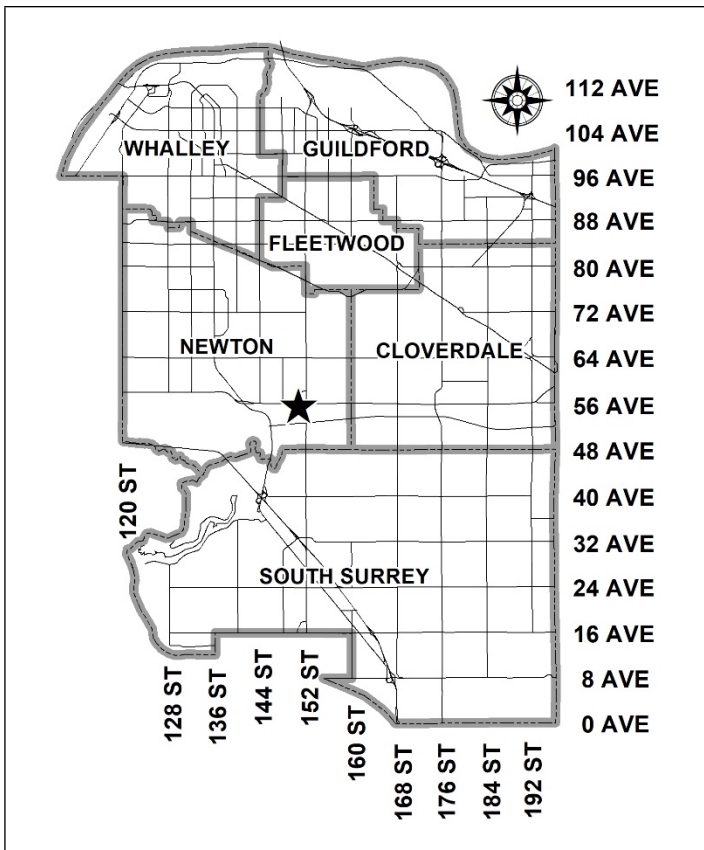


**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7922-0007-00

Planning Report Date: May 30, 2022



PROPOSAL:

- **Rezoning** from IB to CD (based on IB)
- **Development Permit**
- **Liquor License Application**

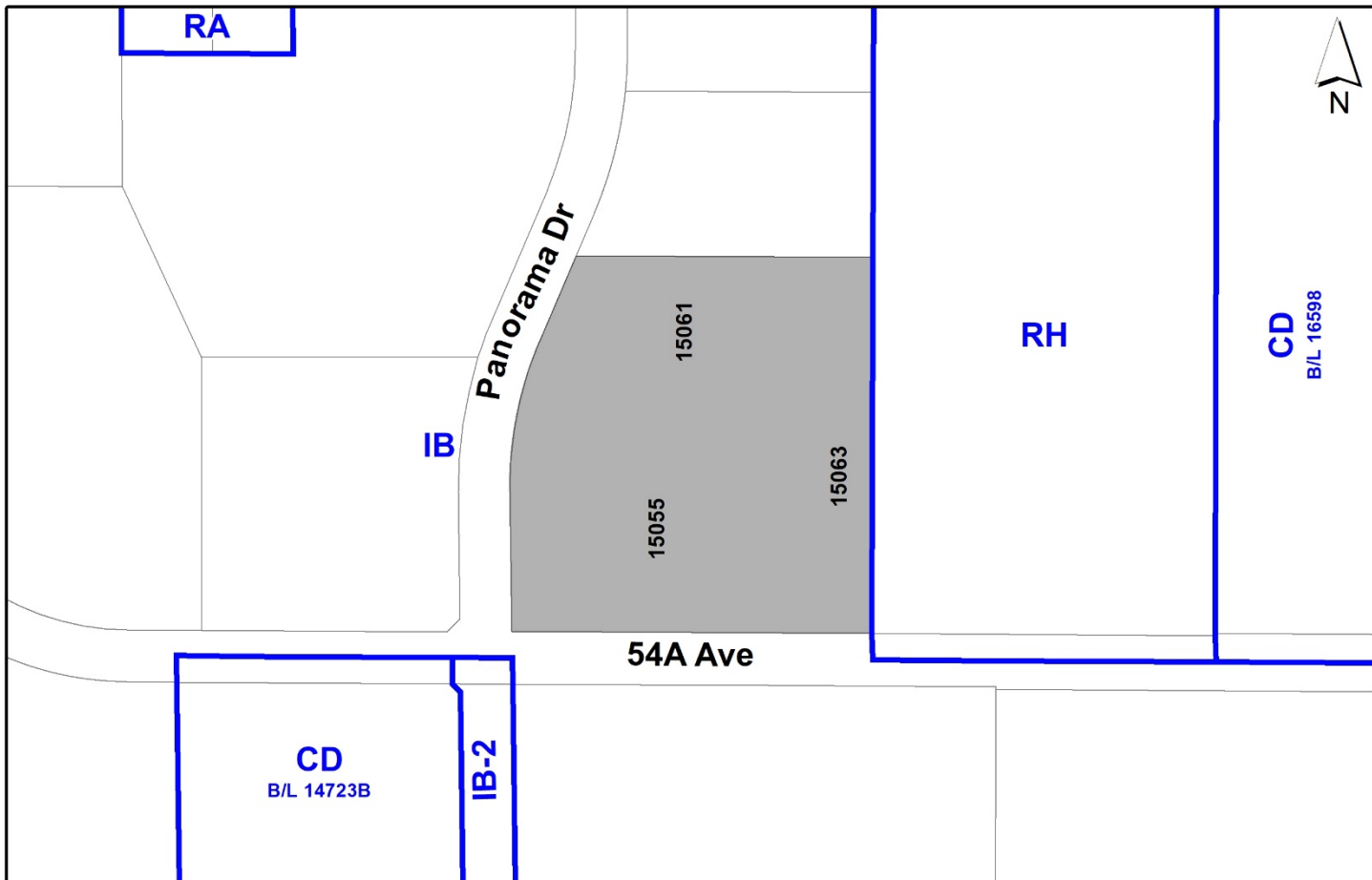
to permit a new brewery and liquor tasting lounge (indoor and outdoor).

LOCATION: 15063 – 54A Avenue (15055 and 15061 – 54A Avenue)

ZONING: IB

OCP DESIGNATION: Mixed Employment

NCP DESIGNATION: Existing Business Park



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning and to solicit resident opinions on the proposed lounge endorsement.
- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary regulations in the Sign By-law.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP) and the “Existing Business Park” designation in the East Panorama Ridge Plan.
- The proposal complies with the Mixed Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- While the business is to be licensed as a manufacturer with a lounge endorsement (and not a liquor primary), the proposed operating hours are within Council’s policy on hours of operation for liquor primary licensed establishments.
- The RCMP and City’s By-laws and Licensing Services Department have no concern with the proposal.
- The applicant will enter into a Good Neighbour Agreement to assist in mitigating any impact the lounge endorsement may have on the surrounding neighbourhood.
- Staff have received no comments in response to the development proposal sign or pre-notification letters which were mailed out.
- The proposed exterior renovations to the existing building represent a new modern design which exhibit high quality materials, while maintaining a similar footprint of the existing building.
- The proposed signs have been comprehensively designed to be integrated with the design of the building and provides a coordinated look for the development.
- The proposed mural is a well-designed graphic that is complementary to both the building’s design and the operators’ business. The mural is not designed to be the primary signage for the business but will provide visual interest.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Business Park Zone (IB)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing to solicit resident opinions on the proposed rezoning and the proposed lounge endorsement.
2. Council approve the applicant's request to vary the Sign By-law as described in Appendix I.
3. Council authorize staff to draft Development Permit No. 7922-0007-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix II).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) approval from the Ministry of Transportation & Infrastructure; and
 - (b) The applicant enter into a Good Neighbour Agreement with the City.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	3 multi-tenant industrial buildings with associated businesses.	Existing Business Park	IB
North:	Mixed employment businesses.	Proposed Business Park	IB
East:	Vacant property under Development Application No. 7916-0006-00 for rezoning to Comprehensive Development Zone to create a mixed use development. The application is in initial review.	Proposed Business Park	RH
South (Across 54A Avenue):	Mixed employment business.	Existing Business Park	IB
West (Across Panorama Drive):	Vacant property	Proposed Business Park	IB

Context & Background

- The subject site is located south of Highway 10 in the East Panorama Ridge Business Park. The site is designated "Mixed Employment" in the OCP, "Existing Business Park" in the East Panorama Ridge Neighbourhood Concept Plan and zoned "Business Park Zone (IB)."

