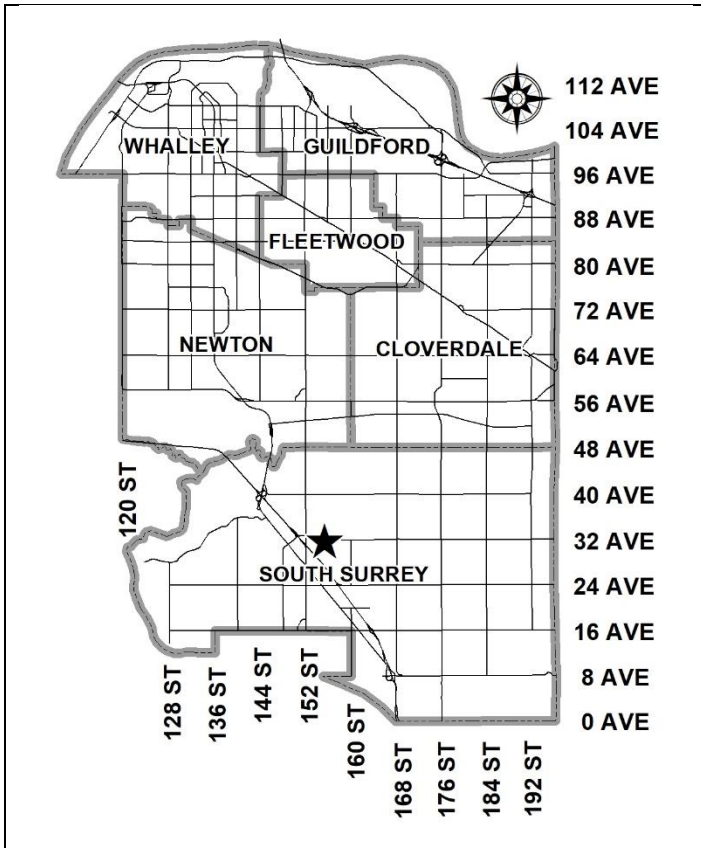


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7922-0376-00

Planning Report Date: January 15, 2024



**PROPOSAL:**

- Development Permit
- Development Variance Permit

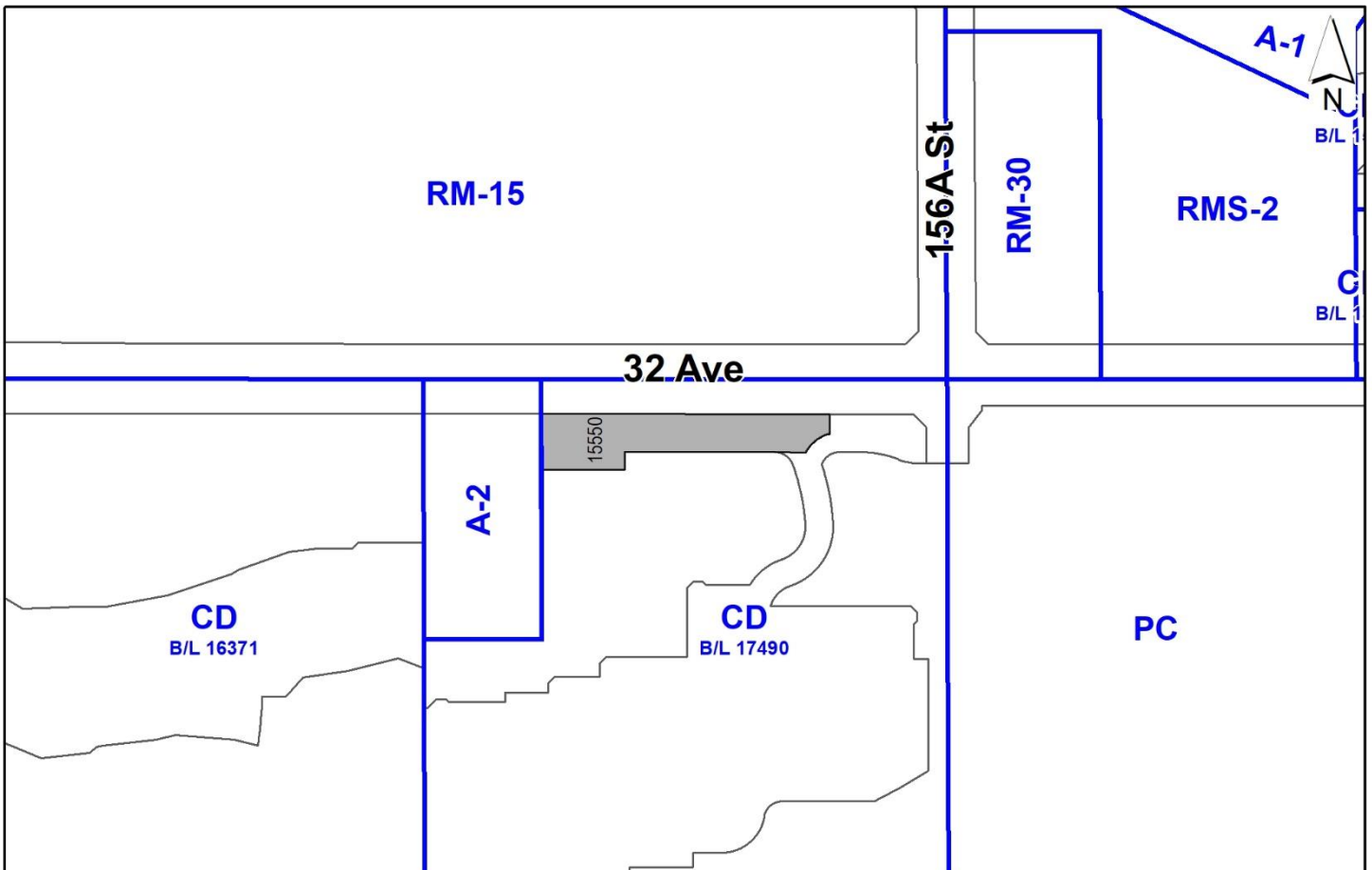
to permit the development of a 3-storey commercial building, including a medical office and small-scale drugstore.

**LOCATION:** 15550 - 32 Avenue

**ZONING:** CD

**OCP DESIGNATION:** Urban

**NCP DESIGNATION:** Live and Work or Business Park Areas



## RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character, Sensitive Ecosystems, and Hazard Lands.
- Approval for Development Variance Permit to proceed to Public Notification.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary Part 5, Off-Street Parking to reduce the minimum drive aisle width, Part 7A to reduce the minimum streamside setback and to vary the existing Comprehensive Development (CD) Zone to reduce the minimum setback requirement.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the “Urban” designation in the Official Community Plan (OCP).
- The proposal complies with the “Live and Work or Business Park Areas” designation in the Rosemary Heights Business Park Plan
- The proposal complies with the “General Urban” designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas), Hazard Lands (Steep Slopes), and Form and Character.
- The proposal is substantially consistent with the previously approved applications (7910-0173-00 and 7915-0316-00) which were approved by Council, with minimal updates which improve the overall design of the proposed building.
- The proposed streamside setback will exceed the minimum requirement under the Provincial Riparian Area Protection Regulation (RAPR) and is consistent with the setback approved under previous development applications. The reduction to the minimum south lot line setback will not impact adjacent properties.
- The applicant has demonstrated acceptable vehicle movements on site and with consideration to required screening for the adjacent park use, in order to support a reduction to the minimum drive aisle width.
- Overall, the requested variances are required in order to bring the proposal into compliance with current regulations and to accommodate the unique nature of the subject site.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file Development Permit No. 7915-0316-00.
2. Council authorize staff to draft Development Permit No. 7922-0376-00 generally in accordance with the attached drawings (Appendix I), the finalized Ecosystem Development Plan and Geotechnical report.
3. Council approve Development Variance Permit No. 7922-0376-00 (Appendix V) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum south lot line setback from 1.5 metres to 0.3 metres;
  - (b) to reduce the minimum drive aisle width for on-site parking spaces 1-24 from 7.0 metres to 6.9 metres and to 0.0 metres for parking spaces 25-28;
  - (c) to permit a free-standing sign within a yard that abuts a highway where the business to which the sign pertains is located in a building whose setback is adjacent to that highway is less than 5.0 metres; and
  - (d) to reduce the minimum setback for a Class A (red-coded) stream from 30.0 metres to a minimum streamside setback of 12.94 metres.
4. Council instruct staff to resolve the following issues prior to final approval:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (f) submission and acceptance of the Riparian Areas Protection Regulation (RAPR) assessment from the Ministry of Environment and Climate Change;
  - (g) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff;
  - (h) entering into a P-15 agreement with the City's Parks Department for maintenance of replanting in the conveyed riparian areas; and

- (i) submission of a finalized, peer reviewed, Geotechnical Report to the satisfaction of City staff and registration of a Section 219 Restrictive Covenant to adequately address requirements identified in the Geotechnical Report.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Vacant	Live and Work or Business Park Areas, Buffers (Rosemary Heights Business Park)	CD
North (Across 32 Avenue):	Townhouse Residential	Townhouses (Rosemary Heights Central)	RM-15
East (Across Shared Driveway/Access):	Cemetery	Existing Cemetery (North Grandview Heights)	PC
South:	Park/Riparian Area	Creek Preservation Areas (Rosemary Heights Business Park)	CD
West:	Single Family Residential (Conditional approval granted for 3-storey Business Park Building)	Live and Work or Business Park Areas, Creek Preservation Areas, Buffers (Rosemary Heights Business Park)	A-2 (3 <sup>rd</sup> Reading granted for rezoning to IB-3)

### Context & Background

- The subject site is approximately 1,796 square metres (0.44 acres) in size and is designated “Live & Work or Business Park Area” and “Buffers” in the Rosemary Heights Business Park Neighborhood Concept Plan (NCP) and “Urban” in the Official Community Plan (OCP). A Class A (red-coded) stream runs through the City park land to the south of the subject property.
- The proposal has been reviewed under two previous Development Applications:
  - 7910-0173-00 – Rezoning from “Intensive Agriculture Zone (A-2)” to “Comprehensive Development Zone (CD)” (By-law No. 17490), Subdivision, and Development Permit to develop 96 live/work townhouse units, open space, and a 3-storey office building on the parent parcel. Development Permit No. 7910-0173-00 was issued and the site was successfully rezoned and subdivided resulting in four parcels:
    - 15588 – 32 Avenue – 96 live/work townhouse units constructed;
    - 15564 – 32 Avenue – Greenbelt, transferred to the City as park land;

- 15594 – 32 Avenue – City purchased park land;
- 15550 – 32 Avenue (subject property) – 3-storey office building was not constructed, and the Development Permit subsequently expired.
- 7915-0316-00 – Development Permit for a 3 -storey commercial building and amendments to the CD Zone (Rezoning) to allow a small-scale drug store as an accessory use and to reduce the west side yard setback from 6.0 metres to 3.6 metres. The CD Zone was successfully amended, and Development Permit No. 7915-0316-00 was issued, as was a Building Permit. However, the building was never constructed and the issued Development Permit expired. As such, the issuance of a new Development Permit is required.
- In 2017, the City adopted new regulations pertaining to development on environmentally sensitive lands, including Part 7A, Streamside Protection (Zoning Bylaw), DP<sub>2</sub> – Hazard Lands Development Permit Area (OCP), and DP<sub>3</sub> – Sensitive Ecosystems Development Permit Area (OCP). Although the siting is substantially consistent with what was previously approved, the current proposal requires a Development Variance Permit to reduce the minimum Streamside Setback in Part 7A, as well as the issuance of a Development Permit for Hazard Lands and Sensitive Ecosystems, in addition to the issuance of a new Development Permit for Form and Character.
- The subject application proposes a 3-storey commercial building which will include office, medical office and a small-scale drugstore. The proposal is substantially consistent to the previous applications, with minor updates made to the site plan and building design, including a rooftop amenity space with associated stair landings and elevator, adjustments to siting and incorporating the waste and recycling facility within the building. Other adjustments have been made to enhance the buildings usability, design and pedestrian interface.
- In order to accommodate these minor updates and bring the proposal into compliance with Part 7A, a Development Variance Permit has been requested to reduce the streamside setback from 30.0 metres to a minimum of 12.94, to reduce the south lot line setback for a small portion of the building, to reduce the minimum drive aisle width and to permit a free-standing sign within a yard with a building setback less than 5.0 metres.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant proposes a Development Permit for Form and Character, Sensitive Ecosystems (Streamside Areas) and Hazard Lands (Steep Slope) in order to construct a 3-storey commercial building, including office, medical office and a small-scale drugstore.
- The site will develop under the existing CD Zone (Bylaw No. 17490) which was adopted under previous Development Application No. 7910-0173-00 and amended under 7915-0316-00.

- A Development Variance Permit is proposed to reduce the streamside setback from 30.0 metres to a minimum of 12.94, to reduce the south lot line setback for a small portion of the building, to reduce the minimum drive aisle width and to permit a free-standing sign within a yard with a building setback less than 5.0 metres.

	Proposed
<b>Lot Area</b>	
Net Site Area:	1,796 square metres
<b>Number of Lots:</b>	1
<b>Building Height:</b>	13.0 metres (excluding elevator service room)
<b>Floor Area Ratio (FAR):</b>	0.64
<b>Floor Area</b>	
Total:	1,163.08 square metres

## Referrals

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
- Parks, Recreation & Culture: Parks will accept a P-15 agreement with plantings in the existing park as the developer's impact mitigation plan for the required streamside setback DVP. A detailed planting plan and cost estimate is required for review and approval by the PRC Department, prior to issuance of the DP and DVP.
- Morgan Creek Park is the closest active park with amenities including, a playground, soccer fields, and tennis courts, and is 230 metres walking distance from the development. 114D – Greenbelt is the closest park with natural area and is adjacent to the development.
- Surrey Fire Department: No concerns.
- Advisory Design Panel: The application was not subject to review by the Advisory Design Panel. Staff have reviewed the application and found this to be satisfactory.

## Transportation Considerations

### Traffic Impacts

- The proposed development is anticipated to generate approximately one vehicle trip every one to two minutes, according to industry standard rates.
- A site-specific Transportation Impact Analysis was not required as the development-generated traffic is below the City's threshold.

### Access and Parking

- The subject site is proposed to be accessed via the existing drive aisle connecting to the intersection of 32 Avenue and 156A Street. No new driveways to 32 Avenue are proposed.
- According to the Zoning Bylaw, a total of 28 parking spaces are required to be provided on site.
- The applicant is proposing to provide a total of 28 parking spaces on the subject site, meeting the Zoning Bylaw requirements.
- The applicant is proposing a variance for the drive aisle width from 7.0 metres per the Zoning Bylaw to a proposed width of 6.9 metres accessing twenty-four (24) of the proposed parking spaces in order to accommodate fencing along the south side of the property adjacent to the park. The drive aisle width is also proposed to be reduced within the subject property fronting the easternmost four (4) parking spaces due to the existing property line configuration. With the existing access easement on the adjacent property accounted for, the functional drive aisle fronting the four parking spaces exceeds the required 7.0 metre width. Staff can support the proposed variance for the drive aisle width based on demonstrated acceptable vehicle movements on site and with consideration to required screening for the adjacent park use.

### **Parkland and/or Natural Area Considerations**

- The existing park to the south was conveyed under previous Development Application No. 7910-0173-00. In accordance with the City's current policies and regulations, no additional conveyance is required. However, the applicant will be required to enter into a P-15 agreement with the City to provide plantings on the parkland in order to enhance the protection of the streamside area.

### **Sustainability Considerations**

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## **POLICY & BY-LAW CONSIDERATIONS**

### **Regional Growth Strategy**

- The proposal complies with the "General Urban" land use designation in the Regional Growth Strategy (RGS).

### **Official Community Plan**

#### Land Use Designation

- The proposal complies with the "Urban" land use designation in the Official Community Plan (OCP).

- The current OCP (also known as the “Plan Surrey 2013” or “2013 OCP”) was adopted by Council on October 20, 2014. Prior to this date, the subject site and the surrounding lands, including the live and work townhouses to the east, south and west, were designated “Industrial” in the OCP.
- The 2013 OCP introduced a new land use designation – Mixed Employment. The Business Park lands in the Rosemary Heights Business Park NCP area were redesignated from Industrial to Mixed Employment in the OCP at this time. The subject site, and the sites to the east, south and west, were redesignated to Urban in the OCP. This was done to reflect the residential nature of the live and work townhouse developments to the south. However, the subject site and the site abutting to the west at 15542 – 32 Avenue should have been redesignated to Mixed Employment, not Urban, to reflect the proposed business park uses on these sites, which had been approved/conditionally approved at the time.
- The redesignation of the subject site and the site at 15542 – 32 Avenue from Urban to Mixed Employment will be undertaken by Community Planning at a later date, as part of a future OCP update.

## Secondary Plans

### Land Use Designation

- The proposal complies with the “Live & Work or Business Park Area” and “Buffers” in the Rosemary Heights Business Park Neighborhood Concept Plan (NCP).

