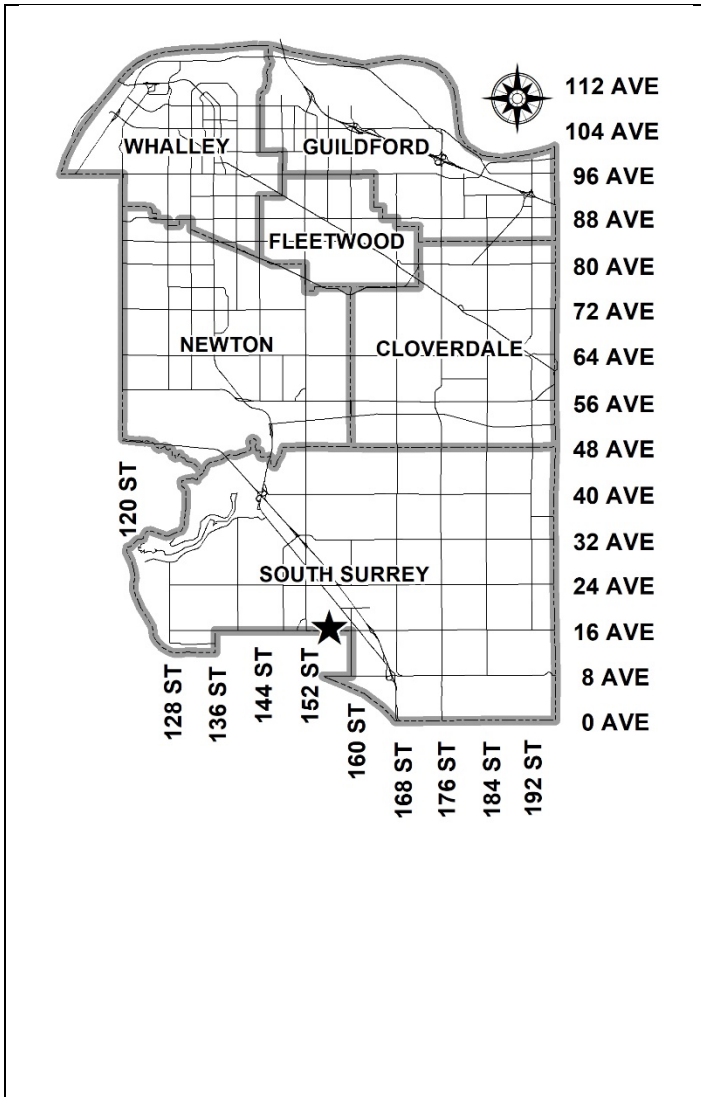


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0009-00

Planning Report Date: October 16, 2023



PROPOSAL:

- **Rezoning** from RF to CD
- **General Development Permit**
- **Detailed Development Permit**

To permit the development of three 12-storey mixed use buildings and one 6-storey apartment building.

LOCATION:

1624 - 156 Street, 15689 - 16 Avenue, 15621 - 16 Avenue, 1636 - 156 Street, 1633 - 156A Street, 1646 - 156 Street, 1643 - 156A Street, 1643 - 157 Street, 15665 - 16 Avenue, 15675 - 16 Avenue, 1626 - 156A Street, 1625 - 156A Street, 15635 - 16 Avenue, 15645 - 16 Avenue, 15697 - 16 Avenue, 1633 - 157 Street

ZONING:

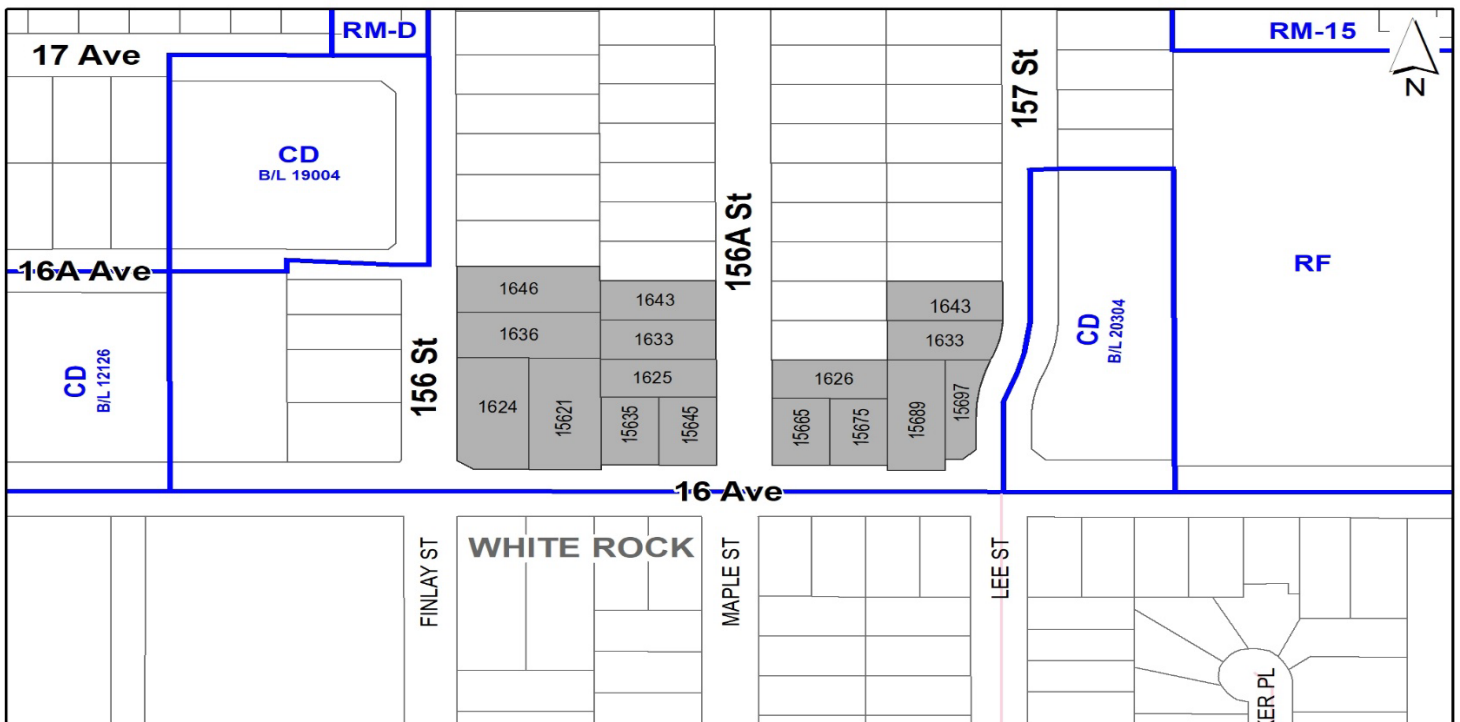
RF

OCP DESIGNATION:

Town Centre and Multiple Residential

TCP DESIGNATION:

Mid-Rise Medical Mixed Use, Low-Rise Mixed Use, and Low-Rise Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing Rezoning.
- Approval to draft a General Development Permit for Form and Character for the west and southeast portions of the site.
- Approval to draft a Detailed Development Permit for Form and Character for the northeast portion of the site.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Town Centre and Multiple Residential designations in the Official Community Plan (OCP).
- The proposal complies with the Mid-Rise Medical Mixed Use and Low-Rise Residential designations in the Semiahmoo Town Centre Plan (TCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of the Semiahmoo Town Centre Plan.
- The proposed development is at the proposed terminus of a planned South Surrey Rapid Bus line and conforms to the goal of achieving higher density development near a transit corridor. The proposal includes the provision of a small Translink facility for bus drivers to utilize.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs) in support of the requested increased density on the site, as per the density bonusing provisions in the Semiahmoo Town Centre Plan.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the properties at 1624 – 156 Street, 1636 – 156 Street, 1646 – 156 Street, 1625 – 156A Street, 1633 – 156A Street, 1643 – 156A Street, 15621 – 16 Avenue, 15635 – 16 Avenue and 15645 – 16 Avenue from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing;
2. A By-law be introduced to rezone the properties at 1626 – 156A Street, 15665 – 16 Avenue, 15675 – 16 Avenue, 15689 – 16 Avenue and 15697 – 16 Avenue from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing;
3. A By-law be introduced to rezone the properties at 1633 – 157 Street and 1643 – 157 Street from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing;
4. Council authorize staff to draft General Development Permit No. 7923-0009-00 generally in accordance with the attached drawings (Appendix I) for the west and south portion of the site at 1646 – 156 Street, 1636 – 156 Street, 1624 – 156 Street, 15621 – 16 Avenue, 15635 – 16 Avenue, 15645 – 16 Avenue, 1625 – 156A Street, 1633 – 156A Street, 1643 – 156A Street, 1626 – 156A Street, 15665 – 16 Avenue, 15675 – 16 Avenue, 15689 – 16 Avenue, and 15697 – 16 Avenue;
5. Council authorize staff to draft Detailed Development Permit No. 7923-0009-01 generally in accordance with the attached drawings (Appendix II) for the northeast portion of the site at 1633 – 157 Street and 1643 – 157 Street;
6. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (f) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, for the northeast Detailed Development Permit building, at the rate in effect at the time of Final Adoption;

- (g) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
- (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
- (i) submission of an acoustical report for the units adjacent to 16 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
- (j) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	TCP Designation	Existing Zone
Subject Site	Vacant	Mid-Rise Medical Mixed Use, Low-Rise Mixed Use and Low-Rise Residential	RF
North:	Single family residential	Townhouse Residential	RF
East (Across 157 Street):	Vacant. Recently approved low-rise apartment building under Development Application No. 7919-0183-00	Low-Rise Residential	CD (By-law No. 20304)
South (Across 16 Avenue):	BC Hydro substation and single family residential, in City of White Rock	White Rock OCP: Institutional and East Side Large Lot Infill Area	n/a
West (Across 156 Street):	Peace Arch Hospital parking lot	Mid-Rise Medical Mixed Use and Low-Rise Mixed Use	RF

Context & Background

- The subject site includes 22 parcels along/near 16 Avenue between 156 Street and 157 Street. Some parcels are proposed for City park land, some for road dedication and others for development. The parcels are currently zoned "Single Family Residential Zone" (RF) and are designated Town Centre and Multiple Residential in the Official Community Plan (OCP) and Mid-Rise Medical Mixed Use, Low-Rise Mixed Use, and Low-Rise Residential in the Semiahmoo Town Centre Plan (TCP).
- The site has a combined area of 19,470 square metres (4.8 acres) and is largely vacant and contains several trees.

- The subject site is bordered to the east (across 157 Street) by a vacant parcel that was recently rezoned for low-rise multiple residential apartments under Development Application No. 7919-0183-00. To the north are existing single family residential properties. Across 156 Street to the west is a Peace Arch Hospital parking lot, and across 16 Avenue to the south, in White Rock, is a BC Hydro substation, a vacant development site and single family residential.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing:
 - A rezoning from "Single Family Residential Zone (RF)" to three "Comprehensive Development Zones (CD)";
 - A Form and Character General Development Permit to allow for three 12-storey mixed use buildings containing apartment units, commercial space, medical offices and short stay rental units; and
 - A Form and Character Detailed Development Permit to construct a 6-storey apartment building in the northeast corner of the site.
- The applicant is seeking both a General Development Permit and a Detailed Development Permit (first phase) as part of the current application and will continue to refine the design of the subsequent phases of the development through subsequent Detailed Development Permit applications. The applicant continues to work with staff on an ongoing basis to resolve specific design-related concerns.
- In addition, the applicant is providing road dedication, and is proposing to consolidate the 22 parcels into 3 development parcels and a City-owned park site.

	Proposed (for entire site)
Lot Area	
Gross Site Area:	19,470 sq.m.
Road Dedication:	4,888 sq.m.
Park Site (to be purchased):	3,221 sq.m.
Net Site Area:	11,361 sq.m.
Number of Lots:	22
Building Height:	46.3 m
Unit Density (gross):	235 units per hectare (including park site)
Floor Area Ratio (FAR) (gross):	3.45
Floor Area	
Residential:	42,296 sq.m.
Commercial:	9,460 sq.m.
Total:	51,756 sq.m.
Residential Units:	
Studio:	28
1-Bedroom:	246
2-Bedroom:	134
3-Bedroom:	49

	Proposed (for entire site)
Total:	457

Referrals

Engineering: The Engineering Department has no objection to the project as outlined in Appendix III.

School District: **The School District has advised that there will be approximately 17 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

9 Elementary students at Jessie Lee Elementary School
 5 Secondary students at Earl Marriott School

(Appendix IV)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the first dwelling units in this project are expected to be constructed and ready for occupancy by Summer 2026.

Parks, Recreation & Culture: Future active parkland is being created through this development as part of the Semiahmoo Town Centre Plan (TCP). Southmere Village Park is the closest park with natural area and is 1.5 km walking distance from the development.

Surrey Fire Department: The project is fine to proceed to the next stage of review.

Advisory Design Panel: The proposal was considered at the ADP meeting on September 14, 2023 and was supported. The applicant has resolved some of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council’s consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

- City of White Rock: No concerns with the proposed land use. The applicant is realigning 157 Street (involving the parcels at 15699 – 16 Avenue and 1635 – 157 Street, through Development Application No. 7919-0183-00) to align with Lee Avenue in White Rock (south of 16 Avenue). This will allow for a full-movement signalized intersection at this location. The details of the intersection will be coordinated with White Rock through the Servicing Agreement process.
- Translink: No concerns. The applicant will be providing a small washroom for Translink bus operators and road dedication for a bus stop on 156 Street and an on-street layover on 16A Avenue.

Transportation Considerations

- The applicant is providing road dedications along 16 Avenue and 156 Street, and also portions of the new 16A Avenue road and a new east-west lane bisecting the eastern development site. The road dedications allow for a bus stop along 156 Street and a bus layover on the new 16A Avenue road. The site is proposed to be the terminus of the future R1 – King George RapidBus extension.
- The subject site is within walking distance to bus stops on 16 Avenue, served by the 321 Surrey Central Station route, 375 White Rock South route, and 360 Ocean Park/Peace Arch Hospital route.
- The applicant is proposing to provide 646 resident parking spaces, 92 visitor parking spaces, and 367 commercial parking space, for a total of 1,105 parking spaces, which meets the requirements of the Zoning By-law. All parking spaces are proposed to be underground.
- As part of the Semiahmoo Town Centre Plan, an area-wide transportation impact assessment (“TIA”) was conducted to assess cumulative traffic impacts of redevelopment of the TCP area and to inform the required transportation infrastructure improvements. Redevelopment of the subject site and the related site-generated traffic impacts were taken into account as part of the area-wide TIA. As a result, a site-specific TIA was not required as part of the subject application.

Parkland

- The applicant is including the parcels located at 1656 – 156 Street, 1668 – 156 Street, 1663 – 156A Street, and 1671 – 156A Street in the application for City park purchase and road dedication purposes. These parcels are part of the neighbourhood park identified in this location in the Semiahmoo Town Centre Plan.
- The park parcels are proposed to be included in the Subdivision and the Servicing Agreement, with the City and land owner agreeing on a purchase price at the time of final adoption.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the General Urban designation in the Metro Vancouver *Regional Growth Strategy* (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the subject site's Town Centre and Multiple Residential designations within the Official Community Plan (OCP).

Themes/Policies

- The proposed development complies with the following themes and policies in the OCP (staff comments are in italics):
 - A1.1 – Support compact and efficient land development that is consistent with the Metro Vancouver *Regional Growth Strategy* (RGS) (2011).
(The proposed development complies with the RGS designation.)
 - A4.2 – Encourage the full and efficient build-out of existing planned urban areas in order to:
 - provide housing options.
(The proposed development will provide apartment and townhouse living options in the Semiahmoo Town Centre Plan area.)
 - B2.14 – Encourage underground parking and provide landscaped open spaces and pedestrian environments in place of surface parking.
(The required residential parking is proposed to be underground.)
 - C1.2 – Encourage the development of more compact and efficient land uses and servicing systems, emphasizing infill and intensification in order to use existing infrastructure systems efficiently and to minimize the costs of new utility infrastructure.
(The proposed development is of a sufficient density to utilize transit and existing infrastructure efficiently and is located on an infill site.)

Secondary Plans

Land Use Designation

- The proposal complies with the Mid-Rise Medical Mixed Use, Low-Rise Mixed Use, and Low-Rise Residential designations in the Semiahmoo Town Centre Plan (TCP).

Detailed Development Permit Northeast Apartment CD By-law

- The applicant is proposing three "Comprehensive Development Zones (CD)" to accommodate the proposed uses on the site. The applicant is proposing 3 development parcels, and having three zones allows each parcel to have its own zoning in the future, rather than being tied to another parcel, which can lead to potential complications in the future.
- The proposed CD By-law for Detailed Development Permit northeast apartment building identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone, and the proposed CD Bylaw is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Floor Area Ratio:	1.50	2.65 (net)
Lot Coverage:	33%	54%
Yards and Setbacks	7.5m for the principal building. An underground parking facility is not to be located within 2.0m of the front lot line.	4.5m for the principal building. Street-fronting patios and stairs are permitted to encroach within the setback area. The underground parking facility may be located up to 0.5m from the north and west and south property lines and 0.3m from the west property line.
Principal Building Height:	50.0m	24.0m
Amenity Space		
Indoor Amenity:	3.0 sq.m. per unit	The applicant proposes 117 sq.m. + CIL to meet the Zoning Bylaw requirement.
Outdoor Amenity:	3.0 sq.m. per unit.	The proposed 279 sq.m. meets the Zoning Bylaw requirement.
Parking (Part 5)		Required
Number of Stalls		Proposed
Residential:	71	72
Residential Visitor:	10	12
Total:	81	84

Bicycle Spaces		
Residential Secure Parking:	61	61
Residential Visitor:	6	9
Total:	67	70

- The CD Zone proposes a higher net floor area ratio (FAR) at 2.65 relative to the 1.5 FAR permitted under the RM-70 Zone. The proposed FAR is in keeping with the site's Low-Rise Residential designation in the Semiahmoo Town Centre Plan, which allows bonus density, provided the project is within the designation's Development Parameters.
- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The proposed 54% lot coverage for the site is appropriate for the proposed 6-storey building.
- The proposed 4.5-metre building setbacks are reflective of current urban design standards that creates a more urban pedestrian environment and enhances surveillance of the public realm along streets. The properties to the west are designated Low-Rise Mixed Use and are anticipated to redevelop in a similar massing as the subject site.
- The CD Zone proposes a lower building height at 24.0 metres relative to the building height of 50.0 metres permitted by the RM-70 Zone. The proposed building height reflects the applicant's proposal for a 6-storey building.
- The applicant is proposing to provide 72 resident parking spaces and 12 visitor parking spaces, for a total of 84 residential parking spaces, which exceeds the Zoning By-law requirements of 81 residential parking spaces. All resident parking and resident visitor parking are provided underground. The residential parkade will be secured by an overhead gate. All residential parking spaces and visitor parking spaces are provided with electric charging capacity.
- The parking count includes 2 accessible residential parking spaces. The applicant is also providing bike parking spaces for each apartment unit and the required 6 visitor bike parking spaces.

General Development Permit Western Block CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed mixed-use development on the western block of the subject site. The proposed CD By-law identifies appropriate uses, densities, and setbacks. The CD By-law will have provisions based on the "Multiple Residential Commercial 135 Zone (RMC-135)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RMC-150 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RMC-135 Zone (Part 26)	Proposed CD Zone
Permitted Uses:	<ol style="list-style-type: none"> 1. Multi-unit residential buildings and ground-oriented multiple unit residential buildings. 2. Retail stores excluding adult entertainment stores. 3. Personal service excluding body rub parlours. 4. General service uses excluding funeral parlours and drive-through banks. 5. Eating establishments excluding drive-through restaurants. 6. Neighbourhood pubs. 7. Office uses excluding social escort services and methadone clinics. 8. Indoor recreational facilities. 9. Entertainment uses excluding arcades and adult entertainment stores. 10. Community services. 11. Child care centres. 	<ol style="list-style-type: none"> 1. Multiple unit residential buildings, provided that a minimum 5,730 square metres of medical office uses are provided on the lot. 2. Retail stores excluding adult entertainment stores, auction houses, second-hand stores and pawnshops. 3. Personal services uses, excluding body rub parlours. 4. Office uses excluding social escort services, methadone clinics and marijuana dispensaries. 5. General services uses excluding funeral parlours, drive-through banks and vehicle rentals. 6. Indoor recreational facilities, excluding a gymnasium. 7. Community services. 8. Eating establishments excluding drive-through restaurants, provided that they are restricted to the ground floor of a multiple unit residential building and the maximum gross floor area of each individual business does not exceed 150 sq. m. 9. Child care centres.
Floor Area Ratio:	2.50	4.17 (net)
Lot Coverage:	33%	60%
Yards and Setbacks	<p>Minimum 7.5m or minimum 50% of the building height.</p> <p>An underground parking facility is not to be located within 2.0m of the front lot line.</p>	<p>4.5m for residential uses and 3.0m for commercial uses. Street-fronting patios and stairs are permitted to encroach within the setback area. The underground parking facility may be located up to 0.5m from the north and west and south property line and 0.3m from the west property line.</p>
Principal Building Height:	Not applicable to this zone.	46.3m
Amenity Space		
Indoor Amenity:	3.0 sq.m. per unit	The proposed 792 sq.m. meets the Zoning Bylaw requirement.
Outdoor Amenity:	3.0 sq.m. per unit.	The proposed 950 sq.m. meets the Zoning Bylaw requirement.
Parking (Part 5)		Required
Number of Stalls		Proposed
Residential:	349	349
Residential Visitor:	51	51
<u>Total Residential:</u>	400	400
Commercial:	347	347
Grand Total:	747	747

Bicycle Spaces		
Residential Secure Parking:	303	303
Residential Visitor:	12	12
Total:	315	315

- The uses proposed in the CD Zone largely reflect the uses proposed in the RMC-135 Zone with the main difference being that neighbourhood pubs and entertainment uses are not proposed in the CD Zone. In addition, in keeping with the requirements of the site's Mid-Rise Medical Mixed Use designation in the Semiahmoo Town Centre Plan (TCP), a certain amount of medical office floor area is required to be provided. The Semiahmoo TCP indicates that 1.0 FAR of medical related uses are to be provided on both the site of the subject western CD Zone and also the parcels to the east at 15665/75 – 16 Avenue. The applicant has combined all the medical office onto the subject western CD Zone, reflecting this site's closer proximity to the Peace Arch Hospital. The zone stipulates that apartment residential uses are only permitted if the required 5,730 square metres of medical office space is provided.
- The CD Zone proposes a higher net floor area ratio (FAR) at 4.17 relative to the 2.5 FAR permitted under the RMC-135 Zone. The proposed FAR is in keeping with the site's Mid-Rise Medical Mixed Use and Low-Rise Mixed-Use designations in the Semiahmoo TCP, which allows bonus density, provided the project is within the designation's Development Parameters.
- The RMC-135 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The proposed 60% lot coverage for the site is appropriate for the proposed 12-storey building.
- The proposed 4.5-metre building setbacks for the residential components and 3.0-metre setback for commercial components are reflective of current urban design standards that creates a more urban pedestrian environment and enhances surveillance of the public realm along streets.
- The CD Zone proposes a lower building height at 46.3 metres relative to the unlimited building height of permitted by the RMC-135 Zone. The proposed building height reflects the 12-storey height limit in the Semiahmoo Town Centre Plan for the subject site.
- The applicant is proposing to provide 349 resident parking spaces and 51 visitor parking spaces, for a total of 400 residential parking spaces, which meets the Zoning By-law requirements. In addition, the applicant is also providing 347 commercial parking spaces, which meets the Zoning By-law requirements.
- The applicant is also providing bike parking spaces for each apartment unit and the required 12 visitor bike parking spaces.

