has occurred with the construction of 4 projects that add 224 townhouse and 150 apartment units to the area. The Rosemary Heights population is projected to more than double from 1,200 in 2006 to 2,900 in 2031.

ZONING AND LAND USE

Rosemary Business Park is zoned for Business Park use, as well as live/work and Business Park areas to the east bordering the north and south of Titman Creek. The Neighbourhood Community Plan envisages a Business Park that will accommodate low-impact businesses such as high-tech industries, research and development companies, light manufacturing and corporate head offices. The park has attracted a variety of firms from the financial, real estate, medical and construction sectors.

**Please refer to Zoning By-law 12000 for detailed descriptions, permitted uses and other regulatory information at: www.surrey.ca/plans-strategies/4699.aspx*

COMPETITIVE ADVANTAGES

- Excellent exposure and access along Highway 99.
- Highway 99 provides direct connection to the US via the Peace Arch Border within 20 minutes.
- Convenient access to second busiest commercial crossing in Canada at the Pacific Border crossing within 25 minutes.
- Close proximity to 2 international airports. Highway 99 provides direct access to the Vancouver International Airport within 30 minutes; Abbotsford International Airport is also located within 30 minutes.
- Located adjacent to major east/west truck route along 32nd Avenue.
- Trans Canada Highway 1 located north within 30 minutes.

UTILITIES/SERVICING

Infrastructure and servicing, including sanitary sewer, water, drainage, and transportation infrastructure have been constructed to satisfy current and future needs in Rosemary Heights.

AMENITIES

The Rosemary Heights Business Park has access to a variety of business services, dining and shopping options within a 5 minute drive at South Point, Semiahmoo Town Centre and Grandview Corners commercial node.

The new and developing Morgan Heights and Grandview Heights residential neighbourhoods, and the established White Rock/South Surrey neighbourhood provide a range of residential housing. The rapidly developing Morgan Heights and Grandview Heights neighbourhoods will create a strong local market; the projected population is expected to increase from approximately 4,340 in 2006 to 34,760 in 2031.



DEVELOPMENT COST CHARGES

2011 ROSEMARY HEIGHTS DCCS (INDUSTRIAL)						
Water	Sewer	Arterial Road	Major Collector Road	Drainage	Parkland Acquisition	Total
\$5,045	\$6,587	\$25,965	\$5,677	\$27,936	\$0	\$71,210/acre*
\$0.12	\$0.15	\$0.37	\$0.08	\$0.13	\$0	\$0.85/sq. ft. of BA*

*Dwelling Units within Non Residential Zones and Land Uses shall be charged the applicable rate.

Developed Area
 All other floors

2011 ROSEMARY HEIGHTS DCCS (COMMERCIAL ZONES EXCLUDING CTA, CPG, CPM, CPR AND CCR)						
Water	Sewer	Arterial Road	Major Collector Road	Drainage	Parkland Acquisition	Total
\$0.50	\$0.66	\$4.82	\$1.05	\$2.14	\$0	\$9.17/sq. ft. of BA*
\$0.50	\$0.66	\$3.04	\$0.66	\$0.43	\$0	\$5.29/sq. ft. of BA*

*Dwelling Units within Non Residential Zones and Land Uses shall be charged the applicable rate in line 23 or line 24.

Ground Floor
 All other floors

**BA = Built area

***Commercial DCCs Exclude: Tourist Accommodation Zone, Child Care Zone, Commercial Recreation Zone, Golf Course Zone and Marina Zone.

Rosemary Heights is also subject to a Neighborhood Concept Plan Amenity fee. Please refer to Zoning By-law 12000 for a description of rates at: www.surrey.ca/plans-strategies/4699.aspx

LOCAL BUSINESS EXAMPLES

- KN&V Chartered Accountants: Finance
- Royal Lepage Northstar Realty: Realty
- Manley Design and Construction: Construction Management
- Performance Chiropractic and Wellness: Health
- Luiz Lean and Associates Consulting Structural Engineers: Engineering
- BC Biomedical Labs: Health
- Manulife Securities: Finance

DISTRIBUTION OF BUSINESSES BY NORTH AMERICAN INDUSTRY CLASSIFICATIONS		
NAICS Division	# of Businesses	% of Businesses
Construction	3	6.3%
Printing & Related Support Activities	1	2.1%
Building Material & Supplies - Wholesalers	1	2.1%
Miscellaneous Wholesalers - Distributors	1	2.1%
Food & Beverage Stores	1	2.1%
Transportation & Warehousing	1	2.1%
Credit Intermediation & Related Activities	5	10.4%
Professional , Scientific & Technical Services	14	29.2%
Administrative & Support Services	2	4.2%
Educational Services	1	2.1%
Health Care & Social Assistance	13	27.1%
Arts, Entertainment and Recreation	2	4.2%
Food Service & Drinking Place	1	2.1%
Personal Care Services	2	4.2%
Total Number of Businesses	48	100.0%

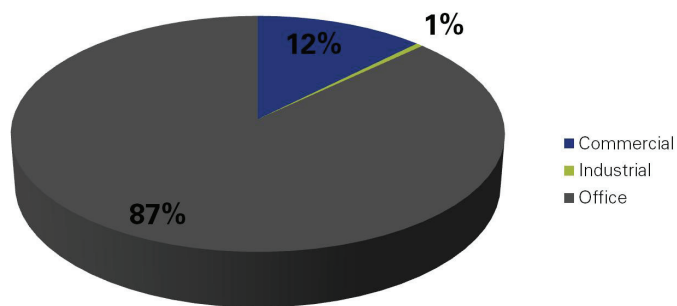
Source: City of Surrey Economic Development Office Business License Data (2010)