## Zoning By-law

- The applicant has proposed a Development Permit utilizing the existing Comprehensive Development (CD) Zone (By-law No. 17490), with a request for a Development Variance Permit.
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Comprehensive Development Zone (CD)", streamside setbacks and parking requirements.

CD Zone (By-Law No. 17490)	Permitted and/or Required (Block B)	Proposed
<b>Floor Area Ratio:</b>	0.65	0.64
<b>Lot Coverage:</b>	45%	21.84%
<b>Yards and Setbacks</b>		
North:	1.5 metres	4.5 metres
East:	1.5 metres	1.5 metres
South:	1.5 metres	1.5 metres
West:	3.6 metres	3.6 metres
<b>Height of Buildings</b>		
Principal buildings:	13.0 metres	13.0 metres (excluding elevator service room)
<b>Streamside (Part 7A)</b>	<b>Required</b>	<b>Proposed</b>
<b>Streamside Setbacks</b>		



CD Zone (By-Law No. 17490)	Permitted and/or Required (Block B)	Proposed
Class A (red-coded) Stream:	30.0 metres	15.0 – 41.37 metres (variable)
<b>Parking (Part 5)</b>	<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>		
Total:	28	28

### Setback and Parking Variances

- The applicant is requesting the following variances:
  - to reduce the minimum south lot line setback from 1.5 metres to 0.3 metres; and
  - to reduce the minimum drive aisle width for parking spaces 1-24 from 7.0 metres to 6.9 metres and to 0.0 metres for parking spaces 25-28;
- A reduction to the south lot line setback was requested in order to improve on-site circulation and maneuverability between the on-site parking and the eastern building face. In particular, this variance avoids potential conflict between the waste and recycling room and the required accessible parking space.
- The subject site is accessed from the southeast corner of the property, from a shared driveway, which was secured through a Statutory Right-of-Way off a signalized intersection at 32 Avenue and 156A Street. Required on-site parking spaces #25-28 are directly adjacent to the site entrance, resulting in the southeast lot line encroaching into the required 7.0 metre drive aisle. Given that there is no curb let down at the site entrance, staff have no concerns with the maneuverability of these parking spaces, as the drive-aisle will function as one with the adjacent driveway.
- Staff support the requested variances to proceed for consideration.

### Streamside Variance

- The applicant is requesting the following streamside variance:
  - to reduce the minimum setback for a Class A (red-coded) stream from 30.0 metres to a variable setback between 12.94 metres and 41.37 metres.
- The subject lot and support for the proposed 3-storey commercial were established prior to Part 7A, Streamside Protection being added to the Zoning Bylaw. Staff have reviewed the proposal in conjunction with the City's updated policies and regulations and do not have any concerns.
- An Ecosystem Development Plan (EDP) has been submitted in conjunction with the Sensitive Ecosystems Development Permit application, as detailed in the Development Permit section below. The EDP was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required.
- Staff support the requested variances to proceed for consideration.

## Signage

- The applicant is requesting the following Sign Bylaw variance:
  - to permit a free-standing sign within a yard that abuts a highway where the business is located in a building whose setback is less than 5.0 metres.
- The requested variance will allow a free-standing sign to be located along the property's frontage, adjacent to the entrance, where the building's setback is 4.5 metres from a highway (32 Avenue), whereas the Sign Bylaw specifies that the building must be setback a minimum of 5.0 metres in order to locate a free-standing sign between a building and a highway.
- Staff support the requested variance, given the proposed sign complies with all other provisions of the Sign Bylaw, and that the variance is minor and necessary due to site constraints.

## **PUBLIC ENGAGEMENT**

- The Development Proposal Sign was installed on December 12, 2023. To date, staff have not received any responses from neighbouring residents.

## **DEVELOPMENT PERMITS**

### **Sensitive Ecosystems (Streamside Areas) Development Permit Requirement**

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class A (red-coded) watercourse, Upper Titman Creek. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class A (red-coded) watercourse requires a minimum streamside setback of 30.0 metres, as measured from the top of bank. Although the proposed setback is substantially consistent with the previous proposals, it does not comply with the updated requirements outlined in the Zoning By-law.
- The riparian area was conveyed to the City as a lot for conservation purposes as a condition of rezoning approval for previous Development Application No. 7910-0173-00. The applicant will be required to enter into a P-15 agreement as a condition of Development Permit issuance under the subject application in support of the variance being sought.
- An Ecosystem Development Plan, prepared by Libor Michalak, *R.P. Bio.*, of Keystone Environmental and dated August 10, 2023 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

- The applicant's Qualified Environmental Professional (QEP) has indicated that the proposed setback significantly exceeds the minimum Provincial setback of 10.0 metres, which was assessed under the RAPR Detailed Assessment Methodology. Submission of the assessment, and acceptance, from Ministry of Environment and Climate Change is required as a condition of Development Permit issuance.

### **Hazard Lands (Steep Slope) Development Permit Requirement**

- The subject property falls within the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP, given that the site contains steep is within 30 metres from the top of a slope. The Hazard Land (Steep Slope) Development Permit is required to protect developments from hazardous conditions.
- The site topography is flat, with the top of bank of Upper Titman Creek located approximately 15.0 metres south of the rear property line.
- A geotechnical report, prepared by Tegbir S. Bajwa, *P. Eng.*, of Able Geotechnical Ltd. and dated November 30, 2022. The report will be peer reviewed as a condition of approval to confirm the reports finding. The finalized geotechnical report will be incorporated into the Development Permit.
- The consultant has determined that site conditions are safe for the intended use, and that the development will not impact the stability of surrounding properties. Registration of a Section 219 Restrictive Covenant will be required to ensure requirements identified in the Geotechnical Report are addressed.
- At Building Permit stage, the Building Division will require Letters of Assurance from a geotechnical engineer to ensure that the building plans comply with the recommendations in the approved geotechnical report.

### **Form and Character Development Permit Requirement**

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Rosemary Heights Business Park Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Rosemary Heights Business Park Plan and improves the drawings approved under Development Application Nos. 7910-0173-00 and 7915-0316-00.
- The 3-storey building is contemporary in architectural character and features high quality durable materials, incorporating neutral earth tones that complement the surrounding neighborhood. Design features include red brick and fabric awnings which contribute to the buildings visual interest and a prominent ground floor. A three storey curtain wall at the buildings northeast corner serves to offset the buildings scale while providing a distinct architectural feature.

- The applicant has worked with staff to create a pleasant pedestrian interface, introduce glazing (curtain wall) to minimize the impact of introducing a rooftop amenity space and to improve accessibility and circulation between on-site parking and the buildings entrance.
- The proposed signage, which consists of a fascia sign on the upper storey, canopy signage on the fabric awnings, and a free-standing sign, has been designed to be architecturally consistent with the building.

### Landscaping

- A Landscaping Plan, last revised August 10, 2023, has been prepared by Donald V.S. Duncan. The proposal includes a landscape strip along the full frontage of 32 Avenue, varying between 1.9 and 2.5 metres, as well as between the building and the west and south lot lines. Plantings will include Pacific Fire Vine Maple, Flame Amur Maple, and Akebobo Flowering Cherry trees, and a variety of shrubs.
- A total of 19 trees are proposed to be planted on the subject property.
- A paved walkway will be located along the front of the building for pedestrian access. The buildings interface is supplemented with benches and bike racks.
- Additional planting will be provided south of the property within the City park land, to ensure streamside safeguarding, which will be secured through a P-15 Agreement with the City.

### Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include coordination between drawings and plans and updating dimensions for additional clarity.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

## TREES

- Kin Cho, ISA Certified Arborist of BC Plant Health Care Inc. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

**Table 1: Summary of Proposed Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
European Mountain Ash	4	4	0
<b>Total</b> (excluding Alder and Cottonwood Trees)	<b>4</b>	<b>4</b>	<b>0</b>
<b>Total Replacement Trees Proposed</b> (excluding Boulevard Street Trees)		<b>8</b>	
<b>Total Retained and Replacement Trees Proposed</b>		<b>8</b>	
<b>Estimated Contribution to the Green City Program</b>		<b>\$0</b>	

- The Arborist Assessment states that there are a total of four mature trees on the site, and there are no Alder or Cottonwood trees. The applicant proposes to remove all four trees as part of this development proposal, due to a conflict with the on-site parking.
- The Tree Preservation Summary (Appendix IV) includes an additional 188 protected trees, including Alder and Cottonwood trees that are located on City land, within the boulevard and park land, which will be retained except where removal is required due to hazardous conditions. This will be determined at a later time, in consultation with the Parks, Recreation and Culture Department.
- A detailed planting plan prepared by a Registered Professional Biologist (R.P. Bio.) and an associated P-15 agreement are required for the monitoring and maintenance of the proposed trees to be planted in the riparian area, conveyed under previous Development Application No. 7910-0173-00.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio.
- In addition to any replacement trees that may be identified, boulevard street trees will be planted on 32 Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Pacific Fire Vine Maple, Flame Amur Maple, and Akebobob Flowering Cherry.

- In summary, a total of eight trees are proposed to be retained or replaced on the site with no contribution to the Green City Program required at this time.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	Environmental Plan
Appendix IV.	Summary of Tree Preservation and Tree Plan
Appendix V.	Development Variance Permit No. 7922-0376-00

*approved by Shawn Low*

Don Luymes  
General Manager  
Planning and Development

SA/ar

# SURREY OFFICE BUILDING

15550 32nd AVENUE  
SURREY, BC

# DEVELOPMENT PERMIT

RESUBMISSION

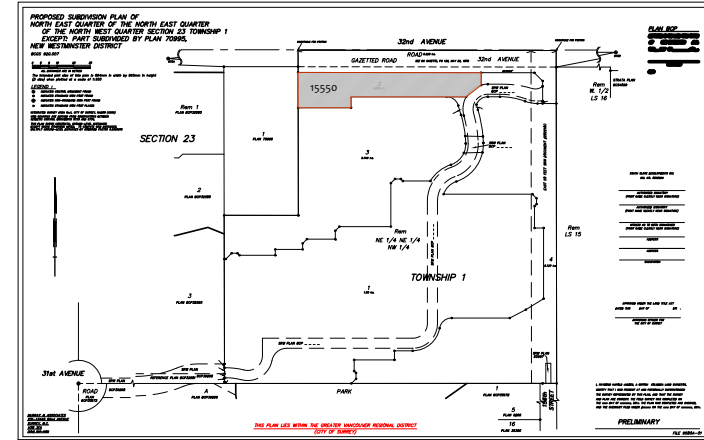
AUG 14, 2023



Appendix I



NORTH EAST PERSPECTIVE  
SCALE: NOT TO SCALE



## Directory:

<b>OWNER</b> 1027558 B.C. L.M. 212 5455 152ND STREET Surrey, BC V2S 5A5 T: 604-767-3204 F: 604-767-3205 E: <a href="mailto:ron@1027558.com">ron@1027558.com</a> CONTACT: Mr. Rodney Gill	<b>CIVIL</b> MARLAND ENGINEERING CORPORATION Civil & Structural Engineers 6360, 8345 - 128 Street, Surrey, BC V2W 4E1 T: 604-543-8044 F: 604-543-8104 EMAIL: <a href="mailto:info@marlandeng.com">info@marlandeng.com</a> CONTACT: Rajeev Mehra, P.Eng.	<b>GEOTECHNICAL</b> ARLE GEOTECHNICAL LTD. 1000 106 Avenue, Surrey, BC V2W 4E1 T: 778-945-2484 E: <a href="mailto:info@arleg.com">info@arleg.com</a> CONTACT: Taylor
<b>ARCHITECT</b> JN ARCHITECTURE INC. 107 - 10055 546 AVE Surrey, B.C. V2S 5Z7 T: 604-586-2005 E: <a href="mailto:jnarch@jnavh.ca">jnarch@jnavh.ca</a> CONTACT: Mr. Joe Miriam, architect, abc, abc, mbc	<b>LANDSCAPE ARCHITECT</b> DVS DESIGN 603 - 220 ELEVENTH STREET NEW WESTMINSTER BC V3M 0M0 T: 778-791-4225 E: <a href="mailto:Arundac@jnavh.com">Arundac@jnavh.com</a> CONTACT: Mr. Donald Deman	<b>ARBORIST</b> ECOSYSTEM ENVIRONMENTAL 248 Waterloo Street, Surrey, BC V2W 4E1 T: 604-420-0871 E: <a href="mailto:info@ecosystemenv.com">info@ecosystemenv.com</a> CONTACT: Liber Michalski
<b>STRUCTURAL</b> MARLAND ENGINEERING CORPORATION Civil & Structural Engineers 6360, 8345 - 128 Street, Surrey, BC V2W 4E1 T: 604-543-8044 F: 604-543-8104 EMAIL: <a href="mailto:info@marlandeng.com">info@marlandeng.com</a> CONTACT: Angel Lopez, P.Eng.	<b>SURVEYOR</b> ORSINI AND ASSOCIATES UNIT 204, 15280-88TH AVENUE SURREY, B.C. V3S 2S1 T: 604-587-8547E: E: <a href="mailto:office@orsini.com">office@orsini.com</a> F: 604-587-8191 T5 CONTACT:	

## Architectural Drawing List:

DRAWING No.	DRAWING TITLE	REV.	ISSUED FOR	ISSUE DATE
A-00	COVER SHEET	3	ISSUED FOR DP	2023/07/21
A-01	PROJECT DATA & ZONING RECONCILIATION	1	ISSUED FOR DP	2023/07/21
A-02	DESIGN BRIEF	1	ISSUED FOR DP	2023/07/21
A-03	SITE CONTEXT	1	ISSUED FOR DP	2023/07/21
A-04	FIRE TRUCK ACCESS ROUTE	2	ISSUED FOR DP	2023/07/21
A-05	SHADOW STUDY	2	ISSUED FOR DP	2023/07/21
A-100	BASE PLAN	1	ISSUED FOR DP	2023/07/21
A-100.1	SITE PLAN & STREEBSCAPE	2	ISSUED FOR DP	2023/07/21
A-100.2	SIGNAGE DETAIL	1	ISSUED FOR DP	2023/07/21
A-101 & 102	MAIN FLOOR, 2ND FLOOR, 3RD FLOOR, ROOF DECK PLAN	1	ISSUED FOR DP	2023/07/21
A-102A	ROOF AREA DIAGRAM	1	ISSUED FOR DP	2023/07/21
A-201 & 202	ELEVATIONS	2	ISSUED FOR DP	2023/07/21
A-300	SECTIONS	2	ISSUED FOR DP	2023/07/21
A-900	PERSPECTIVES	2	ISSUED FOR DP	2023/07/21

## Landscape Drawing List:

DRAWING No.	DRAWING TITLE	REV.	ISSUED FOR	ISSUE DATE
L0-00	WALLS & TREES	A	ISSUED FOR DP	2023/06/07
L2-00	HARDSCAPE KEY	A	ISSUED FOR DP	2023/06/07
L4-00	SOFT LANDSCAPE KEY	A	ISSUED FOR DP	2023/06/07
L5-01	LANDSCAPE DETAILS	A	ISSUED FOR DP	2023/06/07
L5-02	LANDSCAPE DETAILS	A	ISSUED FOR DP	2023/06/07

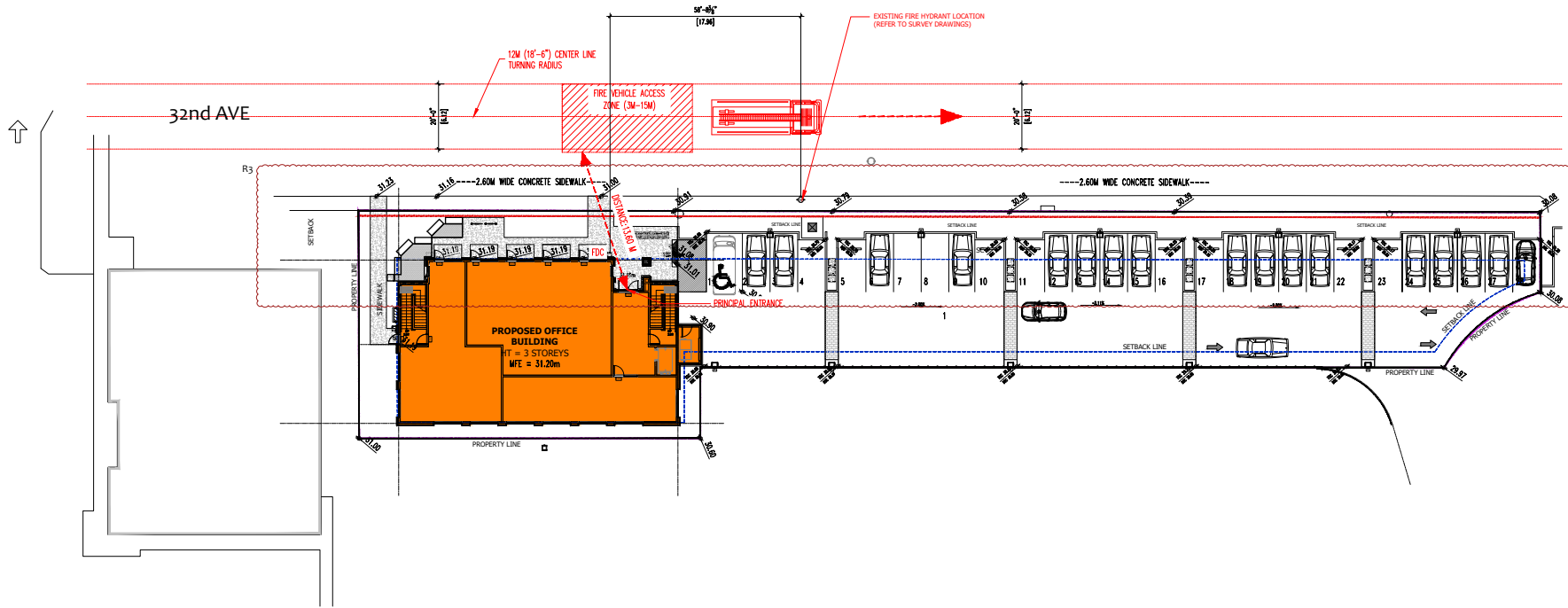
15550 SURREY OFFICE BUILDING











**FIRE ACCESS PLAN**  
SCALE: 1/8" = 1'-0" 1:192

**COPYRIGHT & USE OF DOCUMENTS**  
This plan and design are considered a Consultant's instrument of service and shall be considered the exclusive property of the Consultant, JM Architecture Inc. and may not be used or reproduced without the consent of Mr. Joe B. Miles, architect, etc., etc. This instrument of service shall only be used once and solely for this project; no further use shall be deemed a right by anyone without the written consent of the Consultant. No project reissues, additions or alterations shall arise from the use of this document, in any possible form of reproduction, without the written consent of the Consultant. This document may not be used or treated without written agreement from the Consultant. Only the client may obtain copies of this document, and only for the purpose of information and reference as it was initially intended.

