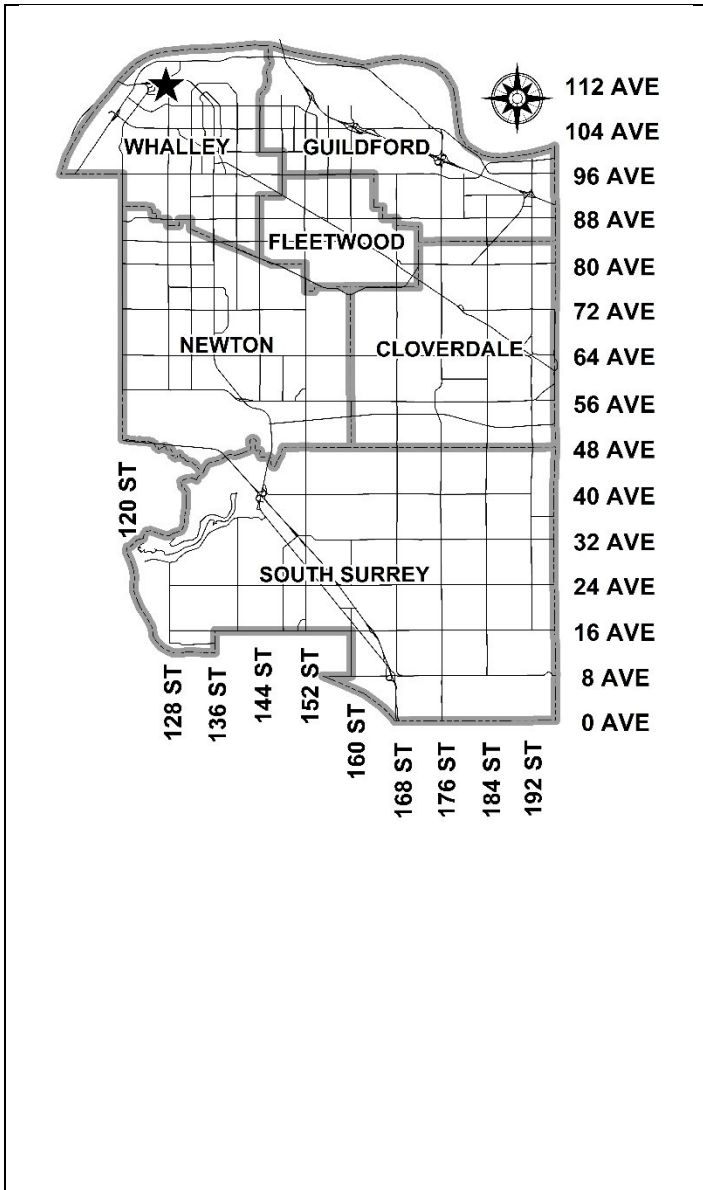


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**  
 Application No.: 7920-0188-00  
 Planning Report Date: December 18, 2023



**PROPOSAL:**

- **OCP Amendment** from Commercial and Mixed Employment to Multiple Residential
- **OCP Text Amendment** to allow a higher density in the Multiple Residential designation.
- **NCP Amendment** from Business Residential Park and Highway Commercial to Multiple Residential and amend the local road network.
- **Rezoning** from CHI and IL to CD (based on C-5 and RM-70)
- **Development Permit**
- **Housing Agreements**

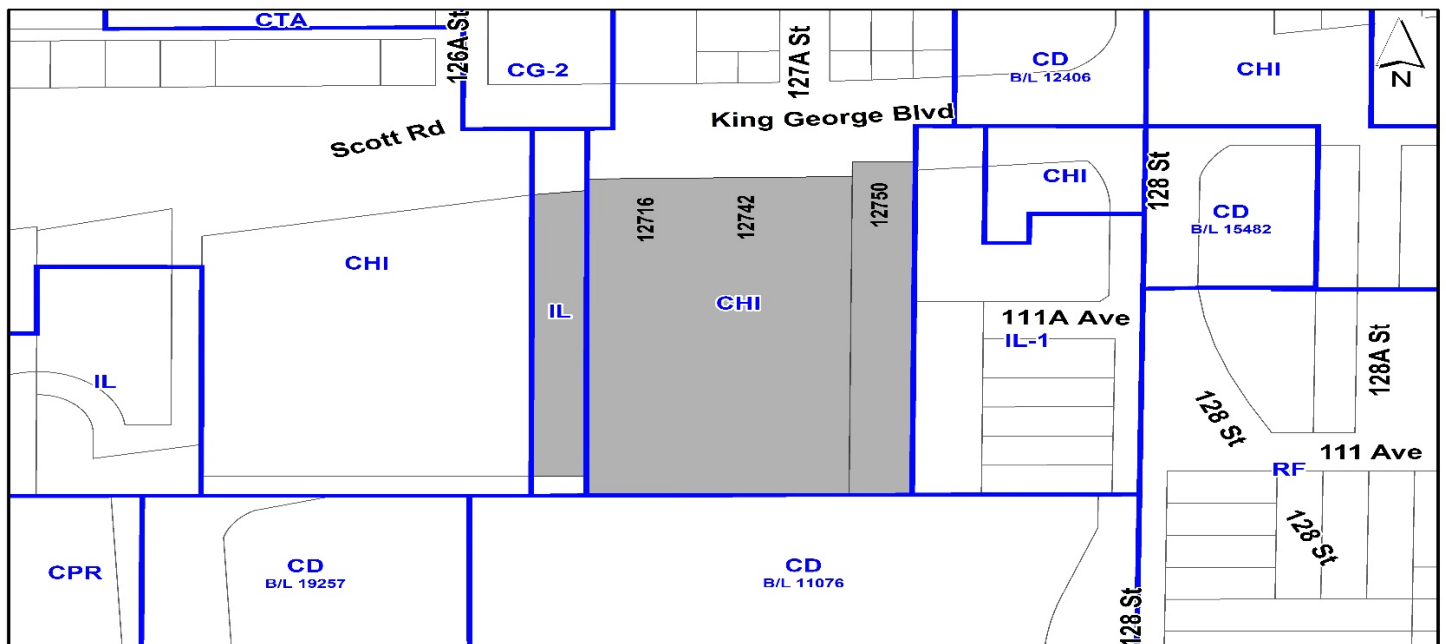
to permit the development of two 5-storey (one residential and one mixed-use) and two 6-storey residential buildings, with a total of 476 dwelling units (338 market rental and 139 market strata) as well as 743 sq.m. of commercial/retail floor area on a consolidated site in South Westminster.

**LOCATION:** 12716 (12742) & 12750 King George Boulevard

**ZONING:** CHI and IL

**OCP DESIGNATION:** Commercial and Mixed Employment

**NCP DESIGNATION:** Business Residential Park and Highway Commercial



## RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - OCP Amendment;
  - OCP Text Amendment; and
  - Rezoning.
- By-law Introduction, First, Second, and Third Reading for a Housing Agreement to regulate 239 secured market rental dwelling units in Buildings A and B.
- By-law Introduction, First, Second, and Third Reading for a Housing Agreement to regulate 99 secured market rental dwelling units in Building D.
- Approval to draft Development Permit for Form and Character and Hazard Lands (Flood Prone Areas)

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) “Figure 3: General Land Use Designations” from Commercial and Mixed Employment to Multiple Residential and to “Figure 42: Major Employment Areas” to remove the Commercial and Mixed Employment designations from the subject site.
- Proposing an OCP Text Amendment to “Table 7A: Land Use Designation Exemptions” to allow for the proposed density of 2.2 Floor Area Ratio (FAR), based on the net site area, under the Multiple Residential designation.
- Proposing an amendment to the South Westminster Neighbourhood Concept Plan (NCP) from “Business Residential Park” and “Highway Commercial” to “Multiple Residential” and to amend the local road network.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver *Regional Growth Strategy* (RGS).
- The applicant is proposing an OCP Amendment from Commercial and Mixed Employment to Multiple Residential in addition to an OCP Text Amendment to increase the allowable floor area ratio (FAR) under the Multiple Residential designation from 1.5 to 2.2. The requested OCP Amendment and OCP Text Amendment have merit as it will permit the development of a higher density, mixed-use development within walking distance of Scott Road SkyTrain station and is consistent with both Provincial and City goals of increasing density close to transit services. The Multiple Residential designation supports high-density residential development along with local, neighbourhood serving commercial and community uses.

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- The applicant is proposing an NCP Amendment from Business Residential Park and Highway Commercial to Multiple Residential in the South Westminster NCP. The requested NCP Amendment has merit given that the proposed uses, density, and building form are appropriate for the “Transit-Oriented Urban Village” portion of the South Westminster NCP, which is intended to be developed into an active, compact, mixed-use community centered around the Scott Road SkyTrain station.
  - The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the South Westminster Neighbourhood Concept Plan (NCP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
  - The proposed building achieves an attractive architectural built form, which utilizes high quality materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
  - The applicant proposes to enter into a Housing Agreement to allocate 338 proposed dwelling units as market rental for a period of no less than 40 years. The Housing Agreement By-law will be brought forward for Final Adoption concurrently with the Rezoning By-law, when all requirements have been addressed.
  - The proposal complies with the Development Permit requirements in the OCP for Hazard Lands (Flood Prone Areas).

**RECOMMENDATION**

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP “Figure 3: General Land Use Designations” for the subject site from Commercial and Mixed Employment to Multiple Residential (Appendix V) and a date for Public Hearing be set.
2. A By-law be introduced to amend the OCP “Figure 42: Major Employment Areas” for the subject site by removing the Commercial and Mixed Employment designations for the subject site (Appendix VI) and a date for Public Hearing be set.
3. A By-law be introduced to amend OCP “Table 7A: Land Use Designation Exemptions” by adding the following site-specific notation:

Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
“Bylaw # xxxxx	Multiple Residential	12716 (12742) King George Boulevard Parcel One Except: Part on Statutory Right of Way Plan 84079 Section 17 Block 5 North Range 2 West New Westminster District Reference Plan 76597  12750 King George Boulevard Lot 1 Except: Part of Statutory Right of Way Plan 84079 Section 17 Block 5 North Range 2 West New Westminster District Plan 5546	Density permitted up to 2.2 FAR”

and a date for Public Hearing be set.

4. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
5. A By-law be introduced to enter into a Housing Agreement to regulate the tenure of 239 secured market rental dwelling units in Buildings A and B, and be given First, Second and Third Readings.
6. A By-law be introduced to enter into a Housing Agreement to regulate the tenure of 99 secured market rental dwelling units in Building D, and be give First, Second and Third Readings.

7. A By-law be introduced to rezone the subject site from "Highway Commercial Industrial Zone (CHI)" and "Light Impact Industrial Zone (IL)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
8. Council authorize staff to draft Development Permit No. 7920-0188-00, generally in accordance with the attached drawings (Appendix I) and the finalized Geotechnical Report.
9. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) final approval from the Ministry of Transportation & Infrastructure;
  - (d) final approval from TransLink;
  - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (f) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (g) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (h) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (i) submission of a finalized Geotechnical Report to the satisfaction of City staff;
  - (j) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
  - (k) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
  - (l) provision of cash-in-lieu or other demand management measures to address the shortfall in residential parking spaces to the satisfaction of the General Manager, Engineering;
  - (m) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (n) the applicant obtain a new Certificate of Compliance through the Ministry of Environment;

- (o) registration of shared access easements as required;
  - (p) submission of an acoustical report for the units adjacent to King George Boulevard as well as the SkyTrain guideway and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
  - (q) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services; and
  - (r) registration of a Section 219 Restrictive Covenant to restrict habitable floor area below the Flood Construction Level (FCL) and to inform current and future owners that the subject property is located within a floodplain area and that any buildings or structures constructed upon the lot may be damaged by flooding or erosion.
10. Council pass a resolution to amend the South Westminster Neighbourhood Concept Plan (NCP) to redesignate the land from "Business Residential Park" and "Highway Commercial" to "Multiple Residential" and amend the local road network when the project is considered for final adoption.

#### SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Unauthorized landscaping material storage and sales operation and two-storey, multi-tenant commercial building (automobile sales and services). SkyTrain guideway.	Business/Residential Park and Highway Commercial in South Westminster NCP.	IL and CHI
North (Across King George Boulevard):	Automobile sales and service uses.	Commercial in OCP	CHI and CG-2
East:	McDonald's and unauthorized wooden pallet storage facility.	Highway Commercial in South Westminster NCP.	CHI and IL-1
South:	Home Depot	Highway Commercial in South Westminster NCP.	CD (By-law No. 11076)
West:	Unauthorized truck parking.	Business/Residential Park in South Westminster NCP.	CHI

## Context & Background

- The 2.30-hectare subject site, comprised of two (2) existing commercial lots, is located on the south side of King George Boulevard approximately 75 metres to the south-west of the intersection of King George Boulevard and 128 Street in South Westminster.
- The subject site is designated “Commercial” and “Mixed Employment” in the Official Community Plan (OCP), “Business/Residential Park” and “Highway Commercial” in the South Westminster Neighbourhood Concept Plan (NCP) and is currently zoned “Highway Commercial Industrial Zone (CHI)” and “Light Impact Industrial Zone (IL)”.
- The subject site is located within the “Transit-Oriented Urban Village” section of the South Westminster NCP, approximately 250 metres to the east of Scott Road SkyTrain Station. The subject site is within an area of South Westminster that is designated as a Future Frequent Transit Development Area under Figure 9: Centres and Rapid Transit Areas and Corridors in the OCP. A raised SkyTrain guideway runs east-to-west through the southern portion of the subject site.
- Following the passage of Bill 47 – Housing Statutes (Transit-Oriented Areas) Amendment Act by the Provincial legislature on November 30 2023, it has been confirmed that land within 800 metres of the Scott Road SkyTrain Station will be designated as a Transit-Oriented Area (TOA) in mid-2024, which includes the subject site.

## South Westminster Plan

- In December 2003, Council endorsed Corporate Report C004 which approved the South Westminster Neighbourhood Concept Plan (NCP). Subsequently, in May 2005, Council endorsed Corporate Report R034 authorizing amendments to the OCP Bylaw, Zoning Bylaw, and several regulatory bylaws to assist with the implementation of the policies within the South Westminster NCP.
- In April 2022, Council received Corporate Report R071 which authorized staff to undertake an update to the South Westminster NCP in order to reflect current market conditions and ensure that transit-oriented development principles were incorporated around the Scott Road SkyTrain Station in addition to along the alignment of the R6 Scott Road Rapid Bus route whose northern terminus is proposed at Scott Road SkyTrain Station. Staff are currently in the stakeholder engagement phase of the proposed South Westminster NCP update.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- In order to permit the construction of two 5-storey (one residential and one mixed-use) and two 6-storey residential buildings, containing 476 (338 market rental and 138 market strata) dwelling units and 742-sq.m. of commercial/retail space over a combination of wrapped, at-grade and underground parking in South Westminster the following is required:
  - **OCP Amendment** from Commercial and Mixed Employment to Multiple Residential;
  - **OCP Text Amendment** to allow a higher density of 2.2 FAR in the Multiple Residential designation;

- **NCP Amendment** from “Business Residential Park” and “Highway Commercial” to “Multiple Residential”;
- **Rezoning** from IL and CHI to CD (based on C-5 and RM-70);
- **Development Permit** for both Form and Character and Hazard Lands (Flood Plain);
- **Housing Agreement** for the 338 proposed secured market rental units; and
- **Subdivision** from two (2) lots to three (3) lots.

<b>Proposed</b>	
<b>Lot Area</b>	
Gross Site Area:	23,091 square metres
Road Dedication:	5,043 square metres
Net Site Area:	18,048 square metres
<b>Number of Lots:</b>	3
<b>Building Height:</b>	5- to 6-storeys (~23.1 metres maximum)
<b>Unit Density:</b>	206 UPH (units per hectare)
<b>Floor Area Ratio (FAR):</b>	1.5 (Gross); 2.2 (Net)
<b>Floor Area</b>	
Residential:	34,592 square metres
Commercial:	742.85 square metres
Total:	35,335 square metres
<b>Residential Units:</b>	
Studio:	12 dwelling units (2.5% of total units)
1-Bedroom:	360 dwelling units (75.6% of total units)
2-Bedroom:	104 dwelling units (21.9% of total units)
3-Bedroom:	None proposed
<b>Total:</b>	<b>476 dwelling units</b>

**Referrals**

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.



School District:	<p><b>The School District has advised that there will be approximately 62 school-age children generated by this development, of which the School District has provided the following expected student enrollment.</b></p> <p>38 students at Bridgeview Elementary Schools 14 students at Kwantlen Park Secondary School</p> <p>(Appendix III)</p> <p><b>Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.</b></p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by as follows: Phase 1 in Spring 2025, Phase 2 in Summer 2026 and Phase 3 in Spring 2027.</p>
Parks, Recreation & Culture:	<p>No concerns.</p> <p>The North Surrey Sport &amp; Ice Complex grounds are the closest active city park and contains amenities that include an adjacent playground and natural area to the south. The park is 575 metres walking distance from the subject development site.</p>
Ministry of Transportation & Infrastructure (MOTI):	<p>The applicant will be required to address any future requirements by MOTI prior to Final Adoption.</p>
Ministry of Environment (MOE):	<p>Given the proposed change of use on the subject site the previously issued Certificate of Compliance, dated March 15, 2019, has been deemed invalid.</p> <p>The applicant will be required to obtain a new Certificate of Compliance through the Ministry of Environment prior to consideration of Final Adoption of the OCP Amendment, OCP Text Amendment and Rezoning By-laws.</p>
TransLink:	<p>The applicant will be required to address any future requirements by TransLink prior to Final Adoption.</p>
Surrey Fire Department:	<p>No concerns. Comments provided to be addressed as part of the subsequent Building Permit application should Council grant 3<sup>rd</sup> Reading to the subject OCP Amendment and Rezoning By-laws.</p>

Advisory Design Panel: At the Regular Council – Public Hearing on October 20, 2023, Council passed a motion that allows multi-family proposals that are 6-storeys or less to proceed to Council for by-law introduction without first proceeding to the Advisory Design Panel (ADP) for review and/or comment, provided that the proposal is generally supported by City staff.

The proposed development on the subject site is generally supported by staff and the applicant has agreed to resolve any outstanding items identified through the post-Council ADP review process to the satisfaction of the Planning and Development Department prior to consideration of Final Approval of the associated Development Permit for Form and Character.

## Transportation Considerations

### Road Network and Infrastructure:

- As part of the subject proposal, the applicant will be providing the following road improvements:
  - Dedication and construction of a new 127 Street to the City's Local Road Standard; and
  - Dedication and construction of a new east-west road along the south side of the subject site to the City's Local Road Standard. The new east-west road is planned to provide a connection between 126A Street and 128 Street, consistent with the South Westminster NCP.

### Traffic Impacts:

- The subject proposal is, according to industry standard rates, anticipated to generate approximately 4 to 5 trips every minute during the peak hour. A site-specific Traffic Impact Assessment (TIA) will be required to be submitted, reviewed and approved as part of the subject development proposal.
- The applicant will be responsible to ensure adequate operations at the intersection of King George Boulevard and 128 Street as well as the intersection of 110 Avenue and 126A Street, in accordance with the findings of the TIA.

### Transit and/or Active Transportation Routes:

- The subject site is located approximately 750 metres (~ 10-to-12-minute walk) from the Scott Road SkyTrain Station.
- Scott Road SkyTrain Station bus loop is currently serviced by several TransLink routes, as noted below, and will serve as the northern terminus of the future Rapid Bus Route No. Ro6 (Scott Road) which is expected to launch in early 2024:
  - Route No. 312 (Scottsdale Exchange/Scott Road Station)
  - Route No. 319 (Scott Road Station/Newton Exchange)
  - Route No. 321 (White Rock Centre/Newton Exchange/Surrey Central Station)

- Route No. 371 (Surrey Central Station/Scott Road Station)
  - Route No. 391 (Scottsdale/Scott Road Station)
  - Route No. 640 (Ladner Exchange/Scott Road Station)
  - Night Bus Route No. N19 (Downtown/Surrey Central Station)
- The subject site is directly adjacent to the BC Parkway multi-use pathway, which runs east-to-west along the south portion of King George Boulevard.

### **Sustainability Considerations**

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

### **School Capacity Considerations**

- The School District has advised that, as of September 2023, Kwantlen Park Secondary School is operating at 133% with 16 on-site portables and is projected to grow by approximately 450 students in the next 10 years. In February 2023, the Ministry of Education approved and provided necessary funding for a 500-capacity additional which is targeted to open in Fall 2027.

## **POLICY & BY-LAW CONSIDERATIONS**

### **Regional Growth Strategy**

- The proposed development complies with the “General Urban” designation of the subject site under the Metro Vancouver *Regional Growth Strategy – Metro 2050* (RGS).

### **Official Community Plan**

#### Land Use Designation

- Proposing an amendment to the Official Community Plan (OCP) “Figure 3: General Land Use Designations” from Commercial and Mixed Employment to Multiple Residential and to “Figure 42: Major Employment Areas” to remove the Commercial and Mixed Employment designations from the subject site.
- Proposing an OCP Text Amendment to “Table 7A: Land Use Designation Exemptions” to allow for the proposed density of 2.2 Floor Area Ratio (FAR), based on the net site area, under the Multiple Residential designation.

#### Amendment Rationale

- The applicant is proposing an OCP Amendment from Commercial and Mixed Employment to Multiple Residential in addition to an OCP Text Amendment to increase the allowance floor area ratio (FAR) under the Multiple Residential designation from 1.5 to 2.2.

- The requested OCP Amendment and OCP Text Amendment have merit as it will permit the development of a higher density, mixed-use development within walking distance (approximately 250 metres) of Scott Road SkyTrain station and is consistent with both Provincial and City goals of increasing density close to transit services.
- The Multiple Residential designation supports high-density residential development along with local, neighbourhood serving commercial, and community uses.
- The proposed development will be subject to the Tier 2 Community Specific Capital Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per unit or per square metre flat rate for the number of units or floor area above the Official Community Plan in order to satisfy the proposed amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption
- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

#### Themes/Policies

- The proposed development application fulfills the following OCP themes/policies:
  - Support compact and efficient land development that is consistent with the Metro Vancouver Regional Growth Strategy (OCP Policy A1.1);
  - Accommodate urban land development in City Centre, Town Centre, Urban Centre, Frequent Transit Development Area and SkyTrain Corridor Planning Area locations well-served by local services, infrastructure, and transit (OCP Policy A1.3);
  - Support Frequent Transit Corridors, Frequent Transit Development Areas, and SkyTrain Corridor Plans Areas as priority development areas for Surrey to accommodate an increase proportion of density and growth (OCP Policy A1.4);
  - Ensure redevelopment along Frequent Transit Corridors, Frequent Transit Development Areas and SkyTrain Planning Corridors are required to be sufficient enough to support rapid transit infrastructure investments (OCP Policy A2.6a);
  - Support higher-density residential, commercial and mixed-use development in appropriate locations along existing and planned Frequent Transit Corridors and SkyTrain Corridor Planning Areas outside of Surrey's Town Centres (OCP Policy B3.1); and
  - Encourage development that supports increased transit, pedestrian and cycling use along existing and future Frequent Transit Development Areas (OCP Policy B3.9).

## Secondary Plans

### Land Use Designation

- Proposing an amendment to the South Westminster Neighbourhood Concept Plan (NCP) from “Business Residential Park” and “Highway Commercial” to “Multiple Residential” and to amend the local road network.

### Amendment Rationale

- The applicant is proposing an NCP Amendment from Business/Residential Park and Highway Commercial to Multiple Residential in the South Westminster NCP. The requested NCP Amendment has merit given that the proposed uses, density, and building form are appropriate for the “Transit-Oriented Urban Village” portion of the South Westminster NCP, which is intended to be developed into an active, compact, mixed-use community centered around the Scott Road SkyTrain station.
- The subject application incorporates land uses and densities that are consistent with those previously approved by Council under Development Application No. 7916-0685-00 to the south-west, granted Final Adoption on October 2, 2017, and constructed in 2021.
- The proposed development will be subject to the Tier 2 Community Specific Capital Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per unit or per square metre flat rate for the number of units or floor area above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.

### CD By-law

- The applicant is proposing a “Comprehensive Development Zone (CD)” to accommodate the proposed 5- and 6-storey residential and mixed-use development on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the “Neighbourhood Commercial Zone (C-5)” and the “Multiple Residential 70 Zone (RM-70)”.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the C-5 Zone, RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	C-5 Zone (Part 35)	Proposed CD Zone
<b>Unit Density:</b>	N/A	N/A	N/A
<b>Floor Area Ratio:</b>	1.5	0.5	<b>Block A: 2.1 (net)</b> <b>Block B: 1.7 (net)</b> <b>Block C: 2.2 (net)</b> <b>Overall: 2.1 (net)</b>
<b>Lot Coverage:</b>	33%	50%	73%

<b>Yards and Setbacks</b>	7.5 metres from all lot lines.	7.5 metres from all lot lines.	<b>Block A:</b> North: 5.0 m. East: 4.0 m. South: 22.0 m. West: 4.0 m. <b>Block B:</b> North: 4.5 m. East: 6.0 m. South: 19.0 m. West: 4.0 m. <b>Block C:</b> North: 3.0 m. East: 4.5 m. South: 4.5 m. West: 6.0 m.
<b>Principal Building Height:</b>	50.0 metres	9.0 metres	23.5 metres (max.)
<b>Permitted Uses:</b>	<ul style="list-style-type: none"> <li>Multiple unit residential buildings.</li> <li>Ground-oriented multiple unit residential buildings.</li> <li>Child care centres.</li> </ul>	<ul style="list-style-type: none"> <li>Neighbourhood scale commercial uses (listed in detail in Section B of the C-5 Zone).</li> <li>Indoor recreational facilities.</li> <li>Community services.</li> <li>Child care centres.</li> </ul>	<b>Block A</b> <ul style="list-style-type: none"> <li>Multiple unit residential buildings.</li> </ul> <b>Block B</b> <ul style="list-style-type: none"> <li>Multiple unit residential buildings.</li> <li>All uses permitted under Section B. of the C-5 Zone except neighbourhood pub, child care centres and a caretaker unit</li> </ul> <b>Block C</b> <ul style="list-style-type: none"> <li>Multiple unit residential buildings.</li> </ul>
<b>Amenity Space</b>			
Indoor Amenity:	3.0 sq.m. per dwelling unit (1,428 sq.m. in total)	N/A	The proposed 1,532 m <sup>2</sup> meets the Zoning By-law requirement.
Outdoor Amenity:	3.0 sq.m. per dwelling unit (1428 sq.m. in total)	N/A	The proposed 3,045 m <sup>2</sup> meets the Zoning By-law requirement.
<b>Parking (Part 5)</b>		<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>			
Commercial:		22 spaces	22 spaces
Residential (Market Strata):		152 spaces	153 spaces
Residential (Market Rental):		270 spaces	275 spaces
Residential Visitor:		48 spaces	49 spaces

<b>Total:</b>	<b>492 spaces</b>	<b>499 spaces</b>
<b>Bicycle Spaces</b>		
Residential Secure Parking:	571 residential spaces	607 residential spaces
Residential Visitor:	18 visitor spaces	18 visitor spaces

- The applicant is proposing to provide a total of 499 off-street parking spaces on the subject site, equivalent to a rate of 0.8 spaces per market rental dwelling unit and 1.1 residential stalls per market strata dwelling unit, plus 0.1 visitor stalls per market rental/strata dwelling unit, as well as 3 spaces per 100 m<sup>2</sup> gross floor area for the proposed commercial/retail uses. The proposed residential parking rates are consistent with the recommendations endorsed by Council under Corporate Report R115; 2021.

### Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- A portion of the proposed development, specifically the 138 proposed market strata dwelling unit, will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance (the current rate is \$2,136.00 per new unit).
- The 338 proposed market rental dwelling units secured through a Housing Agreement will not be subject to the Tier 1 or Tier 2 Capital Plan Project CACs. A Restrictive Covenant will be registered making these CACs payable if there is a future change in proposed tenure.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than both the OCP and South Westminster NCP designation.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption,

### Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy for the 138 proposed market strata dwelling units.

- The proposed 338 secured market rental dwelling units are exempt from the provision of this policy. The applicant will be required to register a Section 219 Restrictive Covenant, making the fees payable if there is a future change in tenure from the market rental, to address the City's needs with respect to the City's Affordable Housing Strategy.

### Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

### PUBLIC ENGAGEMENT

- Pre-notification letters were sent on August 19, 2021, and the Development Proposal Sign were installed on August 23, 2021. Staff confirmed in December 2023 that the Development Proposal Sign was still installed on the subject site. To date, staff have received no responses from neighbouring residents or business.

### DEVELOPMENT PERMITS

#### Form and Character Development Permit Requirement

- The proposed development is subject to and generally complies with Form and Character Development Permit guidelines in the OCP as well as the urban design guidelines in the South Westminster Neighbourhood Concept Plan (NCP).
- The project includes two 5-storey (one mixed-use and one residential) and two 6-storey residential buildings for a total of four buildings. Proposed Building A and B (secured market rental residential only) are located on proposed Lot 1 (north-west lot), proposed Building C (market strata residential only) is located on proposed Lot 2 (south lot) and proposed Building D (mixed-use and secured market rental residential) is located on proposed Lot 3 (north-east lot). The following table outlines the dwelling unit types for each building:

Building	Unit Type and Number					TOTAL
	Studio	1-Bed	1-Bed + Den	2-Bed	2-Bed + Den	
A (Residential- Rental)	-	73	26	4	-	103
B (Residential- Rental)	-	87	16	28	5	136
C (Residential- Strata)	4	67	10	51	6	138
D (Residential -Rental)	8	74	7	7	3	99
<b>TOTAL:</b>	12	301	59	90	14	476



- The dwelling units will range in size from 42 square metres for studio units to 104 square metres for a 2-bedroom plus den unit.
- The applicant has worked extensively with staff to address several development-related issues, such as flood construction level (FCL) requirements, refinement of the proposed public realm interface and edge treatments, increased setbacks from the raised SkyTrain guideway bisecting the subject site, on-site road dedication and Surrey Fire Service access requirements, as well as improved building massing/siting to consider resident privacy, outlook and to maximize sunlight penetration into the courtyard amenity spaces.
- The proposed development reflects an urban and contemporary building forms which share a similar rectilinear, flat-roofed design appropriate for the “Transit-Oriented Village” portion of the South Westminster NCP.
- The raised ground floor elevations, which have been set to a minimum 4.8 metre geodetic, and terraced public realm interfaces are a result of the subject site being located within the 200-year floodplain of the Fraser River (see Hazard Lands Development Permit section for more details).
- The proposed indoor and outdoor amenity spaces within each of the three (3) proposed lots have been integrated for improved functionality and efficiency purposes. For more details, please see the Indoor and Outdoor Amenity space sections in this report.

#### Buildings A-B (Lot 1)

- The two proposed buildings, one 5-storey U-shaped building containing 103 secured market rental dwelling units within the north portion of proposed Lot 1, and one 6-storey U-shaped building containing 136 secured market rental dwelling units within the south portion of proposed Lot 1, share a two-level podium consisting of one level of partially underground parking and one level of wrapped, at-grade parking.
- Building materials include cementitious fibre panels in iron gray, night gray and light mist, corrugated metal panels in black, gray-clad windows and doors as well as a black-clad light aluminum balcony system with clear glass inserts.

#### Building C (Lot 3)

- The 6-storey L-shaped building, containing 138 market strata dwelling units, is situated over one level of partially underground and one level of at-grade, partially wrapped at-grade parking.
- Building materials include cementitious fibre panels in iron gray, night gray and light mist, corrugated metal panels in black, gray-clad windows and doors as well as a black-clad light aluminum balcony system with clear glass inserts.

### Building D (Lot 2)

- The proposed 5-storey, C-shaped, mixed-use building consists of 99 secured market rental dwelling units, throughout floors 2-5, while the ground floor contains approximately 743 square metres of commercial-retail space over several commercial retail units (CRUs) around a central core of wrapped, at-grade parking for commercial-retail users and residential visitors. One level of partially underground parking is provided for the exclusive use of residential tenants.
- The ground floor of the building includes weather protection above the commercial entries, as well as extensive glazing for both the commercial units and residential lobby entrance framed by rectangular, brick-clad extrusions. The residential floors are clad in a combination of 'pearl grey' cementitious fibre panels and black corrugated metal panels. Glass-clad, black aluminum-framed railing systems have been provided for each exterior balcony.

### Landscaping

- The landscape plans include a mixture of trees, shrubs, and groundcover to be planted throughout the subject site, as well as hardscaping, lighting, fencing, and site furniture.
- Street-facing, ground-level dwelling units each have access to a semi-private patio space which are screened via a combination of low landscaped retaining walls, low-lying shrubs and individual trees. Each patio can be accessed either through the dwelling unit or via a gated external entrance.
- See the Outdoor Amenity section below regarding landscaping in association with the proposed on-site outdoor amenity space areas.

### Signage

- Proposed commercial-related signage will be required to comply with all relevant portions of the Sign By-law and will be subject to review through future individual Sign Permit applications by individual business owners.

### Indoor Amenity

- The required indoor amenity space is 1,428 square metres, or 3 square metres per new dwelling unit. The applicant is currently proposing a total of 1,532 square metres of ground floor indoor amenity space throughout the subject proposal, as outlined below, which exceeds the Zoning Bylaw requirements:
  - A combination of library, lounge with communal kitchen, games room and fitness centre totaling 806 square metres between Building A and B;
  - A combination of library, lounge with communal kitchen, games room and fitness centre totaling 414 square metres in Building C; and
  - A combination of library, lounge/games room with communal kitchen and library totaling 312 square metres in Building D.

### Outdoor Amenity

- The required outdoor amenity space is 1,428 square metres, or 3 square metres per new dwelling unit. The applicant is currently proposing a total of approximately 3,045 square metres of outdoor amenity space throughout the subject proposal, as outlined below, which exceeds the Zoning Bylaw requirements:
  - Communal garden plots, covered lounge with firepit, outdoor fitness centres, children's playground with multiple play structures, extensive perimeter planting and seating throughout as well as a communal 'great lawn' area within the raised, central courtyard between Building A and B (2<sup>nd</sup> Floor);
  - Large outdoor kitchen and communal dining area, covered lounge with fire pit, extensive perimeter planting and seating areas throughout as well as a children's play area with multiple play structures adjacent to Building C (2<sup>nd</sup> Floor); and
  - Large outdoor kitchen and communal dining area, covered lounge with fire table, extensive perimeter planting and seating throughout as well as a communal 'great lawn' within the raised, central courtyard of Building D (2<sup>nd</sup> Floor).

### Advisory Design Panel (ADP)

- At the Regular Council – Public Hearing meeting on October 30, 2023, Council passed a motion that allows multi-family developments less than 6-storeys or less to proceed to Council for bylaw introduction without first proceeding to ADP for review and/or comment, provided that the proposal is generally supported by City staff.
- At present, in response to the Council motion, staff are preparing a report to Council that will outline potential changes to the ADP review process. In the interim, in keeping with Council direction, staff have advised the applicant that the ADP review will likely take place within three (3) months of the subject development application receiving Third Reading.
- The applicant has agreed to resolve any outstanding items identified through the ADP review to the satisfaction of the Planning and Development Department before Final Approval of the associated Development Permit, should the application be supported by Council.

### Outstanding Items

- City staff will continue to work with the applicant to resolve the following outstanding design-related issues, as well as any future ADP comments, as follows:
  - Design development to the public site edges to ensure safe, attractive, functional and accessible interfaces and to integrate enjoyable public plazas;
  - Confirm compatible interface at shared property lines to coordinate existing grades, and plan for flood construction levels;
  - Confirm lobby, and other building design elements, are compatible with the Building Code requirements for the area flood construction levels;
  - Design development to better integrate building service components including garbage, ventilation, and utilities; and
  - Design development to the architectural design to create distinctive buildings, conveying a welcoming residential expression in the current industrial environment.

## Hazard Lands (Flood Prone) Development Permit Requirement

- The subject property falls within the Hazard Lands (Flood Prone) Development Permit Area (DPA) in the OCP, given that the site is within the 200-year floodplain of the **Fraser River**. The Hazard Land (Flood Prone) Development Permit is required to protect developments from hazardous conditions.
- A feasibility study, prepared by J.S. Binsal, *P. Eng.*, of Binsal and Associates Consulting Engineers Inc. and dated June 3, 2023, was reviewed by staff and found to be generally acceptable, with some modifications to content of the report still required. The finalized study will be incorporated into the Development Permit.
- The study investigated issues related to flooding to determine the feasibility of developing the site and proposes recommendations to mitigate potential hazards.
- A minimum flood plain elevation of approximately 4.8 metres geodetic is required. The applicant is proposing a main floor elevation of 4.9 metres geodetic elevation, which is approximately 0.1 metres above the minimum flood plain level.
- The consultant has determined that the development is feasible provided that the recommendations in their report are incorporated into the overall design of the site, including preloading considerations, site preparation, foundation design, perimeter drainage, pavement structure, methane generation and utilities installation.
- Registration of a Section 219 Restrictive Covenant to restrict habitable floor area below the Flood Construction Level (FCL) and to inform current and future owners that the subject property is located within a floodplain area and that any buildings or structures constructed upon the lot may be damaged by flooding or erosion is required as a condition of final adoption.

## TREES

- Mike Harrhy, ISA Certified Arborist of Diamond Head Consulting Ltd., prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

**Table 1: Summary of Proposed Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Red Alder	1	1	0
Black Cottonwood	1	1	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Red Maple	1	0	1
<b>Coniferous Trees</b>			
Pine	3	0	3
Serbian Spruce	1	0	1

<b>Total</b> (excluding Alder and Cottonwood Trees)	<b>5</b>	<b>0</b>	<b>5</b>
<b>Total Replacement Trees Proposed</b> (excluding Boulevard Street Trees)	<b>87</b>		
<b>Total Retained and Replacement Trees Proposed</b>	<b>89</b>		
<b>Estimated Contribution to the Green City Program</b>	<b>Not required.</b>		

- The Arborist Assessment states that there is a total of two (2) protected trees on the site, one (1) Red Alder and one (1) Black Cottonwood as well as five (5) City-owned trees within the King George Boulevard right-of-way, directly north of the subject site. The applicant proposes to retain the five (5) City-owned trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- In addition, the applicant is proposing the removal of eleven (11) off-site trees, located on 12701 – 110 Avenue, immediately abutting the southern lot line of the subject site as well as the retention of nine (9) off-site trees clustered to the south-west of the subject site. Permission for the proposed removal of the off-site trees will be required prior to Final Adoption of the OCP Amendment, OCP Text Amendment and Rezoning By-laws.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees that are outside the streamside protection area. This will require a proposed total of two (2) replacement trees on the site. The applicant is proposing approximately 87 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Bloodgood Japanese Maple, Armstrong Red Maple, Eastern Redbud, European Beech, Sentry Ginko, Worplesdon Sweet Gum, Royal Star Magnolia, Persian Ironwood, Colorado Spruce, Pyramid Pine, Western Red Cedar and Boulevard Linden.
- In summary, a total of 89 trees are proposed to be retained or replaced on the site with no contribution to the Green City Program required.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix V. OCP Redesignation Map (Figure 3)
- Appendix VI. OCP Redesignation Map (Figure 42)
- Appendix VII. NCP Plan
- Appendix VIII. Proposed Housing Agreements (Buildings A, B and D)

*approved by Ron Gill*

Don Luymes  
General Manager  
Planning and Development

CL/ar

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY  
REZONING BYLAW NO. \_\_\_\_\_ OF  
PARCEL ONE EXCEPT: PART ON STATUTORY RIGHT OF WAY PLAN 84079, REFERENCE PLAN 76597 AND  
LOT 1 EXCEPT: PART ON STATUTORY RIGHT OF WAY PLAN 84079, PLAN 5546  
BOTH OF SECTION 17 BLOCK 5 NORTH RANGE 2 WEST  
NEW WESTMINSTER DISTRICT**

CITY OF SURREY BCGS 92G.026  
SCALE 1:500



ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 432 mm IN WIDTH BY 560 mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:500

SURREY FILE No.  
7820-0188-00

**CURRENT CIVIC ADDRESSES:**

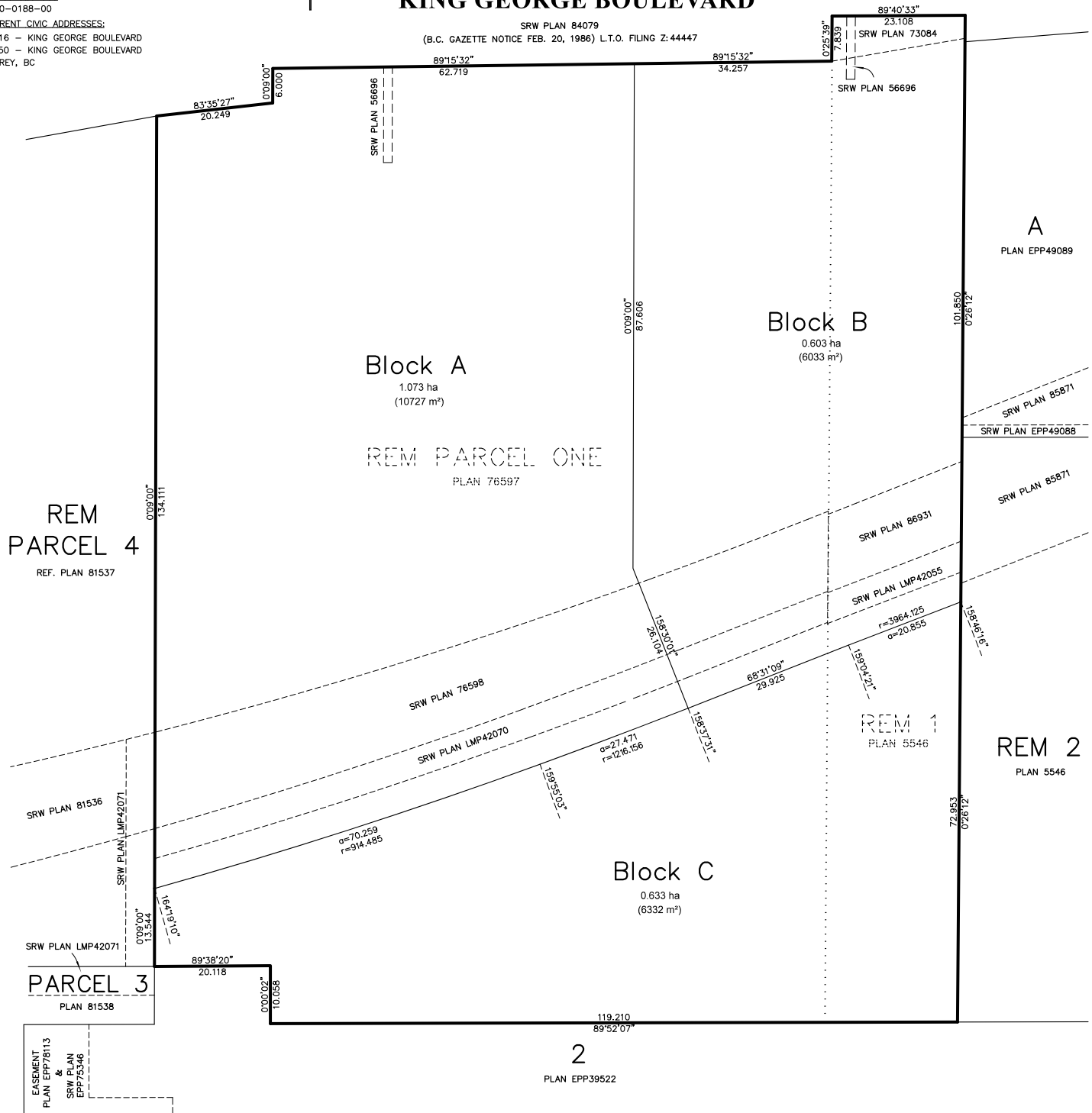
12716 - KING GEORGE BOULEVARD  
12750 - KING GEORGE BOULEVARD  
SURREY, BC



**KING GEORGE BOULEVARD**

**BOOK OF REFERENCE**

DESCRIPTION	AREA
BLOCK A	10727 m <sup>2</sup>
BLOCK B	6033 m <sup>2</sup>
BLOCK C	6332 m <sup>2</sup>
TOTAL ALL BLOCKS	23092 m <sup>2</sup>



**SUBMISSION PLAN OF  
PARCEL ONE EXCEPT: PART ON STATUTORY RIGHT OF WAY PLAN 84079, REFERENCE PLAN 76597 AND  
LOT 1 EXCEPT: PART ON STATUTORY RIGHT OF WAY PLAN 84079, PLAN 5546  
BOTH OF SECTION 17 BLOCK 5 NORTH RANGE 2 WEST  
NEW WESTMINSTER DISTRICT**

PLAN EPP \_\_\_\_\_  
PRELIMINARY

BCGS 92G.026

SCALE 1:500

0 10 20 30  
ALL DISTANCES ARE IN METRES  
THE INTENDED PLOT SIZE OF THIS PLAN  
IS 560mm IN HEIGHT BY 854mm IN WIDTH (D SIZE)  
WHEN PLOTTED AT A SCALE OF 1:500



126A AVENUE

Sec 17

REM PARCEL 4  
REF. PLAN 91537

REM PARCEL ONE  
PLAN 76597

Block 5 N

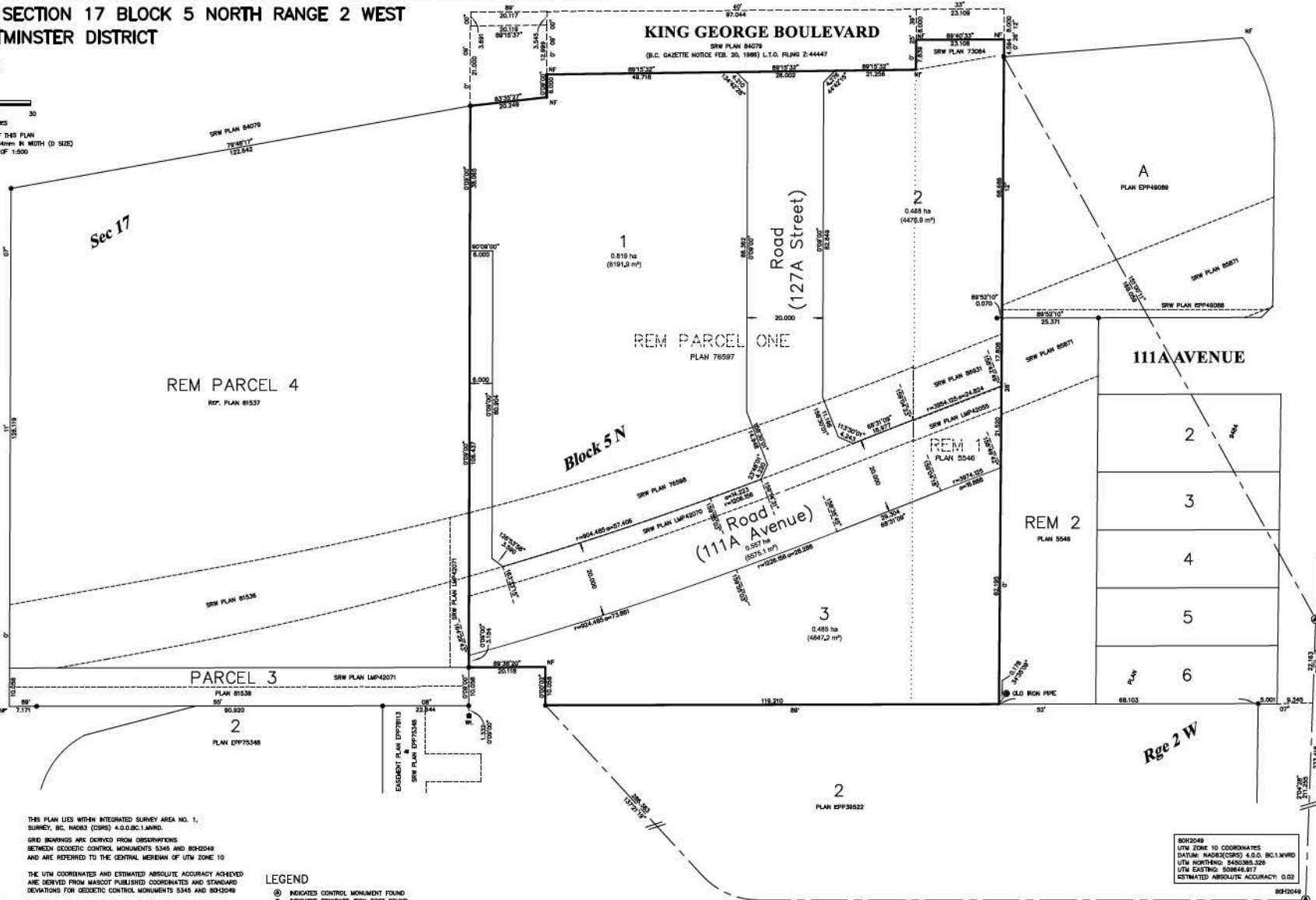
Road (111A Avenue)  
PLAN 2546

111A AVENUE

REM 2  
PLAN 5546

128th STREET

Rge 2 W



5345  
UTM ZONE 10 COORDINATES  
DATUM: NAD83(CRS) 4.0.0. BC1.MVRD  
UTM NORTHING: 5450230.814  
UTM EASTING: 509654.320  
ESTIMATED ABSOLUTE ACCURACY: 0.02

802049  
UTM ZONE 10 COORDINATES  
DATUM: NAD83(CRS) 4.0.0. BC1.MVRD  
UTM NORTHING: 5450285.328  
UTM EASTING: 509646.817  
ESTIMATED ABSOLUTE ACCURACY: 0.02

THIS PLAN LIES WITHIN THE METRO VANCOUVER  
RESERVA DISTRICT - CITY OF SURVEY  
THIS PLAN LIES WITHIN THE JURISDICTION OF  
THE APPROVING OFFICER FOR THE CITY OF SURVEY  
THE FIELD SURVEY REPRESENTED BY THIS PLAN  
WAS COMPLETED ON THE \_\_\_ DAY OF APRIL, 2024  
CURTIS VAN HOOVE, BOLS #1047

H.Y. AND ASSOCIATES  
LAND SURVEYING LTD.  
200, 9128 - 102nd STREET  
SURREY, B.C. V3R 4E7  
PH: (604) 883-1816  
FID: 174878\_SRLDND

THIS PLAN LIES WITHIN INTEGRATED SURVEY AREA NO. 1,  
SURREY, B.C. NAD83 (CRS) 4.0.0.BC1.MVRD.  
GRID BEARINGS ARE DERIVED FROM OBSERVATIONS  
BETWEEN GEODETIC CONTROL MONUMENTS 5345 AND 802049  
AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 10  
THE UTM COORDINATES AND ESTIMATED ABSOLUTE ACCURACY ADDED  
ARE DERIVED FROM MASCO PUBLISHED COORDINATES AND STANDARD  
DEVIATIONS FOR GEODETIC CONTROL MONUMENTS 5345 AND 802049  
THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS  
OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY  
GROUND-LEVEL DISTANCES BY THE AVERAGE CORRECTION FACTOR OF  
0.9998338. THE AVERAGE CORRECTION FACTOR HAS BEEN DETERMINED  
FROM CONTROL MONUMENTS 5345 AND 802049

**LEGEND**  
 (⊙) INDICATES CONTROL MONUMENT FOUND  
 (●) INDICATES STANDARD IRON POST FOUND  
 (⊙) INDICATES HIGH-STANDARD IRON POST FOUND  
 (○) INDICATES STANDARD IRON POST PLACED  
 THIS PLAN SHOWS ONE OR MORE WITNESS POSTS  
 WHICH ARE NOT SET ON THE TRUE CORNERS



sheet schedule

overall

- SD001 COVER PAGE
- SD101 SITE CONTEXT
- SD110 PROJECT DATA
- SD111 PROJECT DATA
- SD120 DESIGN RATIONALE
- SD121 RENDERINGS
- SD201 SITE PLAN - OVERALL
- SD202 SITE PLAN - GRADING
- SD203 SITE PLAN - BASE PLAN
- SD204 SITE PLAN - FD CONTEXT
- SD205 SITE PLAN - LAYOUT
- SD206 SITE PLAN - CODE
- SD207 SITE PLAN - PHASING
- SD208 SITE PLAN - SKYTRAIN LIMITS
- SD209 ENLARGED SECTIONS
- SD210 ENLARGED SECTIONS
- SD211 STREETS CAPES
- SD212 SHADOW STUDY
- SD213 SHADOW STUDY

building a&b

- SD001ab COVER PAGE - BUILDING A&B
- SD110ab PROJECT DATA
- SD111ab PROJECT DATA
- SD112ab PROJECT DATA
- SD113ab PROJECT DATA
- SD114ab PROJECT DATA
- SD201ab SITE PLAN-ENLARGED- BLDG A & B
- SD210ab BLDG A&B - P1 LEVEL - OVERALL
- SD212ab BLDG B - P1 LEVEL PLAN
- SD213ab BLDG A&B - 1st LEVEL - OVERALL
- SD214ab BLDG A - 1st LEVEL PLAN
- SD215ab BLDG B - 1st LEVEL PLAN
- SD216ab BLDG A&B - 2nd LEVEL - OVERALL
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- SD218ab BLDG B - 2nd LEVEL PLAN
- SD219ab BLDG A - 3rd LEVEL PLAN
- SD220ab BLDG B - 3rd LEVEL PLAN
- SD221ab BLDG A - 4th & 5th LEVEL PLAN
- SD222ab BLDG B - 4th - 6th LEVEL PLAN
- SD223ab BLDG A - ROOF LEVEL
- SD224ab BLDG B - ROOF LEVEL
- SD225ab BLDG B - ENLARGED PLANS
- SD226ab BLDG B - ENLARGED PLANS
- SD227ab BLDG B - ENLARGED PLANS
- SD301ab BUILDING A ELEVATIONS
- SD302ab BUILDING A ELEVATIONS
- SD303ab BUILDING B ELEVATIONS
- SD304ab BUILDING B ELEVATIONS
- SD401ab MATERIAL BOARD
- SD501ab BUILDING SECTIONS
- SD502ab BUILDING SECTIONS
- SD503ab ENLARGED SECTIONS
- SD504ab ENLARGED SECTIONS
- SD505ab ENLARGED SECTIONS
- SD601ab SITE LAYOUT PLAN- BUILDING A&B
- SD602ab SITE CODE PLAN- BUILDING A&B
- SD701ab SIGNAGE DETAILS

building c

- SD001c COVER PAGE - BUILDING C
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- SD112c PROJECT DATA
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- SD213c BLDG C - 3rd-6th LEVEL PLAN
- SD214c BLDG C - ROOF LEVEL
- SD215c BLDG C - ENLARGED PLANS
- SD301c BUILDING C ELEVATIONS
- SD302c BUILDING C ELEVATIONS
- SD401c MATERIAL BOARD
- SD501c BUILDING SECTIONS
- SD502c ENLARGED SECTIONS
- SD601c SITE LAYOUT PLAN - BUILDING C
- SD602c SITE CODE PLAN- BUILDING C
- SD701c SIGNAGE DETAILS

building d

- SD001d COVER PAGE - BUILDING D
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- SD111d PROJECT DATA
- SD112d PROJECT DATA
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- SD212d BLDG D - 2nd LEVEL PLAN
- SD213d BLDG D - 3rd & 4th LEVEL PLANS
- SD214d BLDG D - 5th LEVEL PLAN
- SD215d BLDG D - ROOF LEVEL PLAN
- SD216d BLDG D - ENLARGED PLANS
- SD301d BUILDING D ELEVATIONS
- SD302d BUILDING D ELEVATIONS
- SD401d MATERIAL BOARD
- SD501d BUILDING SECTIONS
- SD502d ENLARGED SECTIONS
- SD503d ENLARGED SECTIONS
- SD601d SITE LAYOUT PLAN - BUILDING D
- SD602d SITE CODE PLAN-ENLARGED
- SD701d SIGNAGE DETAILS



keystone architecture & planning ltd.

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F 1.855.398.4578

300 - 33131 south fraser way  
abbotsford, bc v2s 2b1

KEYSTONE ARCHITECTURE



KING GEORGE MIXED USE  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

COVER PAGE  
SCALE: N.T.S.

RE-ISSUED FOR DP  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD0.01



scott road skytrain station



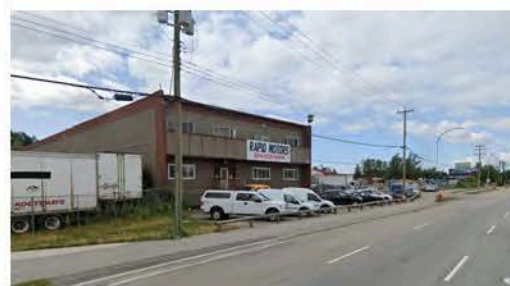
home depot



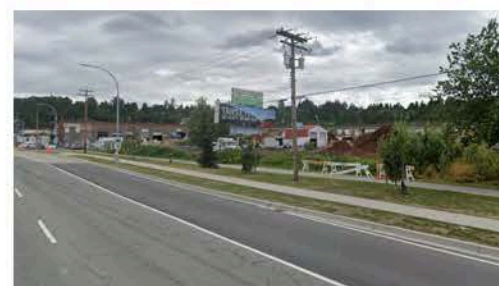
home depot parking



king george blvd looking south



king george blvd looking s/w



king george blvd looking s/e



transit village looking n/e

**location**

THE PROPOSED DEVELOPMENT IS LOCATED IN NORTH SURREY ON 12716, 12742 & 12750 KING GEORGE BLVD.

WEST SOUTHWEST OF THE SITE LIES SCOTT RD SKYTRAIN PARKING AND STATION.

TO THE SOUTH SOUTHEAST IS AN EXISTING HOME DEPOT.

TO THE SOUTHWEST OF THE SITE LIES TRANSIT VILLAGE, A MIXED USE MULTI-FAMILY RESIDENTIAL BUILDING.

sandhu mixed use development location

scott road station

transit village

home depot



location map/north surrey

**0.1.0 project data - overall**

<b>PROJECT:</b>	KING GEORGE MIXED USE
<b>PROPOSED ZONING:</b>	CD (COMPREHENSIVE DEVELOPMENT ZONE)
<b>CIVIC ADDRESS:</b>	12716, 12742, & 12750 KING GEORGE BLVD, SURREY, B.C.
<b>LEGAL DESCRIPTION:</b>	BLOCK 5N, SECTION 17, RANGE 2W, NWD PARCEL ONE, EXCEPT: PT ON SRW PL 84079
<b>VARIANCES APPLIED FOR:</b>	ALL BUILDINGS: UTILIZE CITY CENTRE PARKING RATES BUILDING D: COMMERCIAL LOADING AREA HEIGHT (3.99M)
<b>BYLAW EXEMPTIONS:</b>	
<b>SITE GROSS AREA:</b>	248,551.40 S.F. (23,091.18 SM)
<b>LOT COVERAGE:</b>	REFER TO SD1.10ab, SD1.11ab / SD1.10c / SD1.10d
<b>BUILDING AREA:</b>	REFER TO SD1.10ab, SD1.11ab / SD1.10c / SD1.10d
<b>SETBACKS:</b>	REFER TO SITE PLANS
<b>BUILDING AREA DEFINITION (BCBC 2018):</b>	THE GREATEST HORIZONTAL AREA OF A BUILDING ABOVE GRADE WITHIN THE OUTSIDE SURFACE OF EXTERIOR WALLS OR WITHIN THE OUTSIDE SURFACE OF EXTERIOR WALLS AND THE CENTER-LINE OF FIREWALLS
<b>FSR DEFINITION (ZONING):</b>	MEANS THE FIGURE OBTAINED WHEN THE AREA OF ALL THE FLOORS OF THE BUILDINGS CONSTRUCTED OR PROPOSED TO BE CONSTRUCTED ON A LOT IS DIVIDED BY THE AREA OF THE LOT, SUBJECT TO THE FOLLOWING:  (a) THE FLOOR AREA OF THE BUILDING SHALL BE MEASURED TO THE LESSER OF THE OUTSIDE EDGE OF THE EXTERIOR WALLS OR SHEATHING, EXCLUDING BASEMENTS, CRAWL SPACES LESS THAN OR EQUAL TO 1.5 METRES (5 FT.) CLEAR HEIGHT, BALCONIES, CANOPIES, TERRACES AND DECKS;  (b) WHEN CALCULATING THE FLOOR AREA RATIO, UNDEVELOPABLE AREAS ARE EXCLUDED FROM THE LOT AREA IN ALL ZONES OTHER THAN IN THE SINGLE FAMILY RESIDENTIAL ZONES EXCEPT IN RA, RA-G, RH AND RH-G ZONES. WHERE THE EXCLUSION OF THE UNDEVELOPABLE AREAS IN THE RA, RA-G, RH AND RH-G ZONES RESULTS IN A LOT SIZE THAT IS LESS THAN THE MINIMUM LOT SIZE PERMITTED IN SECTION K OF THE ZONE, THE FLOOR AREA RATIO SHALL BE CALCULATED USING THE MINIMUM LOT SIZE PERMITTED IN THAT ZONE;  (c) THOSE AREAS USED AS AN ACCESSORY USE FOR PARKING WITHIN THE BUILDING ENVELOPE OR UNDERGROUND PARKING ARE EXCLUDED; AND (D) WHERE PARKING IS A PRINCIPAL USE OF THE LOT, THOSE AREAS WHICH ARE USED FOR PARKING WITHIN THE OUTERMOST WALLS OF A BUILDING OR UNDERGROUND SHALL BE COUNTED IN THE CALCULATION.
<b>GROSS FLOOR AREA DEFINITION (ZONING):</b>	ALL THE AREA OF THE FLOOR ENCLOSED BY THE OUTSIDE EDGE OF THE EXTERIOR WALLS OF A BUILDING, INCLUDING WITHOUT LIMITATION STAIRWAYS, ELEVATOR SHAFTS, STORAGE ROOMS, AND MECHANICAL ROOMS.
<b>FINISHED GRADE DEFINITION (ZONING):</b>	(a) THE ROUGH GRADING ELEVATION AS IDENTIFIED ON A LOT GRADING PLAN, WHERE SUCH A PLAN HAS BEEN APPROVED BY THE CITY AT THE TIME OF SUBDIVISION WHEN THE LOT WAS CREATED; OR  (b) WHERE THERE IS NO LOT GRADING PLAN THAT WAS APPROVED BY THE CITY AT THE TIME OF SUBDIVISION WHEN THE LOT WAS CREATED, THE LOWEST GROUND ELEVATION EXISTING PRIOR TO CONSTRUCTION, AS ESTABLISHED ON A LEGAL SURVEY BY A REGISTERED BRITISH COLUMBIA LAND SURVEYOR, SUCH THE GROUND ELEVATION TO INCLUDE FILL MATERIALS PLACED ON THE LOT TO RAISE THE GROUND ELEVATION UP TO, BUT NOT ABOVE, THE AVERAGE ELEVATION OF ADJACENT LOTS AT THE ADJOINING LOT LINES
<b>EXISTING GRADE DEFINITION (ZONING):</b>	THE LOWEST GROUND ELEVATION EXISTING PRIOR TO CONSTRUCTION, AS ESTABLISHED ON A LEGAL SURVEY PLAN BY A REGISTERED BRITISH COLUMBIA LAND SURVEYOR, SUCH GROUND ELEVATION TO INCLUDE FILL MATERIALS PLACED ON THE LOT TO RAISE THE GROUND ELEVATION UP TO, BUT NOT ABOVE, THE AVERAGE ELEVATION OF ADJACENT LOTS AT THE ADJOINING LOT LINES
<b>GRADE DEFINITION (BCBC 2018):</b>	"THE LOWEST OF THE AVERAGE LEVELS OF FINISHED GROUND ADJOINING EACH EXTERIOR WALL OF A BUILDING, EXCEPT THAT LOCALIZED DEPRESSIONS NEED NOT BE CONSIDERED IN THE DETERMINATION OF AVERAGE LEVELS OF FINISHED GROUND"
<b>FIRST STOREY (BCBC 2018)</b>	THE UPPERMOST STOREY HAVING ITS FLOOR LEVEL NOT MORE THAN 2 M ABOVE GRADE
<b>BUILDING HEIGHT DEFINITION (BCBC 2018):</b>	THE NUMBER OF STOREYS CONTAINED BETWEEN THE ROOF AND THE FLOOR OF THE FIRST STOREY
<b>BUILDING HEIGHT DEFINITION (ZONING):</b>	THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE EXISTING GRADE LEVEL, DETERMINED BY AVERAGING THE EXISTING GRADES AT ALL BUILDING FACES SURROUNDING THE PERIMETER OF A BUILDING, TO:  (a) THE HIGHEST POINT ON A FLAT ROOF; OR (b) THE AVERAGE LEVEL BETWEEN THE EAVES AND RIDGE OF A GABLE, HIP OR GAMBREL ROOFED BUILDING; OR (c) THE GREATER OF THE TWO MEASUREMENTS REFERRED TO IN (a) AND (b) ABOVE IN THE CASE OF A BUILDING WITH MORE THAN ONE TYPE OF ROOF; OR (d) THE HIGHEST POINT OF A FLAT ROOF WITH A WIDTH GREATER THAN 1 METRE (3 FT.) AND LOCATED OVER A GABLE, HIP, OR GAMBREL ROOF.  ELEVATOR SERVICE ROOMS, AIR CONDITIONERS AND SIMILAR EQUIPMENT, AND DORMERS AND OTHER SIMILAR ROOF ELEMENTS SHALL NOT BE INCLUDED IN THE MEASUREMENT OF A BUILDING HEIGHT PROVIDED THAT, IN AGGREGATE, THEY DO NOT EXCEED 25% OF THE PLAN VIEW AREA OF THE ROOF ON WHICH THEY ARE LOCATED
<b>LOT DEFINITION (ZONING):</b>	THE LAND DESIGNATED AS A SEPARATE AND DISTINCT PARCEL ON A LEGALLY RECORDED SUBDIVISION PLAN OR DESCRIPTION FILED IN THE RECORDS OF THE LAND TITLE OFFICE.
<b>LOT COVERAGE DEFINITION (ZONING):</b>	THE HORIZONTAL AREA PRODUCED BY A VERTICAL PROJECTION OF THE OUTSIDE OF THE OUTERMOST WALLS OR THE AREA WITHIN THE SUPPORTING ELEMENTS OF ALL BUILDINGS, OUTDOOR COVERED AREAS, AND STRUCTURES ON THE LOT, UNLESS OTHERWISE SPECIFIED IN THE ZONE. LOT COVERAGE SHALL BE EXPRESSED AS A PERCENTAGE OF THE ABOVE  HORIZONTAL AREA TO THE LOT AREA, NOT INCLUDING UNDEVELOPABLE AREA AND LAND REQUIRED FOR THE PURPOSE OF A HIGHWAY DEDICATION. ANY STRUCTURE LOCATED IN OR BENEATH A FINISHED GRADE (ON A SINGLE FAMILY OR DUPLEX LOT) OR EXISTING GRADE (NOT ON A SINGLE FAMILY OR DUPLEX LOT), PROVIDED THAT THE TOP OF SUCH STRUCTURE, OTHER THAN GARDS, IS LOCATED NOT MORE THAN 0.6 M ABOVE THE FINISHED GRADE OR EXISTING GRADE, SHALL BE EXCLUDED FROM THIS CALCULATION.
<b>UNIT DENSITY DEFINITION (ZONING):</b>	A MEASURE OF DENSITY OBTAINED WHEN THE TOTAL NUMBER OF DWELLING UNITS EXCLUDING SECONDARY SUITES CONSTRUCTED OR PROPOSED TO BE CONSTRUCTED ON A LOT IS DIVIDED BY THE TOTAL AREA OF THE LOT. UNLESS OTHERWISE PERMITTED IN THE ZONE, EXCLUDES UNDEVELOPABLE AREA FROM THE TOTAL AREA OF THE LOT.
<b>AMENITY SPACE DEFINITION (ZONING):</b>	AN OUTDOOR OR INDOOR SPACE PROVIDED IN A MULTIPLE UNIT RESIDENTIAL DEVELOPMENT SPECIFICALLY DESIGNED FOR USE BY ALL ITS RESIDENTS FOR CULTURAL, SOCIAL AND RECREATIONAL ACTIVITIES AND, EXCEPT AS SPECIFICALLY PERMITTED IN THE ZONE, THE SAID SPACE SHALL NOT BE USED FOR COMMERCIAL PURPOSES AND SHALL NOT CONTAIN DWELLING UNIT(S). SUCH SPACES MAY INCLUDE AMENITIES SUCH AS COMMUNITY MEETING SPACE, SPORTS AND FITNESS FACILITIES, CULTURAL FACILITIES, ARTIST STUDIOS, WORKSHOPS, TENNIS COURTS, OUTDOOR SWIMMING POOL, VEGETABLE GARDEN PATIOS, AND CHILDREN'S PLAY STRUCTURES.
<b>GARBAGE AND RECYCLING REQUIREMENTS:</b>	REFER TO PROJECT DATA SHEETS FOR BUILDING A/B, C, D.

