

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7917-0155-00

Planning Report Date: June 13, 2022

PROPOSAL:

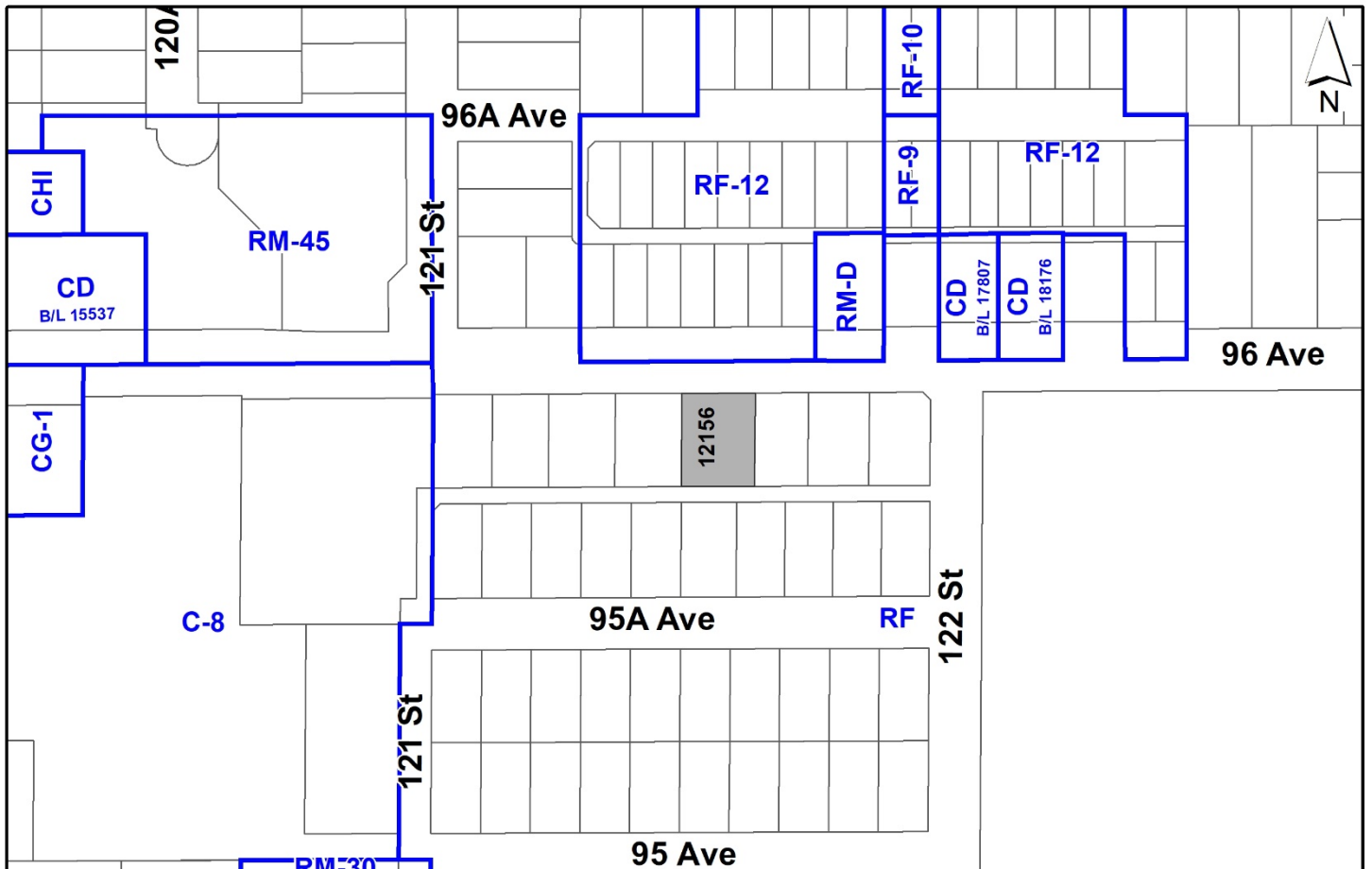
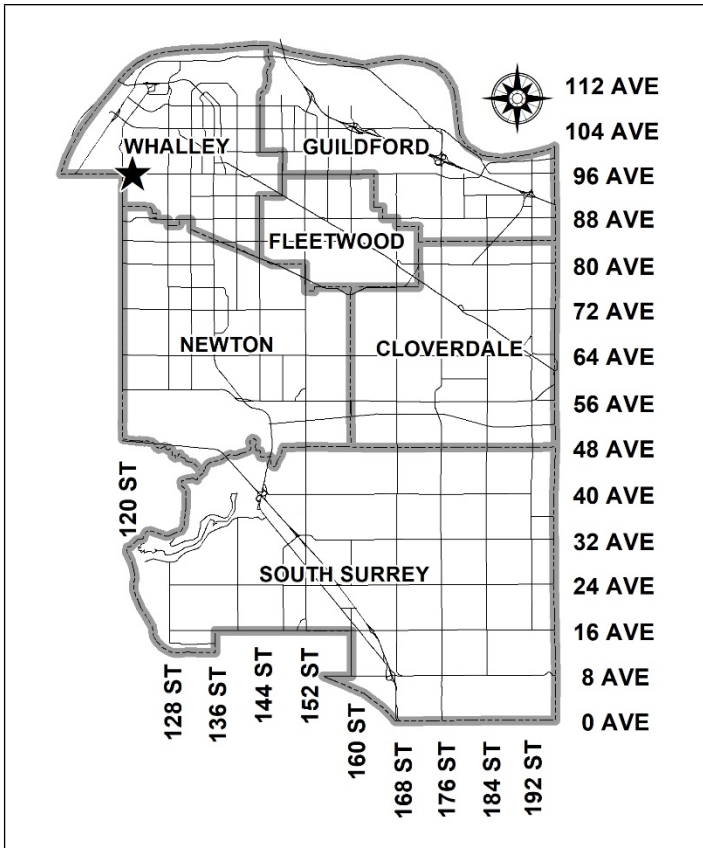
- **Rezoning** from RF to RM-23
- **Development Permit**
- **Development Variance Permit**

to permit the development of 4 row house units.

LOCATION: 12156 - 96 Avenue

ZONING: RF

OCP DESIGNATION: Multiple Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning;
- Approval to draft Development Permit for Form and Character; and
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary the Zoning By-law to increase the maximum number of risers permitted within the front yard setback area from 3 to 4 for Lots 1 to 4.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Whalley.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed development is in close proximity to a Frequent Transit Corridor along 120 Street (Scott Road) and conforms to the goal of achieving higher density development near a transit corridor.
- The proposed setbacks achieve a more urban, pedestrian streetscape in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed variance to the RM-23 lots to allow 4 risers instead of 3 in the front yard setback area is considered minor and is the result of the road dedication requirements along 96 Avenue (which shorten the distance to the front property line) as well as the minor slopes along the front of the subject site.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential 23 Zone (RM-23)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7917-0155-00 generally in accordance with the attached drawings (Appendix I).
3. Council approve Development Variance Permit No. 7917-0155-00 (Appendix V) varying the Zoning By-law to increase the maximum number of risers permitted within the front yard setback area from 3 to 4 for Lots 1 to 4, to proceed to Public Notification.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) submission of an acoustical report for the units adjacent to 96 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
 - (i) registration of a Section 219 Restrictive Covenant on Lots 1 - 4 for structural independence, a "no build" until approval /certification of plans in accordance with Building Code, maintenance, and use of a party wall, and for exterior finishes and drainage.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Single family dwelling	Multiple Residential	RF
North (Across 96 Avenue):	Small single family dwellings	Urban	RF-12
East:	Single family dwelling	Multiple Residential	RF
South:	Single family dwellings	Multiple Residential	RF
West:	Single family dwelling under Development Application No. 7917-0154-00 for row housing (pre-Council)	Multiple Residential	RF

Context & Background

- The subject site is located at 12156 – 96 Avenue in Whalley. A portion of the subject site along the western property line is to be subdivided and incorporated into the adjacent development site at 12140 – 96 Avenue under Development Application 7917-0154-00 that is also proposing 4 row housing units and is proceeding concurrently with the subject application. The remainder of the site (approximately 0.089 hectares) is proposed to be redeveloped for 4 row housing units.
- The subject site is designated "Multiple Residential" in the Official Community Plan (OCP) and is currently zoned "Single Family Residential Zone (RF)".
- There is an existing single family dwelling on the site that will be demolished as part of the development.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential 23 Zone (RM-23)" to allow subdivision into four (4) row housing lots. A Development Permit for Form and Character is also proposed for the row housing units.
- The applicant is proposing one row housing building that will contain four (4) row housing units, with each unit on a separate lot. Each individual row house is three storeys.
- The proposed development is adjacent to Development Application No. 7917-0154-00 on 12140 – 96 Avenue, with 56.7 square metres of the subject site at 12156 – 96 Avenue to be consolidated with the lot to the west for a similar proposal. Both applications will be developed simultaneously by the property owners.

- The proposed RM-23 lots are 7.2 metres in width for the end lots and 6.3 metres in width for the internal lots. The RM-23 lots vary in area from 208 square metres to 237 square metres which meet the minimum dimensions for the RM-23 Zone. The RM-23 lots will be accessed via a rear lane.
- The form, character and density of the proposed development complies with the OCP designation of Multiple Residential. The proposed row houses, although on fee-simple lots, are multi-family in character, as each building contains four separate dwelling units, separated by party walls which correspond to the property lines between each individual parcel.
- The RM-23 units require party wall agreements between owners, as units share common walls along their common property line. A party wall agreement for shared maintenance, along with a Section 219 Restrictive Covenant, will be required to be registered on title for each lot.
- Proposed Lots 1 to 4 will require a variance to the Zoning Bylaw to increase the maximum number of risers permitted within the front yard setback area from 3 to 4. This variance is the result of the road dedication requirements along 96 avenue (which shorten the distance to the front property line) as well as the minor slopes along the front of the subject site. Staff consider the proposed variance to be minor.
- The proposal complies with all other zoning provision in the Zoning Bylaw and the RM-23 Zone.
- The proposed development will allow for a similar lot pattern for the rest of the block to be achieved through future rezoning and subdivision applications for row housing units.
- The following table provides development details for the proposal:

	Proposed
Lot Area	
Gross Site Area:	0.097 hectares
Road Dedication:	0.008 hectares
Net Site Area:	0.089 hectares
Number of Lots:	4
Building Height:	9.2 metres
Unit Density:	45 UPH
Floor Area Ratio (FAR):	0.65 FAR

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District has advised that there will be approximately 5 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

2 Elementary students at Kirkbride Elementary School
1 Secondary students at L.A. Matheson Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by June 2024.

Transportation Considerations

- The application will provide approximately 79.6 square metres of road dedication.
 - 3.0 metres of dedication is required for 96 Avenue for an ultimate road dedication of 30 metres.
- Proposed Lot 1 to 4 will be oriented towards 96 Avenue. Driveway access from 96 Avenue is not permitted as it is an arterial road. Each RM-23 unit will have pedestrian access from the street (96 Avenue) and vehicular access via the existing rear lane.
- The subject site is about 38 metres away to bus service along 96 Avenue. These routes include bus routes 316 and 329 to Surrey Central Station / Scottsdale Station and bus route 314 to Surrey Central Station / Sunbury Station.
- The subject site is also about 310 metres away to bus service along 120 Street (Scott Road). These routes include bus route 319 to Scott Road Station / Newton Exchange, bus route 312 and 391 to Scott Road Station / Scottsdale Exchange and bus route 329 to Surrey Central / Scottsdale Exchange.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated as "General Urban" in the Metro Vancouver Regional Growth Strategy (RGS). The "General Urban" designation is intended for residential neighbourhoods and centres. The proposed row housing units/lots comply with this designation.

Official Community Plan

Land Use Designation

- The proposal complies with the "Multiple Residential" designation of the Official Community Plan (OCP), which is intended to support medium to high density residential neighbourhoods. This designation allows up to 1.5 FAR in areas outside of urban centres. The proposed development complies with allowable FAR in the designation.
- The proposal is also consistent with the following OCP Themes/Policies:

Themes/Policies

- Theme A1: Growth Priorities
 - A.1.3: Accommodate urban land development according to the following order of growth management:
 - A.1.3b: Vacant or under-developed commercial, mixed-use and multi-family locations in existing urban areas, particularly along transit corridors and areas well-served by existing community amenities and infrastructure
 - A.1.3c: Serviced infill areas and redevelopment sites in appropriate locations within existing residential neighbourhoods, when developed compatible with existing neighbourhood character.
 - The proposed development will support growth by increasing density in an existing neighbourhood. The proposed development will allow for a similar lot pattern for the rest of the block to be achieved through future rezoning and subdivision applications for row housing units. The Development Permit for Form & Character will include thoughtful design measures to ensure any future development will be compatible with the character of the proposed development.
- Theme A2: Accommodating Higher Density
 - A.2.1: Direct residential and mixed-use development into Surrey's City Centre, Town Centres, Urban Centres, Skytrain Corridor Planning Areas along Frequent Transit Corridors and in approved Secondary Plan areas, at densities sufficient to encourage commercial development and transit service expansion.
 - A.2.6: Support the redevelopment of Frequent Transit Corridors that fall outside of Town Centres to a higher-density; concentrate these developments within Frequent Transit Development Areas (FTDA), Skytrain Corridor Planning Areas and within 400 metres of existing or planned Rapid Transit stops.
 - The proposed development is in close proximity to a Frequent Transit Corridor along 120 Street (Scott Road) that falls outside of a Town Centre. The proposed density conforms to the goal of achieving higher density development near a transit corridor that also has rapid bus stops.

- Theme B3: Transit Corridors
 - B.3.1: Support higher-density residential, commercial and mixed-use development in appropriate locations along existing and planned Frequent Transit Corridors and Skytrain Corridor Planning Areas outside of Surrey's Town Centres.
 - B.3.3: Support redevelopment opportunities for medium-density, street-oriented, mixed-use infill within identified Frequent Transit Development Areas, that is sensitive to the character of existing residential areas.
 - The proposed density conforms to the goal of achieving medium-density, street-oriented residential development, while maintaining the character of the existing residential area. The proposed development provides a density transition from the neighbouring detached single family residential area to the proposed medium-density rowhouses along an arterial road close to a Frequent Transit Corridor.

Zoning By-law

- The applicant proposes to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential 23 Zone (RM-23)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Multiple Residential 23 Zone (RM-23)", streamside setbacks and parking requirements.