- The site is occupied by three existing multi-tenant industrial/business park buildings that were developed under Development Application Nos. 7903-0283-00 and subsequently 7916-0397-00. The units in these buildings are stratified.
- Corporate Report R087 for proposed Zoning By-law changes to allow liquor manufacturing and lounge endorsements (also interchangeably referred to as "liquor tasting lounge") within the Highway Commercial Industrial Zone ("CHI"), the Business Park 3 Zone ("IB-3"), and the Light Impact Industrial Zone ("IL"), was granted Final Adoption at the May 9 Regular Council - Land Use meeting.
- The proposed Zoning By-law changes to allow liquor manufacturing and liquor tasting lounges in three zones is intended to facilitate the establishment of new liquor manufacturing businesses and their associated liquor tasting lounges, in Surrey. Prior to this Zoning By-law amendment, businesses wishing to operate a liquor tasting lounge in conjunction with the liquor manufacturing business were required to rezone to a Comprehensive Development Zone. The need for a rezoning application may result in added uncertainty, costs, and time that limits the ability of potential breweries, distilleries, and wineries from opening in Surrey.
- The Zoning By-law amendment included provisions that restrict the maximum size of the liquor tasting lounge to 150 square metres or 40%, whichever is lesser, and must include any areas dedicated to an on-site store for retail sales. Provision for an outdoor patio was also included, which restricts the size to no larger than the size of the permitted liquor tasting lounge, or 80 square metres, whichever is lesser.
- The IB Zone was not included in the original Zoning By-law update, but staff may look to include liquor manufacturing and associated endorsement areas in the IB Zone in a future update. Therefore, while staff brought forward updates to the Zoning By-law to facilitate the establishment of breweries, distilleries, and wineries and their associated lounge endorsements, the subject site does not fall under the new zoning regulations.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes rezoning from "Business Park Zone (IB)" to "Comprehensive Development Zone (CD)", Development Permit for Form and Character, including a Comprehensive Sign Design package, and a lounge and on-site store endorsement to permit a new brewery and liquor tasting lounge (indoor and outdoor).
- The applicant proposes a liquor tasting lounge that is approximately 44% of the total business floor area. This exceeds the percentage established by recent Zoning By-law changes for liquor tasting lounges, which only allows 40% of the business to be allocated to a liquor tasting lounge. The subject application was in-stream prior to staff bringing forward the proposed Zoning By-law changes for liquor tasting lounges. Staff worked extensively with the applicant to reduce the overall floor area of the liquor tasting lounge such that the manufacturing component remained the principal use. Therefore, although this proposal does not align with the recently approved Zoning By-law amendment for liquor tasting lounges, the proposal maintains the principal manufacturing use and is considered reasonable. In any case, the

subject site is Zoned “Business Park Zone (IB)”, which was not included in the recent Zoning By-law Amendment and therefore, a rezoning is still required.

- The applicant also proposes an outdoor patio associated with the proposed indoor liquor tasting lounge. The proposed outdoor patio complies with the maximum area provisions for outdoor patios associated with a liquor tasting lounge, found in the CHI, IB-3 and IL Zones.

	Proposed
Lot Area	
Gross Site Area:	19,039 square metres
Road Dedication:	n/a
Undevelopable Area:	n/a
Net Site Area:	n/a
Number of Lots:	1
Building Height:	12 m
Unit Density:	n/a
Floor Area Ratio (FAR):	1.0

Referrals

Engineering:	The Engineering Department has no objection to the project.
Ministry of Transportation & Infrastructure (MOTI):	No concerns.
Surrey RCMP:	No concerns.
Surrey Fire Department:	No concerns.
Surrey Bylaws & Licensing Services:	No concerns.
Advisory Design Panel:	The application was not referred to the ADP but was reviewed by staff and found satisfactory.

Transportation Considerations

- The site is to be accessed via two driveways, one on 54A Avenue to the south and another on Panorama Drive to the west.
- There are 152 existing parking spaces on-site, with 24 spaces dedicated to Building 3 where the proposed brewery is to locate. Based on the parking rate for liquor manufacturing and liquor tasting lounge in the Zoning By-law, a total of 9 parking spaces are required for the brewery overall. The subject building at 15063 – 54A Avenue has 24 dedicated parking spaces; however, the Strata Plan allows for shared parking amongst the 152 parking spaces on-site. The applicant has completed a parking calculation based on the existing businesses on-site and it was confirmed that the additional parking spaces required to support the brewery will not exceed the available parking spaces on-site.

- The Zoning By-law also permits shared parking facilities where two or more establishments have different temporal distributions (alternate hours) of parking demand as demonstrated by having operating hours that do not significantly overlap. The existing businesses in Building 3 are primarily industrial-focused with operating hours between 8:30-5:00pm, Monday to Friday. The proposed brewery has sought an endorsement for hours from 11 am to midnight with peak demand on evenings and weekends. Despite the request for an endorsement from 11 am to midnight, the applicant has indicated that regular operating hours are anticipated to be late afternoon to 11pm.
- Alternative transportation options to and surrounding the site are currently limited. Public transportation options include a bus stop approximately 450 metres away for TransLink Bus Route No. 345, which serves King George Station to the north and White Rock Centre to the south and TransLink Bus Route No. 375, which serves Guildford to the north and White Rock Centre to the south.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed brewery with a liquor tasting lounge (lounge endorsement and on-site store endorsement) on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Business Park Zone (IB)" and will be applicable to the entire property
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the IB Zone and the proposed CD By-law is illustrated in the following table:

Zoning	IB Zone (Part 47)	IB-3 Zone (Part 47C)	Proposed CD Zone
Floor Area Ratio:	1.0	1.0	1.0
Lot Coverage:	60%	60%	60%
Yards and Setbacks	7.5 m for all property lines	7.5 m for all property lines	7.5 m for all property lines
Principal Building Height:	12 m	14 m	12 m
Permitted Uses:	<u>Principal</u> <ul style="list-style-type: none"> • Light impact industry • Office uses with exclusions • General service uses • Warehouse uses • Distribution centres 	<u>Principal</u> <ul style="list-style-type: none"> • Light impact industry • Office uses with exclusions • Warehouse uses • Distribution centres • Liquor manufacturing 	<u>Principal</u> <ul style="list-style-type: none"> • Light impact industry • Office uses with exclusions • General service uses • Warehouse uses • Distribution centres • Liquor manufacturing
Parking (Part 5)		Required	Proposed
Number of Stalls			
Commercial:			
Industrial:			
Total:		152	152
Tandem (%):		n/a	n/a

- The proposed CD By-law is identical to the existing “Business Park Zone (IB)” with the addition of the following permitted principal use and special regulation:
 - Liquor manufacturing, provided that:
 - (a) If there is a *liquor tasting lounge*, it shall not exceed 44% of the *gross floor area* of the entire *liquor manufacturing* business or 150 square metres, whichever is lesser;
 - (b) If there is an on-site store endorsement it must be included in the calculation of the maximum area permitted for the *liquor tasting lounge* in Sub-section B.5(a); and
 - (c) If there is an outdoor patio associated with the *liquor tasting lounge* it must not exceed the total area of the permitted *liquor tasting lounge* in Sub-section B.5(a), or 80 sq. m., whichever is lesser.
 - Liquor Manufacturing with an On-site Store Endorsement
Retail sales within an on-site store endorsement shall be limited to the sale of liquor products manufactured on the premises, related non-liquor products, and liquor products that have been manufactured by another licensed manufacturer of the same license class on their behalf.
- No other changes are proposed in the CD Zone.

Sign By-law

- The applicant proposes one fascia sign, one awning/canopy sign, and one mural.
- The Sign By-law permits both the fascia sign and awning/canopy sign, however, a mural is not a permitted sign in the Sign By-law. The applicant is therefore proposing a comprehensive sign design package for the proposed signage, which includes a variance to the Sign By-law (See Appendix I):
 1. To allow a mural as a sign on the south façade of the building.
- The proposed mural is complementary to the proposed design of the unit, will provide visual interest, and is not intended to be the primary sign for the business.
- To this end, staff are supportive of the variance as part of a comprehensive sign design package for the subject building.

Liquor License Approval Requirements

- The Liquor and Cannabis Regulation Branch (LCRB) requests that the applicant secure local government endorsement before the application can be considered for approval by the LCRB.
- Additionally, the LCRB requires that Council comment on how the site satisfies specified criteria to ensure that adequate consideration has been given to the application by the local government.
- Staff have used the locational guidelines for a liquor primary establishment, since it is the most applicable tool available to determine whether the proposed lounge is in an appropriate location. The analysis of the criteria for this site is provided as follows:

(a) The location of the establishment

- The City's long-standing locational guidelines for liquor primary establishments are as follows:
 - Select a site close to a residential area but not surrounded by residential area;
 - Select a site that is adjacent to or in a local commercial node;
 - Do not select a site on a provincial highway; and
 - Locate further than 400 metres from a school, children's park or playground.
- The subject site is located at the intersection of 54A Avenue and Panorama Drive, in an established industrial business park area. Substantial urban residential areas and a commercial node are located north of Highway 10, which is approximately 200 metres from the subject property.
- The site is located more than 300 metres from the closest park (Bob Rutledge Park) and more than 1 kilometre from the nearest public elementary school. However, the property at 15000 – 54A Avenue is the location of Glarea Elevated Learning private school. The proposed liquor tasting lounge will be well-separated from the existing private school and the liquor tasting lounge operating hours will not significantly overlap with the schools' hours. Additionally, because this is a private school and most children are from outside the immediate neighbourhood and do not walk to school, it is not anticipated that the proposed liquor tasting lounge will have a negative impact on the private school.

- Although the City's locational criteria indicates that locations along provincial highways are not ideal, the proposed location is setback from a provincial highway and can be accessed via an alternative road (54A Avenue) that connects to 152 Street.

(b) The proximity of the establishment to social and recreational facilities and public buildings

- The closest public building to the subject site is the RCMP Headquarters, which is approximately 1.6 kilometres away. These buildings are not expected to be impacted by this proposal. The Tong Louie YMCA building is located approximately 250 metres away. The YMCA is located on the opposite side of Highway 10 and therefore, it is not expected to be impacted by this proposal. Finally, the private ice rink (Excellent Ice) located at 15000 – 54A Avenue is located to the southwest of the subject site, however, this facility currently has its own Food Primary license and therefore, is not expected to be impacted by this proposal.

(c) The hours of liquor service and person capacity of the establishment

- The proposed hours of operation for the liquor tasting lounge are from 11 am to midnight, seven days a week. Despite the endorsement for these hours, the applicant has indicated that regular operating hours for the liquor tasting lounge will be from late afternoon to 11pm, seven days a week. The endorsement for extended hours provides flexibility for the business while ensuring the range of hours are within Council's policy on hours of operation for liquor primary establishments, which recommends liquor primary establishments to operate from 11:00 a.m. to 1:00 a.m. Sunday to Thursday and 11:00 a.m. to 2:00 a.m. on Friday and Saturday
- The applicant has requested a maximum occupant load of 52 persons for the indoor lounge and 52 persons for the patio for 104 persons total.

