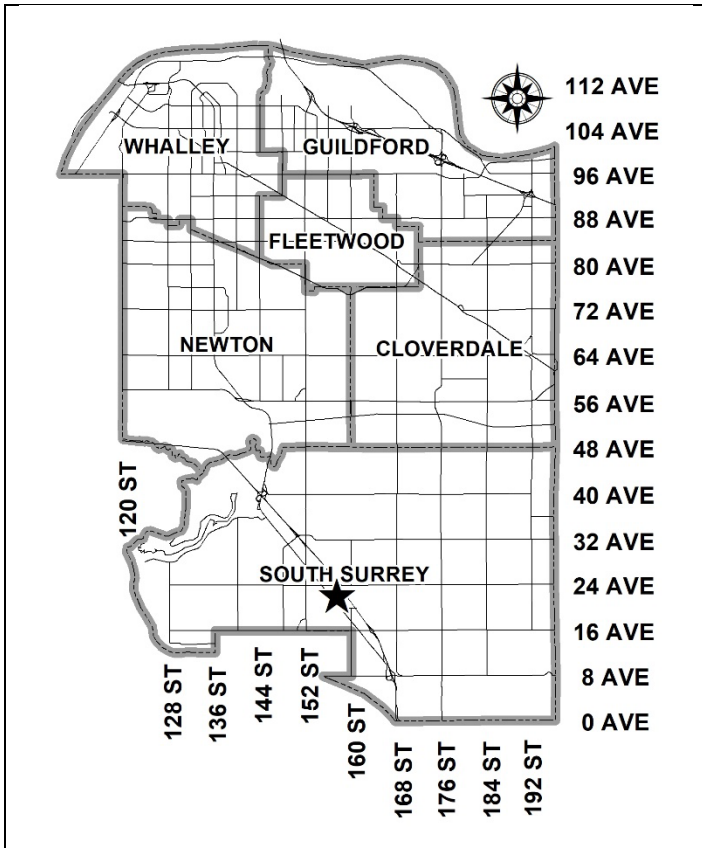


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7921-0290-00

Planning Report Date: May 6, 2024



PROPOSAL:

- **OCP Amendment** from Urban to Commercial
- **Rezoning** from CTA to CD (based on CTA)
- **Development Permit**

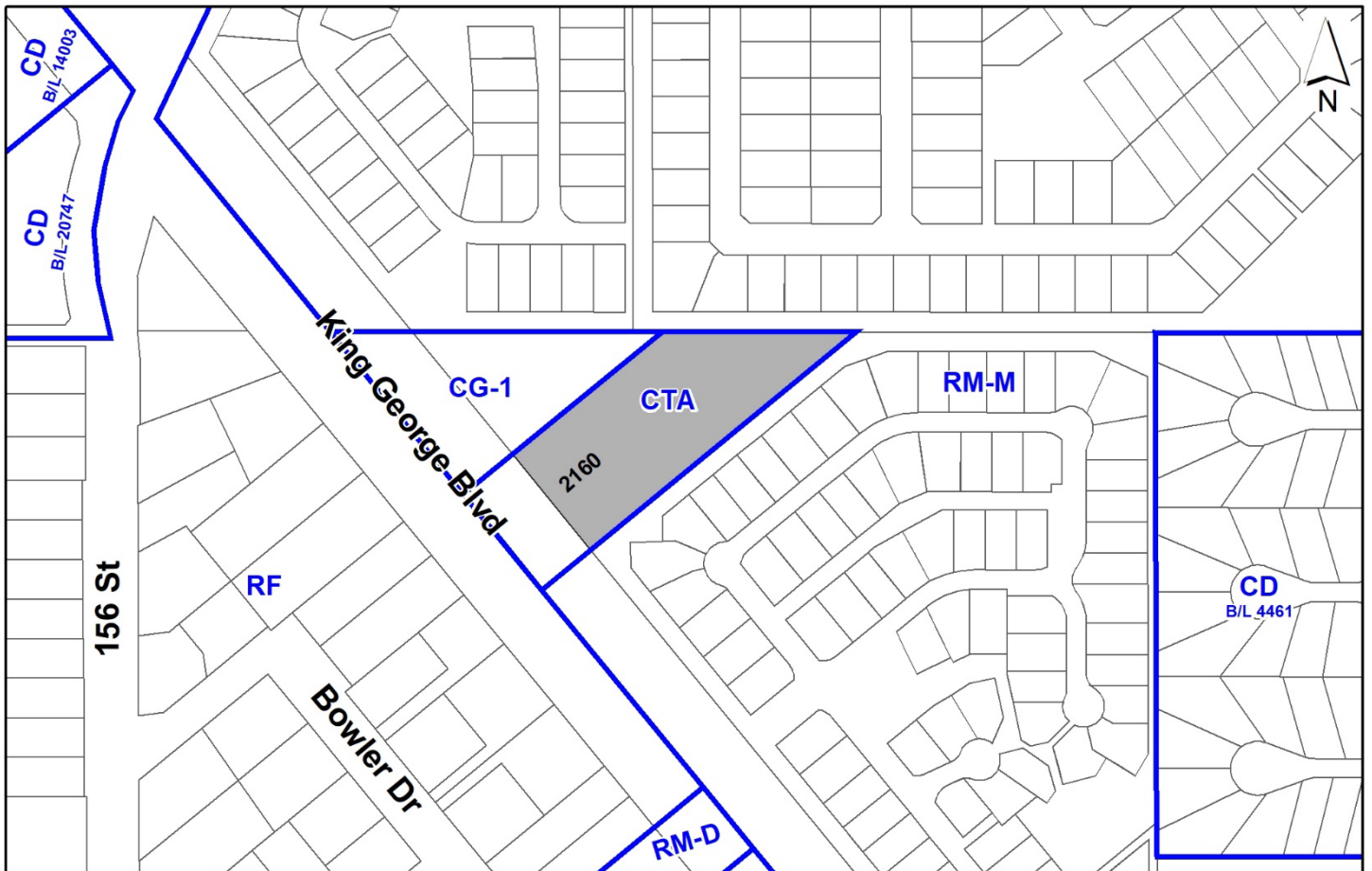
to permit the development of a 4-storey, 80-room hotel with a restaurant.

LOCATION: 2160 King George Boulevard

ZONING: CTA

OCP DESIGNATION: Urban

LAP DESIGNATION: Commercial



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from Urban to Commercial to replace the existing hotel and restaurant on site with a new larger hotel.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Commercial designation in the King George Corridor Local Area Plan (LAP)
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed setbacks achieve a more urban, pedestrian streetscape than the existing hotel and restaurant on site, and are in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP Figure 3: General Land Use Designations for the subject site from Urban to Commercial and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "Tourist Accommodation Zone (CTA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7921-0290-00 in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
 - (h) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/LAP Designation	Existing Zone
Subject Site	Hotel and Restaurant	Urban/Commercial	CTA
North:	Gas Station, Mobile Home Park	Urban/Commercial	CG-1, RM-M
East:	Mobile Home Park	Urban	RM-M
South:	Mobile Home Park	Urban	RM-M
West (Across King George Blvd):	Single Family Residential	Urban/Single Family Residential (6 u.p.a.)	RF

Context & Background

- The site is located on the east side of King George Boulevard, north of 20 Avenue, south of 156 Street. The lot is 4,909 square metres in size and there is an existing hotel and restaurant on site. The site is designated Urban in the Official Community Plan and Commercial in the King George Corridor Local Area Plan.

DEVELOPMENT PROPOSAL**Planning Considerations**

- The application proposes an OCP amendment from Urban to Commercial, Rezoning from CTA to CD (based on CTA), and Development Permit for Form & Character in order to redevelop the site with a new 4-storey, 80-room hotel with a restaurant.

	Proposed
Lot Area	
Gross Site Area:	4,909 square metres
Number of Lots:	1
Building Height:	14 metres
Floor Area Ratio (FAR):	1.43
Floor Area	
Hotel (80 rooms):	6,377.23 square metres
Restaurant:	186.92 square metres
Multipurpose Room:	332.52 square metres
Total:	6,896.67 square metres

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.

Advisory Design Panel: At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City’s Advisory Design Panel (ADP) which permits commercial proposals that are greater than 3-storeys, to proceed to Council for By-law introduction, prior to review and/or comment from the ADP, provided that the proposal is generally supported by City staff.

The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, identified by the ADP, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.

Transportation Considerations

- Access to the site will be from a shared driveway on King George Boulevard at the northwest corner. The applicant has worked with the property owner abutting to the north to come to an agreement on the location of the driveway and the two driveways will be consolidated into one when the site to the north redevelops. The applicant will provide a shared access easement for future access to the site to the north.
- The site is located along the 354 White Rock South/Bridgeport Station bus route with the closest stops located across King George Boulevard approximately 100 metres from the site for southbound travel, and northbound stops located approximately 300 metres to the north or south at 152 Street or 20 Avenue.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the General Urban designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The site is designated Urban in the Official Community Plan.
- The application proposes an OCP amendment from Urban to Commercial to allow an increase in density (floor area ratio) up to 1.5 FAR for the proposed redevelopment.

Amendment Rationale

- An amendment is required due to the proposed intensification of uses on site with a proposed FAR of 1.43. The 4 storey built form and 14 metre height are suitable for the site context.
- The proposed amendment is consistent with the Commercial designation in the King George Corridor Local Area Plan.
- There is an existing long-standing hotel and restaurant on the site.
- There is no change of use proposed.

Themes/Policies

- A1.3 Accommodate urban land development according to the following order of growth management priorities:
 - a) City Centre and Town Centre locations well-served by local services, infrastructure, and transit; and
 - b) Vacant or under-development commercial, mixed-use and multi-family locations in existing urban areas, particularly along transit corridors and areas well-served by existing community amenities and infrastructure.

(The proposed development is located on an under-developed site that is designated Commercial in the King George Corridor LAP and is served by bus routes.)

- B2.14 Encourage underground parking and provide landscaped open spaces and pedestrian environments in place of surface parking.

(Parking will be provided in an underground parking structure with only 6 short-term surface parking spaces located near the building entrance for hotel guest check-in. A tree-lined walkway will connect the public sidewalk to the main hotel entrance. Non-paved surface areas will be landscaped, including substantial landscape buffering along the side and rear yards, and hotel guests will have access to an outdoor patio and open space area at the rear of the site.)

- B6.2 Integrate principles of urban design into the planning of neighbourhoods and centres and as part of development review processes, including:
 - Ensuring compatibility of scale, massing and architecture with adjacent sites; and
 - Providing diversity, choice, and variety within a coherent, consistent physical environment.

(The proposed development is located adjacent to another commercial site with an existing gas station, and is located within close proximity (approximately 200 metres) from the commercial/mixed-use corridor to the north along King George Boulevard, centred around 24 Avenue. The proposed 4-storey building is an appropriate transition from the proposed townhouses across King George Boulevard (Development Application 7915-0322-00, which has conditional approval) to taller proposed 4 and 5-storey mixed use buildings at the intersection of 156 Street and King George Boulevard (Development Application No. 7921-0322-00, which received Final Adoption, and Development Application No. 7919-0032-00, which has conditional approval.)

- B6.4 Ensure new development responds to the existing character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.

(The proposed development is sensitive to adjacent developments and will be a continuation of the existing hotel and restaurant uses on site. Minimum 3.0 to 7.5 metre wide landscape buffers will be installed along the north and east property lines adjacent to the existing residences, and trees are proposed for retention along the east property line, which will provide screening and separation distance between the commercial and residential uses. There are also existing 7.5 metre wide landscape buffers on the residential properties to the north and east, which provide additional separation distance from the proposed new building, and will result in a total separation distance of approximately 13.5 metres at the ground level on the north and 15 metres at the ground level on the east to the closest existing residences. Guest rooms will primarily face towards the east and west on the upper 3 storeys, with minimal windows along the north façade. No balconies are proposed on the guest rooms, and the upper storeys are stepped back 11 metres from the north property line and 10 metres from the east property line, providing further separation distance from the surrounding existing residences.)

- B6.6 Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces by:
 - Locating buildings so that they directly face public streets;
 - Placing street-facing retail uses on the ground floor; and
 - Providing doors, windows, and "active" building faces along public streets.

(The proposed development has a street-facing entrance to the restaurant along King George Boulevard and improves activation of the street by located the building close to the street frontage.)