**0.2.1 gross floor area summary - overall**

LEVEL / AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
	188433 SF	17505.98 m <sup>2</sup>	33.8%	
	<b>188433 SF</b>	<b>17505.98 m<sup>2</sup></b>	<b>33.8%</b>	
<b>BUILDING A</b>				
CIRCULATION	10764 SF	999.98 m <sup>2</sup>	1.9%	
RESIDENTIAL	57959 SF	5384.53 m <sup>2</sup>	10.4%	
SERVICE	159 SF	14.81 m <sup>2</sup>	0.0%	
	<b>68822 SF</b>	<b>6399.32 m<sup>2</sup></b>	<b>12.3%</b>	
<b>BUILDING B</b>				
CIRCULATION	16227 SF	1507.51 m <sup>2</sup>	2.9%	
INDOOR AMENITY	8795 SF	817.05 m <sup>2</sup>	1.6%	
RESIDENTIAL	83878 SF	7792.49 m <sup>2</sup>	15.0%	
SERVICE	829 SF	77.04 m <sup>2</sup>	0.1%	
STORAGE	178 SF	16.53 m <sup>2</sup>	0.0%	
	<b>109906 SF</b>	<b>10210.62 m<sup>2</sup></b>	<b>19.7%</b>	
<b>BUILDING C</b>				
CIRCULATION	16520 SF	1534.76 m <sup>2</sup>	3.0%	
INDOOR AMENITY	4409 SF	409.58 m <sup>2</sup>	0.8%	
RESIDENTIAL	90589 SF	8416.03 m <sup>2</sup>	16.2%	
SERVICE	284 SF	26.41 m <sup>2</sup>	0.1%	
	<b>111802 SF</b>	<b>10386.79 m<sup>2</sup></b>	<b>20.0%</b>	
<b>BUILDING D</b>				
CIRCULATION	10220 SF	949.45 m <sup>2</sup>	1.8%	
COMMERCIAL	7996 SF	742.85 m <sup>2</sup>	1.4%	
INDOOR AMENITY	3396 SF	315.49 m <sup>2</sup>	0.6%	
RESIDENTIAL	56209 SF	5221.99 m <sup>2</sup>	10.1%	
SERVICE	517 SF	48.03 m <sup>2</sup>	0.1%	
STORAGE	483 SF	44.86 m <sup>2</sup>	0.1%	
	<b>76821 SF</b>	<b>7122.68 m<sup>2</sup></b>	<b>14.1%</b>	
<b>AREA GRAND TOTAL</b>	<b>557844 SF</b>	<b>51825.39 m<sup>2</sup></b>	<b>100.0%</b>	

**0.2.1 gross floor area summary - parkade-overall**

LEVEL / AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
<b>PARKADE A &amp; B</b>				
CIRCULATION	5118 SF	475.51 m <sup>2</sup>	3.2%	
PARKADE	73603 SF	6837.98 m <sup>2</sup>	46.7%	
STORAGE	4618 SF	429.02 m <sup>2</sup>	2.9%	
	<b>83340 SF</b>	<b>7742.51 m<sup>2</sup></b>	<b>52.9%</b>	
<b>PARKADE C</b>				
CIRCULATION	1330 SF	123.57 m <sup>2</sup>	0.8%	
PARKADE	38267 SF	3555.11 m <sup>2</sup>	24.3%	
SERVICE	1026 SF	95.35 m <sup>2</sup>	0.7%	
STORAGE	2019 SF	187.57 m <sup>2</sup>	1.3%	
	<b>42642 SF</b>	<b>3961.60 m<sup>2</sup></b>	<b>27.0%</b>	
<b>PARKADE D</b>				
CIRCULATION	1222 SF	113.57 m <sup>2</sup>	0.8%	
PARKADE	27524 SF	2557.07 m <sup>2</sup>	17.5%	
SERVICE	207 SF	19.24 m <sup>2</sup>	0.1%	
STORAGE	2711 SF	251.86 m <sup>2</sup>	1.7%	
	<b>31665 SF</b>	<b>2941.74 m<sup>2</sup></b>	<b>20.1%</b>	
<b>AREA GRAND TOTAL</b>	<b>157647 SF</b>	<b>14645.84 m<sup>2</sup></b>	<b>100.0%</b>	

**0.3.0 unit count summary - overall**

UNIT TYPE	UNIT COUNT	UNIT TYPE %
<b>BUILDING A</b>		
1 BED	73	15.3%
1 BED + DEN	26	5.5%
2 BED	4	0.8%
<b>108</b>		<b>21.6%</b>
<b>BUILDING B</b>		
1 BED	87	18.3%
1 BED + DEN	16	3.4%
2 BED	28	5.9%
2 BED + DEN	5	1.1%
<b>136</b>		<b>28.6%</b>
<b>BUILDING C</b>		
1 BED	67	14.1%
1 BED + DEN	10	2.1%
2 BED	51	10.7%
2 BED + DEN	6	1.3%
STUDIO	4	0.8%
<b>138</b>		<b>29.0%</b>
<b>BUILDING D</b>		
1 BED	74	15.5%
1 BED + DEN	7	1.5%
2 BED	7	1.5%
2 BED + DEN	3	0.6%
STUDIO	8	1.7%
<b>99</b>		<b>20.8%</b>
<b>TOTAL UNITS: 476</b>		<b>100.0%</b>

**FAR CALCULATION:**

SITE GROSS AREA: 248,551.4 S.F. (23,091.2 S.M.)  
 SITE NET AREA: 188,433 S.F. (17,506 S.M.)

**GROSS BUILDING AREA:**

BUILDING A: 68,882 S.F.  
 BUILDING B: 109,906 S.F.  
 BLDG A&B P1: 9,736 S.F.  
 BUILDING C: 111,802 S.F.  
 BLDG C P1: 4,375 S.F.  
 BUILDING D: 78,821 S.F.  
 BLDG D P1: 4,141 S.F.

TOTAL: 387,663 S.F. - (1,829 S.F. BIKE STORAGE x 4 BUILDINGS) = 380,343 S.F. (35,335.1 S.M.)

FAR (GROSS): 35,335.1 / 23,091.2 = 1.53  
 FAR (NET): 35,335.1 / 17,506 = 2.02

\*AREA INCLUDES RESIDENTIAL, COMMERCIAL, CIRCULATION, STORAGE, SERVICE ROOMS, & INDOOR AMENITY ON LEVELS 1-6  
 \*AREA INCLUDES CIRCULATION, STORAGE, AND SERVICE ROOMS ON LEVEL P1



## design rationale

### project description

THIS PROPOSED DEVELOPMENT IS COMPRISED OF 476 UNITS IN FOUR MULTI-FAMILY RESIDENTIAL BUILDINGS EACH ON 2-LEVEL CONCRETE PARKADES EACH SURROUNDING A RAISED LANDSCAPED INTERIOR COURTYARD, PROVIDING AMPLE OUTDOOR AMENITY SPACE FOR THE OVERALL DEVELOPMENT. COMMERCIAL/RETAIL SPACE IS ALSO PROVIDED IN ONE BUILDING ALONG THE GROUND FLOOR STREET FACE AT KING GEORGE BOULEVARD. EACH BUILDING ALSO INCLUDES GROUND ORIENTED AMENITY SPACES AND APARTMENT UNITS LOCATED ALONG THE STREET REPLICATING TWO-STOREY TOWNHOMES.

### massing, form & character

THE SITING AND MASSING OF THE BUILDINGS WITHIN THIS DEVELOPMENT IS DESIGNED TO ALLOW NATURAL DAYLIGHT AND VISIBILITY WITHIN THE COURTYARD SPACES AND INCORPORATE AN APPROACH TO CREATE A UNIQUE SENSE OF WHERE WHICH TO LIVE AND PLAY WHILE LOCATED ON A MAJOR TRANSPORTATION HUB WITHIN THE CITY OF SURREY.

DIVERSITY IN THE ARTICULATION AND USE OF MATERIALS AND COLOUR ACCENTS THROUGHOUT THE BUILDING FACADES ALONG THE STREET FACE CREATES VISUAL INTEREST FOR BOTH MOTORISTS AND TRANSIT COMMUTERS ENTERING THE SITE, AS WELL AS A STRONG SENSE OF HUMAN SCALE FOR PEDESTRIANS MOVING ALONG THE MAIN STREETS AND CENTRAL LANEWAY INTENDING TO BE "STREET-FRIENDLY" AND ACHIEVE A STRONG SENSE OF INCLUSION AND WALKABILITY AROUND AND THROUGHOUT THE DEVELOPMENT.

EACH BUILDING CLUSTER HAS ITS OWN INDIVIDUAL ENTRANCE FROM THE STREET WHICH ALSO SERVES AS THE MAIN FIRE-FIGHTING ACCESS TO THE DEVELOPMENT. STREET PARKING FOR VISITORS IS PROVIDED ALONG WITH SECURE VISITOR PARKING WITHIN THE PARKADE STRUCTURES.

THE EXTERIOR TREATMENT OF THE BUILDINGS REFLECT THAT OF A CONTEMPORARY TRANSIT STATION THEME WITH THE USE GRAY, WHITE AND STEEL TONES AND CANOPIES, WHILE BRINGING WARMTH AND EXCITEMENT AS A LIVABLE PLACE BY USE OF BRIGHT COLOURED ACCENTS. MATERIALS CONSIST OF A BLEND OF METAL PANEL, FINISHED CONCRETE AND CEMENTITIOUS CLADDING AND WITH HORIZONTAL PROJECTIONS THAT BOTH ARTICULATE A LOWER SCALE AT THE STREET AND COURTYARD ENTRIES, AND ALSO ALLOW A SENSE OF INTEREST, OPENNESS AND LIVABILITY AT THE UPPER EXTERIOR INTERFACES WITH THE PUBLIC REALM WITH ENHANCED VIEWS ALLOWING TENANTS TO EXPERIENCE THE OUTDOORS MORE EFFECTIVELY, WHILE YET MAINTAINING PRIVACY WITHIN THE SUITES.

### environmental sustainability

ADDRESSED WITHIN THE DEVELOPMENT BY THE PROVISION OF BIKE RACKS AND BIKE STORAGE, LARGE OPEN GREEN SPACES, LIGHT POLLUTION REDUCTION BY MEANS OF DARK SKY COMPLIANT EXTERIOR LIGHTING SYSTEMS, WATER EFFICIENT LANDSCAPING AND PLUMBING SYSTEMS, NATURAL VENTILATION THROUGH OPERABLE WINDOWS AND ENERGY EFFICIENT HVAC SYSTEMS, STORAGE AND COLLECTION OF RECYCLABLES, AND HEAT ISLAND EFFECT REDUCTION BY MINIMIZING EXTERIOR PARKING AND MAXIMIZING DENSITY.

### crime prevention

ENVIRONMENTAL DESIGN PRINCIPLES (CPTEQ) HAVE BEEN INCORPORATED INTO THE DESIGN BY MEANS OF NATURAL SURVEILLANCE THROUGHOUT THE PERIMETER, INTERIOR COURTYARDS AND PARKADE LEVELS BY MEANS OF CLEAR VIEWING LINES FROM THE RESIDENTIAL UNITS AND BALCONIES, ELIMINATION OF ALL POTENTIAL DARK AREAS AND ACCESSES/EXITS, CLEARLY DEFINED MAIN ENTRANCES AND SECURE AND FULLY ACCESSIBLE PARKING.

REFER ALSO TO THE ATTACHED CONCEPT STATEMENT BY THE VAN DER ZALM + ASSOCIATES INC. FOR FURTHER DETAIL ON THE LANDSCAPE DESIGN.



**KING GEORGE MIXED USE**  
12716/1, 12742 & 12750 KING GEORGE BLVD., SURREY BC

**DESIGN RATIONALE**  
SCALE: N.T.S.

**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD1.20



overall aerial



street view - looking south down road c



building b - east facade



building a&b - west facade



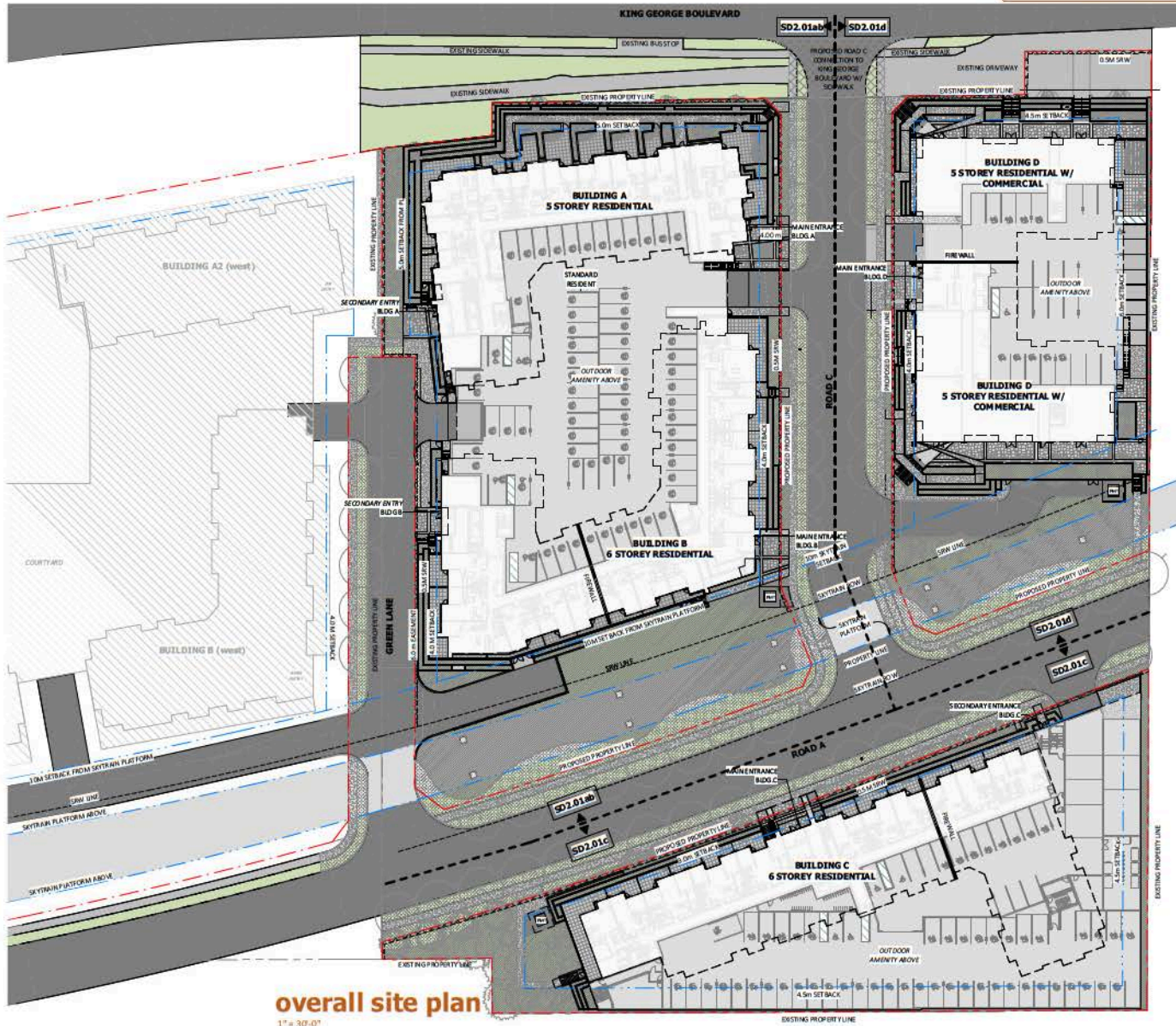
**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**RENDERINGS**  
SCALE: N.T.S.

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2023-04-28 REVISION #:  
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PROJECT NUMBER: 17-153



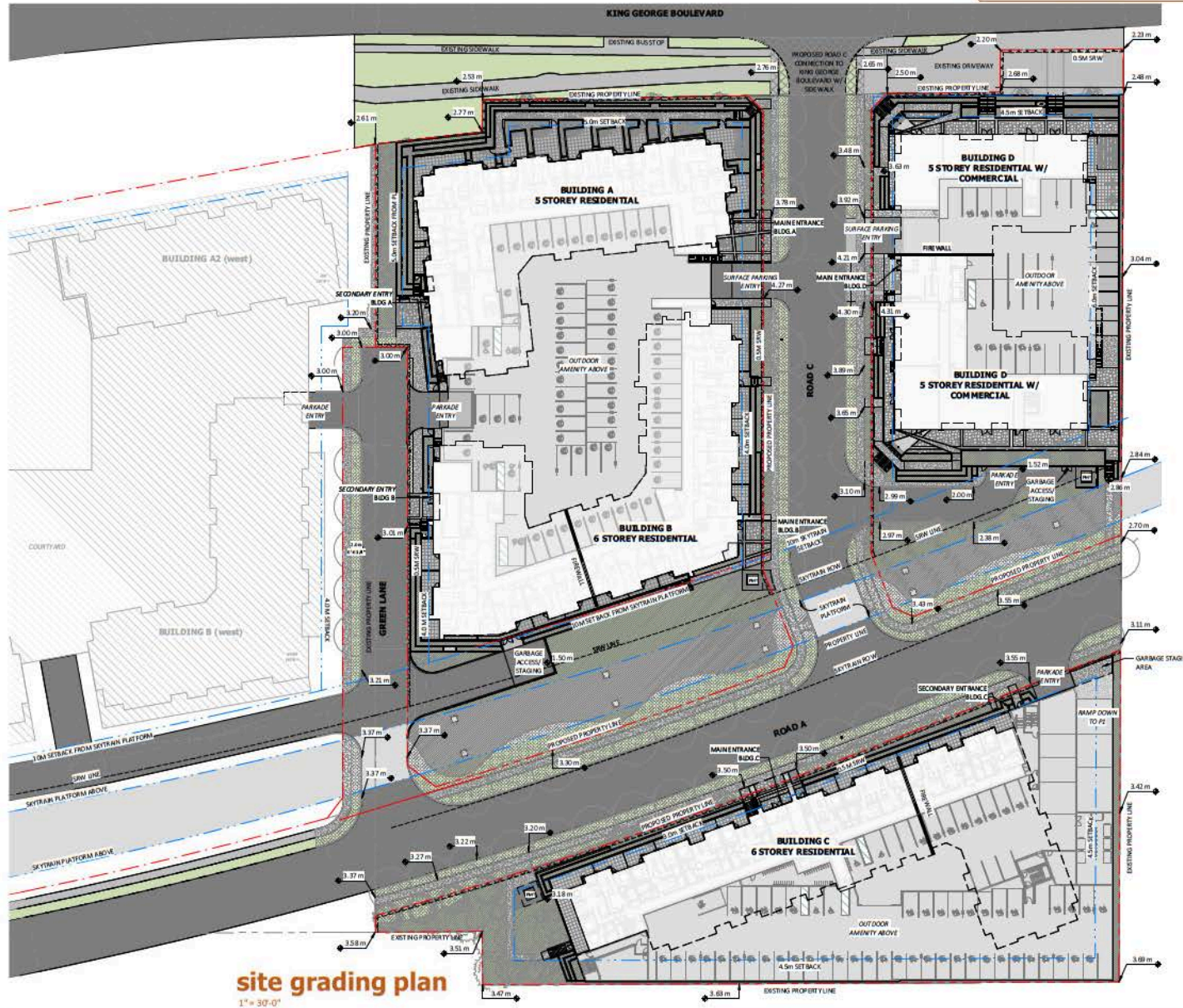
**SD1.21**



**general site notes**

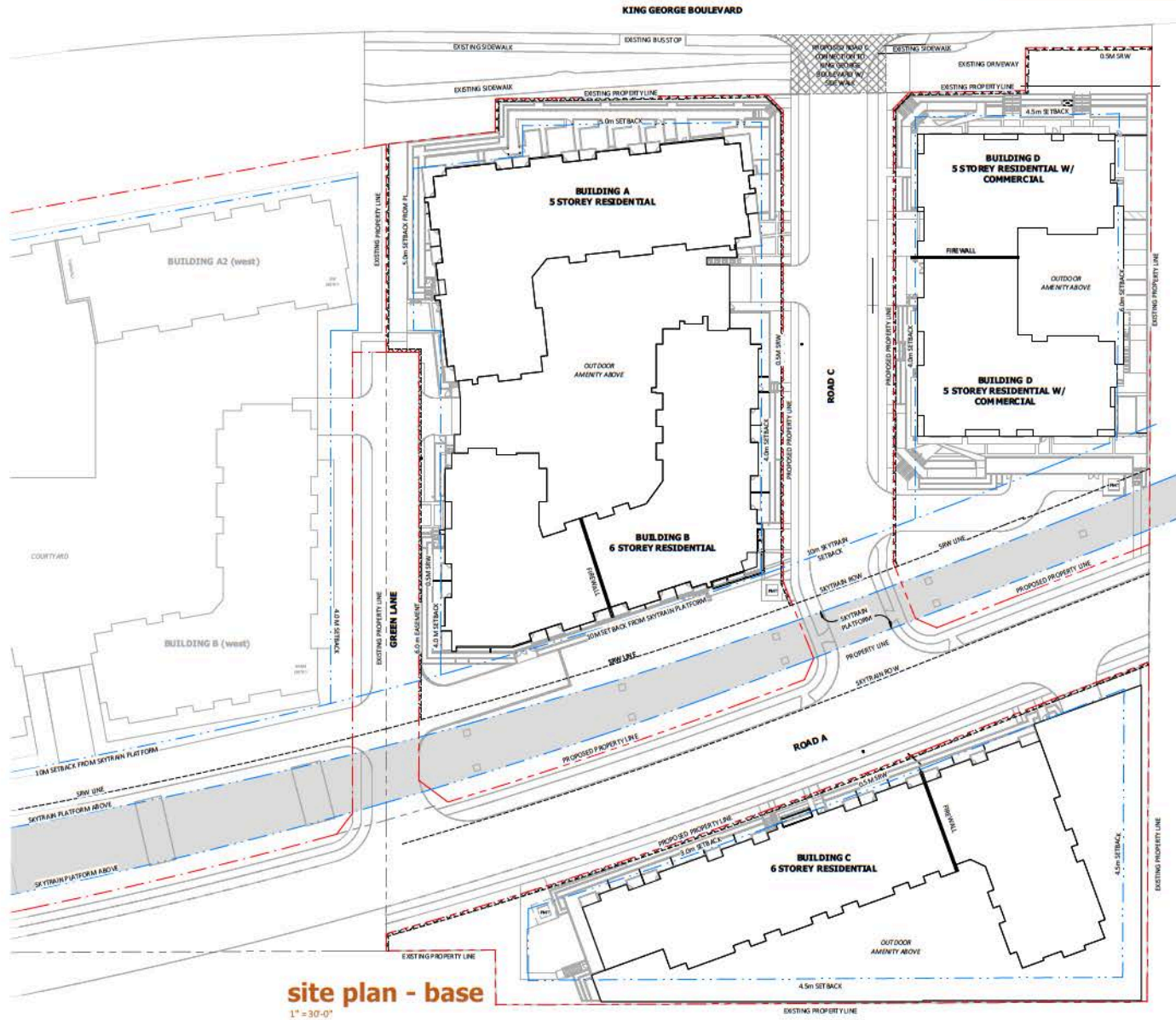
1. REFER TO SITE LAYOUT PLAN FOR BUILDING POSITIONING ON SITE.
2. REFER TO SEE CD DE PLAN.
3. REFER TO CIVIL ENGINEER'S DRAWINGS FOR PAVED AREA DRAINAGE, SITE ELEVATIONS, SANITARY AND SEWER LINES, EXTENT OF DEMO, NEW AND REPAIRED PAVING, OTHER SERVICES, ETC.
4. VERIFY ALL SITE INFORMATION, BUILDING AREA, DIMENSIONS AND BEARINGS WITH LEGAL SURVEY PLAN.
5. REFER TO LANDSCAPE DRAWINGS FOR ALL HARD & SOFT LANDSCAPING.
6. TW = TOP OF WALL  
BW = BOTTOM OF WALL  
BOC = BOTTOM OF CURB  
TDC = TOP OF CURB
7. NEW ELEVATION = 20.00m  
EXISTING ELEVATION = 20.00m
8. SEE SHEETS SD2.01ab, SD2.01d, SD2.01c FOR MORE DETAILED SITE INFORMATION

**overall site plan**  
1" = 30'-0"

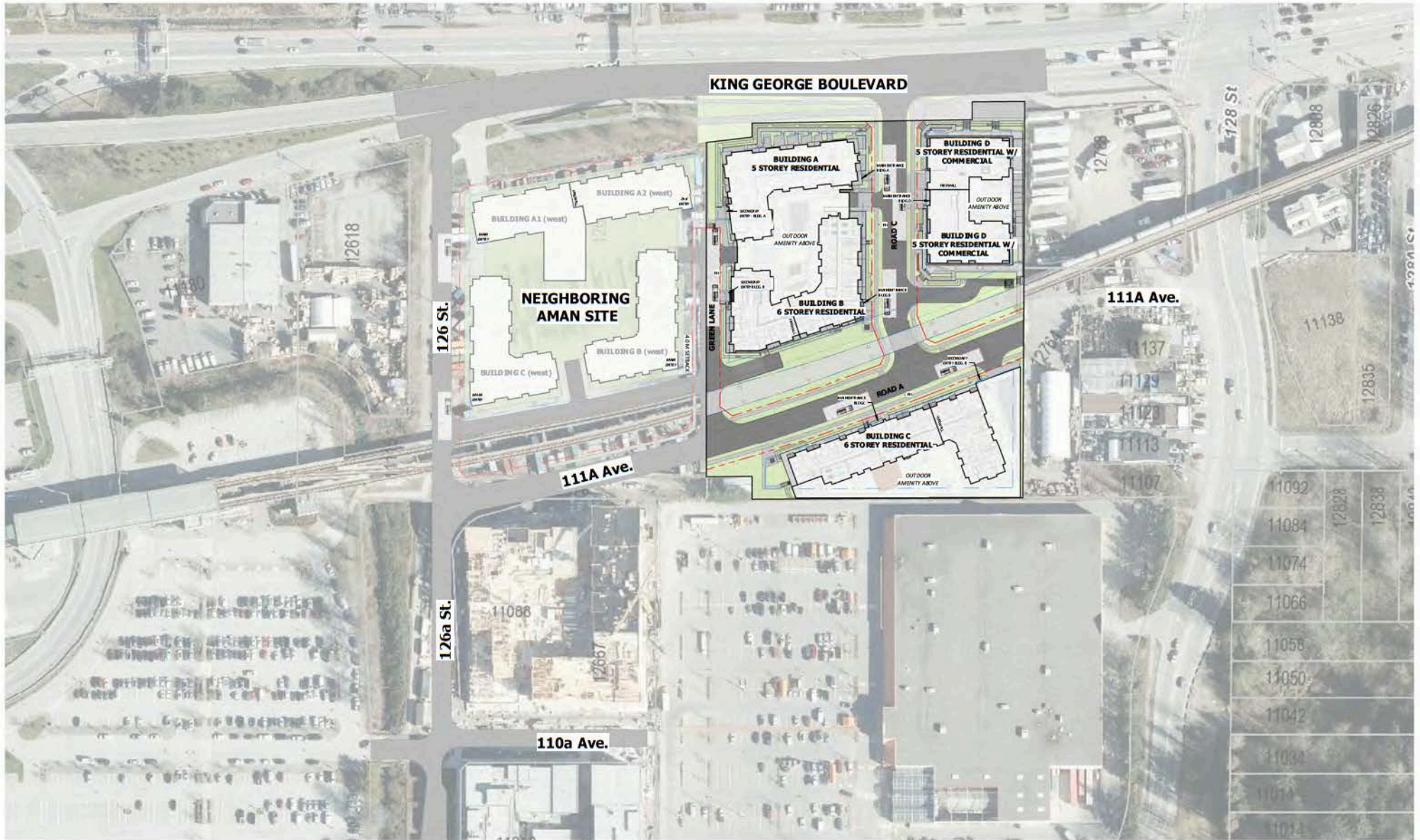


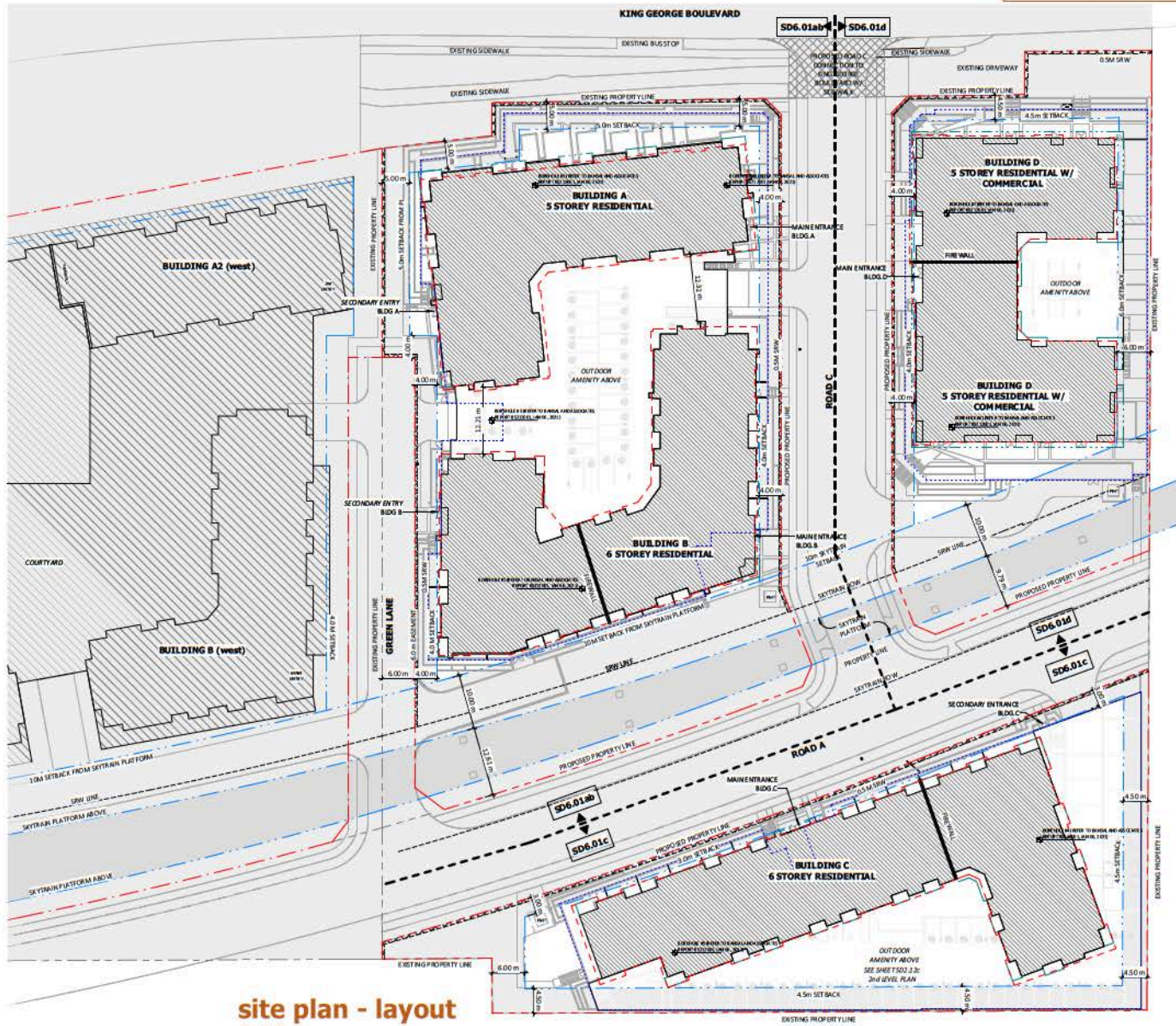
- general site notes**
1. REFER TO SITE LAYOUT PLAN FOR BUILDING POSITIONING ON SITE.
  2. REFER TO SITE CODE PLAN.
  3. REFER TO CIVIL ENGINEER'S DRAWINGS FOR PAVED AREA DRAINAGE, SITE ELEVATIONS, SANITARY AND SEWER LINES, EXTENT OF DEMO, NEW AND REPAIRED PAVING, OTHER SERVICES, ETC.
  4. VERIFY ALL SITE INFORMATION, BUILDING AREA, DIMENSIONS AND BEARINGS WITH LEGAL SURVEY PLAN.
  5. REFER TO LANDSCAPE DRAWINGS FOR ALL HARD & SOFT LANDSCAPING.
  6. TW = TOP OF WALL  
BW = BOTTOM OF WALL  
BOC = BOTTOM OF CURB  
TOC = TOP OF CURB
  7. NEW ELEVATION = 20.00m  
EXISTING ELEVATION = 20.00m
  8. SEE SHEETS SD2.01ab, SD2.01d, SD2.01c FOR MORE DETAILED SITE INFORMATION





site plan - base  
1" = 30'-0"





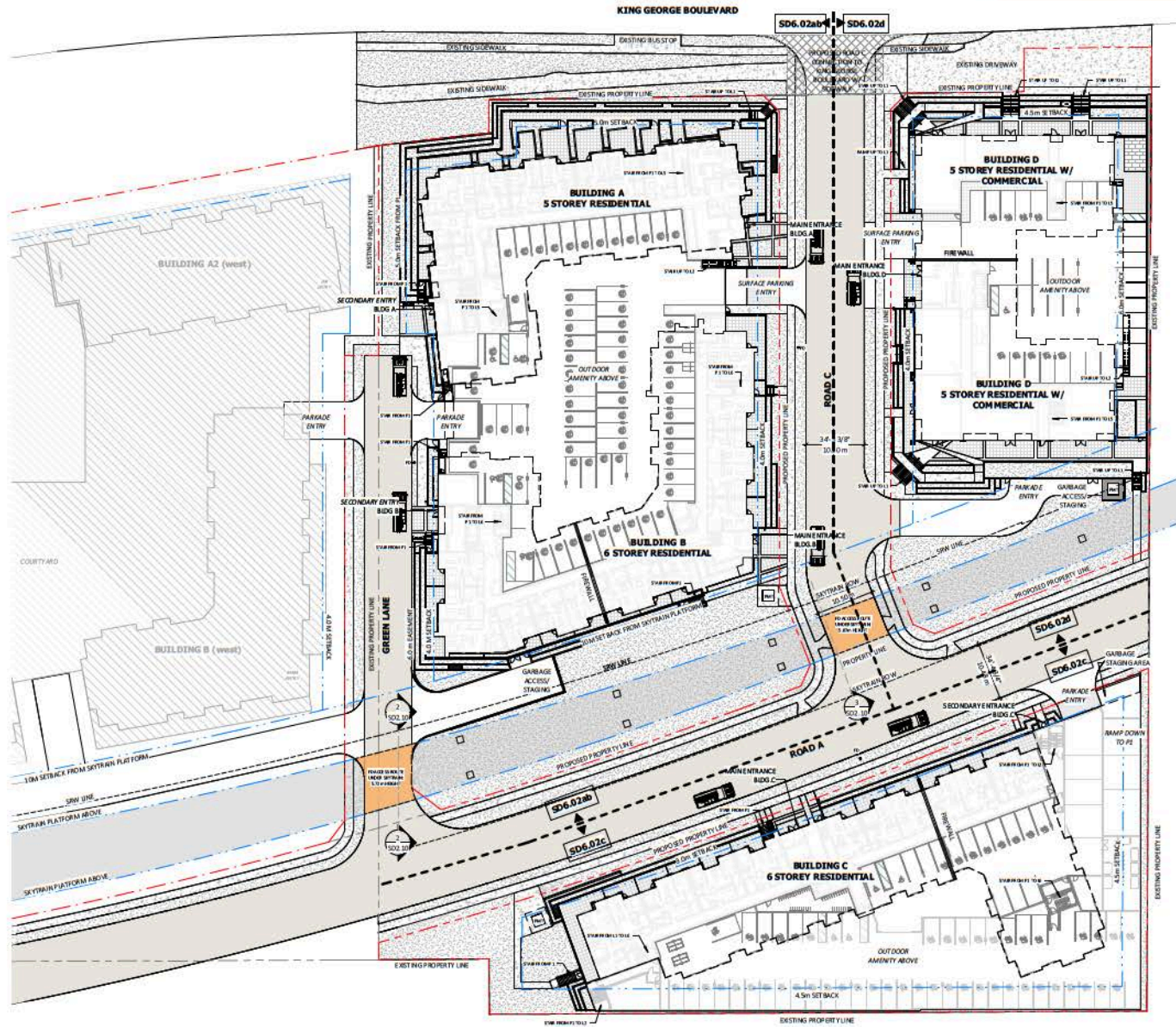
**0.8.1 site layout plan notes/legend**

LEGEND	
	PROPERTY LINE
	OUTLINE OF PARKING
	OUTLINE OF ROOF AREA
	OUTLINE OF BALCONY ABOVE
	SETBACK
	RIGHT OF WAY/SETBACK

**NOTES**

- REFER TO LEGAL SURVEY PLAN, COMPLETED BY (H.V. ASSOCIATES) LAND SURVEYING LTD. (DATED 060-09-2017) TO VERIFY ALL SITE INFORMATION.
- SEE SHEETS SD6.01a, SD6.01d, SD6.01c FOR MORE DETAILED LAYOUT INFORMATION

site plan - layout  
1" = 30'-0"

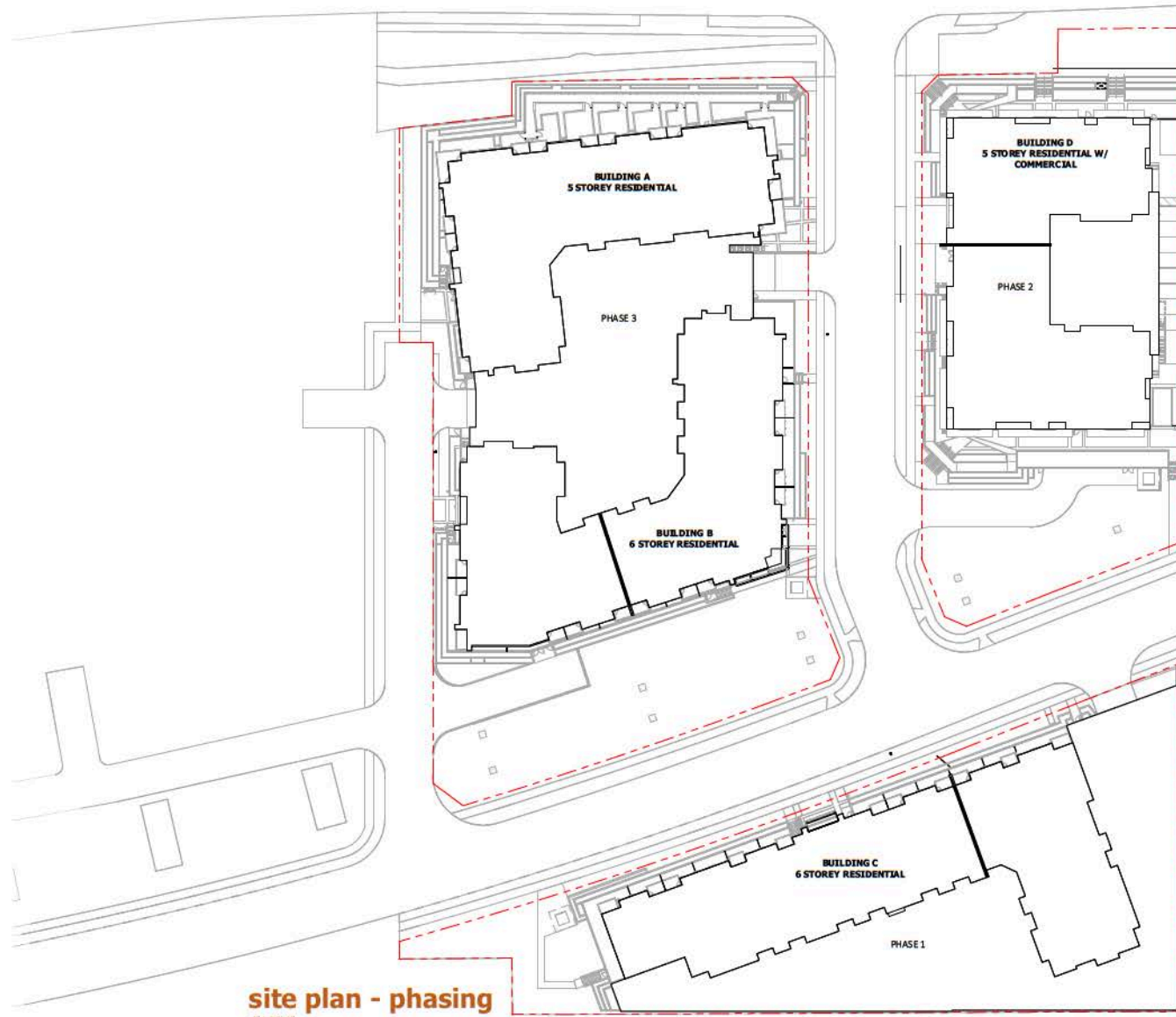


**0.8.2 site code plan notes/legend**

S1	STOP
S2	PAVE LANE-NO PARKING
S3	GARAGE LOADING ZONE-NO PARKING
S4	MAXIMUM 10 KPH
S5	PARKADE CLEARANCE 7'-0"

**NOTES:**

- SEE SHEETS SD6.02ab, SD6.02d, SD6.02c FOR MORE DETAILED CODE INFORMATION



site plan - phasing  
1" = 30'-0"



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**SITE PLAN - PHASING**  
SCALE: 1" = 30'-0"

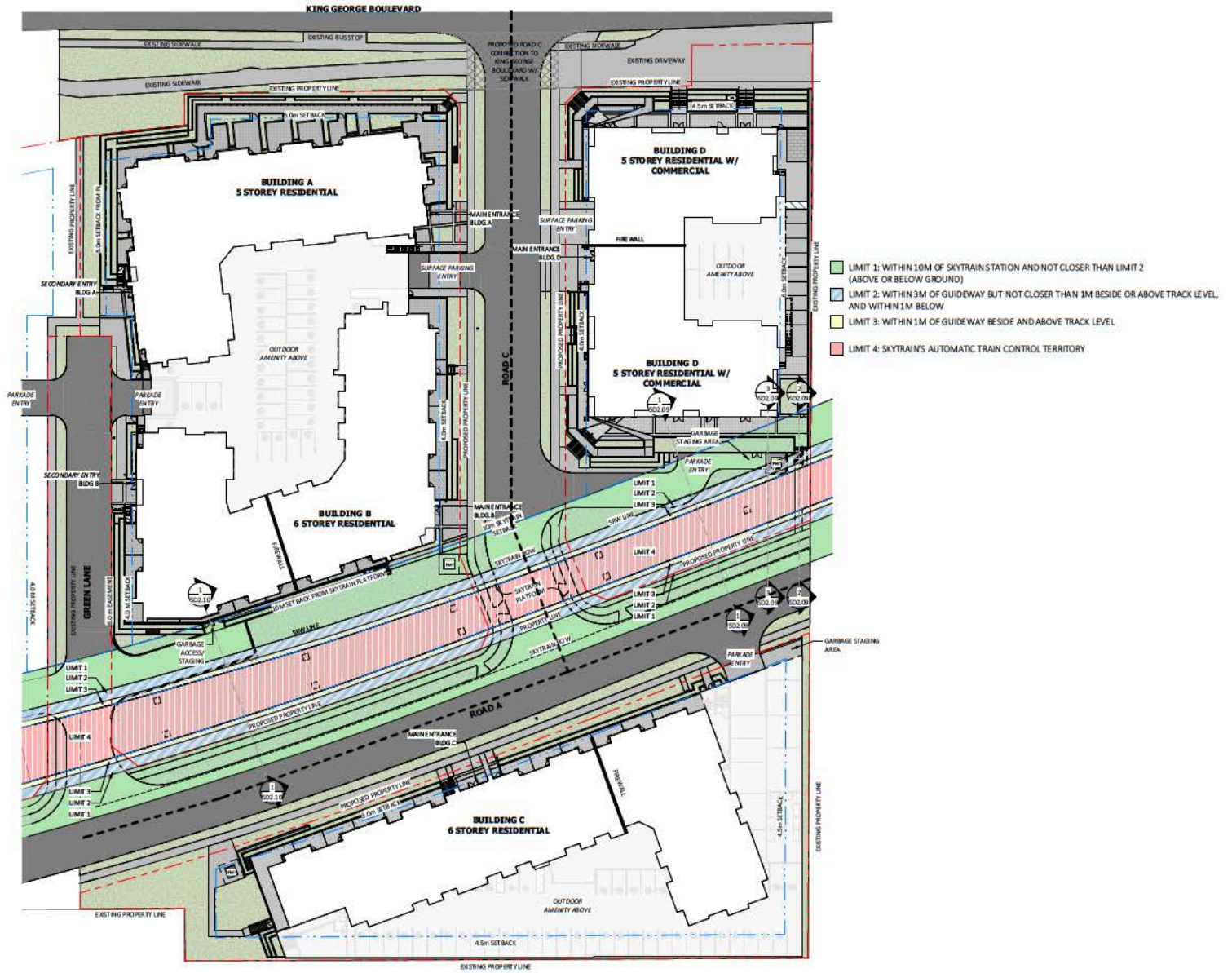


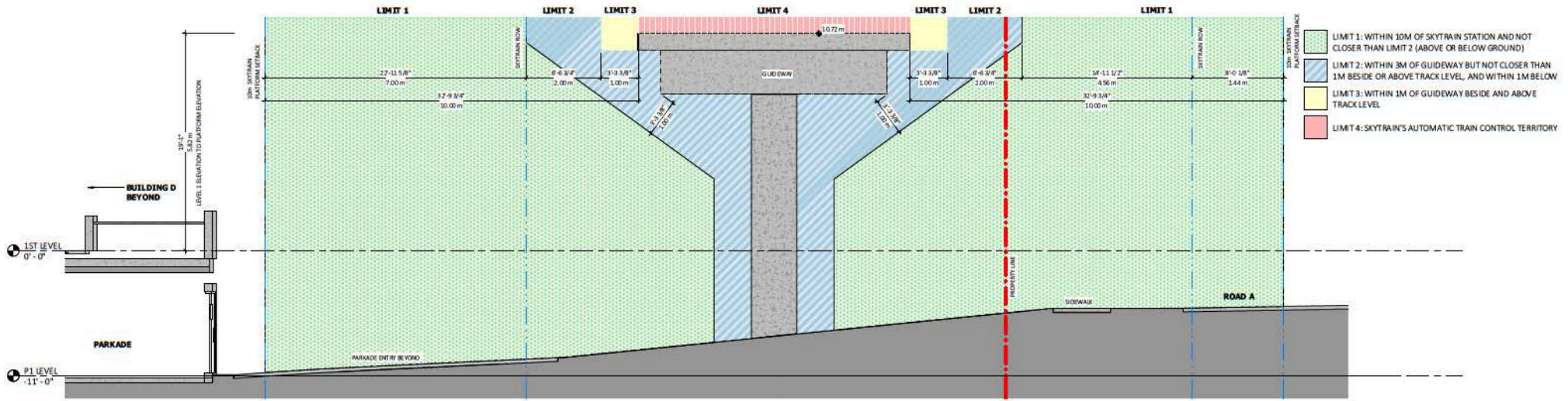
**RE-ISSUED FOR DP**

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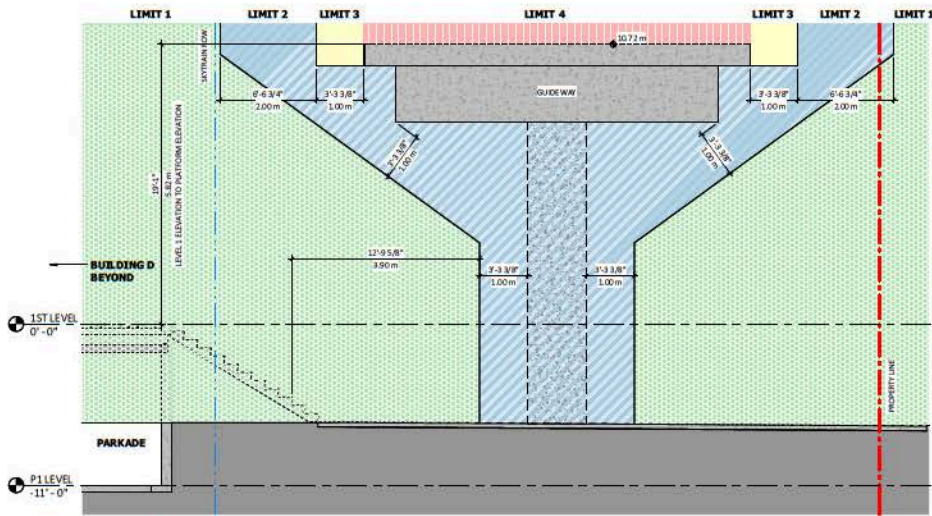
SD2.07





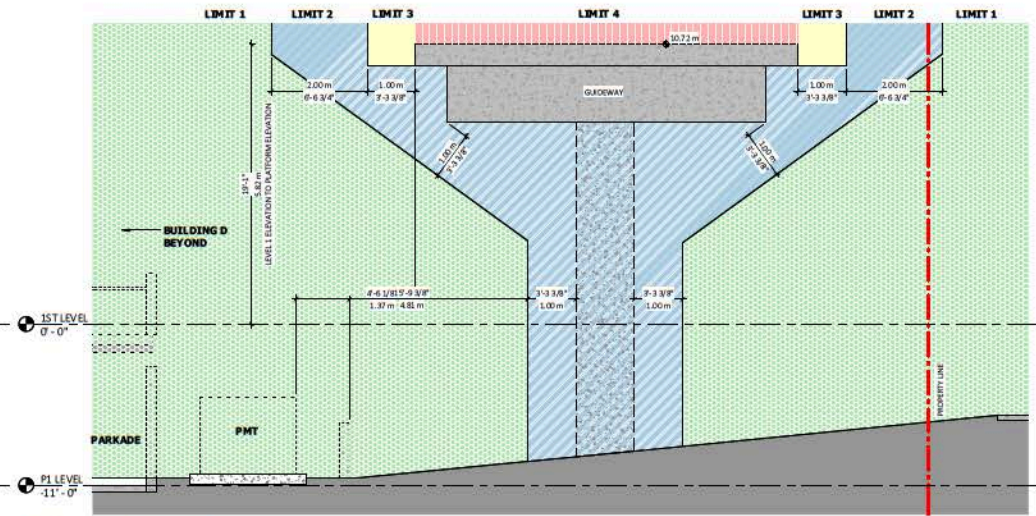
site section 1

1/4" = 1'-0"



site section 2

1/4" = 1'-0"



site section 3

1/4" = 1'-0"



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ENLARGED SECTIONS

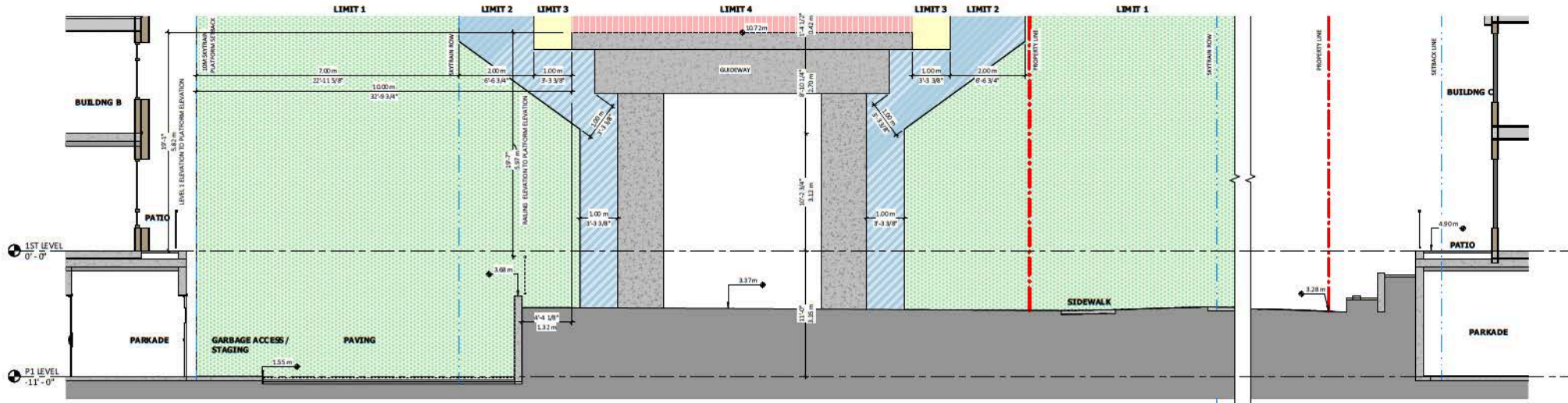
SCALE: 1/4" = 1'-0"

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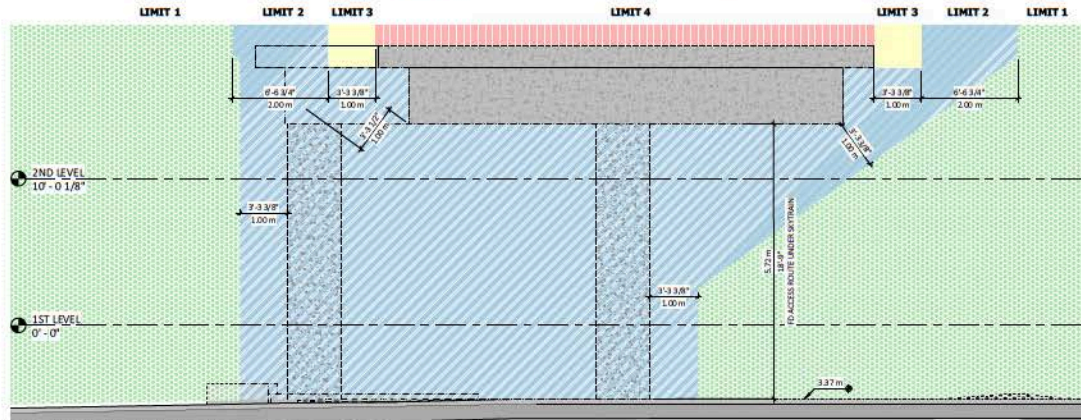
SD2.09



site section 4

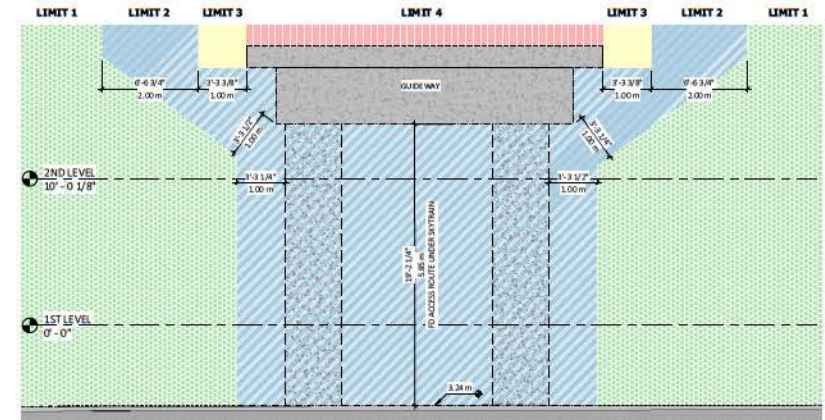
1/4" = 1'-0"

- LIMIT 1: WITHIN 10M OF SKYTRAIN STATION AND CLOSER THAN LIMIT 2 (ABOVE OR BELOW GROUND)
- LIMIT 2: WITHIN 3M OF GUIDEWAY BUT NOT CLOSER THAN 1M BESIDE OR ABOVE TRACK LEVEL, AND WITHIN 1M BELOW
- LIMIT 3: WITHIN 1M OF GUIDEWAY BESIDE AND ABOVE TRACK LEVEL
- LIMIT 4: SKYTRAIN'S AUTOMATIC TRAIN CONTROL TERRITORY



site section 5

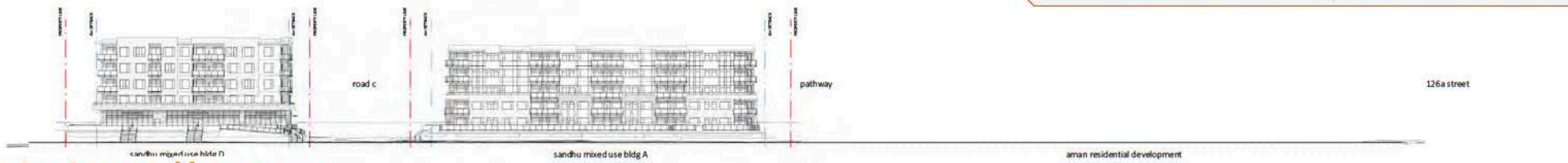
1/4" = 1'-0"



site section 6

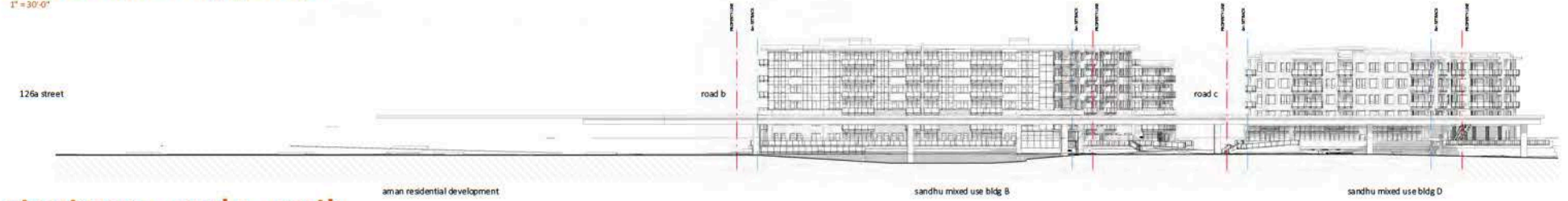
1/4" = 1'-0"





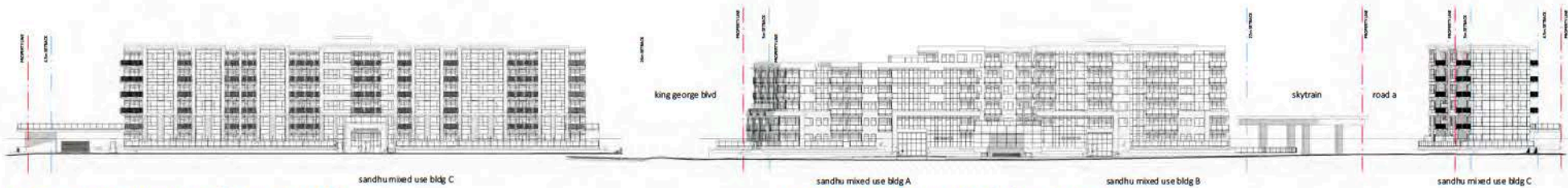
streetscape - king george

1" = 30'-0"



streetscape - road a - north

1" = 30'-0"



streetscape - road a - south

1" = 30'-0"



streetscape - road c - east

1" = 30'-0"



streetscape - road b - east

1" = 30'-0"



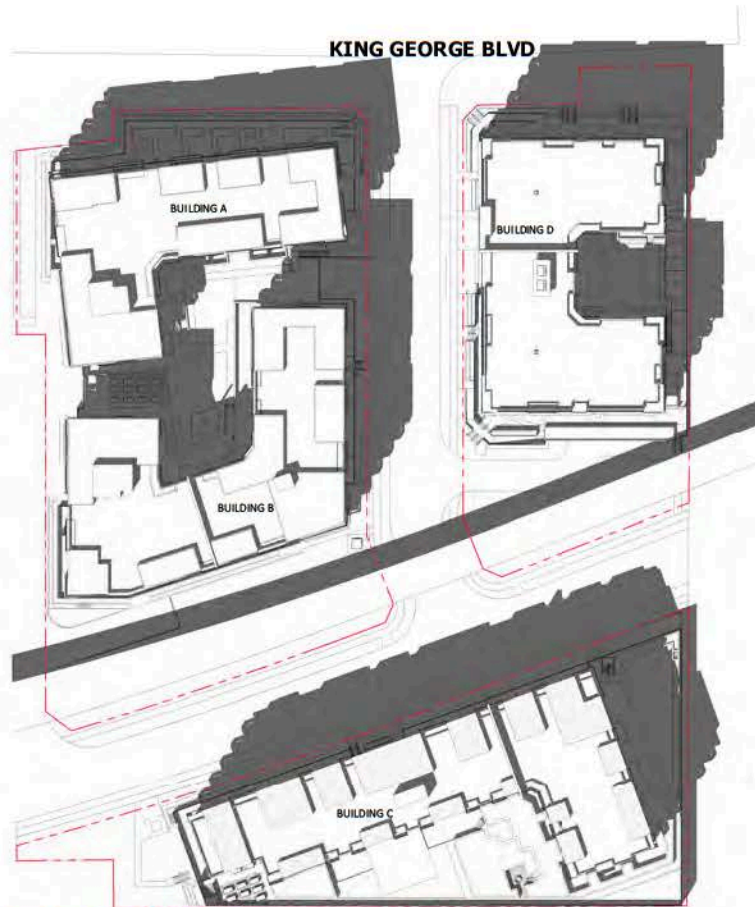
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STREETSCAPES  
SCALE: 1" = 30'-0"

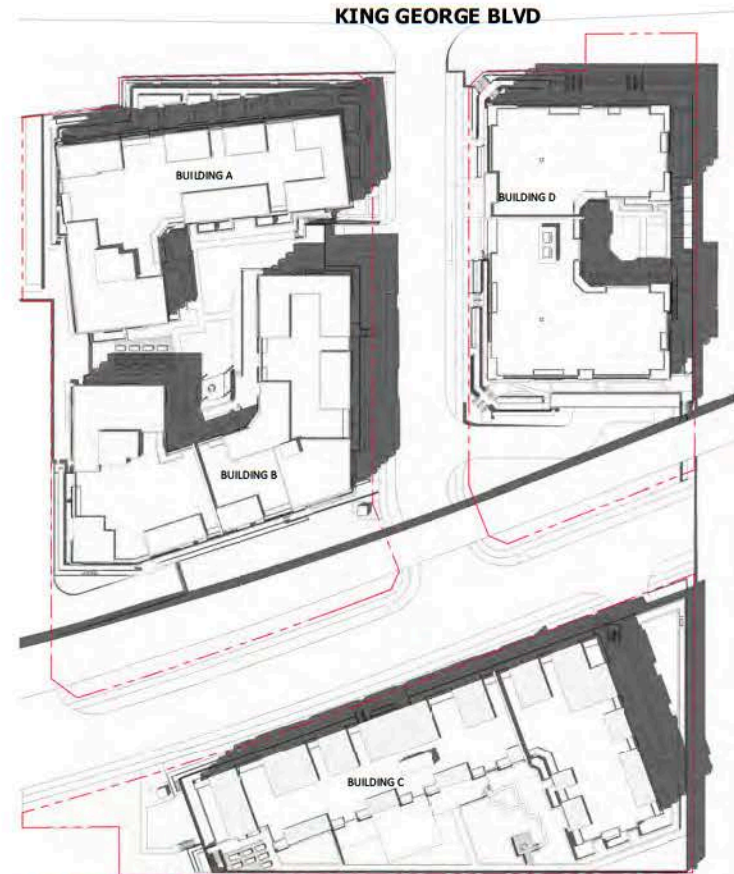
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PROJECT NUMBER: 17-153



SD2.11



March 20 - 3pm  
1" = 40'-0"



June 21 - 3pm  
1" = 40'-0"



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**SHADOW STUDY**  
SCALE: 1" = 40'-0"



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PROJECT NUMBER: 17-153



SD2.12



september 22 - 3pm  
1" = 40'-0"



december 21 - 3pm  
1" = 40'-0"



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**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**SHADOW STUDY**  
SCALE: 1" = 40'-0"



**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153

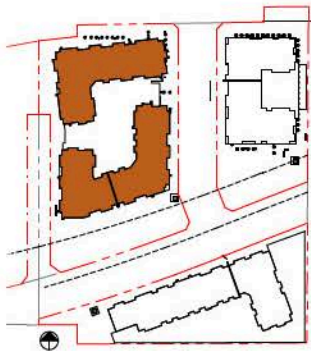


SD2.13

sheet schedule

building a&b

- S00.01.ab COVER PAGE - BUILDING A&B
- S01.10.ab PROJECT DATA
- S01.11.ab PROJECT DATA
- S01.12.ab PROJECT DATA
- S01.13.ab PROJECT DATA
- S01.14.ab PROJECT DATA
- S02.01.ab SITE PLAN-ENLARGED- BLDG A & B
- S02.10.ab BLDG A&B - P1 LEVEL - OVERALL
- S02.11.ab BLDG A - P1 LEVEL PLAN
- S02.12.ab BLDG B - P1 LEVEL PLAN
- S02.13.ab BLDG A&B - 1st LEVEL - OVERALL
- S02.14.ab BLDG A - 1st LEVEL PLAN
- S02.15.ab BLDG B - 1st LEVEL PLAN
- S02.16.ab BLDG A&B - 2nd LEVEL - OVERALL
- S02.17.ab BLDG A - 2nd LEVEL PLAN
- S02.18.ab BLDG B - 2nd LEVEL PLAN
- S02.19.ab BLDG A - 3rd LEVEL PLAN
- S02.20.ab BLDG B - 3rd LEVEL PLAN
- S02.21.ab BLDG A - 4th & 5th LEVEL PLAN
- S02.22.ab BLDG B - 4th & 5th LEVEL PLAN
- S02.23.ab BLDG A - ROOF LEVEL
- S02.24.ab BLDG B - ROOF LEVEL
- S02.25.ab BLDG B - ENLARGED PLANS
- S02.26.ab BLDG B - ENLARGED PLANS
- S02.27.ab BLDG B - ENLARGED PLANS
- S03.01.ab BUILDING A ELEVATIONS
- S03.02.ab BUILDING A ELEVATIONS
- S03.03.ab BUILDING B ELEVATIONS
- S03.04.ab BUILDING B ELEVATIONS
- S04.01.ab MATERIAL BOARD
- S05.01.ab BUILDING SECTIONS
- S05.02.ab BUILDING SECTIONS
- S05.03.ab ENLARGED SECTIONS
- S05.04.ab ENLARGED SECTIONS
- S05.05.ab ENLARGED SECTIONS
- S06.01.ab SITE LAYOUT PLAN- BUILDING A&B
- S06.02.ab SITE CODE PLAN- BUILDING A&B
- S07.01.ab SIGNAGE DETAILS



keyplan - bldg a&b

1" = 100'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**COVER PAGE - BUILDING A&B**  
SCALE: N.T.S