(d) The number and market focus or clientele of liquor primary licensed establishments within a reasonable distance of the proposed location

- The nearest liquor primary establishment is Big Ridge Brewing Company (5580 – 152 Street), which is located approximately 350 metres from the subject site and is across 152 Street. This establishment is not a typical brewery and is licensed as a liquor primary with food service and therefore, serve different clientele.

(e) The impact of noise on the community in the immediate vicinity of the establishment

- The site is located in an industrial business park, away from residential uses. The nearest residential use is located approximately 400 metres away at 5528 – 148 Street.
- The owner will enter into a Good Neighbour Agreement to assist in mitigating any impact the lounge endorsement may have on the surrounding neighbourhood.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on April 28, 2022 and the Development Proposal Signs were installed on May 2, 2022. Staff did not receive any responses.

- The subject development application was reviewed by the Cloverdale Chamber of Commerce, Panorama Neighbourhood Association, and the Sullivan Amateur Athletic and Community Association. Staff did not receive any responses.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the East Panorama Ridge Plan.
- The proposed development generally with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the East Panorama Ridge Plan.
- The applicant has worked with staff to reduce the number of murals proposed from two to one.
- The applicant proposes façade upgrades to the portion of the unit on the west and south façades. The design upgrades include the introduction of wood slats, a new glazed store-front door, a new overheard door (non-loading) to the patio, and a powder coated steel canopy.
- There is an existing grassed area adjacent to the unit that is proposed to be converted to a patio for the permitted liquor tasting lounge. The existing guardrail is to remain and planters, seating, and a grassed “games area” will be implemented.
- The applicant proposes two signs and one mural. One fascia sign is proposed on the west façade and is proposed as a black powder-coated steel fascia sign with contrasting white lettering. An awning/canopy steel sign is proposed on the south façade and is located atop a new black powder-coated steel canopy. A single mural in the form of the stitching of a baseball (“Ballpark Brewing”) is proposed on the south façade. No text is associated with the mural.
- Further details regarding the proposed signage and associated variance is outlined in Appendix I.

Landscaping

- No formal landscaping will be included; however, the proposed patio will include a collection of planters and a “games area”.

TREES

- Morgan Sullivan, ISA Certified Arborist of Diamond Head Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Sweetgum	1	0	1
Total	1	0	1
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		0	
Total Retained and Replacement Trees		1	
Contribution to the Green City Program		\$0	

- The Arborist Assessment states that there is a total of one mature tree on the site. There are no Alder and Cottonwood trees on the site. It was determined the tree can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- As the applicant is not proposing to remove any trees, no tree replacement is required.
- In summary, a total of one tree is proposed to be retained on the site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

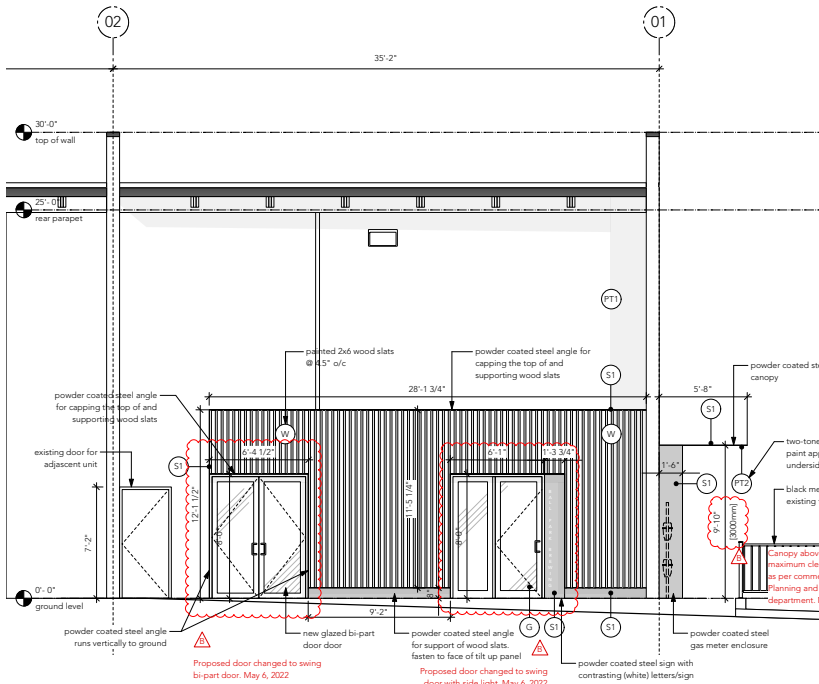
- Appendix I Proposed Variances to the Sign By-law
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Summary of Tree Survey and Tree Preservation

approved by Shawn Low

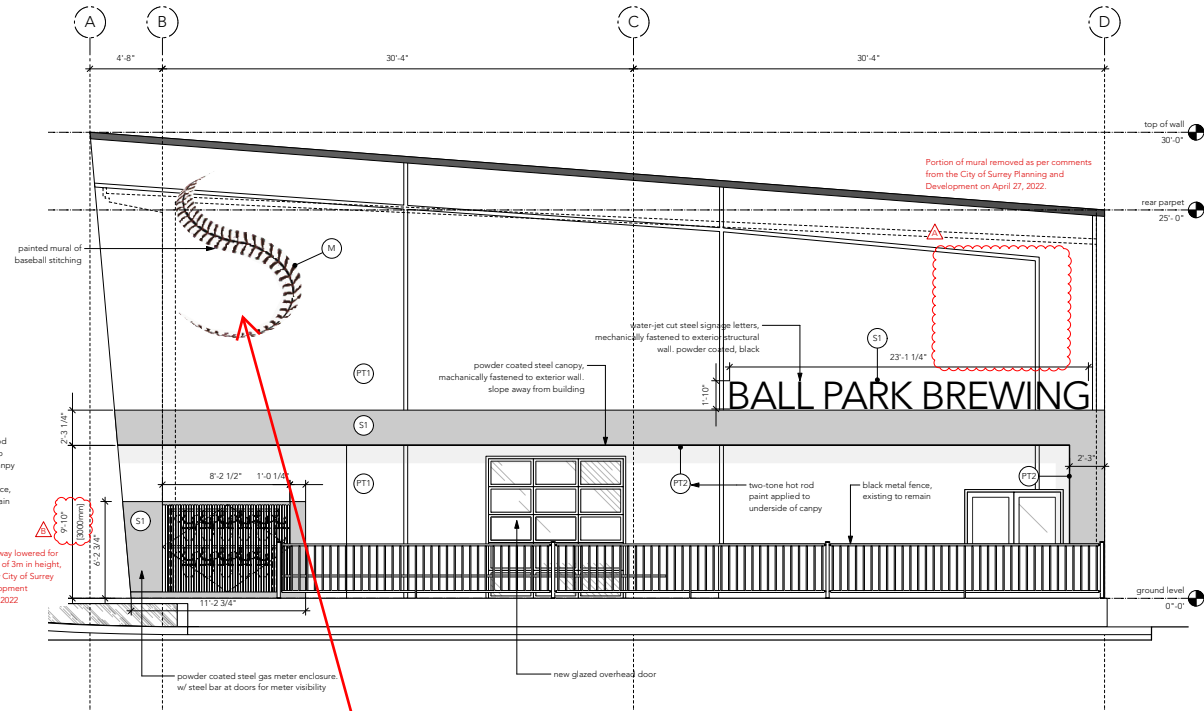
Jeff Arason
Acting General Manager
Planning and Development

PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow a mural as a sign on the south façade of the building.	Part 1, Section 10(8) of the Sign By-law prohibits murals as signs.	The proposed mural is complementary to the proposed design of the unit, will provide visual interest, and is not intended to be the primary sign for the business.



1 Proposed West Elevation
Scale: 1/4" = 1'-0"



2 Proposed South Elevation
Scale: 1/4" = 1'-0"

Exterior Finishes Keynote Legend

PT1	paint 01 - white
PT2	kameleon pearl two-tone paint (green / blue)
S1	powder coated steel - black
M	mural
W	2x6 painted wood members
G	dichroic glass

Proposed variance to allow a mural as a sign on the south facade of the building.

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TABLE
ARCHITECTURE
COLLECTIVE

Suite 230 - 3 West 3rd Avenue
Vancouver BC Canada V5Y 3T8
604.559.5190
bill@tblarch.ca
www.tblarch.ca

Date	Issue
2022-04-19	Issued for Development Permit
2022-05-02	Re-Issued for Development Permit
2022-05-06	Re-Issued for Development Permit

Ball Park Brewing
#116 - 15063 54A Avenue
Surrey, BC, V3S 5K7

Proposed Elevations
Scale As Noted

BALL PARK BREWING

Project Description

The scope of work is for a commercial interior tenant improvement to an existing building to be utilized as a beer manufacturing facility with an ancillary tasting room. New work will include interior partitions, installation of a cold room, service counters, millwork, beer manufacturing equipment and tanks. The manufacturing area will also include plumbing and electrical scope of work such as trench drains and new lighting. There will also be an addition of a mezzanine level, and two sets of stairs leading to the mezzanine space. Some exterior work is being initiated for the project, such as construction of a new patio, signage, addition of overhead and exterior doors.