General Development Permit Southeastern Block CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed mixed-use development on southeastern of the subject site. The proposed CD By-law identifies appropriate uses, densities, and setbacks. The CD By-law will have provisions based on the "Multiple Residential 135 Zone (RM-135)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-135 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-135 Zone (Part 25)	Proposed CD Zone
Permitted Uses:	<p>Principal Use:</p> <ol style="list-style-type: none"> Multi-unit residential buildings and ground-oriented multiple unit residential buildings. <p>Accessory Use:</p> <ol style="list-style-type: none"> Child care centres is permitted as an accessory use. 	<p>Principal Use:</p> <ol style="list-style-type: none"> Multiple unit residential buildings. <p>Accessory Use:</p> <ol style="list-style-type: none"> Tourist accommodation, provided that lodging is not permitted for more than 182 consecutive days and an onsite property manager is present on site. <p>The below accessory uses are restricted to the ground floor:</p> <ol style="list-style-type: none"> Retail stores excluding adult entertainment stores, auction houses, second-hand stores and pawnshops. Personal services uses, excluding body rub parlours. Office uses excluding social escort services, methadone clinics and marijuana dispensaries. General services uses excluding funeral parlours, drive-through banks and vehicle rentals. Indoor recreational facilities, excluding a gymnasium. Community services. Eating establishments excluding drive-through restaurants, provided that they are restricted to the ground floor of a multiple unit residential building and the maximum gross floor area of each individual business does not exceed 150 sq. m. Child care centres. <p>The below live-work accessory uses are within a dwelling unit and are limited to the ground floor:</p> <ol style="list-style-type: none"> Retail stores excluding adult entertainment stores, auction houses, second-hand stores and pawnshops, convenience stores, retail warehouses, flea markets, and auction houses; Personal services uses, limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops; Office uses excluding social escort services, methadone clinics and marijuana dispensaries; and General services uses excluding funeral parlours, drive-through banks, vehicle rentals, veterinary clinics, adult educational institutions and appliance repair shop.
Floor Area Ratio:	2.50	4.44 (net)
Lot Coverage:	33%	67%

Yards and Setbacks	Minimum 7.5m or minimum 50% of the building height. An underground parking facility is not to be located within 2.0m of the front lot line.	4.5m for residential uses and 3.0m for commercial uses. Street-fronting patios and stairs are permitted to encroach within the setback area. The underground parking facility may be located up to 0.5m from any lot line.
Principal Building Height:	Not applicable to this zone.	39.0m
Amenity Space		
Indoor Amenity:	3.0 sq.m. per unit	The proposed 515 sq.m. meets the Zoning Bylaw requirement.
Outdoor Amenity:	3.0 sq.m. per unit.	The proposed 600 sq.m. meets the Zoning Bylaw requirement.
Parking (Part 5)		Required
Number of Stalls		Proposed
Residential:	223	223
Residential Visitor:	31	31
<u>Total Residential:</u>	254	254
Commercial:	20	20
Grand Total:	274	274
Bicycle Spaces		
Residential Secure Parking:	185	185
Residential Visitor:	6	6
Total:	191	191

- The uses proposed in the CD Zone largely reflect the site's split designation in the Semiahmoo Town Centre Plan (TCP) as the western portion of the block is designated Mid-Rise Medical Mixed Use and the eastern portion is designated Low-Rise Residential. As described above, the applicant is proposing that the medical-related uses be placed on the westernmost portion of the overall site, nearer to the Peace Arch Hospital. The subject CD Zone is proposed to have some ground floor commercial space, some ground floor live-work units, several "short-stay" rental units, and typical apartment units.
- The CD Zone proposes a higher net floor area ratio (FAR) at 4.44 relative to the 2.5 FAR permitted under the RM-135 Zone. The proposed FAR is in keeping with the site's Mid-Rise Medical Mixed Use and Low-Rise Residential designations in the Semiahmoo TCP, which allow bonus density, provided the project is within the designations' Development Parameters.
- The RM-135 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The proposed 67% lot coverage for the site is appropriate for the proposed 12-storey building.

- The proposed 4.5-metre building setbacks for the residential components and 3.0-metre setback for commercial components are reflective of a current urban design approach that creates a more urban pedestrian environment and enhances surveillance of the public realm along streets.
- The CD Zone proposes a lower building height at 39.0 metres relative to the unlimited building height permitted by the RM-135 Zone. The proposed building height reflects the 12-storey height limit in the Semiahmoo Town Centre Plan for the subject site.
- The applicant is proposing to provide 223 resident parking spaces and 31 visitor parking spaces, for a total of 254 residential parking spaces, which meets the Zoning By-law requirements. In addition, the applicant is also providing 20 commercial parking spaces, which meets the Zoning By-law requirements.
- The applicant is also providing bike parking spaces for each apartment unit and the required 6 visitor bike parking spaces.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,136 per unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation. The proposed development will be required to pay the rates that are applicable at the time of Final Adoption.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on April 12, 2023, and the Development Proposal Signs were installed on April 18, 2023. Staff received 9 responses from area residents (*staff comments in italics*). One respondent was seeking general information on the application and expressed no concerns. Other respondent had questions on drainage, concerns about height, traffic impacts, the unsightliness of the land assembly area and squatting issues, and questions about the process and the impact on the neighbouring parcel at 1646 – 156A Street that is not part of the land assembly.

(The proposal complies with the Development Parameters in the Semiahmoo Town Centre Plan. The applicant is providing road dedication for 16A Avenue and also a bus stop along 156 Street and a bus layover on the new 16A Avenue road. The applicant is also providing a new traffic signal at 16 Avenue and 157 Street, which will ensure this intersection improves in operation and safety. The applicant has sought to secure the site to deal with squatting and related issues.

A concept plan was prepared for the parcel at 1646 – 156A Street that demonstrated a feasible development for this adjacent parcel. The applicant also owns the neighbouring parcel at 1636 – 156A Street but did not include this parcel in the subject application, in order to allow for a future consolidation with 1646 – 156A Street, to ensure a feasible future development on these 2 parcels.)

DEVELOPMENT PERMITS

Detailed Development Permit for Form and Character (Northeastern building)

- The applicant is proposing a Detailed Development Permit for the northeastern building, and this section of the report will deal with this building. The proposed development generally complies with the Form and Character Development Permit guidelines in the Official Community Plan (OCP).
- The applicant is proposing a 6-storey apartment building containing 51 units, consisting of 1 studio unit, 28 one-bedroom units, 17 two-bedroom units, and 5 three-bedroom units.
- The building is brought closer to the streets (16A Avenue and 157 Street) with a 4.5 metre setback to animate the street with richly landscaped private patios and strong two-storey individualized unit modules that provide visual surveillance of the public realm. The street units have an exterior door to the sidewalk (and an interior door to the internal hallway), which further promotes interaction with the public realm.

- The primary residential lobby entrance is along 157 Street, where the mail and parcel facilities are also located. The architecture and landscape architecture incorporates CPTED principles, including landscape design that allows clear and unobstructed views, visible and well-lit walkways and entries, and glazed doors in stairwell and parkade lobbies.
- The applicant is proposing to provide two levels of underground parking, which will provide for the required resident and visitor parking. No at-grade surface parking is proposed.
- The design of the building is a mix of traditional Georgian brick backdropped with western style horizontal and vertical siding façade materials. The character is scaled up into an apartment form that breaks free from a rigid symmetry, but retains a strong cubism form capped with a flat roof with deep overhangs that suggest its blend with the western style hallmarks.
- The brick veneer at the base also extends over several storeys to intertwine the two characters for a unified appearance. The proposed exterior materials include brick (red), fibre cement siding (gray, light gray), and longboard aluminum soffit (light fir) and black window frames.

Signage

- The applicant is proposing to have a small fascia sign identifying the building name above the main lobby entrance.

Landscaping

- The landscaping includes a mix of trees, shrubs, and ground cover. The landscaping concept will provide a safe pedestrian environment, attractive landscaping features, and a combination of plantings that will provide visual interest throughout the year.
- A plaza area with seating and visitor bike racks are proposed at the front lobby. A small pedestrian plaza is proposed at the intersection of 16A Avenue and 157 Street. Three benches are proposed in this plaza space.

Indoor Amenity

- The Zoning By-law requires that 153 square metres of both indoor and outdoor amenity space be provided for the residential units in the proposed building, based on the requirement of 3 square metres per dwelling unit.
- The proposed 117 square metres of total physical indoor amenity space is less than the minimum required of the Zoning By-law. The proposed indoor amenity space provides adequate gathering area for the future residents. The shortfall will be addressed through a cash-in-lieu payment following approved City Policy at the rate in effect at the time of final adoption.

- The proposed indoor amenity space is proposed on the ground floor on the south side of the building. The amenity space contains a washroom, kitchen facilities and a gathering space, which opens directly onto the outdoor amenity space.

Outdoor Amenity

- The applicant is proposing a total of 279 square metres of outdoor amenity space in two areas respectively, which exceeds the area required under the Zoning By-Law. The 42 square metre ground floor outdoor amenity space is adjacent to the indoor amenity room and contains a landscaped seating area.
- The 237 square metre rooftop outdoor amenity area contains outdoor seating, a barbeque and dining area, a children's play area, landscape planted areas, and garden plots with a potting table and compost.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - Review south elevation access to natural daylight for inset units;
 - Further design development to enhance use of the lower amenity area;
 - Design development of the west elevation interface to the neighbouring property; and
 - Refinement of public realm interface and landscape details.
- The applicant has been provided a list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

General Development Permit for Form and Character (Western Block)

- The applicant is proposing a General Development Permit for the western block, which contains two 12-storey mixed use buildings. This section of the report will deal with these buildings. The proposed development generally complies with the Form and Character Development Permit guidelines in the Official Community Plan (OCP).
- The applicant is seeking both a General Development Permit and a Detailed Development Permit (first phase) as part of the current application and will continue to refine the design of the subsequent phases of the development through subsequent Detailed Development Permit applications. The applicant continues to work with staff on an ongoing basis to resolve specific design-related concerns.
- Two mixed use buildings are proposed on the proposed parcel bounded by 16 Avenue, 156 Street, 16A Avenue and 156A Street. The westerly building is proposed to have 110 apartment units, a 245 square metre café space, 845 square metres of commercial retail unit (CRU) space and 6,063 sq.m. of medical office space. The easterly building is proposed to have 183 apartment units, 682 square metres of CRU and 1,347 square metres of medical office space.

- The buildings contain a substantial amount of medical office space, due to the requirements of the site's Mid-Rise Medical Mixed Use designation in the Semiahmoo Town Centre Plan (TCP). The Semiahmoo TCP indicates that 1.0 FAR of medical related uses are to be provided on both the site of the subject western block and also the parcels to the east at 15665/75 – 16 Avenue. The applicant has combined all the medical office onto the subject western block, reflecting this site's closer proximity to the Peace Arch Hospital.
- The residential unit mix consists of 22 studio units, 135 one-bedroom units, 72 two-bedroom units, and 23 three-bedroom, for a total of 252 units. The provision of 36% of units that are 2- or 3-bedrooms fulfills the unit mix requirements of the Semiahmoo TCP.
- The buildings have ground floor commercial space designed on all street frontages, with the exception of 4 townhouse units along 156A Street in the northeast corner of the block. Continuous weather protection is provided for pedestrians along the commercial frontages through the provision of canopies and awnings.
- The buildings share an underground parking and loading area, with an entrance on 156A Street. The applicant is proposing to provide two levels of underground parking. No at-grade surface parking is proposed. The residential parkade will be secured by an overhead gate. As this portion of the site is for a General Development Permit, details of the underground parking, including accessible spaces and electric charging capacity will be confirmed through the Detailed Development Permit.
- The design of the buildings will be contemporary Scandinavian character and massing traits with simple volumes, continuous façade planes having a strong window grid fenestration created by deep window lattice frames on the mixed-west tower and a strong checkered grid pattern on the mixed-east tower with its void to solid ratio. The commercial realm proposes generous amounts of retail glazing at street-level and continuous weather protection. In the same way, the office floors are extensively wrapped with glazing to allow deeper daylight penetration into the floor plates.
- High quality materials and careful detailing are used to achieve a high quality building treatment. The proposed exterior materials include aluminum composite cladding (charcoal), glazed curtain walls, and brick (gray). Metal guardrails with transparent glazing are proposed for the balconies.

Indoor Amenity

- The Zoning By-law requires that 756 square metres of both indoor and outdoor amenity space be provided for the residential units in the proposed project, based on the requirement of 3 square metres per dwelling unit. The development is proposed to be one lot with one strata, so all of the indoor and outdoor amenity space will be shared by residents of the two buildings.
- The proposed 792 square metres of physical indoor amenity space exceeds the minimum required under the Zoning By-law. A 210 square metre indoor amenity space is proposed in the western building on the sixth floor. The amenity space contains a washroom, kitchen facilities, eating/meeting space, a fitness/games area and a business support area. The indoor amenity space is adjacent to the outdoor amenity space on the sixth floor.

- The eastern building is proposed to contain a 582 square metre ground floor amenity space, consisting of a large 462 sq.m. fitness area on the second floor, and a 120 sq.m. amenity area on the seventh floor. Both indoor amenity areas are adjacent to outdoor amenity space. The seventh floor amenity area contains two kitchen areas and lounge and meeting space.

Outdoor Amenity

- The applicant is proposing a total of 950 square metres of outdoor amenity space, which substantially exceeds the requirements in the Zoning By-Law. The western building is proposing an outdoor amenity area on the sixth floor, adjacent to the indoor amenity area. This area contains a barbeque area, outdoor seating, landscaping, and a children's play area.
- The eastern building is proposing a large outdoor amenity area on the seventh floor. The area contains a barbeque area, outdoor seating, landscaping, and a children's play area. A second floor outdoor amenity area, next to the indoor fitness centre, contains an outdoor gym space and a jogging track.

Signage

- Signage for the commercial units will be done at the Detailed Development Permit stage.

Landscaping

- The landscaping includes a mix of trees, shrubs, and ground cover. The landscaping concept will provide a safe pedestrian environment, attractive landscaping features, and a combination of plantings that will provide visual interest throughout the year. Bike parking is provided throughout the site.
- The applicant has developed an attractive central mews area between the two buildings. This area contains landscaping as well as various seating opportunities. The mews is raised above the street level at 16 Avenue and staff have identified this as an item that needs to be addressed, so that the central mews area is not raised so high above the 16 Avenue sidewalk and public realm.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - Design development to improve the public realm interfaces with regards to grading, landscaping and building access, in particular along 16 Avenue;
 - Articulating the tower forms through the podium for stronger visual distinction;
 - Development and coordination of the amenity spaces; and
 - Resolution of Fire access to each unit and common lobbies.
- The applicant has been provided a list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

General Development Permit for Form and Character (Southeastern Building)

- The applicant is proposing a General Development Permit for the southeastern block, which contain a 12-storey mixed use building. This section of the report will deal with this building. The proposed development generally complies with the Form and Character Development Permit guidelines in the Official Community Plan (OCP).
- The southeastern mixed use building has a total floor area of 13,030 square metres. The ground floor is proposed to consist of a corner café, 8 townhouse live-work units and 7 townhouse units. Residential units are proposed on floors 2 through 12. A significant number, to be precisely programmed at the Detailed Development Permit stage, albeit less than half, are proposed to be short-stay rental units. The short-stay component is envisioned to provide flexible accommodations for patients, and families of patients, for the nearby Peace Arch Hospital. The applicant is proposing to have a property manager onsite at all times (ie. similar to a hotel front desk) to aid in the management of the short-stay component.
- The residential unit mix consists of 5 studio units, 83 one-bedroom units, 45 two-bedroom units, and 21 three-bedroom, for a total of 154 units. The provision of 43% of units that are 2- or 3-bedrooms fulfills the unit mix requirements of the Semiahmoo TC.
- The primary entrance to the residential portion of the building is located on the west elevation, along 156A Street. The vehicular access to the underground parking is from the proposed lane on the north side. No at-grade surface parking is proposed. The residential parkade will be secured by an overhead gate. As this portion of the site is for a General Development Permit, details of the underground parking, including accessible spaces and electric charging capacity will be confirmed through the Detailed Development Permit.
- The building has a strong street presence as it provides street enclosure with a strong 2-storey podium anchored with its 12-storey mid-rise tower at the west end of the block and its low-rise 6-storey massing at the east end of the block. The ground floor residential units interact with the street and lane frontages with their large private patio spaces connected to those roadways. Its major massing sculpting gesture scallops out the 16 Avenue massing from the third storey onwards in its mid-section and mid-block, where its outdoor and indoor amenity spaces are staggered above as a terrace towards the street and south daylight view.
- The design of the building is comprised of an arrangement of 3 principle volumes to articulate the block-long building scale. Its greater massing and height tend towards the west, where there are more mid-rises proposed to the west and tapers down its massing to the east, where it is tempered by adjacent proposed low-rises. It uses a strong grid pattern to arrange the details of the façade design.
- High quality materials and careful detailing are used to achieve a high quality building treatment. The proposed exterior materials include cementitious/terracotta panel (off-white) and double glazed curtain walls. Metal guardrails with metal railings are proposed for the balconies.

Indoor Amenity

- The Zoning By-law requires that 462 square metres of both indoor and outdoor amenity space be provided for the residential units in the proposed project, based on the requirement of 3 square metres per dwelling unit.
- The proposed 515 square metres of physical indoor amenity space located in three areas exceeds the minimum required under the Zoning By-law. A 363 square metre indoor pool/change room area is proposed on the third floor. An 82 square metre business lounge area with a washroom is proposed on the fourth floor. A 70 square metre event space with washroom and a kitchen is proposed on the seventh floor, adjacent to an outdoor amenity area.

Outdoor Amenity

- The applicant is proposing a total of 600 square metres of outdoor amenity space, which exceeds the requirements in the Zoning By-Law. An outdoor amenity area is proposed on the third floor, adjacent to the indoor pool area. This area has landscaping and outdoor seating, with a southern exposure for maximum natural light.
- A larger outdoor amenity area is proposed on the seventh floor, adjacent to the seventh floor indoor amenity area. This amenity area contains an outdoor barbeque and dining area, game space (ie. table tennis or pool tables), a community garden area and landscaped areas.

Signage

- Signage for the commercial units will be done at the Detailed Development Permit stage.

Landscaping

- The landscaping includes a mix of trees, shrubs, and ground cover. The landscaping concept will provide a safe pedestrian environment, attractive landscaping features, and a combination of plantings that will provide visual interest throughout the year. Bike parking is provided throughout the site.
- As described above, the two outdoor amenity areas are landscaped and provide some greenspace for future residents. A small pedestrian plaza is proposed at the intersection of 16 Avenue and 157 Street. A private sidewalk is provided along the lane, which will aid pedestrian circulation in the lane way.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - Design development to improve the public realm interfaces with regards to grading, landscaping and building access, in particular, along 16 Avenue at the southwest corner; and
 - Development and coordination of the amenity spaces.

- The applicant has been provided a list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- D. Glyn Romaine, ISA Certified Arborist of Vanderzalm and Associates prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees			
Apple	2	1	1
Birch	1	1	0
Crabapple	1	1	0
Flowering cherry	7	5	2
Pear	1	1	0
Cherry plum	1	1	0
Sweet cherry	9	8	1
Norway maple	1	0	1
Tulip tree	1	0	1
Mountain ash	3	2	1
Japanese maple	2	2	0
Golden chain tree	1	1	0
Willow	1	0	1
Laburnum	1	1	0
Coniferous Trees			
Blue spruce	4	2	2
Norway spruce	1	0	1
European larch	1	0	1
Grand fir	2	0	2
Western hemlock	1	1	0
Western redcedar	59	50	9
Douglas-fir	35	28	7
Deodar cedar	5	1	4
Ponderosa pine	1	0	1
Scots pine	1	1	0
Western hemlock	1	0	0
False Cypress	9	7	2
Total (excluding Alder and Cottonwood Trees)	151	114	37
Additional Trees in the proposed City Park site	17	1	16

Total Replacement Trees Proposed (excluding Boulevard Street Trees)	20 (for Detailed DP portion of site)
Total Retained and Replacement Trees	57
Contribution to the Green City Program	\$114,400

- The Arborist Assessment states that there are a total of 151 mature trees on the site and no Alder/Cottonwoods. It was determined that 37 trees can be retained as part of this development proposal, with some trees being retained on the General Development Permit portion of the site. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees and a 2 to 1 replacement ratio. This will require a total of 228 replacement trees on the site. Since only 20 replacement trees are proposed at the current time for the Detailed Development Permit (northeast portion of the site), the deficit of 208 replacement trees will require a cash-in-lieu payment of \$114,400, representing \$550 per tree, to the Green City Program, in accordance with the City’s Tree Protection By-law.
- The new trees on the Detailed Development Permit northeast portion of the site will consist of a variety of trees including Japanese maple, Austrian pine and Japanese snowbell.
- In summary, a total of 57 trees are proposed to be retained or replaced on the site with a contribution of \$114,400 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

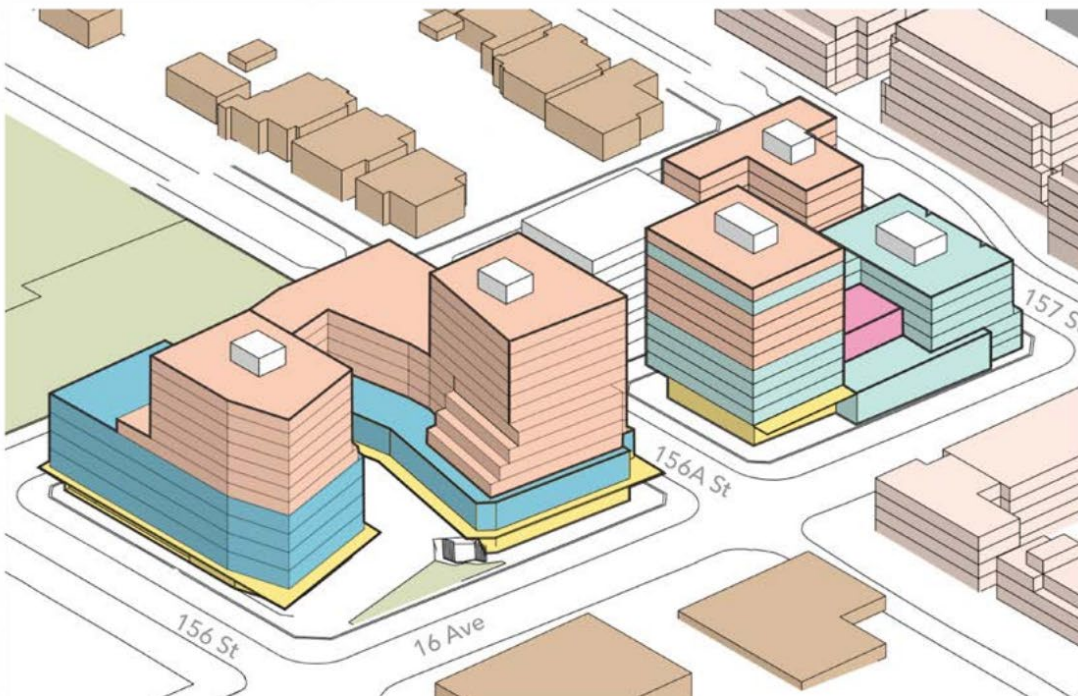
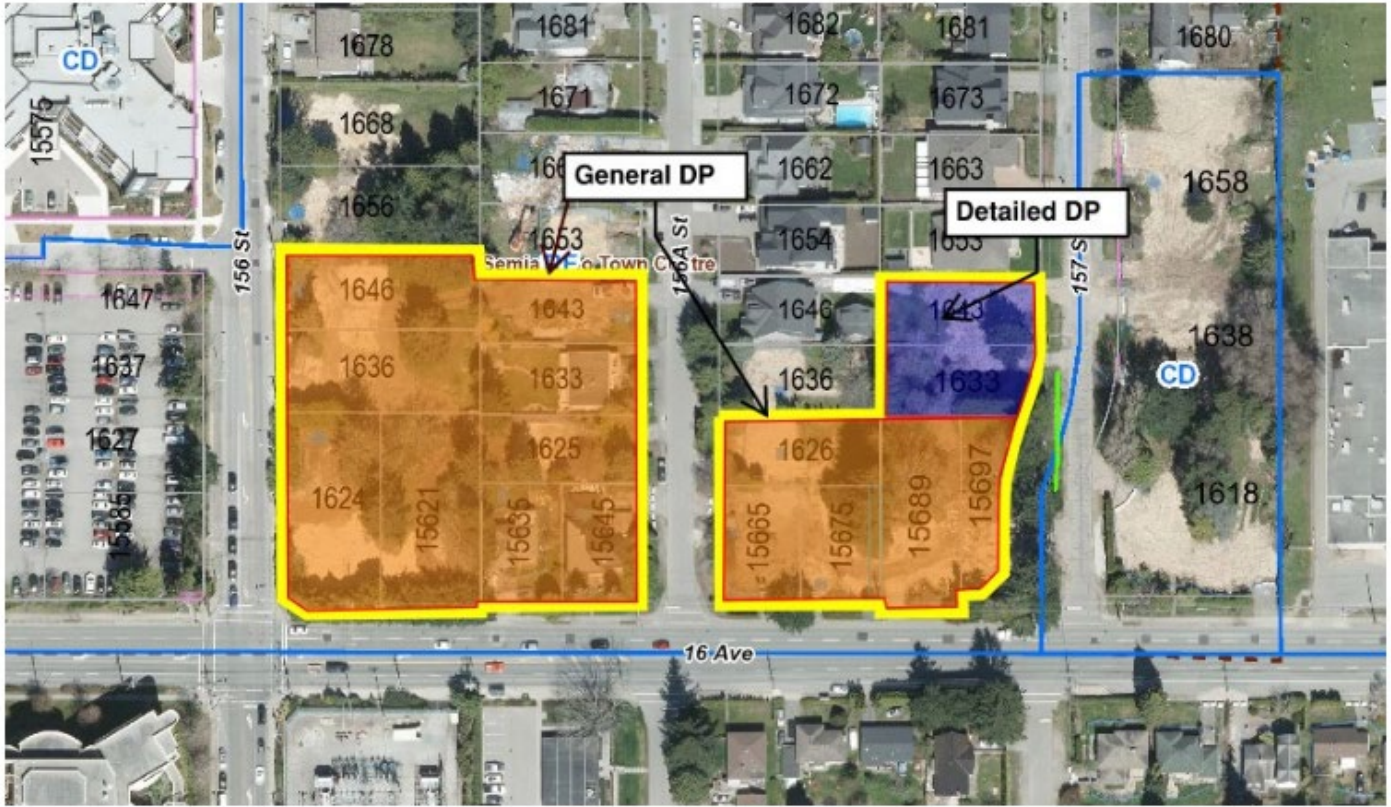
- Appendix I. Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective for General Development Permit
- Appendix II. Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective for Detailed Development Permit
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Summary of Tree Survey and Tree Preservation
- Appendix VI. ADP Comments and Response

approved by Shawn Low

Don Luymes
 General Manager
 Planning and Development

Appendix I - General DP

General Development Permit and Detailed Development Permit Location



LEGEND

- Medical
- Amenity
- Commercial
- Residential
- Short Term Rental

Housing is included in all parcels, and includes:

- Townhouses at Grade,
- Short Term Rental for use by families supporting hospital patients,
- Rental units,
- Diverse Home ownership units.