RM-23 Zone (Part 21A)	Permitted and/or Required	Proposed
Unit Density:	57 UPH	45 UPH
Floor Area Ratio:	1.5	0.65
Lot Coverage:	50% (Internal Lots) 60% (End Lots)	29% (Internal Lots) 29% (End Lots)
Yards and Setbacks		
North (front):	3.5 metres	3.5 metres
East (side):	1.2 metres	1.2 metres
South (rear):	12.5 metres	17.6 metres
West (side):	1.2 metres	1.2 metres
Height of Buildings		
Principal buildings:	9.5 metres	9.2 metres
Accessory buildings:	5 metres	5 metres
Parking (Part 5)	Required	Proposed
Number of Stalls	2 per lot	3 per lot

Setback Variance

- The applicant is requesting the following variances:
 - varying the Zoning By-law to increase the maximum number of risers permitted within the front yard setback area from 3 to 4 for Lots 1 to 4

- This variance is the result of the road dedication requirements along 96 Avenue as well as the minor slopes along the front of the subject site.
- The proposal complies with all other zoning provision in the Zoning Bylaw and the RM-23 Zone.
- Staff consider this to be a minor variance and support the requested variance to proceed for consideration.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. As this project is not within a Secondary Plan area, the current rate is \$4,000 per new unit.
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the densities in the OCP designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- As the subject application was instream on April 10, 2018, the contribution does not apply.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on July 16, 2019, and May 16, 2022, and the Development Proposal Signs were installed on July 17, 2019. Staff received no responses from neighbouring property owners to date.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.

- All four proposed RM-23 units will be three-storeys in height.
- The proposed row house units have been specifically designed to interface well with 96 Avenue and to provide an attractive interface with the public realm. Each RM-23 unit will have pedestrian access from the street (64 Avenue) and vehicular access via an existing rear lane. In addition, the street-fronting units contain active living space on the ground floor, doors facing the street and a walkway connecting each residence to the street.
- The buildings are designed to step with the grades of the site, which will help to break up the massing of the buildings. Articulation is provided along the elevations, and the roof line is broken up through stepping the buildings with the grade.
- Proposed cladding materials consist of horizontal hardie siding and hardie panel. Asphalt shingles are proposed as the roofing material. The proposed colour scheme will be finalized as part of the completion of the Development Permit.
- Landscaping around the row houses consists of a generous combination of trees and shrubs in both coniferous and deciduous varieties. Landscaping along the front yards is proposed to provide buffering from 96 Avenue.

TREES

- Mike Fadum, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees			
Pacific Dogwood	1	1	0
Purple Leaf Plum	1	1	0
Coniferous Trees			
Falsecypress	1	1	0
Zebra Red Cedar	2	2	0
Total	5	5	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		8	
Total Retained and Replacement Trees		8	
Contribution to the Green City Program		\$800.00	

- The Arborist Assessment states that there are a total of 5 mature trees on the site. There are no Alder and Cottonwood trees on site. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 10 replacement trees on the site. Since only 8 replacement trees can be accommodated on the site, the deficit of 2 replacement trees will require a cash-in-lieu payment of \$800.00, representing \$400 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- For applications received prior to January 1, 2021, the cash in-lieu payment to the Green City Program is \$400 per tree; for applications received on January 1, 2021, or later, the cash-in-lieu payment increases to \$550 per tree.
- The new trees on the site will consist of a variety of trees including Japanese Maple, Bruns Serbian Spruce and Pink-flowered Japanese Snowball.
- In summary, a total of 8 trees are proposed to be retained or replaced on the site with a contribution of \$800.00 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Development Variance Permit No. 7917-0155-00

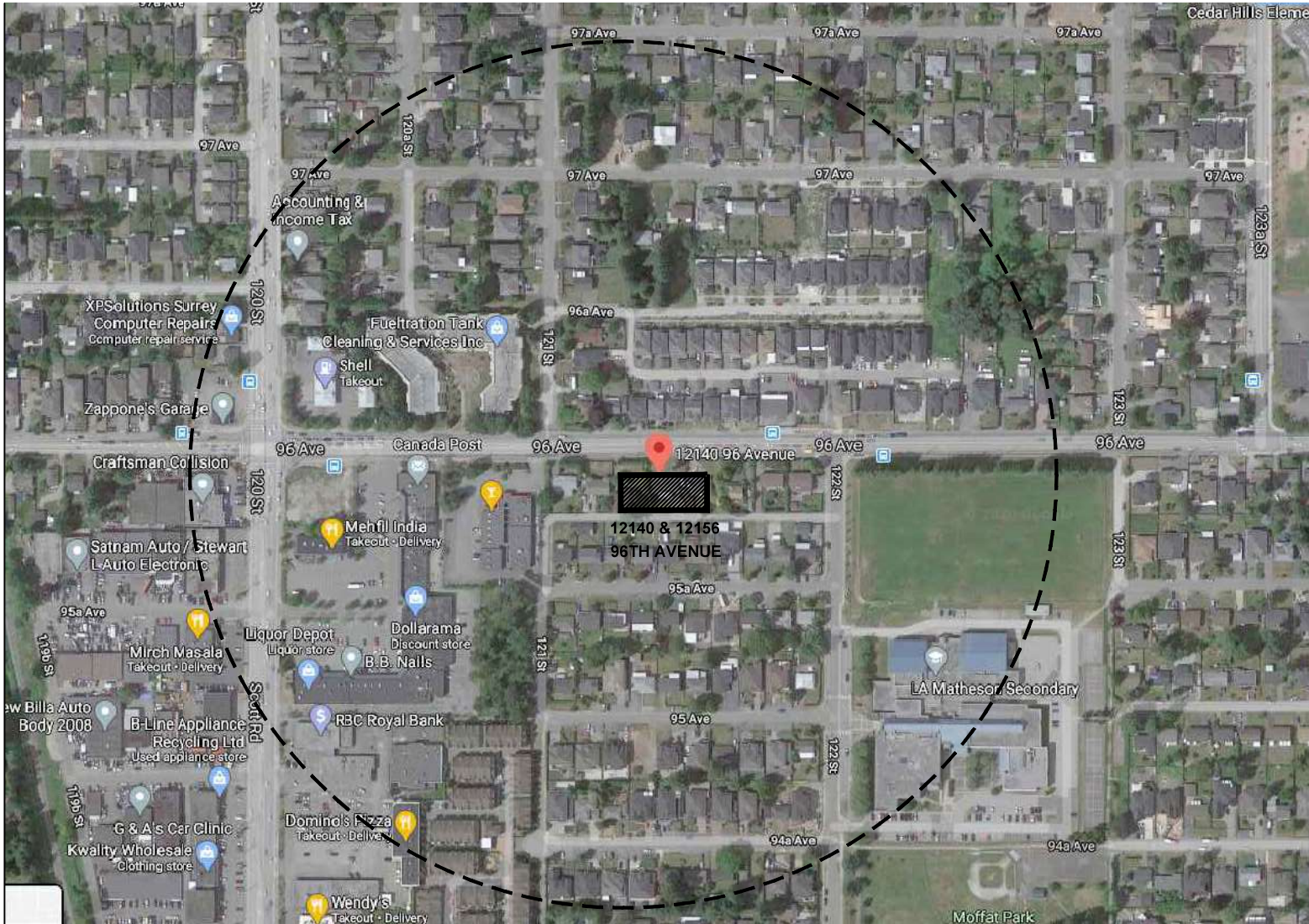
approved by Ron Gill

Jeff Arason
Acting General Manager
Planning and Development

SJ/cm



Applin & Martin Consultants Ltd.
 201 - 12448 96 Avenue, Surrey, B.C. V3W 3E9
 Tel: (604) 587-0958, Fax: (604) 587-0951
 Email: general@aplinmartin.com



TRUE NORTH
 PROJECT NORTH
 1/40.1 SCALE(S)
SITE CONTEXT PLAN



ARCHITECT
 ANDY IGEL, AIBC, AIA, MRAC, NCARB
 APLIN & MARTIN CONSULTANTS LTD.

REV	DATE	DESCRIPTION	DR	RV
5	APR/22	REVISION FOR DEVELOPMENT	CLMP	4
4	JAN/22	REVISION FOR DEVELOPMENT	CLMP	4
3	NOV/21	REVISION FOR DEVELOPMENT	CLMP	4
2	NOV/21	REVISION FOR DEVELOPMENT	CLMP	4
1	SEP/21	REVISION FOR DEVELOPMENT	CLMP	4

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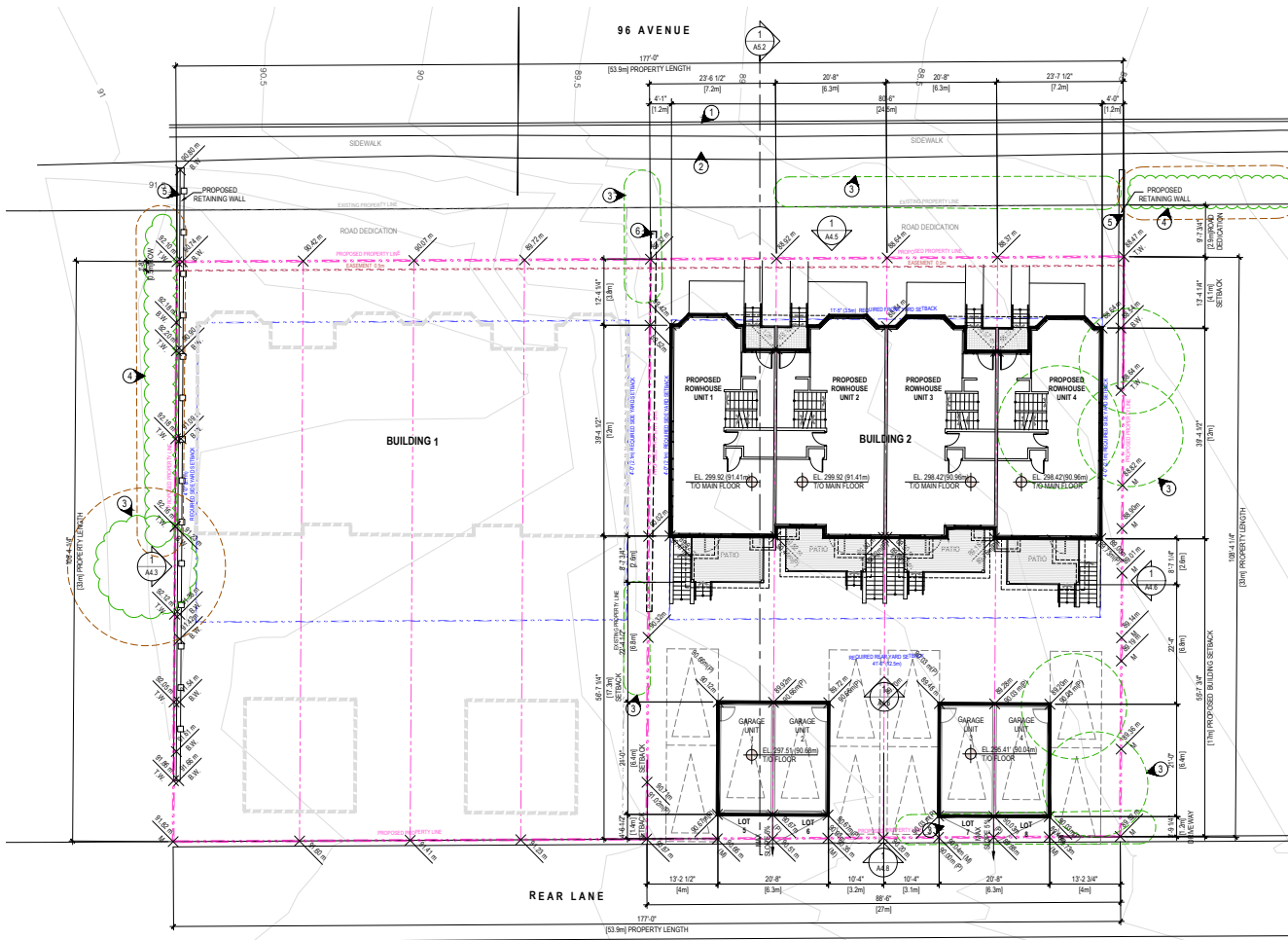
PROJECT: **ROWHOMES DEVELOPMENT**

12140 & 12156 96 AVENUE
 SURREY, BC

CONTEXT PLAN

SCALE	1/128"=1'-0"	DATE
A0.1		18-120

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SITE PLAN
SCALE: 3/32" = 1'-0"
PROJECT NORTH

LEGEND	
	PROPOSED PROPERTY LINE
	EXISTING / ADJACENT PROPERTY LINE
	BUILDING SETBACK (REQUIRED MINIMUM)
	RIGHT OF WAY
	6' WOODEN FENCE
	EXISTING SITE GRADES
	PROPOSED SITE GRADES
	MATCH EXISTING SITE GRADES

AREA CALCULATIONS						
BUILDING 2	LOT AREA	MAIN FLOOR	SECOND FLOOR	TOTAL AREA	GARAGES(NIC)	BAS. FLOOR(NIC)
LOT 5 / UNIT 1	2551 sf / 237 sm	761sf / 71 sm	794 sf / 74 sm	1555 sf / 144 sm	217 sf / 20 sm	743 sf / 69 sm
LOT 6 / UNIT 2	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm
LOT 7 / UNIT 3	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm
LOT 8 / UNIT 4	2560 sf / 238 sm	764 sf / 71 sm	797 sf / 74 sm	1561 sf / 145 sm	217 sf / 20 sm	746 sf / 69 sm

NOTES:

- 1 ROAD CURBS
- 2 SIDE WALK
- 3 EXISTING TREE / HEDGE TO BE REMOVED
- 4 EXISTING TREE / HEDGE TO REMAIN
- 5 PROPOSED CONCRETE RETAINING WALL. REFER TO CIVIL DRAWING
- 6 EXISTING CONCRETE RETAINING WALL TO BE REMOVED

PROPERTY INFORMATION

PROPERTY INFORMATION
ADDRESS: 12156 96 AVENUE, SURREY, BC
LEGAL DESCRIPTION: LOT A SECTION 31 TOWNSHIP 2 PLAN NWP18384 NWD
PID: 010-345-612

ZONING INFORMATION

EXISTING ZONING: RF - SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING: RM-23 MULTIPLE RESIDENTIAL
NCP DESIGNATION: N/A
OCP DESIGNATION: MULTIPLE RESIDENTIAL - 100%

SITE AREA:
GROSS SITE AREA: 9,590 sq.ft. / 891 sq.m. (0.48 ac / 0.19 ha)
NET SITE AREA: 3,533 sq.ft. / 812 sq.m. (0.20 ac / 0.08 ha)

BUILDING AREA:
BUILDING 1
BUILDING FOOTPRINT: 3,101 sq.ft. / 288 sq.m.
GROSS FLOOR AREA: 3,101 x 1, 176 = 6,278 sq.ft. / 583 sq.m.

DENSITY:
ALLOWABLE EFFICIENCY: 23.0 u.p.a. / 57.0 u.p.ha.
PROPOSED EFFICIENCY: 8.35 u.p.a. / 21.0 u.p.ha.