Project Data

Project Name Ball Park Brewing
 Civic Address #116 - 15063 54A Avenue
 Legal Address LOT 41 DISTRICT LOT 167 SECTION 3 TOWNSHIP 2 PLAN EPS6077 NWD GROUP 2 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM V

PLAN EPS6077
 PLAN TYPE Strata
 PID 031-159-842
 Folio 6034-98041-0
 Zoning IB - Business Park Zone
 Occupancy Group F Division 2; Subdivisary Group A Division 2
 Existing Use Manufacturing, Ancillary Tasting Room
 Proposed Use Manufacturing, Ancillary Tasting Room
 Site Area 204,929 sq. ft. / 19,039m²
 Building Area 21305 sq. ft. / 1980m²
 Tenant Space (Ground Floor Area) 1720.8 sq. ft. / 159.9m²
 Tenant Space (Mezzanine Area) 450.9 sq. ft. / 41.9m²
 Tenant Space (Total Area) 2171.7 sq. ft. / 201.8m²

Building Code Synopsis

Building Code BCBC 2018
 Existing Major Occupancy Group F Division 2
 Proposed Major Occupancy Group F Division 2
 Subdivisary Occupancy Group A Division 2
 Governing Code BCBC Part 3

Drawing List

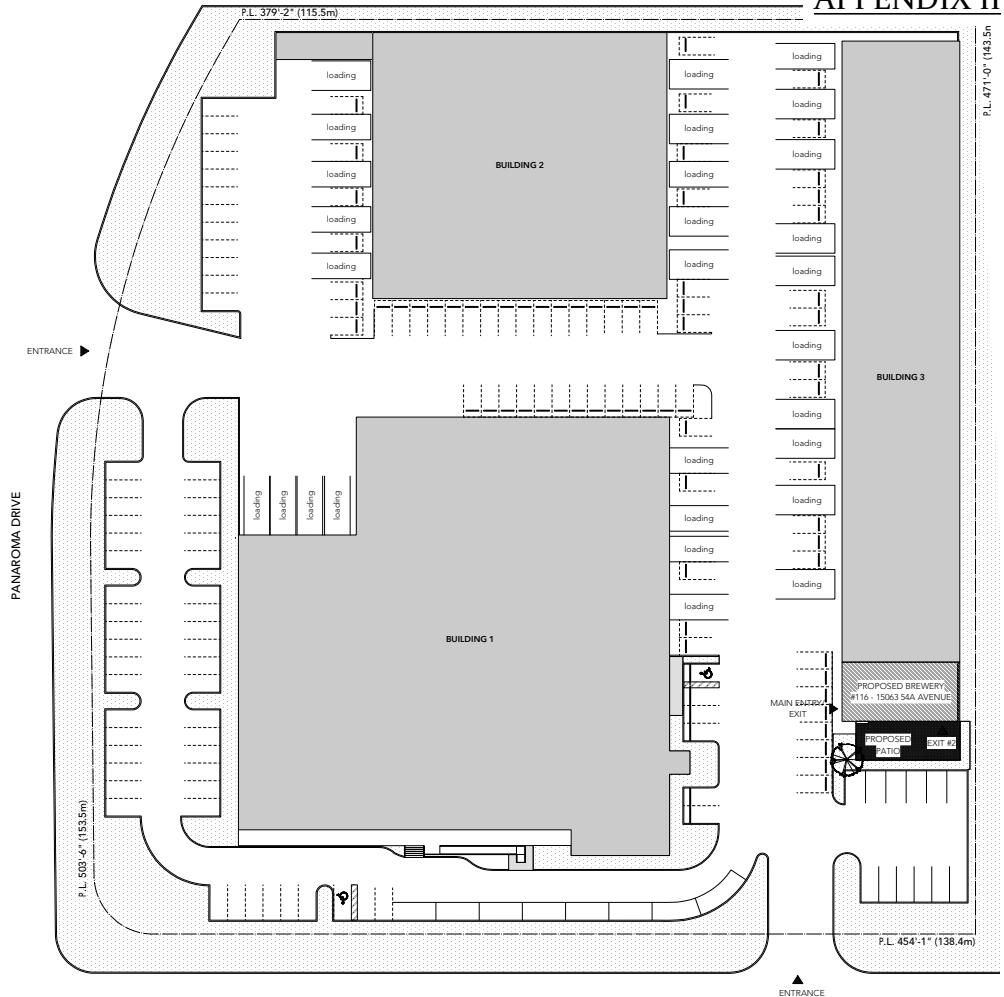
ARCHITECTURAL		
A 0.00	General Information	A 1.12 Roof Plan
A 1.00	Site Plan	A 1.30 Reflected Ceiling Plan
A 1.01	Enlarged Site Plan	A 2.00 Existing Elevations
A 1.02	Context Photos	A 2.01 Proposed Elevations
A 1.10	Ground Floor Plan	A 3.00 Building Sections
A 1.11	Mezzanine Floor Plan	

Abbreviations

AB	Air Barrier
ACC	Accessible
GIP	Cast in Place
CJ	Control Joint
CLG	Ceiling
CONC	Concrete
CT	Ceramic Tile
CW	Complete With
DET	Detail
DR	Door
DN	Down
EJ	Expansion Joint
EXIST	Existing
EXP	Exposed
EXT	Exterior
FD	Floor Drain
FEE	Finished Floor Elevation
FG	Fixed Glass
FIN	Finished
FTG	Footing
FL	Floor
F.R.R.	Fire Resistance Rating
GALV.	Galvanized
GWB	Gypsum Wall Board
HDWD	Hardwood
HR	Hour
INT	Interior
INSUL	Insulation
MB	Moisture Barrier
MTL	Metal
N.I.C.	Not in Contract
NTS	Not to Scale
O/H	Overhead
PLY	Plywood
PNL	Panel
PT	Pressure Treated
PTD	Painted
RD	Roof Drain
REINF	Reinforced
REQD	Required
RM	Room
SOG	Slab on Grade
SPEC	Specifications
STL	Steel
STRUCT	Structural
TBC	To be Confirmed
TBD	To be Determined
TG	Tempered Glass
T/O	Top of
TYP	Typical
UNI	Universal
UNO	Unless Noted Otherwise
U/S	Upside
VB	Vapour Barrier
W/	With
WD	Wood

Architectural General Notes

- Do not scale drawings. Larger scale drawings take precedence over smaller scale drawings.
- All Sub-Contractors shall exercise proper precaution to verify dimensions shown on the drawings before laying out their work and be responsible for any error resulting from their failure to exercise such precaution. All changes to the Work not in conformance with the drawings to be approved by the consultants prior to the execution of the Work.
- All deviations from these drawings to be approved by the Architect. The General Contractor is to maintain an additional set of drawings for notation on site indicating all changes from the approved construction set for use by Consultants in preparation of "record drawings" as required. The General Contractor is to keep a written record of all changes, notify the Architect immediately of any proposed changes in the Work, not to proceed with changes until approved. On completion of the Work, return set with mark-up site set to Architect, clearly noting any additional information to fully describe building as-built.
- Shop drawings for all seismic restraint of building components and fire-rated sealants to be prepared by Professional Engineer in the Province of B.C., and submitted to the Architect prior to manufacture. Follow up on field review by the signing Engineer is mandatory with Letters of Assurance and/or field reports to confirm.
- Work to comply with current edition (2018) of the British Columbia Building Code (BCBC).
- All outside dimensions are to face of structural panels. Interior dimensions are to face of finish.



1 Context Plan
 Scale: 1/32" = 1'-0"

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Ball Park Brewing
 #116 - 15063 54A Avenue
 Surrey, BC, V3S 5K7
 General Information
 Scale As Noted

Parking Requirements (City of Surrey Zoning By-Law 12000 - Off-Street Parking and Loading/Unloading - Part 5)					
USE	AREA (m ²)	AREA PER STALL (m ²)	NO. OF STALLS REQ.	EXISTING	PROVIDED
Lounge (Per City of Surrey Planning Department) *	187.81	5 stalls per 100 m ²	5		
			5	24	24 stalls have been provided to be used by commercial and industrial suites in Building 3 by the base building. A total of 152 stalls have been provided for all three buildings on the site to be shared, as they are all under the same strata.
* The following spaces are included as part of the "Lounge" area calculation, as per the direction of the City of Surrey Planning Department: (1) Retail, (2) Lower Lounge, (3) Service Bar, (6) Circulation, (12) Patio, (13) Upper Lounge, (14) Washroom 2, (16) Circulation 2					
Industrial (Per City of Surrey Planning Department) *	72.56	1 stall per 100 m ²	1	1.00	24
			1	24	24 stalls have been provided to be used by commercial and industrial suites in Building 3 by the base building. A total of 152 stalls have been provided for all three buildings on the site to be shared, as they are all under the same strata.
* The following spaces are included as part of the "Industrial" area calculation, as per the direction of the City of Surrey Planning Department: (4) Cold Room, (5) Electrical Room, (7) Accessible Washroom, (8) Washroom 1, (9) Grain Cracking, (10) Manufacturing, (11) Closet, (15) Closet 2					

Loading Requirements (City of Surrey Zoning By-Law 12000 - Off-Street Parking and Loading/Unloading - Part 5)					
USE	AREA (m ²)	AREA PER STALL (m ²)	NO. OF LOADING REQ.	EXISTING	PROVIDED
Manufacturing (per Table D.1)	49.00	Part 5, Section F.1(a) indicates that "all industrial buildings must provide an off-street loading/unloading space adjacent to each overhead loading door of the building, or where no loading door is provided, adjacent to a door, outside the building."	1	10	10 loading bays have been provided to be used by commercial and industrial suites in Building 3. A total of 28 loading bays have been provided for all three buildings on the site to be shared, as they are all under the same strata.