**PROPOSED SUBDIVISION PLAN OF
PARCEL A (BYLAW PLAN 84811) LOT 1 PLAN 13916,
LOT 1 EXCEPT: PARCEL A (BYLAW PLAN 84811) PLAN 13916,
LOTS 2 – 6 PLAN 13916,
LOTS 187 – 189 PLAN 62257,
LOTS 3 – 7 PLAN 15676,
LOTS 184 – 186 PLAN 61930,
LOTS 1, 4, AND 5 PLAN 16203, AND
LOTS B AND C PLAN EPP115158
NEW WESTMINSTER DISTRICT**

18th Avenue

PLAN EPP*****
PRELIMINARY

BCGS 92G.007

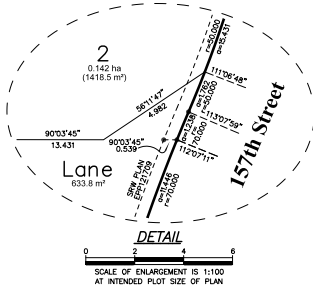


ALL DISTANCES ARE IN METRES
THE INTENDED PLOT SIZE OF THIS PLAN IS 560 mm IN WIDTH BY
864 mm IN HEIGHT (D SIZE) WHEN PLOTTED AT A SCALE OF 1:500

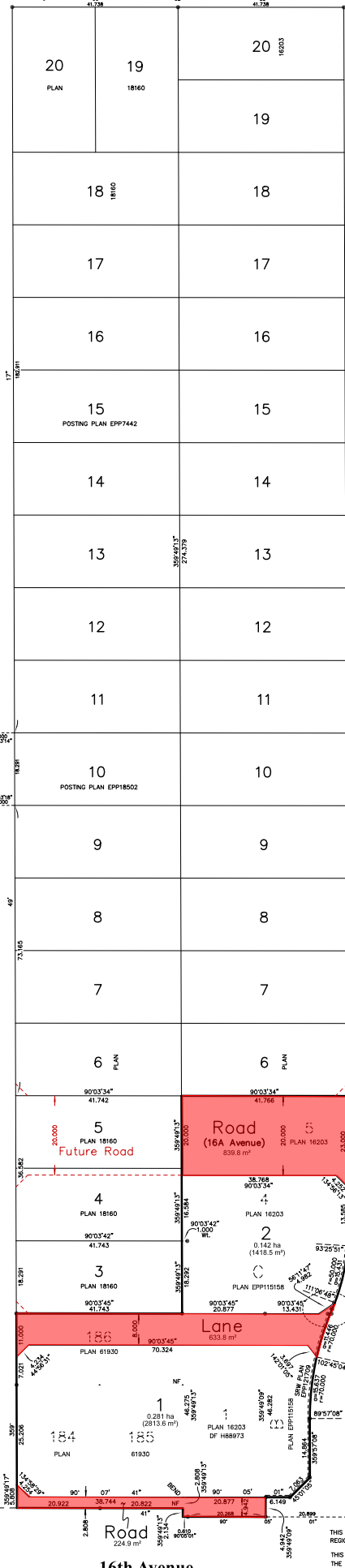
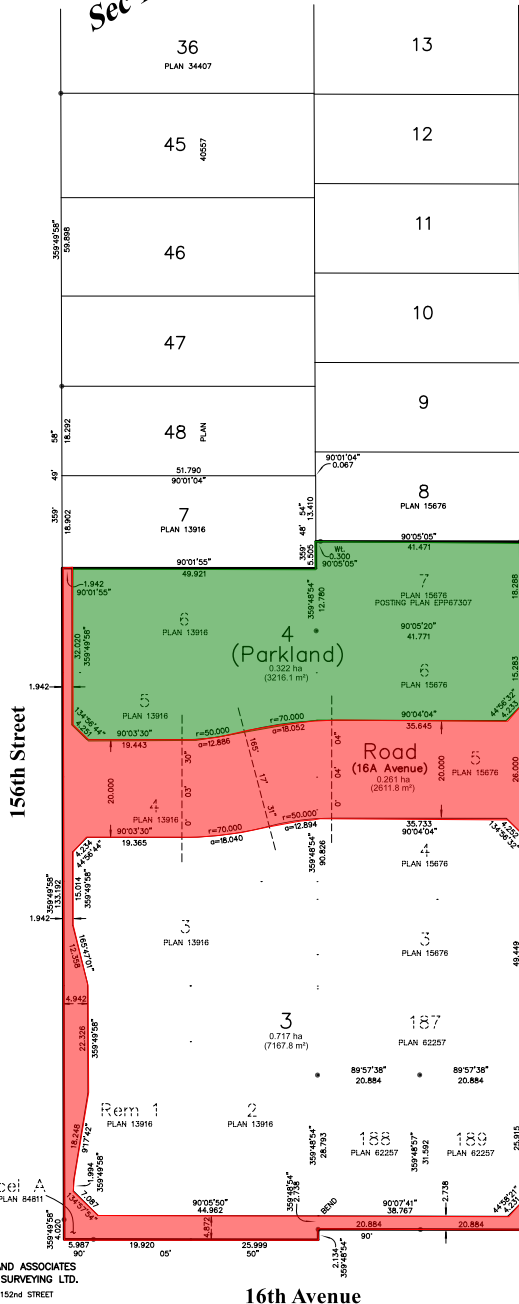
LEGEND

- ⊙ INDICATES CONTROL MONUMENT FOUND
- INDICATES STANDARD IRON POST FOUND
- INDICATES STANDARD IRON POST PLACED

THIS PLAN SHOWS ONE OR MORE WITNESS POSTS
WHICH ARE NOT SET ON THE TRUE CORNER(S)



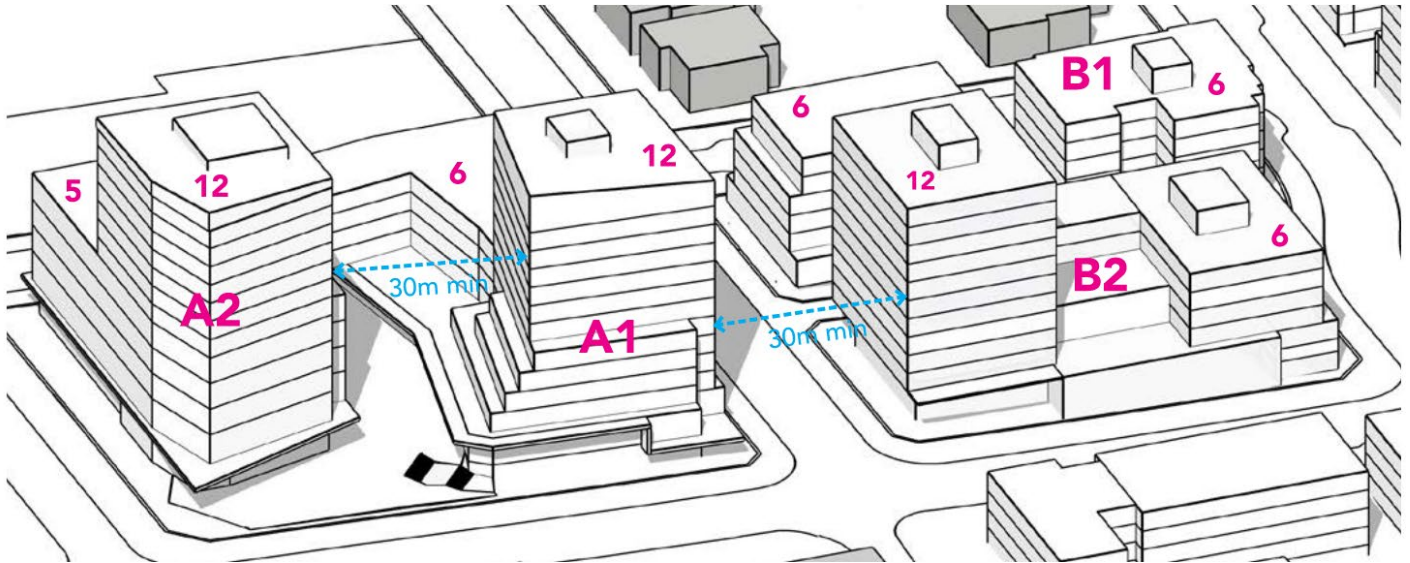
Sec 14



**H.Y. AND ASSOCIATES
LAND SURVEYING LTD.**
200, 9128 – 152nd STREET
SURREY, B.C.
V3R 4E7
(604) 583-1616
File: 154134_585.DWG

THIS PLAN LIES WITHIN THE METRO VANCOUVER
REGIONAL DISTRICT – CITY OF SURREY
THIS PLAN LIES WITHIN THE JURISDICTION OF
THE APPROVING OFFICER FOR THE CITY OF SURREY
THE FIELD SURVEY REPRESENTED BY THIS PLAN
WAS COMPLETED ON THE 11th DAY OF ***** 2023
CURTIS VAN HOVE, BOLS #1047

Massing and Height



Rendering



Renderings



SOUTHEND VILLAGE - PARCELS A + B

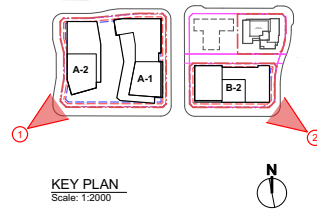
GENERAL DP APPLICATION



1 View from 16th Ave and 156th Street
Scale:



2 View from 16th Ave and 157th Street
Scale:



CIVIC ADDRESSES:

PARCEL A:
1624, 1636, 1646 - 156 Street, Surrey, BC
15621, 15635, 15645 - 16 Avenue, Surrey, BC
1625, 1643, 1633 - 156A Street, Surrey, BC

PARCEL B:
15665, 15675, 15689, 15699 - 16 Avenue, Surrey, BC
1626 - 156A Street, Surrey, BC
1653, 1643, 1635 - 157 Avenue, Surrey, BC

This is a general Development Permit application for Block A and Block B. The project will consist of 4 phases, starting with the site specific application for Block B1 - located in the northeast corner of Block B.

B1 will be followed by:
B2 - facing 16th Ave between 156A and 157th.
A1 - extending from 16th Ave to 16A at west of 156A St.
A2 - extending from 16th Ave to 16A at east of 156 St.

Block A consists of two twelve storey mixed-use medical and residential towers. A1 includes retail at grade, four storeys of medical offices and clinic spaces, and seven storeys of housing. A2 includes two storeys of medical offices and ten storeys of housing. Block A angles back from the southwest corner opening up views to the Gateway Plaza and into the pedestrian realm beyond. With a range of shops and medical services, the Plaza is intended to be a pedestrian-focused space, providing respite from adjacent arterial roads.

Block B consists of a twelve and six storey midrise residential building with a ground floor cafe and a variety of short term housing options. With rooftop decks on multiple levels and a pool, there are plenty of amenity options for residents. Live/work lofts and townhouses at grade level help with the neighbourhood character and match the residential properties to the east.

ARCHITECTURAL	LANDSCAPE
A000 Cover Sheet	L0.0 Cover Sheet
A100 Site Plan	L0.1 Landscape Notes & Schedules
A101 Subarea Plan	L0.2 Illustrative Plan - Parcel A - Ground
A102 Access Plan	L0.3 Illustrative Plan - Parcel A - Ground
A110 Access Plan	L0.4 Illustrative Plan - Parcel A - L2, L6, L7
A111 Developable Areas	L0.5 Illustrative Plan - Parcel B - L3, L7
A112 Fire Access Plan - Parcel A	L0.6 Landscape Precedents - Ground
A113 Fire Access Plan - Parcel B	L0.7 Landscape Precedents - Rooftops
A200 Parcel A - P2 Parking Floor Plan	L1.1 PA Arborist Tree Management Plan
A201 Parcel A - P10 Parking Floor Plan	L1.2 PB Arborist Tree Management Plan
A202 Parcel A - L1 Ground Floor Plan	L2.0 Offsite Plan
A203 Parcel A - L2 Floor Plan	L3.1 PA L1 Landscape Materials Plan
A204 Parcel A - L3 Floor Plan	L3.2 PB L1 Landscape Materials Plan
A205 Parcel A - L4 Floor Plan	L3.3 PA Rooftops Landscape Materials Plan
A206 Parcel A - L5 Floor Plan	L3.4 PB Rooftops Landscape Materials Plan
A207 Parcel A - L6 Floor Plan	L3.5 Landscaping Plan
A208 Parcel A - L7 Floor Plan	L4.1 Grading and Drainage Plan
A209 Parcel A - L8 & L12 Floor Plan	L4.2 Grading and Drainage Plan
A210 Parcel A - Roof Plan	L5.0 Tree Plan
A251 Parcel B - Parking Floor Plan	L5.1 PA L1 Planting Plan
A252 Parcel B - L1 Floor Plan	L5.2 PB L1 Planting Plan
A253 Parcel B - L2 Floor Plan	L5.3 PA Rooftops planting Plan
A254 Parcel B - L3 Floor Plan	L5.4 PB Rooftops planting Plan
A255 Parcel B - L4 Floor Plan	L6.1 Soil Depth Plan
A256 Parcel B - L5 Floor Plan	L6.2 Impacted Areas and Servicing Plan
A257 Parcel B - L6 Floor Plan	L7.1 Landscape Sections - Elevations
A258 Parcel B - L7 Floor Plan	L7.2 Landscape Sections - Elevations
A259 Parcel A - L8 & L12 Floor Plan	L8.1 Schedule Details
A260 Parcel B - Roof	L8.2 Hardscape Details
A290 Street Elevations - Parcel A	L8.3 Site Furnishing Details
A291 Street Elevations - Parcel B	L8.4 Furnishing Details
A300 Parcel A - South Elevation	L8.5 Furnishing Details
A301 Parcel A - East Elevation	
A302 Parcel A - North Elevation	CIVIL
A303 Parcel A - West Elevation	00 Civil Keyplan
A304 Parcel B - South/East Elevation	01 Civil Keyplan
A305 Parcel B - North/West Elevation	02 Civil Keyplan
A306 Parcel A - East West Section	
A307 Parcel A1 - North South Section	
A308 Parcel A2 - North South Section	
A309 Parcel B - Sections	

SEAL:

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The Contractor shall check and verify all dimensions and report any discrepancies before proceeding.

Do not scale drawings.

Consultant Name

F	2023-09-14	SUBMISSION TO ADP
E	2023-06-14	ISSUED FOR GENERAL DP REVISION
C	2022-12-12	ISSUED FOR GENERAL DP
B	2022-09-07	ISSUED FOR REVIEW
A	2022-04-27	ISSUED FOR PROGRESS
REV:	DATE	ISSUE

CITY OF SURREY FILE NUMBER: 23-0009
**SOUTHEND VILLAGE
PARCEL A&B**

Cover Sheet

A000

PLOT DATE: 2022.03.30 SCALE: As Noted
DRAWN BY: CHECK BY:

SEAL:

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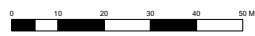
The Contractor shall check and verify all dimensions and report any discrepancies before proceeding.

Do not scale drawings.

Consultant Name



1 PARCELA & B DEVELOPABLE AREAS
 Scale: 1:500



REV.	DATE	ISSUE
F	2023-09-14	SUBMISSION TO ADP
E	2023-06-14	ISSUED FOR GENERAL DP REVISIONS
C	2022-12-12	ISSUED FOR GENERAL DP
B	2022-09-07	ISSUED FOR REVIEW
A	2022-04-27	ISSUED FOR PROGRESS

CITY OF SURREY FILE NUMBER: 23-0009
SOUTHEND VILLAGE
PARCELA & B

Developable Areas

A111

PLOT DATE: 2022.03.30 SCALE: As Noted
 DRAWN BY: CHECK BY:

16A AVE

156 ST

- LEGEND:**
- RESIDENTIAL UNITS
 - TOWNHOUSES
 - MEDICAL OFFICES
 - CRU
 - LOBBY / AMENITY
 - SERVICES
 - TRANSLINK SERVICE FACILITY
 - SLAB STEP
 - POTENTIAL CRU DIVISION

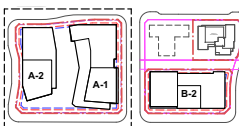
- SETBACK LEGEND**
- RESIDENTIAL SETBACK
 - COMMERCIAL SETBACK
 - PROPERTY LINE
 - RIGHT OF WAY

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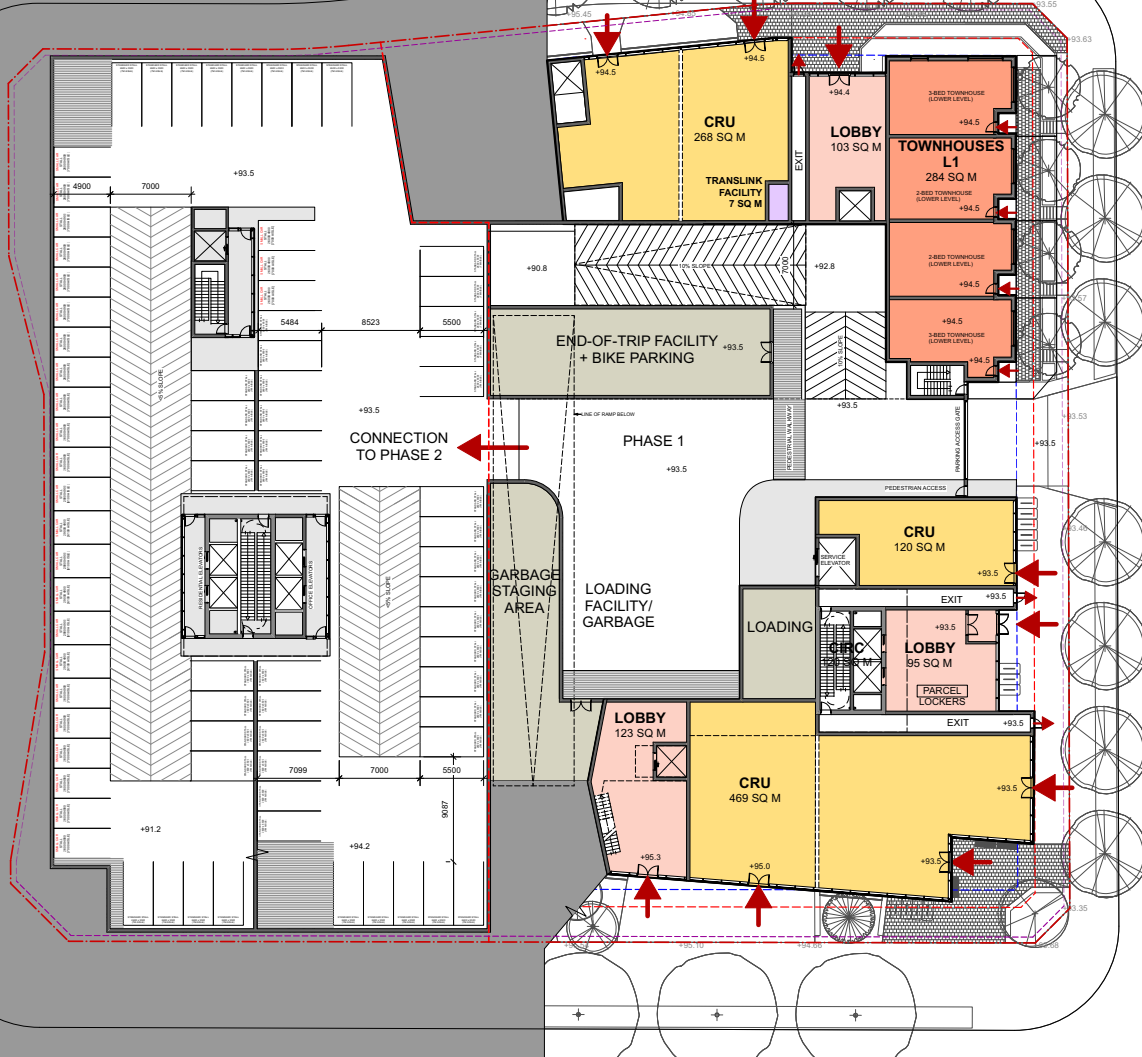
Do not scale drawings.

Consultant Name



KEY PLAN
Scale: 1:2000

156A ST



- NOTES:**
- REFER TO LANDSCAPE FOR ADDITIONAL DETAIL @ PUBLIC REALM
 - CONSTRUCT AND INSTALL FOR EVERY RESIDENTIAL PARKING SPACES AND 50% OF VISITOR PARKING SPACES, AN ENERGIZED ELECTRICAL OUTLET CAPABLE OF PROVIDING LEVEL 2 OR A HIGHER LEVEL OF ELECTRICAL VEHICLE CHARGING, AS DEFINED BY SAE INTERNATIONAL'S 11772 STANDARD, FOR EACH PARKING SPACE.
 - GARAGE CLEAR HEIGHT IS 2.3M UP TO ACCESSIBLE STALLS AND DRIVE AISLES AND 2.1M BEYOND.
 - CEPTED REQUIREMENTS FOR UNDERGROUND PARKING:
 - PAINT WALLS AND COLUMNS WHITE
 - INSTALL HARDWIRED VIDEO SURVEILLANCE
 - AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS WHERE NEEDED
 - PROVIDE VISION PANELS IN ALL DOORS LEADING TO PUBLICLY ACCESSIBLE AREAS
 - ELEVATOR LOBBY TO BE GLAZED
 - ENSURE ADEQUATE LIGHTING THROUGHOUT
 - PROVIDE ROUGH SURFACE FINISH ON RAMP TO DETER SKATEBOARDERS

REV	DATE	ISSUE
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A	2022-04-27	ISSUED FOR PROGRESS

CITY OF SURREY FILE NUMBER: 23-0009
**SOUTHEND VILLAGE
PARCEL A&B**

Parcel A - P1/L0
Parking Floor Plan

A201

PLOT DATE: 2022.03.30 SCALE: 1:200

DRAWN BY: CHECK BY:

NOTES:

1. REFER TO LANDSCAPE FOR ADDITIONAL DETAIL @ PUBLIC REALM

1

PARCEL A PARKING LEVEL PLAN
Scale: 1:200

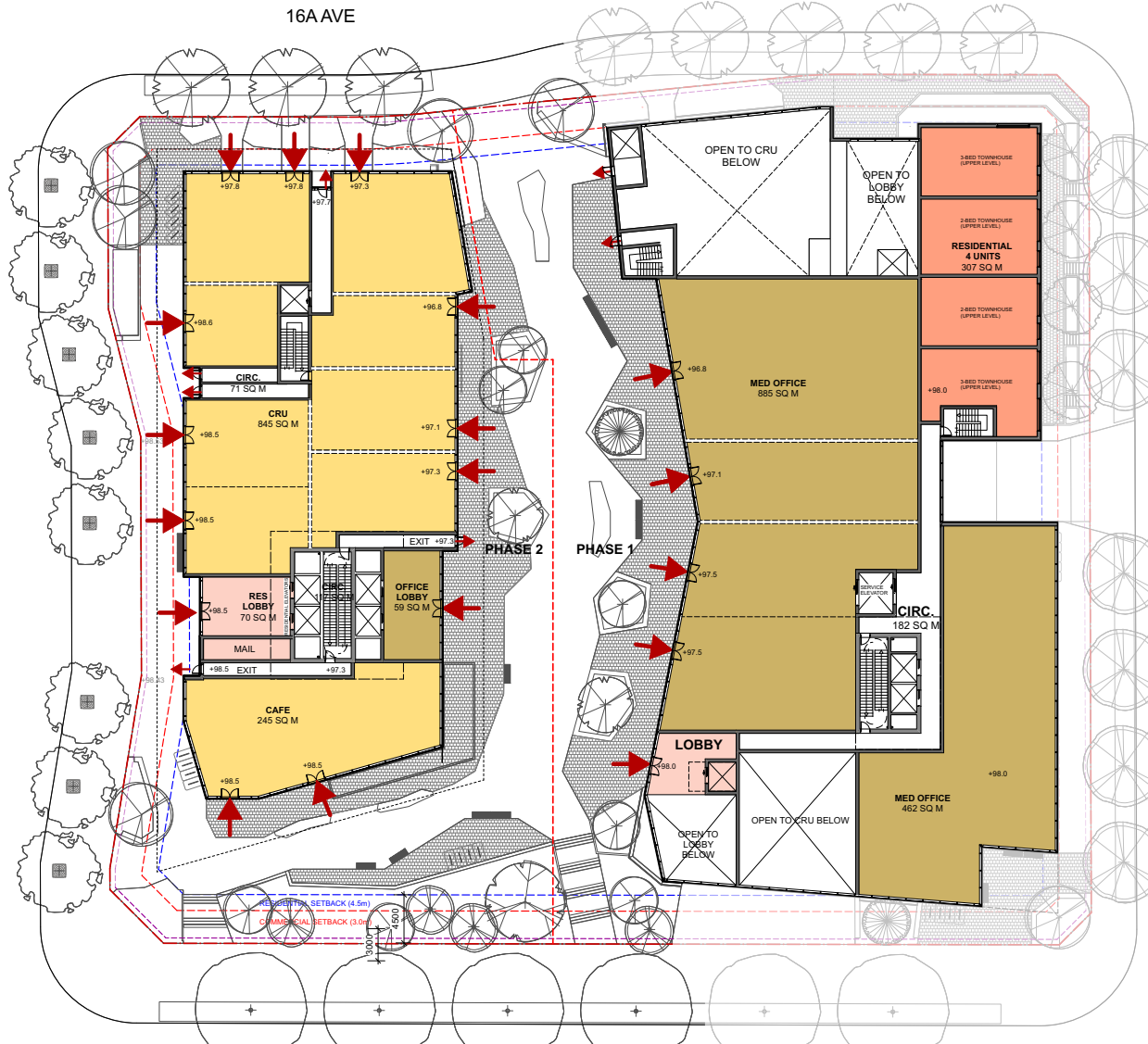


FUTURE PARK

16A AVE

156 ST

156A ST



LEGEND:

- RESIDENTIAL UNITS
- TOWNHOUSES
- MEDICAL OFFICES
- CRU
- LOBBY / AMENITY
- SERVICES
- SLAB STEP
- POTENTIAL CRU DIVISION

SETBACK LEGEND

- RESIDENTIAL SETBACK
- COMMERCIAL SETBACK
- PROPERTY LINE
- RIGHT OF WAY

NOTES:

1. REFER TO LANDSCAPE FOR ADDITIONAL DETAIL @ PUBLIC REALM

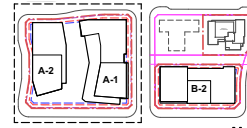
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Consultant Name



KEY PLAN
Scale: 1:2000

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CITY OF SURREY FILE NUMBER: 23-0009
SOUTHEND VILLAGE
PARCEL A&B

Parcel A - L1
Ground Floor Plan

A202

PLOT DATE: 2022.03.30 SCALE: 1:200

DRAWN BY: CHECK BY:

7 PARCEL A GROUND LEVEL PLAN
Scale: 1:200

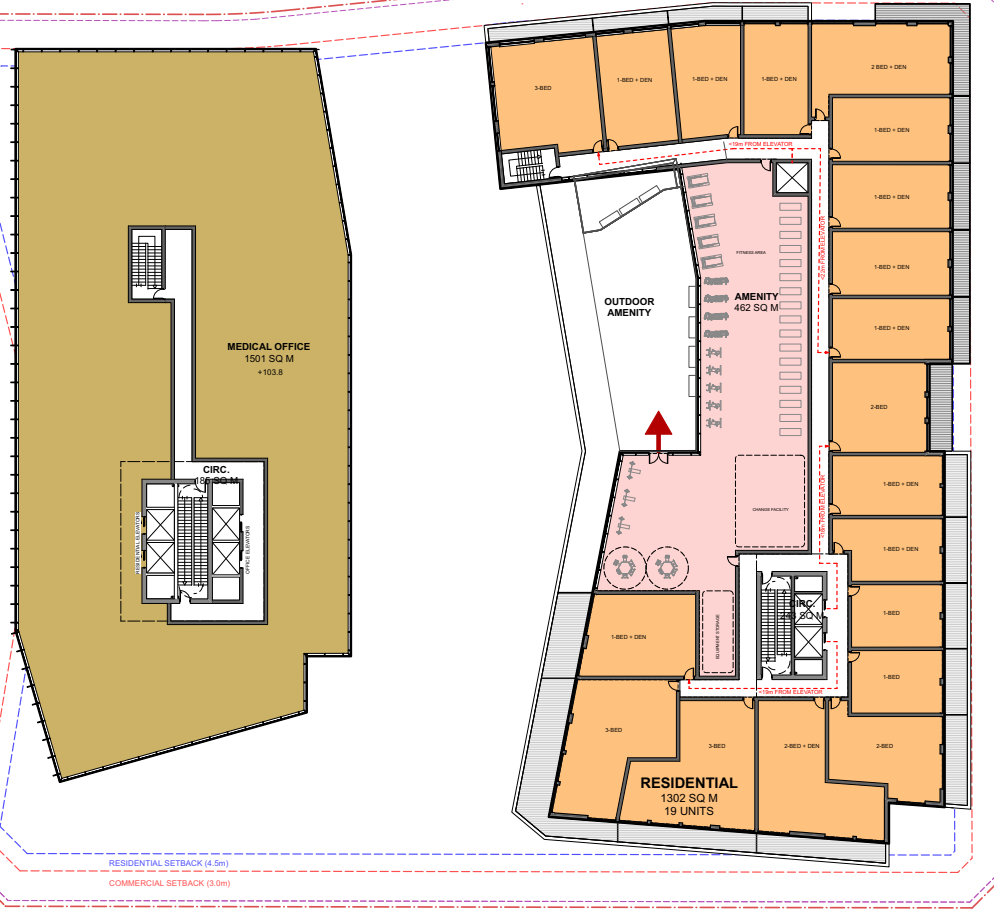


FUTURE PARK

16A AVE

156 ST

156A ST



- LEGEND:**
- RESIDENTIAL UNITS
 - TOWNHOUSES
 - MEDICAL OFFICES
 - CRU
 - LOBBY / AMENITY
 - SERVICES
 - SLAB STEP
 - POTENTIAL CRU DIVISION
- SETBACK LEGEND**
- RESIDENTIAL SETBACK
 - COMMERCIAL SETBACK
 - PROPERTY LINE
 - RIGHT OF WAY

NOTES:

1. REFER TO LANDSCAPE FOR ADDITIONAL DETAIL @ PUBLIC REALM

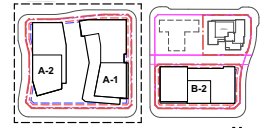
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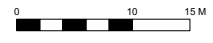
REV.	DATE	ISSUE
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CITY OF SURREY FILE NUMBER: 23-0009
SOUTHBEND VILLAGE
PARCEL A&B

Parcel A - L2
 Floor Plan

A203

PLOT DATE: 2022.03.30 SCALE: 1:200
 DRAWN BY: CHECK BY:

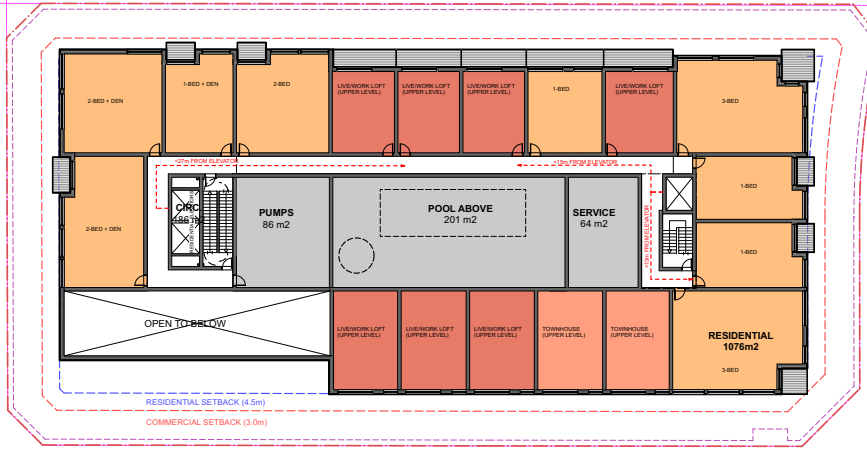


16A AVE

156A ST

157 ST

REFER TO
APA DRAWINGS



1 PARCEL B - L2 PLAN
Scale: 1:200



- LEGEND:**
- RESIDENTIAL UNITS
 - TOWNHOUSES
 - LIVE/WORK UNITS
 - CAFE
 - LOBBY / AMENITY
 - SERVICES

- SETBACK LEGEND**
- RESIDENTIAL SETBACK
 - COMMERCIAL SETBACK
 - PROPERTY LINE
 - RIGHT OF WAY

NOTES:
1. REFER TO LANDSCAPE FOR ADDITIONAL DETAIL @ PUBLIC REALM

SEAL:

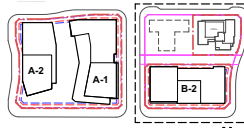
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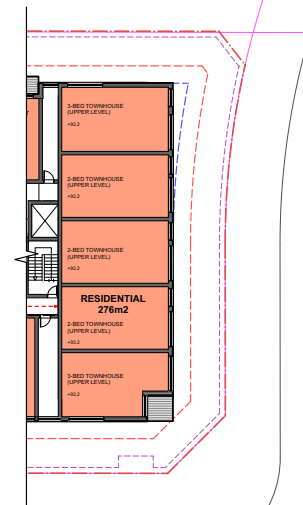
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Consultant Name



KEY PLAN
Scale: 1:2000



2 PARCEL B TOWNHOUSE UPPER LEVEL PLAN
Scale: 1:200

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REV: DATE ISSUE

CITY OF SURREY FILE NUMBER: 23-0009
**SOUTHEND VILLAGE
PARCEL A&B**

Parcel B - TH L2
Floor Plan

A253

PLOT DATE: 2022.03.30 SCALE: 1:200

DRAWN BY: CHECK BY:

16A AVE

156A ST

157 ST

REFER TO
APA DRAWINGS

- LEGEND:**
- RESIDENTIAL UNITS
 - TOWNHOUSES
 - CAFE
 - LOBBY / AMENITY
 - SERVICES

- SETBACK LEGEND**
- RESIDENTIAL SETBACK
 - COMMERCIAL SETBACK
 - PROPERTY LINE
 - RIGHT OF WAY

NOTES:

1. REFER TO LANDSCAPE FOR ADDITIONAL DETAIL @ PUBLIC REALM

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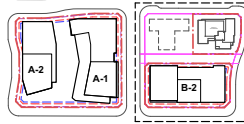
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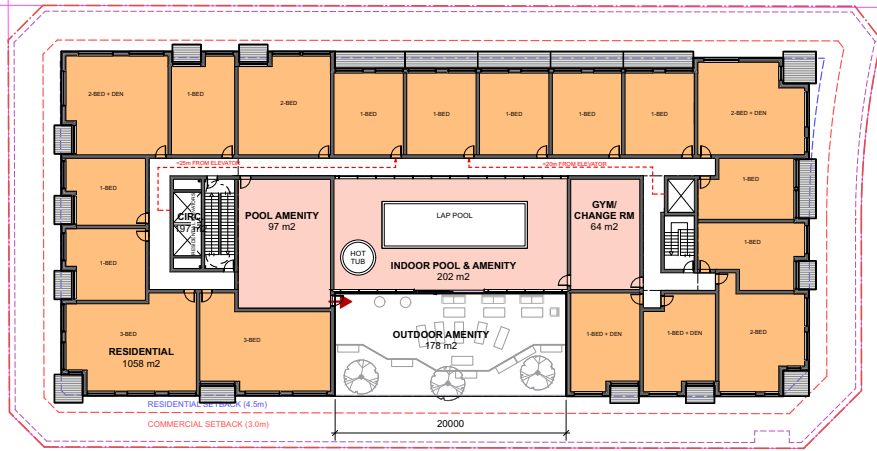
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Do not scale drawings.

Consultant Name



KEY PLAN
Scale: 1:2000



1 PARCEL B LEVEL 3 PLAN
Scale: 1:200



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A	2022-04-27	ISSUED FOR PROGRESS
REV:	DATE	ISSUE

CITY OF SURREY FILE NUMBER: 23-0009
**SOUTHEND VILLAGE
PARCEL A&B**

Parcel B - L3
Floor Plan

A254

PLOT DATE: 2022.03.30	SCALE: 1:200
DRAWN BY:	CHECK BY:

SEAL:

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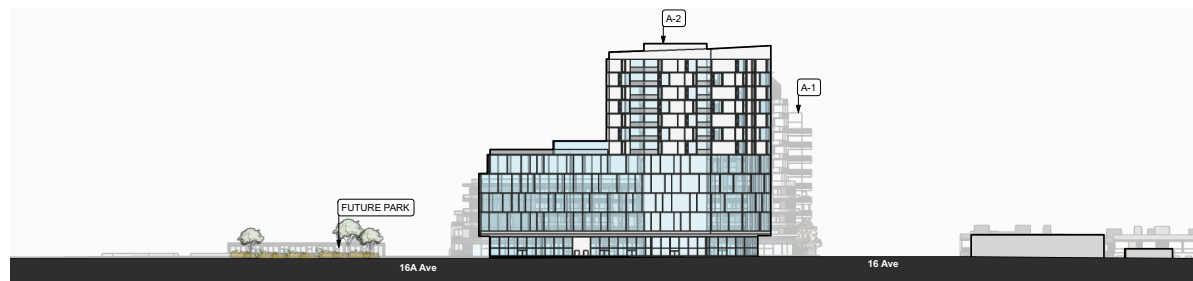
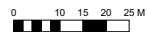
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Do not scale drawings.

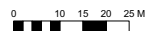
Consultant Name



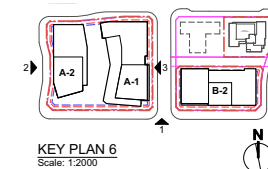
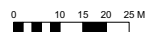
1 STREET ELEVATION - 16TH AVE LOOKING NORTH
 Scale: 1:500



2 STREET ELEVATION - 156 STREET LOOKING EAST
 Scale: 1:500



3 STREET ELEVATION - 156A LOOKING WEST
 Scale: 1:500



KEY PLAN 6
 Scale: 1:2000

REV.	DATE	ISSUE
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A	2022-04-27	ISSUED FOR PROGRESS

CITY OF SURREY FILE NUMBER: 23-0009
**SOUTHEND VILLAGE
 PARCEL A&B**

Streetscape Elevations

A290

PLOT DATE: 2022.03.30 SCALE: 1:200

DRAWN BY:

CHECK BY:

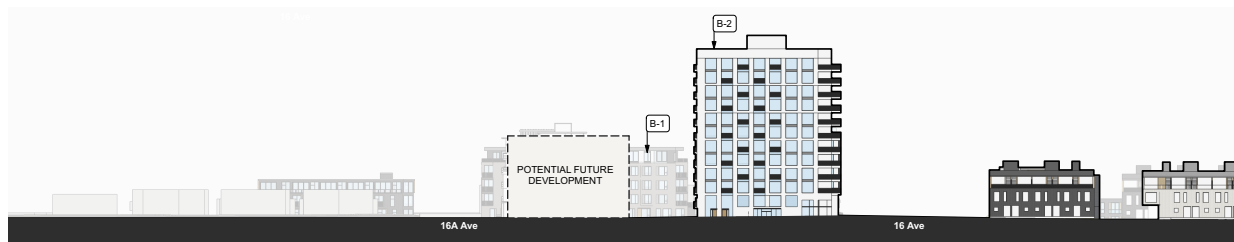
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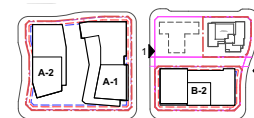
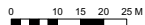
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Consultant Name



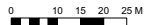
1 STREET ELEVATION - 156A STREET LOOKING EAST
 Scale: 1:500



KEY PLAN 3
 Scale: 1:2000



2 STREET ELEVATION - 157 STREET LOOKING WEST
 Scale: 1:500



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CITY OF SURREY FILE NUMBER: 23-0009
**SOUTHEND VILLAGE
 PARCEL A&B**

Streetscape Elevations

A291

PLOT DATE: 2022.03.30 SCALE: 1:200

DRAWN BY:

CHECK BY:

MATERIAL LEGEND

- 1 DOUBLE GLAZED STOREFRONT GLAZING SYSTEM
- 2 TILE/TERRACOTTA PANEL
- 3 ALUMINUM FASCIA W/ WOOD SOFFIT
- 4 DOUBLE GLAZED CURTAIN WALL SYSTEM
- 5 GLASS RAILING SYSTEM WITH ALUMINUM POSTS
- 6 CEMENTITIOUS/TERRACOTTA PANEL
- 7 ALUMINUM COMPOSITE CLADDING - CHARCOAL
- 8 DOUBLE GLAZED WINDOW WALL SYSTEM
- 9 VERTICAL/HORIZONTAL VARIGATED METAL SOLAR SCREENING
- 10 METAL ROOFTOP MECHANICAL SCREEN
- 11 ALUMINUM TRELLIS
- 12 MASONRY CLADDING
- 13 ALUMINUM PLANTERS
- 14 SOLID CORE WOOD ENTRY DOOR, CLEAR FINISH
- 15 METAL GARAGE AUTOMATIC DOOR
- 16 METAL RAILING



1 PARCEL A - SOUTH ELEVATION (16TH AVE)
Scale: 1:200

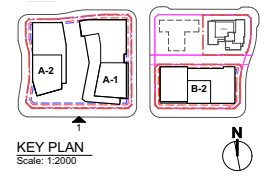


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CITY OF SURREY FILE NUMBER: 23-0009

**SOUTHEND VILLAGE
PARCEL A&B**

Parcel A - South Elevation

A300

PLOT DATE: 2022.03.30 SCALE: 1:200

DRAWN BY: _____ CHECK BY: _____

MATERIAL LEGEND

- 1 DOUBLE GLAZED STOREFRONT GLAZING SYSTEM
- 2 TILE/TERRACOTTA PANEL
- 3 ALUMINUM FASCIA W/ WOOD SOFFIT
- 4 DOUBLE GLAZED CURTAIN WALL SYSTEM
- 5 GLASS RAILING SYSTEM WITH ALUMINUM POSTS
- 6 CEMENTITIOUS/TERRACOTTA PANEL
- 7 ALUMINUM COMPOSITE CLADDING - CHARCOAL
- 8 DOUBLE GLAZED WINDOW WALL SYSTEM
- 9 VERTICAL/HORIZONTAL VARIGATED METAL SOLAR SCREENING
- 10 METAL ROOFTOP MECHANICAL SCREEN
- 11 ALUMINUM TRELLIS
- 12 MASONRY CLADDING
- 13 ALUMINUM PLANTERS
- 14 SOLID CORE WOOD ENTRY DOOR, CLEAR FINISH
- 15 METAL GARAGE AUTOMATIC DOOR
- 16 METAL RAILING



1 PARCELA - EAST ELEVATION (156A ST)
Scale: 1:200

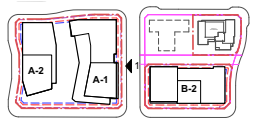


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KEY PLAN
Scale: 1:2000



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CITY OF SURREY FILE NUMBER: 23-0009
**SOUTHEND VILLAGE
PARCEL A&B**

Parcel A - East Elevation

A301

PLOT DATE: 2022.03.30	SCALE: 1:200
DRAWN BY:	CHECK BY:

MATERIAL LEGEND

- 1 DOUBLE GLAZED STOREFRONT GLAZING SYSTEM
- 2 TILE/TERRACOTTA PANEL
- 3 ALUMINUM FASCIA W/ WOOD SOFFIT
- 4 DOUBLE GLAZED CURTAIN WALL SYSTEM
- 5 GLASS RAILING SYSTEM WITH ALUMINUM POSTS
- 6 CEMENTITIOUS/TERRACOTTA PANEL
- 7 ALUMINUM COMPOSITE CLADDING - CHARCOAL
- 8 DOUBLE GLAZED WINDOW WALL SYSTEM
- 9 VERTICAL/HORIZONTAL VARIGATED METAL SOLAR SCREENING
- 10 METAL ROOFTOP MECHANICAL SCREEN
- 11 ALUMINUM TRELLIS
- 12 MASONRY CLADDING
- 13 ALUMINUM PLANTERS
- 14 SOLID CORE WOOD ENTRY DOOR, CLEAR FINISH
- 15 METAL GARAGE AUTOMATIC DOOR
- 16 METAL RAILING



1 PARCEL A - NORTH ELEVATION (16 A AVE)
Scale: 1:200



SEAL:

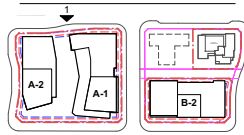
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Consultant Name



KEY PLAN
Scale: 1:2000

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CITY OF SURREY FILE NUMBER: 23-0009
SOUTHEND VILLAGE
PARCEL A&B

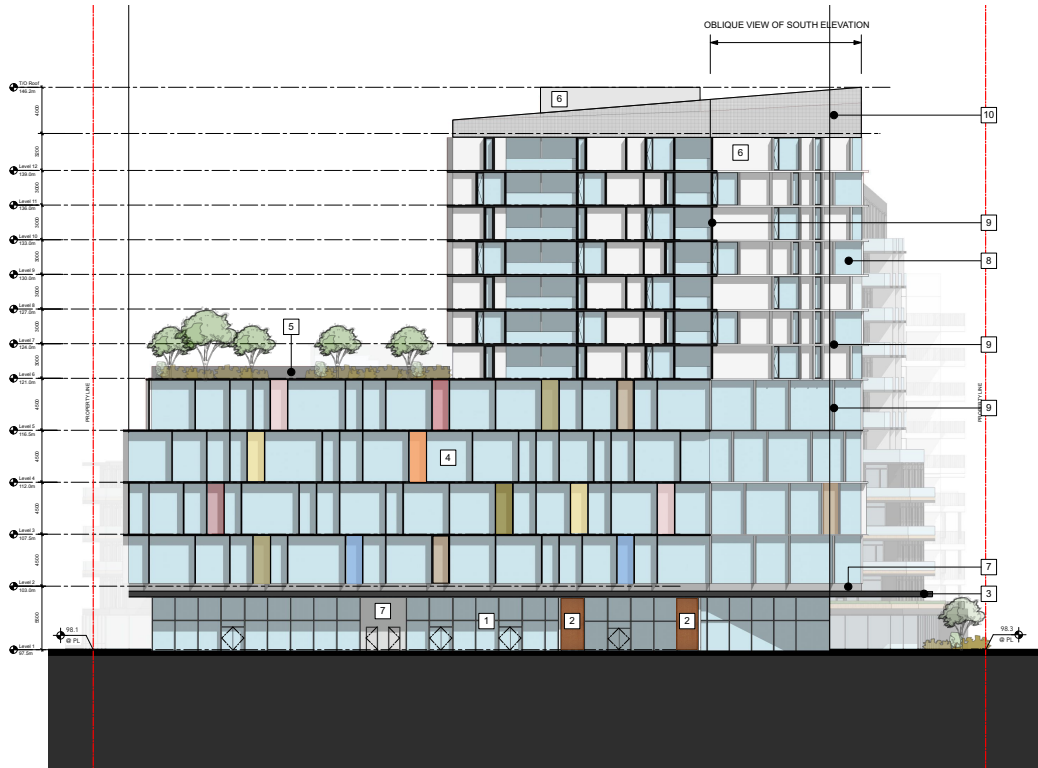
Parcel A - North Elevation

A302

PLOT DATE: 2022.03.30	SCALE: 1:200
DRAWN BY:	CHECK BY:

MATERIAL LEGEND

- 1 DOUBLE GLAZED STOREFRONT GLAZING SYSTEM
- 2 TILE/TERRACOTTA PANEL
- 3 ALUMINUM FASCIA W/ WOOD SOFFIT
- 4 DOUBLE GLAZED CURTAIN WALL SYSTEM
- 5 GLASS RAILING SYSTEM WITH ALUMINUM POSTS
- 6 CEMENTITIOUS/TERRACOTTA PANEL
- 7 ALUMINUM COMPOSITE CLADDING - CHARCOAL
- 8 DOUBLE GLAZED WINDOW WALL SYSTEM
- 9 VERTICAL/HORIZONTAL VARIGATED METAL SOLAR SCREENING
- 10 METAL ROOFTOP MECHANICAL SCREEN
- 11 ALUMINUM TRELLIS
- 12 MASONRY CLADDING
- 13 ALUMINUM PLANTERS
- 14 SOLID CORE WOOD ENTRY DOOR, CLEAR FINISH
- 15 METAL GARAGE AUTOMATIC DOOR
- 16 METAL RAILING



1 PARCEL A - WEST ELEVATION (157 STREET)
Scale: 1:200



SEAL:

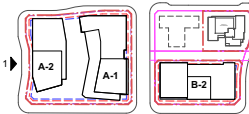
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Consultant Name



KEY PLAN
Scale: 1:2000

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CITY OF SURREY FILE NUMBER: 23-0009
SOUTHEND VILLAGE
PARCEL A&B

Parcel A - West Elevation

A303

PLOT DATE: 2022.03.30	SCALE: 1:200
DRAWN BY:	CHECK BY:

MATERIAL LEGEND

- 1 DOUBLE GLAZED STOREFRONT GLAZING SYSTEM
- 2 TILE/TERRACOTTA PANEL
- 3 ALUMINUM FASCIA W/ WOOD SOFFIT
- 4 DOUBLE GLAZED CURTAIN WALL SYSTEM
- 5 GLASS RAILING SYSTEM WITH ALUMINUM POSTS
- 6 CEMENTITIOUS/TERRACOTTA PANEL
- 7 ALUMINUM COMPOSITE CLADDING - CHARCOAL
- 8 DOUBLE GLAZED WINDOW WALL SYSTEM
- 9 VERTICAL/HORIZONTAL VARIGATED METAL SOLAR SCREENING
- 10 METAL ROOFTOP MECHANICAL SCREEN
- 11 ALUMINUM TRELLIS
- 12 MASONRY CLADDING
- 13 ALUMINUM PLANTERS
- 14 SOLID CORE WOOD ENTRY DOOR, CLEAR FINISH
- 15 METAL GARAGE AUTOMATIC DOOR
- 16 METAL RAILING

SEAL:

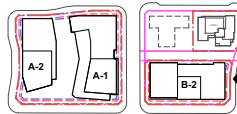
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Consultant Name



KEY PLAN
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C	2022-12-12	ISSUED FOR GENERAL DP
B	2022-09-07	ISSUED FOR REVIEW
A	2022-04-27	ISSUED FOR PROGRESS



1 **PARCEL B - SOUTH ELEVATION (16 AVE)**
 Scale: 1:200



2 **PARCEL B - EAST ELEVATION (157 ST)**
 Scale: 1:200



CITY OF SURREY FILE NUMBER: 23-0009
SOUTHEND VILLAGE
PARCEL A&B

Parcel B - South/East
 Elevation

A304

PLOT DATE: 2022.03.30 SCALE: 1:200

DRAWN BY: CHECK BY:

MATERIAL LEGEND

- 1 DOUBLE GLAZED STOREFRONT GLAZING SYSTEM
- 2 TILE/TERRACOTTA PANEL
- 3 ALUMINUM FASCIA W/ WOOD SOFFIT
- 4 DOUBLE GLAZED CURTAIN WALL SYSTEM
- 5 GLASS RAILING SYSTEM WITH ALUMINUM POSTS
- 6 CEMENTITIOUS/TERRACOTTA PANEL
- 7 ALUMINUM COMPOSITE CLADDING - CHARCOAL
- 8 DOUBLE GLAZED WINDOW WALL SYSTEM
- 9 VERTICAL/HORIZONTAL VARIGATED METAL SOLAR SCREENING
- 10 METAL ROOFTOP MECHANICAL SCREEN
- 11 ALUMINUM TRELLIS
- 12 MASONRY CLADDING
- 13 ALUMINUM PLANTERS
- 14 SOLID CORE WOOD ENTRY DOOR, CLEAR FINISH
- 15 METAL GARAGE AUTOMATIC DOOR
- 16 METAL RAILING

SEAL:

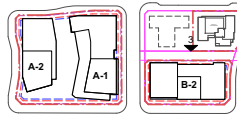
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Consultant Name



KEY PLAN
 Scale: 1:2000

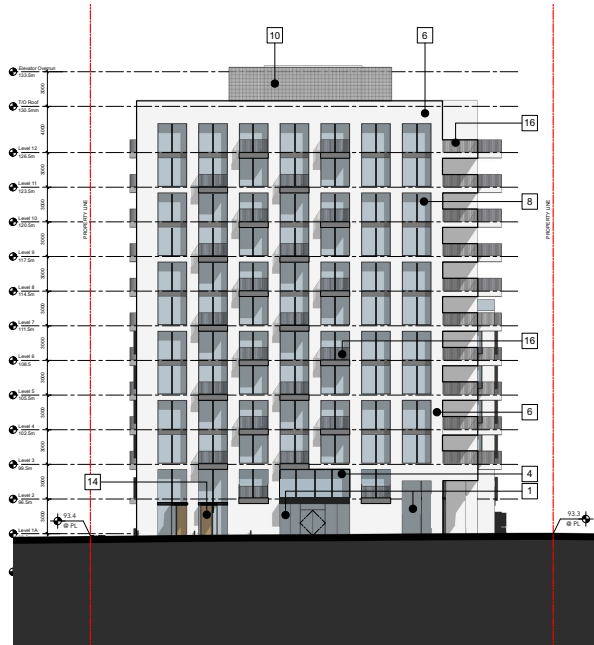
REV.	DATE	ISSUE
F	2023-09-14	SUBMISSION TO ADP
E	2023-06-14	ISSUED FOR GENERAL DP REVISIONS
C	2022-12-12	ISSUED FOR GENERAL DP
B	2022-09-07	ISSUED FOR REVIEW
A	2022-04-27	ISSUED FOR PROGRESS

CITY OF SURREY FILE NUMBER: 23-0009
SOUTHEND VILLAGE
PARCEL A&B

Parcel B - North/West
 Elevation

A305

PLOT DATE: 2022.03.30	SCALE: 1:200
DRAWN BY:	CHECK BY:



2 **PARCEL B - WEST ELEVATION (156A ST)**
 Scale: 1:200



1 **PARCEL B - NORTH ELEVATION. (PUBLIC LANE)**
 Scale: 1:200

- LEGEND:**
- RESIDENTIAL UNITS
 - TOWNHOUSES
 - MEDICAL OFFICES
 - CRU
 - LOBBY / AMENITY
 - SERVICES

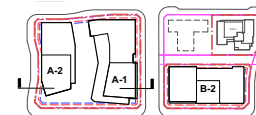
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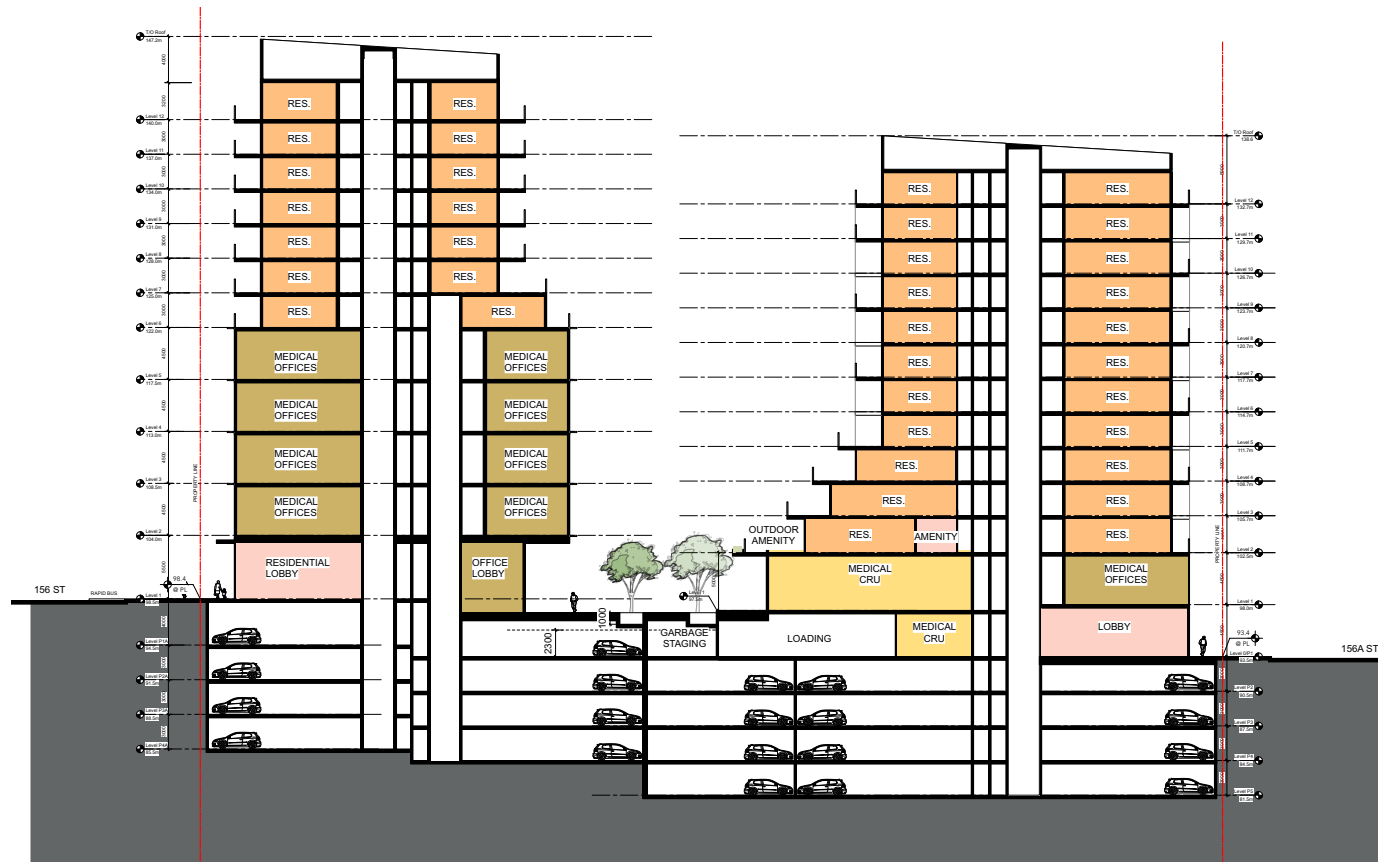
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Do not scale drawings.

Consultant Name



KEY PLAN
 Scale: 1:2000



1 PARCEL A - EAST WEST SECTION
 Scale: 1:200



F	2023-09-14	SUBMISSION TO ADP
E	2023-06-14	ISSUED FOR GENERAL DP REVISIONS
C	2022-12-12	ISSUED FOR GENERAL DP
B	2022-09-07	ISSUED FOR REVIEW
A	2022-04-27	ISSUED FOR PROGRESS
REV.	DATE	ISSUE

CITY OF SURREY FILE NUMBER: 23-0009
SOUTHEND VILLAGE
PARCEL A&B

Parcel A - East West
 Section

A306

PLOT DATE: 2022.03.30 SCALE: 1:200
 DRAWN BY: CHECK BY:

- LEGEND:**
- RESIDENTIAL UNITS
 - TOWNHOUSES
 - MEDICAL OFFICES
 - CRU
 - LOBBY / AMENITY
 - SERVICES

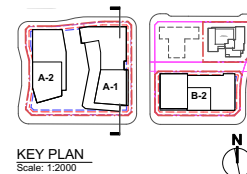
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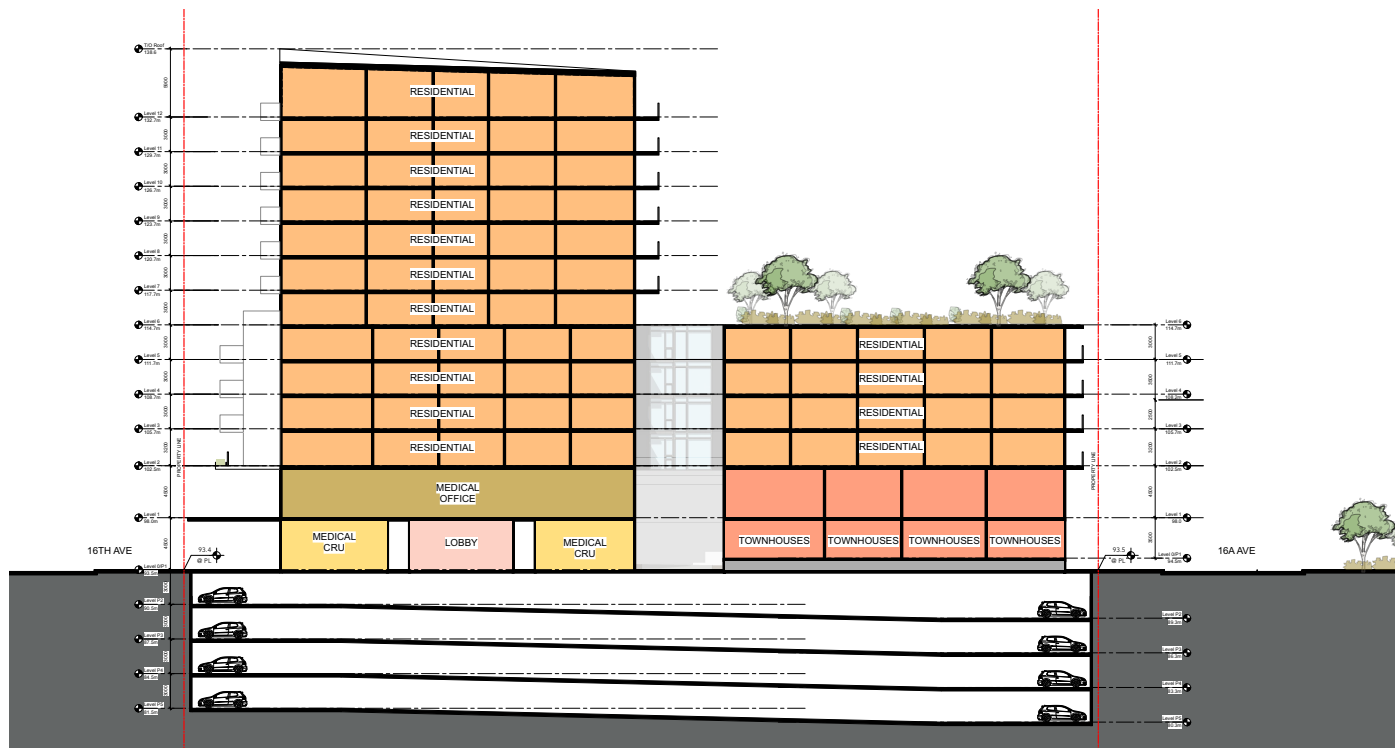
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Consultant Name



KEY PLAN
 Scale: 1:2000



1 PARCEL A1 - NORTH SOUTH SECTION
 Scale: 1:200



REV.	DATE	ISSUE
F	2023-09-14	SUBMISSION TO ADP
E	2023-06-14	ISSUED FOR GENERAL DP REVISIONS
C	2022-12-12	ISSUED FOR GENERAL DP
B	2022-09-07	ISSUED FOR REVIEW
A	2022-04-27	ISSUED FOR PROGRESS

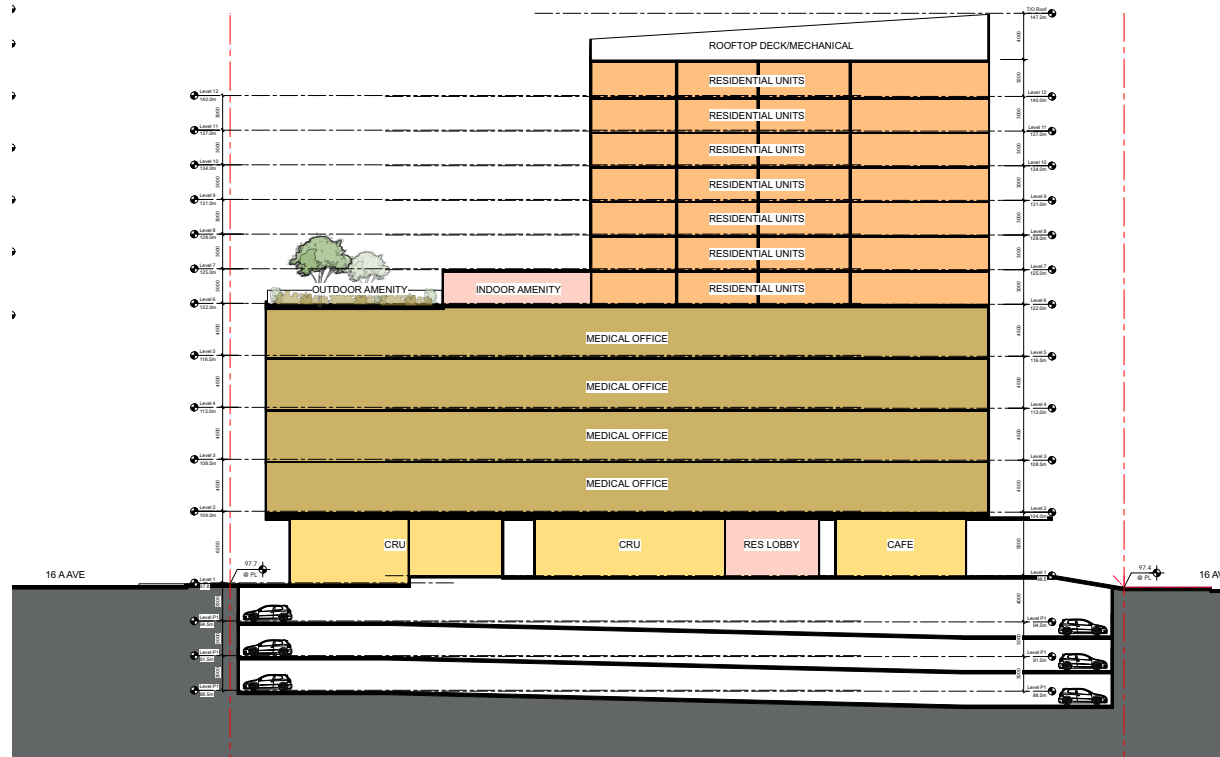
CITY OF SURREY FILE NUMBER: 23-0009
**SOUTHEND VILLAGE
 PARCEL A&B**

Parcel A1 - North South
 Section

A307

PLOT DATE: 2022.03.30	SCALE: 1:200
DRAWN BY:	CHECK BY:

- LEGEND:**
- RESIDENTIAL UNITS
 - TOWNHOUSES
 - MEDICAL OFFICES
 - CRU
 - LOBBY / AMENITY
 - SERVICES



1 PARCEL A2 - NORTH SOUTH SECTION
 Scale: 1:200

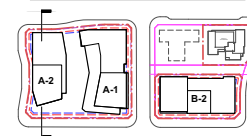


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Consultant Name



KEY PLAN
 Scale: 1:2000

REV.	DATE	ISSUE
F	2023-09-14	SUBMISSION TO ADP
E	2023-06-14	ISSUED FOR GENERAL DP REVISIONS
C	2022-12-12	ISSUED FOR GENERAL DP
B	2022-09-07	ISSUED FOR REVIEW
A	2022-04-27	ISSUED FOR PROGRESS

CITY OF SURREY FILE NUMBER: 23-0099
**SOUTHEND VILLAGE
 PARCEL A&B**

Parcel A2 - North South
 Section

A308

PLOT DATE: 2022.03.30 SCALE: 1:200
 DRAWN BY: CHECK BY:

- LEGEND:**
- RESIDENTIAL UNITS
 - TOWNHOUSES
 - MEDICAL OFFICES
 - CRU
 - LOBBY / AMENITY
 - SERVICES

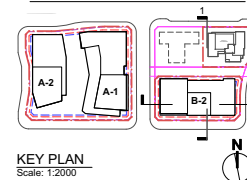
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Consultant Name



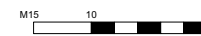
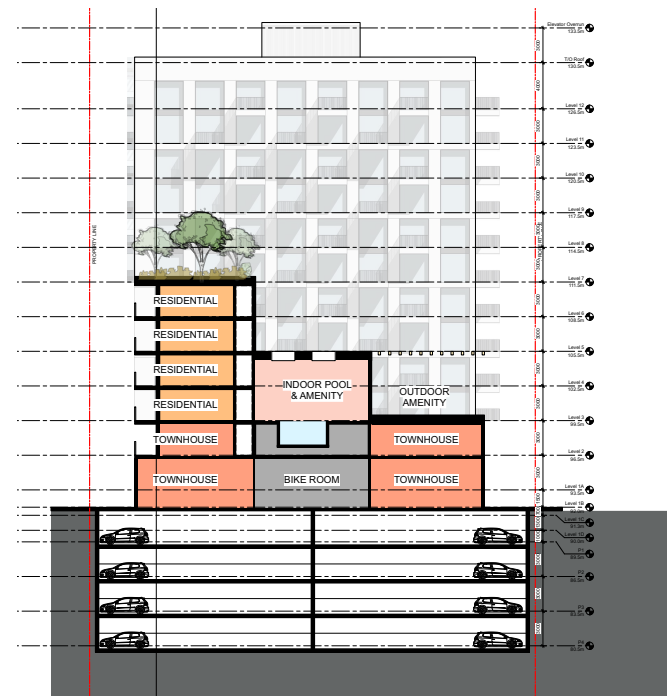
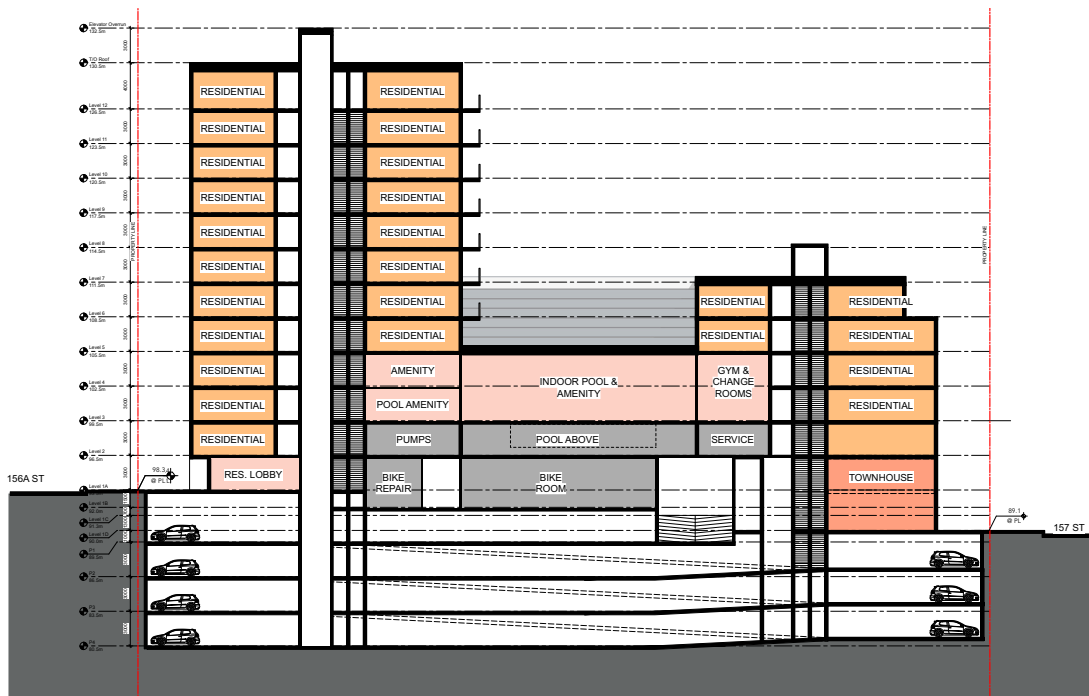
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F	2023-09-14	SUBMISSION TO ADP
E	2023-06-14	ISSUED FOR GENERAL DP REVISIONS
C	2022-12-12	ISSUED FOR GENERAL DP
B	2022-09-07	ISSUED FOR REVIEW
A	2022-04-27	ISSUED FOR PROGRESS

CITY OF SURREY FILE NUMBER: 23-0009
SOUTHEND VILLAGE
PARCEL A&B

Parcel B - Sections

A309

PLOT DATE: 2022.03.30 SCALE: 1:200
 DRAWN BY: CHECK BY:



3 **PARCEL B - EAST WEST SECTION**
 Scale: 1:200

PARCEL B - NORTH SOUTH SECTION
 Scale: 1:200

ISSUED FOR ADP August 24, 2023

South End Village Parcels A & B for Quarry Rock Developments

Civic Address:

PARCEL A:
 1624, 1636, 1646 - 156 Street, Surrey, BC
 15621, 15635, 15645 - 16 Avenue, Surrey, BC
 1625, 1643, 1633 - 156A Street, Surrey, BC

PARCEL B:
 15665, 15675, 15689, 15699 - 16 Avenue, Surrey, BC
 1626 - 156A Street, Surrey, BC
 1653, 1643, 1635 - 157 Avenue, Surrey, BC

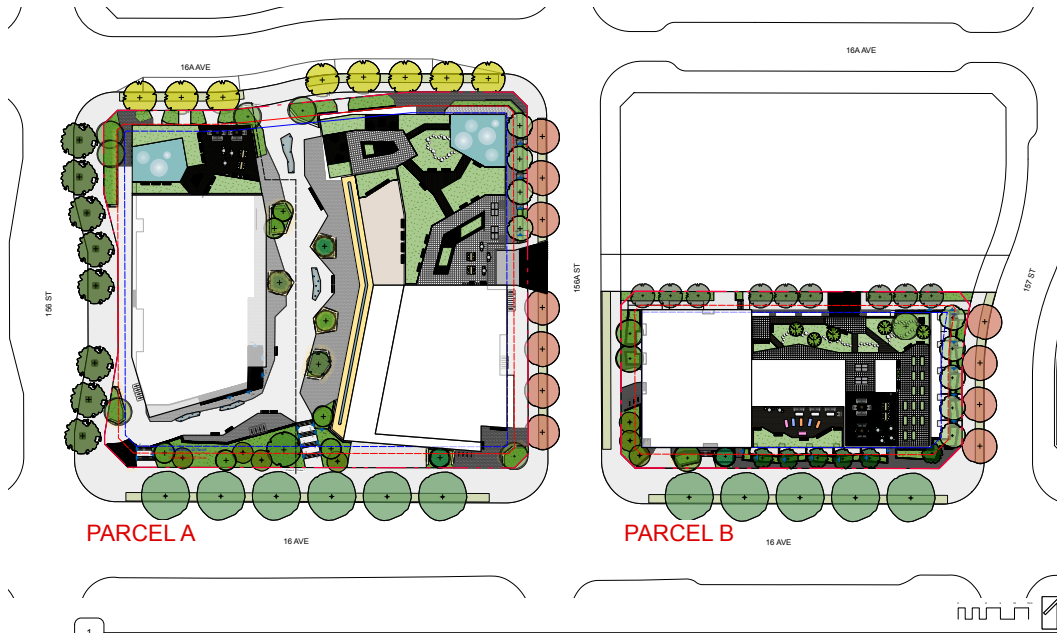
CONSULTANT TEAM

OWNER: Quarry Rock Developments
LANDSCAPE: ETA Landscape Architecture
ARCHITECT: Urban Arts Architecture

Revision No.	Date	Revision Notes
A	2023-07-14	Re-issued for DP
B	2023-08-24	Issued for ADP

Issue No.	Date	Issue Notes
A	2023-07-14	Re-issued for DP
B	2023-08-24	Issued for ADP

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1 Scale: 1:500

Sheet	Drawing Title
L0.0	Cover Sheet
L0.1	Landscape Notes & Schedules
L0.2	Illustrative Plan - Parcel A - Ground
L0.3	Illustrative Plan - Parcel B - Ground
L0.4	Illustrative Plan - Parcel A - L2, L6, L7
L0.5	Illustrative Plan - Parcel B - L3, L7
L0.6	Landscape Precedents - Ground
L0.7	Landscape Precedents - Roofs
L1.1	PA Arborist Tree Management Plan
L1.2	PB Arborist Tree Management Plan
L2.0	Offsite Plan
L3.1	PA L1 Landscape Materials Plan
L3.2	PB L1 Landscape Materials Plan
L3.3	PA Rooftops Landscape Materials Plan
L3.4	PB Rooftops Landscape Materials Plan
L3.5	Lighting Plan
L4.1	Grading and Drainage Plan
L4.2	Grading and Drainage Plan
L5.0	Tree Plan
L5.1	PA L1 Planting Plan
L5.2	PB L1 Planting Plan
L5.3	PA Rooftops Planting Plan
L5.4	PB Rooftops Planting Plan
L6.1	Soil Depth Plan
L6.2	Irrigated Areas and Servicing Plan
L7.1	Landscape Sections & Elevations
L7.2	Landscape Sections & Elevations
L8.1	Softscape Details
L8.2	Hardscape Details
L8.3	Site Furnishing Details
L8.4	Furnishing Details
L8.5	Furnishing Details