UNITS:
TOTAL # OF UNITS: 4 UNITS

LOT COVERAGE:
ALLOWABLE LOT COVERAGE: 30%
LOT 1 COVERAGE: 29%
LOT 1 COVERAGE: 29%
LOT 1 COVERAGE: 29%

YARDS & SETBACKS:	REQUIRED:	PROPOSED:
PRINCIPAL BUILDING: FRONT YARD (NORTH):	3.5m (11'-5")	3.8m (12'-4")
REAR YARD (SOUTH):	12.5m (41'-0")	17.3m (56'-7")
SIDE YARD (INTERNAL):	0.0m (0'-0")	1.2m (4'-0")
SIDE YARD (EXTERNAL):	1.2m (4'-0")	1.2m (4'-0")
ACCESSORY BUILDING: FRONT YARD (SOUTH):		3m (9'-9 1/2")
SIDE YARD (WEST EXTERNAL):		4.0m (13'-2")
SIDE YARD (EAST EXTERNAL):		4.0m (13'-3")

BUILDING HEIGHT:
MAXIMUM HEIGHT ALLOWED:
PRINCIPAL BUILDING: 31'-0" (9.5m)
ACCESSORY BUILDING: 16'-6" (5.0m)

PROPOSED BUILDING HEIGHT:
BUILDING 2 PRINCIPAL BUILDING: 30'-6" (9.3m)
ACCESSORY BUILDING: 13'-8" (4.2m)

ARCHITECT:
ANDY IGEI, AIBC, AIA, AIA, MRAC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

REV	DATE	DESCRIPTION	DR	RV
5	APR 11 22	REVISIONS FOR DEVELOPMENT PERM	ZDGL	VC
4	JAN 12 21	REVISIONS FOR DEVELOPMENT PERM	QL	AL
3	NOV 19 21	REVISIONS FOR DEVELOPMENT PERM	QL	AL
2	MAR 12 21	REVISIONS FOR DEVELOPMENT PERM	MLRS	AL
1	SEP 23 20	REVISIONS FOR DEVELOPMENT PERM	ZDGL	VC

PROJECT:
ROWHOMES DEVELOPMENT

12140 & 12156 96 AVENUE
SURREY, BC

SHEET TITLE:

**SITE PLAN -
BUILDING 2**

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PROPERTY INFORMATION

PROPERTY INFORMATION
ADDRESS: 12140 & 12156 96 AVENUE, SURREY, BC
LEGAL DESCRIPTION: LOT 12 SECTION 31 TOWNSHIP 2 PLAN NWP21427 NWD
LOT 4 SECTION 31 TOWNSHIP 2 PLAN NWP18384 NWD
PID: 010-443-584, 010-345-612

ZONING INFORMATION

EXISTING ZONING: RF - SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING: RM-23 MULTIPLE RESIDENTIAL
OCP DESIGNATION: N/A
NCP DESIGNATION: MULTIPLE RESIDENTIAL - 100%

SITE AREA:

GROSS SITE AREA: 20,884.75 sq.ft. / 1,940 sq.m. (0.48 ac / 0.19 ha)
NET SITE AREA: 8,740.59 sq.ft. / 812 sq.m. (0.20 ac / 0.08 ha)

BUILDING AREA:

BUILDING 1
BUILDING FOOTPRINT: 3,101 sq.ft. / 288 sq.m.
GROSS FLOOR AREA: 3,101+3, 178 = 6,279 sq.ft. / 583 sq.m.
BUILDING 2
BUILDING FOOTPRINT: 3,101 sq.ft. / 288 sq.m.
GROSS FLOOR AREA: 3,101+3, 178 = 6,279 sq.ft. / 583 sq.m.
TOTAL BUILDING FOOTPRINT: 6,202 sq.ft. / 576 sq.m.
TOTAL GROSS FLOOR AREA: 12,558 sq.ft. / 1,167 sq.m.

DENSITY:

ALLOWABLE EFFICIENCY: 23.0 u.p.a. / 57.0 u.p.ha.
PROPOSED EFFICIENCY: 16.7 u.p.a. / 42.0 u.p.ha.

UNITS:

TOTAL # OF UNITS: 8 UNITS (4 UNITS PER COMPLEX)

LOT COVERAGE:

ALLOWABLE LOT COVERAGE: 60%
PROPOSED LOT COVERAGE: 38%

YARDS & SETBACKS:

	REQUIRED:	PROPOSED:
PRINCIPAL BUILDING:		
FRONT YARD (NORTH):	3.5m (11'-5")	3.5m (11'-5")
REAR YARD (SOUTH):	12.5m (41'-0")	17.5m (57'-7")
SIDE YARD (INTERNAL):	0.0m (0'-0")	1.2m (4'-0")
SIDE YARD (EXTERNAL):	1.2m (4'-0")	1.2m (4'-0")
ACCESSORY BUILDING:		
FRONT YARD (SOUTH):		3m (9'-10")
SIDE YARD (WEST EXTERNAL):		4.1m (13'-5")
SIDE YARD (EAST EXTERNAL):		4.0m (13'-3")

BUILDING HEIGHT:

MAXIMUM HEIGHT ALLOWED:
PRINCIPAL BUILDING: 31'-0" (9.5m)
ACCESSORY BUILDING: 16'-6" (5.0m)

PROPOSED BUILDING HEIGHT:

BUILDING 1 PRINCIPAL BUILDING: 30'-0 1/2" (9.2m)
ACCESSORY BUILDING: 13'-7 3/4" (4.2m)
BUILDING 2 PRINCIPAL BUILDING: 30'-6" (9.3m)
ACCESSORY BUILDING: 13'-8" (4.2m)

ARCHITECT:
ANDY IGEI, AIBC, AIA, AIA, MRAC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

REV	DATE	DESCRIPTION	DR	RV
5	APR 11 22	REVISED FOR DEVELOPMENT PERM	ZDGL	AI
4	APR 11 22	REVISED FOR DEVELOPMENT PERM	QL	AI
3	NOV 15 21	REVISED FOR DEVELOPMENT PERM	QL	AI
2	MAR 22 21	REVISED FOR DEVELOPMENT PERM	MLRS	AI
1	SEP 28 20	REVISED FOR DEVELOPMENT PERM	ZDGL	VC

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PROJECT:

ROWHOMES DEVELOPMENT

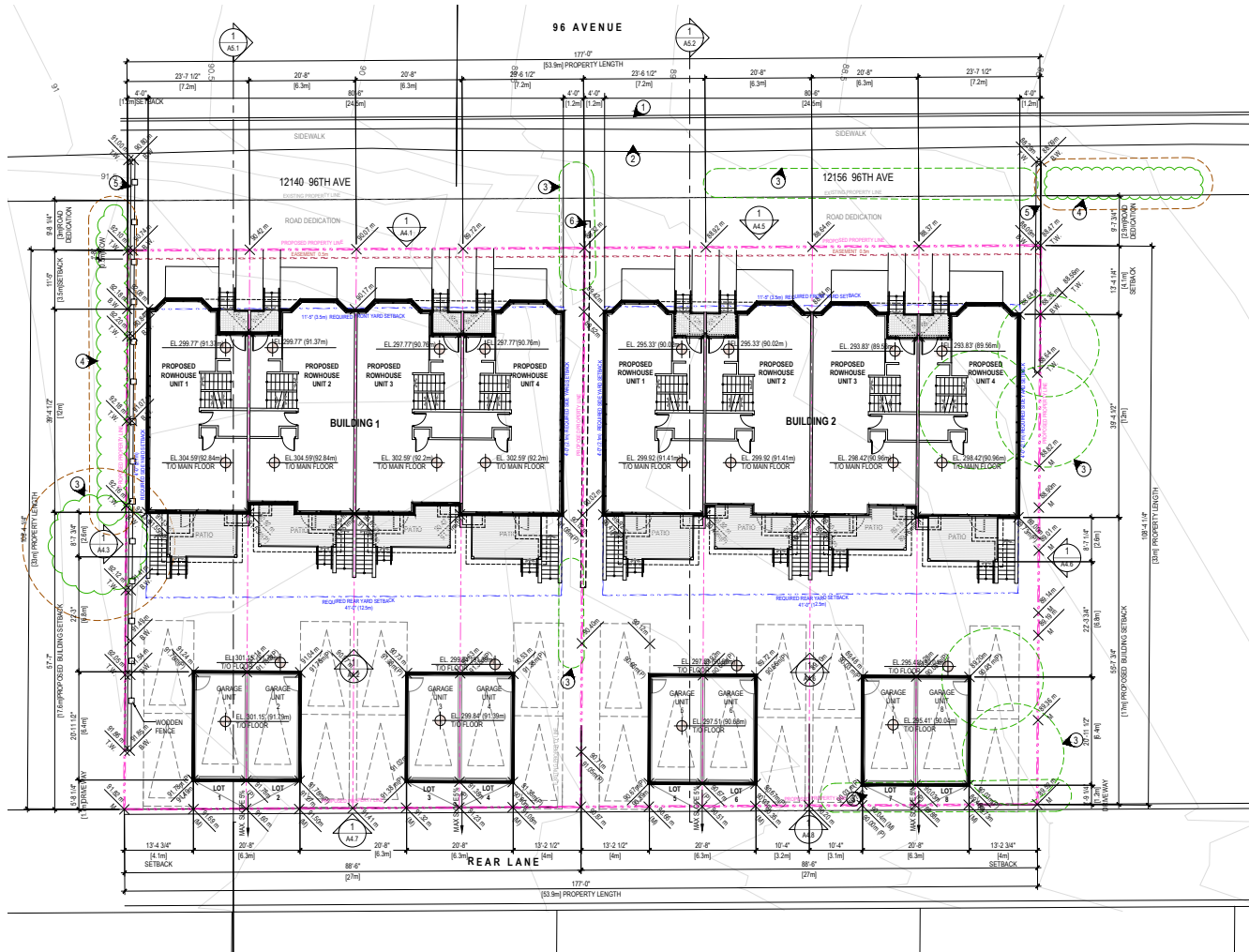
12140 & 12156 96 AVENUE
SURREY, BC

SHEET TITLE:

**OVERALL
SITE PLAN**

SCALE: 3/32" = 1'-0"

A1.2 18-120



1 SITE PLAN
SCALE: 3/32" = 1'-0"
TRUE NORTH
PROJECT NORTH

NOTES:

- 1 ROAD CURBS
- 2 SIDE WALK
- 3 EXISTING TREE / HEDGE TO BE REMOVED
- 4 EXISTING TREE / HEDGE TO REMAIN
- 5 PROPOSED CONCRETE RETAINING WALL. REFER TO CIVIL DRAWING
- 6 EXISTING CONCRETE RETAINING WALL TO BE REMOVED

LEGEND

- PROPOSED PROPERTY LINE
- EXISTING / ADJACENT PROPERTY LINE
- BUILDING SETBACK (REQUIRED MINIMUM)
- RIGHT OF WAY
- 6' WOODEN FENCE
- EXISTING SITE GRADES
- PROPOSED SITE GRADES
- MATCH EXISTING SITE GRADES

AREA CALCULATIONS

BUILDING 1	LOT AREA	MAIN FLOOR	SECOND FLOOR	TOTAL AREA	GARAGES(N/C)	BAS. FLOOR(N/C)
LOT 1 / UNIT 1	2559 sf / 238 sm	764 sf / 71 sm	797 sf / 74 sm	1561 sf / 145 sm	217 sf / 20 sm	746 sf / 69 sm
LOT 2 / UNIT 2	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm
LOT 3 / UNIT 3	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm
LOT 4 / UNIT 4	2551 sf / 237 sm	761 sf / 71 sm	794 sf / 74 sm	1555 sf / 144 sm	217 sf / 20 sm	743 sf / 69 sm

BUILDING 2	LOT AREA	MAIN FLOOR	SECOND FLOOR	TOTAL AREA	GARAGES(N/C)	BAS. FLOOR(N/C)
LOT 5 / UNIT 1	2551 sf / 237 sm	761 sf / 71 sm	794 sf / 74 sm	1555 sf / 144 sm	217 sf / 20 sm	743 sf / 69 sm
LOT 6 / UNIT 2	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm
LOT 7 / UNIT 3	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm
LOT 8 / UNIT 4	2560 sf / 238 sm	764 sf / 71 sm	797 sf / 74 sm	1561 sf / 145 sm	217 sf / 20 sm	746 sf / 69 sm



1 MAR. 21 @ 10 AM
A0.2 SCALE: 1/32"=1'-0"



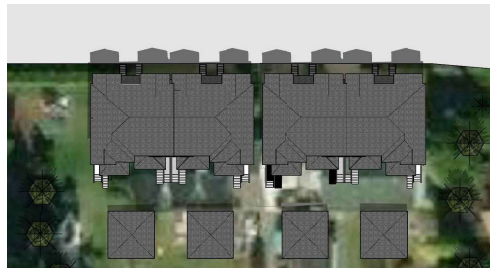
2 MAR. 21 @ 12 PM
A0.2 SCALE: 1/32"=1'-0"



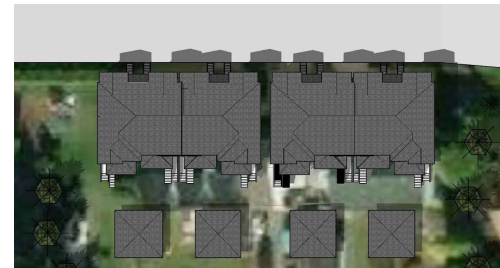
3 MAR. 21 @ 2 PM
A0.2 SCALE: 1/32"=1'-0"



4 JUN. 21 @ 10 AM
A0.2 SCALE: 1/32"=1'-0"



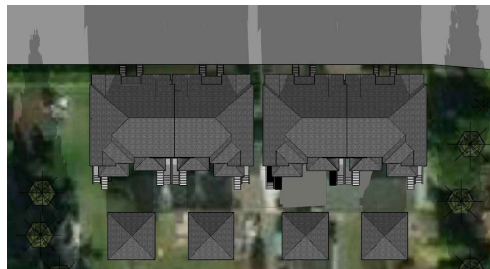
5 JUN. 21 @ 12 PM
A0.2 SCALE: 1/32"=1'-0"



6 JUN. 21 @ 2 PM
A0.5 SCALE: 1/32"=1'-0"



7 DEC. 21 @ 10 AM
A0.2 SCALE: 1/32"=1'-0"



8 DEC. 21 @ 12 PM
A0.2 SCALE: 1/32"=1'-0"



9 DEC. 21 @ 2 PM
A0.2 SCALE: 1/32"=1'-0"



ARCHITECT
ANDY IGEL, AIBC, AIA, AIA, MRAC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