**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



**SD0.01ab**

0.1.1 project data - bldg a, b

<b>SITE GROSS AREA:</b>	248,551.40 S.F. (23,091.18 SM)		
<b>SITE A &amp; B NET AREA:</b>	88,074 SF (8,182 SM)		
<b>LOT COVERAGE (NET):</b>	BUILDING AREA/SITE BLDG A & B AREA = 68%		
<b>PROPOSED DENSITY:</b>	68,892.5 F. (Bldg A) + 109,906 s.f. (Bldg B) + 9,796 s.f. (P1 circulation etc.) - (2 x 1829.9 s.f. (bike storage)) = 184,864.2 SF (17,174.4 SM) / 88,074 SF (8,182 SM) = 2.10 FAR FOR SITE A/B		
<b>BUILDING FOOTPRINT:</b>	59,821 SF (5,558 SM)		
<b>BUILDING A:</b>			
<b>GROSS FLOOR AREA BLDG A (NOT INCLUDING PARKADE):</b>	68,882 SF (6,399 SM)		
<b>UNIT COUNT:</b>	103		
<b>PROPOSED BUILDING HEIGHT:</b>			
<b>1ST STOREY TO UPPERMOST FLOOR LEVEL -</b>	6 STOREY		
<b>1ST STOREY TO UPPERMOST ROOF -</b>	MAXIMUM - 18.0m (32.2.50), PROPOSED - 12.47m		
<b>ZONING BUILDING HEIGHT</b>	MAXIMUM - 25.0m (32.2.50), PROPOSED - 18.71m		
<b>FIRE ACCESS ROUTE TO UPPERMOST FLOOR LEVEL -</b>	PROPOSED - 20.25m		
<b>NUMBER OF STREETS:</b>	MAXIMUM - 20.0m (32.5.6(2)), PROPOSED - 17.89m		
<b>AVERAGE NATURAL GRADE:</b>	2.48 M		
<b>BCBC LOWEST AVERAGE GRADE:</b>	2.76m - (LESS OR EQUAL TO 2.0M BELOW 1ST STOREY)		
<b>PROPOSED SETBACKS:</b>	REFER TO SITE PLANS		
<b>BUILDING B:</b>			
<b>GROSS FLOOR AREA BLDG A (NOT INCLUDING PARKADE):</b>	109,906 SF (10,211 SM)		
<b>UNIT COUNT:</b>	136		
<b>PROPOSED BUILDING HEIGHT:</b>			
<b>1ST STOREY TO UPPERMOST FLOOR LEVEL -</b>	6 STOREY		
<b>1ST STOREY TO UPPERMOST ROOF -</b>	MAXIMUM - 18.0m (32.2.50), PROPOSED - 15.59m		
<b>ZONING BUILDING HEIGHT</b>	MAXIMUM - 25.0m (32.2.50), PROPOSED - 18.71m		
<b>FIRE ACCESS ROUTE TO UPPERMOST FLOOR LEVEL -</b>	PROPOSED - 23.04m		
<b>NUMBER OF STREETS:</b>	MAXIMUM - 20.0m (32.5.6(2)), PROPOSED - 17.42m		
<b>AVERAGE NATURAL GRADE:</b>	2.80m		
<b>BCBC LOWEST AVERAGE GRADE:</b>	3.07m - (LESS OR EQUAL TO 2.0M BELOW 1ST STOREY)		
<b>PROPOSED SETBACKS:</b>	REFER TO SITE PLANS		
<b>REQUIRED INDOOR AMENITY:</b>			
	BLDG A: 3 SM PER UNIT = 103 UNITS x 3 SM = 309 SM (3,326 SF)	PROVIDED: 817 SM (8,795 SF)	
	BLDG B: 3 SM PER UNIT = 136 UNITS x 3 SM = 408 SM (4,392 SF)	[SHARED BETWEEN BUILDING A & B]	
<b>REQUIRED OUTDOOR AMENITY:</b>			
	BLDG A: 3 SM PER UNIT = 103 UNITS x 3 SM = 309 SM (3,326 SF)	PROVIDED: 1,279 SM (13,763 SF)	
	BLDG B: 3 SM PER UNIT = 136 UNITS x 3 SM = 408 SM (4,392 SF)	[SHARED BETWEEN BUILDING A & B]	
<b>GARBAGE AND RECYCLING REQUIREMENTS:</b>			
	<b>TOTAL WASTE VOLUME COLLECTED PER WEEK = # OF UNITS * ESTIMATED WASTE VOLUME COLLECTED PER UNIT PER WEEK</b>		
MIXED CONTAINERS:	239 UNITS * 18.50 L/UNIT/WEEK	= 4,422 L/WEEK	
MIXED PAPERS & CARDBOARD:	239 UNITS * 42.90 L/UNIT/WEEK	= 10,253 L/WEEK	
GARBAGE:	239 UNITS * 53.00 L/UNIT/WEEK	= 12,667 L/WEEK	
GLASS:	239 UNITS * 2.10 L/UNIT/WEEK	= 502 L/WEEK	
ORGANICS:	239 UNITS * 14.00 L/UNIT/WEEK	= 3,346 L/WEEK	
TOTAL:	239 UNITS * 130.50 L/UNIT/WEEK	<b>= 31,190 L/WEEK</b>	
<b>BINS REQUIRED:</b>			
	SIZES: 360L CART (0.7 M * 0.6 M = 0.42 SM)		
	360L CART (0.9 M * 0.7 M = 0.63 SM)		
	3 CUBIC YARD / 2,294L BIN (2.1 M * 1.2 M = 2.52 SM)		
	4 CUBIC YARD / 3,058L BIN (2.1 M * 1.4 M = 2.94 SM)		
MIXED CONTAINERS:	4,422 L/WEEK	(2) 4 CUBIC YARD BIN	
MIXED PAPERS & CARDBOARD:	10,253 L/WEEK	(4) 4 CUBIC YARD BIN	
GARBAGE:	12,667 L/WEEK	(5) 4 CUBIC YARD BIN	
GLASS:	502 L/WEEK	(2) 360L CARTS	
ORGANICS:	3,346 L/WEEK	(10) 360L CARTS	
TOTAL:	31,190 L/WEEK	(11) 4 CUBIC YARD BINS & (12) 360L CARTS	
<b>BINS PROVIDED:</b>			
	<b>(11) 4 CUBIC YARD BINS &amp; (12) 360L CARTS</b>		

0.2.0 code summary - bldg a

<b>APPLICABLE BUILDING CODES: 2018 BCBC / 2018 BC FIRE CODE / ASHRAE 90.1-2016 / BC ENERGY STEP CODE 2</b>		
<b>BUILDING CODE COMPLIANCE/ALTERNATE SOLUTIONS REPORT:</b>		
<b>TITLE</b>	<b>VALUE</b>	<b>REFERENCE*</b>
<b>1. PART 3 OR PART 9 BUILDING:</b>	PART 3	DIV. A - PART 1 COMPLIANCE 1.3.3.2.
<b>2. MAJOR OCCUPANCY (IES):</b>	RESIDENTIAL/STORAGE GARAGE	3.1.2., & APPENDIX A - 3.1.2.1.(1)
<b>3. BUILDING CLASSIFICATION(S):</b>		
<b>3.1. STORAGE GARAGE:</b>		3.2.2.80
GROUP F, DIVISION 3, ANY HEIGHT, ANY AREA, FULLY SPRINKLERED (ACTUAL AREA 5,558 m <sup>2</sup> )		
NON-COMBUSTIBLE CONSTRUCTION		
FLOOR ASSEMBLIES: FIRE SEPARATIONS WITH A FIRE RESISTANCE RATING NOT LESS THAN 2 HR		
MEZZANINES: N/A		
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN 2 HR FIRE RESISTANCE RATING		
<b>3.2. RESIDENTIAL (LEVELS 1 TO 5):</b>		3.2.2.50
GROUP C, UP TO 6 STOREYS, SPRINKLERED (ACTUAL 5 STOREYS)		
< 18m BETWEEN FLOOR OF FIRST STOREY & UPPERMOST FLOOR LEVEL		
ALLOWABLE BUILDING AREA: < 1800m <sup>2</sup> (ACTUAL AREA: 15,976 SF ( 1,428 SM ) )		
COMBUSTIBLE CONSTRUCTION, EXCEPT NON-COMBUSTIBLE ROOF ASSEMBLIES > 25 m ABOVE 1ST STOREY FLOOR		
FLOOR ASSEMBLIES: 1 HR FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING		
ROOF ASSEMBLIES: 1 HR FIRE RESISTANCE RATING		
ROOF ASSEMBLIES: < 25 m FROM FLOOR OF FIRST STOREY TO HIGHEST POINT OF ROOF ASSEMBLY		
MEZZANINES: 1 HR FIRE RESISTANCE RATING		
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN REQUIRED FOR THE SUPPORTED ASSEMBLY		
<b>4. BUILDINGS WITH MULTIPLE MAJOR OCCUPANCIES:</b>	YES	3.2.2.4-3.2.2.8., 3.2.2.50.(5)
<b>5. NON-COMBUSTIBLE CLADDING:</b>	YES	3.1.4.8.(1)
<b>6. HIGH BUILDING:</b>	NA	
<b>7. FIREWALL:</b>	NO	
<b>8. MEZZANINE(S):</b>	NA	
<b>9. MEZZANINE EXITING:</b>	NA	
<b>10. INTERCONNECTED FLOOR SPACE:</b>	NA, STORAGE GARAGE EXEMPT	3.2.3.2.(3), 3.2.8., 3.1.3.1.(3), 3.2.8.2.(2)
<b>11. STORAGE GARAGE-HORIZONTAL FIRE SEPARATION:</b>	YES	3.2.1.2
<b>12. SPRINKLER SYSTEM:</b>	YES	3.2.2.18., 3.2.5.13.
<b>12.1. STORAGE GARAGE:</b>	YES - NFPA 13 - 2013	3.2.5.12.(1)
<b>12.2. RESIDENTIAL:</b>	YES - NFPA 13 - 2013	3.2.5.12.(1)
<b>12.3. FIRE EXTINGUISHERS:</b>	YES - NFPA 10 - 2013	BC FIRE CODE 2018
<b>13. STANDPIPE SYSTEM:</b>	YES - NFPA 14 - 2013	3.2.5.8., 3.2.5.9., 3.2.5.16.
<b>14. FIRE ALARM SYSTEM:</b>	YES - SINGLE STAGE - CAN/ULC-5524-14	3.2.4.1.(2)&(4)
<b>15. SMOKE CONTROL MEASURES:</b>	YES	3.1.8.12
<b>16. ANNUNCIATOR AND ZONE INDICATION:</b>	YES	3.2.4.9., 3.2.4.8.
<b>NOTES:</b>		
1. *UNLESS OTHERWISE NOTED, REFERENCE NUMBERS LISTED REFER TO THE BRITISH COLUMBIA BUILDING CODE 2018		



**0.2.0 code summary - bldg b**

APPLICABLE BUILDING CODES: 2018 BCBC/ 2018 BC FIRE CODE/ ASHRAE 90.1-2016/ BC ENERGY STEP CODE 2  
 BUILDING CODE COMPLIANCE/ALTERNATE SOLUTIONS REPORT:

TITLE	VALUE	REFERENCE*
1. PART 3 OR PART 9 BUILDING:	PART 3	DIV. A - PART 1 COMPLIANCE 1.3.3.2
2. MAJOR OCCUPANCY (IES):	RESIDENTIAL/STORAGE GARAGE	3.1.2, & APPENDIX A - 3.1.2.1(1)
<b>3. BUILDING CLASSIFICATION (S):</b>		
3.1. STORAGE GARAGE:		3.2.2.80
GROUP F, DIVISION 3, ANY HEIGHT, ANY AREA, FULLY SPRINKLERED (ACTUAL AREA 5,558 m <sup>2</sup> ) NON-COMBUSTIBLE CONSTRUCTION FLOOR ASSEMBLIES: FIRE SEPARATIONS WITH A FIRE RESISTANCE RATING NOT LESS THAN 2 HR MEZZANINES: N/A LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN 2 HR FIRE RESISTANCE RATING		
3.2. RESIDENTIAL (LEVELS 1 TO 6):		3.2.2.50
GROUP C, UP TO 6 STOREYS, SPRINKLERED (ACTUAL 5 STOREYS) < 18m BETWEEN FLOOR OF FIRST STOREY & UPPERMOST FLOOR LEVEL ALLOWABLE BUILDING AREA: < 1800m <sup>2</sup> (ACTUAL AREA 1,824m <sup>2</sup> ) 1.1.114 SF (1,039 SM) EAST OF 2 HR FIREWALL (3.1.10.2)(I) (MASONRY CONSTRUCTION) 8,521 SF (792.5M) WEST OF 2 HR FIREWALL (3.1.10.2)(II) (MASONRY CONSTRUCTION) COMBUSTIBLE CONSTRUCTION, EXCEPT NON-COMBUSTIBLE ROOF ASSEMBLIES >25 m ABOVE 1ST STOREY FLOOR FLOOR ASSEMBLIES: 1 HR FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING ROOF ASSEMBLIES: 1 HR FIRE RESISTANCE RATING ROOF ASSEMBLIES: < 25 m FROM FLOOR OF FIRST STOREY TO HIGHEST POINT OF ROOF ASSEMBLY MEZZANINES: 1 HR FIRE RESISTANCE RATING LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN REQUIRED FOR THE SUPPORTED ASSEMBLY		
		3.2.2.50(1) 3.2.2.50(1)(C) 3.2.2.50(1)(D)(V) 3.2.2.50(2)(EXCEPT (2)(C)) 3.2.2.50(2)(A) 3.2.2.50(2)(B) 3.2.2.50(2)(D) 3.2.2.50(2)(E)
4. BUILDINGS WITH MULTIPLE MAJOR OCCUPANCIES:	YES	3.2.2.4-3.2.2.8, 3.2.2.50(5)
5. NON-COMBUSTIBLE CLADDING:	YES	3.1.4.8.(1)
6. HIGH BUILDING:	NA	
7. FIREWALL:	YES	3.1.10.
8. MEZZANINE(S):	NA	
9. MEZZANINE EXITING:	NA	
10. INTERCONNECTED FLOOR SPACE:	NA, STORAGE GARAGE EXEMPT	3.2.3.2.(3), 3.2.8., 3.1.3.1.(3), 3.2.8.2.(2)
11. STORAGE GARAGE-HORIZONTAL FIRE SEPARATION:	YES	3.2.1.2.
12. SPRINKLER SYSTEM:	YES	3.2.2.18., 3.2.5.13.
12.1. STORAGE GARAGE:	YES - NFPA 13 - 2013	3.2.5.12.(1)
12.2. RESIDENTIAL:	YES - NFPA 13 - 2013	3.2.5.12.(1)
12.3. FIRE EXTINGUISHERS:	YES - NFPA 10 - 2013	BC FIRE CODE 2018
13. STANDPIPE SYSTEM:	YES - NFPA 14 - 2013	3.2.5.8., 3.2.5.9., 3.2.5.16.
14. FIRE ALARM SYSTEM:	YES - SINGLE STAGE - CAN/ULC-S524-14	3.2.4.1. (2)(4)
15. SMOKE CONTROL MEASURES:	YES	3.1.8.12
16. ANNUNCIATOR AND ZONE INDICATION:	YES	3.2.4.9., 3.2.4.8.

NOTES:

1. \*UNLESS OTHERWISE NOTED, REFERENCE NUMBERS LISTED REFER TO THE BRITISH COLUMBIA BUILDING CODE 2018



**KING GEORGE MIXED USE**  
 12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**PROJECT DATA**  
 SCALE: N.T.S.

**RE-ISSUED FOR DP**  
 2023-04-28 REVISION #:  
 CITY OF SURREY FILE #20-0188  
 PROJECT NUMBER: 17-153



**SD1.11ab**

**0.2.0 gross floor area summary notes**

1. THE TOTAL AREA OF ALL STOREYS IN ALL BUILDINGS ON A LOT MEASURED TO THE OUTSIDE OF THE EXTERIOR WALLS OF THE BUILDING
2. EXCLUSIONS: NONE

**0.2.1 gross floor area summary - bldg a**

LEVEL / AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
<b>BUILDING A</b>				
<b>1ST LEVEL</b>				
CIRCULATION	3819 SF	354.77 m <sup>2</sup>	4.6%	
RESIDENTIAL	6531 SF	606.74 m <sup>2</sup>	7.9%	
SERVICE	31 SF	2.92 m <sup>2</sup>	0.0%	
	<b>10881 SF</b>	<b>964.43 m<sup>2</sup></b>	<b>12.6%</b>	
<b>BLDG A&amp;B -2ND LEVEL</b>				
CIRCULATION	1916 SF	177.96 m <sup>2</sup>	2.3%	
RESIDENTIAL	13232 SF	1229.32 m <sup>2</sup>	16.0%	
SERVICE	32 SF	2.97 m <sup>2</sup>	0.0%	
	<b>15180 SF</b>	<b>1410.26 m<sup>2</sup></b>	<b>18.4%</b>	
<b>BLDG A&amp;B -3RD LEVEL</b>				
CIRCULATION	1676 SF	155.75 m <sup>2</sup>	2.0%	
RESIDENTIAL	12732 SF	1182.82 m <sup>2</sup>	15.4%	
SERVICE	32 SF	2.97 m <sup>2</sup>	0.0%	
	<b>14440 SF</b>	<b>1341.55 m<sup>2</sup></b>	<b>17.5%</b>	
<b>BLDG A&amp;B -4TH LEVEL</b>				
CIRCULATION	1676 SF	155.75 m <sup>2</sup>	2.0%	
RESIDENTIAL	12732 SF	1182.82 m <sup>2</sup>	15.4%	
SERVICE	32 SF	2.97 m <sup>2</sup>	0.0%	
	<b>14440 SF</b>	<b>1341.55 m<sup>2</sup></b>	<b>17.5%</b>	
<b>BLDG A&amp;B -5TH LEVEL</b>				
CIRCULATION	1676 SF	155.75 m <sup>2</sup>	2.0%	
RESIDENTIAL	12732 SF	1182.82 m <sup>2</sup>	15.4%	
SERVICE	32 SF	2.97 m <sup>2</sup>	0.0%	
	<b>14440 SF</b>	<b>1341.55 m<sup>2</sup></b>	<b>17.5%</b>	
<b>BUILDING A &amp; B</b>				
<b>BLDG A&amp;B -2ND LEVEL</b>				
OUTDOOR AMENITY	13763 SF	1278.64 m <sup>2</sup>	16.7%	
	<b>13763 SF</b>	<b>1278.64 m<sup>2</sup></b>	<b>16.7%</b>	
<b>AREA GRAND TOTAL</b>	<b>82645 SF</b>	<b>7677.96 m<sup>2</sup></b>	<b>100.0%</b>	

**0.2.1 gross floor area summary - parkade bldg a and b**

LEVEL / AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
<b>PARKADE A &amp; B</b>				
<b>1ST LEVEL</b>				
PARKADE	25863 SF	2402.78 m <sup>2</sup>	31.0%	
	<b>25863 SF</b>	<b>2402.78 m<sup>2</sup></b>	<b>31.0%</b>	
<b>P1 LEVEL</b>				
CIRCULATION	5118 SF	475.51 m <sup>2</sup>	6.1%	
PARKADE	47740 SF	4435.20 m <sup>2</sup>	57.3%	
STORAGE	4618 SF	429.02 m <sup>2</sup>	5.5%	
	<b>57476 SF</b>	<b>5339.73 m<sup>2</sup></b>	<b>69.0%</b>	
<b>AREA GRAND TOTAL</b>	<b>83340 SF</b>	<b>7742.51 m<sup>2</sup></b>	<b>100.0%</b>	

**0.2.1 gross floor area summary - bldg b**

LEVEL / AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
<b>BUILDING B</b>				
<b>1ST LEVEL</b>				
CIRCULATION	4678 SF	434.58 m <sup>2</sup>	4.3%	
RESIDENTIAL	8075 SF	750.15 m <sup>2</sup>	7.3%	
SERVICE	455 SF	42.29 m <sup>2</sup>	0.4%	
STORAGE	178 SF	16.53 m <sup>2</sup>	0.2%	
	<b>13385 SF</b>	<b>1243.55 m<sup>2</sup></b>	<b>12.2%</b>	
<b>BLDG A&amp;B -2ND LEVEL</b>				
CIRCULATION	2344 SF	217.72 m <sup>2</sup>	2.1%	
INDOOR AMENITY	8795 SF	817.05 m <sup>2</sup>	8.0%	
RESIDENTIAL	8092 SF	751.75 m <sup>2</sup>	7.4%	
SERVICE	75 SF	6.95 m <sup>2</sup>	0.1%	
	<b>19305 SF</b>	<b>1793.47 m<sup>2</sup></b>	<b>17.6%</b>	
<b>BLDG A&amp;B -3RD LEVEL</b>				
CIRCULATION	2301 SF	213.80 m <sup>2</sup>	2.1%	
RESIDENTIAL	16928 SF	1572.65 m <sup>2</sup>	15.4%	
SERVICE	75 SF	6.95 m <sup>2</sup>	0.1%	
	<b>19304 SF</b>	<b>1793.40 m<sup>2</sup></b>	<b>17.6%</b>	
<b>BLDG A&amp;B -4TH LEVEL</b>				
CIRCULATION	2301 SF	213.80 m <sup>2</sup>	2.1%	
RESIDENTIAL	16928 SF	1572.65 m <sup>2</sup>	15.4%	
SERVICE	75 SF	6.95 m <sup>2</sup>	0.1%	
	<b>19304 SF</b>	<b>1793.40 m<sup>2</sup></b>	<b>17.6%</b>	
<b>BLDG A&amp;B -5TH LEVEL</b>				
CIRCULATION	2301 SF	213.80 m <sup>2</sup>	2.1%	
RESIDENTIAL	16928 SF	1572.65 m <sup>2</sup>	15.4%	
SERVICE	75 SF	6.95 m <sup>2</sup>	0.1%	
	<b>19304 SF</b>	<b>1793.40 m<sup>2</sup></b>	<b>17.6%</b>	
<b>BLDG A&amp;B -6TH LEVEL</b>				
CIRCULATION	2301 SF	213.80 m <sup>2</sup>	2.1%	
RESIDENTIAL	16928 SF	1572.65 m <sup>2</sup>	15.4%	
SERVICE	75 SF	6.95 m <sup>2</sup>	0.1%	
	<b>19304 SF</b>	<b>1793.40 m<sup>2</sup></b>	<b>17.6%</b>	
<b>AREA GRAND TOTAL</b>	<b>109906 SF</b>	<b>10210.62 m<sup>2</sup></b>	<b>100.0%</b>	



**0.4.0 unit floor area summary notes**

- ALL UNIT AREAS ARE MEASURED TO THE FOLLOWING: A) EXTERIOR WALL: EXTERIOR SIDE OF SHEATHING. B) PARTY WALL: CENTER OF WALL. C) CORRIDOR/STAIR/ELEVATOR WALL: FULL THICKNESS OF WALL.
- AREAS GIVEN ON DRAWINGS AND IN SCHEDULES ARE NOT TO BE CONSIDERED LEGAL STRATA AREAS. CONFIRM STRATA AREAS BY SURVEY ON SITE.

**0.3.0 unit count summary - bldg a**

UNIT TYPE	UNIT COUNT	UNIT TYPE %
<b>BUILDING A</b>		
1 BED	73	70.9%
1 BED + DEN	26	25.2%
2 BED	4	3.9%
<b>TOTAL UNITS: 103</b>		<b>100.0%</b>

**0.3.0 unit count summary - bldg b**

UNIT TYPE	UNIT COUNT	UNIT TYPE %
<b>BUILDING B</b>		
1 BED	87	64.0%
1 BED + DEN	16	11.8%
2 BED	28	20.6%
2 BED + DEN	5	3.7%
<b>TOTAL UNITS: 136</b>		<b>100.0%</b>

**0.4.1 unit floor area summary - bldg a**

UNIT	UNIT TYPE	COUNT	UNIT AREA SF (1 SF)	UNIT AREA m <sup>2</sup> (1 m <sup>2</sup> )	TOTAL UNIT AREA SF	TOTAL UNIT AREA m <sup>2</sup>
UNIT B	1 BED	32	513 SF	48 m <sup>2</sup>	16413 SF	1524.86 m <sup>2</sup>
UNIT B	1 BED	3	514 SF	48 m <sup>2</sup>	1542 SF	143.25 m <sup>2</sup>
UNIT B	1 BED	1	524 SF	49 m <sup>2</sup>	524 SF	48.67 m <sup>2</sup>
UNIT B1a	1 BED	4	650 SF	60 m <sup>2</sup>	2602 SF	241.73 m <sup>2</sup>
UNIT B2a	1 BED	5	497 SF	46 m <sup>2</sup>	2484 SF	230.73 m <sup>2</sup>
UNIT B3a	1 BED	2	635 SF	59 m <sup>2</sup>	1270 SF	117.96 m <sup>2</sup>
UNIT B4a	1 BED	3	572 SF	53 m <sup>2</sup>	1716 SF	159.42 m <sup>2</sup>
UNIT B5	1 BED	4	569 SF	53 m <sup>2</sup>	2276 SF	211.48 m <sup>2</sup>
UNIT B5	1 BED	3	573 SF	53 m <sup>2</sup>	1720 SF	159.80 m <sup>2</sup>
UNIT B5	1 BED	4	578 SF	54 m <sup>2</sup>	2313 SF	214.84 m <sup>2</sup>
UNIT B6	1 BED	7	532 SF	49 m <sup>2</sup>	3725 SF	346.04 m <sup>2</sup>
UNIT B6	1 BED	1	534 SF	50 m <sup>2</sup>	534 SF	49.65 m <sup>2</sup>
UNIT B6	1 BED	1	541 SF	50 m <sup>2</sup>	541 SF	50.29 m <sup>2</sup>
UNIT B7a	1 BED	1	559 SF	52 m <sup>2</sup>	559 SF	51.92 m <sup>2</sup>
UNIT B8a	1 BED	1	635 SF	59 m <sup>2</sup>	635 SF	58.98 m <sup>2</sup>
UNIT B10a	1 BED	1	512 SF	48 m <sup>2</sup>	512 SF	47.56 m <sup>2</sup>
UNIT C1a	1 BED + DEN	4	519 SF	48 m <sup>2</sup>	2075 SF	192.81 m <sup>2</sup>
UNIT C2a	1 BED + DEN	4	556 SF	52 m <sup>2</sup>	2222 SF	206.47 m <sup>2</sup>
UNIT C3a	1 BED + DEN	2	747 SF	69 m <sup>2</sup>	1494 SF	138.81 m <sup>2</sup>
UNIT C4a	1 BED + DEN	8	593 SF	55 m <sup>2</sup>	4745 SF	440.86 m <sup>2</sup>
UNIT C4a	1 BED + DEN	2	594 SF	55 m <sup>2</sup>	1188 SF	110.39 m <sup>2</sup>
UNIT C5a	1 BED + DEN	4	651 SF	60 m <sup>2</sup>	2604 SF	241.95 m <sup>2</sup>
UNIT C7a	1 BED + DEN	1	690 SF	64 m <sup>2</sup>	690 SF	64.12 m <sup>2</sup>
UNIT C7a	1 BED + DEN	1	693 SF	64 m <sup>2</sup>	693 SF	64.41 m <sup>2</sup>
UNIT D1a	2 BED	3	738 SF	69 m <sup>2</sup>	2214 SF	205.71 m <sup>2</sup>
UNIT D2a	2 BED	1	667 SF	62 m <sup>2</sup>	667 SF	61.95 m <sup>2</sup>
<b>UNIT TOTALS: 103</b>					<b>57960 SF</b>	<b>5384.62 m<sup>2</sup></b>

**0.4.1 unit floor area summary - bldg b**

UNIT	UNIT TYPE	COUNT	UNIT AREA SF (1 SF)	UNIT AREA m <sup>2</sup> (1 m <sup>2</sup> )	TOTAL UNIT AREA SF	TOTAL UNIT AREA m <sup>2</sup>
UNIT B	1 BED	1	510 SF	47 m <sup>2</sup>	510 SF	47.38 m <sup>2</sup>
UNIT B	1 BED	6	511 SF	47 m <sup>2</sup>	3065 SF	284.72 m <sup>2</sup>
UNIT B	1 BED	42	513 SF	48 m <sup>2</sup>	21536 SF	2000.77 m <sup>2</sup>
UNIT B	1 BED	1	515 SF	48 m <sup>2</sup>	515 SF	47.88 m <sup>2</sup>
UNIT B	1 BED	4	517 SF	48 m <sup>2</sup>	2069 SF	192.22 m <sup>2</sup>
UNIT B	1 BED	2	518 SF	48 m <sup>2</sup>	1036 SF	96.22 m <sup>2</sup>
UNIT B	1 BED	3	520 SF	48 m <sup>2</sup>	1560 SF	144.89 m <sup>2</sup>
UNIT B8	1 BED	7	512 SF	48 m <sup>2</sup>	3581 SF	332.68 m <sup>2</sup>
UNIT B8	1 BED	5	515 SF	48 m <sup>2</sup>	2574 SF	239.09 m <sup>2</sup>
UNIT B8	1 BED	4	569 SF	53 m <sup>2</sup>	2275 SF	211.32 m <sup>2</sup>
UNIT B8	1 BED	4	572 SF	53 m <sup>2</sup>	2289 SF	212.62 m <sup>2</sup>
UNIT B6	1 BED	8	532 SF	49 m <sup>2</sup>	4257 SF	395.49 m <sup>2</sup>
UNIT C1	1 BED + DEN	4	663 SF	62 m <sup>2</sup>	2651 SF	246.27 m <sup>2</sup>
UNIT C1b	1 BED + DEN	4	682 SF	63 m <sup>2</sup>	2730 SF	253.60 m <sup>2</sup>
UNIT C2b	1 BED + DEN	3	619 SF	58 m <sup>2</sup>	1858 SF	172.65 m <sup>2</sup>
UNIT C2b	1 BED + DEN	1	620 SF	58 m <sup>2</sup>	620 SF	57.56 m <sup>2</sup>
UNIT C3b	1 BED + DEN	4	713 SF	66 m <sup>2</sup>	2853 SF	265.01 m <sup>2</sup>
UNIT D	2 BED	4	770 SF	72 m <sup>2</sup>	3080 SF	286.17 m <sup>2</sup>
UNIT D	2 BED	4	779 SF	72 m <sup>2</sup>	3117 SF	289.56 m <sup>2</sup>
UNIT D1b	2 BED	4	790 SF	73 m <sup>2</sup>	3160 SF	293.61 m <sup>2</sup>
UNIT D2b	2 BED	4	902 SF	84 m <sup>2</sup>	3609 SF	335.26 m <sup>2</sup>
UNIT D3b	2 BED	1	778 SF	72 m <sup>2</sup>	778 SF	72.25 m <sup>2</sup>
UNIT D3b	2 BED	4	779 SF	72 m <sup>2</sup>	3116 SF	289.49 m <sup>2</sup>
UNIT D3b	2 BED	1	902 SF	84 m <sup>2</sup>	902 SF	83.82 m <sup>2</sup>
UNIT D4b	2 BED	4	765 SF	71 m <sup>2</sup>	3061 SF	284.37 m <sup>2</sup>
UNIT D4b	2 BED	1	779 SF	72 m <sup>2</sup>	779 SF	72.37 m <sup>2</sup>
UNIT D5b	2 BED	1	767 SF	71 m <sup>2</sup>	767 SF	71.22 m <sup>2</sup>
UNIT E2	2 BED + DEN	1	1122 SF	104 m <sup>2</sup>	1122 SF	104.25 m <sup>2</sup>
UNIT E2	2 BED + DEN	4	898 SF	83 m <sup>2</sup>	3590 SF	333.53 m <sup>2</sup>
<b>UNIT TOTALS: 136</b>					<b>83057 SF</b>	<b>7716.27 m<sup>2</sup></b>





**0.5.0 parking requirements - bldg. a&b**

	UNITS / AREA	CURRENT FACTOR	REQUIRED STALLS	PROPOSED FACTOR	PROVIDED STALLS
TENANT (ALL UNIT TYPES)	239 UNITS	*0.8	(191.2) 191 STALLS	*0.8	191 STALLS
VISITOR	239 UNITS	*0.1	(23.9) 24 STALLS	*0.1	24 STALLS
<b>TOTAL STALLS</b>			<b>215 STALLS</b>		<b>215 STALLS</b>
<b>PARKING PROVIDED</b>					
TENANT	ACCESSIBLE	IF THE NUMBER OF REQUIRED PARKING SPACES IS GREATER THAN 12, A MINIMUM OF 2% OF THE REQUIRED PARKING SPACES SHALL BE HANDICAPPED PARKING SPACES.	-	3% OF REQUIRED PARKING SPACES	5 STALLS
	VAN-ACCESSIBLE	WHERE ACCESSIBLE PARKING SPACES ARE REQUIRED, 50% OF ACCESSIBLE PARKING SPACES MUST BE PROVIDED AS VAN-ACCESSIBLE PARKING SPACES;	-	67% OF REQUIRED ACCESSIBLE PARKING SPACES	4 STALLS
	SMALL CAR	A MAXIMUM OF 35% OF THE TOTAL PARKING SPACES REQUIRED MAY BE DESIGNATED AS SMALL CAR PARKING SPACES.	-	25%	54 STALLS
	ELECTRIC VEHICLE CHARGE INFRASTRUCTURE	100% RESIDENTIAL PARKING SPACES TO HAVE AN ENERGIZED ELECTRICAL OUTLET CAPABLE OF PROVIDING LEVEL 2, OR HIGHER LEVEL OF ELECTRIC VEHICLE CHARGING.	-	100%	100%
	PARALLEL	-	-	-	2 STALLS
	STANDARD SIZE	-	-	-	132 STALLS
					<b>191 STALLS</b>
VISITOR	ACCESSIBLE	IF THE NUMBER OF REQUIRED PARKING SPACES IS GREATER THAN 12, A MINIMUM OF 2% OF THE REQUIRED PARKING SPACES SHALL BE HANDICAPPED PARKING SPACES.	-	2% OF REQUIRED PARKING SPACES	1 STALL
	VAN-ACCESSIBLE	WHERE ACCESSIBLE PARKING SPACES ARE REQUIRED, 50% OF ACCESSIBLE PARKING SPACES MUST BE PROVIDED AS VAN-ACCESSIBLE PARKING SPACES;	-	100% OF ACCESSIBLE PARKING SPACES	1 STALL
	SMALL CAR	A MAXIMUM OF 35% OF THE TOTAL PARKING SPACES REQUIRED MAY BE DESIGNATED AS SMALL CAR PARKING SPACES.	-	5%	11 STALLS
	ELECTRIC VEHICLE CHARGE INFRASTRUCTURE	50% VISITOR PARKING SPACES TO HAVE AN ENERGIZED ELECTRICAL OUTLET CAPABLE OF PROVIDING LEVEL 2, OR HIGHER LEVEL OF ELECTRIC VEHICLE CHARGING.	-	50%	50%
	STANDARD SIZE	-	-	-	12 STALLS
					<b>24 STALLS</b>
<b>TOTAL STALLS</b>			<b>215 STALLS</b>		<b>215 STALLS</b>
<b>BIKE PARKING STALL DATA</b>					
	UNITS / BLDG	FACTOR	REQUIRED	PROPOSED FACTOR	PROVIDED
TENANT (UNIT)	239	*1.2 SPACES PER UNIT	(286.8) 287	*1.2	287 STALLS + 1 EXTRA STALL = 288
VISITOR (BLDG)	SURFACE BIKE STALL 2	6 SPACES PER BUILDING	12	6 SPACES PER BUILDING	12 STALLS
<b>TOTAL STALLS</b>			<b>299 STALLS</b>		<b>300 STALLS</b>

**0.5.1 vehicle parking stall summary - bldg a, b**

PARKING STALL USER/TYPE	PARKING STALL COUNT	% BY STALL USER	% OF OVERALL	LEVEL	COMMENTS
<b>BUILDING A, B</b>					
<b>RESIDENT</b>					
ACCESSIBLE	2	1%	0.9%	1ST LEVEL	
ACCESSIBLE-VAN	3	2%	1.4%	1ST LEVEL	
PARALLEL	2	1%	0.9%	P1 LEVEL	
SMALL CAR	4	2%	1.9%	1ST LEVEL	
SMALL CAR	50	26%	23.3%	P1 LEVEL	
STANDARD	63	33%	29.3%	1ST LEVEL	
STANDARD	67	35%	31.2%	P1 LEVEL	
<b>RESIDENT: 191</b>		<b>100%</b>	<b>88.8%</b>		
<b>VISITOR</b>					
ACCESSIBLE-VAN	1	4%	0.5%	P1 LEVEL	
SMALL CAR	11	46%	5.1%	P1 LEVEL	
STANDARD	12	50%	5.6%	P1 LEVEL	
<b>VISITOR: 24</b>		<b>100%</b>	<b>11.2%</b>		
<b>BUILDING A, B</b>			<b>100.0%</b>		
<b>TOTAL PARKING STALLS: 215</b>			<b>100.0%</b>		

**0.5.2 bike parking stall summary - bldg a, b**

PARKING STALL USER/TYPE	PARKING STALL COUNT	PARKING STALL %	LEVEL	COMMENTS
<b>BUILDING A &amp; B</b>				
<b>RESIDENT</b>				
BIKE - DBLSIDED FLOOR RACK	80	26.7%	P1 LEVEL	
BIKE - SGL WALL MOUNTED RACK	8	2.7%	1ST LEVEL	
BIKE - SGL WALL MOUNTED RACK	200	66.7%	P1 LEVEL	
<b>RESIDENT: 288</b>				
<b>VISITOR</b>				
SURFACE MOUNT BIKE STALL	12	4.0%	1ST LEVEL	
<b>VISITOR: 12</b>		<b>100.0%</b>		
<b>TOTAL PARKING STALLS: 300</b>		<b>100.0%</b>		



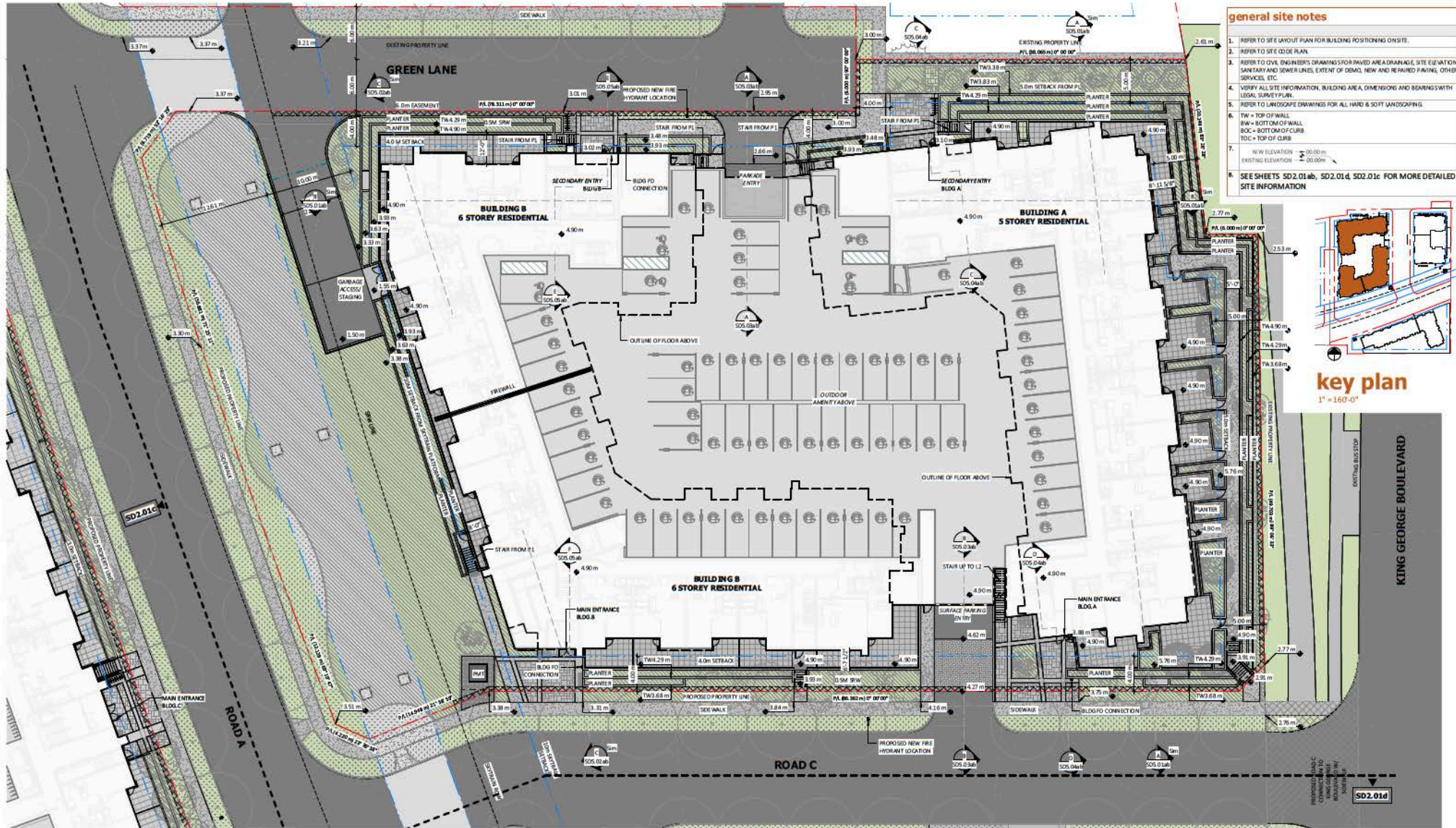
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12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**PROJECT DATA**  
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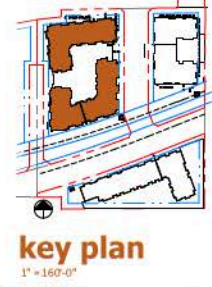
**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



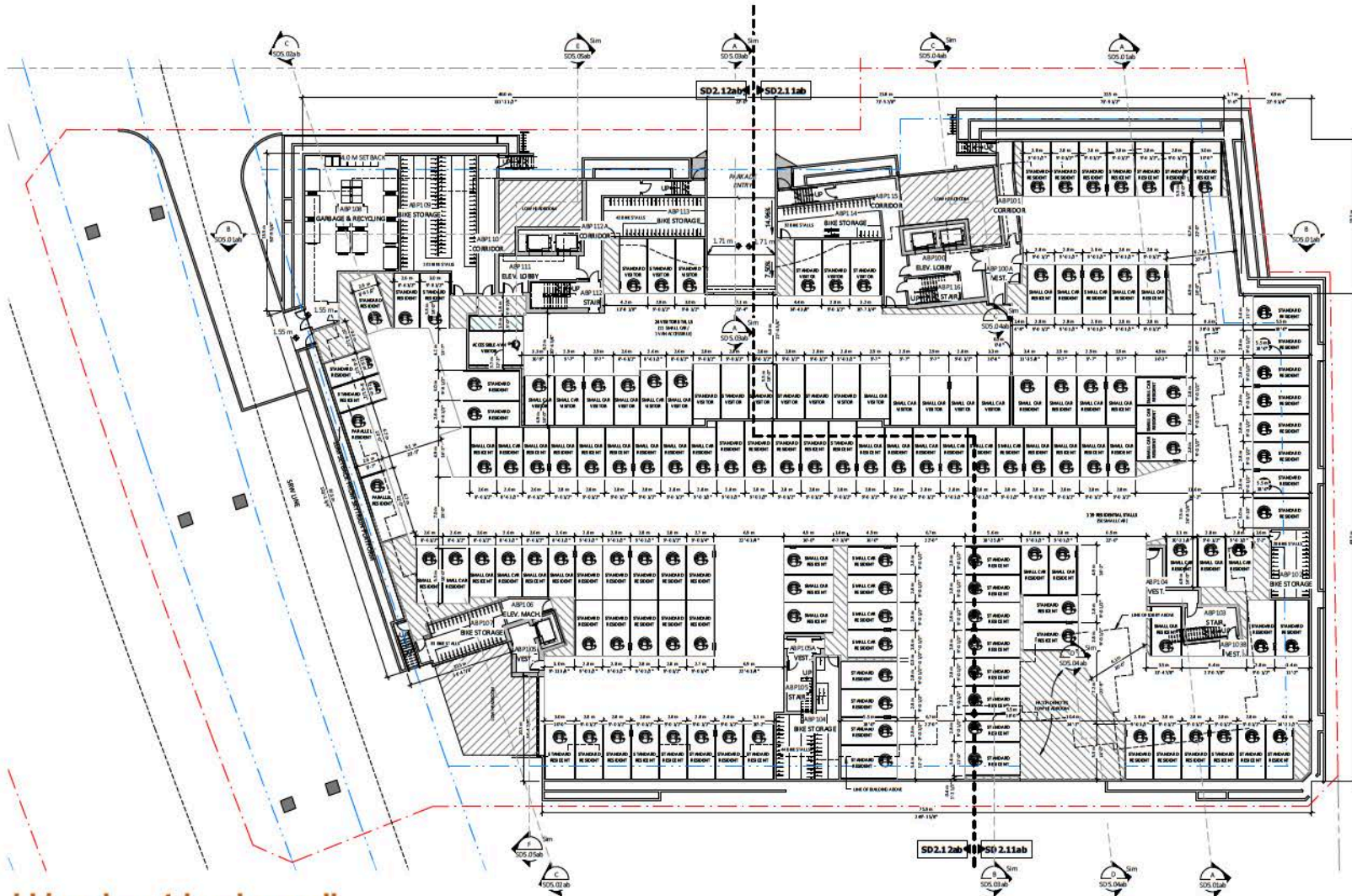
**SD1.14ab**



- general site notes**
1. REFER TO SITE LAYOUT PLAN FOR BUILDING POSITIONING ON SITE.
  2. REFER TO SITE CD/DC PLAN.
  3. REFER TO CIVIL ENGINEER'S DRAWINGS FOR PAVED AREA DRAINAGE, SITE ELEVATIONS, SANITARY AND SEWER LINES, EXTENT OF DEMO, NEW AND REPAIRED PAVING, OTHER SERVICES, ETC.
  4. VERIFY ALL SITE INFORMATION, BUILDING AREA, DIMENSIONS AND BEARINGS WITH LEGAL SURVEY PLAN.
  5. REFER TO LANDSCAPE DRAWINGS FOR ALL HARD & SOFT LANDSCAPING.
  6. TW = TOP OF WALL  
BW = BOTTOM OF WALL  
BOC = BOTTOM OF CURB  
TOC = TOP OF CURB
  7. NEW ELEVATION = 20.00m  
EXISTING ELEVATION = 20.00m
  8. SEE SHEETS SD2.01ab, SD2.01d, SD2.01c FOR MORE DETAILED SITE INFORMATION



**site plan - bldg. a & b**  
1/16" = 1'-0"



key plan  
1" = 150'-0"

**bldg a-b - p1 level overall**  
1/16" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

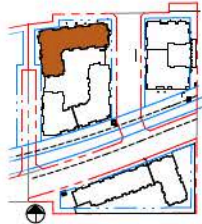
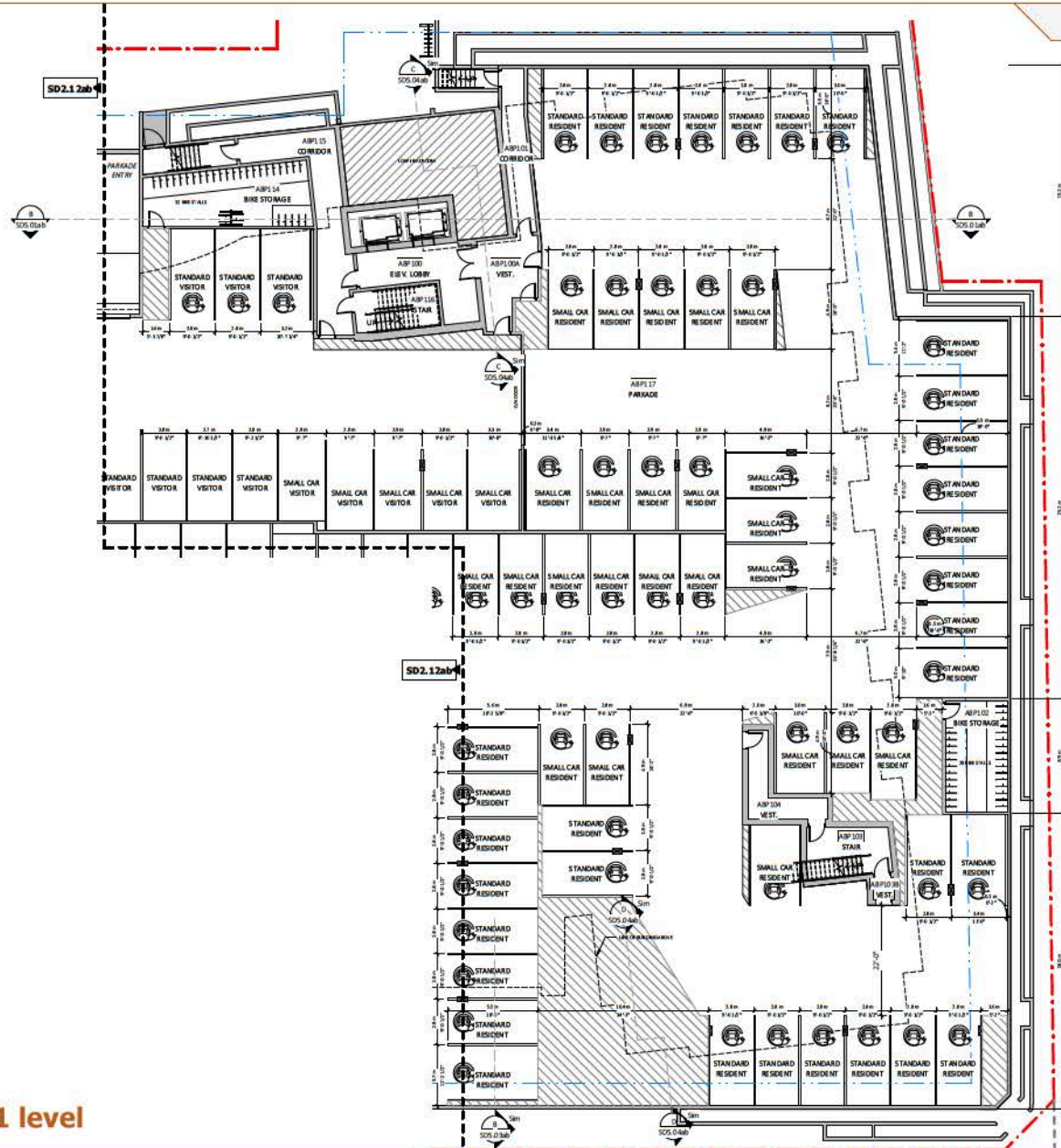
**BLDG A&B - P1 LEVEL - OVERALL**  
SCALE: As indicated



**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



**SD2.10ab**



key plan  
1" = 160'-0"

**bldg a - p1 level**  
3/32" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

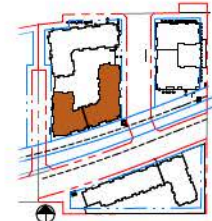
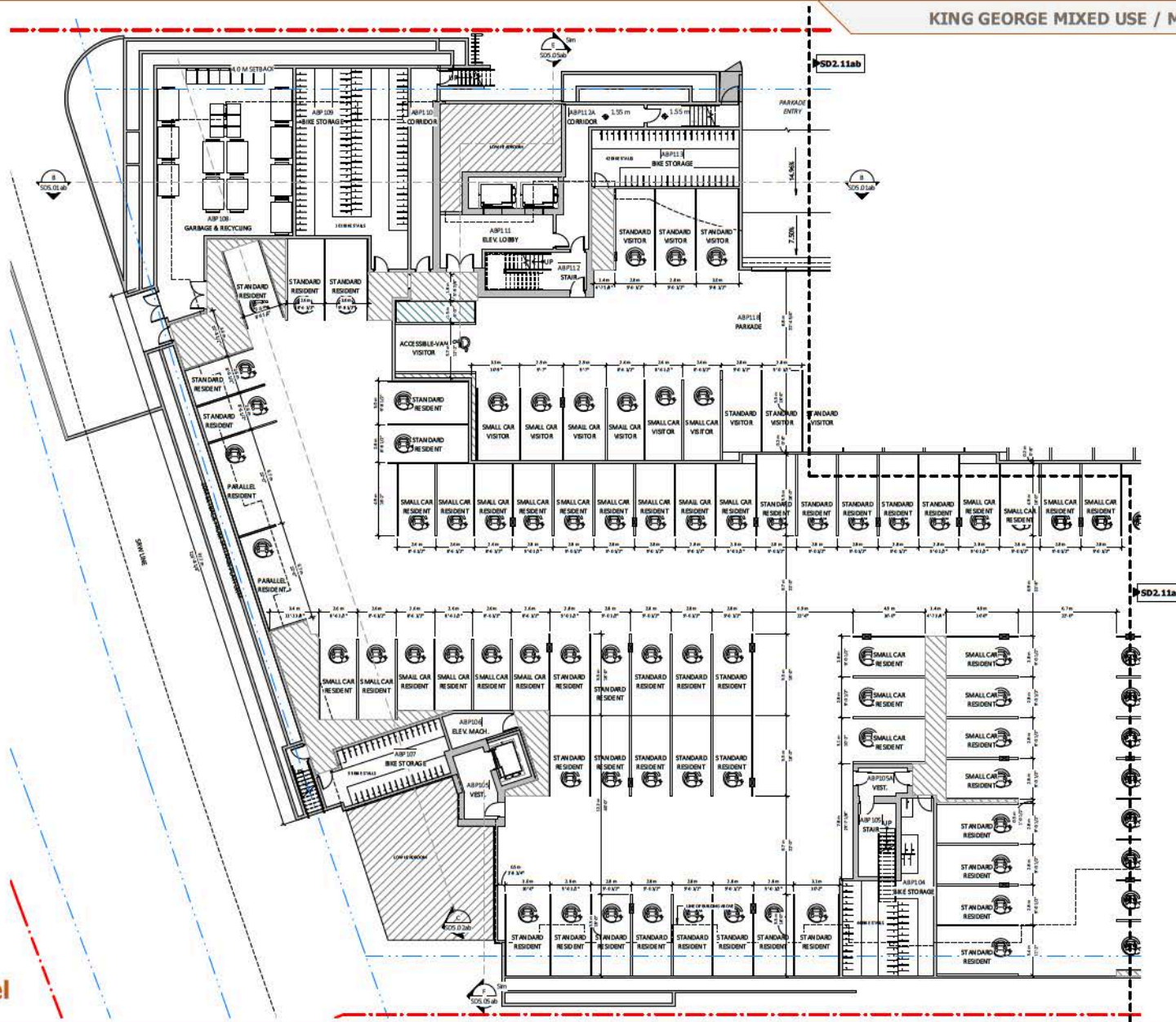
**BLDG A - P1 LEVEL PLAN**  
SCALE: As indicated



**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153

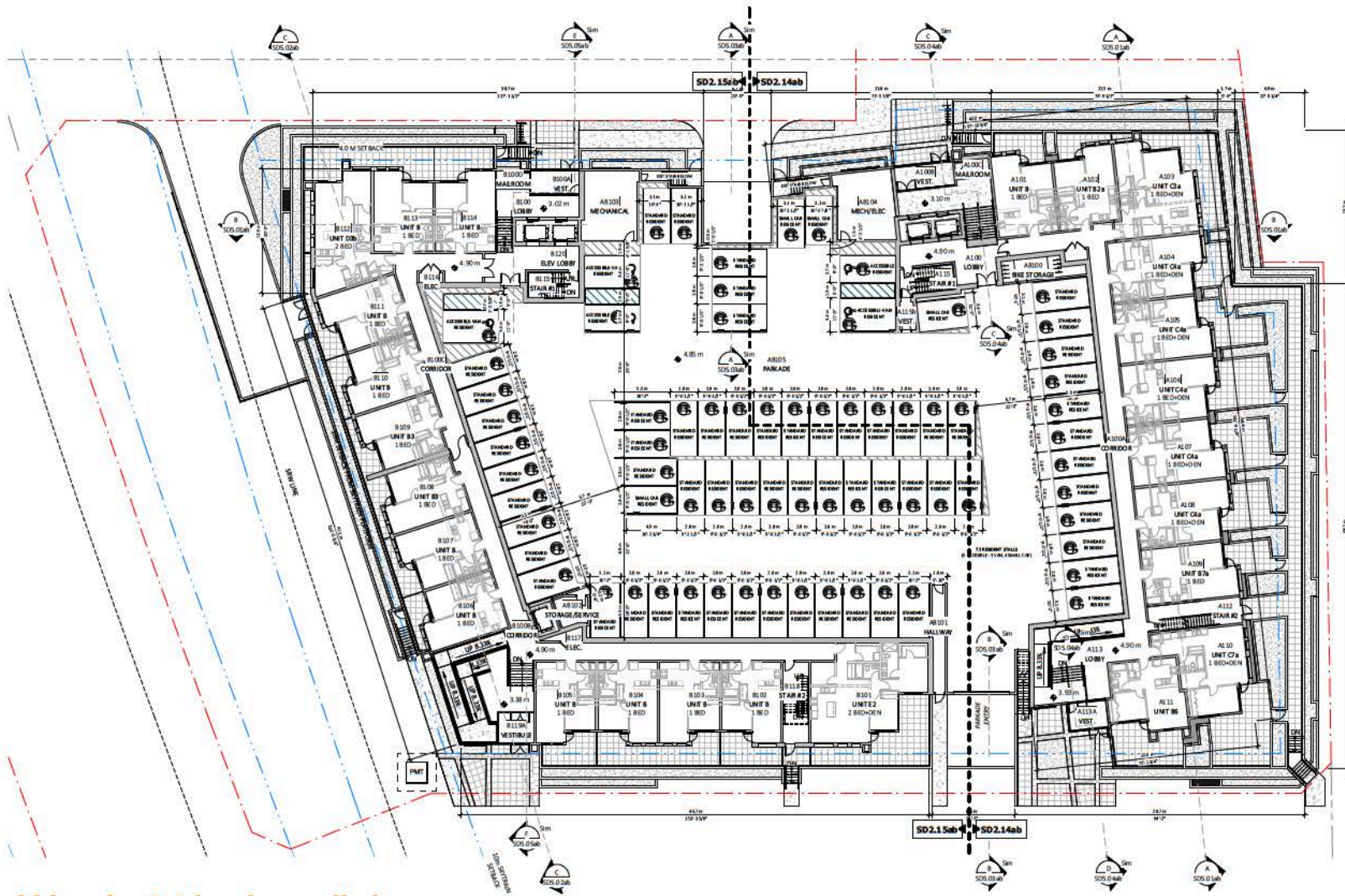


**SD2.11ab**



key plan  
1" = 160'-0"

bldg b - p1 level  
3/32" = 1'-0"



key plan  
1" = 100'-0"

**bldg a-b - 1st level overall plan**  
1/16" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

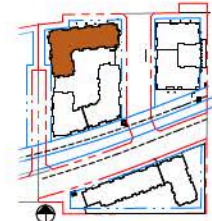
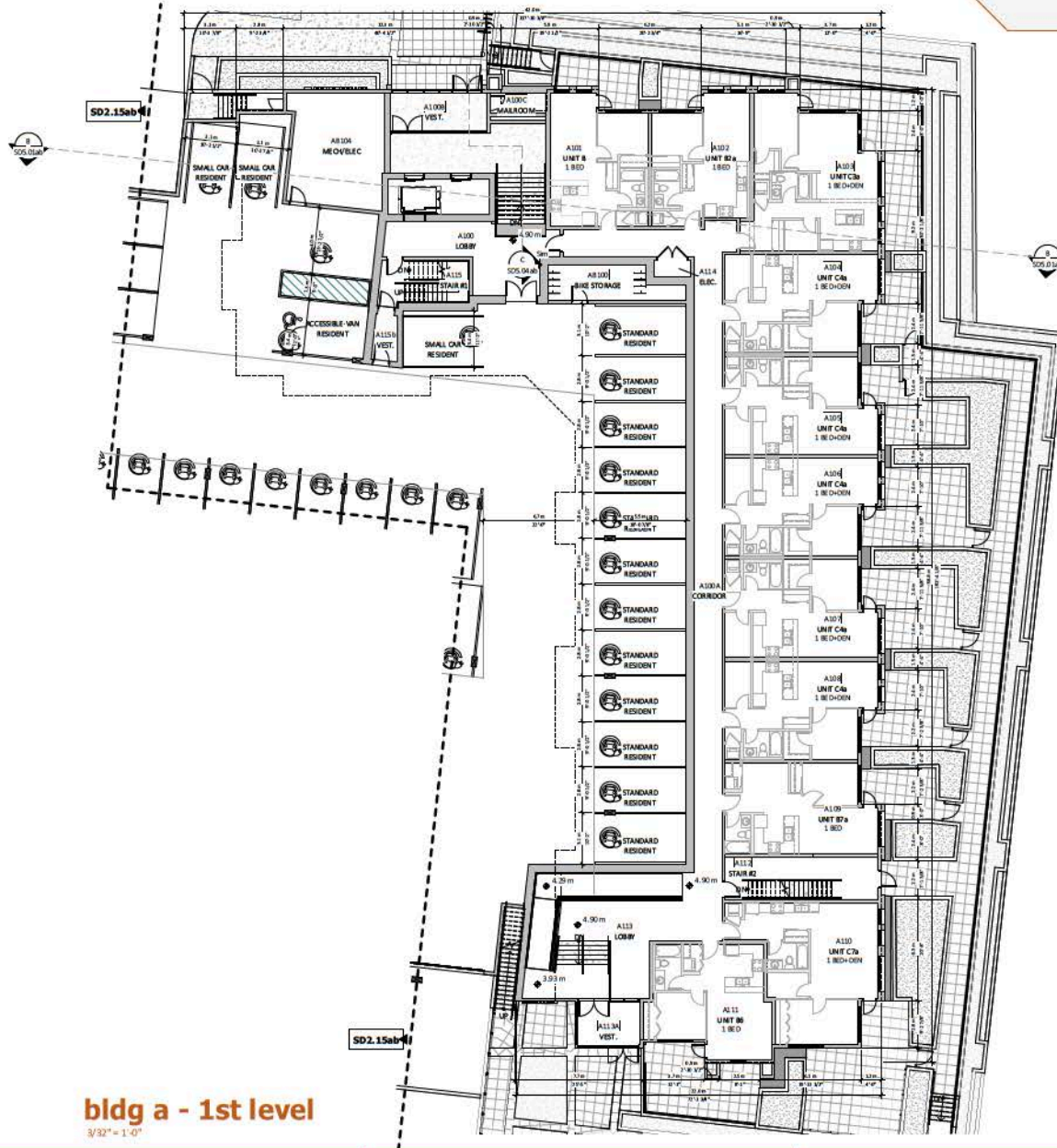
**BLDG A&B - 1st LEVEL - OVERALL**  
SCALE: As indicated



**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE # 20-0188  
PROJECT NUMBER: 17-153

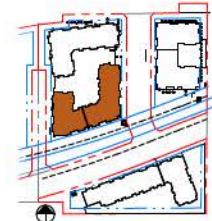
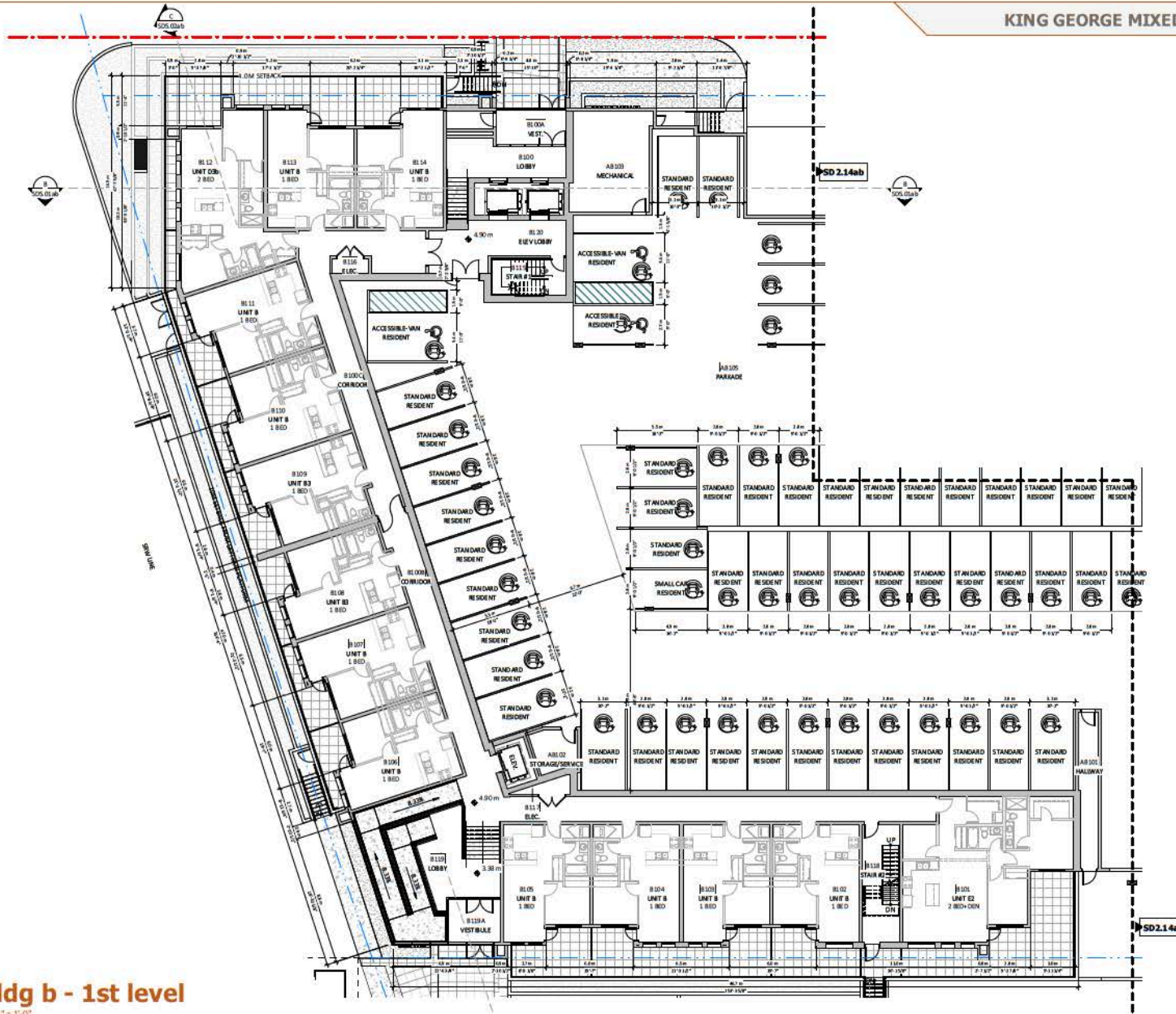


**SD2.13ab**



key plan  
1" = 160'-0"

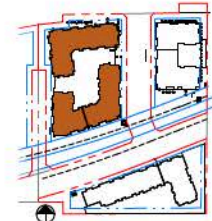
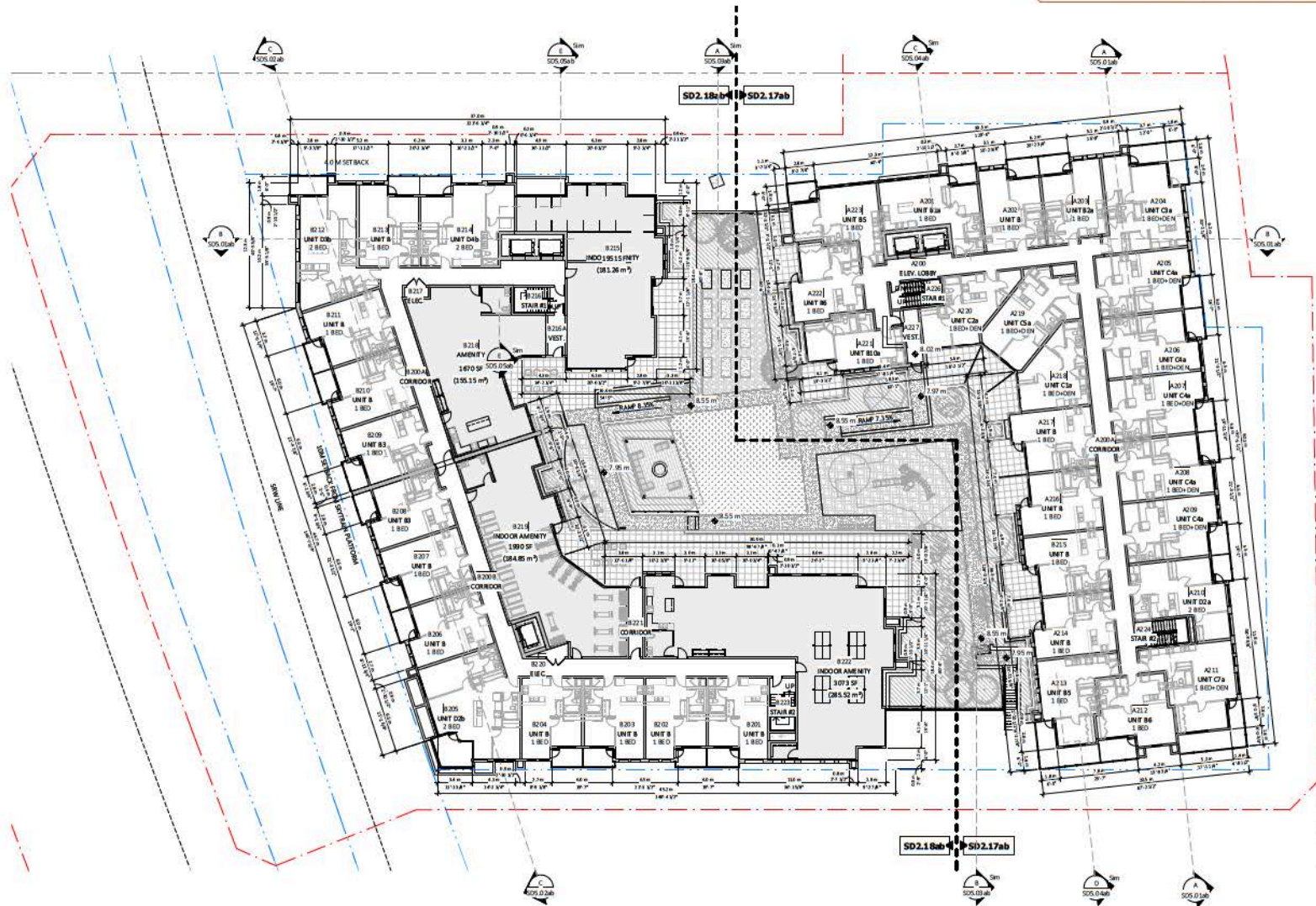
**bldg a - 1st level**  
3/32" = 1'-0"



key plan  
1" = 160'-0"

