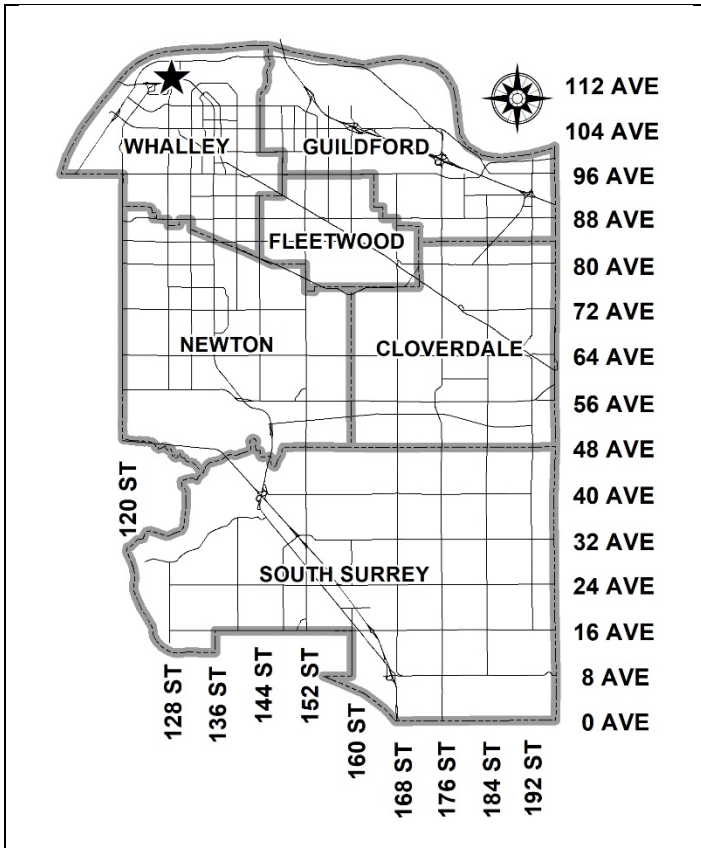


City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7906-0301-00

Planning Report Date: January 15, 2024



PROPOSAL:

- **Development Variance Permit**

to increase the percentage of back-to-back units permitted in a 73-unit townhouse development, of which 26 units are back-to-back units.

LOCATION:

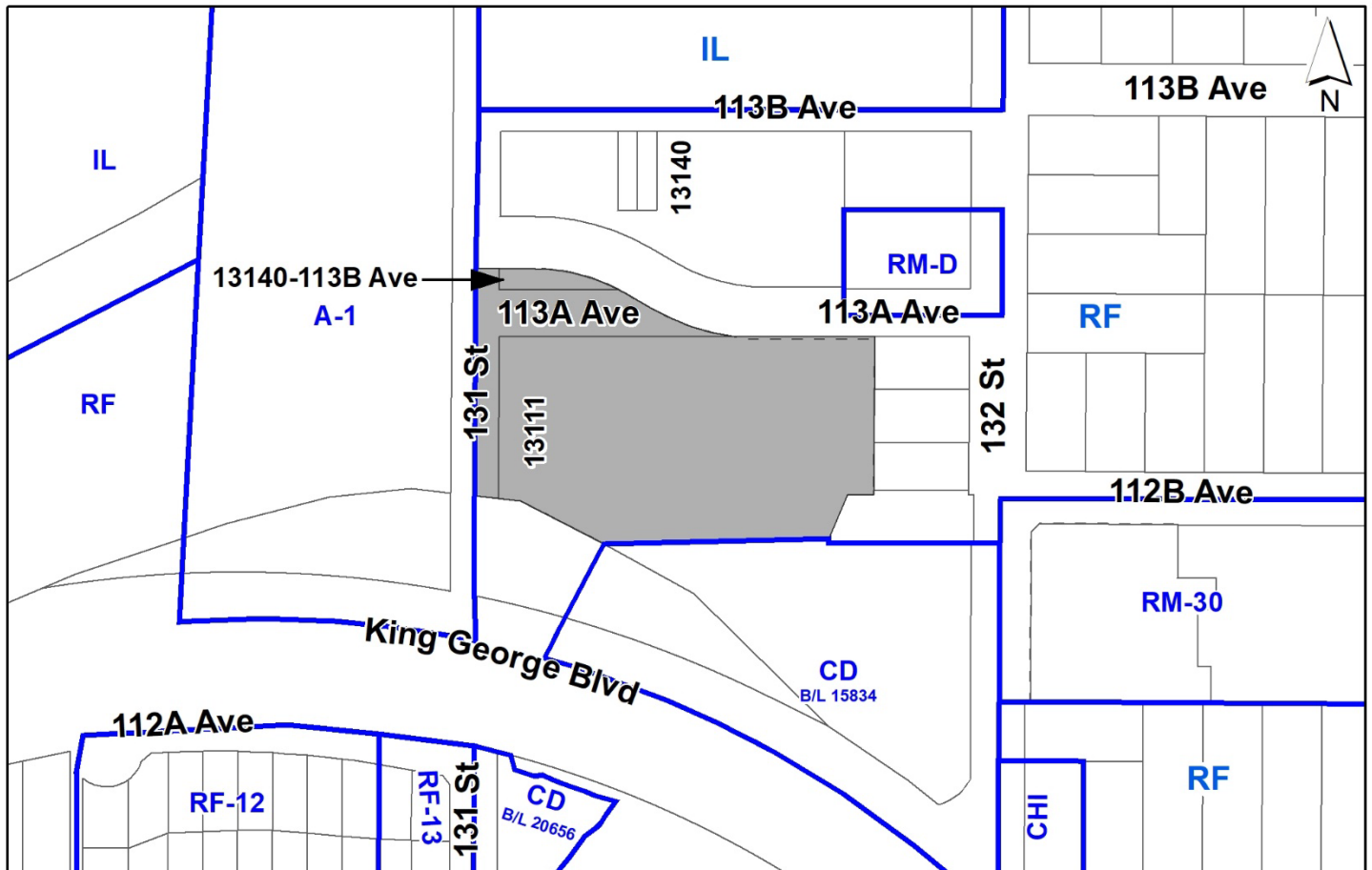
13111 King George Boulevard
 Portion of 13140 113B Avenue
 Portions of 131 Street and 113A Avenue

ZONING:

RF

OCP DESIGNATION:

Urban



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary the percentage of permitted back-to-back units in the Multiple Residential (30) Zone (RM-30).

RATIONALE OF RECOMMENDATION

- Development Application No. 7906-0301-00 received Third Reading by Council on June 21, 2010. The original proposal was for a 68-unit townhouse development on the subject site. The current proposal is similar, except for a slight increase to the number of townhouse units.
- Since 2010, the property has been sold multiple times. However, the current owners are committed to completing the project and are hoping to advance the file as quickly as possible.
- Currently, the applicant proposes a 73-unit townhouse development with a similar layout as the original proposal that was supported by Council in 2010. The current proposal also includes 26 back-to-back townhouse units, which were not previously proposed.
- On October 16, 2023, Council received Corporate Report No. R161, introducing changes to the Zoning By-law, which include limiting the percentage of back-to-back units to a maximum of 20% for the “Multiple Residential (30) Zone (RM-30)”, and to increase the required amount of outdoor amenity space for back-to-back units from 3 square metres per unit to 6 square metres per unit. It was anticipated that some in-stream applications would be affected.
- The proposed changes to the RM-30 Zone were adopted on November 20, 2023, and a variance is required, as the subject application proposes 26 back-to-back units out of 73 total units (36% of the proposed units).
- The proposal complies with the indoor and outdoor amenity space requirements for the proposed townhouse development. This includes the 26 back-to-back townhouses units, which require additional outdoor amenity space.
- Staff supports the proposed variance.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7906-0301-00 (Appendix II) varying the following, to proceed to Public Notification:
 - (a) to increase the maximum percentage of back-to-back units from 20% to 36% in the “Multiple Residential (30) Zone (RM-30)”.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant, treed property.	Urban	RF
North:	Vacant, treed property.	Urban	RF
Further North (across the unopened road allowance):	Truck parking.	Industrial	IL
East:	Existing single family dwellings and duplex.	Urban	RF and RM-D
South:	Townhouse development and vacant City lot.	Multiple Residential and Urban	RF and CD (Bylaw No. 15834)
West (across the unopened road allowance):	Vacant, treed property.	Urban	A-1

Context & Background

- Development Application No. 7906-0301-00 received Third Reading by Council on June 21, 2010. The original proposal is for an Official Community Plan (OCP) Amendment from “Urban” to “Multiple Residential”, a Rezoning from “Single Family Residential (RF)” to “Multiple Residential (30) Zone (RM-30)”, a Development Permit and a Subdivision (including unopened road allowance acquisition and lot consolidation) for a 68-unit townhouse development on the subject site. The components of the development application remain the same; however, the site plan has been revised and includes an increase in the number of proposed townhouse units.
- The property has been sold multiple times since the OCP Amendment and Rezoning were granted Third Reading. However, the current owners are committed to completing the project and are working diligently with staff to advance the file as quickly as possible.
- Currently, the applicant proposes a 73-unit townhouse development with a similar layout as the original proposal that was supported by Council in 2010. The current proposal also includes 26 back-to-back townhouse units, which were not previously proposed.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant currently proposes a 73-unit townhouse development, including 26 back-to-back townhouse units. The layout is similar to the original proposal that was supported by Council in 2010, but did not include any back-to-back units.
- Due to the approved changes to the Zoning Bylaw that limits back-to-back townhouse units to a maximum of 20% for the RM-30 Zone, a Development Variance Permit (DVP) is required.
- The proposed changes to the RM-30 Zone were adopted on November 20, 2023 subsequent to the updated proposal being submitted to the City, with significant work having been completed by the applicant in coordination with staff. As a result, a variance is required, as the subject application proposes 26 back-to-back units out of 73 total units (36% of the proposed units).
- The proposal complies with the indoor and outdoor amenity space requirements for the proposed townhouse development. This includes the 26 back-to-back townhouses units, which require additional outdoor amenity space.
- The proposed development consists of 73 townhouse units in 14 buildings, ranging from 4 to 6 units per building, and a stand-alone amenity building. The 26 back-to-back units are in Buildings 4, 5, 6, 7 and 8.
- All of the townhouse units are proposed as 2-bedroom and den units or larger. There are a number of 4- and 5-bedroom units as well.
- Twenty-two of the 73 townhouse units (30%) include tandem parking. All of the 26 back-to-back units are side-by-side double garages.

	Proposed
Lot Area	
Site Area (including lot consolidation):	12,967 square metres
Number of Lots:	1
Building Height:	13 metres (3-storey)
Unit Density:	57 units per hectare
Floor Area Ratio (FAR):	0.89
Floor Area	
Residential/Total:	11,568 square metres
Residential Units:	
2 bedroom + den	3
3-bedroom:	52
4-bedroom + den:	12
5 bedroom:	6

- The Zoning Bylaw update also included an increase to the required amount of outdoor amenity space for back-to-back units from 3.0 square metres per unit to 6.0 square metres per unit.
- The Zoning Bylaw update for back-to-back units increased the required outdoor amenity space to 297 square metres, and a total of 509 square metres of outdoor amenity space is proposed. Therefore, the proposal well exceeds the minimum requirement.

Referrals

Engineering: The Engineering Department has no objection to the proposed variance, subject to the completion of Engineering servicing requirements.

Transportation Considerations

- The proposed variance does not impact the original Transportation requirements.

Parkland Considerations

- The proposed variance does not impact the original Parks requirements and comments.

POLICY & BY-LAW CONSIDERATIONS

- The variance request does not impact or change how the application addresses or complies with the Regional Growth Strategy.
- The site is designated General Urban in the Regional Growth Strategy (RGS), and the proposal complies with the designation.
- An Official Community Plan (OCP) is required to redesignate the site from "Urban" to Multiple Residential". The OCP Amendment Bylaw (No. 17192) was granted Third Reading on June 21, 2010, and is still applicable for the current proposal.

Zoning By-law

- The applicant proposes to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential 30 Zone (RM-30)". Rezoning By-law No. 17193 was granted Third Reading at the Regular Council - Public Hearing Meeting on June 21, 2010. The proposal complies with the RM-30 Zone land use and density provisions.

Variance

- On October 16, 2023, Council received Corporate Report No. R161, introducing changes to the Zoning By-law, which include limiting the percentage of back-to-back townhouse units to a maximum of 20% of the total units for development under the RM-30 Zone. The proposed changes to the RM-30 Zone were subsequently adopted on November 20, 2023.

- A variance is now required for the subject site, as it proposes 26 back-to-back units out of 73 total units. The variance would increase the maximum percentage of back-to-back units that are permitted from 20% to 36%.
- Should the variance not be supported, the applicant would be required to make changes to their proposal to reduce the number of back-to-back unit types to a maximum of 20 percent of the total units.
- The proposed update to the development permit and site plan was submitted prior to the adoption of amendments to the RM-30 Zone, with significant work having been completed by the applicant in coordination with staff. When the changes to the RM-30 Bylaw were adopted, it was anticipated that certain instream applications would require variances to accommodate aspects of their proposals not in full compliance with the amendments.
- Staff supports the proposal, and it is recommended that the proposed variance be supported.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Current Site Plan, Data Sheet and Building Elevations
Appendix II.	Development Variance Permit No. 7906-0301-00
Appendix III.	Initial Planning Report No. 7906-0301-00, dated June 7, 2010 (with original site plan)

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

DN/ar

DRAWING LIST

COVER PAGE	A-0.1
PROJECT SUMMARY	A-0.2
BASE PLAN	A-0.3
SITE PLAN	A-1.0
FIRE PLAN	A-1.1
FLOOR PLAN	A-2.0 TO A-2.13
BUILDING ELEVATIONS	A-3.0 TO -A3.24
PART SECTIONS	A-4.0 TO A-4.1
UNIT PLANS	A-5.0 TO A-5.10

PROJECT TEAM

ARCHITECT PARAMORPH ARCHITECTURE INC.

308-9639 137A Street
Surrey, BC V3T 0M1
(604) 608-0161
info@paramorph.com

SURVEY DHALIWAL AND ASSOCIATES LAND SURVEYING INC.

216 - 12899 76th AVENUE
Surrey, V3W 1E6
604-501-6188
info@dhalawalurvey.com

CIVIL HUB ENGINEERING INC.

#212 12992 76 AVENUE
Surrey, BC V3W 2V6
604-572-4328
mgk@hub-inc.com

LANDSCAPE M2 LANDSCAPE ARCHITECTURE

#220 - 26 LORNE MEWS
NEW WESTMINSTER, BC V3M 3L7
604-553-0044
office@m2la.com

PROGRAM SUMMARY

LOT INFO	ADDRESS	13111 King George Blvd			
	LEGAL DESCRIPTION	LOT G SECTION 9 RANGE 2 PLAN NWP5585 NWD EXCEPT PLAN 35529			
ZONING	SITE AREA	(Sqft)	(Sqm)	(Acre)	(Ha)
	GROSS AREA	139,578	12,967	3.20	1.30
	ROAD DEDICATION	0.00	0.00	0.00	0.00
	NET AREA (AFTER DEDICATION)	139,578	12,967	3.20	1.30

ZONING	CURRENT		PROPOSED		
	ZONING	RF	CD		
	SETBACKS		PERMITTED	PROPOSED	
	SOUTH (Along neighbouring lot)		7.0m	7.0m	
	NORTH (Measured from 113A Avenue)		4.4m	4.5m	
	EAST (Along neighboring lot) (from Bldg.-1)		5.0m	13.50m	
	EAST (Along neighboring lot) (from Bldg.-9)		5.0m	5.0m	
	WEST		4.4m	4.5m	
	BLDG HEIGHT		PERMITTED	PROPOSED	
			13m	3 STOREY OR 13m	

SITE COVERAGE (NET)	(Sqft)	(Sqm)	(%age)
	PROPOSED	51988	4,830

FAR CALCULATION													
GROSS AREA (EXCLUDING GARAGE & AMENITY)	NO. OF BR.	GARAGE (Sqm)	LVL-1 (Sqm)	TOTAL LVL-1 (Sqm)	LEVEL2 (Sqm)	TOTAL LVL-2 (Sqm)	LEVEL 3 (Sqm)	ROOF TOP (Sqm)	TOTAL (Sqm)	TOTAL (Sqm)	NO. OF UNITS	TOTAL FLOOR AREA (Sqm)	TOTAL FLOOR AREA (Sqft)
UNIT-A	4BR+DEN	45	47	47	49	94	63		159	1,715	8	1,275	13,720
UNIT-A1	4BR+DEN	45	47	47	49	94	63		159	1,715	4	637	6,860
UNIT-A2	5BR	45	47	92	62	62	54		163	1,755	4	652	7,020
UNIT-A3	5BR	45	47	92	62	62	54		163	1,755	2	326	3,510
UNIT-B	3BR	46	9	55	61	61	61	58	189	2,030	6	1,132	12,180
UNIT-B1	3BR	46	9	55	61	61	61	58	189	2,030	20	3,772	40,600
UNIT-C	3BR	50	9	59	61	61	62		132	1,418	9	1,186	12,762
UNIT-C1	3BR	50	9	59	61	61	61		131	1,412	6	787	8,472
UNIT-C2	3BR	50	9	59	61	61	61		131	1,410	3	393	4,230
UNIT-D	3BR	50	9	59	61	61	62		132	1,423	2	264	2,846
UNIT-D1	3BR	50	9	59	61	61	61		132	1,417	2	263	2,834
UNIT-E	3BR	48	8	56	52	52	62		122	1,318	3	367	3,954
UNIT-E1	3BR	48	8	56	57	57	62		128	1,375	1	128	1,375
UNIT-F	2BR+DEN	49	9	58	58	58	62		128	1,380	2	256	2,760
UNIT-F1	2BR+DEN	49	9	58	59	59	62		130	1,396	1	130	1,396
											73	11,568	124,519
											TOTAL FAR (NET)	0.89	

PARKING REQUIREMENTS BREAKDOWN				
RESIDENTIAL	NO. OF UNITS	PERMITTED	REQUIRED STALLS	PROVIDED STALLS
TOWHHOUSE	73	2 CAR / UNIT	146	146
VISITORS	73	0.2 CAR / UNIT	14.6	15
TOTAL			161	161

AMENITY			
INDOOR AMENITY	(Sqft)	(Sqm)	REMARKS
REQUIRED (Sqft)	2,357	219	3 SQMT / UNIT
PROPOSED (Sqft)	2,360	219	
OUTDOOR AMENITY			
REQUIRED (Sqft)	(Sqft)	(Sqm)	REMARKS
REQUIRED (Sqft)	2,357	219	3 SQMT / UNIT
PROPOSED (Sqft)	5,475	509	

Appendix I



308 - 9639 137A Street, Surrey BC V3T 0M1
1600 West 2nd Avenue, Vancouver, BC V6J 1H4
604-608-0161 | www.paramorph.com

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2023-11-23 Revised / City Comments

2023-09-25 Revised / City Comments

2023-07-26 Revised / Comments

2022-11-20 Re-Submission / Comments

2022-11-01 Fire Access Re-Submission

2022-10-22 Fire Access Re-Submission

2022-08-21 DP Application

2022-02-18 Re-Submission

2022-02-09 Preliminary Application

Date	Description
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Issues / Revisions

Seal

Project Title

TOWNHOUSE DEVELOPMENT

Project Address

13111 KING GEORGE BLVD SURREY, BC

Drawn By PS	Date 2023-07-25
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Checked By MG	Project ID SU13
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Sheet Title

PROGRAM SUMMARY

Scale

Sheet No.

A-0.2



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Date	Description
2023-11-23	Revised / City Comments
2023-09-25	Revised / City Comments
2023-07-26	Revised / Comments
2022-11-29	Re-Submission / Comments
2022-11-01	Fire Access Re-Submission
2022-10-22	Fire Access Re-Submission
2022-06-21	DP Application
2022-02-18	Re-Submission
2022-02-09	Preliminary Application

Issues / Revisions

Project Title
TOWNHOUSE DEVELOPMENT

Project Address
1311 KING GEORGE BLVD SURREY, BC

Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SL13

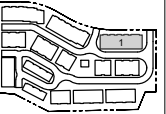
Sheet Title

SITE PLAN

Scale

Sheet No.

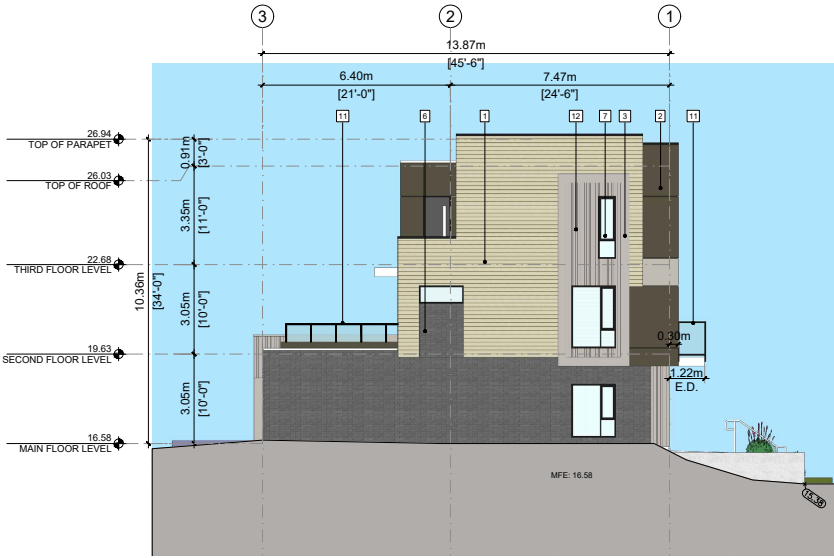
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KEY PLAN



1 BUILDING 1
 SOUTH ELEVATION



2 BUILDING 1
 EAST ELEVATION

SCHEDULE OF FINISHES

1. HARDIE ARTISAN LAP SIDING
 COLOR: NAVAJO BEIGE
2. SMOOTH FINISH HARDIE PANEL SIDING
 COLOR: MONTEREY TAUPE
3. SMOOTH FINISH HARDIE PANEL SIDING
 COLOR: AGED PEWTER
4. HARDIE ARTISAN LAP SIDING
 COLOR: NIGHT GREY
5. SMOOTH FINISH HARDIE PANEL SIDING
 COLOR: TIMBER BARK
6. BRICK VENEER
 OBSIDIAN BY -XL BUILDING PRODUCTS INC.
7. PAINTED VINYL WINDOWS
 COLOR: BENJAMIN MOORE 2127-10
8. SOLID CORE WOOD DOORS
 COLOR: BENJAMIN MOORE 2126-30
9. GARAGE DOORS
 COLOR: BENJAMIN MOOR 2133-60
10. METAL RAILING
 COLOR: BENJAMIN MOORE 2127-10
11. POWDER COATED ALUMINUM RAILING WITH
 SAFETY GLASS (CLEAR AND TRANSLUCENT)
 COLOR: BENJAMIN MOORE 2127-10
12. CERACLAD TRIPLE COATED PANELS
 COLOR: MID GRAY HFH9135U
13. TRIM
 COLOR: AGED PEWTER

2023-11-23	Revised / City Comments
2023-09-25	Revised / City Comments
2023-07-26	Revised / Comments
2022-11-20	Re-Submission / Comments
2022-11-01	Fire Access Re-Submission
2022-10-22	Fire Access Re-Submission
2022-06-21	DP Application
2022-02-18	Re-Submission
2022-02-09	Preliminary Application
Date	Description

Issues / Revisions

Issue No.	Date	Description
1		Seal

Project Title

**TOWNHOUSE
 DEVELOPMENT**

Project Address

**13111 KING GEORGE BLVD
 SURREY, BC**

Drawn By

PS
 2023-07-25

Checked By

MG
 Project ID: SU13

Sheet Title

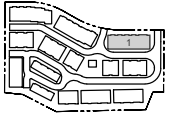
ELEVATIONS

Scale

Sheet No.

A-3.0

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2022-02-09	Preliminary Application

Date	Description
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Issues / Revisions

Seal

Project Title
TOWNHOUSE DEVELOPMENT

Project Address
**13111 KING GEORGE BLVD
SURREY, BC**

Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SU13

Sheet Title

ELEVATIONS

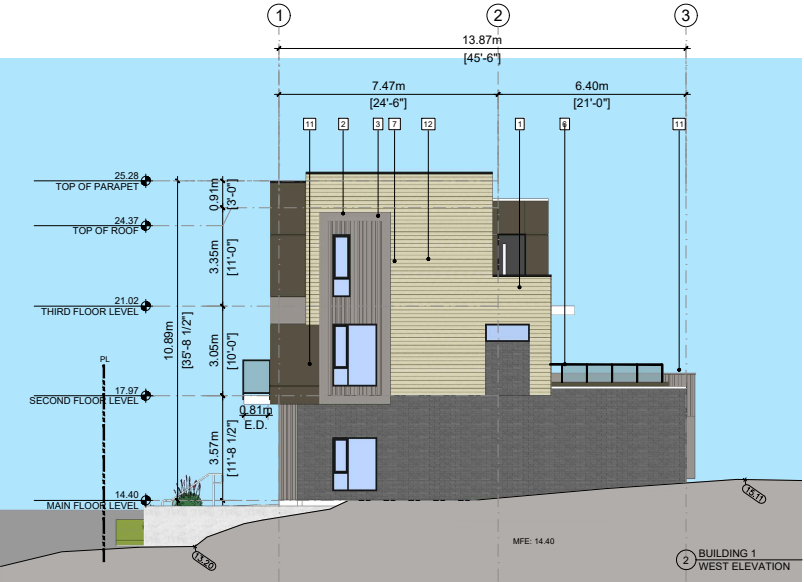
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Sheet No.

A-3.1



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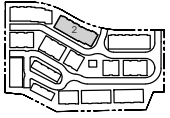


2 BUILDING 1 WEST ELEVATION

SCHEDULE OF FINISHES

- HARDIE ARTISAN LAP SIDING
COLOR: NAVAJO BEIGE
- SMOOTH FINISH HARDIE PANEL SIDING
COLOR: MONTEREY TAUPE
- SMOOTH FINISH HARDIE PANEL SIDING
COLOR: AGED PEWTER
- HARDIE ARTISAN LAP SIDING
COLOR: NIGHT GREY
- SMOOTH FINISH HARDIE PANEL SIDING
COLOR: TIMBER BARK
- BRICK VENEER
OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
- PAINTED VINYL WINDOWS
COLOR: BENJAMIN MOORE 2127-10
- SOLID CORE WOOD DOORS
COLOR: BENJAMIN MOORE 2126-30
- GARAGE DOORS
COLOR: BENJAMIN MOOR 2133-60
- METAL RAILING
COLOR: BENJAMIN MOORE 2127-10
- POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT)
COLOR: BENJAMIN MOORE 2127-10
- CERACLAD TRIPLE COATED PANELS
COLOR: MID GRAY HFH9135U
- TRIM
COLOR: AGED PEWTER

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KEY PLAN

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Date	Description

Issues / Revisions

Seal

Project Title
TOWNHOUSE DEVELOPMENT

Project Address
13111 KING GEORGE BLVD SURREY, BC

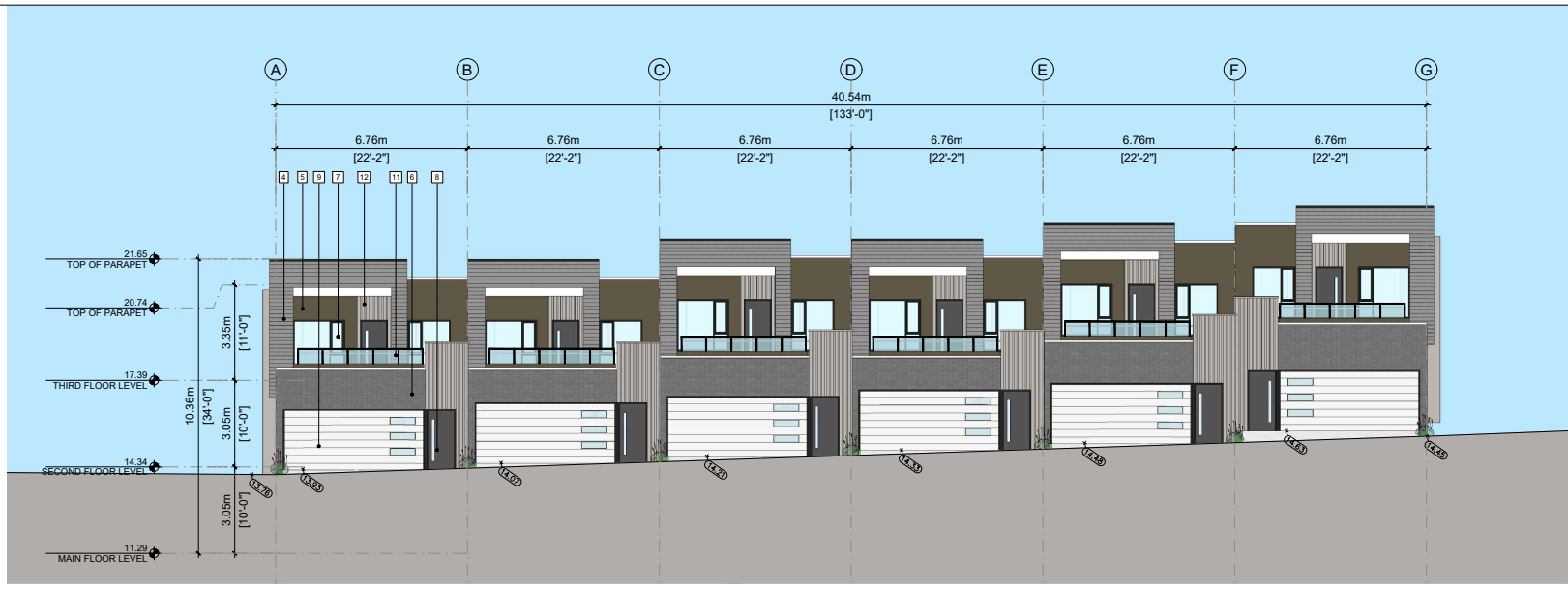
Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SU13

Sheet Title

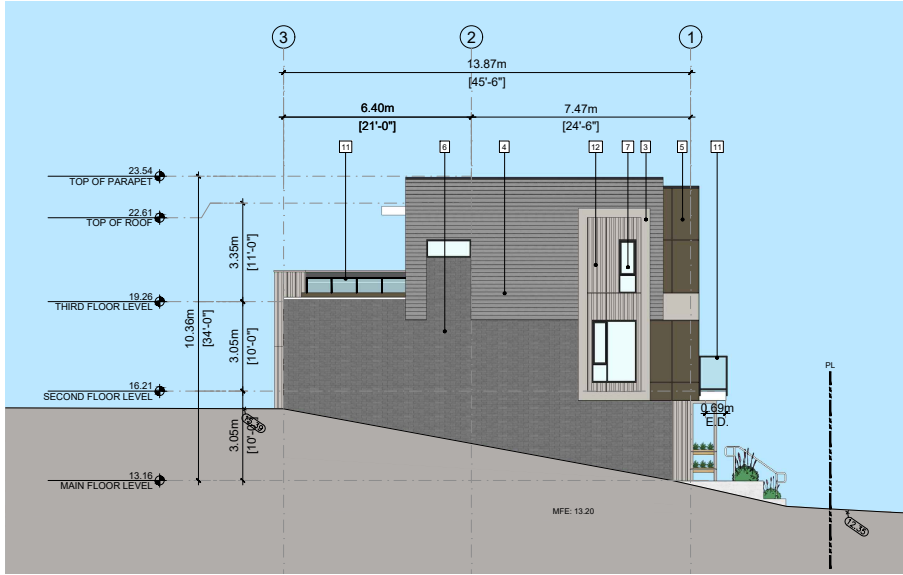
ELEVATIONS

Scale

Sheet No.



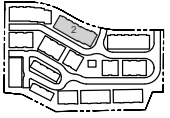
1 BUILDING 2 SOUTH ELEVATION



2 BUILDING 2 EAST ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
6.	BRICK VENEER OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
7.	PAINTED VINYL WINDOWS COLOR: BENJAMIN MOORE 2127-10
8.	SOLID CORE WOOD DOORS COLOR: BENJAMIN MOORE 2126-30
9.	GARAGE DOORS COLOR: BENJAMIN MOOR 2133-60
10.	METAL RAILING COLOR: BENJAMIN MOORE 2127-10
11.	POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT) COLOR: BENJAMIN MOORE 2127-10
12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY HFH9135U
13.	TRIM COLOR: AGED PEWTER

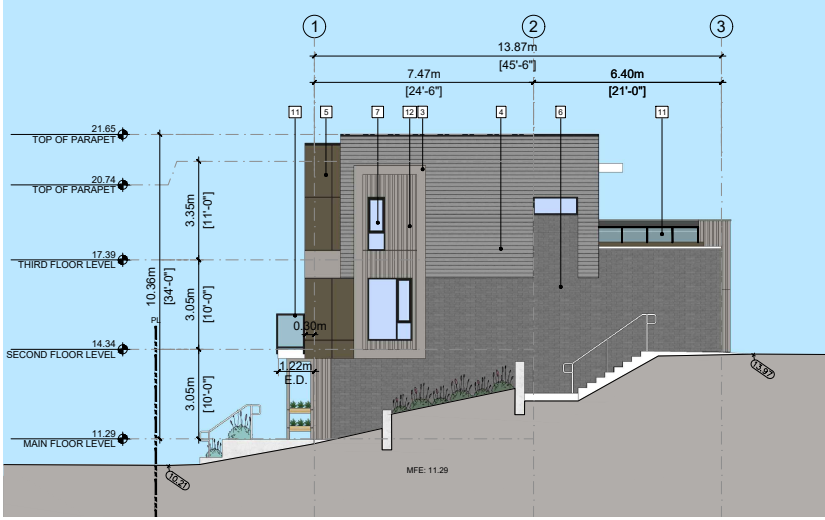
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KEY PLAN



1 BUILDING 2 NORTH ELEVATION



2 BUILDING 2 WEST ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
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9.	GARAGE DOORS COLOR: BENJAMIN MOOR 2133-60
10.	METAL RAILING COLOR: BENJAMIN MOORE 2127-10
11.	POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT) COLOR: BENJAMIN MOORE 2127-10
12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY FHF9135U
13.	TRIM COLOR: AGED PEWTER

Date	Description
2023-11-23	Revised / City Comments
2023-09-25	Revised / City Comments
2023-07-26	Revised / Comments
2022-11-20	Re-Submission / Comments
2022-11-01	Fire Access Re-Submission
2022-10-22	Fire Access Re-Submission
2022-06-21	DP Application
2022-02-18	Re-Submission
2022-02-09	Preliminary Application

Issues / Revisions	
Seal	

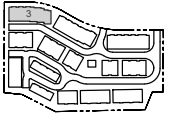
Project Title	TOWNHOUSE DEVELOPMENT
Project Address	13111 KING GEORGE BLVD SURREY, BC

Drawn By	PS	Date	2023-07-25
Checked By	MG	Project ID	SU13

Sheet Title	ELEVATIONS
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Scale	
Sheet No.	A-3.3

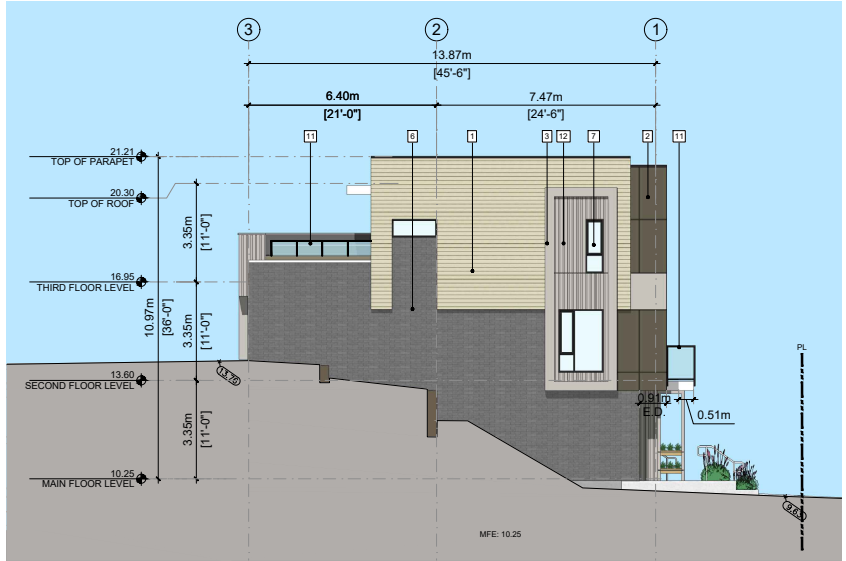
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KEY PLAN



1 BUILDING 3
SOUTH ELEVATION



2 BUILDING 3
EAST ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
6.	BRICK VENEER OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
7.	PAINTED VINYL WINDOWS COLOR: BENJAMIN MOORE 2127-10
8.	SOLID CORE WOOD DOORS COLOR: BENJAMIN MOORE 2126-30
9.	GARAGE DOORS COLOR: BENJAMIN MOOR 2133-60
10.	METAL RAILING COLOR: BENJAMIN MOORE 2127-10
11.	POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT) COLOR: BENJAMIN MOORE 2127-10
12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY FHF9135U
13.	TRIM COLOR: AGED PEWTER

Date	Description
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Issues / Revisions	
Seal	

Project Title
**TOWNHOUSE
DEVELOPMENT**

Project Address
**13111 KING GEORGE BLVD
SURREY, BC**

Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SU13

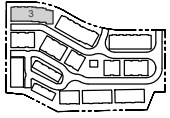
Sheet Title

ELEVATIONS

Scale

Sheet No.
A-3.4

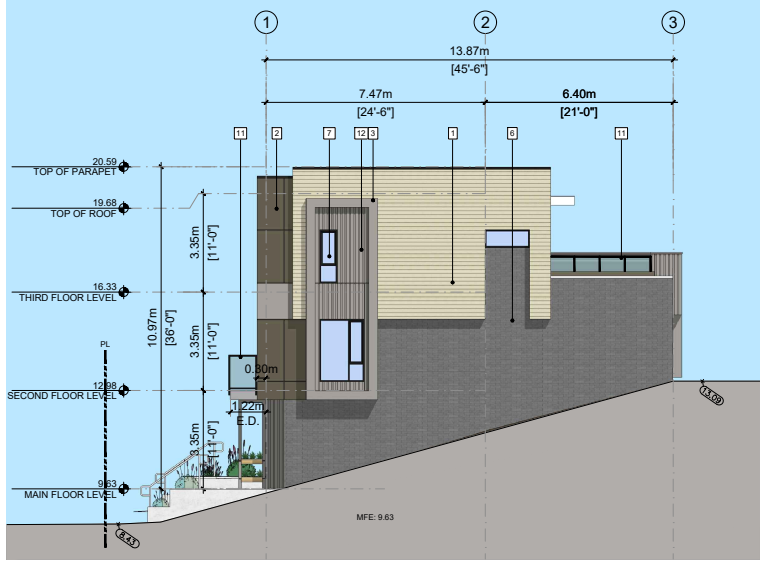
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KEY PLAN
N



1 BUILDING 3
NORTH ELEVATION



2 BUILDING 3
WEST ELEVATION

SCHEDULE OF FINISHES

1. HARDIE ARTISAN LAP SIDING
COLOR: NAVAJO BEIGE
2. SMOOTH FINISH HARDIE PANEL SIDING
COLOR: MONTEREY TAUPE
3. SMOOTH FINISH HARDIE PANEL SIDING
COLOR: AGED PEWTER
4. HARDIE ARTISAN LAP SIDING
COLOR: NIGHT GREY
5. SMOOTH FINISH HARDIE PANEL SIDING
COLOR: TIMBER BARK
6. BRICK VENEER
OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
7. PAINTED VINYL WINDOWS
COLOR: BENJAMIN MOORE 2127-10
8. SOLID CORE WOOD DOORS
COLOR: BENJAMIN MOORE 2126-30
9. GARAGE DOORS
COLOR: BENJAMIN MOOR 2133-60
10. METAL RAILING
COLOR: BENJAMIN MOORE 2127-10
11. POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT)
COLOR: BENJAMIN MOORE 2127-10
12. CERACLAD TRIPLE COATED PANELS
COLOR: MID GRAY HFH9135U
13. TRIM
COLOR: AGED PEWTER

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Issues / Revisions	
Date	Description

Seal

Project Title
TOWNHOUSE DEVELOPMENT

Project Address
13111 KING GEORGE BLVD SURREY, BC

Drawn By
PS

Checked By
MG

Date
2023-07-25

Project ID
SU13

Sheet Title
ELEVATIONS

Scale

Sheet No.
A-3.5

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Date	Description

Issues / Revisions

Seal	
Project Title	
TOWNHOUSE DEVELOPMENT	
Project Address	
13111 KING GEORGE BLVD SURREY, BC	
Drawn By	Date
PS	2023-07-25
Checked By	Project ID
MG	SU13
Sheet Title	

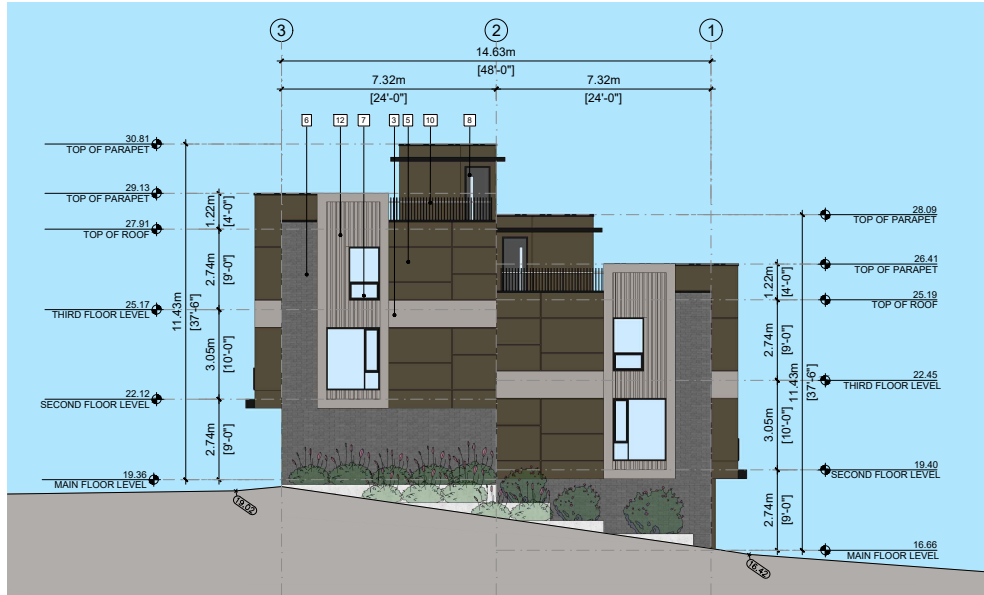
ELEVATIONS

Scale
Sheet No.