Any change or manipulation of this document is expressly forbidden; this document must remain completely intact at all times. The Consultant will not be responsible for changes to this document by others.

**JMArchitecture Inc.**  
DESIGNING THE WORLD AS IT SHOULD BE

Project No. 16-010  
2887 187 - 15255 54th Avenue  
Surrey, B.C. V2S 3J2  
1-800-582-2882  
1-800-582-2882

**DO NOT SCALE DRAWING**  
Digital Certificate  
This document has been electronically certified with digital certificates and encryption technology authorized by the AIA and AIA/CES. The electronically original has been transmitted to you in electronic form. Any printed version can be relied upon as a true copy of the original when supplied by the original author, bearing images of the professional seal and digital certificate, or when printed from the digitally certified electronic file provided.

REV	DATE	DESCRIPTION	BY
3	2015-11-11	ISSUED FOR DEVELOPMENT PERMIT	JG
2	2015-11-11	ISSUED FOR DEVELOPMENT PERMIT	JG
1	2015-11-11	ISSUED FOR DEVELOPMENT PERMIT	JG

START DATE: 2015-06-15  
PROJECT No: 2015-11  
DR: JG  
CH: JMM  
SCALE: AS SHOWN  
Architects Seal



Project Name:  
**10050 32nd**  
OFFICE BUILDING  
SURREY, BC

1037959 B.C. LTD  
SURREY, BC  
MR. RUPINDER KOONER

**FIRE TRUCK ACCESS ROUTE  
STREETSCAPE**

REV No: 3 | Project No: 2015-11 | A-04









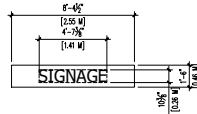
**TYPE C-AWNING SIGNAGE-ELEVATION**  
SCALE: 1/4" = 1'-0"

**TYPICAL AWNING/CANOPY SIGNAGE:**

- ONE SIGN PERMITTED EACH PREMISES.
- THE AWNING/CANOPY IS PROJECTED FROM THE FACE OF THE EXTERIOR WALL BY A MINIMUM OF 1.2 M (4 FT.) AND MAXIMUM OF 1.8 M (6 FT.), AND HAS A CLEARANCE OF A MINIMUM OF 2.4 M (8 FT.) AND MAXIMUM OF 3 M (10 FT.).
- THE SIGN SHALL BE LOCATED ONLY ON THE EXTERIOR OF AN AWNING/CANOPY AND THE SIGN SHALL NOT PROJECT MORE THAN 0.3 M (1 FT.)
- PERMITTED 1 SIGN PER PREMISES.
- COPY AREA SHALL NOT EXCEED SIZE OF SIGN AREA.

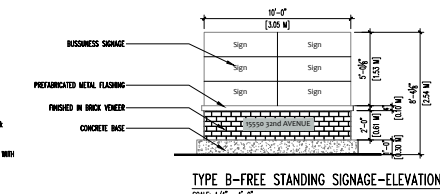


**TYPE C-AWNING SIGNAGE- 3D VIEW**  
KTS

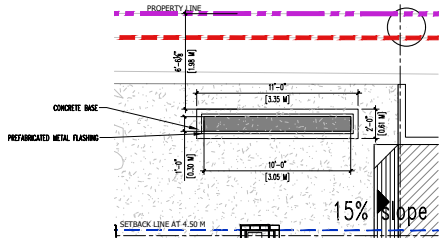


**TYPE C-AWNING SIGNAGE-DETAIL ELEVATION**  
SCALE: 1/4" = 1'-0"

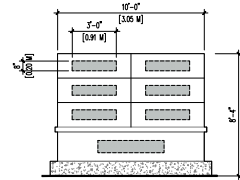
- COPY AREA OF INDIVIDUAL LETTERS- 0.26 SQ. M (1.01 SQ. FT.) PERMITTED COPY AREA IS 0.50 SQ. M.
- VERTICAL LOCATION - 2.40 M (8'-0")



**TYPE B-FREE STANDING SIGNAGE-ELEVATION**  
SCALE: 1/4" = 1'-0"



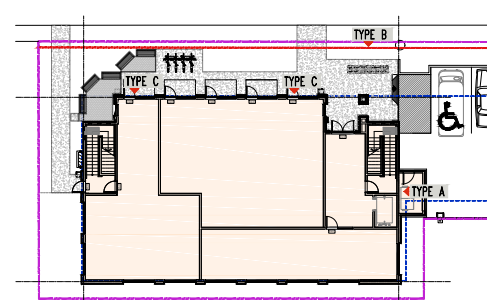
**TYPE B-FREE STANDING SIGNAGE-PLAN**  
SCALE: 1/4" = 1'-0"



**TYPE B-FREE STANDING SIGNAGE-DETAIL ELEVATION**  
SCALE: 1/4" = 1'-0"

**TYPICAL FREE-STANDING SIGNAGE:**

- ONE SIGN PERMITTED FOR EACH PREMISES.
- PROPOSED SIGN AREA IS 7.84 SQ. M; THE SIGN AREA SHALL NOT EXCEED 14 SQ. M (150 SQ. FT.) FOR SINGLE-FACED SIGNS.
- COPY AREA SHALL NOT EXCEED SIZE OF SIGN AREA, PROPOSED COPY AREA AT 2.20 SQ. M AND PERMITTED IS 3.92 SQ. M.
- THE PROPOSED FREE-STANDING SIGNAGE HEIGHT IS 2.54 M AND THE MAXIMUM PERMITTED HEIGHT IS 4.5 M (15 FT.).
- 1M (6.57) SIGN SETBACK.



**TYPE A: FASCIA SIGNAGE**  
**TYPE B: FREE STANDING SIGNAGE**  
**TYPE C: AWNING SIGNAGE**

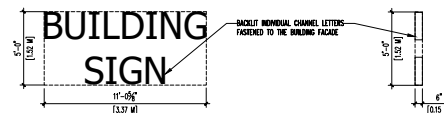
**KEY PLAN**  
SCALE: 1/4" = 1'-0"



**TYPE A - FASCIA SIGN-ELEVATION**  
SCALE: 1/4" = 1'-0"

**TYPICAL FASCIA SIGN:**

- COPY AREA SHALL NOT EXCEED SIZE OF SIGN AREA.
- SIGN SHALL NOT PROJECT MORE THAN 0.15 M (6 IN.) IN FRONT OF THE BUILDING FACE TO WHICH IT IS ATTACHED.
- A MAXIMUM OF TWO FASCIA SIGNS ARE PERMITTED FOR EACH PREMISES PROVIDED THAT BOTH OF THE FASCIA SIGNS SHALL NOT BE LOCATED ON THE SAME FAÇADE OF THE PREMISES.



**TYPE A-FASCIA SIGN-ELEVATION**  
SCALE: 1/4" = 1'-0"

- COPY AREA OF BACKLIT INDIVIDUAL CHANNEL LETTERS- 0.12 SQ. M (0.51 SQ. FT.)
- VERTICAL LOCATION - 14.17 M (46'-0")

**TYPE A-FASCIA SIGN-SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

- SIGN PROJECTION FROM FACE OF BUILDING - 0.15M (6")

**RIGHTS & USE OF DOCUMENT**

This plan and design are considered a Consultant's work product and shall be considered the exclusive property of the Consultant. All Architecture Inc. and may not be used or reproduced without the consent of Mr. Jim M. Wilson, architect, etc., etc. The intellectual of service shall only be used once and solely for this project, no further use shall be deemed a right by anyone without the written consent of the Consultant. If project reproduction, addition or alterations shall stem from the use of this document in any possible form of reproduction, without the written consent of the Consultant, this document may not be used or reproduced without written approval from the Consultant. Only the client may retain copies of this document, and only for the purpose of information and reference as it was initially intended.

Any change or modification of this document is expressly forbidden; this document shall remain completely intact at all times. The Consultant will not be responsible for changes to this document by others.



**DO NOT SCALE DRAWING**

**Digital Certificate**  
This document has been electronically certified with digital certificates and encryption technology authorized by the AEC and APOSS. The collaborative original has been transmitted to you in electronic form. Any printed version can be relied upon as a true copy of the original when specified by the original author, bearing images of the professional seal and digital certificate, or when printed from the digitally certified electronic file provided.

**TOTAL GROSS AREA = 12,619 SQFT (1163.00SQ.M)**

REV	DATE	DESCRIPTION	BY
2	2015-06-15	REVISION FOR DEVELOPMENT PERMIT	JA
1	2015-05-14	REVISION FOR DEVELOPMENT PERMIT	JC

START DATE: 2015-06-15  
PROJECT No: 2015-11  
DR: JCM  
CH: JMM  
SCALE: AS SHOWN  
Architects Seal

Project Name: 15550 32nd  
OFFICE BUILDING  
SURREY, BC

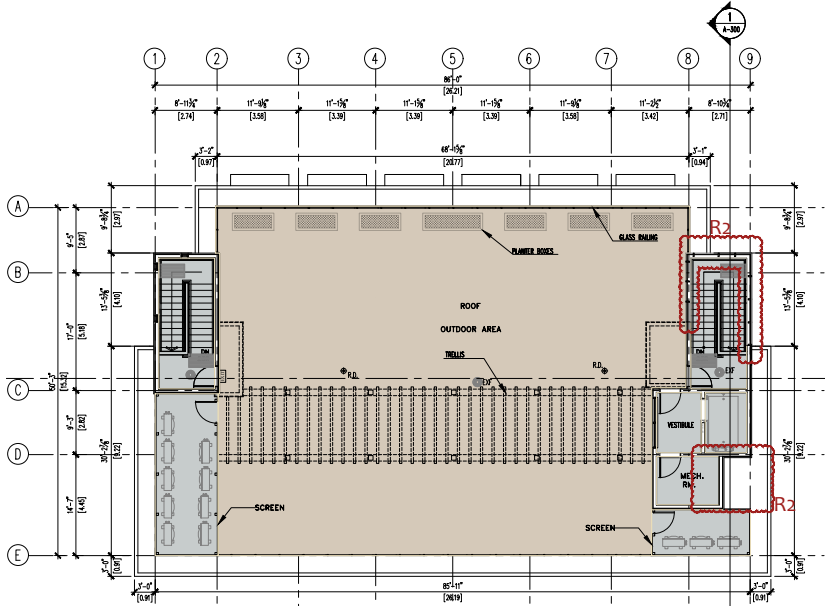
15550 32nd  
1957359 B.C. LTD  
SURREY, BC  
MR RANDEEP GILL

**SIGNAGE DETAILS**  
Project No: A-100.2  
1 2015-11

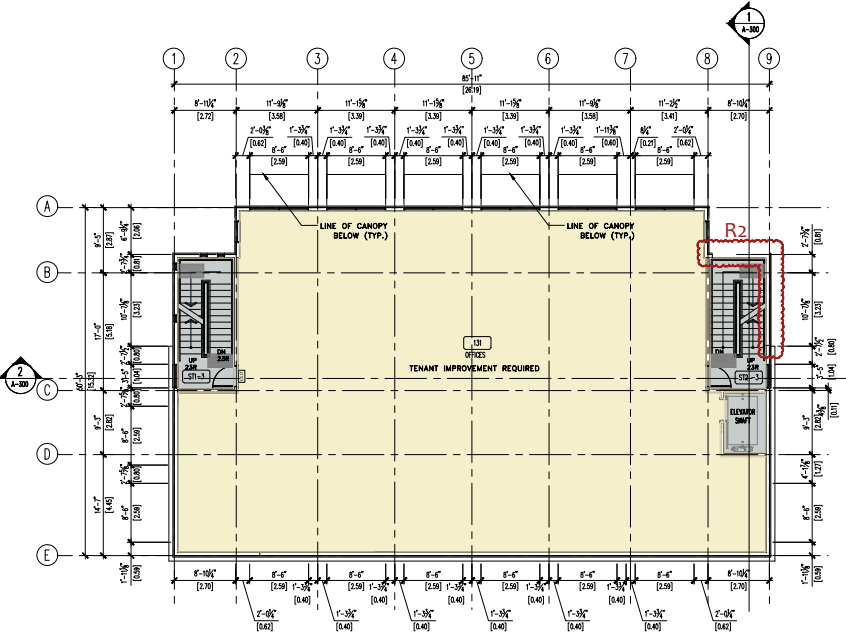
**NOTE: SEPARATE SIGN PERMIT IS REQUIRED**







2 ROOF PLAN  
SCALE: 1/8" = 1'-0"



3 3RD FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
GROSS FLOOR AREA = 408.11 SF (196.94sqm)

LEGEND

	OFFICE SPACE
	PHARMACY
	MEDICAL OFFICE
	ROOF DECK
	STAIRS, ELEVATOR & SERVICES

COPYRIGHT & USE OF DOCUMENTS

This plan and design are considered a Consultant's intellectual property and shall be considered the exclusive property of the Consultant, JM Architecture Inc. and may not be used or reproduced without the consent of JM Architecture Inc. This document is for the use and only for the project; no further use shall be deemed a right by anyone without the written consent of the Consultant. No project revisions, additions or alterations shall result from the use of this document, in any possible form of reproduction, without the written consent of the Consultant. This document may be used or reproduced without written approval from the Consultant. Only the client may make copies of this document, and only for the purpose of information and reference as it was initially intended.

Any change or modification of this document is expressly forbidden; this document must remain completely intact at all times. The Consultant will not be responsible for changes to this document by others.



Project: Dr. H. Khan  
9811 107 - 10283 842 Avenue  
Surrey, BC V3V 1Y7  
604-273-2862 - F  
1497@jmaarchitect.com

DO NOT SCALE DRAWING

Digital Certificate  
This document has been electronically certified with digital certificates and signature technology authorized by the AIA/CES and AIA/CES. The certificate is signed by JM Architecture Inc. in electronic form. Any printed version can be relied upon as a true copy of the original when supplied by the original author, bearing stamps of the professional seal and digital certificate, or when printed from the digitally certified electronic file provided.