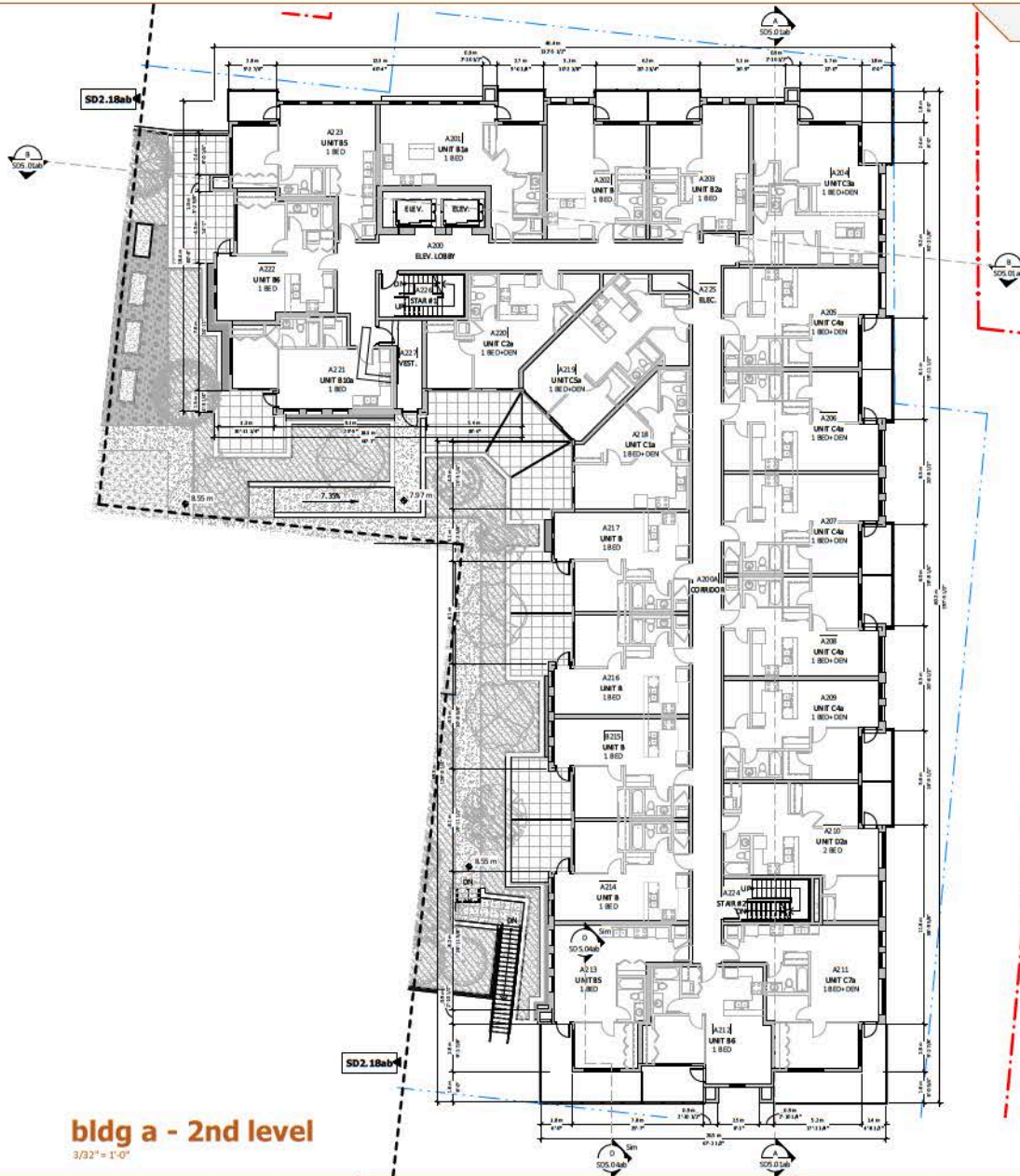
**bldg b - 1st level**  
3/32" = 1'-0"





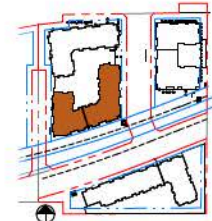
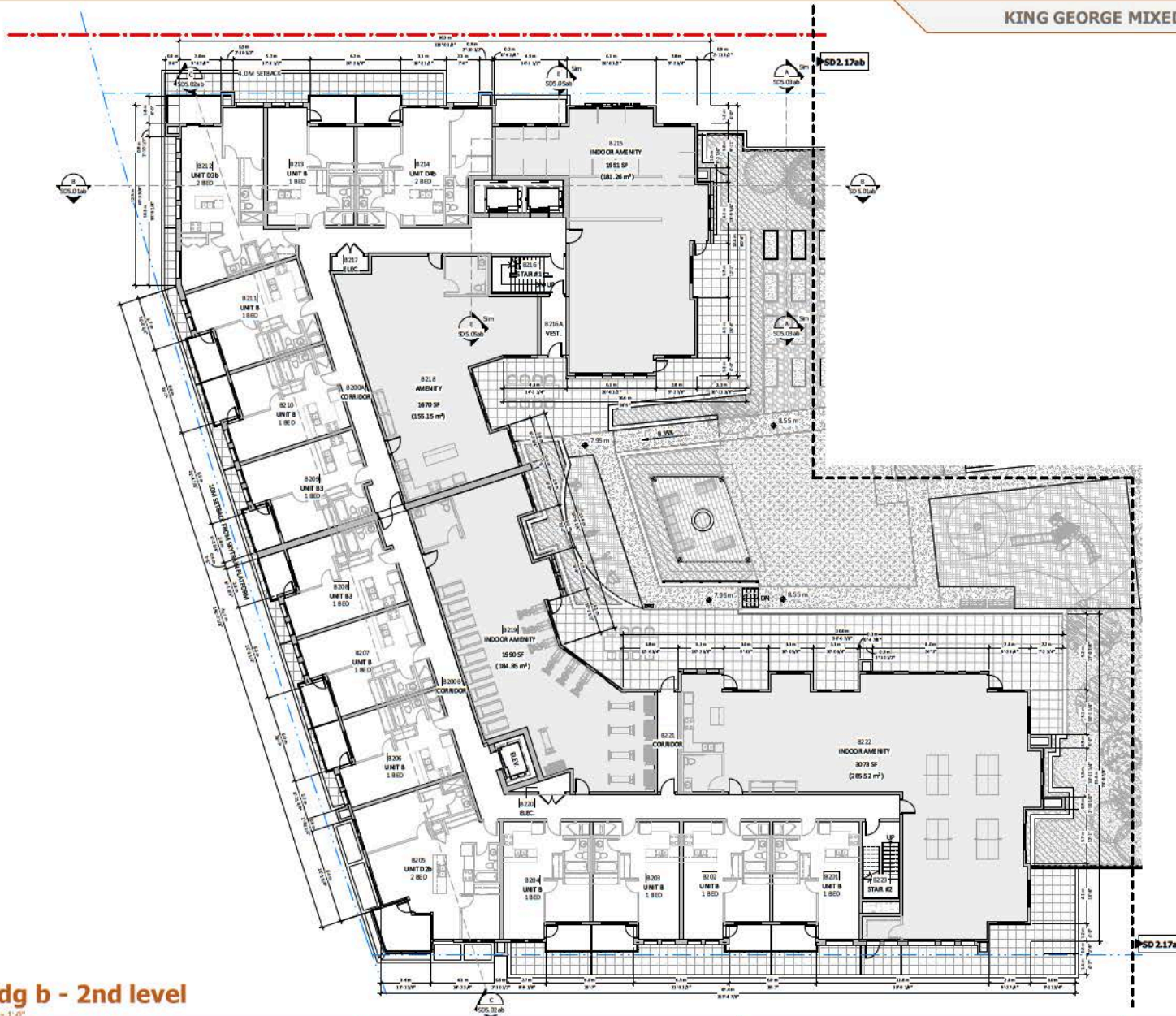
key plan  
1" = 160'-0"

**bldg a-b - 2nd level overall plan**  
1/16" = 1'-0"



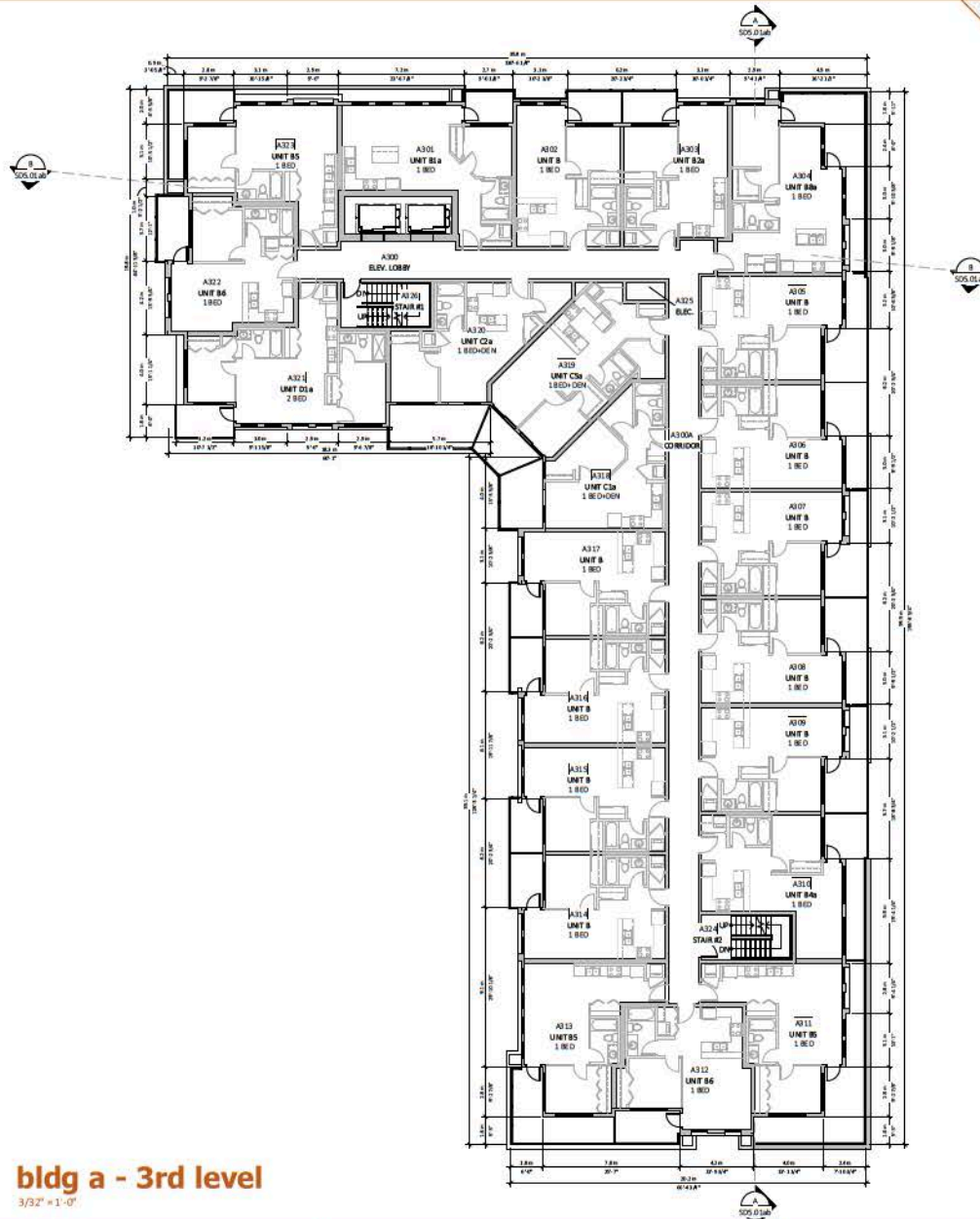
key plan  
1" = 160'-0"

**bldg a - 2nd level**  
3/32" = 1'-0"



**key plan**  
1" = 160'-0"

**bldg b - 2nd level**  
3/32" = 1'-0"



key plan  
1" = 160'-0"

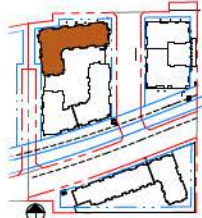
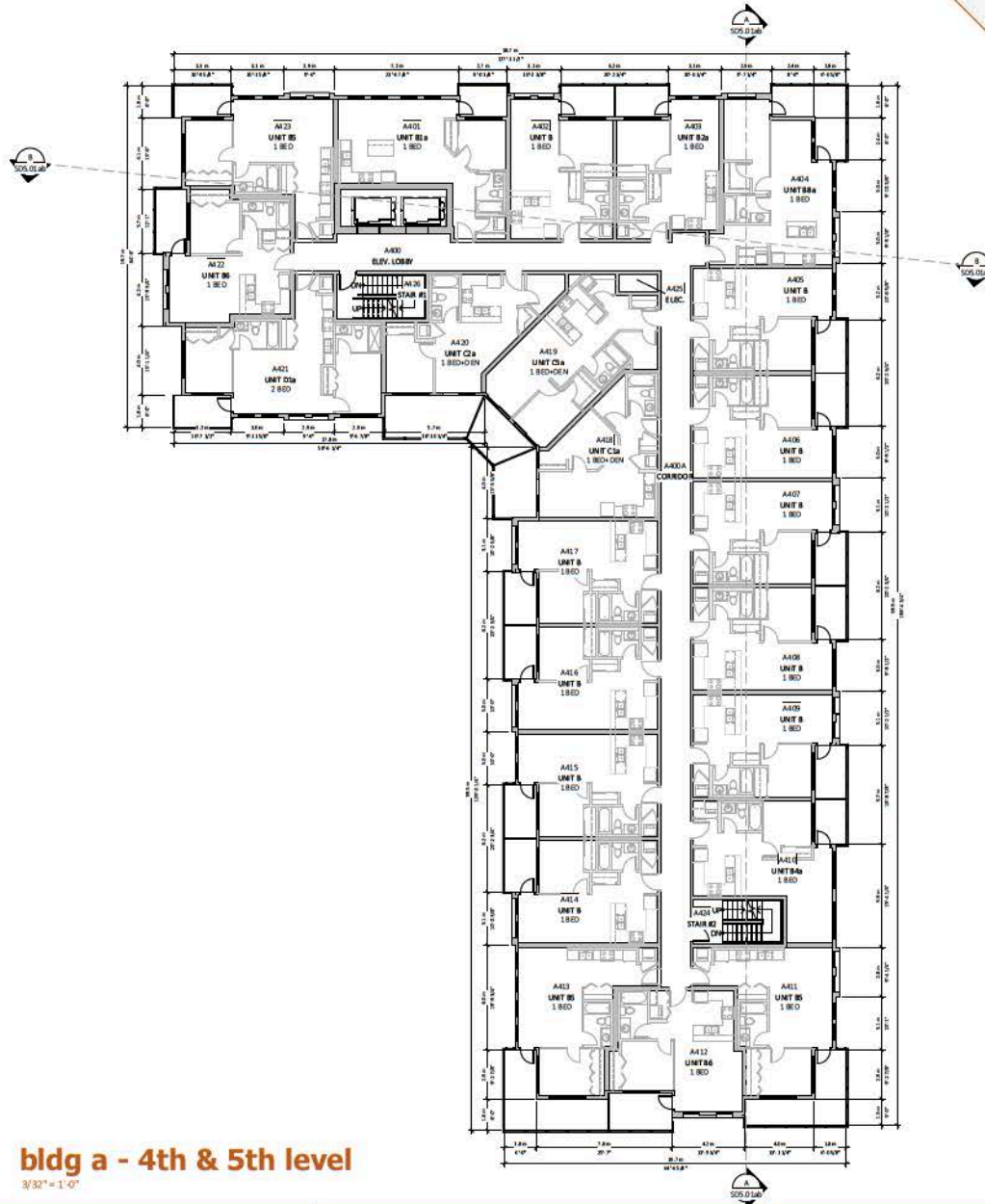
**bldg a - 3rd level**  
3/32" = 1'-0"



key plan  
1" = 160'-0"

**bldg b - 3rd level**  
3/32" = 1'-0"

	<p><b>KING GEORGE MIXED USE</b> 12716/12742 &amp; 12750 KING GEORGE BLVD., SURREY BC</p>	<p><b>BLDG B - 3rd LEVEL PLAN</b> SCALE: As indicated</p>	<p><b>RE-ISSUED FOR DP</b> 2023-04-28 REVISION #: CITY OF SURREY FILE #20-0188 PROJECT NUMBER: 17-153</p>		<p><b>SD2.20ab</b></p>
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key plan  
1" = 160'-0"

**bldg a - 4th & 5th level**  
3/32" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**BLDG A - 4th & 5th LEVEL PLAN**  
SCALE: As indicated



**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



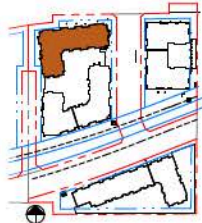
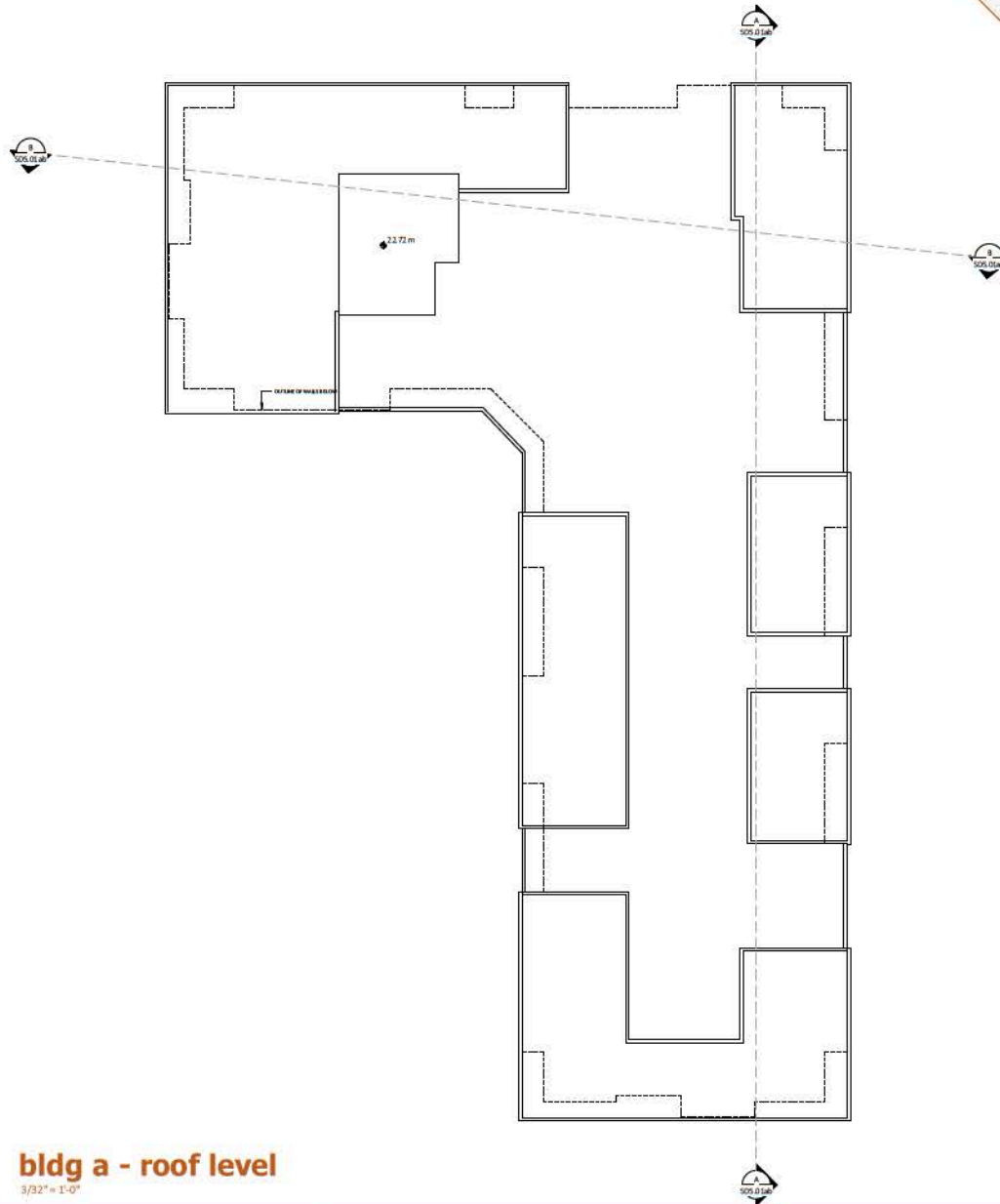
SD2.21ab



key plan  
1" = 160'-0"

**bldg b - 4th - 6th level**  
3/32" = 1'-0"

	<p><b>KING GEORGE MIXED USE</b> 12716/12742 &amp; 12750 KING GEORGE BLVD., SURREY BC</p>	<p><b>BLDG B - 4th - 6th LEVEL PLAN</b> SCALE: As indicated</p>	<p><b>RE-ISSUED FOR DP</b> 2023-04-28 REVISION #: CITY OF SURREY FILE #20-0188 PROJECT NUMBER: 17-153</p>		<p><b>SD2.22ab</b></p>
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key plan  
1" = 160'-0"

**bldg a - roof level**  
3/32" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**BLDG A - ROOF LEVEL**  
SCALE: As indicated

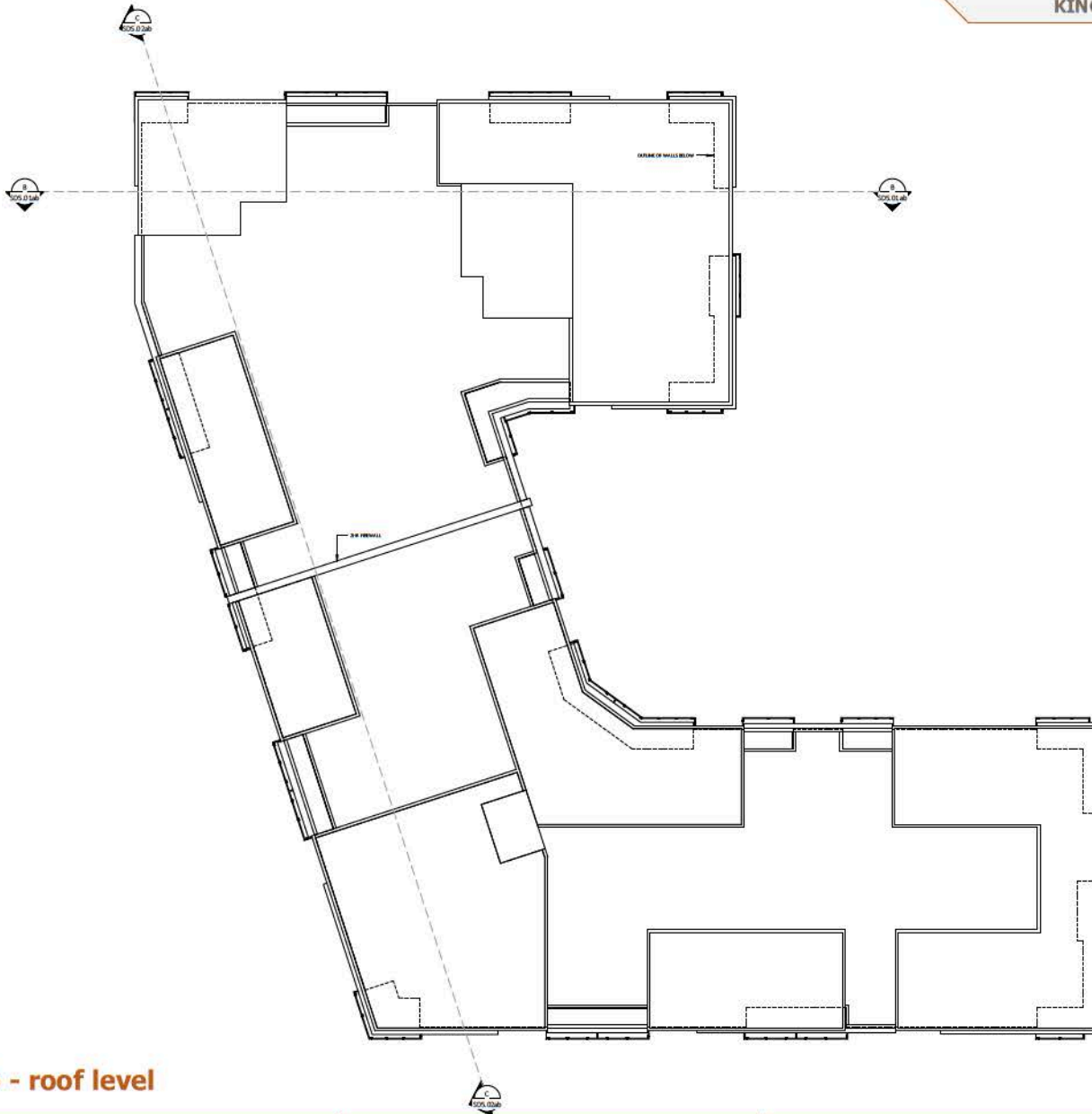


**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



**SD2.23ab**





**key plan**  
1" = 160'-0"

**bldg b - roof level**  
3/32" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

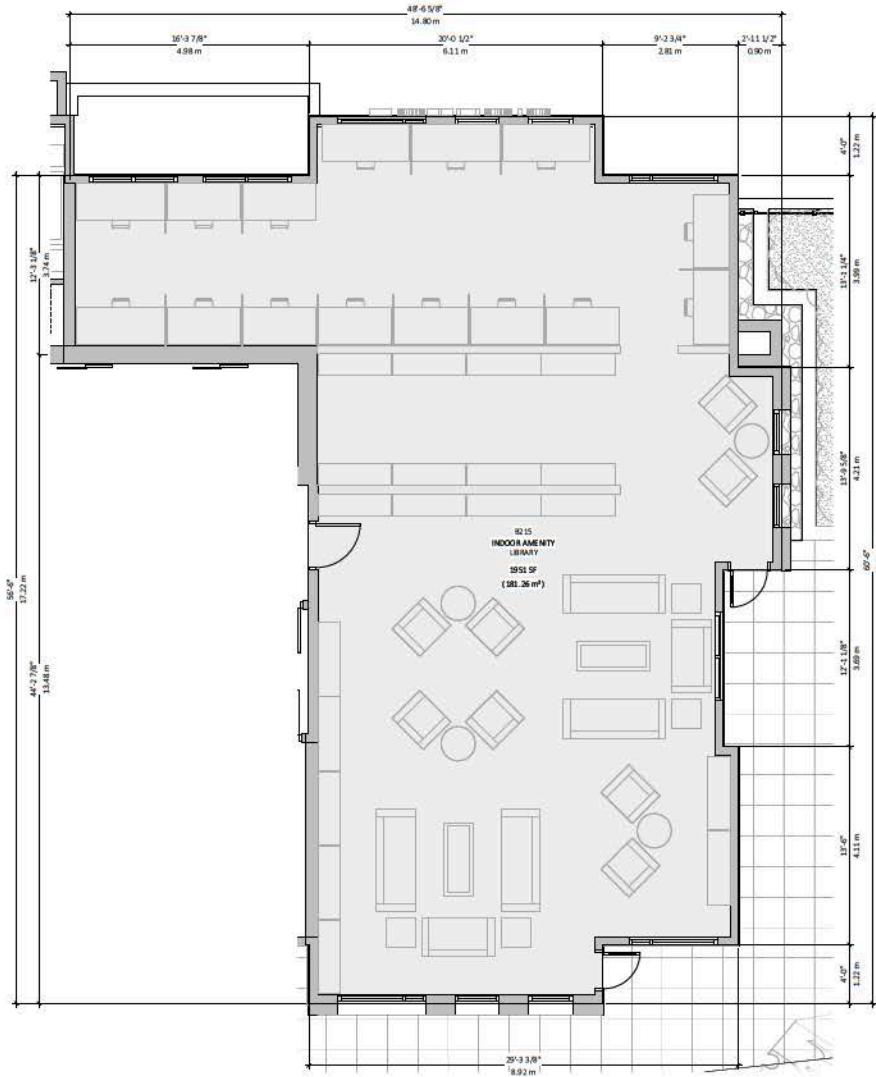
**BLDG B - ROOF LEVEL**  
SCALE: As indicated



**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153

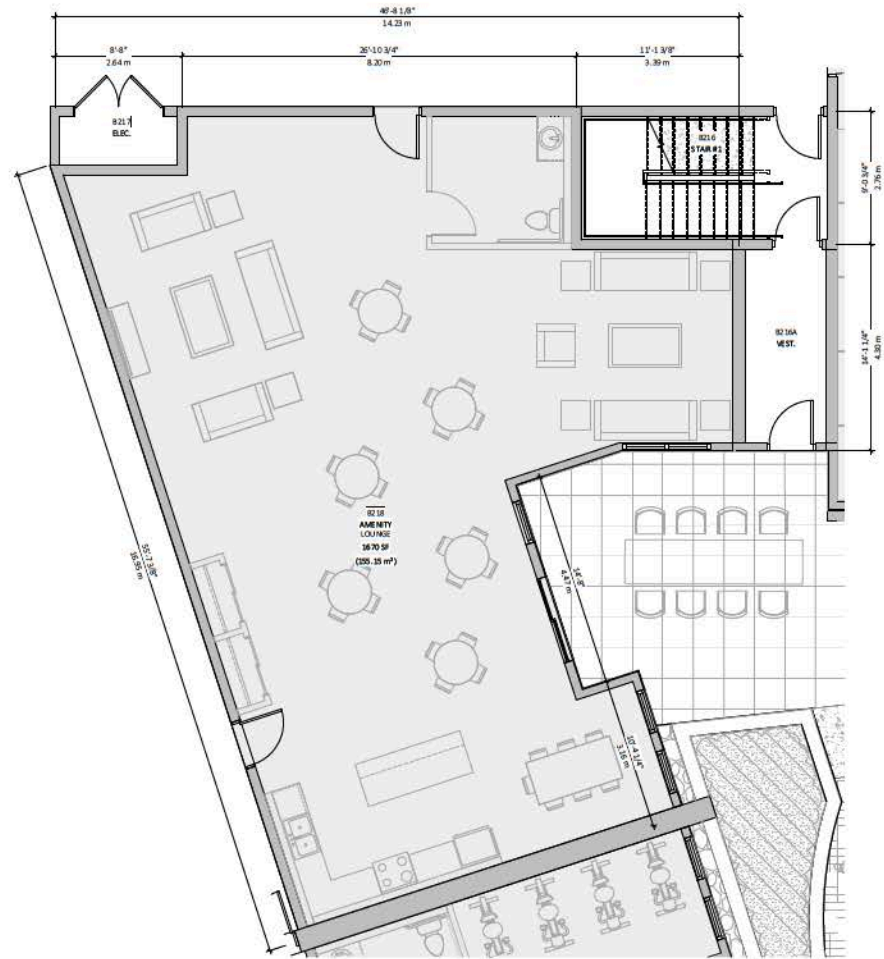


**SD2.24ab**



indoor amenity - enlarged plan 1

1/4" = 1'-0"



indoor amenity - enlarged plan 2

1/4" = 1'-0"



key plan  
1" = 160'-0"



KING GEORGE MIXED USE  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

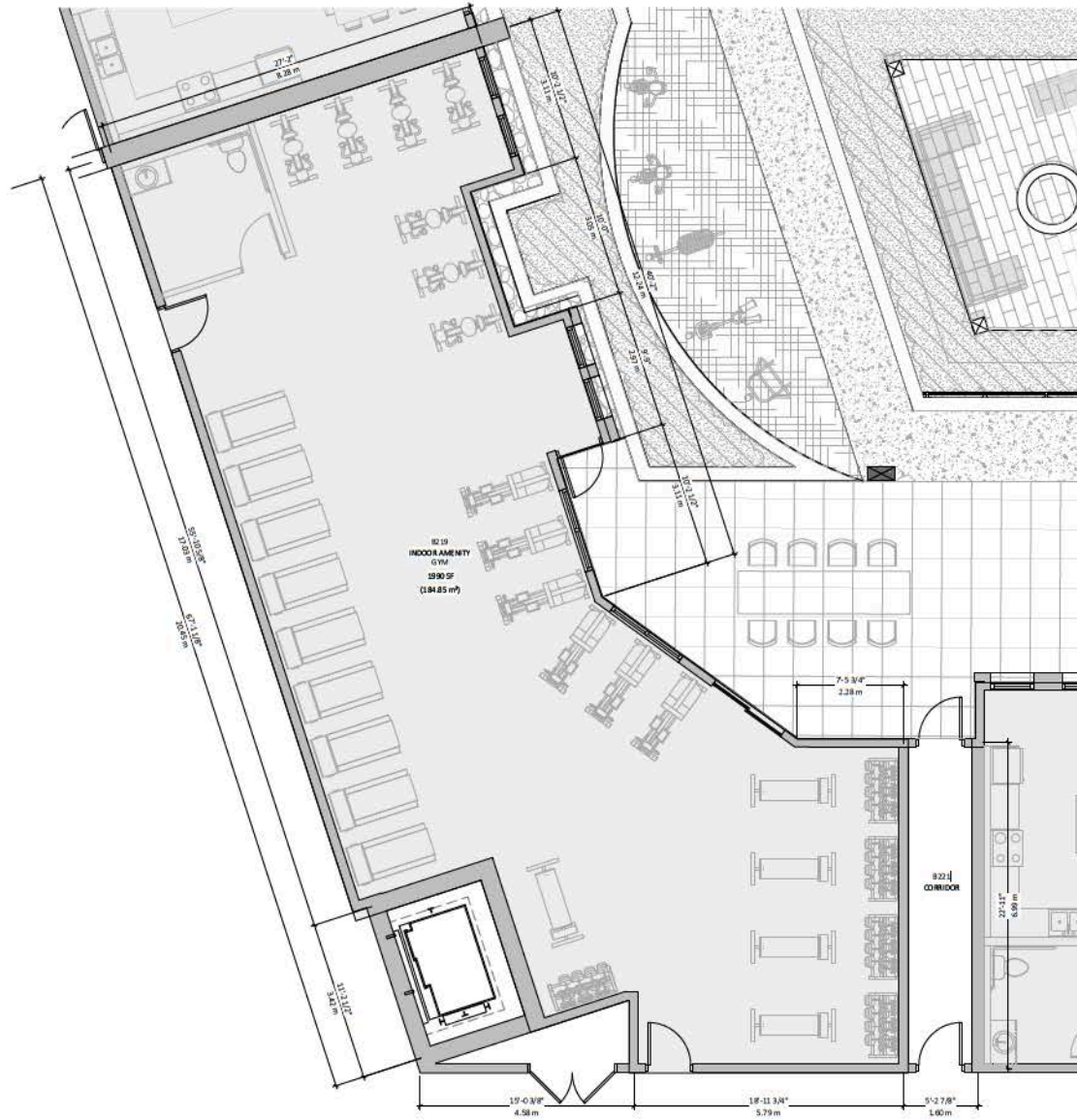
BLDG B - ENLARGED PLANS  
SCALE: As indicated



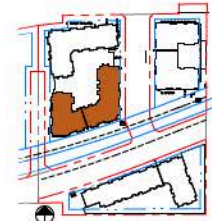
RE-ISSUED FOR DP  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD2.25ab



**indoor amenity - enlarged plan 3**  
1/4" = 1'-0"



**key plan**  
1" = 160'-0"



key plan  
1" = 160'-0"

**indoor amenity - enlarged plan 4**

1/4" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**BLDG B - ENLARGED PLANS**  
SCALE: As indicated



**RE-ISSUED FOR DP**  
2023-04-28 REVISION #: 1  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD2.27ab



**BUILDING A:**

**NATURAL EXISTING GRADES:**

AVG GRADE NORTH: 2.30m for 225.44'  
 AVG GRADE EAST: 2.91m for 93.78'  
 AVG GRADE SOUTH: 2.66m for 116.11'  
 AVG GRADE WEST: 2.04m for 116.11'  
 AVERAGE NATURAL GRADE: 2.48m

HIGHEST POINT OF BLDG A: 22.75m  
 ZONING BUILDING HEIGHT: 20.25m

LOWEST AVG DESIGN GRADE: 2.76m

**BUILDING A - EAST ELEVATION**

3/32" = 1'-0"



**BUILDING A - NORTH ELEVATION**

3/32" = 1'-0"



**KING GEORGE MIXED USE**  
 12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**BUILDING A ELEVATIONS**  
 SCALE: 3/32" = 1'-0"

**RE-ISSUED FOR DP**

2023-04-28 REVISION #:  
 CITY OF SURREY FILE #20-0188  
 PROJECT NUMBER: 17-153



SD3.01ab



**BUILDING A - SOUTH ELEVATION**

3/32" = 1'-0"



**BUILDING A - WEST ELEVATION**

3/32" = 1'-0"



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**KING GEORGE MIXED USE**

12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**BUILDING A ELEVATIONS**

SCALE: 3/32" = 1'-0"

**RE-ISSUED FOR DP**

2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD3.02ab



**BUILDING B - NORTH ELEVATION**

3/32" = 1'-0"



**BUILDING B - EAST ELEVATION**

3/32" = 1'-0"

**BUILDING B:**

**NATURAL EXISTING GRADES:**  
 AVG GRADE NORTH: 2.72m for 207.5'  
 AVG GRADE EAST: 3.09m for 153.5'  
 AVG GRADE SOUTH: 2.85m for 208.74'  
 AVG GRADE WEST: 2.52m for 110.21'  
 AVERAGE NATURAL GRADE: 2.80m

HIGHEST POINT OF BLDG B: 25.39m  
 ZONING BUILDING HEIGHT: 23.04m

LOWEST AVG DESIGN GRADE: 3.07m



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**KING GEORGE MIXED USE**

12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**BUILDING B ELEVATIONS**

SCALE: 3/32" = 1'-0"

**RE-ISSUED FOR DP**

2023-04-28 REVISION #:  
 CITY OF SURREY FILE #20-0188  
 PROJECT NUMBER: 17-153



SD3.03ab



**BUILDING B - SOUTH ELEVATION**  
3/32" = 1'-0"



**BUILDING B - WEST ELEVATION**  
3/32" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**BUILDING B ELEVATIONS**  
SCALE: 3/32" = 1'-0"

**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD3.04ab





**BUILDING A**

3/32" = 1'-0"



**BUILDING B**

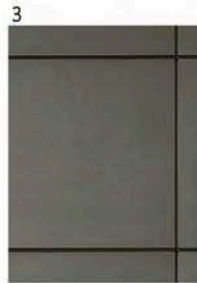
3/32" = 1'-0"



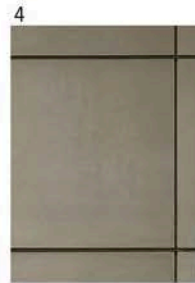
1  
CORRUGATED METAL (HORIZONTAL)  
COLOUR: 'GALVANIZED'



2  
BRICK, TEXTURE 'SMOOTH'  
COLOUR: '1'



3  
CEMENT BOARD PANEL SIDING  
COLOUR: 'IRON GRAY'



4  
CEMENT BOARD PANEL SIDING  
COLOUR: 'NIGHT GRAY'



5  
CEMENT BOARD PANELS SIDING  
COLOUR: 'LIGHT MIST'



6  
CONCRETE WALL  
COLOUR: 'CLEAR SEALER'



7  
TRIM  
COLOUR: BLACK



8  
ALUMINUM/GLASS GUARD/RAILING  
COLOUR: BLACK



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**KING GEORGE MIXED USE**

12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**MATERIAL BOARD**

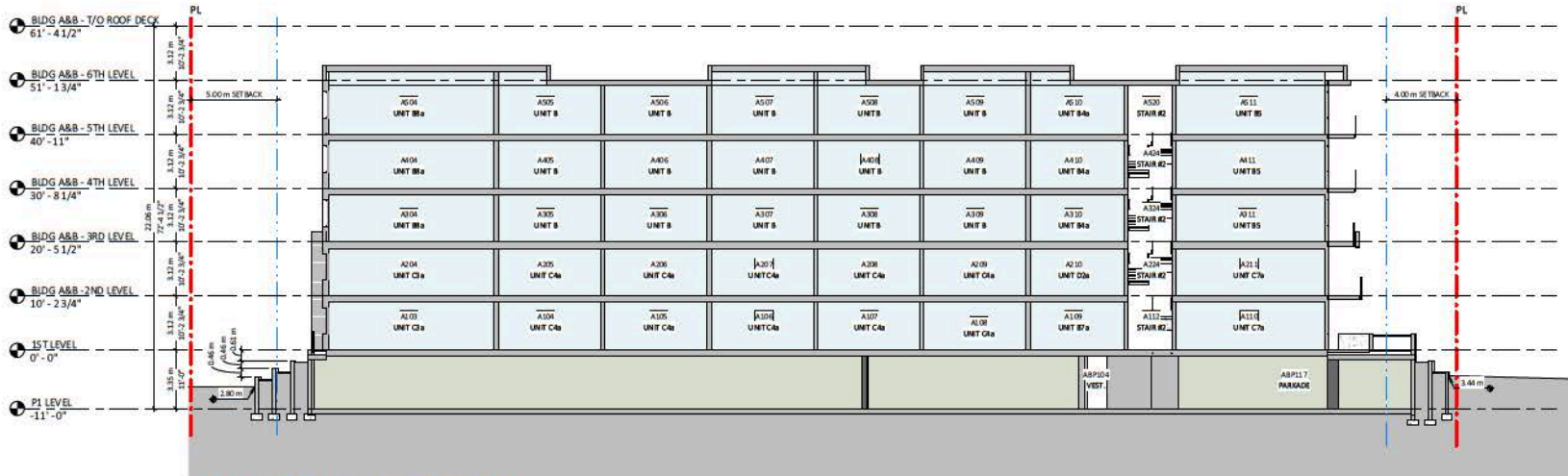
SCALE: 3/32" = 1'-0"

**RE-ISSUED FOR DP**

2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



**SD4.01ab**

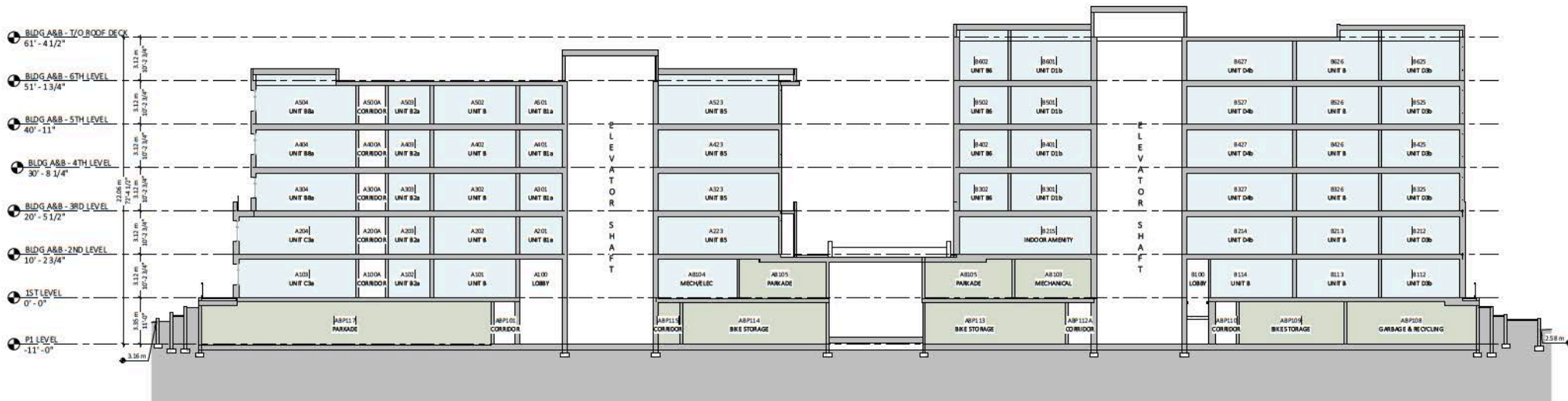


**BUILDING A SECTION A**

3/32" = 1'-0"

**OCCUPANCIES**

- GROUP C - RESIDENTIAL
- GROUP F3 - PARKADE



**BUILDING A & B SECTION B**

3/32" = 1'-0"



**BUILDING B SECTION C**

3/32" = 1'-0"



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**KING GEORGE MIXED USE**

12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**BUILDING SECTIONS**

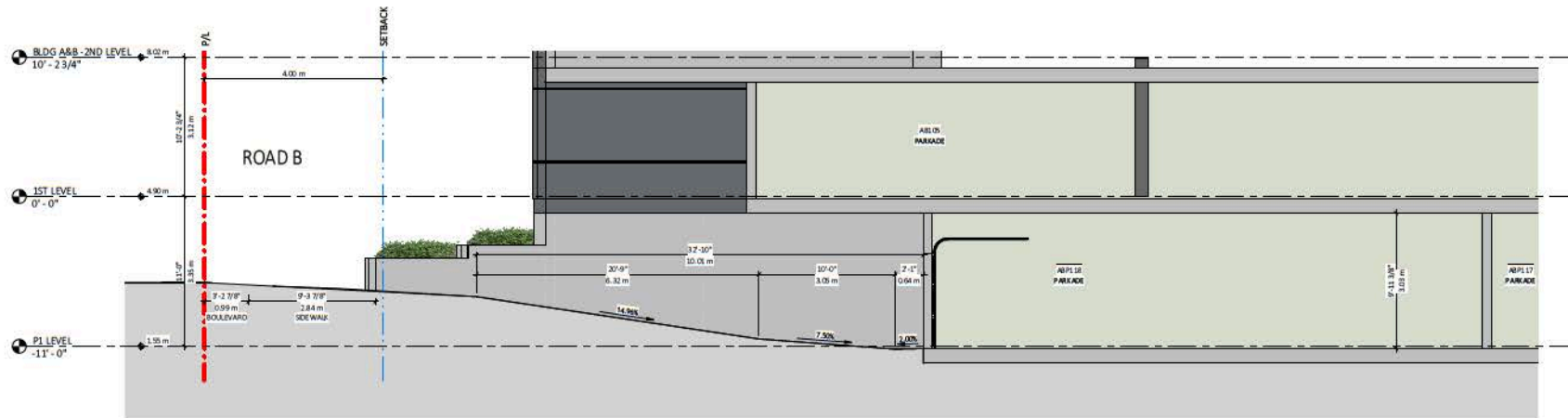
SCALE: 3/32" = 1'-0"

**RE-ISSUED FOR DP**

2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153

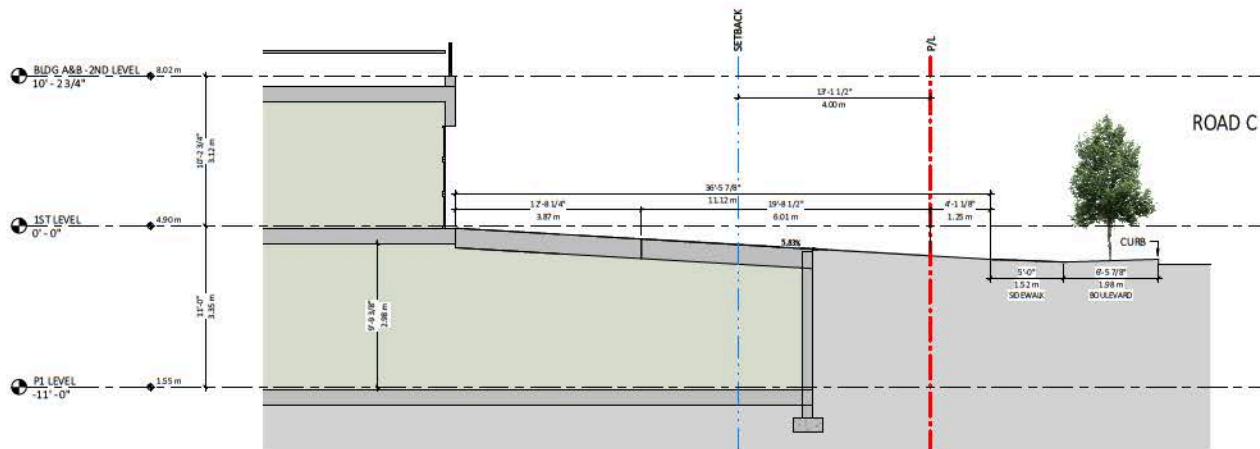


SD5.02ab



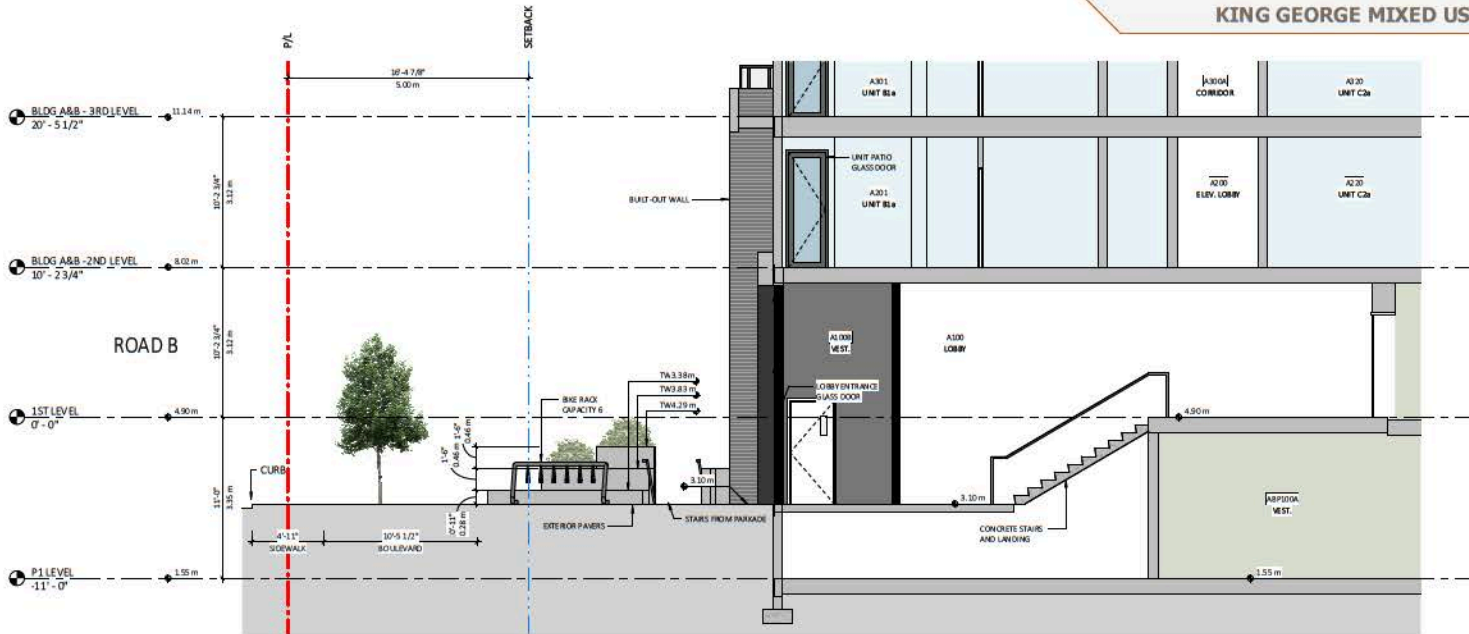
**BUILDING A&B ENLARGED SECTION A**

1/4" = 1'-0"



**BUILDING A&B ENLARGED SECTION B**

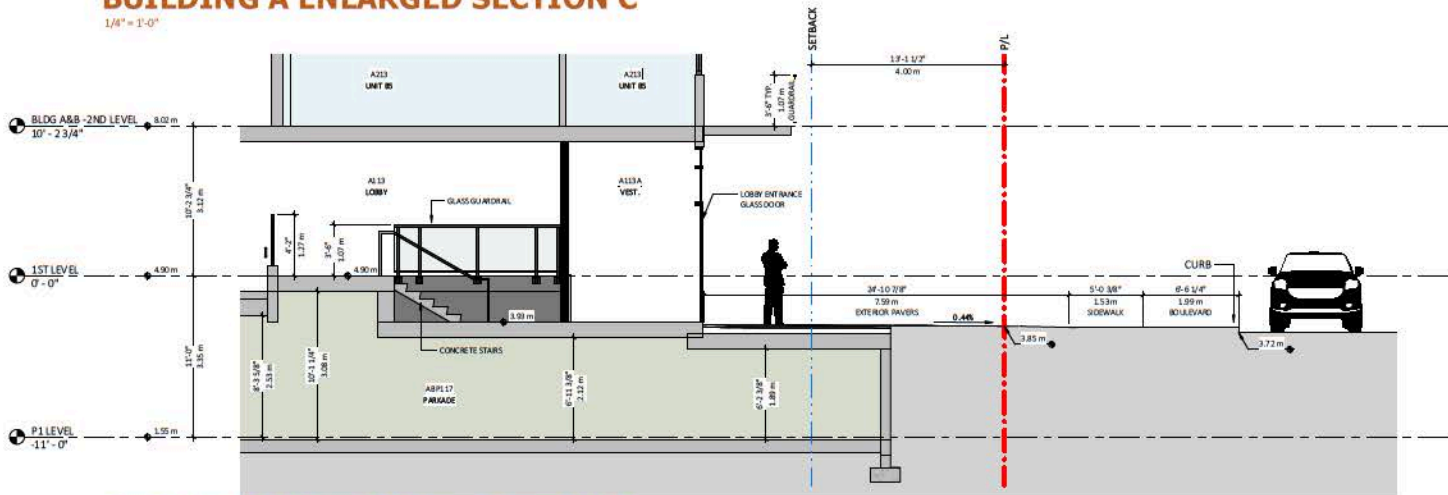
1/4" = 1'-0"



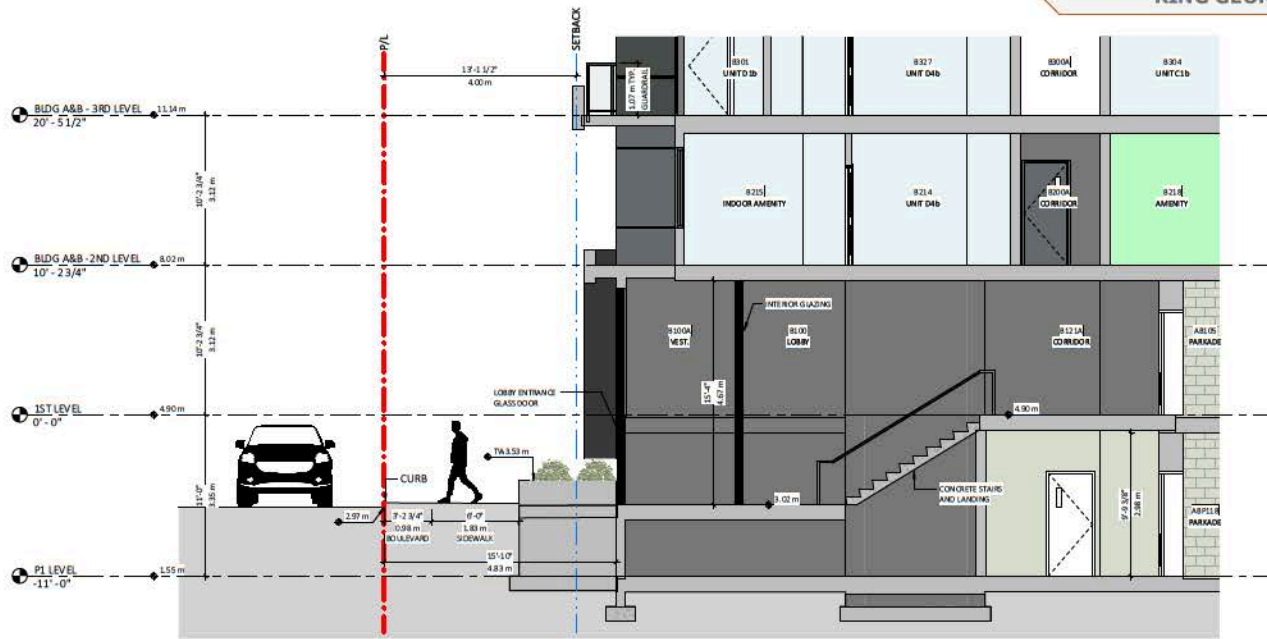
**OCCUPANCY USE**

- GROUP C - RESIDENTIAL
- GROUP F3 - PARKADE

**BUILDING A ENLARGED SECTION C**  
1/4" = 1'-0"



**BUILDING A ENLARGED SECTION D**  
1/4" = 1'-0"

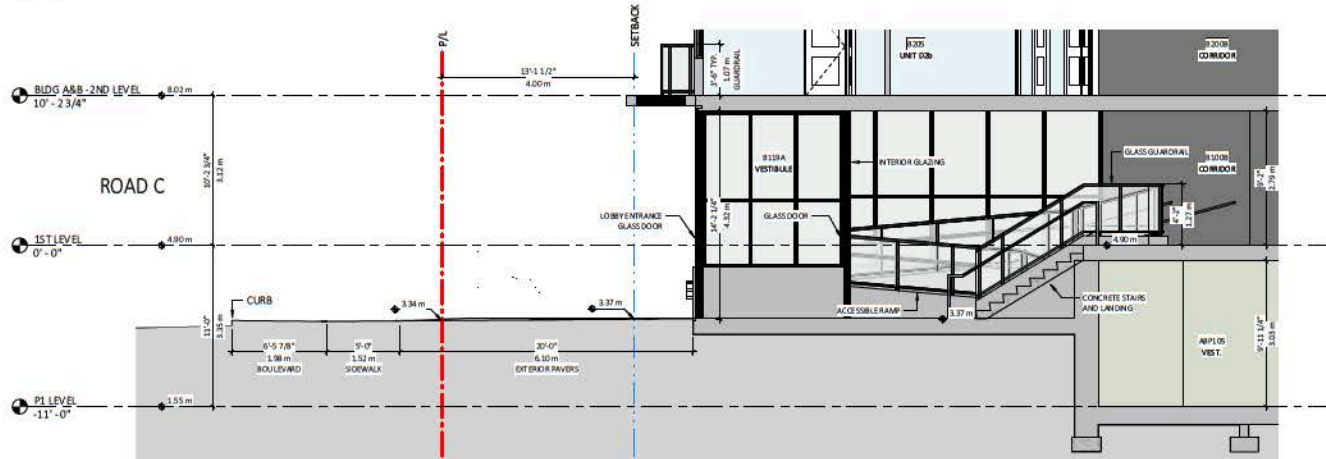


OCCUPANCY USE

- GROUP C - ASSEMBLY NON FREED
- GROUP C - RESIDENTIAL
- GROUP F3 - PARCADE

**BUILDING B ENLARGED SECTION E**

1/4" = 1'-0"



OCCUPANCY USE

- GROUP C - RESIDENTIAL
- GROUP F3 - PARCADE

**BUILDING B ENLARGED SECTION F**

1/4" = 1'-0"



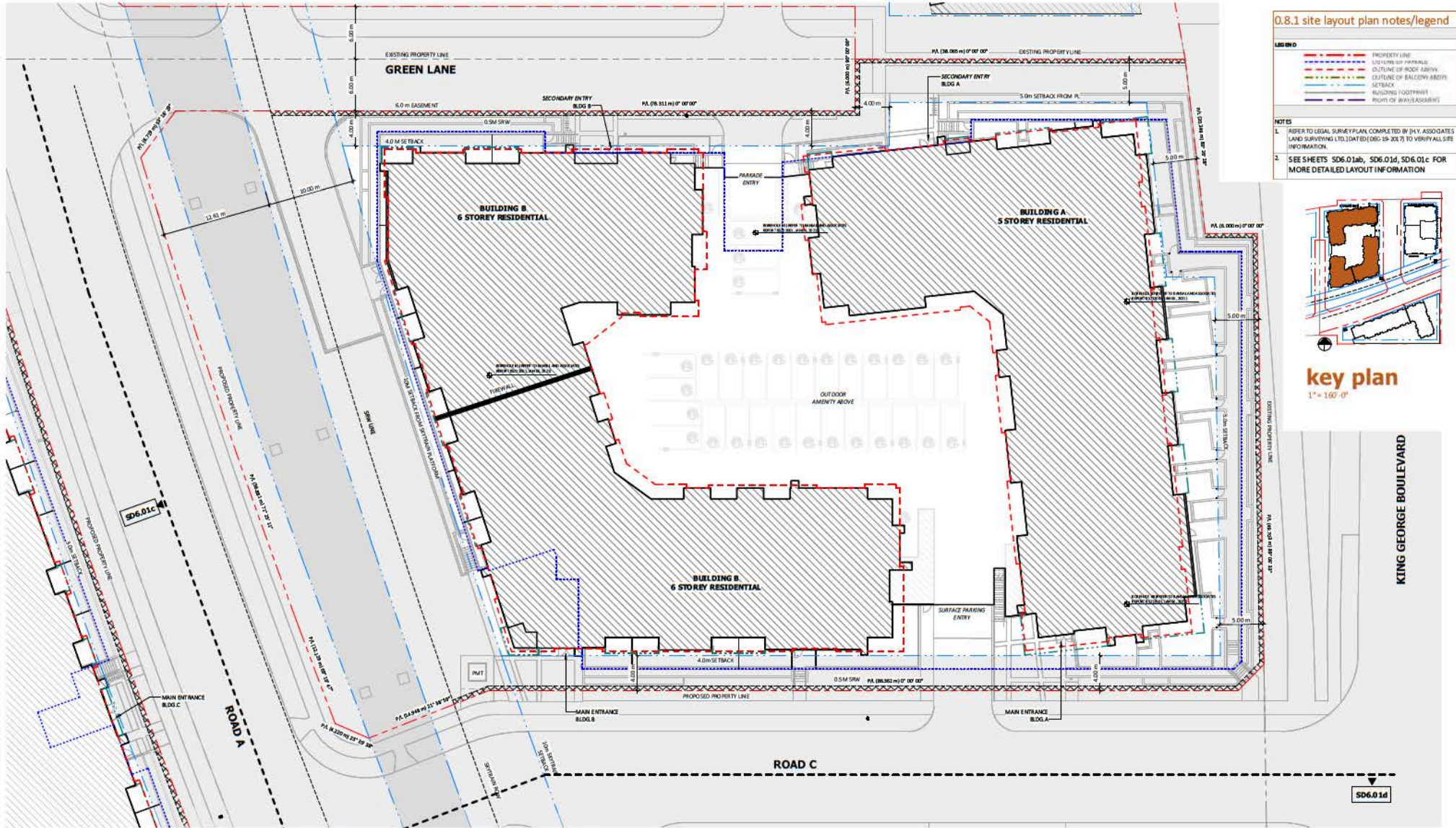
**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**ENLARGED SECTIONS**  
SCALE: 1/4" = 1'-0"

**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE # 20-0188  
PROJECT NUMBER: 17-153



**SD5.05ab**

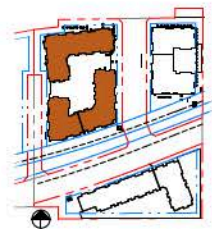


**0.8.1 site layout plan notes/legend**

LEGEND	
	PROPERTY LINE
	OUTLINE OF PARADE
	OUTLINE OF ROOF AREA
	OUTLINE OF BALCONY AREA
	SETBACK
	REMAINING FOOTPRINT
	RIGHT OF WAY/SETBACK

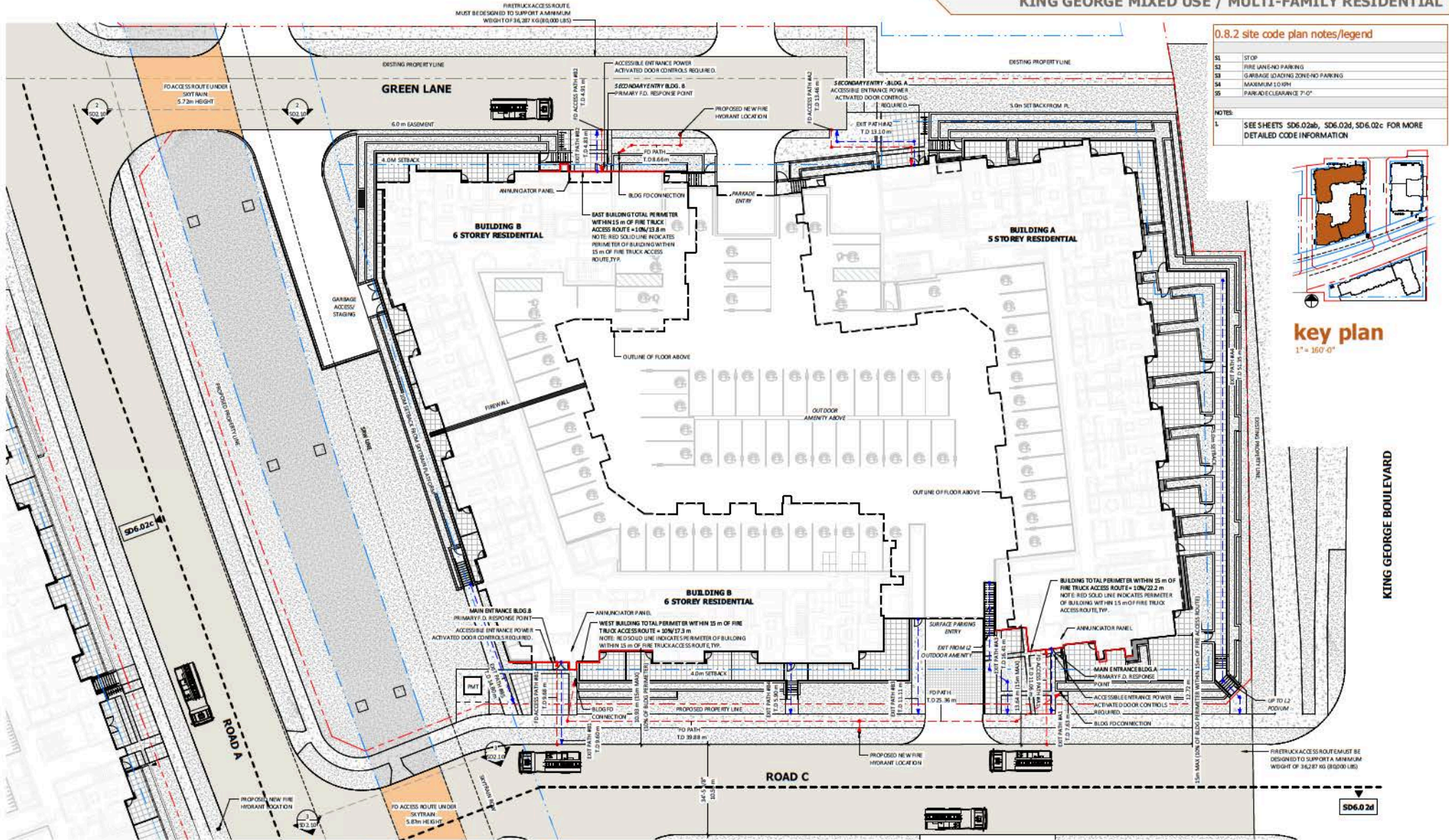
**NOTES**

- REFER TO LEGAL SURVEY PLAN, COMPLETED BY (H.V. ASSOCIATES) LAND SURVEYING LTD. (DATED 06-09-2017) TO VERIFY ALL SITE INFORMATION.
- SEE SHEETS SD6.01a, SD6.01d, SD6.01c FOR MORE DETAILED LAYOUT INFORMATION.