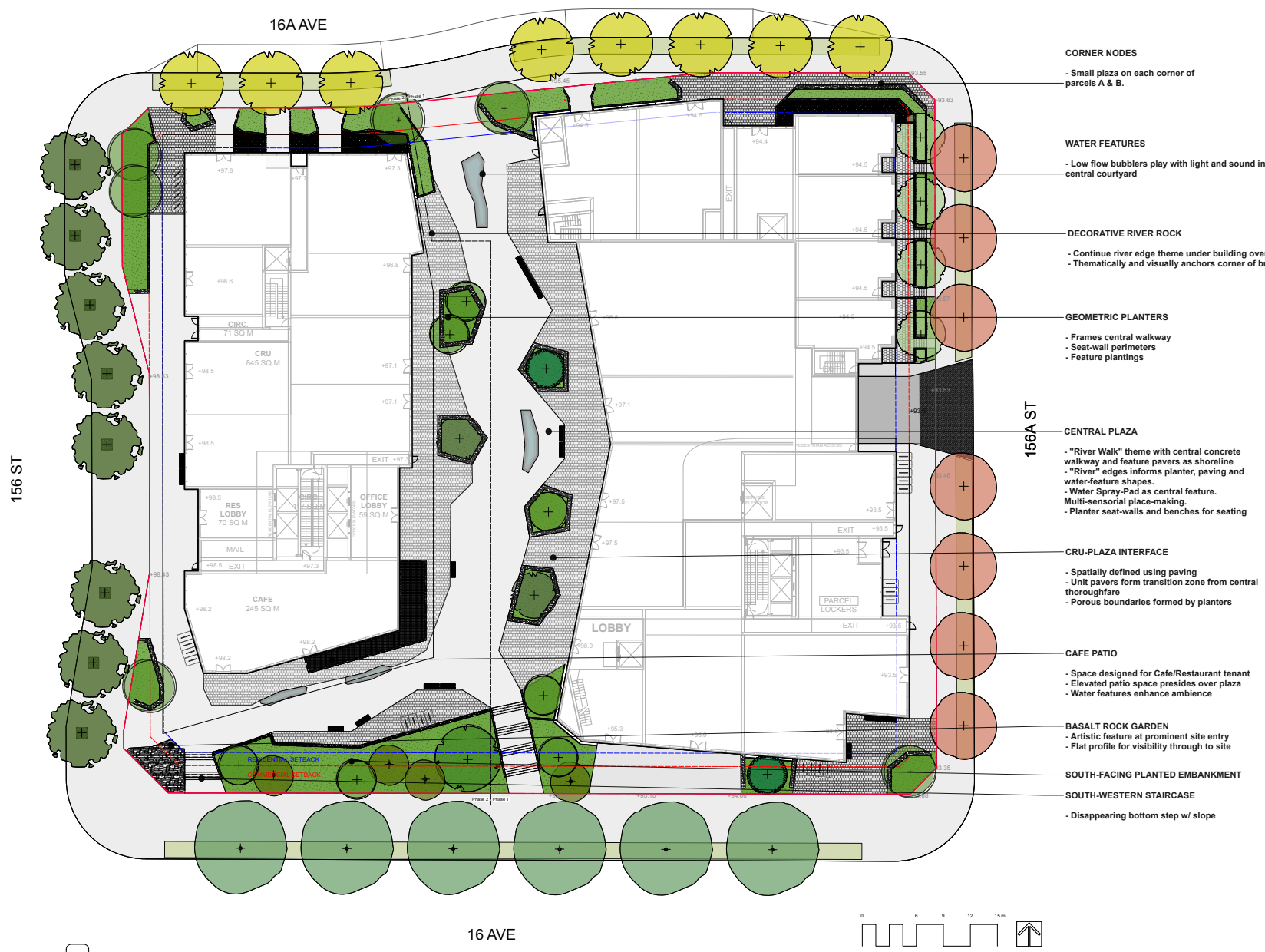
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Project
**South End Village
 Parcels A & B**
 156th St. & 16th Ave,
 Surrey, BC

Drawing Title
Cover Sheet

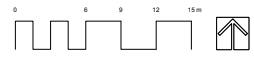
Legend

Project Manager	Project ID
KD	22223
Drawn By	Scale
JY	As Noted
Reviewed By	Drawing No.
KD	L0.0
Date	1/27/23
	33



1 Scale: 1:200

16 AVE



- CORNER NODES**
 - Small plaza on each corner of parcels A & B.
- WATER FEATURES**
 - Low flow bubblers play with light and sound in the central courtyard
- DECORATIVE RIVER ROCK**
 - Continue river edge theme under building over-hangs
 - Thematically and visually anchors corner of buildings
- GEOMETRIC PLANTERS**
 - Frames central walkway
 - Seat-wall perimeters
 - Feature plantings
- CENTRAL PLAZA**
 - "River Walk" theme with central concrete walkway and feature pavers as shoreline
 - "River" edges informs planter, paving and water-feature shapes.
 - Water Spray-Pad as central feature.
 - Multi-sensorial place-making.
 - Planter seat-walls and benches for seating
- CRU-PLAZA INTERFACE**
 - Spatially defined using paving
 - Unit pavers form transition zone from central thoroughfare
 - Porous boundaries formed by planters
- CAFE PATIO**
 - Space designed for Cafe/Restaurant tenant
 - Elevated patio space presides over plaza
 - Water features enhance ambience
- BASALT ROCK GARDEN**
 - Artistic feature at prominent site entry
 - Flat profile for visibility through to site
- SOUTH-FACING PLANTED EMBANKMENT**
- SOUTH-WESTERN STAIRCASE**
 - Disappearing bottom step w/ slope

Revision

No. Date Revision Notes

Issue No.	Date	Issue Notes
A	2023-07-14	Re-issued for DCP
B	2023-08-24	Issued for ACP

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 | 1 604.683.1459
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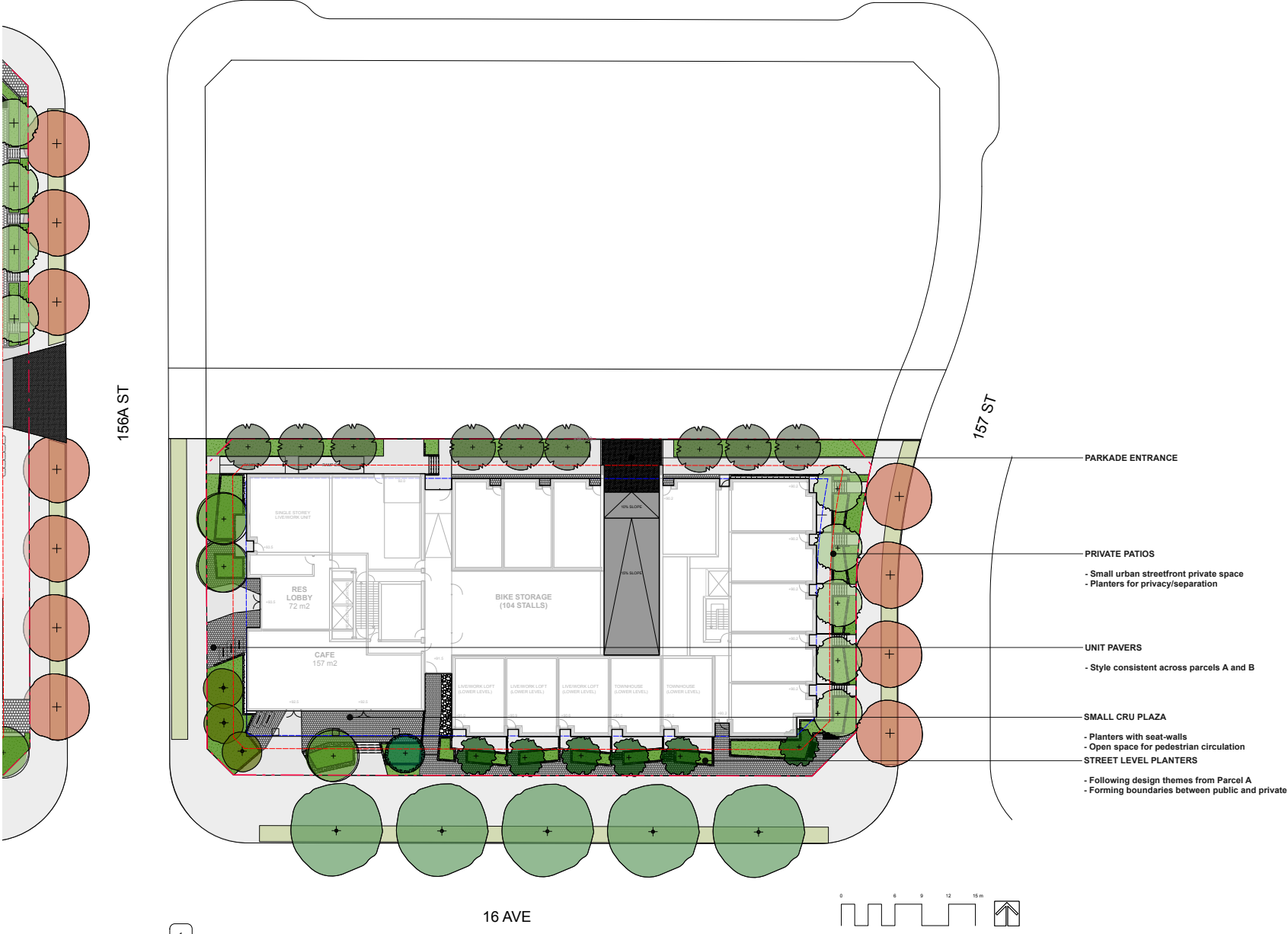
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Project
**South End Village
 Parcels A & B**
 156th St. & 16th Ave,
 Surrey, BC

Drawing Title
**Landscape
 Illustrative Plan
 Parcel A - L1**

Legal

Project Manager	Project ID
KD	222293
Drawn By	Scale
JY	As Noted
Reviewed By	Drawing No.
KD	
Date	
	L0.2
	3/
	33



- PARKADE ENTRANCE
- PRIVATE PATIOS
 - Small urban streetfront private space
 - Planters for privacy/separation
- UNIT PAVERS
 - Style consistent across parcels A and B
- SMALL CRU PLAZA
 - Planters with seat-walls
 - Open space for pedestrian circulation
- STREET LEVEL PLANTERS
 - Following design themes from Parcel A
 - Forming boundaries between public and private

156A ST

157 ST

16 AVE

1 Scale: 1:200



Issue

No.	Date	Issue Notes
A	2023-07-14	Re-issued for CP
B	2023-08-24	Issued for ADP

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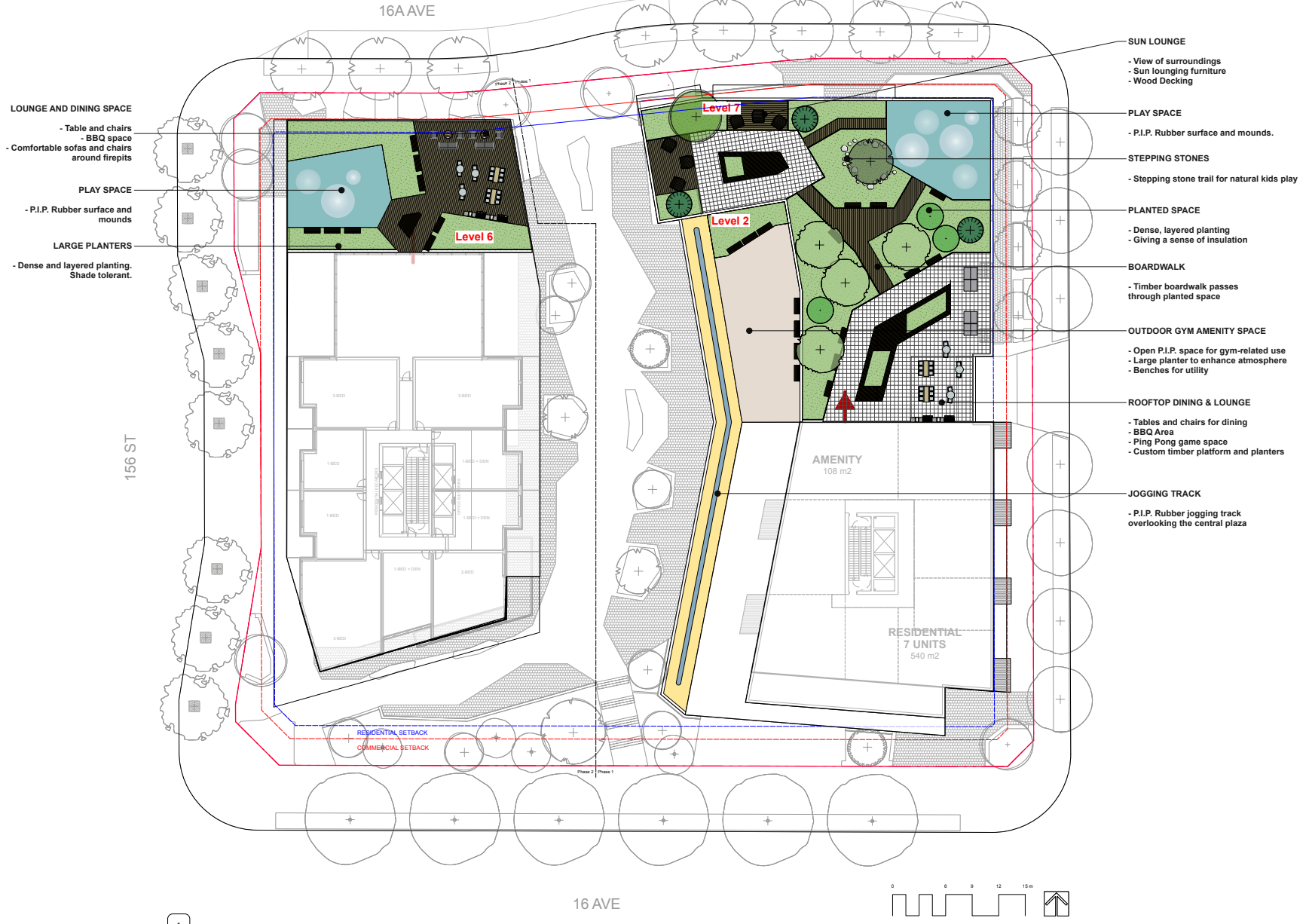
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Project
**South End Village
 Parcels A & B**
 150th St. & 16th Ave,
 Surrey, BC

Drawing Title
**Landscape
 Illustrative Plan
 Parcel B - L1**

Legend

Project Manager	Project ID
KD	22223
Drawn By	Scale
JY	As Noted
Reviewed By	Drawing No.
KD	
Date	
	L0.3
	33



- LOUNGE AND DINING SPACE**
- Table and chairs
 - BBQ space
 - Comfortable sofas and chairs around firepits
- PLAY SPACE**
- P.I.P. Rubber surface and mounds
- LARGE PLANTERS**
- Dense and layered planting. Shade tolerant.

- SUN LOUNGE**
- View of surroundings
 - Sun lounging furniture
 - Wood Decking
- PLAY SPACE**
- P.I.P. Rubber surface and mounds.
- STEPPING STONES**
- Stepping stone trail for natural kids play
- PLANTED SPACE**
- Dense, layered planting
 - Giving a sense of insulation
- BOARDWALK**
- Timber boardwalk passes through planted space
- OUTDOOR GYM AMENITY SPACE**
- Open P.I.P. space for gym-related use
 - Large planter to enhance atmosphere
 - Benches for utility
- ROOFTOP DINING & LOUNGE**
- Tables and chairs for dining
 - BBQ Area
 - Ping Pong game space
 - Custom timber platform and planters
- JOGGING TRACK**
- P.I.P. Rubber jogging track overlooking the central plaza

Revision No.	Date	Revision Notes
A	2023-07-14	Re-issued for DP
B	2023-08-24	Issued for ACP

Issue No.	Date	Issue Notes
A	2023-07-14	Re-issued for DP
B	2023-08-24	Issued for ACP

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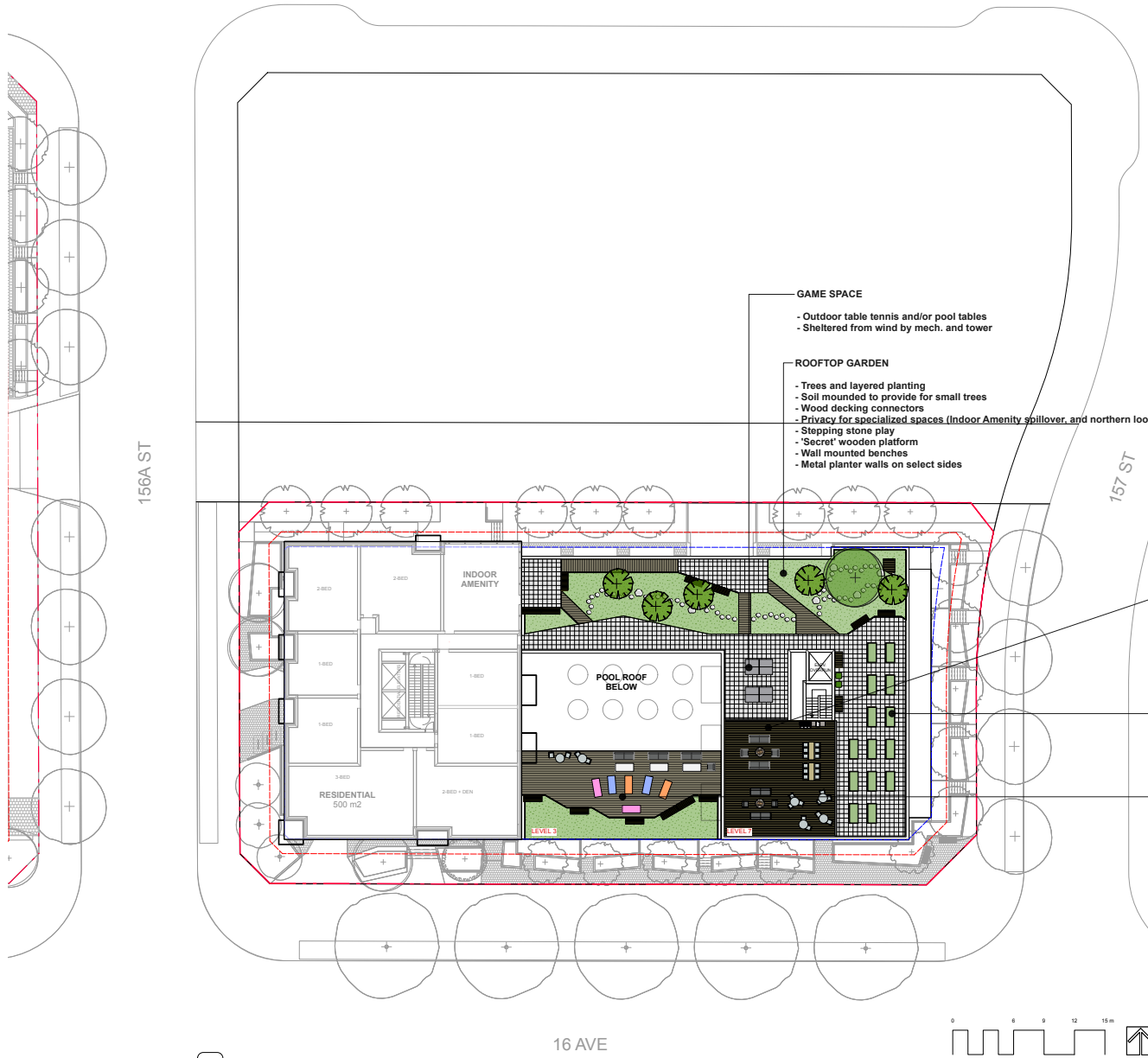
Project
**South End Village
Parcels A & B**
156th St. & 16th Ave,
Surrey, BC

Drawing Title
**Landscape
Illustrative Plan
Parcel A - L2, L6, L7**

Legal

Project Manager	Project ID
KD	222293
Drawn By	Scale
JY	As Noted
Reviewed By	Drawing No.
KD	
Date	
	L0.4
	5
	33





GAME SPACE

- Outdoor table tennis and/or pool tables
- Sheltered from wind by mech. and tower

ROOFTOP GARDEN

- Trees and layered planting
- Soil mounded to provide for small trees
- Wood decking connectors
- Privacy for specialized spaces (Indoor Amenity spillover and northern lookout)
- Stepping stone play
- 'Secret' wooden platform
- Wall mounted benches
- Metal planter walls on select sides

ROOFTOP LOUNGE

- Arbour for shade and framing
- Wood decking
- Rectangular and circular tables, and chairs
- Soft lounge furniture and fire-pits
- BBQ and counter space

COMMUNITY GARDEN

- Custom built wooden planters.
- Placed for maximum sunshine exposure
- Compost bins and work benches

3RD FLOOR AMENITY DECK

- Wood decking
- Large planter with buffer planting
- Some lounge furniture
- Open space for low intensity physical activity

Revision No.	Date	Revision Notes
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Issue No.	Date	Issue Notes
A	2023-07-14	Re-issued for CP
B	2023-08-24	Issued for ACP

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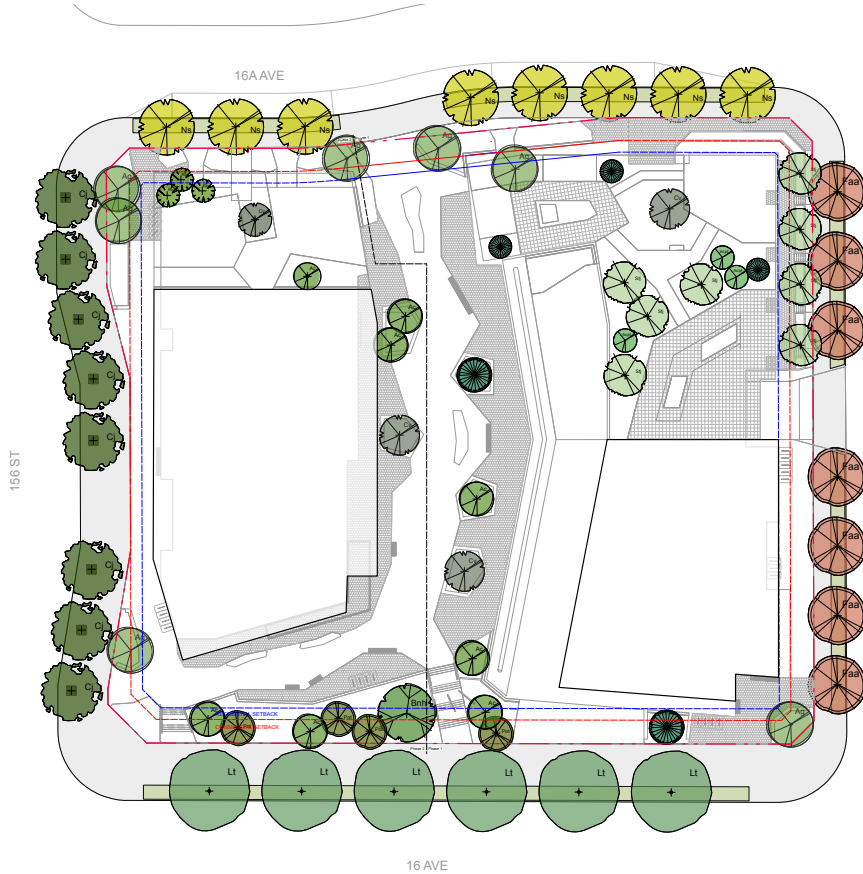
Project
**South End Village
 Parcels A & B**
 156th St. & 16th Ave,
 Surrey, BC

Drawing Title
**Landscape
 Illustrative Plan
 Parcel B - L3, L7**

Legend

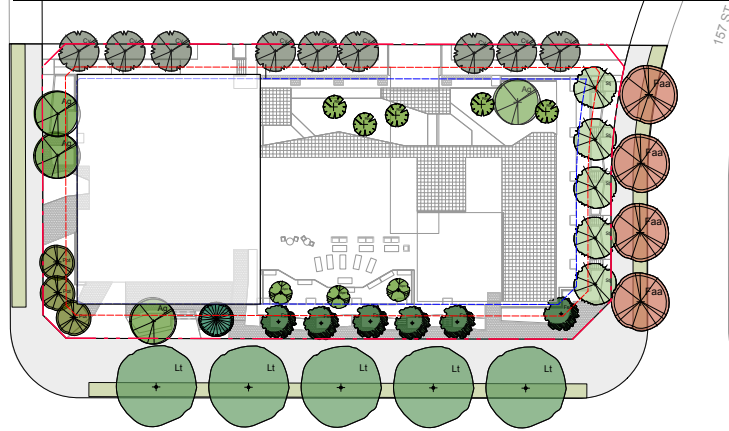
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Drawn By	JY	Scale	As Noted
Reviewed By	KD	Drawing No.	
Date			
		L0.5	
			33