REV	DATE	DESCRIPTION	BY
2	2015-08-14	ISSUED FOR DEVELOPMENT PERMIT	JC
1	2015-07-05	ISSUED FOR DEVELOPMENT PERMIT	JC

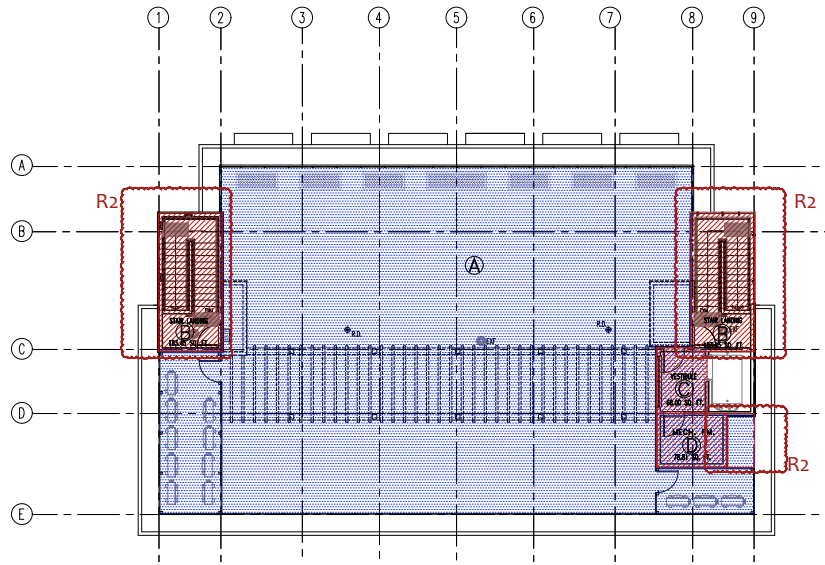
START DATE: 2015-08-15  
PROJECT No: 2015-11  
DR: JC  
CH: JMM  
SCALE: AS SHOWN  
Architects Seal

Project Name  
OFFICE BUILDING  
SURREY, BC



10500 B.C. LTD  
SURREY, BC  
MR RUPINDER KOONER

3RD & ROOF PLAN




**2** ROOF AREA PLAN  
 SCALE: 1/8" = 1'-0"

**AREA CALCULATION**

TOTAL AREA OF ROOF: 3790.06 SQ. FT. (A)

AREA OF STAIR : 183.45 SQ. FT. (B)

AREA OF ELEVATOR VESTIBULE: 68 SQ. FT.

AREA OF MECHANICAL ROOM: 109.98 SQ. FT.

AREA OF STAIR LANDINGS + ELEVATOR VESTIBULE + MECHANICAL ROOM = 2(B) + C + D  
 = 2(183.45) + 68.00 + 78.81 = 513.71 SQ. FT. (E)

IN OREDR FOR THE MECHANICAL ROOM, ELEVATOR VESTIBULE AND THE STAIR LANDINGS TO BE EXEMPT FROM THE MAXIMUM HEIGHT, "E" SHOULD BE LESS THAN 25% OF "A"

THEREFORE, (E/A) X 100 = (513.71 / 3790.06) X 100 = 13.55%

**COPYRIGHT & USE OF DOCUMENTS**

This plan and design are considered a Consultant's work and shall be considered the confidential property of the Consultant, JM Architecture Inc., and may not be used or reproduced without the consent of JM Architecture Inc. This document is for the use of the Consultant only and shall not be used for any other project without the written consent of the Consultant. No project, revision, addition or alteration shall be made from the use of this document, in any possible form of reproduction, without the written consent of the Consultant. This document may not be sold or transferred without written agreement from the Consultant. Only the client may obtain copies of this document, and only for the purpose of information and reference as it was initially intended.

Any change or modification of this document is expressly forbidden; this document must remain completely intact at all times. The Consultant will not be responsible for changes to this document by others.



**Project:** Joe H. Mann  
 1011 107 - 1023 542 Avenue  
 Surrey, BC V4A 1R7  
 604-283-2882 - 7  
 1011@jmanarchitecture.com

**DO NOT SCALE DRAWING**

Digital Certificate  
 This document has been electronically certified with digital certificates and encryption technology authorized by the AIA/CES and AIA/CES. The author/issuer certifies that this document is for use in electronic form. Any printed version can be relied upon as a true copy of the original when supplied by the original author, bearing stamps of the professional seal and digital certificate, or when printed from the digitally certified electronic file provided.

REV	DATE	DESCRIPTION	BY
2	2015-08-12	REVISION FOR DEVELOPMENT PERMIT	JG
1	2015-08-12	REVISION FOR DEVELOPMENT PERMIT	JG

START DATE: 2015-08-15  
 PROJECT No: 2015-11  
 DR: JG  
 CH: JMM  
 SCALE: AS SHOWN  
 Architects Seal

Project Name: \_\_\_\_\_  
 OFFICE BUILDING  
 SURREY, BC

1057519 B.C. LTD  
 SURREY, BC  
 MR. RUPINDER KOONER

**ROOF AREA CALCULATION**  
 # 2  
 Project No. 2015-11  
 A-102A

**COPYRIGHT & USE OF DOCUMENTS**

This plan and design are considered a Consultant's intellectual property and shall be considered the exclusive property of the Consultant, JM Architecture Inc, and may not be used or reproduced without the consent of JM, the U. of S. or other third party. This document is for the use of the Consultant only and shall not be used for any other project, in whole or in part, without the written consent of the Consultant. No project, product, or service shall be used in any way that is not intended by the Consultant. No project, product, or service shall be used in any way that is not intended by the Consultant. No project, product, or service shall be used in any way that is not intended by the Consultant. No project, product, or service shall be used in any way that is not intended by the Consultant.

Any change or modification of this document is expressly forbidden; this document must remain completely intact at all times. The Consultant will not be responsible for changes to this document by others.



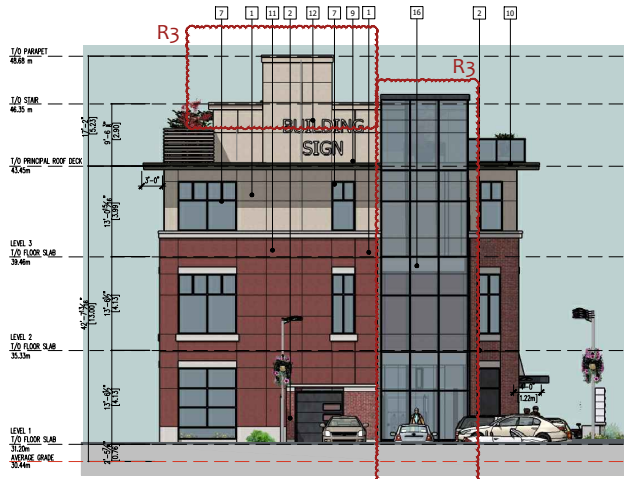
**Michael An H. Man**  
 9051 107 - 10283 842 Avenue  
 Surrey, BC V3V 1T7  
 604 - 282-2862 - F  
 6049694884 - C

**DO NOT SCALE DRAWING**

Digital Certificate  
 This document has been electronically certified with digital certificates and encryption technology authorized by the AIA/CES and AIA/CES. The certificate is original and has been transmitted to you in electronic form. Any printed version can be relied upon as a true copy of the original when supplied by the original author, bearing images of the professional seal and digital certificate, or when printed from the digitally certified electronic file provided.



**NORTH ELEVATION (32 AVENUE)**  
 SCALE 1/8" = 1'-0"



**EAST ELEVATION**  
 SCALE 1/8" = 1'-0"

No.	DESCRIPTION	MANUFACTURER	COLOR
01	EIFS (EXTERIOR INSULATION AND FINISH SYSTEM)	DRYVIT (OR EQUAL)	GP# CL2833M JOHNSTON
02	BRICK (RUNNING BOND)	IXL	GARNET VELOUR
03	METAL FRAMED STOREFRONT DR	US ALUMINIUM (OR EQUAL)	BLACK NOIR
04	METAL CANOPY	BY CONTRACTOR	BLACK NOIR FRAME & TEMPERED GLASS
05	FABRIC CANOPY W/ SIGNAGE	JENNIS FABRICS	TEMPOTEST SOLID 782/14 KHAKI & 24 BLACK
06	PREMANUFACTURED CONCRETE LINTEL/SILLS	BY CONTRACTOR	NATURAL
07	METAL FRAMED WINDOWS	US ALUMINIUM (OR EQUAL)	BLACK NOIR
08	CONCRETE FOUNDATION	BY CONTRACTOR	NATURAL
09	METAL CAP FLASHING	CASCADIA METALS	WICKER
10	ROOF FASCIJA W/ METAL FLASHING AND METAL SOFFIT	VICWEST METALS	BLACK NOIR QC 16068
11	EIFS (EXTERIOR INSULATION AND FINISH SYSTEM)	DRYVIT (OR EQUAL)	GP# CL2607N WALLABE
12	WALL MOUNTED LOGO	BY OWNER	TBD
13	FREESTANDING MONUMENT SIGNAGE	BY CONTRACTOR	
14	METAL INSULATED DOOR	BY CONTRACTOR (PAINT FINISH)	BLACK NOIR QC 16068
15	HARDIE PANEL	JAMES HARDIE PRODUCTS	GP# CL2833M JOHNSTON
	CURTAIN WALL SYSTEM	KANNEER CANADA	

REV	DATE	DESCRIPTION	BY
1	2015-06-15	ISSUED FOR DEVELOPMENT PERMIT	JG
2	2015-06-15	ISSUED FOR DEVELOPMENT PERMIT	JG
3	2015-06-15	ISSUED FOR DEVELOPMENT PERMIT	JG

START DATE	2015-06-15
PROJECT NO.	2015-11
DR.	JG
CH.	JM
SCALE	AS-SHOWN

Architect's Seal

Project Name  
 OFFICE BUILDING  
 SURREY, BC

103709 B.C. LTD  
 SURREY, BC  
 MRS RUPINDER KOONER

**BUILDING ELEVATIONS**

3	Project No.	A-201
11	2015-11	

**COPYRIGHT & USE OF DOCUMENTS**

This plan and design are considered a Consultant's intellectual property and shall be considered the exclusive property of the Consultant, JM Architecture Inc, and may not be used or reproduced without the consent of the JM Architect, attached title, etc. This document is for your use only and shall not be used for any other project without the written consent of the Consultant. No project reproduction, modification or alteration shall occur from the use of this document, in any possible form of reproduction, without the written consent of the Consultant. This document may not be sold or transferred without written approval from the Consultant. Only the client may make copies of this document, and only for the purpose of information and reference as it was initially intended.

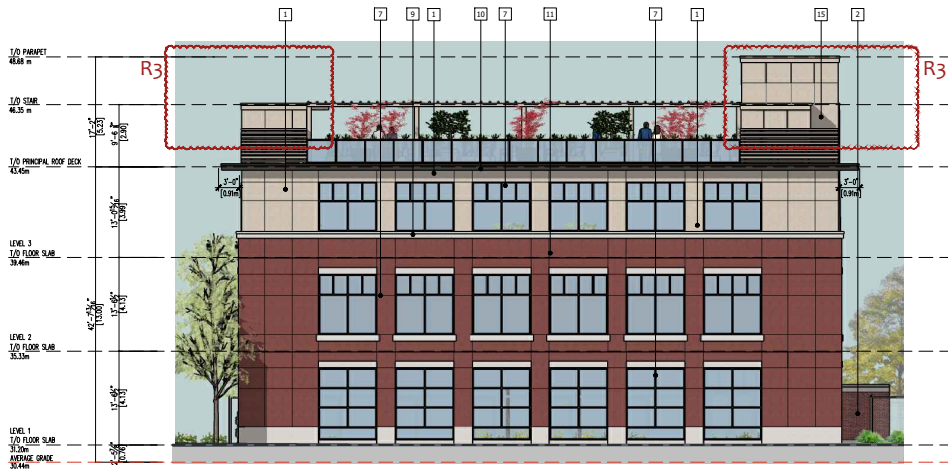
Any change or modification of this document is expressly forbidden; this document must remain completely intact at all times. The Consultant will not be responsible for changes to this document by others.



**Project: 404 H. Main**  
 9011 107 - 1000 840 Avenue  
 Surrey, B.C. V3L 1J7  
 604 - 262-2862 - F  
 604-262-2862 - C

**DO NOT SCALE DRAWING**

Digital Certificate  
 This document has been electronically certified with digital certificates and signature technology authorized by the AIA/CES and AIA/CES. The certificate originates from the transmission of this document in electronic form. Any printed version can be relied upon as a true copy of the original when supplied with the original author, bearing images of the professional seal and digital certificate, or when printed from the digitally certified electronic file provided.



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

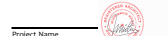
SCALE: 1/8" = 1'-0"

No.	DESCRIPTION	MANUFACTURER	COLOR
01	EIFS (EXTERIOR INSULATION AND FINISH SYSTEM)	DRYVIT (OR EQUAL)	GP# CL2833M JOHNSTON
02	BRICK (RUNNING BOND)	IXL	GARNET VELOUR
03	METAL FRAMED STOREFRONT DR	US ALUMINUM (OR EQUAL)	BLACK NOIR
04	METAL CANOPY	BY CONTRACTOR	BLACK NOIR FRAME & TEMPERED GLASS
05	FABRIC CANOPY W/ SIGNAGE	J.ENNIS FABRICS	TEMPOTEST SOLID 782/14 KHAKI & 24 BLACK
06	PREMANUFACTURED CONCRETE LINTEL/SILLS	BY CONTRACTOR	NATURAL
07	METAL FRAMED WINDOWS	US ALUMINUM (OR EQUAL)	BLACK NOIR
08	CONCRETE FOUNDATION	BY CONTRACTOR	NATURAL
09	METAL CAP FLASHING	CASCADIA METALS	WICKER
10	ROOF FASCIA W/ METAL FLASHING AND METAL SOFFIT	VICWEST METALS	BLACK NOIR OC 16068
11	EIFS (EXTERIOR INSULATION AND FINISH SYSTEM)	DRYVIT (OR EQUAL)	GP# CL2607N WALLABE
12	WALL MOUNTED LOGO	BY OWNER	TBD
13	FREESTANDING MONUMENT SIGNAGE	BY CONTRACTOR	
14	METAL INSULATED DOOR	BY CONTRACTOR (PAINT FINISH)	BLACK NOIR OC 16068
15	HARDIE PANEL	JAMES HARDIE PRODUCTS	GP# CL2833M JOHNSTON
16	CURTAIN WALL SYSTEM	KAWNEER CANADA	

REV	DATE	DESCRIPTION	BY
3	2015-11-11	ISSUED FOR DEVELOPMENT PERMIT	JG
2	2015-10-15	ISSUED FOR DEVELOPMENT PERMIT	JG
1	2015-06-15	ISSUED FOR DEVELOPMENT PERMIT	JG

START DATE: 2015-06-15  
 PROJECT No: 2015-11  
 DR: JG  
 CH: JMM  
 SCALE: AS-SHOWN  
 Architect: Seal

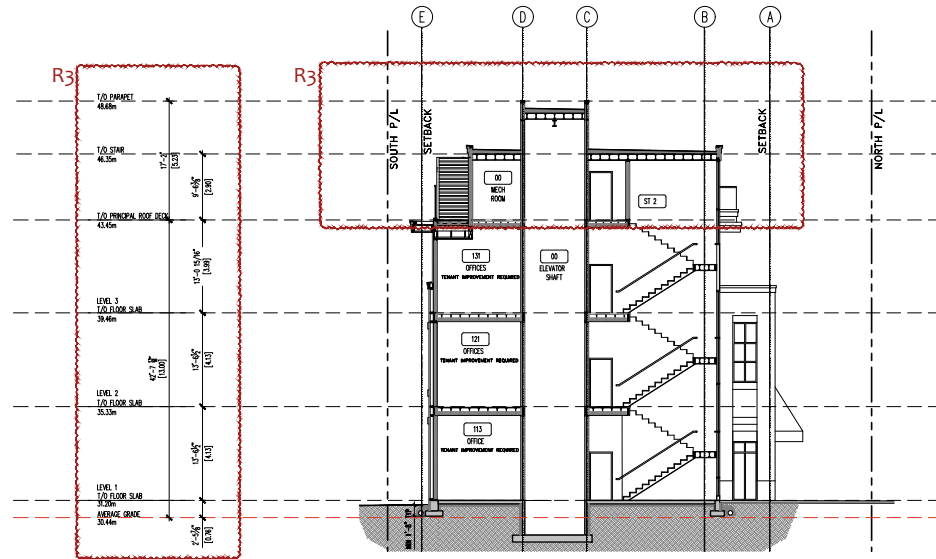
THIS DOCUMENT IS THE PROPERTY OF JM ARCHITECTURE INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF JM ARCHITECTURE INC.