**key plan**  
1" = 100' 0"

**site layout plan - bldg. a & b**  
1/16" = 1'-0"

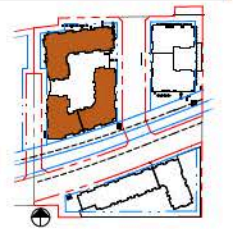


**0.8.2 site code plan notes/legend**

S1	STOP
S2	FIRE LANE-NO PARKING
S3	GARAGE LOADING ZONE-NO PARKING
S4	MAXIMUM 10 KPH
S5	PARK ADJ CLEARANCE 7.0"

**NOTES**

- SEE SHEETS SD6.02ab, SD6.03d, SD6.02c FOR MORE DETAILED CODE INFORMATION



**site code plan - bldg. a & b**  
1/16" = 1'-0"





**BUILDING A - RESIDENTIAL BUILDING ENTRY ROAD B**

1/4" = 1'-0"



**BUILDING B - RESIDENTIAL BUILDING ENTRY ROAD B**

1/4" = 1'-0"



**BUILDING A - RESIDENTIAL BUILDING ENTRY ROAD C**

1/4" = 1'-0"



**BUILDING B - RESIDENTIAL BUILDING ENTRY ROAD C**

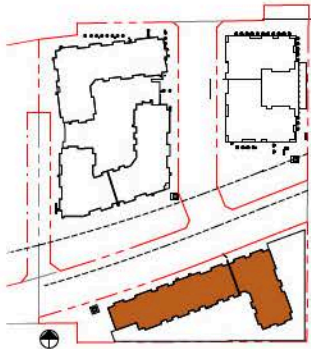
1/4" = 1'-0"



sheet schedule

building c

- S00.01c COVER PAGE - BUILDING C
- S01.10c PROJECT DATA
- S01.11c PROJECT DATA
- S01.12c PROJECT DATA
- S02.01c SITE PLAN-ENLARGED- BLDG.C
- S02.10c BLDG C - P1 LEVEL PLAN
- S02.11c BLDG C - 1st LEVEL PLAN
- S02.12c BLDG C - 2nd LEVEL PLAN
- S02.13c BLDG C - 3rd-6th LEVEL PLAN
- S02.14c BLDG C - ROOF LEVEL
- S02.15c BLDG C - ENLARGED PLANS
- S03.01c BUILDING C ELEVATIONS
- S03.02c BUILDING C ELEVATIONS
- S04.01c MATERIAL BOARD
- S05.01c BUILDING SECTIONS
- S05.02c ENLARGED SECTIONS
- S06.01c SITE LAYOUT PLAN - BUILDING C
- S06.02c SITE CODE PLAN- BUILDING C
- S07.01c SIGNAGE DETAILS



keyplan - bldg c

1" = 100'-0"



0.1.1 project data - bldg c

SITE GROSS AREA:	248,551.405 F. (23,091.18 SM)
SITE BLDG. C NET AREA:	52,172 SF (4,846.9 SM)
LOT COVERAGE (NET):	SITE BLDG. C NET AREA / BUILDING AREA = 77%
PROPOSED DENSITY:	111,802 S.F. (Bldg C) + 4,375 S.F. (P1 circulation, etc) - 1,829.9 S.F. (bike storage) = 114,347.1 SF (10,623.2 SM) / 52,172 SF (4,847 SM) = 2.19 FAR For Site C
BUILDING FOOTPRINT:	40,488 SF (3,761 SM)
GROSS FLOOR AREA (NOT INCLUDING PARKADE):	111,802 SF ( 10,386.7 SM)
UNIT COUNT:	138
PROPOSED BUILDING HEIGHT:	6 STOREY
1ST STOREY TO UPPERMOST FLOOR LEVEL -	MAXIMUM - 18.0m (3.2.2.50), PROPOSED - 17.59m
1ST STOREY TO UPPERMOST ROOF -	MAXIMUM - 25.0m (3.2.2.50), PROPOSED - 18.89 m
ZONING BUILDING HEIGHT	PROPOSED - 23.03m
FIRE ACCESS ROUTE TO UPPERMOST FLOOR LEVEL -	MAXIMUM - 20.0m (3.2.5.(2)), PROPOSED - 17.59m
NUMBER OF STREETS:	1
AVERAGE NATURAL GRADE:	3.35M
BCIC LOWEST AVERAGE GRADE:	3.03M - (LESS OR EQUAL TO 2.0M BELOW 1ST STOREY)
PROPOSED SETBACKS:	REFER TO SITE PLANS
REQUIRED INDOOR AMENITY:	3 SM PER UNIT = 138 UNITS x 3 SM = 414 SM (4,456 SF), PROVIDED: 414 SM (4,456 SF)
REQUIRED OUTDOOR AMENITY:	3 SM PER UNIT = 138 UNITS x 3 SM = 414 SM (4,456 SF), PROVIDED: 1,407 SM (15,149 SF)
GARBAGE AND RECYCLING REQUIREMENTS:	TOTAL WASTE VOLUME COLLECTED PER WEEK = # OF UNITS * ESTIMATED WASTE VOLUME COLLECTED PER UNIT, PER WEEK
MIXED CONTAINERS:	138 UNITS * 18.50 L/UNIT/WEEK = 2,553 L/WEEK
MIXED PAPERS & CARDBOARD:	138 UNITS * 42.90 L/UNIT/WEEK = 5,920 L/WEEK
GARBAGE:	138 UNITS * 53.00 L/UNIT/WEEK = 7,314 L/WEEK
GLASS:	138 UNITS * 2.10 L/UNIT/WEEK = 290 L/WEEK
ORGANICS:	138 UNITS * 14.00 L/UNIT/WEEK = 1,932 L/WEEK
TOTAL:	138 UNITS * 130.50 L/UNIT/WEEK = <b>18,009 L/WEEK</b>
BINS REQUIRED:	
SIZES:	240L CART (0.7 M * 0.6 M = 0.42 SM)
	360L CART (0.9 M * 0.7 M = 0.63 SM)
	3 CUBIC YARD / 2,294L BIN (2.1 M * 1.2 M = 2.52 SM)
	4 CUBIC YARD / 3,058L BIN (2.1 M * 1.4 M = 2.94 SM)
MIXED CONTAINERS:	2,553 L/WEEK (1) 4 CUBIC YARD BIN
MIXED PAPERS & CARDBOARD:	5,920 L/WEEK (2) 4 CUBIC YARD BINS
GARBAGE:	7,314 L/WEEK (3) 4 CUBIC YARD BINS
GLASS:	290 L/WEEK (1) 360L CARTS
ORGANICS:	1,932 L/WEEK (6) 360L CARTS
TOTAL:	18,009 L/WEEK (6) 4 CUBIC YARD BINS & (7) 360L CARTS

0.2.0 code summary - bldg c

APPLICABLE BUILDING CODES: 2018 BCBC / 2018 BC FIRE CODE / ASHRAE 90.1-2016 / BC ENERGY STEP CODE 2  
 BUILDING CODE COMPLIANCE/ALTERNATE SOLUTIONS REPORT:

TITLE	VALUE	REFERENCE*
<b>1. PART 3 OR PART 9 BUILDING:</b>	PART 3	DIV. A - PART 1 COMPLIANCE 1.3.3.2
<b>2. MAJOR OCCUPANCY (IES):</b>	RESIDENTIAL/STORAGE GARAGE	3.1.2, & APPENDIX A - 3.1.2.1.(1)
<b>3. BUILDING CLASSIFICATION(S):</b>		
<b>3.1.1 STORAGE GARAGE (BELOW GRADE):</b>		3.2.2.80
GROUP F, DIVISION 3, ANY HEIGHT, ANY AREA, FULLY SPRINKLERED (ACTUAL AREA 3,978 m <sup>2</sup> )		3.2.2.80 (1), 3.2.2.80 (2)
NON-COMBUSTIBLE CONSTRUCTION		3.2.2.80 (2)(A)
FLOOR ASSEMBLIES: FIRE SEPARATIONS WITH A FIRE RESISTANCE RATING NOT LESS THAN 2 HR		3.2.2.80 (2)(B)
MEZZANINES: N/A		3.2.2.80 (2)(C)
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN 2 HR FIRE RESISTANCE RATING		3.2.2.80 (2)(D)
<b>3.1.1 STORAGE (ABOVE GRADE - COVERED SURFACE PARKING AREA):</b>		3.2.2.80
GROUP F, DIVISION 3, ANY HEIGHT, ANY AREA, SPRINKLERED (ACTUAL AREA 2,656 sm <sup>2</sup> )		3.2.2.80 (1), 3.2.2.80 (2)
NON-COMBUSTIBLE CONSTRUCTION		3.2.2.80 (2)(A)
FLOOR ASSEMBLIES: FIRE SEPARATIONS WITH A FIRE RESISTANCE RATING NOT LESS THAN 2 HOURS		3.2.2.80 (2)(B)
MEZZANINES: N/A		3.2.2.80 (2)(C)
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN 2 HOUR FIRE RESISTANCE RATING		3.2.2.80 (2)(D)
<b>3.2. RESIDENTIAL LEVEL 1 TO 6)</b>		3.2.2.50
GROUP C, UP TO 6 STOREYS, SPRINKLERED (ACTUAL 6 STOREYS)		3.2.2.50 (1)
< 18m BETWEEN FLOOR OF FIRST STOREY & UPPERMOST FLOOR LEVEL		3.2.2.50 (1)(C)
ALLOWABLE BUILDING AREA: < 1800m <sup>2</sup> (ACTUAL AREA - WEST:1,109m <sup>2</sup> EAST: 754m <sup>2</sup> )		3.2.2.50 (1)(D)(V)
COMBUSTIBLE CONSTRUCTION, EXCEPT NON COMBUSTIBLE ROOF ASSEMBLIES >25 m ABOVE 1ST STOREY FLOOR		3.2.2.50 (2) EXCEPT (2)(C)
FLOOR ASSEMBLIES: 1 HR FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING		3.2.2.50 (2)(A)
ROOF ASSEMBLIES: 1 HR FIRE RESISTANCE RATING		3.2.2.50 (2)(B)
ROOF ASSEMBLIES: < 25 m FROM FLOOR OF FIRST STOREY TO HIGHEST POINT OF ROOF ASSEMBLY		3.2.2.50 (2)(D)
MEZZANINES: 1 HR FIRE RESISTANCE RATING		3.2.2.50 (2)(E)
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN REQUIRED FOR THE SUPPORTED ASSEMBLY		
<b>4. BUILDINGS WITH MULTIPLE MAJOR OCCUPANCIES:</b>	NA	3.2.2.4 - 3.2.2.8, 3.2.2.50 (5)
<b>5. NON-COMBUSTIBLE CLADDING:</b>	NON-COMBUSTIBLE	3.1.4.8 (1)
<b>6. HIGH BUILDING:</b>	NA	
<b>7. FIREWALL:</b>	2 HR.	3.1.10.
<b>8. MEZZANINE(S):</b>	NA	
<b>9. MEZZANINE EXITING:</b>	NA	
<b>10. INTERCONNECTED FLOOR SPACE:</b>	NA, STORAGE GARAGE EXEMPT	3.2.3.2.(3), 3.2.8, 3.1.3.1.(3) 3.2.8.2.(2)
<b>11. STORAGE GARAGE-HORIZONTAL FIRE SEPARATION:</b>	YES	3.2.1.2.
<b>12. SPRINKLER SYSTEM:</b>	YES	3.2.2.18.
<b>12.1. STORAGE GARAGE:</b>	YES - NFPA 13 - 2013	3.2.5.12.(1)
<b>12.2. RESIDENTIAL:</b>	YES - NFPA 13 - 2013	3.2.5.12.(1)
<b>12.3 FIRE EXTINGUISHERS:</b>	YES - NFPA 10 - 2013	BC FIRE CODE 2018
<b>13. STANDPIPE SYSTEM:</b>	YES - NFPA 14 - 2013	3.2.5.8, 3.2.5.9, 3.2.5.16.
<b>14. FIRE ALARM SYSTEM:</b>	YES - SINGLE STAGE - CAN/ULC-5524-14	3.2.4.1.(2)&(4)
<b>15. SMOKE CONTROL MEASURES:</b>	YES	3.1.8.12
<b>16. ANNUNCIATOR AND ZONE INDICATION:</b>	YES	3.2.4.9, 3.2.4.8.

NOTES:

1. \*UNLESS OTHERWISE NOTED, REFERENCE NUMBERS LISTED REFER TO THE BRITISH COLUMBIA BUILDING CODE 2018



**0.2.0 gross floor area summary notes**

1. THE TOTAL AREA OF ALL STOREYS IN ALL BUILDINGS ON A LOT MEASURED TO THE OUTSIDE OF THE EXTERIOR WALLS OF THE BUILDING
2. EXCLUSIONS: NONE

**0.2.1 gross floor area summary - bldg c**

LEVEL / AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
<b>BUILDING C</b>				
<b>1ST LEVEL</b>				
CIRCULATION	4745 SF	440.78 m <sup>2</sup>	3.1%	
PARKADE	28598 SF	2656.84 m <sup>2</sup>	18.4%	
RESIDENTIAL	7098 SF	659.41 m <sup>2</sup>	4.6%	
SERVICE	47 SF	4.40 m <sup>2</sup>	0.0%	
<b>40488 SF</b>	<b>3761.43 m<sup>2</sup></b>	<b>26.1%</b>		
<b>BLDG. C - 2ND LEVEL</b>				
CIRCULATION	2421 SF	224.95 m <sup>2</sup>	1.6%	
INDOOR AMENITY	4409 SF	409.58 m <sup>2</sup>	2.8%	
OUTDOOR AMENITY	14819 SF	1376.72 m <sup>2</sup>	9.5%	
RESIDENTIAL	12750 SF	1184.53 m <sup>2</sup>	8.2%	
SERVICE	47 SF	4.40 m <sup>2</sup>	0.0%	
<b>34447 SF</b>	<b>3200.19 m<sup>2</sup></b>	<b>22.2%</b>		
<b>BLDG. C - 3RD LEVEL</b>				
CIRCULATION	2339 SF	217.26 m <sup>2</sup>	1.5%	
RESIDENTIAL	17685 SF	1643.02 m <sup>2</sup>	11.4%	
SERVICE	47 SF	4.40 m <sup>2</sup>	0.0%	
<b>20071 SF</b>	<b>1864.68 m<sup>2</sup></b>	<b>12.9%</b>		
<b>BLDG. C - 4TH LEVEL</b>				
CIRCULATION	2339 SF	217.26 m <sup>2</sup>	1.5%	
RESIDENTIAL	17685 SF	1643.02 m <sup>2</sup>	11.4%	
SERVICE	47 SF	4.40 m <sup>2</sup>	0.0%	
<b>20071 SF</b>	<b>1864.68 m<sup>2</sup></b>	<b>12.9%</b>		
<b>BLDG. C - 5TH LEVEL</b>				
CIRCULATION	2339 SF	217.26 m <sup>2</sup>	1.5%	
RESIDENTIAL	17685 SF	1643.02 m <sup>2</sup>	11.4%	
SERVICE	47 SF	4.40 m <sup>2</sup>	0.0%	
<b>20071 SF</b>	<b>1864.68 m<sup>2</sup></b>	<b>12.9%</b>		
<b>BLDG. C - 6TH LEVEL</b>				
CIRCULATION	2339 SF	217.26 m <sup>2</sup>	1.5%	
RESIDENTIAL	17685 SF	1643.02 m <sup>2</sup>	11.4%	
SERVICE	47 SF	4.40 m <sup>2</sup>	0.0%	
<b>20071 SF</b>	<b>1864.68 m<sup>2</sup></b>	<b>12.9%</b>		
<b>AREA GRAND TOTAL</b>	<b>150219 SF</b>	<b>14420.35 m<sup>2</sup></b>	<b>100.0%</b>	

**0.2.1 gross floor area summary - parkade bldg c**

LEVEL / AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
<b>PARKADE C</b>				
<b>P1 LEVEL</b>				
CIRCULATION	1330 SF	123.57 m <sup>2</sup>	3.1%	
PARKADE	38267 SF	3555.11 m <sup>2</sup>	89.7%	
SERVICE	1026 SF	95.35 m <sup>2</sup>	2.4%	
STORAGE	2019 SF	187.57 m <sup>2</sup>	4.7%	
<b>42642 SF</b>	<b>3961.60 m<sup>2</sup></b>	<b>100.0%</b>		
<b>AREA GRAND TOTAL</b>	<b>42642 SF</b>	<b>3961.60 m<sup>2</sup></b>	<b>100.0%</b>	

**0.4.0 unit floor area summary notes**

1. ALL UNIT AREAS ARE MEASURED TO THE FOLLOWING: A) EXTERIOR WALL: EXTERIOR SIDE OF SHEATHING. B) PARTY WALL: CENTER OF WALL. C) CORRIDOR/STAIR/ELEVATOR WALL: FULL THICKNESS OF WALL
2. AREAS GIVEN ON DRAWINGS AND IN SCHEDULES ARE NOT TO BE CONSIDERED LEGAL STRATA AREAS. CONFIRM STRATA AREAS BY SURVEY ON SITE

**0.3.0 unit count summary - bldg c**

UNIT TYPE	UNIT COUNT	UNIT TYPE %
<b>BUILDING C</b>		
1 BED	67	48.6%
1 BED + DEN	10	7.2%
2 BED	51	37.0%
2 BED + DEN	6	4.3%
STUDIO	4	2.9%
<b>TOTAL UNITS: 138</b>		<b>100.0%</b>

**0.4.1 unit floor area summary - bldg c**

UNIT	UNIT TYPE	COUNT	UNIT AREA SF (1 SF)	UNIT AREA m <sup>2</sup> (1 m <sup>2</sup> )	TOTAL UNIT AREA SF	TOTAL UNIT AREA m <sup>2</sup>
UNIT A	STUDIO	4	456 SF	42 m <sup>2</sup>	1823 SF	169.38 m <sup>2</sup>
UNIT B	1 BED	4	511 SF	47 m <sup>2</sup>	2046 SF	190.04 m <sup>2</sup>
UNIT B	1 BED	15	513 SF	48 m <sup>2</sup>	7694 SF	714.75 m <sup>2</sup>
UNIT B	1 BED	1	514 SF	48 m <sup>2</sup>	514 SF	47.77 m <sup>2</sup>
UNIT B	1 BED	4	515 SF	48 m <sup>2</sup>	2062 SF	191.52 m <sup>2</sup>
UNIT B1c	1 BED	6	492 SF	46 m <sup>2</sup>	2953 SF	274.37 m <sup>2</sup>
UNIT B3	1 BED	12	512 SF	48 m <sup>2</sup>	6139 SF	570.31 m <sup>2</sup>
UNIT B4c	1 BED	6	490 SF	46 m <sup>2</sup>	2940 SF	273.14 m <sup>2</sup>
UNIT B5	1 BED	5	573 SF	53 m <sup>2</sup>	2867 SF	266.38 m <sup>2</sup>
UNIT B5	1 BED	5	579 SF	54 m <sup>2</sup>	2896 SF	269.04 m <sup>2</sup>
UNIT B6	1 BED	5	535 SF	50 m <sup>2</sup>	2673 SF	248.32 m <sup>2</sup>
UNIT B7c	1 BED	4	634 SF	59 m <sup>2</sup>	2535 SF	235.53 m <sup>2</sup>
UNIT C	1 BED + DEN	1	744 SF	69 m <sup>2</sup>	744 SF	69.09 m <sup>2</sup>
UNIT C1c	1 BED + DEN	4	744 SF	69 m <sup>2</sup>	2975 SF	276.37 m <sup>2</sup>
UNIT C2c	1 BED + DEN	5	757 SF	70 m <sup>2</sup>	3786 SF	351.71 m <sup>2</sup>
UNIT D	2 BED	11	767 SF	71 m <sup>2</sup>	8440 SF	784.07 m <sup>2</sup>
UNIT D	2 BED	9	768 SF	71 m <sup>2</sup>	6913 SF	642.27 m <sup>2</sup>
UNIT D	2 BED	4	769 SF	71 m <sup>2</sup>	3075 SF	285.70 m <sup>2</sup>
UNIT D	2 BED	5	774 SF	72 m <sup>2</sup>	3872 SF	359.72 m <sup>2</sup>
UNIT D	2 BED	2	775 SF	72 m <sup>2</sup>	1549 SF	143.93 m <sup>2</sup>
UNIT D	2 BED	4	779 SF	72 m <sup>2</sup>	3117 SF	289.56 m <sup>2</sup>
UNIT D1c	2 BED	1	828 SF	77 m <sup>2</sup>	828 SF	76.92 m <sup>2</sup>
UNIT D2c	2 BED	4	789 SF	73 m <sup>2</sup>	3158 SF	293.35 m <sup>2</sup>
UNIT D3c	2 BED	6	802 SF	75 m <sup>2</sup>	4813 SF	447.17 m <sup>2</sup>
UNIT D3c	2 BED	5	959 SF	89 m <sup>2</sup>	4797 SF	445.66 m <sup>2</sup>
UNIT Ec	2 BED + DEN	5	888 SF	82 m <sup>2</sup>	4441 SF	412.57 m <sup>2</sup>
UNIT Ec	2 BED + DEN	1	889 SF	83 m <sup>2</sup>	889 SF	82.57 m <sup>2</sup>
<b>UNIT TOTALS: 138</b>					<b>90538 SF</b>	<b>8411.22 m<sup>2</sup></b>



**0.5.0 parking requirements - bldg. c**

		UNITS / AREA	CURRENT FACTOR	REQUIRED STALLS	PROPOSED FACTOR	PROVIDED STALLS
<b>VEHICLE PARKING STALL DATA</b>						
TENANT - (ALL UNIT TYPES)		138 UNITS	*1.1	(151.8) 152 STALLS	*1.1	152 + 1 EXTRA STALL = 153
VISITOR		138 UNITS	*0.1 PARKING SPACES PER UNIT	(13.8) 14 STALLS	*0.1	14 STALLS + 1 EXTRA = 15
<b>TOTAL STALLS</b>				<b>166 STALLS</b>		<b>168 STALLS</b>
<b>PARKING PROVIDED</b>						
TENANT	ACCESSIBLE		IF THE NUMBER OF REQUIRED PARKING SPACES IS GREATER THAN 12, A MINIMUM OF 2% OF THE REQUIRED PARKING SPACES SHALL BE HANDICAPPED PARKING SPACES.	-	2% OF REQUIRED PARKING SPACES	(2.2) = 2 STALLS
	VAN - ACCESSIBLE		WHERE ACCESSIBLE PARKING SPACES ARE REQUIRED, 50% OF ACCESSIBLE PARKING SPACES MUST BE PROVIDED AS VAN-ACCESSIBLE PARKING SPACES;	-	50% OF REQUIRED ACCESSIBLE PARKING SPACES	1 STALL
	SMALL CAR		A MAXIMUM OF 35% OF THE TOTAL PARKING SPACES REQUIRED MAY BE DESIGNATED AS SMALL CAR PARKING SPACES.	58 STALLS	22%	96 STALLS
	ELECTRIC VEHICLE CHARGE INFRASTRUCTURE		100% RESIDENTIAL PARKING SPACES TO HAVE AN ENERGIZED ELECTRICAL OUTLET CAPABLE OF PROVIDING LEVEL 2, OR HIGHER LEVEL OF ELECTRIC VEHICLE CHARGING.	-	100%	100%
	STANDARD SIZE		-	-	-	115 STALLS
						<b>159 STALLS</b>
VISITOR	ACCESSIBLE		IF THE NUMBER OF REQUIRED PARKING SPACES IS GREATER THAN 12, A MINIMUM OF 2% OF THE REQUIRED PARKING SPACES SHALL BE HANDICAPPED PARKING SPACES.	-	2% OF REQUIRED PARKING SPACES	1 STALL + 1 EXTRA STALL = 2
	VAN - ACCESSIBLE		WHERE ACCESSIBLE PARKING SPACES ARE REQUIRED, 50% OF ACCESSIBLE PARKING SPACES MUST BE PROVIDED AS VAN-ACCESSIBLE PARKING SPACES;	-	50% OF REQUIRED ACCESSIBLE PARKING SPACES	1 STALL
	SMALL CAR		A MAXIMUM OF 35% OF THE TOTAL PARKING SPACES REQUIRED MAY BE DESIGNATED AS SMALL CAR PARKING SPACES.	-	20%	3 STALLS
	ELECTRIC VEHICLE CHARGE INFRASTRUCTURE		50% VISITOR PARKING SPACES TO HAVE AN ENERGIZED ELECTRICAL OUTLET CAPABLE OF PROVIDING LEVEL 2, OR HIGHER LEVEL OF ELECTRIC VEHICLE CHARGING.	-	50%	50% = 8 STALLS
	STANDARD SIZE		-	-	-	10 STALLS
						<b>15 STALLS</b>
<b>TOTAL STALLS</b>				<b>166 STALLS</b>		<b>168 STALLS</b>
<b>SPECIALTY PARKING STALL DATA</b>						
LOADING			-	-	-	-
<b>BIKE PARKING STALL DATA</b>						
TENANT (UNIT)		138 UNITS	*1.2 SPACES PER UNIT	(165.6) 166	*1.2	116 BIKE STALLS + 81 EXTRA STALLS = 197
VISITOR (BLDG)	SURFACE BIKE STALL	1	6 SPACES PER BUILDING	6	6 SPACES PER BUILDING	6 STALLS
<b>TOTAL STALLS</b>				<b>172 STALLS</b>		<b>203 STALLS</b>

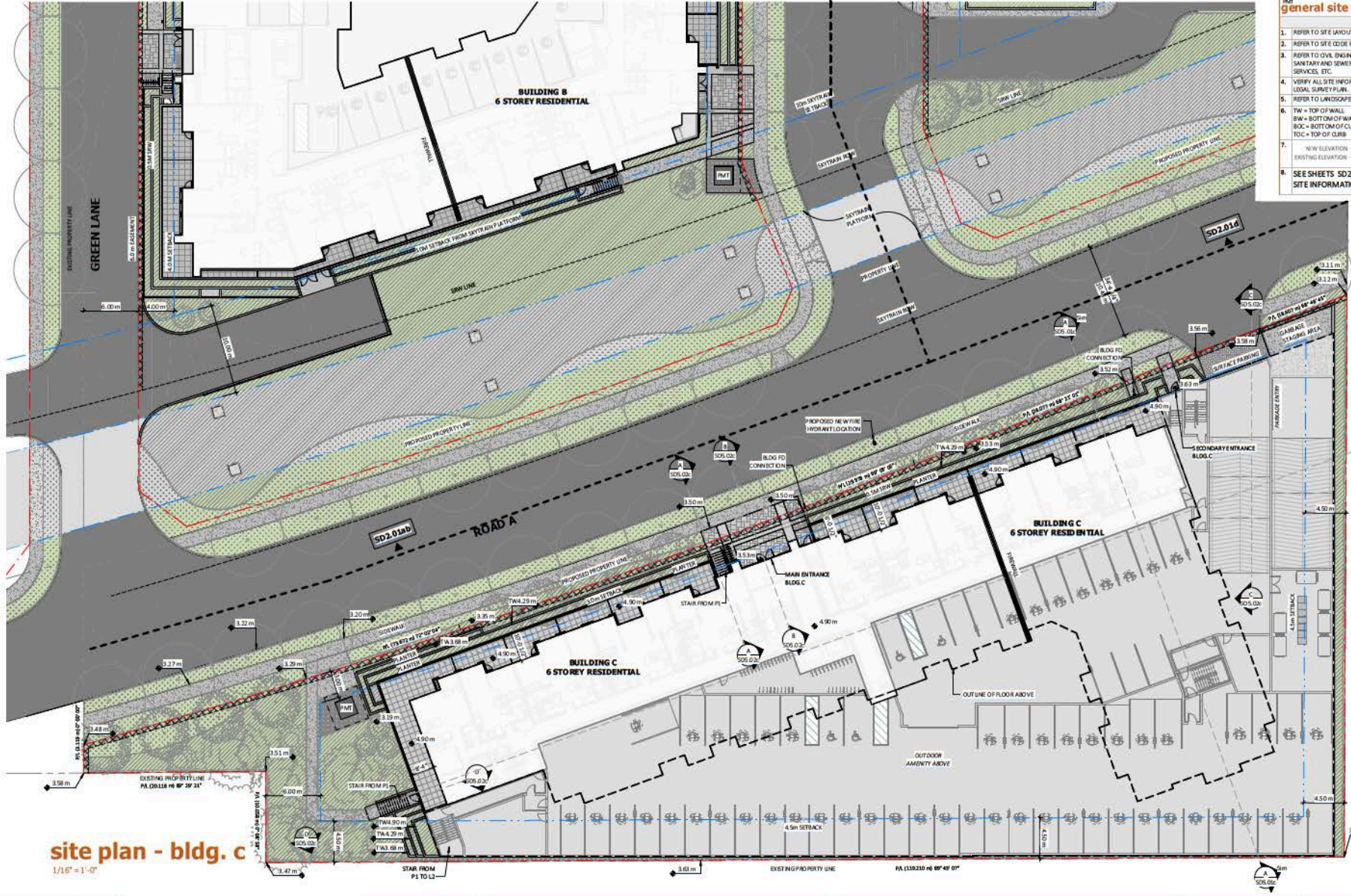
**0.5.1 vehicle parking stall summary - bldg c**

PARKING STALL USER/TYPE	PARKING STALL COUNT	% BY STALL USER	% OF OVERALL	LEVEL	COMMENTS
<b>BUILDING C</b>					
<b>RESIDENT</b>					
ACCESSIBLE	1	1%	0.6%	1ST LEVEL	
ACCESSIBLE-VAN	1	1%	0.6%	1ST LEVEL	
SMALL CAR	20	13%	11.9%	1ST LEVEL	
SMALL CAR	16	10%	9.5%	P1 LEVEL	
STANDARD	28	18%	16.7%	1ST LEVEL	
STANDARD	87	57%	51.8%	P1 LEVEL	
<b>RESIDENT: 153</b>		<b>100%</b>	<b>91.1%</b>		
<b>VISITOR</b>					
ACCESSIBLE	1	7%	0.6%	1ST LEVEL	
ACCESSIBLE-VAN	1	7%	0.6%	1ST LEVEL	
SMALL CAR	3	20%	1.8%	1ST LEVEL	
STANDARD	10	67%	6.0%	1ST LEVEL	
<b>VISITOR: 15</b>		<b>100%</b>	<b>8.9%</b>		
<b>BUILDING C</b>			<b>100.0%</b>		
<b>TOTAL PARKING STALLS: 168</b>			<b>100.0%</b>		

**0.5.2 bike parking stall summary - bldg c**

PARKING STALL USER/TYPE	PARKING STALL COUNT	PARKING STALL %	LEVEL	COMMENTS
<b>BUILDING C</b>				
<b>RESIDENT</b>				
BIKE - DBLSIDED FLOOR RACK	56	27.6%	P1 LEVEL	
BIKE - SGL WALL MOUNTED RACK	45	22.2%	1ST LEVEL	
BIKE - SGL WALL MOUNTED RACK	96	47.3%	P1 LEVEL	
<b>RESIDENT: 197</b>				
<b>VISITOR</b>				
SURFACE MOUNT BIKE STALL	6		1ST LEVEL	
<b>VISITOR: 6</b>		<b>100.0%</b>		
<b>TOTAL PARKING STALLS: 203</b>			<b>100.0%</b>	

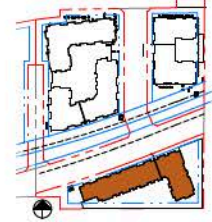




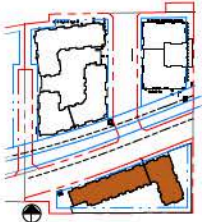
site plan - bldg. c  
1/16" = 1'-0"

**general site notes**

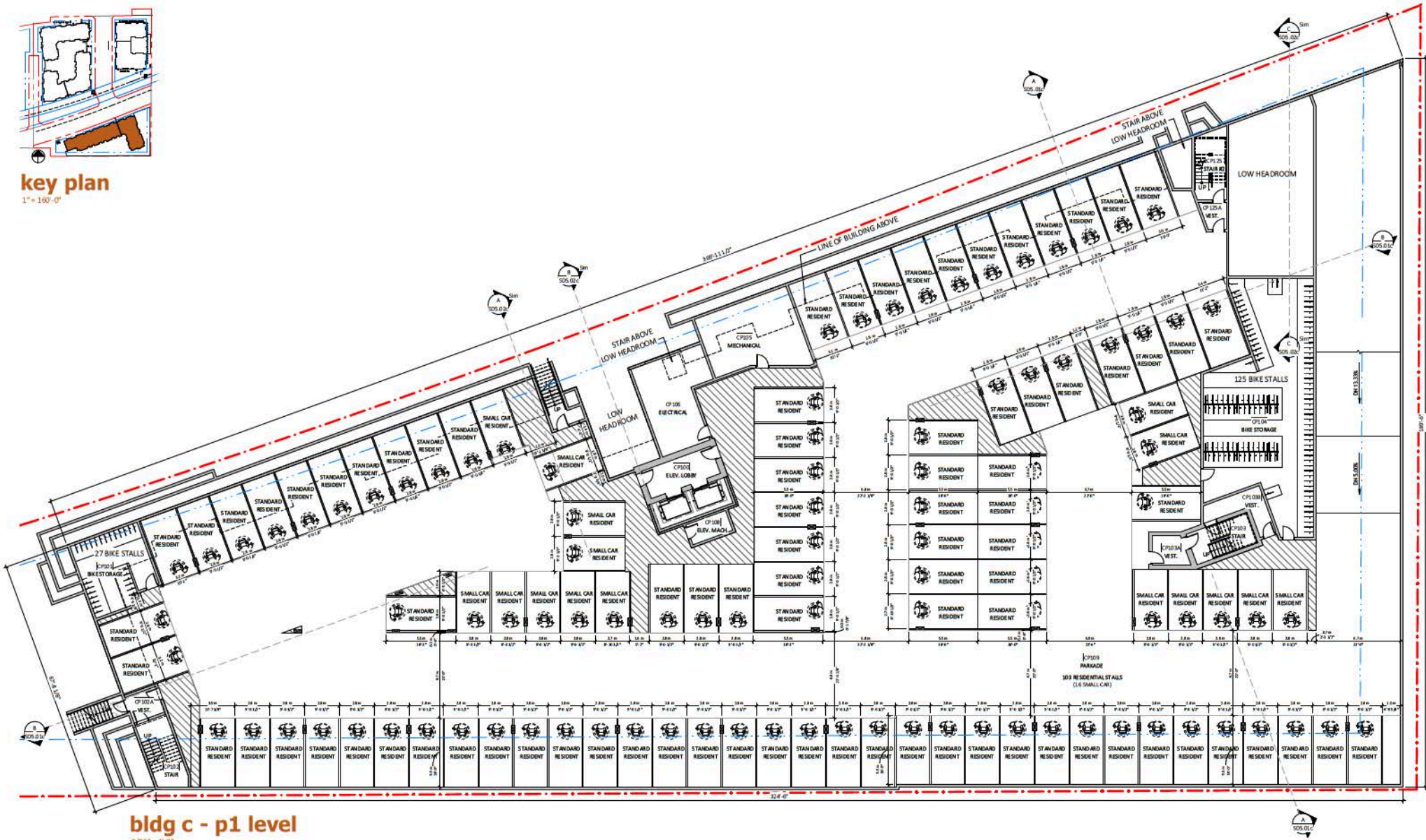
- REFER TO SITE LAYOUT PLAN FOR BUILDING POSITIONING ON SITE.
- REFER TO SITE C/D/C PLAN.
- REFER TO CIVIL ENGINEER'S DRAWINGS FOR PAVED AREA DRAINAGE, SITE ELEVATIONS, SANITARY AND SEWER LINES, EXTENT OF DEMO, NEW AND REPAIRED PAVING, OTHER SERVICES, ETC.
- VERIFY ALL SITE INFORMATION, BUILDING AREA, DIMENSIONS AND BEARINGS WITH LEGAL SURVEY PLAN.
- REFER TO LANDSCAPE DRAWINGS FOR ALL HARD & SOFT LANDSCAPING.
- TW = TOP OF WALL  
BW = BOTTOM OF WALL  
BOC = BOTTOM OF CURB  
TDC = TOP OF CURB
- NEW ELEVATION: 20.00'  
EXISTING ELEVATION: 20.00'
- SEE SHEETS SD2.01a, SD2.01d, SD2.01e FOR MORE DETAILED SITE INFORMATION



key plan  
1" = 160'-0"



key plan  
1" = 160'-0"



bldg c - p1 level  
3/32" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

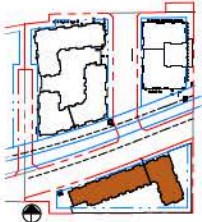
**BLDG C - P1 LEVEL PLAN**  
SCALE: As indicated



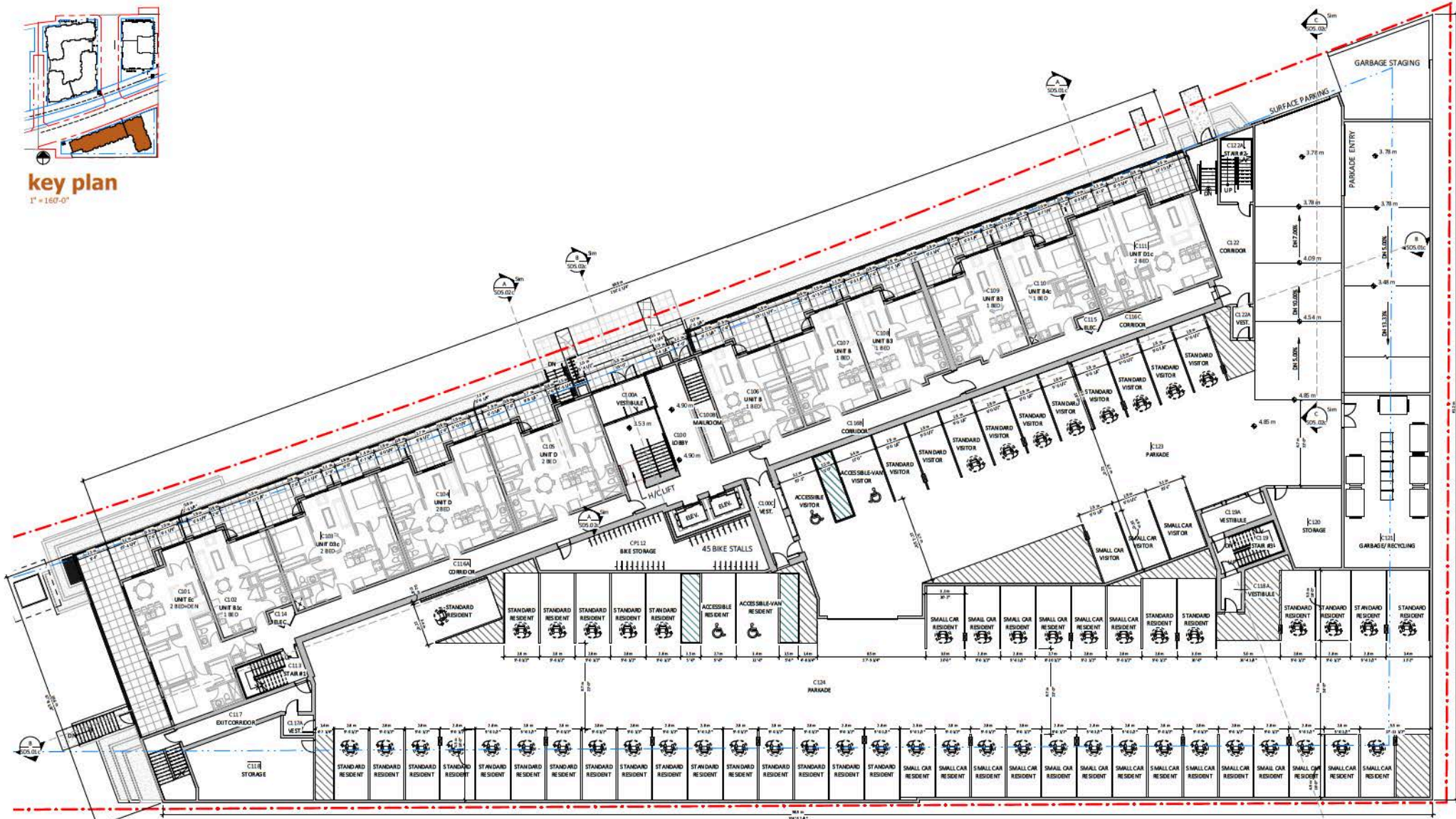
**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD2.10c



key plan  
1" = 160'-0"



**bldg c - 1st level**  
3/32" = 1'-0"



**KING GEORGE MIXED USE**  
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**BLDG C - 1st LEVEL PLAN**  
SCALE: As indicated

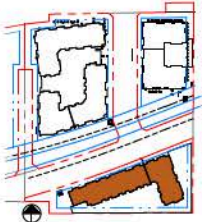


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2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153

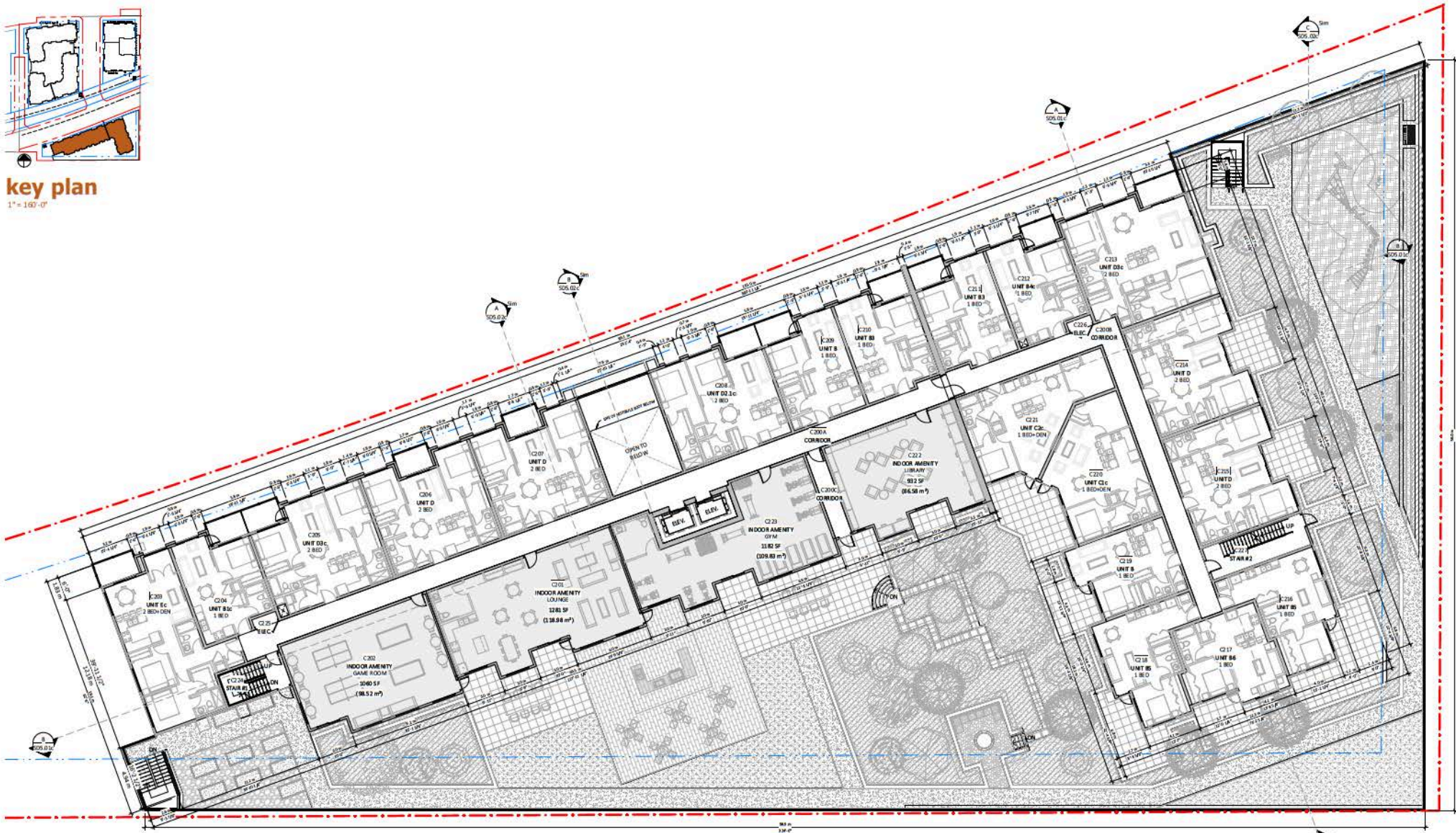


SD2.11c





key plan  
1" = 160'-0"



**bdg c - 2nd level**

3/32" = 1'-0"



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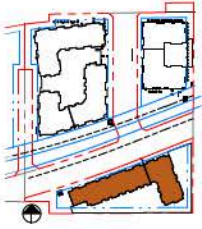
**BLDG C - 2nd LEVEL PLAN**  
SCALE: As indicated



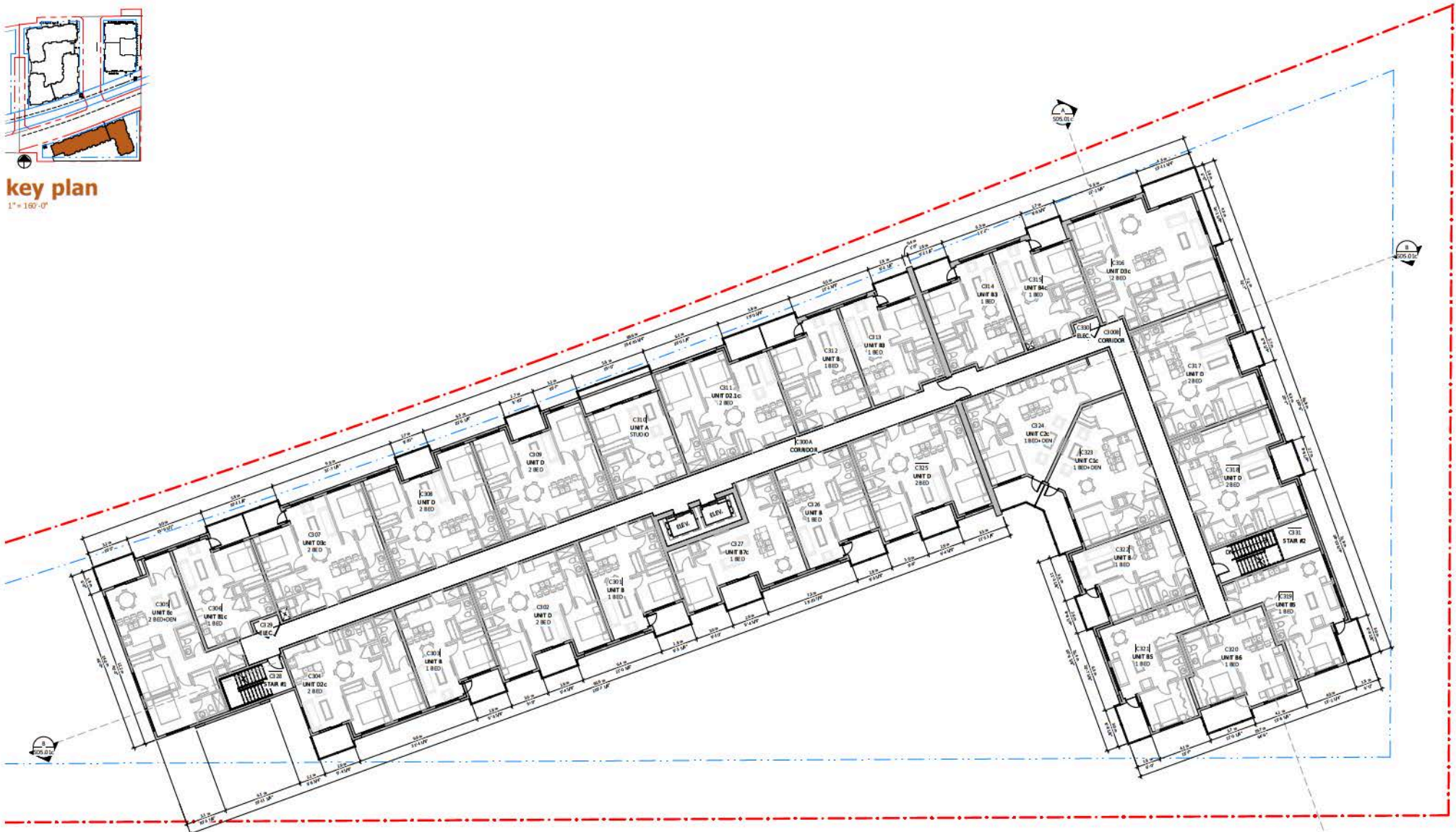
**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD2.12c



key plan  
1" = 160'-0"



**bldg c - 3rd - 6th level**  
3/32" = 1'-0"



**KING GEORGE MIXED USE**  
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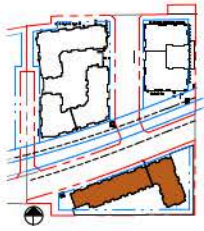
**BLDG C - 3rd- 6th LEVEL PLAN**  
SCALE: As indicated



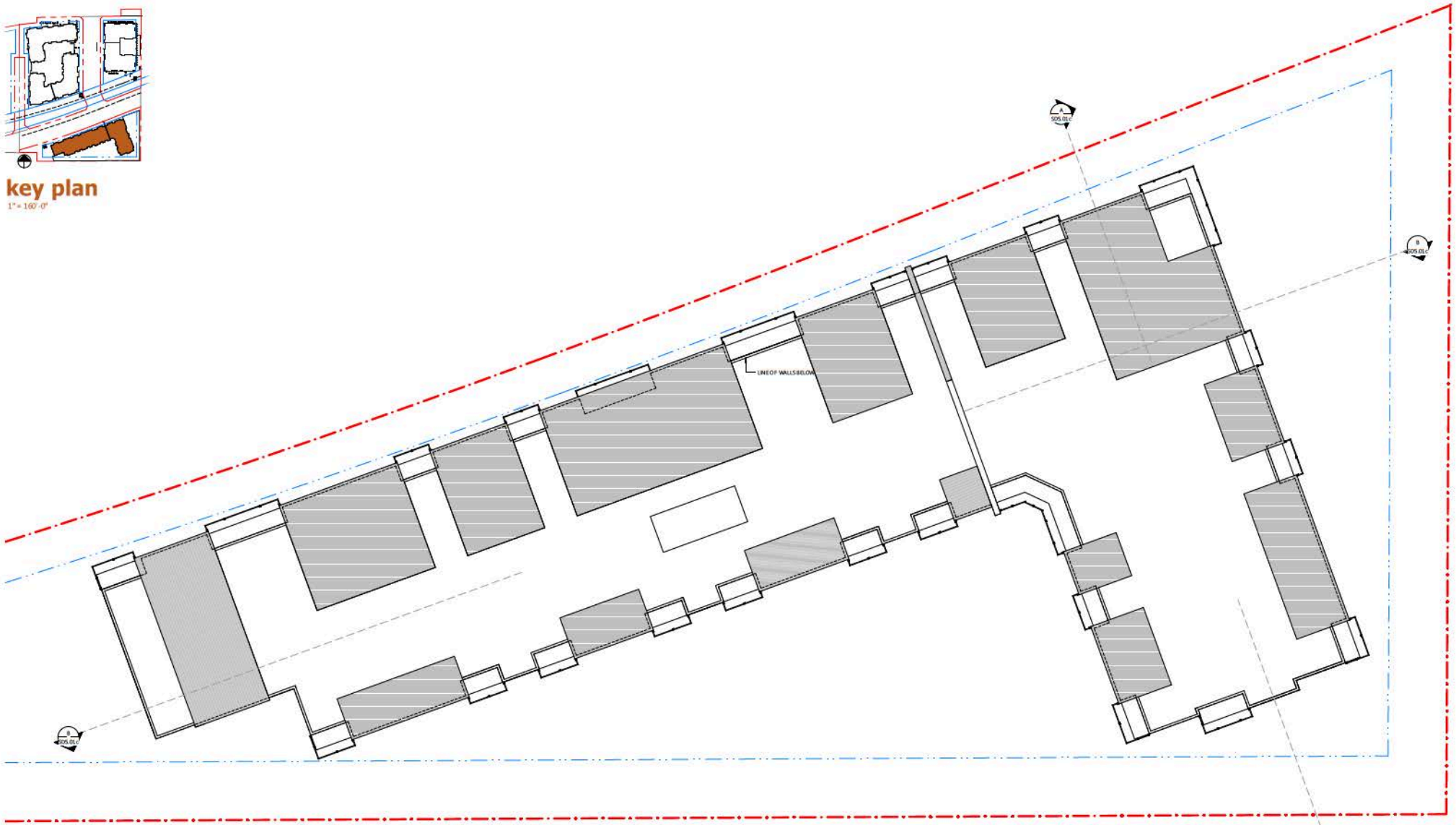
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2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD2.13c



key plan  
1" = 160' 0"



**bldg c - roof level**  
3/32" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

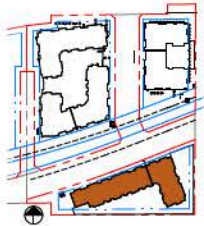
**BLDG C - ROOF LEVEL**  
SCALE: As indicated



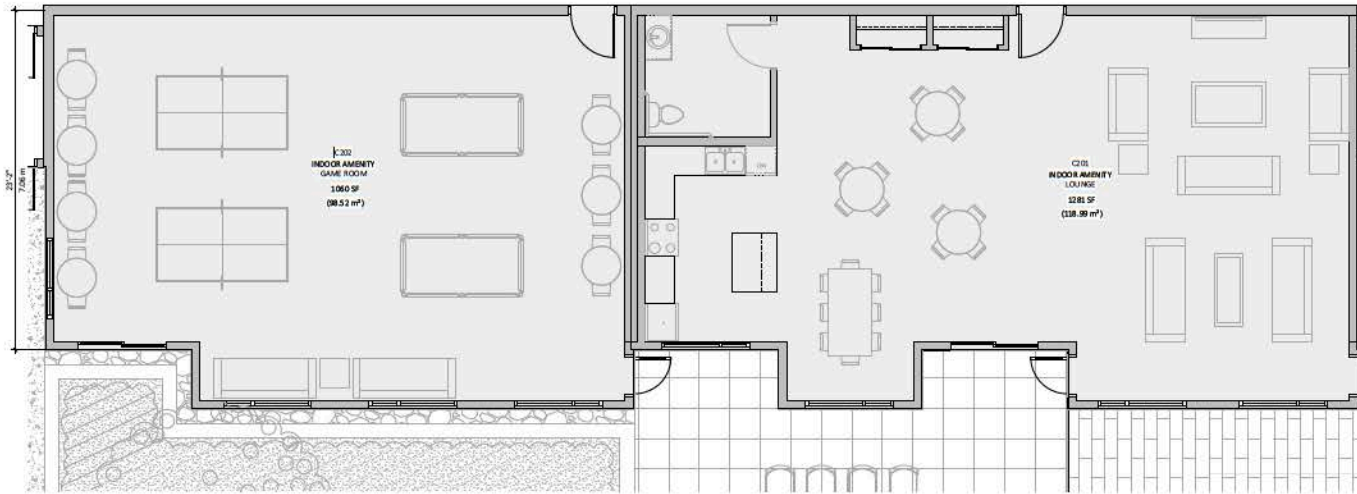
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2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



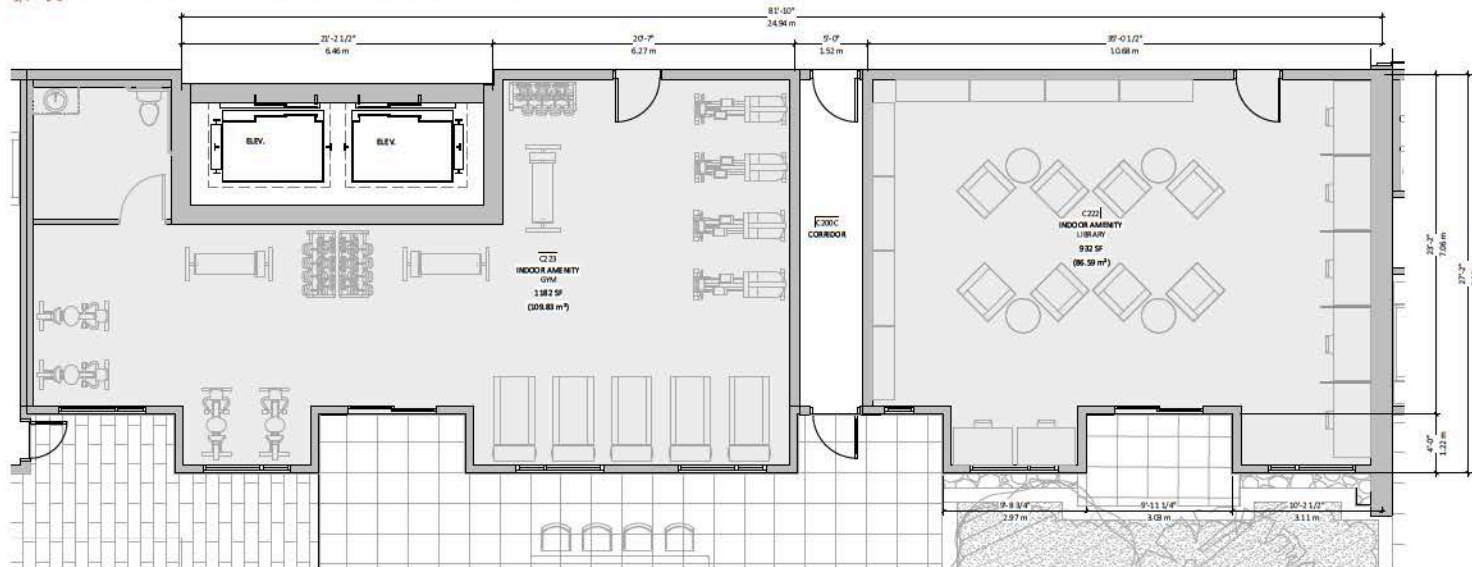
SD2.14c



key plan  
1" = 160'-0"



indoor amenity - enlarged plan 1  
1/4" = 1'-0"



indoor amenity - enlarged plan 2  
1/4" = 1'-0"



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**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

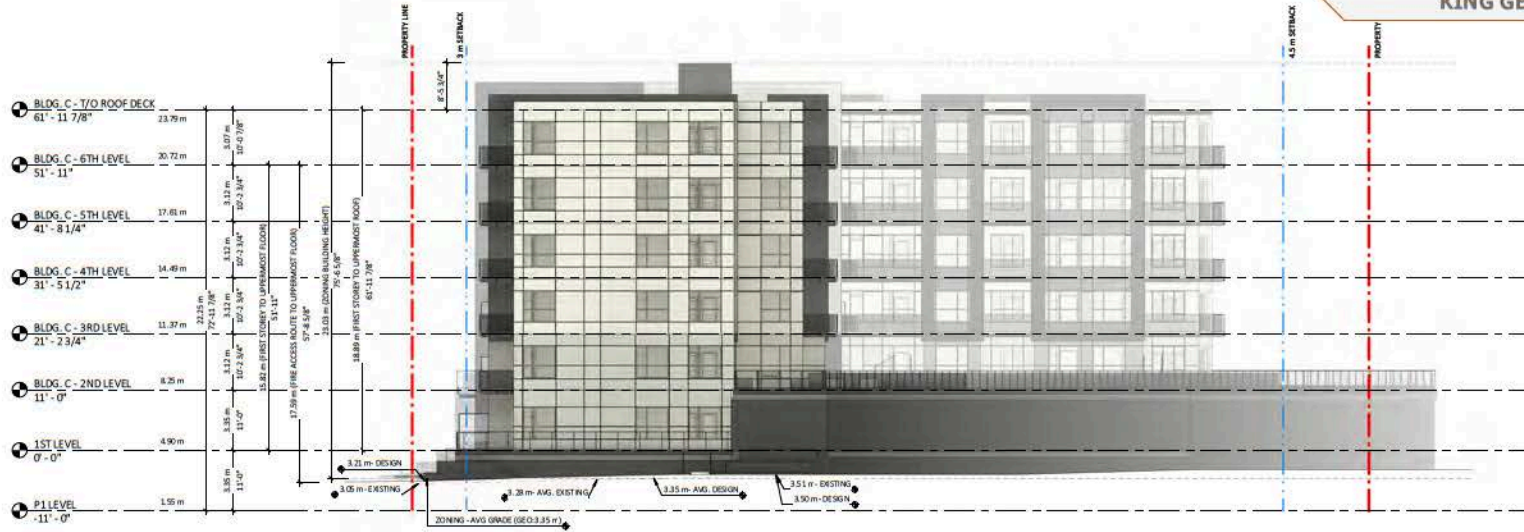
**BLDG C - ENLARGED PLANS**  
SCALE: As indicated



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CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD2.15c



### BUILDING C - WEST ELEVATION

3/32" = 1'-0"

#### BUILDING C:

**NATURAL EXISTING GRADES:**  
 AVG GRADE NORTH: 3.09m for 374'  
 AVG GRADE EAST: 3.43m for 187.75'  
 AVG GRADE SOUTH: 3.60m for 313'  
 AVG GRADE WEST: 3.28m for 65'  
 AVERAGE NATURAL GRADE: 3.35m

HIGHEST POINT OF BLDG C: 26.38m  
 ZONING BUILDING HEIGHT: 23.03m  
 LOWEST AVG DESIGN GRADE: 3.21m



### BUILDING C - SOUTH ELEVATION

3/32" = 1'-0"



**KING GEORGE MIXED USE**  
 12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**BUILDING C ELEVATIONS**  
 SCALE: 3/32" = 1'-0"

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 2023-04-28 REVISION #1  
 CITY OF SURREY FILE #20-0188  
 PROJECT NUMBER: 17-153



SD3.01c



### BUILDING C - NORTH ELEVATION

1/16" = 1'-0"



### BUILDING C - EAST ELEVATION

3/32" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**BUILDING C ELEVATIONS**  
SCALE: As indicated

**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD3.02c



1



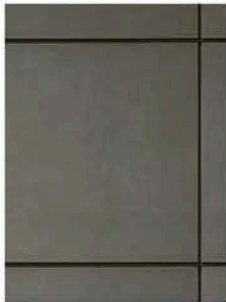
CORRUGATED METAL (HORIZONTAL)  
COLOUR:

2



BRICK, TEXTURE 'SMOOTH'  
COLOUR: '1'

3



CEMENT BOARD PANEL SIDING  
COLOUR: 'IRON GRAY'

4



CEMENT BOARD PANEL SIDING  
COLOUR: 'NIGHT GRAY'

5



CEMENT BOARD PANEL SIDING  
COLOUR: 'ARCTIC WHITE'

6



CONCRETE WALL  
COLOUR: 'CLEAR SEALER'



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**KING GEORGE MIXED USE**

12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**MATERIAL BOARD**

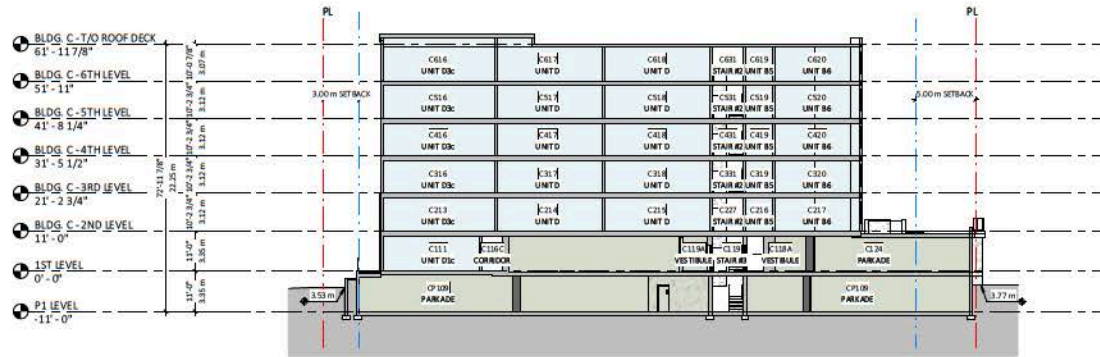
SCALE: 1/16" = 1'-0"

**RE-ISSUED FOR DP**

2023-04-28 REVISION #  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD4.01c

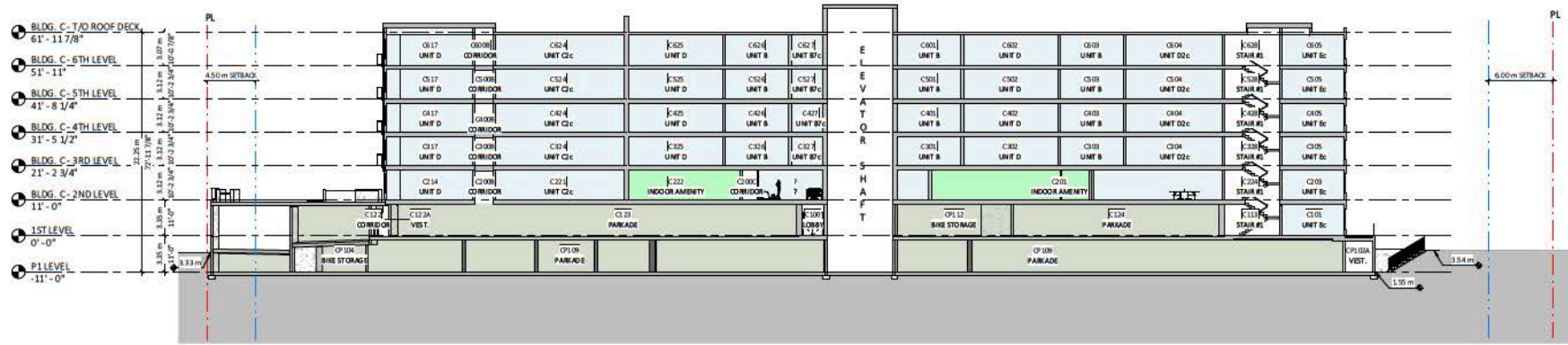


**N/S BUILDING C SECTION A**

1/16" = 1'-0"

**OCCUPANCIES**

- GROUP C - RESIDENTIAL
- GROUP C ASSEMBLY NON FIXED
- GROUP F3 - PARKADE



**W/E BUILDING C SECTION B**

1/16" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**BUILDING SECTIONS**  
SCALE: 1/16" = 1'-0"

**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153

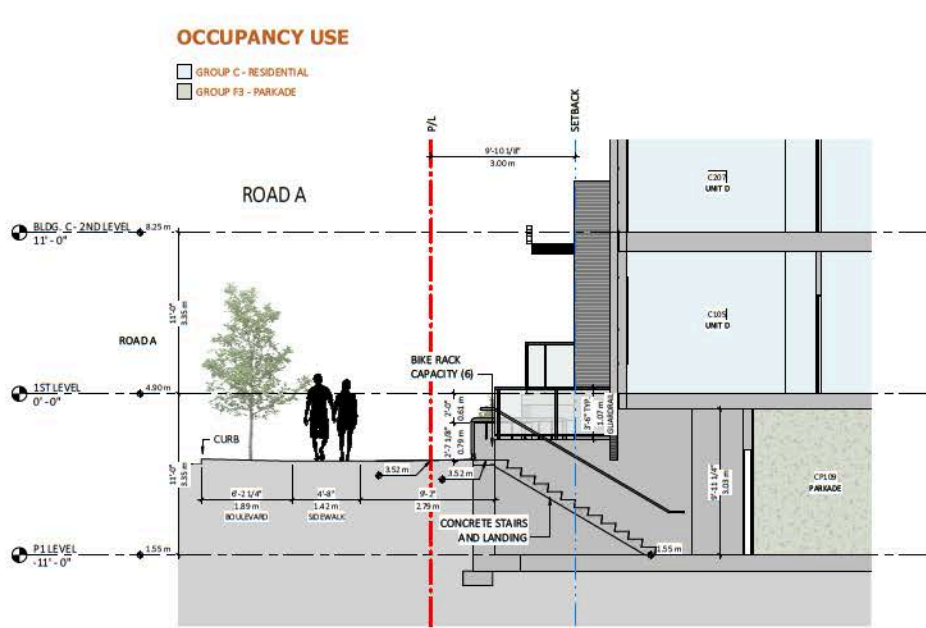


**SD5.01c**



OCCUPANCY USE

- GROUP C - RESIDENTIAL
- GROUP F3 - PARKADE



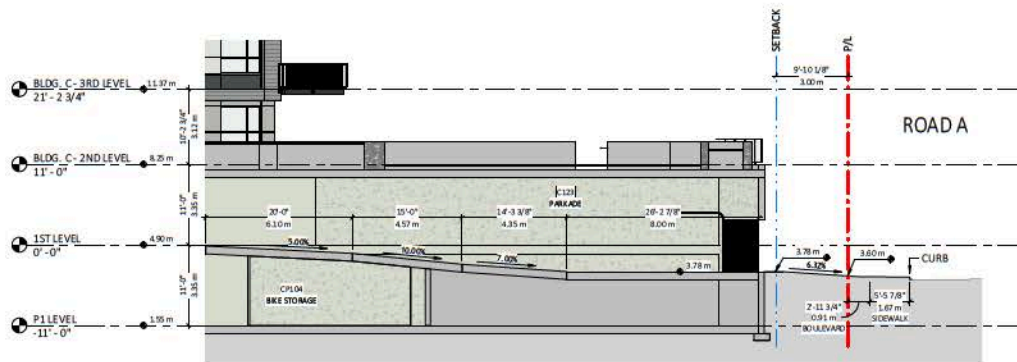
**BUILDING C ENLARGED SECTION A**

1/4" = 1'-0"



**BUILDING C ENLARGED SECTION B**

1/4" = 1'-0"



**BUILDING C ENLARGED SECTION C**

1/8" = 1'-0"



**BUILDING C ENLARGED SECTION D**

1/4" = 1'-0"



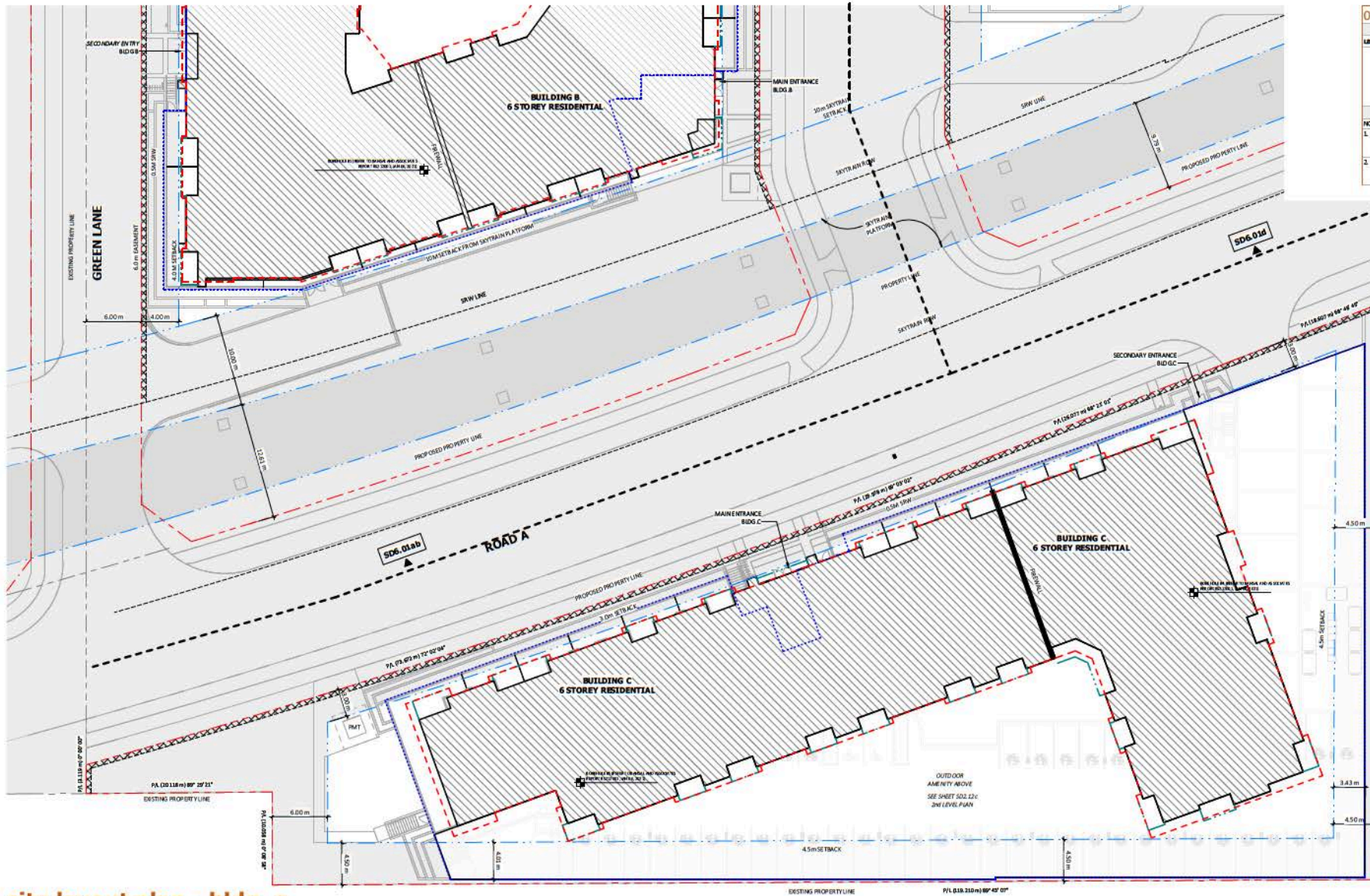
**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**ENLARGED SECTIONS**  
SCALE: As indicated

**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD5.02c

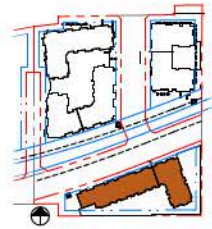


**0.8.1 site layout plan notes/legend**

LEGEND	
	PROPERTY LINE
	OUTLINE OF PARKING
	OUTLINE OF ROOF AREA
	OUTLINE OF BALCONY AREA
	SETBACK
	RESIDING FOOTPRINT
	RIGHT OF WAY/SETBACK

**NOTES**

- REFER TO LEGAL SURVEY PLAN, COMPLETED BY H.V. ASSOCIATES LAND SURVEYING LTD. (DATED 06-09-2017) TO VERIFY ALL SITE INFORMATION.
- SEE SHEETS SD6.01a, SD6.01d, SD6.01e FOR MORE DETAILED LAYOUT INFORMATION.