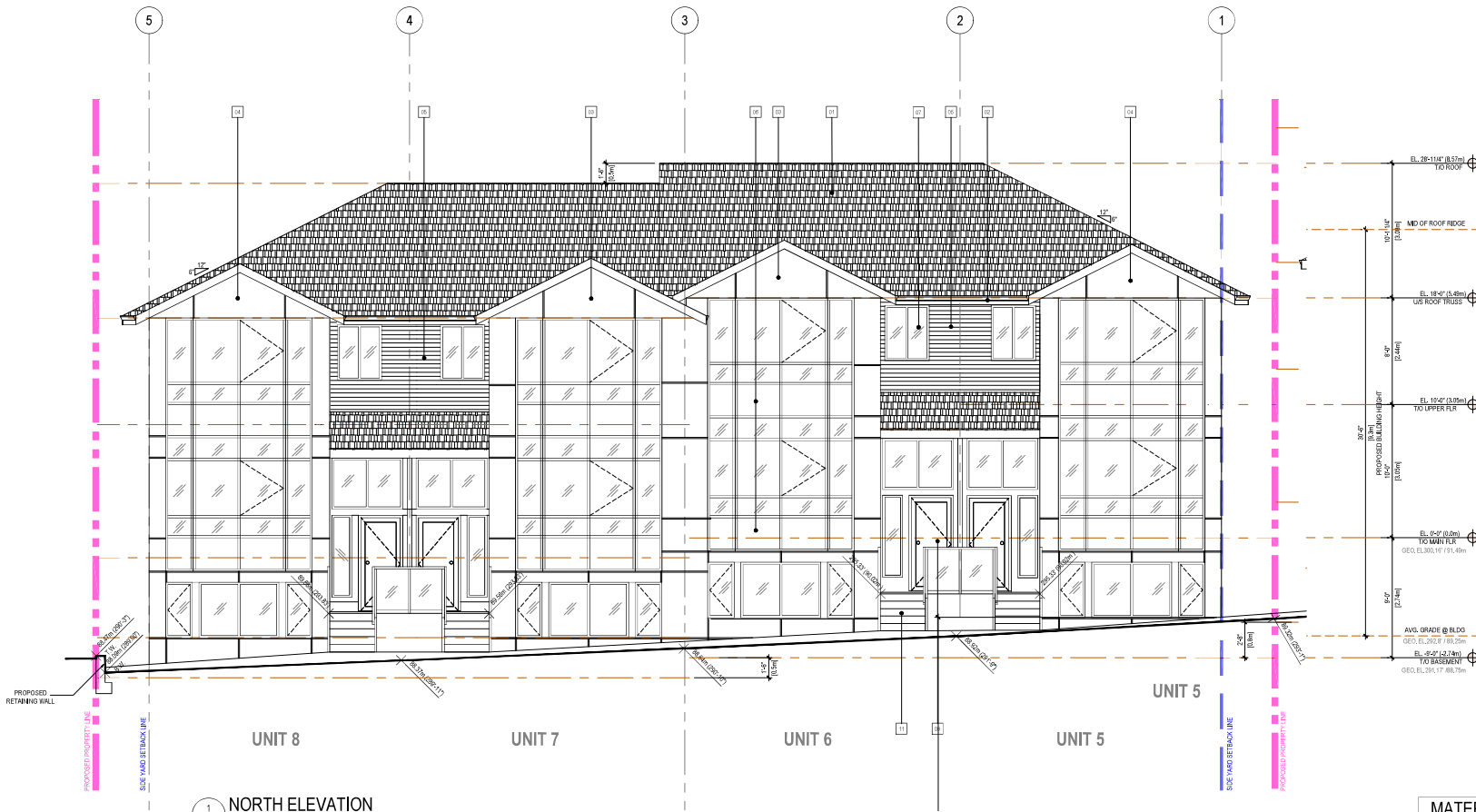
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2	APL1122	REVISION FOR DEVELOPMENT	KL	AI
1	APL1122	REVISION FOR DEVELOPMENT	KL	AI
REV	DATE	DESCRIPTION	DR	RV

PROJECT:
**ROWHOMES
DEVELOPMENT**

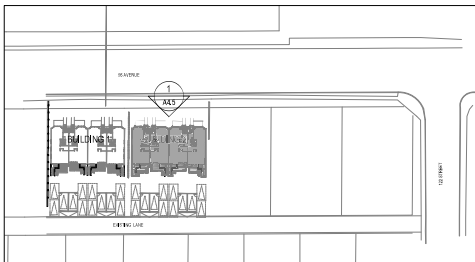
12140 & 12156 96 AVENUE
SURREY, BC

SHEET TITLE:
**SHADOW
STUDY**

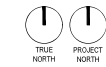
SCALE: 1/32"=1'-0"	REV: 00
A0.2	PROJECT NO.: 18-120



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SITE KEY PLAN
SCALE: 1/8" = 1'-0"



ARCHITECT
ANDY IGEL, AIA, AIA, MRAIC, NCAAR
APLIN & MARTIN CONSULTANTS LTD.

MATERIALS LEGEND

01	SHAKE PROFILE ASPHALT SHINGLES ROOF BLACK
02	HARDBE FASOMA BOARD WITH ROOF GUTTER BLACK
03	HARDBE PANEL BIRCHASHOT TAN 688
04	HARDBE PANEL BIRCHASHOT TRAIL 688
05	HARDBE PANEL BIRCHASHOT HIGHLANDS TAN 1139
06	SPANDREL PANEL SHAKINGO TRIDENT 1059
07	W/HL FRAMED WINDOW BLACK
08	SOLID WOOD ENTRY DOOR NATURAL STAIN
09	PANEL GARAGE DOOR WHITE
10	W/HL PA TO DOOR BLACK
11	COMPOSITE STAR NATURAL WOOD COLOR W/ CLEAR STAIN
12	COMPOSITE DECK NATURAL WOOD COLOR W/ CLEAR STAIN
13	CEDAR POST NATURAL STAIN
14	ALUMINUM RAILING BLACK

REV	DATE	DESCRIPTION	DR	RV
5	APR/22	REDESIGNED FOR DEVELOPMENT	CL	AI
4	JAN/22	REDESIGNED FOR DEVELOPMENT	CL	AI
3	NOV/21	REDESIGNED FOR DEVELOPMENT	CL	AI
2	MAY/21	REDESIGNED FOR DEVELOPMENT	AL	AI
1	SEP/20	REDESIGNED FOR DEVELOPMENT	CL	VC

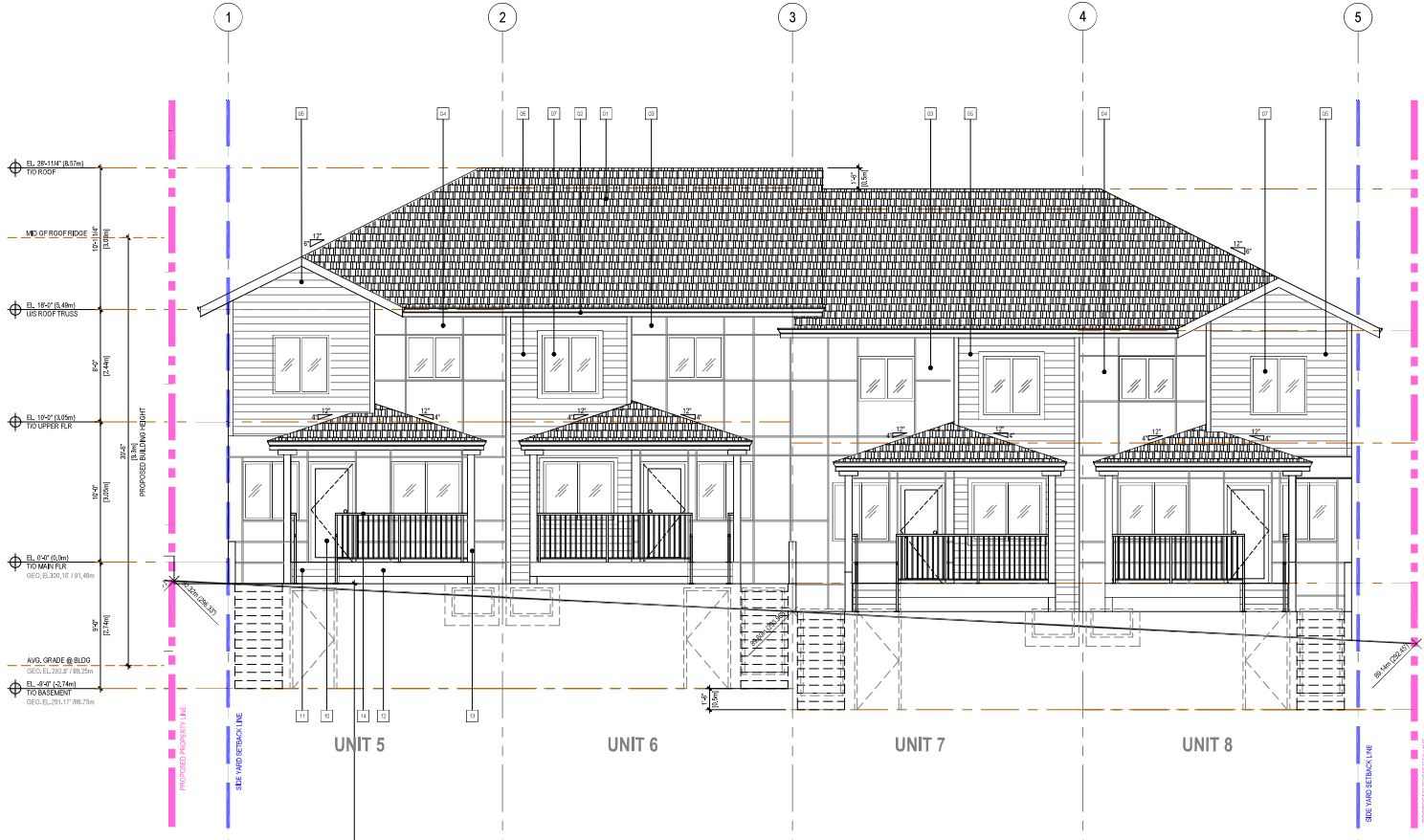
PROJECT
ROWHOMES DEVELOPMENT

12140 & 12156 96 AVENUE
SURREY, BC

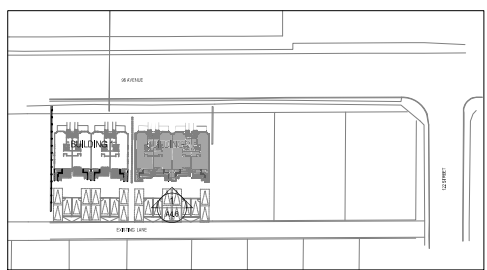
SHEET TITLE

NORTH ELEVATION (BUILDING 2)

SCALE	1/4" = 1'-0"	SHEET NO.	1
DRAWING NO.	A.4.5	PROJECT NO.	18-120



1 SOUTH ELEVATION
A4.6 SCALE: 1/8" = 1'-0"



2 SITE KEY PLAN
A4.6 SCALE: 1/8" = 1'-0"



ARCHITECT
ANDY IOEL, ABC, AAA, MA, MRAC, NCAAB
APLIN & MARTIN CONSULTANTS LTD.

MATERIALS LEGEND

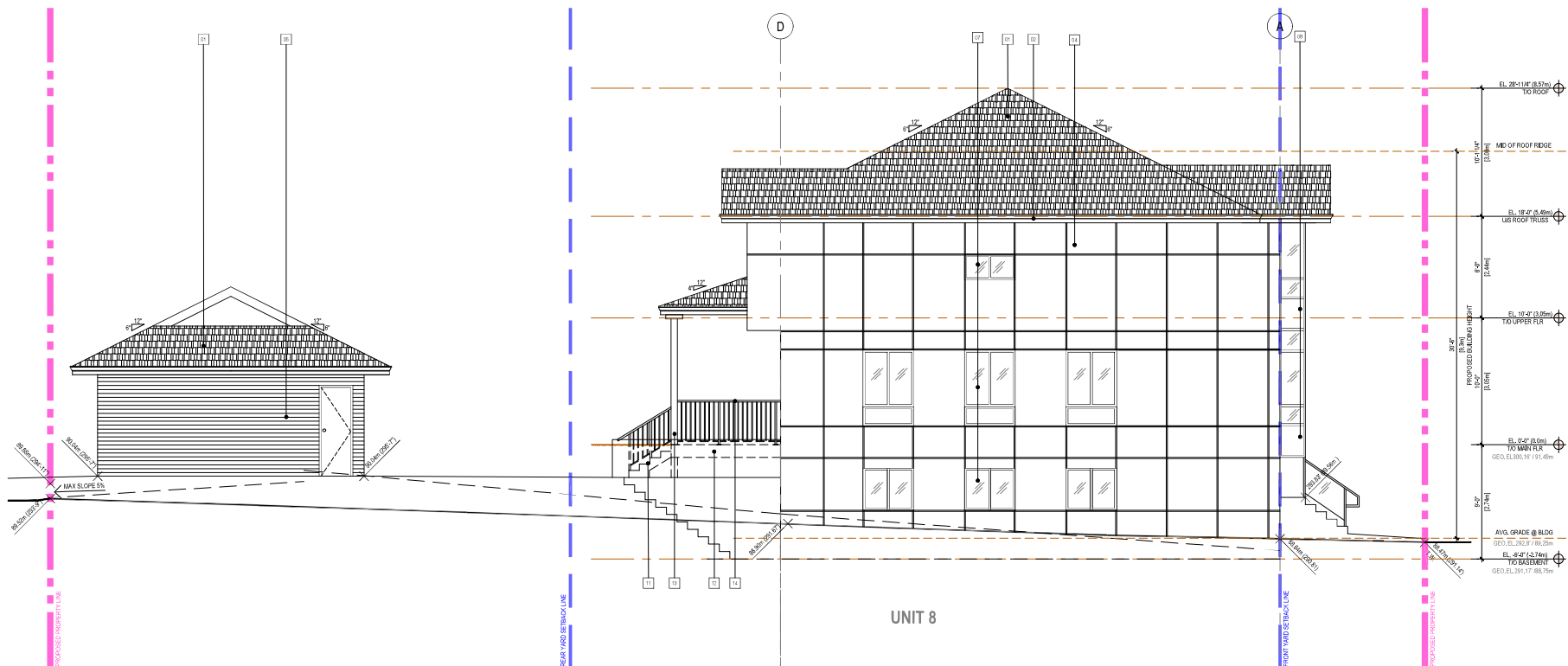
REV.	DATE	DESCRIPTION	DR	RV
01		SHAKE PROFILE ASPHALT SHINGLES ROOF BLACK		
02		HARDE FASQA BOARD WITH ROOF GUTTER BLACK		
03		HARDE PANEL BIRCHES TAN 698		
04		HARDE PANEL BIRCHESOT TRAIL 688		
05		HARDEONTAL HARDE SIDING BIG-HARBOR HIGHLANDS TAN 1139		
06		SPANDREL PANEL SHAKING TRIDENT 1059		
07		W/HL FRAMED WINDOW BLACK		
08		SOLID WOOD ENTRY DOOR NATURAL STAIN		
09		PANEL GARAGE DOOR WHITE		
10		W/HL PAIR DOOR BLACK		
11		COMPOSITE STAR NATURAL WOOD COLOR W/ CLEAR STAIN		
12		COMPOSITE DECK NATURAL WOOD COLOR W/ CLEAR STAIN		
13		CEDAR POST NATURAL STAIN		
14		ALUMINUM RAILING BLACK		

REV.	DATE	DESCRIPTION	DR	RV
1		REVISION FOR DEVELOPMENT	CL	AI
2		REVISION FOR DEVELOPMENT	ML	AI
3		REVISION FOR DEVELOPMENT	CL	AI
4		REVISION FOR DEVELOPMENT	CL	AI
5		REVISION FOR DEVELOPMENT	CL	AI

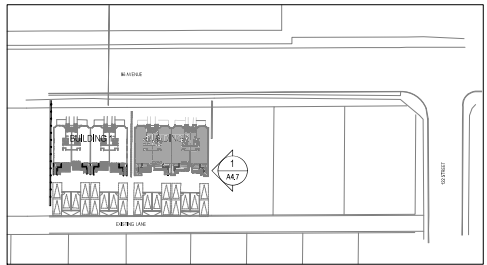
PROJECT: **ROWHOMES DEVELOPMENT**
12140 & 12156 96 AVENUE
SURREY, BC