A-3.6



1 BUILDING 4 SOUTH ELEVATION



2 BUILDING 4 EAST ELEVATION

SCHEDULE OF FINISHES

- HARDIE ARTISAN LAP SIDING
COLOR: NAVAJO BEIGE
- SMOOTH FINISH HARDIE PANEL SIDING
COLOR: MONTEREY TAUPE
- SMOOTH FINISH HARDIE PANEL SIDING
COLOR: AGED PEWTER
- HARDIE ARTISAN LAP SIDING
COLOR: NIGHT GREY
- SMOOTH FINISH HARDIE PANEL SIDING
COLOR: TIMBER BARK
- BRICK VENEER
OBSIDIAN BY -XL BUILDING PRODUCTS INC.
- PAINTED VINYL WINDOWS
COLOR: BENJAMIN MOORE 2127-10
- SOLID CORE WOOD DOORS
COLOR: BENJAMIN MOORE 2126-30
- GARAGE DOORS
COLOR: BENJAMIN MOOR 2133-60
- METAL RAILING
COLOR: BENJAMIN MOORE 2127-10
- POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT)
COLOR: BENJAMIN MOORE 2127-10
- CERACLAD TRIPLE COATED PANELS
COLOR: MID GRAY HFH9135U
- TRIM
COLOR: AGED PEWTER

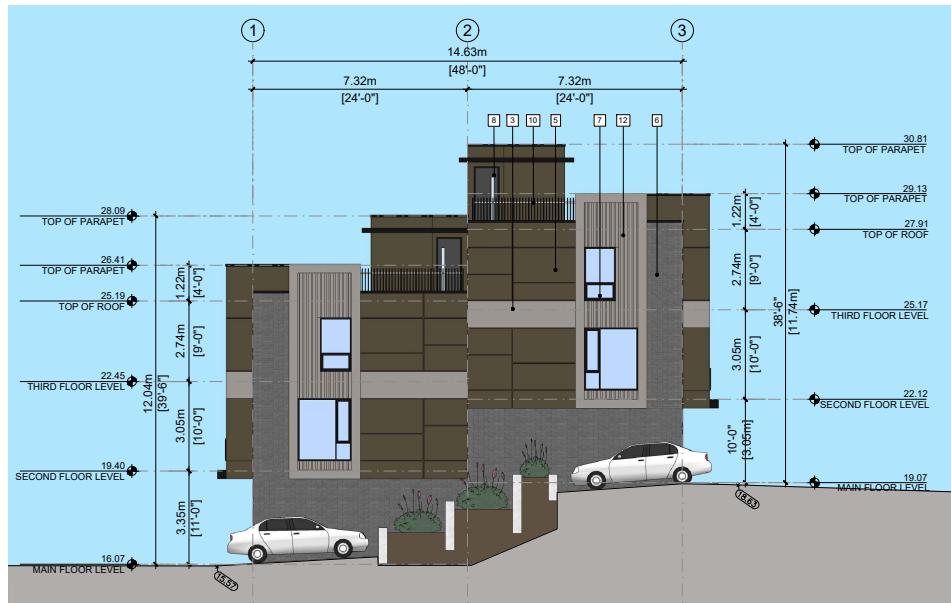
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KEY PLAN



1 BUILDING 4
NORTH ELEVATION



2 BUILDING 4
WEST ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
6.	BRICK VENEER OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
7.	PAINTED VINYL WINDOWS COLOR: BENJAMIN MOORE 2127-10
8.	SOLID CORE WOOD DOORS COLOR: BENJAMIN MOORE 2126-30
9.	GARAGE DOORS COLOR: BENJAMIN MOOR 2133-60
10.	METAL RAILING COLOR: BENJAMIN MOORE 2127-10
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12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY HFH9135U
13.	TRIM COLOR: AGED PEWTER

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2022-02-18	Re-Submission
2022-02-09	Preliminary Application
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Project Title
TOWNHOUSE DEVELOPMENT

Project Address
**13111 KING GEORGE BLVD
SURREY, BC**

Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SU13

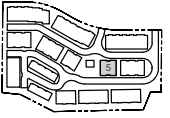
Sheet Title

ELEVATIONS

Scale

Sheet No.

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2022-02-09	Preliminary Application

Issues / Revisions	
Date	Description
	Seal

Project Title
TOWNHOUSE DEVELOPMENT

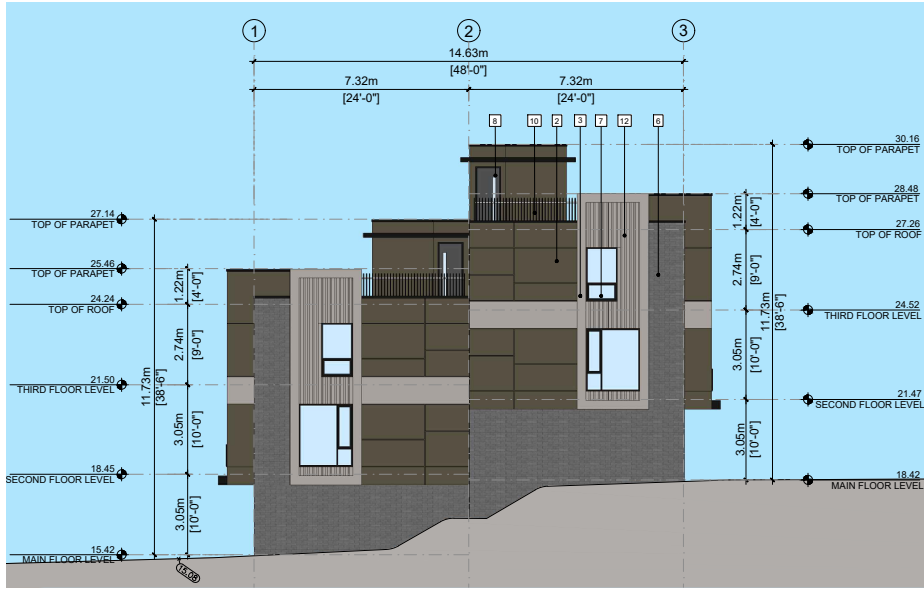
Project Address
13111 KING GEORGE BLVD SURREY, BC

Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SU13

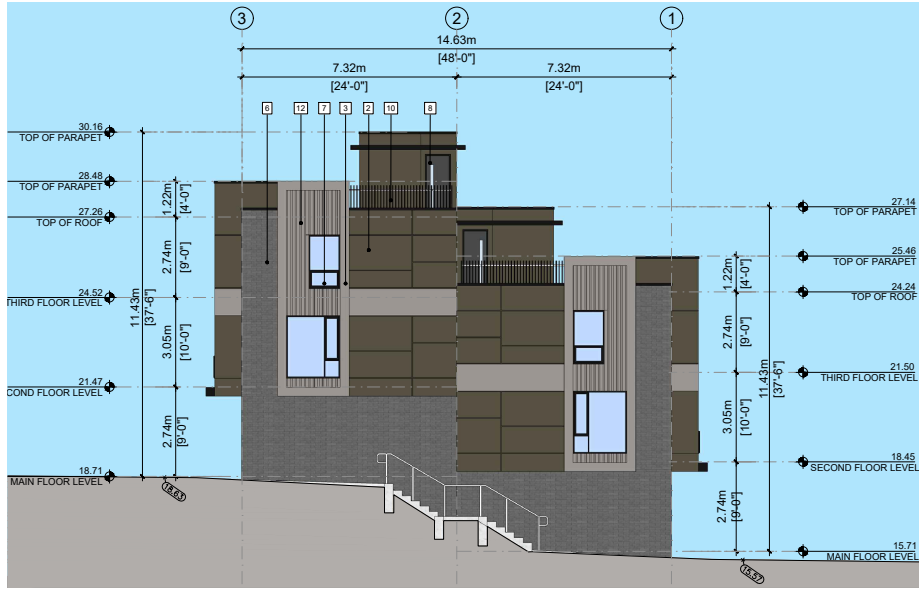
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ELEVATIONS

Scale

Sheet No.



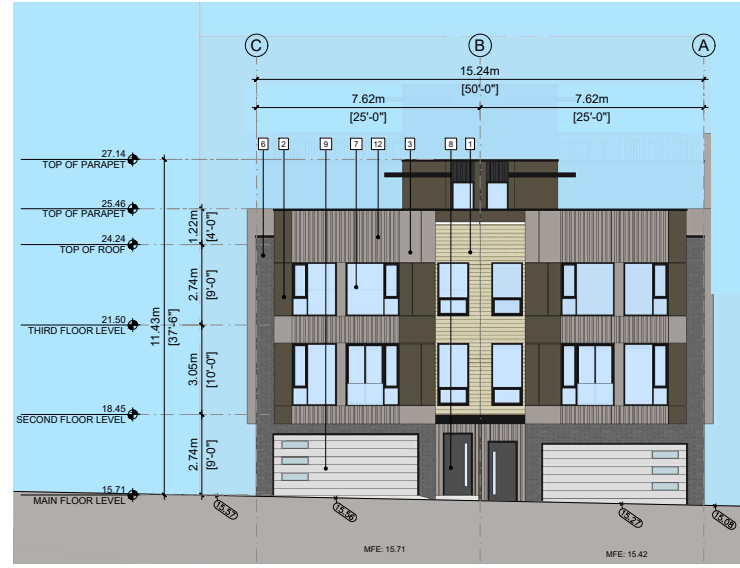
1 BUILDING 5 WEST ELEVATION



2 BUILDING 5 EAST ELEVATION



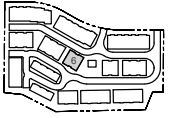
3 BUILDING 5 SOUTH ELEVATION



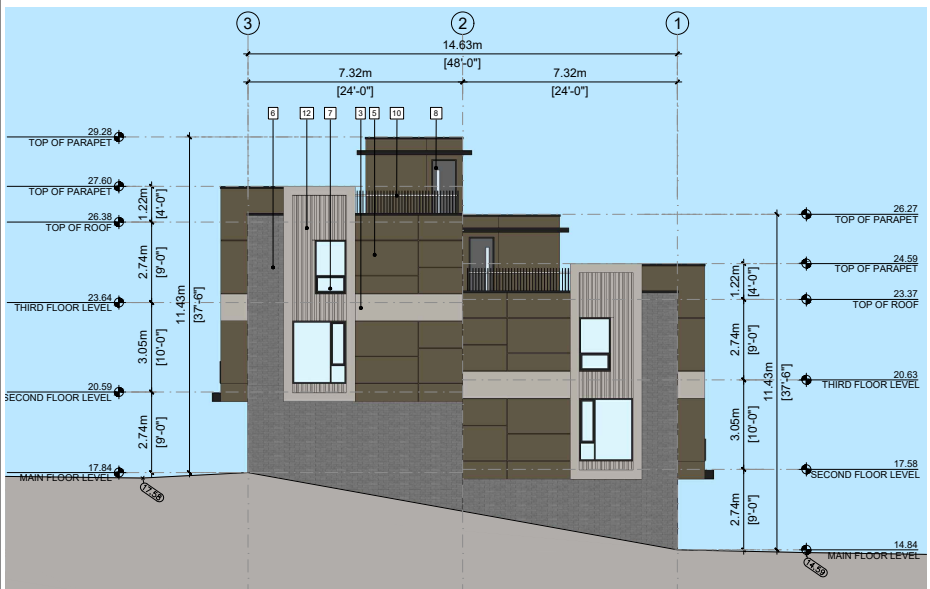
4 BUILDING 5 NORTH ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
6.	BRICK VENEER OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
7.	PAINTED VINYL WINDOWS COLOR: BENJAMIN MOORE 2127-10
8.	SOLID CORE WOOD DOORS COLOR: BENJAMIN MOORE 2126-30
9.	GARAGE DOORS COLOR: BENJAMIN MOOR 2133-60
10.	METAL RAILING COLOR: BENJAMIN MOORE 2127-10
11.	POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT) COLOR: BENJAMIN MOORE 2127-10
12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY FFH9135U
13.	TRIM COLOR: AGED PEWTER

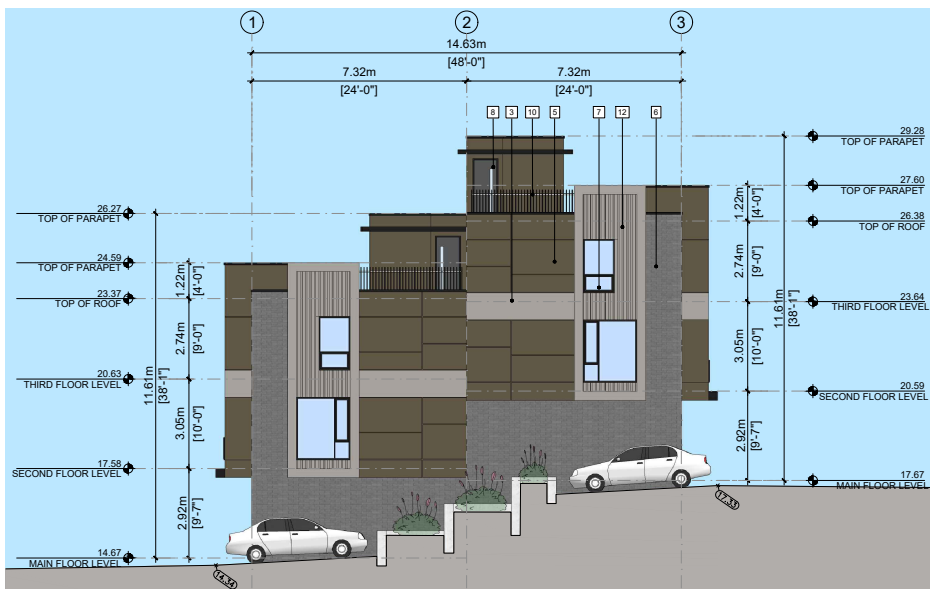
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KEY PLAN



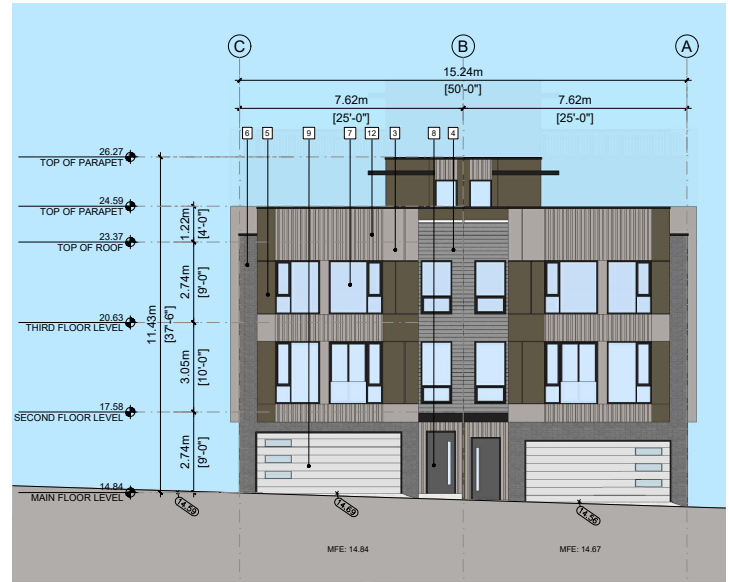
1 BUILDING 6 EAST ELEVATION



2 BUILDING 6 WEST ELEVATION



3 BUILDING 6 SOUTH ELEVATION



4 BUILDING 6 NORTH ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
6.	BRICK VENEER OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
7.	PAINTED VINYL WINDOWS COLOR: BENJAMIN MOORE 2127-10
8.	SOLID CORE WOOD DOORS COLOR: BENJAMIN MOORE 2126-30
9.	GARAGE DOORS COLOR: BENJAMIN MOOR 2133-60
10.	METAL RAILLING COLOR: BENJAMIN MOORE 2127-10
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12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY HFH9135U
13.	TRIM COLOR: AGED PEWTER

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Project Title
TOWNHOUSE DEVELOPMENT

Project Address
13111 KING GEORGE BLVD SURREY, BC

Drawn By
 PS

Date
 2023-07-25

Checked By
 MG

Project ID
 SU13

Sheet Title

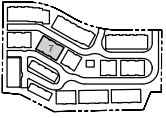
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A-3.9

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Project Title
TOWNHOUSE DEVELOPMENT

Project Address
**13111 KING GEORGE BLVD
SURREY, BC**

Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SU13

Sheet Title

ELEVATIONS

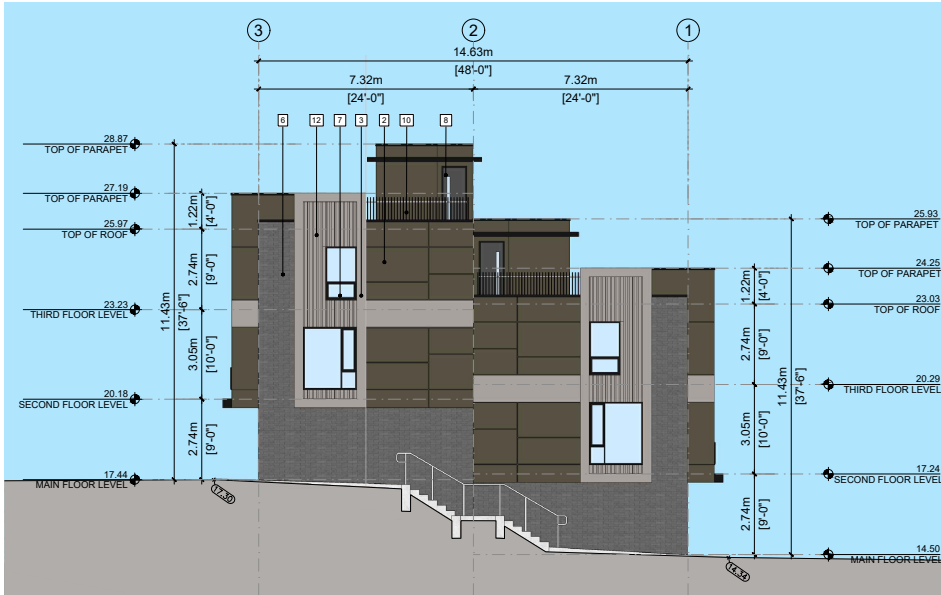
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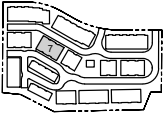
1 BUILDING 7 SOUTH ELEVATION



2 BUILDING 7 EAST ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
6.	BRICK VENEER OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
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8.	SOLID CORE WOOD DOORS COLOR: BENJAMIN MOORE 2126-30
9.	GARAGE DOORS COLOR: BENJAMIN MOOR 2133-60
10.	METAL RAILING COLOR: BENJAMIN MOORE 2127-10
11.	POWDER COATED ALUMINUM RAILINGS WITH SAFETY GLASS (CLEAR AND TRANSLUCENT) COLOR: BENJAMIN MOORE 2127-10
12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY HFH9135U
13.	TRIM COLOR: AGED PEWTER

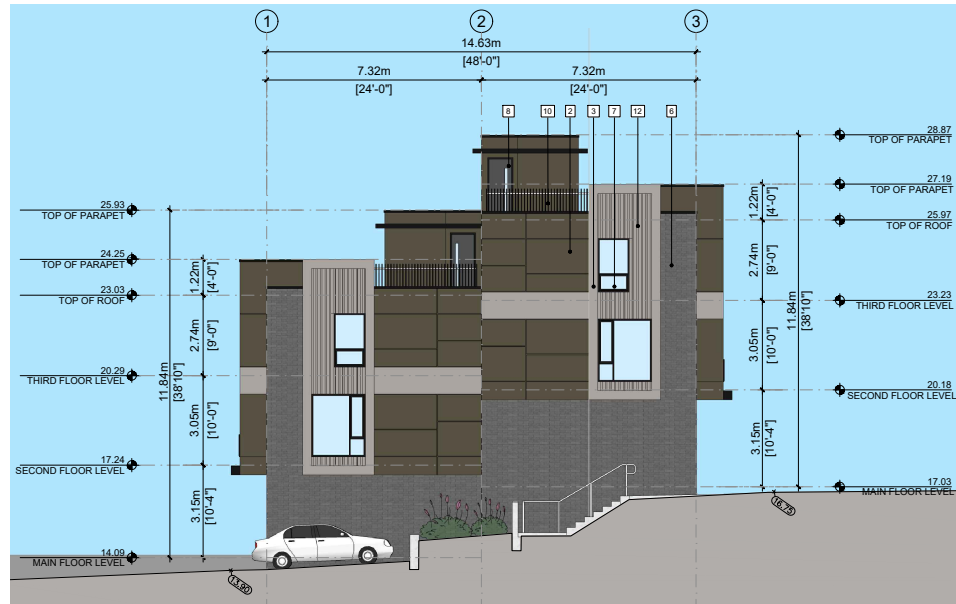
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KEY PLAN



1 BUILDING 7
NORTH ELEVATION



2 BUILDING 7
WEST ELEVATION

SCHEDULE OF FINISHES

1. HARDIE ARTISAN LAP SIDING
COLOR: NAVAJO BEIGE
2. SMOOTH FINISH HARDIE PANEL SIDING
COLOR: MONTEREY TAUPE
3. SMOOTH FINISH HARDIE PANEL SIDING
COLOR: AGED PEWTER
4. HARDIE ARTISAN LAP SIDING
COLOR: NIGHT GREY
5. SMOOTH FINISH HARDIE PANEL SIDING
COLOR: TIMBER BARK
6. BRICK VENEER
OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
7. PAINTED VINYL WINDOWS
COLOR: BENJAMIN MOORE 2127-10
8. SOLID CORE WOOD DOORS
COLOR: BENJAMIN MOORE 2126-30
9. GARAGE DOORS
COLOR: BENJAMIN MOOR 2133-60
10. METAL RAILING
COLOR: BENJAMIN MOORE 2127-10
11. POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT)
COLOR: BENJAMIN MOORE 2127-10
12. CERACLAD TRIPLE COATED PANELS
COLOR: MID GRAY FH9135U
13. TRIM
COLOR: AGED PEWTER

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Seal	

Project Title
TOWNHOUSE DEVELOPMENT

Project Address
**13111 KING GEORGE BLVD
SURREY, BC**

Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SU13

Sheet Title

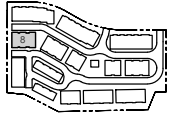
ELEVATIONS

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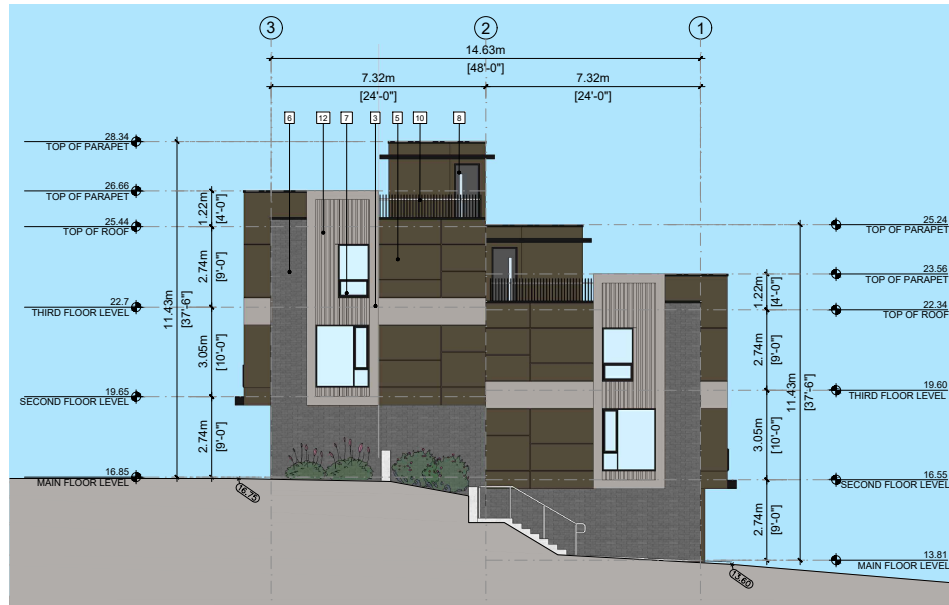
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KEY PLAN
N



1 BUILDING 8
SOUTH ELEVATION



2 BUILDING 8
EAST ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
6.	BRICK VENEER OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
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12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY HFH9135U
13.	TRIM COLOR: AGED PEWTER

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2022-10-22	Fire Access Re-Submission
2022-06-21	DP Application
2022-02-18	Re-Submission
2022-02-09	Preliminary Application
Date	Description

Issues / Revisions

Seal

Project Title
**TOWNHOUSE
DEVELOPMENT**

Project Address
**13111 KING GEORGE BLVD
SURREY, BC**

Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SU13

Sheet Title

ELEVATIONS

Scale

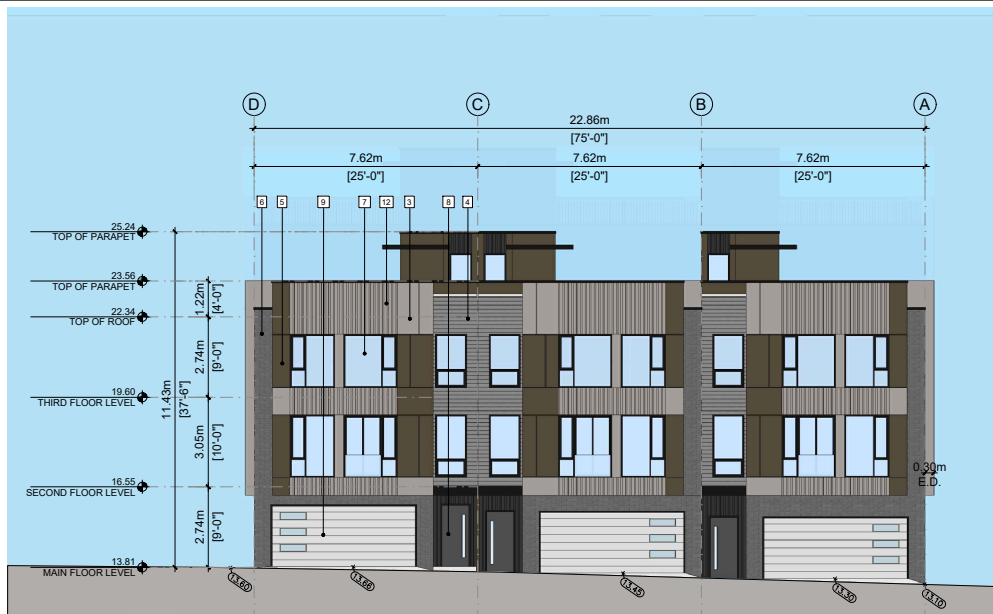
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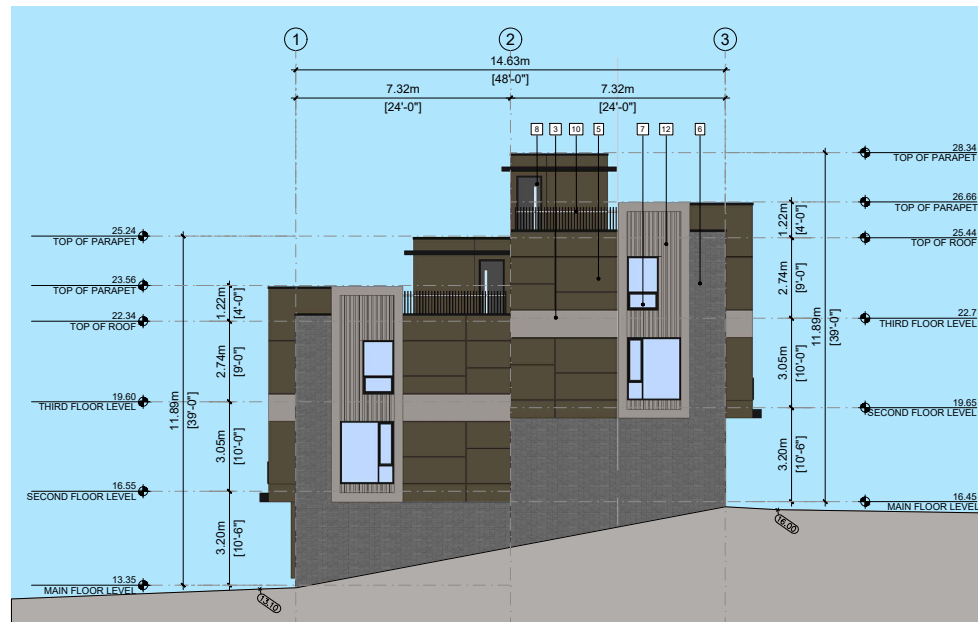
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KEY PLAN



1 BUILDING 8
NORTH ELEVATION



2 BUILDING 8
WEST ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
6.	BRICK VENEER OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
7.	PAINTED VINYL WINDOWS COLOR: BENJAMIN MOORE 2127-10
8.	SOLID CORE WOOD DOORS COLOR: BENJAMIN MOORE 2126-30
9.	GARAGE DOORS COLOR: BENJAMIN MOOR 2133-60
10.	METAL RAILING COLOR: BENJAMIN MOORE 2127-10
11.	POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT) COLOR: BENJAMIN MOORE 2127-10
12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY HFH9135U
13.	TRIM COLOR: AGED PEWTER

2023-11-23	Revised / City Comments
2023-09-25	Revised / City Comments
2023-07-26	Revised / Comments
2022-11-20	Re-Submission / Comments
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Date	Description

Issues / Revisions	
Seal	

Project Title
**TOWNHOUSE
DEVELOPMENT**

Project Address
**13111 KING GEORGE BLVD
SURREY, BC**

Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SU13

Sheet Title

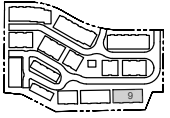
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Scale

Sheet No.

A-3.13

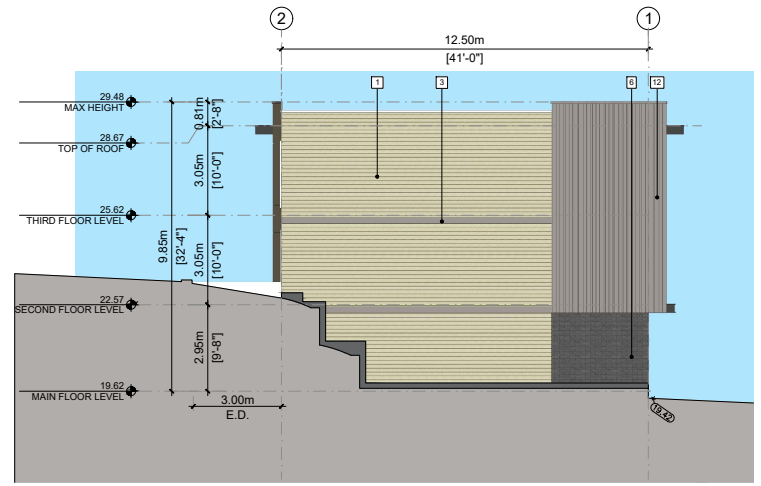
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KEY PLAN



① BUILDING 9 NORTH ELEVATION



② BUILDING 9 EAST ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
6.	BRICK VENEER OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
7.	PAINTED VINYL WINDOWS COLOR: BENJAMIN MOORE 2127-10
8.	SOLID CORE WOOD DOORS COLOR: BENJAMIN MOORE 2126-30
9.	GARAGE DOORS COLOR: BENJAMIN MOOR 2133-60
10.	METAL RAILING COLOR: BENJAMIN MOORE 2127-10
11.	POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT) COLOR: BENJAMIN MOORE 2127-10
12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY FHF9135U
13.	TRIM COLOR: AGED PEWTER

Date	Description
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2022-10-22	Fire Access Re-Submission
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Project Title
TOWNHOUSE DEVELOPMENT

Project Address
13111 KING GEORGE BLVD SURREY, BC

Drawn By PS	Date 2023-07-25
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Sheet Title

ELEVATIONS

Scale

Sheet No.
A-3.14

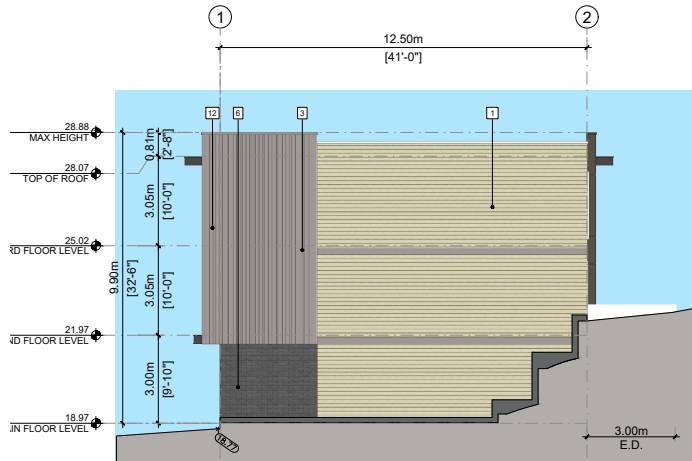
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KEY PLAN



1 BUILDING 9
SOUTH ELEVATION



2 BUILDING 9
WEST ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
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9.	GARAGE DOORS COLOR: BENJAMIN MOOR 2133-60
10.	METAL RAILING COLOR: BENJAMIN MOORE 2127-10
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12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY HFH9135U
13.	TRIM COLOR: AGED PEWTER

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Project Title
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SURREY, BC**

Drawn By PS	Date 2023-07-25
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Scale

Sheet No.

A-3.15

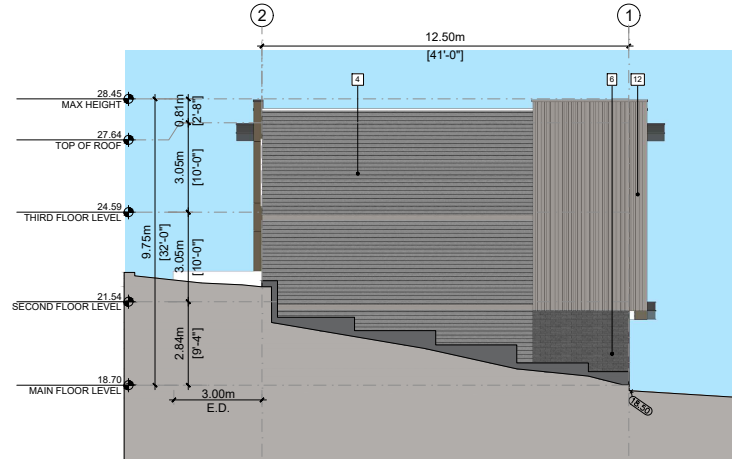
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KEY PLAN



1 BUILDING 10
NORTH ELEVATION



2 BUILDING 10
EAST ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
6.	BRICK VENEER OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
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8.	SOLID CORE WOOD DOORS COLOR: BENJAMIN MOORE 2126-30
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12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY HFH9135U
13.	TRIM COLOR: AGED PEWTER

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Project Title
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Project Address
**13111 KING GEORGE BLVD
SURREY, BC**

Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SU13

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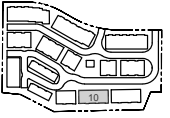
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Project Title
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**13111 KING GEORGE BLVD
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Drawn By PS	Date 2023-07-25
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Sheet Title

ELEVATIONS

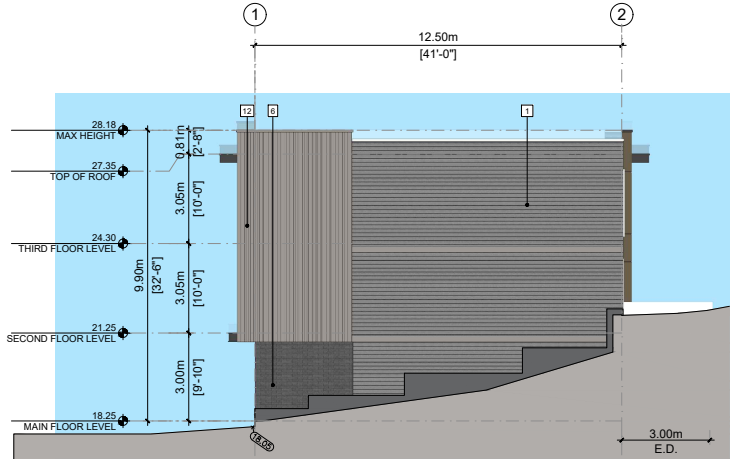
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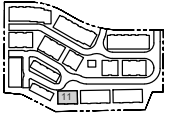
① BUILDING 10
SOUTH ELEVATION



② BUILDING 10
WEST ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
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12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY HFH9135U
13.	TRIM COLOR: AGED PEWTER

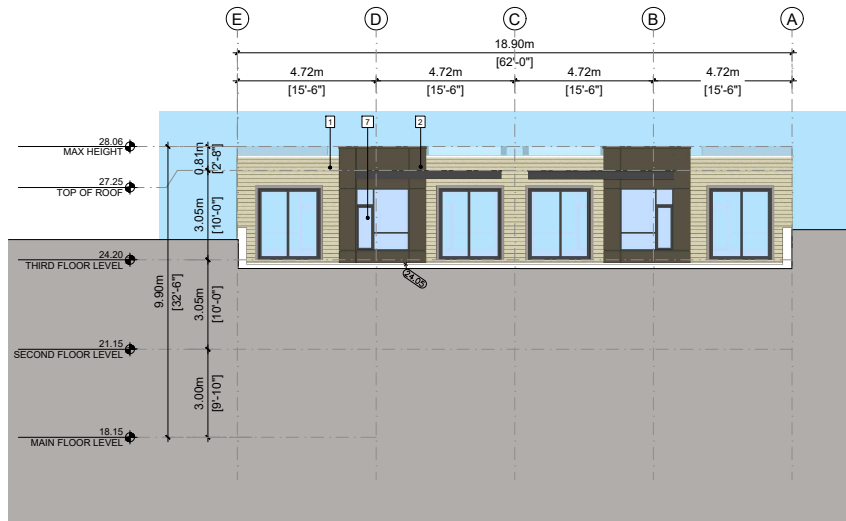
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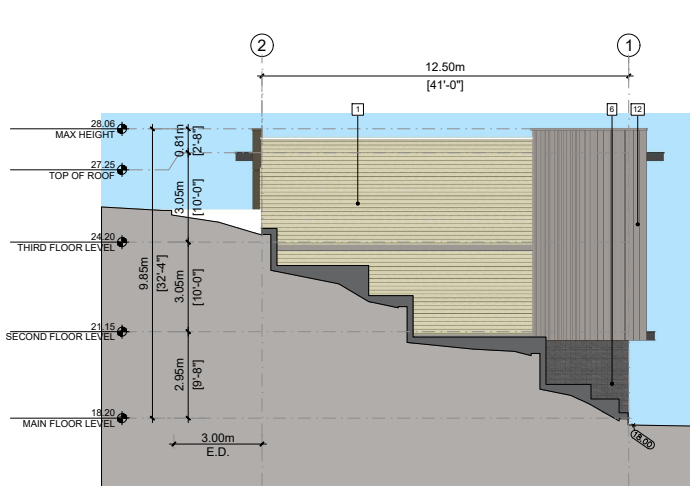
KEY PLAN