EMPLOYMENT NUMBERS BY INDUSTRIAL AREA					
AREA	EMPLOYMENT TYPE				
	COMMERCIAL	INSTITUTIONAL	INDUSTRIAL	OFFICE	TOTAL
Bridgeview	223	0	2,307	3	2,533
Campbell Heights	829	0	4,472	46	5,346
Cloverdale	898	255	5,895	361	7,409
Douglas	6	0	100	73	179
Hwy 99 Corridor	1,099	4	143	596	1,842
Newton	1,357	1,817	21,500	3,129	27,803
Port Kells	845	0	10,725	1,232	12,802
Rosemary Heights	49	0	58	234	341
South Westminster	937	81	4,760	110	5,888
Total	6,242	2,157	49,960	5,783	64,143

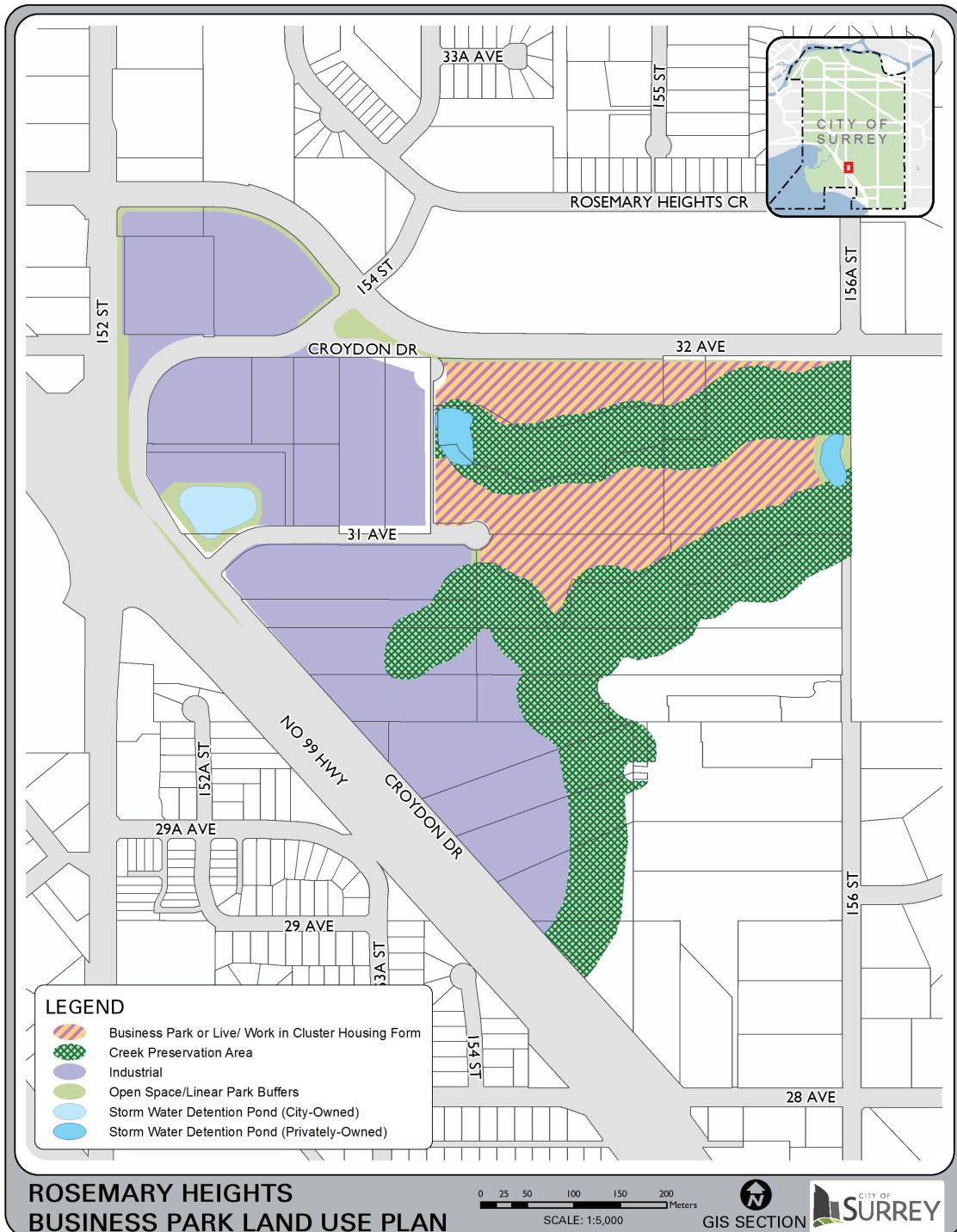
Source: City of Surrey, Department of Planning & Development (2011).

For information regarding industrial space and land, please contact the economic development office or visit www.surrey.ca/business

ROSEMARY HEIGHTS EMPLOYMENT TYPE



ROSEMARY HEIGHTS BUSINESS PARK LAND USE PLAN



ROSEMARY HEIGHTS
BUSINESS PARK LAND USE PLAN

0 25 50 100 150 200
Meters
SCALE: 1:5,000

GIS SECTION





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