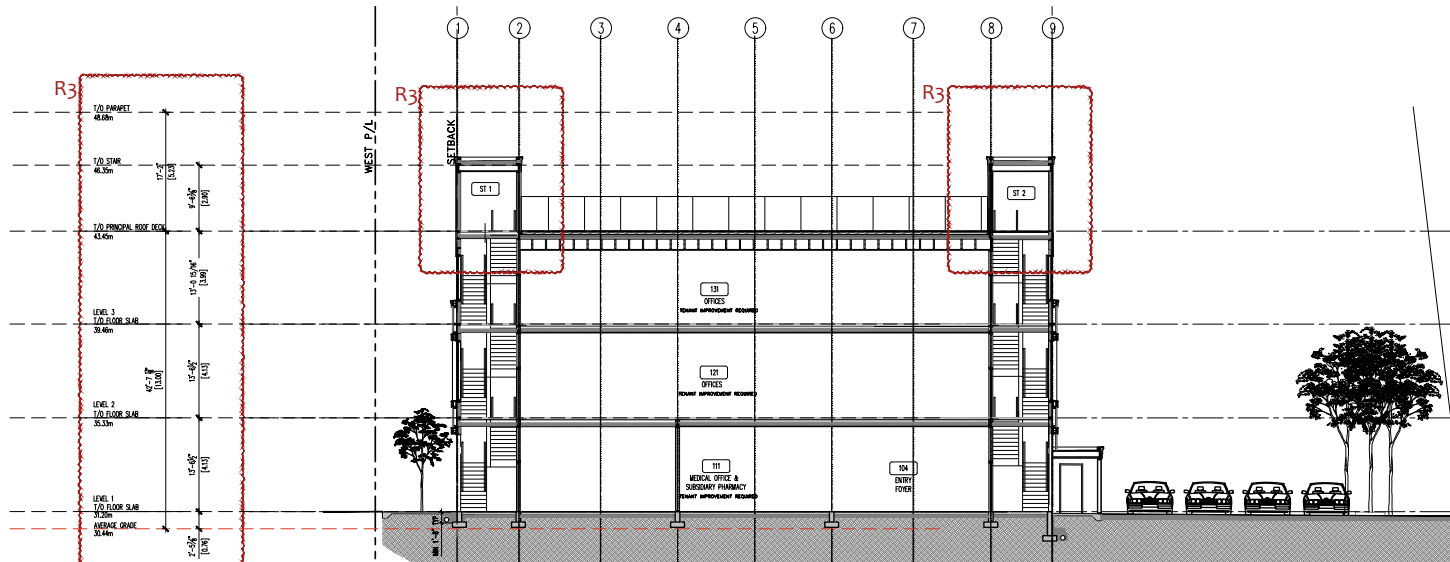
Project Name: OFFICE BUILDING, SURREY, BC  
 1037099 B.C. LTD  
 SURREY, BC  
 MR. RUPINDER KOONER

**BUILDING ELEVATIONS**

#	Project No.	Scale
3	2015-11	A-202



SECTION 1-1  
SCALE: 1" = 1'-0"



SECTION 2-2  
SCALE: 1" = 1'-0"

**COPYRIGHT & USE OF DOCUMENTS**

This plan and design are considered a Consultant's intellectual property and shall be considered the exclusive property of the Consultant, JM Architecture Inc. and may not be used or reproduced without the consent of JM Architecture Inc. This document is for the use and study for this project only and shall be deemed a legal by-law until the written consent of the Consultant. No project, revision, addition or alteration shall arise from the use of this document, in any possible form of reproduction, without the written consent of the Consultant. This document may not be sold or transferred without written approval from the Consultant. Only the client may obtain copies of this document, and only for the purpose of information and reference as it was initially intended.

Any change or modification of this document is expressly forbidden; this document must remain completely intact at all times. The Consultant will not be responsible for changes to this document by others.



Project No. H. 1000  
9051 107 - 1000 842 Avenue  
Surrey, BC V3V 1T7  
434 - 482 2862 - F  
43788@jmapractice.com

**DO NOT SCALE DRAWING**

Digital Certificate  
This document has been electronically certified with digital certificates and encryption technology authorized by the AIA/CES and AIA/CES. The authorizations original has been transmitted to you in electronic form. Any printed version can be relied upon as a true copy of the original when supplied by the original author, bearing images of the professional seal and digital certificate, or when printed from the digitally certified electronic file provided.

REV	DATE	DESCRIPTION	BY
3	2015-06-15	ISSUED FOR DEVELOPMENT PERMIT	JG
2	2015-06-15	ISSUED FOR DEVELOPMENT PERMIT	JG
1	2015-06-15	ISSUED FOR DEVELOPMENT PERMIT	JG

START DATE	2015-06-15
PROJECT No	2015-11
DR	JMM
CHK	JMM
SCALE	AS SHOWN

Architects Seal

Project Name  
OFFICE BUILDING  
SURREY, BC

1000 842  
1057559 B.C. LTD  
SURREY, BC  
MR RANDEEP GILL

**SECTIONS**

REV	Project No
3	2015-11

A-300



**NORTH EAST PERSPECTIVE**  
SCALE: NOT TO SCALE



**NORTH WEST AERIAL VIEW**  
SCALE: NOT TO SCALE



**NORTH WEST PERSPECTIVE**  
SCALE: NOT TO SCALE



**SOUTH EAST PERSPECTIVE**  
SCALE: NOT TO SCALE

**COPYRIGHT & USE OF DOCUMENTS**

This plan and design are considered a Consultant's intellectual property and shall be considered the exclusive property of the Consultant, JM Architecture Inc, and may not be used or reproduced without the consent of JM, JM Architecture Inc, or any other party. This document is for informational purposes only and shall not be used for any other purpose. No project, conditions or alternatives shall arise from the use of this document, in any possible form of reproduction, without the written consent of the Consultant. This document may not be used or reproduced without written approval from the Consultant. Only the client may make copies of this document, and only for the purpose of information and reference as it was initially intended.

Any change or modification of this document is expressly forbidden; this document must remain completely intact at all times. The Consultant will not be responsible for changes to this document by others.



**Project: Joe H. White**  
9011 107 - 1083 842 Avenue  
Surrey, BC V3V 1Z7  
604 - 482 2862 - T  
jarchitectureinc.com

**DO NOT SCALE DRAWING**

Digital Certificate  
This document has been electronically certified with digital certificates and signature technology authorized by the AIA/CES and AIA/CES. The certificate is signed by JM Architecture Inc. Any printed version can be relied upon as a true copy of the original when supplied by the original author, bearing stamps of the professional seal and digital certificate, or when printed from the digitally certified electronic file provided.


3	2015-08-14	NO-RELEAS FOR DEVELOPMENT PERMIT	JG
2	2015-08-06	NO-RELEAS FOR DEVELOPMENT PERMIT	JG
1	2015-08-05	DESIGNED FOR DEVELOPMENT PERMIT	JG

REV	DATE	DESCRIPTION	BY
-----	------	-------------	----

**START DATE** 2015-08-15  
**PROJECT No** 2015-11  
**DR.** JG  
**CH.** JMM  
**SCALE** AS SHOWN  
**Architects Seal**

Professional Seal of Randeep Gill, Architect, No. 12345, British Columbia, Canada. The seal is valid for the province of British Columbia, Canada. The seal is not valid for any other jurisdiction. The seal is not valid for any other purpose. The seal is not valid for any other use.

Project Name  
**1060 34th**  
OFFICE BUILDING  
SURREY, BC  
1057959 B.C. LTD  
SURREY, BC  
RANDEEP GILL

**PERSPECTIVES**

#	Project No.
3	2015-11
A-900	

**DRAWING LIST**

- L0-00 NOTES & KEYS
- L2-00 HARD LANDSCAPE PLAN
- L4-00 PLANTING PLAN PLAN
- L5-01 SOFT LANDSCAPE DETAILS
- L5-02 HARD LANDSCAPE DETAILS

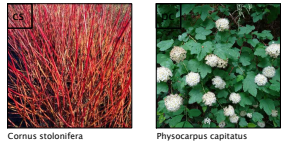
**DECIDUOUS TREES**



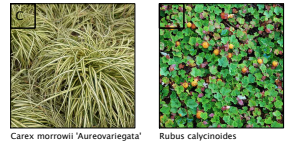
**BROADLEAF EVERGREEN SHRUBS**



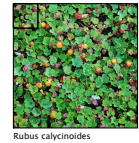
**DECIDUOUS SHRUBS**



**HERBACEOUS**



**GROUND COVER**



**PLANT LIST**

TREES						
CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
AC	6	Acer circinatum 'Pacific Fire'	Pacific Fire Vine Maple	5cm cal	B&B min. 60cm root ball dia.	15m height 5m spread
AF	12	Acer ginnala 'Flame'	Flame Amur Maple	5cm cal	B&B min. 60cm root ball dia.	5m height 5m spread
PY	1	Prunus 'Yedoensis Akabono'	Akabobo Flowering Cherry	6cm cal.	150cm STD - 86L w/ basket min. 75cm root ball dia.	8.0m height 8.0m width
BROADLEAF EVERGREEN SHRUBS						
CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
ah	3	Azalea japonica 'Hino Crimson'	Crimson Japanese Azalea	#2 pot	min. 20cm height	100cm height 100cm width
bm	104	Buxus microphylla 'Winter Beauty'	Korean Boxwood	#3 pot	min. 45cm height	100cm height 100cm spread
bt	66	Berberis thunbergii 'Concorde'	Concorde Japanese Barberry	#2 pot	min. 50cm height	70cm height 55cm width
la	97	Lavandula angustifolia	English Lavender	#1 pot	min. 30cm height	60cm height 75cm spread
ma	42	Mahonia aquifolium 'Compacta'	Dwarf Oregon Grape	#2 pot	min. 45cm height	100cm height 150cm spread
DECIDUOUS SHRUBS						
CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
cs	202	Cornus stolonifera	Redtwig Dogwood	#2 pot	min. 50cm height heavy	200cm height 200cm spread
pc	8	Physocarpus capitatus	Pacific Ninebark	#2 pot	min. 50cm height heavy	350cm height 300cm spread
HERBACEOUS						
CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
c	47	Carex morrowii 'Aureovariegata'	Varegated Sedge	#1 pot	min. 60cm height heavy	45cm height 45cm width
GROUND COVERS						
CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
rc	263	Rubus calycinoides	Creeping Raspberry	10cm pot	min. 5cm spread 35cm O.C.	100cm height 60cm spread
l	1	Lawn	Playground Blend			30cm

**SYMBOL KEY**

**HARD LANDSCAPE ELEMENTS**

- QUEEN CHARLOTTE WOODEN BENCH  
MAKER: SARITA FURNITURE (PORT ALBERNI)
- FRANCIS ANDREW BIKE RACK  
MODEL: L21-BR52 COLOUR: BLACK

**PAVING SURFACES**

- CAST-IN-PLACE CONCRETE  
FINISH: BROOM / NON-SLIP
- STANDARD PAVERS  
PATTERN: HERRINGBONE  
COLOUR: CHARCOAL
- AQUAPAVE STANDARD  
PATTERN: RUNNING BOND  
COLOUR: SHADO BLEND
- TEXADA 610 x 610 SLABS  
COLOUR: CHARCOAL

**GENERAL NOTES**

1. COMPLIANCE, GOVERNMENT - ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE LOCAL MUNICIPAL AUTHORITIES AND SHALL COMPLY WITH ALL STANDARDS AND REGULATIONS OF THE SAME. CONTRACTORS SHALL ENSURE COMPLIANCE OF ALL WORK PRIOR TO INSTALLATION.
2. COMPLIANCE, STANDARD - ALL MATERIAL, SHIPPING PROCEDURES, AND INSTALLATION OF LANDSCAPE ELEMENTS SHALL CONFORM TO LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD AVAILABLE AT COMMENCEMENT OF WORK.
3. COMPLIANCE, MIMCD - ALL WORKS SHALL CONFORM TO THE LATEST MIMCD DETAILS AND SPECIFICATIONS AVAILABLE AT COMMENCEMENT OF WORK, WHERE NO SPECIFIC DETAIL, NOTE OR SPECIFICATION IS PROVIDED IN THE DRAWING SET OR ATTACHED MATERIALS.
4. EXISTING SERVICES - REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF ALL BURIED SERVICES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL UTILITIES LOCATIONS AND ALL COSTS WHICH ARISE FROM DAMAGE TO SERVICES CAUSED BY ANY ACT OR FAILURE TO ACT OF THE CONTRACTOR.
5. COORDINATION - THESE DRAWINGS SHALL BE TAKEN TO BE PART OF THE LARGER SET OF DRAWINGS AND SPECIFICATIONS, WHETHER DIRECTLY ATTACHED OR NOT, ISSUED FOR THE CONSTRUCTION OF THE ASSOCIATED BOULEVARD WORKS. THESE DRAWINGS SHALL BE READ IN CONCERT WITH SUCH DOCUMENTATION AND, WHERE CONFLICTS ARISE, THE CONTRACTOR SHALL IMMEDIATELY REPORT SUCH CONFLICTS TO THE LANDSCAPE ARCHITECT. THE WORK IS TO BE DONE IN COORDINATION WITH THE CONTRACTOR OR CONTRACTORS ENGAGED IN CONSTRUCTION OF SUCH ADJACENT WORKS.
6. GRADING, GENERAL - THE CONTRACTOR SHALL ESTABLISH GRADES SUCH THAT THERE IS, IN ALL AREAS, POSITIVE DRAINAGE TO AN ADJACENT DRAIN. MINIMUM SLOPES SHALL BE AS FOLLOWS:
 

PEDESTRIAN PAVED AREAS	1%
VEHICULAR PAVED AREAS	1%
LAWN AREAS	2%
PLANTED BEDS	5%
7. GRADING, ALLOWANCES AND TOPSOIL PLACEMENT - OVERALL DEPTH OF PLANTING MEDIUM AFTER SETTLEMENT SHALL BE:
 

GRASS AREAS	150 MM
SHRUB BEDS	450 MM
GROUND COVER AREAS	300 MM
TREES	600 MM
8. GRADING, BUILDING FINISHED FLOOR & CORNER ELEVATIONS - SEE ARCHITECTURAL DRAWINGS.
9. PLANT MATERIAL QUANTITIES - CONTRACTOR SHALL CONFIRM ALL PLANT MATERIAL QUANTITIES. ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE DRAWING SHALL BE REPORTED TO THE CONSULTANT. IN CASE OF DISCREPANCY CONTRACTOR SHALL INSTALL PLANT MATERIAL AS PER DRAWING, IN CIRCUMSTANCES WHERE THERE IS A DISCREPANCY BETWEEN GROUND COVER QUANTITY AND SPACING THE SPACING REQUIREMENT WILL PREVAIL.
10. PLANT MATERIAL SUBSTITUTIONS - NO SUBSTITUTIONS TO PLANT LIST SHALL BE MADE BY CONTRACTOR WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CONSULTANT.
11. PLANT MATERIAL HEALTH - ALL PLANT MATERIALS MUST BE DISEASE FREE FROM CERTIFIED NURSERIES.
12. MULCH - PLANTING AREAS SHALL BE MULCHED WITH 50 MM OF HEM/FIR BARK MULCH. THE USE OF CEDAR MULCH OR ANY MIX CONTAINING CEDAR IS NOT PERMITTED.

DATE	ISSUED FOR	REV
2022-11-30	D.P.	A
2023-08-10	D.P.	B

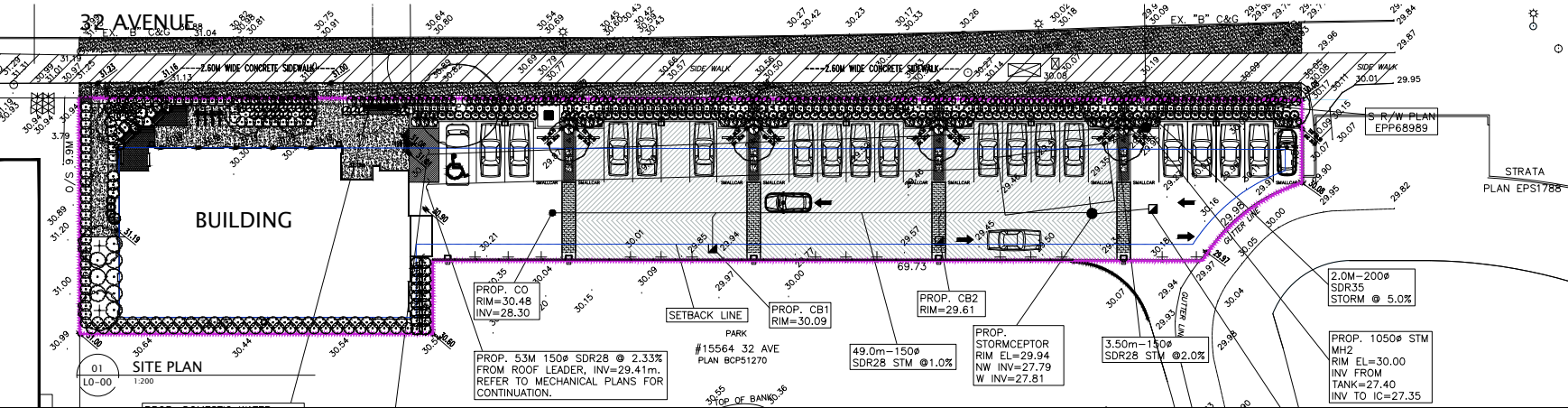
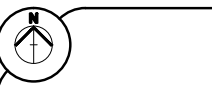
All dimensions shall be confirmed on site and discrepancies reported immediately. Required setbacks shall govern in all cases.

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by Donald V. S. Duncan to any party with whom Donald V. S. Duncan has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Landscape Architect.