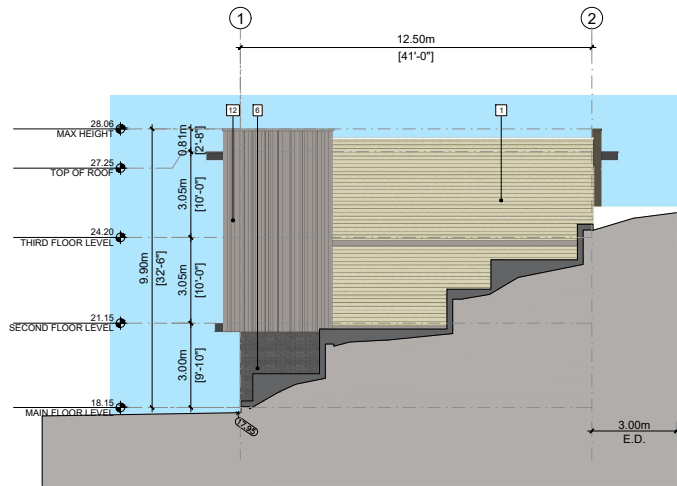
① BUILDING 11
NORTH ELEVATION



① BUILDING 11
SOUTH ELEVATION



② BUILDING 11
EAST ELEVATION



② BUILDING 11
WEST ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
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9.	GARAGE DOORS COLOR: BENJAMIN MOOR 2133-60
10.	METAL RAILING COLOR: BENJAMIN MOORE 2127-10
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12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY FHF9135U
13.	TRIM COLOR: AGED PEWTER

Date	Description
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Issues / Revisions	
Date	Description
	Seal

Project Title
TOWNHOUSE DEVELOPMENT

Project Address
**13111 KING GEORGE BLVD
SURREY, BC**

Drawn By
PS

Checked By
MG

Date
2023-07-25

Project ID
SU13

Sheet Title
ELEVATIONS

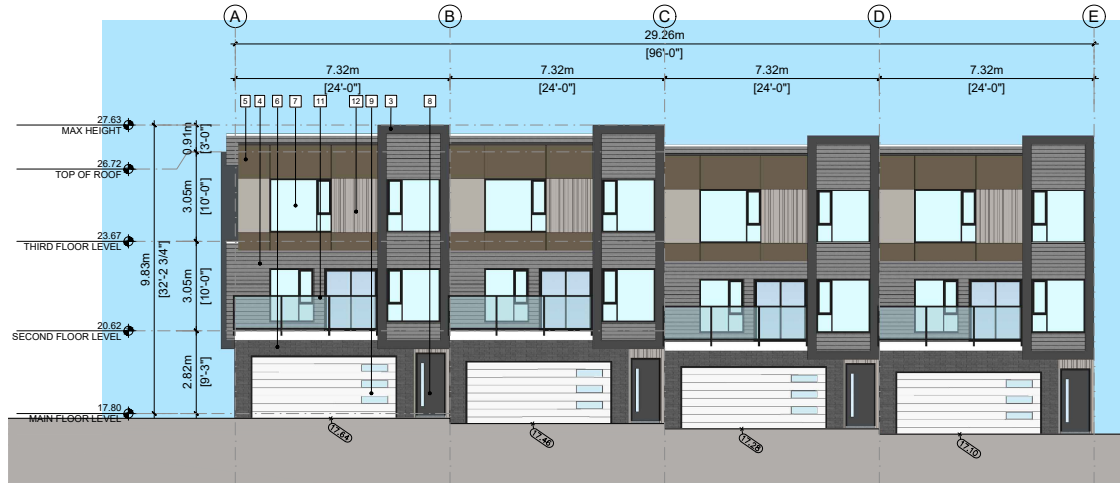
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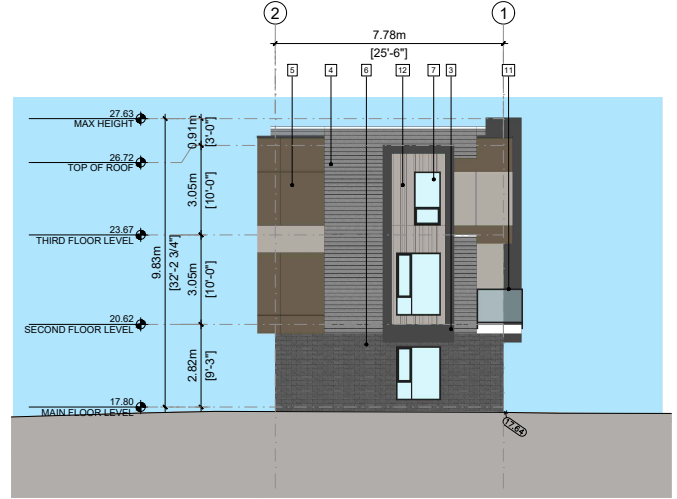
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KEY PLAN



1 BUILDING 12
NORTH-EAST ELEVATION



2 BUILDING 12
SOUTH-EAST ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
6.	BRICK VENEER OBSIDIAN BY -XL BUILDING PRODUCTS INC.
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13.	TRIM COLOR: AGED PEWTER

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TOWNHOUSE DEVELOPMENT

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SURREY, BC**

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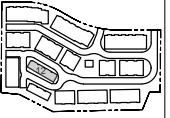
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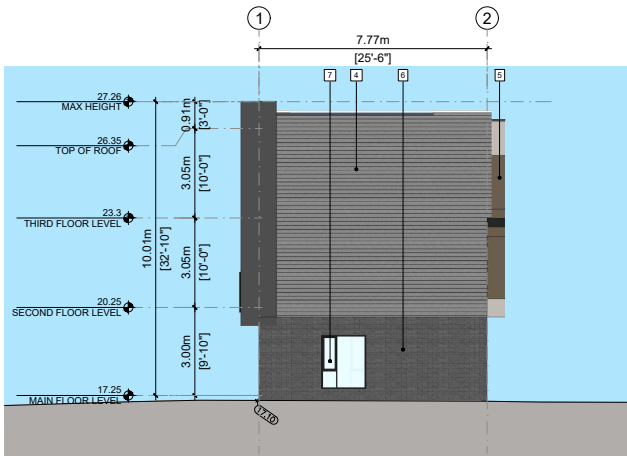
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KEY PLAN



1 BUILDING 12
SOUTH-WEST ELEVATION



2 BUILDING 12
NORTH-WEST ELEVATION

SCHEDULE OF FINISHES

1. HARDIE ARTISAN LAP SIDING
COLOR: NAVAJO BEIGE
2. SMOOTH FINISH HARDIE PANEL SIDING
COLOR: MONTEREY TAUPE
3. SMOOTH FINISH HARDIE PANEL SIDING
COLOR: AGED PEWTER
4. HARDIE ARTISAN LAP SIDING
COLOR: NIGHT GREY
5. SMOOTH FINISH HARDIE PANEL SIDING
COLOR: TIMBER BARK
6. BRICK VENEER
OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
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8. SOLID CORE WOOD DOORS
COLOR: BENJAMIN MOORE 2126-30
9. GARAGE DOORS
COLOR: BENJAMIN MOOR 2133-60
10. METAL RAILING
COLOR: BENJAMIN MOORE 2127-10
11. POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT)
COLOR: BENJAMIN MOORE 2127-10
12. CERACLAD TRIPLE COATED PANELS
COLOR: MID GRAY FHF9135U
13. TRIM
COLOR: AGED PEWTER

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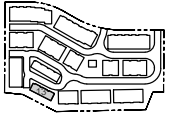
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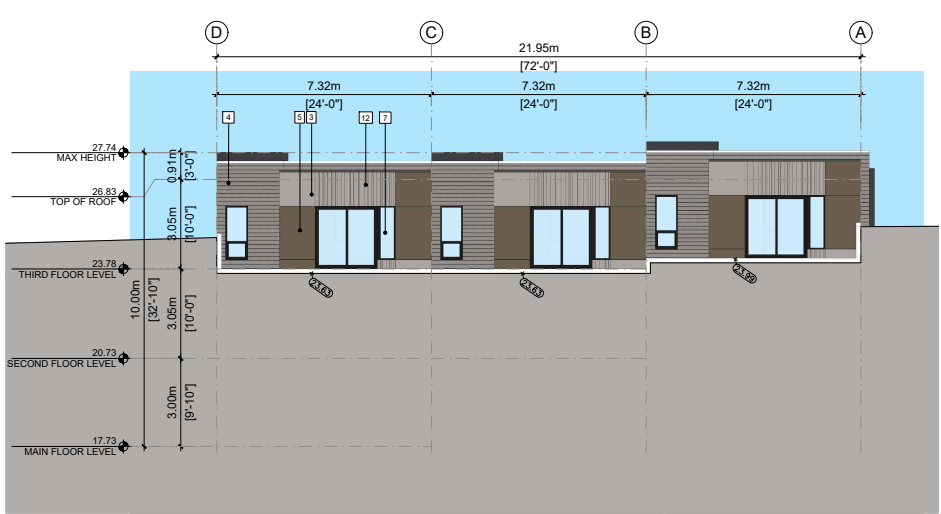
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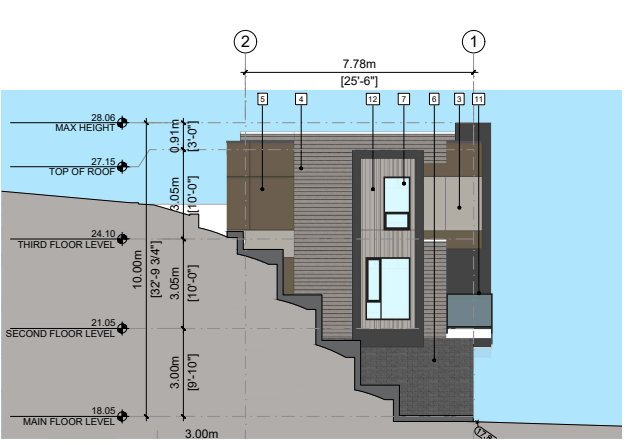
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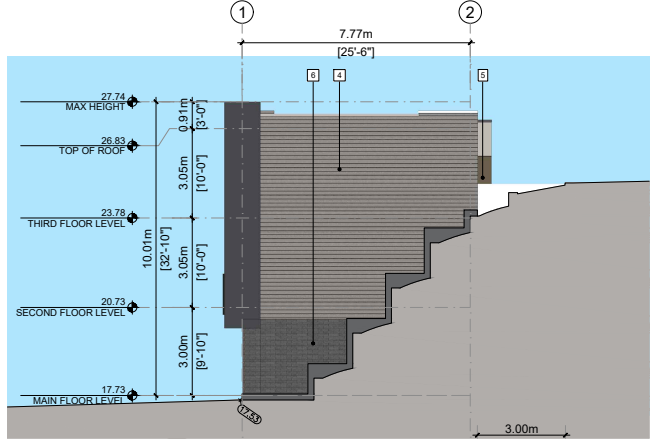
1 BUILDING 13
NORTH-EAST ELEVATION



2 BUILDING 13
SOUTH-WEST ELEVATION



3 BUILDING 13
SOUTH-EAST ELEVATION



4 BUILDING 13
NORTH-WEST ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
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13.	TRIM COLOR: AGED PEWTER

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DEVELOPMENT**

Project Address
**13111 KING GEORGE BLVD
SURREY, BC**

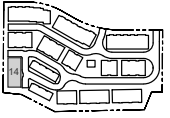
Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SU13

Sheet Title
ELEVATIONS

Scale
Sheet No.

A-3.21

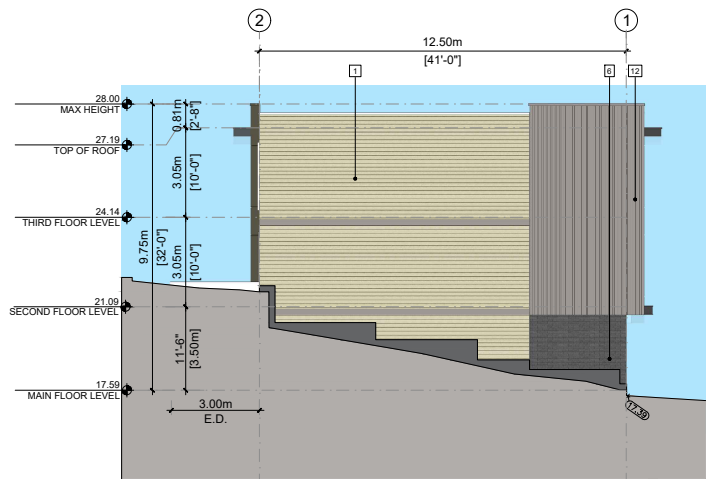
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KEY PLAN



① BUILDING 14
EAST ELEVATION



③ BUILDING 14
SOUTH ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
6.	BRICK VENEER OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
7.	PAINTED VINYL WINDOWS COLOR: BENJAMIN MOORE 2127-10
8.	SOLID CORE WOOD DOORS COLOR: BENJAMIN MOORE 2126-30
9.	GARAGE DOORS COLOR: BENJAMIN MOOR 2133-60
10.	METAL RAILING COLOR: BENJAMIN MOORE 2127-10
11.	POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT) COLOR: BENJAMIN MOORE 2127-10
12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY HFH9135U
13.	TRIM COLOR: AGED PEWTER

2023-11-23	Revised / City Comments
2023-09-25	Revised / City Comments
2023-07-26	Revised / Comments
2022-11-20	Re-Submission / Comments
2022-11-01	Fire Access Re-Submission
2022-10-22	Fire Access Re-Submission
2022-06-21	DP Application
2022-02-18	Re-Submission
2022-02-09	Preliminary Application
Date	Description

Issues / Revisions

Issues / Revisions
Seal

Project Title
TOWNHOUSE DEVELOPMENT

Project Address
13111 KING GEORGE BLVD SURREY, BC

Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SU13

Sheet Title

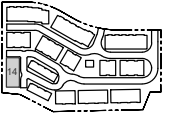
ELEVATIONS

Scale

Sheet No.

A-3.22

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KEY PLAN

2023-11-23	Revised / City Comments
2023-09-25	Revised / City Comments
2023-07-26	Revised / Comments
2022-11-20	Re-Submission / Comments
2022-11-01	Fire Access Re-Submission
2022-10-22	Fire Access Re-Submission
2022-06-21	DP Application
2022-02-18	Re-Submission
2022-02-09	Preliminary Application

Date	Description
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Issues / Revisions

Issues / Revisions
Seal

Project Title

TOWNHOUSE DEVELOPMENT

Project Address

**13111 KING GEORGE BLVD
SURREY, BC**

Drawn By PS	Date 2023-07-25
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Checked By MG	Project ID SU13
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Sheet Title

ELEVATIONS

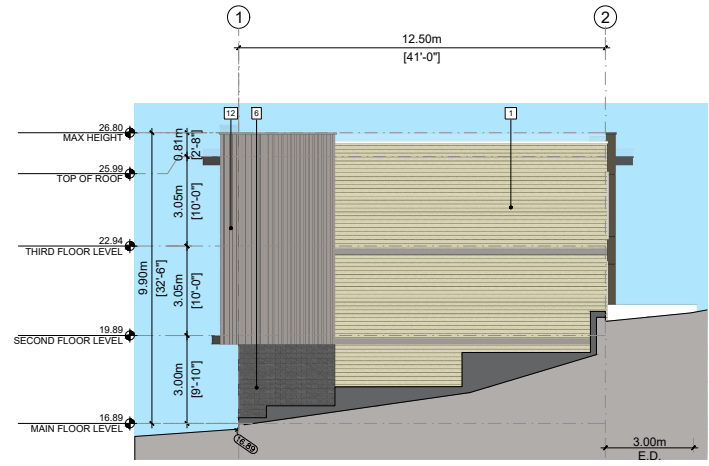
Scale

Sheet No.

A-3.23



2 BUILDING 14
WEST ELEVATION



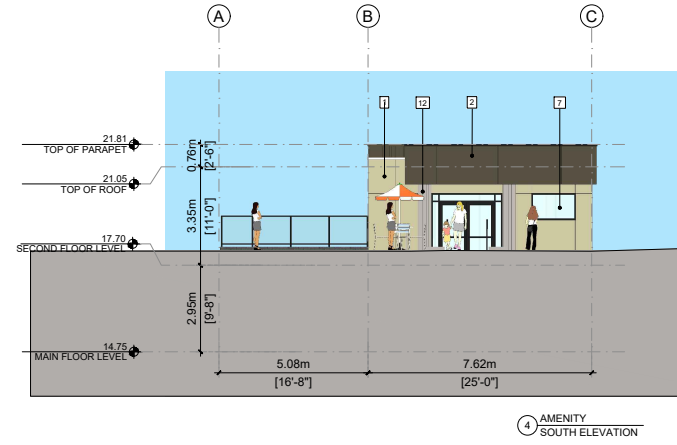
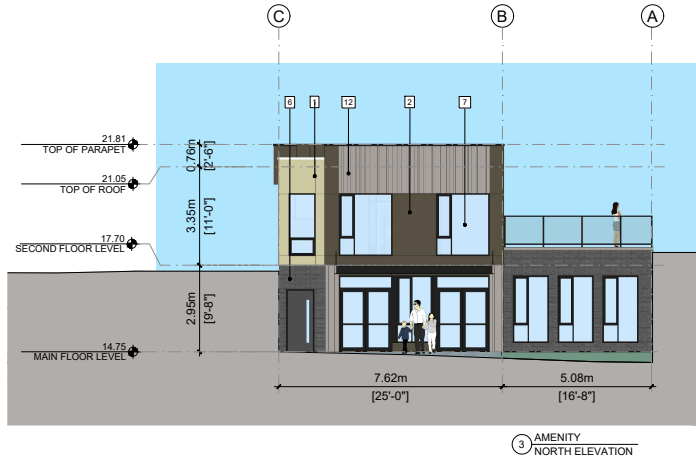
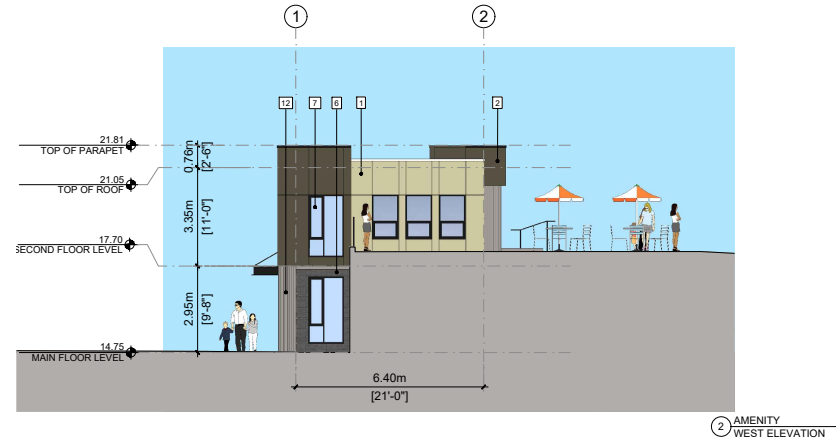
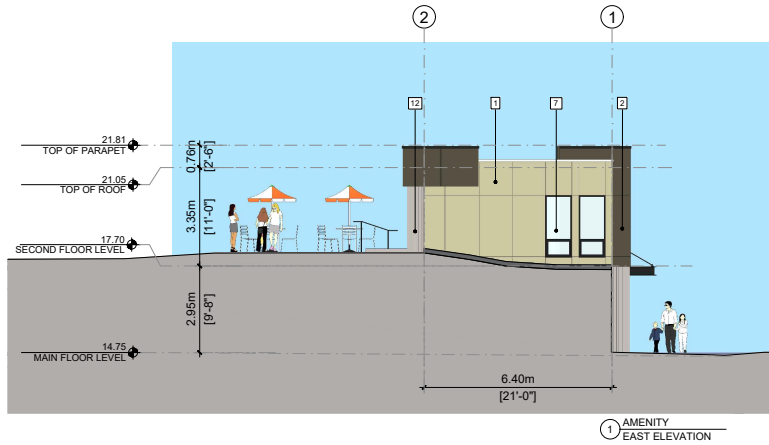
4 BUILDING 14
NORTH ELEVATION

SCHEDULE OF FINISHES	
1.	HARDIE ARTISAN LAP SIDING COLOR: NAVAJO BEIGE
2.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: MONTEREY TAUPE
3.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: AGED PEWTER
4.	HARDIE ARTISAN LAP SIDING COLOR: NIGHT GREY
5.	SMOOTH FINISH HARDIE PANEL SIDING COLOR: TIMBER BARK
6.	BRICK VENEER OBSIDIAN BY I-XL BUILDING PRODUCTS INC.
7.	PAINTED VINYL WINDOWS COLOR: BENJAMIN MOORE 2127-10
8.	SOLID CORE WOOD DOORS COLOR: BENJAMIN MOORE 2126-30
9.	GARAGE DOORS COLOR: BENJAMIN MOOR 2133-60
10.	METAL RAILING COLOR: BENJAMIN MOORE 2127-10
11.	POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT) COLOR: BENJAMIN MOORE 2127-10
12.	CERACLAD TRIPLE COATED PANELS COLOR: MID GRAY FHF9135U
13.	TRIM COLOR: AGED PEWTER

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KEY PLAN
N



SCHEDULE OF FINISHES

- HARDIE ARTISAN LAP SIDING
COLOR: NAVAJO BEIGE
- SMOOTH FINISH HARDIE PANEL SIDING
COLOR: MONTEREY TAUPE
- SMOOTH FINISH HARDIE PANEL SIDING
COLOR: AGED PEWTER
- HARDIE ARTISAN LAP SIDING
COLOR: NIGHT GREY
- SMOOTH FINISH HARDIE PANEL SIDING
COLOR: TIMBER BARK
- BRICK VENEER
OBSSIDIAN BY LXL BUILDING PRODUCTS INC.
- PAINTED VINYL WINDOWS
COLOR: BENJAMIN MOORE 2127-10
- SOLID CORE WOOD DOORS
COLOR: BENJAMIN MOORE 2126-30
- GARAGE DOORS
COLOR: BENJAMIN MOOR 2133-60
- METAL RAILING
COLOR: BENJAMIN MOORE 2127-10
- POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT)
COLOR: BENJAMIN MOORE 2127-10
- CERAGLAD TRIPLE COATED PANELS
COLOR: MID GRAY HP#H135J
- TRIM
COLOR: AGED PEWTER

Date	Description
2023-11-23	Revised / City Comments
2023-09-25	Revised / City Comments
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Issues / Revisions	
Date	Description
	Seal
Project Title TOWNHOUSE DEVELOPMENT	
Project Address 1311 KING GEORGE BLVD SURREY, BC	
Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SU13
Sheet Title ELEVATIONS	
Scale	
Sheet No. A-3.24	

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7906-0301-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 017-241-553
Portion of Section 9 range 2 Plan Northwest Plan 17410 New Westminister District Lot A
(BE12939), Except Plan BCP45094, Previously Lots 51-55
Portion of 13140 - 113B Avenue

Parcel Identifier: 008-042-314
Lot G Section 9 Range 2 Plan Northwest Plan 5585 New Westminister District Except Plan 35529
13111 King George Boulevard

Portions of 131 Street and 113A Avenue (road allowance)

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

-
4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Subsection J.4 Special Regulations, Back-to-Back Ground-Oriented Dwelling Units of Part 22 Multiple Residential 30 Zone, the maximum allowable percentage of back-to-back units is increased from 20% to 36%.
 5. This development variance permit applies to only the Land shown on Schedule A, which is attached hereto and forms part of this development variance permit.
 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY COUNCIL, THE _____ DAY OF _____, 20__ .

ISSUED THIS _____ DAY OF _____, 20__ .

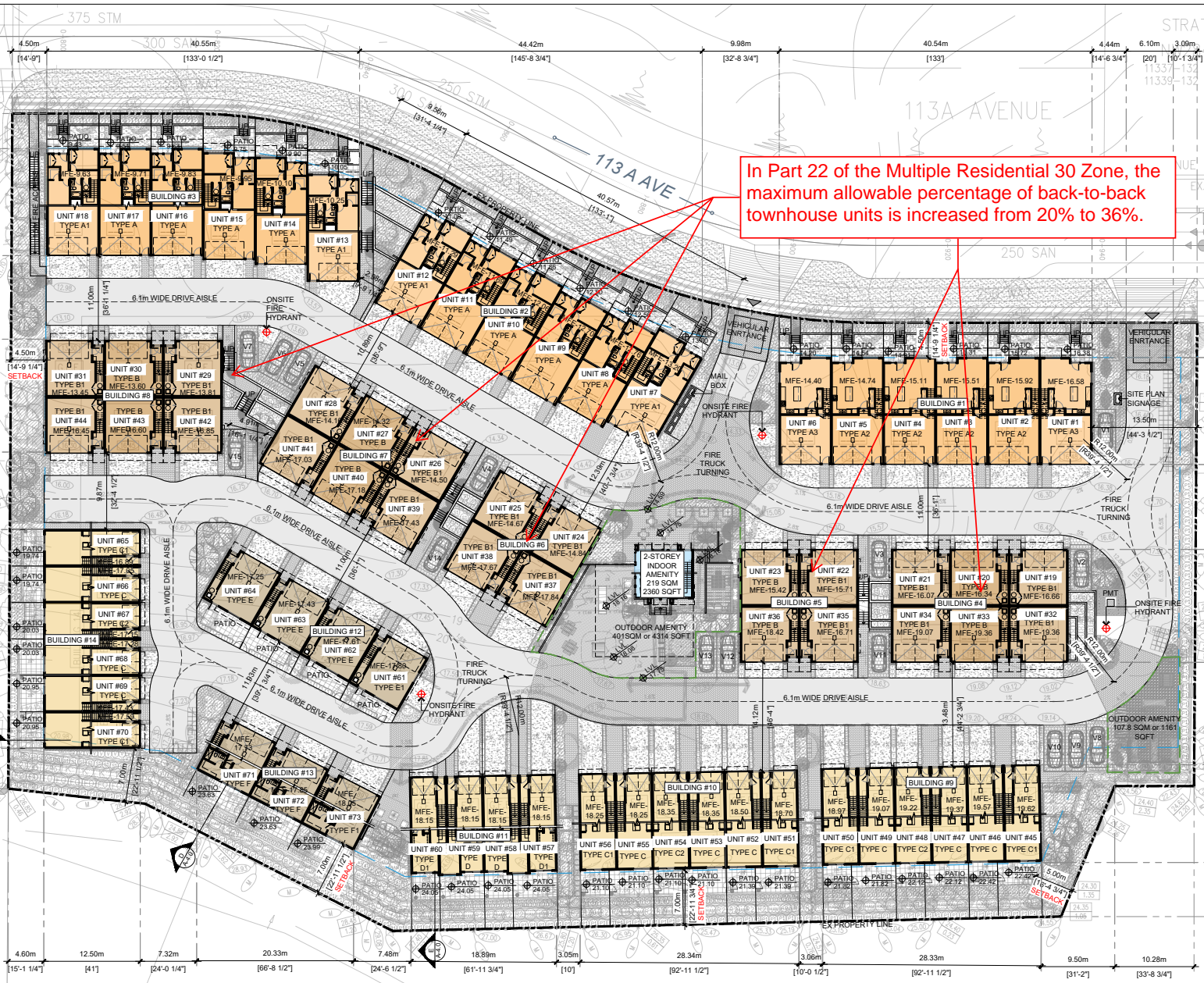
Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

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In Part 22 of the Multiple Residential 30 Zone, the maximum allowable percentage of back-to-back townhouse units is increased from 20% to 36%.



NEIGHBOURING LOT 295

NEIGHBOURING LOT 11283

NEIGHBOURING LOT

Date	Description
2023-11-23	Revised / City Comments
2023-09-25	Revised / City Comments
2023-07-26	Revised / Comments
2022-11-29	Re-Submission / Comments
2022-11-01	Fire Access Re-Submission
2022-10-22	Fire Access Re-Submission
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2022-02-09	Preliminary Application

Project Title
TOWNHOUSE DEVELOPMENT

Project Address
1311 KING GEORGE BLVD SURREY, BC

Drawn By PS	Date 2023-07-25
Checked By MG	Project ID SU13

Sheet Title
SITE PLAN

Scale

Sheet No.

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7906-0301-00

Planning Report Date: June 7, 2010

PROPOSAL:

- **OCP Amendment** from Urban to Multiple Residential
- **Rezoning** from RF to CD (based on RM-30)
- **Development Permit**

in order to permit the development of approximately 68 townhouse units.

LOCATION:

13111 King George Boulevard,
 portion of 13140 – 113B Avenue and
 portions of 131 Street and 113A
 Avenue

OWNER:

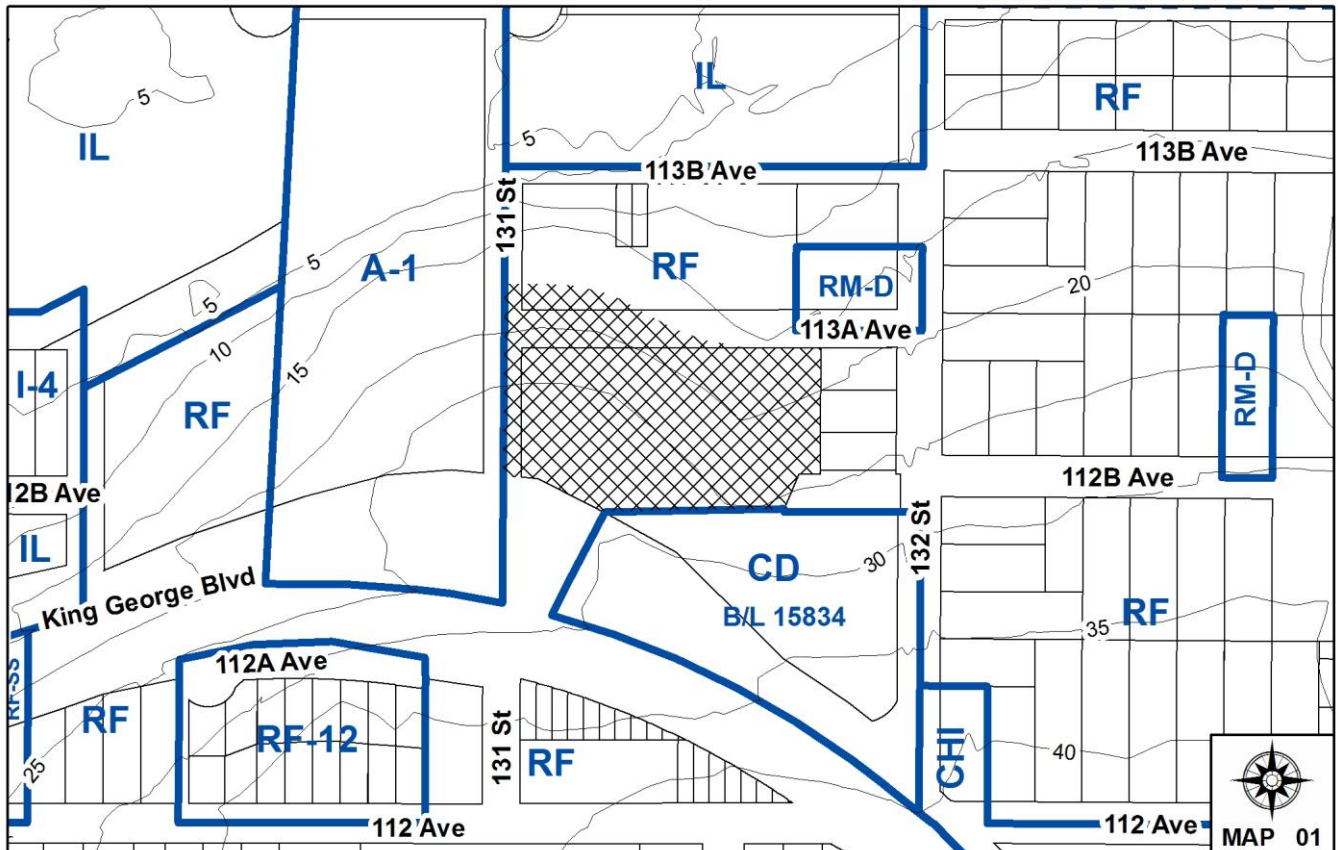
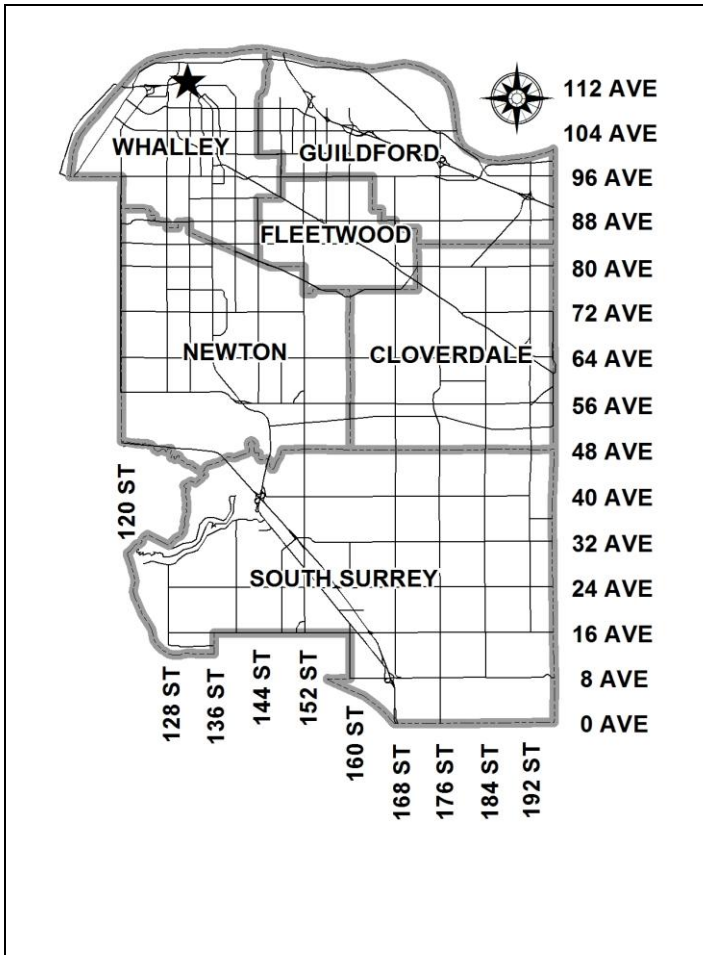
NSD Holdings Ltd., AHW 9009
 Holdings Ltd., et al

ZONING:

RF

OCP DESIGNATION:

Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The proposed development does not comply with the Urban OCP designation and requires a redesignation to Multiple Residential.

RATIONALE OF RECOMMENDATION

- Allows for development on a currently vacant site, along King George Boulevard, which is a gateway into Surrey's City Centre area.
- The City will generate income from the sale of the underutilized excess City lands.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating the subject site from Urban to Multiple Residential.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7906-0301-00 in accordance with the attached drawings (Appendix III).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the City Landscape Architect;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) completion of the road closure and acquisition of portions of 131 Street and 113A Avenue with the Realty Services Division;
 - (g) the applicant to address the concern that the proposed development will place additional pressure on existing parks facilities, to the satisfaction of the General Manager, Parks, Recreation & Culture;
 - (h) registration of a Section 219 Restrictive Covenant to specifically prohibit the conversion of the enclosed parking spaces into livable space;
 - (i) registration of a statutory right-of-way for public passage along the west property line to allow for pedestrian connection to the future public walkway;

- (j) registration of statutory right-of-way for public passage within private land to the east of the proposed public lane, to allow for access to the developable area to the east and southeast.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.

School District: **Projected number of students from this development:**

11 Elementary students at James Ardiel School
5 Secondary students at Kwantlen Park Secondary School

(Appendix V)

Parks, Recreation & Culture: The Parks Department has concerns about the impact the proposed development has on existing parks facilities in the area.

SITE CHARACTERISTICS

Existing Land Use: Treed property without buildings.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
Immediately North:	Vacant treed lot.	Urban	RF
North (Across 113B Avenue):	Vacant lot.	Industrial	IL
East:	Existing single family dwellings and duplex.	Urban	RF and RM-D
South:	48 existing townhouses, completed under Application No. 7902-0351-00.	Multiple Residential	CD (By-law No. 15834)
West (Across 131 Street):	Vacant treed lot.	Urban and Industrial	A-1

JUSTIFICATION FOR OCP AMENDMENT

- The adjacent site to the east (11255 - 132 Street) was redesignated from Urban to Multiple Residential and rezoned to CD (By-law No. 11654) in 1993 to permit the development of a 4-storey apartment building (File No. 5691-0477-00). The proposed apartment building, however, was never constructed.
- In 1999, the adjacent site was redesignated from Multiple Residential to Commercial and rezoned to CD (By-law No. 13192) to permit the development of a 102-room hotel (Application No. 7996-0202-00).
- Construction of the hotel did not proceed and the applicant ultimately requested a redesignation from Commercial to Multiple Residential to allow for the development of a 48-unit townhouse development, completed under Application No. 7902-0351-00.
- The proposed redesignation of the OCP from Urban to Multiple Residential is consistent with the long term vision of bringing in higher densities to the City Centre area.

DEVELOPMENT CONSIDERATIONS

Background

- The application was originally submitted in June 2006 for a proposed 19-storey, high-rise building with 260 apartment units and 35 townhouse units. This application also encompassed a total of four (4) properties addressed as 13111 King George Boulevard and 13130/32/40 - 113B Avenue and the acquisition from the City of some portions of 131 Street and 113A Avenue.
- This application never proceeded to Council due to the economic downturn and the financial impact of a high-rise and townhouse development. In March 2010, the application was amended to exclude two of the properties, 13130 and 13132 - 113B Avenue and the development proposal was decreased in size to 68 townhouse units only.

Current Application

- The current proposal is situated primarily on one property addressed as 13111 King George Boulevard and on a portion of City-owned property addressed as 13140 - 113B Avenue.
- The site is approximately 1.2 hectares (2.97 acres) in net area and currently zoned Single Family Residential Zone (RF) and designated Urban in the Official Community Plan (OCP). The development site is extremely sloped and currently heavily treed.
- The applicant proposes an OCP amendment from Urban to Multiple Residential, a rezoning from Single Family Residential Zone (RF) to Comprehensive Development Zone (CD) and a Development Permit to allow for the development of 68 townhouse units to be completed within three (3) phases. The application will also include a purchase from the City of the eastern half of 131 Street (ending just to the north of 113A Avenue), a portion of 113A Avenue and a small area of land to the north, resulting from the realignment of the currently unopened 113A Avenue.

- The proposed unit density of the development is 58 units per hectare (23 units per acre), with a floor area ratio (FAR) of 0.96. The FAR is slightly higher than the maximum 0.90 FAR permitted under the RM-30 Zone for a development site which exceeds 1.0 hectare (2.47 acres). The proposed unit density is below the 75 units per hectare (30 upa) permitted in the RM-30 Zone.
- The development proposes 210 square metres (2,260 sq.ft.) of indoor amenity space within a separate building, exceeding the minimum of 204 square metres (2,196 sq.ft.) required for the development (based on 3 m²/32 sq.ft. per dwelling unit). The indoor amenity space will be provided in a two-storey amenity building located centrally within the development, and will be incorporated as part of Phase II of the development. Due to the fact that 113A Avenue has not yet been constructed, the phasing of the development will proceed from east to west.
- The development proposes 253.7 square metres (2,731 sq.ft.) of outdoor amenity space, which exceeds the minimum 204 square metres (2,196 sq.ft.) required for this development (based on 3 m²/32 sq.ft. per dwelling unit). The proposed outdoor amenity space is to be located immediately to the west of the indoor amenity building and will incorporate a children's play area, community gardens and walking paths. Due to the fact that the amenity spaces are to be constructed under Phase II, securities for the landscaping and amenity areas for both Phases I and II will be required prior to the issuance of the Phase I building permit.
- The proposed development includes 136 resident parking stalls and 14 visitor parking stalls, which complies with the requirements of the Surrey Zoning By-law. The proposed visitor parking stalls will be dispersed throughout the development site. The resident parking stalls will be provided in double garages attached to the units.
- The development site will result in a hooked lot, as the development will be providing a public lane to allow for future access to a potential multiple residential development site located within the excess King George Boulevard road dedication to the south and to a future multiple residential development located to the east (Appendix III).

Road Closure and Acquisition (Appendix I)

- There are currently two dedicated roads, 131 Street and 113A Avenue, which exist, but have not been opened in the vicinity of the subject property. The Engineering Department has indicated that 131 Street will not extend north beyond the cul-de-sac at 13102 – 114 Avenue and 11408 - 131 Street. Therefore, the excess portion of 131 Street, to the south of this location is surplus and may be sold, with Council's approval. Ultimately, 113A Avenue is to be opened further west as development occurs and 113A Avenue will ultimately connect to 112B Avenue to the west. However, the alignment of 113A Avenue is required to change. Therefore, the applicant is required to close part of 113A Avenue and acquire some City land to the north in order to facilitate this new alignment of 113A Avenue (Appendix III).
- There is currently some excess road within the King George Boulevard, which is a gazetted road, south of the subject site. It is anticipated that the future closure of the gazetted road will create approximately 0.97 hectare (2.4 acres) of land. Although not fully developable due to its configuration, there will be a development opportunity. The applicant was asked to provide a development concept for this area and the concept reflects a possible townhouse development, with vehicular access derived from a proposed public lane which will bisect the site (Appendix III).

- Staff have reviewed the applicant's proposal and find it acceptable. To implement this proposal, the applicant is required to dedicate a 6-metre (20 ft.) wide lane through the subject site to provide access to the potential development site to the south. A dedicated lane, although unusual to be provided through a site, is considered preferable to an access easement or right-of-way on private property.