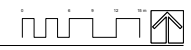


PLANT LIST - TREES, BY LEVEL

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES - OFFSITE							
Gj	8	Genkidiophyllum japonicum	katsura	as shown	6cm cal/B&B	full/ bushy canopy	
Faa	11	Fraxinus americana 'Autumn Applause'	Autumn Applause ash	as shown	6cm cal/B&B	full/ bushy canopy	
Lt	11	Liriodendron tulipifera	tulip tree	as shown	6cm cal/B&B	full/ bushy canopy	P
Ns	8	Nyssa sylvatica	black tupelo	as shown	6cm cal/B&B	full/ bushy canopy	B, P
TREES - ONSITE							
PARCEL A - L1							
Ac	7	Acer circinatum	vine maple	as shown	2.5m ht/B&B	full/ bushy canopy	N
Ag	6	Acer griseum	paperbark maple	as shown	6cm cal/B&B	full/ bushy canopy	W, P, S
Bnh	1	Betulus nigra 'Heritage'	heritage river birch	as shown	6cm cal/B&B	full/ bushy canopy	
Cv	2	Cornus 'Venus'	Venus dogwood	as shown	6cm cal/B&B	full/ bushy canopy	B, P
Pio	2	Picea omorika	Serbian spruce	as shown	3.5m ht/B&B	full/ bushy canopy	E, S
Pot	4	Populus tremuloides	quaking aspen	as shown	6cm cal/B&B	full/ bushy canopy	N
Stj	4	Styrax japonicus	Japanese snowbell	as shown	6cm cal/B&B	full/ bushy canopy	P, S
PARCEL A - L2							
Cv	1	Cornus 'Venus'	Venus dogwood	as shown	6cm cal/B&B	full/ bushy canopy	B, P
PARCEL A - L6							
Ac	1	Acer circinatum	vine maple	as shown	2.5m ht/B&B	full/ bushy canopy	N
Cv	1	Cornus 'Venus'	Venus dogwood	as shown	6cm cal/B&B	full/ bushy canopy	B, P
Rty	3	Rhus typhina	staghorn sumac	as shown	2.5m ht/B&B	multistem	B, P, W, Ed, S
PARCEL A - L7							
Aczd	3	Acer circinatum 'Pacific Fire'	Pacific Fire vine maple	as shown	6cm cal/B&B	full/ bushy canopy	N, W
Ag	1	Acer griseum	paperbark maple	as shown	6cm cal/B&B	full/ bushy canopy	W, P, S
Cv	1	Cornus 'Venus'	Venus dogwood	as shown	6cm cal/B&B	full/ bushy canopy	B, P
Piw	3	Pinus sylvestris 'Watereri'	scotch pine	as shown	2.5m ht/B&B	full/ bushy canopy	E
Stj	4	Styrax japonicus	Japanese snowbell	as shown	6cm cal/B&B	full/ bushy canopy	P, S
PARCEL B - L1							
Ag	3	Acer griseum	paperbark maple	as shown	6cm cal/B&B	full/ bushy canopy	W, P, S
Cv	9	Cornus 'Venus'	Venus dogwood	as shown	6cm cal/B&B	full/ bushy canopy	B, P
End	6	Quercus sylvatica 'Dawick'	Dawick beech	as shown	6cm cal/B&B	full/ bushy canopy	B
Pio	1	Picea omorika	Serbian spruce	as shown	3.5m ht/B&B	full/ bushy canopy	E, S
Pot	3	Populus tremuloides	quaking aspen	as shown	6cm cal/B&B	full/ bushy canopy	N
Stj	3	Styrax japonicus	Japanese snowbell	as shown	6cm cal/B&B	full/ bushy canopy	P, S
Q	0			as shown			
PARCEL B - L3							
Ac	3	Acer palmatum	Japanese maple	as shown	6cm cal/B&B	full/ bushy canopy	P
PARCEL B - L7							
Ag	1	Acer griseum	paperbark maple	as shown	6cm cal/B&B	full/ bushy canopy	W, P, S
Rty	5	Rhus typhina	staghorn sumac	as shown	2.5m ht/B&B	multistem	B, P, W, Ed, S
NOTES:							
1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR LEVEL 1 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.							
2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON							
3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST							



1 Scale: 1:300



Revision No. Date Revision Notes

Issue No. Date Issue Notes
 A 2023-07-14 Re-issued for DP
 B 2023-08-24 Issued for ADP

Professional Seal

eta landscape architecture
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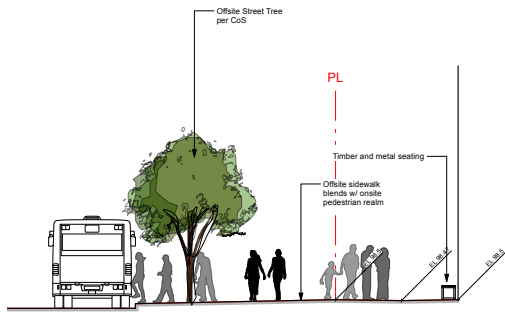
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Project
**South End Village
 Parcels A & B**
 150th St. & 16th Ave,
 Surrey, BC

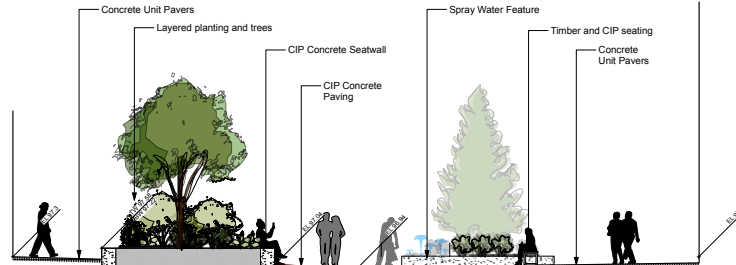
Drawing Title
Tree Plan

Legend

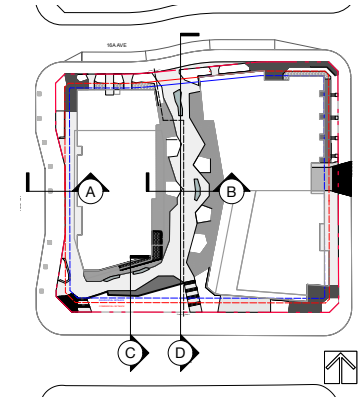
Project Manager	Project ID
KD	22223
Drawn By	Scale
JY	As Noted
Reviewed By	Drawing No.
KD	
Date	
	L5.0
	20
	27
	33



A Scale: 1:75



B Scale: 1:75



Revision

No.	Date	Revision Notes
A	2023-07-14	Re-issued for CP
B	2023-08-24	Issued for ACP

Issue No. Date Issue Notes

A 2023-07-14 Re-issued for CP

B 2023-08-24 Issued for ACP

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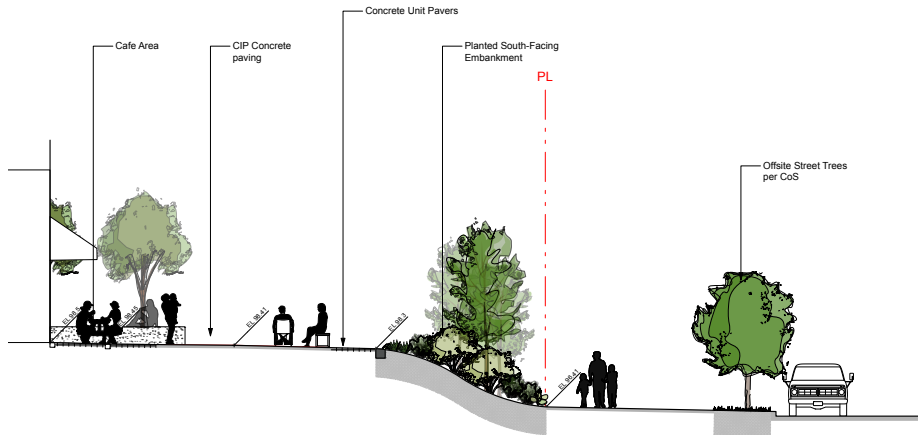
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Project
**South End Village
Parcels A & B**
150th St. & 16th Ave,
Surrey, BC

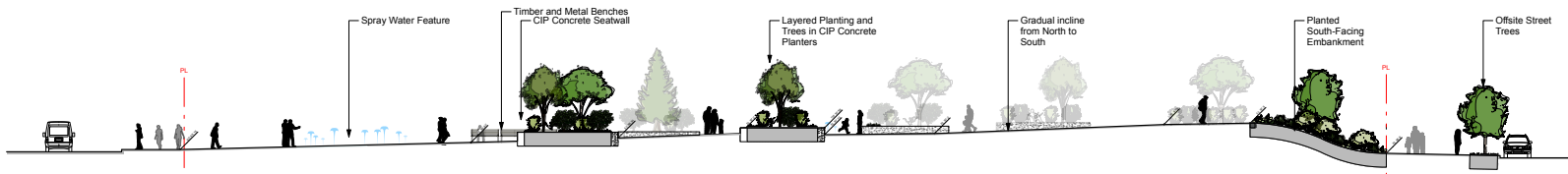
Drawing Title
**Landscape Sections
& Elevations**

Legal

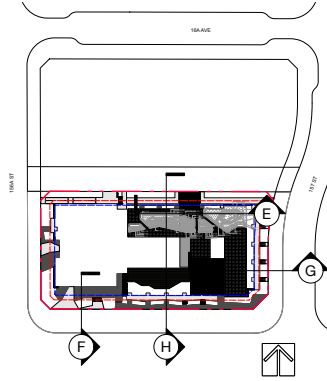
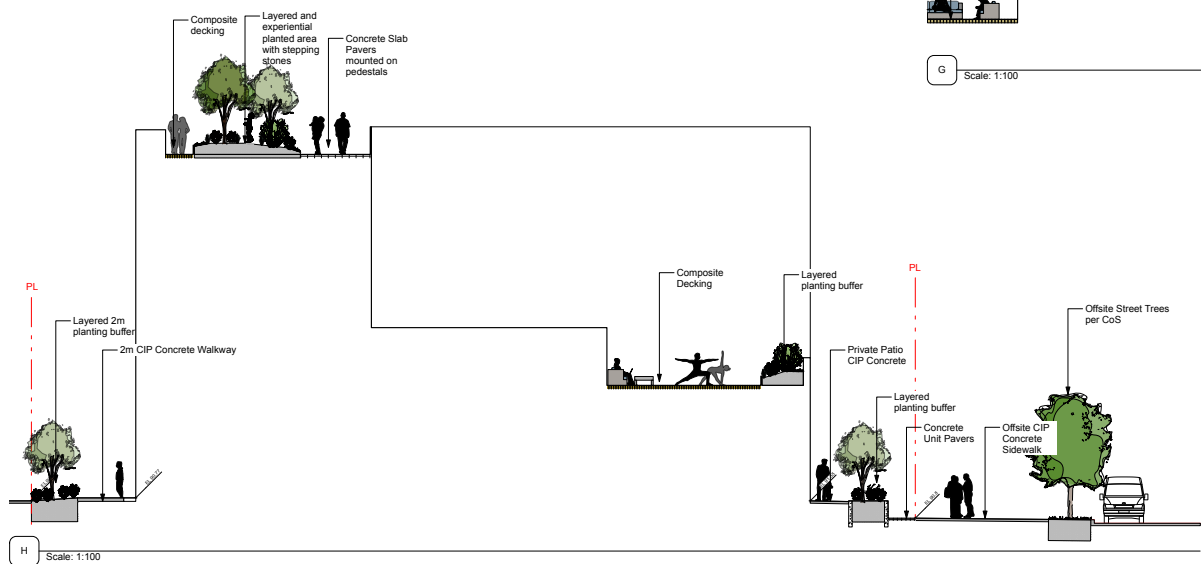
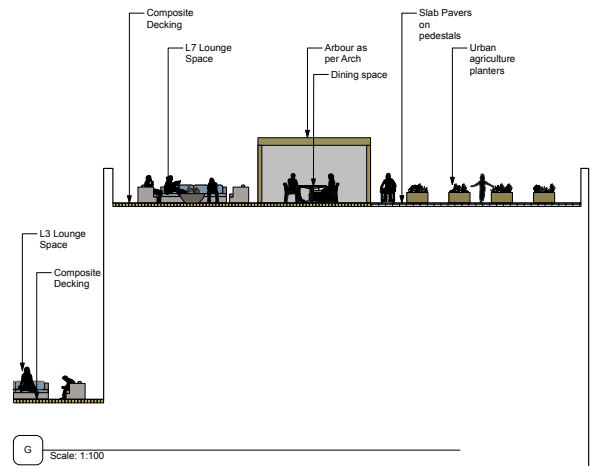
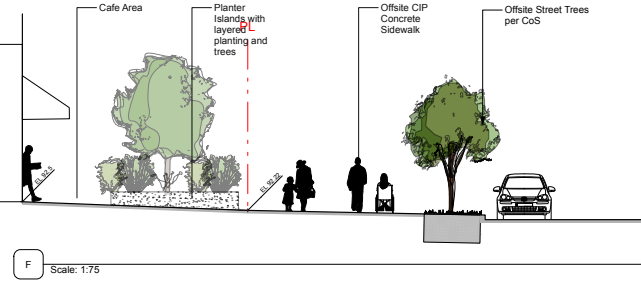
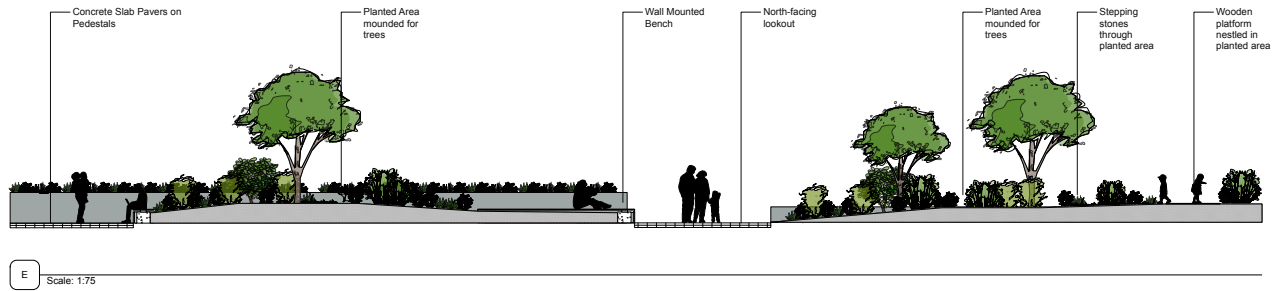
Project Manager	KD	Project ID	22223
Drawn By	JY	Scale	As Noted
Reviewed By	KD	Drawing No.	L7.1
Date	27		27
			33



C Scale: 1:75



D Scale: 1:150



Revision No.	Date	Revision Notes
A	2023-07-14	Re-issued for CIP
B	2023-08-24	Issued for ADP

Issue No.	Date	Issue Notes
A	2023-07-14	Re-issued for CIP
B	2023-08-24	Issued for ADP

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Project
**South End Village
 Parcels A & B**
 150th St. & 16th Ave,
 Surrey, BC

Drawing Title
**Landscape Sections
 & Elevations**

Legal	
Project Manager	Project ID
KD	22223
Drawn By	Scale
JY	As Noted
Reviewed By	Drawing No.
KD	L7.2
Date	23/07
	33

Appendix II - Detailed DP

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UNIT SCHEDULE										
UNIT TYPE		AREA	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 6	NO. OF UNITS	TOTAL AREA
A1	2BD	76.5 SQM	1						1	76.5 SQM
A2	3BD	91.0 SQM		1					1	91.0 SQM
A3	3BD	89.4 SQM			1	1			2	178.7 SQM
A4	2BD	78.5 SQM					1		1	78.5 SQM
A5	2BD	78.5 SQM						1	1	78.5 SQM
B1.1	1BD	59.5 SQM	1						1	59.5 SQM
B1.2	1BD	59.3 SQM	1						1	59.3 SQM
B2	1BD+DEN	52.7 SQM		2					2	105.5 SQM
B3	1BD+DEN	52.7 SQM			2	2			4	210.7 SQM
B4	1BD	46.6 SQM					2	2	4	186.4 SQM
C1	1BD	59.2 SQM	1						1	59.2 SQM
C2	1BD	59.2 SQM		1					1	59.2 SQM
C3	1BD	57.5 SQM			1	1	1		3	174.4 SQM
C4	1BD	54.3 SQM						1	1	54.3 SQM
D1	2BD	70.9 SQM	1						1	70.9 SQM
D2	2BD	70.1 SQM		1					1	70.1 SQM
D3	2BD	69.9 SQM			1	1	1		3	209.9 SQM
D4	1BD	51.0 SQM						1	1	51.0 SQM
E1	1BD	72.3 SQM	1						1	72.3 SQM
E2	3BD	94.9 SQM		1					1	94.9 SQM
E3	2BD	84.1 SQM			1	1			2	168.2 SQM
E4	2BD	73.2 SQM					1	1	2	146.4 SQM
F1	1BD	43.6 SQM	1						1	43.6 SQM
F2	STUDIO	40.5 SQM		1					1	40.5 SQM
F3	1BD	41.9 SQM			1	1	1	1	4	167.5 SQM
G	1BD	55.9 SQM		1	1	1	1		4	223.6 SQM
H1	2BD	85.8 SQM		1	1	1			3	257.4 SQM
H2	2BD	90.4 SQM						1	2	180.8 SQM
TOTAL NUMBER OF UNITS			7	3	9	0	0	0	81	6,178.0 SQM

UNIT COUNT								
UNIT TYPE	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 6	TOTAL NO. OF UNITS	TOTAL AREA
STUDIO							1	1.96%
1 BED	4	4	3	3	5	5	28	34.90%
2 BED	2	2	3	3	4	3	17	33.33%
3 BED	1	2	1	1	0	0	5	8.80%
TOTAL NUMBER OF UNITS								51

AMENITY SPACE							
	NO. OF UNITS	AREA PER UNIT	REQUIRED			PROPOSED	
OUTDOOR AMENITY							
	51	3.0 SQM	153.0 SQM	1,646.9 SQFT	279.3 SQM	3,006.5 SQFT	18%
INDOOR AMENITY							
	51	3.0 SQM	153.0 SQM	1,646.8 SQM	117.3 SQM	1,262.3 SQFT	7%

PROJECT DATA			
GENIC ADDRESS:	1633, 1643 & 1653 157th STREET, SURREY		
LEGAL DESCRIPTION:	LOT 4 SECTION 14 TOWNSHIP 1 PLAN EPP15158 HWO		
	LOT 4 BLOCK 17&28 SECTION 14 TOWNSHIP 1 PLAN NWP16203 NWD PART SE 1/4		
	LOT 5 BLOCK 27 & 28 SECTION 14 TOWNSHIP 1 PLAN MWP 16203 NWD PART SE 1/4		
LOT INFO			
GROSS AREA	0.57 Ac	24,673.0 SQFT	2,292.2 SQM
DEDICATION		9,412.8 SQFT	874.5 SQM
NET AREA	0.35 Ac	15,260.2 SQFT	1,417.7 SQM
SITE COVERAGE			
PROPOSED	751.8 SQM	8,092.1 SQFT	53.0%
ZONING			
EXISTING			RF
PROPOSED			CD
OCP			
			MULTIPLE RESIDENTIAL
SETBACK			
NORTH	14.8 Ft		4.50 M
SOUTH	14.8 Ft		4.50 M
EAST	14.8 Ft		4.50 M
WEST (SOUTHEAST CORNER LEVELS 1 AND 2)	14.8 Ft		4.50 M
WEST (TYPICAL)	21.3 Ft		6.50 M
HEIGHT			
PROPOSED			6 STOREYS
FAR CALCULATION			
FLOOR AREA			
		AREA	
LEVEL 1		6,747.6 SQFT	626.8 SQM
LEVEL 2		7,394.9 SQFT	687.0 SQM
LEVEL 3		7,157.9 SQFT	665.0 SQM
LEVEL 4		7,041.5 SQFT	654.2 SQM
LEVEL 5		6,877.0 SQFT	638.0 SQM
LEVEL 6		6,654.7 SQFT	618.2 SQM
ROOF DECK		529.7 SQFT	49.2 SQM
INDOOR AMENITY (LEVEL 1 & 6)		1,262.3 SQFT	117.3 SQM
TOTAL BUILDABLE AREA (EXCLUDING INDOOR AMENITY)		40,611.2 SQFT	3,772.9 SQM
FAR PROPOSED (ON NET SITE AREA)			2.66
FAR PROPOSED (ON GROSS SITE AREA)			1.05

OFF STREET PARKING				
	NO. OF UNITS	CARS PER DWELLING	NO. OF CARS	SAV
RESIDENTIAL 1 BDRM UNIT	29	1.3	37.7	38
RESIDENTIAL FAMILY UNIT	22	1.5	33	33
NO. OF VISITOR CAR PARK REQUIRED	53	0.2	14.2	10
TOTAL NO. OF PARKING REQUIRED				81
TOTAL NO. OF PARKING PROPOSED				81
MAXIMUM SMALL CAR (SPS)			25.4	29
TOTAL SMALL CAR PROPOSED				22
NO. OF VISITOR PARKING PROPOSED				10
NO. OF ACCESSIBLE PARKING PROPOSED				2
BICYCLE SPACES				
	NO. OF UNITS	BICYCLE PER DWELLING	NO. OF BICYCLE	SAV
BICYCLE SPACE REQUIRED 1/3	51	1.2	61.2	61
NO. OF VISITOR BICYCLE SPACE REQUIRED AT GRADE		1/3 VISITOR STALL	6	6
TOTAL NO. OF BICYCLE SPACE REQUIRED				67
TOTAL NO. OF BICYCLE SPACE PROPOSED				70
STORAGE LOCKERS				
TOTAL NO. OF STORAGE LOCKERS PROPOSED				48

REV	DESCRIPTION	DATE
H	DP REVISIONS	2023-10-03
E	DP REVISIONS	2023-08-29
D	DP REVISIONS	2023-07-18
C	DP REVISIONS	2023-06-02
B	DP REVISIONS	2023-01-16
A	DP APPLICATION	2023-12-13
1	Issue	2023-12-13



GROUP 161
 QUARRY ROCK DEVELOPMENTS
 202-5400 BLYTHE ROAD, BURNABY, BC

Project:
 PROPOSED 6 STOREY
 RESIDENTIAL DEVELOPMENT
 1633, 1643, 1653 157 ST. E. BURNABY, SURREY, BC



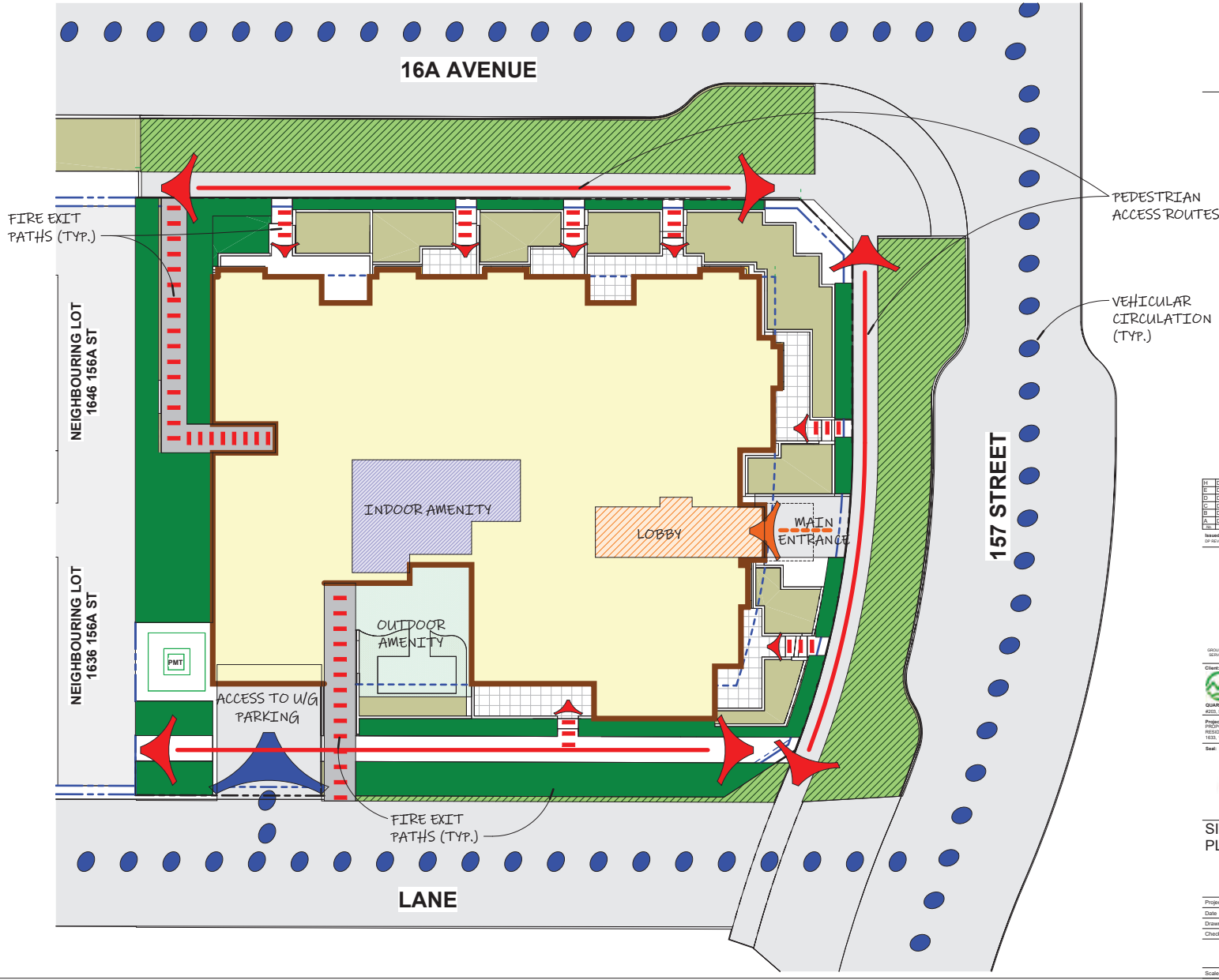
DEVELOPMENT DATA

Project number: 21115
 Date: 2023-10-03
 Drawn: Author
 Checked: Checker

A-002

Scale

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H	DP REVISIONS	2023-10-03
E	DP REVISIONS	2023-08-29
D	DP REVISIONS	2023-07-18
C	DP REVISIONS	2023-06-02
B	DP REVISIONS	2023-01-15
A	DP APPLICATION	2023-12-13
1	Issue	2023-12-13


 a/b/a
 Architects Inc.
 200 WEST SULLY ROAD, SUITE 100, SURREY, BC V4R 1G8
 (604) 261-2146
 info@abainc.com