**Consultants**

Architectural: JMArchitecture Inc.  
 Arborist: -  
 Civil: -  
 Structural: -  
 Mechanical: -  
 Electrical: -



**DVS Donald V. S. Duncan DEVELOPMENT CONSULTANT LANDSCAPE ARCHITECT**

603 - 220 Eleventh Street  
 New Westminster BC  
 Canada V3M 6N9  
 778-791-4323  
 dvsduncan@gmail.com

**Surrey Project # 22-0376**

**B** Project Leader D.Duncan  
 Drawn D.Duncan  
 Revision EPP68989

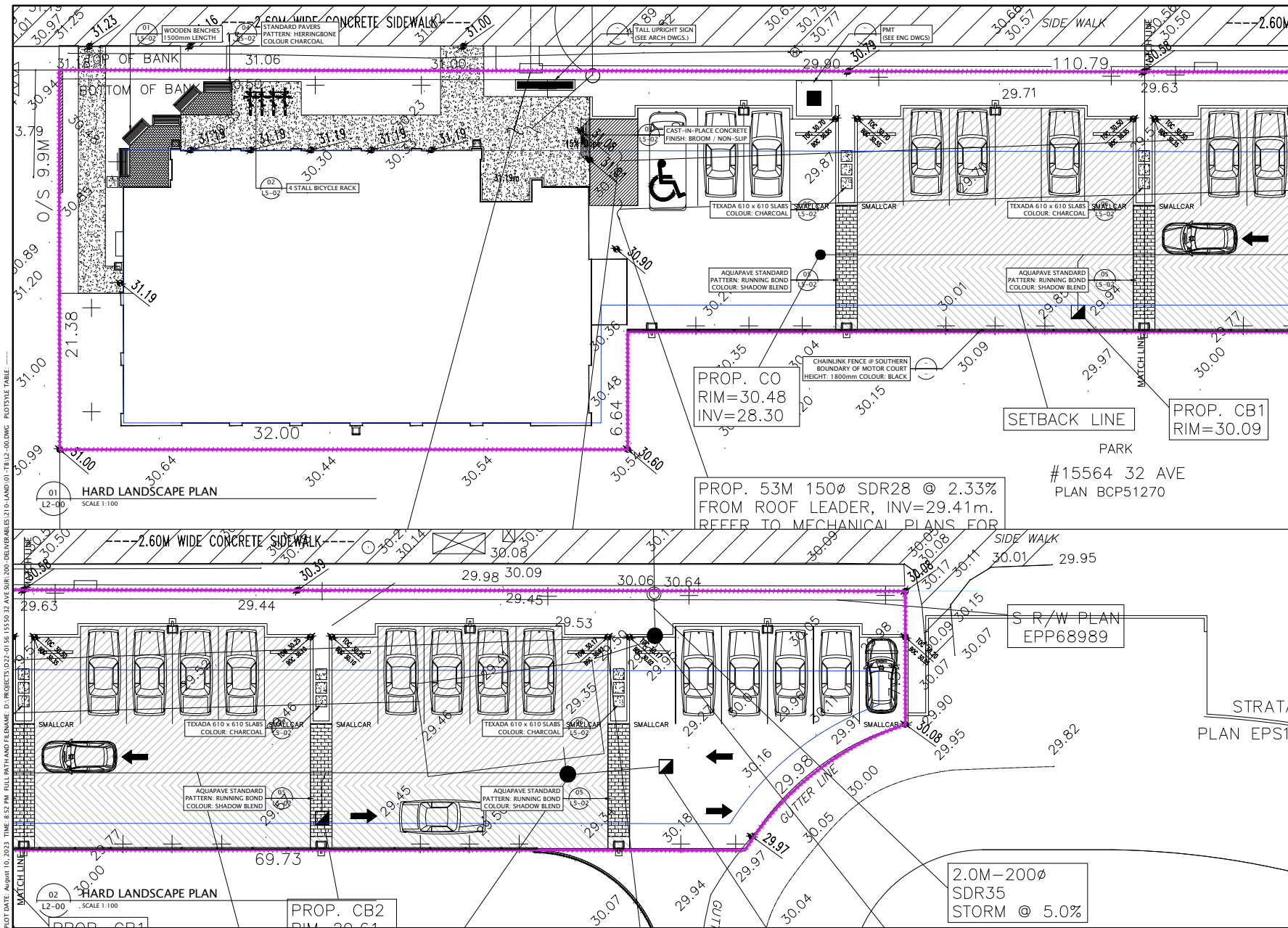
prepared for:  
**SURREY OFFICE BUILDING**  
 15550 32 AVENUE  
 SURREY BC

**NOTES & KEYS**

Check Scale (may be photo reduced)  
 0 1 inch 0 10mm

Project No. 22-0156  
 Drawing No. L0-00

PLOT DATE: August 10, 2023 TIME: 8:50 PM FULL PATH AND FILENAME: D:\PROJECTS\22-0156\15550-32 AVE SUR\_200-DELIVERABLES\210-LAND 01-TBLD-00-00.DWG PLOTSTYLE TABLE: ----



DATE	ISSUED FOR	REV
2022-11-30	D.P.	A
2023-08-10	D.P.	B

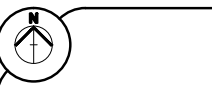
All dimensions shall be confirmed on site and discrepancies reported immediately. Required setbacks shall govern in all cases.

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by Donald V. S. Duncan to any party with whom Donald V. S. Duncan has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Landscape Architect.

Consultants

Architectural:	JArchitecture Inc.
Arboretist:	-
Civil:	-
Structural:	-
Mechanical:	-
Electrical:	-



#15564 32 AVE  
PLAN BCP51270

S R W PLAN  
EPP68989

**DVS** Donald V. S. Duncan  
DEVELOPMENT CONSULTANT  
LANDSCAPE ARCHITECT

603 - 220 Eleventh Street  
New Westminster BC  
Canada V3M 6N9  
778-791-4323  
dvsduncan@gmail.com

Surrey Project #  
22-0376

Project Leader: D.Duncan  
Drawn: D.Duncan

Revision: B

prepared for:  
**SURREY OFFICE BUILDING**  
15550 32 AVENUE  
SURREY BC

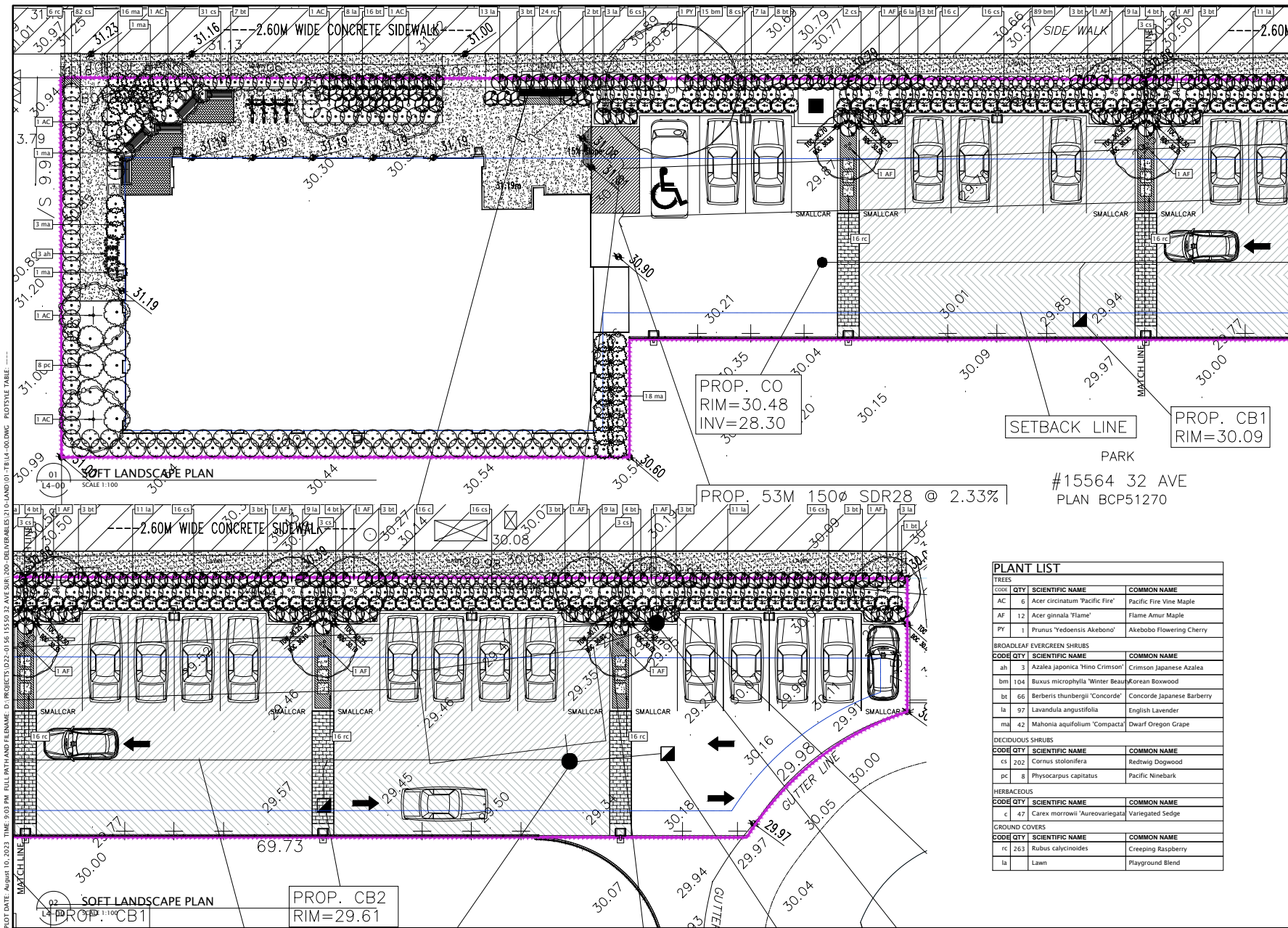
Drawing Title  
**HARD LANDSCAPE KEY**

Check Scale (may be photo reduced)  
0 1 inch 0 10mm

Project No. 22-0156  
Drawing No. L2-00

PLOT DATE: August 10, 2023 TIME: 8:52 PM FULL PATH AND FILENAME: D:\PROJECTS\22-0156\15550 32 AVE SUB 200 - DELIVERABLES\210-LAND 01-TELU-90.DWG PLOT STYLE TABLE: ----





PROP. CO  
RIM=30.48  
INV=28.30

SETBACK LINE

PROP. CB1  
RIM=30.09

PROP. 53M 1500 SDR28 @ 2.33%

#15564 32 AVE  
PLAN BCP51270

PLANT LIST			
TREES			
CODE	QTY	SCIENTIFIC NAME	COMMON NAME
AC	6	Acer circinatum 'Pacific Fire'	Pacific Fire Vine Maple
AF	12	Acer ginnala 'Flame'	Flame Amur Maple
PY	1	Prunus 'Yedoensis Akebono'	Akebono Flowering Cherry
BROADLEAF EVERGREEN SHRUBS			
CODE	QTY	SCIENTIFIC NAME	COMMON NAME
ah	3	Azalea japonica 'Hino Crimson'	Crimson Japanese Azalea
bm	104	Buxus microphylla 'Winter Beau'	Korean Boxwood
bt	66	Berberis thunbergii 'Concorde'	Concorde Japanese Barberry
la	97	Lavandula angustifolia	English Lavender
ma	42	Mahonia aquifolium 'Compacta'	Dwarf Oregon Grape
DECIDUOUS SHRUBS			
CODE	QTY	SCIENTIFIC NAME	COMMON NAME
cs	202	Cornus stolonifera	Redtwig Dogwood
pc	8	Physocarpus capitatus	Pacific Ninebark
HERBACEOUS			
CODE	QTY	SCIENTIFIC NAME	COMMON NAME
c	47	Carex marrovii 'Aureovariegata'	Varegated Sedge
GROUND COVERS			
CODE	QTY	SCIENTIFIC NAME	COMMON NAME
ra	263	Rubus calycinoides	Creeping Raspberry
la		Lawn	Playground Blend

DATE	ISSUED FOR	REV
2022-11-30	D.P.	A
2023-08-10	D.P.	B

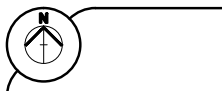
All dimensions shall be confirmed on site and discrepancies reported immediately. Required setbacks shall govern in all cases.

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by Donald V. S. Duncan to any party with whom Donald V. S. Duncan has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Landscape Architect.

Consultants

Architectural: JMArchitecture Inc.  
 Arboretist: -  
 Civil: -  
 Structural: -  
 Mechanical: -  
 Electrical: -



**DVS** Donald V. S. Duncan  
**LANDSCAPE ARCHITECT**  
 603 - 220 Eleventh Street  
 New Westminster BC  
 Canada V3M 6N9  
 778-791-4323  
 dvsduncan@gmail.com

Surrey Project #  
 22-0376

Project Leader: D.Duncan  
 Drawn: D.Duncan  
 Revision: D.Duncan

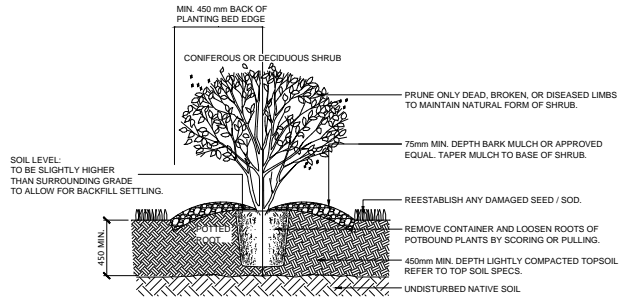
prepared for:  
**SURREY OFFICE BUILDING**  
 15550 32 AVENUE  
 SURREY BC  
 Drawing Title  
**SOFT LANDSCAPE KEY**

Check Scale (may be photo reduced)  
 0 1 inch 0 10mm

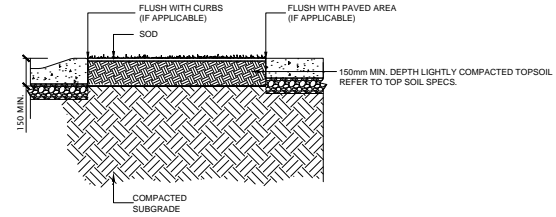
Project No. 22-0156  
 Drawing No. L4-00

PLOT DATE: August 10, 2023 TIME: 9:03 PM FULL PATH AND FILE NAME: D:\PROJECTS\22-0156\15550 32 AVE\SUB\200-DELIVERABLES\210-LAND\01-TBL\L4-00.DWG PLOT STYLE TABLE: ----

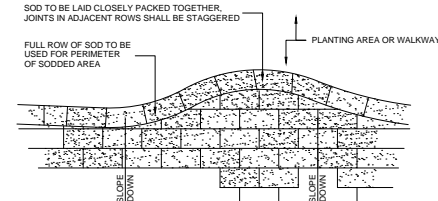
PLOT DATE: August 10, 2023 TIME: 9:04 PM FULL PATH AND FILENAME: D:\PROJECTS\022-0156\15550 32 AVE SUR\200-DEVELOPABLES\210-LAND 01-TB LS-01.DWG: PLOTS\TABLE -----



**01** TYPICAL SHRUB INSTALLION DETAIL  
LS-01 N.T.S.

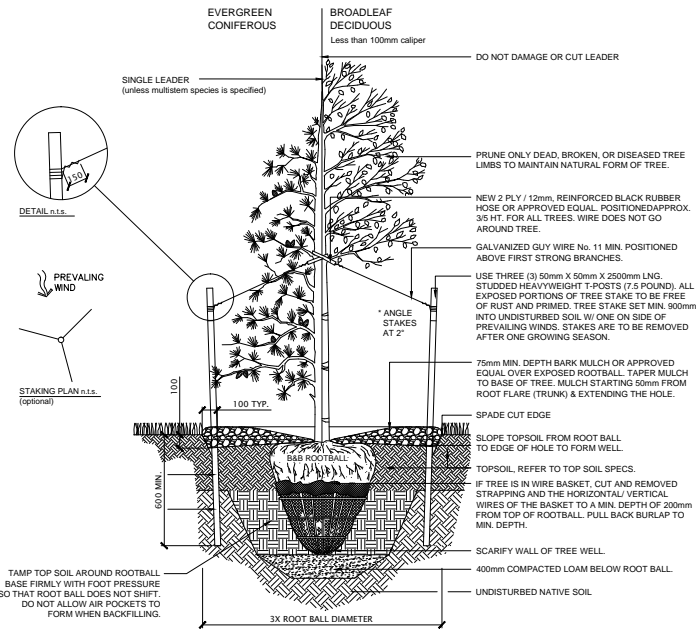


SECTION THROUGH SOD



PLAN VIEW OF SOD LAYOUT AND EDGING  
NOT TO SCALE

**03** TYPICAL GRASS INSTALLION DETAIL  
LS-01 N.T.S.



**02** TYPICAL TREE INSTALLION DETAIL  
LS-01 N.T.S.

DATE	ISSUED FOR	REV
2022-11-30	D.P.	A
2023-08-10	D.P.	B

All dimensions shall be confirmed on site and discrepancies reported immediately. Required setbacks shall govern in all cases.

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by Donald V. S. Duncan to any party with whom Donald V. S. Duncan has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Landscape Architect.