Tree Preservation and Replacement

- An arborist report was submitted by the applicant. The report was prepared by Lesley Gifford, Certified Arborist, for Diamond Head Consulting Ltd.
- Two hundred (200) deciduous trees were identified within the site. It is proposed that all 200 trees be removed (Appendix VI).
- According to the arborist's report, all of the trees found growing within the subject site and to the west of the site are second growth trees. The majority of the site was cleared about 40 years ago and was regenerated naturally with a relatively dense, uniform stand of Red Alder, Black Cottonwood and Bigleaf Maple with scattered Paper Birch. Most of these deciduous trees range in diameter from 25-55 cm and average 40 cm. The northern portion of the site was cleared about 3-5 years ago. This is dominated by Black Cottonwood and Bigleaf Maple regenerated from stumps from shoots.
- The stands of trees are even-aged and have grown as a group, relying on neighbouring trees for structural support. According to the arborist's report, these stands offer little opportunity for retention as the trees within them have grown upwards competing for light and generally have poorly tapered trunks and small live crowns. Opening up these stands and exposing them as single trees makes them susceptible to windthrow and breakage. Considering the proposal is a moderately dense multiple residential development, the arborist is recommending that none of the trees be kept on the site, but that replacement trees be planted.

Tree Species	Number of Trees	Proposed Retention	Proposed Removal
Pear	1	0	1
Cottonwood	6	0	6
Alder	130	0	130
Bigleaf Maple	52	0	52
Bitter Cherry	1	0	1
Birch	8	0	8
Other (Robinia & Oak)	2	0	2
TOTAL	200	0	200

- Based upon these numbers, 264 replacement trees are required, with 136 to be replaced at a 1:1 ratio and 64 trees to be replaced at a 2:1 ratio. There are 143 replacement trees proposed within the site. The applicant will be required to provide cash-in-lieu for the remaining 121 trees which are not accommodated within the site.

PRE-NOTIFICATION

- Two pre-notification letters were mailed out, one for the initial proposal for the high-rise building and townhouses, dated August 20, 2007 and one dated March 19, 2010, based upon the current townhouse proposal.
- Staff did not receive any comments for either of the development proposals.

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

DESIGN PROPOSAL AND REVIEW

- The proposed townhouse project consists of 68 3-bedroom units in ten (10) buildings. The townhouse units are 3 storeys in height, with private roof decks.
- The site reflects two vehicular access points from 113A Avenue, with one entering the centre of the site and the other at the eastern edge which connects to a minimum 6.0-metre (20 ft.) wide public lane. The public lane will eventually allow for access to a potential future development site within a surplus portion along King George Boulevard which may be closed in the future.
- A walkway will be constructed within the remaining 131 Street right-of-way adjacent to the site, between King George Boulevard and 113A Avenue. The developer will be required to contribute to one-half of the construction costs of the walkway.
- Due to the grading on the site, the townhouse units have been designed with two different unit layouts, one where the garage is situated at the second level, with the living room below and the other where the living room is at the second level, with the garage at the ground level. All townhouse units will incorporate roof decks.
- The primary building materials and colours proposed consist of hardi-boards painted in varying shades of beige, overhead doors and frames painted in white, vinyl windows and frames painted in a dark beige, red painted cladding and varying accent colours ranging from blue, golden yellow, purple and teal. Entry doors and trellises will be stained wood.
- Due to the slope, significant terraced retaining walls are proposed along the north (113A Avenue), west and southeast portions of the site.
- A proposed two-storey amenity building is located centrally within the site. The main floor incorporates an exercise room and office, while the second floor incorporates a multi-purpose room, a TV room and game area. The roof of the building will incorporate a green roof system.
- The outdoor amenity is proposed to the immediate west of the indoor amenity building. The proposed outdoor amenity will include a children's play area, community gardens and walking paths.

- Fencing with groundcover planting and trees are proposed to frame the ground floor patios for each unit and to provide for privacy.
- Main vehicular access points are defined with decorative paving.

ADVISORY DESIGN PANEL

This application was not referred to the ADP, but was reviewed by staff and found satisfactory, except for the following which will have to be addressed prior to Final Adoption:

- A roll over curb on the lane to be shown on the plans.
- A sidewalk should be provided over the parking stalls at the south end of the development site.
- The privacy wall should be lowered to match the 0.9 metre (3 ft.) high wood fence.
- Signage details are required for review.
- Resolution of all outstanding landscape items.

The applicant has agreed to complete these items prior to consideration of Final Adoption.

PROPOSED CD BY-LAW (Appendix VII)

- The proposed CD By-law is based upon the RM-30 Zone, with a slightly increased floor area ratio (FAR) and variances for building setbacks and to allow for visitor parking stalls and stairs exceeding 3 risers to be situated within the setback area.
- The proposed development will reflect a proposed FAR of 0.96, which slightly exceeds the maximum 0.90 FAR permitted for RM-30-zoned sites exceeding 1 hectare (2.47 acres) in size. The unit density will remain under the maximum 75 units per hectare (30 units per acre) permitted under the RM-30 Zone, at 58 units per hectare (23 units per acre).
- The proposed building setbacks take into account two separate portions of the site, north of the proposed public lane and south of the lane.
- In the northern portion of the site, the north yard (113A Avenue) and the west yard setbacks will be a minimum of 4.4 metres (14.4 ft.). The area within the setbacks will be landscaped. Along 113A Avenue, the setback is measured from the property line to the building face. Along the west property line, the setback is measured to the side elevations of the westerly buildings. A walkway will be situated to the west of the subject site, thereby “increasing” the open area. The windows from the end units will also allow for increased surveillance of the walkway.
- The south yard and east yard setbacks for the northern portion of the site will be a minimum 2.1 metres (6.9 ft.) and 1.2 metres (3.9 ft.) respectively, measured from the proposed lane. The setbacks are typical what would be proposed from a private driveway.
- In the southern portion of the site, the south yard and east yard setbacks are a minimum of 7.0 metres (23.0 ft.) and 5.0 metres (16.4 ft.) respectively. The 5.0-metre (16.4 ft.) east setback is required only on the easterly edge of the south-easterly building (Building #12). This reduced setback is required due to the irregular shape of the site at the southeast corner.

- The proposed north yard and west yard setbacks for the southern portion of the site are 1.2 metres (3.9 ft.) and 0.9 metre (3.0 ft.) respectively, due to the alignment of the proposed public lane.
- In addition, the proposed CD By-law will allow for further encroachments into the setbacks, by stairs, retaining walls and second floor building elements.
- Proposed visitor parking stalls are proposed to be situated within the building setback areas, to allow for better accessibility throughout the site. This proposed variance does not have a significant impact upon the development, as the applicant is proposing landscaping around the parking areas.
- Due to the grading of the site, stairs exceeding three (3) risers are proposed within the west, north and south building setbacks of the larger site. These stairs are required to provide for level and usable patios for the townhouse units and to provide for pedestrian connections through the site. The applicant's architect had previously worked with Planning staff to reduce the number of stairs where possible. However, it is recognized that due to the grading on the site, stairs are necessary to facilitate pedestrian connections within the site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets and Survey Plan Showing Road Closure
Appendix II.	OCP Amendment Map
Appendix III.	Proposed Subdivision Plan, Site Plan, Building Elevations and Landscape Plans
Appendix IV.	Engineering Summary
Appendix V.	School District Comments
Appendix VI.	Summary of Tree Survey and Tree Preservation
Appendix VII.	Proposed CD By-law

Jean Lamontagne
General Manager
Planning and Development

PL/kms

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. 4/22/10 10:02 AM

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RM-30)

Required Development Data	Minimum Required / Maximum Allowed in RM-30 Zone	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		1.2 ha
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	36.2%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
North Portion: North	7.5 m	4.4 m
South	7.5 m	2.1 m
West	7.5 m	4.4 m
East	7.5 m	1.2 m
South Portion: North	7.5 m	1.2 m
South	7.5 m	7.0 m
West	7.5 m	0.9 m
East	7.5 m	5.0 m
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m	12.28 m/3 storeys
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		-
One Bed		-
Two Bedroom		-
Three Bedroom +		68
Total		68
FLOOR AREA: Residential		10,984 m ²
FLOOR AREA: Commercial		n/a
Retail		
Office		
Total		
FLOOR AREA: Industrial		n/a
FLOOR AREA: Institutional		n/a
TOTAL BUILDING FLOOR AREA		10,984 m ²

* *If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed in RM-30 Zone	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	75 uph/30 upa	58 uph/23 upa
FAR (gross)		
FAR (net)	0.90	0.96
AMENITY SPACE (area in square metres)		
Indoor	204 m ²	210 m ²
Outdoor	204 m ²	253.7 m ²
PARKING (number of stalls)		
Commercial		n/a
Industrial		n/a
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	136	136
Residential Visitors	14	14
Institutional		n/a
Total Number of Parking Spaces	150	150
Number of disabled stalls	1	1
Number of small cars	3	3
Tandem Parking Spaces: Number / % of Total Number of Units	n/a	n/a
Size of Tandem Parking Spaces width/length	n/a	n/a

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
 BYLAW NO. _____ OVER PART OF LOT "A" (BE12939)
 PLAN 17410, LOT "G" EXCEPT: PART SUBDIVIDED
 BY PLAN 35529, PLAN 5585, AND ROADS SHOWN ON
 PLAN 480 ALL OF SECTION 9 BLOCK 5 NORTH
 RANGE 2 WEST NEW WESTMINSTER DISTRICT**

FOR THE PURPOSE OF REZONING

BCGS 92G.026

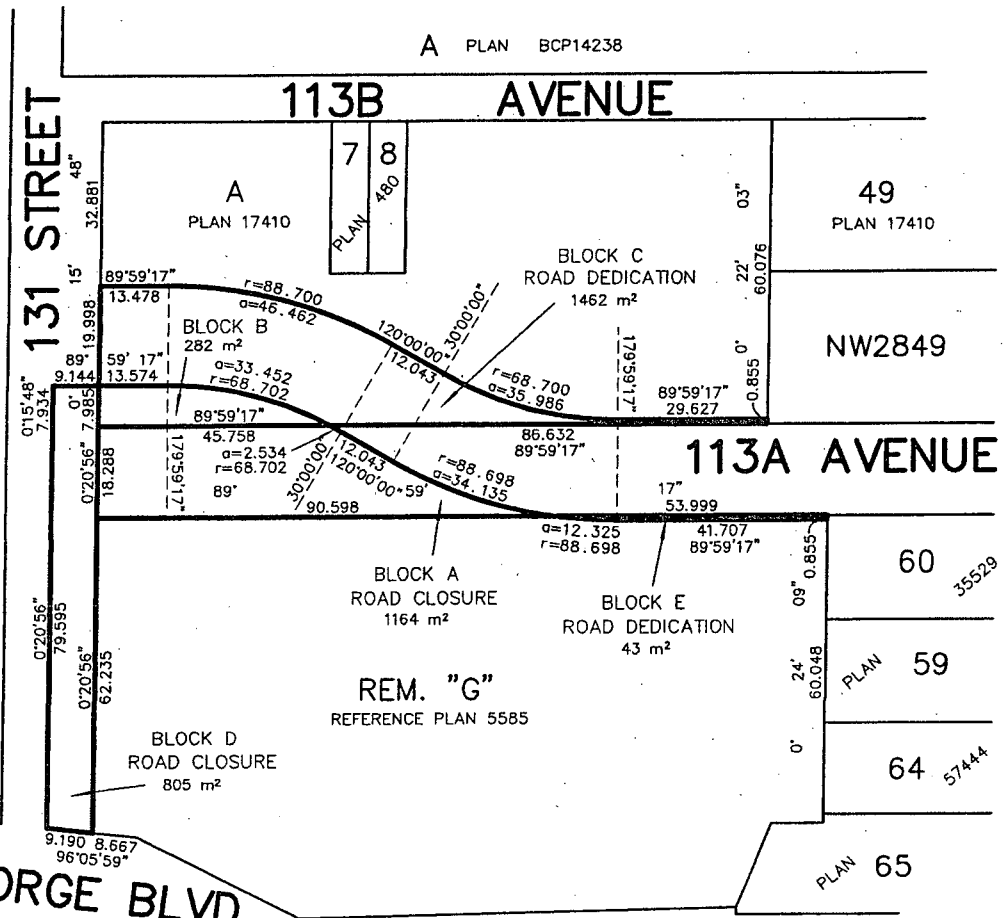
CITY OF SURREY

LEGEND

SCALE 1:1500



REM.
 "D"
 PLAN 4996



KING GEORGE BLVD.

Certified correct according to field survey.
 This 12th day of _____ 2004.

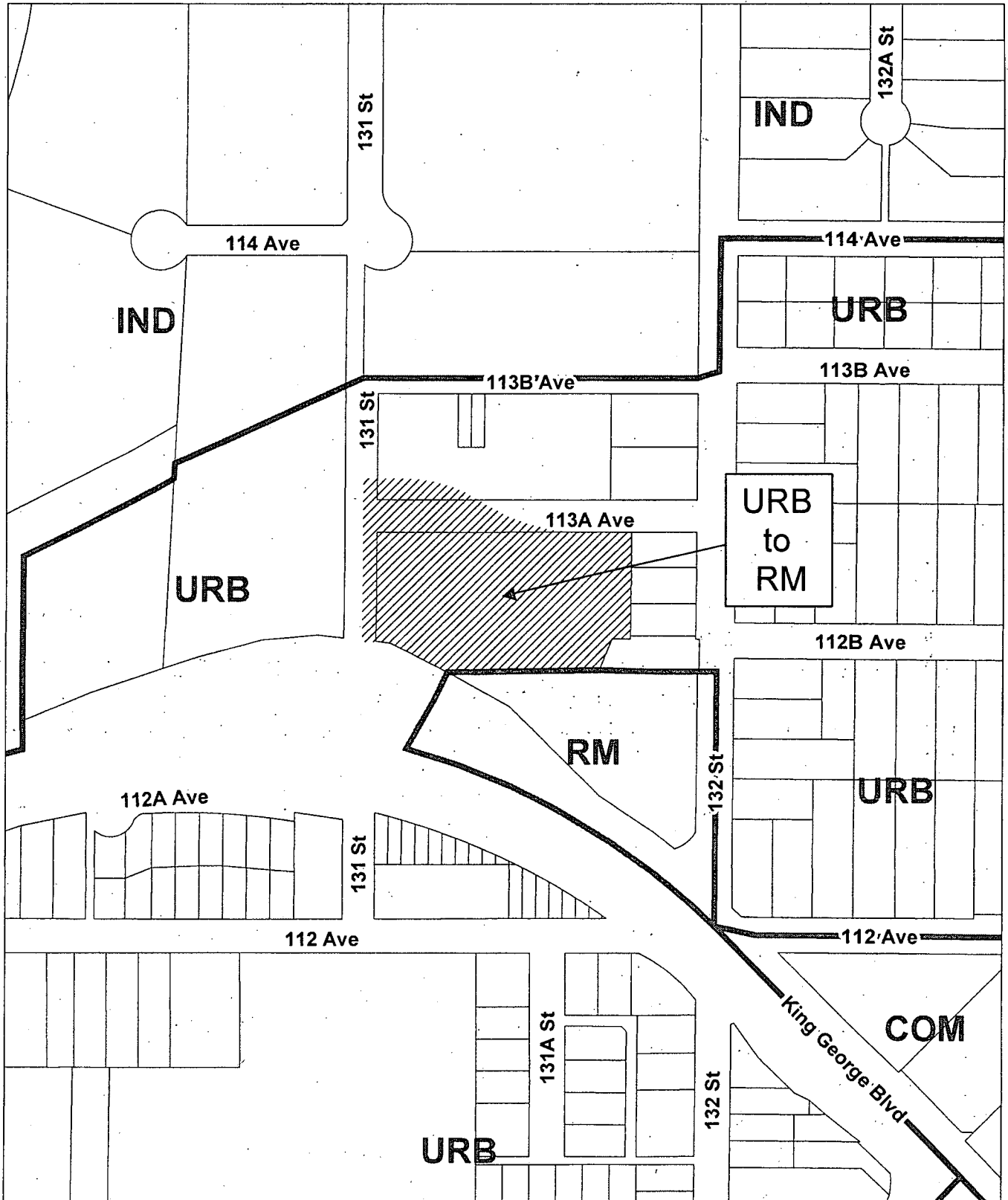
Gene Paul
 GENE PAUL
 B.C.L.S. 803
 LAND SURVEYING INC.
 121-13140 80th Avenue
 Surrey, B.C. V3W 3B2
 Phone: 604 501-6188
 Fax: 604 501-6189
 File: 0506004-Z03.DWG

BOOK OF REFERENCE

ZONE	LEGAL DESCRIPTION	AREA
BLOCK A	PART OF ROAD SHOWN ON PLAN 480 SECTION 9 B5N R2W N.W.D.	1164 m ²
BLOCK B	PART LOT "A" (BE12939) SECTION 9 B5N R2W N.W.D. PLAN 17410	282 m ²
BLOCK C	PART LOT "A" (BE12939) SECTION 9 B5N R2W N.W.D. PLAN 17410	1462 m ²
BLOCK D	PART OF ROAD SHOWN ON PLAN 480 SECTION 9 B5N R2W N.W.D.	805 m ²
BLOCK E	LOT "G" EXCEPT PART SUBDIVIDED BY PLAN 35529, B5N R2W N.W.D. PLAN 5585	43 m ²

319

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT



OCP Amendment

Proposed amendment from Urban to Multiple Residential



PLAN OF PROPOSED SUBDIVISION OF A PART OF
 LOT "A" (BE12939) PLAN 17410, LOT "G" EXCEPT:
 PART SUBDIVIDED BY PLAN 35529, PLAN 5585, AND
 ROAD TO BE CLOSED SHOWN ON PLAN 480
 ALL OF SECTION 9 BLOCK 5 NORTH RANGE 2 WEST
 NEW WESTMINSTER DISTRICT

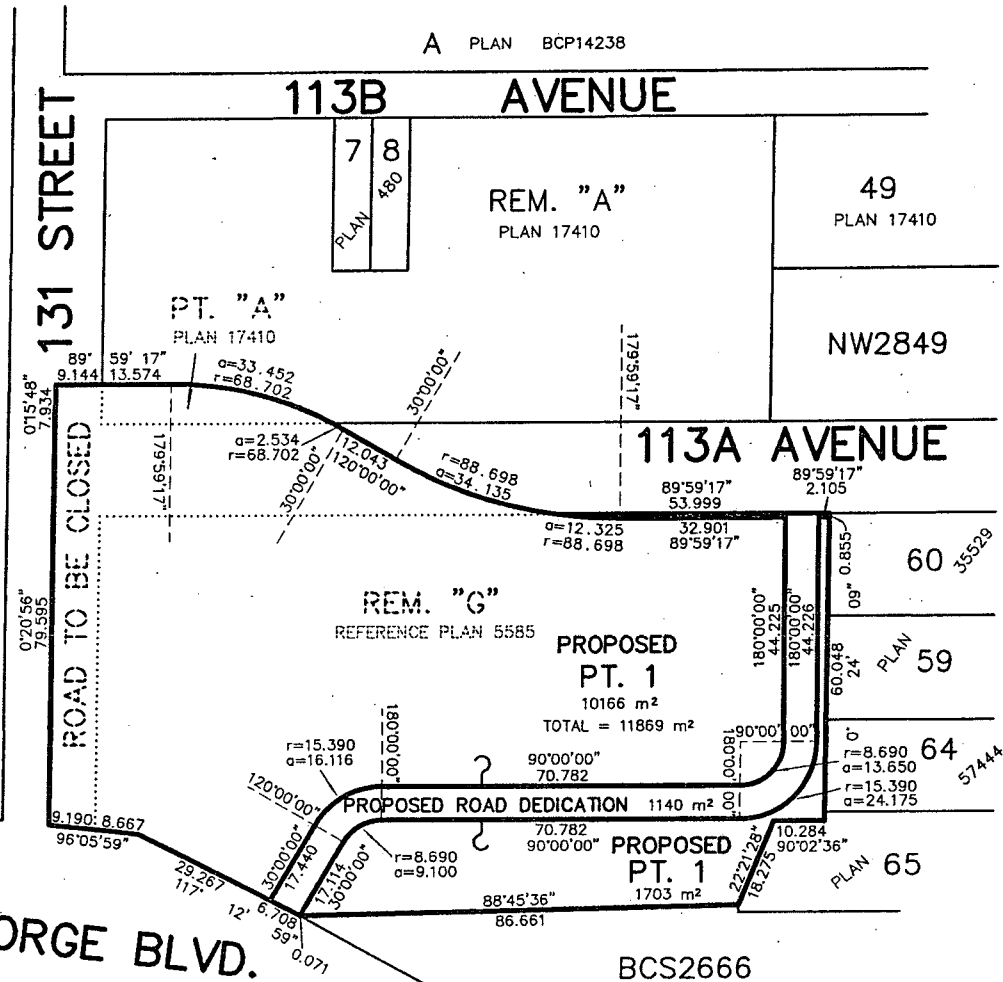
BCGS 92G.026
 CITY OF SURREY

LEGEND

SCALE 1:1500



REM.
 "D"
 PLAN 4996



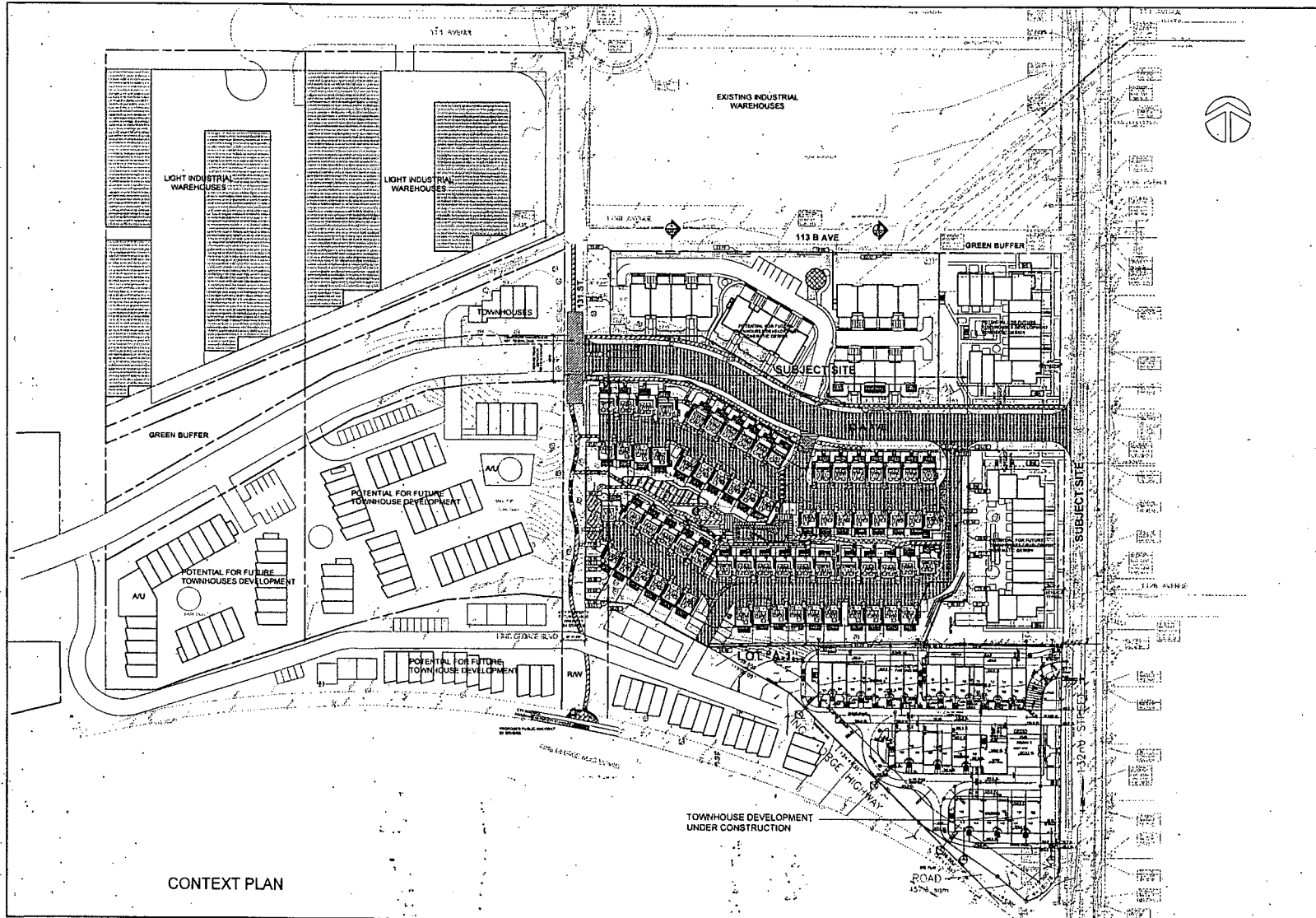
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THIS PLAN LIES WITHIN THE
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 THIS DOCUMENT IS NOT VALID UNLESS
 ORIGINALLY SIGNED AND SEALED

Certified correct and true a plan of a survey.
 This 12th day of May 2017

Gene Paul Nikula
 BRITISH COLUMBIA
 C.O.S.E. 803
 C.L.S. 803

322



CONTEXT PLAN

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1	OCT 99	SITE HAS BEEN EXTENDED



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 FAX: (604) 683 7488

Project Title
RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD,
 13140 131st STREET
 SURREY, B.C.

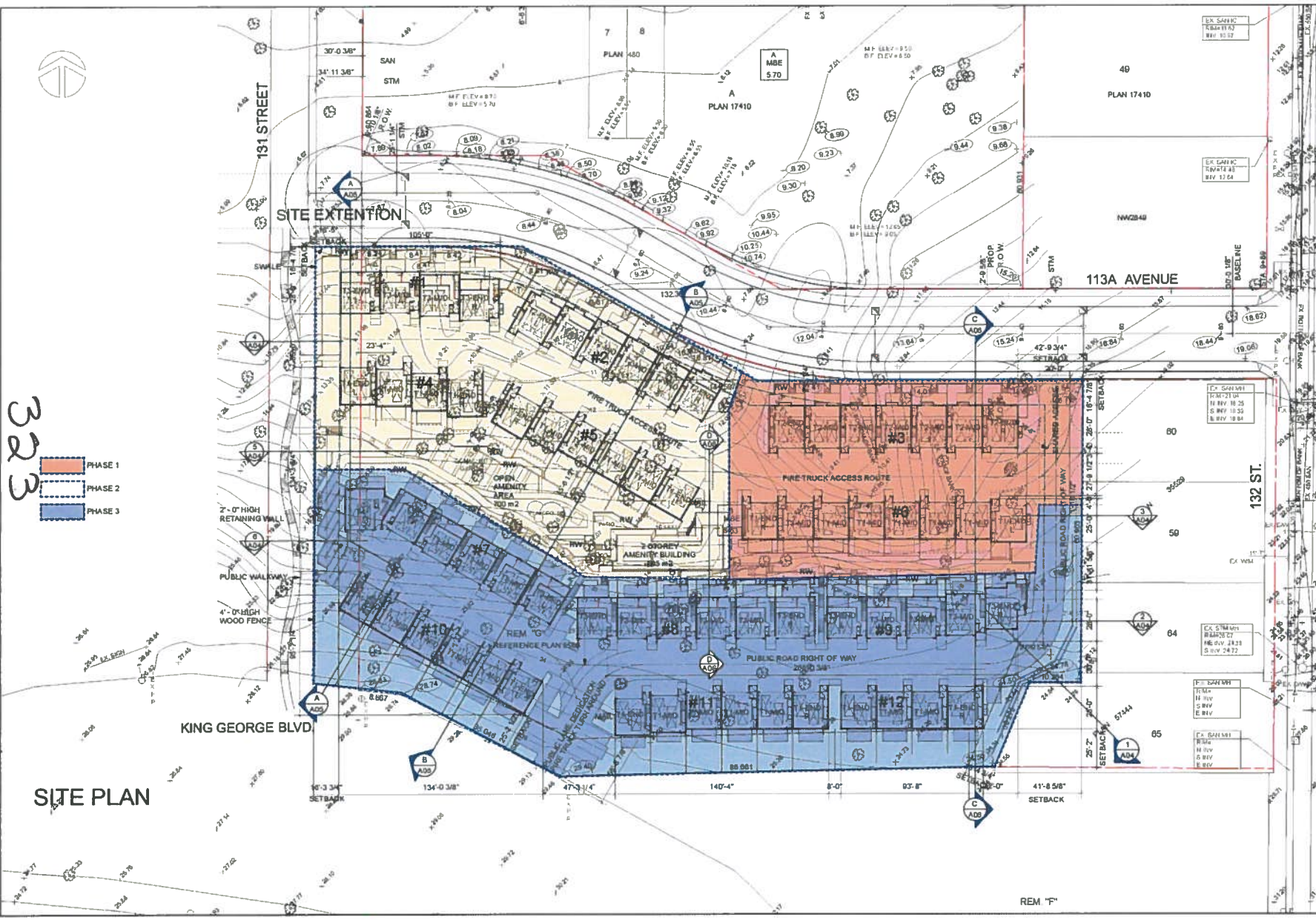
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CONTEXT PLAN

Date	December 2009	Project Number	0920
Scale	1" = 720'		
Drawn By	YA, NC	A01	
Approved By	WG		



323

- PHASE 1
- PHASE 2
- PHASE 3



SITE PLAN

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1	OCT 28	SITE PLAN BUILT FIELD



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 FAX: (604) 583 7484

Project No
**RESIDENTIAL COMPLEX
 13111 KING GEORGE F
 13140 131st STREET
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Drawing Title
**CONSTRUCTION
 PHASES**

Date	Project Number
December 2009	0920
Scale	1" = 30'
Drawn By	YA, NC
Architect	W&G
A02	

REM "F"



PRELIMINARY PROJECT STATISTICS:

PROPOSED ZONE CD
(EXISTING ZONE RF)

NET AREA:
GROSS AREA = 13,104.00 m² (1.31 HECTARE)
PUBLIC ROAD DEDICATION = 1,235.00 m² (0.11 HECTARE)
NET AREA = 11,869.00 m² (1.20 HECTARE / 2.97 ACRE)

SETBACKS:
NORTH = 16'-5" = 5.0 m
SOUTH = 23'-0" = 7.7 m
EAST = 38'-0" = 11.6 m
WEST = 16'-5" = 5.0 m

BUILDINGS AREA = 4,701.0 m²
SITE COVERAGE = 39.2%

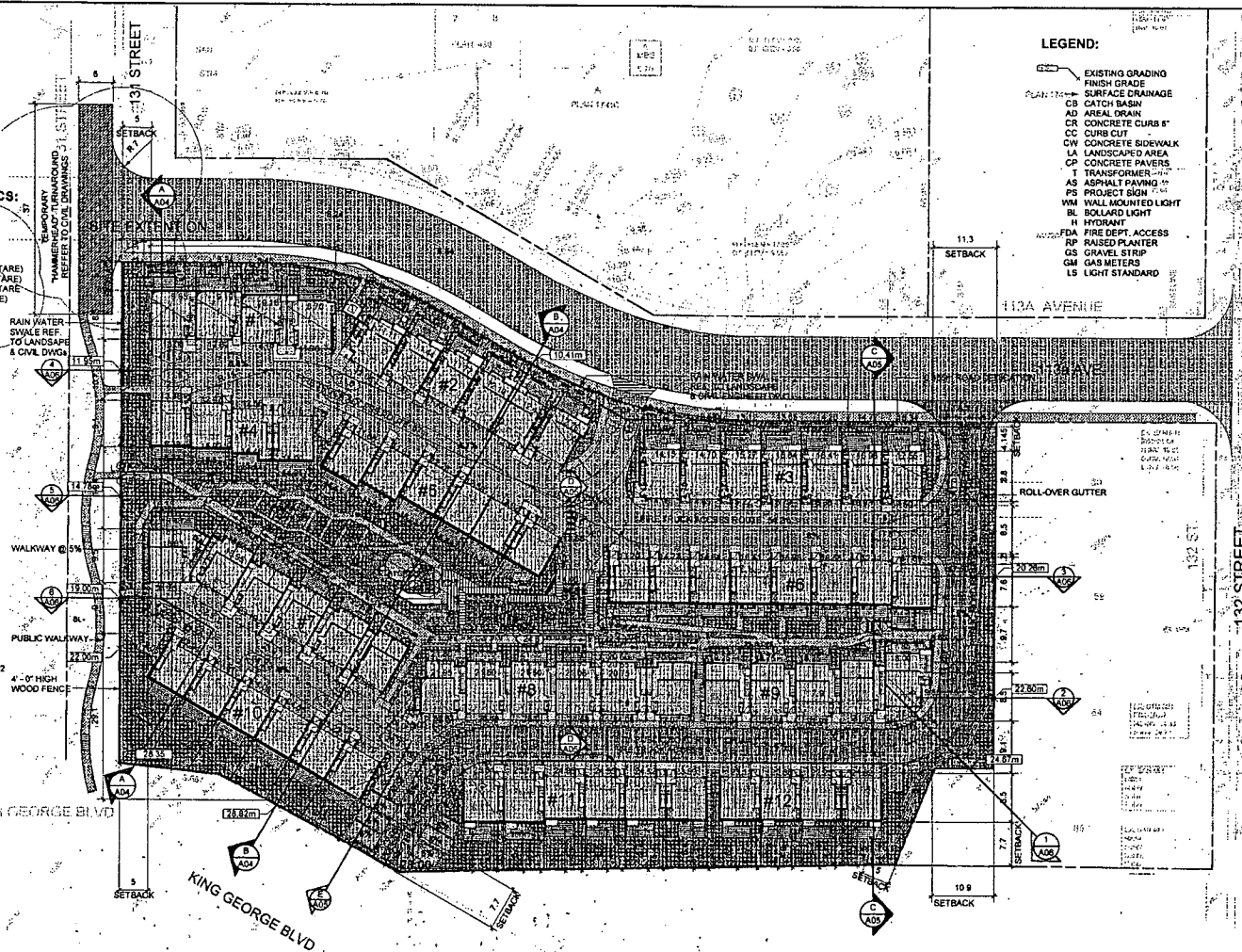
BUILDINGS FLOOR AREA:

BUILDING 1 = 749.0 m ²	4 units T3
BUILDING 2 = 1,009.0 m ²	6 units T2
BUILDING 3 = 1,177.0 m ²	7 units T2
BUILDING 4 = 963.0 m ²	4 units T1
BUILDING 5 = 943.0 m ²	6 units T1
BUILDING 6 = 1,237.0 m ²	8 units T1
BUILDING 7 = 1,153.0 m ²	6 units T3
BUILDING 8 = 1,070.0 m ²	6 units T3
BUILDING 9 = 909.0 m ²	5 units T3
BUILDING 10 = 928.0 m ²	6 units T1
BUILDING 11 = 928.0 m ²	6 units T1
BUILDING 12 = 835.0 m ²	4 units T1
TOTAL = 11,491.8 m²	68 units

FAR:
PROPOSED FAR = 0.98
DENSITY:
68 UNITS = 2.97 ACRE = 22.9 UNITS PER ACRE

AMENITY AREA:
INDOOR AMENITY AREA
REQUIRED: 68 UNITS x 3.0 m² = 204.00 m²
PROVIDED: 2 LEVELS AMENITY BUILDING = 210.00 m²
OUTDOOR AMENITY AREA = 253.86 m²

PARKING:
136 GARAGE PARKING SPACES
98 + 0.3 = 135.8 REQUIRED
14 SURFACE VISITORS PARKING SPACES PROVIDED
INCLUDING 3 SMALL CAR PARKING SPACES



LEGEND:

- EXISTING GRADING
- FINISH GRADE
- SURFACE DRAINAGE
- CB CATCH BASIN
- AD AREAL DRAIN
- CR CONCRETE CURB 8"
- CC CURB CUT
- CW CONCRETE SIDEWALK
- LA LANDSCAPED AREA
- CP CONCRETE PAVERS
- T TRANSFORMER
- AS ASPHALT PAVING
- PS PROJECT SIGN
- WM WALL MOUNTED LIGHT
- BL BOLLARD LIGHT
- H HYDRANT
- FDA FIRE DEPT. ACCESS
- RP RAISED PLANTER
- GS GRAVEL STRIP
- GM GAS METERS
- LS LIGHT STANDARD

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324



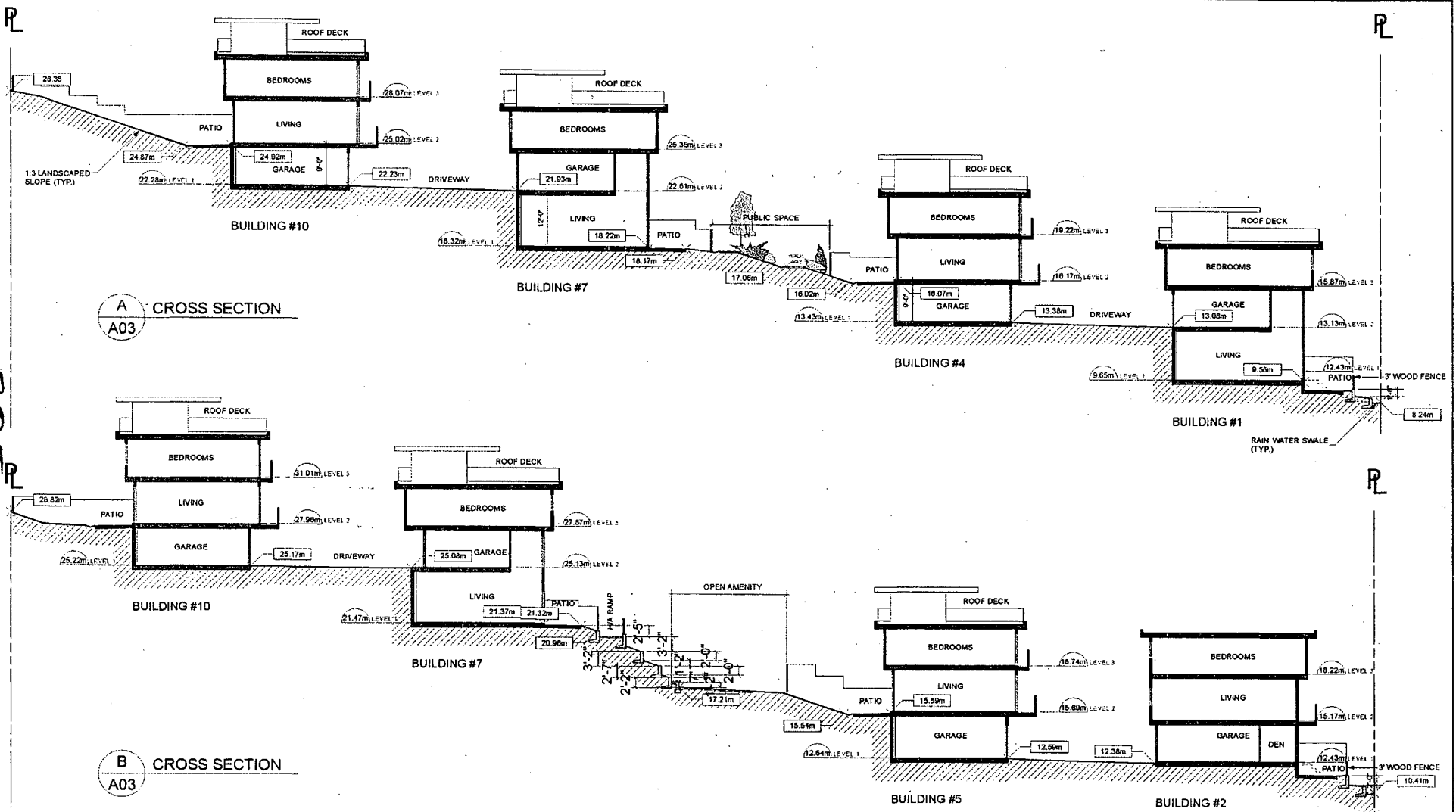
WG ARCHITECTURE INC
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Drawing Title:
SITE PLAN

Date:	December 2009	Project Number:	0920
Scale:	1" = 30'		
Drawn By:	YA, NC		
Approved by:	WG		

A03



A CROSS SECTION
A03

B CROSS SECTION
A03

No.	Date	Revision Details



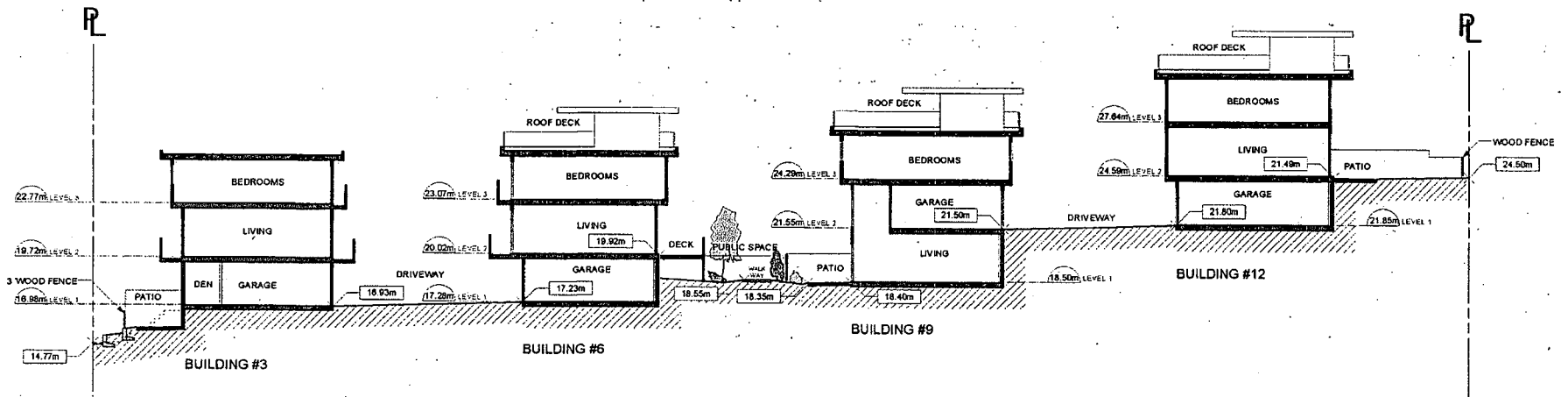
WG ARCHITECTURE INC
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 FAX: (604) 583 7494

Project Title:
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 13111 KING GEORGE BLDV.
 13140 131st STREET
 SURREY, B.C.