Secondary Plans

Land Use Designation

- The proposal complies with the Commercial designation in the King George Corridor Local Area Plan.

CD By-law

- The applicant proposes to rezone the subject site from "Tourist Accommodation Zone (CTA)" to "Comprehensive Development Zone (CD)" based on the CTA Zone.

- The proposed "Comprehensive Development Zone (CD)" is intended to accommodate a proposed new hotel with a restaurant on the subject site.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the CTA Zone and the proposed CD By-law is illustrated in the following table:

Zoning	CTA Zone (Part 42)	Proposed CD Zone
Floor Area Ratio:	0.50	1.50
Lot Coverage:	50%	50%
Yards and Setbacks	Front Yard: 20.0 metres Rear Yard: 7.5 metres Side Yard: 7.5 metres Street Side Yard: 20.0 metres	Front Yard: 4.0 metres Rear Yard: 6.0 metres Side Yard: 7.5 metres Street Side Yard: 7.5 metres
Principal Building Height:	10.0 metres	14.0 metres
Permitted Uses:	<u>Principal Uses:</u> 1. Tourist accommodation. 2. Tourist trailer park or camp-site, pursuant to Sections D.3 and J.1 of this Zone. <u>Accessory Uses:</u> 3. Eating establishments, excluding drive-through restaurants. 4. Retail stores, limited to the following: (a) Convenience store; and (b) Florist shop; 5. Personal service uses, excluding body rub parlours. 6. One single family dwelling for the manager of the tourist trailer park or camp-site, pursuant to Section D.4 of this Zone.	<u>Principal Uses:</u> 1. Tourist accommodation . <u>Accessory Uses:</u> 2. Eating establishments, excluding drive-through restaurants; 3. Retail stores, limited to the following: (a) Convenience store; and (b) Florist shop; 4. Personal service uses, excluding body rub parlours; and 5. One caretaker unit per lot."
Parking (Part 5)	Required	Proposed
Number of Stalls		
Hotel:	80	89
Restaurant:	19	19
Multi-purpose Room:	33	33
Total:	132	141
Bicycle Spaces		
Hotel Guests:	2	2

- The proposed CD Bylaw deviates from the CTA Zone as follows:
 - Density has increased from 0.5 to 1.5 FAR, consistent with the permitted density under the Commercial OCP designation;
 - The front and rear yard setbacks have been reduced from 20.0 metres to 4.0 metres for the front yard along King George Boulevard to provide a more urban interface and from 7.5 metres to 6.0 m for the rear yard which includes a minimum 3 metre-wide landscape buffer along the north property line adjacent to the existing mobile home park;

- The principal building height has increased from 10.0 metres to 14.0 metres to allow a 4-storey building;
 - *Tourist Trailer Park* or *Camp Site* uses, and other references to those uses, have been removed from the proposed CD Bylaw; and
 - The permitted single family dwelling for the manager of a tourist trailer park or camp site has been replaced with one *caretaker unit*, which is consistent with other commercial zones.
- No other uses have been added to the proposed CD Bylaw.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on January 9, 2024, and the Development Proposal Signs were installed on January 7, 2024. Staff received 3 responses from area residents asking for further information on the project with respect to parking and noise concerns:
 - *Staff confirmed that parking will be located in an underground parkade with 6 proposed at-grade parking spaces for hotel guest check-in.*
 - *Staff provided preliminary drawings to one respondent who noted difficulty reading the information on the pre-notification post card.*
 - *Staff confirmed that there will be no balconies on the guest rooms and below-window air conditioners with advanced technology will be used that are quiet and will not generate noise that will impact adjacent properties.*

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The proposed design is for a 4-storey hotel building with 80 guest rooms and a restaurant at grade, with a total floor area of 6,896.67 square metres and a density of 1.43 FAR.
- The applicant has worked with staff to improve the site access, public realm interface, parking ramp location and the setback and landscape buffering along the north and east property lines adjacent to existing residential mobile home parks.

- Minimum 3.0 to 7.5 metre wide landscape buffers will be installed along the north and east property lines adjacent to the existing residences, which will provide screening and separation distance between the commercial and residential uses. The proposed landscape buffers and building setbacks, combined with the existing 7.5 metre wide landscape buffers on the residential properties to the north and east, will result in a total separation distance from the closest existing residences of approximately 13.5 metres on the north façade at ground level and 15 metres on the east façade at ground level.
- There are minimal windows on the north façade, and the upper storeys will be stepped back 11 metres from the property line at the closest point. Along the east facade, the upper storeys are stepped back 10 metres from the property line, resulting in a minimum separation distance of 17.5 metres at the upper storeys.
- Access to the site will be from King George Boulevard. Underground parking is proposed, along with 6 surface parking stalls for guest check-in.
- The main entrance to the hotel will be on the west side of the building and the restaurant will have a separate entrance along the King George Boulevard frontage to help activate the street and provide a more urban public realm interface.
- The front building façade along King George Boulevard provides a visually interesting expression that is well articulated using a variety of materials. Exterior finish materials include fiber cement board, brick cladding, and metal panels in neutral tones of dark grey, light grey, white and brown (cedar finish) accents.
- Guest rooms are oriented towards the east and west on the upper 3 storeys, with only 4 guest rooms facing north.
- Hotel guest amenities will be located at the rear of the building with direct access to an outdoor space with a patio, seating, and lawn area and garden.
- Signage has not yet been determined and will be confirmed prior to issuance of the Development Permit or through a separate sign permit application.

Landscaping

- The King George Boulevard frontage is designed to provide a welcoming entryway with decorative paving, a tree-lined pedestrian pathway to the front hotel entrance, and an outdoor restaurant patio area that wraps around the front of the building at the driveway entrance.
- All non-hard surfaces are proposed to be covered by vegetation to maximize biodiversity, and substantial landscaping will be planted along the side and rear yards, providing buffering between the proposed hotel and existing residential mobile home parks located to the north and west of the subject site. The planting design includes a large variety of trees and shrubs, including flowering and non-flowering shrubs, and trees including different species of maple, White Spruce, Magnolias, Scarlet Oak, and American Sweetgum.
- There are 9 existing off-site and shared trees proposed for retention along the east side property line.

Outstanding Design Considerations

- There are a limited number of outstanding urban design considerations that do not affect the overall character of the development. These generally relate to providing additional grading information.
- The applicant has been provided a detailed list identifying any outstanding urban design requirements and has agreed to resolve these as a condition of approval for this application, should this application be supported by Council.
- The proposal is also subject to review by the City's Advisory Design Panel and will be responsible for responding to or incorporating any suggested design changes into their proposal as a condition of approval for this application, should this application be supported by Council.

TREES

- Sarah Bishop, ISA Certified Arborist of Arbortech Consulting, prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Coniferous Trees			
Deodar Cedar	1	1	0
Blue Spruce	2	2	0
Western redcedar	4	3	1
Total (excluding Alder and Cottonwood Trees)	7	6	1
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		12	
Total Retained and Replacement Trees Proposed		13	

- The Arborist Assessment states that there are a total of 7 mature trees on the site and no Alder/Cottonwood. The applicant proposes to retain 1 tree as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a proposed total of 12 replacement trees on the site. The applicant is proposing 12 replacement trees, meeting City requirements.
- The new trees on the site will consist of a variety of trees including maples, White Spruce, magnolias, Scarlet Oak and American Sweetgum.

- In summary, a total of 13 trees are proposed to be retained or replaced on the site.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix IV.	OCP Redesignation Map