SOUTH ELEVATION (BUILDING 2)

SCALE: 1/4" = 1'-0"	SHEET NO: 1
A4.6	PROJECT NO: 18-120



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SITE KEY PLAN
SCALE: 1/4" = 1'-0"



ARCHITECT
ANDY JOEL, ABC, AIA, AIA, MRAC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

MATERIALS LEGEND

- 01 SHAKE PROFILE ASPHALT SHINGLES ROOF
BLACK
- 02 HARDBOARD FASOM BOARD WITH ROOF GUTTER
BLACK
- 03 HARDBOARD PANEL
BIRCHWOOD TAN 688
- 04 HARDBOARD PANEL
BIRCHWOOD TRAIL 688
- 05 HORIZONTAL HARDBOARD SIDING
BIG-HARBOR HIGHLANDS TAN 1139
- 06 SPANDEL PANEL
SHAKESPEARE TRIDENT 1259
- 07 VINYL FRAMED WINDOW
BLACK
- 08 SOLID WOOD ENTRY DOOR
NATURAL STAIN
- 09 PANEL GARAGE DOOR
WHITE
- 10 VINYL PATIO DOOR
BLACK
- 11 COMPOSITE STAIR
NATURAL WOOD COLOR W/ CLEAR STAIN
- 12 COMPOSITE DECK
NATURAL WOOD COLOR W/ CLEAR STAIN
- 13 CEDAR POST
NATURAL STAIN
- 14 ALUMINUM RAILING
BLACK

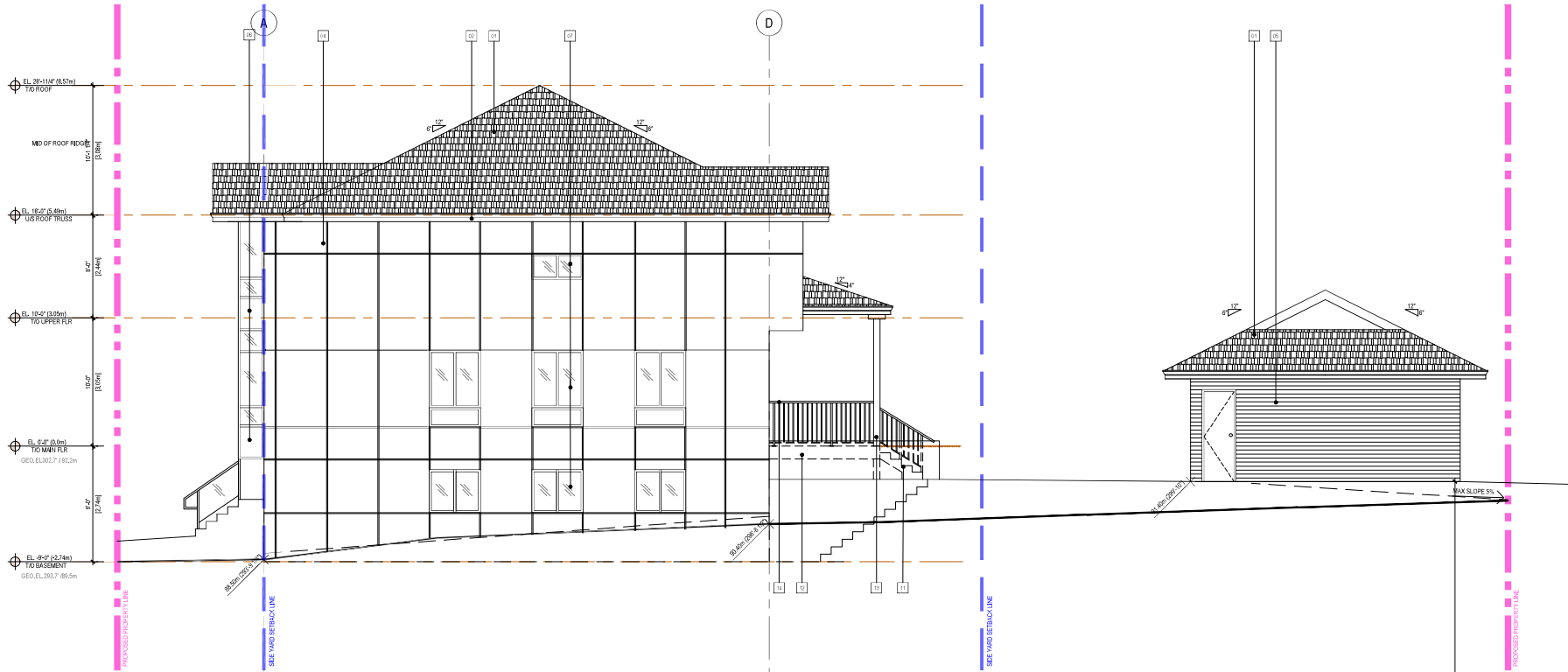
REV.	DATE	DESCRIPTION	DR	RV
1		REVISION FOR DEVELOPMENT	DR	VC
2		REVISION FOR DEVELOPMENT	ML	VC
3		REVISION FOR DEVELOPMENT	CL	VC
4		REVISION FOR DEVELOPMENT	CL	VC
5		REVISION FOR DEVELOPMENT	CL	VC

PROJECT:
ROWHOMES DEVELOPMENT

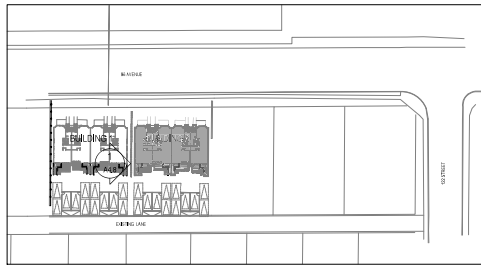
12140 & 12156 96 AVENUE
SURREY, BC

SHEET TITLE:
EAST ELEVATION (BUILDING 2)

SCALE: 1/4" = 1'-0"	SHEET NO: 1
DATE: 18-120	PROJECT NO: 18-120



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SITE KEY PLAN
SCALE: 1/4" = 1'-0"



ARCHITECT
ANDY IGEL, AIBC, AIA, M.A., M.R.A.C., N.C.A.R.B.
APLIN & MARTIN CONSULTANTS LTD.

REV.	DATE	DESCRIPTION	DR	RV
5	APR/22	REVISION FOR DEVELOPMENT	CI	AI
4	JAN/22	REVISION FOR DEVELOPMENT	CI	AI
3	NOV/21	REVISION FOR DEVELOPMENT	CI	AI
2	MAY/21	REVISION FOR DEVELOPMENT	ML	AI
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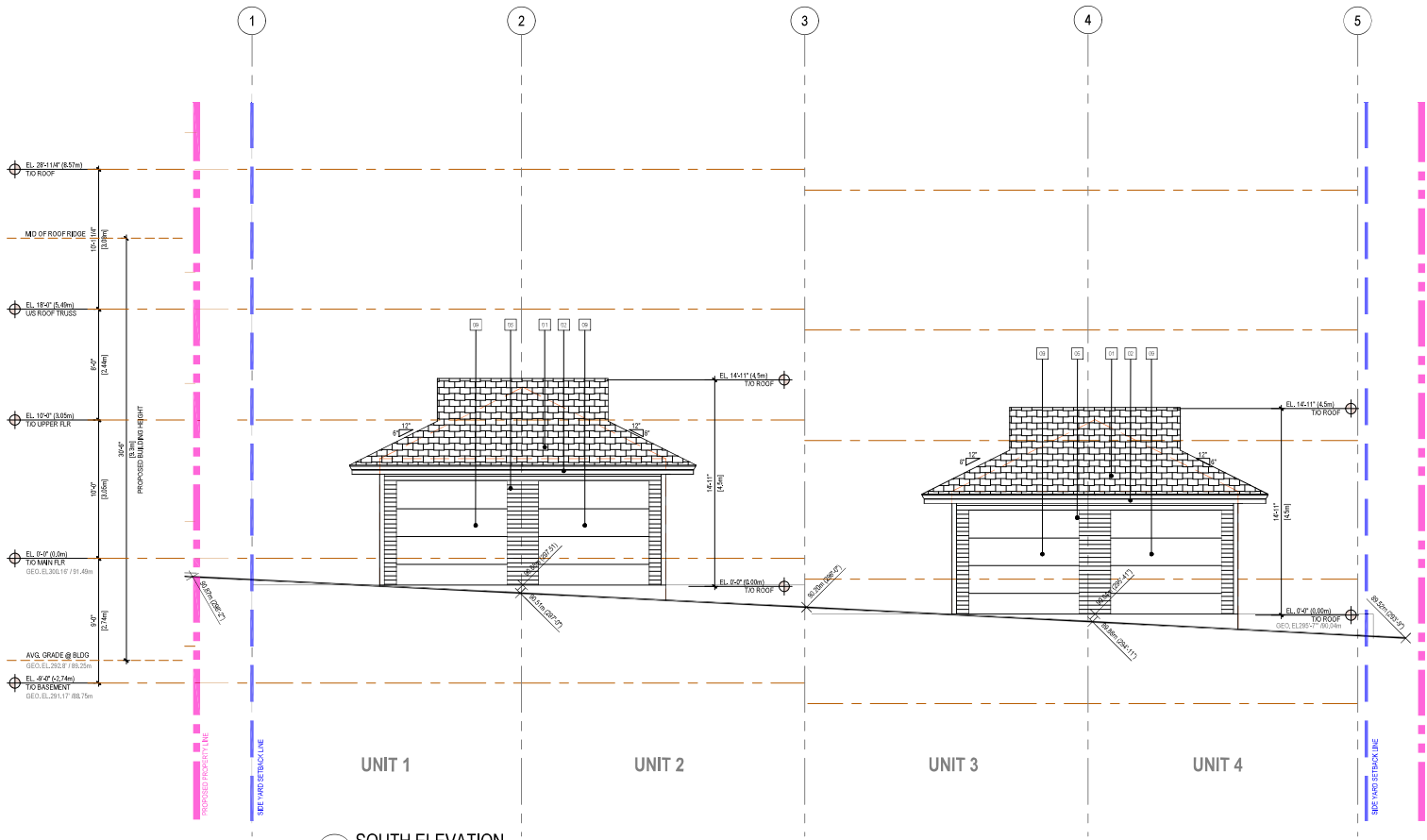
MATERIALS LEGEND

01	SHAKE PROFILE ASPHALT SHINGLES ROOF BLACK
02	HARDBE FASQA BOARD WITH ROOF GUTTER BLACK
03	HARDBE PANEL BLACKHART TAN 688
04	HARDBE PANEL BLACKHART TRAIL 688
05	HARDBE PANEL BIG-HARBOR HIGHLANDS TAN 1139
06	SPANDREL PANEL SHAKINGO TRIDHT 1059
07	W/FL FRAMED WINDOW BLACK
08	SOLID WOOD ENTRY DOOR NATURAL STAIN
09	PANEL GARAGE DOOR WHITE
10	W/FL PATIO DOOR BLACK
11	COMPOSITE STAIR NATURAL WOOD COLOR W/ CLEAR STAIN
12	COMPOSITE DECK NATURAL WOOD COLOR W/ CLEAR STAIN
13	CEDAR POST NATURAL STAIN
14	ALUMINUM RAILING BLACK

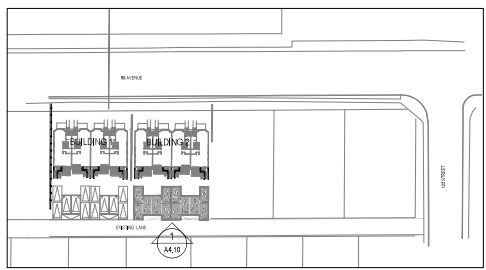
OWNER: ANDY IGEL ARCHITECTURE
PROJECT: ROWHOMES DEVELOPMENT
12140 & 12156 96 AVENUE
SURREY, BC

SHEET TITLE:
EAST ELEVATION (BUILDING 2)

SCALE	1/4" = 1'-0"	SHEET NO.	1
DRAWING NO.	PROJECT NO.		
A4.8	18-120		



1 SOUTH ELEVATION
A4.10 SCALE: 1/8\"/>



2 SITE KEY PLAN
A4.10 SCALE: 1/8\"/>



ARCHITECT
ANDY IGEL, AIA, MRAIC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

MATERIALS LEGEND

01	SHAKE PROFILE ASPHALT SHINGLES ROOF BLACK
02	HARDBE FASOM BOARD WITH ROOF GUTTER BLACK
03	HARDBE PANEL BICASBOT TAN 688
04	HARDBE PANEL BICASBOT TRAIL 688
05	HARDBENTRAL HARDBE SEEBIG BIC-HARBOR HIGHLANDS TAN 1139
06	SPANDREL PANEL SHARDING TRIDENT 1059
07	WHL FRAMED WINDOW BLACK
08	SOLID WOOD ENTRY DOOR NATURAL STAIN
09	PANEL GARAGE DOOR WHITE
10	WHL PAIRO DOOR BLACK
11	COMPOSITE STAR NATURAL WOOD COLOR W/ CLEAR STAIN
12	COMPOSITE DECK NATURAL WOOD COLOR W/ CLEAR STAIN
13	CEDAR POST NATURAL STAIN
14	ALUMINUM RAILING BLACK

REV	DATE	DESCRIPTION	DR	RV
5	APR/22	REDESIGNED FOR DEVELOPMENT	CIAM	AI
4	JAN/22	REDESIGNED FOR DEVELOPMENT	CIAM	AI
3	MAY/21	REDESIGNED FOR DEVELOPMENT	CIAM	AI
2	MAY/21	REDESIGNED FOR DEVELOPMENT	MLRS	AI
1	SEP/20	REDESIGNED FOR DEVELOPMENT	CIAM	VC