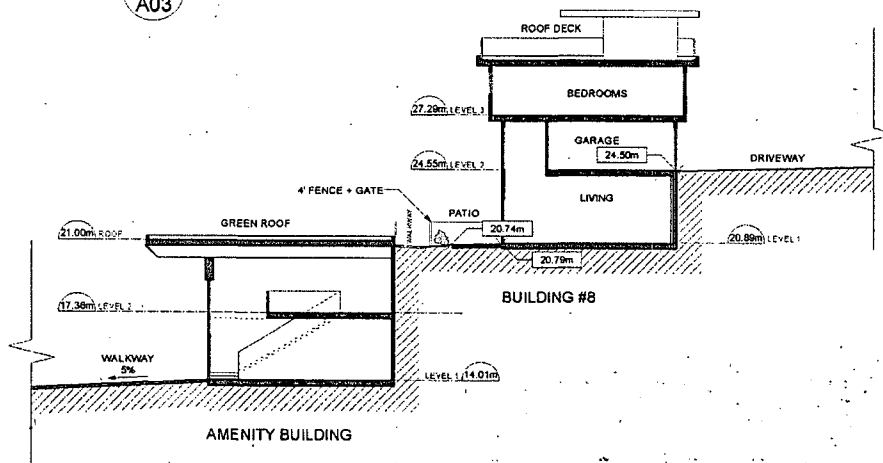
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CROSS SECTIONS
 A + B

Date:
 December 2009
 Scale:
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 Drawing By:
 INC
 Checked By:
 WIG

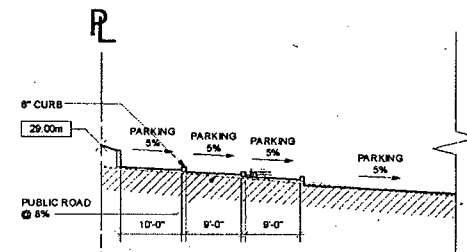
Project Number:
 0920
A04



C CROSS SECTION
A03



D SECTION
A03



E SECTION
A03 @ SOUTH ENTRANCE

326

No.	Date	Revision Details



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Project Name
RESIDENTIAL COMPLEX
13111 KING GEORGE HWY.
13140 131st STREET
SURREY, B.C.

Drawing Title
**CROSS SECTIONS
C + D**

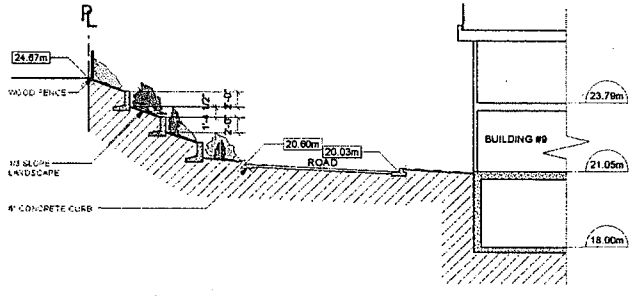
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Drawn By: NC
Approved By: WVG

Project Number: 0920

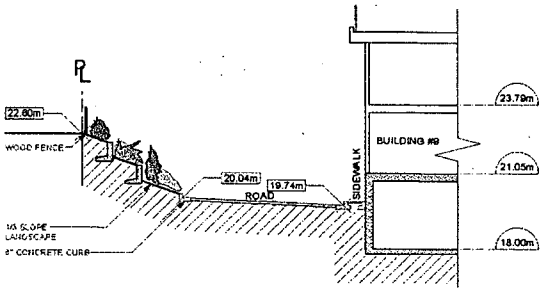
A05

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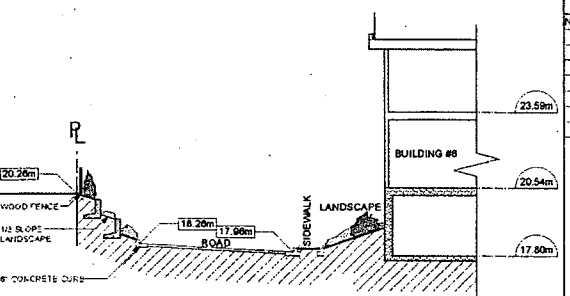
No.	Date	Revision Details
1	OCT 20	SITE HAS BEEN EXTENDED



1 SECTION AT EAST PROPERTY LINE
A03

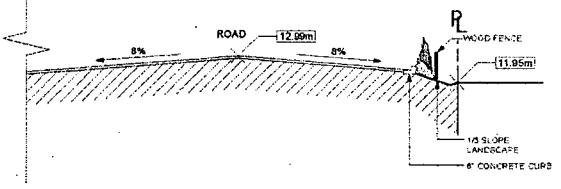


2 SECTION AT EAST PROPERTY LINE
A03

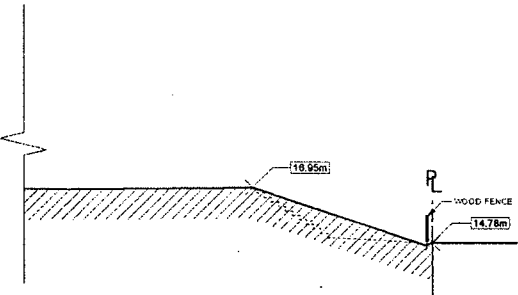


3 SECTION AT EAST PROPERTY LINE
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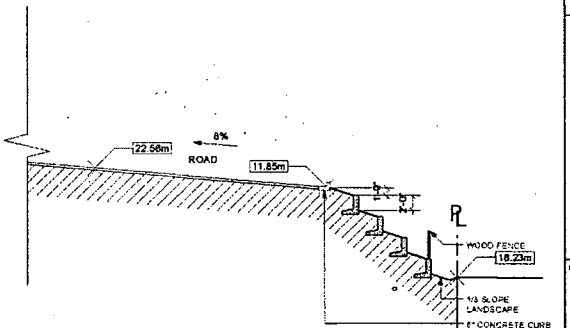
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4 SECTION AT WEST PROPERTY LINE
A03



5 SECTION AT WEST PROPERTY LINE
A03



6 SECTION AT WEST PROPERTY LINE
A03



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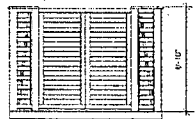
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 13111 KING GEORGE BLVD.
 13140 131st STREET
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Drawing Title:
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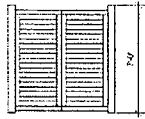
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Drawn By:	YA, NC	A06
Approved By:	WG	



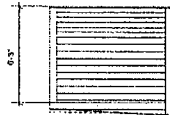
PRIVACY SCREEN



TRANSFORMER ENCLOSURE

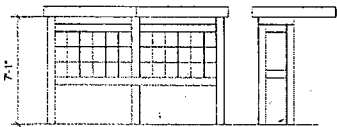


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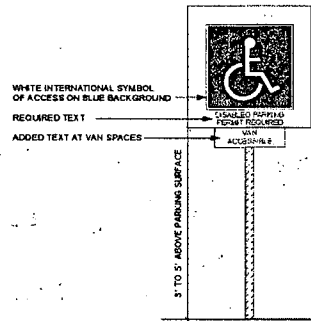
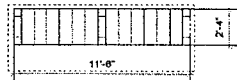


WOOD PRIVACY SCREEN
REF. TO
LANDSCAPE ARCH. DWG

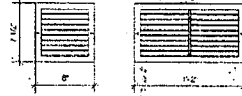
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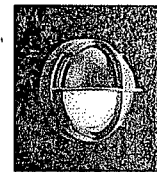
FREE STANDING
MAIL BOXES



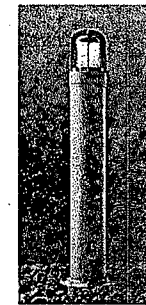
SIGN FOR ACCESSIBLE PARKING



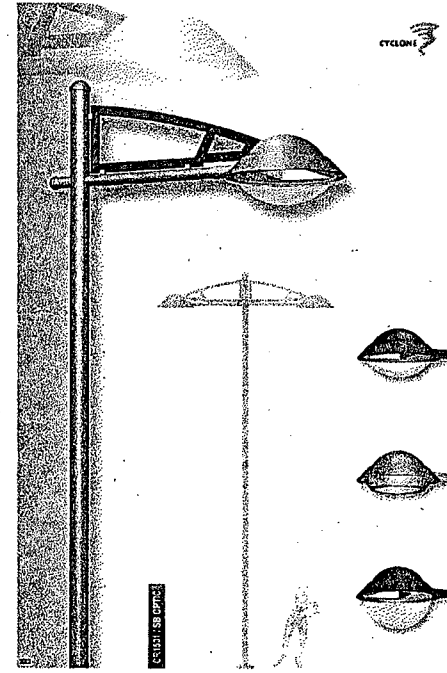
RECESSED STEPLIGHTS
TO MATCH DEVINE DESIGN



WALL MOUNTED
LIGHT FIXTURE



DOWNWARD FACING
BOLLARD LIGHT



POST LIGHTS "CR15 SERIES"
CYCLONE OUTDOOR LIGHTING CATALOGUE

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No.	Date	Revision Details



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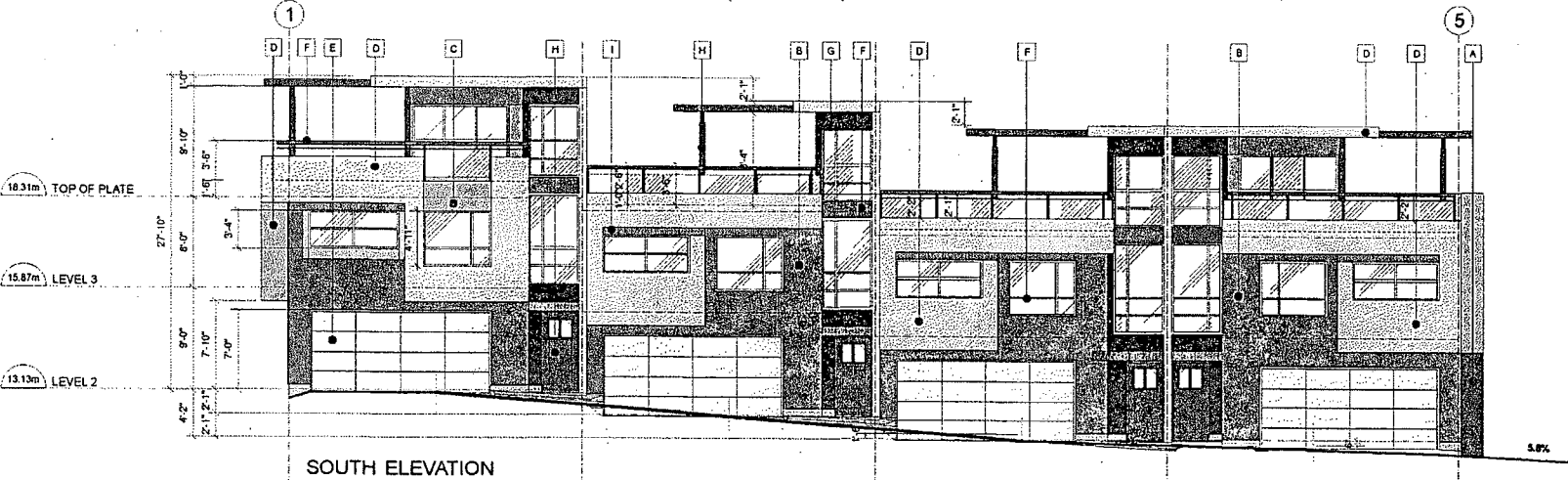
Project Title
RESIDENTIAL COMPLEX
13111 KING GEORGE BLVD.
13140 131st STREET
SURREY, B.C.

Drawing Title
SITE DETAILS

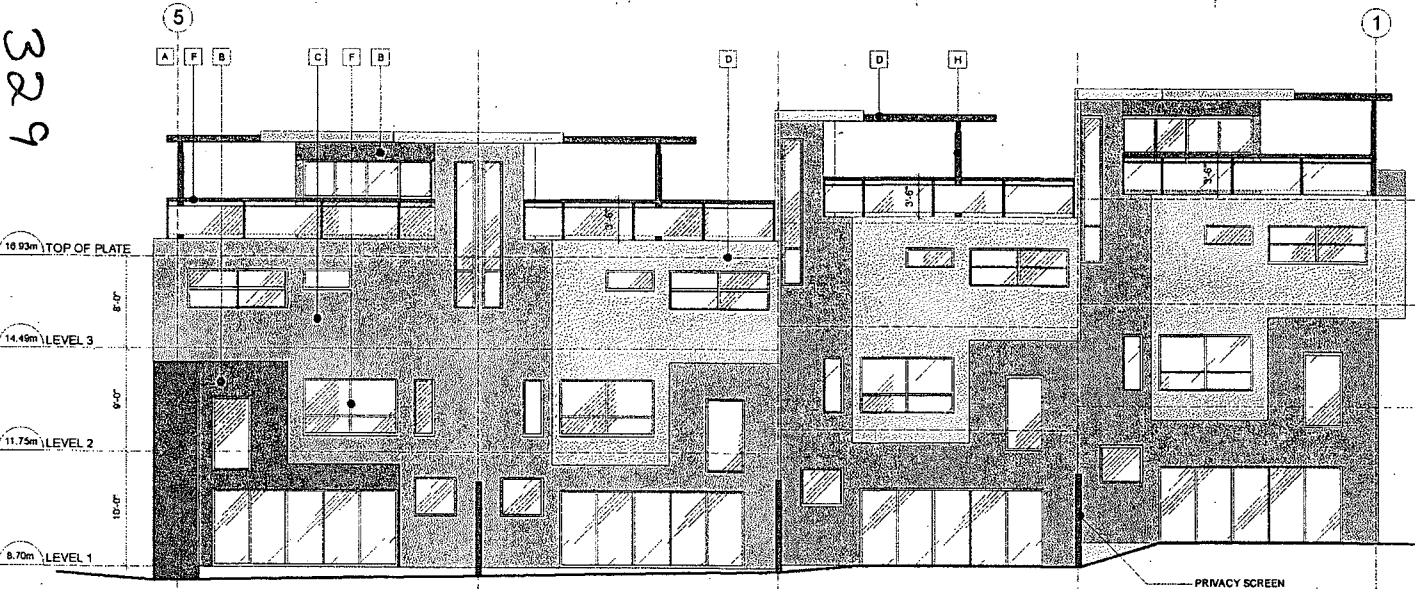
Date December 2009	Project Number 0920
Scale AS SHOWN	A07
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Approved By WG	

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No.	Date:	Revision Details:



SOUTH ELEVATION



NORTH ELEVATION

329

- COLOUR SCHEME**
- A. GP-8765D "SEASIDE CREEK" by General Paint
-hardie boards / planks painted
 - B. GP-8764M "LAVA ROCK" by General Paint
-hardie board / planks painted
 - C. GP-8763M "FEWTER WORKS" by General Paint
-hardie board / planks painted
 - D. GP-8762W "TOUCHSTONE" by General Paint
-hardie board / planks painted
 - E. GP-8760W "GREY ASHLAR" by General Paint
-Oak doors & frames painted
 - F. GP-8774M "TANKARD" by General Paint
-vinyl windows & frames, balcony guards
 - G. GP-7898 N "DUBERRY RED" by General Paint
-red cladding painted
 - H. C-HL-"NATURALTONE REDWOOD"- semi transp. stain
-entry doors, trellises
 - I. GP-7775D "CANYON WALL" by General Paint
-accents building #1, #2, #4 & #5 painted
 - J. GP-8584M "MYSTIC GREEN" by General Paint
-accents building #7 & #10 painted
 - K. GP-7865D "PRESTIGE PURPLE" by General Paint
-accents building #8, #9, #11 & #12, painted
 - L. GP-8515D "THUNDER GREY" by General Paint
-accents building #3 & #6 painted

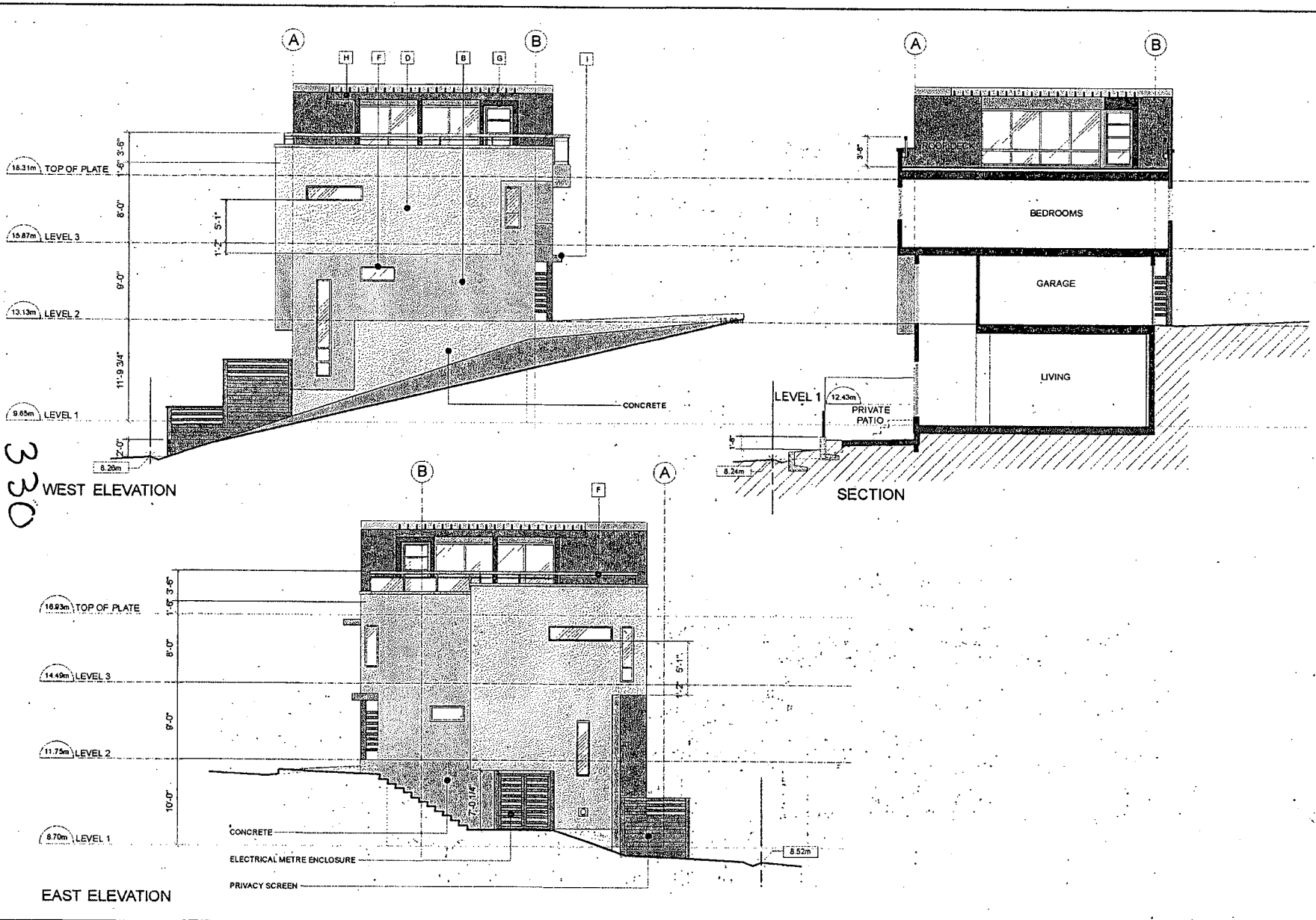


W G ARCHITECTURE INC
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 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 531 5278
 FAX: (604) 683 7494

Project Title:
 RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

Drawing Title:
 BUILDING 1
 ELEVATIONS

Date: December 2009	Project Number: 0920
Scale: 1/8" = 1' - 0"	A10
Drawn By: YA, NC	
Approved By: WG	



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No: Date: Revision Details:

No:	Date:	Revision Details:



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Project No:
 RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.,
 13140 131st STREET
 SURREY, B.C.

Drawing Title:
**BUILDING 1
 ELEVATIONS
 SECTION**

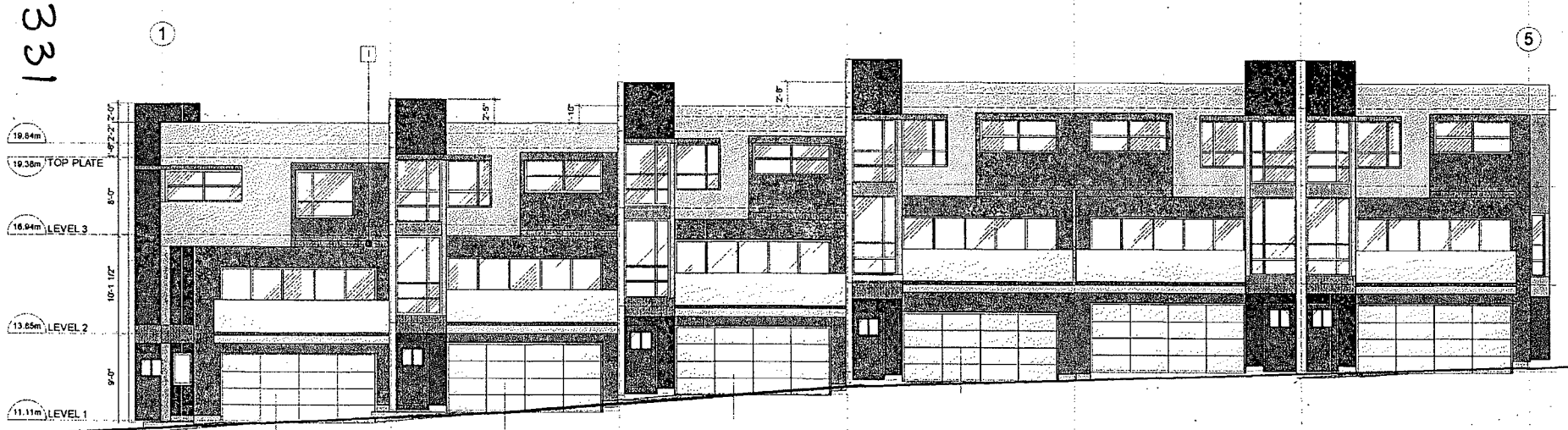
Date: December 2009
 Project Number: 0920

Scale: 1/8" = 1' - 0"
 Drawn By: YA, NC
 Approved By: WG

A11



NORTH ELEVATION



SOUTH ELEVATION

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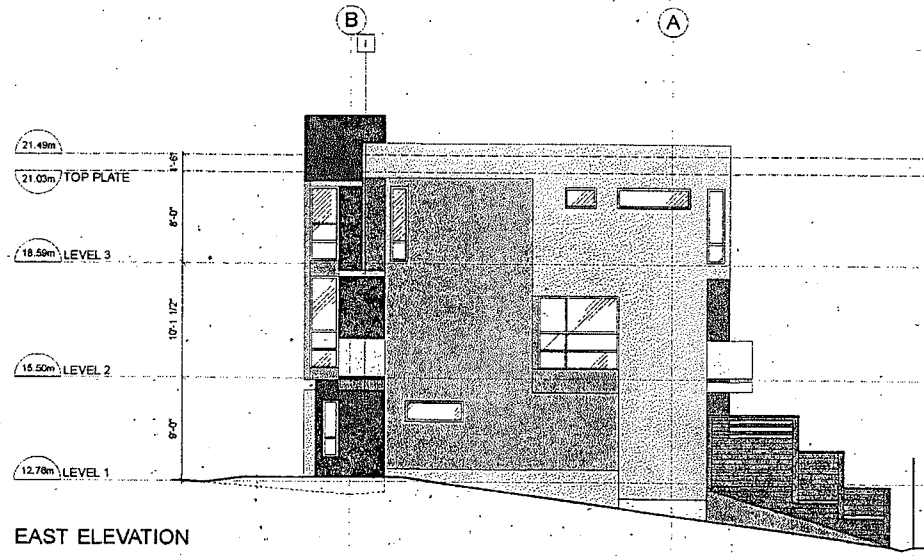
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 FAX: (604) 683 7484

Project Title:
RESIDENTIAL COMPLEX
 13114 KING GEORGE BLVD
 13140 131st STREET
 SURREY, B.C.

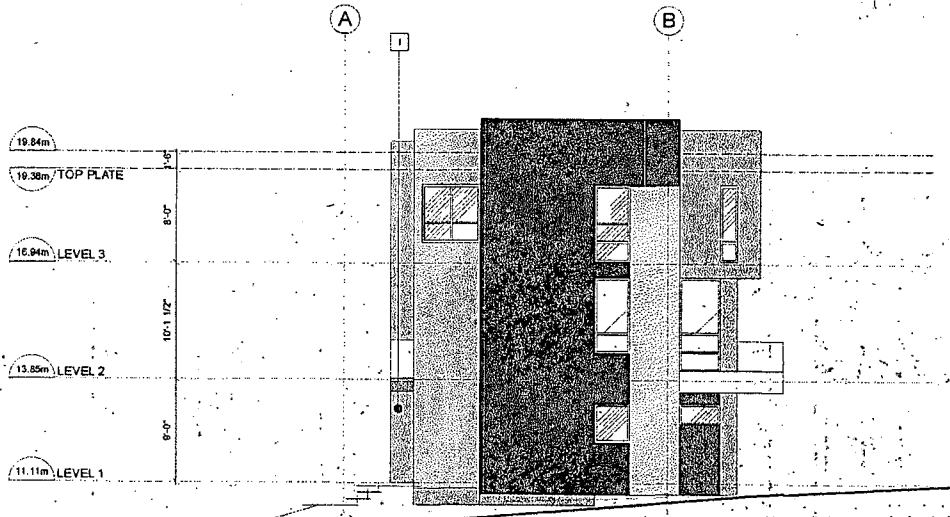
Drawing Title:
BUILDING 2 ELEVATIONS

Date: December 2009	Project Number: 0920
Scale: 1/8" = 1' - 0"	A14
Drawn by: YA, NC	
Approved by: WG	

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EAST ELEVATION



WEST ELEVATION

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No.	Date:	Revision Details:



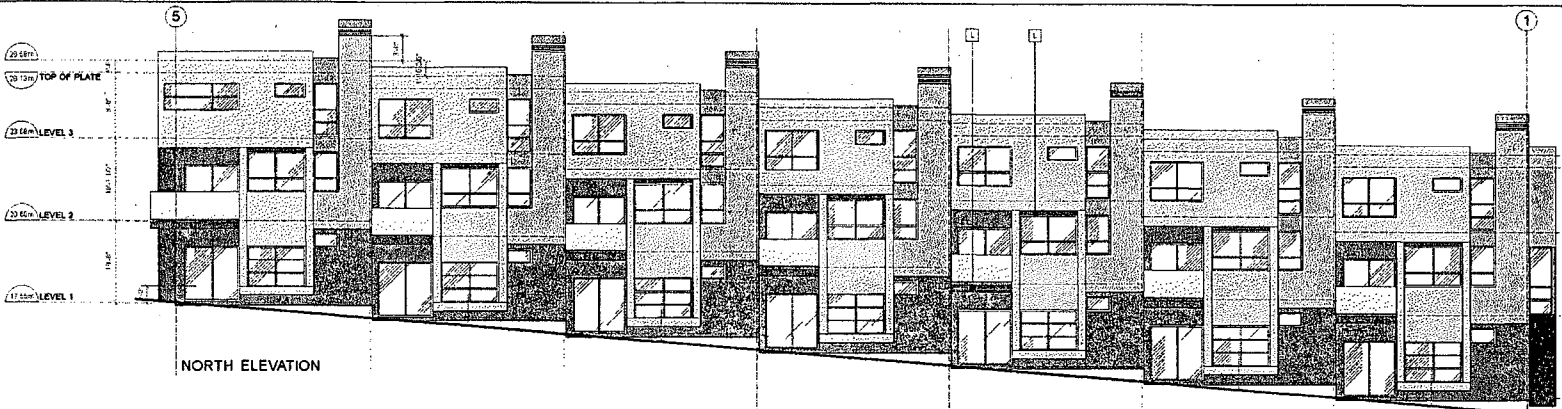
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PROJECT
 RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

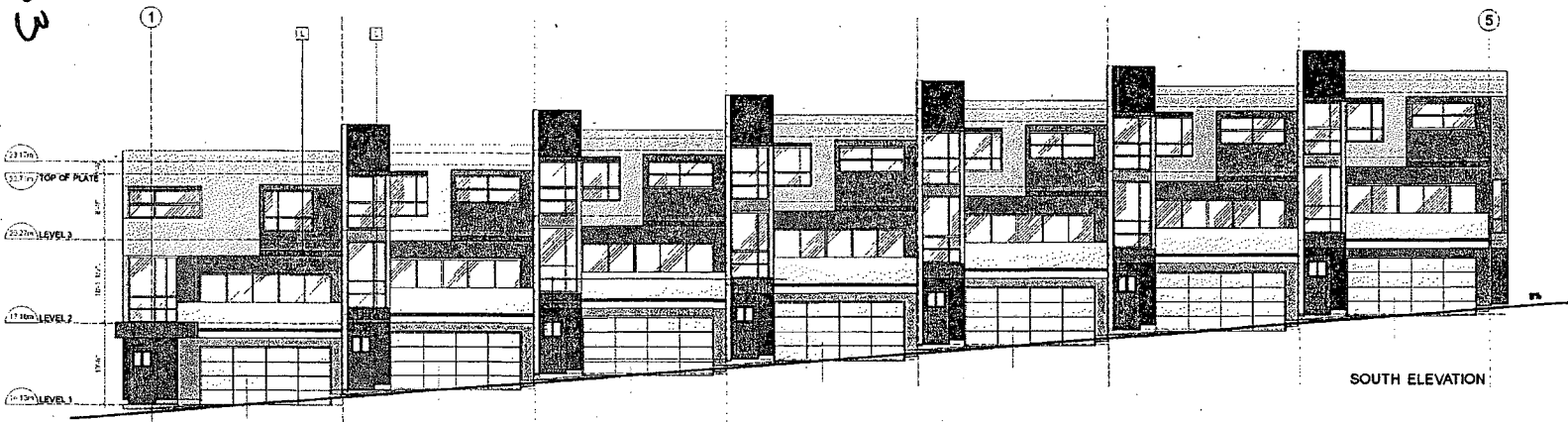
Drawing Title
BUILDING 2 ELEVATIONS

Date:	Project Number:
December 2006	0920
Scale:	A15
1/8" = 1' - 0"	
Drawn By: YA, NC	
Approved By: WG	

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NORTH ELEVATION



SOUTH ELEVATION

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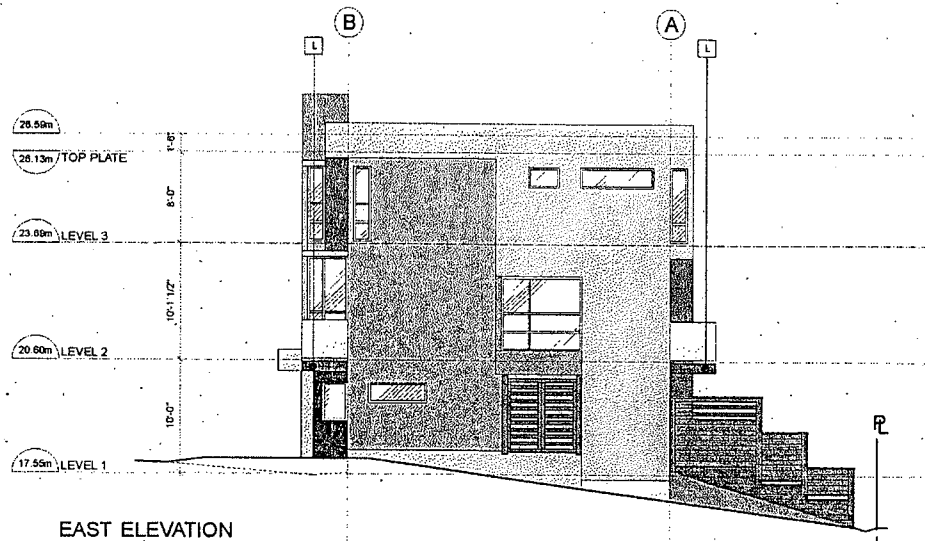
RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

**BUILDING 3
 ELEVATIONS**

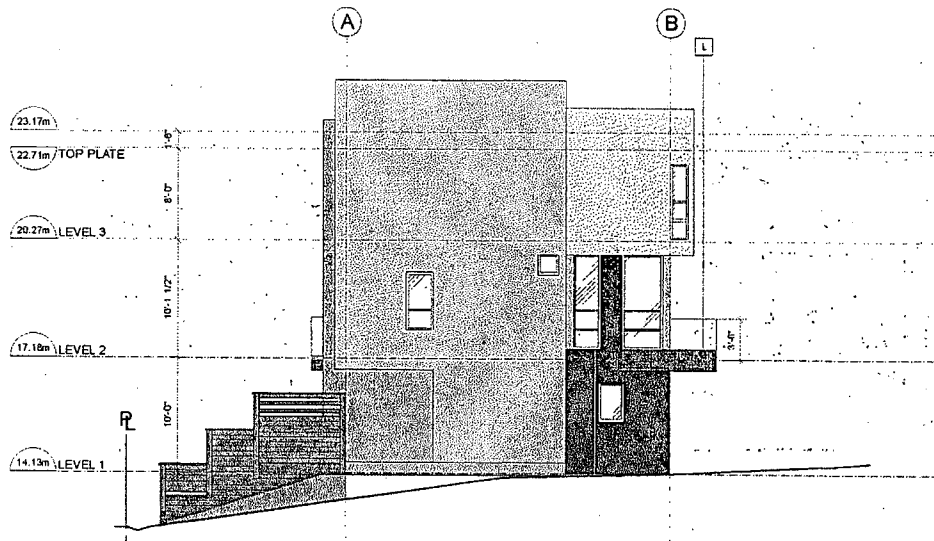
Drawn by	December 2008	Project number	0870
Scale	1/8" = 1'-0"		
Location	CA, BC		
Architect	WG		

A18

334



EAST ELEVATION



WEST ELEVATION

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No.	Date	Revision Details

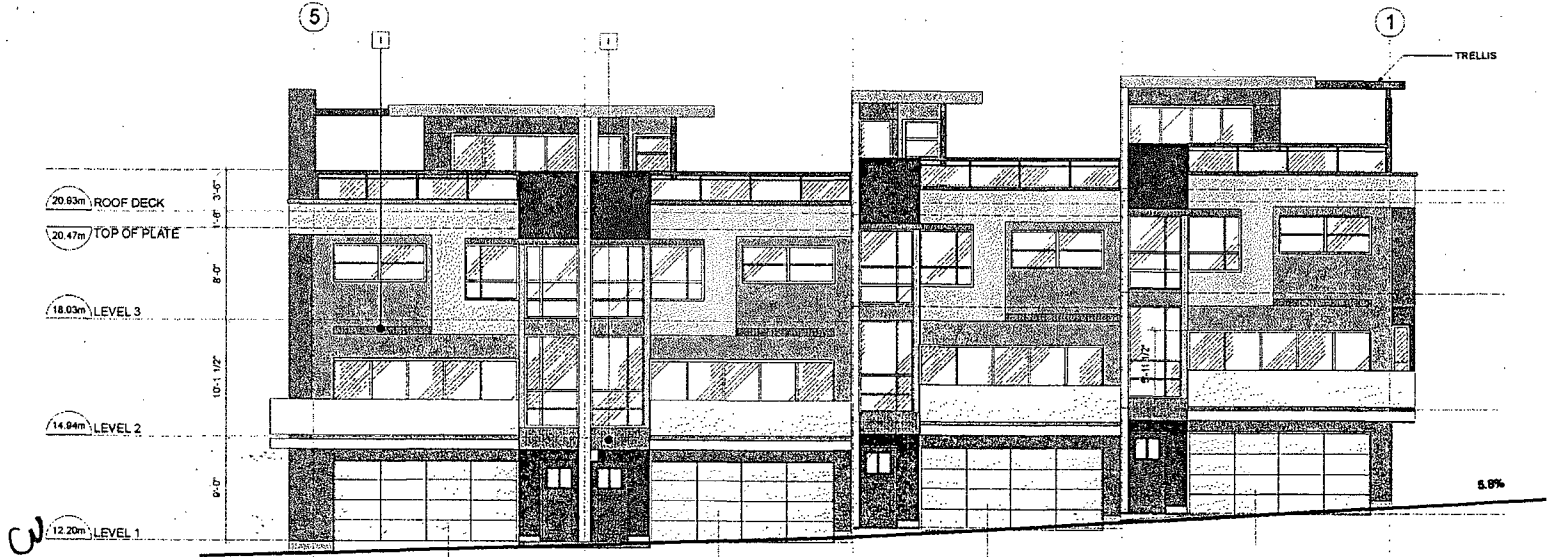


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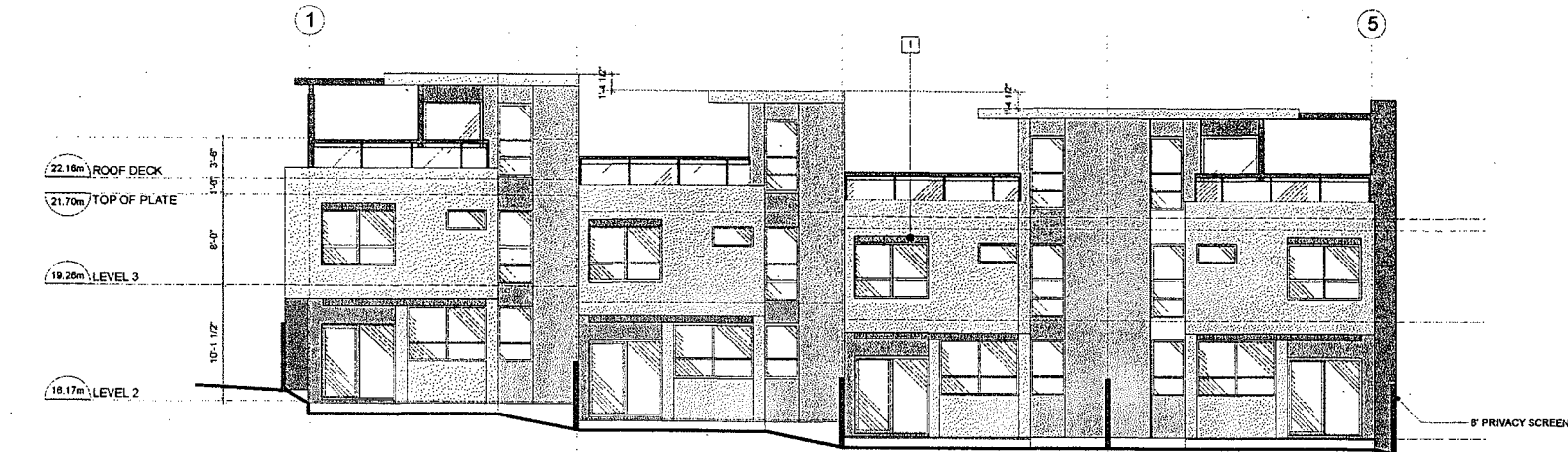
Project Title:
 RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

Drawing Title:
BUILDING 3 ELEVATIONS

Date: December 2009	Project No./Date: 0920
Scale: 1/8" = 1'-0"	A19
Drawn by: YA, NC	
Approved by: WG	



NORTH ELEVATION



SOUTH ELEVATION

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No.	Date	Revision Details



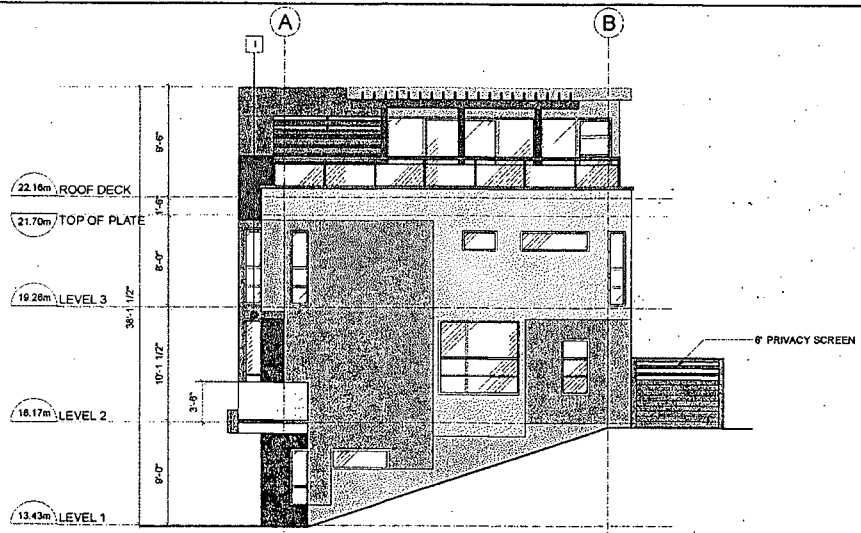
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 VANCOUVER, B.C. V5C 1V8
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 FAX: (604) 683 7494