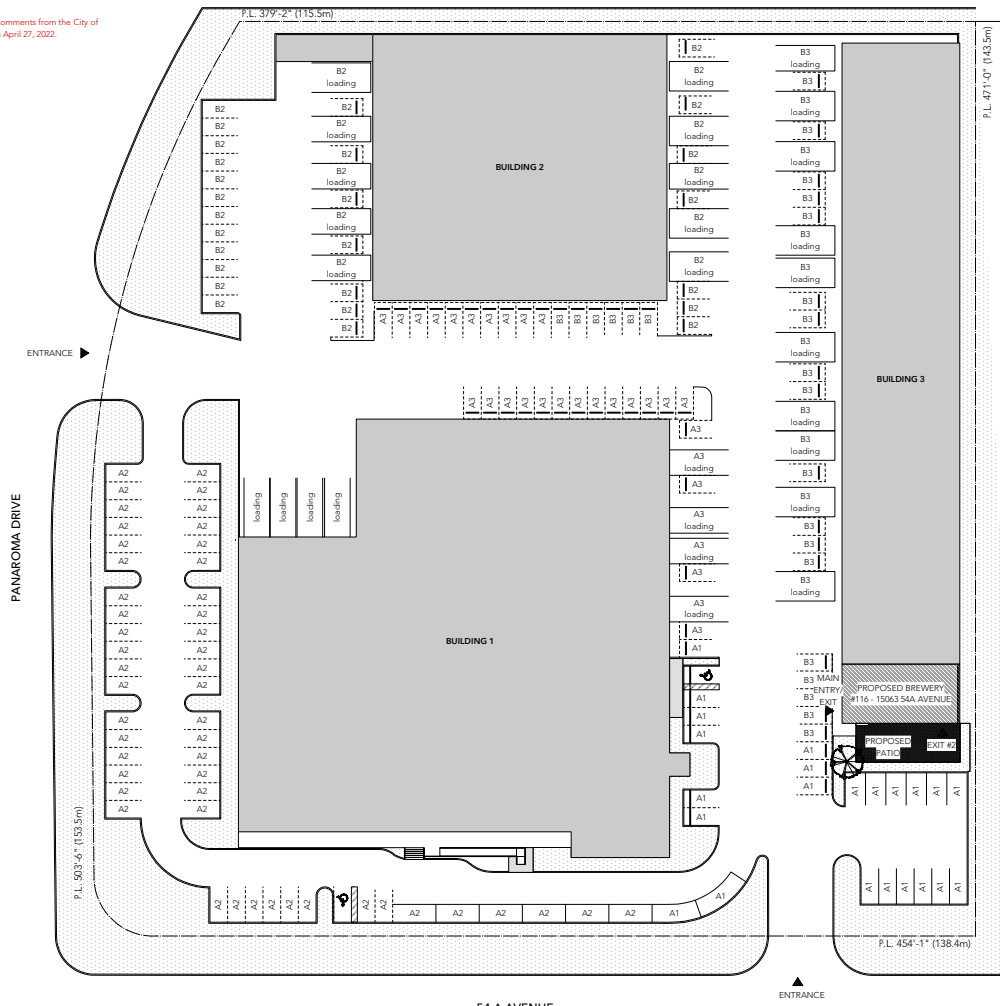
Bicycle Parking Requirements (City of Surrey Zoning By-Law 12000 - Off-Street Parking and Loading/Unloading - Part 5)
 Not applicable as per requirements indicated in Table D.1 in Part 5 of the Off-Street Parking and Loading/Unloading (City of Surrey Zoning By-Law 12000).

Parking and Loading Rationale
 Base building has provided sufficient vehicle parking and loading bays for the use of this suite. So no additional parking or loading stalls will be added for the purpose of this tenant improvement.

Parking Legend
 B3: Parking spaces dedicated to Building 3
 B3 Loading: Loading spaces dedicated to Building 3

NOTE: A single strata overlooks all three buildings on this site. All parking and loading shown on this site plan, regardless of labels indicated, is to be shared between all three buildings, as per strata's parking plan.

▲ Parking calculations updated as per comments from the City of Surrey Planning and Development on April 27, 2022.



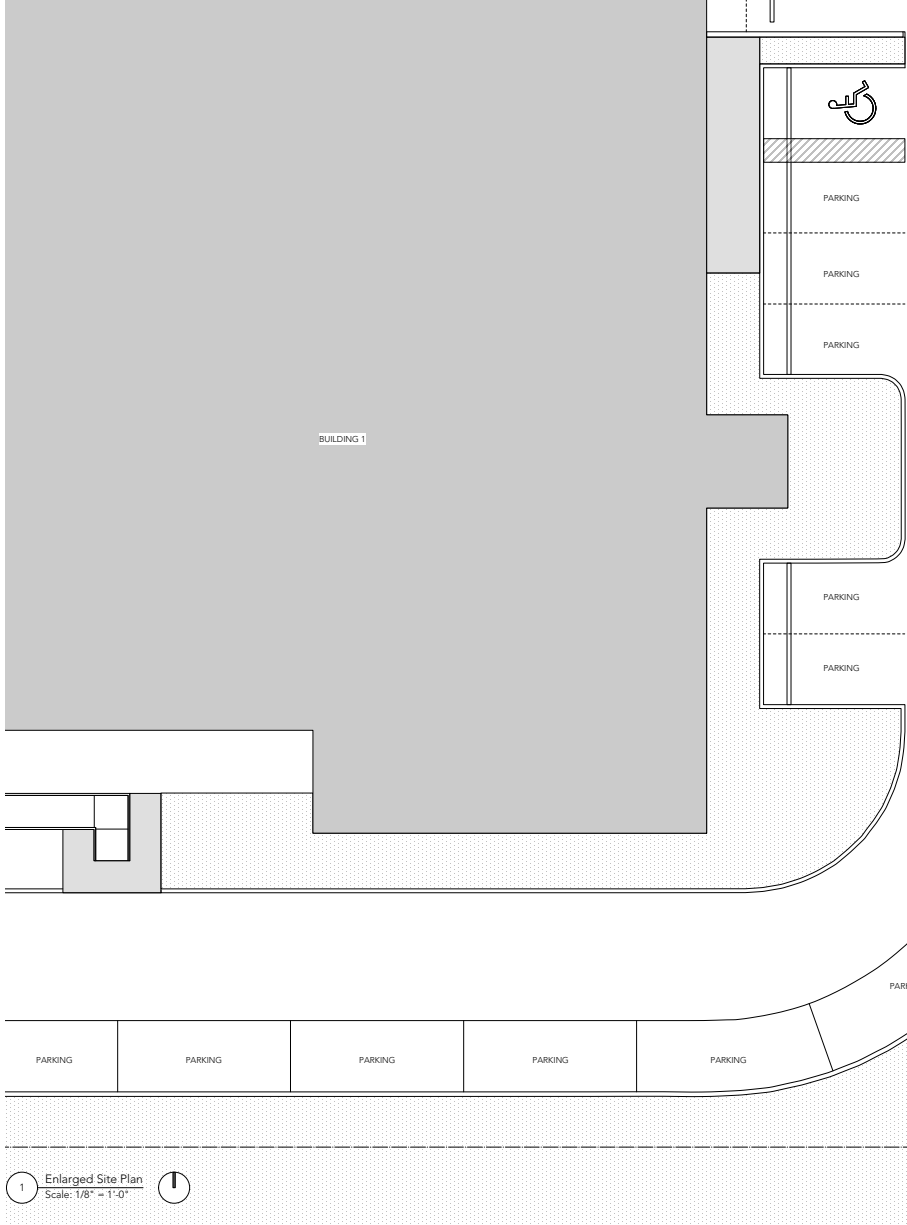
1 Site Plan
 Scale: 1/32" = 1'-0"

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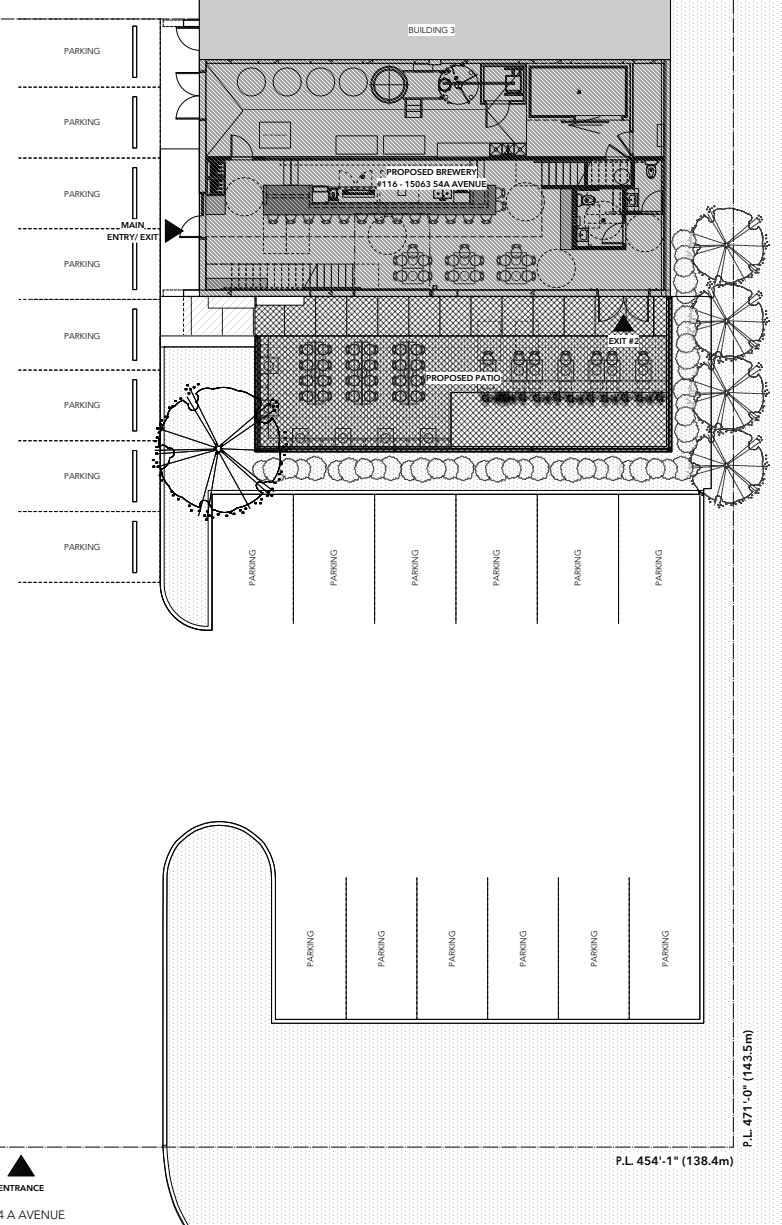
TABLE ARCHITECTURE COLLECTIVE
 Suite 230 - 3 West 3rd Avenue
 Vancouver BC Canada V5Y 3T8
 604.559.5190
 bill@tblarch.ca
 www.tblarch.ca