Consultants

Architectural: JMArchitecture Inc.  
Arboretist: -  
Civil: -  
Structural: -  
Mechanical: -  
Electrical: -

**DVS** Donald V. S. Duncan  
DEVELOPMENT CONSULTANT  
LANDSCAPE ARCHITECT  
603 - 220 Eleventh Street  
New Westminster BC  
Canada V3M 6N9  
778-791-4323  
dvduncan@gmail.com

Surrey Project #  
22-0376

Revision	Project Leader
B	D.Duncan
Drawn	D.Duncan
Revision	D.Duncan

prepared for:  
**SURREY OFFICE BUILDING**  
15550 32 AVENUE  
SURREY BC

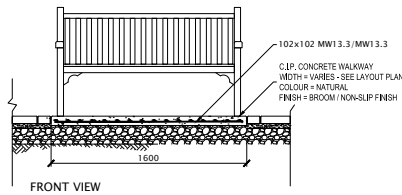
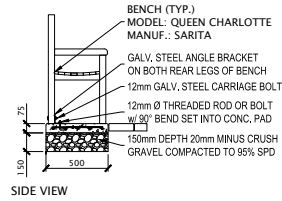
Drawing Title  
**LANDSCAPE DETAILS**

Check Scale (may be photo reduced)  
0 1 inch 0 10mm

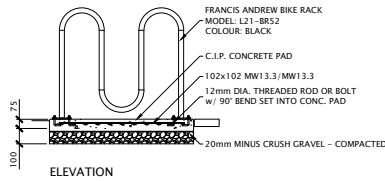
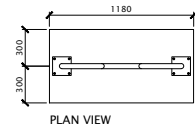
Project No: 22-0156

Drawing No.  
LS-01

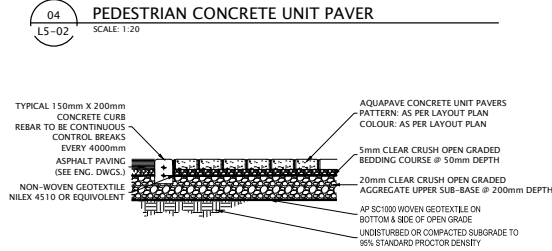
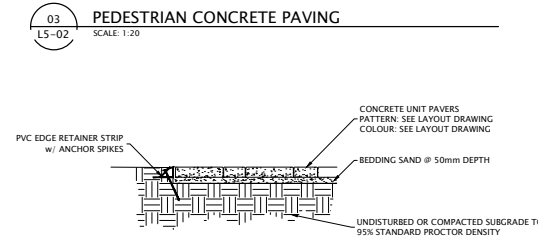
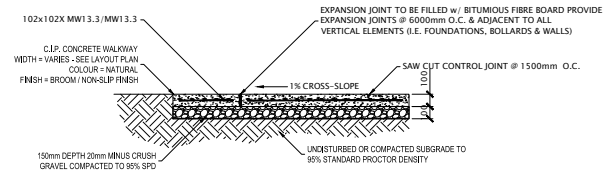
PLOT DATE: August 10, 2023 TIME: 9:04 PM FULL PATH AND FILENAME: D:\PROJECTS\02-0156\15550\32\_AVE\_SUR\200-DEVELOPABLES\210-LAND\01-TB\LS-02.DWG - PLOTS\STYLE TABLE - ----



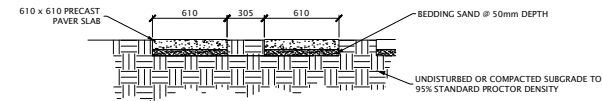
**01 WOODEN BENCH**  
 SCALE: 1:20



**02 BICYCLE RACK**  
 SCALE: 1:20



**05 VEHICULAR AQUAPAVE UNIT PAVING**  
 SCALE: 1:20



DATE	ISSUED FOR	REV
2022-11-30	D.P.	A
2023-08-10	D.P.	B

All dimensions shall be confirmed on site and discrepancies reported immediately. Required setbacks shall govern in all cases.

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by Donald V. S. Duncan to any party with whom Donald V. S. Duncan has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Landscape Architect.

**Consultants**

Architectural: JMarchitecture Inc.  
 Arborist: -  
 Civil: -  
 Structural: -  
 Mechanical: -  
 Electrical: -

**D.V.S. Donald V.S. Duncan**  
**LANDSCAPE ARCHITECT**  
 603 - 220 Eleventh Street  
 New Westminster BC  
 Canada V3M 6N9  
 778-791-4323  
 dveduncan@gmail.com

**Surrey Project #**  
**22-0376**

Revision	Project Leader
B	D.Duncan
	Drawn D.Duncan

prepared for:  
**SURREY OFFICE BUILDING**  
 15550 32 AVENUE  
 SURREY BC

Drawing Title  
**LANDSCAPE DETAILS**

Check Scale (may be photo reduced)  
 0 1 inch 0 10mm

Project No: 22-0156

Drawing No. LS-02

# INTER-OFFICE MEMO

---

TO: **Director, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **December 11, 2023** PROJECT FILE: **7822-0376-00**

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 15550 32 Ave**

## BUILDING PERMIT

The following issues are to be addressed as a condition of the subsequent building permit.

- Adequately sized water, sanitary and storm service connections to be provided.
- CCTV footage required if existing services connections are utilized.
- Driveway access shall be located along municipal right of way E2012-0096.
- Drainage access right of way required beyond geotechnical and environmental setbacks.
- Restrictive covenant for storm water mitigation features, as required by Old Logging and Burrow's Ditch ISMP.

## DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Jeff Pang, P.Eng.  
Development Services Manager  
RH

**TOPOGRAPHICAL SURVEY PLAN AND PROPOSED IMPROVEMENTS  
ON LOT 2 SECTION 23 TOWNSHIP 1  
NWD PLAN BCP51270**

PID : 028-899-857

**CIVIC ADDRESS :**

15550 - 32nd AVENUE  
SURREY, B.C.

**ELEVATION DERIVATION**

ELEVATIONS ARE GEODETIC DERIVED  
FROM GNSS OBSERVATIONS  
DATE: 04/28/2022

**NOTE :**

LOT MAY BE AFFECTED BY  
CONVEYANCE BCP488942, BCP488943,  
CA5953170, CA6383578, CA6383581 AND CA6383583.

**S.R.W. NOTE :**

LOT MAY BE AFFECTED BY  
STATUTORY RIGHT OF WAY CA3596559, CA3596560.

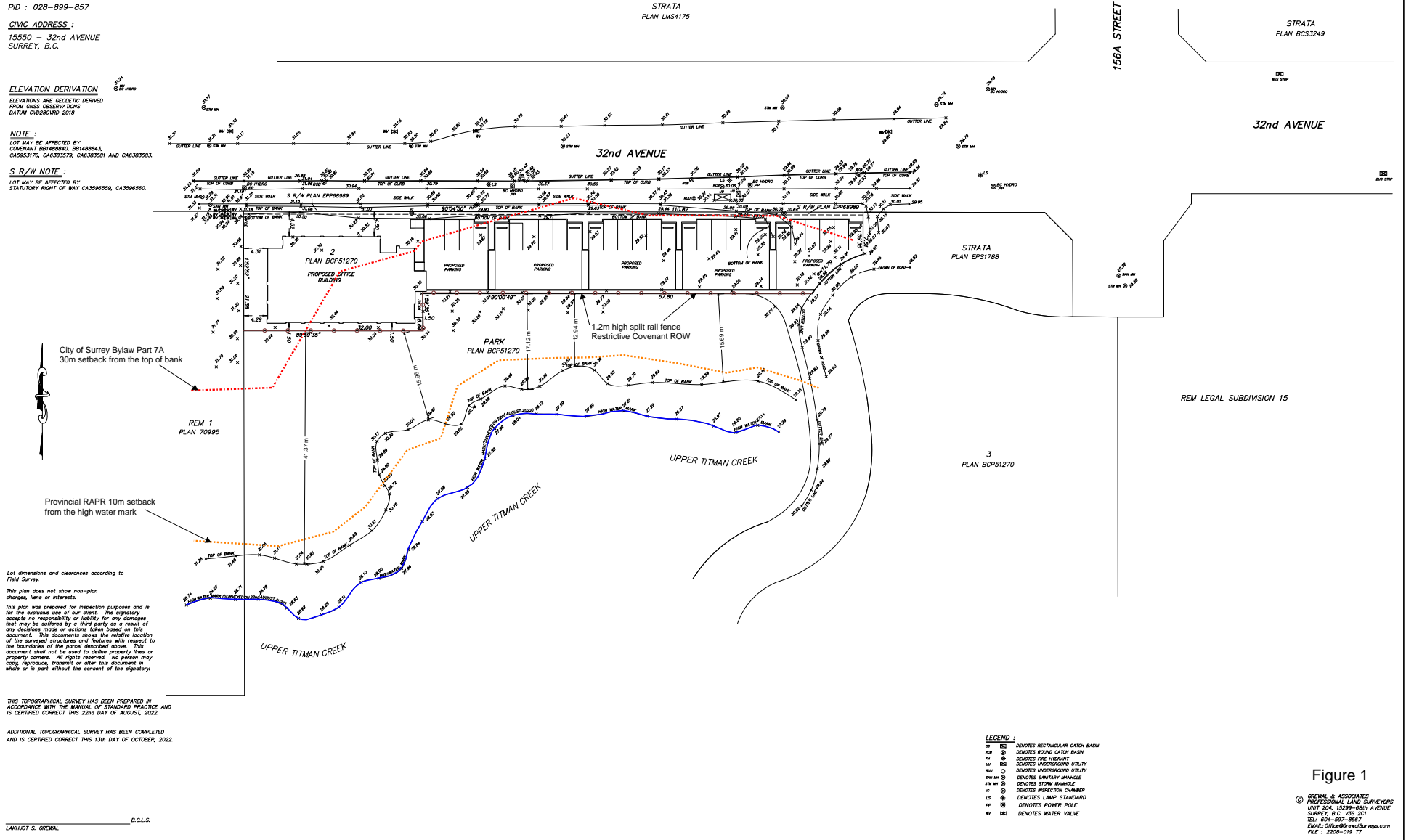
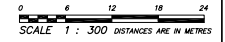


Figure 1

GREWAL & ASSOCIATES  
PROFESSIONAL LAND SURVEYORS  
UNIT 204, 1239-680 AVENUE  
SURREY, B.C. V3S 2Y7  
TEL: 604-597-6567  
EMAIL: Office@grewalandsurveyors.com  
FILE: 2308-019.17

C. Tree Preservation  
 Summary

**Surrey Project No:** 22-0376-00  
**Registered Arborist:** Kin Cho - ISA Board Certified Master Arborist #HK-1086BM

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>192</b>
<b>Protected Trees to be Removed</b>	<b>4</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>188</b>
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio. <u>    0    </u> X one (1) = 0  - All other Trees Requiring 2 to 1 Replacement Ratio <u>    4    </u> X two (2) = 8	<b>8</b>
<b>Replacement Trees Proposed</b>	<b>Refer to Landscape Plan</b>
<b>Replacement Trees in Deficit</b>	<b>Refer to Landscape Plan</b>
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	

Summary, report and plan prepared and submitted by:



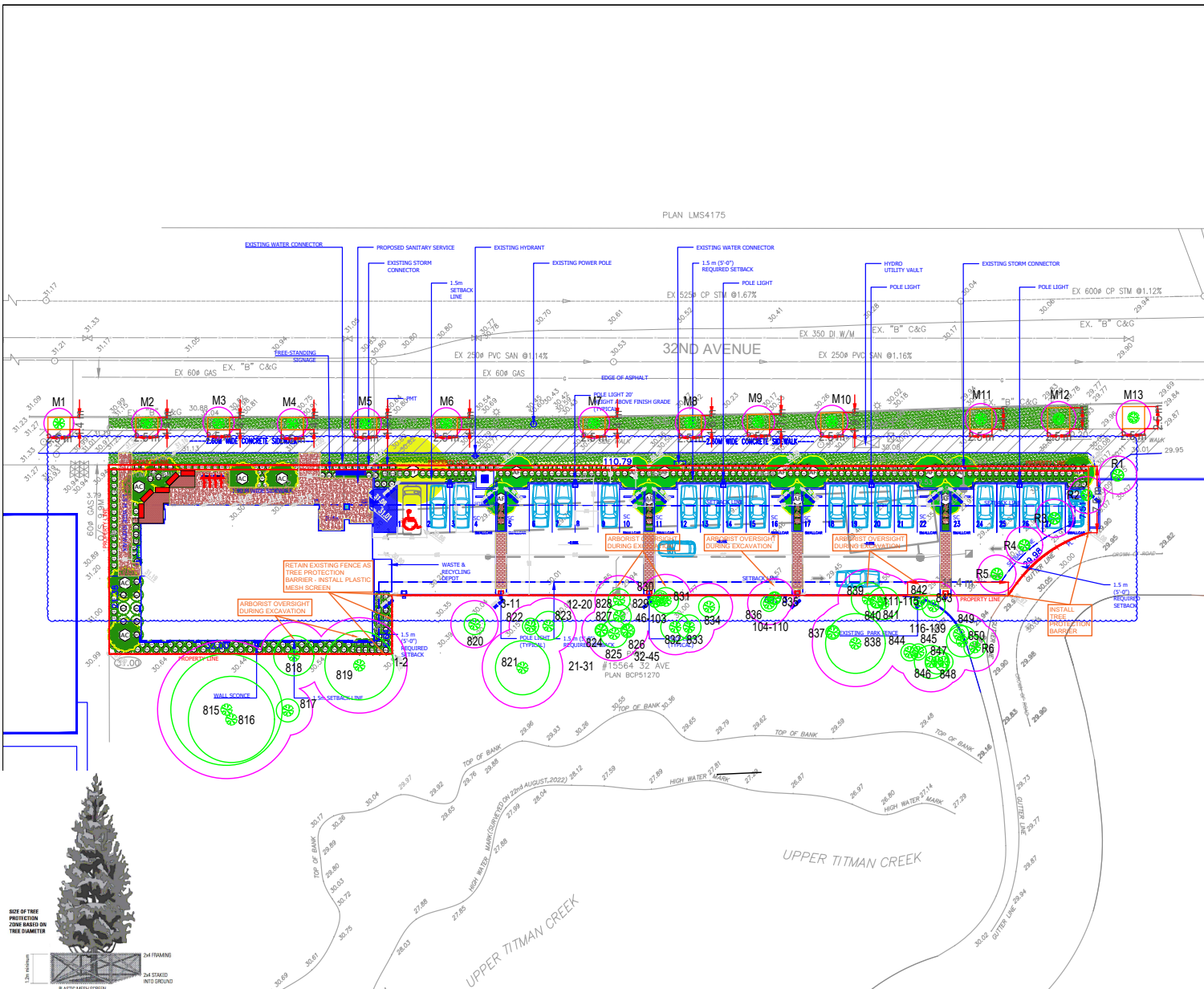
---

(Signature of Arborist)