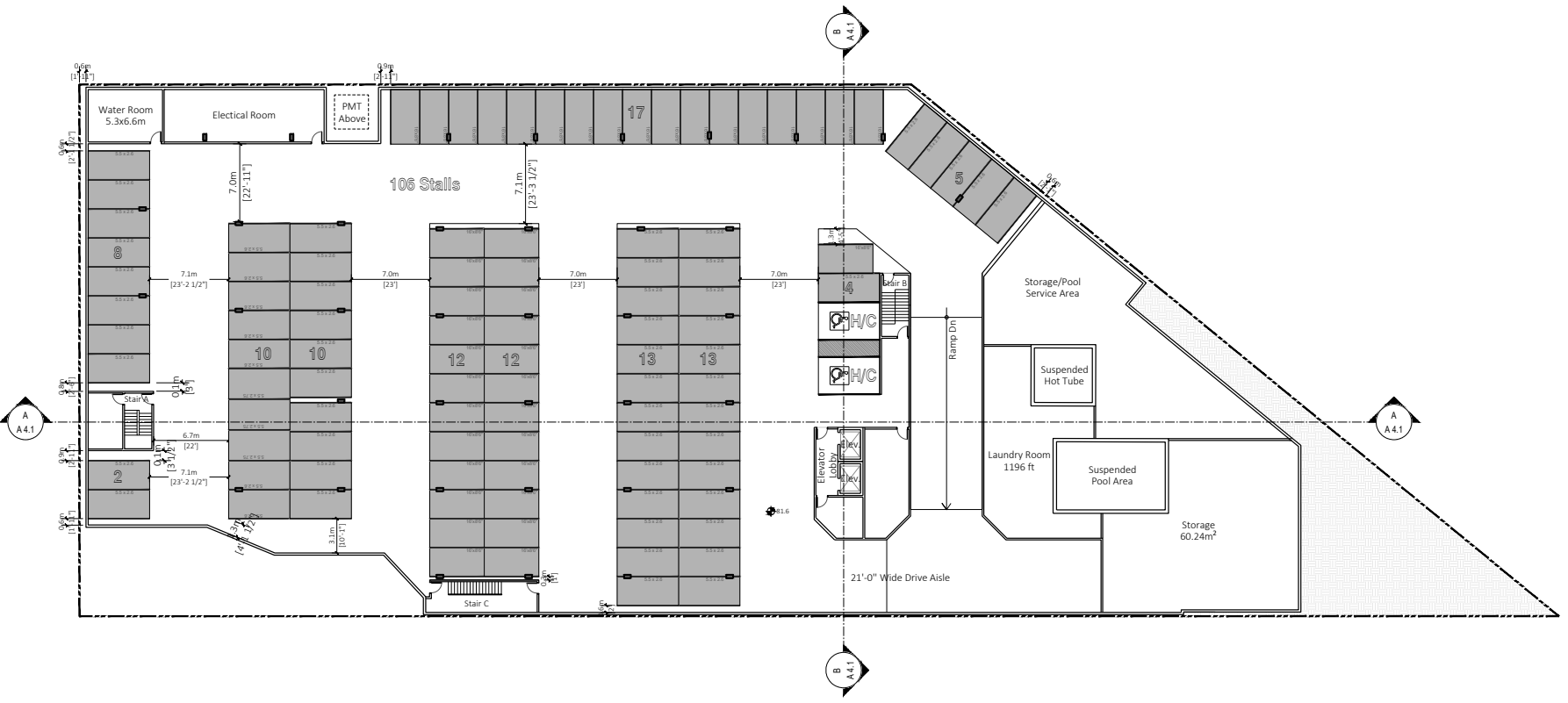
approved by Shawn Low

Don Luymes
General Manager
Planning and Development

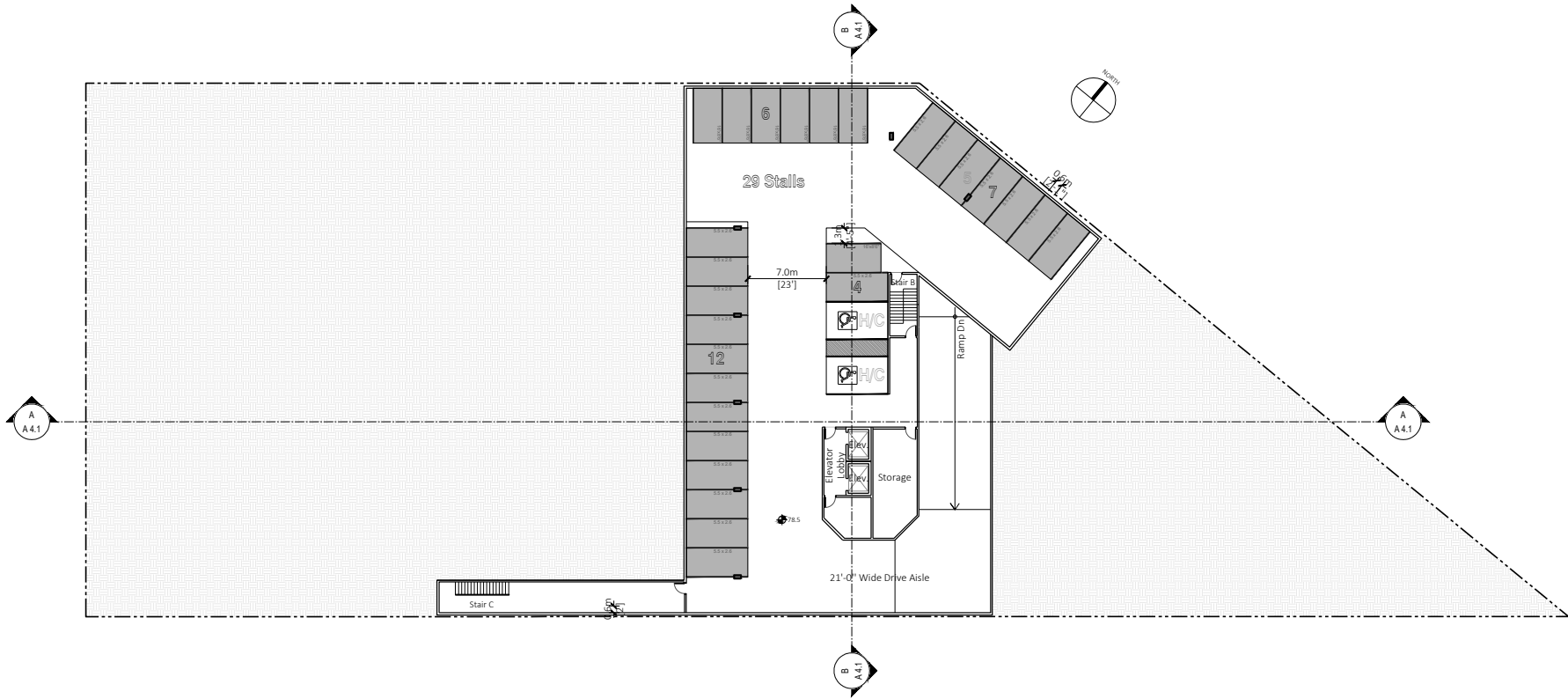
EM/ar



REV	DESCRIPTION	DATE	BY



1 Parking Plan
1/32"=1'-0"



1 Parking Plan
1/32"=1'-0"

PROJECT INFO:
PROPOSED HOTEL AT,
2160 KING GEORGE BLVD.,
SURREY, BC
CLIENT: BOB DHARNI

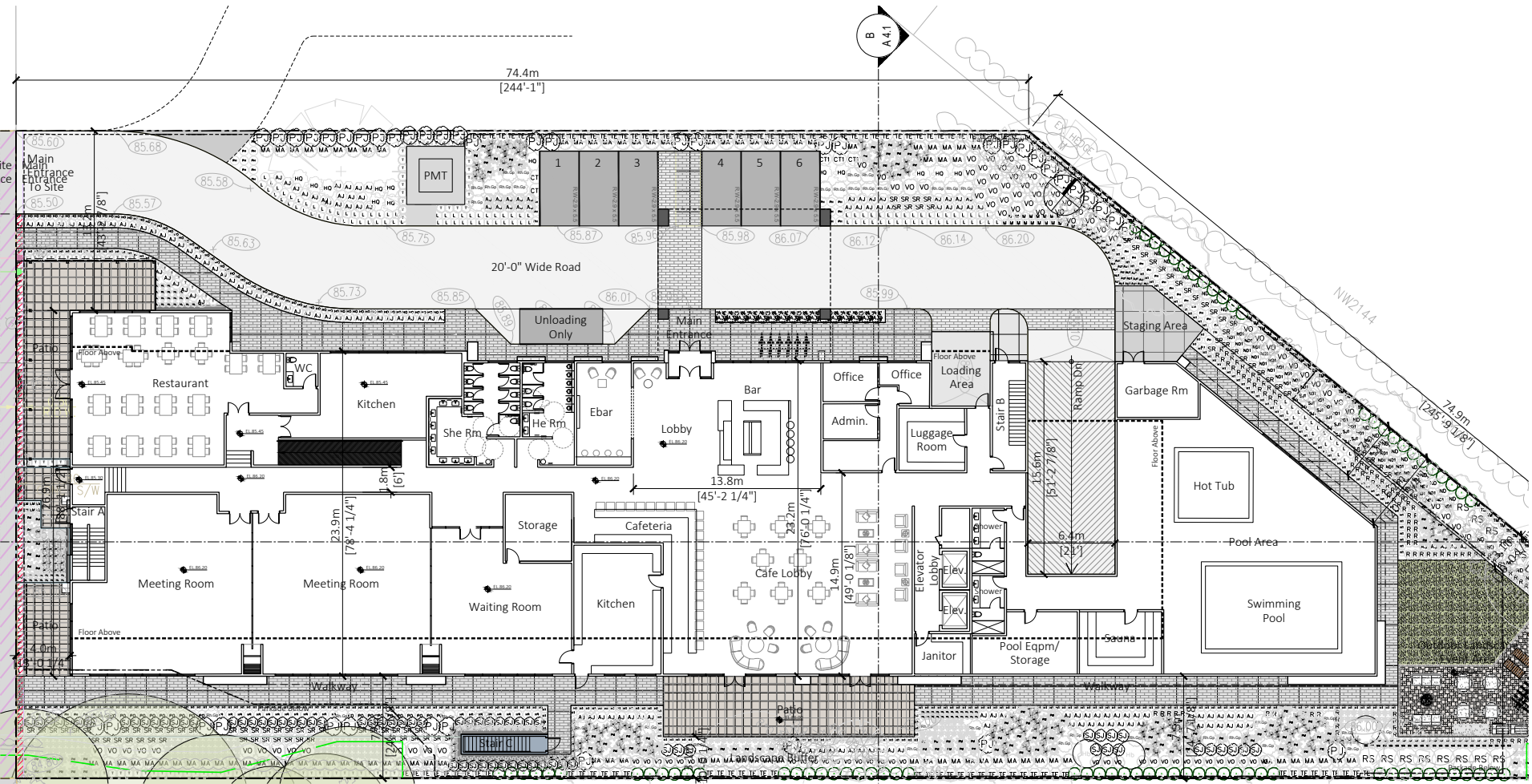
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PROJECT NO:
20-223
SCALE: 1/32"=1'-0"
DRAWN BY:
M.M

REV	DESCRIPTION	DATE	BY
01	FOR P2 SUBMISSION	2023/01/18	

LEVEL P2
PARKING PLAN



NO	DATE	BY	DESCRIPTION



LEVEL 1 PLAN
1/24"=1'-0"



FLAT!
ARCHITECTURE

Unit 209- 6321 King George Blvd
Surrey BC, V3X 1G1
www.flatarchitecture.ca
contact@flatarchitecture.ca
Ph: 604-503-4484

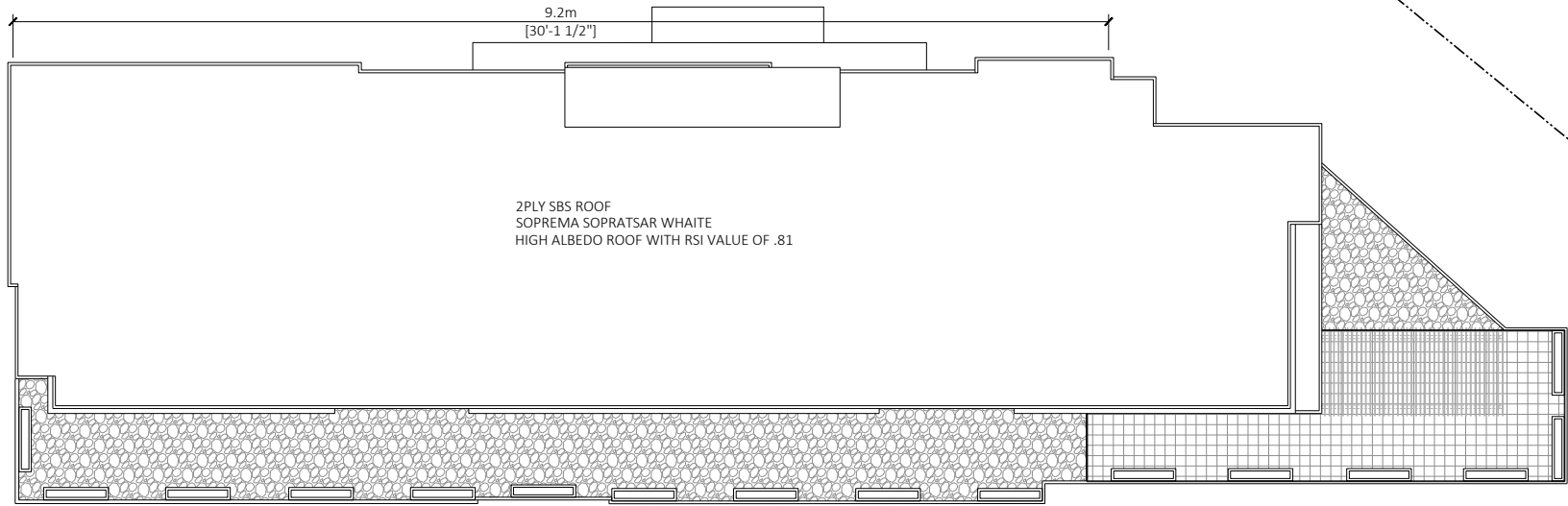
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2160 KING GEORGE BLVD.,
SURREY, BC
CLIENT: BOB DHARNI

DATE

PROJECT NO:
20-223

SCALE: 1/32"=1'-0"
DRAWN BY: M.K.S

NO.	DATE	BY	DESCRIPTION



1 LEVEL 5 PLAN
1/32"=1'-0"

ROOF PLAN

A 2.5

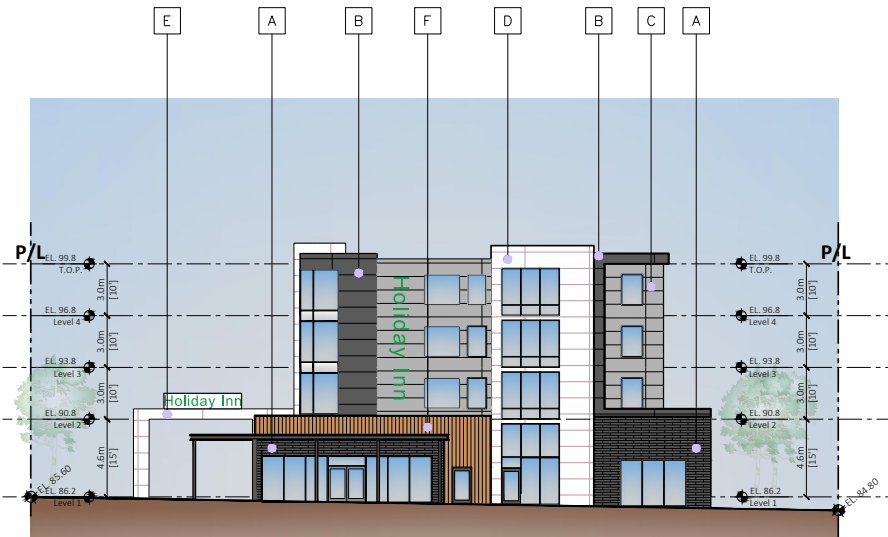
ID	DATE	BY	DESCRIPTION



1 WEST ELEVATION (CHEVRON GAS STATION)
1/24"=1'-0"

MATERIAL LEGEND:

- A - BRICK CLADDING (MORA BRICKS)
COLOR - DARK GRAY CLINKER
C/W DARK GRAY MORTAR
- B - EXTERIOR HIGH DENSITY FIBRE CEMENT BOARD
C/W EASY TRIMS TO MATCH
(HARDIE OR SIMILAR)
COLOR - DARK GRAY
- C - EXTERIOR HIGH DENSITY FIBRE CEMENT BOARD
C/W EASY TRIMS TO MATCH
(HARDIE OR SIMILAR)
COLOR - LIGHT GRAY
- D - EXTERIOR HIGH DENSITY FIBRE CEMENT BOARD
C/W EASY TRIMS TO MATCH
(HARDIE OR SIMILAR)
COLOR - WHITE
- E - WHITE METAL
- F - CEDAR FINISH METAL PANELS