Date	Issue
2022-04-19	Issued for Development Permit
▲ 2022-05-02	Re-Issued for Development Permit
▲ 2022-05-06	Re-Issued for Development Permit

Ball Park Brewing
 #116 - 15063 54A Avenue
 Surrey, BC, V3S 5K7
 Site Plan
 Scale As Noted



1 Enlarged Site Plan
Scale: 1/8" = 1'-0"



ENTRANCE
54 A AVENUE

P.L. 454'-1" (138.4m)

P.L. 471'-0" (143.5m)

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Enlarged Site Plan
Scale As Noted

Bar Equipment Schedule

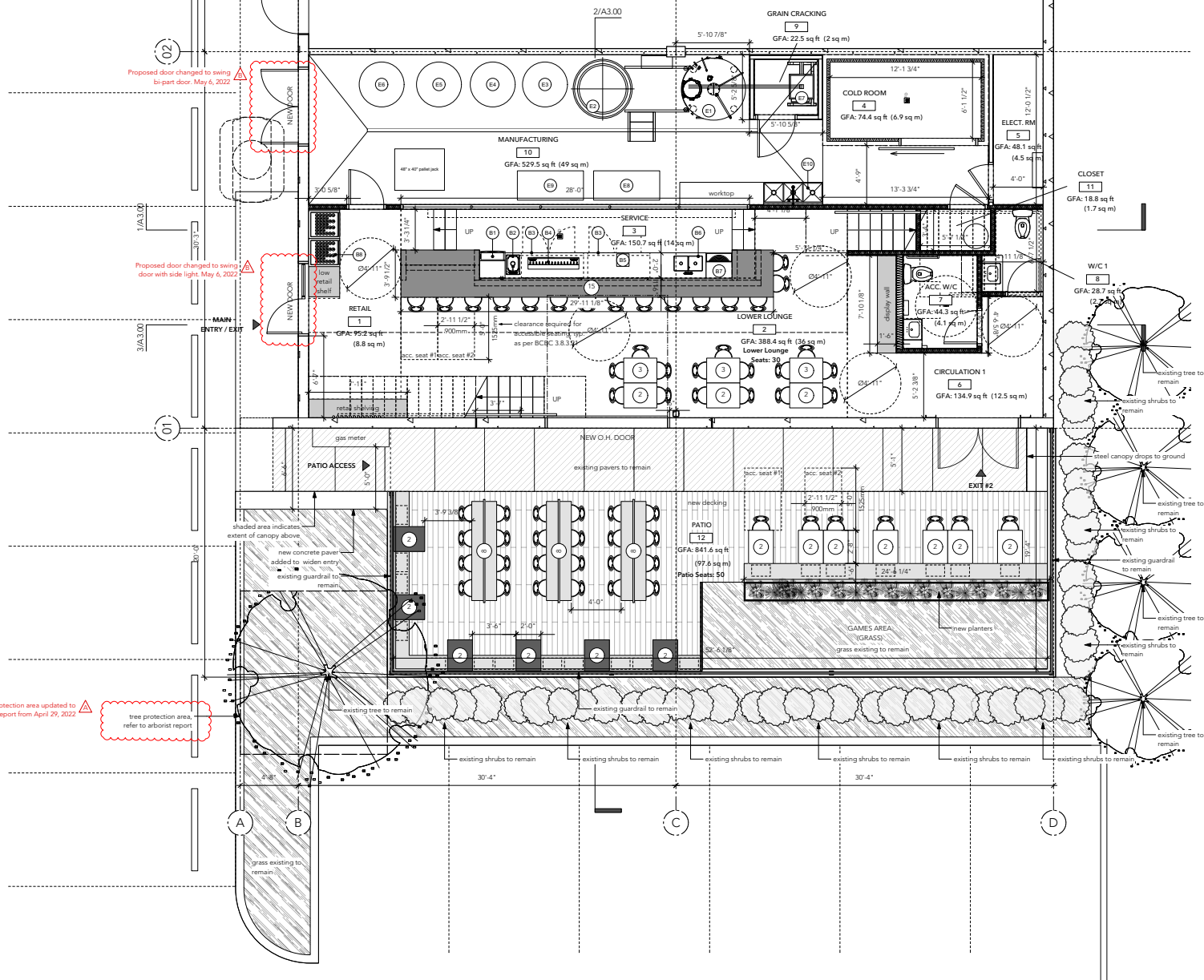
- Ⓜ ICE MACHINE
- Ⓢ S.S. HAND SINK - SINGLE BASIN
- Ⓛ W/C FRIDGE
- Ⓣ 16 TAPS
- Ⓟ POS
- Ⓢ S.S. SINK - DOUBLE BASIN
- Ⓡ ROTARY GLASS WASHER
- Ⓣ TWO DOOR DISPLAY FRIDGE

Brewery Equipment Schedule

- Ⓜ MLT - 10HL
- Ⓚ KWIP - 10HL
- Ⓛ FV - 20HL
- Ⓛ BBT - 20HL
- Ⓛ FV - 10HL
- Ⓛ BBT - 10HL
- Ⓡ GRAIN CRACKER
- Ⓚ KEG WASHER
- Ⓡ BOILER
- Ⓢ S.S. SINK - TRIPLE BASIN

Floor Plan Legend

- Ⓛ FLOOR DRAIN
- Ⓛ GREASE INTERCEPTOR
- Ⓛ TRADE WASTE INTERCEPTOR
- Ⓛ TRENCH DRAIN



1 Ground Floor Plan
Scale: 1/4" = 1'-0"

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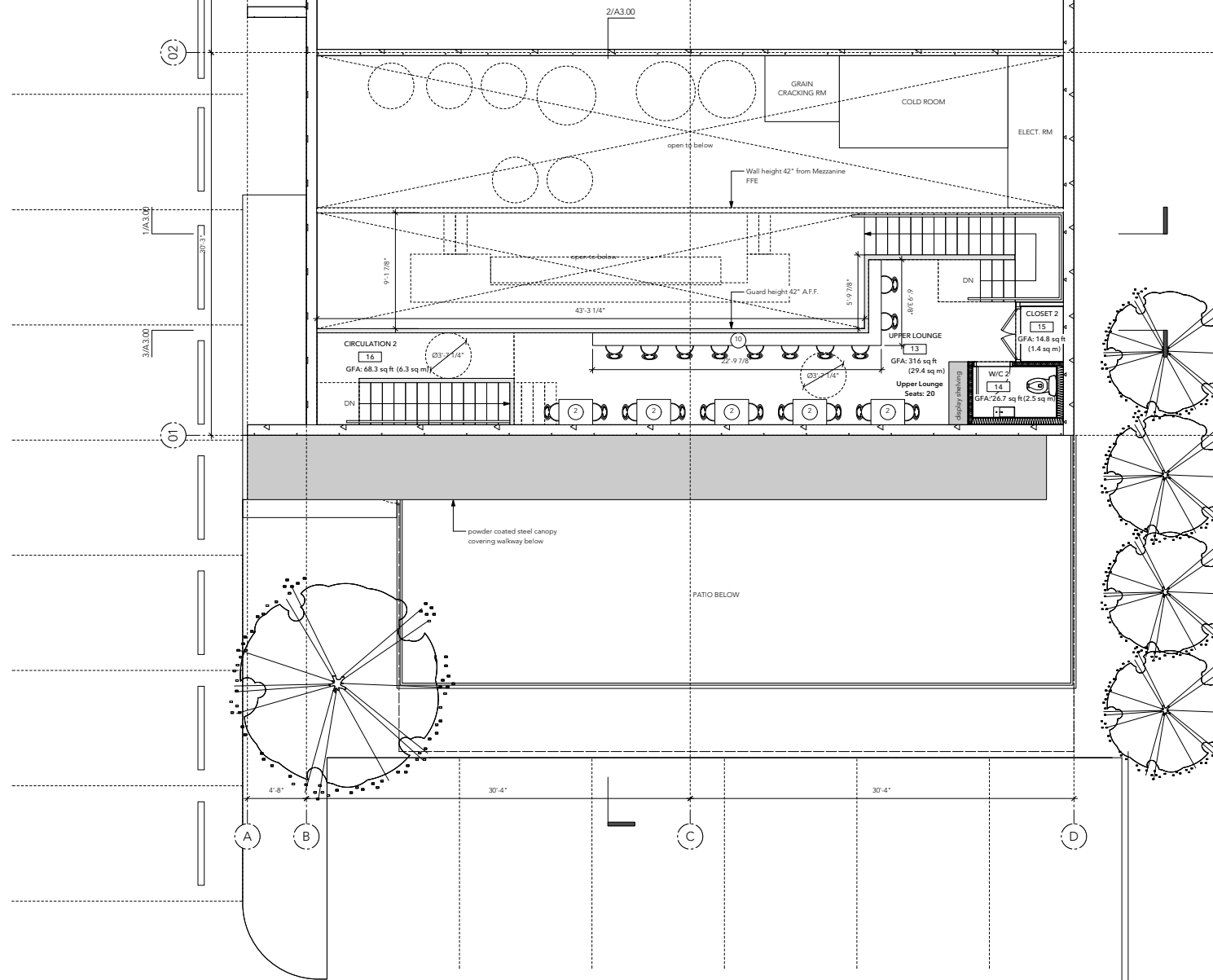
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Ground Floor Plan
Scale As Noted