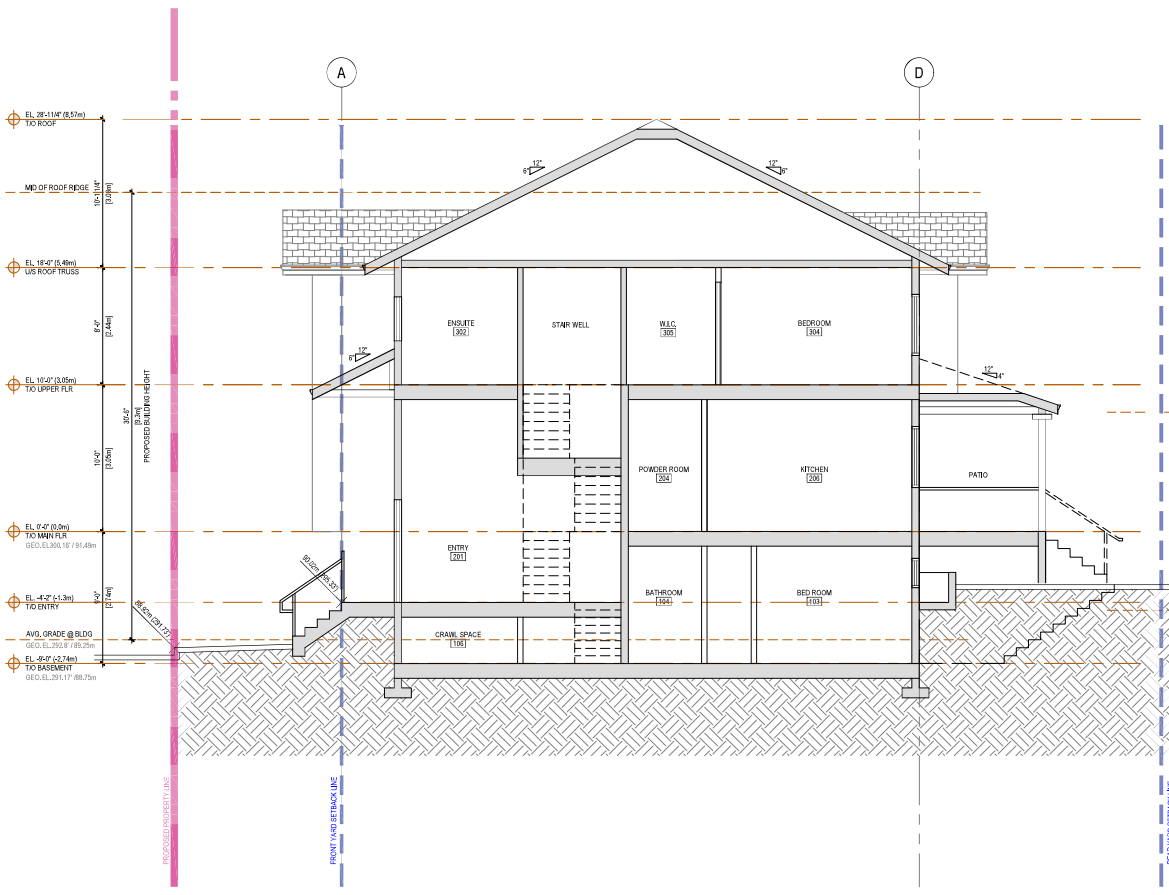
PROJECT
**ROWHOMES
DEVELOPMENT**

12140 & 12156 96 AVENUE
SURREY, BC

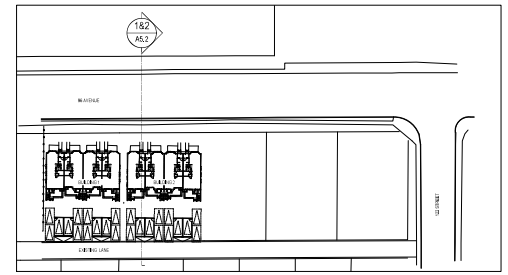
**GARAGE
SOUTH ELEVATION
(BUILDING 2)**

SCALE	1/4\"/>
DATE	18-120

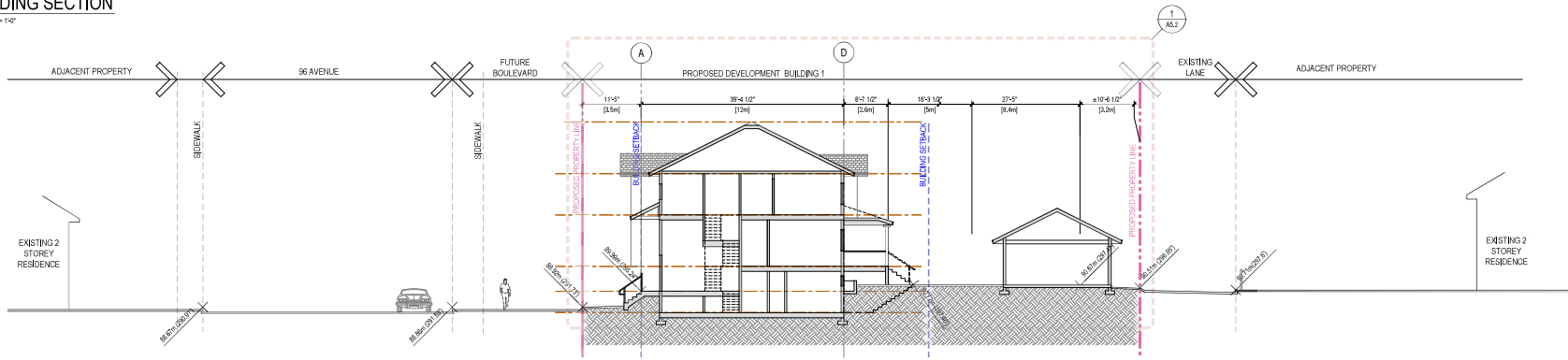
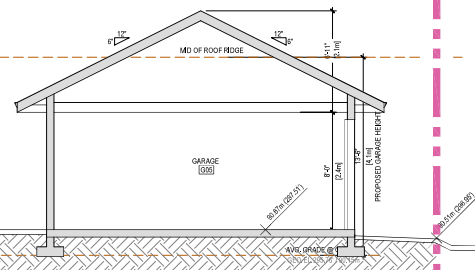
A4.10



1 BUILDING SECTION
A5.2 SCALE: 1/8" = 1'-0"



SITE KEY PLAN
SCALE: 1/8" = 1'-0"
TRUE NORTH PROJECT NORTH



2 SITE STREET SECTION
A5.2 SCALE: 3/32" = 1'-0"



ARCHITECT
ANDY IGEL, ABC, AAA, AIA, MRAC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

REV.	DATE	DESCRIPTION	DR	RV
1		REVISION FOR DEVELOPMENT	ALMS	VC
2		REVISION FOR DEVELOPMENT	ALMS	VC
3		REVISION FOR DEVELOPMENT	ALMS	VC
4		REVISION FOR DEVELOPMENT	ALMS	VC
5		REVISION FOR DEVELOPMENT	ALMS	VC

PROJECT
ROWHOMES DEVELOPMENT

12140 & 12156 96 AVENUE
SURREY, BC

SHEET TITLE
**BUILDING SECTION
BUILDING 2**

SCALE	DATE	PROJECT NO.
1/4" = 1'-0"	1	18-120

A5.2



1 **PERSPECTIVE - NORTH-EAST VIEW**
A9.1 SCALE: NTS



2 **PERSPECTIVE - NORTH VIEW**
A9.1 SCALE: NTS



3 **PERSPECTIVE - NORTH-WEST VIEW**
A9.1 SCALE: NTS



ARCHITECT
ANDY IGEL, AIBC, AIA, MRAC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

5	2023-11-20	REVISED FOR DEVELOPMENT	COMP	AI
4	2023-11-20	REVISED FOR DEVELOPMENT	COMP	AI
3	2023-11-20	REVISED FOR DEVELOPMENT	COMP	AI
2	2023-11-20	REVISED FOR DEVELOPMENT	RLRS	AI
1	2023-11-20	REAR DEVELOPMENT FORM	CL	VC

REV	DATE	DESCRIPTION	DR	RV
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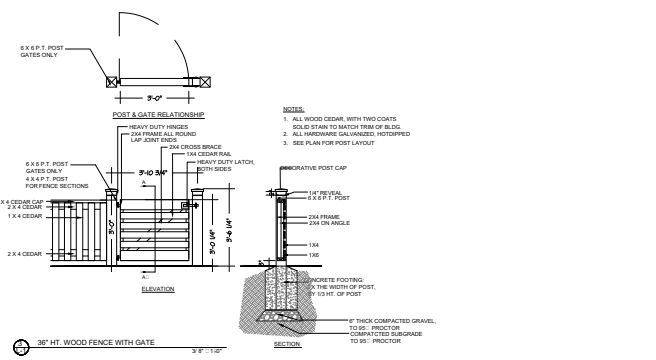
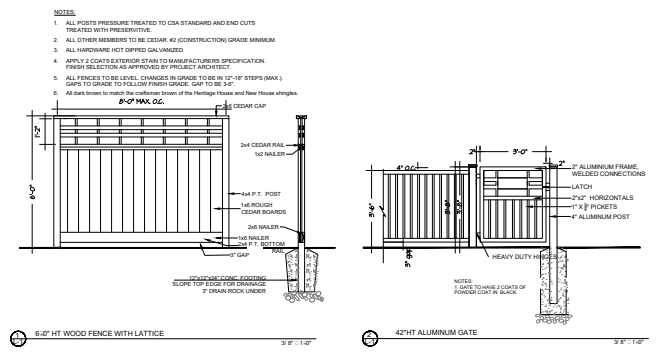
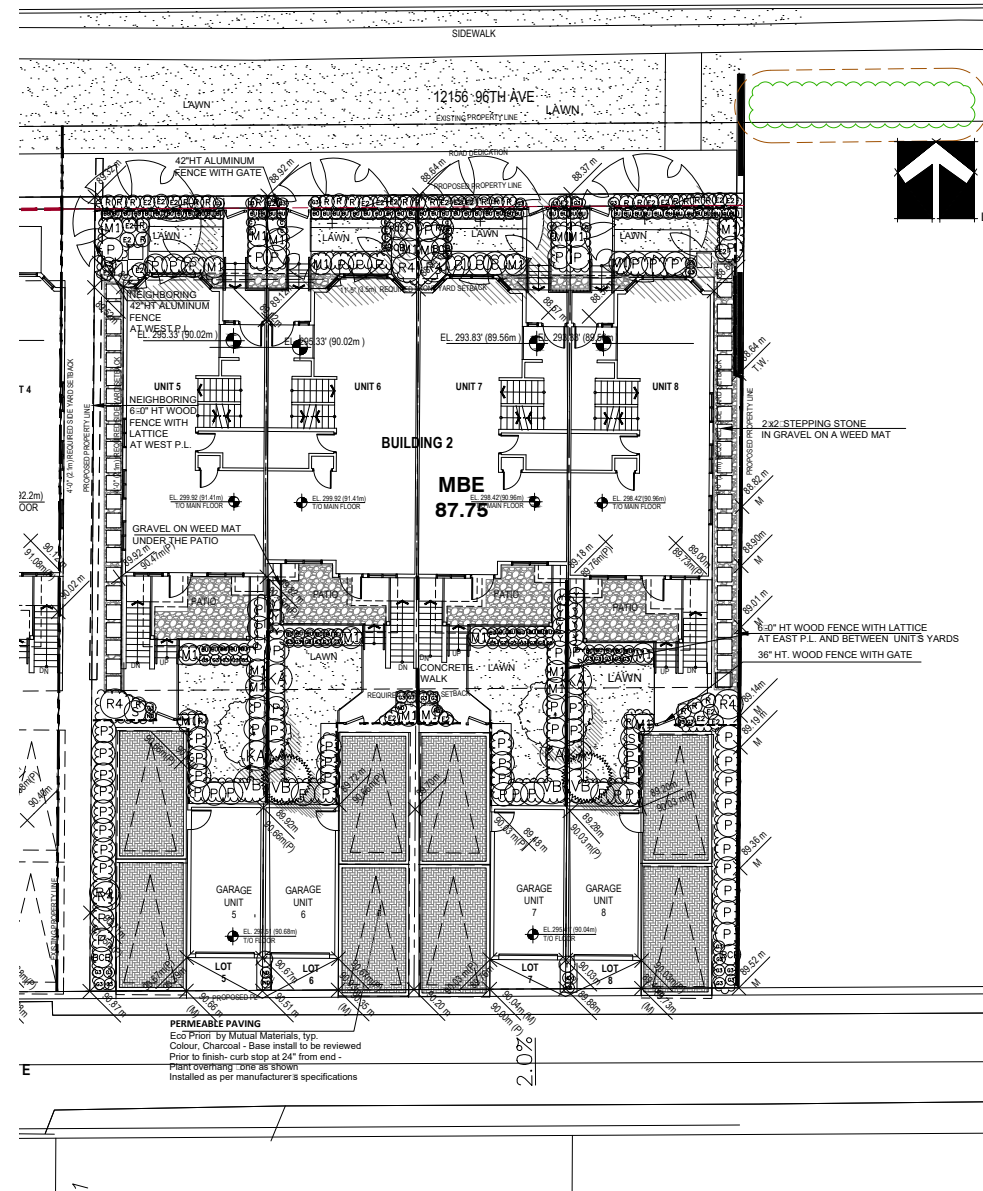
PROJECT
**ROWHOMES
DEVELOPMENT**

12140 & 12156 96 AVENUE
SURREY, BC

SHEET TITLE
PERSPECTIVES

SCALE	DATE
NTS	REV 11/20
PROJECT NO.	PROJECT FILE
A9.1	18-120

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
8	22 APR 26	NEW SITE PLAN	GD
7	22 APR 06	NEW SITE PLAN	GD
6	22 FEB 08	NEW SITE PLAN	GD
5	20 SEP 17	NEW SITE PLAN	GD
4	20 JUL 27	NEW SITE/DEVELOPMENT PLAN	GD
3	28 SEP 27	NEW CIVIL PLAN	GD
2	19 AUG 14	NEW SITE PLAN	GD
1	17 FEB 09	NEW SITE PLAN	GD

CLIENT: MTM DEVELOPMENTS LTD.

WITH: GERRY BLOMSKI ARCHITECTS

PROJECT:
4-UNIT TOWNHOUSE DEVELOPMENT

12156 - 96TH AVENUE SURREY, BC

DRAWING TITLE:
LANDSCAPE PLAN

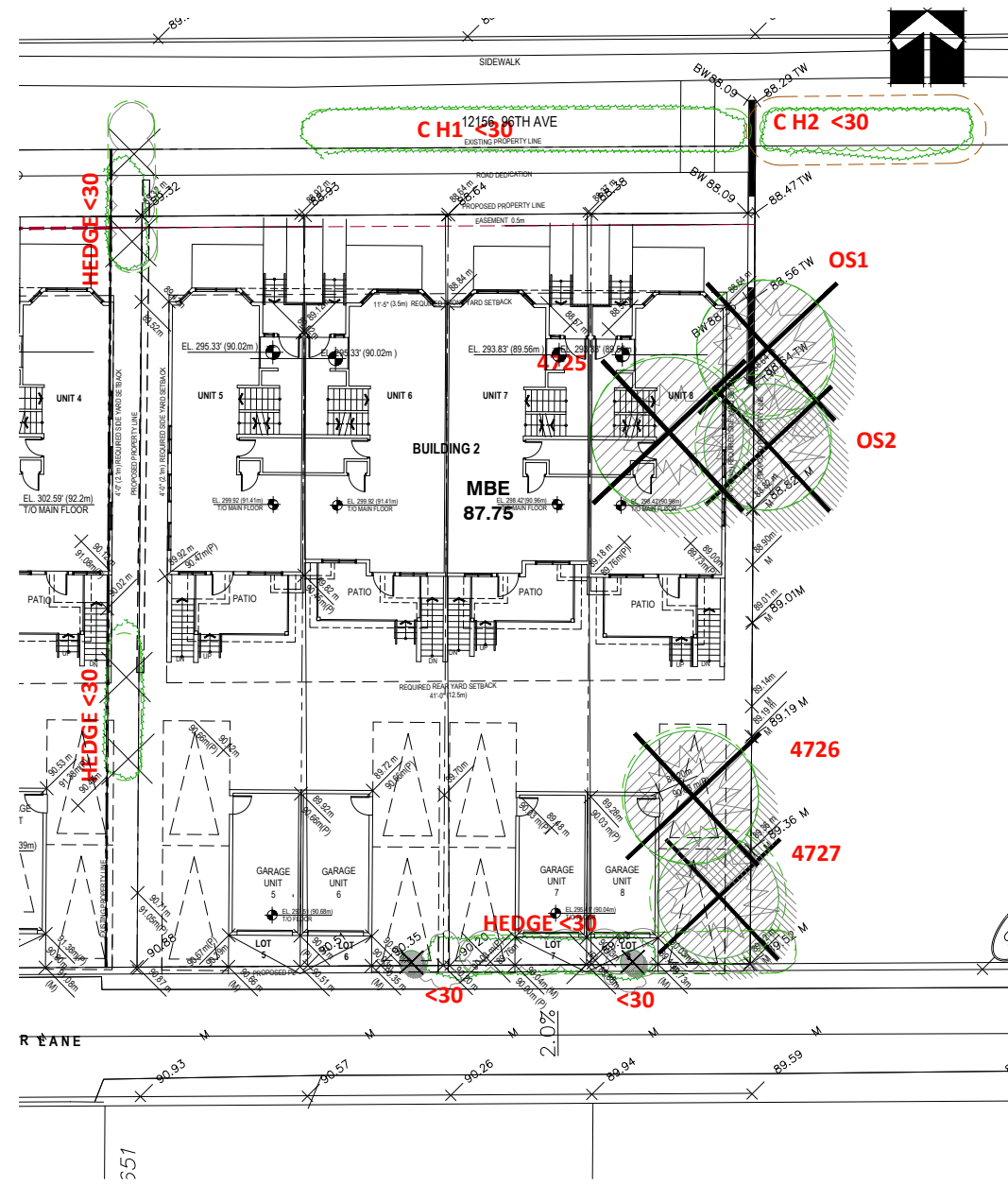
DATE: January 26, 2017 DRAWING NUMBER:
SCALE: 1/8"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: PCM
OF 3

PLANT SCHEDULE		COMMON NAME	PMG PROJECT NUMBER: 17-009B
KEY	QTY	BOTANICAL NAME	PLANTED SIZE / REMARKS
TREE	2	ACER PALMATUM	JAPANESE MAPLE
	2	PICEA OMORIKA BRUNSI	BRUNS SERBIAN SPRUCE
	4	SYRAX JAPONICUS PINK CHIMES	PINK FLOWERED JAPANESE SNOWBELL
SHRUB	4	BERBERIS THUNGBERGHII MONOMBI	CHERRY BOMB BARBERRY
	76	BUXUS SEMPERVIRENS	COMMON BOXWOOD
	6	KALMIA LATIFOLIA RASPBERRY GLOW	MOUNTAIN LAUREL
	76	PIERIS JAPONICA VALLEY FIRE	VALLEY FIRE PIERIS
	6	RHOODENDRON CHRISTMAS CHEER	CHRISTMAS CHEER RHOODENDRON
	2	ROSA SCARLET MEIDLAND	SCARLET MEIDLAND ROSE
	2	SPIRAEA X BIMBALDA LIMEGLOW	LIMEGLOW SPIREA
	13	TAXUS X MEDIA HICKSII	HICKS YEW
	4	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM
GRASS	16	CAREX ICE DANCE	FROSTED SEDGE
	24	MISCANTHUS SINENSIS LITTLE KITTEN	COMPACT CHINESE GRASS
	50	PENNISETUM ALOPECUROIDES HAMLIN	DWARF FOUNTAIN GRASS
PERENNIAL	30	BERGENIA CORDIFOLIA	HEARTLEAF BERGENIA/ROSE PINK
	26	EUONYMUS JAPONICA EMERALD GAETZY	EUONYMUS SILVER VARIEGATED
	7	NANDINA DOMESTICA HARBOUR DWARF	HARBOUR DWARF NANDINA

NOTES: *PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR RE-USE TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

NOTE:
- All soft landscape areas to be irrigated with automatic installation to I.A.B.C. Standards, latest edition.

SEAL:



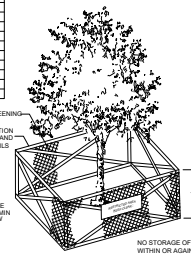
TREES PROTECTED BY SPECIES

ARBUZITS
CHERRY OAK
PACIFIC DOGWOOD
PACIFIC YEW
WESTERN WHITE PINE
GRAND FIR
COAST REDWOOD
DAWN REDWOOD
DAINT SE-MOHA
GRINKS
MONKEY PUZZLE TREE

PLASTIC MESH SCREENING
SOLID 2X4 CONSTRUCTION WITH CROSS BRACING AND TOP AND BOTTOM RAILS

TREE PROTECTION ZONE SIGNAGE SHALL BE AT LEAST TWO SIDES, 110X150 MIN. SIZE, WITH GRAPHICS PER BYLAW

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS



TREE PROTECTION DISTANCE TABLE

TRUNK DIAMETER (mm)	MINIMUM PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)	MINIMUM RE-LEAVED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
20	1.2	1.8
25	1.5	2.1
30	1.8	2.4
35	2.1	2.7
40	2.4	3.0
45	2.7	3.3
50	3.0	3.6
55	3.3	3.9
60	3.6	4.2
65	3.9	4.5
70	4.2	4.8
75	4.5	5.1
80	4.8	5.4
85	5.1	5.7
90	5.4	6.0
95	5.7	6.3
100	6.0	6.6

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100MM DIA.

NO.	DATE	REVISION DESCRIPTION	DR.
8	22 APR. 20	NEW SITE PLAN	DD
7	22 APR. 09	NEW SITE PLAN	DD
6	22 FEB. 08	NEW SITE PLAN	DD
5	20 SEP. 17	NEW SITE PLAN	DD
4	20 JUL. 27	NEW SITE PLAN	DD
3	20 SEP. 27	NEW SITE PLAN	DD
2	19 AUG. 14	NEW SITE PLAN	DD
1	17 FEB. 09	NEW SITE PLAN	DD

CLIENT: MTM DEVELOPMENTS LTD.

WITH: GERRY BLONSKI ARCHITECTS
PROJECT:
4-UNIT TOWNHOUSE DEVELOPMENT
12156 - 96TH AVENUE
SURREY, BC

DRAWING TITLE:
TREE MANAGEMENT PLAN

DATE: January 26, 2017 DRAWING NUMBER:
SCALE: 1/8"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: PCM

L2
OF 3



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **June 08, 2022** PROJECT FILE: **7817-0155-00**

RE: **Engineering Requirements
Location: 12156 96 Avenue**

REZONE AND SUBDIVISION***Property and Right-of-Way Requirements***

- Dedicate 2.808 metres along 96 Avenue; and
- Register 0.5 m statutory right-of-way (SRW) along 96 Avenue frontage.

Works and Services

- Construct sidewalk along the south side of 96 Avenue;
- Construct the Residential Lane;
- Construct adequately-sized drainage, water, and sanitary service connections. Abandonment of surplus connection(s), if any, is also required;
- Construct 250 mm Sanitary main within the Residential Lane; and
- Construct frontage mains required to service the site.

A Servicing Agreement is required prior to Rezone and Subdivision.

DEVELOPMENT PERMIT AND DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit and Development Variance Permit.

Jeff Pang, P.Eng.
Development Services Manager

AJ



May 31, 2022

Planning

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Kirkbride Elementary is currently operating below capacity. The 10 year enrolment projections are showing modest growth in the catchment. Even though some parcels are looking to increase their housing density, the projected development is not enough to overcome a maturing enrolment trend in the area. Currently, there are no plans to expand this school.

L.A. Matheson Secondary is currently operating at 82%. Though the 10 year enrollment projections do show modest growth, the current capacity of the building can accommodate it. Currently, there are no plans to expand this school.

THE IMPACT ON SCHOOLS

APPLICATION #: 17 0155 00

SUMMARY

The proposed 4 Single family with suites are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

Elementary Students:	2
Secondary Students:	1

September 2021 Enrolment/School Capacity

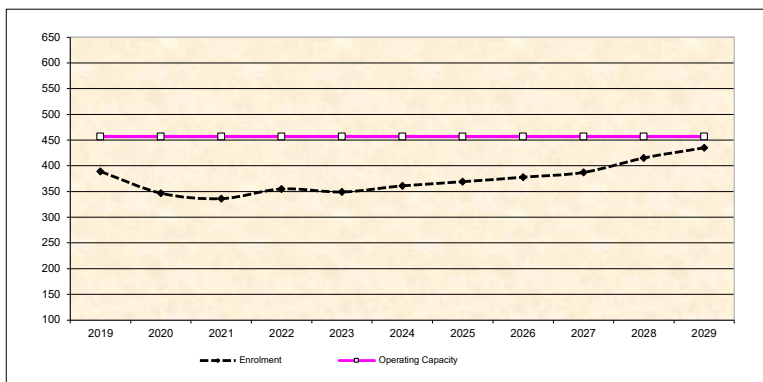
Kirkbride Elementary	
Enrolment (K/1-7):	28 K + 308
Operating Capacity (K/1-7)	38 K + 419
L. A. Matheson Secondary	
Enrolment (8-12):	1145
Capacity (8-12):	1400

Projected population of school-age children for this development:	5
--	---

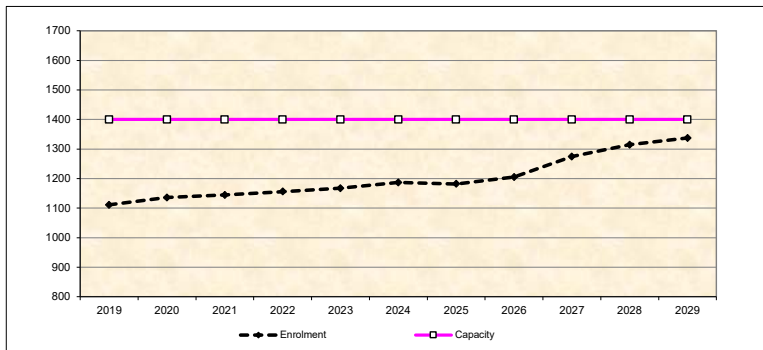
Population: The projected population of children aged 0-19 Impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

Kirkbride Elementary



L. A. Matheson Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 17-0155-00


Address: 12156 - 96 Ave Surrey, BC

Registered Arborist: Corey Plester #PN-8523A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	5
Protected Trees to be Removed	5
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All Other Trees Requiring 2 to 1 Replacement Ratio 5 X two (2) = 10 	10
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	1
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All Other Trees Requiring 2 to 1 Replacement Ratio 1 X two (2) = 2 	2
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD

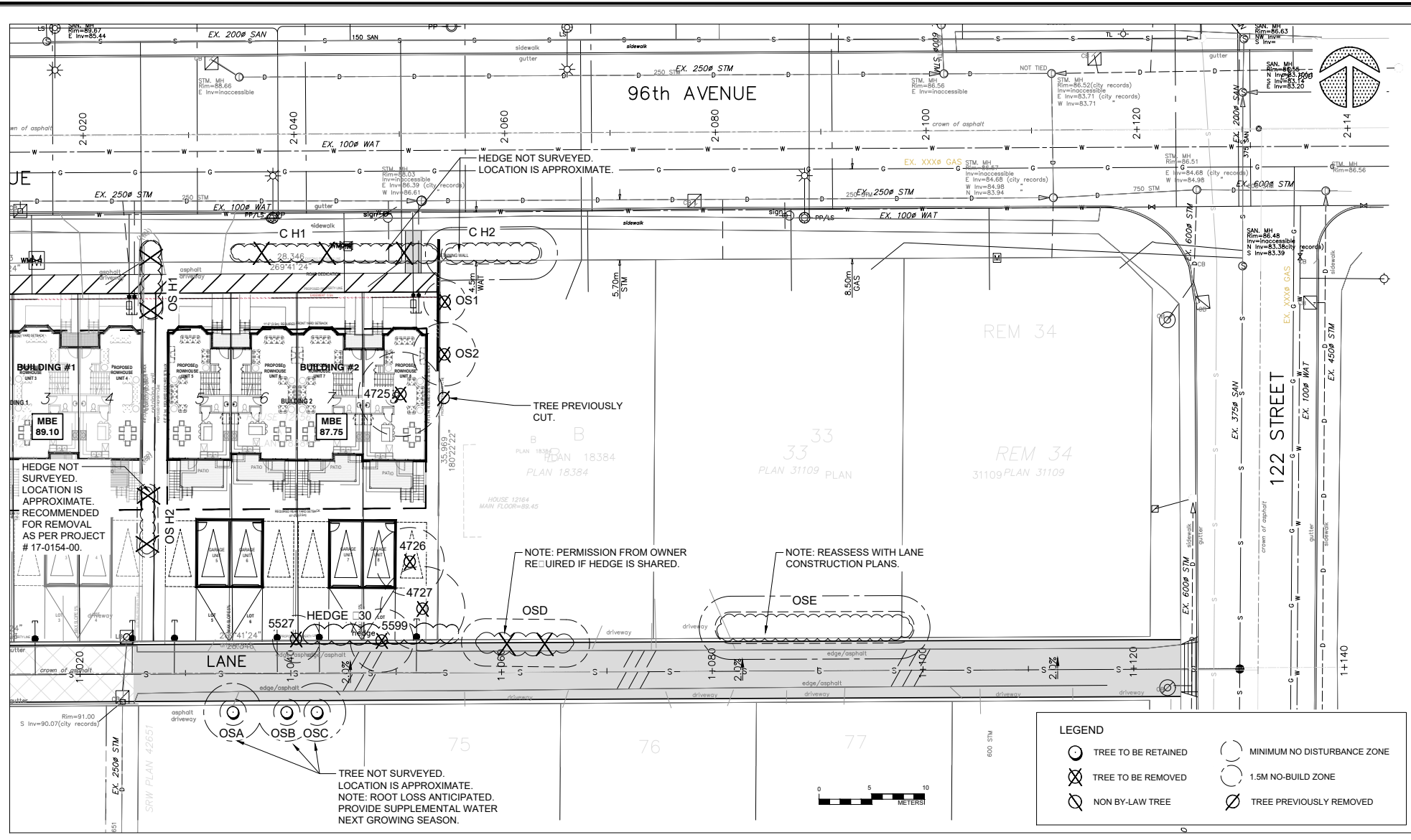
Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: May 24, 2022
--	--------------------



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302





LEGEND	
	TREE TO BE RETAINED
	TREE TO BE REMOVED
	NON BY-LAW TREE
	MINIMUM NO DISTURBANCE ZONE
	1.5M NO-BUILD ZONE
	TREE PREVIOUSLY REMOVED

NO.	DATE	BY	REVISION
1	FEB10/21	MK	SITE PLAN
2	AUG18/21	MK	SITE & CIVIL PLAN
3	OCT21/21	MK	SITE PLAN & UPDATED SURVEY
4	NOV05/21	MK	REVISIONS
5	MAY25/22	MK	UPDATED SURVEY

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3V 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Email: mfadum@fadum.ca

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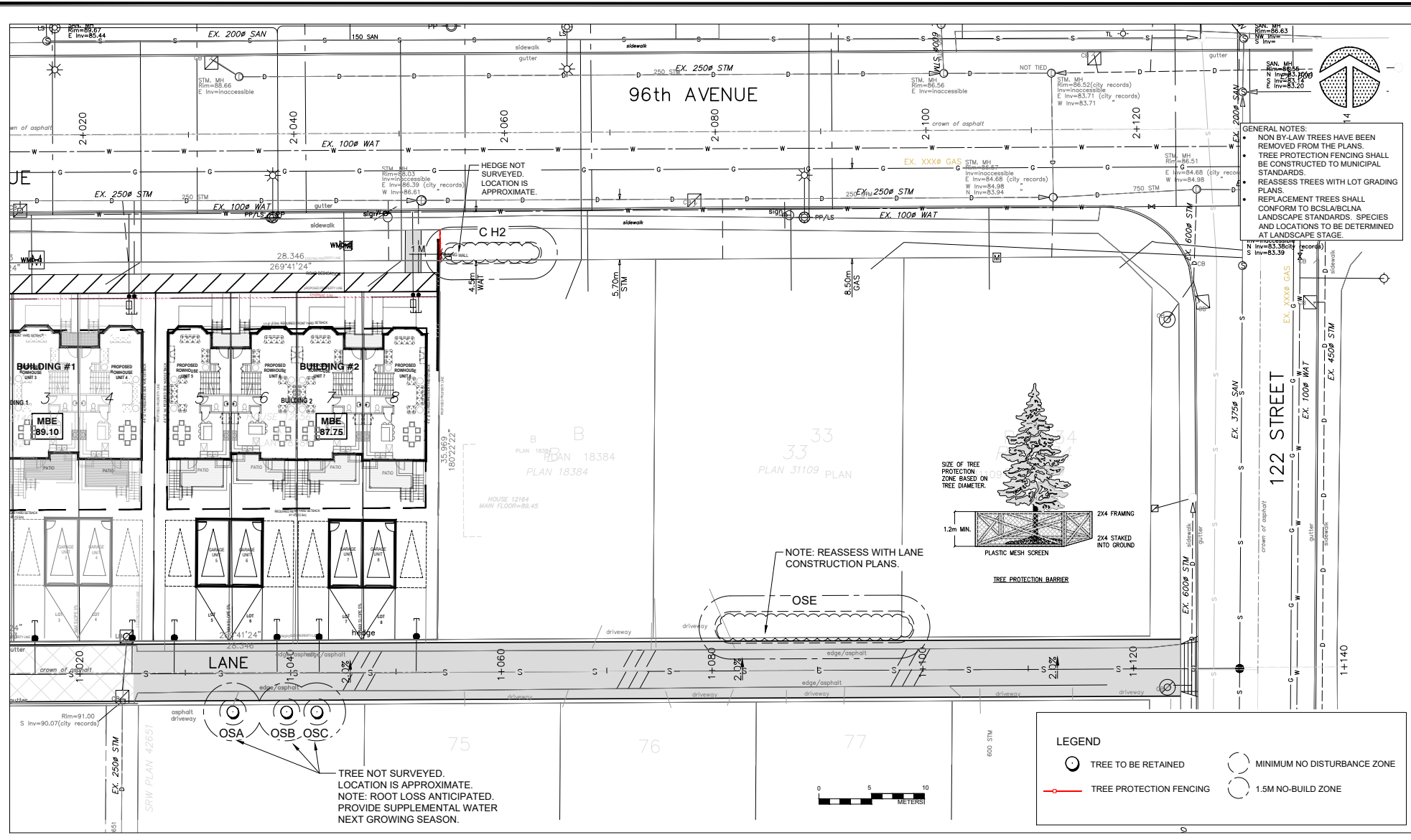
PROJECT TITLE
12156 96 AVENUE
SURREY, B.C.

SHEET TITLE
T1 - TREE REMOVAL AND PRESERVATION PLAN

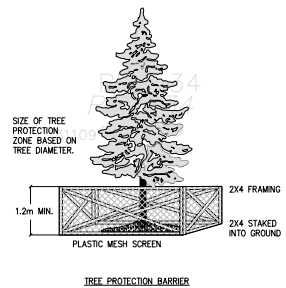
CLIENT _____

DRAWN MK
 SCALE AS SHOWN
 DATE DECEMBER 18, 2017

T-1
 SHEET 1 OF 2



- GENERAL NOTES:
- NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
 - TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
 - REASSESS TREES WITH LOT GRADING PLANS.
 - REPLACEMENT TREES SHALL CONFORM TO BC/LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.



TREE NOT SURVEYED.
LOCATION IS APPROXIMATE.
NOTE: ROOT LOSS ANTICIPATED.
PROVIDE SUPPLEMENTAL WATER
NEXT GROWING SEASON.

LEGEND

- TREE TO BE RETAINED
- TREE PROTECTION FENCING
- MINIMUM NO DISTURBANCE ZONE
- 1.5M NO-BUILD ZONE

NO.	DATE	BY	REVISION
1	FEB10/21	MK	SITE PLAN
2	AUG18/21	MK	SITE & CIVIL PLAN
3	OCT21/21	MK	SITE PLAN & UPDATED SURVEY
4	NOV05/21	MK	REVISIONS
5	MAY25/22	MK	UPDATED SURVEY

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Email: mfadum@fadum.ca

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PROJECT TITLE
12156 96 AVENUE
SURREY, B.C.

SHEET TITLE
T2 - TREE PRESERVATION AND PROTECTION PLAN

CLIENT _____

DRAWN MK
SCALE AS SHOWN
DATE DECEMBER 18, 2017

T-2
SHEET 2 OF 2

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0155-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-345-612
 Lot A Section 31 Township 2 New Westminster District Plan 18384
 12156 - 96 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section 26(b) of Part 4 of General Provisions the maximum number of risers permitted within the front yard setback area is increased from 3 to 4 for Lots 1 to 4.
5. This development variance permit applies to only the portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

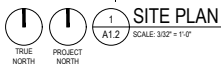
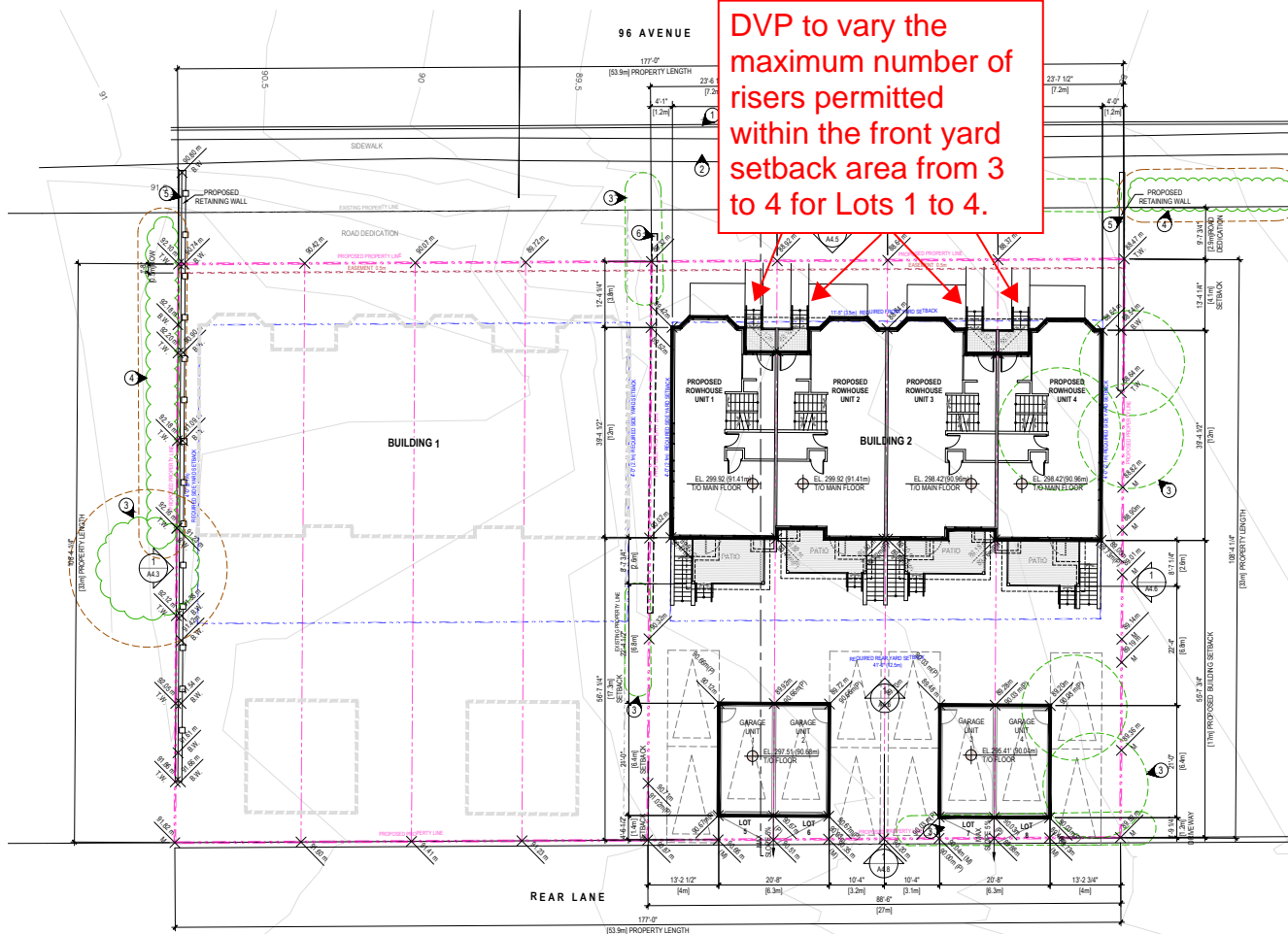
City Clerk – Jennifer Ficocelli

Schedule A



Aplin & Martin Consultants Ltd.
201 - 12448 82 Avenue, Surrey, B.C. V9W 1E9
Tel: (604) 897-9958, Fax: (604) 897-9061
Email: general@aplinmartin.com

DVP to vary the maximum number of risers permitted within the front yard setback area from 3 to 4 for Lots 1 to 4.



NOTES:

- ① ROAD CURBS
- ② SIDE WALK
- ③ EXISTING TREE / HEDGE TO BE REMOVED
- ④ EXISTING TREE / HEDGE TO REMAIN
- ⑤ PROPOSED CONCRETE RETAINING WALL. REFER TO CIVIL DRAWING
- ⑥ EXISTING CONCRETE RETAINING WALL TO BE REMOVED

LEGEND	
	PROPOSED PROPERTY LINE
	EXISTING / ADJACENT PROPERTY LINE
	BUILDING SETBACK (REQUIRED MINIMUM)
	RIGHT OF WAY
	6' WOODEN FENCE
	EXISTING SITE GRADES
	PROPOSED SITE GRADES
	MATCH EXISTING SITE GRADES

AREA CALCULATIONS						
BUILDING	LOT AREA	MAIN FLOOR	SECOND FLOOR	TOTAL AREA	GARAGES(NIC)	BAS. FLOOR(NIC)
BUILDING 2						
LOT 5 / UNIT 1	2551 sf / 237 sm	761sf / 71 sm	794 sf / 74 sm	1555 sf / 144 sm	217 sf / 20 sm	743 sf / 69 sm
LOT 6 / UNIT 2	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm
LOT 7 / UNIT 3	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm
LOT 8 / UNIT 4	2560 sf / 238 sm	764 sf / 71 sm	797 sf / 74 sm	1561 sf / 145 sm	217 sf / 20 sm	746 sf / 69 sm

PROPERTY INFORMATION

PROPERTY INFORMATION
ADDRESS: 12156 96 AVENUE, SURREY, BC
LEGAL DESCRIPTION: LOT A SECTION 31 TOWNSHIP 2 PLAN NWP18384 NWD
PID: 010-345-612

ZONING INFORMATION

EXISTING ZONING: RF - SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING: RM-23 MULTIPLE RESIDENTIAL
NCP DESIGNATION: N/A
OCP DESIGNATION: MULTIPLE RESIDENTIAL - 100%

SITE AREA:
GROSS SITE AREA: 9,590 sq.ft. / 891 sq.m. (0.48 ac / 0.19 ha)
NET SITE AREA: 3,533 sq.ft. / 812 sq.m. (0.20 ac / 0.08 ha)

BUILDING AREA:
BUILDING 1
BUILDING FOOTPRINT: 3,101 sq.ft. / 288 sq.m.
GROSS FLOOR AREA: 3,101 x 1, 176 = 6,278 sq.ft. / 583 sq.m.

DENSITY:
ALLOWABLE EFFICIENCY: 23.0 u.p.a. / 57.0 u.p.ha.
PROPOSED EFFICIENCY: 8.35 u.p.a. / 21.0 u.p.ha.

UNITS:
TOTAL # OF UNITS: 4 UNITS

LOT COVERAGE:
ALLOWABLE LOT COVERAGE: 30%
LOT 1 COVERAGE: 29%
LOT 1 COVERAGE: 29%
LOT 1 COVERAGE: 29%

YARDS & SETBACKS:	REQUIRED:	PROPOSED:
PRINCIPAL BUILDING: FRONT YARD (NORTH):	3.5m (11'-5")	3.8m (12'-4")
REAR YARD (SOUTH):	12.5m (41'-0")	17.3m (56'-7")
SIDE YARD (INTERNAL):	0.0m (0'-0")	1.2m (4'-0")
SIDE YARD (EXTERNAL):	1.2m (4'-0")	1.2m (4'-0")
ACCESSORY BUILDING: FRONT YARD (SOUTH):		3m (9'-9 1/2")
SIDE YARD (WEST EXTERNAL):		4.0m (13'-2")
SIDE YARD (EAST EXTERNAL):		4.0m (13'-3")

BUILDING HEIGHT:
MAXIMUM HEIGHT ALLOWED:
PRINCIPAL BUILDING: 31'-0" (9.5m)
ACCESSORY BUILDING: 16'-6" (5.0m)
PROPOSED BUILDING HEIGHT:
BUILDING 2 PRINCIPAL BUILDING: 30'-6" (9.3m)
ACCESSORY BUILDING: 13'-8" (4.2m)

ARCHITECT:
ANDY IGEI, AIBC, AIA, AIA, MRAC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

REV	DATE	DESCRIPTION	DR	RV
5	APR 11 22	REVISIONS FOR DEVELOPMENT PERM	ZDGL	VC
4	JAN 12 22	REVISIONS FOR DEVELOPMENT PERM	QL	AL
3	NOV 18 21	REVISIONS FOR DEVELOPMENT PERM	QL	AL
2	MAR 12 21	REVISIONS FOR DEVELOPMENT PERM	MLRS	AL
1	SEP 23 20	REVISIONS FOR DEVELOPMENT PERM	ZDGL	VC

PROJECT:
ROWHOMES DEVELOPMENT

12140 & 12156 96 AVENUE
SURREY, BC

SHEET TITLE:

SITE PLAN - BUILDING 2

SCALE	1	REVISION
3/32" = 1'-0"		
DRAWING NO.		PROJECT NO.
A1.2b		18-120

M:\H2020\18-120\ARCHITECTURAL\Production\Consent\dwg\18-120-A1.2b-Rev-046-4/20/2024.dwg 4/20/2024 1:27:12 PM