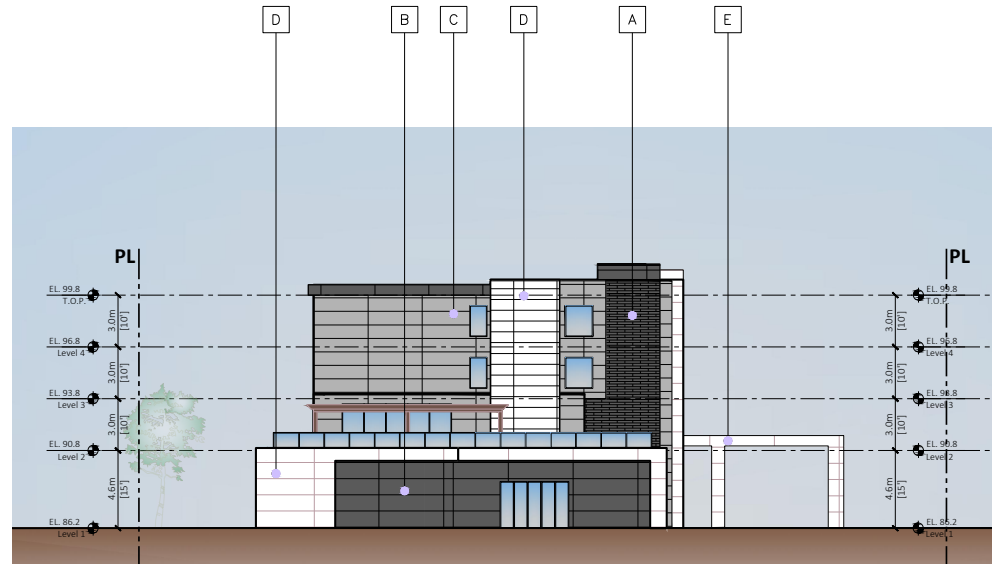
2 SOUTH ELEVATION (KING GEORGE HIGHWAY)
1/24"=1'-0"



1 EAST ELEVATION (SINGLE FAMILY NEIGHBOURHOOD)
1/24"=1'-0"

MATERIAL LEGEND:

- A - BRICK CLADDING (MORA BRICKS)
COLOR - DARK GRAY CLINKER
C/W DARK GRAY MORTAR
- B - EXTERIOR HIGH DENSITY FIBRE CEMENT BOARD
C/W EASY TRIMS TO MATCH
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C/W EASY TRIMS TO MATCH
(HARDIE OR SIMILAR)
COLOR - WHITE
- E - WHITE METAL
- F - CEDAR FINISH METAL PANELS



2 NORTH ELEVATION (SINGLE FAMILY NEIGHBOURHOOD)
1/24"=1'-0"

NO.	DATE	BY	DESCRIPTION



 KING GEORGE STREETScape ELEVATION
 1/64"=1'-0"

PROJECT INFO:
 PROPOSED HOTEL AT,
 2160 KING GEORGE BLVD.,
 SURREY, BC
 CLIENT: BOB DHARNI

DATE

PROJECT NO:
 20-223

SCALE: 1/64"=1'-0" DRAWN BY:
 M.K.S

NO.	DATE	BY	DESCRIPTION

STREETSCAPE

DATE

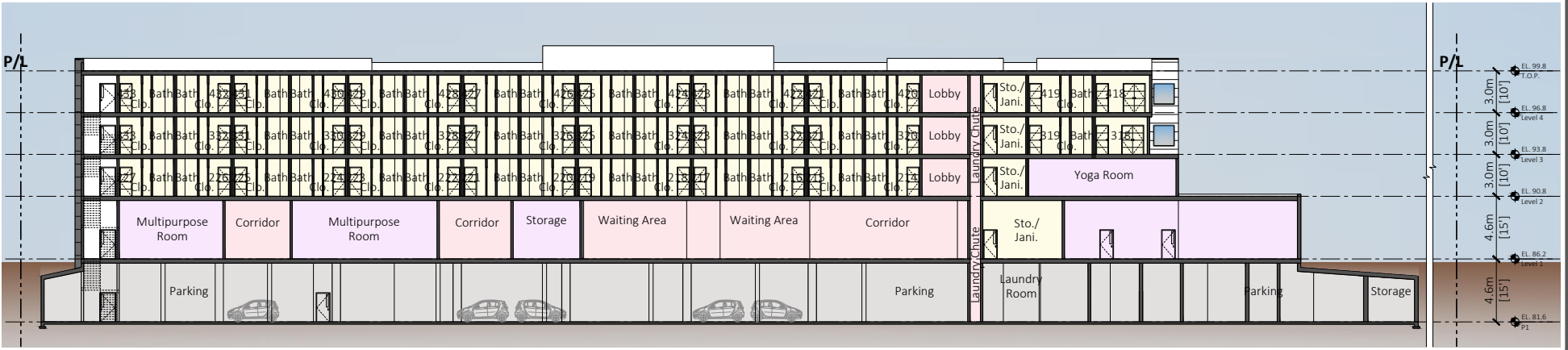
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20-223

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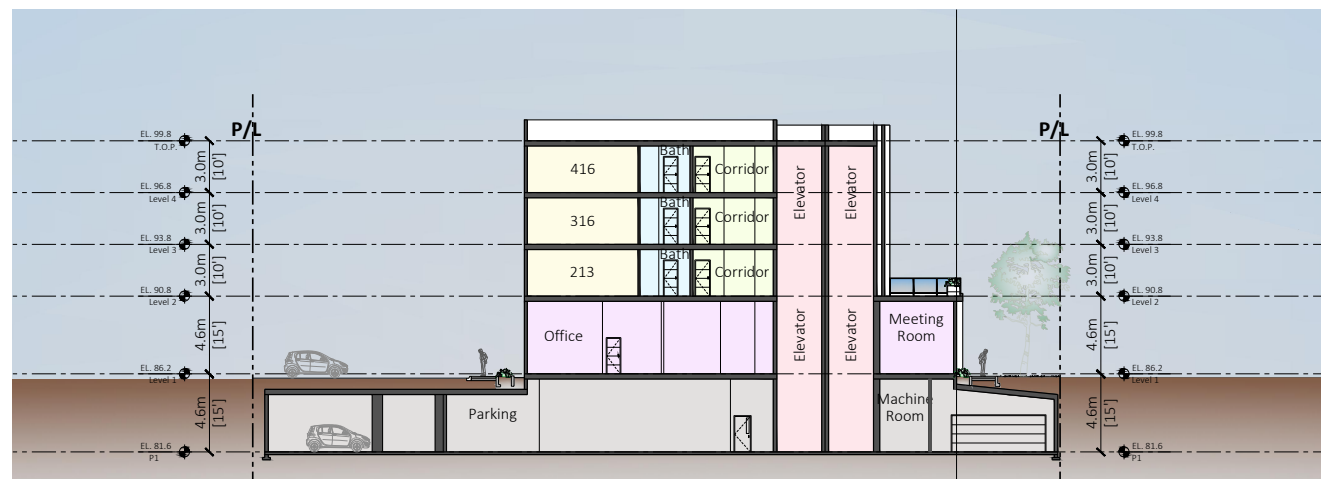
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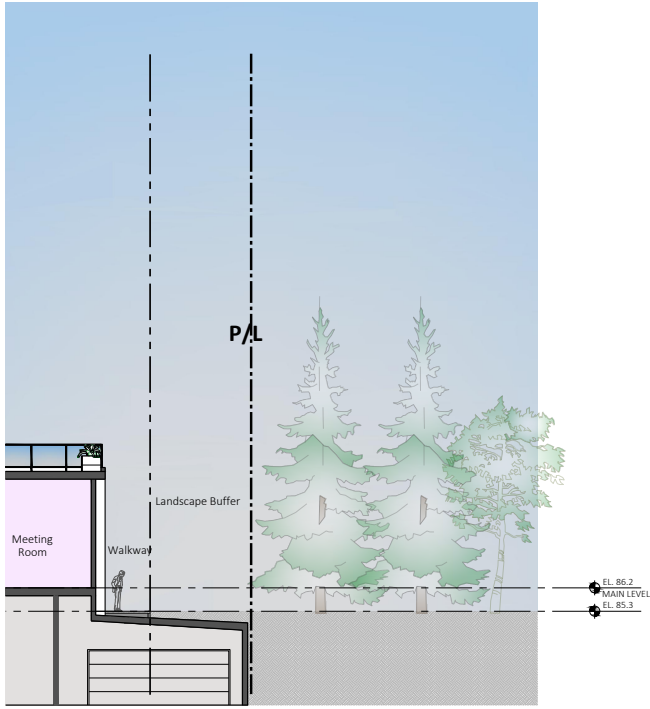
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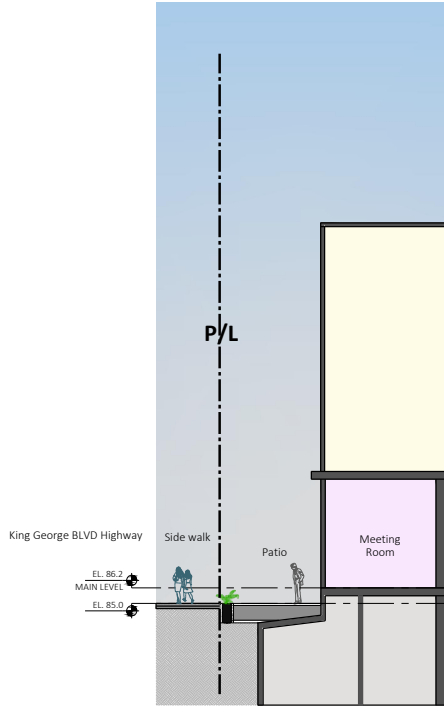
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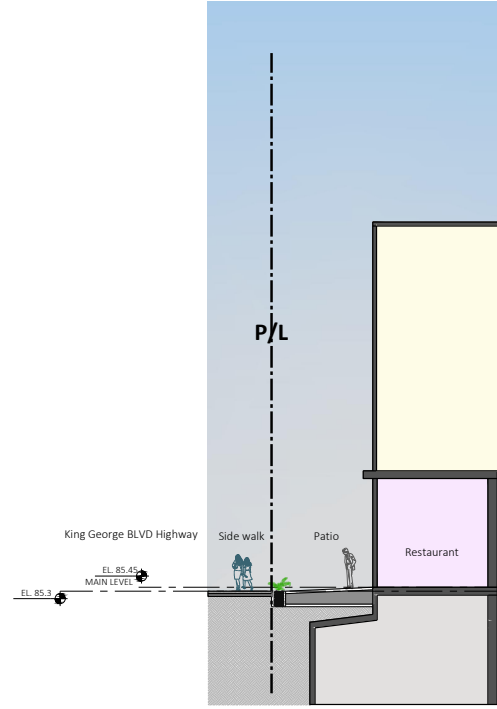
SECTION B
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1 SECTION 1 ALONG EAST WALKWAY
1/16"=1'-0"



2 SECTION 2 ALONG KING GEORGE BLVD
1/16"=1'-0"



3 SECTION 3 ALONG KING GEORGE BLVD
1/16"=1'-0"

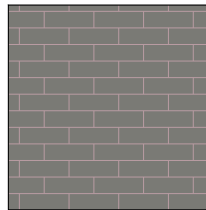
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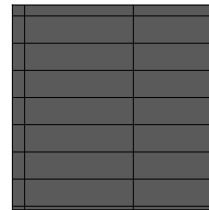
1 WEST ELEVATION
1/24"=1'-0"

MATERIAL LEGEND:

- A - BRICK CLADDING (MORA BRICKS)
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C/W DARK GRAY MORTAR
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C/W EASY TRIMS TO MATCH
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COLOR - WHITE
- E - WHITE METAL
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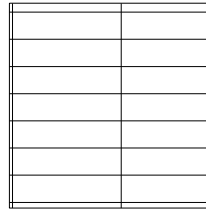
BRICK CLADDING (MORA BRICKS)
COLOR - GRAY CLINKER
C/W GRAY MORTAR



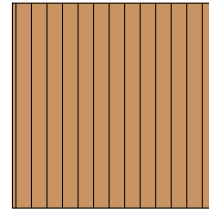
EXTERIOR HIGH DENSITY FIBRE CEMENT BOARD
C/W EASY TRIMS TO MATCH
(HARDIE OR SIMILAR)
COLOR - DARK GRAY