Project Title
RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

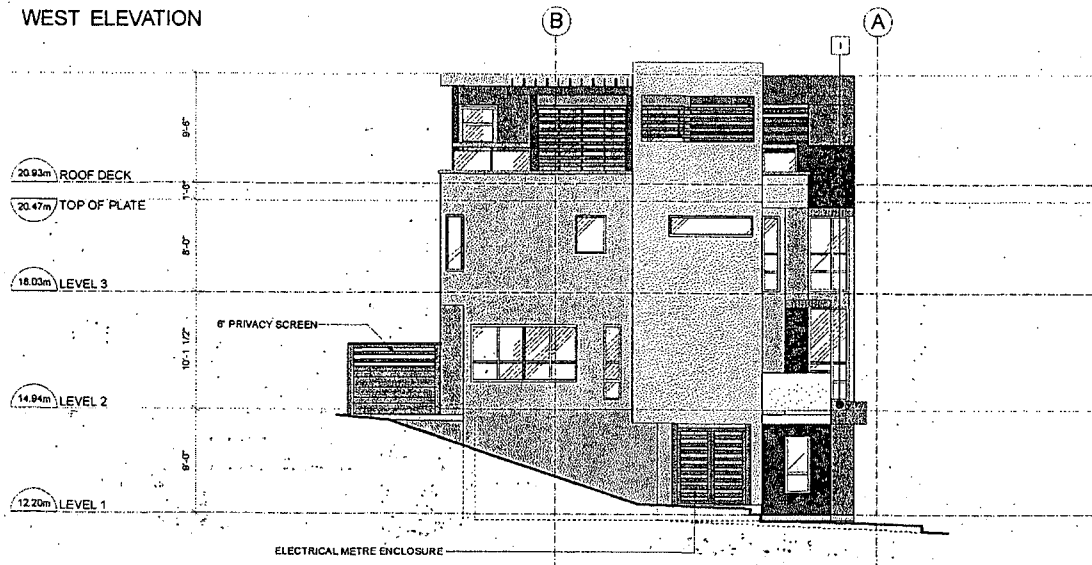
Drawing Title
BUILDING 4 ELEVATIONS

Date December 2008	Project Number 0920
Scale 1/8" = 1' - 0"	A22
Drawn By YA_NC	
Approved By WG	

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WEST ELEVATION



EAST ELEVATION

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No.	Date	Revision Details

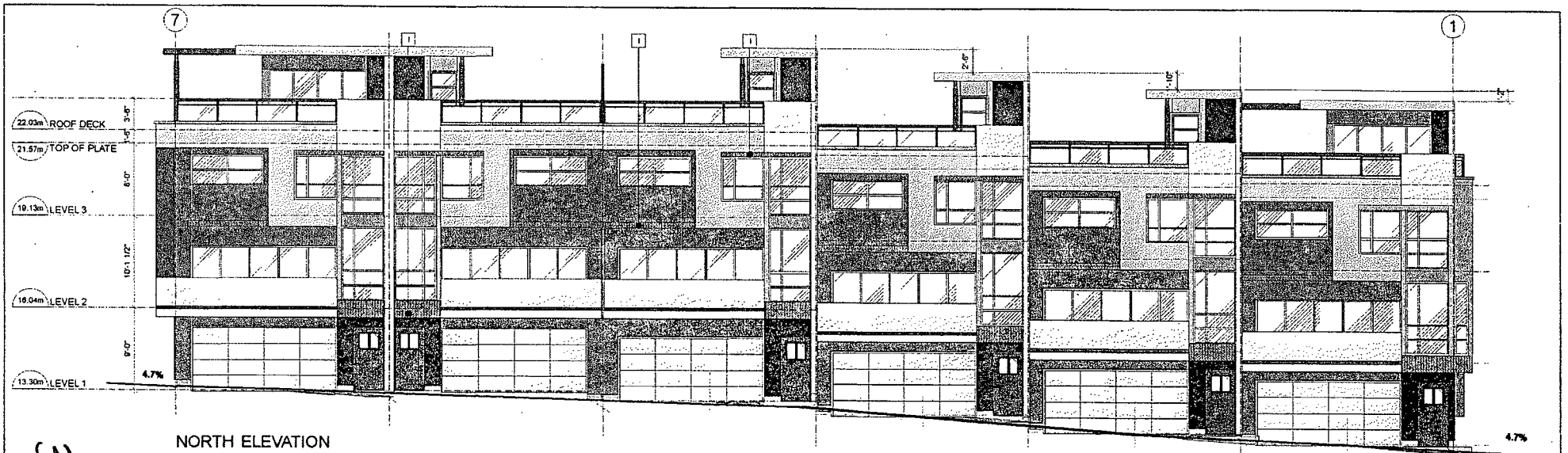


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 VANCOUVER, B.C. V5C 1V5
 TEL: (604) 331 2378
 FAX: (604) 683 7484

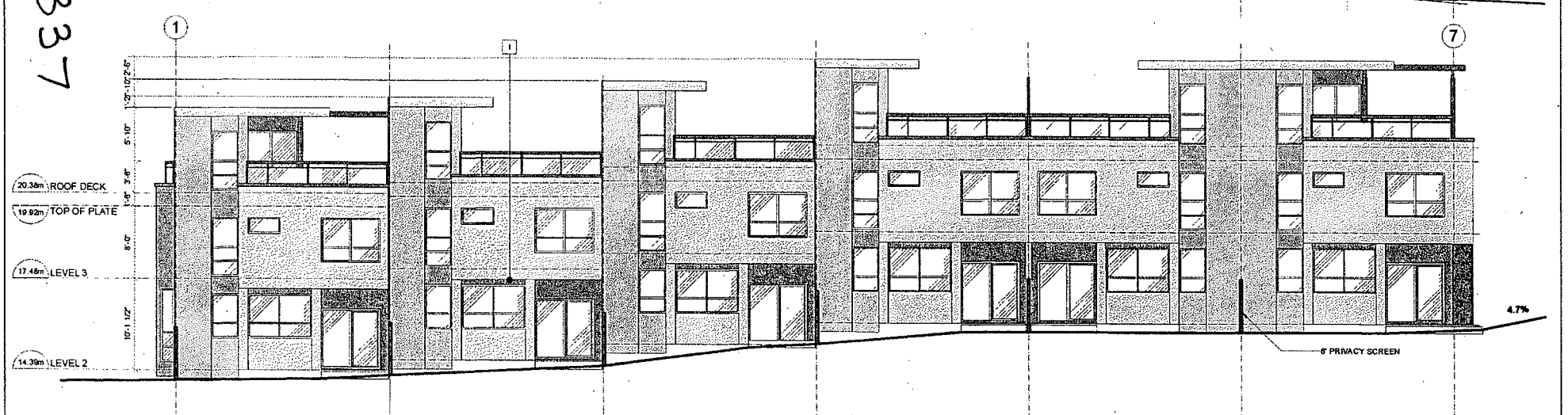
Project No.
 RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

Drawing No.
BUILDING 4 ELEVATIONS

Date December 2009	Project Number 0920
Scale 1/8" = 1' - 0"	A23
Drawn by YA, NC	
Approved by WG	



NORTH ELEVATION



SOUTH ELEVATION

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No.	Date	Revision Details



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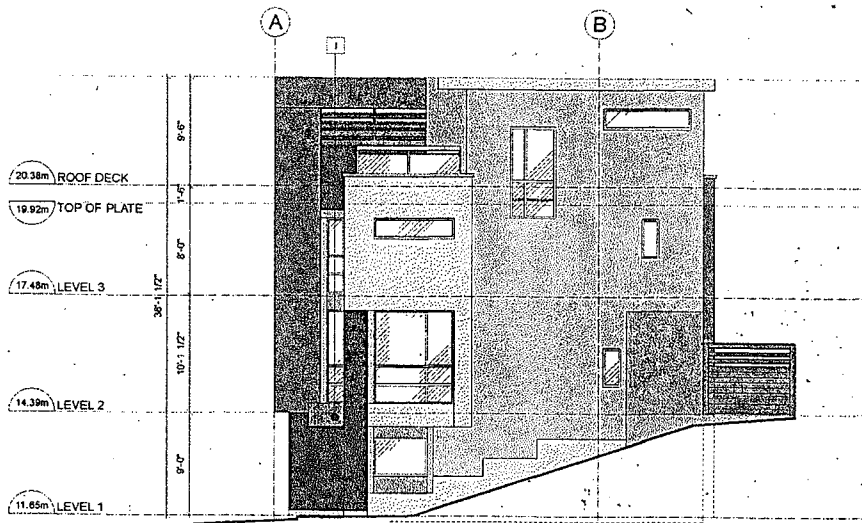
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 13140 51st STREET
 SURREY, B.C.

Drawn Title
BUILDING 5 ELEVATIONS

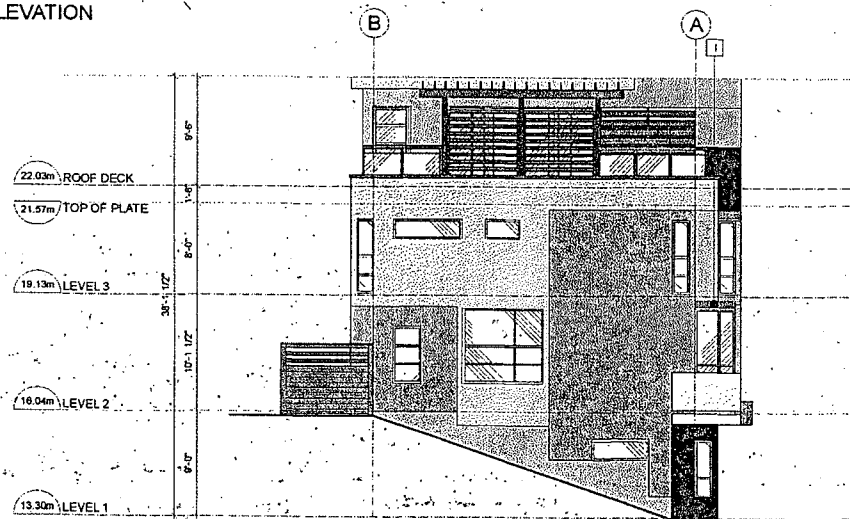
Date
 December 2008
 Scale
 1/8" = 1' - 0"
 Drawn By
 YA, NC
 Approved By
 WG

Sheet Number
 0920
A26

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WEST ELEVATION



EAST ELEVATION

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No	Date	Revision Details

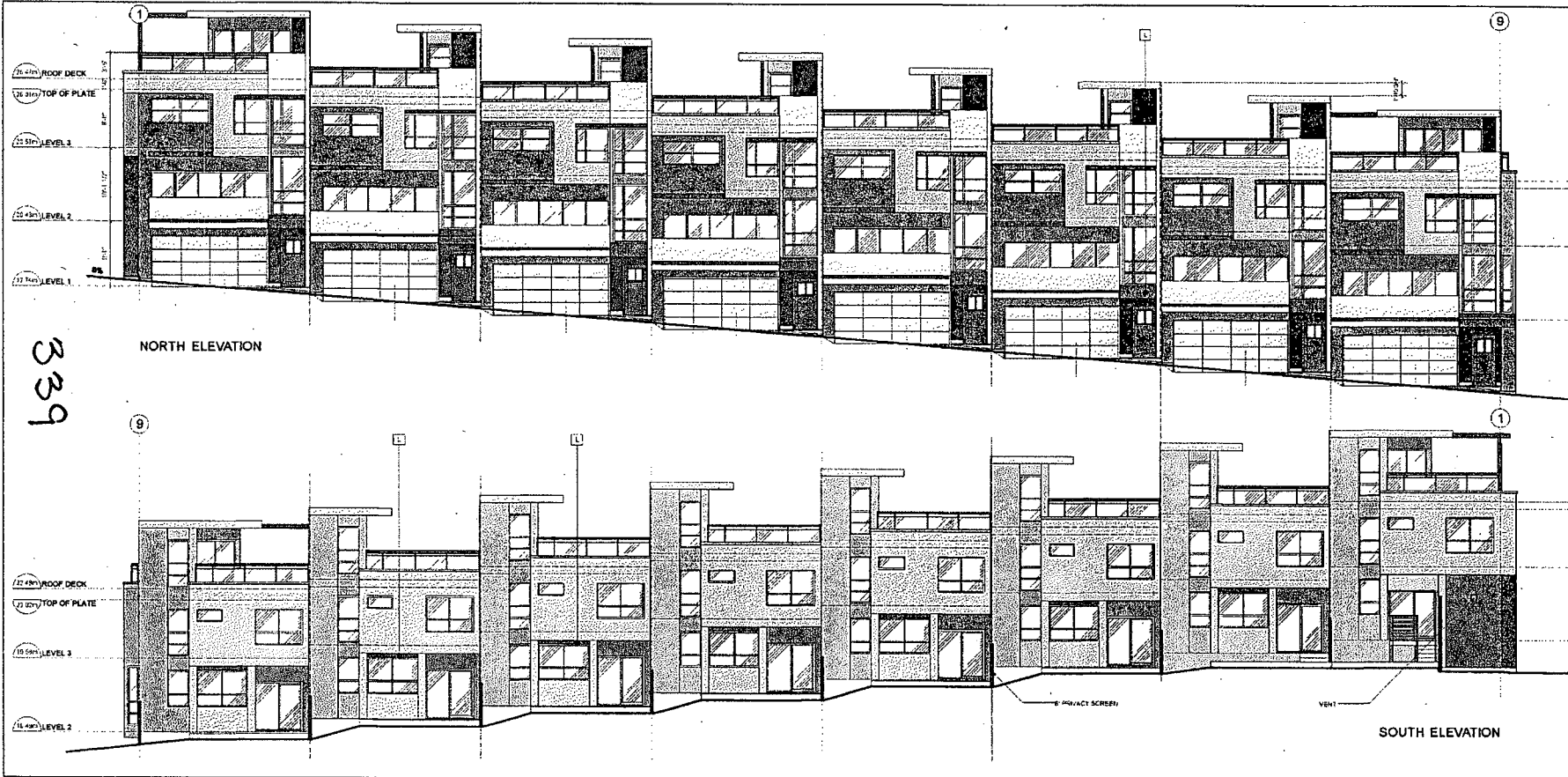


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 VANCOUVER, B.C. V6C 1V6
 TEL: (604) 331 2378
 FAX: (604) 683 7484

Project Title:
 RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

Drawing Title:
 BUILDING 5
 ELEVATIONS

Date: December 2008	Project Number: 0920
Scale: 1/8" = 1' - 0"	A27
Drawn By: YA, HC	
Approved By: WGA	



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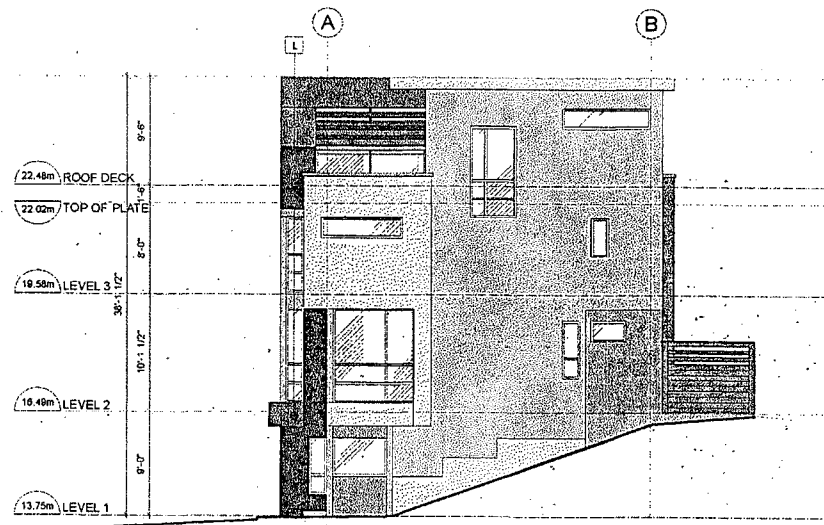
W.G. ARCHITECTURE INC.
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 VANCOUVER, B.C. V6B 1Y6
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 FAX: (604) 683-7004

Project:
 RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD
 13340 131st STREET
 SURREY, B.C.

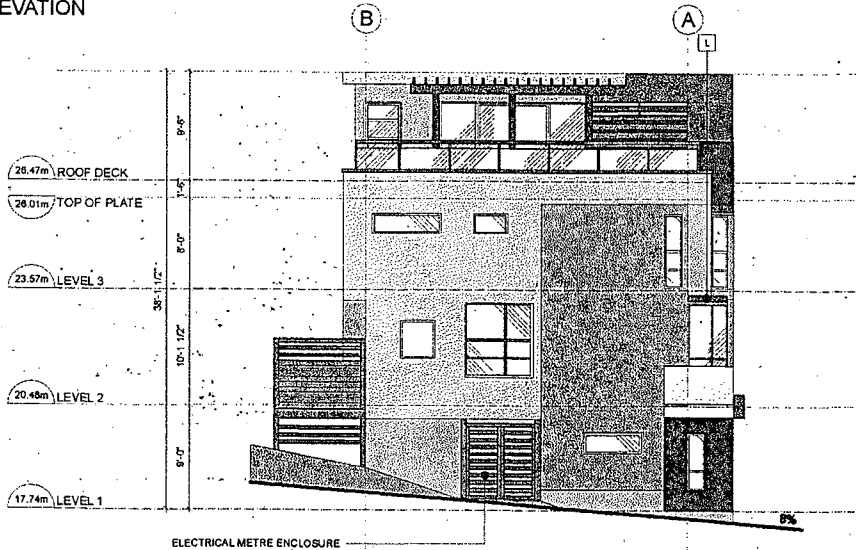
Issued For:
BUILDING 6 ELEVATIONS

Date:	December 2003	Project No.:	0520
Scale:	1/8" = 1'-0"	Sheet No.:	A30
Drawn by:	W.G. Inc.	Checked by:	WGS

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WEST ELEVATION



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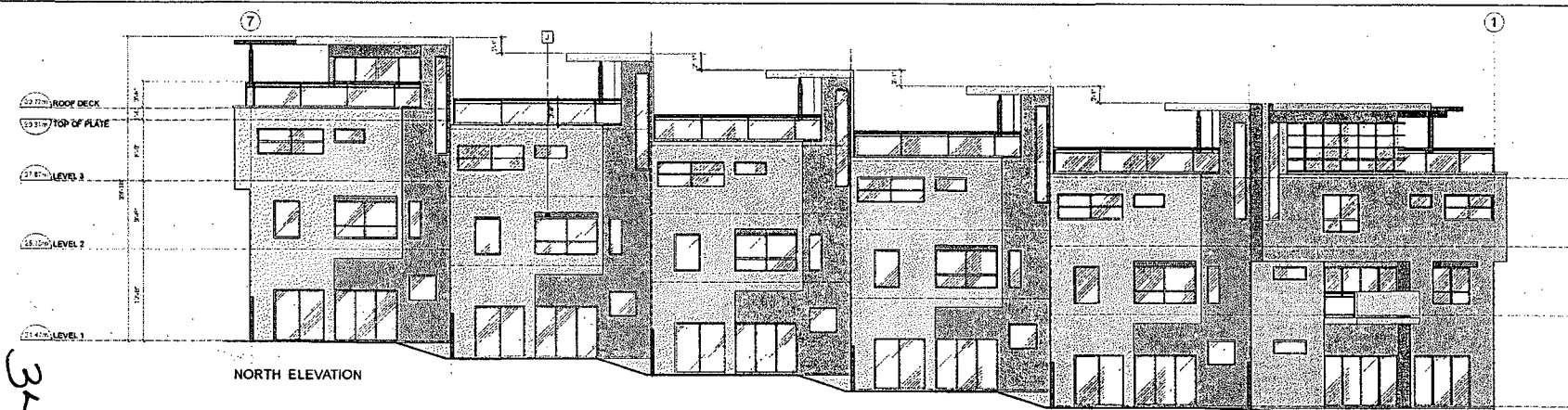


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 VANCOUVER, B.C. V6C 1V5
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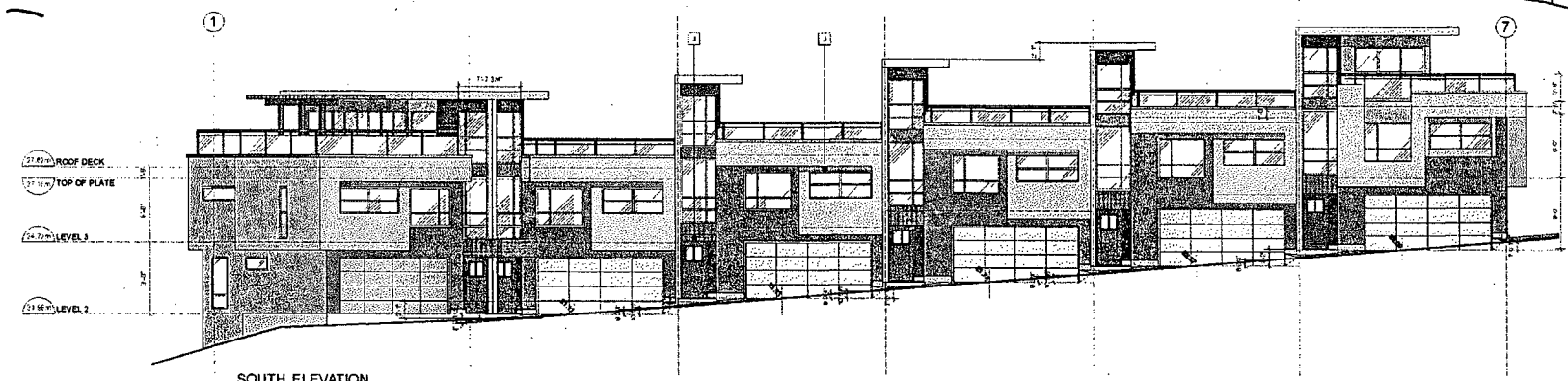
PROJECT:
 RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

Drawing Title:
 BUILDING 6
 ELEVATIONS

DATE: December 2009	PROJECT NO.: 0920
SCALE: 1/8" = 1' - 0"	A31
CREATED BY: YA, NC	
APPROVED BY: WG	



NORTH ELEVATION



SOUTH ELEVATION

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Alt. Title	Revision Details



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 FAX: (604) 997-3386

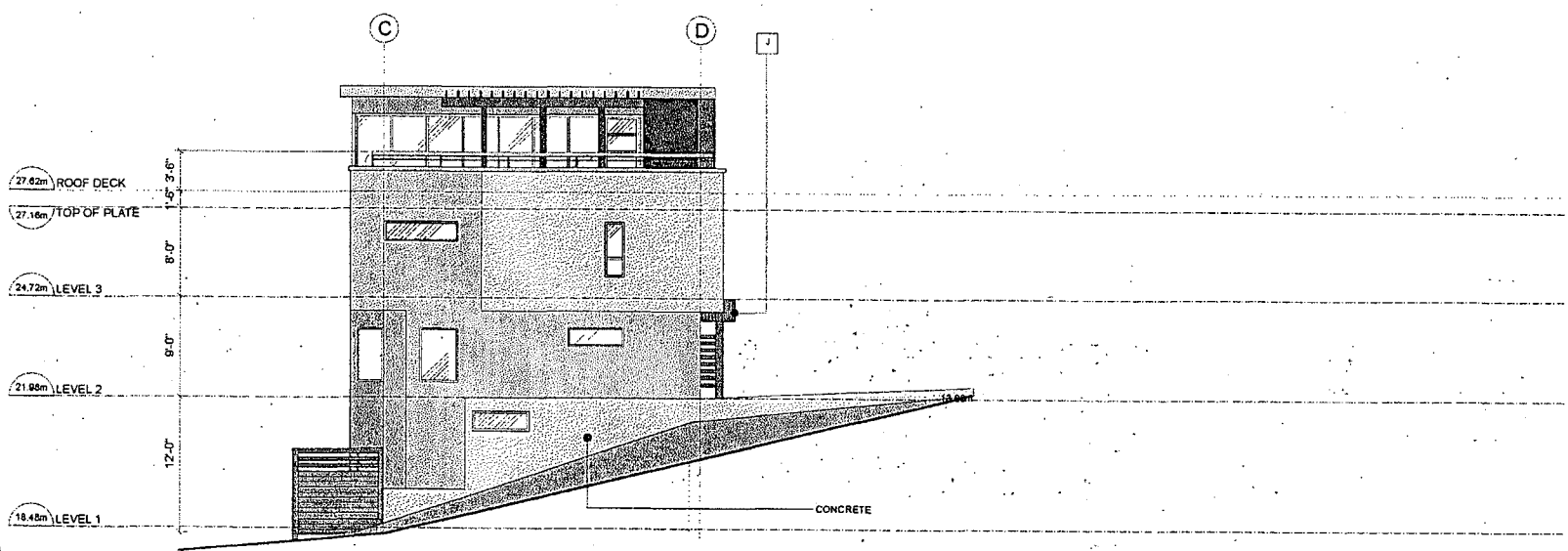
PROJECT No.
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 13140 131ST STREET BLVD.
 13140 131ST STREET
 SURREY, B.C.

PROJECT No.
BUILDING 7 ELEVATIONS

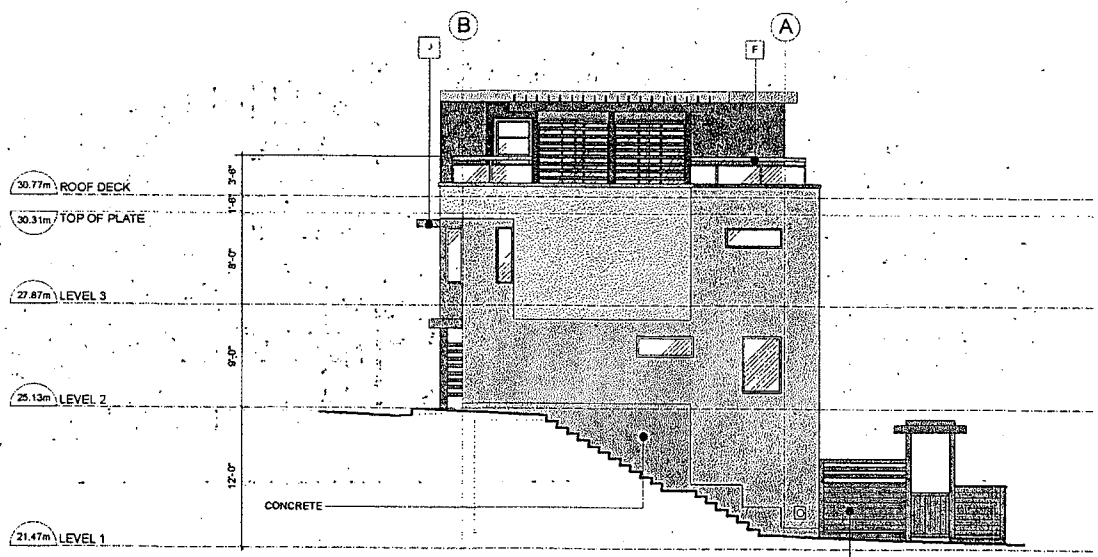
Rev.	Description	Prepared By
1	Client Review JECB	GC
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4		
5		
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7		
8		
9		
10		

A34

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WEST ELEVATION



EAST ELEVATION

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No.	Date	Revision Details



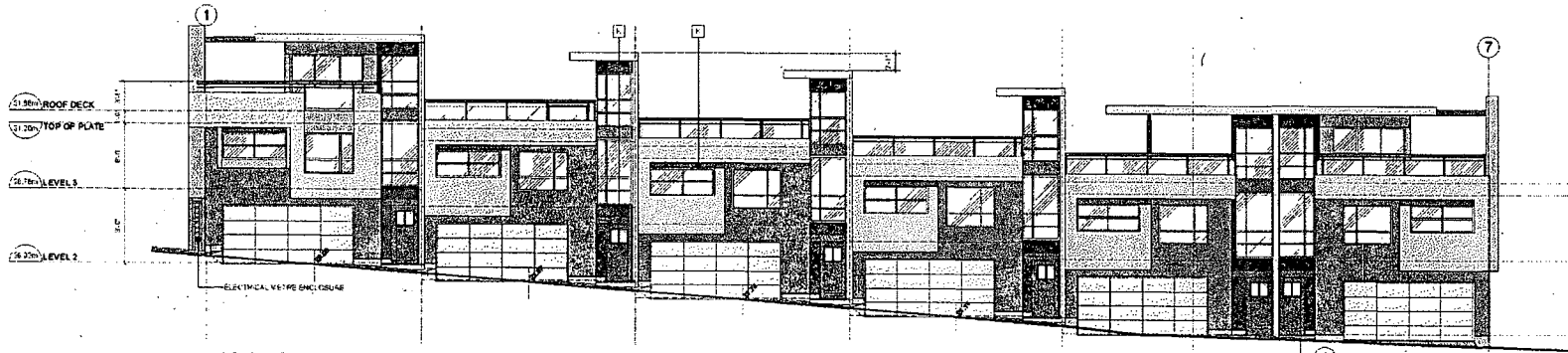
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Project Name
RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

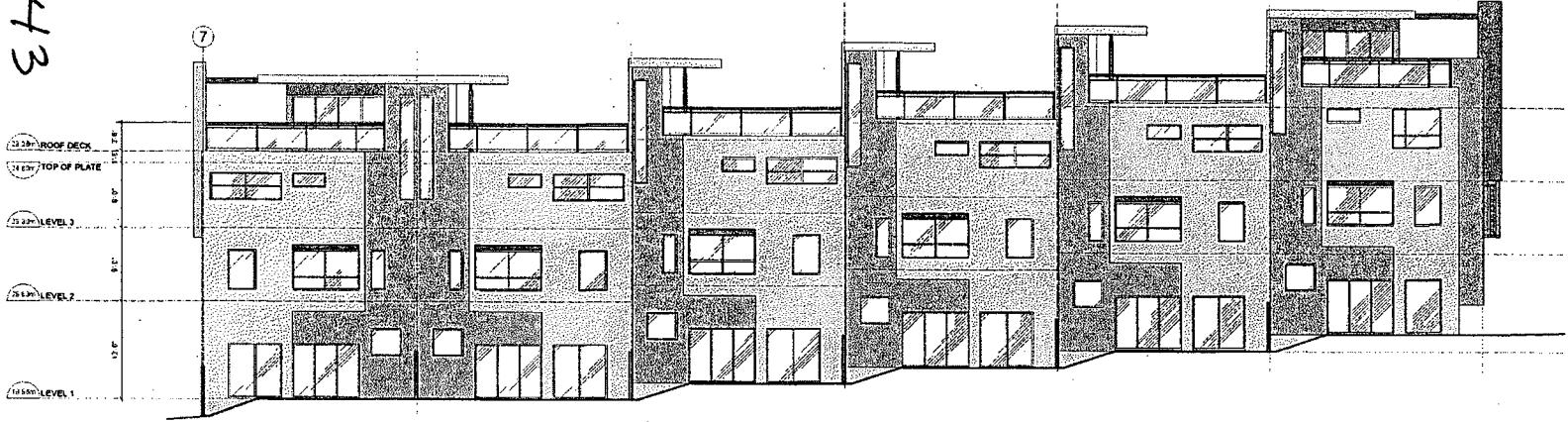
Drawing Title
BUILDING 7 ELEVATIONS

Date December 2009	Project Number 0920
Scale 1/8" = 1' - 0"	A35
Drawn By YA, NC	
Approved By WVG	

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SOUTH ELEVATION



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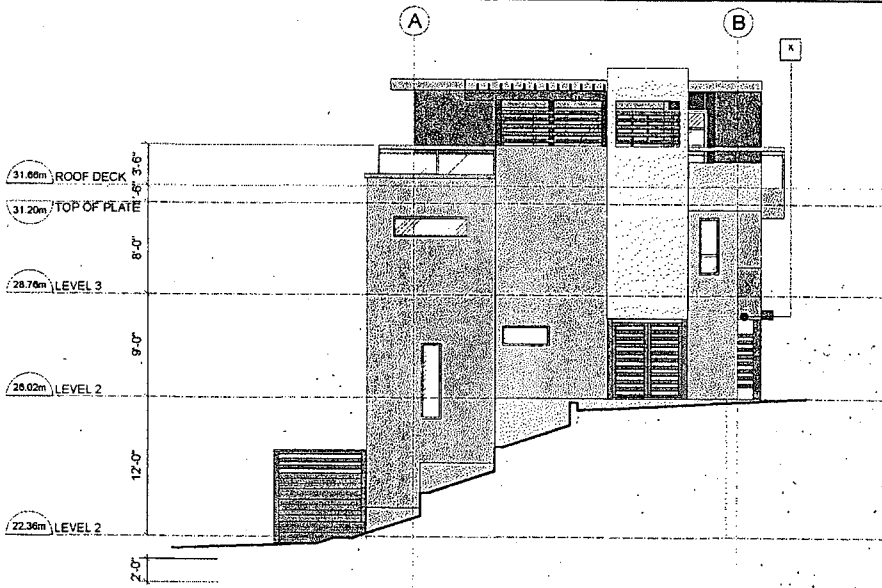
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 FAX: (250) 861-7004

Project No:
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 13140 131st STREET
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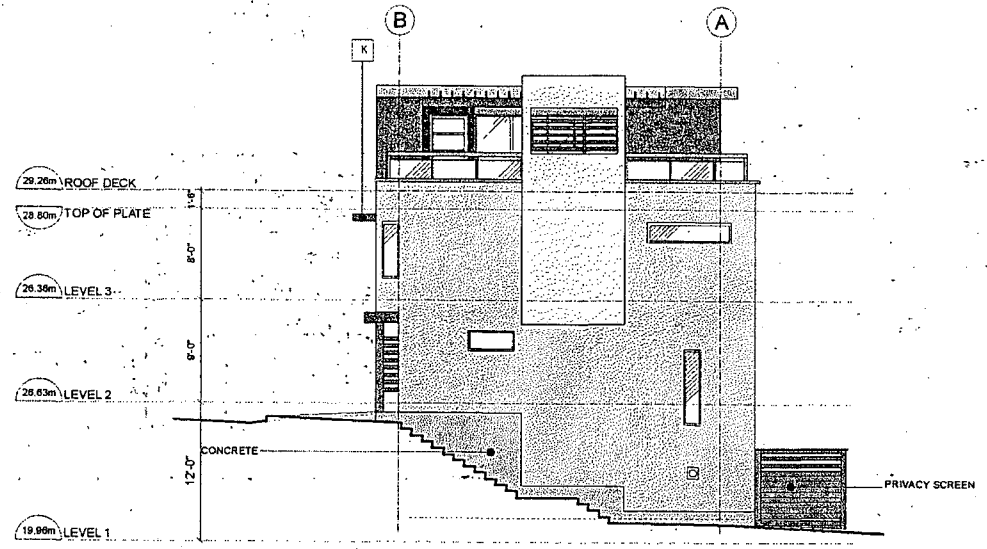
Project Name:
BUILDING 8 ELEVATIONS

Scale:	As Shown (1:1)	Sheet No.:	030C
Size:	18" x 24"	Drawn By:	A38
Checked By:	T.C.		