1 Mezzanine Floor Plan
Scale: 1/4" = 1'-0"

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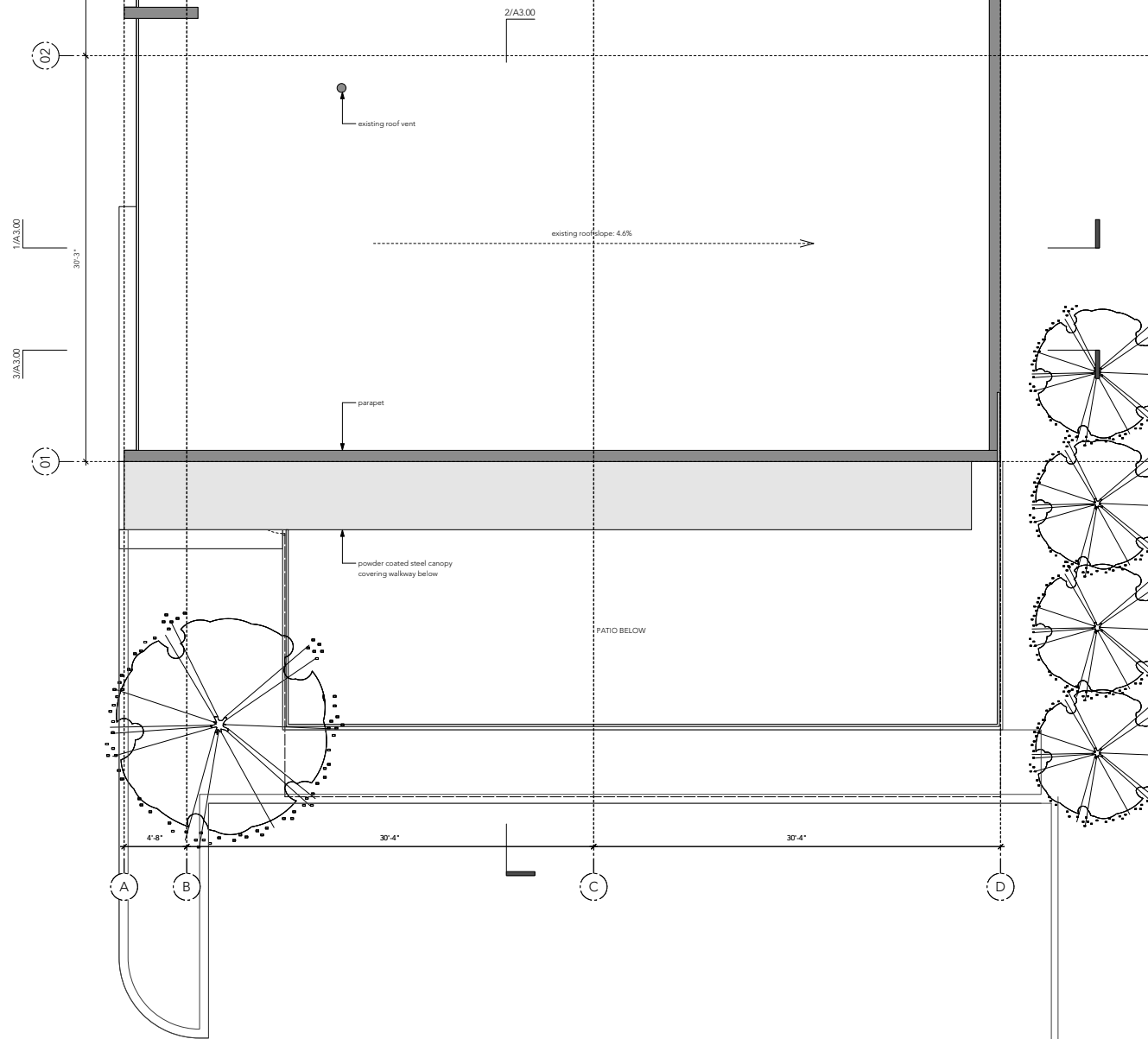
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Mezzanine Plan
Scale As Noted



1 Roof Plan
Scale: 1/4" = 1'-0"



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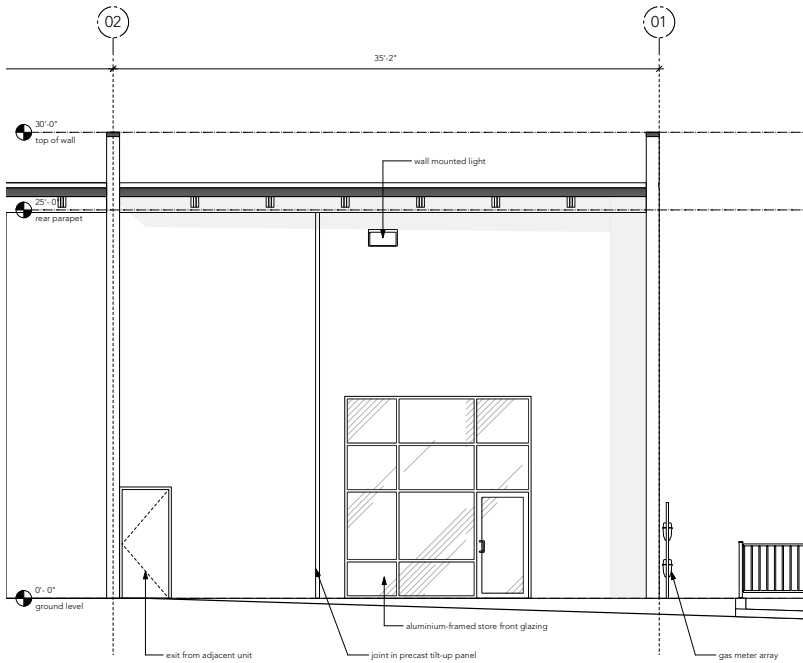
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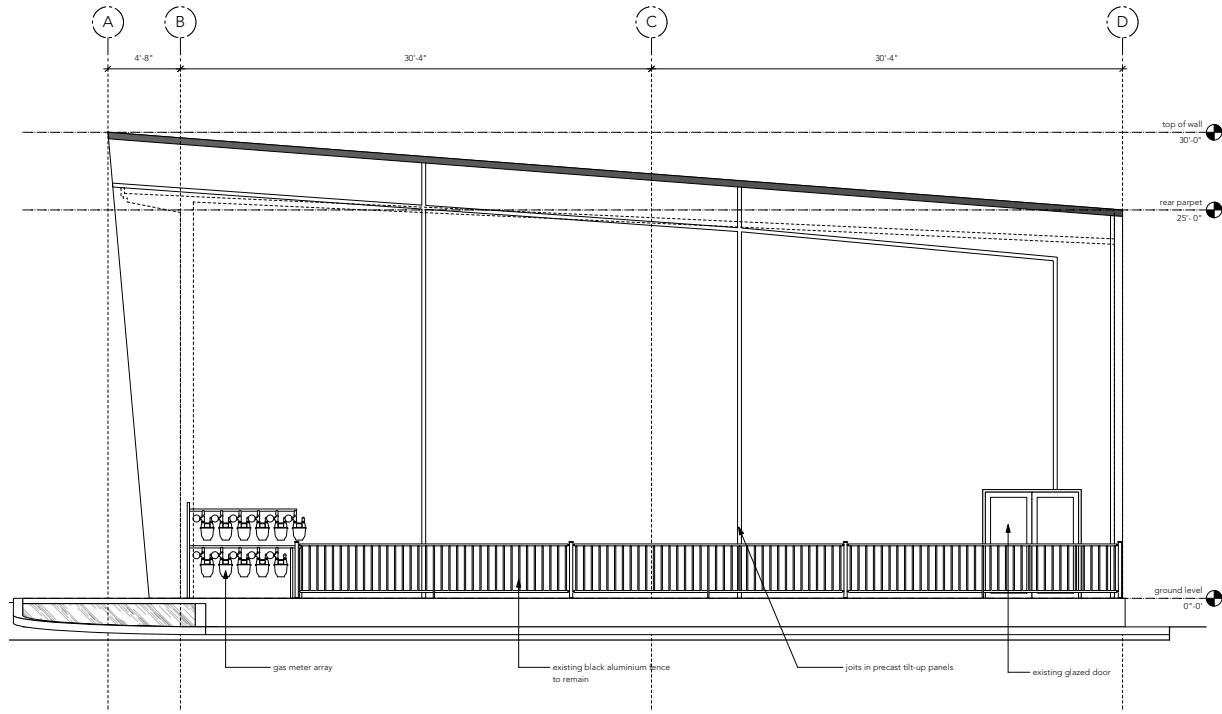
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Roof Plan
Scale As Noted