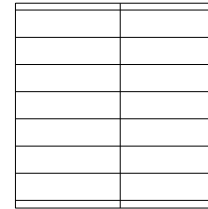
EXTERIOR HIGH DENSITY FIBRE CEMENT BOARD
C/W EASY TRIMS TO MATCH
(HARDIE OR SIMILAR)
COLOR - LIGHT GRAY



EXTERIOR HIGH DENSITY FIBRE CEMENT BOARD
C/W EASY TRIMS TO MATCH
(HARDIE OR SIMILAR)
COLOR - WHITE



CEDAR FINISH METAL PANELS



WHITE METAL PANELS

NO.	DATE	BY	DATE	DESCRIPTION



PROJECT INFO:
PROPOSED HOTEL AT,
2160 KING GEORGE BLVD.,
SURREY, BC
CLIENT: BOB DHARN

DATE:
2024-04-15

PROJECT NO:
20-223

SCALE: DRAWN BY:
M.K.S

NO	REV	DESCRIPTION	DATE	BY	DATE

VIEW 1



FLAT
ARCHITECTURE

Unit 209- 6321 King George Blvd
Surrey BC, V3X 1G1
www.flatarchitecture.ca
contact@flatarchitecture.ca
Ph: 604-503-4484

PROJECT INFO:
PROPOSED HOTEL AT,
2160 KING GEORGE BLVD.,
SURREY, BC
CLIENT: BOB DHARNI

DATE
2024-04-15

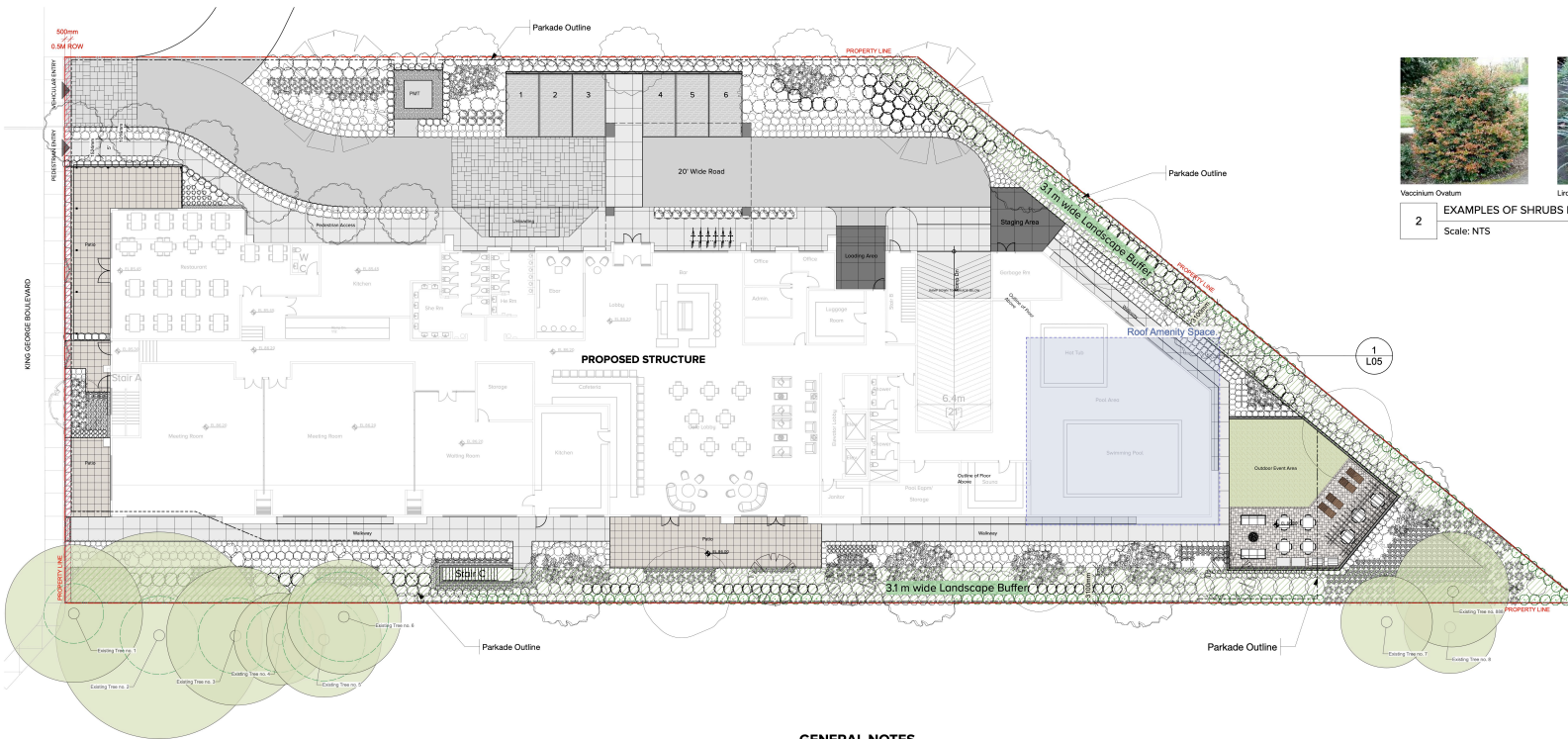
PROJECT NO:
20-223

SCALE: DRAWN BY:
M.K.S

ID	REV	DESCRIPTION	DATE	BY

VIEW 2

A 6.2



2 EXAMPLES OF SHRUBS PROPOSED
Scale: NTS



3 EXAMPLES OF TREES PROPOSED
Scale: NTS

1 KEY PLAN
Scale: 1:200

DESIGN RATIONALE AND SUMMARY

This is a Hospitality development located on the prominent corridor - King George Boulevard. It is a contemporary Hotel building with a 0.5m Right of Way proposed along the South. The Building positioning on Site creates an opportunity for planting of trees on grade. The Outdoor Event Area is oriented towards North-East of the site and includes relaxing spaces on lawn, firepit arrangement and also the barbeque counters with adequate seating opportunity.

The site is bound to have landscape buffers along the North and the East, and the landscape design includes both resilient and appealing species throughout the expanse of the site. Ornamental trees like Acer Palmatum 'Oscho Beni' and Liquidamber are proposed to add a colourful and textured foreground to the rather well-crafted modern building. Other larger trees such as Quercus Coccinea and Acer Macrophyllum are proposed to provide more shade to driveway and pathway. Proposed shrubs include a variety of drought tolerant and native planting, including Vaccinium Ovatum, Mahonia Aquifolium and Mahonia Nervosa, in addition to multiple drought tolerant grasses such as Pennisetum Orientale.

The pedestrian access is conceptualized to be simple CIP broom finished concrete for the heavy footfall for the hotel. Parallely, a subtle look for the hardscape helps in highlighting the architecture of the built form. The Pick up and Drop off plaza has been distinctly treated with Gray stamped concrete to give emphasis to the Lobby and to complement the Hotel's Architectural expression. The Restaurant Patio along the street has been screened off by planting and fence providing privacy. The Patio has been treated with Hemptone porcelain slabs adding to the external hardscape surfaces.

The walkway along the southern property line has been treated with Cast in place concrete as well, and has been landscaped with a balance of trees and shrubs to enhance user experience. Overall the Landscape and the Architectural design of the project complement each other and make it a complete experience as a whole for the user.

GENERAL NOTES

All materials and workmanship to CLS Standards, latest edition. Soil depths and subgrade preparation, soil quality and plant sizes to meet or exceed that standard.

Plant sizes in this list are specified according to the BC Landscape Standard's latest edition. Container sizes are specified as per 'CNTA Standards'. Both plant size and container size are the minimum acceptable sizes. The installers are advised to search and review, make plant material available to the Landscape Architect for optional review at the source of supply. Area of search to include Lower Mainland and Fraser Valley. 'Substitutions' must obtain written approval from the Landscape Architect prior to making any substitutions to specified material. Unapproved substitutions will be rejected. Allow a minimum of five working days prior to delivery for request to substitute. Substitutions are subject to the Landscape Standard.

All plant material must be provided from the certified 'Disease Free' nursery. All plant material must conform to the latest edition of the 'BC Landscape Standard'. Provide certification upon request. All landscaping and landscape materials to conform to the latest edition of the CLS standards.

Min. growing medium depths over prepared subgrade shall be:

Lawn areas	300mm
Ground Cover Areas	450mm
Shrub Areas	450mm
Tree Pits	300mm (around root balls)

Growing medium shall have physical and chemical properties as described in the standards for 'Ground' areas, except for the areas over structures where the medium shall conform to the requirements for level 1 applications. Processing and mixing of the growing medium shall be done off-site using a mechanized screening process. Proposed growing medium shall be tested by a recognized laboratory. The contractor shall guarantee that the soil submitted for testing is a sample representative of the soil to be used at the site.

On-Site or imported soils shall satisfy the requirements of the standards for growing medium. Soils shall be virtually free from subsoil, wood including woody plant parts, weed or reproductive parts of the weeds, plant pathogenic organisms, toxic material, stones over 30mm, and foreign objects.

All planting beds shall receive min. 50mm bark mulch. The contractor shall maintain clean working conditions, remove all refuse and debris and present the site in a safe and clean condition upon completion of all works. Plant species and varieties may not be substituted without the approval of the Landscape architect. All plant material to be warranted for one year from date of substantial completion. All wood fences to be cedar, with one coat of clear penetrating preservative.

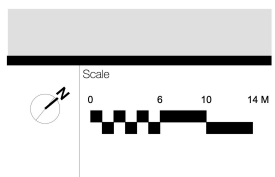


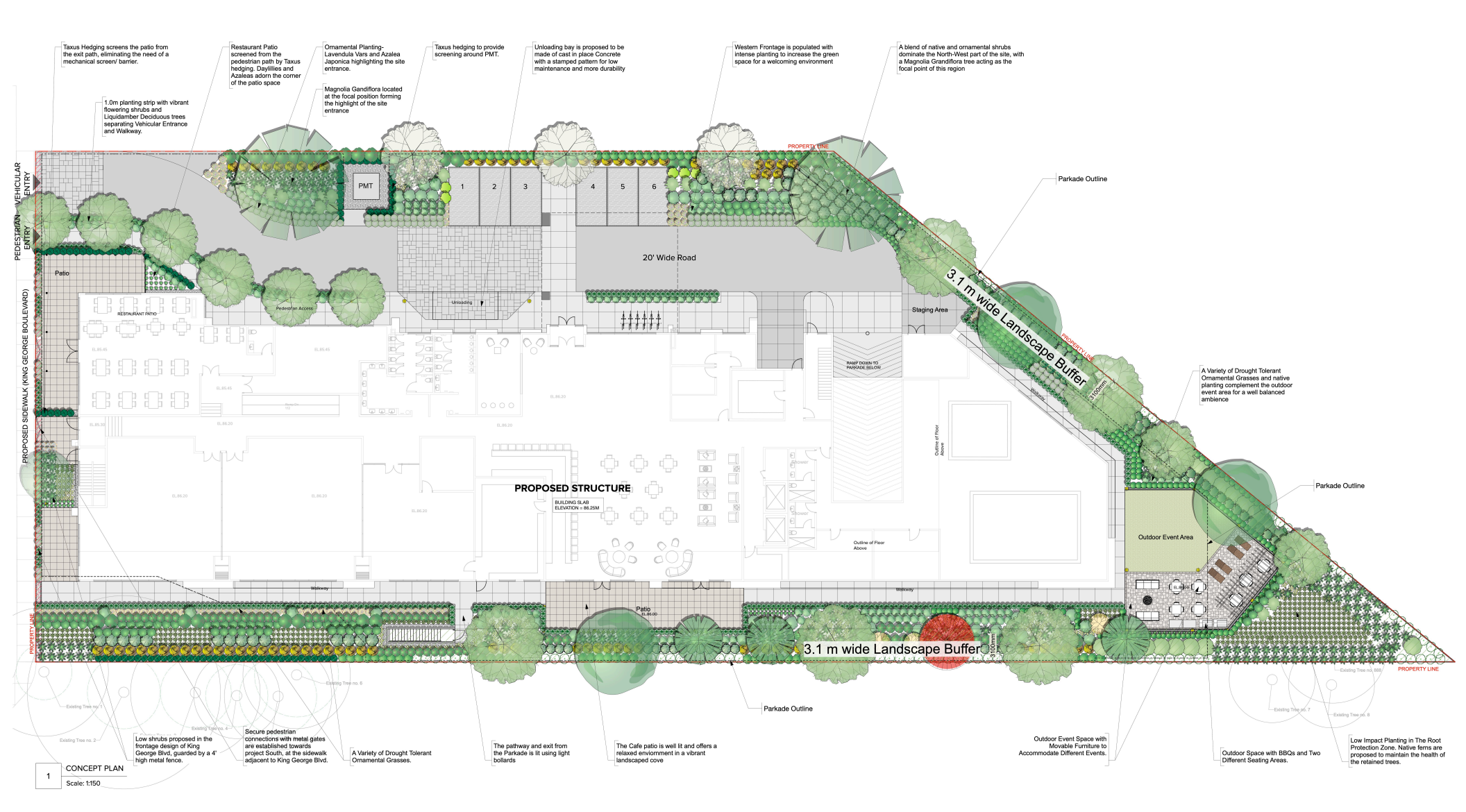
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Project
2160 KING GEORGE BLVD
Owner
BOB D
Sheet Title
KEY PLAN