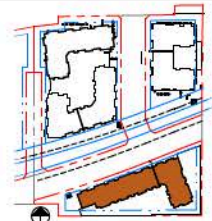
**key plan**  
1" = 160'-0"

**site layout plan - bldg. c**  
1/16" = 1'-0"

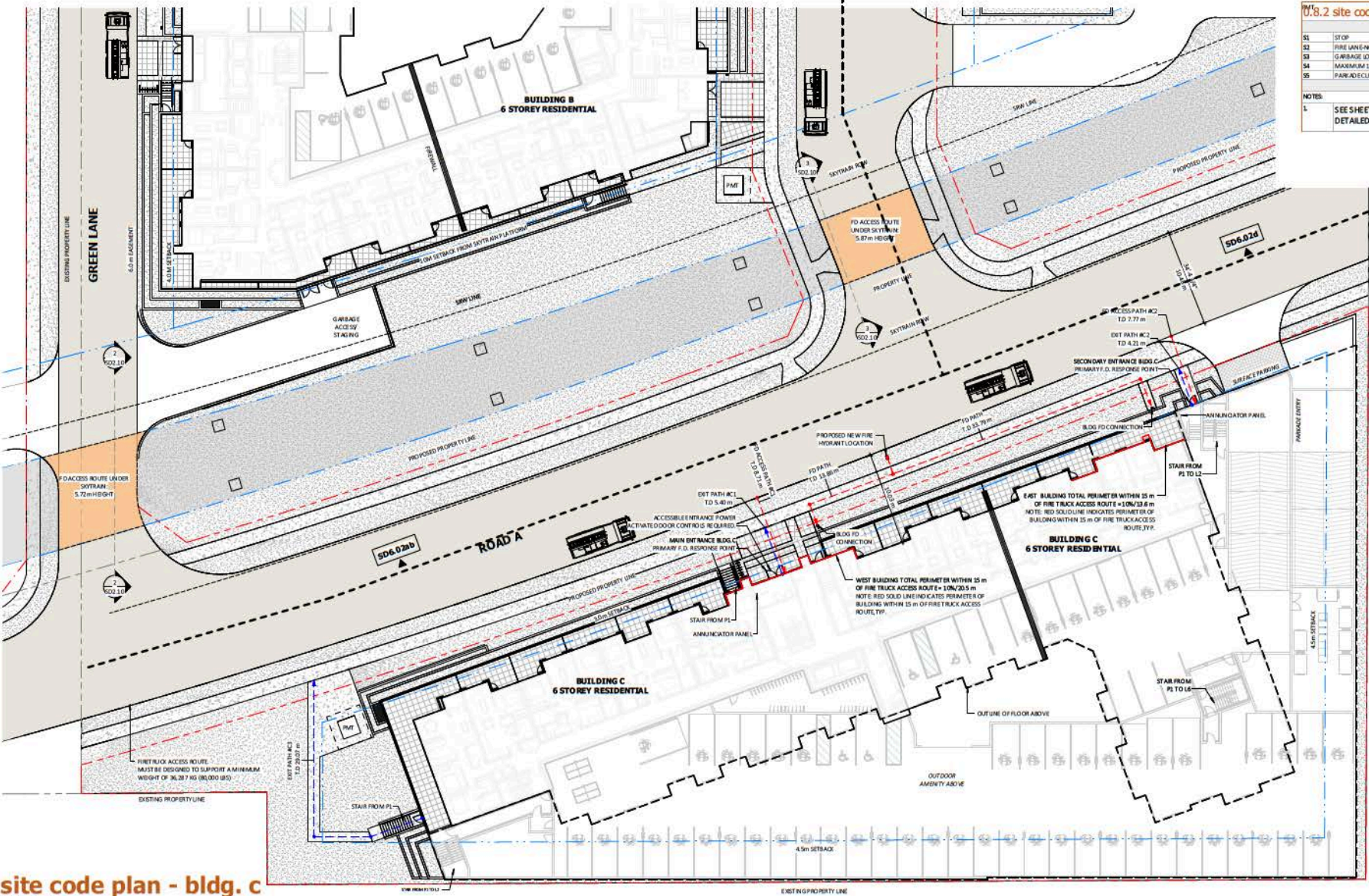
**0's.2 site code plan notes/legend**

S1	STOP
S2	FIRE LANE-NO PARKING
S3	GARAGE LOADING ZONE-NO PARKING
S4	MAXIMUM 10 KPH
S5	PARKING CLEARANCE 7'-0"

NOTES:  
1. SEE SHEETS SD6.02ab, SD6.02b, SD6.02c FOR MORE DETAILED CODE INFORMATION



**key plan**  
1" = 160'-0"



**site code plan - bldg. c**  
1/16" = 1'-0"



**BUILDING C - RESIDENTIAL BUILDING ENTRY**

1/2" = 1'-0"



keystonearch.ca

**KING GEORGE MIXED USE**

12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**SIGNAGE DETAILS**

SCALE: 1/2" = 1'-0"

**RE-ISSUED FOR DP**

2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153

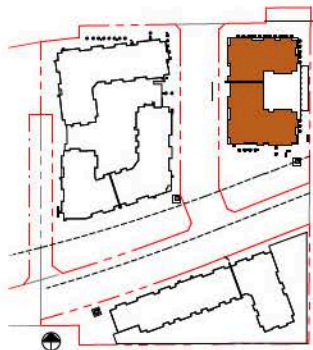


**SD7.01c**

sheet schedule

building d

- SD0.01d COVER PAGE - BUILDING D
- SD1.10d PROJECT DATA
- SD1.11d PROJECT DATA
- SD1.12d PROJECT DATA
- SD2.01d SITE PLAN-ENLARGED- BLDG.D
- SD2.10d BLDG D - P-1 LEVEL PLAN
- SD2.11d BLDG D - 1st LEVEL PLAN
- SD2.12d BLDG D - 2nd LEVEL PLAN
- SD2.13d BLDG D - 3rd & 4th LEVEL PLANS
- SD2.14d BLDG D - 5th LEVEL PLAN
- SD2.15d BLDG D - ROOF LEVEL PLAN
- SD2.16d BLDG D - ENLARGED PLANS
- SD3.01d BUILDING D ELEVATIONS
- SD3.02d BUILDING D ELEVATIONS
- SD4.01d MATERIAL BOARD
- SD5.01d BUILDING SECTIONS
- SD5.02d ENLARGED SECTIONS
- SD5.03d ENLARGED SECTIONS
- SD6.01d SITE LAYOUT PLAN - BUILDING D
- SD6.02d SITE CODE PLAN-ENLARGED
- SD7.01d SIGNAGE DETAILS



keyplan - bldg d

1" = 100'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**COVER PAGE - BUILDING D**  
SCALE: N.T.S.

**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD0.01d

0.1.1 project data - bldg d

SITE GROSS AREA:	248,551.40 S.F. (23,091.18 SM)
SITE BLDG. D NET AREA:	48,187.4 SF (4,476.7 SM)
LOT COVERAGE (NET):	SITE BLDG. D NET AREA / GFA = 47%
PROPOSED DENSITY:	78,821 SF (Bldg D) + 4,141 SF (P1 circulation, etc) - 1,829.9 SF (bike storage) = 81,132.1 (7,537.4 SM) / 48,187.4 SF (4,476.7 SM) = 1.68 FAR for Site D
BUILDING FOOTPRINT:	22,236 SF (2,065 SM)
GROSS FLOOR AREA (NOT INCLUDING PARKADE):	78,821 SF (7,322.7 SM)
UNIT COUNT:	99
PROPOSED BUILDING HEIGHT:	6 STOREY
1ST STOREY TO UPPERMOST FLOOR LEVEL -	MAXIMUM - 18.0m (3.2.2.50), PROPOSED - 13.62m
1ST STOREY TO UPPERMOST ROOF -	MAXIMUM - 25.0m (3.2.2.50), PROPOSED - 16.74m
ZONING BUILDING HEIGHT	PROPOSED - 19.74m
FIRE ACCESS ROUTE TO UPPERMOST FLOOR LEVEL -	MAXIMUM - 20.0m (3.2.5.(6)(2)), PROPOSED - 15.84m
NUMBER OF STREETS:	3
AVERAGE NATURAL GRADE:	2.76M
BCBC LOWEST AVERAGE GRADE:	2.70M - (LESS OR EQUAL TO 2.0M BELOW 1ST STOREY)
PROPOSED SETBACKS:	REFER TO SITE PLANS
REQUIRED INDOOR AMENITY:	3 SM PER UNIT = 99 UNITS x 3 SM = 297 SM , PROVIDED: 299 SM
REQUIRED OUTDOOR AMENITY:	3 SM PER UNIT = 99 UNITS x 3 SM = 297 SM , PROVIDED: 304 SM
<b>GARBAGE AND RECYCLING REQUIREMENTS:</b>	
<b>RESIDENTIAL</b>	<p><u>TOTAL WASTE VOLUME COLLECTED PER WEEK = # OF UNITS * ESTIMATED WASTE VOLUME COLLECTED PER UNIT, PER WEEK</u></p> <p>MIXED CONTAINERS: 99 UNITS * 18.50 L/UNIT/WEEK = 1,832 L/WEEK</p> <p>MIXED PAPERS &amp; CARDBOARD: 99 UNITS * 4.290 L/UNIT/WEEK = 4,247 L/WEEK</p> <p>GARBAGE: 99 UNITS * 53.00 L/UNIT/WEEK = 5,247 L/WEEK</p> <p>GLASS: 99 UNITS * 2.10 L/UNIT/WEEK = 208 L/WEEK</p> <p>ORGANICS: 99 UNITS * 14.00 L/UNIT/WEEK = 1,386 L/WEEK</p> <p>TOTAL: 99 UNITS * 130.50 L/UNIT/WEEK = <b>12,920 L/WEEK</b></p>
<b>COMMERCIAL</b>	<p><u>TOTAL WASTE VOLUME COLLECTED PER WEEK = AREA OF CRU UNITS * ESTIMATED WASTE VOLUME COLLECTED PER SM, PER WEEK</u></p> <p>MIXED CONTAINERS: 742.85 SM * 0.65 L/SM/WEEK = 483 L/WEEK</p> <p>MIXED PAPERS: 742.85 SM * 1.50 L/SM/WEEK = 1,114 L/WEEK</p> <p>CARDBOARD: 742.85 SM * 2.30 L/SM/WEEK = 1,709 L/WEEK</p> <p>GARBAGE: 742.85 SM * 2.25 L/SM/WEEK = 1,671 L/WEEK</p> <p>GLASS: 742.85 SM * 0.003 L/SM/WEEK = 2 L/WEEK</p> <p>TOTAL: 742.85 SM * 6.703 L/SM/WEEK = <b>4,979 L/WEEK</b></p> <p><u>BINS REQUIRED:</u></p> <p>SIZES: 240L CART (0.7 M * 0.6 M = 0.42 SM)</p> <p>360L CART (0.9 M * 0.7 M = 0.63 SM)</p> <p>3 CUBIC YARD / 2,294L BIN (2.1 M * 1.2 M = 2.52 SM)</p> <p>4 CUBIC YARD / 3,058L BIN (2.1 M * 1.4 M = 2.94 SM)</p>
<b>RESIDENTIAL</b>	<p>MIXED CONTAINERS: 1,832 L/WEEK (1) 3 CUBIC YARD BINS</p> <p>MIXED PAPERS &amp; CARDBOARD: 4,247 L/WEEK (2) 3 CUBIC YARD BINS</p> <p>GARBAGE: 5,247 L/WEEK (2) 3 CUBIC YARD BINS &amp; (2) 360L CARTS</p> <p>GLASS: 208 L/WEEK (1) 360L CARTS</p> <p>ORGANICS: 1,386 L/WEEK (4) 360L CARTS</p> <p>TOTAL: 12,920 L/WEEK <b>(5) 3 CUBIC YARD BINS &amp; (5) 360L CARTS</b></p>
<b>COMMERCIAL</b>	<p>MIXED CONTAINERS: 483 L/WEEK (2) 360L CARTS</p> <p>MIXED PAPERS: 1,114 L/WEEK (4) 360L CARTS</p> <p>CARDBOARD: 1,709 L/WEEK (1) 3 CUBIC YARD BINS</p> <p>GARBAGE: 1,671 L/WEEK (1) 3 CUBIC YARD BINS</p> <p>GLASS: 2 L/WEEK (1) 360L CARTS</p> <p>TOTAL: 4,979 L/WEEK <b>(2) 3 CUBIC YARD BINS &amp; (7) 360L CARTS</b></p>

0.2.0 code summary - bldg d

APPLICABLE BUILDING CODES: 2018 BCBC/2018 BC FIRE CODE/ASHRAE 90.1-2016/BC ENERGY STEP CODE 2  
 BUILDING CODE COMPLIANCE/ALTERNATE SOLUTIONS REPORT:

TITLE	VALUE	REFERENCE*
<b>1. PART 3 OR PART 9 BUILDING:</b>	PART 3	DIV. A - PART 1 COMPLIANCE 1.3.3.2.
<b>2. MAJOR OCCUPANCY (IES):</b>	RESIDENTIAL/STORAGE GARAGE	3.1.2, & APPENDIX A - 3.1.2.1.(1)
<b>3. BUILDING CLASSIFICATION(S):</b>		
<b>3.1.1 STORAGE GARAGE (BELOW GRADE):</b>		3.2.280
GROUP F, DIVISION 3, ANY HEIGHT, ANY AREA, FULLY SPRINKLERED (ACTUAL AREA 2,945 m <sup>2</sup> )		3.2.280 (1), 3.2.280.(2)
NON-COMBUSTIBLE CONSTRUCTION		3.2.280 (2)(A)
FLOOR ASSEMBLIES: FIRE SEPARATIONS WITH A FIRE RESISTANCE RATING NOT LESS THAN 2 HR		3.2.280 (2)(B)
MEZZANINES: N/A		3.2.280 (2)(C)
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN 2 HR FIRE RESISTANCE RATING		3.2.280 (2)(D)
<b>3.1.1 STORAGE (ABOVE GRADE - COVERED SURFACE PARKING AREA):</b>		3.2.280
GROUP F, DIVISION 3, ANY HEIGHT, ANY AREA, SPRINKLERED (ACTUAL AREA 1,045 sm <sup>2</sup> )		3.2.280 (1), 3.2.280.(2)
NON-COMBUSTIBLE CONSTRUCTION		3.2.280 (2)(A)
FLOOR ASSEMBLIES: FIRE SEPARATIONS WITH A FIRE RESISTANCE RATING NOT LESS THAN 2 HOURS		3.2.280 (2)(B)
MEZZANINES: N/A		3.2.280 (2)(C)
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN 2 HOUR FIRE RESISTANCE RATING		3.2.280 (2)(D)
<b>3.2. RESIDENTIAL (LEVEL 2 TO 5):</b>		3.2.250
GROUP C, UP TO 6 STOREYS, SPRINKLERED (ACTUAL 5 STOREYS)		3.2.250 (1)
< 18m BETWEEN FLOOR OF FIRST STOREY & UPPERMOST FLOOR LEVEL		3.2.250 (1)(C)
ALLOWABLE BUILDING AREA: < 1800m <sup>2</sup> (ACTUAL AREA : SOUTH:883m <sup>2</sup> NORTH: 634m <sup>2</sup> )		3.2.250 (1)(D)(V)
COMBUSTIBLE CONSTRUCTION, EXCEPT NON-COMBUSTIBLE ROOF ASSEMBLIES >25 m ABOVE 1ST STOREY FLOOR		3.2.250 (2) EXCEPT (2)(C)
FLOOR ASSEMBLIES: 1 HR FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING		3.2.250 (2)(A)
ROOF ASSEMBLIES: 1 HR FIRE RESISTANCE RATING		3.2.250 (2)(B)
ROOF ASSEMBLIES: < 25 m FROM FLOOR OF FIRST STOREY TO HIGHEST POINT OF ROOF ASSEMBLY		3.2.250 (2)(D)
MEZZANINES: 1 HR FIRE RESISTANCE RATING		3.2.250 (2)(E)
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN REQUIRED FOR THE SUPPORTED ASSEMBLY		3.2.250 (2)(E)
<b>3.3. BUSINESS AND PERSONAL SERVICES (LEVEL 1):</b>		3.2.258
GROUP D, UP TO 6 STOREYS, SPRINKLERED (ACTUAL 1 STOREY)		3.2.258 (1)
< 18m BETWEEN FLOOR OF FIRST STOREY & UPPERMOST FLOOR LEVEL		3.2.258 (1)(C)
ALLOWABLE BUILDING AREA: < 3,000m <sup>2</sup> (ACTUAL AREA : 1,020 m <sup>2</sup> )		3.2.258 (1)(D)(M)
COMBUSTIBLE CONSTRUCTION, EXCEPT NON-COMBUSTIBLE ROOF ASSEMBLIES >25 m ABOVE 1ST STOREY FLOOR		3.2.258 (2) EXCEPT (2)(C)
FLOOR ASSEMBLIES: 1 HR FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING		3.2.258 (2)(A)
ROOF ASSEMBLIES: 1 HR FIRE RESISTANCE RATING		3.2.258 (2)(B)
ROOF ASSEMBLIES: < 25 m FROM FLOOR OF FIRST STOREY TO HIGHEST POINT OF ROOF ASSEMBLY		3.2.258 (2)(D)
MEZZANINES: 1 HR FIRE RESISTANCE RATING		3.2.258 (2)(E)
<b>4. BUILDINGS WITH MULTIPLE MAJOR OCCUPANCIES:</b>	YES	3.2.24 - 3.2.28, 3.2.2.50.(5)
<b>5. NON-COMBUSTIBLE CLADDING:</b>	NON-COMBUSTIBLE	3.1.48.(1)
<b>6. HIGH BUILDING:</b>	NA	
<b>7. FIREWALL:</b>	2 HR.	3.1.10.
<b>8. MEZZANINE(S):</b>	NA	
<b>9. MEZZANINE EXITING:</b>	NA	
<b>10. INTERCONNECTED FLOOR SPACE:</b>	NA, STORAGE GARAGE EXEMPT	3.2.32.(3), 3.2.8, 3.1.31.(3), 3.2.8.2.(2)
<b>11. STORAGE GARAGE-HORIZONTAL FIRE SEPARATION:</b>	YES	3.2.12.
<b>12. SPRINKLER SYSTEM:</b>	YES	3.2.218.
<b>12.1. STORAGE GARAGE:</b>	YES - NFPA 13 - 2013	3.2.5.12.(1)
<b>12.2. RESIDENTIAL:</b>	YES - NFPA 13 - 2013	3.2.5.12.(1)
<b>12.3 FIRE EXTINGUISHERS:</b>	YES - NFPA 10 - 2013	BC FIRE CODE 2018
<b>13. STANDPIPE SYSTEM:</b>	YES - NFPA 14 - 2013	3.2.58, 3.2.5.9, 3.2.5.16,
<b>14. FIRE ALARM SYSTEM:</b>	YES - SINGLE STAGE - CAN/ULC-552-14	3.2.41.(2)&(4)
<b>15. SMOKE CONTROL MEASURES:</b>	YES	3.1.8.12
<b>16. ANNUNCIATOR AND ZONE INDICATION:</b>	YES	3.2.49, 3.2.4.8
<b>NOTES:</b>		
1. *UNLESS OTHERWISE NOTED, REFERENCE NUMBERS LISTED REFER TO THE BRITISH COLUMBIA BUILDING CODE 2018		

**0.2.0 gross floor area summary notes**

1. THE TOTAL AREA OF ALL STOREYS IN ALL BUILDINGS ON A LOT MEASURED TO THE OUTSIDE OF THE EXTERIOR WALLS OF THE BUILDING
2. EXCLUSIONS: NONE

**0.2.1 gross floor area summary - bldg d**

LEVEL / AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
<b>BUILDING D</b>				
<b>1ST LEVEL</b>				
CIRCULATION	2467 SF	229.22 m <sup>2</sup>	2.6%	
COMMERCIAL	7996 SF	742.85 m <sup>2</sup>	8.5%	
OUTDOOR AMENITY	719 SF	66.79 m <sup>2</sup>	0.8%	
PARKADE	11346 SF	1054.10 m <sup>2</sup>	12.1%	
SERVICE	41 SF	3.76 m <sup>2</sup>	0.0%	
STORAGE	483 SF	44.86 m <sup>2</sup>	0.5%	
	<b>23052 SF</b>	<b>2141.99 m<sup>2</sup></b>	<b>24.6%</b>	
<b>2ND LEVEL ON BLDG D _</b>				
CIRCULATION	2074 SF	192.71 m <sup>2</sup>	2.2%	
INDOOR AMENITY	3396 SF	315.49 m <sup>2</sup>	3.6%	
OUTDOOR AMENITY	2997 SF	278.41 m <sup>2</sup>	3.2%	
RESIDENTIAL	11463 SF	1064.91 m <sup>2</sup>	12.2%	
SERVICE	173 SF	16.07 m <sup>2</sup>	0.2%	
	<b>20109 SF</b>	<b>1867.59 m<sup>2</sup></b>	<b>21.4%</b>	
<b>3RD LEVEL ON BLDG D _</b>				
CIRCULATION	1893 SF	175.84 m <sup>2</sup>	2.0%	
RESIDENTIAL	14915 SF	1385.69 m <sup>2</sup>	15.9%	
SERVICE	101 SF	9.40 m <sup>2</sup>	0.1%	
	<b>16909 SF</b>	<b>1570.93 m<sup>2</sup></b>	<b>18.0%</b>	
<b>4TH LEVEL ON BLDG D _</b>				
CIRCULATION	1893 SF	175.84 m <sup>2</sup>	2.0%	
RESIDENTIAL	14915 SF	1385.69 m <sup>2</sup>	15.9%	
SERVICE	101 SF	9.40 m <sup>2</sup>	0.1%	
	<b>16909 SF</b>	<b>1570.93 m<sup>2</sup></b>	<b>18.0%</b>	
<b>5TH LEVEL ON BLDG D _</b>				
CIRCULATION	1893 SF	175.84 m <sup>2</sup>	2.0%	
RESIDENTIAL	14915 SF	1385.69 m <sup>2</sup>	15.9%	
SERVICE	101 SF	9.40 m <sup>2</sup>	0.1%	
	<b>16909 SF</b>	<b>1570.93 m<sup>2</sup></b>	<b>18.0%</b>	
<b>AREA GRAND TOTAL</b>	<b>93883 SF</b>	<b>8721.98 m<sup>2</sup></b>	<b>100.0%</b>	

**0.2.1 gross floor area summary - parkade bldg d**

LEVEL / AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
<b>PARKADE D</b>				
<b>P1 LEVEL</b>				
CIRCULATION	1222 SF	113.57 m <sup>2</sup>	3.9%	
PARKADE	27524 SF	2557.07 m <sup>2</sup>	86.9%	
SERVICE	207 SF	19.24 m <sup>2</sup>	0.7%	
STORAGE	2711 SF	251.86 m <sup>2</sup>	8.6%	
	<b>31665 SF</b>	<b>2941.74 m<sup>2</sup></b>	<b>100.0%</b>	
<b>AREA GRAND TOTAL</b>	<b>31665 SF</b>	<b>2941.74 m<sup>2</sup></b>	<b>100.0%</b>	

**0.4.0 unit floor area summary notes**

1. ALL UNIT AREAS ARE MEASURED TO THE FOLLOWING: A) EXTERIOR WALL: EXTERIOR SIDE OF SHEATHING. B) PARTY WALL: CENTER OF WALL. C) CORRIDOR/STAIR/ELEVATOR WALL: FULL THICKNESS OF WALL.
2. AREAS GIVEN ON DRAWINGS AND IN SCHEDULES ARE NOT TO BE CONSIDERED LEGAL STRATA AREAS. CONFIRM STRATA AREAS BY SURVEY ON SITE.

**0.3.0 unit count summary - bldg d**

UNIT TYPE	UNIT COUNT	UNIT TYPE %
<b>BUILDING D</b>		
1 BED	74	74.7%
1 BED + DEN	7	7.1%
2 BED	7	7.1%
2 BED + DEN	3	3.0%
STUDIO	8	8.1%
<b>TOTAL UNITS: 99</b>		<b>100.0%</b>

**0.4.1 unit floor area summary - bldg d**

UNIT	UNIT TYPE	COUNT	UNIT AREA SF (1 SF)	UNIT AREA m <sup>2</sup> (1 m <sup>2</sup> )	TOTAL UNIT AREA SF	TOTAL UNIT AREA m <sup>2</sup>
UNIT A1d	1 BED	3	478 SF	44 m <sup>2</sup>	1435 SF	133.36 m <sup>2</sup>
UNIT A2d	STUDIO	4	330 SF	31 m <sup>2</sup>	1322 SF	122.81 m <sup>2</sup>
UNIT A3d	STUDIO	4	466 SF	43 m <sup>2</sup>	1862 SF	173.01 m <sup>2</sup>
UNIT B	1 BED	4	510 SF	47 m <sup>2</sup>	2042 SF	189.70 m <sup>2</sup>
UNIT B	1 BED	28	513 SF	48 m <sup>2</sup>	14359 SF	1334.00 m <sup>2</sup>
UNIT B	1 BED	4	522 SF	48 m <sup>2</sup>	2090 SF	194.14 m <sup>2</sup>
UNIT B1d	1 BED	4	624 SF	58 m <sup>2</sup>	2495 SF	231.77 m <sup>2</sup>
UNIT B2d	1 BED	4	513 SF	48 m <sup>2</sup>	2050 SF	190.48 m <sup>2</sup>
UNIT B3d	1 BED	3	537 SF	50 m <sup>2</sup>	1610 SF	149.60 m <sup>2</sup>
UNIT B5	1 BED	4	586 SF	54 m <sup>2</sup>	2346 SF	217.94 m <sup>2</sup>
UNIT B5	1 BED	4	587 SF	55 m <sup>2</sup>	2348 SF	218.10 m <sup>2</sup>
UNIT B5	1 BED	4	589 SF	55 m <sup>2</sup>	2357 SF	218.96 m <sup>2</sup>
UNIT B5	1 BED	4	590 SF	55 m <sup>2</sup>	2362 SF	219.43 m <sup>2</sup>
UNIT B6	1 BED	8	517 SF	48 m <sup>2</sup>	4135 SF	384.11 m <sup>2</sup>
UNIT C1d	1 BED + DEN	4	604 SF	56 m <sup>2</sup>	2417 SF	224.55 m <sup>2</sup>
UNIT C2d	1 BED + DEN	3	782 SF	73 m <sup>2</sup>	2346 SF	217.91 m <sup>2</sup>
UNIT D1d	2 BED	4	945 SF	88 m <sup>2</sup>	3782 SF	351.34 m <sup>2</sup>
UNIT D2d	2 BED	3	829 SF	77 m <sup>2</sup>	2487 SF	231.06 m <sup>2</sup>
UNIT E1d	2 BED + DEN	3	841 SF	78 m <sup>2</sup>	2524 SF	234.52 m <sup>2</sup>
<b>UNIT TOTALS: 99</b>					<b>56908 SF</b>	<b>5236.78 m<sup>2</sup></b>



**0.5.0 parking requirements - bldg. d**

VEHICLE PARKING STALL DATA		UNITS / AREA	CURRENT FACTOR	REQUIRED STALLS	PROPOSED FACTOR	PROVIDED STALLS
TENANT - (ALL UNIT TYPES)		99 UNITS	*0.8	(79.2) 79 STALLS	*0.8	84 STALLS 79 STALLS + 5 EXTRA STALLS = 84
VISITOR		99 UNITS	*0.1 PARKING SPACES PER UNIT	(9.9) 10 STALLS	*0.1	10 STALLS
COMMERCIAL		7,986 S.F. = 742 SQ.M.	3/100 SQ.M.	(22.2) 22 STALLS	3/100 SQ.M.	22 STALLS
<b>TOTAL STALLS</b>				<b>111 STALLS</b>		<b>116 STALLS</b>
<b>PARKING PROVIDED</b>						
TENANT	ACCESSIBLE	IF THE NUMBER OF REQUIRED PARKING SPACES IS GREATER THAN 12, A MINIMUM OF 2% OF THE REQUIRED PARKING SPACES SHALL BE HANDICAPPED PARKING SPACES.		-	2% OF REQUIRED PARKING SPACES	(1.58) = 2 STALLS
	VAN - ACCESSIBLE	WHERE ACCESSIBLE PARKING SPACES ARE REQUIRED, 50% OF ACCESSIBLE PARKING SPACES MUST BE PROVIDED AS VAN-ACCESSIBLE PARKING SPACES;		-	50% OF REQUIRED ACCESSIBLE PARKING SPACES	1 STALL
	SMALL CAR	A MAXIMUM OF 35% OF THE TOTAL PARKING SPACES REQUIRED MAY BE DESIGNATED AS SMALL CAR PARKING SPACES.		(27.65) 28 STALLS	35%	28 + 3 EXTRA STALLS = 31
	ELECTRIC VEHICLE CHARGE INFRASTRUCTURE	100% RESIDENTIAL PARKING SPACES TO HAVE AN ENERGIZED ELECTRICAL OUTLET CAPABLE OF PROVIDING LEVEL 2, OR HIGHER LEVEL OF ELECTRIC VEHICLE CHARGING.		-	100%	100%
	STANDARD SIZE	-		-	-	51 STALLS 84 STALLS
VISITOR	ACCESSIBLE	IF THE NUMBER OF REQUIRED PARKING SPACES IS GREATER THAN 12, A MINIMUM OF 2% OF THE REQUIRED PARKING SPACES SHALL BE HANDICAPPED PARKING SPACES.		-	2% OF REQUIRED PARKING SPACES	(.2) = 1 STALL
	VAN - ACCESSIBLE	WHERE ACCESSIBLE PARKING SPACES ARE REQUIRED, 50% OF ACCESSIBLE PARKING SPACES MUST BE PROVIDED AS VAN-ACCESSIBLE PARKING SPACES;		-	50% OF REQUIRED ACCESSIBLE PARKING SPACES	1 STALL
	SMALL CAR	A MAXIMUM OF 35% OF THE TOTAL PARKING SPACES REQUIRED MAY BE DESIGNATED AS SMALL CAR PARKING SPACES.		-	0%	-
	ELECTRIC VEHICLE CHARGE INFRASTRUCTURE	50% VISITOR PARKING SPACES TO HAVE AN ENERGIZED ELECTRICAL OUTLET CAPABLE OF PROVIDING LEVEL 2, OR HIGHER LEVEL OF ELECTRIC VEHICLE CHARGING.		-	50%	50% = 5 STALLS
	STANDARD SIZE	-		-	-	5 STALLS 10 STALLS
COMMERCIAL	ACCESSIBLE	IF THE NUMBER OF REQUIRED PARKING SPACES IS GREATER THAN 12, A MINIMUM OF 2% OF THE REQUIRED PARKING SPACES SHALL BE HANDICAPPED PARKING SPACES.		-	2% OF REQUIRED PARKING SPACES	(.44) = 1 STALL
	VAN - ACCESSIBLE	WHERE ACCESSIBLE PARKING SPACES ARE REQUIRED, 50% OF ACCESSIBLE PARKING SPACES MUST BE PROVIDED AS VAN-ACCESSIBLE PARKING SPACES;		-	50% OF REQUIRED ACCESSIBLE PARKING SPACES	-
	SMALL CAR	A MAXIMUM OF 35% OF THE TOTAL PARKING SPACES REQUIRED MAY BE DESIGNATED AS SMALL CAR PARKING SPACES.		-	14%	3 STALLS
	ELECTRIC VEHICLE CHARGE INFRASTRUCTURE	20% COMMERCIAL PARKING SPACES TO HAVE AN ENERGIZED ELECTRICAL OUTLET CAPABLE OF PROVIDING LEVEL 2, OR HIGHER LEVEL OF ELECTRIC VEHICLE CHARGING.		-	20%	20% = 4 STALLS
						18 STALLS 22 STALLS
<b>TOTAL STALLS</b>				<b>111 STALLS</b>		<b>22 STALLS</b>
<b>SPECIALTY PARKING STALL DATA</b>						
LOADING			-	1	SIZE 4.7m X 7.7m	1
<b>BIKE PARKING STALL DATA</b>						
TENANT (UNIT)	99 UNITS	*1.2 SPACES PER UNIT	(118.8) 119	*1.2		122 BIKE STALLS
VISITOR (BLDG)	SURFACE BIKE STALL	1	6 SPACES PER BUILDING	6	6 SPACES PER BUILDING	6 STALLS
<b>TOTAL STALLS</b>			<b>128 STALLS</b>			<b>128 STALLS</b>

**0.5.1 vehicle parking stall summary - bldg d**

PARKING STALL USER/TYPE	PARKING STALL COUNT	% BY STALL USER	% OF OVERALL	LEVEL	COMMENTS
<b>BUILDING D</b>					
<b>COMMERCIAL</b>					
ACCESSIBLE	1	5%	0.9%	1ST LEVEL	
SMALL CAR	3	14%	2.6%	1ST LEVEL	
STANDARD	18	82%	15.5%	1ST LEVEL	
<b>COMMERCIAL: 22</b>		<b>100%</b>	<b>19.0%</b>		
<b>RESIDENT</b>					
ACCESSIBLE	1	1%	0.9%	P1 LEVEL	
ACCESSIBLE-VAN	1	1%	0.9%	P1 LEVEL	
SMALL CAR	31	37%	26.7%	P1 LEVEL	
STANDARD	51	61%	44.0%	P1 LEVEL	
<b>RESIDENT: 84</b>		<b>100%</b>	<b>72.4%</b>		
<b>VISITOR</b>					
ACCESSIBLE-VAN	1	10%	0.9%	1ST LEVEL	
STANDARD	9	90%	7.8%	1ST LEVEL	
<b>VISITOR: 10</b>		<b>100%</b>	<b>8.6%</b>		
<b>BUILDING D</b>			<b>100.0%</b>		
<b>TOTAL PARKING STALLS: 116</b>			<b>100.0%</b>		

**0.5.2 bike parking stall summary - bldg d**

PARKING STALL USER/TYPE	PARKING STALL COUNT	PARKING STALL %	LEVEL	COMMENTS
<b>BUILDING D</b>				
<b>RESIDENT</b>				
BIKE - SGL WALL MOUNTED RACK	122	95.3%	P1 LEVEL	
<b>RESIDENT: 122</b>				
<b>VISITOR</b>				
SURFACE MOUNT BIKE STALL	6	4.7%	1ST LEVEL	
<b>VISITOR: 6</b>		<b>100.0%</b>		
<b>TOTAL PARKING STALLS: 128</b>		<b>100.0%</b>		



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**PROJECT DATA**  
SCALE: N.T.S.

**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153

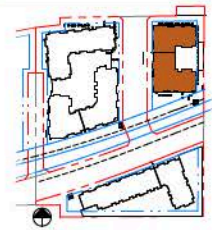


**SD1.12d**

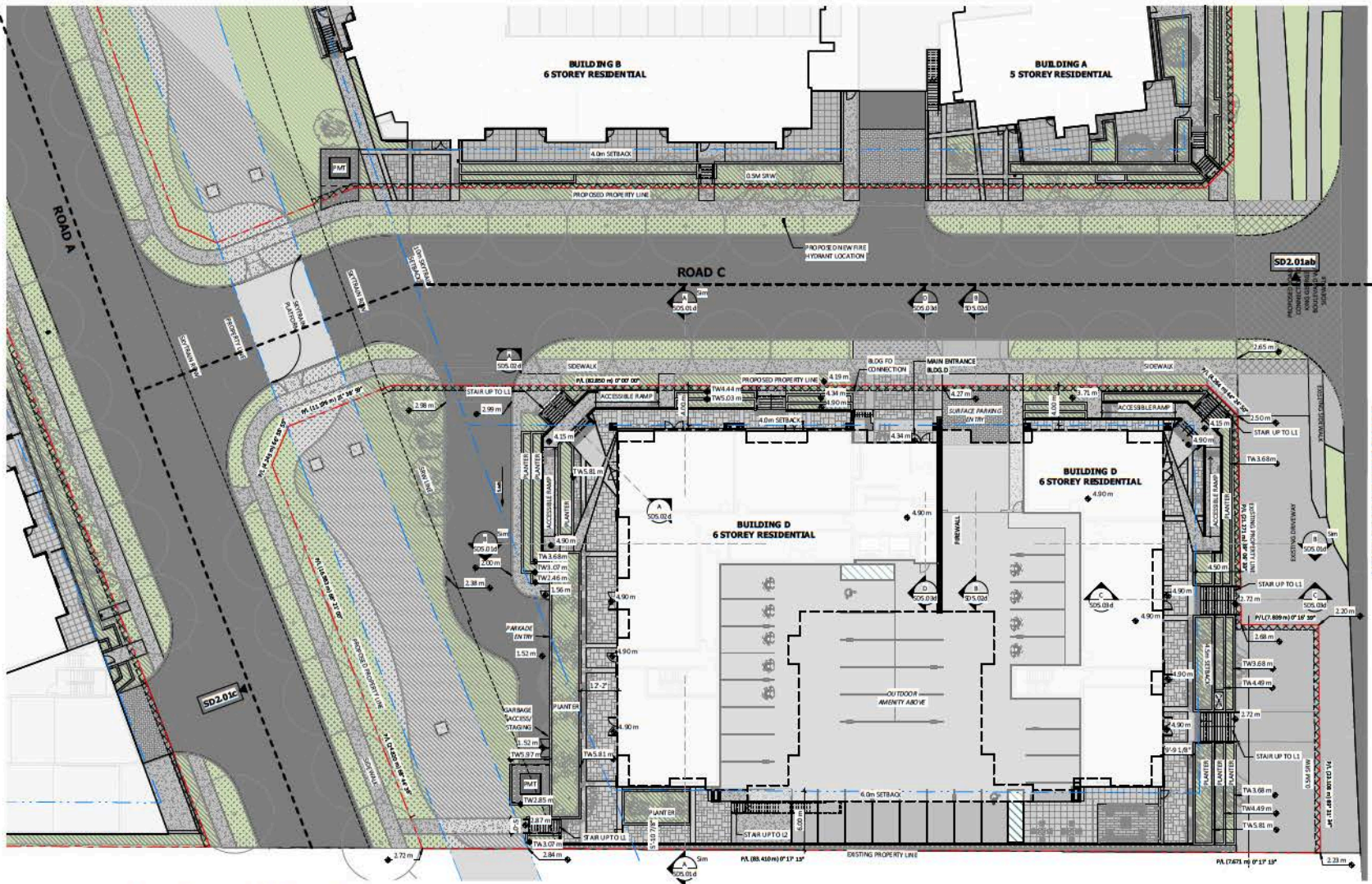


general site notes

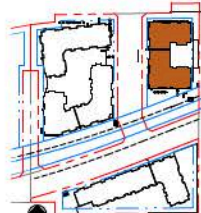
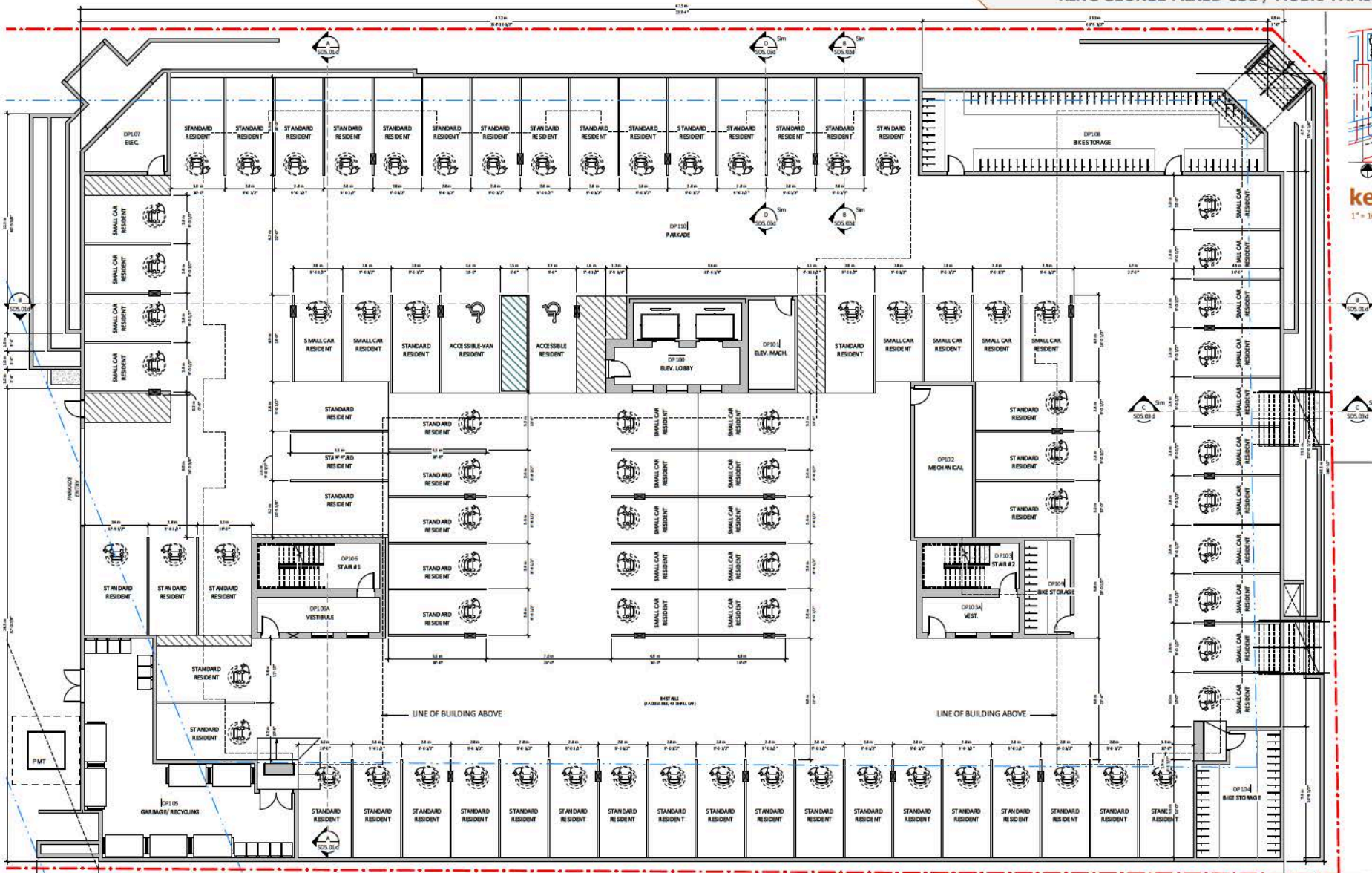
1. REFER TO SITE LAYOUT PLAN FOR BUILDING POSITIONING ON SITE.
2. REFER TO SITE CODE PLAN.
3. REFER TO CIVIL ENGINEER'S DRAWINGS FOR PAVED AREA DRAINAGE, SITE ELEVATIONS, SANITARY AND SEWER LINES, EXTENT OF OSDM, NEW AND REPAIRED PAVING, OTHER SERVICES, ETC.
4. VERIFY ALL SITE INFORMATION, BUILDING AREA, DIMENSIONS AND BEARINGS WITH LEGAL SURVEY PLAN.
5. REFER TO LANDSCAPE DRAWINGS FOR ALL HARD & SOFT LANDSCAPING.
6. TW = TOP OF WALL  
BW = BOTTOM OF WALL  
BOC = BOTTOM OF CURB  
TOC = TOP OF CURB
7. NEW ELEVATION = 205.00 m  
EXISTING ELEVATION = 205.00 m
8. SEE SHEETS SD2.01ab, SD2.01d, SD2.01c FOR MORE DETAILED SITE INFORMATION



key plan  
1" = 160'-0"

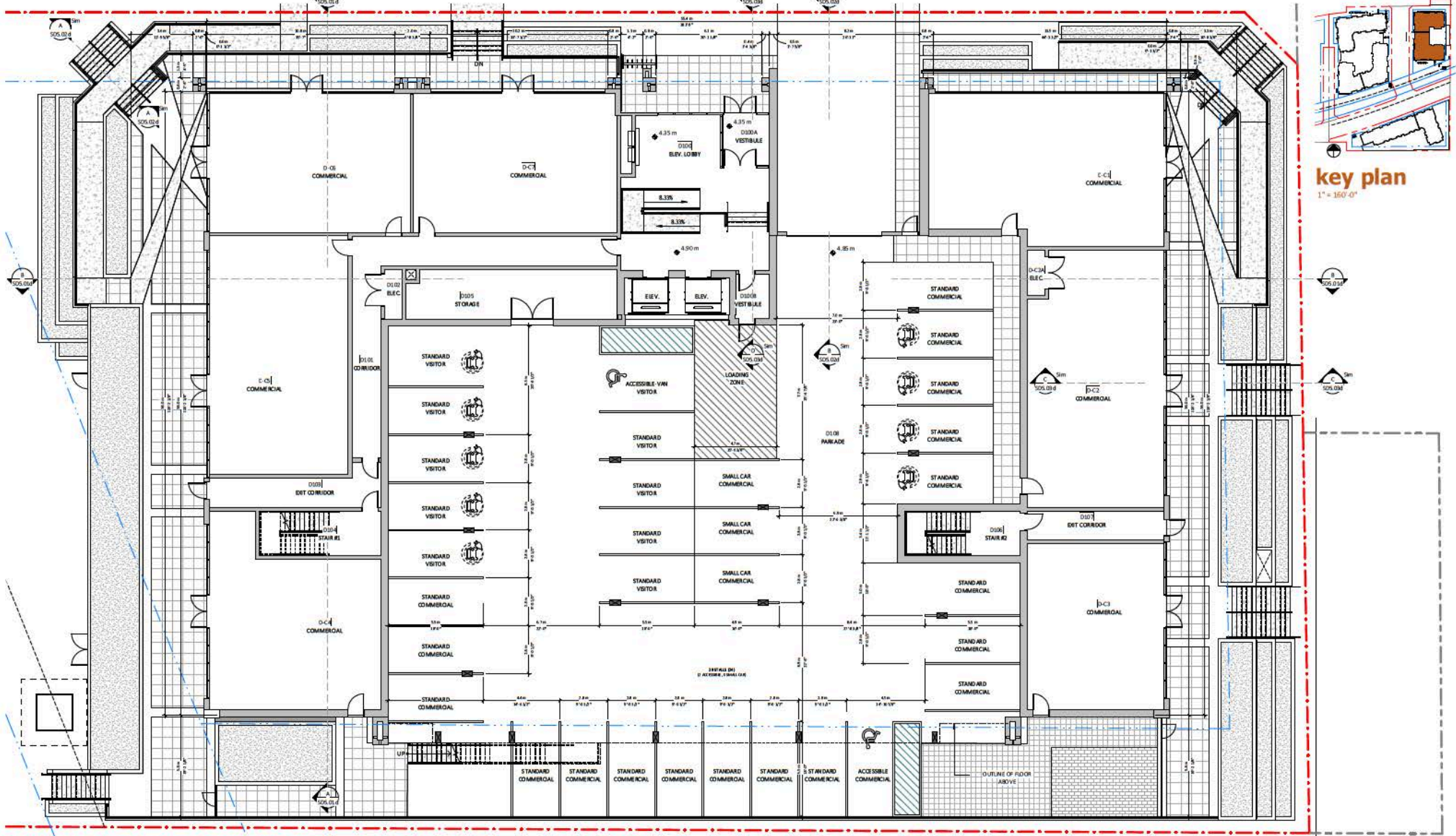


site plan - bldg. d  
1/16" = 1'-0"



key plan  
1" = 160'-0"

**bldg d - p1 level**  
1/8" = 1'-0"



key plan  
1" = 160'-0"

**bldg d - 1st level**  
1/8" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

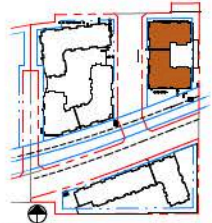
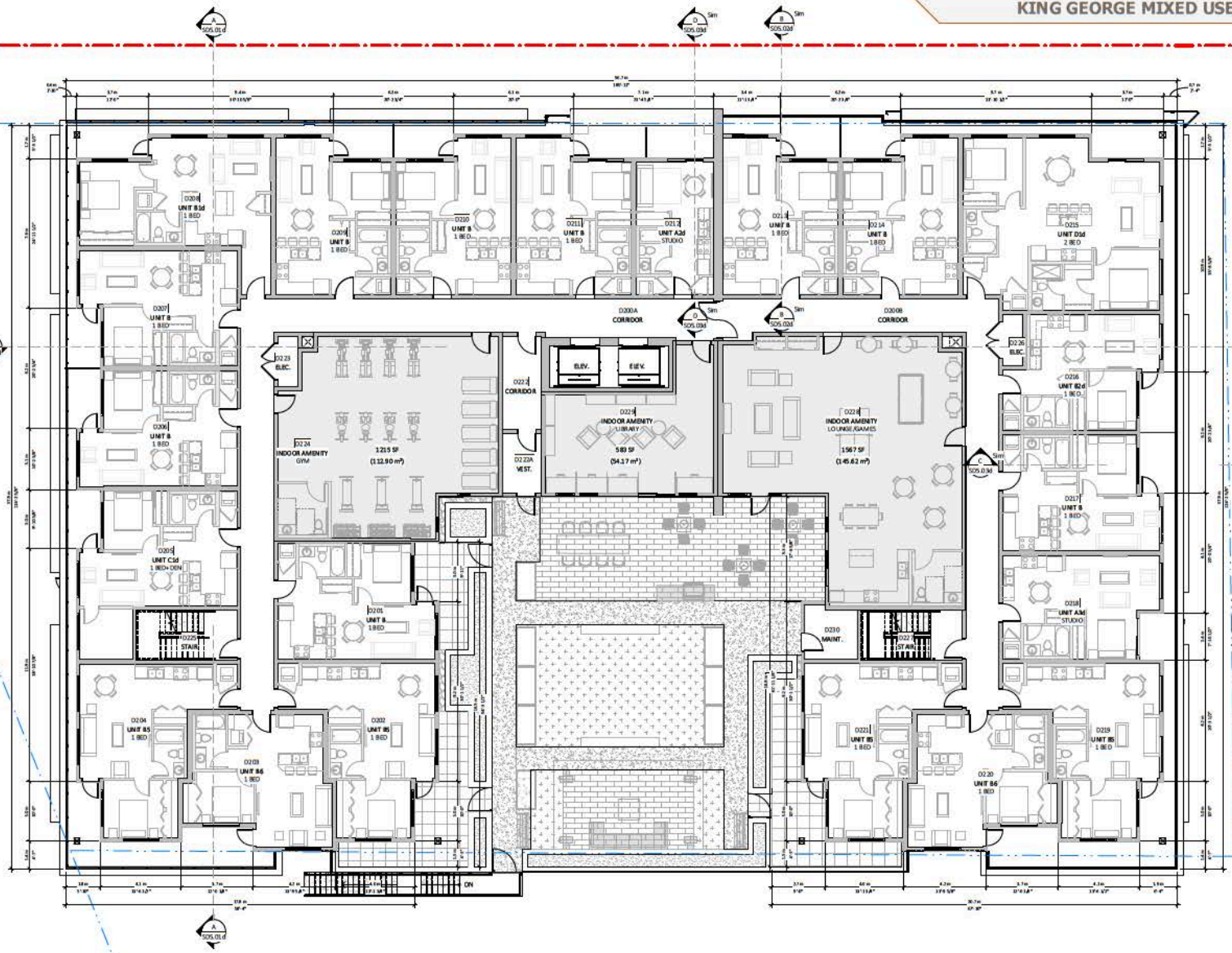
**BLDG D - 1st LEVEL PLAN**  
SCALE: As indicated



**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153

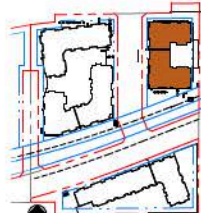
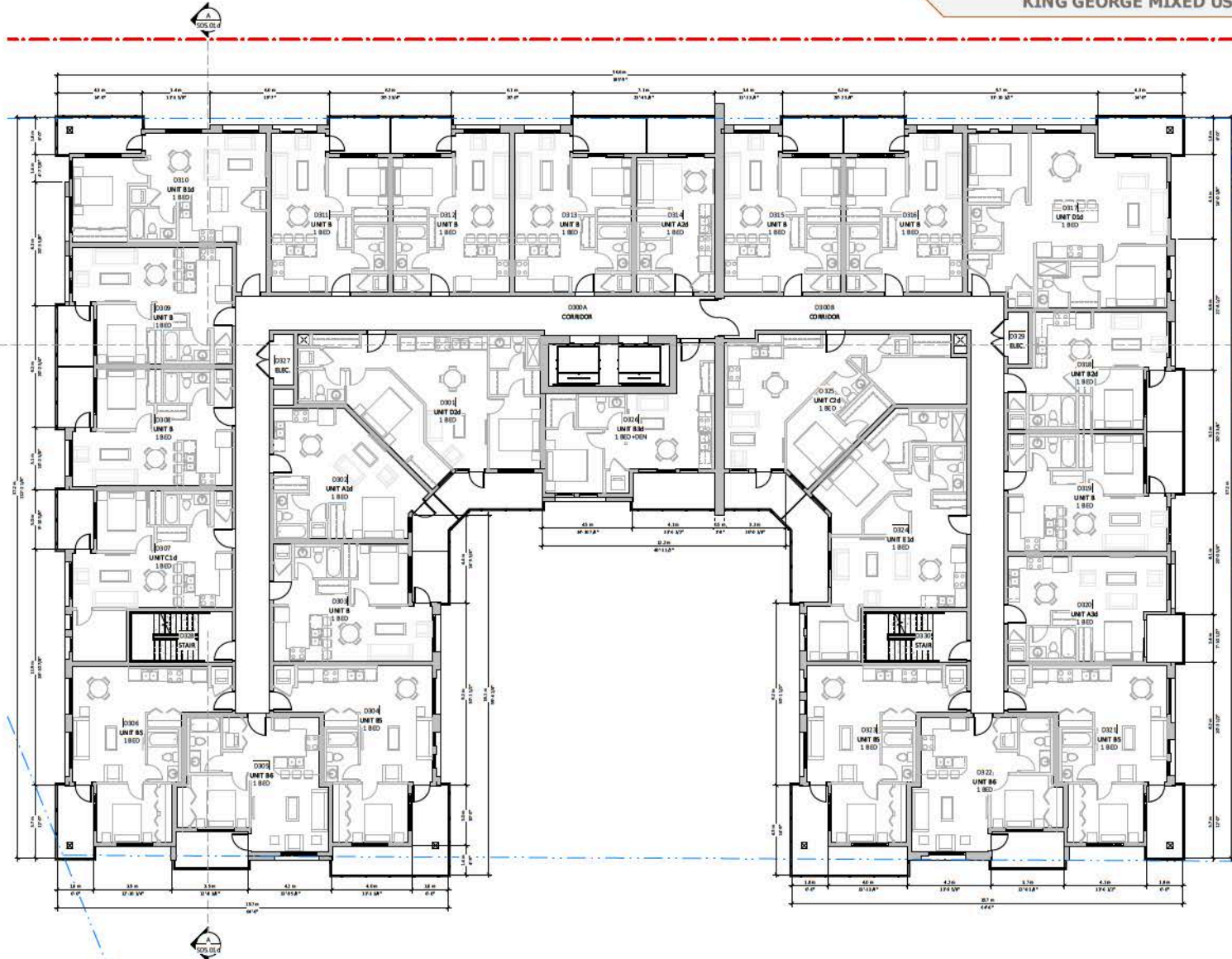


SD2.11d



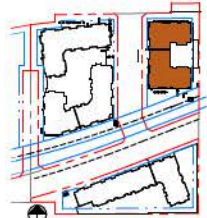
key plan  
1" = 160'-0"

bldg d - 2nd level  
1/8" = 1'-0"

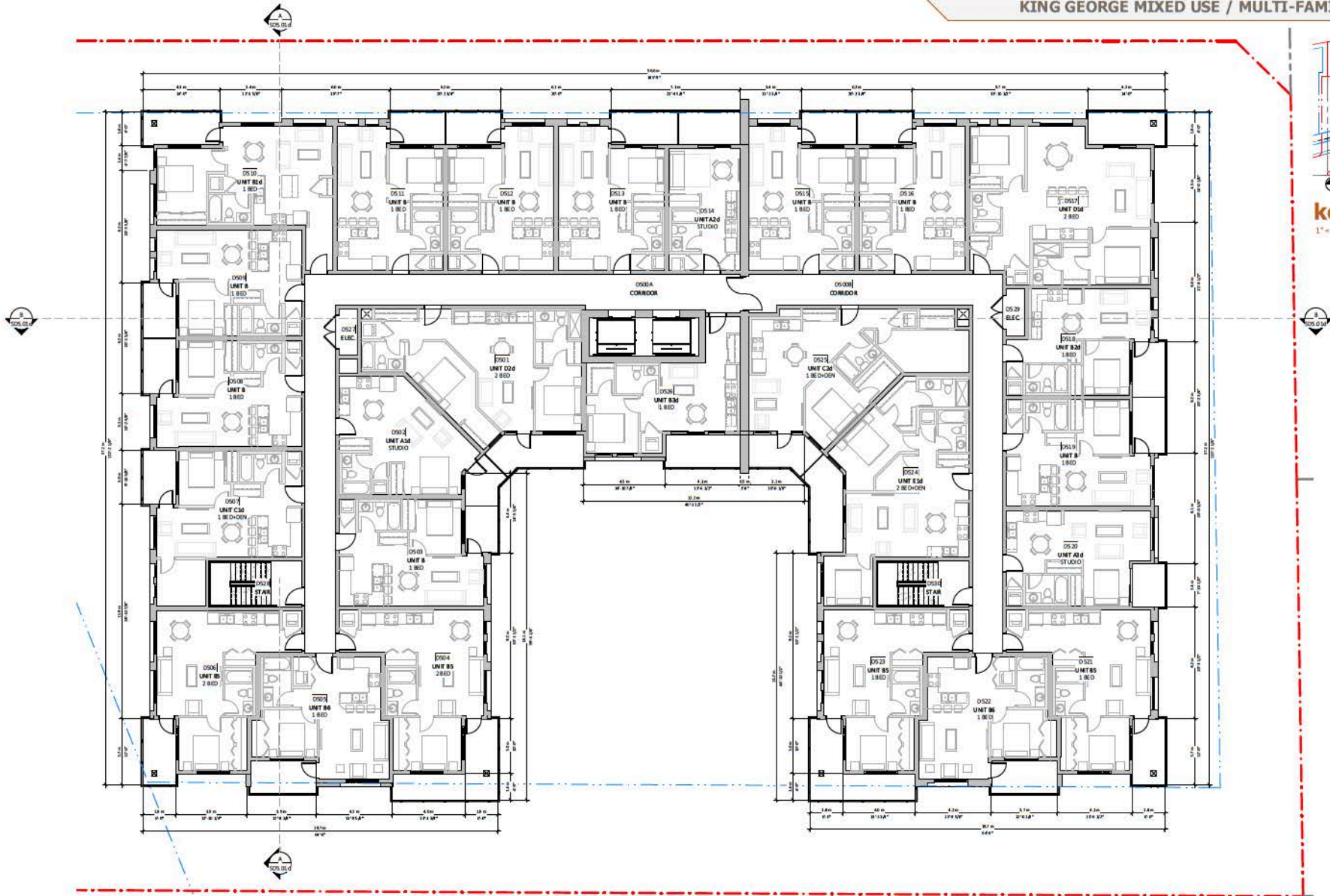


key plan  
1" = 150'-0"

**bldg d - 3rd & 4th level**  
1/8" = 1'-0"



key plan  
1" = 150'-0"



blgd d - 5th level  
1/8" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

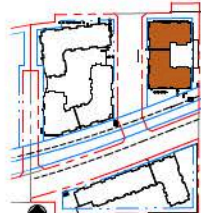
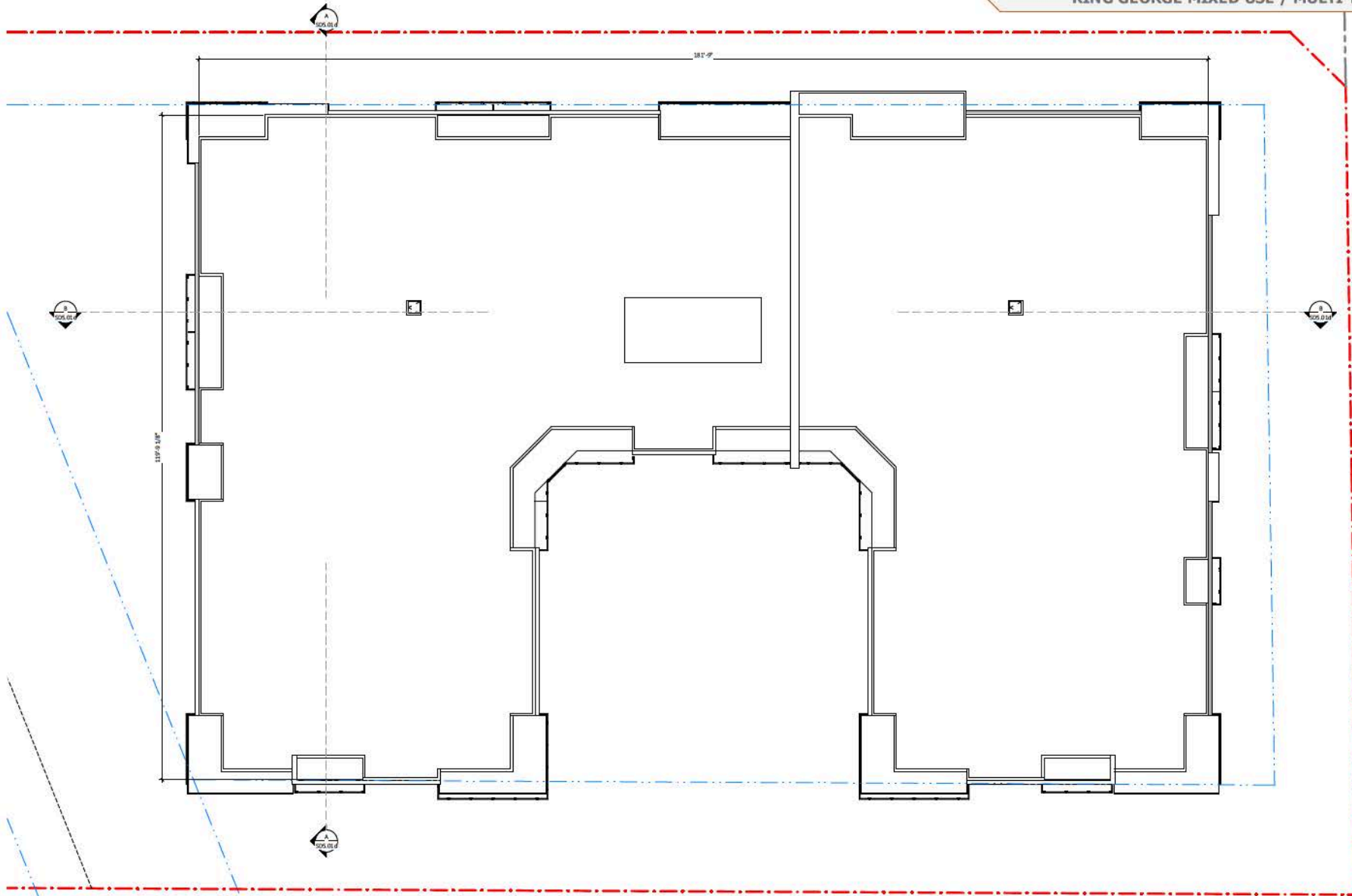
**BLDG D - 5th LEVEL PLAN**  
SCALE: As indicated