A 1.12



1 Existing West Elevation
Scale: 1/4" = 1'-0"



2 Existing South Elevation
Scale: 1/4" = 1'-0"

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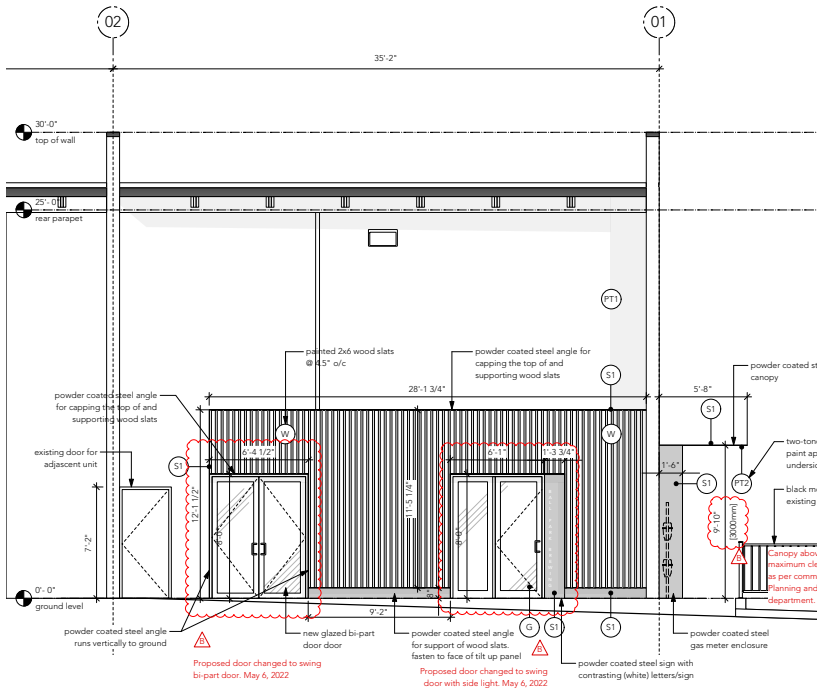
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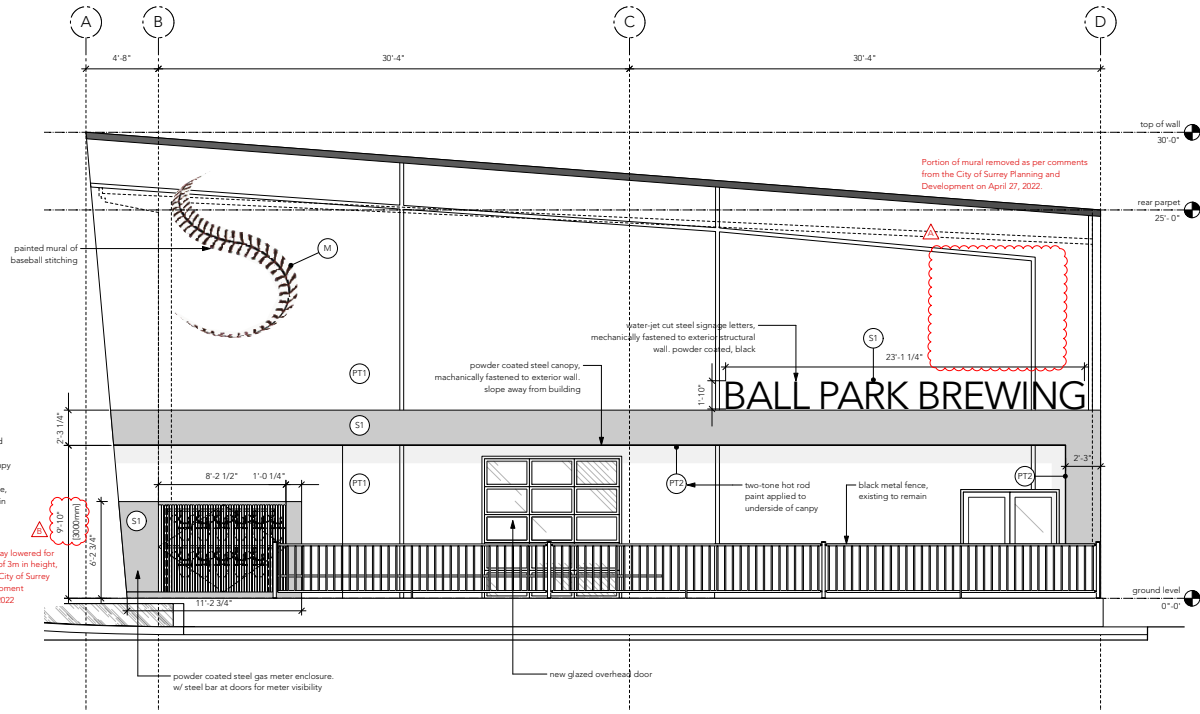
Ball Park Brewing
#116 - 15063 54A Avenue
Surrey, BC, V3S 5K7

Existing Elevations
Scale As Noted

A 2.00



1 Proposed West Elevation
Scale: 1/4" = 1'-0"



2 Proposed South Elevation
Scale: 1/4" = 1'-0"

Exterior Finishes Keynote Legend

- (PT1) paint 01 - white
- (PT2) kameleon pearl two-tone paint (green / blue)
- (S1) powder coated steel - black
- (M) mural
- (W) 2x6 painted wood members
- (G) dichroic glass

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Proposed Elevations
Scale As Noted

4.0 Tree Preservation Summary

Table 2: City of Surrey tree preservation summary table for on-site and off-site trees, including the number of replacement trees proposed.

Surrey Project Number

Site Address 116-15063 54A Ave

Registered Arborist Morgan Sullivan

On-Site Trees	Number of Trees
Protected Trees Identified (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	1
Protected Trees to be Removed	0
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	1
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed Open Space / Riparian Areas	0

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

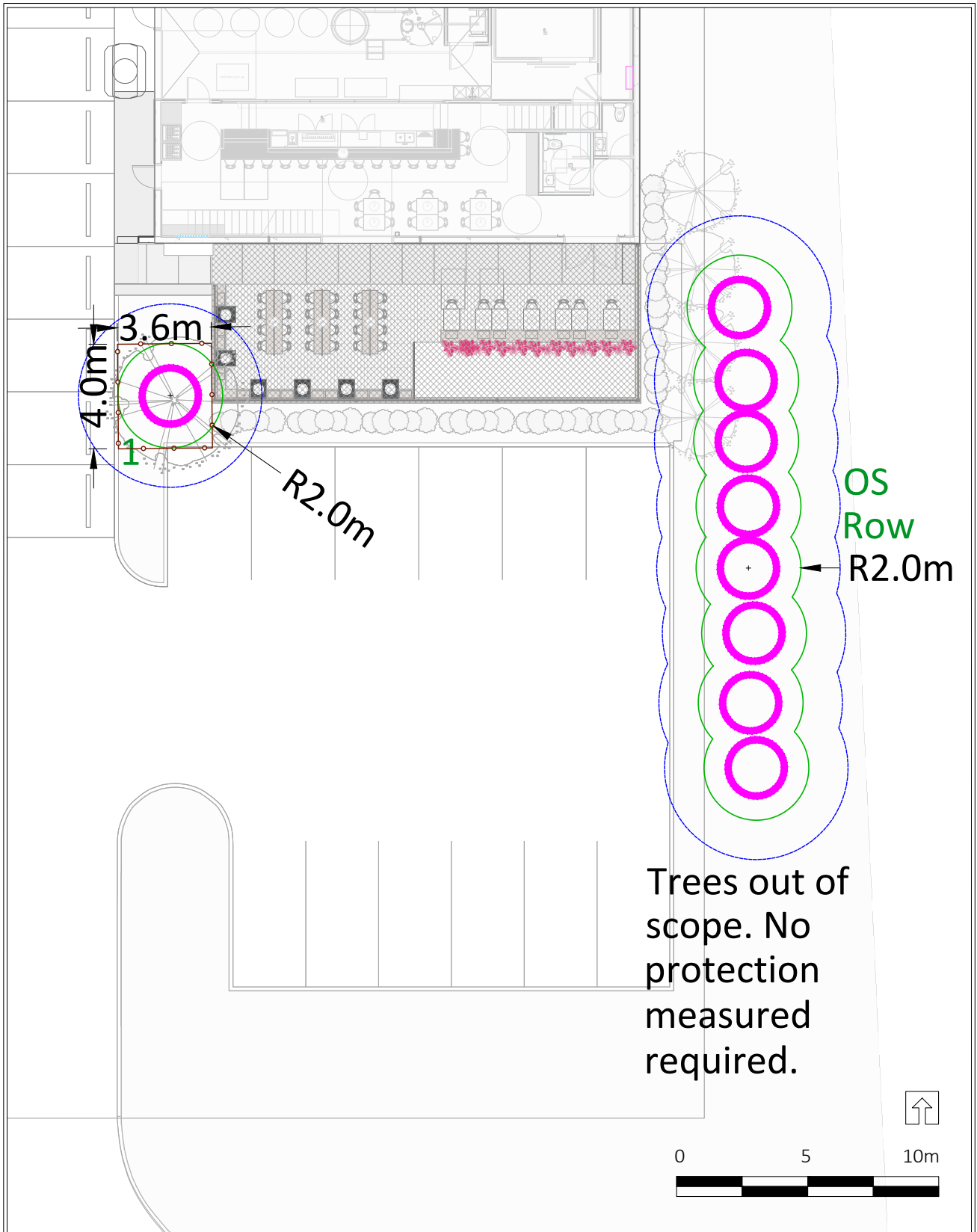
Summary, report and plan prepared and submitted by



Signature of Arborist

April 22, 2022

Date



LEGEND	CRITICAL ROOT ZONE	NO BUILD ZONE	UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED)
	TREE PROTECTION ZONE AND FENCING	SURVEYED TREE TO BE RETAINED	TREE TO BE REMOVED

REFERENCE DRAWINGS
1. Base Plan provided by client

- NOTES**
- The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
 - All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
 - The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. ($\frac{1}{3}$ the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
 - No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
 - The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.
 - Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
 - This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
 - This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.



3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886

Drawing title: Tree Management Plan
Project address: 116-15063 54A Ave, Surrey
Client: Thrive Liquor and Cannabis Advisors

Drawing No: 001
Date: 2022/04/22
Drawn by: MS
Page Size: TABLOID 11"x17"

Page #
1 of 1