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EAST ELEVATION



WEST ELEVATION

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No.	Date	Revision Details



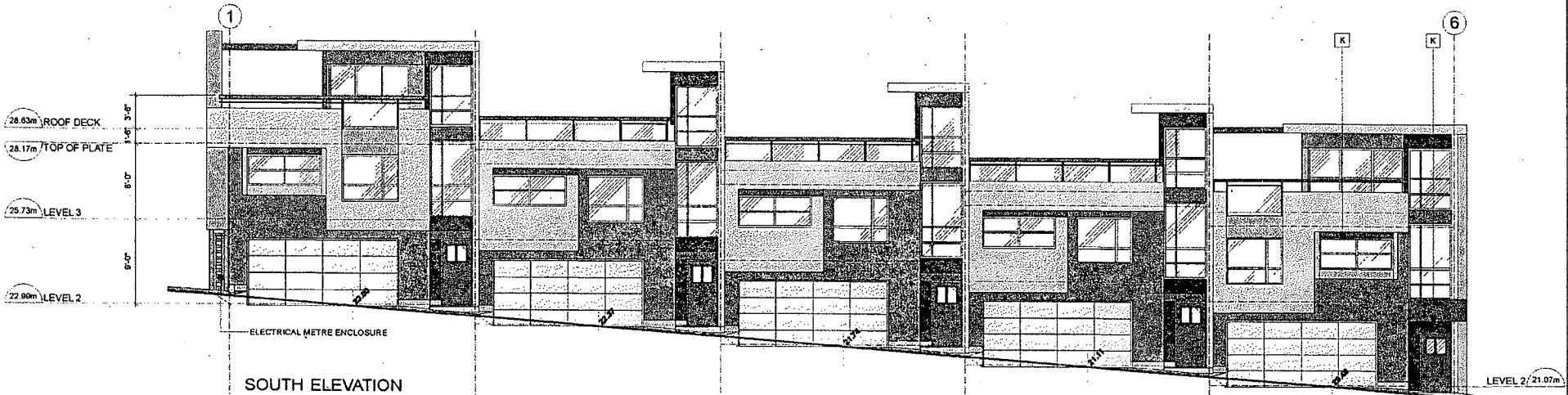
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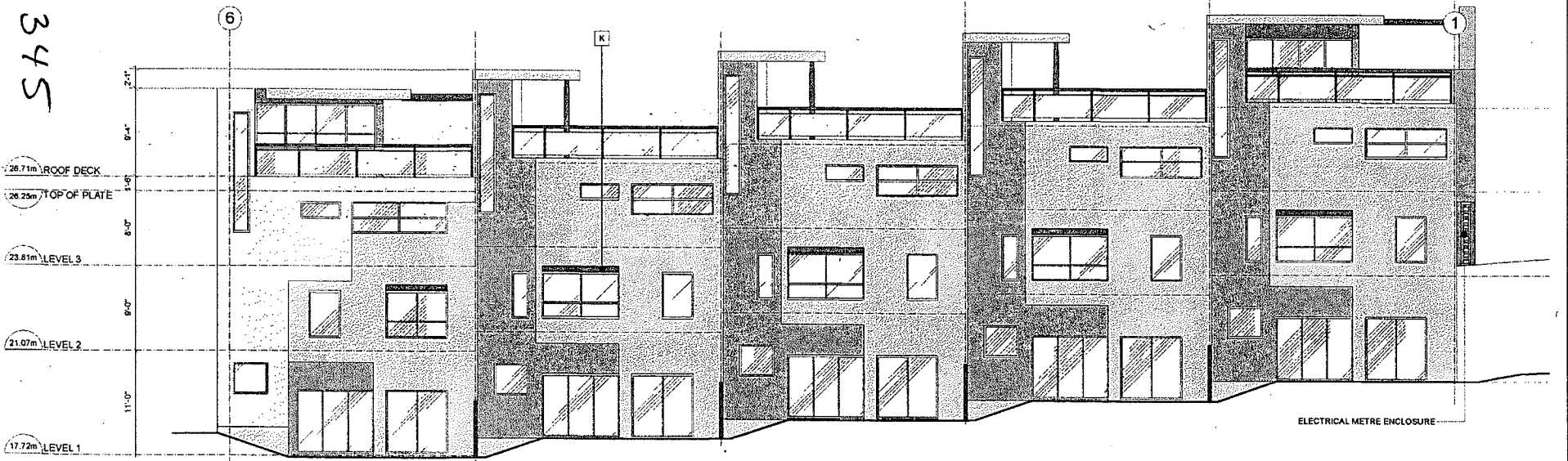
Drawing Title
BUILDING 8 ELEVATIONS SECTION

DATE	PROJECT NUMBER
December 2009	0920
SCALE 1/8" = 1' - 0"	
Drawn By YA, NC	
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A39



SOUTH ELEVATION



NORTH ELEVATION

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Project Name
RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

Drawing Title
BUILDING 9 ELEVATIONS

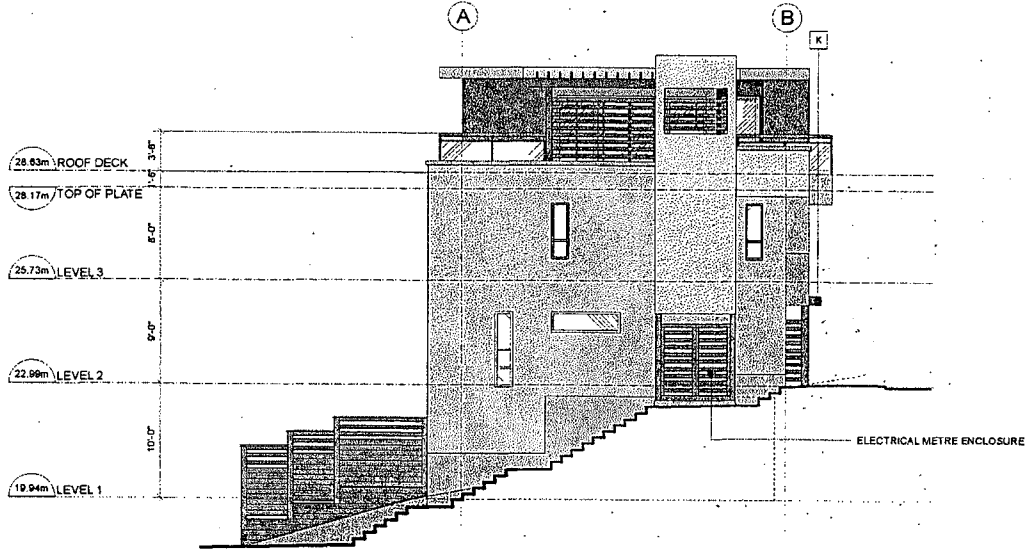
Date	December 2009	Project Number	0920
Scale	1/8" = 1' - 0"		
Drawn by	YA, NC		
Approved by	WG		

A42

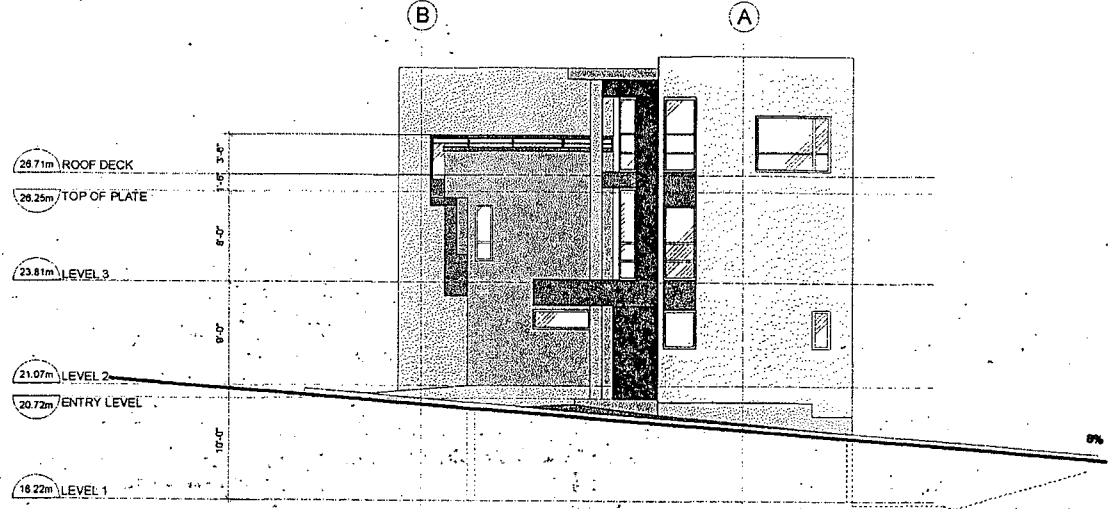
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No.	Date	Revision Details

346



WEST ELEVATION



EAST ELEVATION



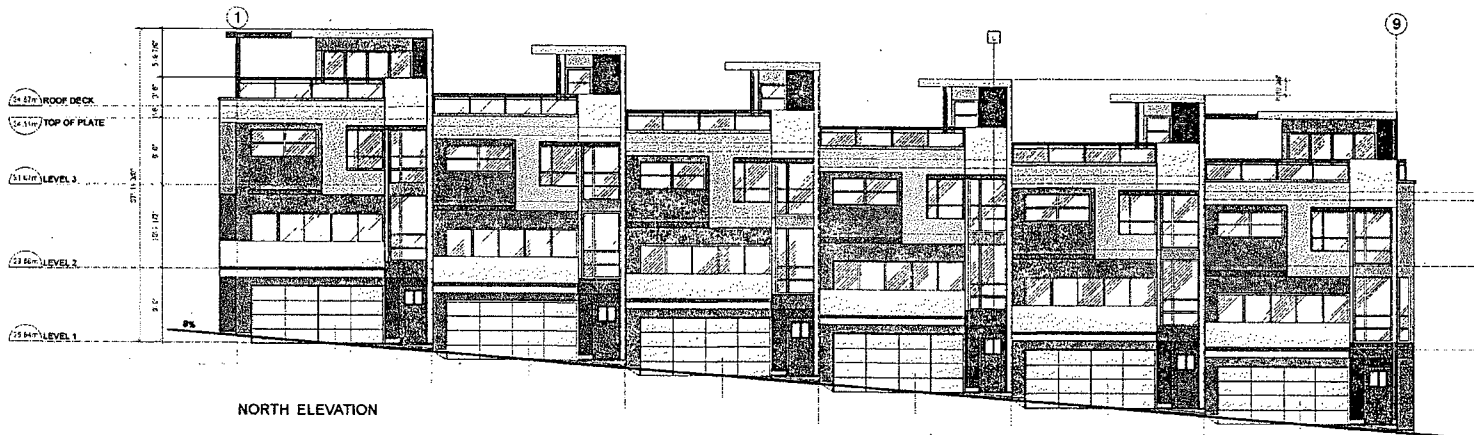
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 VANCOUVER, B.C. V6C 1Y6
 TEL: (604) 331 2378
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Project Title:
RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
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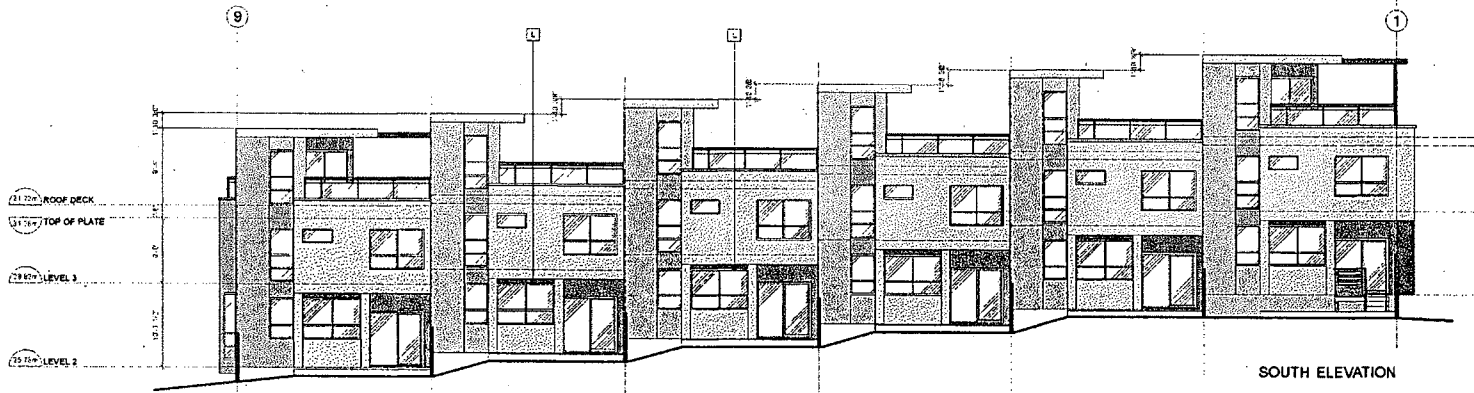
Drawing Title:
BUILDING 9 ELEVATIONS

Date:	December 2008	Project Number:	0920
Scale:	1/8" = 1' - 0"	Drawn By:	YA, NC
Approved By:	WG		A43

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NORTH ELEVATION



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 WINDSORVILLE, N.C. 27387
 TEL: (919) 881-8778
 FAX: (919) 881-7446

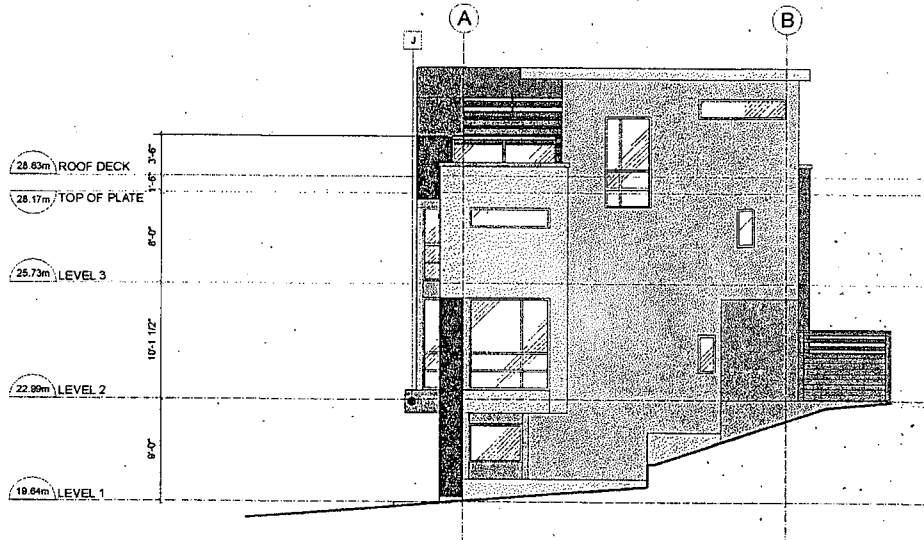
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 13140 KING GEORGE BLVD.
 13140 1316 STREET
 SURREY, B.C.

Drawn by:
BUILDING 10 ELEVATIONS

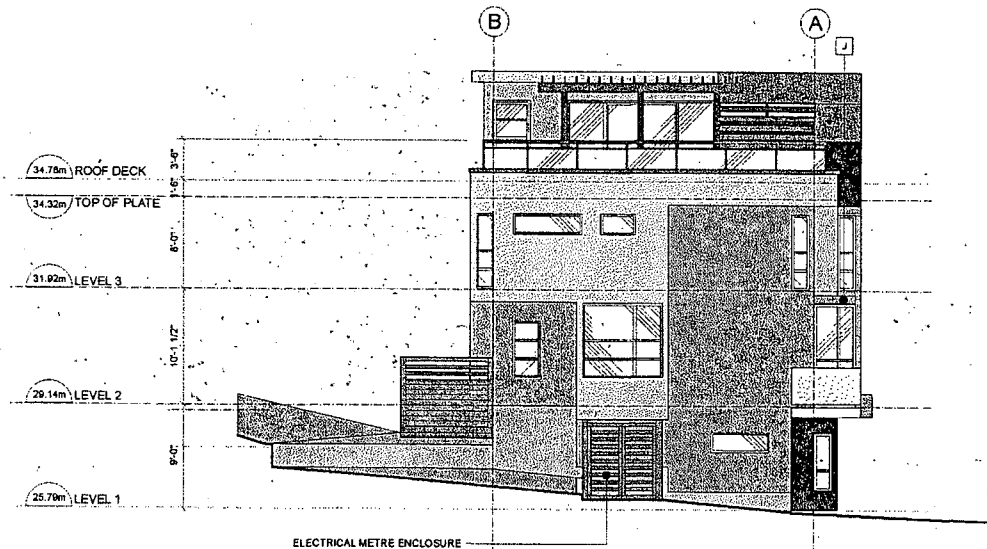
Date:	December 2008	Project Number:	0200
Scale:	1/8" = 1'-0"		
Drawn by:	W.G.		
Checked by:	W.G.		

A46

348



WEST ELEVATION



EAST ELEVATION

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No.	Date:	Revision Details:

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 1030-470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 FAX: (604) 683 7404

Project Title
 RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

Drawing Title
BUILDING 10 ELEVATIONS

Date December 2009	Project No. 0920
Scale 1/8" = 1' - 0"	A47
Drawn By YA, NC	
Approved By WG	

379



NORTH ELEVATION

SOUTH ELEVATION

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NO.	REVISIONS



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1035 - 475 BRIMLEY STREET
 MISSISSAUGA, ONT. L4Y 1R7
 TEL: (905) 271-2275
 FAX: (905) 272-7288

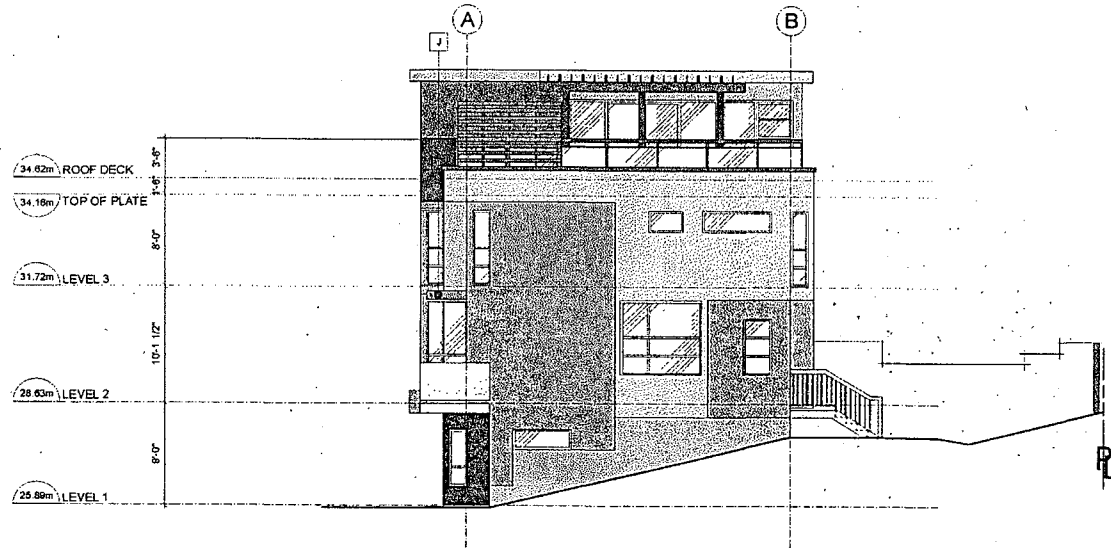
Project No.
**RESIDENTIAL COMPLEX
 13 111 KING GEORGE BLVD.
 13 140 1318 STREET
 SURREY, B.C.**

Drawing No.
**BUILDING 11
 ELEVATIONS**

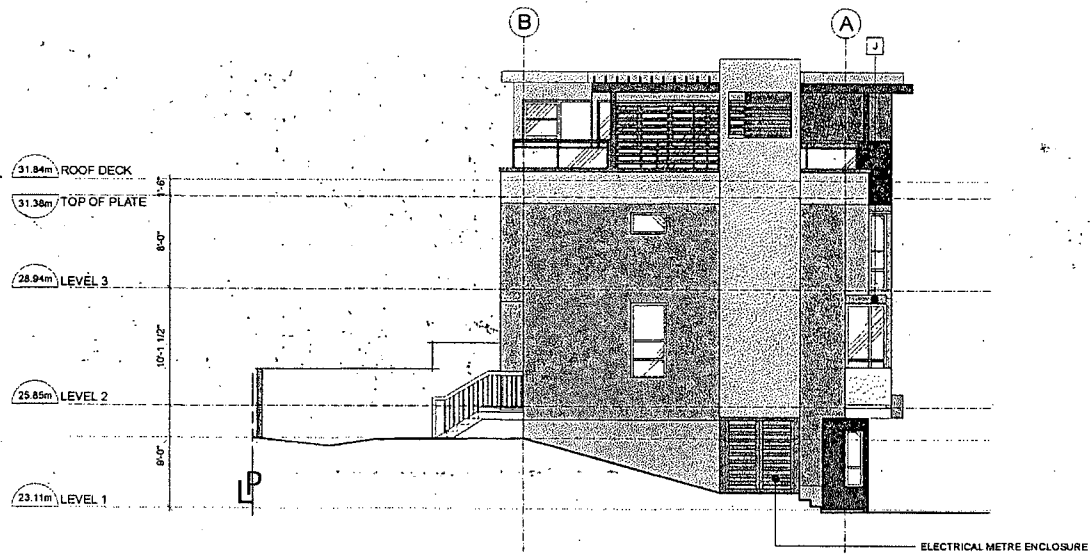
Scale	As Shown
Drawn by	2004
Checked by	2003
Date	
Project	
Location	
Sheet No.	
Total No.	

A50

350



WEST ELEVATION



EAST ELEVATION

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No.	Date	Revision Details



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 TEL: (604) 231 2378
 FAX: (604) 683 7494

PROJECT TITLE
 RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

CLIENT
 BUILDING 11
 ELEVATIONS

DATE
 December 2009

PROJECT NUMBER
 0920

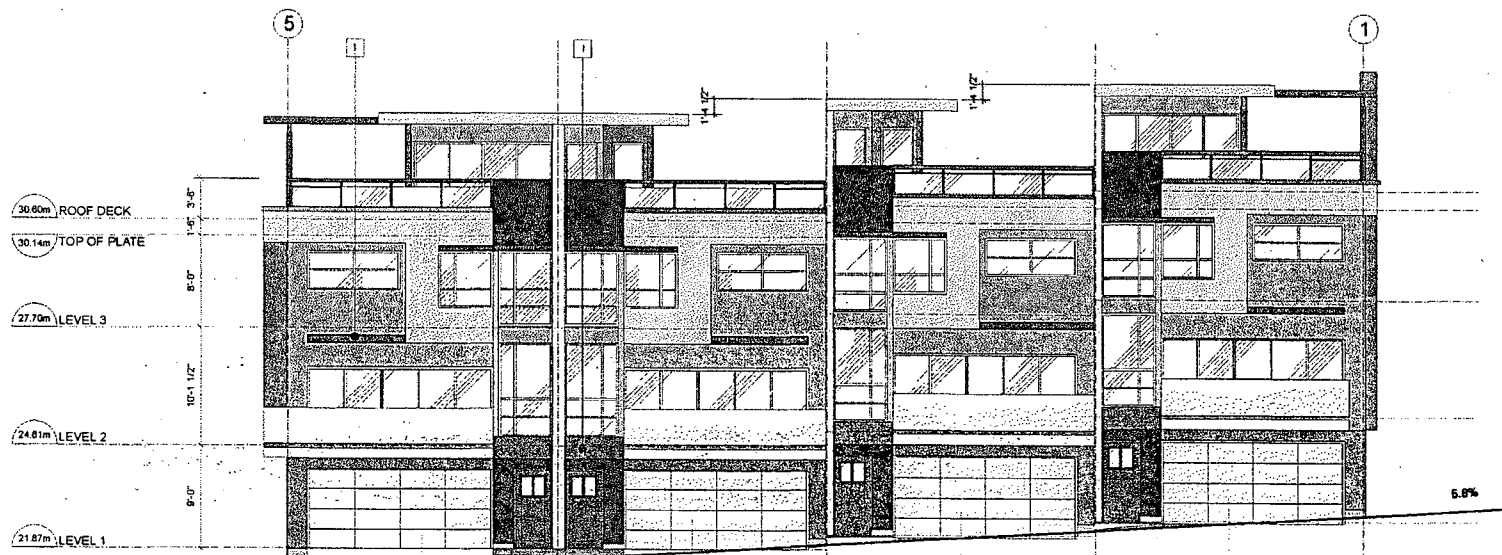
SCALE
 1/8" = 1' - 0"

CHECKED BY
 YA, NC

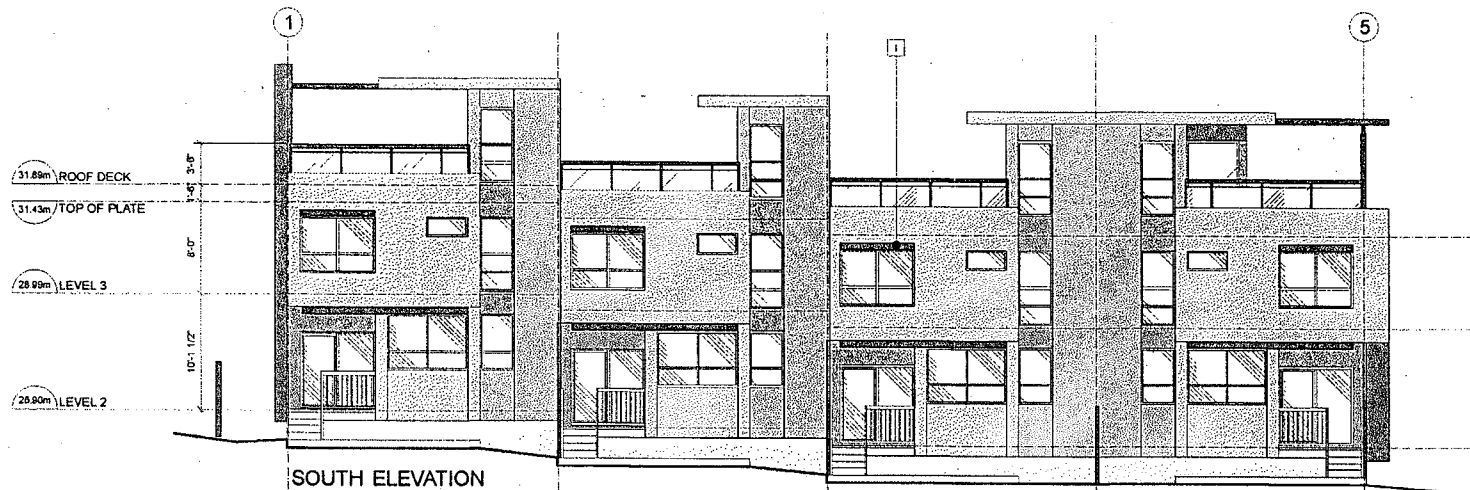
APPROVED BY
 WG

A51

351



NORTH ELEVATION



SOUTH ELEVATION

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No.	Date	Revision Details



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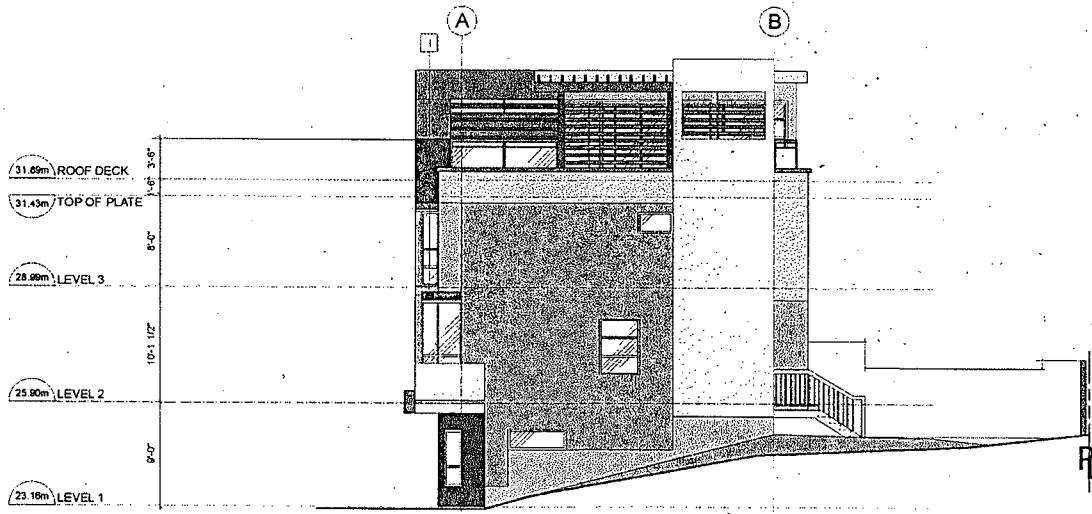
1030 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V6
 TEL: (604) 331 2378
 FAX: (604) 683 7494

Project Title
 RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

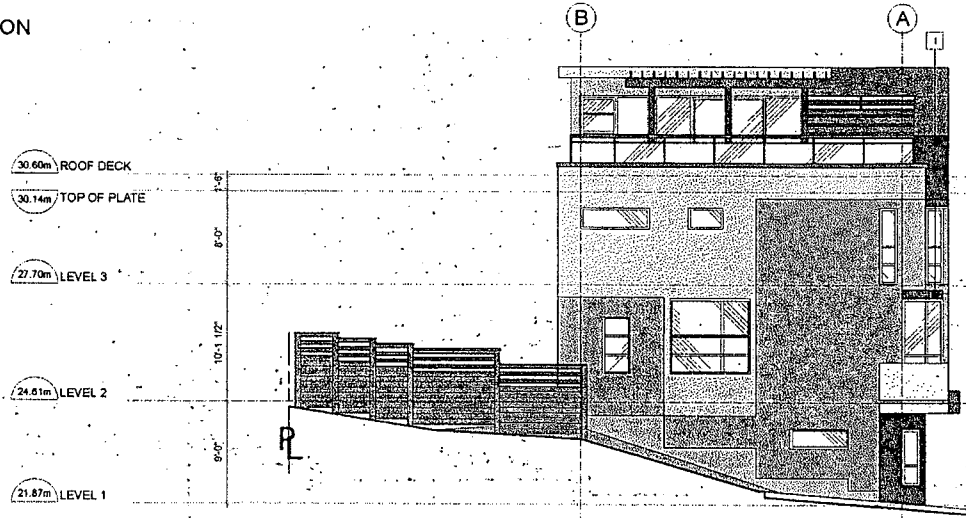
Drawing Title
 BUILDING 12
 ELEVATIONS

DATE	PROJECT NUMBER
December 2009	0920
SCALE	A54
1/8" = 1'-0"	
Drawn By YA, NC	
Approved By WG	

352



WEST ELEVATION



EAST ELEVATION

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No.	Date	Revision Details



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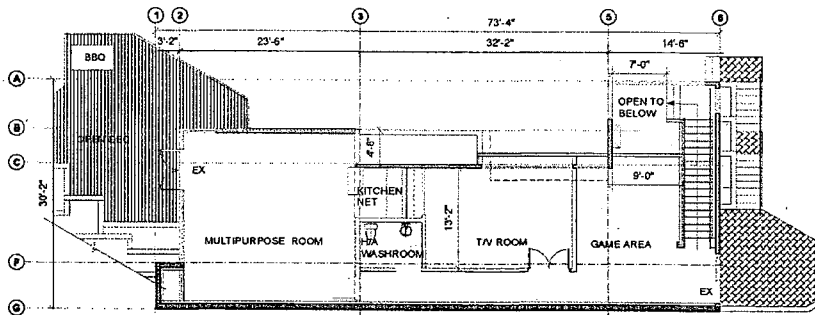
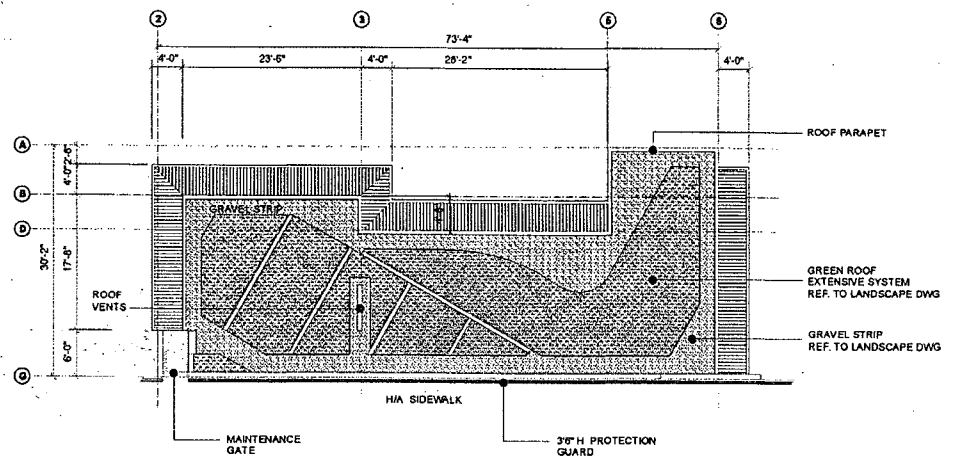
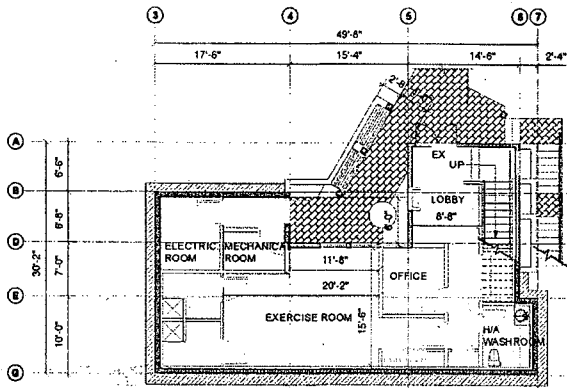
1030 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 FAX: (604) 683 7484

Project Title:
 RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

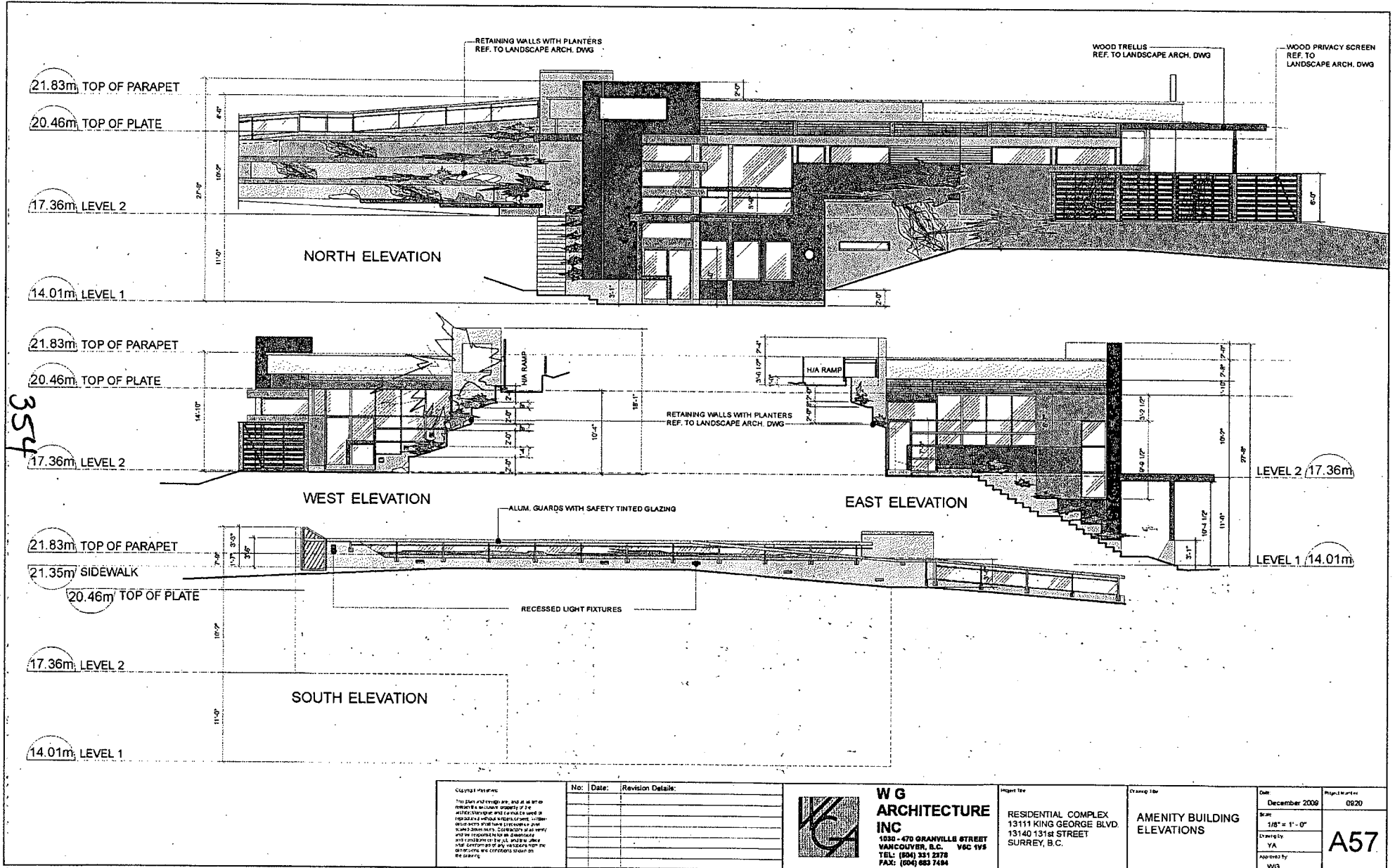
Drawing Title:
 BUILDING 12
 ELEVATIONS

Date: December 2009	Project No.:
Scale: 1/8" = 1' - 0"	0920
Drawn by: YA, NC	A55
Approved by: WG	

353



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	No. _____ Date: _____ Revision Details: _____		Project No: _____ RESIDENTIAL COMPLEX 13111 KING GEORGE BLVD. 13140 131st STREET SURREY, B.C.	Drawing Title: AMENITY UNIT FLOOR PLAN	Date: December 2009 Scale: 1/8" = 1'-0" Drawn by: YA Checked by: WG	Project Number: 0820 A56
	No. _____ Date: _____ Revision Details: _____		Project No: _____ RESIDENTIAL COMPLEX 13111 KING GEORGE BLVD. 13140 131st STREET SURREY, B.C.	Drawing Title: AMENITY UNIT FLOOR PLAN	Date: December 2009 Scale: 1/8" = 1'-0" Drawn by: YA Checked by: WG	Project Number: 0820 A56
	No. _____ Date: _____ Revision Details: _____		Project No: _____ RESIDENTIAL COMPLEX 13111 KING GEORGE BLVD. 13140 131st STREET SURREY, B.C.	Drawing Title: AMENITY UNIT FLOOR PLAN	Date: December 2009 Scale: 1/8" = 1'-0" Drawn by: YA Checked by: WG	Project Number: 0820 A56



No.	Date	Revision Details



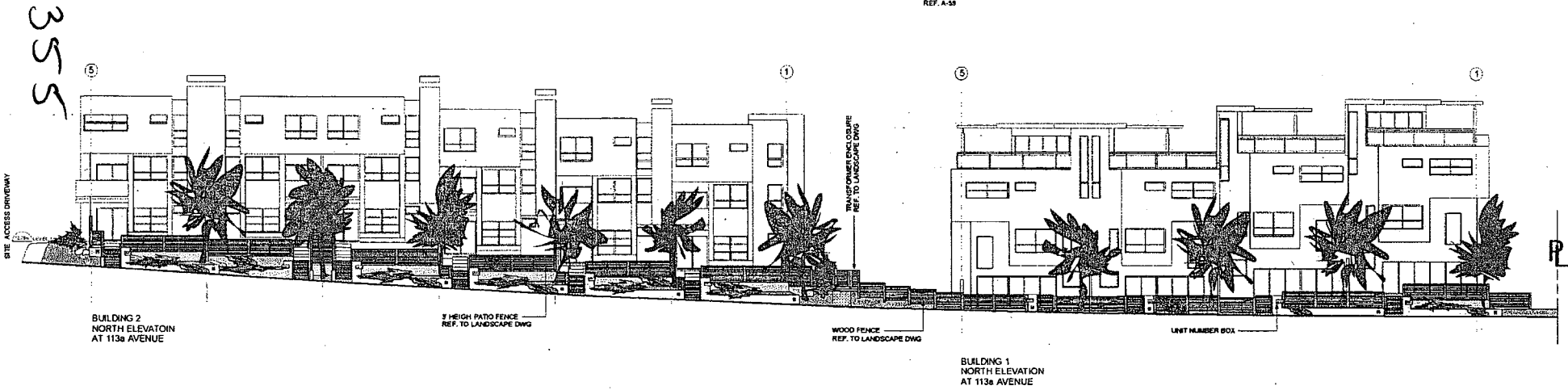
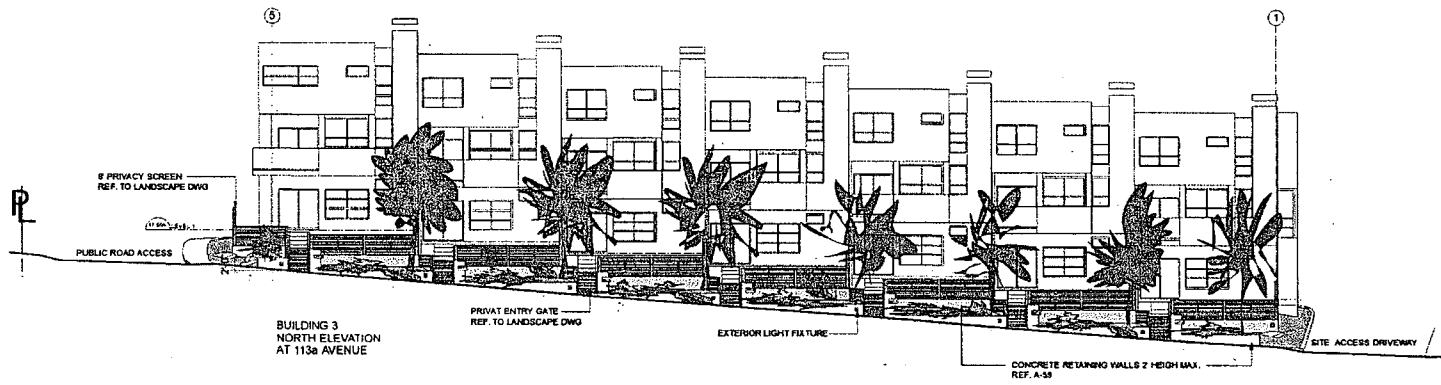
WG ARCHITECTURE INC
1030 - 470 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 331-2778
FAX: (604) 683-7494

Project file
RESIDENTIAL COMPLEX
13111 KING GEORGE BLVD
13140 131st STREET
SURREY, B.C.

Change file
AMENITY BUILDING ELEVATIONS

Date	December 2009	Project Number	0920
Scale	1/8" = 1'-0"		
Drawn by	YA		
Approved by	VVG		

A57



STREETSCAPE AT 113A AVENUE

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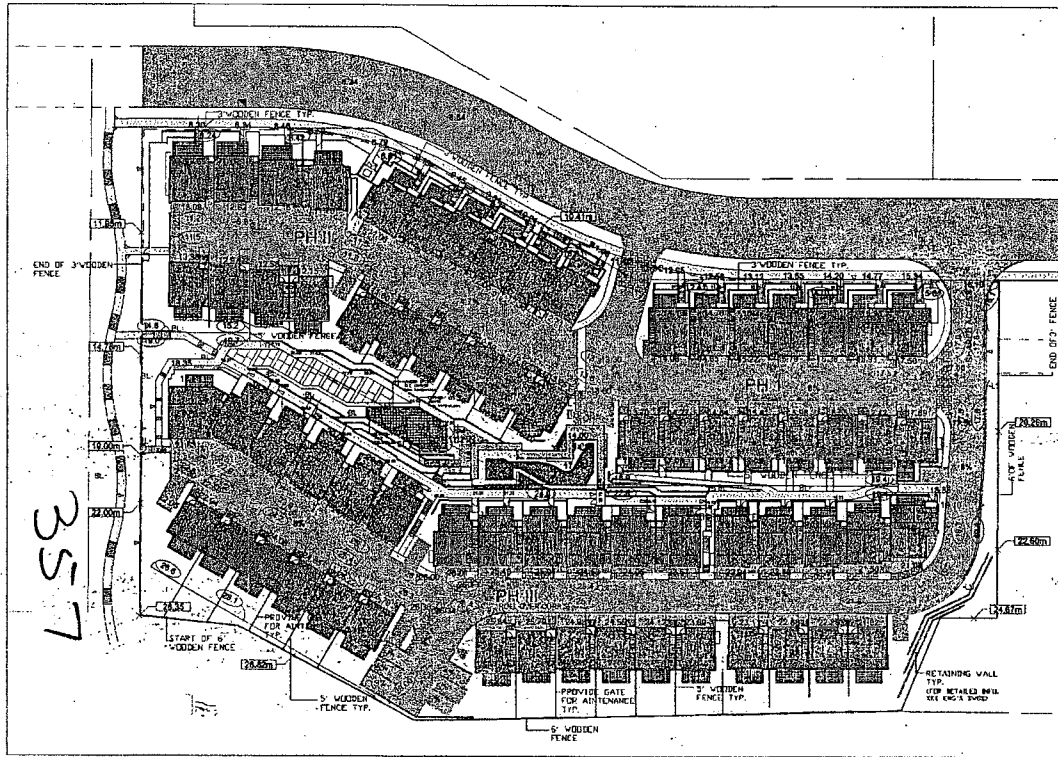


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 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 FAX: (604) 683 7484

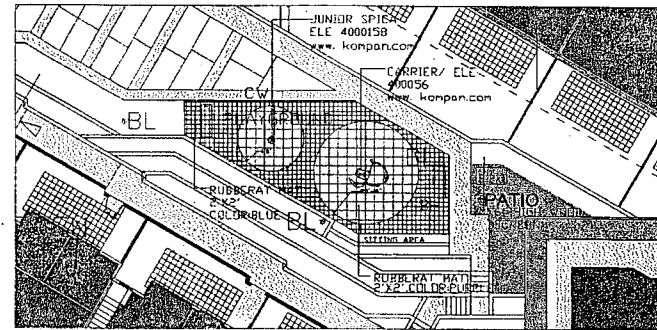
Project Title
RESIDENTIAL COMPLEX
 13111 KING GEORGE BLVD.
 13140 131st STREET
 SURREY, B.C.