**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD2.14d



**key plan**  
1" = 160'-0"

**bldg d - roof level**  
1/8" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

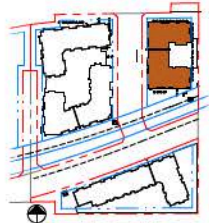
**BLDG D - ROOF LEVEL PLAN**  
SCALE: As indicated



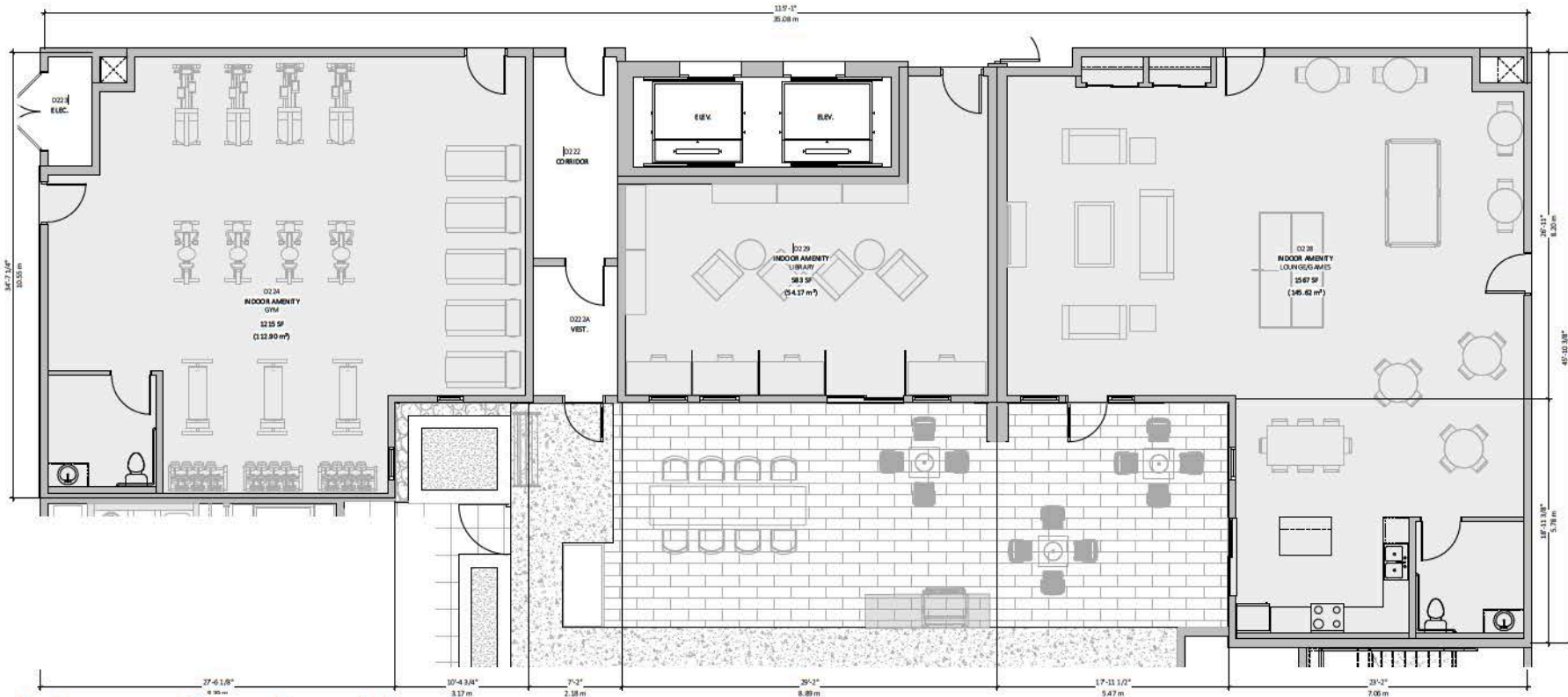
**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



**SD2.15d**



**key plan**  
1" = 160'-0"



**indoor amenity - enlarged plan**

1/4" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**BLDG D - ENLARGED PLANS**

SCALE: As indicated



**RE-ISSUED FOR DP**

2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



**SD2.16d**





**BUILDING D - EAST ELEVATION**

3/32" = 1'-0"



**BUILDING D - NORTH ELEVATION**

3/32" = 1'-0"

**BUILDING D:**

**NATURAL EXISTING GRADES:**  
 AVG GRADE NORTH: 2.58m for 151'  
 AVG GRADE EAST: 2.66m for 235'  
 AVG GRADE SOUTH: 2.94m for 151'  
 AVG GRADE WEST: 2.86m for 234'  
 AVERAGE NATURAL GRADE: 2.76m

HIGHEST POINT OF BLDG D: 23.47m  
 ZONING BUILDING HEIGHT: 19.74m

LOWEST AVG DESIGN GRADE: 2.76m



**KING GEORGE MIXED USE**  
 12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**BUILDING D ELEVATIONS**  
 SCALE: 3/32" = 1'-0"

**RE-ISSUED FOR DP**  
 2023-04-28 REVISION #:  
 CITY OF SURREY FILE #20-0188  
 PROJECT NUMBER: 17-153



SD3.01d



### BUILDING D - SOUTH ELEVATION

3/32" = 1'-0"



### BUILDING D - WEST ELEVATION

3/32" = 1'-0"



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#### KING GEORGE MIXED USE

12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

#### BUILDING D ELEVATIONS

SCALE: 3/32" = 1'-0"

#### RE-ISSUED FOR DP

2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



SD3.02d



CORRUGATED METAL (HORIZONTAL)  
COLOUR:



BRICK, TEXTURE 'SMOOTH'  
COLOUR: \*



CEMENT BOARD PANEL SIDING  
COLOUR: 'PEARL GRAY'



TRIM  
COLOUR: BLACK

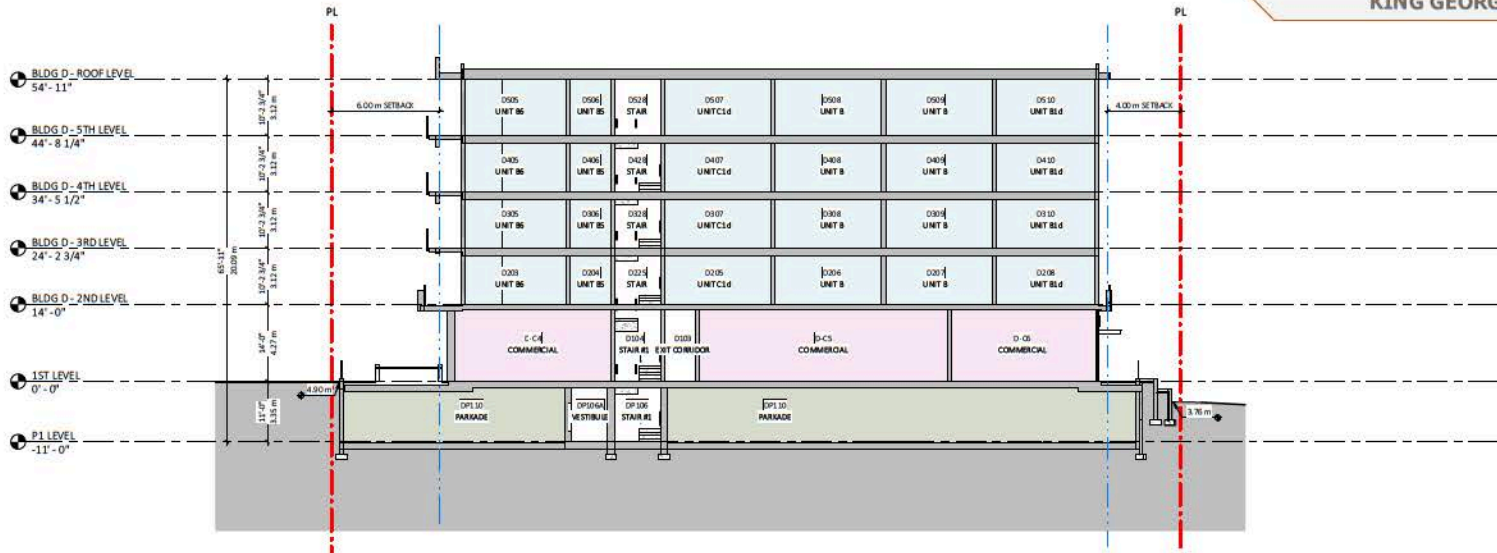


CONCRETE WALL  
COLOUR: 'CLEAR SEALER'



ALUMINUM/GLASS GUARD/RAILING  
COLOUR: BLACK



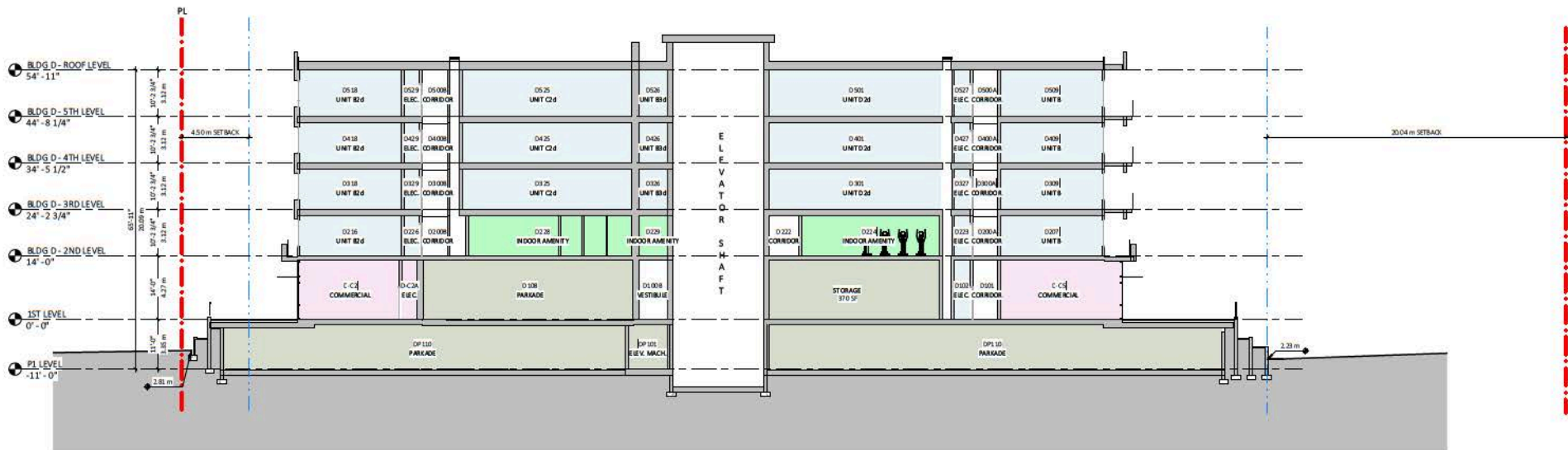


**W/E BUILDING D SECTION A**

3/32" = 1'-0"

**OCCUPANCIES**

- GROUP C - RESIDENTIAL
- GROUP C ASSEMBLY NON FIXED
- GROUP E - COMMERCIAL
- GROUP F3 - PARKADE



**N/S BUILDING D SECTION B**

3/32" = 1'-0"



**KING GEORGE MIXED USE**  
12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**BUILDING SECTIONS**  
SCALE: 3/32" = 1'-0"

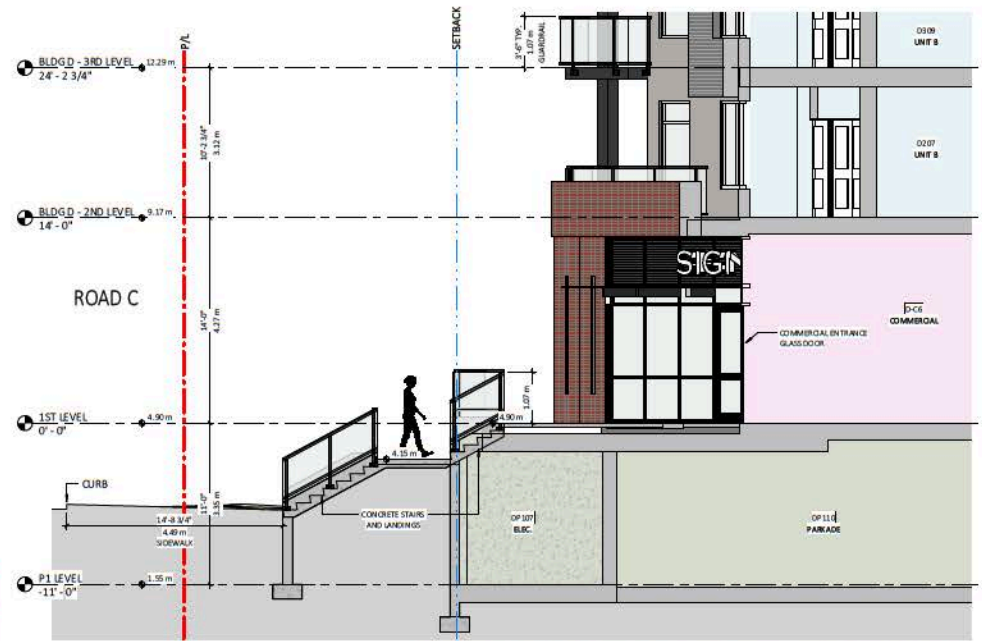
**RE-ISSUED FOR DP**  
2023-04-28 REVISION #:  
CITY OF SURREY FILE # 20-0188  
PROJECT NUMBER: 17-153



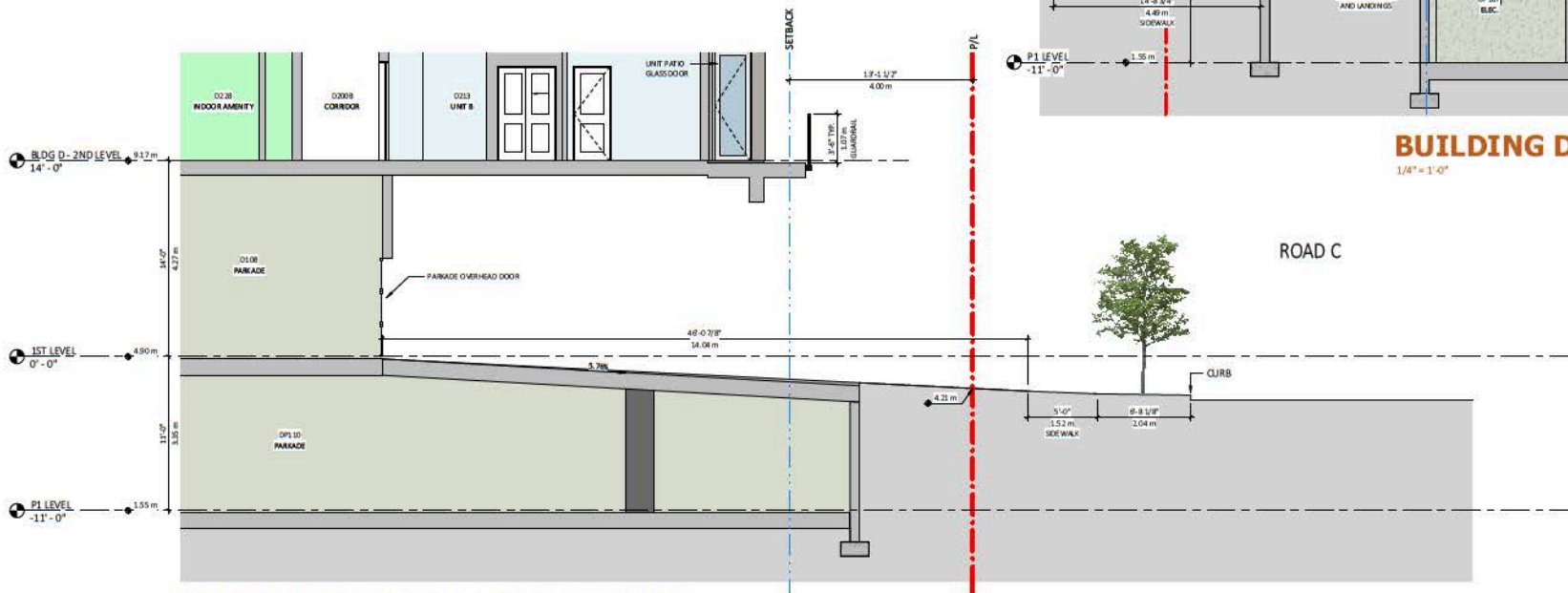
SD5.01d

**OCCUPANCY USE**

- GROUP C - RESIDENTIAL
- GROUP E - COMMERCIAL
- GROUP F3 - PARKADE



**BUILDING D ENLARGED SECTION A**  
1/4" = 1'-0"



**BUILDING D ENLARGED SECTION B**  
1/4" = 1'-0"

**OCCUPANCY USE**

- GROUP C - RESIDENTIAL
- GROUP C ASSEMBLY NON FIXED
- GROUP F3 - PARKADE



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**KING GEORGE MIXED USE**

12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**ENLARGED SECTIONS**

SCALE: 1/4" = 1'-0"

**RE-ISSUED FOR DP**

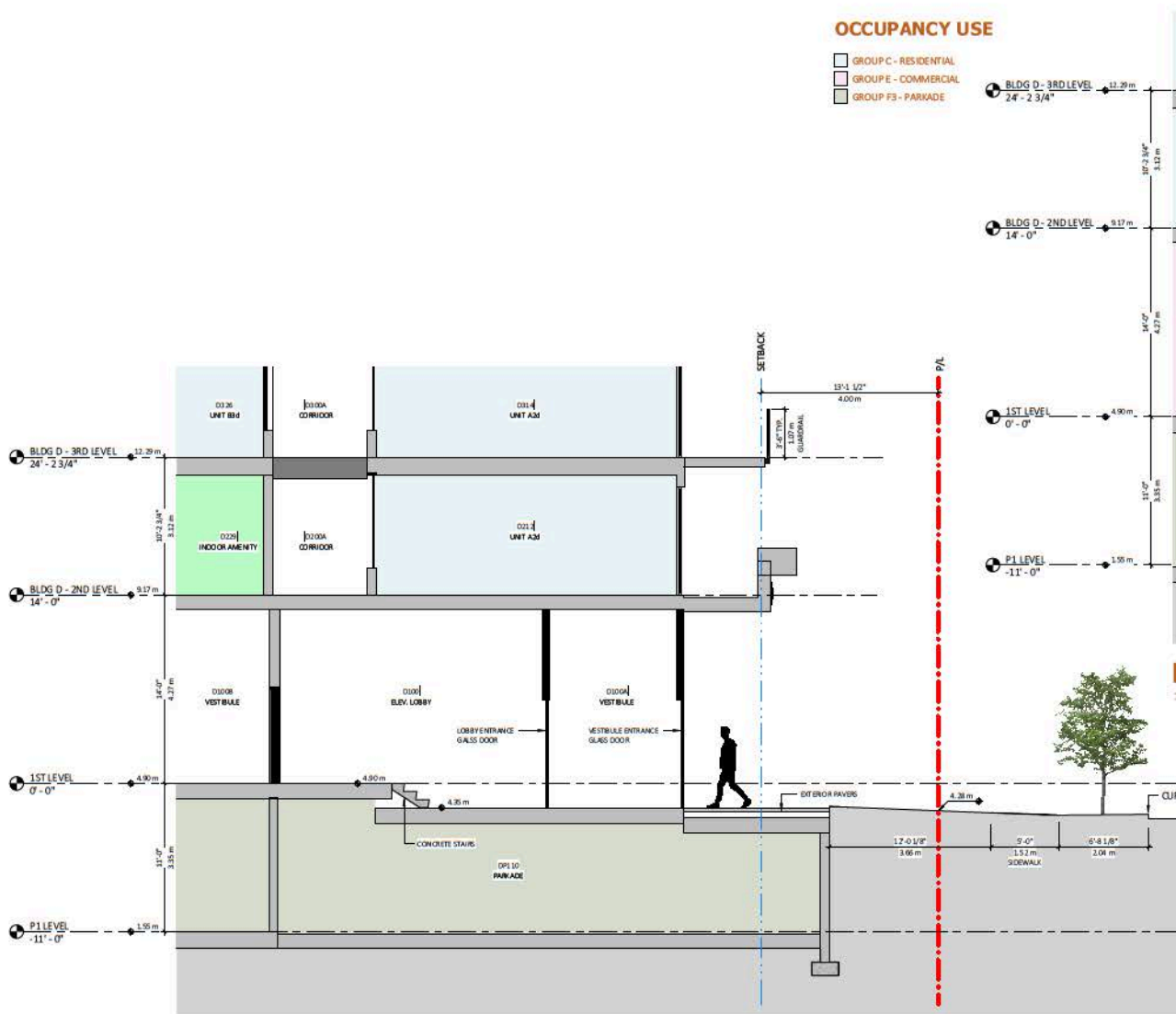
2023-04-28 REVISION #:  
CITY OF SURREY FILE # 20-0188  
PROJECT NUMBER: 17-153



SD5.02d

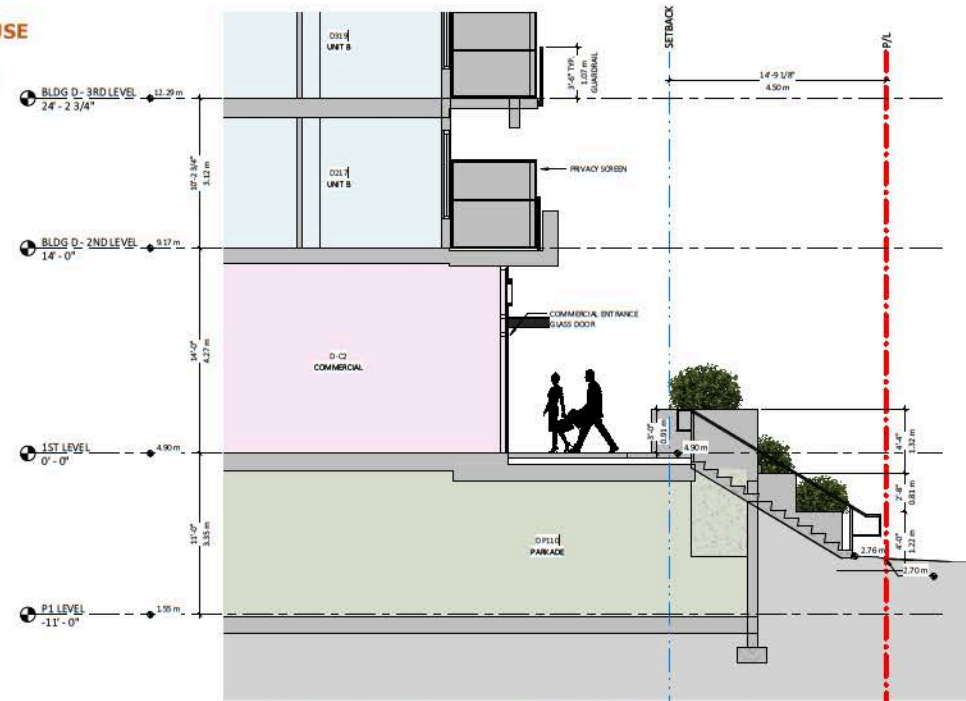
**OCCUPANCY USE**

- GROUP C - RESIDENTIAL
- GROUP E - COMMERCIAL
- GROUP F3 - PARKADE



**BUILDING D ENLARGED SECTION D**

1/4" = 1'-0"



**BUILDING D ENLARGED SECTION C**

1/4" = 1'-0"

**OCCUPANCY USE**

- GROUP C - RESIDENTIAL
- GROUP C ASSEMBLY NON FIXED
- GROUP F3 - PARKADE



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**KING GEORGE MIXED USE**

12716/12742 & 12750 KING GEORGE BLVD., SURREY BC

**ENLARGED SECTIONS**

SCALE: 1/4" = 1'-0"

**RE-ISSUED FOR DP**

2023-04-28 REVISION #:  
CITY OF SURREY FILE #20-0188  
PROJECT NUMBER: 17-153



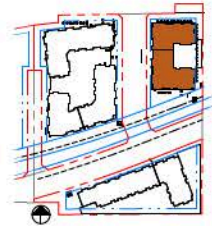
SD5.03d

0.8.1 site layout plan notes/legend

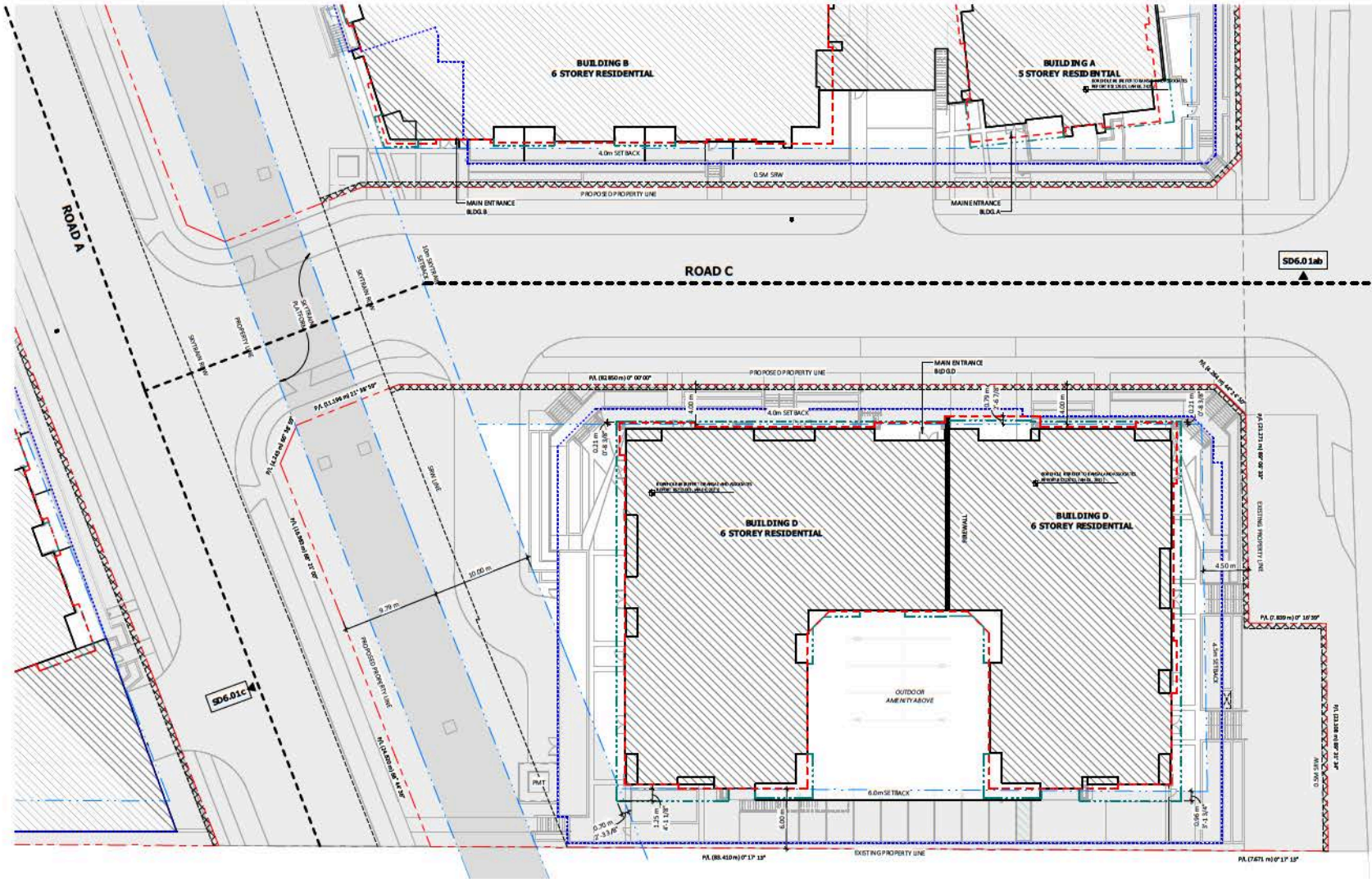
LEGEND	
	PROPERTY LINE
	OUTLINE OF PARKING
	OUTLINE OF ROOF AREA
	OUTLINE OF BALCONY ABOVE
	SETBACK
	EXISTING FOOTPRINT
	RIGHT OF WAY/ALLEYWAY

NOTES	
1.	REFER TO LEGAL SURVEY PLAN, COMPLETED BY (H.V. ASSOCIATES) LAND SURVEYORS LTD. (DATED 08-09-2017) TO VIEW ALL SITE INFORMATION.
2.	SEE SHEETS SD6.01a, SD6.01d, SD6.01c FOR MORE DETAILED LAYOUT INFORMATION



key plan  
1" = 160'-0"

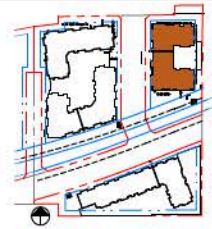


site code plan - bldg. d  
1/16" = 1'-0"

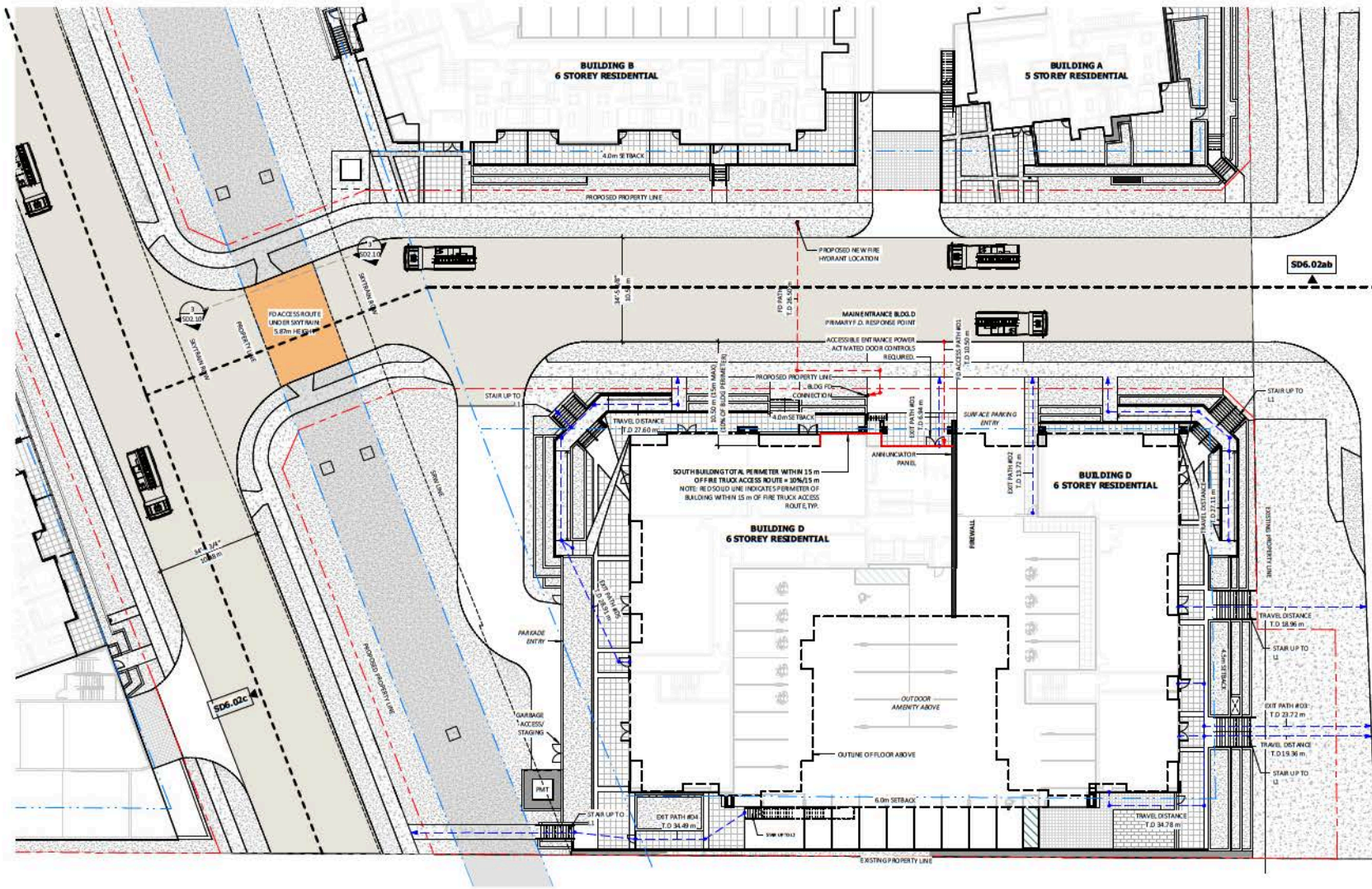
**0.8.2 site code plan notes/legend**

S1	STOP
S2	FIRE LANE-NO PARKING
S3	GARAGE LOADING ZONE-NO PARKING
S4	MAXIMUM 10 KPH
S5	PARKING CLEARANCE 7'-0"

NOTES:  
1. SEE SHEETS SD6.02ab, SD6.02d, SD6.02c FOR MORE DETAILED CODE INFORMATION



**key plan**  
1" = 160'-0"



**site code plan - bldg. d**  
1/16" = 1'-0"





**BUILDING D - COMMERCIAL SIGNAGE ELEVATION**

3/16" = 1'-0"



**BUILDING D - RESIDENTIAL BUILDING ENTRY**

1/4" = 1'-0"

# King George Mixed Use

Issued for Development Permit

Contact Information	Other Key Contacts:
<b>VDZ+A</b> Project Landscape Architects Fort Langley Studio 100 - 5181 Church Street Fort Langley, British Columbia, V1M 2R8  Mount Pleasant Studio 102-3030 Kingway Vancouver, British Columbia, V5T 3J7  Primary project contact: Andrew Danielson androw@vdz.ca o. 604-849-0031  Alternate contacts (in case away): Mark van der Zant Principal Landscapes Architect mark@vdz.ca o. 604-849-0020	<b>Keystone Architecture &amp; Planning Ltd.</b> Project Building Architects 300-33131 South Fraser Way Abbotsford, BC V2S 2B1 p. 604-850-0577  <b>Legal Address and Description:</b> Parcel one except Part on statutory right of way plan 94079 Reference plan 75057 and Lot 1 Except Part on statutory right of way plan 84079 Plan 5548 Both of Section 17 Block 5 North Range 2 West New Westminster District

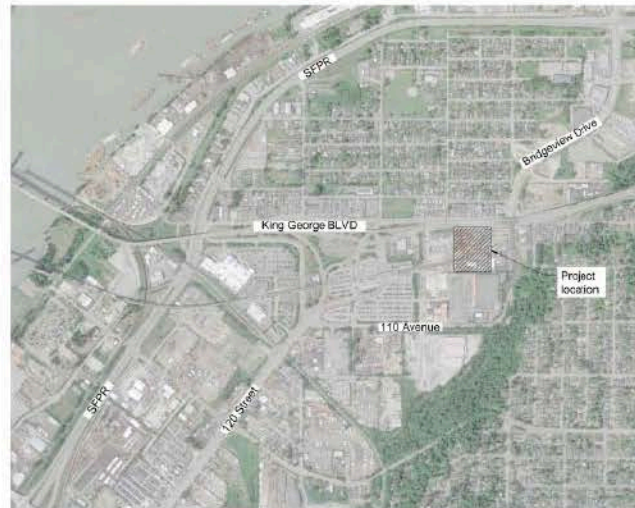
## Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	OVERALL SITE PLAN
L-03A	BLDG A&B LEVEL 1 - SITE PLAN A
L-03B	BLDG A&B LEVEL 1 - SITE PLAN B
L-03C	BLDG A&B LEVEL 1 - SITE PLAN C
L-03D	BLDG A&B LEVEL 1 - SITE PLAN D
L-03E	BLDG A&B LEVEL 1 - SITE PLAN E
L-04A	BLDG C LEVEL 1 - SITE PLAN A
L-04B	BLDG C LEVEL 1 - SITE PLAN B
L-05A	BLDG A&B LEVEL 2 - SITE PLAN A
L-05B	BLDG A&B LEVEL 2 - SITE PLAN B
L-06A	BLDG C LEVEL 2 - SITE PLAN A
L-06B	BLDG C LEVEL 2 - SITE PLAN B
L-07A	BLDG D - SITE PLAN A
L-07B	BLDG D - SITE PLAN B
L-07C	BLDG D- LEVEL 2 SITE PLAN

L-08	PLANTING PALETTE
L-09	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS
LD-06	DETAILS



1 SITE PLAN OVERVIEW  
 Scale: 1:750



2 LOCATION MAP  
 AS SHOWN

No.	By	Description	Date
4	AD	Issued for DP	Apr 21, 2020
3	AD	Issued for DP	May 25, 2021
2	AD	Issued for DP	May 4, 2021
1	AD	Issued for Review	Aug 7, 2020

REVISIONS TABLE FOR DRAWINGS  
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No.	By	Description	Date

Project:  
**KING GEORGE MIXED USE**

Location:  
12716, 12742, 12750 KING  
GEORGE BLVD  
SURREY, B.C.

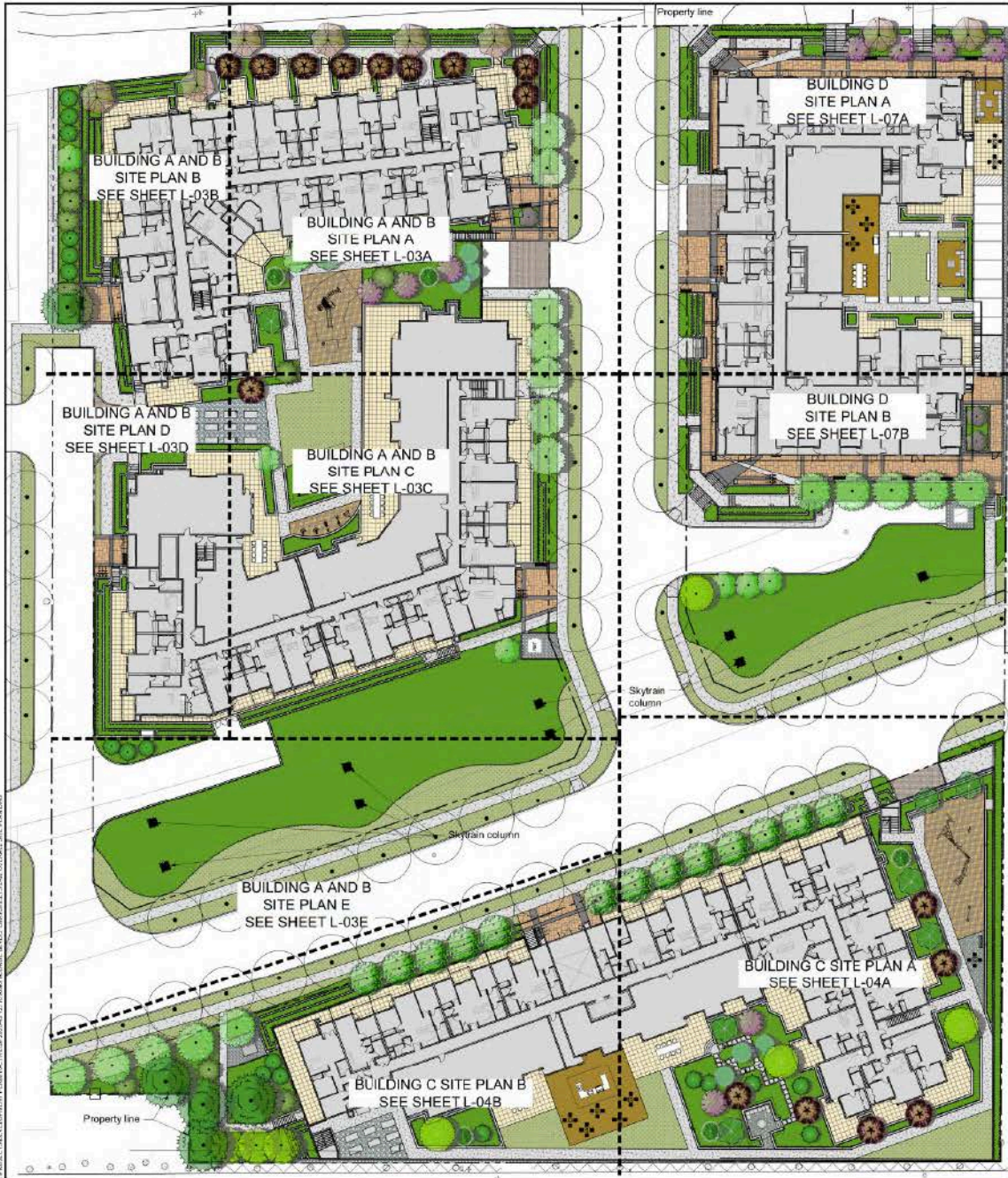
Drawn: AD	Stamp: 
Checked: MVDZ	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT AND REPORT TO THE CONSULTANT AND ARCHITECT IMMEDIATELY. THE CONSULTANT AND ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DIMENSIONAL ERRORS OR OMISSIONS MADE BY THE CONTRACTOR UNLESS THESE ARE IDENTIFIED BY THE CONSULTANT AND ARCHITECT.

Drawing Title: COVER PAGE

VDZ Project # DP2020-42

Drawing # L-01

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### LEVEL 1 PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	5	Acer palmatum / Bloodgood / Bloodgood Japanese Maple	B&B		2.5m ht
	6	Acer rubrum / Armstrong / Armstrong Red Maple	B&B	6cm	1.8m sd
	3	Cardus canadensis / Eastern Redbud	B&B	6cm	1.2m sd
	3	Fagus sylvatica / Darcey Purple / European Beech	B&B	6cm	1.2m sd
	10	Gleditsia triacanthos / Princeton Sentry / Princeton Sentry Gingle	B&B	6cm	1.8m sd
	10	Liquidambar styraciflua / Worplesdon / Worplesdon Sweet Gum	B&B	6cm	1.8m sd
	1	Liriodendron tulipifera / Fastigiatum / Pyramidal Tulip Poplar	B&B	6cm	1.2m sd
	5	Magnolia kobus stellata / Royal Star / Royal Star Magnolia	B&B		2.5m ht
	4	Panicum pesica / Inge's Ruby Vase / Inge's Ruby Vase Persian Ironwood	B&B	6cm	1.2m sd
	6	Picea pungens / Fat Albert / Colorado Spruce	B&B		3.0m ht
	12	Pinus strobus / Vandenoot's Pyramid / Vandenoot's Pyramid Pine	B&B		2.5m ht
	5	Thuja plicata / Western Red Cedar	B&B		3.0m ht
	7	Tilia amurensis / Bodewind / Bodewind Linden	B&B	6cm	1.8m sd

Street Trees / By city

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No.	By	Description	Date
4	AD	Issued for DP	Apr 21, 2020
3	AD	Issued for DP	May 25, 2021
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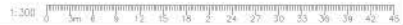
Location:  
 12716, 12742, 12750 KING  
 GEORGE BLVD  
 SURREY, B.C.

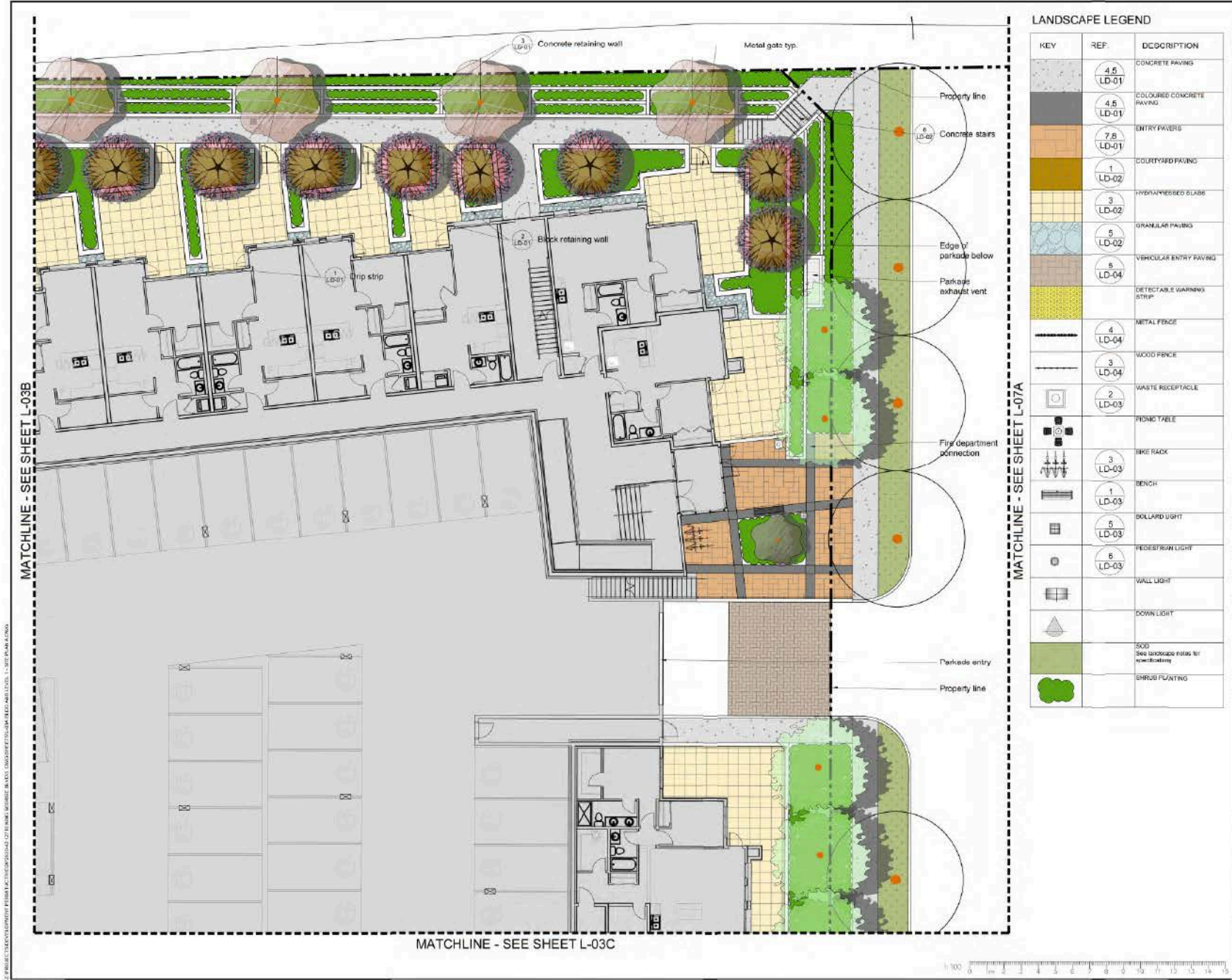
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Approved: MVDZ	Original Sheet 24/03/2021

Scale:  
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Drawing Title: **OVERALL SITE PLAN**  
 Drawing #: **DP2020-42**  
 Drawing #: **L-02**





**LANDSCAPE LEGEND**

KEY	REF.	DESCRIPTION
[Pattern]	4.6 LD-01	CONCRETE PAVING
[Pattern]	4.8 LD-01	COLOURED CONCRETE PAVING
[Pattern]	7.8 LD-01	ENTRY PAVERS
[Pattern]	1 LD-02	COURTYARD PAVING
[Pattern]	3 LD-02	HYDRATED SLAB
[Pattern]	5 LD-02	GRANULAR PAVING
[Pattern]	5 LD-04	VEHICULAR ENTRY PAVING
[Pattern]		DETECTABLE WARNING STRIP
[Symbol]	4 LD-04	METAL FENCE
[Symbol]	3 LD-04	WOOD FENCE
[Symbol]	2 LD-03	WASTE RECEPTACLE
[Symbol]		PHONE TABLE
[Symbol]	3 LD-03	BIKE RACK
[Symbol]	1 LD-03	BENCH
[Symbol]	5 LD-03	BOLLARD LIGHT
[Symbol]	6 LD-03	FEDESTRIAN LIGHT
[Symbol]		WALL LIGHT
[Symbol]		DOWN LIGHT
[Symbol]		SOIL See landscape notes for specifications
[Symbol]		SHRUB PLANTING

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**REVISIONS TABLE FOR SHEET**

No.	By	Description	Date

Project:  
**KING GEORGE MIXED USE**

Location:  
12716, 12742, 12750 KING  
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SURREY, B.C.

Drawn:  
AD

Checked:  
MVDZ

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MVDZ

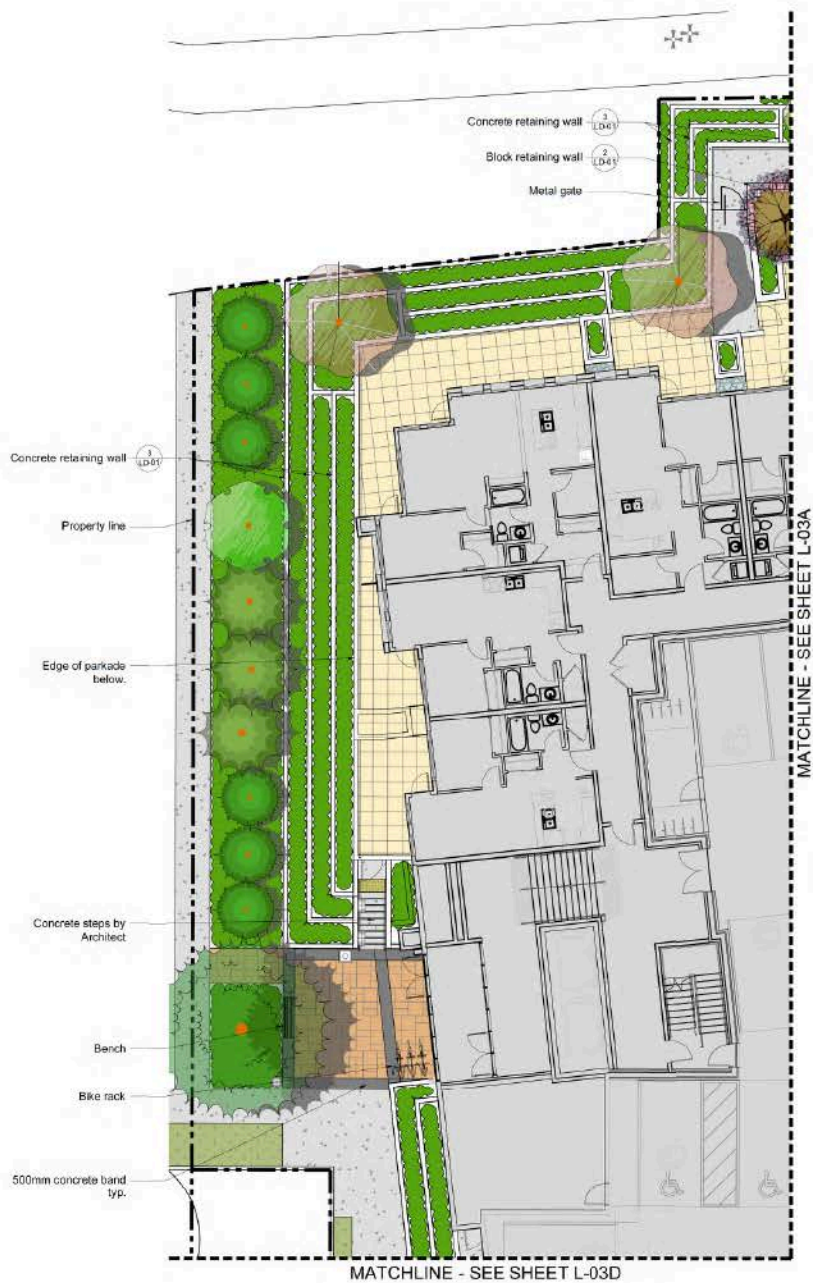
Stamp:  
Original Sheet  
24/03/2021

Scale:  
1:100

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Drawing Title: **BLDG A&B LEVEL 1 - SITE PLAN A**  
 VZ Project #: **DP2020-42**  
 Drawing #: **L-03A**

Z:\PROJECTS\DEVELOPMENT\PERMIT\ACT\DP2020-42\DTM KING GEORGE MIXED USE\LANDSCAPE\LANDSCAPE PLAN\DP2020-42 - SITE PLAN BUILDING



**LANDSCAPE LEGEND**

KEY	REF.	DESCRIPTION
	4.6 LD-01	CONCRETE PAVING
	4.5 LD-01	COLOURED CONCRETE PAVING
	7.8 LD-01	ENTRY PAVERS
	1 LD-02	COURTYARD PAVING
	3 LD-02	HYDRATED SLAB
	5 LD-02	GRANULAR PAVING
	5 LD-04	VEHICULAR ENTRY PAVING
		DETECTABLE WARNING STRIP
	4 LD-04	METAL FENCE
	3 LD-04	WOOD FENCE
	2 LD-03	WASTE RECEPTACLE
		PICNIC TABLE
	3 LD-03	BIKE RACK
	1 LD-03	BENCH
	5 LD-03	BOLLARD LIGHT
	6 LD-03	PEDESTRIAN LIGHT
		WALL LIGHT
		DOWN LIGHT
		SOIL See landscape notes for specifications
		SHRUB PLANTING

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1	AD	Issued for Review	Aug 7, 2020

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**Project:**  
KING GEORGE MIXED USE

**Location:**  
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GEORGE BLVD  
SURREY, B.C.

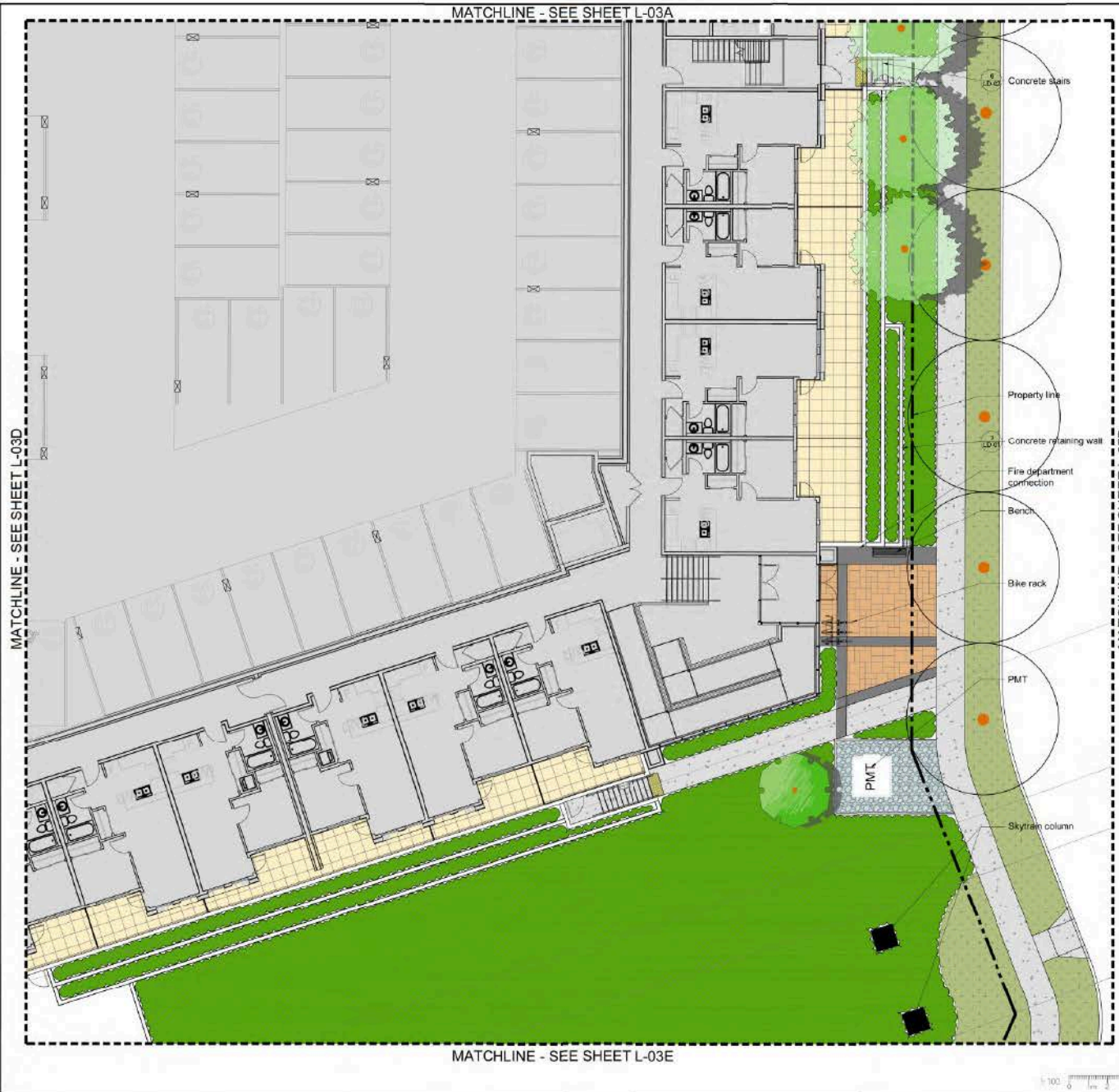
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<b>Checked:</b> MVDZ	
<b>Approved:</b> MVDZ	<b>Original Sheet:</b> 24/039/2022-04-27

**Scale:**  
1:100

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Drawing Title: **BLDG A&B LEVEL 1 - SITE PLAN B**  
 Drawing #: **L-03B**  
 Project #: **DP2020-42**  
 NORTH



### LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Pattern]	4.6 LD-01	CONCRETE PAVING
[Pattern]	4.5 LD-01	COLOURED CONCRETE PAVING
[Pattern]	7.8 LD-01	ENTRY PAVERS
[Pattern]	1 LD-02	COURTYARD PAVING
[Pattern]	3 LD-02	HYDRANTESSED SLAB
[Pattern]	5 LD-02	GRANULAR PAVING
[Pattern]	5 LD-04	VEHICULAR ENTRY PAVING
[Pattern]		DETECTABLE WARNING STRIP
[Symbol]	4 LD-04	METAL FENCE
[Symbol]	3 LD-04	WOOD FENCE
[Symbol]	2 LD-03	WASTE RECEPTACLE
[Symbol]		PHONE TABLE
[Symbol]	3 LD-03	BIKE RACK
[Symbol]	1 LD-03	BENCH
[Symbol]	5 LD-03	BOLLARD LIGHT
[Symbol]	6 LD-03	PEDESTRIAN LIGHT
[Symbol]		WALL LIGHT
[Symbol]		DOWN LIGHT
[Symbol]		SOIL
[Symbol]		SHRUB PLANTING

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REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:  
**KING GEORGE MIXED USE**

Location:  
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Drawn:  
 AD

Checked:  
 MVDZ

Approved:  
 MVDZ

Scale:  
 1:100



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Drawing Title: **BLDG A&B LEVEL 1 - SITE PLAN C**  
 Drawing #: **L-03C**  
 Project #: **DP2020-42**  
 Orientation: **NORTH**

MATCHLINE - SEE SHEET L-03D

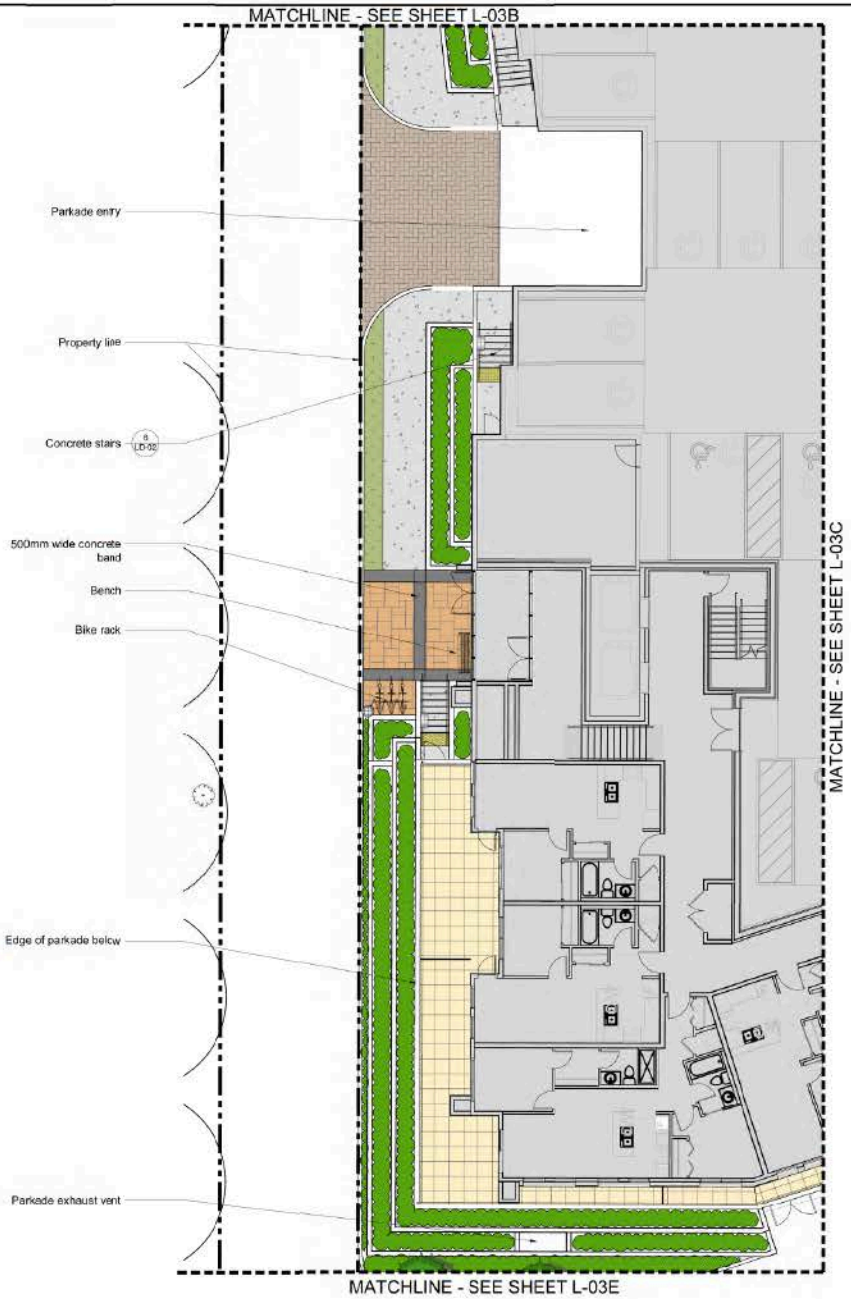
MATCHLINE - SEE SHEET L-07B

MATCHLINE - SEE SHEET L-03A

MATCHLINE - SEE SHEET L-03E



Z:\PROJECTS\DEVELOPMENT\PERMIT\ACT\DP2020-42\174 KING GEORGE MIXED USE\LANDSCAPE\LAND LEVEL 1 - SITE PLAN.DWG



### LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	4.6 LD-01	CONCRETE PAVING
	4.5 LD-01	COLOURED CONCRETE PAVING
	7.8 LD-01	ENTRY PAVERS
	1 LD-02	COURTYARD PAVING
	3 LD-02	HYDRANT PRESSED SLABS
	5 LD-02	GRANULAR PAVING
	5 LD-04	VEHICULAR ENTRY PAVING
		DETECTABLE WARNING STRIP
	4 LD-04	METAL FENCE
	3 LD-04	WOOD FENCE
	2 LD-03	WASTE RECEPTACLE
		FONIC TILE
	3 LD-03	BIKE RACK
	1 LD-03	BENCH
	5 LD-03	BOLLARD LIGHT
	6 LD-03	PEDESTRIAN LIGHT
		WALL LIGHT
		DOWN LIGHT
		SOIL See landscape notes for specifications
		SHRUB PLANTING

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2	AD	Issued for DP	May 4, 2021
1	AD	Issued for Review	Aug 7, 2020

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**KING GEORGE MIXED USE**

Location:  
 12716, 12742, 12750 KING  
 GEORGE BLVD  
 SURREY, B.C.

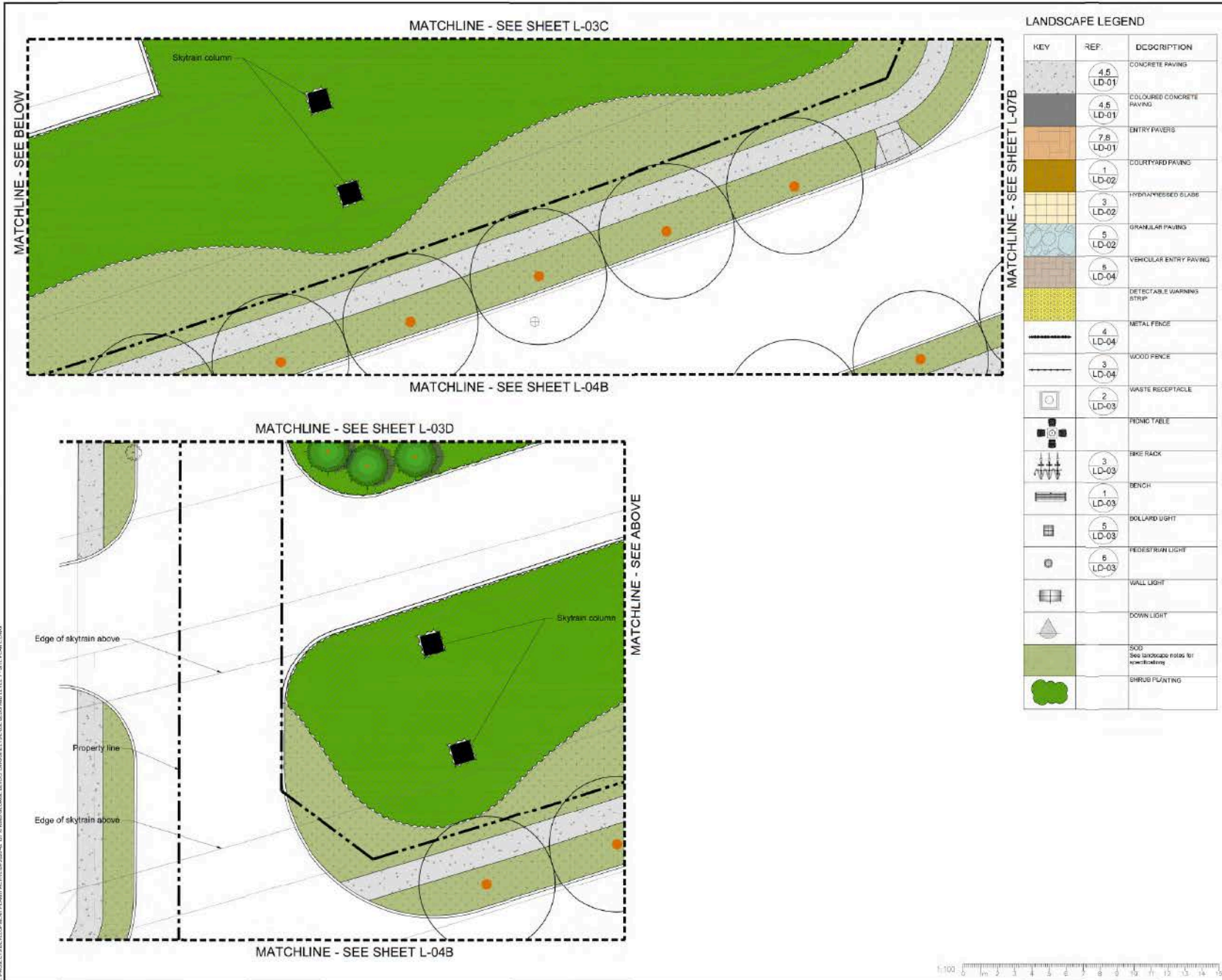
Drawn: AD	Stamp: 
Checked: MVDZ	
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Scale:  
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Drawing Title: **BLDG A&B LEVEL 1 - SITE PLAN D**  
 Drawing #: **L-03D**  
 Project #: **DP2020-42**  
 Orientation: **NORTH**



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Pattern]	4.6 LD-01	CONCRETE PAVING
[Pattern]	4.8 LD-01	COLOURED CONCRETE PAVING
[Pattern]	7.8 LD-01	ENTRY PAVERS
[Pattern]	1 LD-02	COURTYARD PAVING
[Pattern]	3 LD-02	HYDRATED SLAB
[Pattern]	5 LD-02	GRANULAR PAVING
[Pattern]	5 LD-04	VEHICULAR ENTRY PAVING
[Pattern]		DETECTABLE WARNING STRIP
[Symbol]	4 LD-04	METAL FENCE
[Symbol]	3 LD-04	WOOD FENCE
[Symbol]	2 LD-03	WASTE RECEPTACLE
[Symbol]		PHONE TABLE
[Symbol]	3 LD-03	BIKE RACK
[Symbol]	1 LD-03	BENCH
[Symbol]	5 LD-03	BOLLARD LIGHT
[Symbol]	6 LD-03	FEDESTRIAN LIGHT
[Symbol]		WALL LIGHT
[Symbol]		DOWN LIGHT
[Symbol]		SOIL (See landscape notes for specifications)
[Symbol]		SHRUB PLANTING

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2	AD	Issued for DP	May 4, 2021
1	AD	Issued for Review	Aug 7, 2020

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No.	By	Description	Date

Project:  
**KING GEORGE MIXED USE**

Location:  
 12716, 12742, 12750 KING  
 GEORGE BLVD  
 SURREY, B.C.

Drawn: AD  
 Checked: MVDZ  
 Approved: MVDZ  
 Scale: 1:100

Stamp:  
 Original Sheet  
 24 x 36" (610 x 914 mm)  
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Drawing Title: **BLDG A&B LEVEL 1 - SITE PLAN E**  
 Drawing #: **L-03E**  
 Project #: **DP2020-42**  
 Orientation: **NORTH**



MATCHLINE - SEE SHEET L-04B

MATCHLINE - SEE SHEET L-07B



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	4.6 LD-01	CONCRETE PAVING
	4.5 LD-01	COLOURED CONCRETE PAVING
	7.8 LD-01	ENTRY PAVERS
	1 LD-02	COURSED PAVING
	3 LD-02	HYDRANT PRESSED SLAB
	5 LD-02	GRANULAR PAVING
	5 LD-04	VEHICULAR ENTRY PAVING
		DETECTABLE WARNING STRIP
	4 LD-04	METAL FENCE
	3 LD-04	WOOD FENCE
	2 LD-03	WASTE RECEPTACLE
		PICNIC TABLE
	3 LD-03	BIKE RACK
	1 LD-03	BENCH
	5 LD-03	BOLLARD LIGHT
	6 LD-03	FREESTANDING LIGHT
		WALL LIGHT
		DOWN LIGHT
		SOIL See landscape notes for specifications
		SHRUB PLANTING

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Location:  
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Checked: MVDZ	
Approved: MVDZ	Original Sheet 24/03/2021

Scale:  
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Drawing Title: **BLDG C LEVEL 1 - SITE PLAN A**



VDZ Project # **DP2020-42**

Drawing # **L-04A**



### LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Pattern]	4.6 LD-01	CONCRETE PAVING
[Pattern]	4.5 LD-01	COLOURED CONCRETE PAVING
[Pattern]	7.8 LD-01	ENTRY PAVERS
[Pattern]	1 LD-02	COURTYARD PAVING
[Pattern]	3 LD-02	HYDRATED SLAB
[Pattern]	5 LD-02	GRANULAR PAVING
[Pattern]	5 LD-04	VEHICULAR ENTRY PAVING
[Pattern]		DETECTABLE WARNING STRIP
[Symbol]	4 LD-04	METAL FENCE
[Symbol]	3 LD-04	WOOD FENCE
[Symbol]	2 LD-03	WASTE RECEPTACLE
[Symbol]		FROND TABLE
[Symbol]	3 LD-03	BIKE RACK
[Symbol]	1 LD-03	BENCH
[Symbol]	5 LD-03	BOLLARD LIGHT
[Symbol]	6 LD-03	PEDESTRIAN LIGHT
[Symbol]		WALL LIGHT
[Symbol]		DOWN LIGHT
[Symbol]		SOIL
[Symbol]		SHRUB PLANTING

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REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:  
**KING GEORGE MIXED USE**

Location:  
 12716, 12742, 12750 KING  
 GEORGE BLVD  
 SURREY, B.C.

Drawn:  
 AD

Checked:  
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Approved:  
 MVDZ

Stamp:

Scale:  
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PROJECT LOCATION: 12716, 12742, 12750 KING GEORGE BLVD, VANCOUVER, BC. SHEET NO. L-04B. DATE: 2022-04-27.

Drawing Title: **BLDG C LEVEL 1 - SITE PLAN B**  
 Drawing #: **L-04B**  
 Project #: **DP2020-42**  
 Orientation: **NORTH**



Z:\PROJECTS\KING GEORGE MIXED USE\DP2020-42\DRAWINGS\LANDSCAPE\LANDSCAPE PLAN\BLDG A&B LEVEL 2 - SITE PLAN.LANDSCAPE



MATCHLINE - SEE SHEET L-06B

### LANDSCAPE LEGEND

KEY	REF	DESCRIPTION
	4.5 LD-01	CONCRETE PAVING
	2 LD-02	FLAGSTONE PAVING
	1 LD-02	WOOD PAPER DECK
	4 LD-02	HYDRAPRESSED SLABS
	5 LD-02	GRANULAR PAVING
	2 LD-05	FIBER SAFETY SURFACE
	1 LD-03	BENCH
	5 LD-03	ROLLARD LIGHT
	5 LD-03	ROLLARD LIGHT
	5 LD-03	PEDESTRIAN LIGHT
	5 LD-03	WALL LIGHT
		BDO See landscape notes for specifications
		SHRUB PLANTING

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No.	By	Description	Date
4	AD	Issued for DP	Apr 21, 2020
3	AD	Issued for DP	May 25, 2021
2	AD	Issued for DP	May 4, 2021
1	AD	Issued for Review	Aug 7, 2020

REVISIONS TABLE FOR DRAWINGS

\* Corrections to the drawing and related to the project of VDZ+A and may not be applicable or used for other projects without permission.

No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project: KING GEORGE MIXED USE

Location:  
12716, 12742, 12750 KING  
GEORGE BLVD  
SURREY, B.C.

Drawn: AD	Stamp: 
Checked: MVDZ	
Approved: MVDZ	Original Sheet Date: 24/03/2021

Scale:  
1:100

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE FIELD DIMENSIONS. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE FIELD DIMENSIONS.

### BUILDING A & B LEVEL 2 PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Acer palmatum</i> 'Bloodgood' / Bloodgood Japanese Maple	B&B		2.5m ht	2
	<i>Magnolia kobus stellata</i> 'Royal Star' / Royal Star Magnolia	B&B		2.5m ht	2
	<i>Picea canadensis</i> 'Ingo's Ruby Vase' / Ingo's Ruby Vase Persian Hornwood	B&B	50cm	1.2m std	4
	<i>Picea pungens</i> 'Fat Albert' / Colorado Spruce	B&B		3.0m ht	2
	<i>Picea pungens</i> 'Fockel' / Blue Spruce	B&B		2.5m ht	2
	<i>Pinus nigra</i> 'Arnold Sentinel' / Arnold Sentinel Austrian Black Pine	B&B		2.5m ht	4
	<i>Styax japonicus</i> 'Snow Charm' / Snow Charm Japanese Snowbell	B&B	50cm	1.2m std	2



Drawing Title: BLDG A&B LEVEL 2 - SITE PLAN A



VDZ Project # DP2020-42

Drawing # L-05A

Z:\PROJECTS\DEVELOPMENT\PROJECTS\DP2020-42\DP2020-42-DT-KING GEORGE MIXED USE\LEVEL 2 - SITE PLAN\REVISED

MATCHLINE - SEE SHEET L-06A



LANDSCAPE LEGEND

KEY	REF	DESCRIPTION
	4.5 LD-01	CONCRETE PAVING
	2 LD-02	FLAGSTONE PAVING
	1 LD-02	WOOD PAPER DECK
	4 LD-02	HYDRAPRESSED SLABS
	5 LD-02	GRANULAR PAVING
	2 LD-05	FIBER SAFETY SURFACE
	1 LD-03	BENCH
	5 LD-03	ROLLARD LIGHT
	5 LD-03	ROLLARD LIGHT
	5 LD-03	PEDESTRIAN LIGHT
	5 LD-03	WALL LIGHT
		SICD See landscape notes for specifications
		SHRUB PLANTING

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Key Map (NTS)



No.	By	Description	Date
4	AD	Issued for DP	Apr 21, 2020
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1	AD	Issued for Review	Aug 7, 2020

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project: KING GEORGE MIXED USE

Location:  
12716, 12742, 12750 KING  
GEORGE BLVD  
SURREY, B.C.

Drawn: AD	Stamp: 
Checked: MVDZ	
Approved: MVDZ	Original Sheet 24/03/2021 2025/04/27

Scale: 1:100

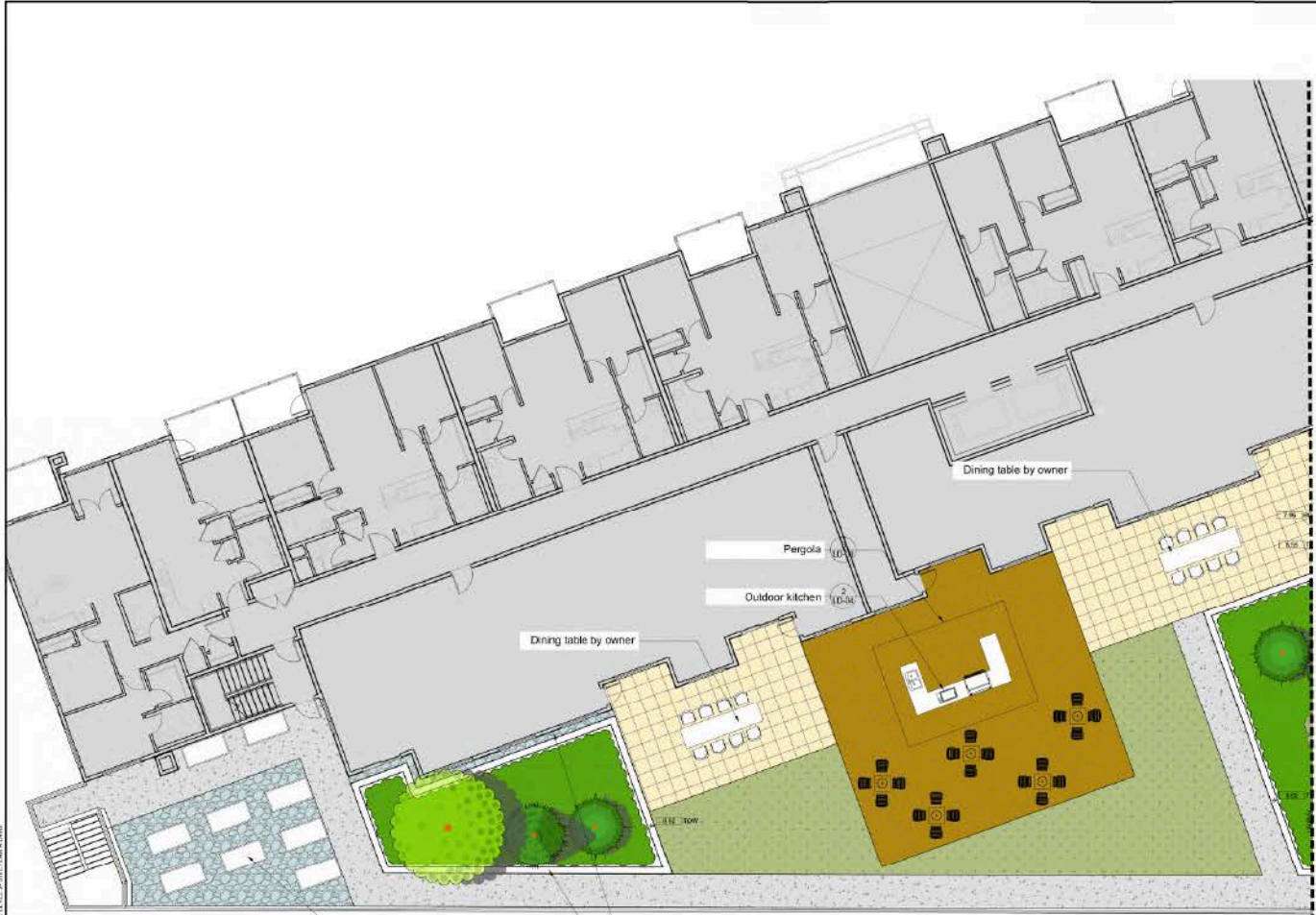
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT AND PROVIDE A CORRECTION AND APPROVAL TO PROCEED. THE CONSULTANT AND ARCHITECT WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

BUILDING A & B LEVEL 2 PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CDXHT	CAL	SIZE	QTY
	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	B&B	2.5m Ht.	2	
	Magnolia kobus var. latata 'Royal Star' / Royal Star Magnolia	B&B	2.5m Ht.	2	
	Pteris persica 'Ingo's Ruby Vase' / Ingo's Ruby Vase Persian Ironwood	B&B	6m 1.2m std	4	
	Platanus acerifolia 'Foli Abund' / Colorado Spruce	B&B	3.0m Ht.	2	
	Platanus acerifolia 'Foli Abund' / Blue Spruce	B&B	2.5m Ht.	3	
	Pinus nigra 'Arnald Sentinel' / Arnald Sentinel Austrian Black Pine	B&B	2.5m Ht.	4	
	Styrax japonica 'Snow Charm' / Snow Charm Japanese Snowbell	B&B	5m 1.2m std	3	



Drawing Title: **BLDG A&B LEVEL 2 - SITE PLAN B**  
 Drawing #: **DP2020-42**  
 Drawing #: **L-05B**



### LANDSCAPE LEGEND

KEY	REF	DESCRIPTION
	4.6 LD-01	CONCRETE PAVING
	2 LD-02	FLAGSTONE PAVING
	1 LD-02	WOOD PAPER DECK
	4 LD-02	HYDRAPRESSED SLABS
	5 LD-02	GRANULAR PAVING
	2 LD-05	FIBER SAFETY SURFACE
	1 LD-03	BENCH
	5 LD-03	BOLLARD - LIGHT
	5 LD-03	BOLLARD - LIGHT
	5 LD-03	PEDESTRIAN LIGHT
	5 LD-03	WALL LIGHT
		GRASS (See landscape notes for specifications)
		SHRUB PLANTING

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REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
4	AD	Issued for DP	Apr 11, 2020
3	AD	Issued for DP	May 25, 2021
2	AD	Issued for DP	May 4, 2021
1	AD	Issued for Review	Aug 7, 2020

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:  
**KING GEORGE MIXED USE**

Location:  
 12716, 12742, 12750 KING  
 GEORGE BLVD  
 SURREY, B.C.

Drawn: AD  
 Checked: MVDZ  
 Approved: MVDZ  
 Stamp: Original Sheet  
 24' x 36" | 2022-04-27

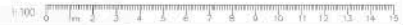
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- 1 (LD-01) Drip strip
- 2 (LD-01) Block retaining wall
- 1 (LD-01) Community garden plots

### BUILDING C LEVEL 2 PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	8/8		2.5h ht.	6
	Liliodendron tulipifera 'Fastigiatum' / Pyramidal Tulip Poplar	8/8	60h	1.2h std.	3
	Parrotia persica 'Ingo's Ruby Vase' / Ingo's Ruby Vase Persian Ironwood	8/8	6m	1.2h std.	2
	Pinus pungens 'Fosterii' / Blue Spruce	8/8		2.5h ht.	3
	Pinus banksiana 'Vanderwolf's Pyramidal' / Vanderwolf's Pyramidal Pine	8/8		2.5h ht.	6
	Pinus nigra 'Arnold Sentinel' / Arnold Sentinel Austrian Black Pine	8/8		2.5h ht.	3
	Buxus japonicus 'Snow Chime' / Snow Chime Japanese Stonecypress	8/8	5cm	1.2h std.	6



Drawing Title: **BLDG C LEVEL 2- SITE PLAN A**



VDZ Project # **DP2020-42**

Drawing # **L-06A**

Z:\PROJECTS\KING GEORGE MIXED USE\LEVEL 2\BLDG C LEVEL 2-SITE PLAN A.DWG

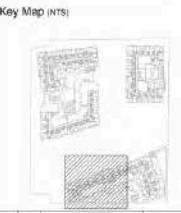
PROJECT LOCATION: 12716, 12742, 12750 KING GEORGE BLVD., SURREY, B.C. DRAWING NO.: L-06B



### LANDSCAPE LEGEND

KEY	REF	DESCRIPTION
	4.5 LD-01	CONCRETE PAVING
	2 LD-02	FLAGSTONE PAVING
	1 LD-02	WOOD PAPER DECK
	4 LD-02	HYDRAPRESSED SLABS
	5 LD-02	GRANULAR PAVING
	2 LD-05	FIBER SAFETY SURFACE
	1 LD-03	BENCH
	5 LD-03	ROLLARD LIGHT
	5 LD-03	ROLLARD LIGHT
	5 LD-03	PEDESTRIAN LIGHT
	5 LD-03	WALL LIGHT
		SOD (See landscape notes for specifications)
		SHRUB PLANTING

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4	AD	Issued for DP	Apr 21, 2020
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2	AD	Issued for DP	May 4, 2021
1	AD	Issued for Review	Aug 7, 2020

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No.	By	Description	Date

Project:  
**KING GEORGE MIXED USE**

Location:  
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GEORGE BLVD  
SURREY, B.C.

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Checked: MVDZ

Approved: MVDZ      Original Sheet: [Stamp]

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### BUILDING C LEVEL 2 PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	QTY
	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	B&B	2.5m Ht.	6	
	Lindodendron tomentosum 'Fastigiatum' / Spirendel Tulep Deutz	B&B	6m	1.5m cal.	1
	Parrotia persica 'Inge's Ruby Vase' / Inge's Ruby Vase Persian Ironwood	B&B	6m	1.2m cal.	2
	Picea pargens 'Foster' / Blue Spruce	B&B	2.5m Ht.	3	
	Pinus flexilis 'Vanderwal's Pyramid' / Vanderwal's Pyramid Pine	B&B	2.5m Ht.	6	
	Pinus nigra 'Arnold Sentinel' / Arnold Sentinel Austrian Black Pine	B&B	2.5m Ht.	3	
	Styax japonicus 'Snow Charm' / Snow Charm Japanese Snowball	B&B	50cm	1.2m cal.	6

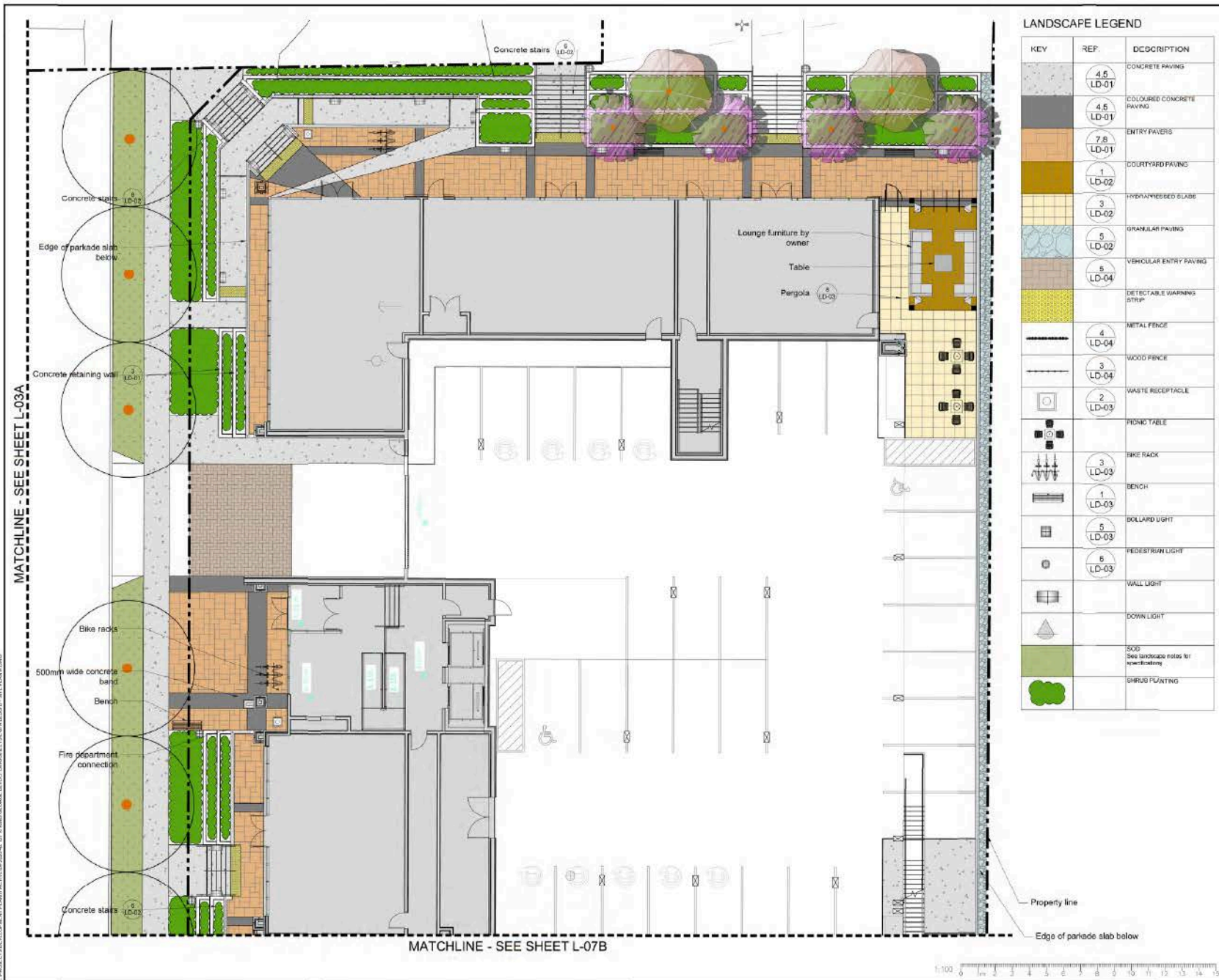


Drawing Title: BLDG C LEVEL 2 - SITE PLAN B



VDZ Project # DP2020-42

Drawing # L-06B



### LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Symbol]	4.6 LD-01	CONCRETE PAVING
[Symbol]	4.8 LD-01	COLOURED CONCRETE PAVING
[Symbol]	7.8 LD-01	ENTRY PAVERS
[Symbol]	1 LD-02	COURTYARD PAVING
[Symbol]	3 LD-02	HYDRATED SLAB
[Symbol]	5 LD-02	GRANULAR PAVING
[Symbol]	5 LD-04	VEHICULAR ENTRY PAVING
[Symbol]		DETECTABLE WARNING STRIP
[Symbol]	4 LD-04	METAL FENCE
[Symbol]	3 LD-04	WOOD FENCE
[Symbol]	2 LD-03	WASTE RECEPTACLE
[Symbol]		PICNIC TABLE
[Symbol]	3 LD-03	BIKE RACK
[Symbol]	1 LD-03	BENCH
[Symbol]	5 LD-03	BOLLARD LIGHT
[Symbol]	6 LD-03	FEDESTRIAN LIGHT
[Symbol]		WALL LIGHT
[Symbol]		DOWN LIGHT
[Symbol]		SOIL (See landscape notes for specifications)
[Symbol]		SHRUB PLANTING

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4	AD	Issued for DP	April 2020
3	AD	Issued for DP	May 25, 2021
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1	AD	Issued for Review	Aug 7, 2020

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:  
**KING GEORGE MIXED USE**

Location:  
 12716, 12742, 12750 KING  
 GEORGE BLVD  
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Scale: 1:100

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND LOCATIONS AGAINST THE ORIGINAL DESIGN AND APPROVE TO THE CONTRACTOR AND ARCHITECT TO ENSURE THE EXISTING DIMENSIONS OF THE EXISTING ARE AS SHOWN AT THE EXISTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND LOCATIONS OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

Drawing Title:  
**BLDG D - SITE PLAN A**



VDZ Project #  
**DP2020-42**

Drawing #  
**L-07A**

MATCHLINE - SEE SHEET L-03A

MATCHLINE - SEE SHEET L-07B





### LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Pattern]	4.6 LD-01	CONCRETE PAVING
[Pattern]	4.5 LD-01	COLOURED CONCRETE PAVING
[Pattern]	7.8 LD-01	ENTRY PAVERS
[Pattern]	1 LD-02	COURTYARD PAVING
[Pattern]	3 LD-02	HYDRATED SLABS
[Pattern]	5 LD-02	GRANULAR PAVING
[Pattern]	5 LD-04	VEHICULAR ENTRY PAVING
[Pattern]		DETECTABLE WARNING STRIP
[Symbol]	4 LD-04	METAL FENCE
[Symbol]	3 LD-04	WOOD FENCE
[Symbol]	2 LD-03	WASTE RECEPTACLE
[Symbol]		FRONIC TABLE
[Symbol]	3 LD-03	BIKE RACK
[Symbol]	1 LD-03	BENCH
[Symbol]	5 LD-03	BOLLARD LIGHT
[Symbol]	6 LD-03	FEDESTRIAN LIGHT
[Symbol]		WALL LIGHT
[Symbol]		DOWN LIGHT
[Symbol]		SOIL See landscape notes for specific locations
[Symbol]		SHRUB PLANTING

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2	AD	Issued for DP	May 9, 2021
1	AD	Issued for Review	Aug 7, 2020

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:  
**KING GEORGE MIXED USE**

Location:  
 12716, 12742, 12750 KING  
 GEORGE BLVD  
 SURREY, B.C.

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MATCHLINE - SEE SHEET L-03C

MATCHLINE - SEE SHEET L-07A

MATCHLINE - SEE SHEET L-04A

Drawing Title: BLDG D - SITE PLAN B

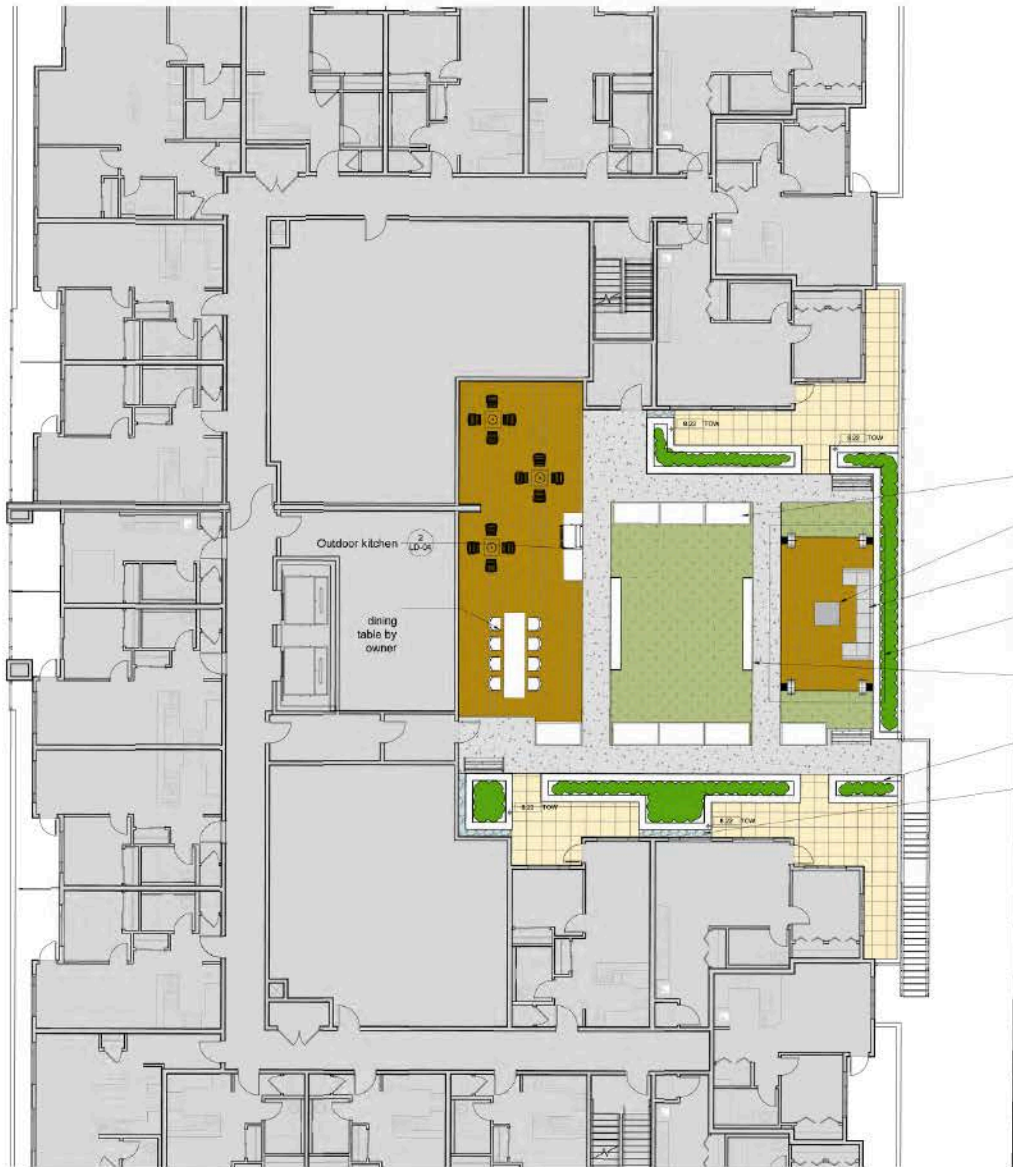


VDZ Project # DP2020-42

Drawing # L-07B



Z:\PROJECTS\DEVELOPMENT\PROJECTS\DP2020-42\12716 KING GEORGE MIXED USE\LANDSCAPE\LANDSCAPE L-07C.DWG



- ⑦ LD-03 Community garden plot
- ⑥ LD-03 Fire table
- ⑤ LD-03 Lounge furniture by owner
- ④ LD-03 Pergola
- ③ LD-03 Concrete seatwall
- ② LD-03 Block wall
- ① LD-03 Drip strip

Property line

**LANDSCAPE LEGEND**

KEY	REF.	DESCRIPTION
	④, ⑤ LD-01	CONCRETE PAVING
	② LD-02	FLAGSTONE PAVING
	① LD-02	WOOD PALLET DECK
	④ LD-02	HYDRO-PRESSED SLABS
	⑤ LD-02	GRANULAR PAVING
	② LD-05	FIBER SAFETY SURFACE
	① LD-03	BENCH
	⑤ LD-03	BOLLARD LIGHT
	⑤ LD-03	BOLLARD LIGHT
	⑥ LD-03	PEDESTRIAN LIGHT
	⑥ LD-03	WALL LIGHT
		SHRUB PLANTING

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4	AD	Issued for DP	Apr 21, 2020
3	AD	Issued for DP	May 25, 2021
2	AD	Issued for DP	May 4, 2021
1	AD	Issued for Review	Aug 7, 2020

REVISIONS TABLE FOR DRAWINGS  
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Project:  
**KING GEORGE MIXED USE**

Location:  
12716, 12742, 12750 KING  
GEORGE BLVD  
SURREY, B.C.

Drawn:  
AD

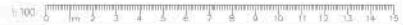
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MVDZ

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24/03/2021

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Drawing Title: **BLDG D - LEVEL 2 SITE PLAN**  
 Drawing #: **L-07C**  
 Project #: **DP2020-42**  
 North Arrow: **NORTH**

**LEVEL 1 PLANT SCHEDULE**

TREE	QTY	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE
	9	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	658		2.5m Ht
	8	Acer rubrum 'Armstrong' / Armstrong Red Maple	658	6cm	1.8m std
	3	Cercis canadensis / Eastern Redbud	658	6cm	1.2m std
	3	Fagus sylvatica 'Dawycy Purple' / European Beech	658	6cm	1.2m std
	13	Cornus florida 'Princeton Sentry' / Princeton Sentry Dogwood	658	6cm	1.8m std
	10	Liquidambar styraciflua 'Worpleston' / Worpleston Sweet Gum	658	6cm	1.8m std
	1	Liriodendron tulipifera 'Fastigiatum' / Pyramidal Tulip Poplar	658	6cm	1.2m std
	5	Magnolia kobus stellata 'Royal Star' / Royal Star Magnolia	658		2.5m Ht
	4	Parrotia persica 'Inge's Ruby Vase' / Inge's Ruby Yucca Persian Ironwood	658	6cm	1.2m std
	6	Picea pungens 'Fat Albert' / Colorado Spruce	658		3.0m Ht
	12	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	658		2.5m Ht
	5	Thuja plicata / Western Red Cedar	658		3.0m Ht
	7	Tilia americana 'Beulested' / Beulested Linden	658	6cm	1.8m std

**NOTES**

- All plant material shall meet or exceed standards required by Canadian Landscape Standards or BCSLA guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Resulting growing medium shall be removed off site immediately at the landscape contractor's expense.
- Planting medium depths for planting are as follows:
  - a. Shrubs: 400mm.
  - b. Seed: 150mm.
  - c. Tree pits: 1000mm with 300mm (below root ball).
- 7" trunks (scraped) must be modified in all shrub planting areas.
- All landscaped areas to be irrigated.
- Plant schedule lists plant quantity totals.



Magnolia kobus stellata 'Royal Star'

**PLANT SCHEDULE**

SHRUBS	BOTANICAL / COMMON NAME	CONT.	SPACING
Ab	Abies balsamea 'Probus' / Probus Balsam Fir	#2 Pot	0.5m
A	Althium nipponicum durum / Japanese Painted Fern	#1 Pot	0.3m
Ag	Azalea x Grand x Fuchsia / Grand x Fuchsia Azalea	#2 Pot	0.5m
Ah	Azalea x Hino-White / Hino-White Kurume Azalea	#2 Pot	0.5m
B	Blechnum spicatum / Deer Fern	#1 Pot	0.3m
Ck	Cornus sericea 'Kobey' / Kobey's Dwarf Red Twig Dogwood	#2 Pot	0.6m
Cs	Cornus stricta 'Randy Hoag' / Randy Hoag Burning Bush	#3 Pot	1m
H	Hemerocallis x 'Dad's Best White' / Dad's Best White Daylily	#1 Pot	0.4m
Hb	Hosta x 'Big Daddy' / Big Daddy Hosta	#1 Pot	0.9m
Hg	Hosta x 'Great Escape' / Great Escape Hosta	#2 Pot	0.4m
Hm	Hydrangea macrophylla 'Glaning Snow' TM / Wedding Gown Double Delights Hydrangea	#3 Pot	0.9m
Hy	Hydrangea macrophylla 'Endless Summer' TM / Bolster Hydrangea	#3 Pot	0.9m
L	Liriodendron styraciflua 'Royal Purple Lyrifol' / Purple Lyrifol	#1 Pot	0.3m
Nd	Nandina domestica 'Firepower' / Firepower Heavenly Bamboo	#2 Pot	0.6m
P	Polystichum acrostichoides / Christmas Fern	#1 Pot	0.3m
Pw	Polystichum munitum / Western Sword Fern	#1 Pot	0.5m
Po	Pinus laevis 'Otto Lykei' / Otto Lykei English Laurel	#3 Pot	0.9m
Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	#3 Pot	1.2m
Rr	Rosa rugosa 'Pink Pavement' / Pink Pavement Rose	#2 Pot	0.6m
Sc	Spiraea x 'Serrata' / Serrata / Crisp Leaf Spirea	#2 Pot	0.5m
Gm	Spiraea x 'Normana' / Normana Carpet / Spirea	#2 Pot	0.5m
Ta	Taxus canadensis / American Yew	#2 Pot	0.6m
Tc	Taxus canadensis 'Nana' / Dwarf Japanese Yew	#2 Pot	0.9m
Td	Thuja occidentalis 'Dayroot's Spire' / Dayroot's Spire Arborvitae	#2 Pot	0.8m
Th	Thuja occidentalis 'Holmstrup' / Holmstrup Arborvitae	#3 Pot	0.9m



**VDZ+A**  
 VERTICAL DESIGN ZONE ARCHITECTURE  
**FOOT LANGLEY STUDIO / MOUNT RAINIER STUDIO**  
 204-631-0306 x311 Kingway  
 Fort Langley, BC, CANADA V3T 3J7  
 www.vdz.ca 604-892-0924

No.	By	Description	Date
4	AD	Issued for DP	Apr 21, 2020
3	AD	Issued for DP	May 25, 2021
2	AD	Issued for DP	May 4, 2021
1	AD	Issued for Review	Aug 7, 2020

**REVISIONS TABLE FOR DRAWINGS**

1. All drawings are the property of VDZ+A and may not be reproduced or used for other projects without permission.

No.	By	Description	Date

Project: **KING GEORGE MIXED USE**

Location:  
12716, 12742, 12750 KING  
GEORGE BLVD  
SURREY, B.C.

Drawn: AD Stamp: 

Checked: MVDZ

Approved: MVDZ Original Sheet Date: 24/03/2022

Scale: 1:1

CONTRACTOR SHALL CHECK ALL MATERIALS, BEHAVIORS, AND METHODS OF CONSTRUCTION AND NOTIFY THE CONSULTANT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

---

TO: **Director, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **December 11, 2023** PROJECT FILE: **7820-0188-00**

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 12716 King George Blvd**

**OCP AMENDMENT/NCP AMENDMENT**

Submit sanitary catchment analysis to identify any downstream constraints and resolve as required.

**REZONE/SUBDIVISION**

***Property and Right-of-Way Requirements***

- Dedicate 20.0-metres for 127A Street.
- Dedicate 20.0-metres for 111A Avenue.
- Dedicate corner cuts as required.
- Register 0.5-metre Statutory right-of-way along all frontages.

***Works and Services***

- Construct 127A Street.
- Construct 111A Avenue.
- Construct water, sanitary and drainage mains along 127A Street and 111A Avenue.
- Construct storm, sanitary and water service connections to service the lots.
- Submit SWCP to identify any downstream constraints and resolve as required.
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required prior to Rezone/Subdivision.



Jeff Pang, P.Eng.  
Development Services Manager

BD

Department: **Planning and Demographics**  
 Date: **December 8, 2023**  
 Report For: **City of Surrey**

**Development Impact Analysis on Schools For:**

Application #: **20 0188 00**

The proposed development of **476** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

<b>School-aged children population projection</b>	62
---	----

<b>Projected Number of Students From This Development In:</b>	
Elementary School =	38
Secondary School =	14
Total Students =	52

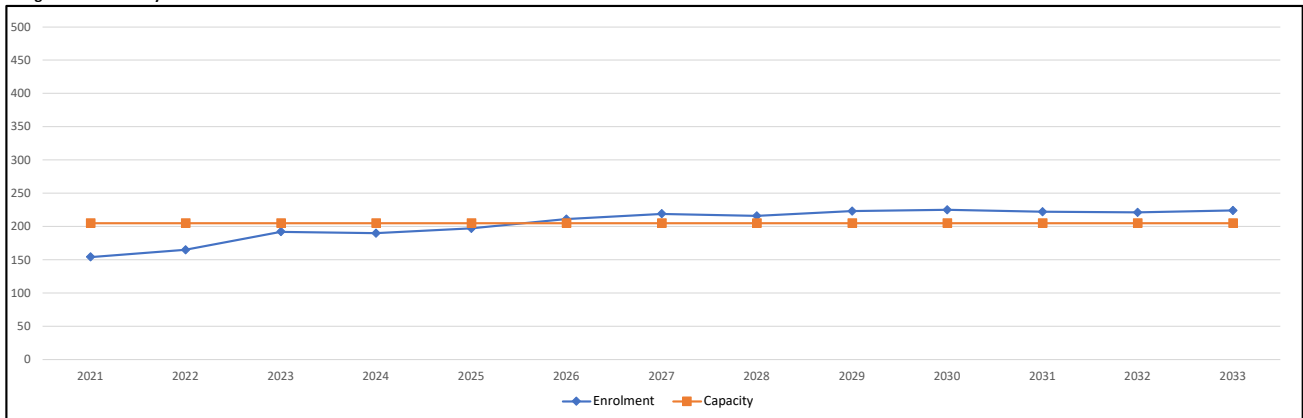
<b>Current Enrolment and Capacities:</b>	
<b>Bridgeview Elementary</b>	
Enrolment	192
Operating Capacity	205
# of Portables	0
<b>Kwantlen Park Secondary</b>	
Enrolment	1594
Operating Capacity	1200
# of Portables	16

**Summary of Impact and Commentary**  
 The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at Bridgeview Elementary. Bridgeview Elementary school capacity has been adjusted for the implementation of full day Kindergarten and inclusion of a "Strongstart" program for preschool children and their parents.

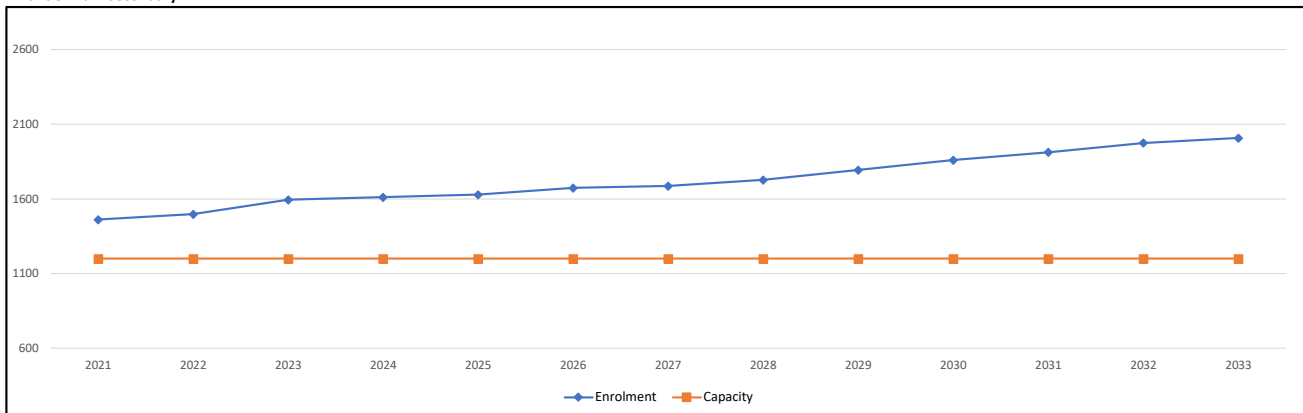
As of September 2023, Kwantlen Park Secondary is currently operating at 133% with 16 portables on site used for enrolling classes and is projected to grow by 450 students over the next 10 years. This school will also be impacted by timing of future high-rise development in the area. In February 2023, the District received capital funding approval from the Ministry to build a 500-capacity addition, targeted to open in the fall of 2027.

**Bridgeview Elementary**



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

**Kwantlen Park Secondary**



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

**Population:** The projected population of children aged 0-17 impacted by the development.  
**Enrolment:** The number of students projected to attend the Surrey School District ONLY.

### 4.0 Tree Preservation Summary

Table 2: City of Surrey tree preservation summary table for on-site and off-site trees, including the number of replacement trees proposed.

Surrey Project Number: 20-0188

Site Address: 12716 & 12750 King George Boulevard

Registered Arborist: Michael Harry. PN-8025A

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>7</b>
<b>Protected Trees to be Removed</b>	<b>2</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>5</b>
<b>Total Replacement Trees Required:</b> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 2 X one (1) = 2 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	<b>2</b>
<b>Replacement Trees Proposed</b>	<b>86</b>
<b>Replacement Trees in Deficit</b>	<b>0</b>
<b>Protected Trees to be Retained in Proposed Open Space / Riparian Areas</b>	<b>0</b>

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	<b>11</b>
<b>Total Replacement Trees Required:</b> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 11 X two (2) = 22	<b>22</b>
<b>Replacement Trees Proposed</b>	<b>0</b>
<b>Replacement Trees in Deficit</b>	<b>22</b>

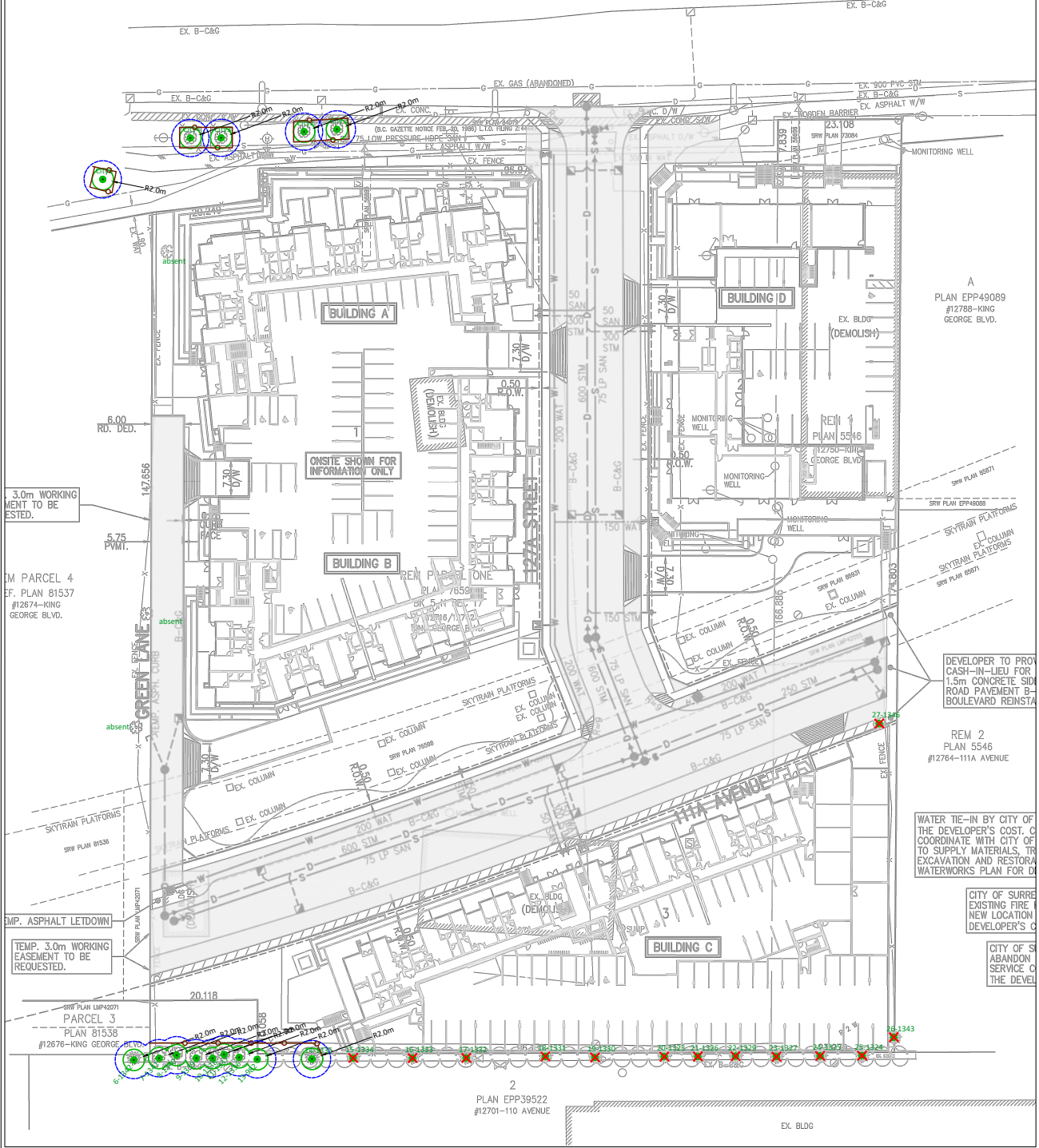
Summary, report and plan prepared and submitted by

  
Signature of Arborist

December 13, 2023

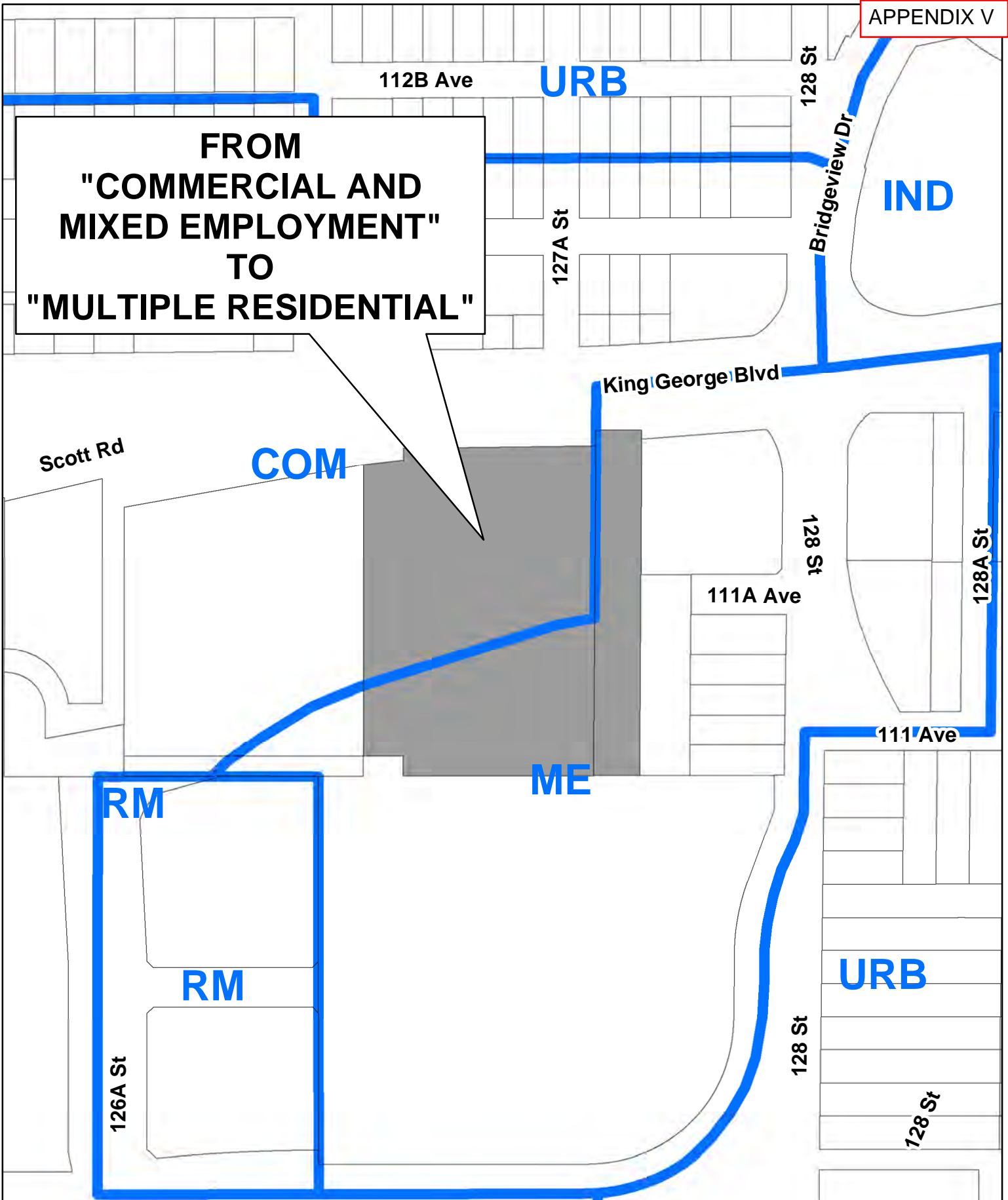
Date

# KING GEORGE BOULEVARD



<b>LEGEND</b>	<span style="color: green;">—</span> CRITICAL ROOT ZONE	<span style="color: blue;">---</span> NO BUILD ZONE	<span style="color: magenta;">●</span> UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED)	<b>REFERENCE DRAWINGS</b>
	<span style="color: red;">○</span> TREE PROTECTION ZONE AND FENCING	<span style="color: green;">●</span> SURVEYED TREE TO BE RETAINED	<span style="color: red;">✗</span> TREE TO BE REMOVED	1. Base Survey by:

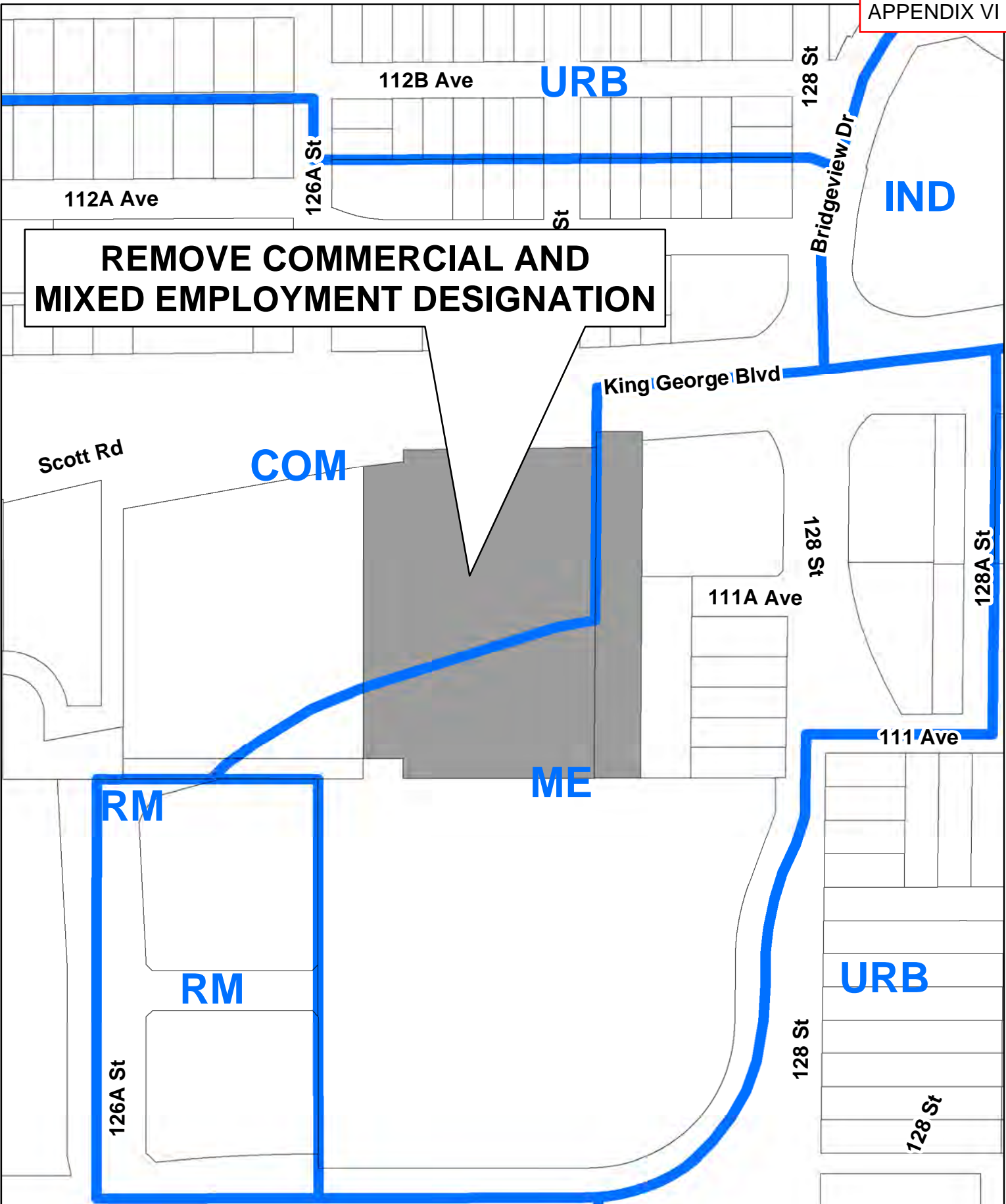
- NOTES**
- The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
  - All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
  - The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (½ the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
  - No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
  - The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.
  - Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
  - This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
  - This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.



**OCP Amendment 20-0188-00**

Figure 3 Proposed amendment From "Commercial And Mixed Employment" To "Multiple Residential"

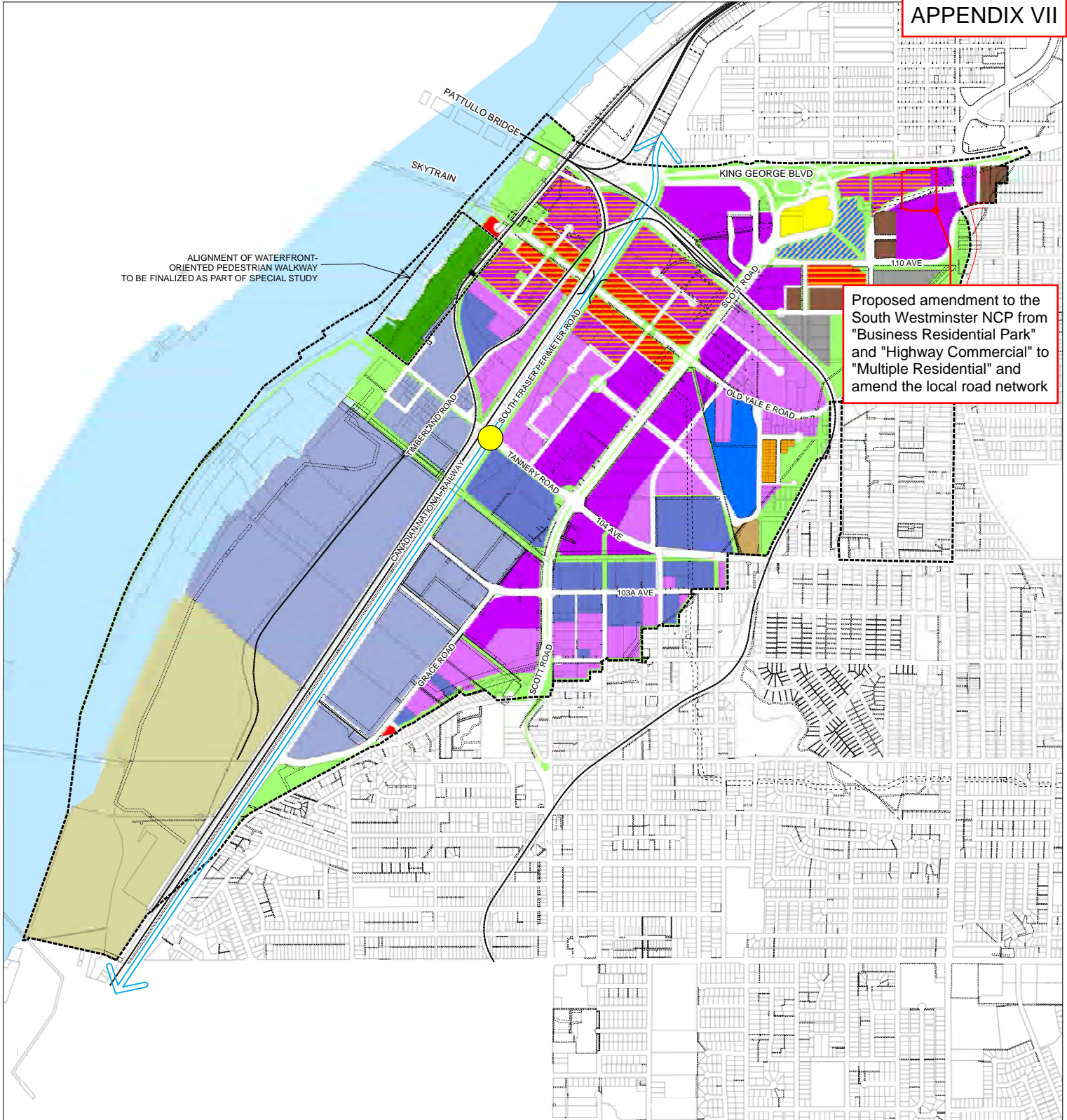






ALIGNMENT OF WATERFRONT-ORIENTED PEDESTRIAN WALKWAY TO BE FINALIZED AS PART OF SPECIAL STUDY

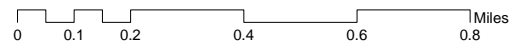
Proposed amendment to the South Westminster NCP from "Business Residential Park" and "Highway Commercial" to "Multiple Residential" and amend the local road network



# SOUTH WESTMINSTER PLAN

CITY OF SURREY  
PLANNING AND DEVELOPMENT DEPARTMENT

APPROVED BY COUNCIL RESOLUTION R03 - 3189 8 December 2003, Map Revised 1 April 2022



### Legend

- SkyTrain
- Overpass
- Waterfront Oriented Pedestrian Walkway
- Special Study Area
- Interchange
- South Fraser Perimeter Road
- Business Park

- Business Residential Park
- Commercial
- Highway Commercial
- Light Impact Industrial
- Light Industrial Business Park
- Low Density Townhouses
- Multiple Residential
- Port Related Industrial
- Retail Residential
- Special Residential
- Schools
- Institutional
- Skytrain
- Transit Oriented Urban Village
- Parks and Open Spaces
- Waterfront Strip
- Overpass

**CITY OF SURREY****HOUSING AGREEMENT**  
**(Residential Only)**

THIS HOUSING AGREEMENT made the \_\_\_\_ day of \_\_\_\_\_, 2023.

BETWEEN:

**CITY OF SURREY**, a municipal corporation having its  
offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the “**City**”)

OF THE FIRST PART

AND:

**1123771 B.C. LTD., Inc. No. BC1123771**  
12732 – 56 Avenue, Surrey, BC V3X 2Y6

(the “**Owner**”)

OF THE SECOND PART

WHEREAS:

- A. The Owner is the legal and beneficial owner of those certain lands and premises located in the City of Surrey, in the Province of British Columbia, legally described as:

Parcel Identifier: \_\_\_\_\_  
LOT 1 EPP \_\_\_\_\_

(the “**Lands**”);

- B. The Owner proposes to use the Lands for one 5-storey residential building, containing 103 Rental Units, and one 6-storey building, contained 136 Rental Units, over a shared parkade (the “**Development**”);
- C. The Owner has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Owner (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

1. **DEFINED TERMS**

1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:

- (a) **“Agreement”** means this housing agreement and any amendments to or modifications of the same;
- (b) **“City”** means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
- (c) **“City Personnel”** means all of the City’s elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
- (d) **“Claims and Expenses”** means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
- (e) **“Development”** means as defined in Recital B;
- (f) **“Dwelling Unit”** means each of the 239 dwelling units to be constructed within the Development;
- (g) **“Lands”** means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act*;
- (h) **“Owner”** means the person named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands;
- (i) **“Rental Units”** means 239 Dwelling Units which must be made available by the Owner to the general public at arms’ length for use as residential rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and any regulations pursuant thereto; and
- (j) **“Term”** means 40 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

**2. RESTRICTION ON OCCUPANCY OF DWELLING UNITS**

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement.
- 2.2 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.3 During the Term, the portion of the Lands containing the Development shall not be stratified.
- 2.4 All of the Rental Units must be owned by the same Owner(s).
- 2.5 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.

**3. LIABILITY**

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfilment of the covenants contained in this Agreement or otherwise.

**4. NOTICE**

- 4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

(a) As to the City:

City of Surrey  
13450 – 104 Avenue  
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

(b) As to the Owner:

**1123771 B.C. LTD., Inc. No. BC1123771**  
12732 – 56 Avenue, Surrey, BC V3X 2Y6

Attention:

Rajinder Singh Sandhu, Bahadar Singh Sandhu and Bikkar Singh Sarai

with a copy to:

McQuarrie Hunter LLP  
15th Floor, Central City Tower  
Suite 1500, 13450 102<sup>nd</sup> Avenue  
Surrey, B.C. V3T 5X3

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered and not mailed.

## 5. **GENERAL**

5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.

5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City without the consent of the Owner.

5.3 **City's Other Rights Unaffected.** Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Local Government Act* and the *Community Charter*, as amended from time to time and the rights,

- powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.
- 5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge, agree and declare that this Agreement is entered into for the sole purpose of benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.
- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.
- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.
- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on a solicitor-client basis.
- 5.10 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.11 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.

- 5.12 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.13 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent of this Agreement.
- 5.14 **Counterparts.** This Agreement may be executed in any number of counterparts and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument, provided that any party delivering this Agreement via facsimile or e-mail will deliver to the other party any originally executed copy of this Agreement forthwith upon request by the other party.

5.15 **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.

IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

**CITY OF SURREY**

By: \_\_\_\_\_  
Authorized Signatory  
Brenda Locke,  
Mayor  
City of Surrey

By: \_\_\_\_\_  
Authorized Signatory  
Jennifer Ficocelli,  
City Clerk  
City of Surrey

**1123771 BC LIMITED**

By: \_\_\_\_\_  
Authorized Signatory  
*Name:*  
*Title:*



**CITY OF SURREY**  
**HOUSING AGREEMENT**  
**Mixed-Use**

THIS HOUSING AGREEMENT made the \_\_\_\_ day of \_\_\_\_\_, 2023.

BETWEEN:

**CITY OF SURREY**, a municipal corporation having its  
offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the “**City**”)

OF THE FIRST PART

AND:

**1123771 B.C. LTD., Inc. No. BC1123771**  
12732 – 56 Avenue, Surrey, BC V3X 2Y6

(the “**Owner**”)

OF THE SECOND PART

WHEREAS:

- A. The Owner is the legal and beneficial owner of those certain lands and premises located in the City of Surrey, in the Province of British Columbia, legally described as:

Parcel Identifier: \_\_\_\_\_  
LOT 2 EPP \_\_\_\_\_

(the “**Lands**”);

- B. The Owner proposes to use the Lands for one 5-storey building, containing 99 Rental Units and 742.85 square metres of commercial-retail space, over a shared parkade (the “**Development**”);
- C. The Owner has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Owner (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

## 1. **DEFINED TERMS**

1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:

- (a) “**Agreement**” means this housing agreement and any amendments to or modifications of the same;
- (b) “**City**” means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
- (c) “**City Personnel**” means all of the City’s elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
- (d) “**Claims and Expenses**” means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
- (e) “**Development**” means as defined in Recital B;
- (f) “**Dwelling Unit**” means each of the 99 dwelling units to be constructed within the Development;
- (g) “**Lands**” means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act* and a subdivision pursuant to the *Strata Property Act* of British Columbia);
- (h) “**Owner**” means the person named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands and, without limitation, if the Lands are subdivided by way of a strata plan under the *Strata Property Act* of British Columbia, then “Owner” includes the strata corporation thereby created;
- (i) “**Rental Units**” means 99 Dwelling Units which must be made available by the Owner to the general public at arms’ length for use as residential rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and any regulations pursuant thereto; and
- (j) “**Term**” means of 40 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

**2. RESTRICTION ON OCCUPANCY OF DWELLING UNITS**

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement.
- 2.2 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.3 All of the Rental Units must be owned by the same Owner(s).
- 2.4 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.

**3. LIABILITY**

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfilment of the covenants contained in this Agreement or otherwise.

**4. NOTICE**

- 4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

(a) As to the City:

City of Surrey  
13450 – 104 Avenue  
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

(b) As to the Owner:

**1123771 B.C. LTD., Inc. No. BC1123771**  
12732 – 56 Avenue, Surrey, BC V3X 2Y6

Attention:

Rajinder Singh Sandhu, Bahadar Singh Sandhu and Bikkar Singh Sarai

with a copy to:

McQuarrie Hunter LLP  
15th Floor, Central City Tower  
Suite 1500, 13450 102<sup>nd</sup> Avenue  
Surrey, B.C. V3T 5X3

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered and not mailed.

## 5. **GENERAL**

5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.

5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City without the consent of the Owner.

5.3 **City's Other Rights Unaffected.** Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Local Government Act* and the *Community Charter*, as amended from time to time and the rights, powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.

5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge,

- agree and declare that this Agreement is entered into for the sole purpose of benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.
- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.
- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.
- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on a solicitor-client basis.
- 5.10 **Subdivision/Consolidation.** If the Lands are subdivided or consolidated at any time hereafter either under the provisions of the *Land Title Act* or under the *Strata Property Act*, then upon the deposit of a plan of subdivision, strata plan, consolidation plan or similar plan or application as the case may be the rights, benefits, burdens, obligations, and covenants contained in this Agreement will continue to charge each of the new parcels, lots, or other subdivided or consolidated parcels and areas so created.
- 5.11 **Subdivision by Strata Plan.** If the Lands, or any portion thereof, are subdivided by a strata plan, this Agreement will charge title to the strata lots and the common property comprising such strata plan and:
- (a) this Agreement will be registered against each individual strata lot and noted on the common property sheet;

- (b) the strata corporation or the strata corporations created will perform and observe the Owner's covenants in this Agreement, solely at the expense of the strata lot owners; and
  - (c) the liability of each strata lot owner for the performance and observance of the Owner's covenants herein will be in proportion to the unit entitlement of his, her or its strata lot as established by the strata plan.
- 5.12 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.13 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.
- 5.14 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.15 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent of this Agreement.
- 5.16 **Counterparts.** This Agreement may be executed in any number of counterparts and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument, provided that any party delivering this Agreement via facsimile or e-mail will deliver to the other party any originally executed copy of this Agreement forthwith upon request by the other party.

5.17 **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.

IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

**CITY OF SURREY**

By: \_\_\_\_\_  
Authorized Signatory  
Brenda Locke,  
Mayor  
City of Surrey

By: \_\_\_\_\_  
Authorized Signatory  
Jennifer Ficocelli,  
City Clerk  
City of Surrey

**1123771 BC LIMITED**

By: \_\_\_\_\_  
Authorized Signatory  
*Name:*  
*Title:*