November 8th, 2023

---

Date



ID #	Location	Common Name	DBH (cm)	RZ Radius (m)	RZ Diameter (m)	Condition	Retain / Remove
R1	Off - 15588 32 Ave	European Mountain Ash	10	0.60	1.30	Fair	Retain
R2	Shared - 15588 32 Ave	European Mountain Ash	9	0.54	1.17	Fair	Remove with written consent from 15588 32 Ave
R3	On	European Mountain Ash	10	0.60	1.30	Fair	Remove
R4	On	European Mountain Ash	9	0.54	1.17	Fair	Remove
R5	On	European Mountain Ash	10	0.60	1.30	Fair	Remove
R6	Off - 15588 32 Ave	Katsura	19	1.14	2.47	Fair	Retain
M1	City	Galaxy Magnolia	3	0.18	0.39	Fair	Retain
M2	City	Galaxy Magnolia	3	0.18	0.39	Fair	Retain
M3	City	Galaxy Magnolia	4	0.24	0.52	Fair	Retain
M4	City	Galaxy Magnolia	3	0.18	0.39	Fair	Retain
M5	City	Persian Parrotia	4	0.24	0.52	Fair	Retain
M6	City	Persian Parrotia	4	0.24	0.52	Fair	Retain
M7	City	Persian Parrotia	4	0.24	0.52	Fair	Retain
M8	City	Persian Parrotia	3	0.18	0.39	Fair	Retain
M9	City	Stellar Pink Dogwood	5	0.30	0.65	Fair	Retain
M10	City	Stellar Pink Dogwood	5	0.30	0.65	Fair	Retain
M11	City	Stellar Pink Dogwood	4	0.24	0.52	Fair	Retain
M12	City	Stellar Pink Dogwood	7	0.42	0.91	Fair	Retain
M13	City	Stellar Pink Dogwood	7	0.42	0.91	Fair	Retain
815	City	Red Alder	97	5.82	12.61	Dying	Retain
816	City	Paperbark Birch	75	4.50	9.75	Poor	Retain
817	City	Western Crabapple	20	1.20	2.60	Dying	Retain
818	City	Western Crabapple	35	2.10	4.55	Fair	Retain with arborist oversight
819	City	Western Crabapple	60	3.60	7.80	Fair	Retain with arborist oversight
820	City	Red Alder	18	1.08	2.34	Good	Retain
821	City	Callery Pear	47	2.82	6.11	Fair	Retain
822	City	Red Alder	14	0.84	1.82	Fair	Retain
823	City	Bigleaf Maple	25	1.50	3.25	Fair	Retain
824	City	Red Alder	11	0.66	1.43	Fair	Retain
825	City	Red Alder	24	1.44	3.12	Fair	Retain
826	City	Red Alder	12	0.72	1.56	Fair	Retain
827	City	Red Alder	21	1.26	2.73	Fair	Retain
828	City	Red Alder	19	1.14	2.47	Fair	Retain with arborist oversight
829	City	Red Alder	10	0.60	1.30	Fair	Retain with arborist oversight
830	City	Red Alder	13	0.78	1.69	Fair	Retain with arborist oversight
831	City	Red Alder	22.5	1.35	2.93	Fair	Retain with arborist oversight
832	City	Black Cottonwood	25	2.50	3.25	Fair	Retain with arborist oversight
833	City	Black Cottonwood	21	1.26	2.73	Fair	Retain
834	City	Red Alder	18	1.08	2.34	Fair	Retain
835	City	Red Alder	11	0.66	1.43	Fair	Retain with arborist oversight Reinspect by the City after development
836	City	Red Alder	14	0.84	1.82	Fair	Retain
837	City	Red Alder	12	0.72	1.56	Fair	Retain
838	City	English Holly	32	3.12	6.76	Fair	Retain
839	City	Red Alder	29	1.74	3.77	Fair	Retain with arborist oversight
840	City	Red Alder	11	0.66	1.43	Fair	Retain with arborist oversight
841	City	Red Alder	28	1.68	3.64	Fair	Retain with arborist oversight
842	City	Red Alder	15	0.90	1.95	Fair	Retain with arborist oversight
843	City	Black Cottonwood	20	1.20	2.60	Fair	Retain with arborist oversight
844	City	Red Alder	15	0.90	1.95	Fair	Retain
845	City	Red Alder	14	0.84	1.82	Fair	Retain
846	City	Black Cottonwood	29	1.74	3.77	Fair	Retain
847	City	Black Cottonwood	21	1.26	2.73	Fair	Retain
848	City	Black Cottonwood	16	0.96	2.08	Fair	Retain
849	City	Black Cottonwood	17	1.02	2.21	Fair	Retain
850	City	Black Cottonwood	27	1.62	3.51	Fair	Retain
1-2	City	Red Alder X 2	5	0.30	0.65	Fair	Retain
3-5	City	Red Alder X 3	8	0.48	1.04	Fair	Retain
6	City	Cherry	9	0.54	1.17	Fair	Retain
7-10	City	Callery Pear X 4	3	0.18	0.39	Fair	Retain
11	City	Oak	1	0.06	0.13	Fair	Retain
12-17	City	Red Alder X 6	5	0.30	0.65	Fair	Retain
18	City	Cherry	5	0.30	0.65	Fair	Retain
19-20	City	Callery Pear X 2	1	0.06	0.13	Fair	Retain
21-29	City	Wine Maple X 9	6	0.36	0.78	Fair	Retain
30-31	City	Red Alder X 1	1	0.06	0.13	Fair	Retain
32-43	City	Vine Maple X 12	4	0.24	0.52	Fair	Retain
44-45	City	Red Alder X 2	5	0.30	0.65	Fair	Retain
46-95	City	Red Alder X 50	3	0.18	0.39	Fair	Retain
96-103	City	Dogwood X 8	2	0.12	0.26	Fair	Retain
104-109	City	Red Alder X 6	7	0.42	0.91	Fair	Retain
110	City	Dogwood	7	0.42	0.91	Fair	Retain
111-115	City	Red Alder X 5	5	0.30	0.65	Fair	Retain
116-136	City	Red Alder X 21	5	0.30	0.65	Fair	Retain
137	City	Dogwood	3	0.18	0.39	Fair	Retain
138	City	Black Cottonwood	6	0.36	0.78	Fair	Retain
139	City	Cherry	5	0.30	0.65	Fair	Retain

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0376-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-899-857

Lot 2 Section 23 Township 1 New Westminster District Plan BCP51270

15550 – 32 Avenue

(the "Land")

3. (a) If the civic address changes, the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

---

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) Section F.2 of Part 52, Comprehensive Development Zone (CD), By-Law No. 17490 – to reduce the south lot line setback from 1.5 metres to 0.3 metres for that southeast portion of the building, as shown in Schedule A;
- (b) Section B.1 (a) of Part 5, Off-Street Parking and Loading/Unloading – to reduce the minimum drive aisle width from 7.0 metres to 6.9 metres for parking spaces 1 – 24 and from 7.0 metres to 0.0 metres for parking spaces 25-28;
- (c) Section B.1 of Part 7A, Streamside Protection – to reduce the minimum distance from *top of bank* for a Class A Natural Stream from 30.0 metres to a minimum of



- (c) Section B.1 of Part 7A, Streamside Protection – to reduce the minimum distance from *top of bank* for a Class A Natural Stream from 30.0 metres to a minimum of 12.94 metres, consistent with the south lot line, in accordance with the Environmental Plan, attached as Schedule B.

Surrey Sign By-law, 1999, No. 13656, as amended is varied as follows:

- (a) Section 27.1.b of Part 5, Signs in Commercial/Industrial Zones is relaxed to permit a free-standing sign within a yard that abuts a highway where the business to which the sign pertains is located in a building whose setback is adjacent to that highway is less than 5.0 metres.
5. This development variance permit applies to only the portion of the Land and the buildings and structures on the Land shown on Schedules A-B which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedules A-B, which is attached hereto and forms part of this development variance permit.
  6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
  7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
  8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE    DAY OF                    , 20    .

ISSUED THIS    DAY OF                    , 20    .

---

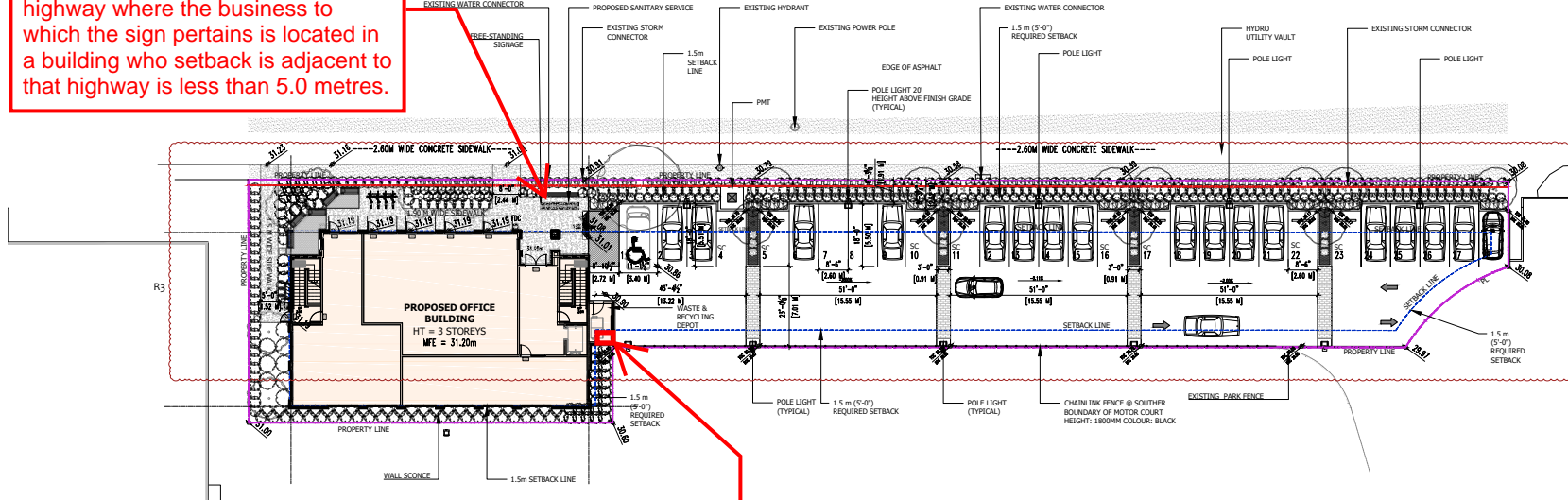
Mayor – Brenda Locke

---

City Clerk – Jennifer Ficocelli

# Schedule A

Section 27.1.b of Part 5 (Sign Bylaw) - to permit a free-standing sign within a yard that abuts a highway where the business to which the sign pertains is located in a building who setback is adjacent to that highway is less than 5.0 metres.



Section F.2 of CD By-Law No. 17490 (Zoning Bylaw) – to reduce the south lot line setback from 1.5 metres to 0.3 metres for the southeast corner or the building.

Section B.1 (a) of Part 5 (Zoning Bylaw) – to reduce the minimum drive aisle width from 7.0 metres to 6.9 metres for parking spaces 1 – 24 and from 7.0 metres to 0.0 metres for parking spaces 25-28



NOTE:  
THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION OBTAINED FROM SURVEY DRAWINGS FROM GREEN & ASSOCIATES PROFESSIONAL LAND SURVEYORS & CIVIL DRAWINGS FROM MANLAND ENGINEERING DESIGN CORPORATION.  
WHILE A REASONABLE EFFORT HAS BEEN MADE TO VERIFY THE INFORMATION IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL LOT DIMENSIONS & TOPOGRAPHIC INFORMATION PRIOR TO START OF CONSTRUCTION. SHOULD ANY DISCREPANCIES BECOME EVIDENT, SEE LANDSCAPE DRAWINGS FOR LANDSCAPE LAYOUT



STREETSCAPE AT 32 AVE  
SCALE: NTS

**LEGEND**

- BUILDING OUTLINE
- PROPERTY LINE
- SETBACK
- S ROW
- CONCRETE SIDEWALK
- REGULAR PARKING STALL (S: IS SMALL CAR)  
NUMBER OF PARKING STALL
- PROPOSED GRADE ELEVATIONS
- BIKE RACK
- SMALL CAR PARKING STALL SIZE:  
2.80M X 4.87M
- STANDARD CAR PARKING STALL SIZE:  
2.80M X 5.50M
- VAN ACCESSIBLE PARKING STALL SIZE:  
3.40M X 5.50M

**COPYRIGHT & USE OF DOCUMENT**  
This plan and design are considered a Consultant's treatment of matter and shall be considered the exclusive property of the Consultant. All Architecture Inc. and may not be used or reproduced without the consent of Mr. Joe H. Martin, registered arch. con. This treatment of matter shall only be used once and solely for this project, no further use shall be deemed a right by anyone without the written consent of the Consultant. No project reversion, conditions or alterations shall stem from the use of this document. In any possible form of reproduction, without the written consent of the Consultant. This document may not be sold or transferred without written agreement from the Consultant. Only the client may retain copies of this document, and only for the purpose of information and reference as it was initially intended.

Any change or manipulation of this document is expressly prohibited. This document must remain completely intact in all forms. The Consultant will not be responsible for changes to this document by others.

**JM Architecture Inc.**  
REGISTERED ARCHITECTS INC.  
Project Joe H. Martin  
PHF 187 - 18285 34th Avenue  
Surrey, BC V4N 1A7  
604.582.2883 - T  
j@jmarchitects.ca - E

**DO NOT SCALE DRAWING**  
Digital Certification  
This document has been electronically certified with digital certificates and encryption technology authorized by the AEC and AECBC. The authoritative original has been transmitted to you in electronic form. Any printed version can be relied upon as a true copy of the original when supplied by the original author. Bearing images of the professional seal and digital certificate, or when printed from the digital certificate electronic file provided.

TOTAL GROSS AREA = 12519 SQFT (1183.08SQM)

NOTIFY THE ARCHITECT IMMEDIATELY.

REV	DATE	DESCRIPTION	BY
3	2015-01-19	RE-DESIGNED FOR DEVELOPMENT PERMIT	JJA
3	2015-01-14	RE-DESIGNED FOR DEVELOPMENT PERMIT	JG
2	2015-01-06	RE-DESIGNED FOR DEVELOPMENT PERMIT	JG
1	2015-11-05	DESIGNED FOR DEVELOPMENT PERMIT	JG

START DATE: 2015-06-15  
PROJECT No: 2015-11  
DR: JG  
CH: JMM  
SCALE: AS SHOWN  
Architects Seal

Project Name: 1550 32nd  
OFFICE BUILDING SURVEY, BC  
1550 32nd  
157359 B.C. LTD  
SURREY, BC  
MR RANDEEP GILL

**TOPOGRAPHICAL SURVEY PLAN AND PROPOSED IMPROVEMENTS  
ON LOT 2 SECTION 23 TOWNSHIP 1  
NWD PLAN BCP51270**

PID : 028-899-857

**CIVIC ADDRESS :**

15550 - 32nd AVENUE  
SURREY, B.C.

**ELEVATION DERIVATION**

ELEVATIONS ARE GEODETIC DERIVED  
FROM GNSS OBSERVATIONS  
DATUM: CHS85/BCRD 2019

**NOTE :**

LOT MAY BE AFFECTED BY:  
CONVEYANCE BCP488942, BCP488943,  
CA5953170, CA6383578, CA6383581 AND CA6383583.

**S.R.W. NOTE :**

LOT MAY BE AFFECTED BY:  
STATUTORY RIGHT OF WAY CA3596559, CA3596560.

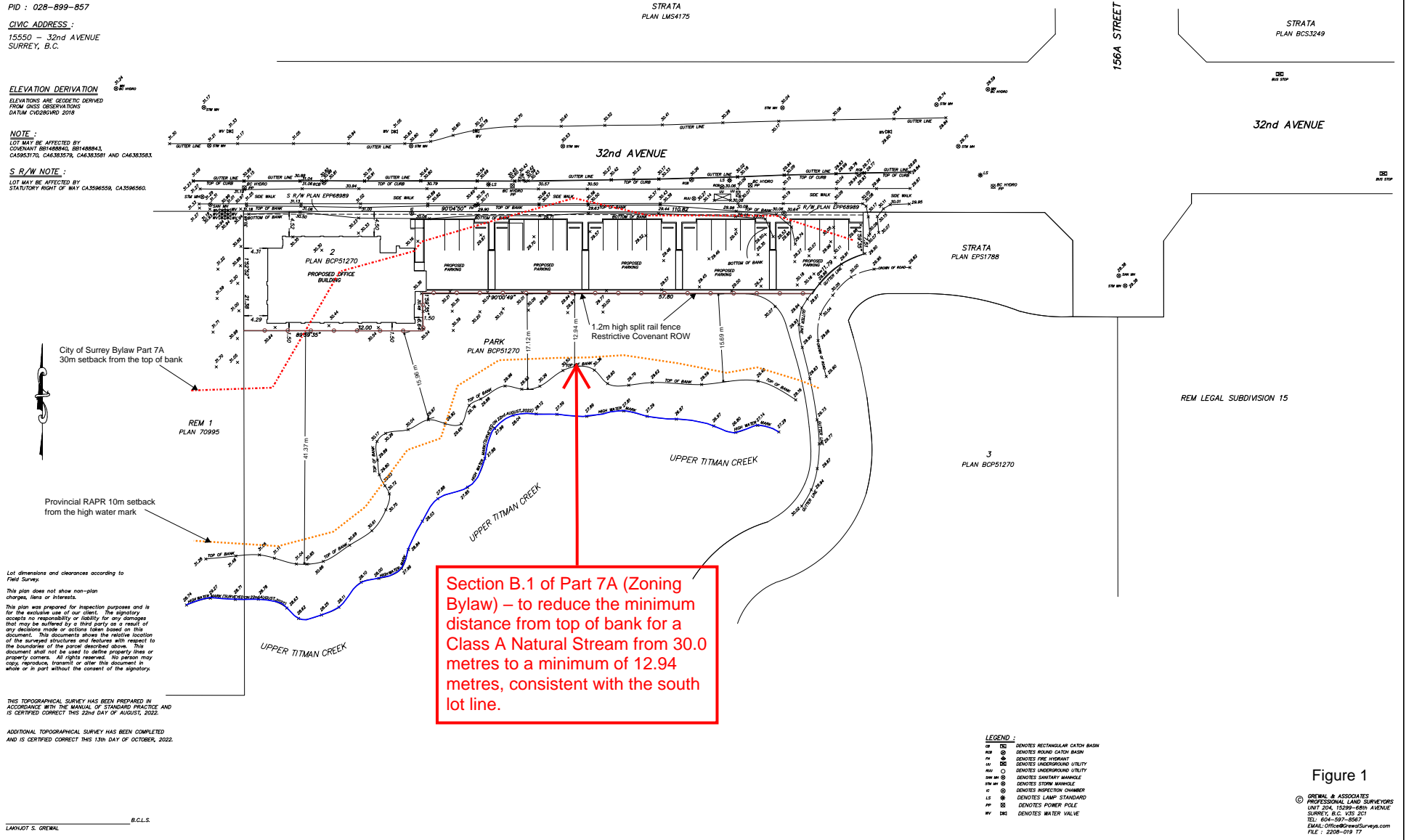
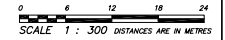


Figure 1