Total Sheets 8	Sheet No. L01	Contractors	Consultants Architecture Panel Inc.
Drawn By BB	Checked By RD	AHJ City of Surrey	Documents Development Permit
Reviewed By RD	Status Development Permit		

No	Date	Issue Notes
A	09-02-2021	Development Permit
B	29-11-2022	DP Re-submission
C	12-12-2023	DP Re-Submission
D	12-04-2024	DP Re-Submission





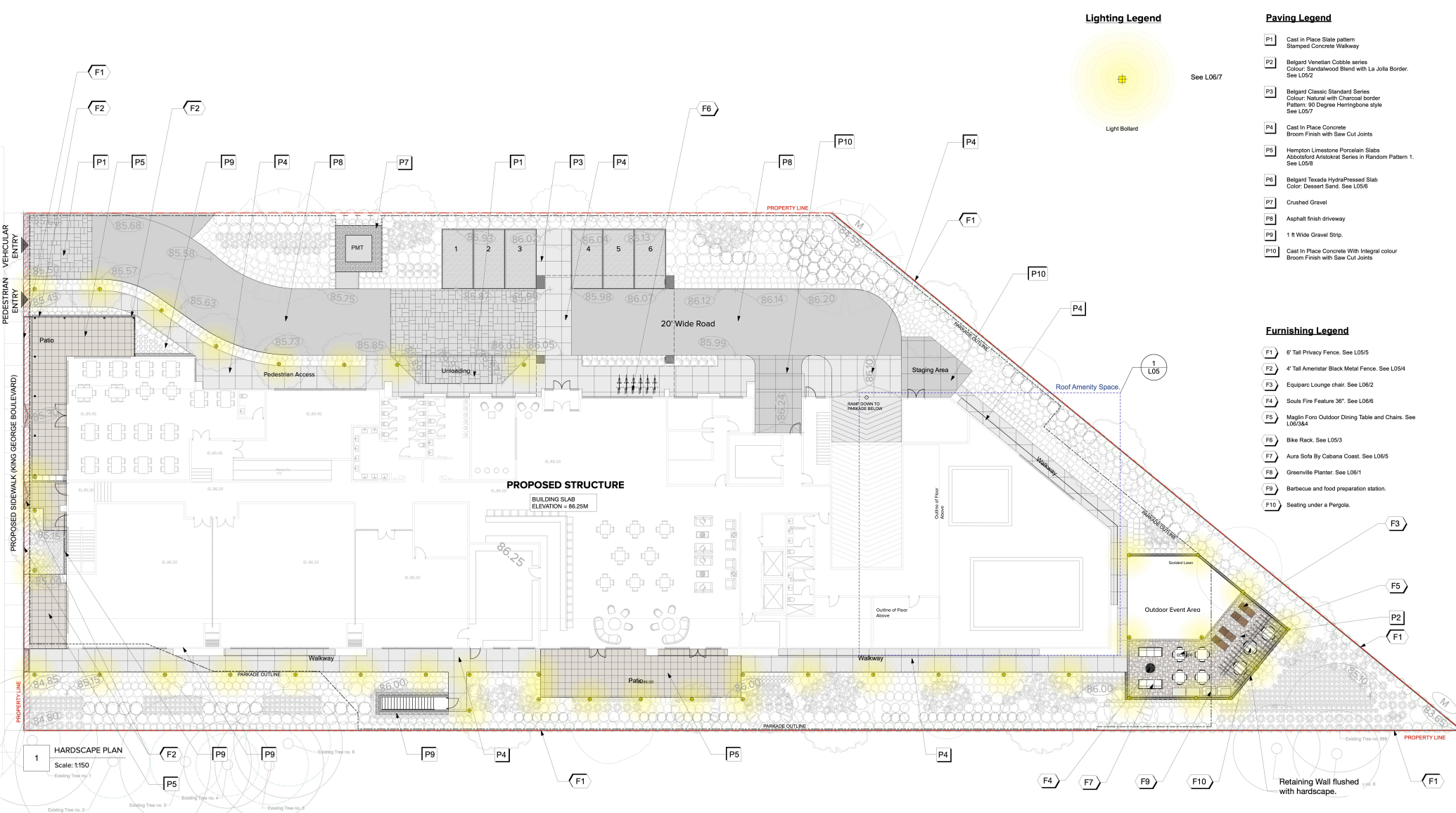
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Project 2160 KING GEORGE BLVD	Total Sheets 8	Sheet No. L02	Contractors AHJ City of Surrey	Consultants Architecture Panel Inc.
Owner BOB D	Drawn By BB	Checked By RD	Documents Development Permit	
Sheet Title CONCEPT PLAN	Reviewed By RD	Status Development Permit		

No	Date	Issue Notes
A	09-02-2021	Development Permit
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C	12-12-2023	DP Re-Submission
D	12-04-2024	DP Re-Submission





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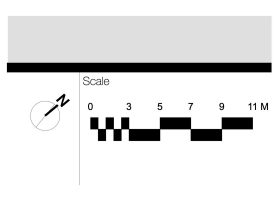
Project
2160 KING GEORGE BLVD

Owner
BOB D

Sheet Title
HARDSCAPE PLAN

Total Sheets 8	Sheet No. L03	Contractors	Consultants Architecture Panel Inc.
Drawn By BB	Checked By RD	AHJ City of Surrey	Documents Development Permit
Reviewed By RD	Status Development Permit		

No	Date	Issue Notes
A	09-02-2021	Development Permit
B	29-11-2022	DP Re-submission
C	12-12-2023	DP Re-Submission
D	12-04-2024	DP Re-Submission



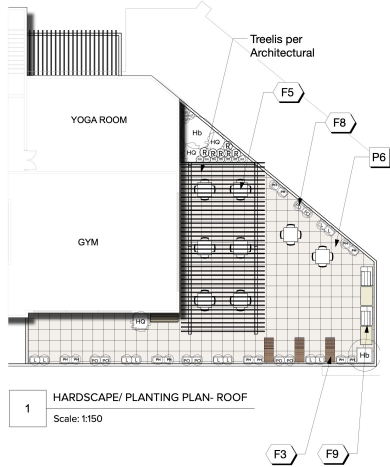
SHRUBS LIST- MAIN FLOOR

Image	ID	Quantity	Latin Name	Common Name	Scheduled Size
	HP	214	Hosta x 'Patriot'	Patriot Plantain Lily	#3 pot
	P.ply	444	Polystichum polytapharum	Tassel Fern	#2 pot
	VO	98	Vaccinium ovatum 'Thunderbird'	evergreen huckleberry	#3 pot
	ND1	45	Nandina domestica 'Compacta'	Dwarf Heavenly Bamboo	#3 pot
	T.med	99	Taxus x media	H.M Eddie	#3pot
	PM	225	Polystichum munifolium	vancouver jade	#3 pot
	PJ	43	Pteris japonica 'Mountain Fire'	Mountain Fire Lily Of The Valley	#3 pot
	SR	97	Sarcococca nuscifolia	Fragrant Sarcococca	#3 pot
	MA	89	Mahonia aquifolium	Oregon grape	#3 pot
	Tx	95	Taxus sp	Yew hedge variety	1.5 m. ht.
	PA1	69	Pennisetum alopecuroides 'Hamein'	Hamein Dwarf Fountain Grass	#2 pot
	PO	20	Pennisetum orientale	Oriental Fountain Grass	#3 pot
	Rh.Gp	38	Rhododendron 'Gumpo Pink'	Pink Gumpo Azalea	#7 pot
	AJ	178	Azalea japonica	Japanese azalea	#3 pot
	SJ	71	Skimmia japonica	Japanese Skimmia	#2 pot
	CT1	5	Choisya ternata 'Aztec Pearl'	Aztec Pearl Mock Orange	#3 pot
	HL	82	Hemerocallis x 'Lemon Yellow' or vars	Lemon Yellow Daylily	#1 pot
	PV	4	Philadelphus x virginialis	Mock Orange	#5 pot
	T.Ex	99	Thuja plicata 'Excelsia'	Excelsia red cedar	3.0 m. ht
	RS	17	Ribes sanguineum 'King Edward VII'	King Edward VII Flowering Currant	#3 pot
	R	132	Rosa Nulkana	Nootka Rose	#2 pot
	ND	36	Nandina domestica	Heavenly Bamboo	#2 pot
	TM	53	Taxus x media 'Hicksii'	Hicks yew	#3 pot 1.25 m. ht
	RR	24	Rosa rugosa 'Champlain'	Champlain Hardy Shrub Rose	#2 por.
	H1	256	Helictotrichon sempervirens	Blue Oat Grass	#1 pot
	HS	97	Helictotrichon sempervirens	Blue Oat Grass	#1 pot
	LM	8	Liriope muscari	Big Blue Lily Turf	#1 pot
	HQ	15	Hydrangea quercifolia	Oakleaf Hydrangea	#3 pot
	L	120	Lavendula vars	Lavender	#1 pot
	AU1	33	Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	#1 por.
	SJ1	15	Spiraea japonica 'Little Princess'	Little Princess Spirea	#3 pot
	Hb	3	Hibiscus syriacus 'Lucy'	Lucy Rose Of Sharon	1.5 m. ht
	M	19	Mahonia nervosa	Dull Oregon grape	#1 pot
	HO	73	Helleborus orientalis 'Red'	Red Flowering Lenten Rose	#1 pot
	L-1	14	Lavendula vars	Lavender	#1 pot

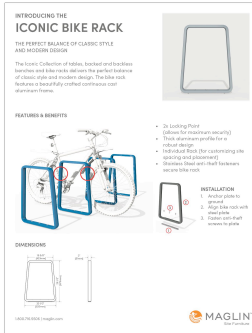
SHRUBS LIST- ROOF

Image	ID	Quantity	Latin Name	Common Name	Scheduled Size
	PA1	12	Pennisetum alopecuroides 'Hamein'	Hamein Dwarf Fountain Grass	#2 pot
	Hb	2	Hibiscus syriacus 'Lucy'	Lucy Rose Of Sharon	1.5 m. ht
	L	10	Lavendula vars	Lavender	#1 pot
	PO	8	Pennisetum orientale	Oriental Fountain Grass	#3 pot
	HQ	3	Hydrangea quercifolia	Oakleaf Hydrangea	#3 pot
	AU1	3	Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	#1 por
	RR	7	Rosa rugosa 'Champlain'	Champlain Hardy Shrub Rose	#2 por
	R	6	Rosa Nulkana	Nootka Rose	#2 pot

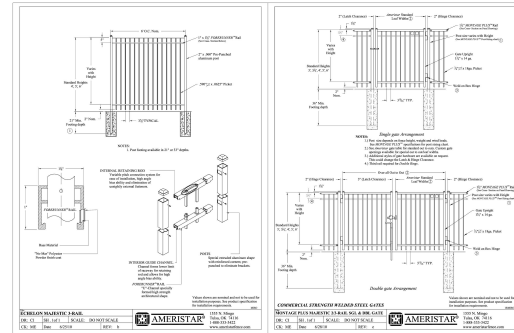
See Planting Plan on L04



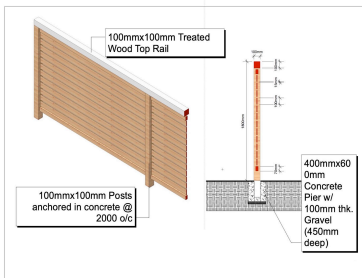
1 HARDSCAPE/ PLANTING PLAN- ROOF
Scale: 1:150