Drawing Title
NORTH VIEW STREETSCAPE
 AT 113A AVENUE

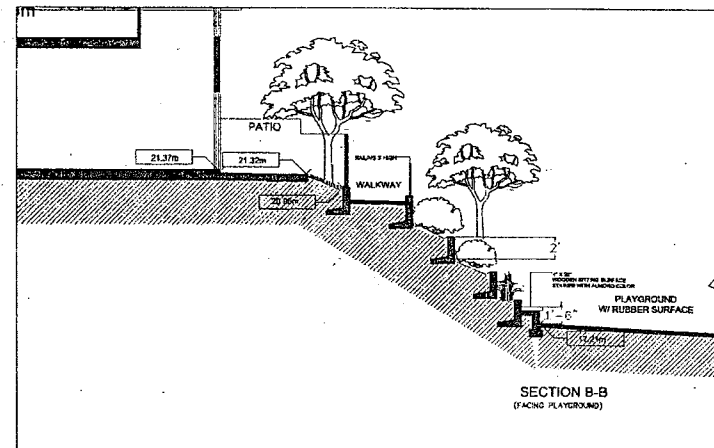
Date	December 2009	Project No.	0920
Scale	1" = 10' - 0"	<h1>A58</h1>	
Location	YA, NC		
Approved By	WG		



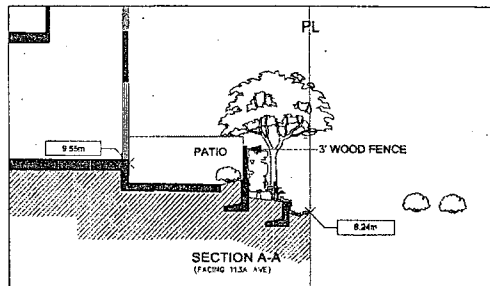
FENCE LAYOUT 1/32"=1'-0"



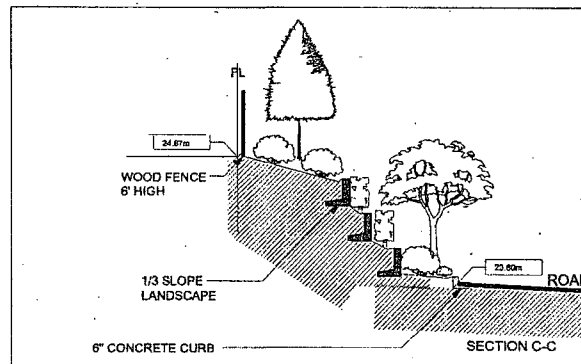
PLAYGROUND LAYOUT PLAN 3/32"=1'-0"



SECTION B-B (FACING PLAYGROUND)
SCALE 1/8"=1'-0"



SECTION A-A (FACING 1534 AVE)
SCALE 1/8"=1'-0"



SECTION C-C
SCALE 1/8"=1'-0"

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DATE	REVISIONS

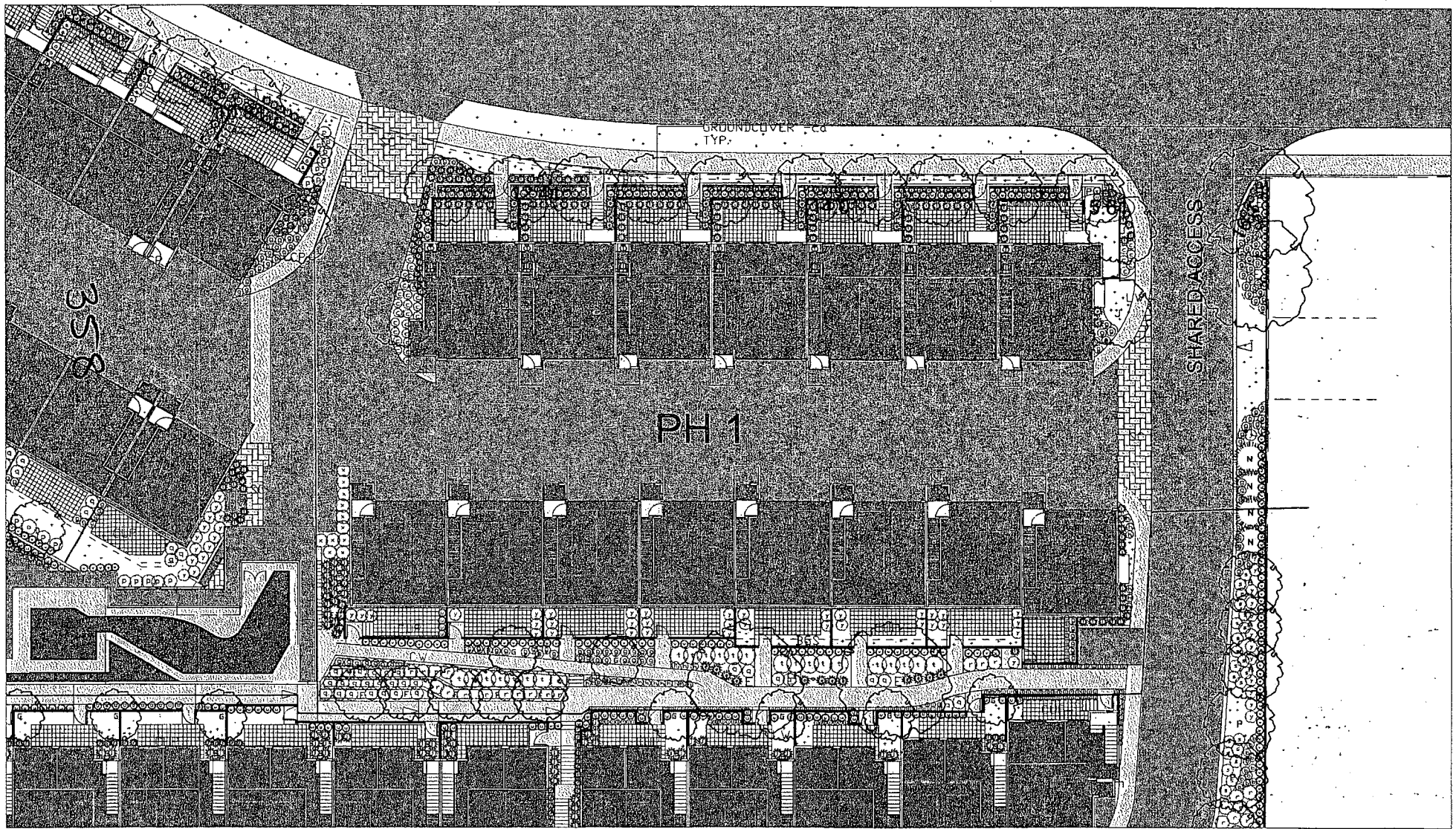


JHL Design Group Inc.
Landscape Architecture + Urban Design
4370, Main Street, Vancouver, BC
Tel: 604-261-5818
Fax: 1-866-277-9254
Email: jhl@jhl.com

SCALE	1/32"=1'-0"
DATE	April, 10
DRAWN	
JOB NO.	

PROJECT TITLE	Residential Development 132 Street/ King George Highway Surrey, BC
DRAWING TITLE	SITE HARD LANDSCAPE INFO (PROPOSED FENCE & PLAYGROUND) SECTIONS

DRAWING NO.
L-2



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DATE	REVISIONS



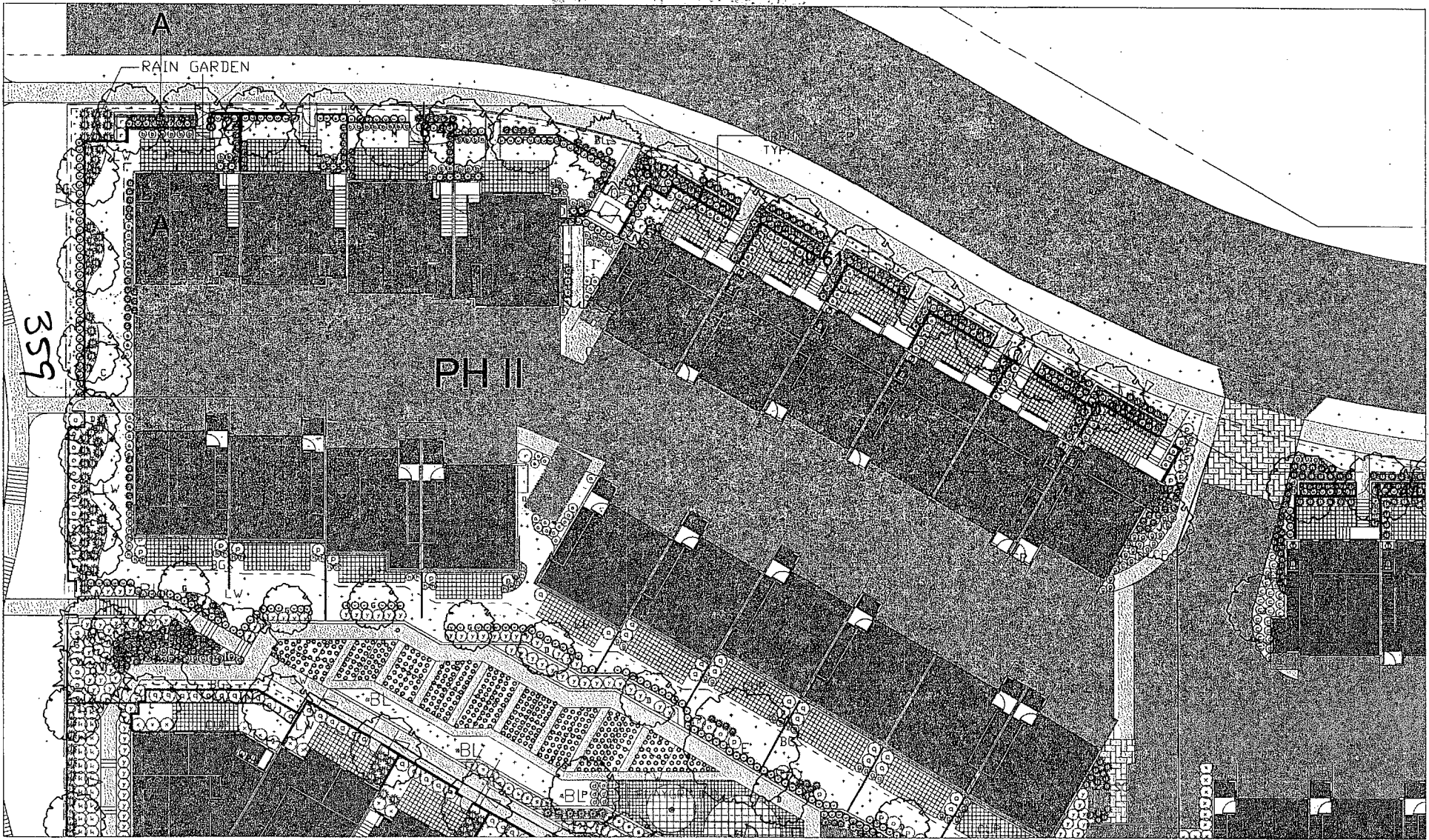
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 4370, Maple Street, Vancouver, BC
 Tel: 604-263-8813
 Fax: 1-866-277-8854
 Email: jhl@jhl.com

SCALE	3/32" = 1' - 0"
DATE	April, 10
DRAWN	
JOB NO.	

PROJECT TITLE
Residential Development
132 Street/ King George Highway
Surrey, BC

DRAWING TITLE
LANDSCAPE PLAN-PH 1

DRAWING NO.
L-3



DATE	REVISIONS



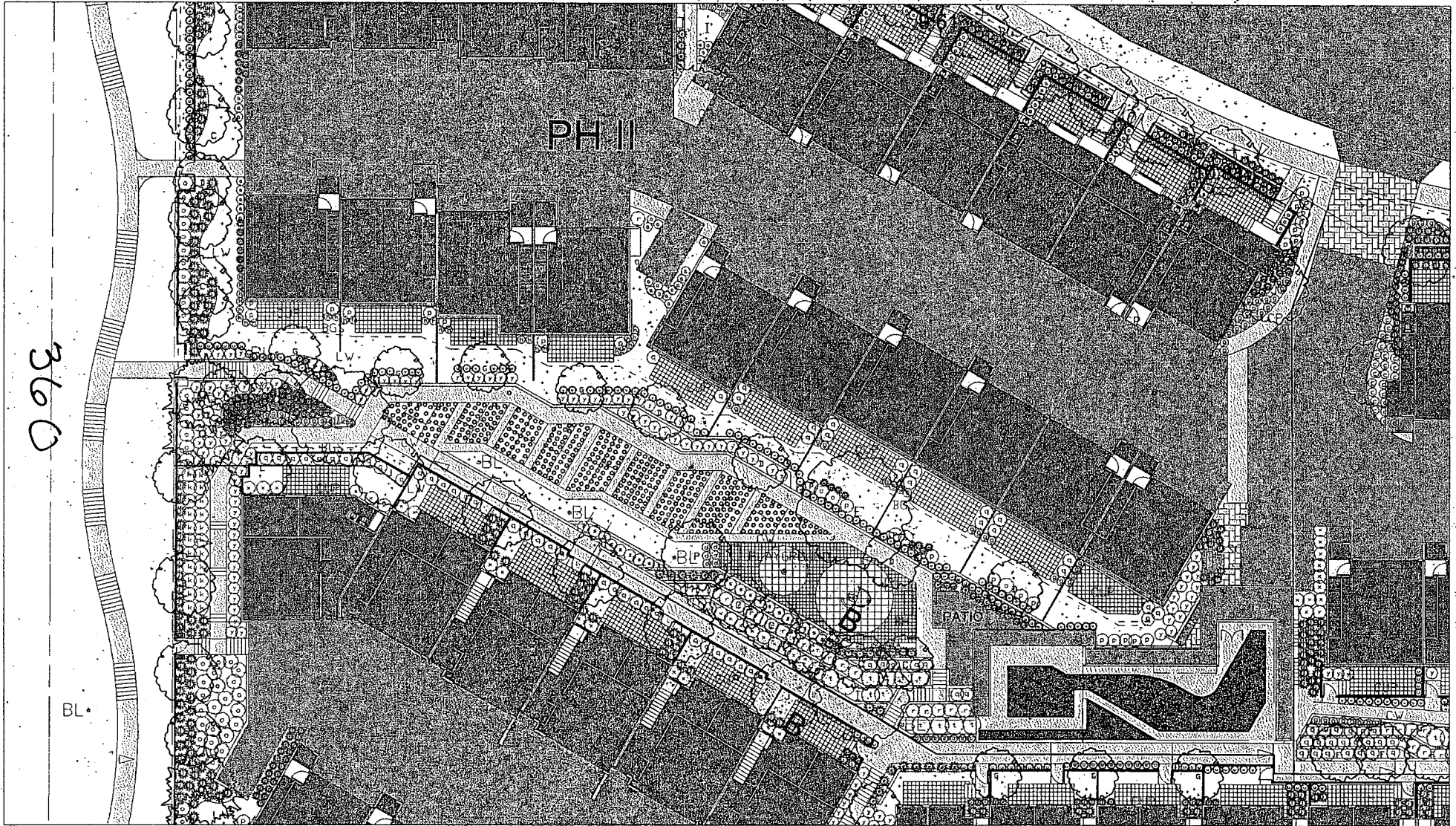
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 Tel: 604-263-8613
 Fax: 1-866-277-6354
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SCALE 1/32" = 1'-0"
 DATE April, 10
 DRAWN
 JOB NO.

PROJECT TITLE Residential Development
 132 Street/ King George Highway
 Surrey, BC
 DRAWING TITLE LANDSCAPE PLAN-PH 2

DRAWING NO. L-4

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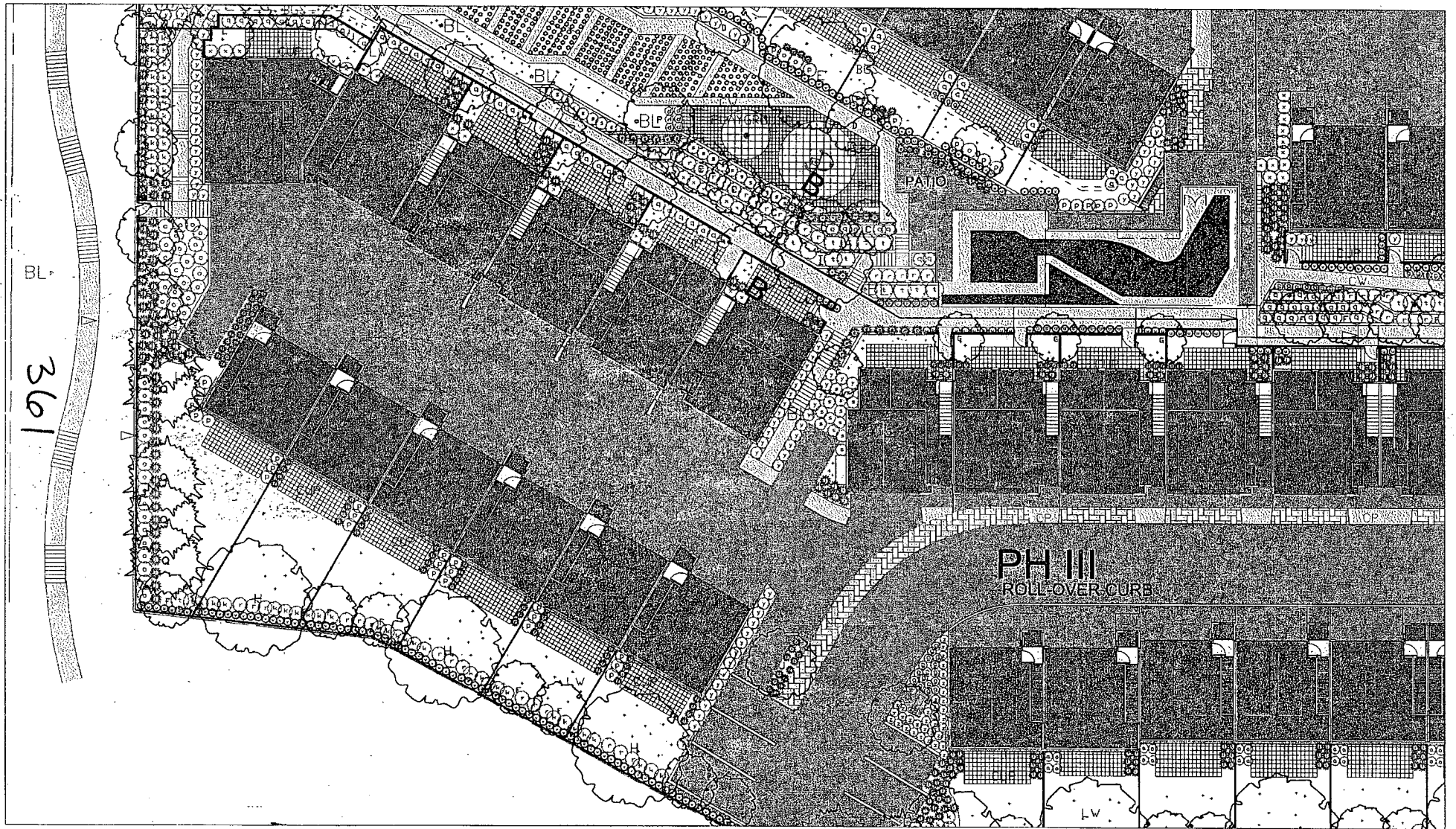
JHL Design Group Inc.
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 4370 Maple Street, Vancouver, BC
 Tel: 604-263-8613
 Fax: 1-855-277-6554
 Email: JHLdesign@shaw.ca

SCALE	3/32"=1'-0"
DATE	April, 10
DRAWN	
JOB NO.	

PROJECT TITLE
 Residential Development
 132 Street/ King George Highway
 Surrey, BC

DRAWING TITLE
 LANDSCAPE PLAN-PH2

DRAWING NO.
L-5



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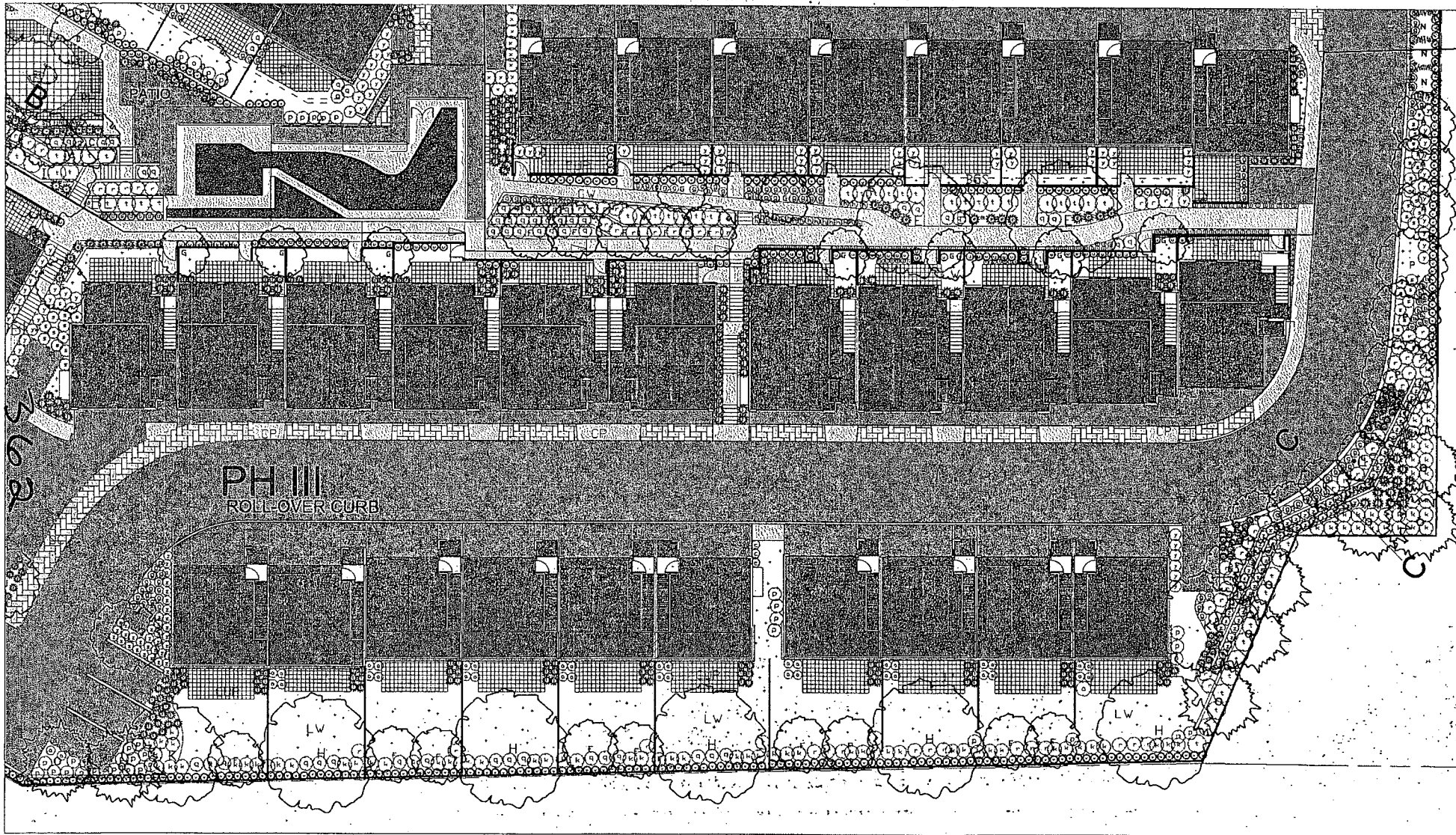


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 Tel: 604-253-8613
 Fax: 1-866-277-8254
 Email: jhldesign@shaw.ca

SCALE 3/32"=1'-0"
 DATE April, 10
 DRAWN
 JOB NO.

PROJECT TITLE Residential Development
 132 Street/ King George Highway
 Surrey, BC
 DRAWING TITLE LANDSCAPE PLAN-PH 3

DRAWING NO. L-6



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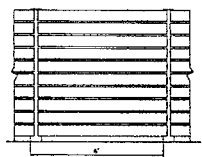
JHL Design Group Inc.
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 Fax: 1-604-277-3834
 Email: jhl@jhlgroup.com

SCALE	3/32" = 1'-0"
DATE	April, 10
DRAWN	
JOB NO.	

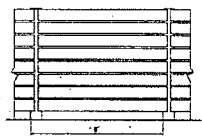
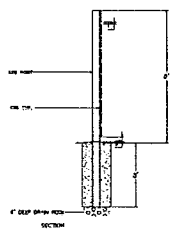
PROJECT TITLE
Residential Development
 132 Street/ King George Highway
 Surrey, BC

DRAWING TITLE
LANDSCAPE PLAN-PH3

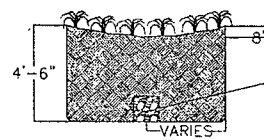
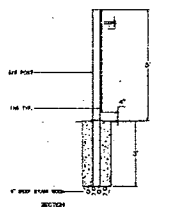
DRAWING NO.
L-7



ELEVATION
6' HIGH FENCE DETAIL
(CLOSE THE BACK PROPERTY LINES)

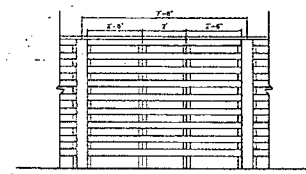


ELEVATION
5' HIGH FENCE DETAIL
(REMOVE LIMITS)

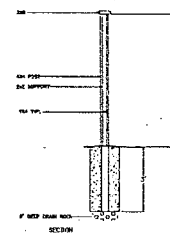


12"x12" DRAIN ROCK WRAPPED
IN FILTER CLOTH MEANDERING THROUGH
RAIN GARDEN SECTION. ENLARGE CROSS
SECTION TO SUIT AT PIPE CROSSINGS.

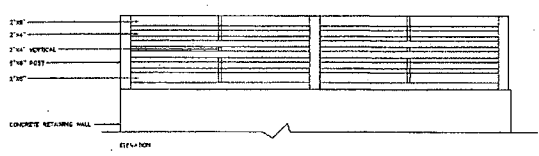
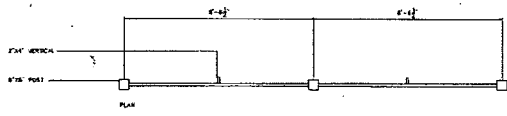
RAIN GARDEN DETAIL
N.T.S.



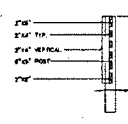
6' HIGH WOODEN SCREEN



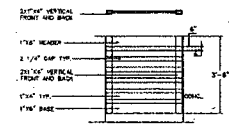
363



ELEVATION
3' HIGH FENCE DETAIL
(TOP ALL FRONT YARDS)



SECTION



GATE DETAIL
(TOP FRONT YARDS ONLY)

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Tel: 604-263-8813
Fax: 1-855-277-9554
Email: jhl@jhl.com

SCALE	
DATE	April, 10
DRAWN	
JOB NO.	

PROJECT TITLE
**Residential Development
132 Street/ King George Highway
Surrey, BC**

DRAWING TITLE
DETAILS

DRAWING NO.
L-8



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **May 10, 2010** PROJECT FILE: **7806-0301-00**

RE: **Engineering Requirements
Location: 13111 King George Blvd. and 13140 131 Street**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment.

REZONE/SUBDIVISION***Property and Right-of-Way Requirements***

- dedicate 18.3 metres for 113A Avenue;
- dedicate minimum 6.0 metres for a public road through the site as shown on the site layout; and
- purchase proposed road closure areas.

Works and Services


- construct 113A Avenue complete with temporary hammerhead at 131 St. intersection;
- construct minimum 6m wide public road through the site.
- provide cash-in-lieu for future 131 Street walkway;
- extend watermain to the west from 112B Avenue to 132 Street and construct main along 131 Street site frontage; and
- construct storm and sanitary facilities to service the development and future developments adjacent the site.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

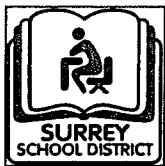
There are no engineering requirements relative to issuance of the Development Permit.

The Engineering Department notes that adjustment to the proposed site layout may be required to meet the engineering requirements.


Bob Ambardar, P.Eng.
Development Project Engineer

RSS

364



SCHOOL DISTRICT #36 (SURREY)

April 22, 2010
Planning

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at the elementary school and no new capital projects identified for the secondary school. The District is considering a district program move from Kwantlen Park to another secondary school site, to eliminate projected overcrowding at Kwantlen Park Secondary School. The proposed development will not have an impact on these projections.

THE IMPACT ON SCHOOLS

APPLICATION #: 7906 0301 00

SUMMARY

The proposed 68 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	11
Secondary Students:	5

September 2009 Enrolment/School Capacity

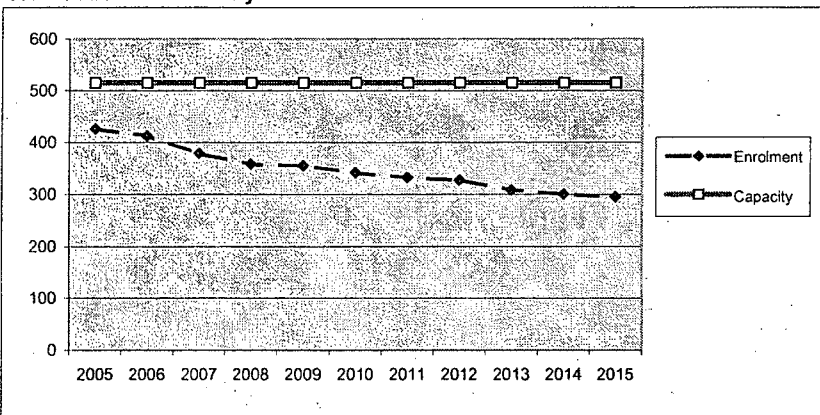
James Ardiel Elementary

Enrolment (K/1-7):	47 K + 308
Capacity (K/1-7):	40 K + 475

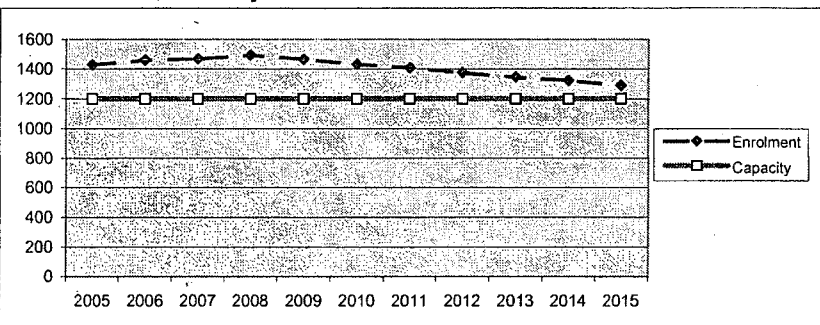
Kwantlen Park Secondary

Enrolment (8-12):	1464
Capacity (8-12):	1200

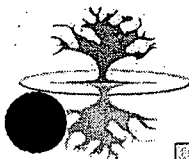
James Ardiel Elementary



Kwantlen Park Secondary



365



TREE PRESERVATION SUMMARY

Surrey Project No.: #0920
 Project Location: 13111 King George Highway
 Registered Arborist: Lesley Gifford, B.App Sc.
 ISA Certified Arborist (PN5432A)
 Certified Tree Risk Assessor (56)
 BC Parks Wildlife and Danger Tree Assessor

Detailed Assessment of the existing trees of an Arborist's Report is submitted on file. The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment of the Subject Site: Large stand of even aged tree species including alder, cottonwood, bigleaf maple, birch and cherry with a single mature western red cedar. Site proposed for townhouse development.

2. Summary of Proposed Tree Removal and Placement:

The summary will be available before final adoption.

Number of Protected Trees Identified		<u>200</u>	(A)
Number of Protected Trees declared high risk due to natural causes			(B)
Number of Protected Trees to be removed		<u>200</u>	(C)
Number of Protected Trees to be Retained	(A-B-C)	<u>0</u>	(D)
Number of Replacement Trees Required (136@1:1, 64@2:1)	(C-B) x 2	<u>264</u>	(E)
Number of Replacement Trees Proposed		<u>143</u>	(F)
Number of Replacement Trees in Deficit	(E-F)	<u>121</u>	(G)
Total Number of Protected and Replacement Trees on Site	(D+F)	<u>143</u>	(H)
Number of Lots Proposed in the Project			(I)
Average Number of Trees per Lot	(H / I)		

3. Tree Survey and Preservation / Replacement Plan

Tree Survey and Preservation / Replacement Plan is attached

This plan will be available before final adoption

Summary prepared and submitted by:



February 23, 2010

Arborist

Date

366

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 008-042-314

Lot "G" Except: Part Subdivided By Plan 35529, Section 9 Block 5 North Range 2 West New Westminster District Plan 5585

13111 King George Boulevard

Portion of Parcel Identifier: 017-241-553

Lot "A" (BE12939) Section 9 Block 5 North Range 2 West New Westminster District Plan 17410 as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule "A", certified correct by Gene Paul Nikula, B.C.L.S. on the 11th day of May 2010 containing 281 square metres, called Block B

Portion of 13140 - 131 Street

Portion of 131 Street as shown on Schedule "A" attached hereto containing 1,165 square metres, called Block A.

Portions of 113A Avenue as shown on Schedule "A" attached hereto containing 805 square metres called Block D, and containing 42 square metres, called Block E

(hereinafter referred to as the "Lands")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density, ground-oriented multiple unit residential buildings* and related *amenity spaces* which are to be developed in accordance with a *comprehensive design*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses, provided such combined uses are part of a *comprehensive design*:

1. *Ground-oriented multiple unit residential buildings.*
2. *Child care centres*, provided that such centres:
 - (a) Do not constitute a singular use on the *lot*; and
 - (b) Do not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The *floor area ratio* shall not exceed 0.96.
2. The maximum *unit density* shall not exceed 58 *dwelling units* per hectare [23 upa].
3. The indoor *amenity space* required in Sub-section J.1(b) of this Zone, is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

The *lot coverage* shall not exceed 37%.

F. **Yards and Setbacks**

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks* for the portions of the Lands shown on the Plan of Proposed Subdivision attached hereto and forming part of this By-law as Schedule "B", certified correct by Gene Paul Nikula, B.C.L.S. on the 12th day of May 2010:

- (a) North portion of the Lands shown on Schedule "B" containing 10,166 square metres:

<i>Setback</i>	<i>North Yard</i> (measured from 113A Avenue)	<i>South Yard</i> (measured from the northern boundary of the lane)	<i>East Yard</i> (measured from the western boundary of the lane)	<i>West Yard</i>
<i>Use</i>				
<i>Buildings and Structures</i>	4.4 m.* [14.4 ft.]	2.1 m.** [6.9 ft.]	1.2 m.*** [3.9 ft.]	4.4 m.*** [14.4 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- * Stairs and retaining walls may be sited a minimum 0.6 metre [2.0 ft.] from the north *lot line* (113A Avenue).
- ** *Structures* may be sited a minimum of 1.5 metres [4.9 ft.] from the lane.
- *** The second floor of the *principal building* nearest the lane, may be sited a minimum of 1.0 metre [3.3 ft.] from the lane.

- (a) South portion of the Lands shown on Schedule "B" containing 1,703 square metres:

<i>Setback</i>	<i>North Yard</i> (measured from the southern boundary of the lane)	<i>South Yard</i>	<i>East Yard</i>	<i>West Yard</i> (measured from the eastern boundary of the lane)
<i>Use</i>				
<i>Buildings and Structures</i>	1.2 m* [3.9 ft.]	7.0 m** [23.0 ft.]	5.0 m [16.4 ft.]	0.9 m*** [3.0 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- * The upper floors of the *principal buildings* may be sited a minimum of 0.5 metre [1.6 ft.] from the lane.
- ** Patio encroachments may be sited a minimum of 4.5 metres [14.8 ft.] from the south *lot line*.
- *** The second floor of the *principal building* nearest the lane may be sited a minimum of 0.5 metre [1.6 ft.] from the lane.

2. Notwithstanding Sub-section E.17.(b) of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended, stairs exceeding 3 risers may encroach within all *building setbacks*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings: The *building height* shall not exceed 13 metres [42 feet].
2. Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [15 feet].

H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided as stated in Table C.6, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.
3. Visitor parking within the required *setbacks* is permitted.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:

- (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*, of which a maximum of 1.5 square metres [16 sq.ft.] per *dwelling unit* may be devoted to a *child care centre*.
2. *Child care centres* shall be located on the *lot* such that these centres:
- (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
 - (b) Have direct access to an *open space* and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
8,180 sq. m. [2 acres]	132 metres [433 ft]	62 metres [203 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-30 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions, of Surrey Zoning By-law, 1993, No. 12000, as amended.

4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading, of Surrey Zoning By-law, 1993, No. 12000, as amended.
 5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
 6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
 7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
 8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2010, No. 17111, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-30 Zone.
 9. Surrey Tree Protection By-law, 2006, No. 16100, as amended.
 10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
 11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20__

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__

READ A THIRD TIME ON THE _____ th day of _____, 20__

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__

MAYOR

CLERK

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
BYLAW NO. _____ OVER PART OF LOT "A" (BE12939)
PLAN 17410, LOT "G" EXCEPT: PART SUBDIVIDED
BY PLAN 35529, PLAN 5585, AND ROADS SHOWN ON
PLAN 480 ALL OF SECTION 9 BLOCK 5 NORTH
RANGE 2 WEST NEW WESTMINSTER DISTRICT**

FOR THE PURPOSE OF REZONING

BCGS 92G.026

CITY OF SURREY

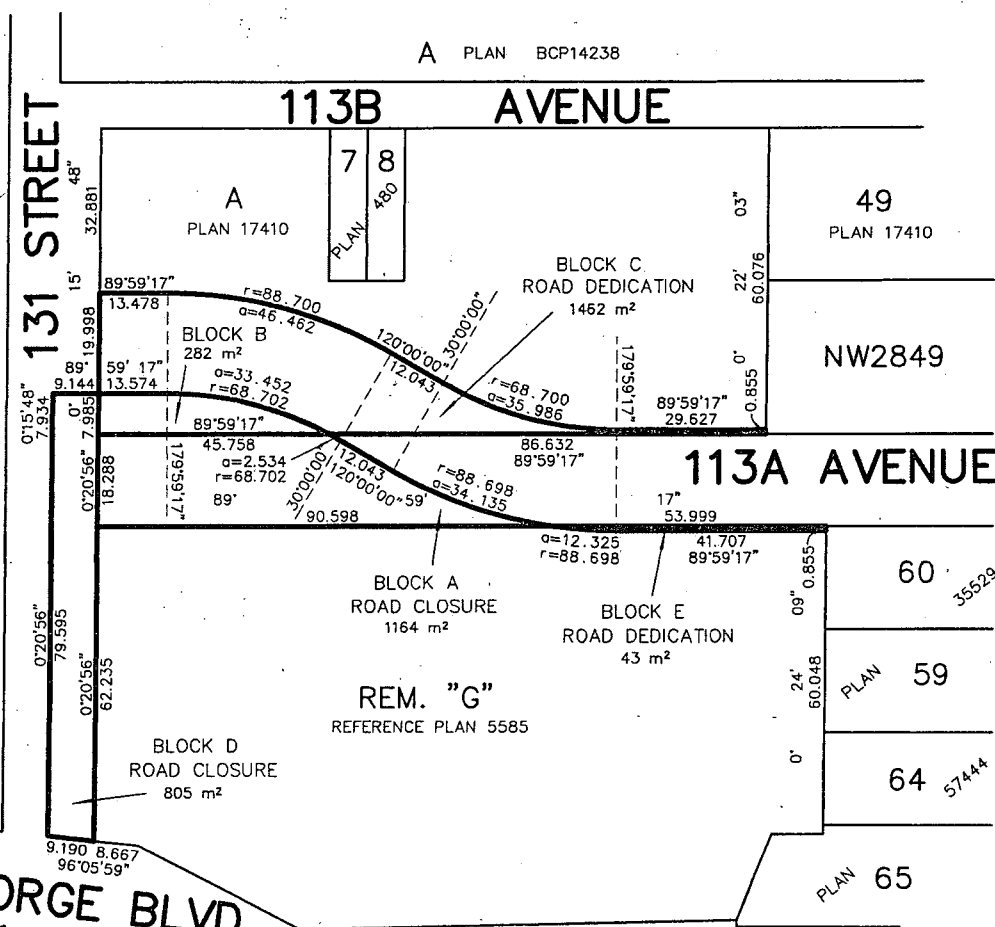
LEGEND

SCALE 1:1500



REM.
"D"

PLAN 4996



KING GEORGE BLVD.

Certified correct according to field survey.
This 12th day of May 2015

GENE PAUL
BRITISH COLUMBIA
SEAL
LAND SURVEYOR
REG. NO. 803
GENE PAUL REG. NO. 803 B.C.L.S. 803

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DHALIWAL AND ASSOCIATES

LAND SURVEYING INC.

121-13140 80th Avenue

Surrey, B.C. V3W 3B2

Phone: 604 501-6188

Fax: 604 501-6189

File: 0506004-Z03.DWG

BOOK OF REFERENCE

ZONE	LEGAL DESCRIPTION	AREA
BLOCK A	PART OF ROAD SHOWN ON PLAN 480 SECTION 9 B5N R2W N.W.D.	1164 m ²
BLOCK B	PART LOT "A" (BE12939) SECTION 9 B5N R2W N.W.D. PLAN 17410	282 m ²
BLOCK C	PART LOT "A" (BE12939) SECTION 9 B5N R2W N.W.D. PLAN 17410	1462 m ²
BLOCK D	PART OF ROAD SHOWN ON PLAN 480 SECTION 9 B5N R2W N.W.D.	805 m ²
BLOCK E	LOT "G" EXCEPT PART SUBDIVIDED BY PLAN 35529, B5N R2W N.W.D. PLAN 5585	43 m ²

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT