

City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7917-0411-00
 7917-0411-02

Planning Report Date: October 3, 2022

PROPOSAL:

- Amend CD By-law No. 20305
- Development Variance Permit

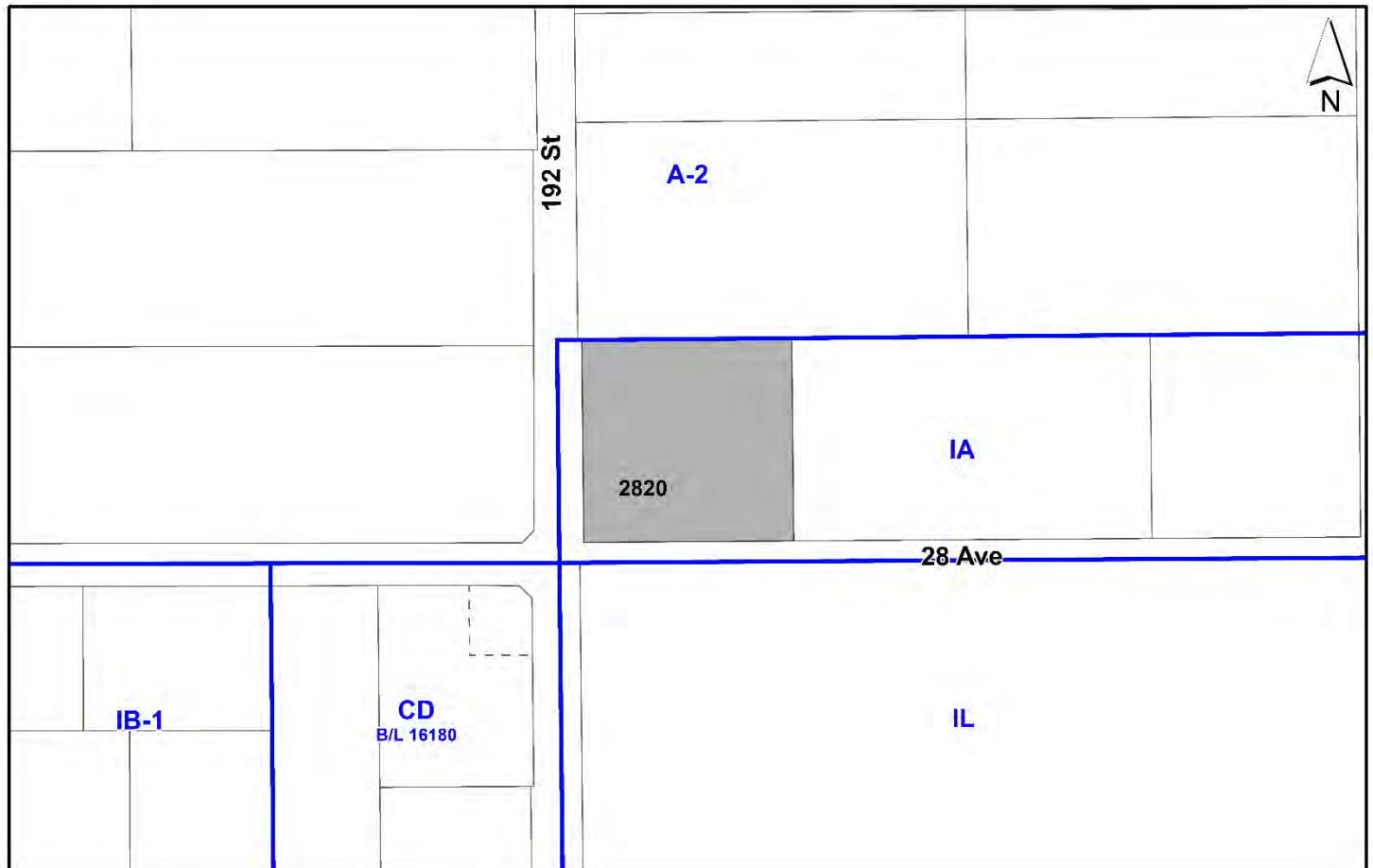
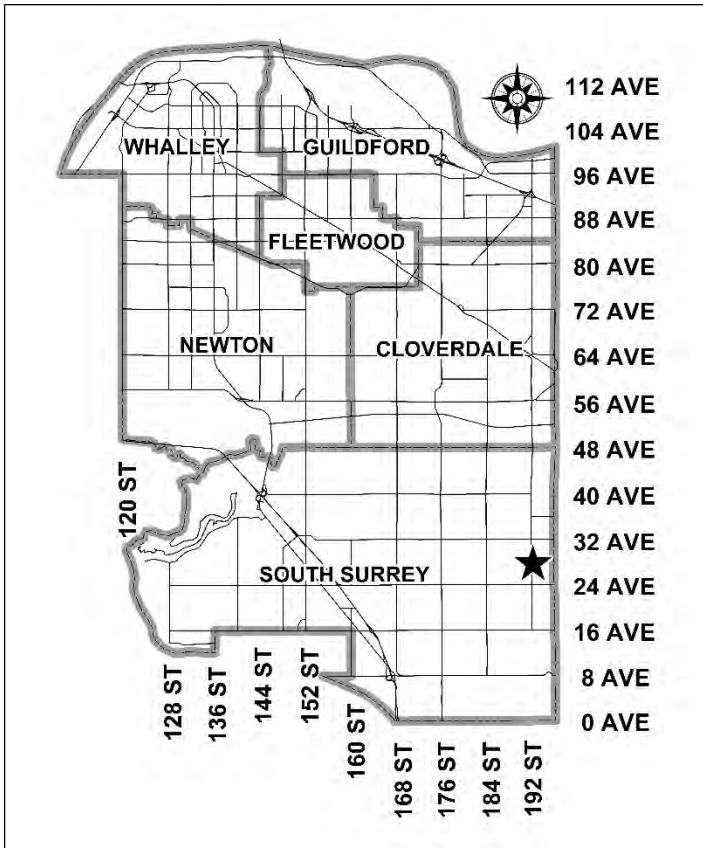
to reduce the setbacks to an electric vehicle charging station and to allow more than three risers and retaining walls greater than 0.6 m in height, and a parkade wall, in the building setbacks.

LOCATION: 2820 - 192 Street

ZONING: IA

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Commercial and Landscape Strips



RECOMMENDATION SUMMARY

- Council rescind Third Reading of Rezoning By-law No. 20305 that was granted by Resolution R21-412 at the March 8, 2021, Regular Council – Public Hearing meeting.
- Council amend CD By-law No. 20305 to reduce the setbacks to an electric vehicle charging station and to allow more than three risers in the building setbacks, and give Third Reading to Rezoning By-law No. 20305, as amended.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the setbacks to an electric vehicle charging station and to allow more than three risers and retaining walls greater than 0.6 metres in height, in the building setbacks.

RATIONALE OF RECOMMENDATION

- At the February 22, 2021, Regular Council – Land Use meeting, the applicant proposed a Rezoning from "Agro-Industrial Zone (IA)" to "Comprehensive Development Zone (CD)" based on "Self-Service Gasoline Station Zone (CG-1)" and "Community Commercial Zone (C-8)" for Lots 1 and 2, and to "Community Commercial Zone (C-8)" for Lot 3, in order to permit the development of a gas station with drive-through restaurant, a stand-alone drive-through restaurant, and a commercial building. The application was granted Third Reading at the March 8, 2021, Regular Council – Public Hearing meeting.
- Subsequent to Council consideration and granting Third Reading to the associated Rezoning By-laws (Nos. 20305 & 20306) and authorization to draft the Development Permit, it was noted that the underground parking for Building C on Lot 3 would impact the groundwater table and required raising the building to alleviate any impact.
- The raising of the building necessitates additional risers within the setback along 28 Avenue and the introduction of retaining walls greater than 0.6 metres in height on the side yard (east) and rear yard (north) property lines. It also necessitates a raising of the parkade wall within the north building setback. Therefore, a Development Variance Permit is required to address these features required by raising of the building.
- The electric vehicle charging station on Lot 1 is required as alternative fuel infrastructure in accordance with City of Surrey Policy No. O-58. The reduced rear yard setback for the electric vehicle charging station will not negatively impact the adjacent lots.
- The additional riser for each of the two stairs on Lot 2 will not negatively impact the interface of this building or lot and is considered reasonable.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council rescind Third Reading of Rezoning By-law No. 20305 that was granted by Resolution R21-412, at the March 8, 2021, Regular Council – Public Hearing meeting.
2. Council amend CD By-law No. No. 20305 in Section F. Setbacks to reduce the setbacks to an electric vehicle charging station and to allow more than three risers in the building setback, and give Third Reading to Rezoning By-law No. 20305, as amended.
3. Council approve Development Variance Permit No. 7917-0411-02 (Appendix II) varying the following, to proceed to Public Notification:
 - (a) to increase the number of permitted stair risers within the setback from 3 to 9 for Lot 3; and
 - (b) to reduce the minimum setback to 0.1 metres on the side yard (east) for a retaining wall greater than 0.6 metres in height and to reduce the rear yard (north) setback to 0.1 metres for a retaining wall greater than 0.6 m in height and the parkade wall for Lot 3.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Vacant lot	Commercial and Landscape Strips	IA
North:	Unpermitted outdoor storage and trailer parking	Business Park and Landscape Strips	A-2

Direction	Existing Use	NCP Designation	Existing Zone
East:	Outdoor storage (approved under TUP Np. 7916-0531-00) which has since lapsed. Current Development Application No. 7917-0002-00 for industrial development, which received Third Reading at the April 15, 2019 Regular Council – Public Hearing meeting.	Business Park and Landscape Strips	IA
South (Across 28 Avenue):	Latimer Park	City Park	IL
West (Across 192 Street):	Agricultural	Commercial and Landscape Strip	A-2

Context & Background

- The subject site is 1 hectare in size and located at the northeast corner of 192 Street and 28 Avenue across from Latimer Park. The site is designated "Mixed Employment in the Official Community Plan (OCP), "Commercial" and "Landscape Strip" in the Campbell Heights Local Area Plan (LAP) and currently zoned "Agro-Industrial Zone (IA)".
- At the February 22, 2021, Regular Council – Land Use meeting, the applicant proposed a Rezoning for Lots 1 and 2, from "Agro-Industrial Zone (IA)" to "Comprehensive Development Zone (CD)" based on "Self-Service Gasoline Station Zone (CG-1)" and "Community Commercial Zone (C-8)", to permit the development of a gas station with drive-through restaurant and a stand-alone drive-through restaurant, and to "Community Commercial Zone (C-8)" for Lot 3, to permit a commercial building. The application was granted Third Reading at the March 8, 2021, Regular Council – Public Hearing meeting.
- Subsequent to Council consideration and granting Third Reading to the associated Rezoning By-laws (Nos. 20305 & 20306) and authorization to draft the Development Permit, it was noted that the underground parking for Building C on Lot 3 would impact the groundwater table and required raising the building to alleviate any impact.
- The raising of the building necessitates additional risers within the setback along 28 Avenue and the introduction of retaining walls greater than 0.6 metres in height on the side yard (east) and rear yard (north) property lines. It also raises the parkade and introduces a parkade wall along the north property line. Therefore, a Development Variance Permit is required to address these features required by raising of the building.

- Subsequent to Council consideration and granting Third Reading to the associated Rezoning By-laws (Nos. 20305 & 20306) and authorization to draft the Development Permit, it was also noted that additional risers were required on Lot 2 and a reduced setback was sought for electric vehicle charging structures along the rear yard (east) property line of Lot 1.

DEVELOPMENT PROPOSAL

- The applicant proposes to reduce the setbacks to an electric vehicle charging station on Lot 1 and allow four risers within the building setback for Lot 2. This change requires an amendment to the in-stream Comprehensive Development (CD) Bylaw No. 20305. In addition, a Development Variance Permit (DVP) is being sought for Lot 3 to allow up to nine risers in the building setback and to reduce the minimum setback to 0.1 metres on the side yard (east) for a retaining wall greater than 0.6 metres in height and to reduce the rear yard (north) setback to 0.1 metres for a retaining wall greater than 0.6 metres in height and the parkade wall.

Referrals

Engineering: No concerns.

POLICY & BY-LAW CONSIDERATIONS

Amended CD By-law No. 20305

- On Lot 1 (Block A), the minimum rear yard (east) setback for all buildings and structures is 4.0 metres.
- Alternative fuel infrastructure is required for new gas stations in accordance with City Policy No. O-58. The proposed electric vehicle charging station is considered a structure and must comply with the building setbacks. The electric vehicle charging station is located at the east boundary of Lot 1 and is setback 0.5 metres from the rear yard property line.
- The CD By-law No. 20305 is proposed to be amended for Block A to permit a reduced setback to a minimum of 0.5 metres for electric vehicle charging stations.
- The Zoning By-law permits a maximum of three risers within the setback. On Lot 2 (Block B), the applicant proposes four risers within the setback to access the entrance to the proposed McDonald's restaurant.
- The CD By-law No. 20305 is proposed to be amended for Block B to allow up to four risers in the building setback.

Setback Variances

- The Zoning By-law permits a maximum of three risers within the building setback. The applicant proposes to increase the number of risers permitted within the front yard setback of Lot 3 (Block C) from three to nine.

- The increase in the number of risers was necessitated due to the high groundwater table at this location. This required the building to be raised to ensure there is no impact to the groundwater table. As a result of the raising of the building, additional risers are required.
- The required raising of the building also necessitates increased height of retaining walls along the side yard (east) and rear yard (north) property lines. It also necessitates raising the parkade wall along the north property line within the building setback. The Zoning By-law permits structures less than 0.6 metres in height, as measured from existing grade, to encroach into the setback.
- The applicant proposes to reduce the setback to 0.1 metres for retaining walls with a maximum of 2 metres in height on the side yard (east) property line and 1.85 metres in height on the rear yard (north property line). In addition, the applicant proposes a parkade wall with a maximum of 2.0 metres in height along the north property line.
- The additional risers will not have a negative impact on the form and character of the building or the site itself.
- The retaining walls on the east and north property lines and the parkade wall along the north property line will interface with future industrial developments and will not have a significant impact on the public realm or the development potential of adjacent lots.
- Staff support the requested variances to proceed for consideration.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I	Amended CD By-law
Appendix II	Development Variance Permit No. 7917-0411-02
Appendix III	Original Planning Report dated February 22, 2021

approved by Shawn Low

Jeff Arason
Acting General Manager
Planning and Development

KS/cm

BYLAW NO. 20305

A bylaw to amend Surrey Zoning Bylaw, 1993, No. 12000, as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. In this Bylaw, all references to the "Zoning Bylaw" shall be a reference to Surrey Zoning By-law, 1993, No. 12000, as amended.
2. The Zoning Bylaw is hereby further amended pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of the Zoning Bylaw, as follows:

FROM: AGRO-INDUSTRIAL ZONE (IA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 013-942-824
 Lot 1 Section 22 Township 7 New Westminster District Plan 80921
 (2820 - 192 Street)

as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Eugene Wong, B.C.L.S. on the 19th day of January 2021, containing 3,042 square metres, called Block A and 3,076 square metres called Block B.

(hereinafter referred to as the "*Lands*")

3. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of self-service *gasoline stations*, *drive-through restaurants*, and *accessory uses*.

The *Lands* are divided into Blocks A and B as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Eugene Wong, B.C.L.S. on the 19th day of January 2021.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. Block A

- (a) Self-service *gasoline station* provided that *alternative fuel infrastructure* shall be available on the same *lot*.
- (b) Full-service *gasoline station* provided that *alternative fuel infrastructure* shall be available on the same *lot*.
- (c) *Accessory uses* including the following:
 - i. *Retail stores* limited to the following:
 - a. *Convenience store* provided that the total sales and display area open to the public is not more than 28 square metres; and
 - b. Sale of automotive accessories
 - ii. *Automotive service uses* limited to car wash facilities; and
 - iii. *Eating establishments* including *drive-through restaurants*.

2. Block B

- (a) *Retail stores* excluding *adult entertainment stores*, auction houses, *second-hand stores*, and *pawnshops*.
- (b) *Personal service uses* excluding *body rub parlours*.
- (c) *General service uses* excluding funeral parlours and *drive-through banks*.
- (d) *Eating establishments* including *drive-through restaurants*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The maximum *density* shall not exceed a *floor area ratio* of 0.1 or a *building area* of 300 square metres whichever is smaller. The maximum *density* of development may be increased to that prescribed in Sub-section D.2 of this Zone if amenity contributions (specifically police, fire, libraries, parks, and where applicable, underground utilities) are provided in accordance with Schedule G, Sections D and E of the Surrey Zoning Bylaw, 1993, No. 12000, as amended.
2. The maximum *density* shall be as follows:
 - (a) Block A - The *floor area ratio* shall not exceed 0.20; and
 - (b) Block B - The *floor area ratio* shall not exceed 0.15.

E. Lot Coverage

1. Block A - The maximum *lot coverage* shall be 17%.
2. Block B - The maximum *lot coverage* shall be 14%.

F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

1. Block A

<i>Setback</i>	<i>Front Yard</i> (west)	<i>Rear Yard</i> (east)	<i>Side Yard</i> (north and south)
Use			
<i>Principal Building, Accessory Building and Structures Not Identified Below</i>	6.9 m	4.0 m*	4.0 m*
<i>Pump Islands and Kiosk**</i>	4.5 m	4.0 m*	4.0 m*
<i>Canopies</i>	2.0 m	2.0 m	2.0 m

* The *rear yard* and *side yard* setback shall be a minimum of 4.5 metres if the *rear yard* or *side yard* abuts a *highway* or 12 metres if the *rear yard* or *side yard* abuts any *residential lot*; and
The *rear yard* setback may be reduced to a minimum of 0.5 metres for an electric vehicle charging station.

** The kiosk shall not exceed a *gross floor area* of 5 square metres.

2. Block B

Buildings and structures shall be sited not less than 7.5 metres from all lot lines (measurements to be determined as per Part 1 Definitions of the Surrey Zoning Bylaw, 1993, No. 12000, as amended. A maximum of four risers may be permitted within the front yard and front yard on a flanking street setback.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of the Surrey Zoning Bylaw, 1993, No. 12000, as amended.

1. Block A

(a) Principal buildings and Pump Island Canopies: The height shall not exceed 6.2 metres.

(b) Accessory buildings and structures: The height shall not exceed 4.0 metres.

2. Block B

(a) Principal building: The height shall not exceed 12 metres.

(b) Accessory buildings and structures: The height shall not exceed 4.5 metres.

H. Off-Street Parking

1. *Parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of the Surrey Zoning Bylaw, 1993, No. 12000, as amended.

2. *Tandem parking* may be permitted for company fleet vehicles.

I. Landscaping

1. All developed portions of the lot not covered by buildings, structures or paved areas shall be landscaped including the retention of mature trees. This landscaping shall be maintained.

2. Along the developed sides of the lot which abut a highway, a continuous landscaping strip of not less than 3.0 metres in width shall be provided within the lot.

3. The boulevard areas of highways abutting a lot shall be seeded or sodded with grass on the side of the highway abutting the lot, except at driveways.

4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.
5. Open display or storage shall be completely screened to a height of at least 2.5 metres by *buildings* and/or solid decorative fence and/or substantial *landscaping* strips of not less than 1.5 metres in width. No display or storage of material shall be piled up to a height of 2.5 metres within 5 metres of the said screens and in no case shall these materials be piled up to the height of more than 3.5 metres.

J. Special Regulations

1. Garbage containers and *passive recycling containers* shall not be located within any required *setback* adjacent any *residential lot*.
2. The outdoor storage or display of any goods, materials or supplies is specifically prohibited, notwithstanding any other provision in this Part.
3. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.
4. *Land* and *structures* shall be used for the uses permitted in this Zone only if such uses do not emit noise in excess of 70 dB measured at any point on any boundary of the *lot* on which the use is located, provided that where a *lot* abuts a *lot* other than an *industrial lot* the noise level shall not exceed 60 dB(A).

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
1,400 sq. m.	30 metres	30 metres

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of the Surrey Zoning Bylaw, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in the Surrey Zoning Bylaw, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of the Surrey Zoning Bylaw, 1993, No. 12000, as amended.

2. Prior to any use, the *lands* must be serviced as set out in Part 2 Uses Limited, of the Surrey Zoning Bylaw, 1993, No. 12000, as amended and in accordance with the servicing requirements for the CG-1 Zone for Block A and the C-8 Zone for Block B as set forth in the Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of the Surrey Zoning Bylaw, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of the Surrey Zoning Bylaw, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign Bylaw, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of the Surrey Zoning Bylaw, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. Subdivisions shall be subject to the applicable Surrey Development Cost Charge Bylaw, 2018, No. 19478, as may be amended or replaced from time to time, and the development cost charges shall be based on the CG-1 Zone for Block A and the C-8 Zone for Block B.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey Official Community Plan Bylaw, 2013, No. 18020, as amended.

4. This Bylaw shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment Bylaw, 2021, No. 20305".

PASSED FIRST READING on the 22nd day of February, 2021.

PASSED SECOND READING on the 22nd day of February, 2021.

PUBLIC HEARING HELD thereon on the 8th day of March, 2021.

PASSED THIRD READING on the 8th day of March, 2021.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ the day of _____, 20 .

_____ MAYOR

_____ CLERK

**SURVEY PLAN OF PROPOSED CITY OF SURREY Bylaw 20305
 COMPREHENSIVE DEVELOPMENT BLOCK PLAN OF
 LOT 1 SECTION 22 TOWNSHIP 7
 NEW WESTMINSTER DISTRICT
 PLAN 80921**

Schedule A

CITY OF SURREY BCGS 92G.007

SCALE 1:750



ALL DISTANCES ARE IN METRES

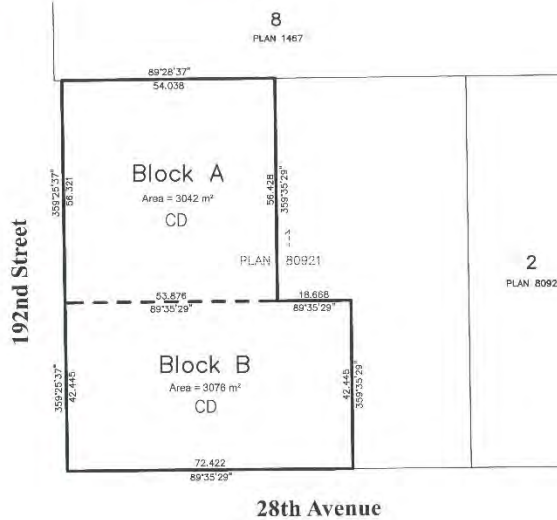
THE INTENDED PLOT SIZE OF THIS PLAN IS 432 mm IN WIDTH BY 280 mm IN HEIGHT (B SIZE) WHEN PLOTTED AT A SCALE OF 1:750

REZONING BOOK OF REFERENCE

DESCRIPTION	AREA
BLOCK A	3042 m ²
BLOCK B	3078 m ²
TOTAL ALL BLOCKS	6118 m ²



H.Y. AND ASSOCIATES
 LAND SURVEYING LTD.
 200, 9128 - 152ND STREET
 SURREY, B.C.
 V3R 4E7
 (ph) 604-583-1616
 File: 154324_BLOCK_3.DWG



28th Avenue

CERTIFIED CORRECT TO SURVEY DATED
 THIS 19th DAY OF JANUARY, 2021

EUGENE WONG
 B.C.L.S. #718
 THIS DOCUMENT IS NOT VALID UNLESS
 ORIGINALLY SIGNED AND SEALED

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0411-02

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 013-942-824
Lot 1 Section 22 Township 7 New Westminster District Plan 80921

2820 - 192 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) Section B.26 (b) "Setbacks" of Part 4 "General Provisions" is varied to increase the number of permitted stair risers within the setback from 3 to 9 for Lot 3.
 - (b) Section F. "Yards and Setbacks" of Part 36 "Community Commercial Zone (C-8)" is varied to reduce the building setbacks to 0.1 metres on the side yard (east) for a retaining wall greater than 0.6 metres in height and to reduce the rear yard (north) setback to 0.1 metres for a retaining wall greater than 0.6 metres in height and the parkade wall for Lot 3.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

SCHEDULE A

Part 36 Community Commercial Zone (C-8) is varied to reduce the building setbacks to 0.1 metres on the side yard (east) for a retaining wall greater than 0.6 metres in height and to reduce the rear yard (north) setback to 0.1 metres for a retaining wall greater than 0.6 metres in height and the parkade wall for Lot 3.

"Setbacks" of Part 4 General Provisions is varied to increase the number of permitted stair risers within the setback from 3 to 9 for Lot 3

REV	DATE	DESCRIPTION
10	18.05.22	RE-ISSUED FOR DP
09	18.04.22	RE-ISSUED FOR DP
08	18.05.21	RE-ISSUED FOR DP
07	FEB 24 21	RE-ISSUED FOR DP
06	18.10.20	RE-ISSUED FOR DP
05	30.02.20	RE-ISSUED FOR DP
04	18.10.18	RE-ISSUED FOR DP
03	21.06.18	SUBMISSION TO ADP
02	12.09.18	RE-ISSUED FOR DP
01	27.07.17	ISSUED FOR DP

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE RECALCULATED.



3707 1ST AVENUE
 BURNABY, BC V5C 3V6
 ADMIN@LOVICKSCOTT.COM
 604 298 3700 WWW.LOVICKSCOTT.COM
 MEMBER OF THE AIBC, AAA, SAA, MAA



AUGUST 15, 22

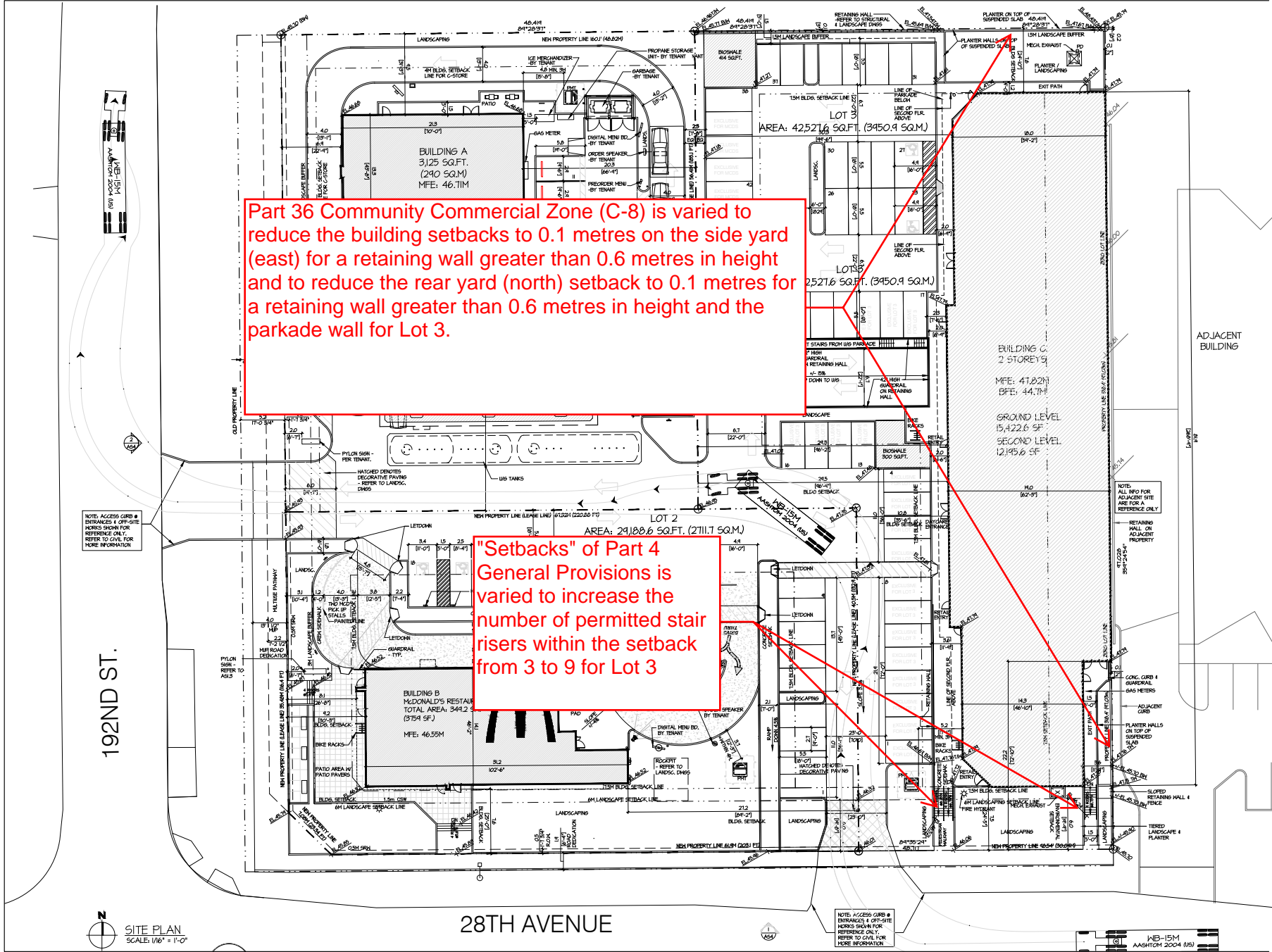
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PROJECT: CAMPBELL HEIGHTS NORTH

2820 192ND STREET
 SURREY, BC

SITE PLAN

PROJECT NUMBER: 16-012
 DRAWING NUMBER: ASI
 SCALE: 1" = 1'-0"
 DATE: MAR 2021
 REVISION: DEC 17 21



192ND ST.

28TH AVENUE

ADJACENT BUILDING

ADJACENT BUILDING

ADJACENT BUILDING

ADJACENT BUILDING

ADJACENT BUILDING

ADJACENT BUILDING

ADJACENT BUILDING

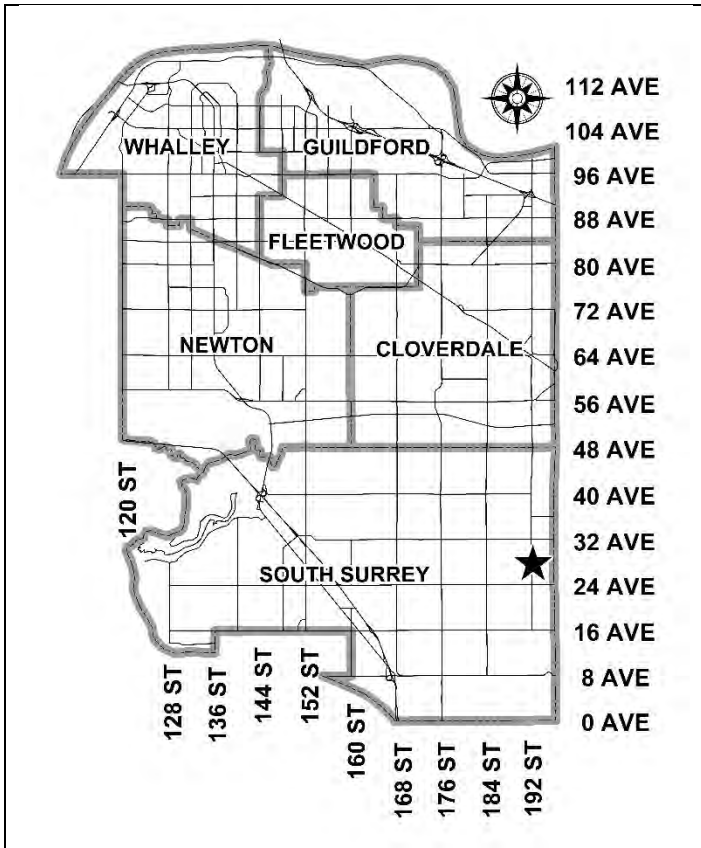
ADJACENT BUILDING

CAMPBELL HEIGHTS NORTH - 16-012

APPENDIX III City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7917-0411-00
 7917-0411-01

Planning Report Date: February 22, 2021



PROPOSAL:

- **Rezoning** from IA to CD (based on CG-1 and C-8) and C-8
- **Development Permit**
- **Development Variance Permit**

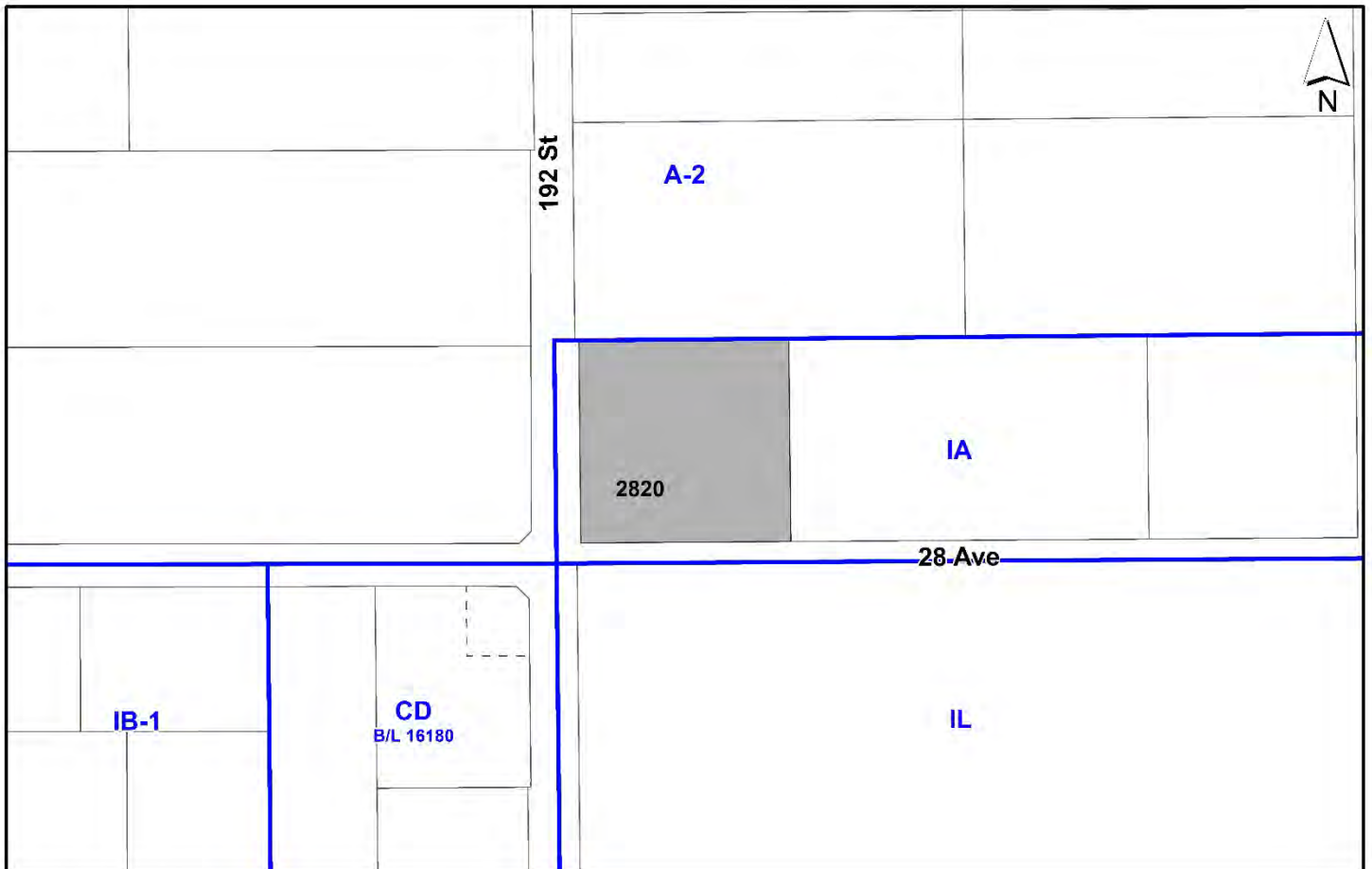
to permit the development of a gas station with drive-through restaurant, a stand-alone drive-through restaurant, and a commercial building.

LOCATION: 2820 - 192 Street

ZONING: IA

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Commercial and Landscape Strips



RECOMMENDATION SUMMARY

- File Bylaw Nos. 19653 and 19654.
- File Development Variance Permit No. 7917-0411-00.
- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character and Sensitive Ecosystems.
- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval for Development Variance Permit No. 7917-0411-01 to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to reduce the required side yard setback of the C-8 Zone on proposed Lot 3.
- The applicant is proposing to vary regulations in the Sign By-law, including the number of fascia signs on Lots 1 and 2, the number of fascia signs on any one façade on Lots 1 and 2, and to allow 50% third party advertising on a free-standing sign proposed on Lot 2.

RATIONALE OF RECOMMENDATION

- Development Application 7917-0411-00 received Third Reading at the September 17, 2018 Regular Council – Public Hearing meeting for 3 proposed commercial buildings and a gas station. Since that time, the applicant has revised the proposal with a drive-through restaurant on Lot 2 instead of a standard commercial building. Drive-through restaurants are not a permitted use in the "Community Commercial Zone (C-8)" and therefore, both Lot 1 and Lot 2 require rezoning under a Comprehensive Development Zone.
- The revised proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The revised proposal complies with the Commercial and Landscape Strips designation in the Campbell Heights Local Area Plan (LAP).
- The proposed density and building form are appropriate for this part of Campbell Heights.
- The proposal generally complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed buildings achieve an attractive architectural built form, which utilizes high quality materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm on 192 Street and 28 Avenue.

-
- The proposed setback reduction on the east property line of Lot 3 is adjacent to the drive-aisle and loading court of the proposed development on the adjacent property to the east, under Development Application No. 7917-0002-00. The reduced setback to the zero-lot line will avoid CPTED issues by eliminating any narrow strip of land behind the building.
 - The proposed signs have been comprehensively designed to be integrated with the design of the buildings and provide a comprehensive look for the development.
 - The proposed signs are high quality and are of an appropriate size and scale for the development.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file Rezoning Bylaw Nos. 19653 and 19654.
2. Council file Development Variance Permit No. 7917-0411-00.
3. A By-law be introduced to rezone a portion of the subject site as shown as Block A and Block B on the attached Survey Plan (Appendix I) from "Agro-Industrial Zone (IA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing
4. A By-law be introduced to rezone a portion of the subject site as shown as Block C on the attached Survey Plan from "Agro-Industrial Zone (IA)" to "Community Commercial Zone (C-8)" and a date be set for Public Hearing.
5. Council authorize staff to draft Development Permit No. 7917-0411-00, including a comprehensive sign design package, generally in accordance with the attached drawings (Appendix II and III).
6. Council approve Development Variance Permit No. 7917-0411-01 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum side yard setback of the C-8 Zone from 7.5 metres to 0.0 metres and 3.6 metres to the east building face;
7. Council approve the applicant's request to vary the Sign By-law as described in Appendix III.
8. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) registration of cross-access easements to ensure access to the proposed parking between Lot 2 and Lot 3;

- (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
- (i) registration of a Section 219 Restrictive Covenant to prohibit any use that require a Metro Vancouver air quality permit from locating on the site.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Vacant lot being utilized for outdoor storage and trailer parking without permits.	Commercial and Landscape Strip	IA
North:	Agricultural and unpermitted outdoor storage and trailer parking.	Business Park and Landscape Strip	A-2
East:	Outdoor storage (approved under TUP No. 7916-0531-00) which has since lapsed. Current Development Application No. 7917-0002-00 for industrial development, which received Third Reading at the April 15, 2019 Regular Council – Public Hearing meeting.	Business Park and Landscape Strip	IA
South (Across 28 Avenue):	Latimer Park	City Park	II
West (Across 192 Street):	Agricultural	Commercial and Landscape Strip	A-2

Context & Background

- The subject site is 1 hectare in size and located at the northeast corner of 192 Street and 28 Avenue across from Latimer Park. The site is designated "Mixed Employment in the Official Community Plan (OCP), "Commercial" and "Landscape Strip" in the Campbell Heights Local Area Plan (LAP) and currently zoned "Agro-Industrial Zone (IA)".
- The applicant originally proposed three commercial buildings on three separate lots with a gas station and drive-through restaurant on one of the lots. Under that proposal, the applicant proposed rezoning from "Agro-Industrial Zone (IA)" to "Comprehensive Development Zone (CD)", based on "Self-Service Gasoline Station Zone (CG-1)" with the addition of a drive-through restaurant being a permitted accessory use. The two additional lots were proposed to be rezoned under "Community Commercial Zone (C-8)". This proposal received Third Reading at the September 17, 2018 Regular Council – Public Hearing meeting.

- Since receiving Conditional Approval in September of 2018, the applicant revised the proposal to replace the commercial building on proposed Lot 2 with a drive-through McDonalds restaurant. Lot 2 was granted Conditional Approval for rezoning to C-8 under the proposal supported by Council at the September 17, 2018 Regular Council – Public Hearing meeting.
- As drive-through restaurants are not a permitted use in the C-8 Zone, Lot 2 requires rezoning to a "Comprehensive Development Zone (CD)" to add eating establishments, including drive-through restaurants, as a permitted use.
- In order to address the proposal as whole, it is recommended that Rezoning Bylaw Nos. 19653 and 19654 be filed and a new CD Zone encompassing Lots 1 and 2 be brought forward.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes to subdivide the property into three lots, rezoning from "Agro-Industrial Zone (IA)" to "Comprehensive Development Zone (CD)" based on "Self-Service Gasoline Station Zone (CG-1)" for Lot 1 and CD based on "Community Commercial Zone (C-8)" for Lot 2, and to "Community Commercial Zone (C-8)" for Lot 3.
- The applicant also proposes a Development Permit for Form and Character to permit a gas station/drive-through restaurant on Lot 1, a drive-through restaurant on Lot 2, and a two-storey commercial building with childcare on Lot 3.
- In addition to a Development Permit for Form and Character, the site is also subject to a Development Permit for Sensitive Ecosystems (Green Infrastructure Areas), as it is adjacent to Latimer Lake Park on the south side of 28 Avenue.
- Proposed Lots 1 and 2 are proposed to be rezoned to CD based on CG-1 (for Lot 1) and C-8 (for Lot 2) (Appendix I). Both the CG-1 and C-8 Zones do not allow drive-through restaurants. Therefore, the CD Zone will include drive-through restaurants as a permitted accessory use on Lot 1 and a permitted principal use on Lot 2.

	Proposed
Lot Area	
Gross Site Area:	10,130.9 square metres
Road Dedication:	521.1 square metres
Net Site Area:	9,609.8 square metres

	Proposed
Number of Lots:	3
Building Height:	<u>Lot 1:</u> 4.8 metres <u>Lot 2:</u> 8.8 metres <u>Lot 3:</u> 10.3 metres
Floor Area Ratio (FAR):	<u>Lot 1:</u> 0.16 <u>Lot 2:</u> 0.14 <u>Lot 3:</u> 0.68
Floor Area	
Total:	<u>Lot 1:</u> <ul style="list-style-type: none"> • Drive-through Restaurant = 93 square metres • Commercial = 197 square metres • Gas Station = 147 square metres <u>Lot 2:</u> <ul style="list-style-type: none"> • Drive-through Restaurant = 336 square metres <u>Lot 3:</u> <ul style="list-style-type: none"> • Commercial = 336 square metres • Childcare = 1,082 square metres

Referrals

Engineering:

The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.

Parks, Recreation & Culture:

This development is adjacent to a high value, regionally significant BCS hub (Latimer Park). As such, all on site landscaping (especially along 28 Avenue) should reflect the intent of the BCS.

Advisory Design Panel:

The original proposal was considered at the ADP meeting on June 21, 2018 and was recommended that the applicant work with staff to refine the project (Appendix VI) as outlined in the Development Permit section of this report. The applicant resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report.

The revised proposal has not been considered by the ADP but was reviewed by the City Architect and determined to meet the general intent of the ADP comments from June 21, 2018. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

Transportation Considerations

- The proposed development on the three lots will be accessed via two entrances, one from 192 Street and a second from 28 Avenue. Both access points will be restricted to right-in/right-out movements.
- Access is proposed to be shared between Lots 1 and 2 on 192 Street, with another access on 28 Avenue for Lot 3. All of the lots are proposed with cross-access easements to facilitate vehicular movement within the site.
- An additional cross-access easement between Lot 2 and Lot 3 will provide parking on Lot 3 for the dedicated use of Lot 2.
- A multi-use pathway is to be constructed on the east side of 192 Street fronting the development, providing cycling and walking connections further north and south.
- An accessible bus stop is located on the western property edge of Lot 2 which will be upgraded through the frontage works associated with this development. TransLink's Bus Route No. 531 serves the site, connecting to White Rock to the west and Willowbrook to the east.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" designation in the Metro Vancouver Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan (OCP).

Themes/Policies

- B4.11 – Create mixed-use neighbourhood centres that support the needs of local residents.

(The proposed development will provide commercial amenities for employees working in Campbell Heights, including eating establishments, child care, retail opportunities, and a gas station.)

- B6.4 – Ensure new development responds to the existing architectural character and scale of its surroundings.

(The proposed McDonalds drive-through restaurant on Lot 2 includes elements of a two-storey building and is anchored to the corner intersection. The commercial building on Lot 3 is two-storeys tall, mimicking the massing of the surrounding industrial buildings.)

- B6.6 – Design buildings to enhance the activity, safety, and interest of adjacent public streets, plazas, and spaces.

(The proposed development is oriented towards the intersection of 28 Avenue and 192 Street with a plaza that opens up from the drive-through restaurant on Lot 2, towards the intersection. Two-level storefront glazing is provided for the commercial building on Lot 3, in order to provide a visual connection between the public realm from the street frontages through the site.)

- B6.20 – Incorporate Crime Prevention Through Environmental Design (CPTED) principles and guidelines into the design and review of development projects.

(The proposed development on Lot 3 includes a zero-lot line setback for the majority of the eastern building face. The zero-lot line ensures there is no safety issues that would have arisen if the building provided a small strip of land between the building face and the property line.)

Secondary Plans

Land Use Designation

- The proposal complies with the "Commercial" and "Landscape Strip" land use designations in the Campbell Heights Local Area Plan (LAP).

Themes/Objectives

- The proposed commercial buildings meet the design guidelines of the Campbell Heights LAP for Commercial Nodes (Campbell Heights LAP, Design Guidelines, 6.5.1.6-8) through the following:
 - The buildings along the street frontage are designed with glazing and high-quality materials;
 - The building on Lot 2 is anchored to the corner intersection of 192 Street and 28 Avenue to the minimum building setback;
 - The buildings are oriented towards the street with pedestrian connections between the public street frontage and the building entrance;
 - The buildings are located at the minimum setback from the street; and
 - A patio extension from McDonalds on Lot 2 provides an extension of the commercial use towards the public realm.

Zoning Bylaw and CD Bylaw

- The applicant proposes to rezone a portion of the subject site as shown in Appendix I as Block C from "Agro-Industrial Zone (IA)" to "Community Commercial Zone (C-8)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Community Commercial Zone (C-8)", and parking requirements.

C-8 Zone (Part 36)	Permitted and/or Required	Proposed
Floor Area Ratio:	0.80	0.68
Lot Coverage:	50%	39.6%
Yards and Setbacks		
North:	7.5 metres	13.3 metres
East:	7.5 metres	0.0/3.6 metres
South:	7.5 metres	7.5 metres
West:	7.5 metres	9.3 metres
Height of Buildings		
Principal buildings:	12 metres	8.5 metres
Accessory buildings:	4.5 metres	
Parking (Part 5)		
	Required	Proposed
Number of Stalls		
Commercial:	37	
Child care	36	
Total:	73	84
Bicycle Spaces		
Residential Secure Parking:	n/a	8
Residential Visitor:		

- The applicant is also proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed gas station and drive-through restaurant on Lot 1 and a drive-through restaurant on Lot 2 on Blocks A and B respectively, shown on Appendix I. The proposed CD By-law for the proposed development identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Self-Service Gasoline Station Zone (CG-1)" and the "Community Commercial Zone (C-8)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the CG-1 Zone, C-8 Zone and the proposed CD By-law is illustrated in the following table.
- The proposed CD Bylaw is divided into Block A and Block B, as shown in Appendix I. Block A covers Lot 1 and Block B covers Lot 2.

Zoning	CG-1 Zone (Part 40)	C-8 Zone (Part 36)	Proposed CD Zone
Floor Area Ratio:	0.30	0.68	<u>Block A:</u> 0.20 <u>Block B:</u> 0.15
Lot Coverage:	30%	50%	<u>Block A:</u> 17 % <u>Block B:</u> 14%
Yards and Setbacks			
North	Principal Building: 4.0 m Pump Islands and Kiosk: 4.0 m Canopies: 2.0 m	7.5 metres	<u>Block A</u> Principal Building: 4.0 m Pump Islands and Kiosk: 4.0 m Canopies: 2.0 m <u>Block B</u> 7.5 metres
South	Principal Building: 4.0 m Pump Islands and Kiosk: 4.0 m Canopies: 2.0 m		<u>Block A</u> Principal Building: 4.0 m Pump Islands and Kiosk: 4.0 m Canopies: 2.0 m <u>Block B</u> 7.5 metres
East	Principal Building: 4.0 m Pump Islands and Kiosk: 4.0 m Canopies: 2.0 m		<u>Block A</u> Principal Building: 4.0 m Pump Islands and Kiosk: 4.0 m Canopies: 2.0 m <u>Block B</u> 7.5 metres
West	Principal Building: 12.0 m Pump Islands and Kiosk: 4.5 m Canopies: 2.0 m		<u>Block A</u> Principal Building: 6.9 m Pump Islands and Kiosk: 4.5 m Canopies: 2.0 m <u>Block B</u> 7.5 metres
Principal Building Height:	6.15 metres	12 metres	<u>Block A:</u> 6.2 metres <u>Block B:</u> 8.7 metres

Permitted Uses:	Self-service gasoline station, full-service gasoline station, and accessory uses, including retail stores limited to convenience store limited to 28 square metres, and sale of automotive accessories; and automotive service uses limited to car wash facilities.	Neighbourhood scale commercial uses (details in Section B of the C-8 Zone)	<u>Block A:</u> <ul style="list-style-type: none"> All uses under Section B of Part 40 CG-1 Zone, plus eating establishments including drive-through restaurants as an accessory use. <u>Block B:</u> <ul style="list-style-type: none"> Retail stores excluding adult entertainment stores, auction houses, second-hand stores, and pawnshops Personal services uses excluding body rub parlours General service uses excluding funeral parlours and drive-through banks Eating establishments including drive-through restaurants
Parking (Part 5)		Required	Proposed
Number of Stalls			
Total:		<u>Lot 1:</u> 15 <u>Lot 2:</u> 34	<u>Lot 1:</u> 15 <u>Lot 2:</u> 34
Bicycle Spaces			
Residential Secure Parking:		n/a	8
Residential Visitor:			

- Block A is CD based on the CG-1 Zone and is intended to capture the regulations of the proposed gas station. Block A reduces the front yard (west) setback of the principal building, increases the building height, and adds "eating establishment, including drive-through restaurants" as a permitted accessory use to the gas station.
- Block B is CD based on the C-8 Zone and is intended to capture the regulations of the proposed drive-through eating establishment. Block B maintains the same setbacks, density, and building height of the C-8 Zone, but includes "eating establishments, including drive-through restaurants" as a permitted use.

Setback Variance

- The applicant is requesting the following variances:
 - to reduce the minimum side yard setback of the C-8 Zone from 7.5 metres to 0.0 metres and 3.6 metres to the east building face on Lot 3;
- The proposed reduced side yard setback on Lot 3 from 7.5 metres to 0.0 metres and 3.6 metres is considered reasonable from a CPTED perspective as the reduced setback will eliminate any narrow strip of land behind the building that could become a safety hazard.

- Lot 3 is adjacent to a proposed industrial development under Development Application No. 7917-0002-00 at 19283 – 28 Avenue. The reduced building setback will abut the drive-aisle and loading court of the proposed development, resulting in little or no impact to the adjacent lot.
- Staff support the requested variances to proceed for consideration.

Childcare Locational Guidelines

- In 1990, the City completed a report entitled "Guidelines for the Location and Siting of Child Care Centres". The following illustrates how the proposed application adheres to the various locational and siting guidelines outlined in the report:
 - Locate centres close to child-oriented facilities (e.g., schools, parks, playgrounds, open space, community or recreation centres, libraries, etc.)
 - The subject site is not located near other child-oriented facilities with the exception of Latimer Park; however, the facility is located in a high-employment area and will provide a beneficial service to the many employees working in Campbell Heights who may require child care near to their employment.
 - Avoid siting childcare centres along arterial roads.
 - The subject property is located on 28 Avenue which is a Collector Road.
 - Provide adequate on-site parking for employees and parents.
 - Based on the number of employees and licensed children in the proposed child care, a total of 36 parking spaces is required. The applicant proposes a minimum of 36 parking spaces on-site.
 - Provide adequate fencing, screening, setbacks, and outdoor play areas.
 - The applicant proposes to provide two separate outdoor play areas on the second floor of the building adjacent to the indoor child care space. The outdoor play areas are 148 square metres and 264 square metres in size, respectively.

Alternative Fuel Policy

- The applicant was requested to consider providing additional fuel options in keeping with the City's objective of encouraging the use of more environmentally friendly fuels in accordance with the service station zones in Zoning By-law No. 12000. In accordance with City Policy No. O-58, approved by Council on June 25, 2012 (Corporate Report No. R146), any of the following alternative fuel or recharging infrastructure are to be provided with any new gasoline station:
 - Level-3 electric vehicle charging station (also known as a DC fast charger), or its equivalent;
 - Fast-fill compressed natural gas (CNG) vehicle refueling station;

- Hydrogen vehicle refueling station; and/or
- Liquefied petroleum gas (propane) vehicle refueling station.
- The applicant has opted to provide a Level 3-electric vehicle charging station (also known as a DC fast charger) to meet this requirement.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on January 25, 2021 and the Development Proposal Signs were installed on February 1, 2021. Staff received one response from the Little Campbell Watershed Society with the following concern:
 - Concern that post development activities may issue pollutants that could pass through the storm-water treatment technology provisions indicated or otherwise become water-borne.

(The applicant's Engineer of Record will be required to design a system that does not result in any pollutants leaving the site. This system will be reviewed at the Building Permit stage, at which point the Engineer of Record will need to certify the design).

DEVELOPMENT PERMITS

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Hub located south of the subject site on 28 Avenue. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies BCS Hub I south of the subject site, in the Campbell Heights BCS management area, with a High ecological value.

- In order to complement the BC Hub to the south, the applicant has provided a planting plan by a Qualified Environmental Professional (QEP) for the buffer along the south property line (28 Avenue). This proposed landscape buffer is 6 metres wide, and the building setback complies with the minimum 7.5 metres requirement of the C-8 Zone. The planting plan for the buffer will form part of the Development Permit for Sensitive Ecosystems (Green Infrastructure Areas).
- Protecting green infrastructure Hubs (large habitat areas and Sites (smaller habitat areas) are critical to preserving natural habitat refuges and a diversity of habitat features while maintaining/enhancing Corridors ensures connectivity between fragmented hubs for genetic variation throughout the City. The closest Biodiversity Hub connection in the GIN to the subject site is Hub Latimer Lake Park and is located on the south side of 28 Avenue.
- The development proposal enhances the GIN area, by providing this planted landscape buffer and appropriate building setbacks. This method of GIN enhancement will assist in the long term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The applicant has worked with staff to ensure the revised proposal maintains a similar character to that which was reviewed by the ADP on June 21, 2018. The applicant revised the massing of the McDonalds on Lot 2 to mimic a two-storey form (while maintaining a single-storey floor plate) to better integrate the building with the surrounding scale of industrial and commercial buildings.

Gas Station Lot 1

- Proposed Lot 1 is 2,748 square metres in area and located on the northwest portion of the site. The proposal includes a drive-through restaurant and convenience store located on the northwest portion of the lot, with the fueling pumps located along the south portion.
- Staff have worked with the applicant to ensure the proposal complies with the OCP Design Guidelines for Gas Stations.
- The convenience store and drive-through restaurant will have a total floor area of 290 square metres. The drive-through restaurant will be along the north portion of the site. "Neighbours" is the proposed operator for the convenience store, and the operator for the drive-through restaurant has not yet been confirmed.
- For the gas station, the operator will be PetroCanada. The applicant proposes a total of six pumps in a pump island that is to be covered by a canopy which is not physically connected to the building. The canopy is designed with a flat roof and has a height of 5.5 metres.

- The canopy colours are the corporate colours for PetroCanada in white and red in Aluminum Composite Material (ACM) panel system. An internally illuminated sign is also proposed on the canopy along the north and south facades.
- The building is proposed with glass (thermal pane and spandrel) and longboard finish in western cedar with grey and red accents.
- A support canopy is proposed along the south façade, facing the pumps, and 12 parking spaces are provided along the south and east of the building. The electric vehicle (Level 3) charging station is proposed east of the building.
- A garbage enclosure is to be located between the parking and drive-through and will be secured.
- A 3-metre wide landscape buffer is proposed along the west property line (192 Street) and a 1.5-metre wide landscape buffer is proposed along the north property line. There is also a landscape island between proposed Lots 1 and 3, with a total width of 2.3 metres, which is proposed to be shared between the two lots.
- A free-standing sign is proposed along 192 Street, in a monument style. The proposed sign will have the PetroCanada logo and will advertise the price of gas. The sign is proposed to be 1.5 metres high, and 2.9 metres wide. The sign complies with the Sign By-law and is proposed to be at least 2 metres from the property line.
- Fascia signage on the building will include signage for the drive-through restaurant on the west and south façade, "Neighbours" signage on the south façade, and a "maple leaf" emblem that serves as branding for PetroCanada on both the south and north façade. The proposed number of fascia signs and number of fascia signs on the south façade requires a variance to the Sign By-law (Appendix III).

McDonalds Lot 2

- A single-storey McDonalds drive-through restaurant is proposed on Lot 2 and is to be located at the minimum setbacks anchoring the corner of 192 Street and 28 Avenue. The total floor area for the drive-through restaurant is 336 square metres.
- The drive-through can be accessed from either the 192 Street or 28 Avenue accesses, and the drive-through entrance is located at the eastern portion of the lot. The drive-through provides queuing for a minimum of 7 vehicles.
- Parking is provided along the north and east property lines; however, the required 34 spaces cannot be achieved on Lot 2. Therefore, a total of 16 parking spaces on Lot 3 will be provided to Lot 2 for the use of McDonalds customers to meet the requirement.
- Materials and finishes include metal feature panels in red and white, metal siding panels in grey, hardie fiber cement siding in "Chestnut Brown", and stone.

- Given the proximity to Latimer Lake and the Green Infrastructure Network (GIN) to the south, a 6-metre wide landscape buffer, designed by a Qualified Environmental Professional (QEP) was required along the south portion of the site. No variances were considered for the building along this frontage, with a proposed 7.5 metre setback.
- Along the west side of this lot, a 3-metre wide landscape buffer is proposed, as well as a corner plaza. The plaza was located along 192 Street to avoid any encroachments on the GIN area along 28 Avenue.
- A free-standing sign is proposed along 192 Street. The proposed sign will have space for up to 2 businesses to advertise. The sign is proposed to be 1.7 metres high and is proposed in concrete with "Campbell Heights" in channel letters above the sign. The applicant proposed to have half the spaces for advertising businesses on Lot 3, as an additional free-standing sign for Lot 3 is not proposed. The sign complies with all other aspects of the Sign By-law and is proposed at least 2 metres from the property line.
- Fascia signage for the McDonalds is proposed on all four facades. On the north façade, a "McDonalds" sign is proposed. On the west façade, a "McDonalds" and "M" signs are proposed. On the south façade, an "M", "McCafe" and "Open 24 hours" sign is proposed. On the east façade, an "M" and "McCafe" sign is proposed. The proposed number of fascia signs and the number of fascia signs on any one façade requires a variance to the Sign By-law (Appendix III).

Commercial Lot 3

- A single two-storey commercial building is proposed on Lot 3 with ground floor retail uses and a childcare on the second floor with a dedicated second floor outdoor play area. The building has a total floor area of 2,682 square metres, comprised of 1,549 square metres of ground floor retail and 1,133 square metres of second storey child care space. The exterior playground on the second storey is proposed to be 411 square metres in size.
- The site includes parking spaces along the western building face and an underground parkade. A total of 100 parking spaces are proposed on the lot, 16 of which are dedicated for Lot 2. A total of 73 parking spaces are required based on the retail uses and child care.
- Pedestrian access from 28 Avenue is proposed with a ramp from Lot 2 connecting to 28 Avenue, and access walkways connecting to the building entrance on Lot 3.
- Individual unit entrances are proposed along the west façade of the building, with the entrance to the lobby also provided on the west façade, or through a vestibule accessed from the underground parking.
- Materials and finishes are proposed to integrate with the buildings on proposed Lots 1 and 2, with concrete panels in "Cambridge White" and "Charcoal", metal siding in "Western Cedar", and significant glazing on the first and second storeys, including wrapping the southern and eastern building façade.

- A free-standing sign is not proposed on Lot 3. The free-standing sign on Lot 2 is proposed to allow for 50% third party advertising to accommodate businesses on Lot 3. This proposed variance is further discussed in this report.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, which do not affect the overall character or quality of the project. These generally include minor drafting errors on the drawings and implementing a canopy over the second floor doors of the building on Lot 3.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these items prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Stuart Goode, ISA Certified Arborist of Goode Arboriculture Consulting prepared an Arborist Assessment for the subject property.
- The Arborist Assessment states that there are no mature trees on the site.
- A total of 57 trees are proposed to be planted across the three sites.
- The new trees on the site will consist of a variety of trees including Serbian Spruce, Western Red Cedar, Armstrong Maple, and Silhouette Sweetgum.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Block Plan
Appendix II.	Site Plan, Architectural, and Landscape Drawings
Appendix III.	Proposed Variances to the Sign By-law
Appendix IV.	Engineering Summary
Appendix V.	Development Variance Permit No. 7917-0411-01
Appendix VI.	Initial Planning Report No. 7917-0411-00 dated July 23, 2018

approved by Shawn Low

Jean Lamontagne
General Manager
Planning and Development

SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. _____ OF LOT 1 SECTION 22 TOWNSHIP 7 NEW WESTMINSTER DISTRICT PLAN 80921

APPENDIX I

CITY OF SURREY BCGS 92G.007

SCALE 1:750



ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 432 mm IN WIDTH BY 280 mm IN HEIGHT (B SIZE) WHEN PLOTTED AT A SCALE OF 1:750

REZONING BOOK OF REFERENCE

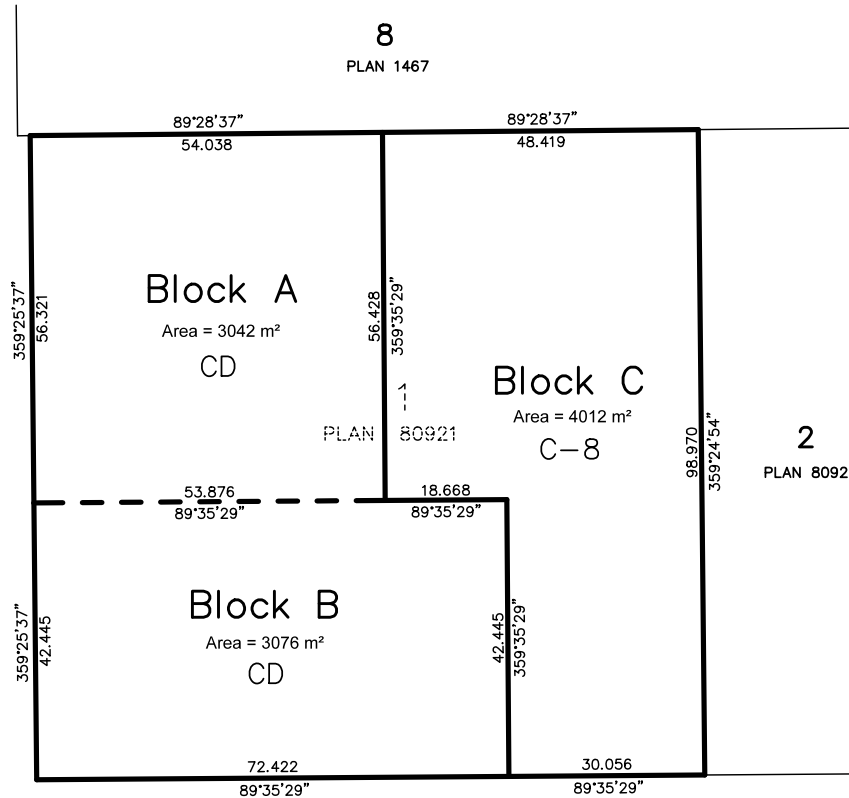
DESCRIPTION	AREA
BLOCK A	3042 m ²
BLOCK B	3076 m ²
BLOCK C	4012 m ²
TOTAL ALL BLOCKS	10130 m ²

COMPREHENSIVE DEVELOPMENT BOOK OF REFERENCE

DESCRIPTION	AREA
CD	6118 m ²
C-8	4012 m ²
TOTAL ALL BLOCKS	10130 m ²



192nd Street



**H.Y. AND ASSOCIATES
LAND SURVEYING LTD.**

200, 9128 - 152nd STREET
SURREY, B.C.

V3R 4E7
(ph) 604-583-1616

File: 154324_BLOCK_2.DWG

CERTIFIED CORRECT TO SURVEY DATED
THIS 19th DAY OF JANUARY, 2021

EUGENE WONG BCLS #718

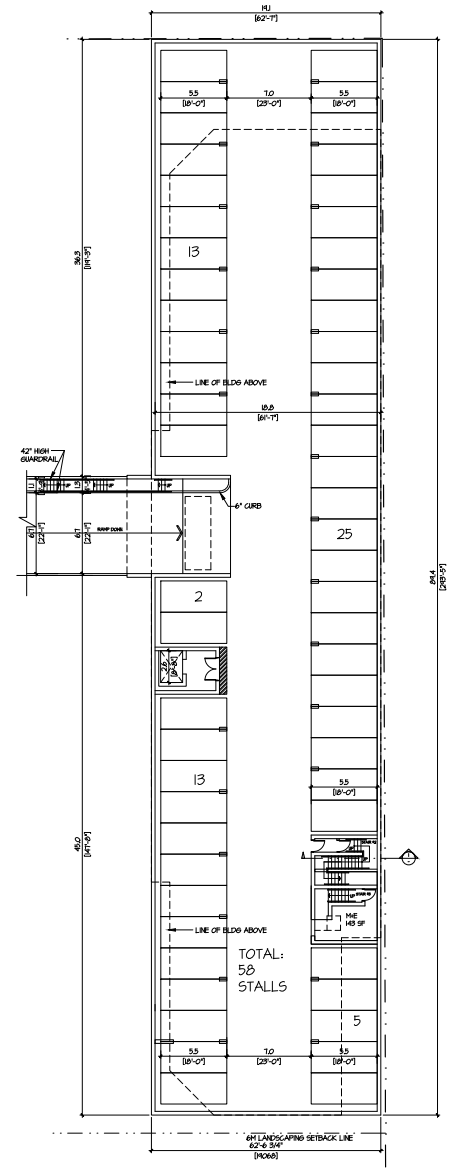
THIS DOCUMENT IS NOT VALID UNLESS
ORIGINALLY SIGNED AND SEALED

SITE STATISTICS

EXISTING ZONE:	IA (AGRO INDUSTRIAL)	
PROPOSED ZONE:	- LOT 1: CD BASED ON C-1	
	- LOT 2: CD BASED ON C-2	
	- LOT 3: C-2	
GROSS SITE AREA	10130.9 sqM (109,046.1 sq.Ft.)	
ROAD DEDUCTION	52.1 sqM (560.8 sq.Ft.)	
NET SITE AREA	9409.8 sqM (101,286.7 sq.Ft.)	
SETBACKS:	ALLOWED	PROPOSED
C-STORE/REST.		
SIDE (NORTH)	4M (13'-1")	4.5M (15'-2")
FRONT (WEST)	4M (13'-1")	6.9M (22'-8 3/4")
REAR (EAST)	4M (13'-1")	20.3M (66'-10")
SIDE (SOUTH)	4M (13'-1")	33.6M (110'-1 3/4")
BUILDING B		
FRONT (WEST)	1.5M (24'-1 1/2")	8.9M (29'-1")
SIDE (SOUTH)	1.5M (24'-1 1/2")	1.5M (24'-1 1/2")
REAR (EAST)	1.5M (24'-1 1/2")	21.2M (69'-2 1/4")
SIDE (NORTH)	1.5M (24'-1 1/2")	10.9M (35'-9 1/4")
BUILDING C		
SIDE (EAST)	1.5M (24'-1 1/2")	2M (6'-7") (N)
REAR (NORTH)	1.5M (24'-1 1/2")	3.6M (12'-2") (S)
SIDE (WEST)	1.5M (24'-1 1/2")	4.32M (14'-2")
FRONT (SOUTH)	1.5M (24'-1 1/2")	1.5M (24'-1 1/2")
LOT 1 (CD BASED ON C-1)		
LOT AREA	2148.6 sq.M. = 24585.5 sq.F.	
FLOOR AREA		
RESTAURANT	42.9 sq.M (1,000 sq.Ft.)	
C-STORE	171.4 sq.M (2129 sq.Ft.)	
GAS-STATION	147 sq.M (1583 sq.Ft.)	
GARBAGE	24.5 sq.M (260 sq.Ft.)	
TOTA FLOOR AREA:	461.45 sq.M. (4962.2 sq.Ft.)	
LOT COVERAGE		
ALLOWED	30.0 %	
PROVIDED	461.45 / 2148.6 = 16.8 %	
FAR		
PROVIDED	461.45 / 2148.6 = 0.21	
MAX. HEIGHT		
ALLOWED	6 M (20H)	
PROVIDED	4.8 M (15.7 H)	
PARKING REQUIREMENTS:		
GASOLINE STATION	3 PARKING SPACES FOR EVERY [100 sq.M] OF GFA PLUS 1 PARKING SPACE PER CAR WASH BAY	
	R17'100' x 3' = 5,836 STALLS (REQUIRED)	
RESTAURANT	CATEGORY 2, [100-450 sq.M] OF GFA	
	10 PARKING SPACES FOR EVERY [100 sq.M] OF GFA	
	92/100 x 10 = 92 (9 STALLS REQUIRED)	
TOTAL PARKING REQUIRED:	15	
PROVIDED:	15	

LOT 2: CD BASED ON C-2 WITH DRIVE-THROUGH		
LOT AREA:	2711.1 sq.M. (24188.6 sq.F.)	
FLOOR AREA:		
RESTAURANT	336.5 sq.M (3622 sq.Ft.)	
GARBAGE	28.9 sq.M (311 sq.Ft.)	
TOTAL FLOOR AREA:	365.4 sq.M (3933 sq.Ft.)	
LOT COVERAGE	50.0 %	
PROVIDED	365.4 / 2711.1 = 13.5 %	
FAR		
PROPOSED	365.4 / 2711.1 = 0.14	
MAX. HEIGHT		
ALLOWED	12M (40 FT)	
PROVIDED	8.84M (29'-0")	
PARKING REQUIREMENTS:		
RESTAURANT	CATEGORY 2, [100-450 sq.M] OF GFA	
	10 PARKING SPACES FOR EVERY [100 sq.M] OF GFA	
	336.5/100 x 10 = 34	
TOTAL PARKING REQUIRED:	34	
PROVIDED:	18 + 16 (GIVEN FROM LOT 3) = 34	

LOT 3: (C-2)		
LOT AREA:	3,950.9 sq.M. (42521.6 sq.Ft.)	
BUILDING V:		
-RETAIL (GF)	1212.6 sq.M (13,052.1 sq.Ft.)	
-COMMON AREAS & SERVICES & STAIRS (GF)	86.3 sq.M (928.8 sq.Ft.)	
-DAYCARE (2ND FLR)	1,082.3 sq.M (11,650.0 sq.Ft.)	
-COMMON AREAS & STAIRS (2ND FLR)	507.9 sq.M (5452.2 sq.Ft.)	
TOTAL GF =	1,549.5 sq.M (16,678.1 sq.Ft.)	
TOTAL 2ND FLOOR =	1,590.2 sq.M (17,245.2 sq.Ft.)	
TOTAL GF + 2ND FLR =	2,682.5 sq.M (28,873.9 sq.Ft.)	
EXTERIOR PLAYGROUND	412.5 sq.M (4,440 sq.Ft.)	
GARBAGE	15.3 sq.M (165 sq.Ft.)	
LOT COVERAGE - 50% MAX		
PROVIDED	1,549.5 (GF) + 15.3 (GARB) = 1,564.8	
	1,564.8 / 3,950.9 = 39.6%	
FAR		
ALLOWED	0.2	
PROVIDED	2,682.5 / 3,950.9 = 0.68	
MAX. HEIGHT		
ALLOWED	12M (40 FT)	
PROVIDED	10.3 M (33'-4")	
DAYCARE INFORMATION:		
- CHILDREN UNDER 36 MONTHS = 48 CHILDREN & 12 TEACHERS		
- CHILDREN OVER 36 MONTHS = 82 CHILDREN & 10 TEACHERS		
TOTAL CHILDREN = 130 CHILDREN		
TOTAL TEACHERS = 22 TEACHERS		
PLAYGROUND: 412.5 sq.M. (4,440 sq.Ft.) MINIMUM.		
PARKING REQUIREMENTS:		
DAYCARE:	0.10 PER EMPLOYEE PLUS 0.15 PER LICENSED CHILD	
	DROP OFF OR 2 SPACES, WHICHEVER IS GREATER	
	22 STAFF X 0.10 = 16.5 SPACES	
	130 CHILDREN X 0.15 = 19.5 SPACES	
	TOTAL FOR DAYCARE = 36	
COMMERCIAL USE:	3 PARKING SPACES FOR EVERY [100 sq.M] OF GFA	
	1212.6 (EXCL. STAIRS & ELEVATOR LOBBY) / 100 x 3 = 37	
TOTAL PARKING REQUIRED: 13 (MAX. 26 SMALL CARS @ 25%)		
PROVIDED: 16 + 4 SURFACE = 42		
TOTAL PROVIDED = 100 STALLS		
100 - 16 STALLS (GIVEN TO LOT 2) = 84 STALLS		



U/G PARKING PLAN
SCALE: 1/16" = 1'-0"

REV	DATE	DESCRIPTION
01	FEB 04 21	RE-ISSUED FOR DP
06	15.10.20	RE-ISSUED FOR DP
05	30.02.20	RE-ISSUED FOR DP
04	18.10.18	RE-ISSUED FOR DP
03	21.06.18	SUBMISSION TO ADP
02	12.08.18	RE-ISSUED FOR DP
01	27.07.17	ISSUED FOR DP
REV	DATE	DESCRIPTION

CONSULTANT SEAL

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3707 1ST AVENUE
BURNABY, BC V5C 3V6
ADMIN@LOVICKSCOTT.COM
604 298 3700 WWW.LOVICKSCOTT.COM
MEMBER OF THE AIBC, AAA, SAA, MAA
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DRAWN BY: AC APPROVED: LSA

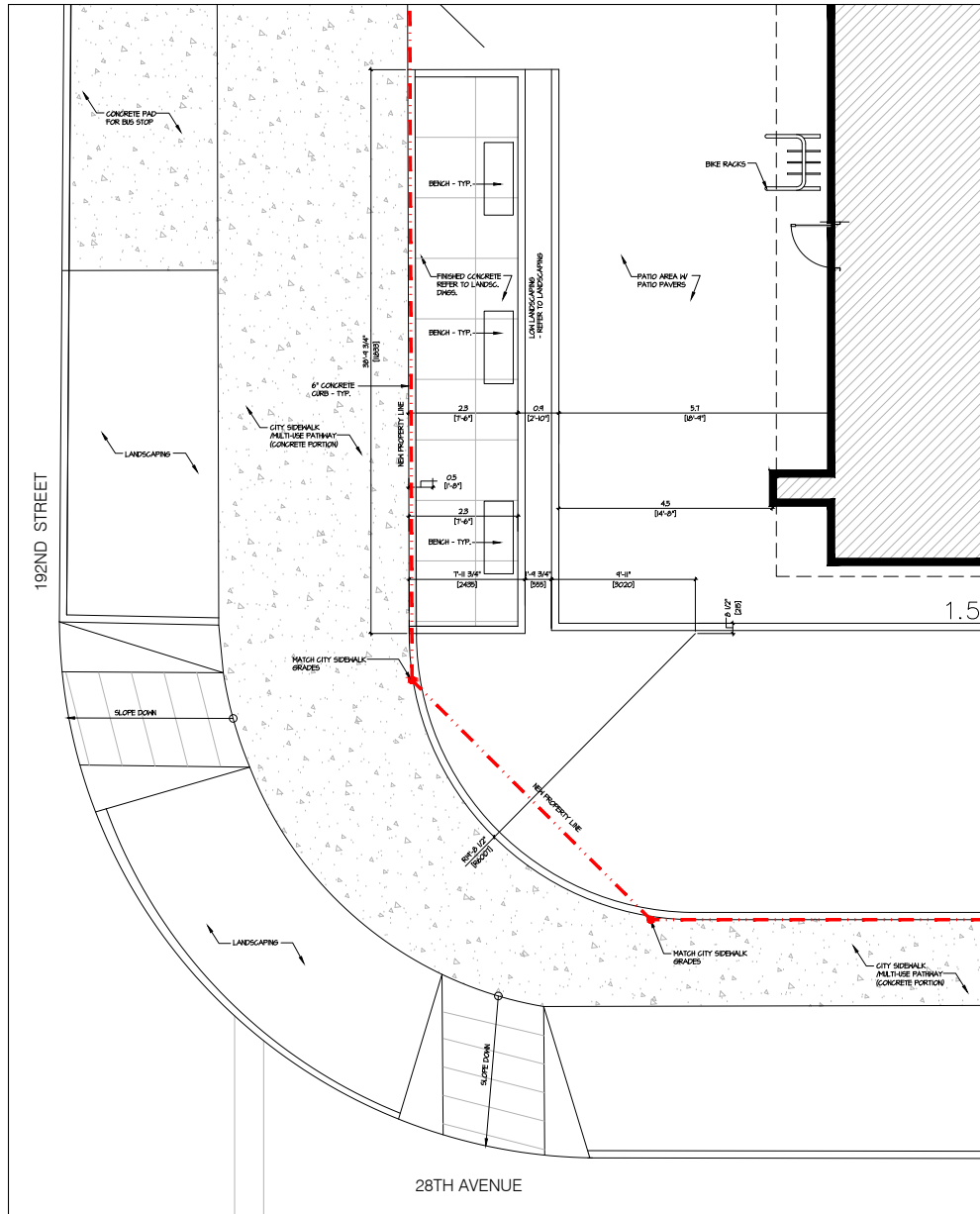
PROJECT: CAMPBELL HEIGHTS NORTH

2820 192nd STREET
SURREY, BC

SITE DATA / UNDERGROUND PARKING PLAN

PROJECT NUMBER: 16-012 DRAWING NUMBER: ASI.1
SCALE: 1" = 1'-0"
DATE: MAR 2019 REGION: OCT 02 20

CAMPBELL HEIGHTS NORTH-16-12



REV	DATE	DESCRIPTION
01	FEB 01 21	RE-ISSUED FOR DP
06	15.10.20	RE-ISSUED FOR DP
05	30.01.20	RE-ISSUED FOR DP
04	18.10.19	RE-ISSUED FOR DP
03	21.06.19	SUBMISSION TO ADP
02	12.09.18	RE-ISSUED FOR DP
01	27.07.17	ISSUED FOR DP

CONSULTANT

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ARCHITECT



3707 1ST AVENUE
 BURNABY, BC V5C 3V6
 ADMIN@LOVICKSCOTT.COM
 604 298 3700 WWW.LOVICKSCOTT.COM
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DESIGNED BY

APPROVED

AC/AMS PROJECT L5A

CAMPBELL HEIGHTS NORTH

2820 192nd STREET
 SURREY, BC
 COORDINATE

SITE CORNER FEATURE
 PLAN & DETAILS

PROJECT NUMBER DRAWING NUMBER

16-012 AS2

SCALE

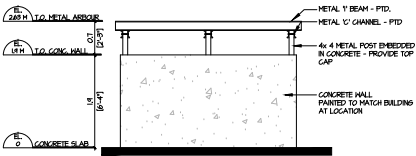
AS SHOWN

DATE REGION

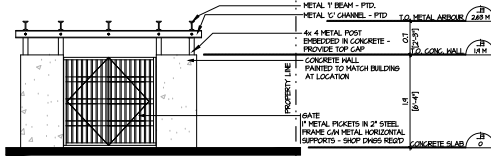
FEB 2017 OCT. 2 20

1 SITE CORNER FEATURE PLAN
 AS2 SCALE: 1/4" = 1'-0"

CAMPBELL HEIGHTS NORTH -16-12



SIDE ELEVATION
SCALE: 1/4" = 1'-0"

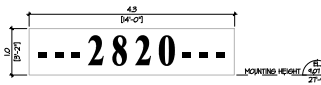


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

FASCIA SIGNS

TOTAL AREA OF FASCIA SIGNS SHALL NOT EXCEED 5 SQ/FT PER LINEAR FOOT OF BIRTH WALL SURFACE TO WHICH THE SIGNS ARE ATTACHED. COPY AREA CANNOT EXCEED 50% OF THE AREA OF THAT WALL SIGN AREA.

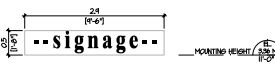
BLDG. C - WEST ELEVATION



PROPOSED AREA = 44.3 SQ. FT. (4.0 SQM)
CENTERED OVER WINDOWS
COPY NOT TO EXCEED 50% OF SIGN AREA
TOTAL LINEAR FRONTAGE (WEST) 106'-11" (32.17 M)
SIGN AREA PERMITTED 106'-11" x 3'
TOTAL ALLOWABLE 560.1 SQ.FT. (52.10 SQM)
TOTAL SIGNAGES PROVIDED = 1

ALL SIGNS TO BE INDIVIDUAL CHANNEL LETTERS/LOGOS ON RACEWAY OR FASTENED DIRECTLY TO BUILDING. NO SIGN BODIES ALLOWED.
ALL SIGNAGE TO BE LOCATED IN LOCATIONS AS SHOWN ON ELEVATION DRAWINGS ONLY.

BLDG. C - WEST ELEVATION

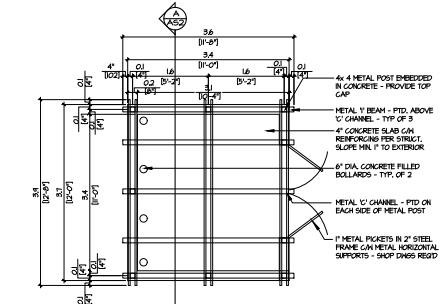


PROPOSED AREA = 6.9 SQ.FT. (0.64 SQM)
CENTER OVER DOORS
COPY NOT TO EXCEED 50% OF SIGN AREA
TOTAL LINEAR FRONTAGE (WEST) 106'-11" / 5 TENANTS = 314' (0.34 M)
SIGN AREA PERMITTED 314' x 3'
TOTAL ALLOWABLE 102.2 SQ.FT. (9.4 SQM)
TOTAL SIGNAGES PROVIDED = 5

ALL SIGNS TO BE INDIVIDUAL CHANNEL LETTERS/LOGOS ON RACEWAY OR FASTENED DIRECTLY TO BUILDING. NO SIGN BODIES ALLOWED.
ALL SIGNAGE TO BE LOCATED IN LOCATIONS AS SHOWN ON ELEVATION DRAWINGS ONLY.

3 SIGNAGE DETAILS FOR BLDG. C

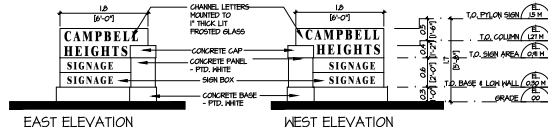
AS3 SCALE: 1/4" = 1'-0"



PLAN
SCALE: 1/4" = 1'-0"

1 TYPICAL GARBAGE DETAILS FOR LOT 3

AS3 SCALE: 1/4" = 1'-0"



2 PYLON SIGN DETAILS

COPY AREA SHALL NOT EXCEED 50% OF THE SIGN AREA
SIGN BOX AREA 52.5 SQ/FT. (4.80 SQM) / SIDE
COPY AREA ALLOWED 26.25 SQ/FT. (2.40 SQM) / SIDE
CHANNEL LETTER AREA 10.0 SQ/FT. (0.93 SQM) / SIDE
COPY AREA ALLOWED 5.0 SQ/FT. (0.46 SQM) / SIDE
TOTAL SIGN AREA ALLOWED 150 SQ/FT. / SIDE

ALL PYLON SIGN BODIES TO HAVE OPAQUE BACKGROUND WITH LIT LETTERING/LOGO ONLY

2 PYLON SIGN DETAILS

AS3 SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION
01	FEB 04 21	RE-ISSUED FOR DP
02	18.10.20	RE-ISSUED FOR DP
03	30.10.20	RE-ISSUED FOR DP
04	18.10.18	RE-ISSUED FOR DP
05	21.06.18	SUBMISSION TO ADP
02	12.09.18	RE-ISSUED FOR DP
01	27.07.17	ISSUED FOR DP

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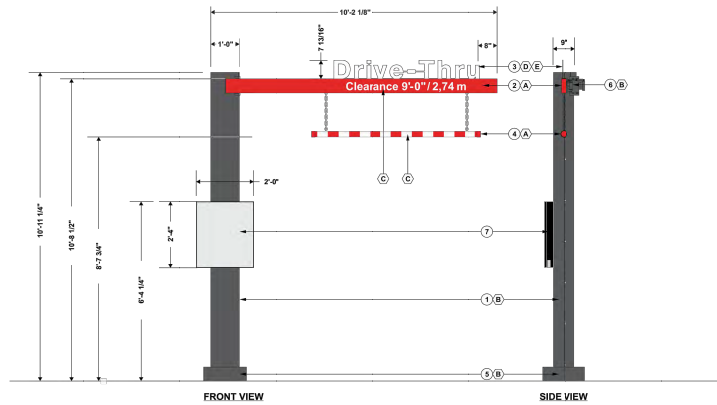


3707 1ST AVENUE
BURNABY, BC V5C 3V6
ADMIN@LOVICKSCOTT.COM
604 298 3700 WWW.LOVICKSCOTT.COM
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DRAWN BY: AC
PROJECT: L5A
CAMPBELL HEIGHTS NORTH
2820 192nd STREET
SURREY, BC
SIGNAGE & GARBAGE DETAILS
PROJECT NUMBER: 16-012
DRAWING NUMBER: AS3
SCALE: AS SHOWN
DATE: FEB 2017
REVISION: OCT 02 20

CAMPBELL HEIGHTS NORTH - 16-12



SPEC BOOK ENGLISH/WEST
SINGLE LANE VHD (LEFT) WITH SWING ARM

Installation:	Interior	Exterior
Electrical Specifications:		
Voltage:	NA Amps:	NA Circuits:
# Description:		
1	1 1/2\"	
2	6\"	
3	6 1/2\"	
4	2 3/8\"	
5	5 1/2\"	
6	HINGE	
7	ILLUMINATED APPENDAGE SIGN SEE PAGES 6 & 7	

Notes:
SEE 8/000000000000 FOR MORE DETAILS

#	Colors:
A	PAINTED RED D13 ALPOLIC RED 79%
B	PAINTED IC3 OMBRIAN GLASS DOWN 13000 GREY TO MATCH PMS 425
C	WHITE OPAQUE VINYL 7725-20
D	PAINTED WHITE
E	BLACK VINYL



1 DRIVE THRU VEHICLE O/H DETECTOR
SCALE: NTS

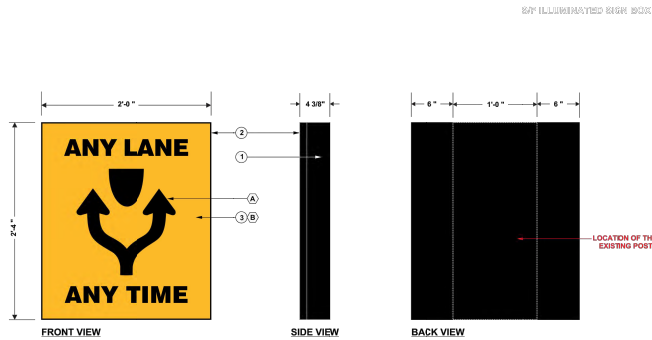


Tel: (949) 739-5586 | Fax: (949) 731-4734 | Toll Free: 1-800-965-9798
Client: MCDONALD'S
Site: VARIOUS
Consultant: GARY SODJIN
Draftsman: CLAUDIA VOGT | Date: 12.07.2016
Page: 2/16 | Scale: 1/12-1/0"

ISO 9001:2008 Certified Enterprise

01	FEB 04 21	RE-ISSUED FOR DP
06	19.10.20	RE-ISSUED FOR DP
05	30.01.20	RE-ISSUED FOR DP
04	18.10.18	RE-ISSUED FOR DP
03	21.06.18	SUBMISSION TO ADP
02	12.03.18	RE-ISSUED FOR DP
01	27.07.17	ISSUED FOR DP
REV	DATE	DESCRIPTION

CONSULTANT SEAL



SPEC BOOK ENGLISH/WEST
SIF ILLUMINATED SIGN FOR VHD

Installation:	Interior	Exterior
Electrical Specifications:		
Voltage:	120 Amps:	0.65 Circuits:
# Description:		
1	1 1/2\"	
2	BLACK 1\"	
3	1/8\"	
4	ILLUMINATED WITH WHITE LED	

Notes:
SEE 8/000000000000
2 WATER HOLES TO BE DRILLED ON BOTTOM OF SIGN
BACK OF SIGN IS VISIBLE AND NEEDS TO BE WITHOUT IMPERFECTIONS OR SCRATCHES

#	Colors:
A	BLACK VINYL #7725-20
B	YELLOW VINYL #8550-125



3 WAYFINDING SIGNAGE - ANY TIME/ANY LANE
SCALE: 1/4\" = 1'-0"



Tel: (949) 739-5586 | Fax: (949) 731-4734 | Toll Free: 1-800-965-9798
Client: MCDONALD'S
Site: VARIOUS
Consultant: GARY SODJIN
Draftsman: CLAUDIA VOGT | Date: 10.07.2016
Page: 2/16 | Scale: 1/12-1/0"

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BURNABY, BC V5C 3V6
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DRAWN BY: AC APPROVED: LSA
PROJECT: CAMPBELL HEIGHTS NORTH
2820 192nd STREET
SURREY, BC
CONSULTANT

MCDONALD'S
WAYFINDING SIGNAGES

PROJECT NUMBER: DRAWING NUMBER:
16-012 A53.1
SCALE: AS SHOWN
DATE: FEB 2017 REVISION: OCT 02 20

CAMPBELL HEIGHTS NORTH - 16-12



1 STREET ELEVATION FROM 28TH AVENUE
 ASI / SCALE: 1/8" = 1'-0"



2 STREET ELEVATION FROM 192ND STREET
 ASI / SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
07	FEB 04 20	RE-ISSUED FOR DP
06	15.10.20	RE-ISSUED FOR DP
05	30.05.20	RE-ISSUED FOR DP
04	18.03.19	RE-ISSUED FOR DP
03	21.06.18	SUBMISSION TO ADR
02	12.03.18	RE-ISSUED FOR DP
01	27.07.17	ISSUED FOR DP
REV.	DATE	DESCRIPTION

DATE PLOTTED: 04/02/2020

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PROJECT: CAMPBELL HEIGHTS NORTH

PROJECT: LSA

CAMPBELL HEIGHTS NORTH -16-12

2820 192nd STREET
 SURREY, BC
 04/02/2020

STREET ELEVATIONS

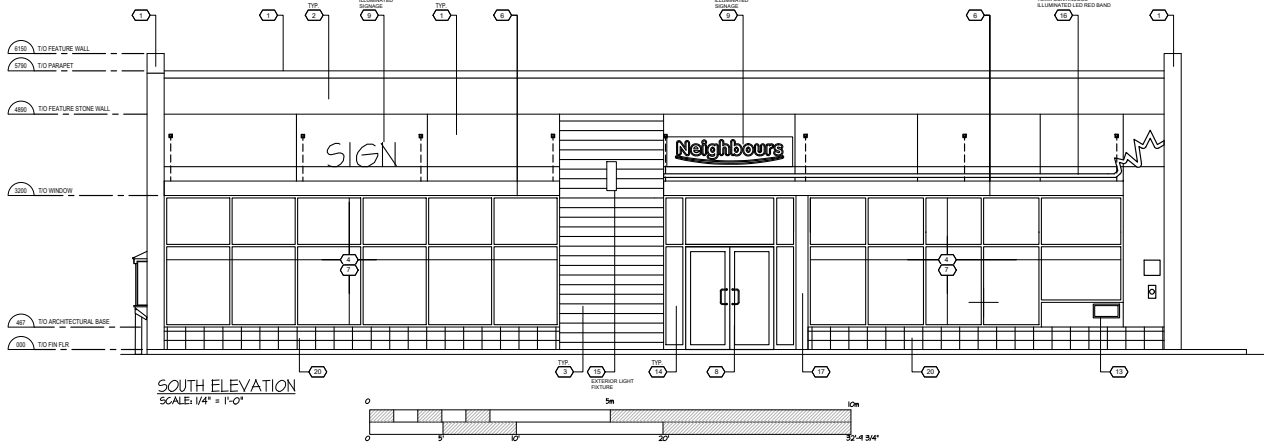
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SCALE: AS SHOWN

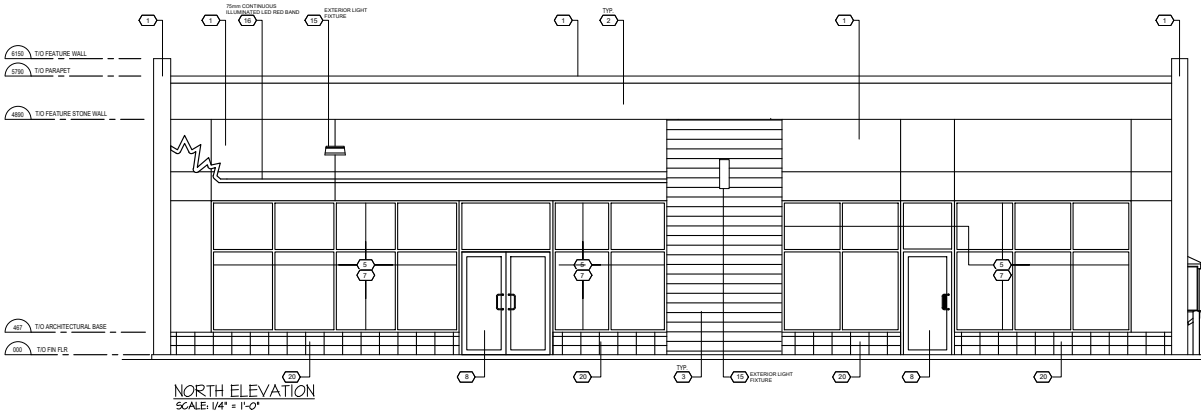
DATE: FEB 2020 REVISION: JAN 22 20



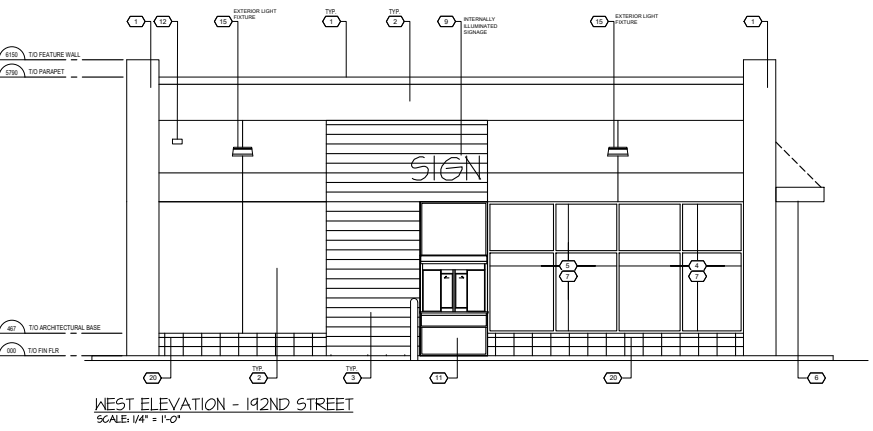
CAMPBELL HEIGHTS NORTH -16-12



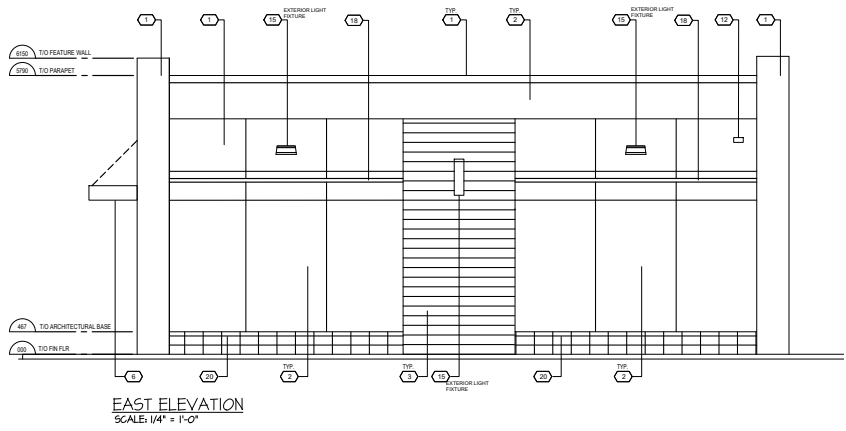
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



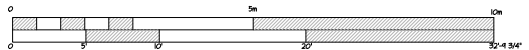
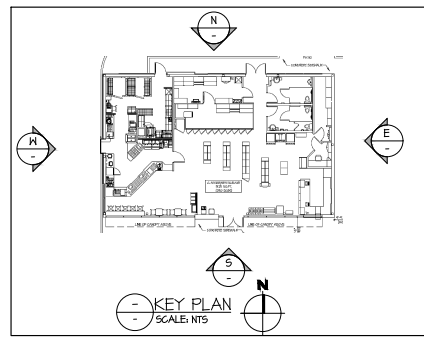
WEST ELEVATION - 192ND STREET
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

NO.	PRODUCT	SPECIFICATION & COLOUR
01	ACM PANEL SYSTEM	TO MATCH CASCADIA METALS- CHARCOAL
02	ACM PANEL SYSTEM	COLOUR: PCP WHITE
03	METAL SIDING	LONGBOARD - COLOUR: WESTERN CEDAR
04	THERMAL PANE GLASS	
05	SPANDREL GLASS	PRG EXTRUSION COATINGS DURANAR COATINGS - LC43352 COLONIAL GRAY
06	METAL CANOPY	WHITE TO MATCH 03
07	WINDOW FRAMING	COLOUR: CLEAR ANODIZED
08	DOOR FRAMING	COLOUR: CLEAR ANODIZED
09	INTERNALLY ILLUMINATED SIGNAGE	
10	NON-ILLUMINATED SIGNAGE	
11	DRIVE THRU WINDOW FRAMING	COLOUR: CLEAR ANODIZED
12	ROOF SCUPPER	PAINT TO MATCH ADJACENT SURFACE
13	SECURITY DRAWER	870197
14	OPAQUE SAFETY STRIPE	
15	EXTERIOR LIGHT FIXTURE	
16	ILLUMINATED LED RED LEAF BAND	75mm CONTINUOUS ILLUMINATED LED RED BAND
17	INSULATED PANEL	COLOUR: CLEAR ANODIZED
18	NON-ILLUMINATED RED LEAF BAND	75mm CONTINUOUS RED BAND
19	ACM PANEL SYSTEM	COLOUR: PCP RED
20	ARCHITECTURAL BLOCK	TEXTURE: TEX-STONE. COLOUR: PEARL WHITE. SIZE: 390x190x190 STACKED
21	METAL FLASHING (CANOPY)	TO MATCH CASCADIA METALS- CHARCOAL
22	METAL SOFFIT (CANOPY)	TO MATCH COLOUR: PCP WHITE
23	CONTINUOUS LED ACCENT STRIP LIGHT	COLOUR: RED

REV	DATE	DESCRIPTION
01	FEB 04 21	RE-ISSUED FOR DP
02	19.10.20	RE-ISSUED FOR DP
03	30.10.20	RE-ISSUED FOR DP
04	18.10.18	RE-ISSUED FOR DP
05	21.06.18	SUBMISSION TO ADP
02	12.09.18	RE-ISSUED FOR DP
01	27.07.17	ISSUED FOR DP



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3707 1ST AVENUE
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ADMIN@LOVICKSCOTT.COM
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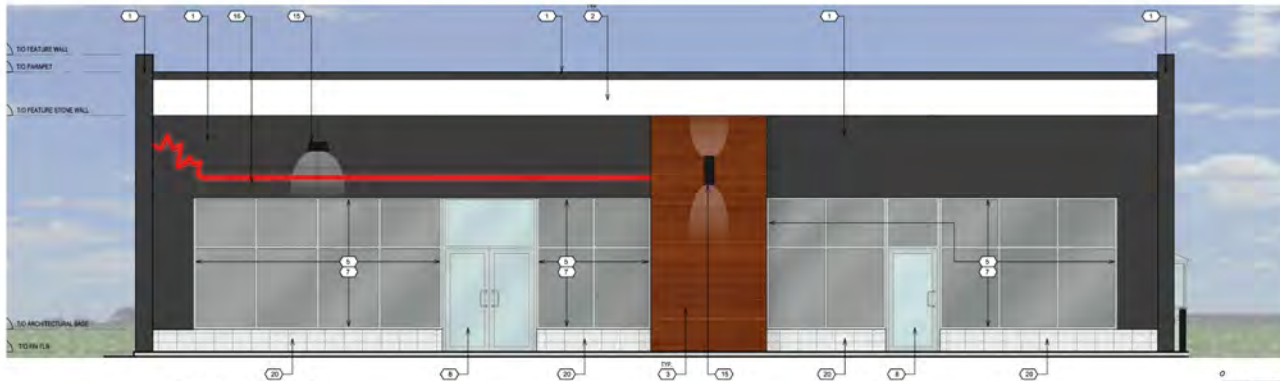
DESIGNED BY: AT
APPROVED BY: LSA
PROJECT: CAMPBELL HEIGHTS NORTH
2820 192nd STREET
SURREY, BC
ELEVATIONS
C-STORE & RESTAURANT

PROJECT NUMBER: 16-012
DRAWING NUMBER: A2.0
SCALE: 1/4" = 1'-0"
DATE: MAY 2017
REVISION: 02.05.18

CAMPBELL HEIGHTS NORTH-16-18-2



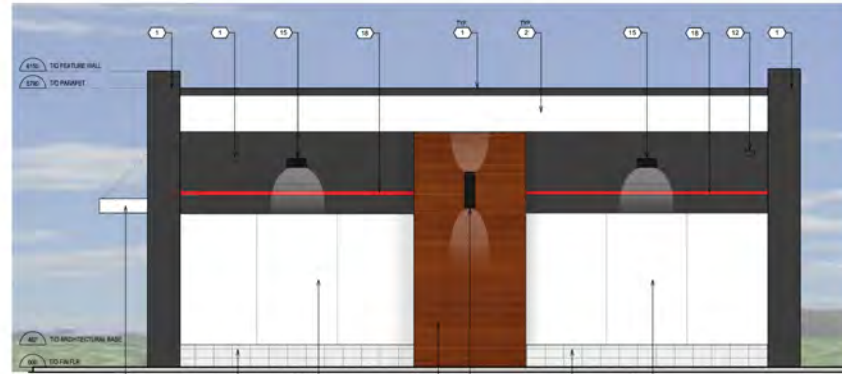
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION - 142ND STREET
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION
01	FEB 04 20	RE-ISSUED FOR DP
02	5.10.20	RE-ISSUED FOR DP
03	30.01.20	RE-ISSUED FOR DP
04	18.10.18	RE-ISSUED FOR DP
05	21.06.18	SUBMISSION TO ADP
02	12.09.18	RE-ISSUED FOR DP
01	21.07.17	ISSUED FOR DP

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3707 1ST AVENUE
BURNABY, BC V5C 3V6
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604 298 3700 WWW.LOVICKSCOTT.COM
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DRAWN BY: AT
PROJECT: LSA

CAMPBELL HEIGHTS NORTH -16-12
2820 142nd STREET
SURREY, BC
DRAWN BY:

COLOR ELEVATIONS
C-STORE & RESTAURANT

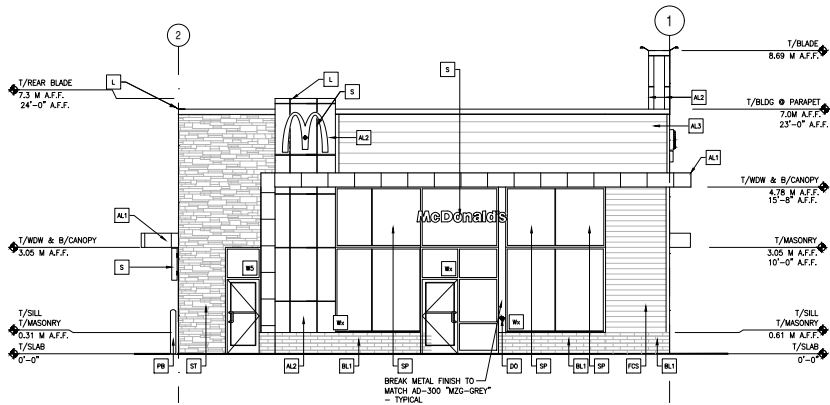
PROJECT NUMBER: 16-012
DRAWING NUMBER: A2.0

SCALE: 1/4" = 1'-0"
DATE: MAY 2017
VERSION: 02.05.18

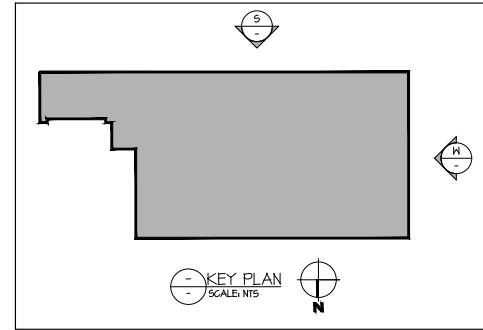
CAMPBELL HEIGHTS NORTH -16-12



VIEW OF SOUTH WEST ELEVATION ON 28TH AVE



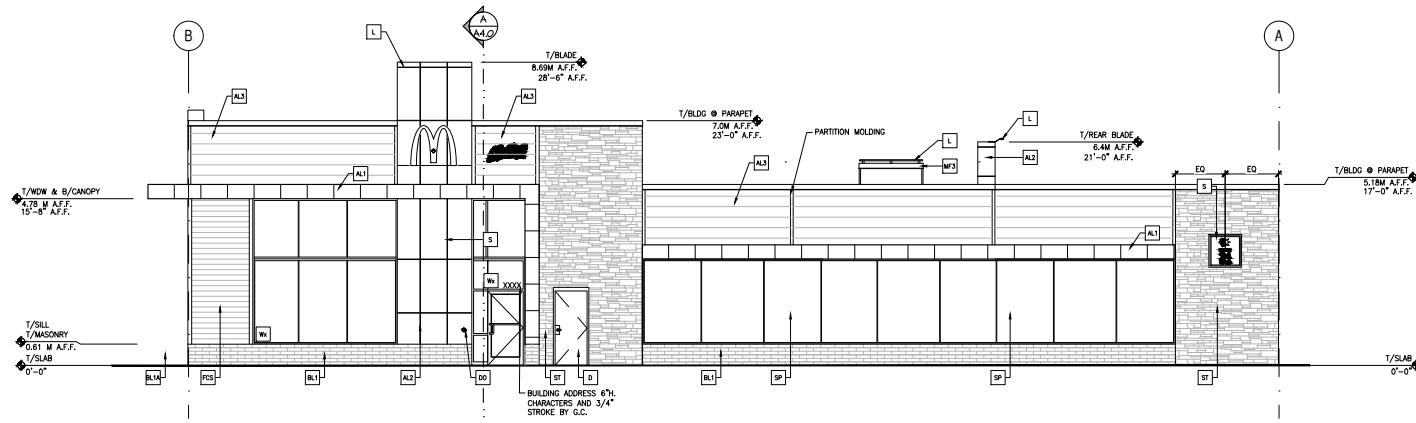
1 WEST ELEVATION - 192ND STREET
SCALE: 3/16" = 1'-0"



KEY PLAN
SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION
01	FEB 04 21	RE-ISSUED FOR DP
06	15.03.20	RE-ISSUED FOR DP
05	30.02.20	RE-ISSUED FOR DP
04	18.02.20	RE-ISSUED FOR DP
03	20.06.18	SUBMISSION TO ADP
02	12.05.18	RE-ISSUED FOR DP
01	21.07.17	ISSUED FOR DP

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.



2 SOUTH ELEVATION - 28TH AVENUE
SCALE: 3/16" = 1'-0"

KEY NOTES

- AL1 ACM METAL PANEL SYSTEM C2000 - COLOUR MATCH ALPOLIC MFR. "TNT-WHITE"
- AL2 ACM METAL PANEL SYSTEM C2000 - COLOUR MATCH ALPOLIC MFR. "IRON-RED"
- AL3 ACM METAL PANEL SYSTEM C2000 - COLOUR MATCH ALPOLIC MFR. "M20-GRY"
- AL4 VICONET AD-300 METAL PANEL SYSTEM - COLOUR MATCH ALPOLIC MFR. "M20-GRY"
- AL5 VICONET AD-300 METAL PANEL SYSTEM - COLOUR MATCH ALPOLIC MFR. "TNT-WHITE"
- AD PREFINISHED ANODIZED ALUMINUM OPEN FACE METAL DOWNSPOUT AND SCUPPER W/ DE-ICING HEAT CABLE - SEE ELECTRICAL
- BL1 COUNTY MATERIALS - COLOUR "GALAXY" WITH DOVER GREY EPOXY
- D INSULATED HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF ADJACENT MATERIAL
- DD AUTOMATIC DOOR OPERATOR - MOUNTING HEIGHTS & LOCATION PER LOCAL CODES
- JAMES HARDIE, FIBER CEMENT HORIZONTAL LAP SIDING (WOOD GRAIN TEXTURE - 6" EXPOSURE) - PAINT DULUX "CHESTNUT BROWN" Mcd-37
- L LIGHT FIXTURE - SEE ELECTRICAL
- MF1 METAL FASCIA COLOUR "CHARCOAL GREY"
- MF2 METAL FASCIA COLOUR TO MATCH VICONET METAL PANEL SYSTEM "IRON-RED"
- MF3 METAL FASCIA COLOUR TO MATCH VICONET METAL PANEL SYSTEM "TNT-WHITE"
- PF STEEL PIPE BOLLARD W/ SUREGUARD BOLLARD SHIELD - SEE SITE DETAILS
- (RMHC) CON COLLECTOR "VENTURE WPT" CALL 612-616-6886 TO ORDER
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT
- ST STONE - BORAL - HDWN STONE - SPAN
- EXTERIOR WINDOW ASSEMBLY - SEE SHEET A600
- HARDI PANEL - PTD. DULUX PAINT MCD5 49 REGENT GREY
- SP SPANDREL PANEL - TYPICAL

METAL PANEL NOTES:

- GC TO PROVIDE METAL PANEL SYSTEM SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING.
- ALL DIMENSIONS SHOWN ON THIS SHEET ARE ACTUAL PANEL DIMENSIONS: ALL DIMENSIONS ARE EXTERIOR DIMENSIONS UNLESS OTHERWISE NOTED.
- DIMENSIONS DO NOT ACCOUNT FOR ANY REQUIRED SPACES AND/OR TOLERANCES REQUIRED FOR FRAMING ELEMENTS.
- ALL PANEL CORNERS ARE BENT AT 90 DEGREES UNLESS OTHERWISE SHOWN ON THESE DRAWINGS; NO SITE BENDING ALLOWED.
- PROVIDE MINIMUM 4" RETURN ON ALL CANOPY PANELS.
- ALL PANELS AND SHEET METAL TO BE FABRICATED ONLY AFTER FIELD DIMENSIONS HAVE BEEN VERIFIED BY CONTRACTOR.
- GC TO ENSURE THAT ALL FRAMING DIMENSIONS SHOWN ON ISSUED FOR TENDER DRAWINGS ARE MAINTAINED ON SITE.
- REFER TO McDONALD'S ALUMINUM COMPOSITE METAL (ACM) PANEL SPECIFICATION.
- ALL SPACING BETWEEN CONSECUTIVE METAL PANELS TO BE 1/2"; MINIMUM SPACING BETWEEN METAL PANELS AND ADJACENT FINISHES IS 1/2".
- REFER TO STANDARD DETAILS ON DRAWINGS A300 - A311.
- DRAWINGS WERE PREPARED WITH THE INTENT OF STANDARD PANEL SIZES BEING UTILIZED; SITE ADJUSTMENT OF STANDARD PANELS REQUIRED EXPLICIT PERMISSION OF DESIGN TEAM AND NATIONAL DESIGN; SUCH ALTERATIONS MAY INDICATE PROBLEMS WITH FRAMING ELEMENTS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

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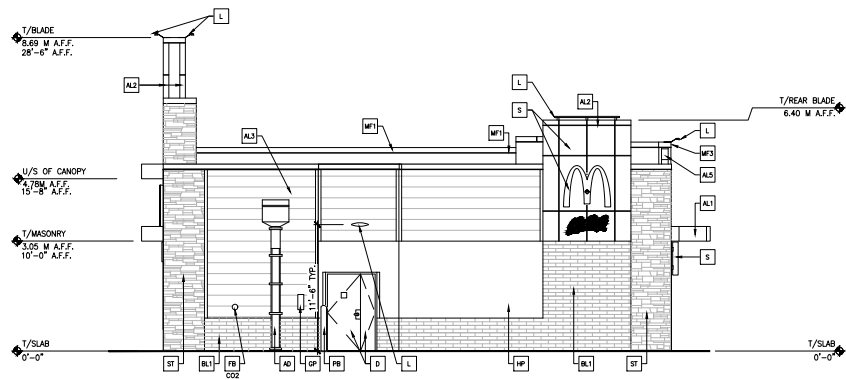


3707 1ST AVENUE
BURNABY, BC V5C 3V6
ADMIN@LOVICKSCOTT.COM
604 298 3700 WWW.LOVICKSCOTT.COM
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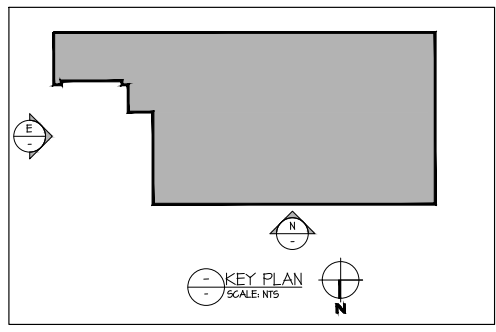
CAMPBELL HEIGHTS NORTH - 16-12

PROJECT	CAMPBELL HEIGHTS NORTH
2820 192nd STREET SURREY, BC	
BUILDING B EXTERIOR ELEVATIONS	
PROJECT NUMBER	16-012
DRAWING NUMBER	A2.0
SCALE	1/8" = 1'-0"
DATE	MAR 2019

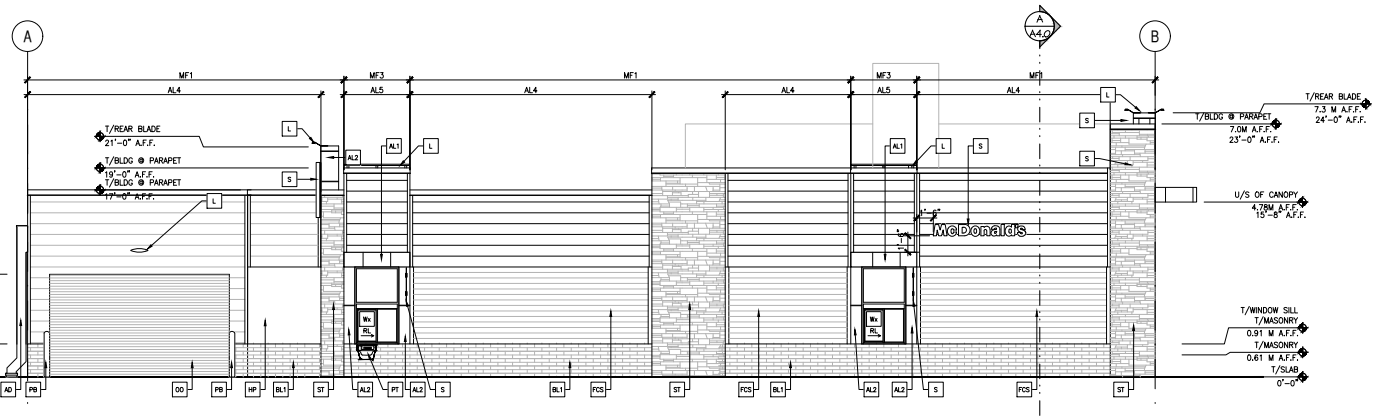
CAMPBELL HEIGHTS NORTH - 16-12



1 EAST ELEVATION
A201 3/16"=1'-0"



REV	DATE	DESCRIPTION
01	FEB 04 21	RE-ISSUED FOR DP
06	15.10.20	RE-ISSUED FOR DP
05	30.10.20	RE-ISSUED FOR DP
04	18.10.18	RE-ISSUED FOR DP
03	21.06.18	SUBMISSION TO ADP
02	12.09.18	RE-ISSUED FOR DP
01	27.07.17	ISSUED FOR DP



2 NORTH ELEVATION
A201 3/16"=1'-0"

KEY NOTES

- AL1 ACM METAL PANEL SYSTEM C2000 - COLOUR MATCH ALPOLIC MFR. "BN1-WHITE"
- AL2 ACM METAL PANEL SYSTEM C2000 - COLOUR MATCH ALPOLIC MFR. "RON-RED"
- AL3 ACM METAL PANEL SYSTEM C2000 - COLOUR MATCH ALPOLIC MFR. "M20-GREY"
- AL4 VICWEST AD-300 METAL PANEL SYSTEM - COLOUR MATCH ALPOLIC MFR. "M20-GREY"
- AL5 VICWEST AD-300 METAL PANEL SYSTEM - COLOUR MATCH ALPOLIC MFR. "BN1-WHITE"
- AD PREFINISHED ANODIZED ALUMINUM OPEN FACE METAL DOWNSPOUT AND SCUPPER W/ DE-LONG HEAT CABLE - SEE ELECTRICAL.
- BL1 COUNTY MATERIALS - COLOUR "GALAXY" WITH DOVER GREY EPOXY
- D INSULATED HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF ADJACENT MATERIAL.
- DO AUTOMATIC DOOR OPERATOR - MOUNTING HEIGHTS & LOCATION PER LOCAL CODES
- PCS JAMES HARDIE, FIBER CEMENT HORIZONTAL LAP SIDING (WOOD GRAIN TEXTURE - 6" EXPOSURE) - PAINT DULUX "CHESTNUT BROWN" MCD-37
- L LIGHT FIXTURE - SEE ELECTRICAL
- MF1 METAL FASCIA COLOUR "CHARCOAL GREY"
- MF2 METAL FASCIA COLOUR TO MATCH VICWEST METAL PANEL SYSTEM "RON-RED"
- MF3 METAL FASCIA COLOUR TO MATCH VICWEST METAL PANEL SYSTEM "BN1-WHITE"
- PH STEEL PIPE BOLLARD W/ SUREGUARD BOLLARD SHIELD - SEE SITE DETAILS
- (RMHC) COIN COLLECTOR "APERTURE WPT" CALL 612-516-6886 TO ORDER
- S MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT
- ST STONE - BORAL - HEWN STONE - SPAN
- WV EXTERIOR WINDOW ASSEMBLY - SEE SHEET A600
- HP HARDI PANEL - PTD. DULUX PAINT MCD5 49 REGENT GREY
- SP SPANDREL PANEL - TYPICAL

METAL PANEL NOTES:

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- REFER TO STANDARD DETAILS ON DRAWINGS A300 - A311.
- DRAWINGS WERE PREPARED WITH THE INTENT OF STANDARD PANEL SIZES BEING UTILIZED; SITE ADJUSTMENT OF STANDARD PANELS REQUIRED EXPLICIT PERMISSION OF DESIGN TEAM AND NATIONAL DESIGN; SUCH ALTERATIONS MAY INDICATE PROBLEMS WITH FRAMING ELEMENTS.

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3707 1ST AVENUE
BURNABY, BC V5C 3V6
ADMIN@LLOVICKSCOTT.COM
604 298 3700 WWW.LOVICKSCOTT.COM
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DRAWN BY: APPROVED: LSA

PROJECT: CAMPBELL HEIGHTS NORTH - 16-152
2820 142nd STREET
SURREY, BC
SOURCE:

BUILDING B
EXTERIOR ELEVATIONS
PROJECT NUMBER: 16-012
DRAWING NUMBER: A2.1
SCALE: 1/8" = 1'-0"
DATE: MAR 2014
REVISION:

CAMPBELL HEIGHTS NORTH - 16-152



VIEW OF NORTH WEST SIDE



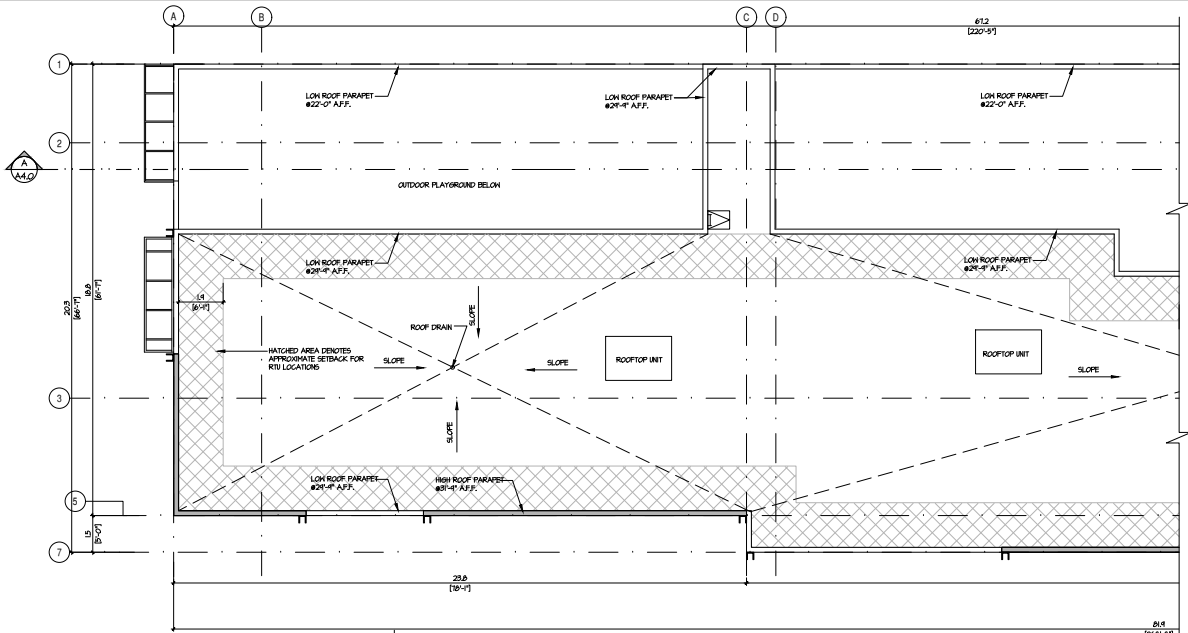
VIEW OF SOUTH WEST SIDE



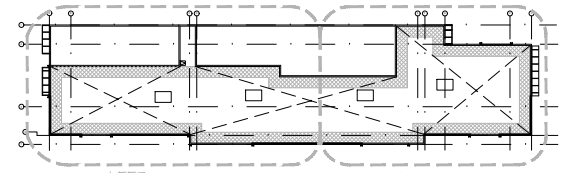
VIEW OF NORTH EAST SIDE



VIEW OF SOUTH EAST SIDE

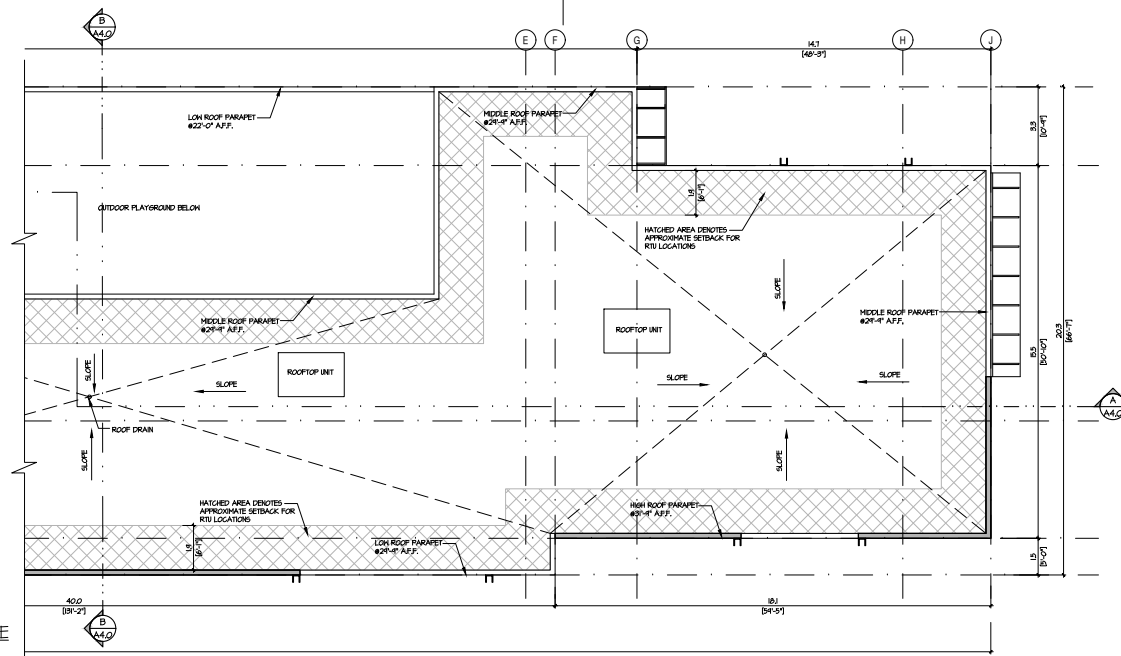


ROOF PLAN - LEFT SIDE
SCALE: 1/8" = 1'-0"



REV	DATE	DESCRIPTION
01	FEB 01 21	RE-ISSUED FOR DP
06	15.10.20	RE-ISSUED FOR DP
05	30.10.20	RE-ISSUED FOR DP
04	18.10.20	RE-ISSUED FOR DP
03	21.06.20	SUBMISSION TO ADP
02	12.05.20	RE-ISSUED FOR DP
01	27.07.17	ISSUED FOR DP

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ROOF PLAN - RIGHT SIDE
SCALE: 1/8" = 1'-0"

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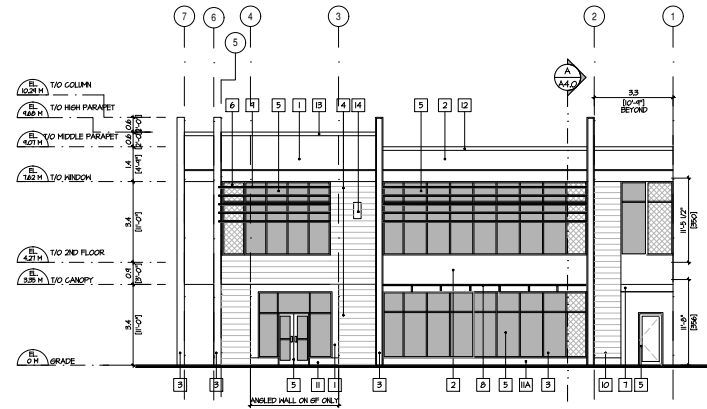


3707 1ST AVENUE
BURNABY, BC V5C 3V6
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DRAWN BY: AC APPROVED: LSA
PROJECT: CAMPBELL HEIGHTS NORTH
2820 142nd STREET
SURREY, BC
BUILDING C
ROOF PLAN
PROJECT NUMBER: 16-012 DRAWING NUMBER: A2.0
SCALE: 1/8" = 1'-0"
DATE: FEB 2021 REGION: FEB 08 21

CAMPBELL HEIGHTS NORTH - 16-12



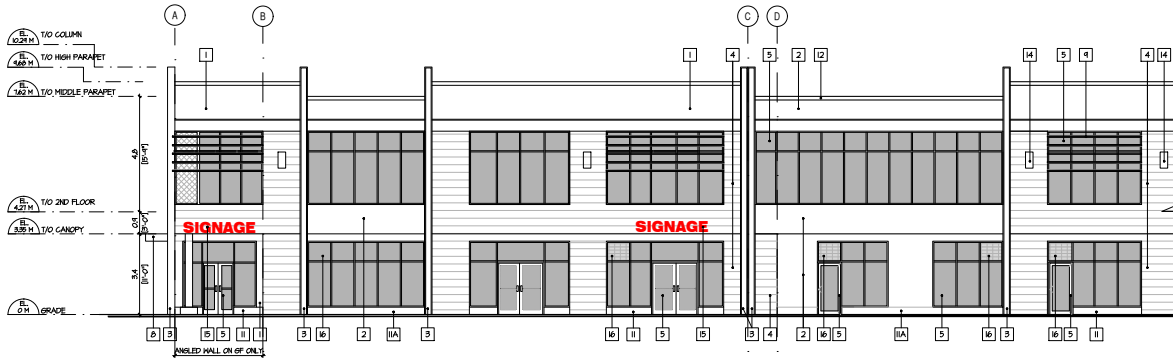
SOUTH ELEVATION (28th AVENUE)
SCALE: 1/8" = 1'-0"



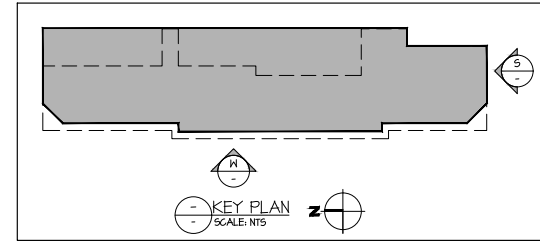
WEST ELEVATION REFERENCE
SCALE: NTS

REV	DATE	DESCRIPTION
01	FEB 04 21	RE-ISSUED FOR DP
06	19.10.20	RE-ISSUED FOR DP
05	30.01.20	RE-ISSUED FOR DP
04	18.01.18	RE-ISSUED FOR DP
03	21.06.18	SUBMISSION TO ADP
02	12.05.18	RE-ISSUED FOR DP
01	21.07.17	ISSUED FOR DP

CONSULTANT

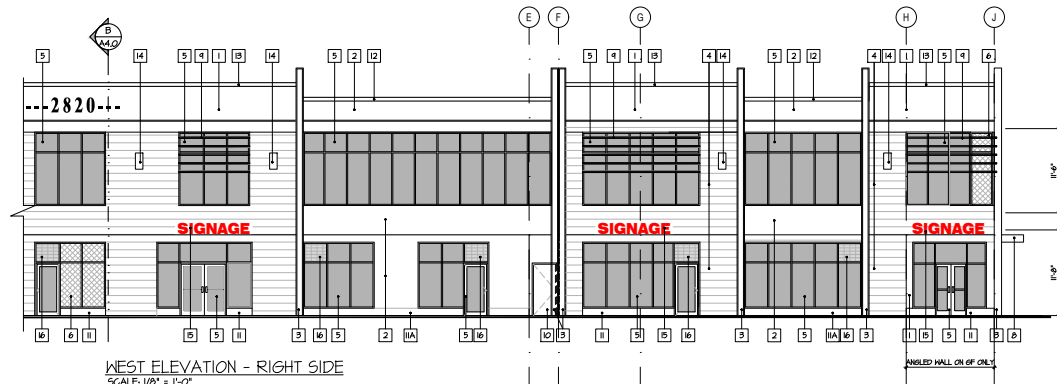


WEST ELEVATION - LEFT SIDE
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: NTS

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.



WEST ELEVATION - RIGHT SIDE
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES		* ALL MATERIAL FLASHING TO BE 34 GA.
NO.	MATERIAL	COLOR & SPECIFICATION
1	CONCRETE PANEL 1	FTD. TO MATCH CASCADIA METALS - CAMBRIDGE WHITE
2	CONCRETE PANEL 2	FTD. TO MATCH CASCADIA METALS - CHARCOAL
3	METAL V CHANNEL COLUMN	CASCADIA METAL - CHARCOAL
4	METAL SIDING	LONGBOARD - COLOR: WESTERN CEDAR
5	DOORS & WINDOW FRAMES	CLEAR ANODIZED
6	SPANDREL PANEL	NA
7	METAL CANOPY (ONLY ABOVE DOORS)	CASCADIA METALS - CAMBRIDGE WHITE
8	SLAZED COVER	CASCADIA METALS - CHARCOAL
9	METAL HORIZONTAL LOUVRES	CLEAR ANODIZED
10	METAL DOOR	PAINTED TO MATCH ADJACENT COLOR
11	CONCRETE BASE	FTD. TO MATCH CASCADIA METALS - CAMBRIDGE WHITE
11A	CONCRETE BASE	FTD. TO MATCH CASCADIA METALS - CHARCOAL
12	PARAPET FLASHING 1 (8 CHARCOAL PANELS)	CASCADIA METALS - CAMBRIDGE WHITE
13	PARAPET FLASHING 2 (8 WHITE PANELS)	CASCADIA METALS - CHARCOAL
14	EXTERIOR LIGHT FIXTURES	POWDER COATED BLACK
15	SIGNAGE	BY OWNER
16	VENT GRILLES	

NOTES:
 1. INSIDE CORNER & FASCIA TRIM TO MATCH ADJACENT GLAZING, TYPICAL.
 2. COLOR TRANSITION ALWAYS @ INSIDE CORNERS, TYPICAL.

3707 1ST AVENUE
 BURNABY, B.C. V5C 3V6
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DRAWN BY: ACJ APPROVED: LSA
 PROJECT: LSA

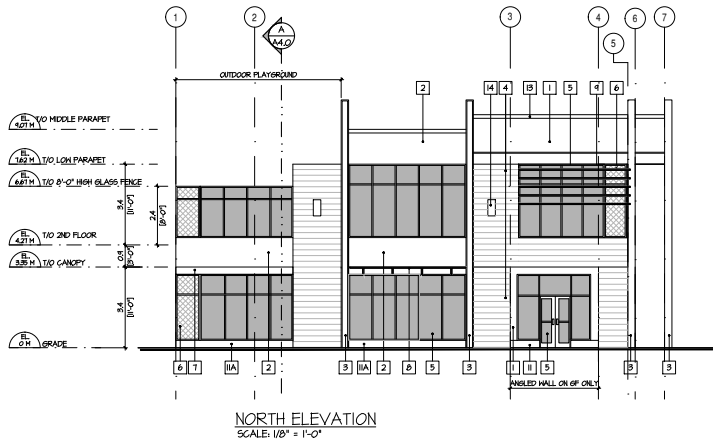
CAMPBELL HEIGHTS NORTH

2820 142nd STREET
 SURREY, BC

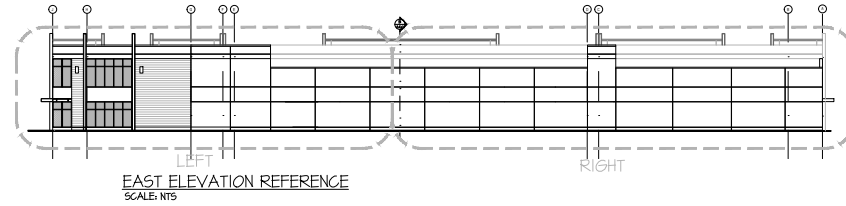
EXTERIOR ELEVATIONS

PROJECT NUMBER: 16-012 DRAWING NUMBER: A3.0
 SCALE: 1" = 1'-0"
 DATE: MAR 2019 REVISION: A

CAMPBELL HEIGHTS NORTH - 16-2



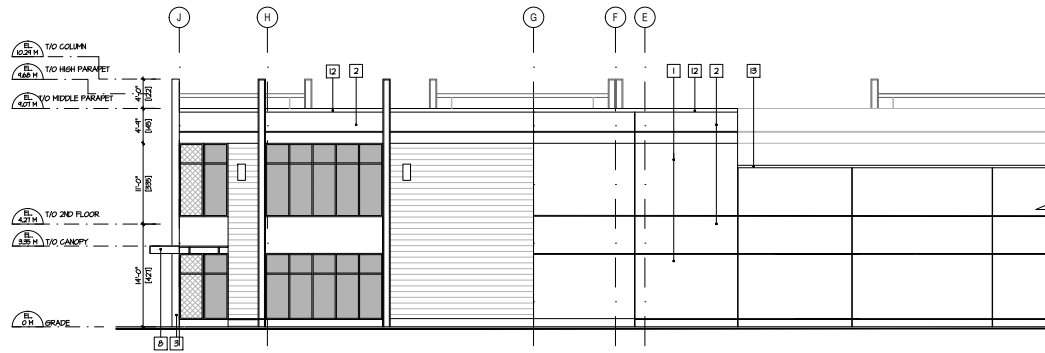
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



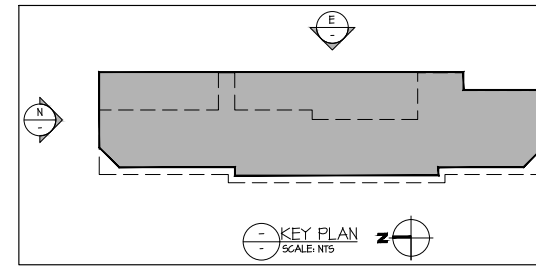
EAST ELEVATION REFERENCE
SCALE: NTS

REV	DATE	DESCRIPTION
01	FEB 04 21	RE-ISSUED FOR DP
06	19.10.20	RE-ISSUED FOR DP
05	30.10.20	RE-ISSUED FOR DP
04	18.10.18	RE-ISSUED FOR DP
03	21.06.18	SUBMISSION TO ADP
02	12.05.18	RE-ISSUED FOR DP
01	27.07.17	ISSUED FOR DP

CONSULTANT



EAST ELEVATION - LEFT SIDE
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: NTS

CONSULTANT SEAL

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DRAWN BY: AC APPROVED BY: LSA

PROJECT: CAMPBELL HEIGHTS NORTH

2820 142nd STREET
SURREY, BC

EXTERIOR ELEVATIONS

PROJECT NUMBER: 16-012 DRAWING NUMBER: A3.0

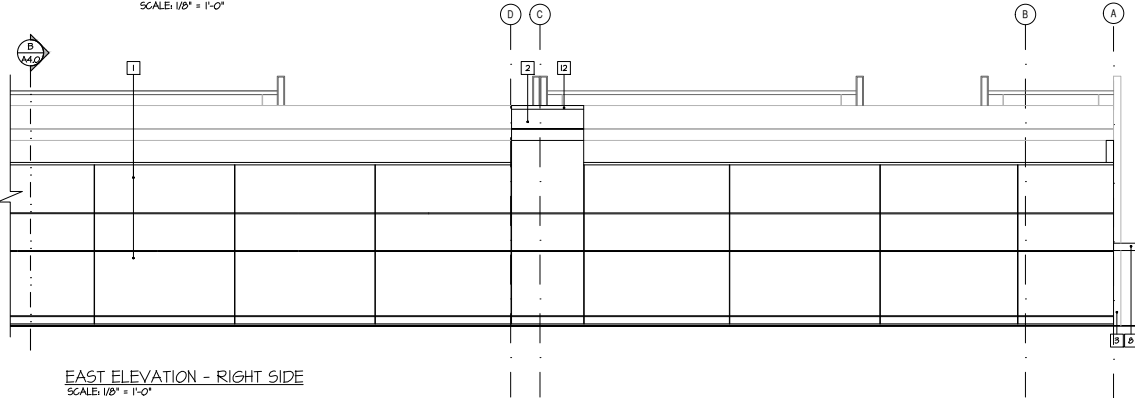
SCALE: 1" = 1'-0"

DATE: MAR 2019 REVISION: A

DATE: MAR 2019

EXTERIOR FINISHES		* ALL MATERIAL FLASHING TO BE 24 GA.
NO.	MATERIAL	COLOR & SPECIFICATION
1	CONCRETE PANEL 1	PTD. TO MATCH CASCADIA METALS - CAMBRIDGE WHITE
2	CONCRETE PANEL 2	PTD. TO MATCH CASCADIA METALS - CHARCOAL
3	METAL V CHANNEL COLUMN	CASCADIA METAL - CHARCOAL
4	METAL SIDING	LOWENERGY - COLOR: WESTERN CEDAR
5	DOORS & WINDOW FRAMES	CLEAR ANODIZED
6	SPANDREL PANEL	NA
7	METAL CANOPY (ONLY ABOVE DOORS)	CASCADIA METALS - CAMBRIDGE WHITE
8	GLAZED COVER	CASCADIA METALS - CHARCOAL
9	METAL HORIZONTAL LOUVERS	CLEAR ANODIZED
10	METAL DOOR	PAINTED TO MATCH ADJACENT COLOR
11	CONCRETE BASE	PTD. TO MATCH CASCADIA METALS - CAMBRIDGE WHITE
11A	CONCRETE BASE	PTD. TO MATCH CASCADIA METALS - CHARCOAL
12	PARAPET FLASHING 1 (8 CHARCOAL PANELS)	CASCADIA METALS - CAMBRIDGE WHITE
13	PARAPET FLASHING 2 (8 WHITE PANELS)	CASCADIA METALS - CHARCOAL
14	EXTERIOR LIGHT FIXTURES	POWDER COATED BLACK
15	SIGNAGE	BY OWNER
16	VENT GRILLES	BY OWNER

NOTES:
1. INSIDE CORNER & FASCIA TRIM TO MATCH ADJACENT CLADDING, TYPICAL.
2. COLOR TRANSITION ALWAYS @ INSIDE CORNERS, TYPICAL.



EAST ELEVATION - RIGHT SIDE
SCALE: 1/8" = 1'-0"

CAMPBELL HEIGHTS NORTH - 16-2



VIEW OF WEST SIDE



VIEW OF SOUTH EAST SIDE



VIEW OF SOUTH WEST SIDE



VIEW OF NORTH EAST SIDE



CAMPBELL HEIGHTS NORTH
RENDERING - BLDG. C

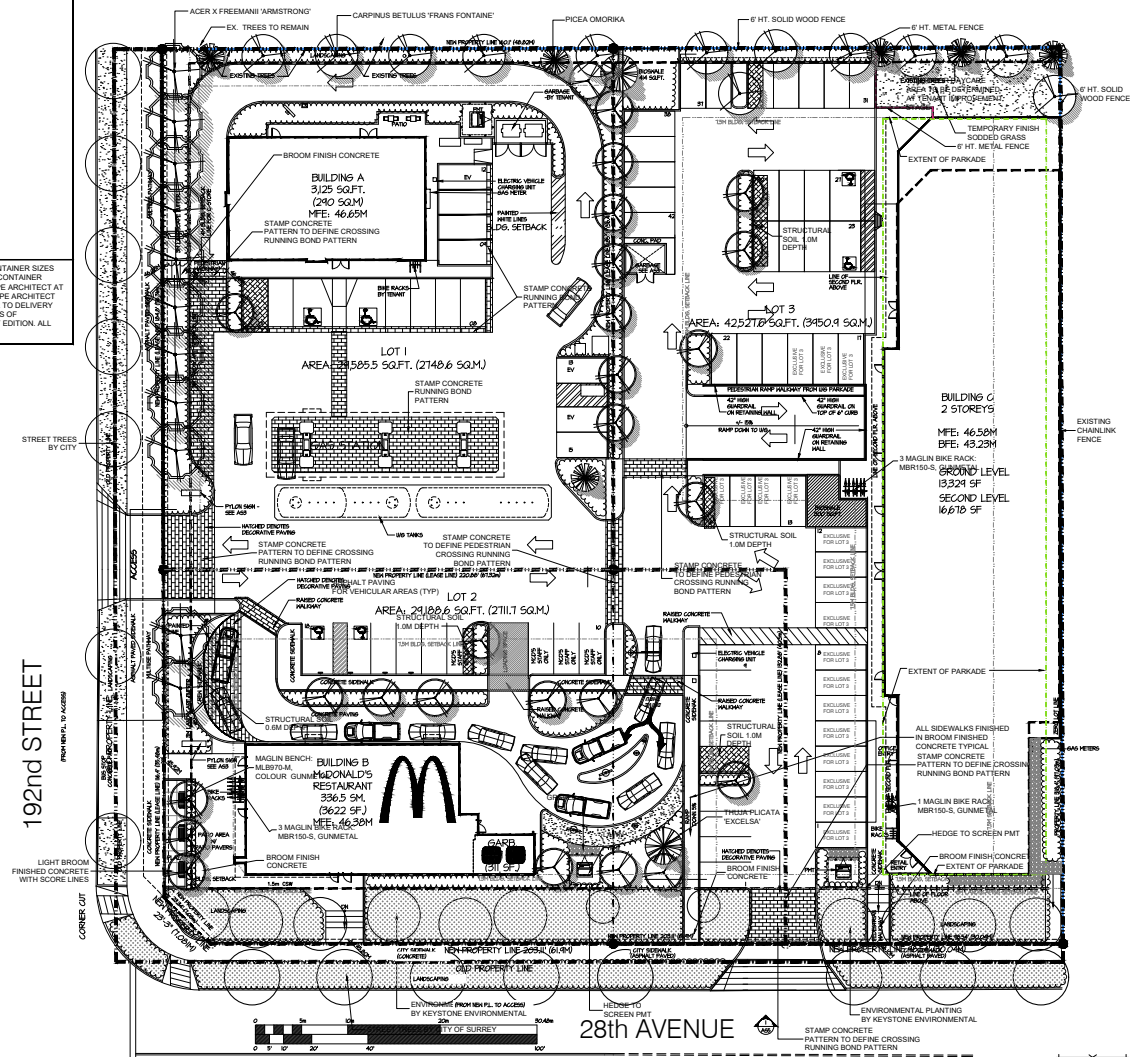
SEAL:

PLANT SCHEDULE PMG PROJECT NUMBER: 17-159

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
11		ACER X FREEMANI 'ARMSTRONG'	COLUMNAR ARMSTRONG MAPLE	80M CAL, 2M STD. B&B
12		CARPINUS BETULUS 'FRANS FONTANE'	FRANS FONTANE HORSEBEAM	80M CAL, B&B
26		LIQUIDAMBAR STYRACIFLUA 'SLIMMER SILHOUETTE'	SLIMMER SILHOUETTE SWEETGUM	60M CAL, 2M STD. B&B
6		PICEA OMORICA	SERBIAN SPRUCE	3M HT, B&B
2		THUJA PLICATA 'EXCELSA'	WESTERN RED CEDAR	2.5M HT, B&B
43		BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT, 40CM
19		CORNUS SERICEA	RED TWIG DOGWOOD	#2 POT, 50CM
89		EUDORPIS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#3 POT, 50CM
5		FOTHERGILLA MAJOR 'MOUNT AIRY'	MOUNT AIRY FOTHERGILLA	#3 POT, 60CM
5		HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA, LIMEGREEN PINK	#3 POT, 80CM
156		ROSA MEDICLAND 'RONDI'	MEDICLAND ROSE, PINK	#2 POT, 40CM
75		THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	2M HT, B&B
107		VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#2 POT, 50CM
287		FESTUCA OVINA 'GLAUCA'	BLUE FESCUE	#1 POT
388		HELICTROCHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT
285		JUNCUS INFLEXUS	BLUE-GREEN RUSH	#1 POT
34		PENNISETUM ORIENTALE	ORIENTAL FOUNTAIN GRASS	#1 POT
53		SCHINAEAE PURPUREA 'SOUTHERN BELLE'	DOUBLE CORNFLOWER, PINK	15CM POT
4		PEROVSKIA ATROPILICIFOLIA 'LITTLE SPIRE'	DWARF RUSSIAN SAGE	15CM POT
22		RUBRIBECKIA FULGIDA 'GOLDSTURM'	RUBRIBECKIA, YELLOW	15CM POT
243		LONICERA PILEATA	PRIVET HONEYSUCKLE	#2 POT, 30CM
506		WALDSTENIA TENATA	BARREN STRAWBERRY	#1 POT, 20CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL. REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. * IDENTIFICATION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

ALL LANDSCAPED AREAS TO BE IRRIGATED WITH WATER EFFICIENT IRRIGATION
ALL TREES TO HAVE 10 CUBIC METERS OF SOIL. ALL STRUCTURAL SOIL AREAS 10 CU. M OF SOIL AND 40 CU. M OF STRUCTURAL ROCK. SEE SPECIFICATIONS.



NO.	DATE	REVISION DESCRIPTION	DR.
12	22.FEB.08	NEW SITE PLAN/COORDINATION	NMA
11	20.DEC.15	REV. AS PER MAIL COMMENTS	NMA
10	20.SEP.15	NEW SITE PLAN	EO
9	20.JAN.15	NEW SITE PLAN	NMA
8	18.MAY.10	NEW SITE PLAN	ER
7	19.MAR.18	NEW SITE PLAN	NMA
6	18.OCT.18	NEW SITE PLAN	NMA
5	18.JUN.05	CITY RESUBMISSION	NMA
4	18.MAY.18	CITY RESUBMISSION	ER
3	18.MAY.10	NEW SITE PLAN	EO
2	18.MAR.11	NEW SITE PLAN	NMA
1	18.FEB.22	NEW SITE PLAN, MAIL COMMENTS	NMA

CLIENT:

PROJECT:
CAMPBELL HEIGHTS NORTH

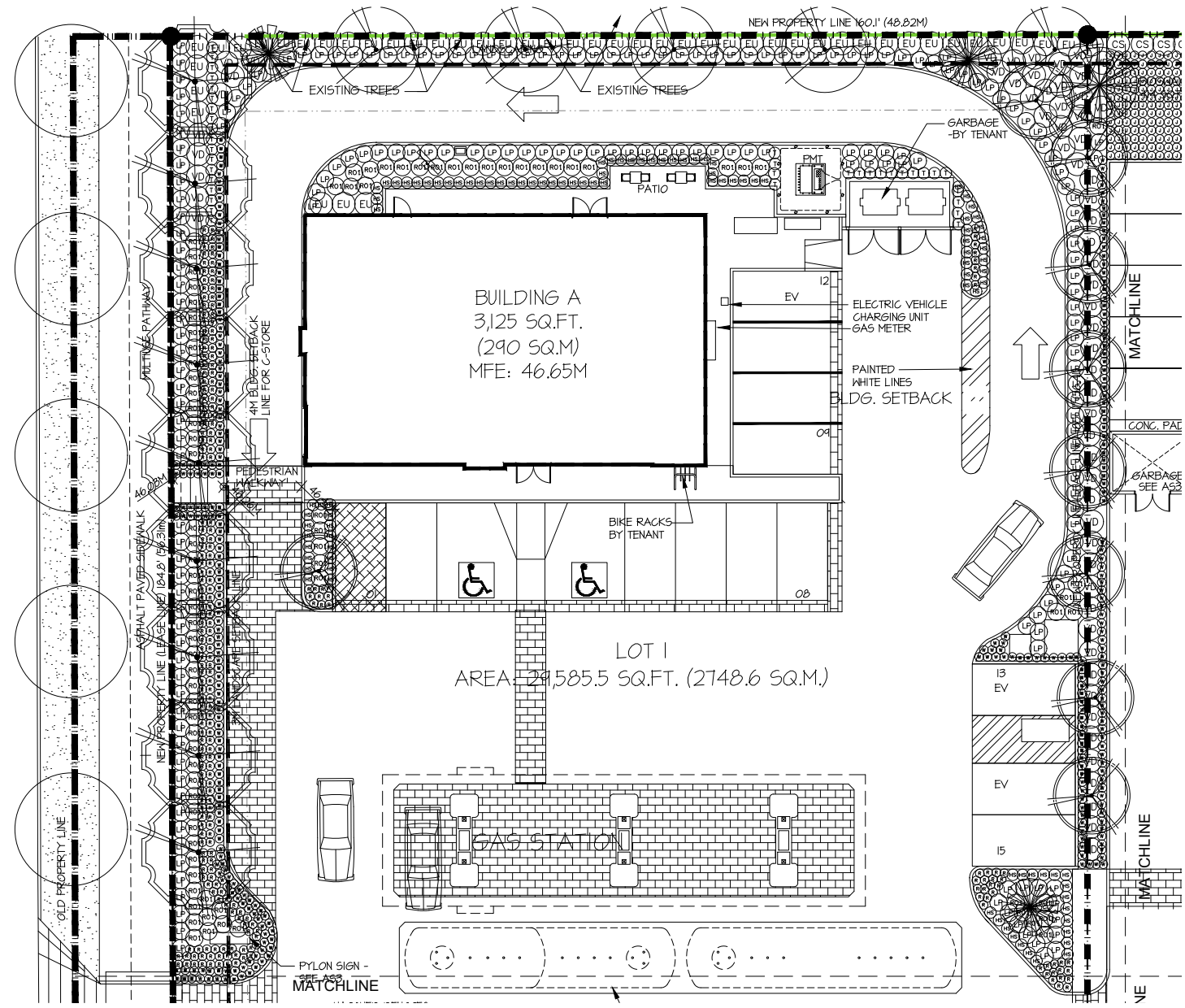
2820 192ND STREET SURVEY

DRAWING TITLE:
LANDSCAPE TREE PLAN

DATE: 17.JULY.27 DRAWING NUMBER:
SCALE: 1:250
DRAWN: JM
DESIGN: MM
CHKD: MCY

L1
OF 7

SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
12	22 FEB 08	NEW SITE PLAN COORDINATION	NMA
11	20 DEC 05	REV. AS PER MAIL COMMENTS	NMA
10	20 SEP 05	NEW SITE PLAN	EO
9	20 JAN 05	NEW SITE PLAN	NMA
8	05 MAY 03	NEW SITE PLAN	W
7	09 MAR 03	NEW SITE PLAN	NMA
6	18 OCT 02	NEW SITE PLAN	NMA
5	18 JUN 02	CITY RESUBMISSION	NMA
4	18 MAY 02	CITY RESUBMISSION	W
3	18 MAY 02	NEW SITE PLAN	EO
2	18 MAR 02	NEW SITE PLAN	NMA
1	18 FEB 02	NEW SITE PLAN, MAIL COMMENTS	NMA

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

CAMPBELL HEIGHTS NORTH
2820 192ND STREET
SURREY

DRAWING TITLE:

LANDSCAPE SHRUB PLAN

DATE: 17 JULY 27 DRAWING NUMBER:

SCALE: 1:100

DRAWN: JM

DESIGN: MM

CHKD: MCV

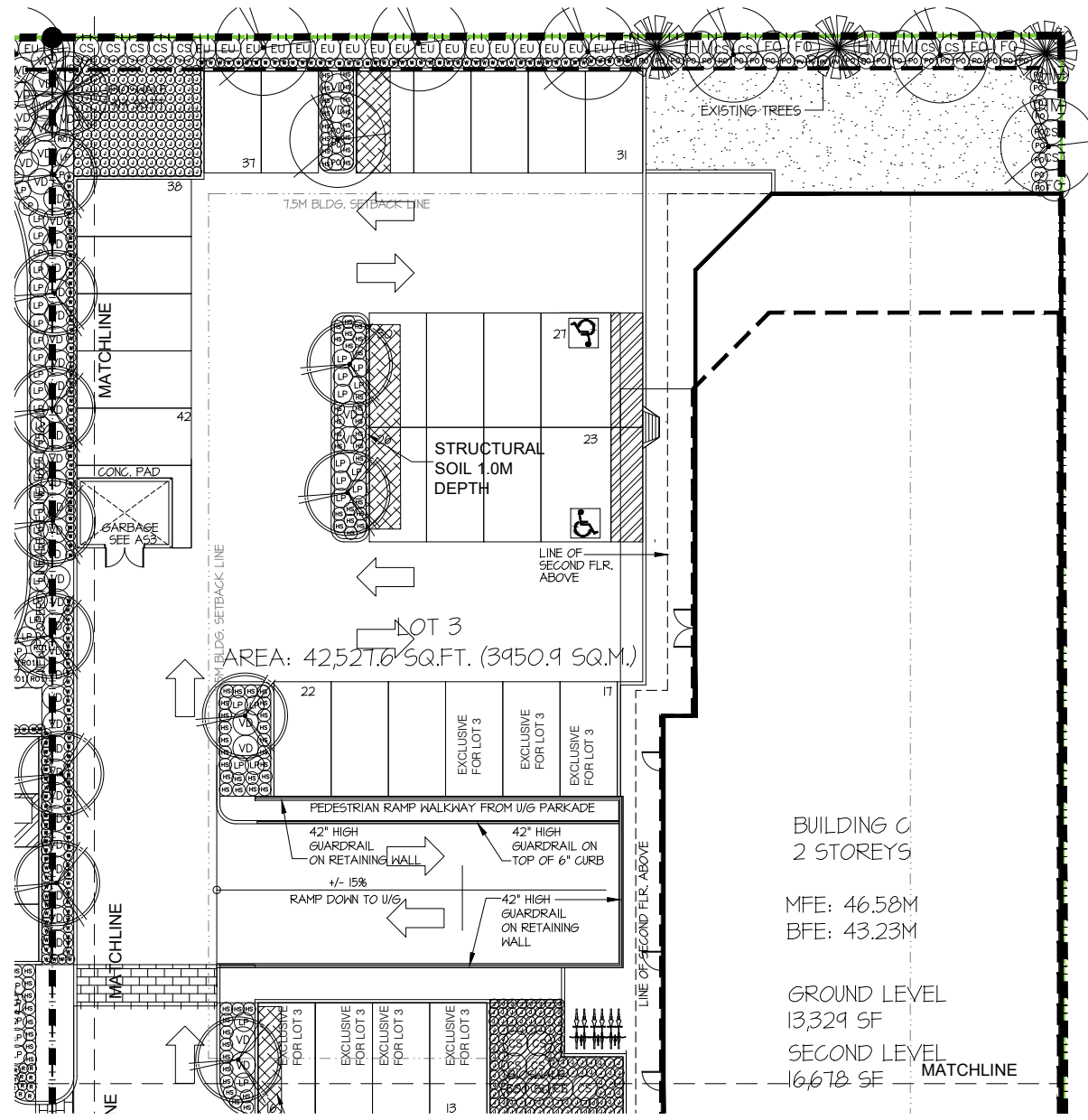
PMG PROJECT NUMBER: 17159-12.ZIP

17159-12.ZIP

L2
OF 7



SEAL:



BUILDING C
2 STOREYS

MFE: 46.58M
BFE: 43.23M

GROUND LEVEL
13,329 SF
SECOND LEVEL
16,678 SF

NO.	DATE	REVISION DESCRIPTION	DR.
12	22 FEB 08	NEW SITE PLAN/COORDINATION	NMA
11	20 DEC 15	REV. AS PER MAIL COMMENTS	NMA
10	20 SEP 15	NEW SITE PLAN	EO
9	20 JAN 15	NEW SITE PLAN	NMA
8	03 MAY 10	NEW SITE PLAN	ER
7	09 MAR 10	NEW SITE PLAN	NMA
6	18 OCT 09	NEW SITE PLAN	NMA
5	18 JUNE 05	CITY RESUBMISSION	NMA
4	18 MAY 10	CITY RESUBMISSION	ER
3	18 MAY 10	NEW SITE PLAN	EO
2	18 MAR 11	NEW SITE PLAN	NMA
1	18 FEB 22	NEW SITE PLAN, MAIL COMMENTS	NMA

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

CAMPBELL HEIGHTS NORTH
2820 192ND STREET
SURREY

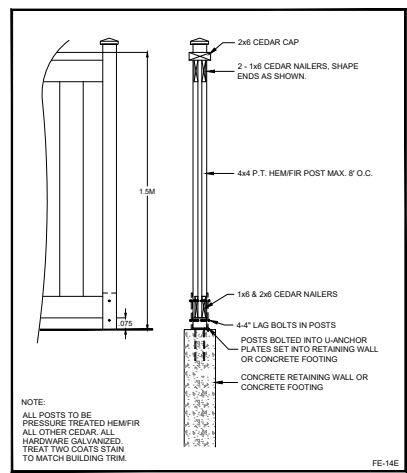
DRAWING TITLE:

LANDSCAPE SHRUB PLAN

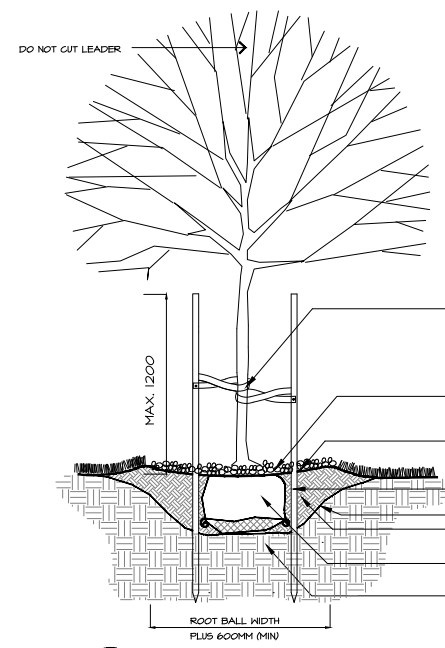
DATE: 17 JULY 27 DRAWING NUMBER:
SCALE: 1:100
DRAWN: JM
DESIGN: MM
CHKD: MCY

L3
OF 7

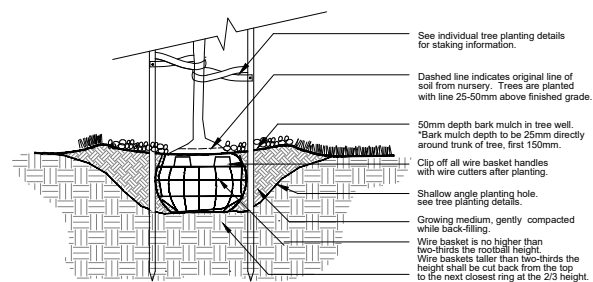
SCALE:



1 6'-0" (1.8M) SOLID WOOD FENCE
1:15



2 TREE PLANTING
1:20



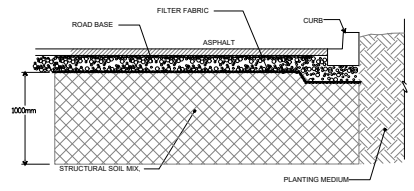
WIRE BASKET
SCALE: 1 : 20

SEE INDIVIDUAL TREE PLANTING DETAILS FOR INFORMATION ON TREE PITS. THIS DRAWING IS FOR WIRE BASKET INFORMATION ONLY.

NOTES:

VERIFY LOCATION OF ANY UNDERGROUND SERVICES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION

DIMENSIONS AND LAYOUT AS PER STRUCTURAL SOIL PLAN



3 SECTION THRU STRUCTURAL SOIL
1:25



MAGLIN BIKE RACK: MBR150-S, COLOUR GUNMETAL



MAGLIN BENCH: MLB970-M, COLOUR GUNMETAL

NO.	DATE	REVISION DESCRIPTION	DR.
12	22.FEB.08	NEW SITE PLAN/COORDINATION	NM
11	20.DEC.15	REV. AS PER MAIL COMMENTS	NM
10	20.SEP.15	NEW SITE PLAN	EO
9	20.JAN.15	NEW SITE PLAN	NM
8	03.MAY.10	NEW SITE PLAN	ER
7	19.MAR.18	NEW SITE PLAN	NM
6	18.OCT.18	NEW SITE PLAN	NM
5	18.JUN.05	CITY RESUBMISSION	NM
4	18.MAY.18	CITY RESUBMISSION	RI
3	18.MAY.10	NEW SITE PLAN	EO
2	18.MAR.17	NEW SITE PLAN	NM
1	18.FEB.22	NEW SITE PLAN, MAIL COMMENTS	NM

CLIENT:

PROJECT:

CAMPBELL HEIGHTS NORTH
2820 192ND STREET
SURREY

DRAWING TITLE:
DETAILS

DATE: 17.JULY.27 DRAWING NUMBER:
SCALE: AS NOTED
DRAWN: JM
DESIGN: MM
CHKD: MCY

L7

OF 7

PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To permit a total of five (5) fascia signs for the Drive-through restaurant and convenience store on Lot 1.	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a)).	The proposed fascia signs are of an appropriate size and scale in relation to the proposed building.
2	To allow three (3) fascia signs to be installed on the same (south) building façade for the drive-through restaurant and convenience store on Lot 1.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a)).	The proposed building appears as a single premises (unit) but operates under separate uses (convenience store and drive-through restaurant). The number of fascia signs on the southern façade is considered reasonable and are consistent with other drive-through restaurant and convenience store buildings associated with gas stations in the City.
3	To permit a total eight (8) fascia signs for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a)).	The proposed fascia signs are of an appropriate size and scale in relation to the proposed building.
4	To allow three (3) fascia signs to be installed on the same (south) building façade, and 2 fascia signs to be installed on the same (west and east) building façade for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a)).	The proposed fascia signs are consistent with other drive-thru restaurants in the City and are under the maximum allowable sign area permitted under the Sign By-law.
5	To increase the allowable third party advertising on the free-standing sign on Lot 2 from 30% to 50%.	Third party advertising signs are permitted in commercial zones but are limited to a maximum of 30% of the sign copy area (Part 1, Section 6 (11)).	Lot 3 has no free-standing sign proposed, as it would encroach into the GIN Corridor along 28 Avenue. The Sign By-law allows for 30% third party advertising, and the increase to 50% has merit given the site will operate as one commercial complex with shared access and shared parking.
6	To permit a 3.3 metre high drive-through vehicle	Directional signage is to be limited to 1.2 metres in height	The vehicle detector directional signage

	detector sign.	(Part 1, Section 7 (16)).	increased height is needed to provide vehicle height clearance indicators for the drive-through restaurant on Lot 2.
7	To permit a directional sign greater than 0.4 square metres in size	Directional signage is to be limited to 0.4 square metres in size (Part 1, Section 7 (16)).	The directional signage is a standard sign size and is only marginally larger than the maximum 0.4 square metre maximum sign size.

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **August 4, 2020** PROJECT FILE: **7817-0411-00 (Revision)**

RE: **Engineering Requirements (Commercial)
Location: 2820 192 Street**

REZONE/SUBDIVISION

Property and Statutory Right-of-Way (SRW) Requirements

- Dedicate 1.942 metres along 28 Avenue toward a 24.0 metre collector road.
- Dedicate 5.2 metres along 192 Street toward a special arterial road section that includes 15.0 metres from centre line for road and 2.2 metres for a multi-use pathway.
- Dedicate a 5.0 by 5.0 metre corner cut at intersection of 192 Street and 28 Avenue
- Register 0.5 metre SRW along 28 Avenue and 192 Street frontages for service connections and construction and maintenance of municipal infrastructure.

Works and Services

- Construct the north half 28 Avenue to collector road standard and multi-use pathway on 192 Street.
- Complete a Stormwater Management Plan for the area which includes the Latimer Lake catchment area.
- Construct a drainage system to include low impact development features, storm sewer system, and requirement for completion of the Latimer Lake Pond.
- Implement onsite low impact development sustainable drainage features.
- Extend water main on 28 Avenue, and sanitary sewer on 28 Avenue and 192 Street.
- Install adequately sized water, storm and sanitary sewer service connections.


A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to the Development Variance Permit.


Jeff Pang, P.Eng.
Development Engineer
KMH

NOTE: Detailed Land Development Engineering Review available on file

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0411-01

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 013-942-824
Lot 1 Section 22 Township 7 New Westminster District Plan 80921
2820 - 192 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F. Yard and Setbacks of Part 36 Community Commercial Zone (C-8) the minimum side yard setback is reduced from from 7.5 metres to 0.0 metres and 3.6 metres to the east building face on Lot 3;
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

APPENDIX VI City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0411-00

Planning Report Date: July 23, 2018

PROPOSAL:

- **Rezoning** from IA to C-8 and CD (based on CG-1)
- **Development Permit**
- **Development Variance Permit**

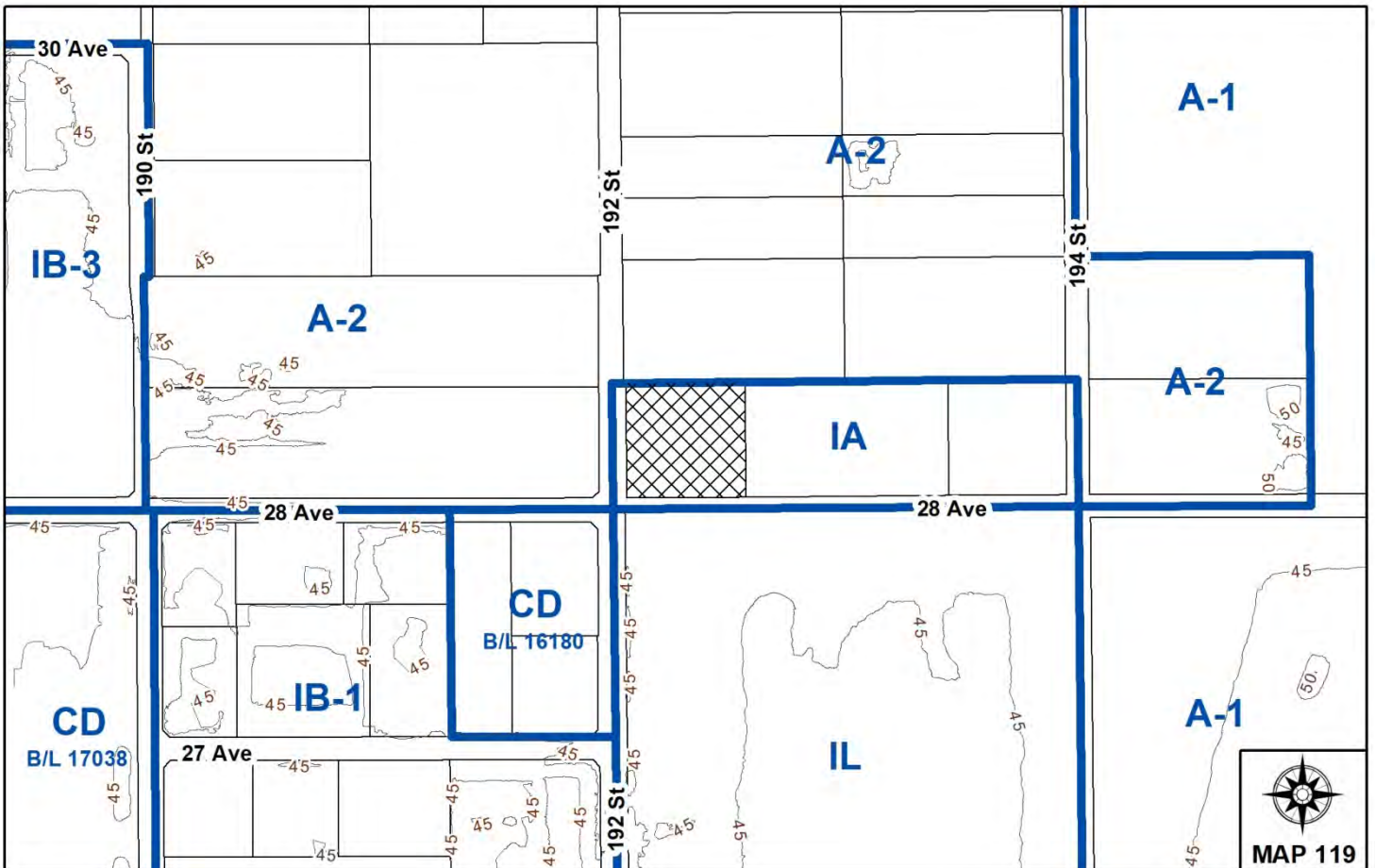
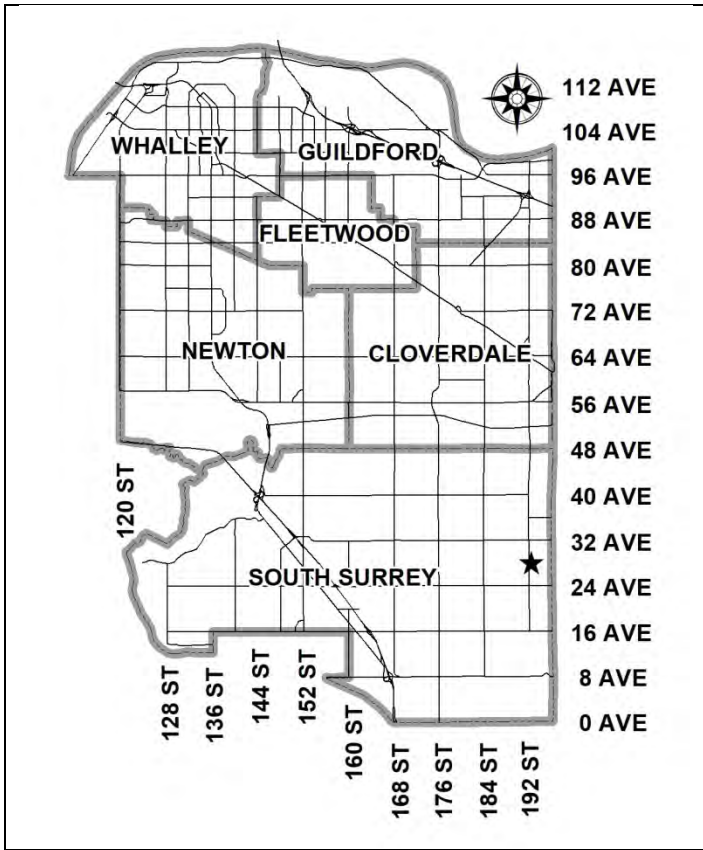
to permit the development of 3 commercial buildings and a gas station with a drive-through restaurant.

LOCATION: 2820 - 192 Street

ZONING: IA

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Commercial and Landscape Strips



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing a Development Variance Permit to reduce the required setbacks of the C-8 Zone on proposed Lots 2 and 3, and to allow 50% third party advertising on a free-standing sign proposed on Lot 2.

RATIONALE OF RECOMMENDATION

- The proposal complies with the site's "Mixed Employment" designation in the Official Community Plan (OCP) and the "Commercial" and "Landscape Strips" designations in the Campbell Heights Local Area Plan (LAP).
- The proposed density and building form are appropriate for this part of Campbell Heights.
- The applicant is seeking to reduce setbacks along the east property lines for proposed Lots 2 and 3. The proposed reduction on Lot 2 will not be noticeable, as Lots 2 and 3 propose shared parking and access. The proposed reduction on Lot 3 is for the second storey of the buildings, from 7.5 metres (25 ft.) to 1.6 metres (2.5 ft.). This setback is consistent with commercial developments adjacent to non-residential uses, and will provide an interesting architecture feature while providing covered parking on the ground floor.
- The applicant is seeking to increase the permitted amount of third party advertising from 30% to 50%, to allow for advertising of Lot 3 businesses on the free-standing sign on Lot 2. This variance is supported as the site will operate as one commercial complex with similar architectural features, and cross access easements. Furthermore, there is no free-standing sign proposed on Lot 3.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone a portion of the site, identified as Block 1 on the Survey Plan (attached as Appendix II) from "Agro-Industrial Zone (IA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. A By-law be introduced to rezone a portion of the site, identified as Block 2 on the Survey Plan (attached as Appendix II) from "Agro-Industrial Zone (IA)" to "Community Commercial Zone (C-8)" and a date be set for Public Hearing.
3. Council authorize staff to draft Development Permit No. 7917-0411-00 for Form and Character and for Sensitive Ecosystems (Green Infrastructure Network) generally in accordance with the attached drawings (Appendix II).
4. Council approve Development Variance Permit No. 7917-0411-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum east yard setback of the C-8 Zone from 7.5 metres (25 ft.) to 6.9 metres (23 ft.) for proposed Lot 2;
 - (b) to reduce the minimum east yard setback of the C-8 Zone from 7.5 metres (25 ft.) to 1.6 metres (5 ft.) for proposed Lot 3; and
 - (c) to vary the Sign By-Law to permit third party advertising for a proposed free-standing sign on Lot 2, from 30% to 50%.
5. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
 - (g) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.

REFERRALS

- Engineering:** The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- Parks, Recreation & Culture:** This development is adjacent to a high value, regionally significant BCS hub (Latimer Park). As such, all on site landscaping (specifically along 28 Avenue) should reflect the intent of the BCS.

SITE CHARACTERISTICS

Existing Land Use: A single family dwelling and unauthorized outdoor storage.

Adjacent Area:

Direction	Existing Use	LAP Designation	Existing Zone
North:	Agricultural	Business Park and Landscape Strip	A-2
East:	Outdoor storage (approved under TUP No. 7916-0531-00). Current Development Application No. 7917-0002-00 for industrial development (pre-Council).	Business Park and Landscape Strip	IA
South (Across 28 Avenue):	Latimer Park	City Park	IL
West (Across 192 Street):	Agricultural	Commercial and Landscape Strip	A-2

DEVELOPMENT CONSIDERATIONS

- The subject 1-hectare (2.5 acres) site is designated “Mixed Employment” in the Official Community Plan (OCP) and “Commercial” and “Landscape Strips” in the Campbell Heights Local Area Plan (LAP). The site is currently zoned “Agro-Industrial Zone (IA)” and is on the northeast corner of 192 Street and 28 Avenue, across the street from Latimer Park.
- The application proposes rezoning from “Agro-Industrial Zone (IA)” to CD based on CG-1 and C-8 and a Development Permit, to allow development of a gas station and three retail/office buildings.
- In addition to a Development Permit for Form & Character, the site is also subject to a Development Permit for Sensitive Ecosystems (Green Infrastructure Network), as it is adjacent to Latimer Lake Park on the south side of 28 Avenue.
- The property is proposed to be subdivided into three lots, one for the gas station on the northwest corner of the site (Lot 1), one with one building at the corner (Lot 2), and one with two buildings on the east portion of the site (Lot 3).

- Proposed Lot 1 is proposed to be rezoned to CD based on CG-1, as the CG-1 does not allow for drive-through restaurants. Given the mainly commercial and industrial context of this site, there is rationale for the proposed drive-through restaurant. The other two properties are proposed to be rezoned to C-8 with some setback reductions, discussed later in this report.
- The applicant was requested to consider providing additional fuel options, in keeping with the City's objective of encouraging the use of more environmentally friendly fuels in accordance with the service station zones in Zoning By-law No. 12000. In accordance with City Policy No. O-58, approved by Council on June 25, 2012 (Corporate Report No. R146), any of the following alternative fuel or recharging infrastructure are to be provided with any new gasoline station:
 - Level-3 electric vehicle charging station (also known as a DC fast charger), or its equivalent;
 - Fast-fill compressed natural gas (CNG) vehicle refueling station;
 - Hydrogen vehicle refueling station; and/or
 - Liquefied petroleum gas (propane) vehicle refueling station.
- The applicant has opted to provide a Level-3 electric vehicle charging station (also known as a DC fast charger) to meet this requirement.

CD By-law

- The applicant is proposing to rezone Lot 1 (gas station and drive-through restaurant) to a CD Zone that will be based on CG-1 Zone. Maximum building heights, FAR and lot coverage of the CG-1 will apply, as well as all of the permitted uses. The CD Zone will allow for the drive-through restaurant as a permitted use.
- Parking requirements, landscaping and special regulations are all proposed in accordance with the CG-1 Zone.
- The front yard setback is proposed at 6.9 metres (23 ft.), as opposed to 12 metres (40 ft.) in the CG-1 Zone. This will allow for greater visibility of the building, while still providing a minimum 3-metre (10 ft.) landscape buffer along 192 Street and a drive-through aisle.

PRE-NOTIFICATION

- Pre-notification letters were sent on June 12, 2018 to 39 properties within 100 metres (328 ft.) of the subject site, including the Little Campbell Watershed Society. A development proposal sign was installed on June 14, 2018. To date, staff have received two comments in response to the proposal.
 - Storm sewer: the Little Campbell Watershed Society is involved and will continue to be involved in reviewing storm sewer in the area and any potential impacts to the Little Campbell and other watercourses in Campbell Heights.

(More details on the proposed storm sewer will be discussed with the proponent through detailed design and the Servicing Agreement process, should Council support this application.)

- Traffic Light: a nearby business owner was concerned with the volume of traffic at the intersection of 192 Street and 28 Avenue, as many of his employees take transit and cross the road at this location.

(The Transportation Division has confirmed that a traffic signal is planned for the corner of 28 Avenue and 192 Street, and budgeted for construction in 2019, as part of the Latimer Park frontage works.)

DESIGN PROPOSAL AND REVIEW

Gas Station Lot 1

- Proposed Lot 1 is 2,748 square metres (29,585 sq. ft.) in area, and located on the northwest portion of the site. The proposal includes a drive-through restaurant and convenience store located on the northwest portion of the lot, with the fueling pumps located along the south portion.
- Staff have worked with the applicant to ensure the proposal complies with the OCP Design Guidelines for Gas Stations.
- Access is proposed to be shared between Lots 1 and 2 on 192 Street, with another access on 28 Avenue on Lot 3. All of the lots are proposed with cross-access easements to facilitate movement within the site.
- The convenience store and drive-through restaurant will have a total floor area of 290 square metres (3,125 sq. ft.). The drive-through will be along the north portion of the site. “Neighbours” is the proposed operator for the convenience store, and the operator for the drive-through restaurant has not yet been confirmed.
- For the gas station, the operator will be PetroCanada. The applicant proposed a total of 6 pumps in a pump island that is to be covered by a canopy which is not physically connected to the building. The canopy is designed with a flat roof and has a height of 5.5 metres (18 ft.).
- The canopy colours are the corporate colours for PetroCanada in white and red in Aluminum Composite Material (ACM) panel system. An internally illuminated sign is also proposed on the canopy along the north and south façades.
- The building is proposed with glass (thermal pane and spandrel) and longboard finish in western cedar with grey and red accents.
- A support canopy is proposed along the south façade, facing the pumps, and 12 parking spaces are provided along the south and east of the building. The electric vehicle (Level 3) charging station is proposed east of the building.

- A garbage enclosure is to be located between the parking and the drive-through, and will be secured.
- A 3-metre (10 ft.) landscape buffer is proposed along the west property line (192 Street), and a 1.5-metre (5 ft.) landscape buffer is proposed along the north property line. There is also a landscape island between proposed Lots 1 and 3, with a total width of 2.1 metres (7 ft.), which is proposed to be shared between the two lots.
- A free-standing sign is proposed along 192 Street, in a monument style. The proposed sign will have the PetroCanada logo and will advertise the price of gas. The sign is proposed to be 1.5 metres (5 ft.) high, and 2.9 metres (9.5 ft.) wide. The sign complies with the Sign By-law and is proposed at least 2 metres (6.5 ft.) from the property line.

Commercial Lot 2

- A two-storey commercial building is to be located on the east portion of proposed Lot 2. The building proposes retail uses on the ground floor and offices on the upper floor. Each floor is 457.6 square metres (4,926 sq. ft.), for a total floor area of 915.2 square metres (9,852 sq. ft.) and an FAR of 0.47, which is well below the maximum 0.80 FAR that is permitted in the C-8 Zone.
- Individual unit entrances are proposed along the east, west and north façades. The entrance to the lobby for the upper floor is proposed along the north façade. The ground floor has 3 to 4 commercial units with 2-3 office spaces that are to be located on the upper floor.
- Materials and finishes are proposed to match the buildings proposed on Lot 1 and Lot 3, glass (thermal pane and spandrel) and longboard finish in western cedar with grey and white accents. The building has an overall contemporary look.
- Given the proximity to Latimer Lake and the Green Infrastructure Network (GIN) to the south, a 6-metre (20 ft.) wide landscape buffer, designed by a Qualified Environmental Professional (QEP) was required along the south portion of the site, and no variances were considered for the building along this frontage, with a proposed 7.5 metre (25 ft.) setback.
- Along the west side of this lot, a 3-metre (10 ft.) wide landscape buffer is proposed, as well as a corner plaza. The plaza was located along 192 Street to avoid any encroachments on the GIN area along 28 Avenue.
- Pedestrian access will be provided from 28 Avenue through the provision of sidewalk along the east and west of the building, and vehicular access will be shared with Lot 1 to the north and Lot 3 to the east.
- A total of 24 parking spaces are required on the site. There are a total of 34 parking spaces provided on the site, 9 of which are to be shared with proposed Lot 3.
- A free-standing sign is proposed along 192 Street. The proposed sign will have space for up to 6 businesses to advertise. The sign is proposed to be 2.4 metres (7.5 ft.) high, and is proposed in concrete with “Campbell Heights” in channel letters above the sign. The applicant proposed to have half the spaces for advertising businesses on Lot 3, as an

additional free-standing sign for Lot 3 is not proposed. The sign complies with all other aspects of the Sign By-law and is proposed at least 2 metres (6.5 ft.) from the property line.

-

Commercial Lot 3

- Proposed Lot 3 on the eastern portion of the site will have two buildings. Both buildings are proposed along the eastern portion of this lot, with one row of parking along the west side, and two rows of parking along the east. The building is proposed to overhang the parking on the east side for the second storey.
 - The buildings are proposed as retail uses on the ground floor and offices on the upper floor. Building C (northern building) will have 644 square metres (6,939 sq. ft.) of retail on the ground floor and 1,508 square metres (16,238 sq. ft.) of offices on the upper floor.
 - Building D (southern building) will have 352 square metres (3,786 sq. ft.) of retail on the ground floor and 854 square metres (9,194 sq. ft.) of offices on the upper floor.
 - The total floor area for Lot 3 is 1,206 square metres (12,980 sq. ft.), representing a net FAR of 0.72, which is within the permitted 0.80 of the C-8 Zone.
 - Individual unit entrances are proposed along the west façade for both buildings, with the entrance to the lobby provided on the west façade, or through a vestibule accessed from the parking lot on the east. Building C has 2 commercial units proposed on the ground floor with 2-4 office spaces on the upper floor. Building D has 2-6 commercial units on the ground floor and 2-4 office spaces on the upper floor.
 - Materials and finishes are proposed to match the buildings proposed on Lot 1 and Lot 2, glass (thermal pane and spandrel) and longboard finish in western cedar with grey and white accents. The building has an overall contemporary look.
 - Given the proximity to Latimer Lake and the Green Infrastructure Network (GIN) to the south, a 6-metre (20 ft.) landscape buffer, designed by a Qualified Environmental Professional (QEP) was required along the south portion of the site, and no variances were considered for the building along this frontage, with a proposed 7.5 metre (25 ft.) setback.
 - Pedestrian access is proposed from 28 Avenue by way of sidewalks along the east and west of the buildings, and vehicular access will be shared with Lot 2 and Lot 3.
 - A total of 80 parking spaces are required for this lot. There are a total of 71 parking spaces provided on the site, plus an additional 9 spaces provided on Lot 2.
 - A free-standing sign is not proposed on Lot 3. The free-standing sign on Lot 2 is proposed to allow for 50% third party advertising, to accommodate businesses on Lot 3. This proposed variance is further discussed in this report.
-

TREES

- Stuart Goode, ISA Certified Arborist of Goode Arboriculture Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Cottonwood	7	7	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		43	
Total Retained and Replacement Trees		43	
Contribution to the Green City Fund		n/a	

- The Arborist Assessment states that there are a total of 7 protected trees on the site, all of which are Cottonwood. The trees are actually on the adjacent site to the north, but their tree protection area would impact the subject site. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The applicant will need to confirm tree removal with adjacent neighbor to the north, as all 7 Cottonwood trees proposed for removal are off-site.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Cottonwood trees. This will require a total of 7 replacement trees on the site. The applicant is proposing 43 replacement trees, meeting City requirements.
- The new trees on the site will consist of a variety of trees including Red Rocket Maple, Columnar Armstrong Maple, Frans Fontaine Hornbeam, Emerald Sentinel Sweetgum and Serbian Spruce, as well as a variety of shrubs and grass.
- In summary, a total of 43 trees are proposed to be retained or replaced on the site with no contribution to the Green City Fund.

BIODIVERSITY CONSERVATION STRATEGY

- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies Latimer Lake Park adjacent to the subject site, in the Campbell Heights BCS management area, with a High ecological value.
- The BCS further identifies the GIN area adjacent to the subject site as having a High habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories.

- In order to complement the BCS Hub to the south, the applicant has provided a planting plan by a Qualified Environmental Professional (QEP) for the buffer along the south property line (28 Avenue). This proposed landscape buffer is 6 metres (20 ft.) wide, and the building setback complies with the minimum 7.5 metres (25 ft.) requirement of the C-8 Zone. The planting plan for the buffer will form part of the Development Permit for Sensitive Ecosystem (Green Infrastructure Network).
- Protecting green infrastructure Hubs (large habitat areas) and Sites (smaller habitat areas) are critical to preserving natural habitat refuges and a diversity of habitat features while maintaining/enhancing Corridors ensures connectivity between fragmented hubs for genetic variation throughout the City. The closest Biodiversity Hub connection in the GIN to the subject site is Hub Latimer Lake Park and is located on the south side of 28 Avenue.
- The development proposal enhances the GIN area, by providing this planted landscape buffer and appropriate building setbacks. This method of GIN enhancement will assist in the long term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on September 09, 2018. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The proposal complies with the Official Community Plan and the Campbell Heights Local Area Plan.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • This is a commercial development which will serve the industrial and business park uses in the surrounding area.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposed development includes a naturally planted 6-metre buffer along the south side to interface with Latimer Lake Park.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The proposed gas station includes a Level-3 electric vehicle charging station.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The site will utilize Crime Prevention through Environmental Design (CPTED) principles. • Pedestrian connections are provided throughout the site.
6. Green Certification (F1)	<ul style="list-style-type: none"> • None.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • None.

ADVISORY DESIGN PANEL

- On June 21, 2018, the City's Advisory Design Panel (ADP) reviewed the proposed project (draft minutes, Appendix V). The ADP's recommended that the applicant work with staff to refine the project. Below is a summary of comments:
 - Suggest enclosing the parkade with gates and for additional natural light along east façade of Buildings B and C; and
 - The provision of alternative glazing and solar shading strategies.
- The applicant has committed to work with staff to incorporate the suggestions.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum east yard setback of the C-8 Zone from 7.5 metres (25 ft.):
 - to 6.9 metres (23 ft.) for proposed Lot 2; and
 - to 1.6 metres (5 ft.) for proposed Lot 3.

Applicant's Reasons:

- The interface between commercial uses and business park/industrial uses can accommodate reduced setbacks.

Staff Comments:

- The proposed setback reduction for Lot 2 is minimal and will not be discernable, since lots 2 and 3 are proposed to share access and parking.
- The proposed setback reduction for Lot 3 will only apply to the upper floors, and does not constitute a concern with interface given that industrial/business park uses are proposed to the east.

(b) Requested Variance:

- To increase the allowable amount of third party advertising from 30% to 50% for the free standing sign on Lot 2.

Applicant's Reasons:

- The proximity and related nature of the businesses accommodates the third party advertising.

Staff Comments:

- Lot 3 has no free-standing sign proposed, as it would encroach on the GIN corridor along 28 Avenue.

- The Sign By-law allows for 30% third party advertising, and the increase to 50% has merit given the site will operate as one commercial complex, with very similar architectural features. The properties also have shared access and shared parking.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	ADP draft comments
Appendix VI.	Development Variance Permit No. 7917-0411-00
Appendix VII.	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Lovick Scott Architects and PMG Landscape Architects, respectively, dated June 21, 2018 and June 05, 2018.
- Planting Plan for Landscape Buffer along 28 Avenue, prepared by Keystone Environmental, dated May 30, 2018.
- Green Infrastructure Network Assessment, prepared by Keystone Environmental, dated November 16, 2017.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

LFM/cm

SUBDIVISION DATA SHEET

Proposed Zoning: CD and C-8

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	2.5 acres
Hectares	1 hectare
NUMBER OF LOTS	
Existing	1
Proposed	3
SIZE OF LOTS	
Range of lot widths (metres)	40.5 m to 48.4 m
Range of lot areas (square metres)	1,952 m ² to 4,706 m ²
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	3 uph / 1.2 upa
Lots/Hectare & Lots/Acre (Net)	3.2 uph/ 1.3 upa
PARKLAND	
Area (square metres)	
% of Gross Site	
	Required
PARKLAND	
5% money in lieu	NO
TREE SURVEY/ASSESSMENT	YES
MODEL BUILDING SCHEME	NO
HERITAGE SITE Retention	NO
FRASER HEALTH Approval	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	YES

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (Lot 1)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Net Total		2,748.6 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	30%	16.8%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (West)	6.9 m	6.9 m
Rear (East)	4.0 m	11 m
Side #1 (N)	4.0 m	9.5 m
Side #2 (S)	4.0 m	5.4 m
BUILDING HEIGHT (in metres/storeys)		
Principal	6.15 m	6.15 m
Accessory		
FLOOR AREA: Commercial		
Retail		314 m ²
Office		-
TOTAL BUILDING FLOOR AREA		314 m ²
DENSITY		
FAR (net)	0.3	0.17
PARKING (number of stalls)		
Commercial	9	9
Gas Station	6	7
Total number of parking spaces	15	16
Number of accessible stalls	1	2
Number of small cars		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DEVELOPMENT DATA SHEET

Proposed Zoning: C-8 (Lot 2)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Net Total		1,952 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	50%	23.4%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front	7.5 m	22 m
Rear	7.5 m	6.9 m (DVP)
Side #1 (S)	7.5 m	7.5 m
Side #2 (N)	7.5 m	10 m
BUILDING HEIGHT (in metres/storeys)		
Principal	12 m	10.3 m
Accessory		
FLOOR AREA: Commercial		
Retail		457.6 m ²
Office		457.6 m ²
TOTAL BUILDING FLOOR AREA		915.2 m ²
DENSITY		
FAR (net)	0.80	0.47
PARKING (number of stalls)		
Commercial	24	25
Number of accessible stalls		1
Number of small cars		10

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DEVELOPMENT DATA SHEET

Proposed Zoning: C-8 (Lot 3)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Net Total		
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front	7.5 m	7.5 m
Rear	7.5 m	7.5 m
Side #1 (E)	7.5 m	1.6 m (DVP)
Side #2 (W)	7.5 m	14 m
BUILDING HEIGHT (in metres/storeys)		
Principal		
Accessory	12 m	10.3 m
FLOOR AREA: Commercial		
Retail		996.5 m ²
Office		2362.7 m ²
TOTAL BUILDING FLOOR AREA		3,359.2 m ²
DENSITY		
FAR (net)	0.80	0.72
PARKING (number of stalls)		
Commercial	80	80
Number of accessible stalls		1
Number of small cars		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
ZONING BYLAW # _____ OF LOT 1, SECTION 22,
TOWNSHIP 7, NEW WESTMINSTER DISTRICT, PLAN 80921**

FOR THE PURPOSE OF REZONING

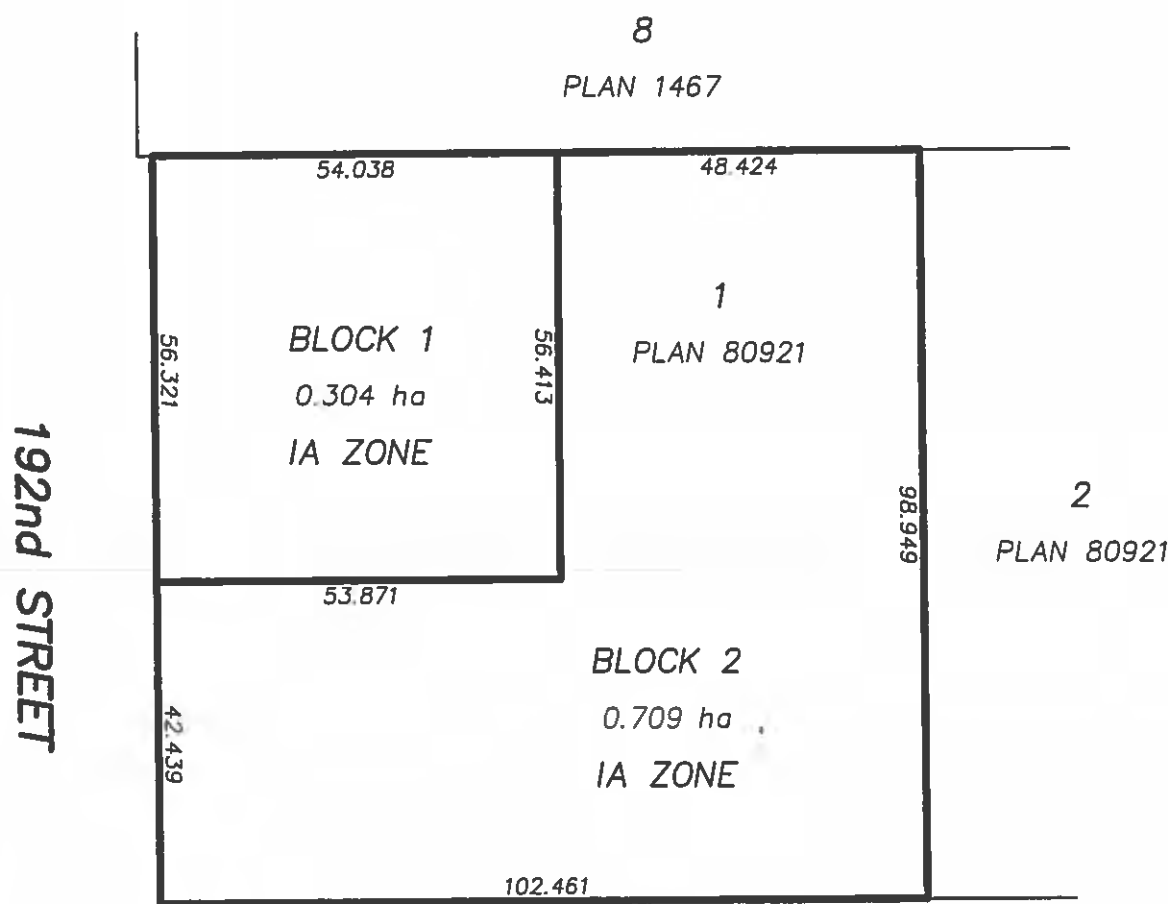
B.C.G.S. 92G007
CITY OF SURREY

SCALE 1:1000

CIVIC ADDRESS:

2820-192 Street
Surrey, BC

-property dimensions are derived
from field survey



28th AVENUE

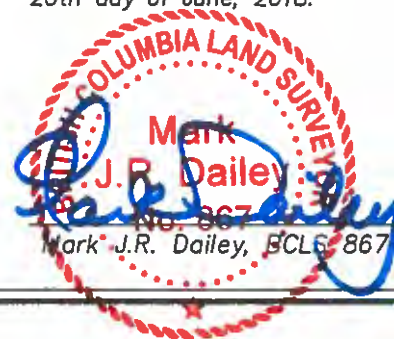
Date of Survey
20th day of June, 2018.

**DHALIWAL & ASSOCIATES
LAND SURVEYING INC.**

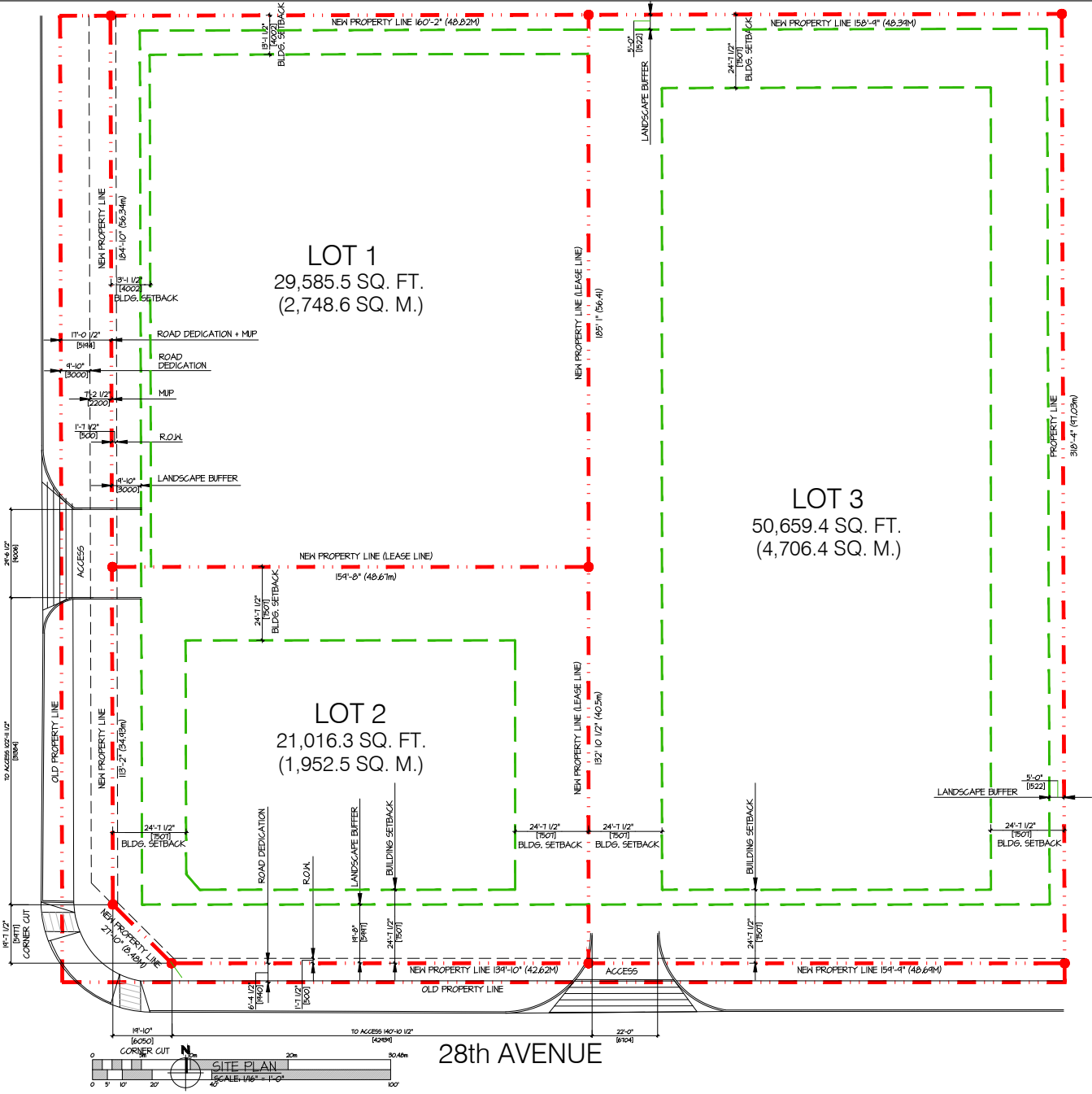
216 - 12899 76th Avenue
Surrey, B.C. V3W 1E6
phone: 604-501-6188
email: info@dhaliwalsurvey.com

FILE : 1708002-Z01

**THIS DOCUMENT IS NOT VALID
UNLESS ORIGINALLY SIGNED AND SEALED**



192nd STREET



REV	DATE	DESCRIPTION
01	21.07.17	ISSUED FOR DP
02	12.09.18	RE-ISSUED FOR DP
03	21.06.18	SUBMISSION TO ADP

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.



3707 1ST AVENUE
 BURNABY, BC V5C 3V6
 ADMIN@LOVICKSCOTT.COM
 P: 604 298 3700 F: 604 298 6081
 MEMBER OF THE AIBC, AIA, SAA, MAA & NWTAA
 ARCHITECTURAL SEAL

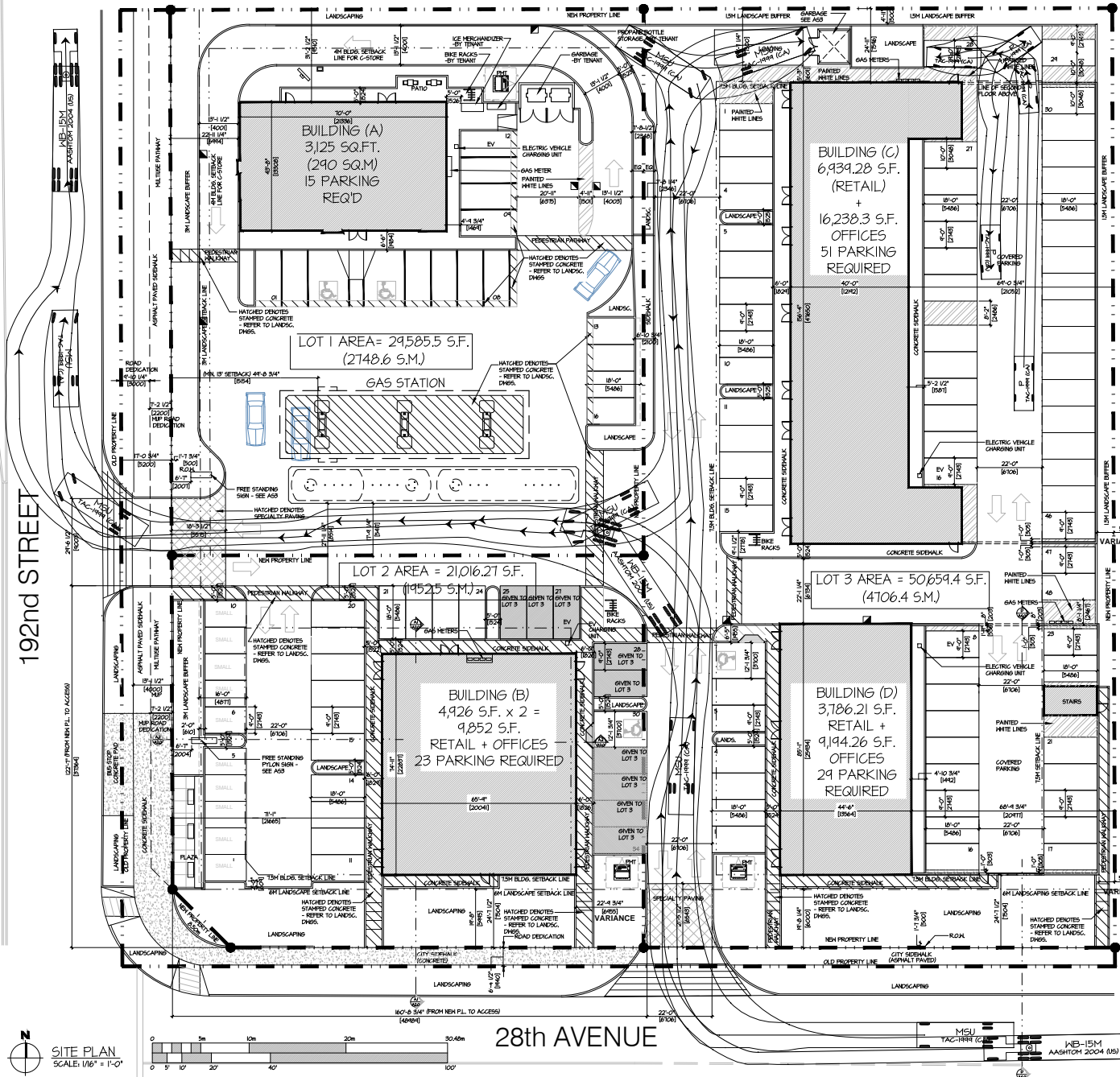
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DRAWN BY: AC APPROVED: LSA
 PROJECT: LSA

CAMPBELL HEIGHTS NORTH
 2820 192nd STREET
 SURREY, BC

SITE PLAN
 EXISTING & NEW PROPERTY LINES
 PROJECT NUMBER: 16-012 DRAWING NUMBER: A51a
 SCALE: 1/16" = 1'-0"
 DATE: FEB 2016 REGION: FEB 16 2016

CAMPBELL HEIGHTS NORTH -16-14



SITE STATISTICS

EXISTING ZONE: 1A (AGRO INDUSTRIAL)
PROPOSED ZONE:
- LOT 1: CD BASED ON CG-1 AND CH
- LOT 2 AND 3: C-8

OLD SITE AREA 109,048.1 sq.Ft. (10,130.9 sq.M)
ROAD DEDICATION 5,608.8 sq.Ft. (521.1 sq.M)
SITE AREA 101,286.7 sq.Ft. (9,409.8 sq.M)

SETBACKS	ALLOWED	PROPOSED
C-STORE/REST.		
SIDE (NORTH)	19'-1" (4M)	31'-2" (9.5M)
FRONT (WEST)	19'-1" (4M)	22'-11 1/4" (6.99M)
BUILDING E		
FRONT (WEST)	24'-7 1/2" (7.5M)	11'-1" (3.1M)
SIDE (SOUTH)	24'-7 1/2" (7.5M)	24'-1 1/2" (7.3M)
REAR (EAST)	24'-7 1/2" (7.5M)	22'-3 3/4" (6.85M)
BUILDING C		
SIDE (EAST)	24'-7 1/2" (7.5M)	25'-7 1/4" (7.81M)
REAR (NORTH)	24'-7 1/2" (7.5M)	24'-1" (7.3M)
BUILDING D		
SIDE (EAST)	24'-7 1/2" (7.5M)	25'-3 3/4" (7.82M)
FRONT (SOUTH)	24'-7 1/2" (7.5M)	24'-1 1/2" (7.3M)

LOT 1, (CD BASED ON CG-1 AND CH)

AREA 21,555.5 S.F. = 2148.6 S.M.

RESTAURANT 1,000 sq.Ft. (92.4 sq.M)
C-STORE 2,125 sq.Ft. (197.4 sq.M)
GAS-STATION 1,585 sq.Ft. (147 sq.M)
GARBAGE 260 sq.Ft. (24.5 sq.M)

LOT COVERAGE
ALLOWED 30.0 %
PROVIDED 4,960 / 29,585.5 = 16.8 %
MAX. HEIGHT 20 FT. = 6 M
ALLOWED 15.7 FT. = 4.8 M

PARKING REQUIREMENTS:
GASOLINE STATION 3 PARKING SPACES FOR EVERY (1075 S.F.) OF GFA PLUS 1 PARKING SPACE PER CAR WASH BAY
225' x 107'5" x 3 = 5.83 BAY STALLS (REQUIRED)
RESTAURANT CATEGORY 2 (1075-10225 S.F.) OF GFA 10 PARKING SPACES FOR EVERY (1075 S.F.) OF GFA (1000' x 107'5" = 107,375 S.F. = 10 BAY STALLS (REQUIRED))
TOTAL PARKING REQUIRED: 15
PROVIDED: 16

LOT 2, (C-8)

AREA 21,016.21 S.F. (1,452.5 S.M.)

BUILDING (B)
RETAIL (GROUND FL.) 4,926 SQ.FT. (457.6 SQ.M)
OFFICES (SECOND FL.) 4,926 SQ.FT. (457.6 SQ.M)

LOT COVERAGE
ALLOWED 50.0 %
PROVIDED 4,926 / 21,016.21 = 23.4 %
MAX. HEIGHT 40 FT. (12M)
ALLOWED 33'-4" FT. (10.3 M)

PARKING REQUIREMENTS:
RETAIL BUILDING 3 PARKING SPACES FOR EVERY (1075 S.F.) OF GFA
4926 / 1075 = 4.58
OFFICE USES 23 PARKING SPACES FOR EVERY (1075 S.F.) OF GFA (1075 x 23 = 24,725 S.F.)
TOTAL PARKING REQUIRED: 24
PROVIDED: 34-4 (GIVEN TO LOT 3) = 25

LOT 3, (C-8)

AREA 50,659.4 S.F. = 4,706.4 S.M.

BUILDING (C)
RETAIL (GROUND FL.) 6,934.28 SQ.FT. (644.1 SQ.M)
OFFICES (SECOND FL.) 16,238.30 SQ.FT. (1,508.5 SQ.M)
TOTAL 23,172.58 SQ.FT. (2,152.6 SQ.M)

BUILDING (D)
RETAIL (GROUND FL.) 3,786.21 SQ.FT. (351.75 SQ.M)
OFFICES (SECOND FL.) 9,144.26 SQ.FT. (854.17 SQ.M)
TOTAL 12,930.47 SQ.FT. (1,205.92 SQ.M)

GARBAGE 132 SQ.FT. (12.3 SQ.M)
EXTERIOR STAIRS 186.8 SQ.FT. (17.32 SQ.M)

LOT COVERAGE
ALLOWED 50.0 %
PROVIDED 25,564 / 50,659.4 = 50 %
MAX. HEIGHT 40 FT. (12M)
ALLOWED 33'-4" (10.3 M)

PARKING REQUIREMENTS:
RETAIL BUILDING 3 PARKING SPACES FOR EVERY (1075 S.F.) OF GFA (12,930.47 / 1075 = 12.03)
OFFICE USES 23 PARKING SPACES FOR EVERY (1075 S.F.) OF GFA (12,930.47 x 23 = 298,201)
TOTAL PARKING REQUIRED: 80
PROVIDED: 114 (FROM LOT 2) = 80

SUBMISSION TO ADP
JUNE 21ST, 2018
FILE #17-0411

REV	DATE	DESCRIPTION
03	21.06.18	SUBMISSION TO ADP
02	12.02.18	RE-ISSUED FOR DP
01	21.07.17	ISSUED FOR DP



3707 1ST AVENUE
BURNABY, BC V5C 3V6
ADMIN@LOVICKSCOTT.COM
P: 604 298 3700 F: 604 298 6081
MEMBER OF THE ABC, AIA, SAA, MAA & NWTAA
PROFESSIONAL SEAL

CAMPBELL HEIGHTS NORTH -16-12

CAMPBELL HEIGHTS NORTH
2800 192ND STREET
SURREY, BC

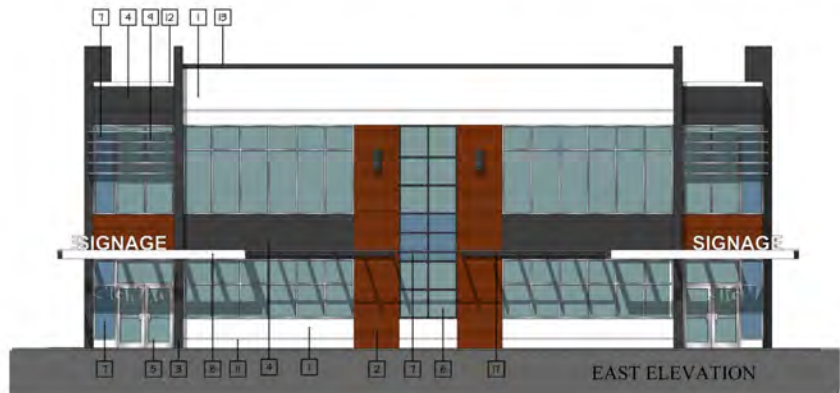
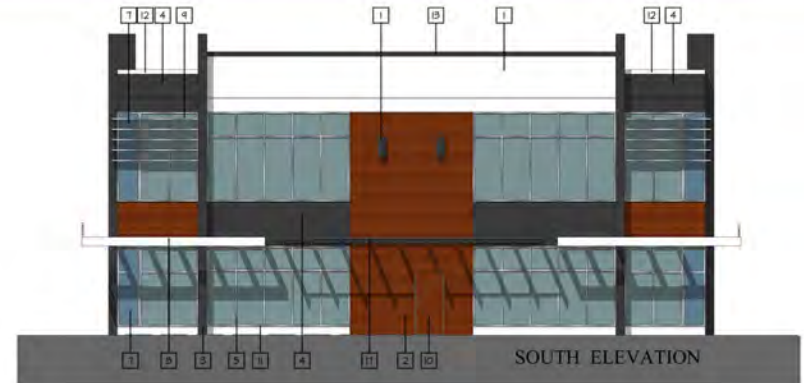
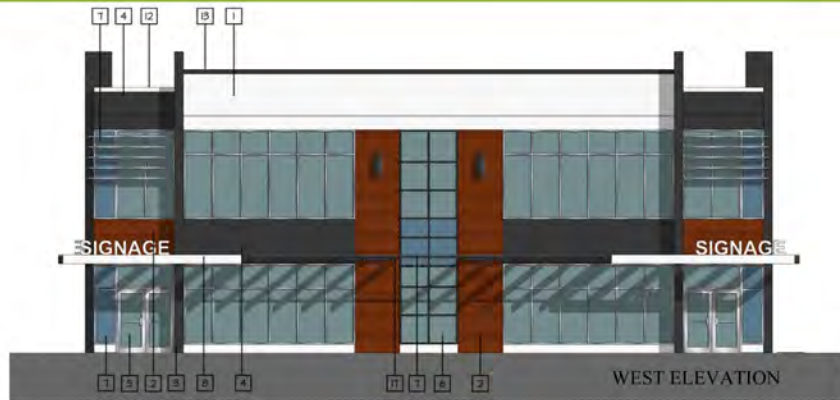


28th AVENUE

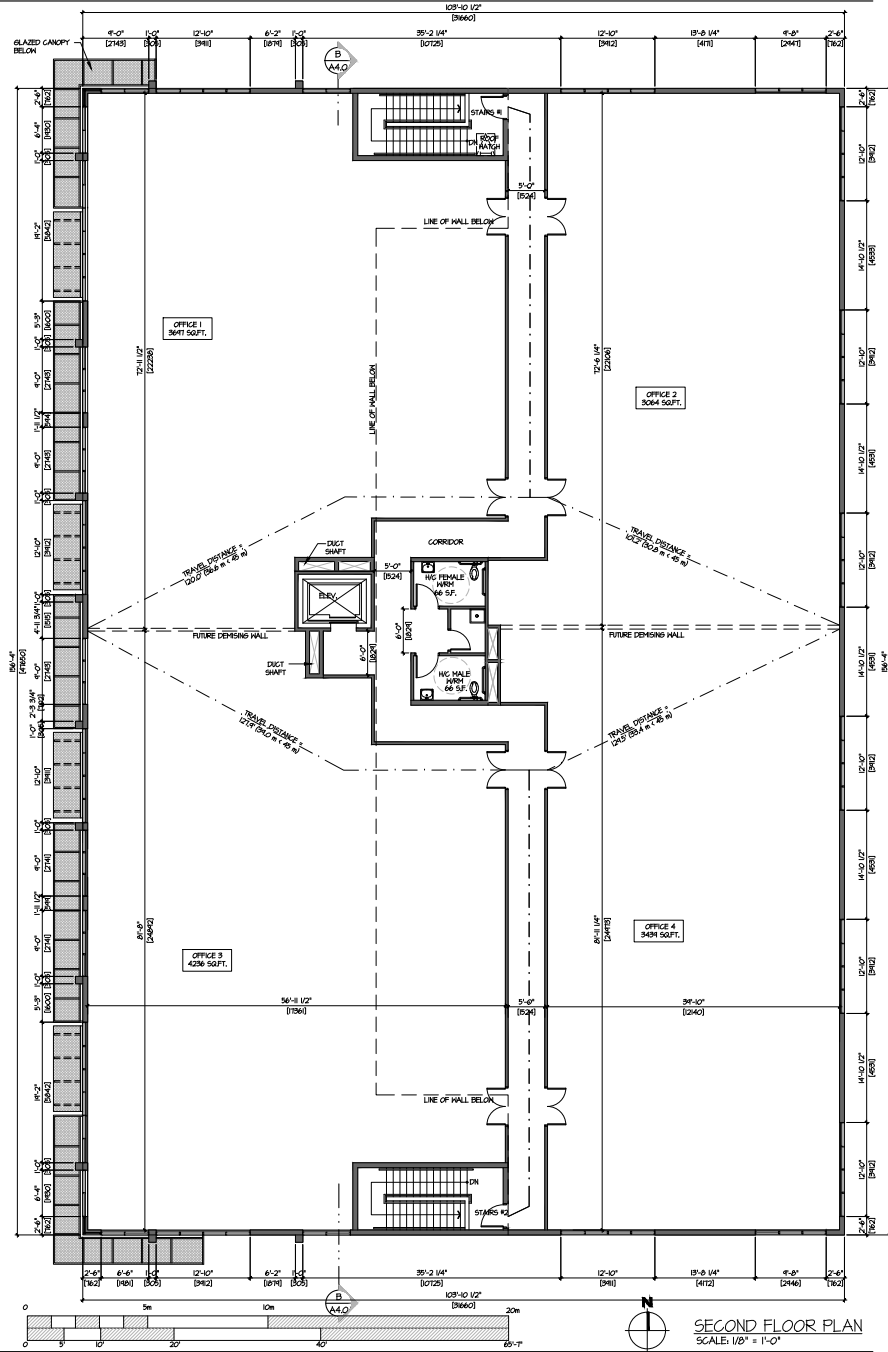
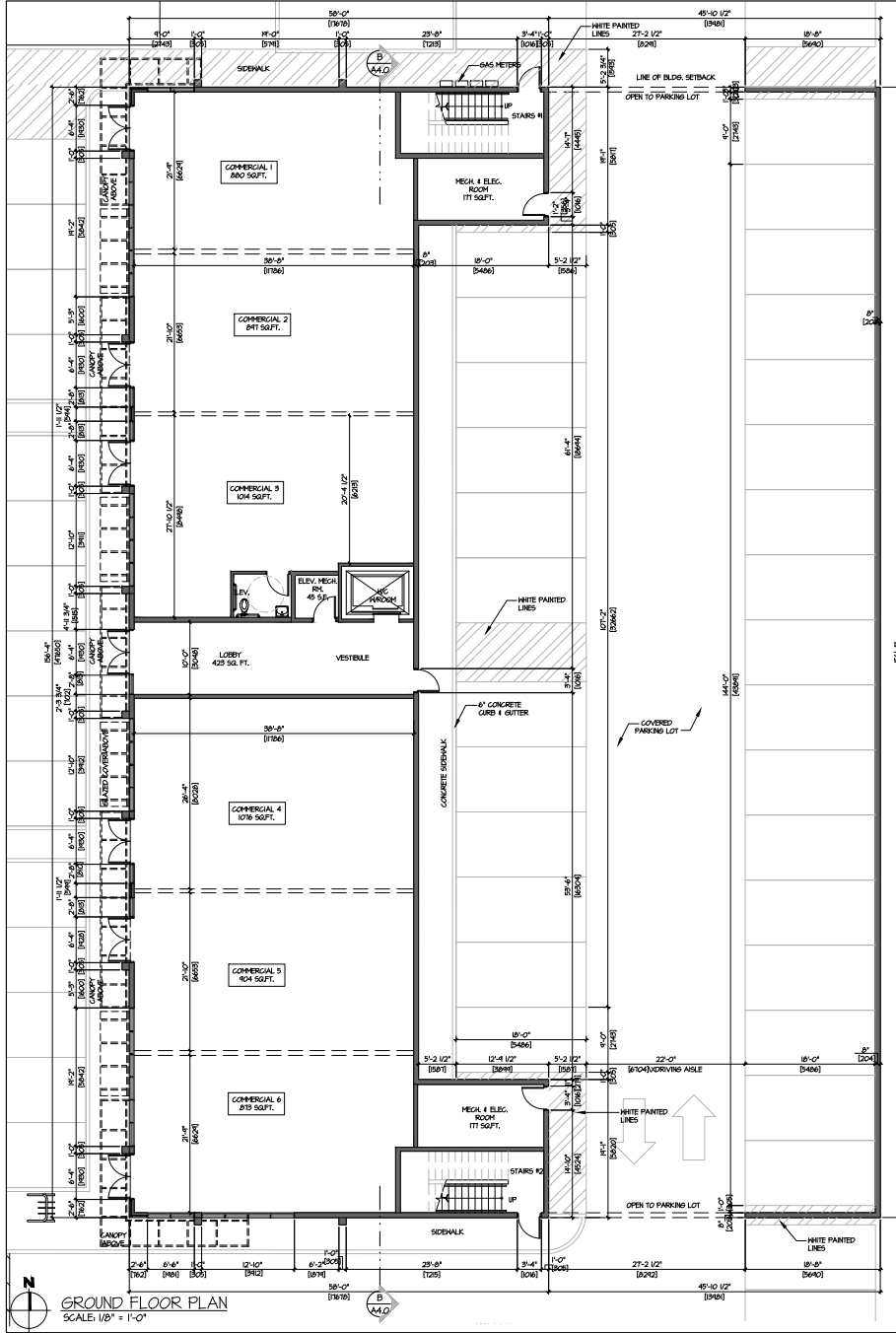
SITE PLAN

PROJECT NUMBER DRAWING NUMBER
16-012 ASI
SCALE 1/16" = 1'-0"
DATE FEB 2016 REVISION FEB 16 2018





EXTERIOR FINISHES		* ALL MATERIAL FLASHING TO BE 24 GA.
NO.	MATERIAL	COLOUR & SPECIFICATION
1	CONCRETE PANEL	PTD. TO MATCH CASCADIA METALS - CAMBRIDGE WHITE
2	METAL SIDING	LONGBOARD - COLOUR: WESTERN CEDAR
3	METAL COLUMN	CASCADIA METAL - CHARCOAL
4	CONCRETE PANEL @ CORNERS	PTD. TO MATCH CASCADIA METALS - CHARCOAL
5	DOORS & WINDOW FRAMES	CLEAR ANODIZED
6	WINDOW FRAMES @ CENTRE OF BLDG.	BLACK ANODIZED
7	SPANDREL PANEL	N/A
8	METAL CANOPY	CASCADIA METALS - CAMBRIDGE WHITE
9	METAL HORIZONTAL LOUVRES	CLEAR ANODIZED
10	METAL DOOR	PAINTED TO MATCH ADJACENT COLOUR
11	CONCRETE BASE	PTD. WHITE
12	PARAPET FLASHING 1 (@ CORNERS)	CASCADIA METALS - CAMBRIDGE WHITE
13	PARAPET FLASHING 2 (@ WHITE PANELS)	CASCADIA METALS - CHARCOAL
14	EXTERIOR LIGHT FIXTURES	POWDER COATED BLACK
15	SIGNAGE	BY OWNER
16	METAL LATTICE GATE (FOR GAS METER)	COLOUR TO MATCH LOUVRES
17	GLAZED COVER (ALONG SIDEWALK)	FRAMES IN BLACK COLOUR



REV	DATE	DESCRIPTION
01	21.07.17	ISSUED FOR DP
02	12.02.18	RE-ISSUED FOR DP
03	21.06.18	SUBMISSION TO ADP



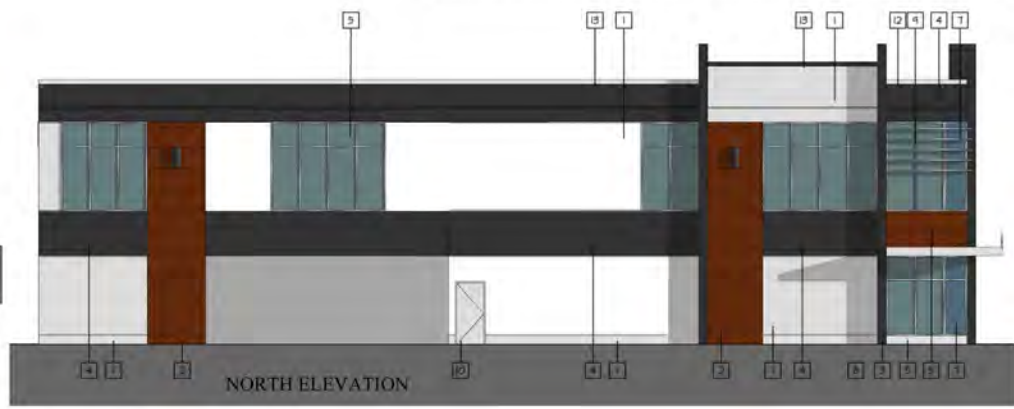
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PROJECT NUMBER: ATAC PROJECT: LSA
 DRAWING: CAMPBELL HEIGHTS NORTH -16-12
 BUILDING C FLOOR PLANS
 PROJECT NUMBER: 16-012 DRAWING NUMBER: A.I.O.
 SCALE: 1/8" = 1'-0"
 DATE: MAY 2017 REVISION: JAN 25 2018

CAMPBELL HEIGHTS NORTH -16-12

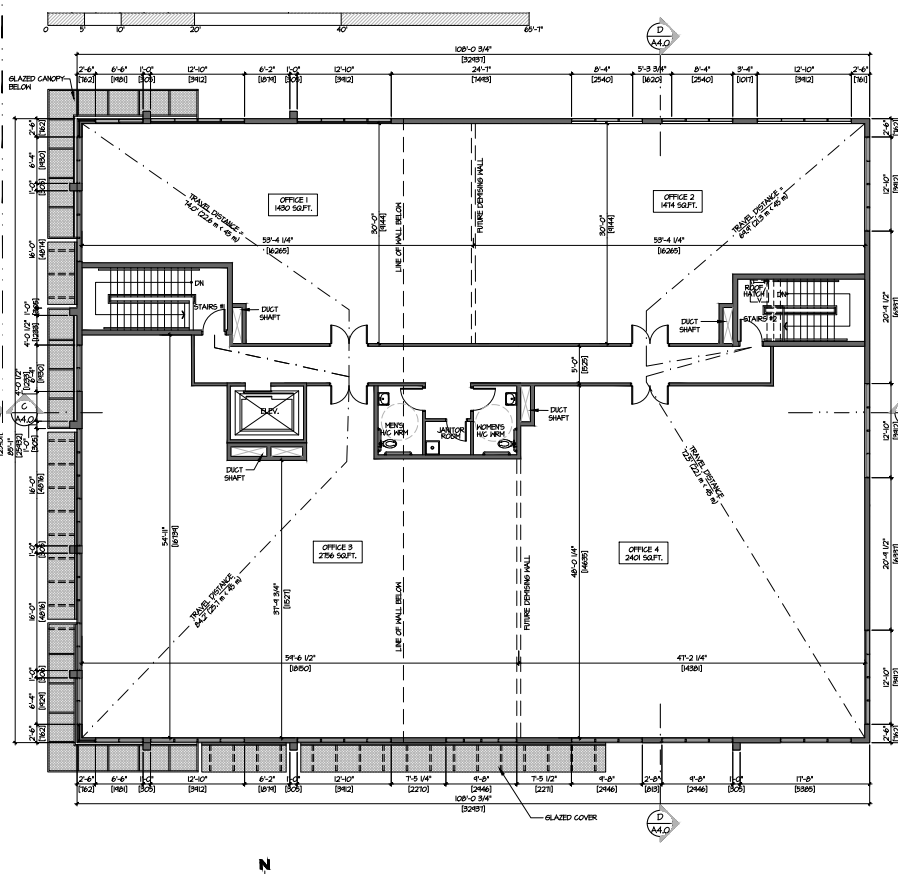
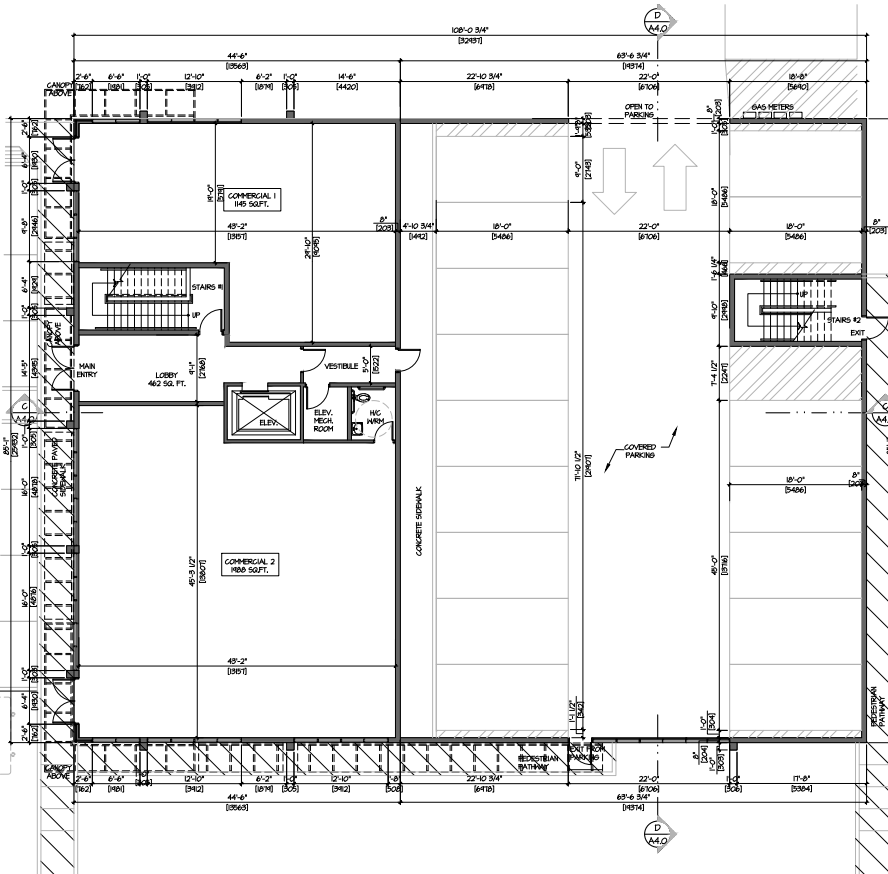




EXTERIOR FINISHES		* ALL MATERIAL FLASHING TO BE 24 GA.
NO.	MATERIAL	COLOUR & SPECIFICATION
1	CONCRETE PANEL	PTD. TO MATCH CASCADIA METALS - CAMBRIDGE WHITE
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17	GLAZED COVER (ALONG SIDEWALK)	FRAMES IN BLACK COLOUR



CAMPBELL HEIGHTS NORTH
COLOUR ELEVATIONS - BLDG. C



REV	DATE	DESCRIPTION
05	21.06.18	SUBMISSION TO ADP
02	12.09.18	RE-ISSUED FOR DP
01	21.07.17	ISSUED FOR DP

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.
 ARCHITECT



3707 1ST AVENUE
 BURNABY, BC V5C 3V6
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APPROVED
 AT/AC PROJECT LSA

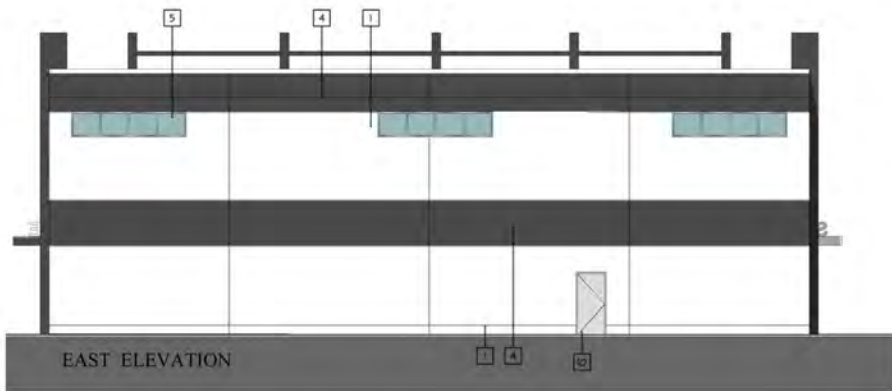
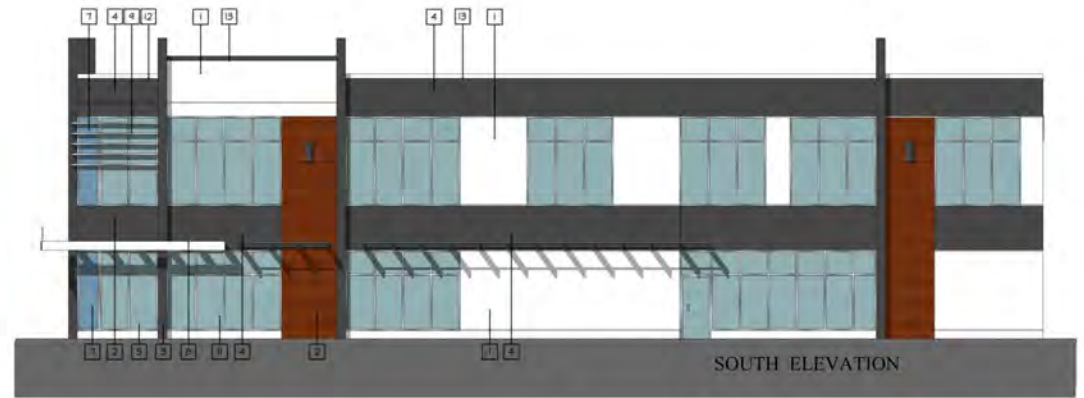
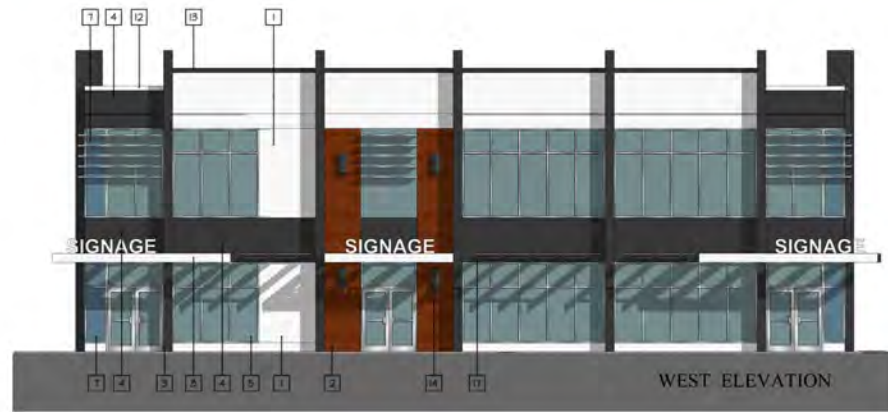
CAMPBELL HEIGHTS NORTH
 2020 162nd STREET
 SURREY, BC

DRAWING: BUILDING D
 FLOOR PLANS

PROJECT NUMBER: 16-012
 DRAWING NUMBER: A1.0
 SCALE: 1/8" = 1'-0"
 DATE: MAY 2017 REGION: JAN 25 2018

CAMPBELL HEIGHTS NORTH -16-12





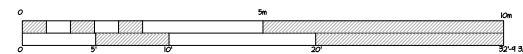
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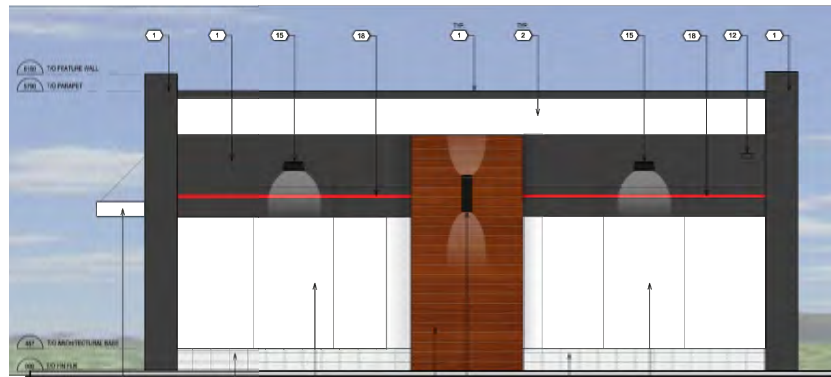
SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



WEST ELEVATION
 SCALE: 1/4" = 1'-0"



EAST ELEVATION
 SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION
01	21.06.18	SUBMISSION TO ADP
02	12.09.18	RE-ISSUED FOR DP
01	21.07.17	ISSUED FOR DP

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT



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DRAWN BY: AT APPROVED: LSA

PROJECT: LSA

CAMPBELL HEIGHTS NORTH
 C-STORE & RESTAURANT
 2620 162nd STREET
 SURREY, BC

DRAWING

COLOUR ELEVATIONS
 C-STORE & RESTAURANT

PROJECT NUMBER: DRAWING NUMBER

16-012 A2.0

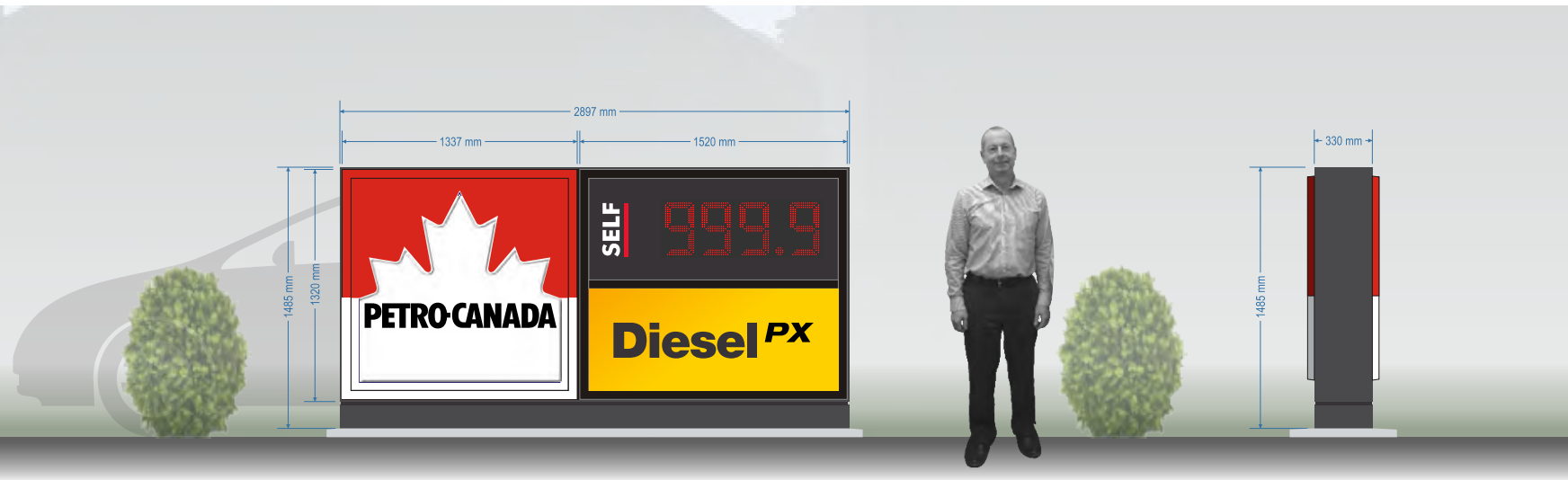
SCALE

1/4" = 1'-0"

SITE REGION

MAY 2017 02.05.18

CAMPBELL HEIGHTS NORTH -16-12



FRONT ELEVATION

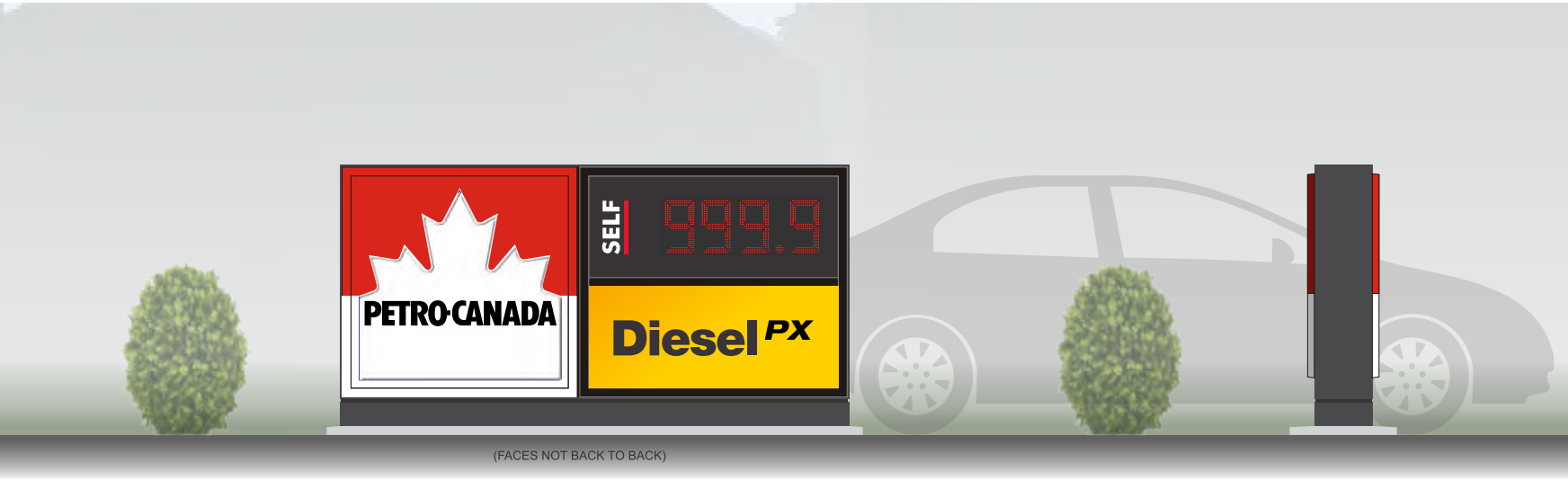
LEFT ELEVATION

SIGN FACES TRANSLUCENT, INTERNALLY ILLUMINATED BY LED WITH VINYL APPLIED TO FIRST SURFACE

12" NOVYC RED LED PRICE CHANGER

SIGN STRUCTURE PAINTED GREY TO MATCH CASCADIA METALS CHARCOAL

FOR ILLUSTRATION ONLY. EXACT DIMENSIONS TO BE VERIFIED BY SIGN MANUFACTURER.



REAR ELEVATION

RIGHT ELEVATION



PROPOSED MONUMENT SIGN
 CAMPBELL HEIGHTS NORTH, 192nd ST & 28th AVE., SURREY, BC



VIEW OF SOUTH WEST ELEVATION ON 28TH AVE.

SCALE:

PLANT SCHEDULE

PMG PROJECT NUMBER: 17159

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
11		ACER RUBRUM RED ROCKET	RED ROCKET MAPLE	6CM CAL, 2M STD, B&B
12		ACER X FREEMANI 'ARMSTRONG'	COLUMNAR ARMSTRONG MAPLE	8CM CAL, 2M STD, B&B
10		CARPINUS BETULUS 'FRANS FONTAINE'	FRANS FONTAINE HORSEBEECH	8CM CAL, B&B
3		LIQUIDAMBAR STYRACIFLUA 'EMERALD SENTINEL'	EMERALD SENTINEL SWEETGUM	6CM CAL, 2M STD, B&B
7		PICEA OMORICA	SERBIAN SPRUCE	3M HT, B&B
SHRUB				
143		EUCHRYMUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#3 POT, 50CM
146		ROSA 'MIDLAND BIONICA'	MIDLAND ROSE, PINK	#2 POT, 40CM
54		THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	2M HT, B&B
22		VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#2 POT, 50CM
38		CAREX OSHMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
377		FESTUCA OVINA 'GLAUCA'	BLUE FESCUE	#1 POT
146		HELICTOTRICHON 'SEMPERVIRENS'	BLUE OAT GRASS	#1 POT
364		LONICERA PILEATA	PRIVATE HONEYSUCKLE	#2 POT, 30CM
315		WALDSTERIA TERNATA	BARREN STRAWBERRY	#1 POT, 20CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLS STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW. MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY TO SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



NO.	DATE	REVISION DESCRIPTION	DR.
5	18 JUN 05	CITY RESUBMISSION	
4	18 MAY 18	CITY RESUBMISSION	JM
3	18 MAR 10	NEW SITE PLAN	SO
2	18 MAR 12	NEW SITE PLAN	MM
1	18 FEB 22	NEW SITE PLAN, MARK COMMENTS	MM

CLIENT:

PROJECT:

CAMPBELL HEIGHTS NORTH

2820 192ND STREET
SURREY

DRAWING TITLE:
LANDSCAPE TREE PLAN

DATE: 17 JUN 27 DRAWING NUMBER:

SCALE: 1:250

DRAWN: JM

DESIGN: MM

CHKD: MCY OF 5

PMG PROJECT NUMBER: 17-159



L1

INTER-OFFICE MEMO

**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: July 10, 2018 **PROJECT FILE: 7817-0411-00**

**RE: Engineering Requirements (Commercial)
Location: 2820 192 Street**

REZONE/SUBDIVISION***Property and Statutory Right-of-Way (SRW) Requirements***

- dedicate 1.942 metres along 28 Avenue toward a 24 metre collector road;
- dedicate 5.2 metres along 192 Street toward a special arterial road section that includes 15.0 metres from centre-line for road and 2.2 metres for a multi-use pathway;
- dedicate a 5.0 by 5.0 metre corner cut at intersection of 192 Street and 28 Avenue; and
- register 0.5 metre SRWs along 28 Avenue and 192 Street frontages for service connections and construction and maintenance of municipal infrastructure.

Works and Services

- construct north half 28 Avenue to collector road standard and multi-use pathway on 192 Street;
- complete a Stormwater Management Plan for the area which includes the Latimer Lake catchment area;
- construct the storm drainage system in conformance with recommendations from the Stormwater Management Plan. Preliminary studies indicate this will include low impact development features, a storm sewer system and modifications to the Latimer Lake facility to provide detention;
- implement onsite low impact development sustainable drainage features;
- extend water main on 28 Avenue, and sanitary sewer on 28 Avenue and 192 Street; and
- install adequately sized water, storm and sanitary sewer service connections

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

The onsite plaza features are not to extend into corner cut dedication area at the southwest corner of the site.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to the Development Variance Permit.



Rémi Dubé, P.Eng.
Development Services Manager
KMH

NOTE: Detailed Land Development Engineering Review available on file

Conclusions:

This summary is based on the Arborists best judgment, trees expected to be unsafe, conflicting with the proposed development plans, of poor health or minimal long term retaining value are recommended for removal shown in the Tree Inventory and Tree Preservation Summary. Goode Arboriculture Consulting recommends arborist consultation when any changes are made to the proposed site plans due to the effects on any retained trees on-site.

Table 2 - Tree Retention and Removal by Species Summary

Tree Species	Existing	Remove	Retain
Cottonwood <i>Populus trichocarpa</i>	7	7	0
Total (excluding Alder & Cottonwood Trees)	0	0	0
Additional Trees in the proposed Open Space / Riparian Area			
Total Replacement Trees Proposed (excluding Boulevard Street Trees)	See Landscaping Plans		
Total Retained and Replacement Trees	See Landscaping Plans		


Table 3 - On-site Tree Protection and Replacement Summary

On-Site Trees	Number of Trees
Protected Trees Identified - on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas.	0
Protected Trees to be Removed	0
Protected Trees to be Retained – excluding trees within proposed open space or riparian areas.	0
Total Replacement Trees Required: <ul style="list-style-type: none"> • Alder & Cottonwood Trees Requiring 1:1 Replacement Ratio = • All other Trees Requiring 2 to Replacement Ratio = 	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0
Protected Trees to be retained in proposed open space /riparian areas	

Table 4 - Off-site Tree Protection and Replacement Summary

Off-Site Trees	Number of Trees
Protected Off-site Trees to be removed	7
Total Replacement Trees Required: <ul style="list-style-type: none">• Alder & Cottonwood Trees Requiring 1:1 Replacement Ratio =• All other Trees Requiring 2 to 1 Replacement Ratio =	7
Replacement Trees Proposed	See Landscape Plan
Replacement Trees in Deficit	See Landscape Plan

Summary and Plan Prepared by Goode Arboriculture Consulting



July 2, 2018

ADVISORY DESIGN PANEL
THURSDAY, JUNE 21, 2018

For the purposes of information only, minutes are subject to change.

B. NEW SUBMISSIONS

2. 5:45 p.m.

File No.:	7917-0411-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	Proposed Rezoning from "Agro-Industrial Zone (IA)" to "Community Commercial Zone (C-8)" and "Comprehensive Development Zone (CD)" based on "Self-Service Gasoline Station Zone (CG-1)", to allow for subdivision into 3 commercial lots and a Development Permit for Sensitive Ecosystem and Form & Character, including the following: <ul style="list-style-type: none"> • Gas station, convenience store and drive-through restaurant on a lot on 192 Street • One commercial building on a corner lot • Two commercial buildings on a lot on 28 Avenue • Total floor area of 4,768 m² (51,329 sq. ft.) • Total of 121 parking spaces provided
Address:	2820 192 Street
Architect:	Lovick Scott Architects
Landscape Architect:	PMG Architects
Planner:	Luciana Moraes
Urban Design Planner:	Nathan Chow

The Urban Design Planner advised that a landscape buffer to the park reserve to the South is required and that the land use is supported by staff.

The Project Architect presented an overview of the site and building plans, streetscapes and elevations. Petro-Canada will conform their base building to the other proposed buildings, which are all similar in nature.

The Landscape Architect presented an overview of the general concept for the Landscape plans.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by M. Younger
Seconded by D. Tyacke
That the Advisory Design Panel (ADP):

1. Support the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department.
2. Recommend that the landscaping submission return to staff for further development.

Carried

In general, the panel supported the project.

Site

- The setback variance on the east property is acceptable.

Form and Character

- No specific issues were identified.
- Consider enclosing the parkade and secure with gates.
- Consider providing additional natural light on the east façade of Building B and C, which would also enhance security.

Landscape

- Consider a restrictive covenant for the trees on 192 Street, to protect against topping or excessive pruning.

Sustainability

- Consider alternative glazing performance and solar shading strategies on the different exposures.

CPTED

- Consider closing the parkade for security reasons.

Accessibility

- No specific issues were identified.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0411-00

Issued To:

Address of Owner:

Issued To:

Address of Owner:

(collectively referred to as the "Owner")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 013-942-824
 Lot 1 Section 22 Township 7 New Westminster District Plan 80921

2820 - 192 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once titles have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Subsection F. Yard and Setbacks of Part 36 Community Commercial Zone (C-8), the minimum east yard setback is reduced from 7.5 metres (25 ft.) to 6.9 metres (23 ft.) for proposed Lot 2; and
 - (b) In Subsection F. Yard and Setbacks of Part 36 Community Commercial Zone (C-8), the minimum east yard setback is reduced from 7.5 metres (25 ft.) to 1.6 metres (5 ft.) for proposed Lot 3.
5. Surrey Sign By-law, 1999, No. 13656, as amended is varied as follows:
 - (a) In Subsection 6 (11). General Provisions of Part 1 Introductory Provisions, third party advertising signs limit is increased from 30% of the copy area to 50% of the copy area.
6. This development variance permit applies to only the portion of the Land OR that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
8. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
10. This development variance permit is not a building permit.

10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: AGRO-INDUSTRIAL ZONE (IA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 013-942-824
Lot 1 Section 22 Township 7 New Westminster District Plan 80921

2820 - 192 Street

as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Mark J. R. Dailey, B.C.L.S. on the 20th day of June, 2018, containing 3,040 square metres, called Block 1.

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of self-service *gasoline stations* and *accessory uses*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. Self-service *gasoline station* provided that *alternative fuel infrastructure* shall be available on the same *lot*.
2. Full-service *gasoline station* provided that *alternative fuel infrastructure* shall be available on the same *lot*.
3. *Accessory uses* including the following:
 - (a) *Retail stores* limited to the following:
 - i. *Convenience store* provided that the total sales and display area open to the public is not more than 28 square metres [300 sq. ft.]; and
 - ii. Sale of automotive accessories;
 - (b) *Automotive service uses* limited to car wash facilities; and
 - (c) *Eating establishments* including *drive-through restaurants*.

C. Lot Area

Not applicable to this Zone.

D. Density

The maximum *floor area ratio* shall not exceed of 0.01 or a *building* area of 15 square metres [161 sq. ft.] whichever is smaller. The maximum *density* may be increased to a maximum *floor area ratio* of 0.30 if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.

E. Lot Coverage

The *lot coverage* shall not exceed 30%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum setbacks:

Use	Setback	Front Yard [West]	Rear Yard [East]	Side Yard [North and South]
	<i>Principal Building, Accessory Building and Structures Not Identified Below</i>		6.9 m [23 ft.]	4.0 m* [13 ft.]
<i>Pump Islands and Kiosk**</i>		4.5 m [15 ft.]	4.0 m* [13 ft.]	4.0 m* [13 ft.]
<i>Canopies</i>		2.0 m [7 ft.]	2.0 m [7 ft.]	2.0 m [7 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

* The *rear yard setback* and *side yard setback* shall be a minimum of 4.5 metres [15 ft.] if the *rear yard* or *side yard* abuts a *highway* or 12 metres [40 ft.] if the *rear yard* or *side yard* abuts any *residential lot*.

** The kiosk shall not exceed a *gross floor area* of 5 square metres [50 sq. ft.].

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal building and Pump Island Canopies*: The *height* shall not exceed 6.15 metres [21 ft.].
2. *Accessory buildings and structures*: The *height* shall not exceed 4.0 metres [13 ft.].

H. Off-Street Parking

1. Refer to Table C.1, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. *Tandem parking* may be permitted for company fleet *vehicles*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.

2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 3.0 metres [10 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Except in those portions where a *building* abuts the *lot line*, screen planting at least 1.5 metres [5 ft.] high in a strip at least 1.5 metres [5 ft.] wide and a solid decorative fence at least 1.5 metres [5 ft.] high shall be provided along all *lot lines* separating the developed portion of the *lot* from any *residential lot*.
5. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

Not applicable to this Zone.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
1,400 sq.m. [15,000 sq. ft.]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the CG-1 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.

3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* Permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. Subdivisions shall be subject to the applicable Surrey Development Cost Charge Bylaw, 2018, No. 19478, as may be amended or replaced from time to time, and the development cost charges shall be based on the CG-1 Zone.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development Permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

MAYOR

CLERK

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
ZONING BYLAW # _____ OF LOT 1, SECTION 22,
TOWNSHIP 7, NEW WESTMINSTER DISTRICT, PLAN 80921**

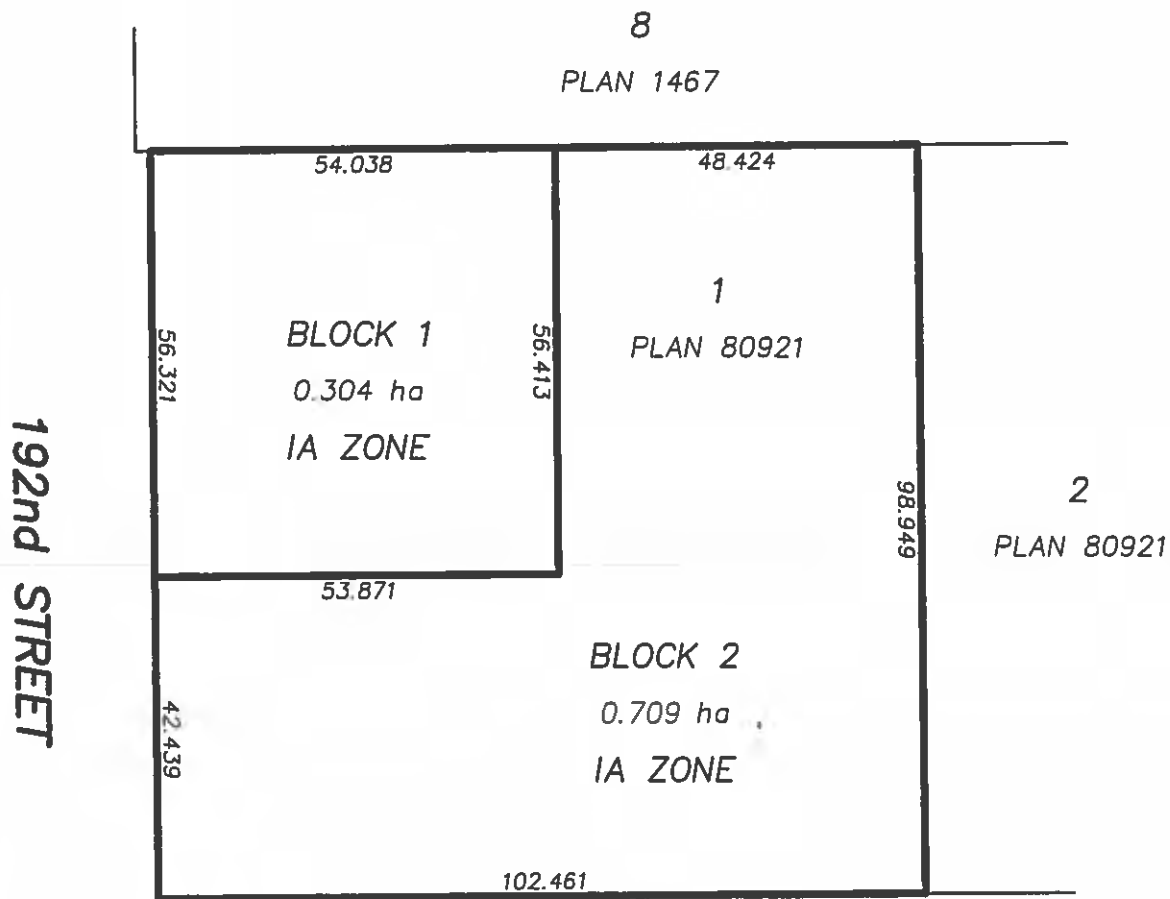
FOR THE PURPOSE OF REZONING

B.C.G.S. 92G007
CITY OF SURREY

SCALE 1:1000

CIVIC ADDRESS:
2820-192 Street
Surrey, BC

-property dimensions are derived
from field survey



28th AVENUE

Date of Survey
20th day of June, 2018.

**DHALIWAL & ASSOCIATES
LAND SURVEYING INC.**

216 - 12899 76th Avenue
Surrey, B.C. V3W 1E6
phone: 604-501-6188
email: info@dhaliwalsurvey.com

FILE : 1708002-Z01

**THIS DOCUMENT IS NOT VALID
UNLESS ORIGINALLY SIGNED AND SEALED**