3 BIKE RACK (F6)
Scale: NTS



4 4' HIGH AMERISTAR FENCE DETAIL (F2, H2, H3)
Scale: NTS



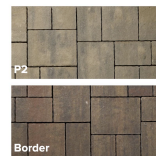
5 6' HIGH CEDAR WOOD PRIVACY FENCE DETAIL (F1, H1)
Scale: NTS



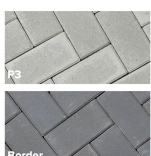
6 BELGARD TEXADA HYDRAPRESSED SLABS (P6)
Scale: NTS

TREES LIST- MAIN FLOOR

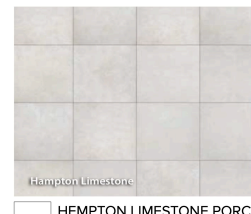
Image	ID	Quantity	Latin Name	Common Name	Scheduled Size
	Agri	1	Acer griseum	Paperbark Maple	6 cm. cal.
	A.Ob	1	Acer palmatum 'Oshio-Beni'	Oshio-Beni Japanese Maple	3m ht. 5 cm cal. multi step
	PIGlC	3	Picea glauca	White Spruce	3 m
	Mg.E	3	Magnolia x 'Elizabeth' P.P.# 4145	Elizabeth Magnolia	7 cm. cal.
	Ar.Ma	5	Acer Macrophyllum	Red Maple, Swamp Maple	7 cm. cal.
	O.C	3	Quercus coccinea	Scarlet Oak	8 cm cal
	Lq.SG	8	Liquidambar styraciflua	American Sweetgum	7 cm. cal.
	Ma.Gr	2	Magnolia grandiflora	Southern Magnolia	7 cm. cal.



2 BELGARD VENETIAN COBBLE SERIES (P2)
Scale: NTS



7 BELGARD CLASSIC STANDARD SERIES (P3)
Scale: NTS



8 HEMPTON LIMESTONE PORCELAIN SLABS (P5)
Scale: NTS



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Project
2160 KING GEORGE BLVD

Owner
BOB D

Sheet Title
DETAILS 1

Total Sheets
8

Drawn By
BB

Reviewed By
RD

Sheet No.
L05

Checked By
RD

Status
Development Permit

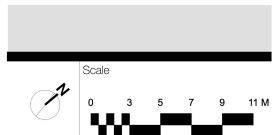
Contractors

AHJ
City of Surrey

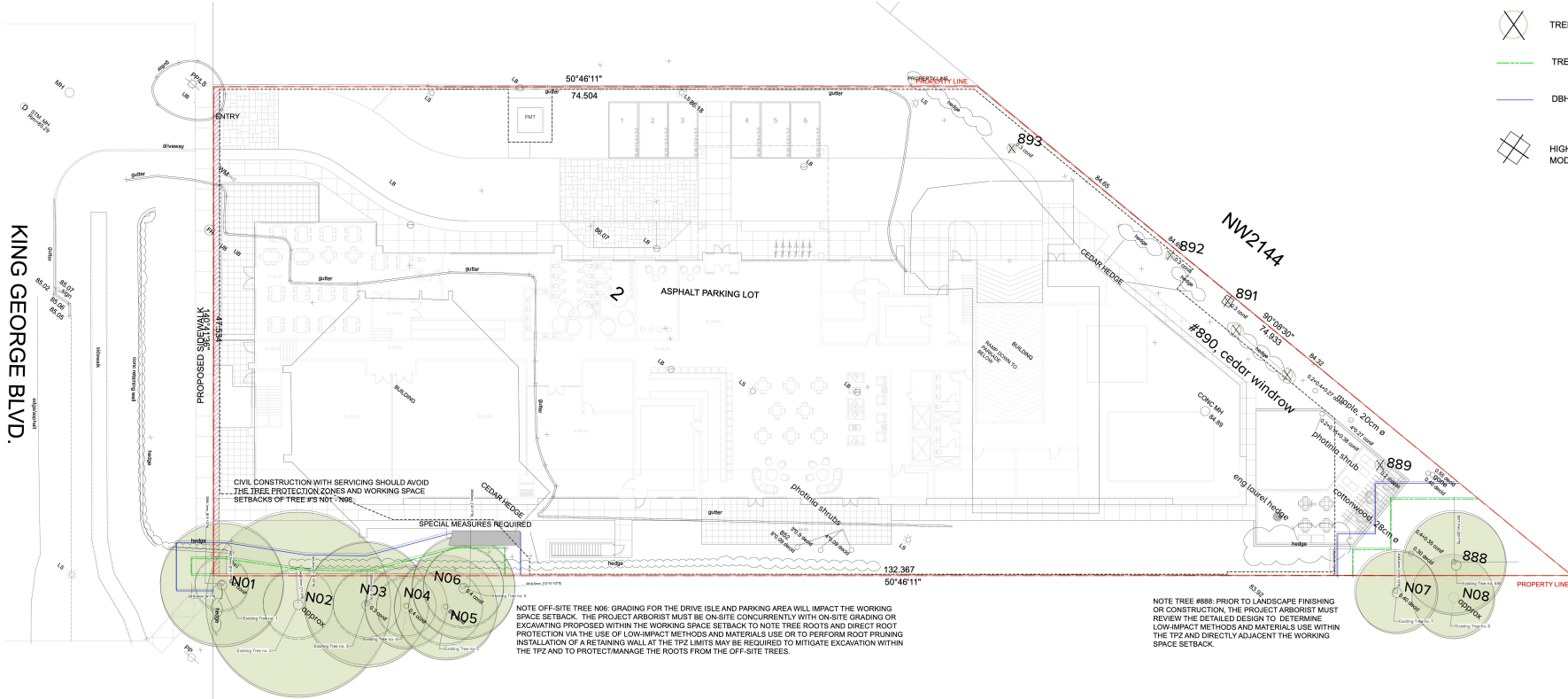
Consultants
Architecture Panel Inc.

Documents
Development Permit

No	Date	Issue Notes
A	09-02-2021	Development Permit
B	29-11-2022	DP Re-submission
C	12-12-2023	DP Re-Submission
D	12-04-2024	DP Re-Submission



KING GEORGE BLVD.



TREE MANAGEMENT LEGEND

0001

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- TREE PROTECTION FENCING
- DBH + 1.5 M WORKING SPACE SETBACK
- HIGH RISK TREE TO BE REMOVED OR MODIFIED

1 TREE MANAGEMENT PLAN
Scale: 1:200

CIVIL CONSTRUCTION WITH SERVICING SHOULD AVOID THE TREE PROTECTION ZONES AND WORKING SPACE SETBACKS OF TREE #S N01-N08

SPECIAL MEASURES REQUIRED

NOTE OFF-SITE TREE N06: GRADING FOR THE DRIVE ISLE AND PARKING AREA WILL IMPACT THE WORKING SPACE SETBACK. THE PROJECT ARBORIST MUST BE ON-SITE CONCURRENTLY WITH ON-SITE GRADING OR EXCAVATING PROPOSED WITHIN THE WORKING SPACE SETBACK TO NOTE TREE ROOTS AND DIRECT ROOT PROTECTION VIA THE USE OF LOW-IMPACT METHODS AND MATERIALS USE OR TO PERFORM ROOT PRUNING. INSTALLATION OF A RETAINING WALL AT THE TPZ LIMITS MAY BE REQUIRED TO MITIGATE EXCAVATION WITHIN THE TPZ AND TO PROTECT/MANAGE THE ROOTS FROM THE OFF-SITE TREES.

NOTE TREE #888: PRIOR TO LANDSCAPE FINISHING OR CONSTRUCTION, THE PROJECT ARBORIST MUST REVIEW THE DETAILED DESIGN TO DETERMINE LOW-IMPACT METHODS AND MATERIALS USE WITHIN THE TPZ AND DIRECTLY ADJACENT THE WORKING SPACE SETBACK.



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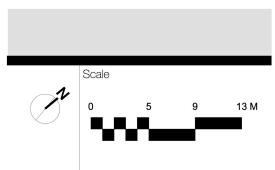
Project
2160 KING GEORGE BLVD

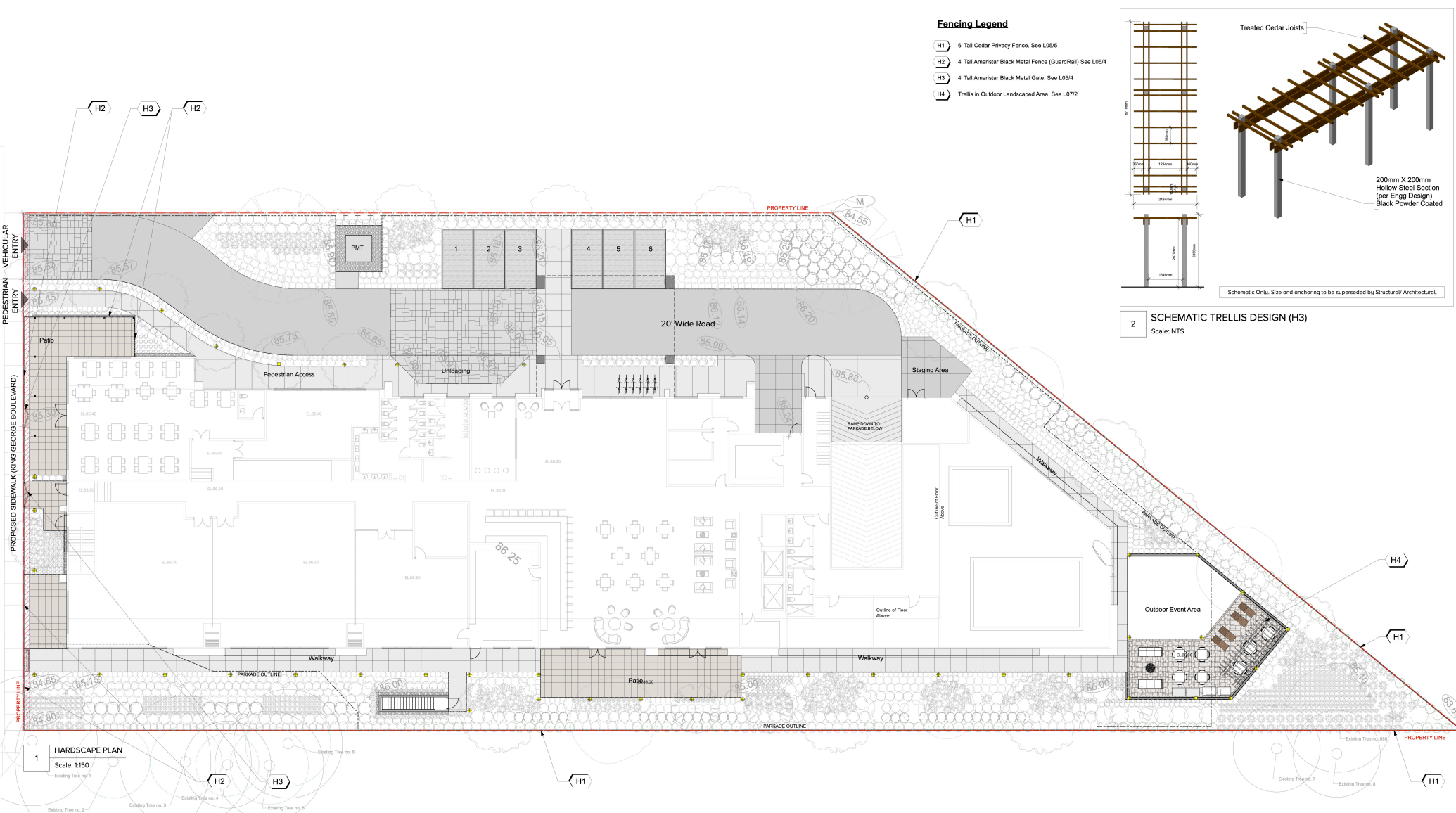
Owner
BOB D

Sheet Title
TREE MANAGEMENT PLAN

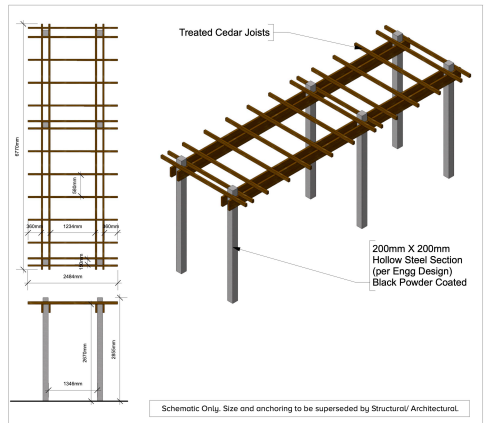
Total Sheets 8	Sheet No. L07	Contractors	Consultants Architecture Panel Inc.
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Reviewed By RD	Status Development Permit		

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- Fencing Legend**
- H1 6' Tall Cedar Privacy Fence. See L055
 - H2 4' Tall Ameristar Black Metal Fence (GuardRail) See L054
 - H3 4' Tall Ameristar Black Metal Gate. See L054
 - H4 Trellis in Outdoor Landscaped Area. See L072



2 SCHEMATIC TRELLIS DESIGN (H3)
Scale: NTS

1 HARDSCAPE PLAN
Scale: 1:150



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Project
2160 KING GEORGE BLVD

Owner
BOB D

Sheet Title
FENCING PLAN

Total Sheets 8	Sheet No. L08	Contractors AHJ City of Surrey	Consultants Architecture Panel Inc.
Drawn By BB	Checked By RD	Documents Development Permit	
Reviewed By RD	Status Development Permit		

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D	12-04-2024	DP Re-Submission



**TO: Director, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Process Manager, Engineering Department

DATE: April 16, 2024 PROJECT FILE: **7821-0290-00**

**RE: Engineering Requirements (Commercial/Industrial)
Location: 2160 King George Blvd**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment.

REZONE

Property and Right-of-Way Requirements

- Register 0.5 m statutory right-of-way along King George Boulevard.

Works and Services

- Construct the north side of King George Boulevard.
- Construct storm, sanitary and water mains necessary to service the site.
- Complete storm and sanitary catchment analyses and resolve downstream constraints.
- Construct storm, sanitary and water service connections to service the site.
- Implement on-site storm mitigation requirements as determined through detailed design.
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Daniel Sohn, P.Eng.
Development Process Manager



TREE REPLACEMENT

Pursuant to Surrey Tree Protection Bylaw No. 16100, following are the *Tree Replacement* calculations.

Tree Retention and Replacement Summary.

City denotes any city owned tree that is proposed for removal due to conflict with development/construction requirements.

<i>Tree Retention:</i>	On-Site	City	Off-Site (private)	Total
Trees to be Retained	1	-	8	9
Trees to be Removed	6	-	0	6
Trees Considered	7	-	8	15

<i>Tree Replacement:</i>	Quan	Subtotal	Quan	Subtotal	Quan	Subtotal	Total
1:1 Replacement Quota	- X1	-	- X1	-	- X1	-	0
2:1 Replacement Quota	6 X2	12	- X2	-	- X2	-	12
Replacement Trees Required		12		-		-	12

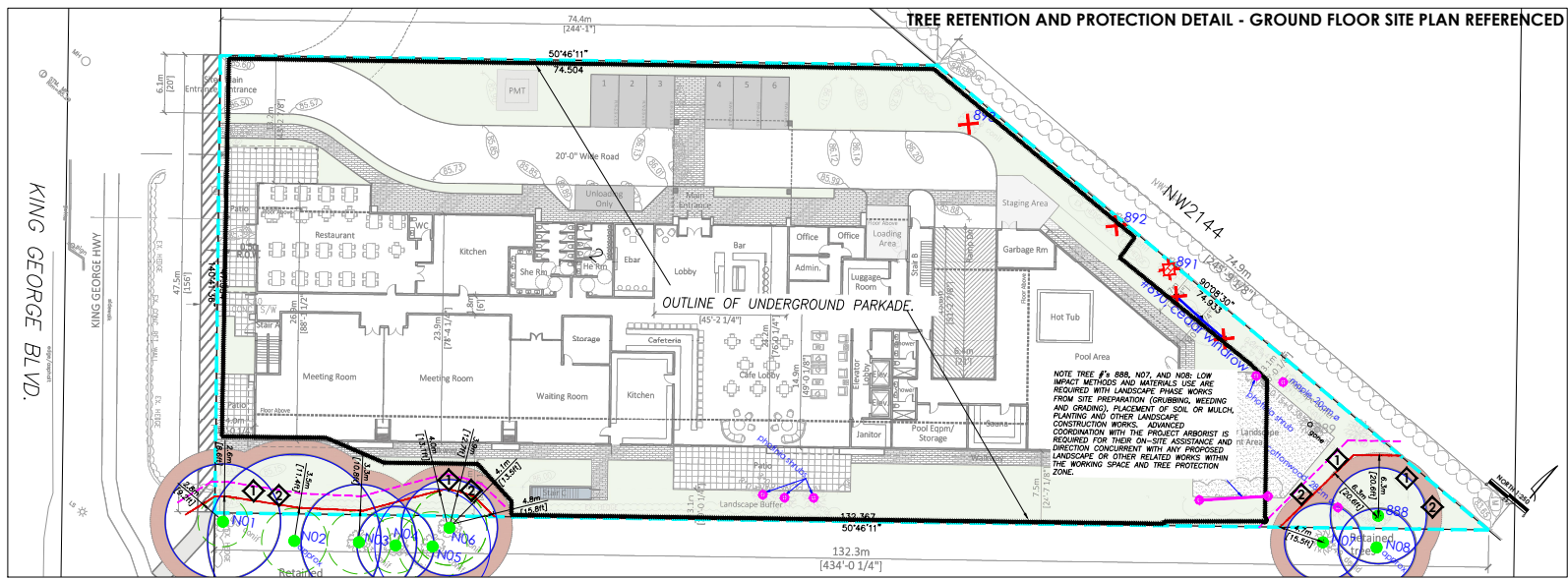
The tree replacement design is to be specified by the project landscape architect. If the required quantity of replacement trees cannot be achieved within the site, then the owner may seek approval for planting in other locations, and/or the city may require cash-in-lieu contribution to the Green Fund.

Summary of Tree Preservation by Species

On-Site Trees and City owned Road Frontage Trees

Excludes Off-Site Private Trees and Trees in Parks Dedication Areas and ESA's

	SubTotal	Remove	Retain
<u>Alder and Cottonwood Species:</u>			
Alder (<i>Alnus rubra</i>)	-	-	-
Cottonwood (<i>Populus trichocarpa</i>)	-	-	-
subtotal alder/cottonwood	-	-	-
<u>Coniferous Species</u>			
Deodar cedar (<i>Cedrus deodara</i>)	1	1	0
Blue spruce (<i>Picea pungens</i>)	2	2	0
Western redcedar (<i>Thuja plicata</i>)	4	3	1
subtotal coniferous	7	6	1
Subtotal broadleaf and coniferous			
TOTAL (including alder/cottonwood)	7	6	1
Total Replacement Trees Proposed (excludes new street trees – see report sections below for details)	12		
Total Retained and Replacement Trees (Development Area Only)	13		
Contribution to the Green City Fund (for shortfall – to a maximum of \$41,250.00 per acre of cleared lands)	N/A	@ \$550 each	N/A



LEGEND - TREE RETENTION:

- Tree Retention: Green circle with 'X' for trees to be retained.
- Tree Removal: Red circle with 'X' for trees to be removed.
- Tree Protection: Yellow circle for trees to be protected.
- Tree Protection Zone: Yellow circle with 'X' for the protection zone.
- Tree Protection Barrier: Yellow circle with 'X' for the barrier.

LEGEND - TREE PROTECTION:

- Tree Protection Barrier Detail - Simple: Shows barrier construction details.
- Tree Protection Barrier Detail - Complex: Shows barrier construction details with a ramp.

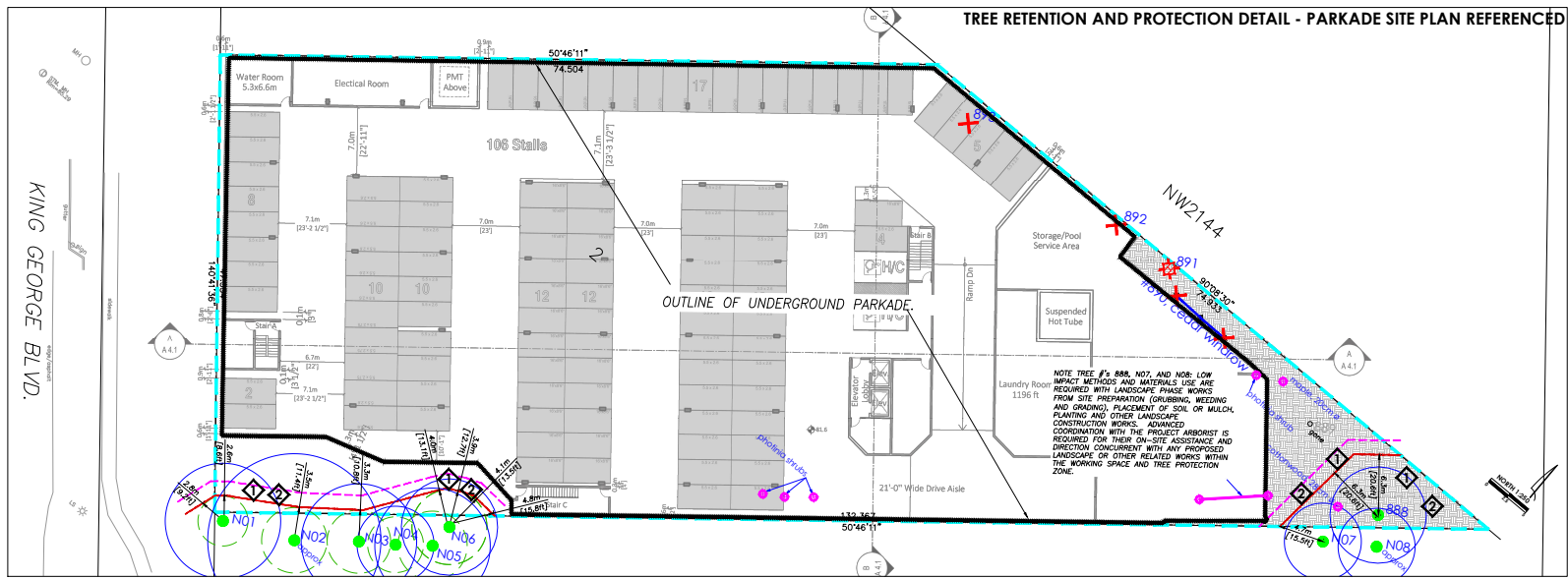
PROTECTION STANDARD MESSAGES:

As a general industry reference to this LTO the Client is required to maintain compliance with the Tree Protection Specifications (see Appendix B) of the retention schedule. The Client shall ensure that the retention schedule is followed at all times during the construction process or refer to this site at the following project milestones and/or prior to and during landscape work activities on this site as follows:

- Site Preparation: To protect and retain the tree protection barrier installation and provide barrier sign-off report.
- Site Preparation: To ensure that the tree protection barrier is installed and maintained in accordance with the specifications and to provide the tree protection barrier sign-off report.
- Site Preparation: To ensure that the tree protection barrier is installed and maintained in accordance with the specifications and to provide the tree protection barrier sign-off report.

PROTECTION SPECIAL MESSAGES:

The following items with a red 'X' mark are critical to the success of the project. The Client is required to ensure that the following items are completed in accordance with the specifications and to provide the tree protection barrier sign-off report.



PROTECTION STANDARD MESSAGES:

As a general industry reference to this LTO the Client is required to maintain compliance with the Tree Protection Specifications (see Appendix B) of the retention schedule. The Client shall ensure that the retention schedule is followed at all times during the construction process or refer to this site at the following project milestones and/or prior to and during landscape work activities on this site as follows:

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PROTECTION SPECIAL MESSAGES:

The following items with a red 'X' mark are critical to the success of the project. The Client is required to ensure that the following items are completed in accordance with the specifications and to provide the tree protection barrier sign-off report.

APPENDIX C: TREE MANAGEMENT DRAWING SH2 2 OF 2



Figure 3
From "Urban" to "Commercial".

URB

King George Blvd

Bowler Dr