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Client:

QUARRY ROCK DEVELOPMENTS
 2022-1452 SPYNE ROAD, SURREY, BC

Project:
 PROPOSED 6 STOREY
 RESIDENTIAL DEVELOPMENT
 1533, 1543, 1553 157 ST. & 16 AVENUE, SURREY, BC

Date:

 10/03/2023

SITE ACCESS PLAN

Project number	21115
Date	2023-10-03
Drawn	Author
Checked	Checker

A-014
 Scale: 1/8" = 1'-0"

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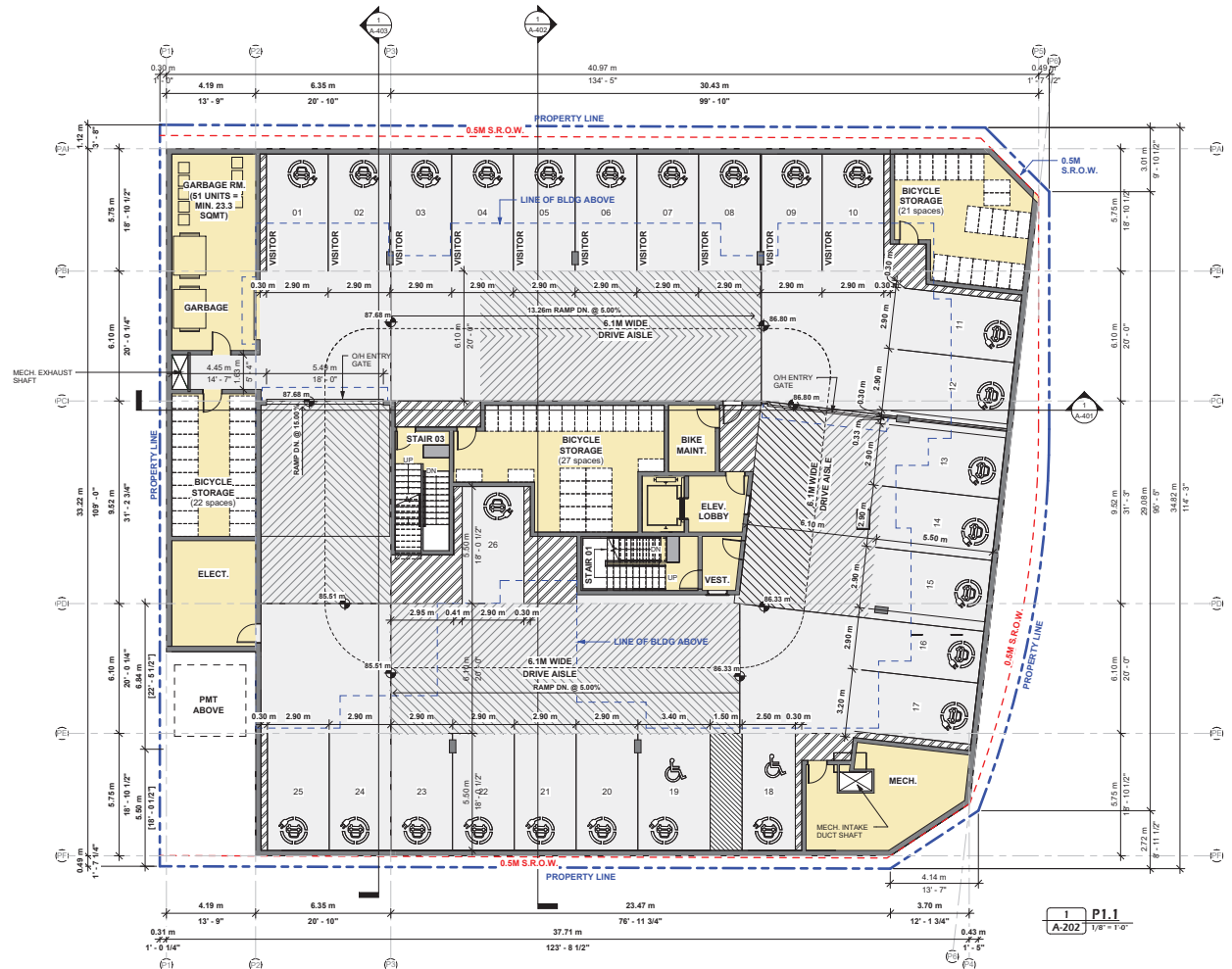
CPTED REQUIREMENTS FOR UNDERGROUND PARKING

- THE FOLLOWING IS A SUMMARY OF CPTED REQUIREMENTS FOR UNDERGROUND PARKING AS RECOMMENDED BY SURREY RCMP:
- A) PAINT UNDERGROUND PARKING WALLS AND COLUMNS WHITE
 - B) INSTALL HARD-WIRED VIDEO SURVEILLANCE EQUIPMENT IN U/G PARKING
 - C) AVOID HIDDEN CORNERS AND INSTALL MIRRORS AS NEEDED IN U/G PARKING AND STAIRWELLS
 - D) PROVIDE VISION PANELS IN ALL DOORS IN U/G PARKING LEADING TO PUBLICLY ACCESSIBLE AREAS
 - E) ELEVATOR LOBBY IN U/G PARKING AREA SHOULD BE GLAZED TO PERMIT NATURAL SURVEILLANCE
 - F) ENSURE ADEQUATE LIGHTING THROUGH THE U/G PARKING
 - G) PROVIDE ROUGH SURFACE FINISH ON RAMPS



NOTES:

- * CONSTRUCT AND INSTALL FOR EVERY RESIDENTIAL PARKING SPACE AND 50% OF VISITOR PARKING SPACES AN ENERGIZED ELECTRICAL OUTLET CAPABLE OF PROVIDING LEVEL 2 OR HIGHER ELECTRIC VEHICLE CHARGING, AS DEFINED BY SAE INTERNATIONAL'S 11772 STANDARD, AS AMENDED OR REPLACED FROM TIME TO TIME, FOR EACH SUCH PARKING SPACE
- * GARAGE CLEAR HEIGHT IS 2.3m UP TO ACCESSIBLE STALLS AND DRIVE AISLES AND 2.1m BEYOND



1 P1.1
A-202 1/8" = 1'-0"

H	DP REVISIONS	2023-10-03
E	DP REVISIONS	2023-08-29
D	DP REVISIONS	2023-07-18
C	DP REVISIONS	2023-06-02
A	DP APPLICATION	2023-12-13
BY	Author	
BY	Checker	
BY	DP APPROVER	
BY	DP REVIEWER	

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QUARRY ROCK DEVELOPMENTS
 2025 - 5402 SPYRHE ROAD, SURREY, BC
 Project: PROPOSED 6 STOREY RESIDENTIAL DEVELOPMENT
 1833, 1843, 1853 137 ST. A. AVENUE, SURREY, BC



PARKADE LEVEL
1

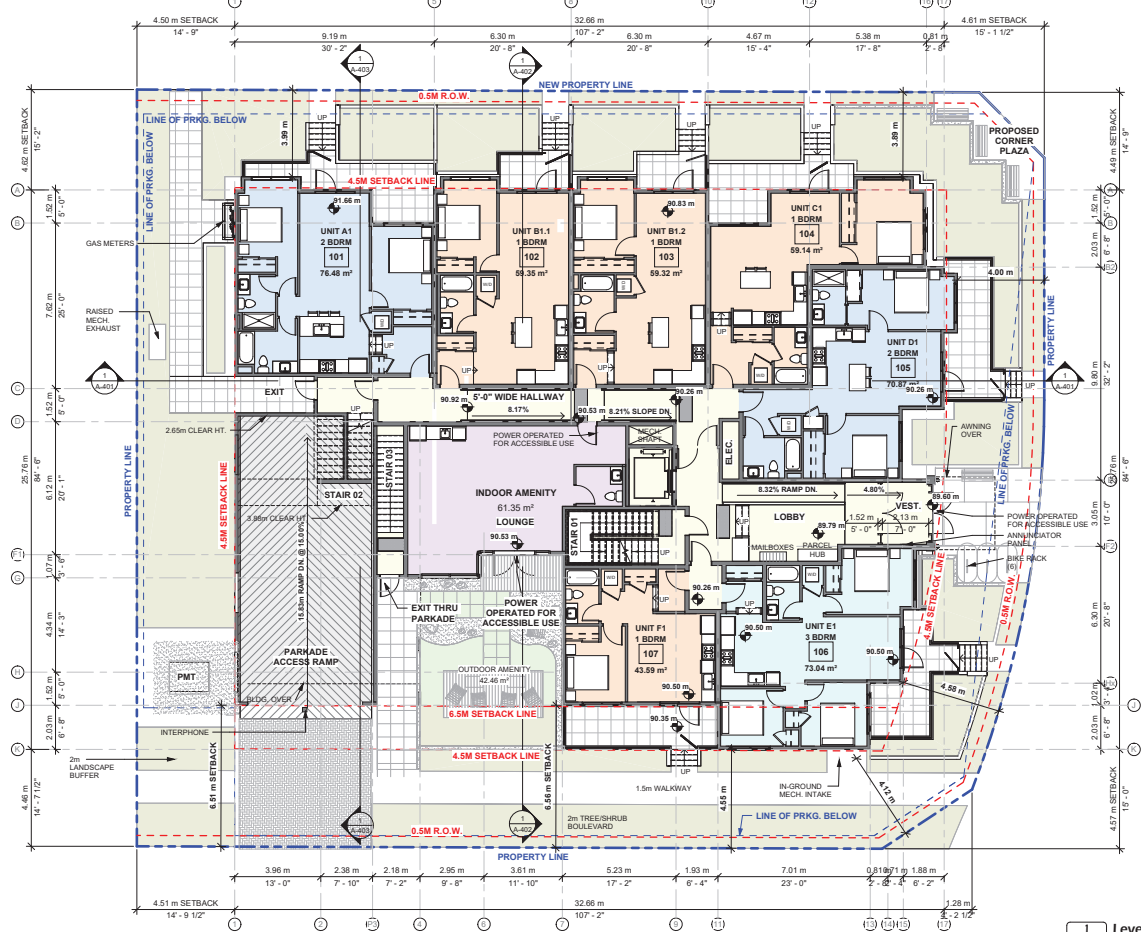
Project number	21115
Date	2023-10-03
Drawn	Author
Checked	Checker

A-202
Scale: 1/8" = 1'-0"

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16A AVENUE



SUITE LEGEND

- 1 BDRM
- 2 BDRM
- 3 BDRM
- AMENITY
- CIRCULATION
- OUTDOOR AMENITY
- PARKING



157 STREET

LANE

1 Level 1
A-203 1/8" = 1'-0"

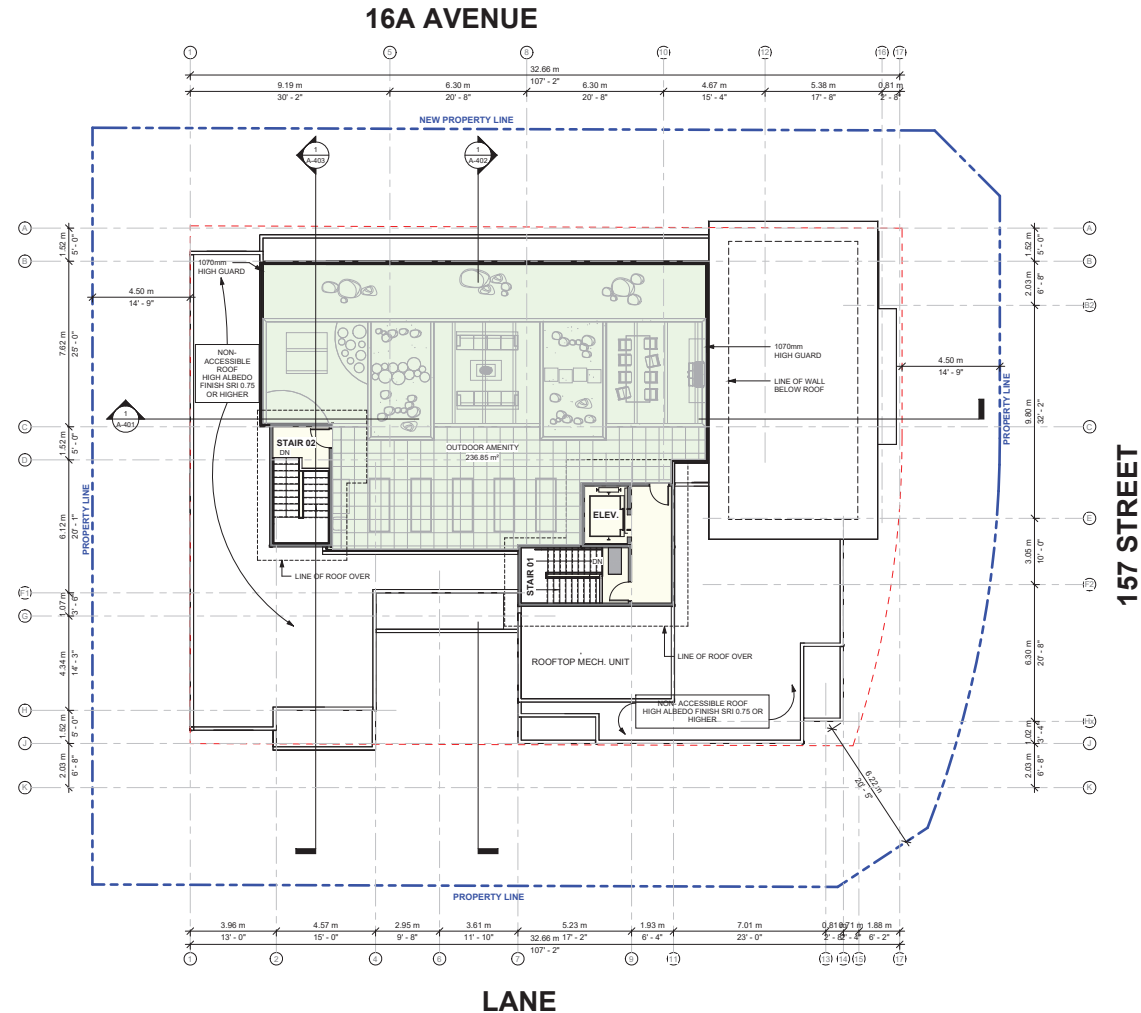
REV	DESCRIPTION	DATE
H	DP REVISIONS	2023-10-03
G	DP REVISIONS	2023-08-23
F	DP REVISIONS	2023-08-22
E	DP REVISIONS	2023-08-22
D	DP REVISIONS	2023-07-18
C	DP REVISIONS	2023-06-02
A	DP APPLICATION	2023-12-13
BY	Author	DATE


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Client:

QUARRY ROCK DEVELOPMENTS
 2025, 5402 SPYRNE ROAD, BURNABY, BC
 Project:
 PROPOSED 6 STOREY RESIDENTIAL DEVELOPMENT
 1633, 1643, 1653 157 ST. E. 16 AVENUE, BURNABY, BC
 Date:

 10/03/2023

MAIN FLOOR PLAN
 Project number: 21115
 Date: 2023-10-03
 Drawn: Author
 Checked: Checker
A-203
 Scale: 1/8" = 1'-0"

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H	DP REVISIONS	2023-10-23
E	DP REVISIONS	2023-08-29
D	DP REVISIONS	2023-07-18
C	DP REVISIONS	2023-06-02
A	DP APPLICATION	2023-12-13
By	Author	JEF
Checked by	Reviewer	
Revised by	Revisions	2023-10-23

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Client:
QUARRY ROCK DEVELOPMENTS
 2023-5422 SPYNE ROAD, SURREY, BC

Project:
 PROPOSED 6 STOREY RESIDENTIAL DEVELOPMENT
 1633, 1643, 1653 167 ST. A. W. AVENUE, SURREY, BC

Date:
 10/03/2023

ROOF PLAN

Project number: 21115
 Date: 2023-10-03
 Drawn: Author
 Checked: Checker

A-209
 Scale: 1/8" = 1'-0"

1 ROOF PLAN
A-209 1/8" = 1'-0"

DO NOT SCALE DRAWING. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO THE COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS ARE NOT TO BE CARRIED OUT WITHOUT THE EXCLUSIVE PERMISSION FROM THE ARCHITECT. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND CAN BE REPRODUCED ONLY WITH THE PERMISSION OF THE ARCHITECT. IN WHICH CASE THE REPRODUCTION SHALL BEAR THE ARCHITECT'S MARK.



LEGEND

ELEVATION	
DESCRIPTION	GRAPHIC
1- RED BRICK	
2- SMOOTH FINISH HARDE SHIRLAP (DEFT), TRIMS & FLASHINGS (SEE-704 PEPPER CORN)	
3- BRICKY FINISH HARDE SHIRLAP (DEFT)	
4- HARDE TRIMS & FASCIAE (SEE-704 CITY GRAY)	
5- HARDE TRIMS & FASCIAE & FLASHINGS (SEE-704 BRICK LINE)	
6- GLASS	
7- BLACK PVC FRAMED WINDOWS/DOORS	
8- METAL RAILINGS	
9- PRECAST CONCRETE CORNICE/HEADERSILL	

Material	1/8" = 1"
ELEVATION	1/8" = 1"
PROPERTY LINE	---
FINISHED GRADE	---
EXISTING GRADE	---

H	DP REVISIONS	2023-10-03
E	DP REVISIONS	2023-08-09
D	DP REVISIONS	2023-07-18
C	DP REVISIONS	2023-06-02
A	DP APPLICATION	2023-03-13
1/1	Issue	2023-03-13

apa ARCHITECTURE

 300-1001 BULLOCKS WAY, RICHMOND, BC V6V 3B9

 (604) 276-1316

 info@aparchitect.com

GROUP 161

 GROUP 161 IS NOT AN ARCHITECTURAL FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH PARTNERS WHO HOLD THE CERTIFICATE OF PRACTICE.

Client:

QUARRY ROCK DEVELOPMENTS

 2022-5450 BIRCH ROAD, SURREY, BC

Project:

 PROPOSED 6 STOREY RESIDENTIAL DEVELOPMENT

 1833, 1843, 1853 157 ST. & W AVENUE, SURREY, BC

Date:

 10/03/2023

EAST ELEVATION (157 STREET)

Project number	21115
Date	2023-10-03
Drawn	Author
Checked	Checker

A-301

 Scale 3/16" = 1'-0"

DO NOT SCALE DRAWING. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO THE COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS ARE NOT TO BE CARRIED OUT WITHOUT THE EXCLUSIVE PERMISSION FROM THE ARCHITECT. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND CAN BE REPRODUCED ONLY WITH THE PERMISSION OF THE ARCHITECT. IN WHICH CASE THE REPRODUCTION SHALL BEAR THE ARCHITECT'S MARK.



LEGEND

ELEVATION	DESCRIPTION	GRAPHIC
1	RED BRICK (BRICK MATERIAL - HINSDON)	
2	SMOOTH FINISH HARDE SHIP LAP (SHE-704 PEPPER CORN)	
3	SMOOTH FINISH HARDE SHIP LAP (SHE-704 PEPPER CORN)	
4	HARDE TRIMS & FASCIA (SHE-704 PEPPER CORN)	
5	HARDE TRIMS & FASCIA & FLASHINGS (SHE-704 PEPPER CORN)	
6	GLASS & GLASS MAIN ENTRANCE CANOPY	
7	BLACK PVC FRAMED WINDOWS/DOORS	
8	GLASS	
9	METAL RAILINGS (SHE-704 PEPPER CORN)	
10	PRECAST CONCRETE CORNICE/HEADERSILL	

ELEVATION	
PROPERTY LINE	
FINISHED GRADE	
EXISTING GRADE	

H	DP REVISIONS	2023-10-03
E	DP REVISIONS	2023-08-09
D	DP REVISIONS	2023-07-18
C	DP REVISIONS	2023-06-02
A	DP APPLICATION	2023-03-13
10	Issue	10/03/2023

ARCHITECTURE

 300-1001 BULLOCKS WAY RICHMOND, BC V6V 2G9

 (604) 276-1316

 info@apacorp.com

GROUP 161

 GROUP 161 IS NOT AN ARCHITECTURE FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH PARTNERS WHO HOLD THE CERTIFICATE OF PRACTICE.

Client:

QUARRY ROCK DEVELOPMENTS

 4025-5405 BRYNE ROAD, BURNABY, BC

Project:

 PROPOSED 6 STOREY

 RESIDENTIAL DEVELOPMENT

 1633, 1643, 1653 157 ST. E. W. AVENUE, BURNABY, BC

Date:

 10/03/2023

NORTH ELEVATION (16A AVENUE)

Project number	21115
Date	2023-10-03
Drawn	Author
Checked	Checker

A-302

Scale 3/16" = 1'-0"

DO NOT SCALE DRAWING. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO THE COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS ARE NOT TO BE CARRIED OUT WITHOUT THE EXCLUSIVE PERMISSION FROM THE ARCHITECT. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND CAN BE REPRODUCED ONLY WITH THE PERMISSION OF THE ARCHITECT. IN WHICH CASE THE REPRODUCTION SHALL BEAR THE ARCHITECT'S NAME.



LEGEND

DESCRIPTION	GRAPHIC
1- RED BRICK (BRICK MATERIAL - HORIZONTAL)	
2- SMOOTH FINISH HARDE SHIP-LAP (PICKET TRIMS & FLASHINGS (SEE 704 PEPPER CORN))	
3- SMOOTH FINISH HARDE SHIP-LAP (BESTL) (SEE 605 ESCAPE GRAY)	
4- HARDE TRIMS & FASCIAS (SEE 705 CITY GRAY)	
5- HARDE TRIMS & FASCIA & FLASHINGS (SEE 705 PICK LINE)	
6- GLASS (BLACK PVC FRAMED WINDOWS/DOORS)	
7- METAL RAILINGS (SEE 704 PEPPER CORN)	
8- PRECAST CONCRETE CORNICE/HEADERS/ILL	

ELEVATION	GRAPHIC
PROPERTY LINE	
FINISHED GRADE	
EXISTING GRADE	

REVISION	DATE
H - DP REVISIONS	2023-10-03
E - DP REVISIONS	2023-08-29
D - DP REVISIONS	2023-07-18
C - DP REVISIONS	2023-06-02
A - DP APPLICATION	2023-12-13

GROUP 161

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QUARRY ROCK DEVELOPMENTS

 400-545 SPYNE ROAD, SUDBURY, ON

Client:

 PROJECT: PROPOSED 6 STORY RESIDENTIAL DEVELOPMENT

 1633, 1643, 1653 167 ST. & 16 AVENUE, SUDBURY, ON

Date: 10/03/2023

WEST ELEVATION

Project number: 21115

 Date: 2023-10-03

 Draw: Author

 Checked: Checker

A-303

 Scale: 3/16" = 1'-0"

DO NOT SCALE DRAWING. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO THE COMMENCEMENT OF WORK. ALL ERRORS & OMISSIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS ARE NOT TO BE CARRIED OUT WITHOUT THE EXCLUSIVE PERMISSION FROM THE ARCHITECT. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND CAN BE REPRODUCED ONLY WITH THE PERMISSION OF THE ARCHITECT. IN WHICH CASE THE REPRODUCTION SHALL BEAR THE ARCHITECT'S MARK.



LEGEND

DESCRIPTION	GRAPHIC
1- RED BRICK (BRICK MATERIAL - HINSON)	
2- SMOOTH FINISH HARDE SHIP-LAP (PICKET) TRIMS & FLASHINGS (USE-704 PEPPER CORN)	
3- SMOOTH FINISH HARDE SHIP-LAP (BERTL) (GREY-ESCAPE GRAY)	
4- HARDE TRIMS & FASCIA (DIN-TRIE CITY GRAY)	
5- HARDE TRIMS & FASCIA & FLASHINGS (DIN-TRIE BRICK GRAY)	
6- GLASS & GLASS MAIN ENTRANCE CANOPY	
7- BLACK PVC FRAMED WINDOWS	
8- GLASS	
9- METAL RAILINGS (DIN-TRIE PEPPER CORN)	
10- PRECAST CONCRETE CORNICE/HEADERSILL	

ELEVATION	GRAPHIC
PROPERTY LINE	
FINISHED GRADE	
EXISTING GRADE	

REVISION	DATE
H	2023-10-03
E	2023-08-29
D	2023-07-18
C	2023-06-02
A	2023-12-13
1	2023-12-13

REVISION	DATE
H	2023-10-03
E	2023-08-29
D	2023-07-18
C	2023-06-02
A	2023-12-13
1	2023-12-13

157 STREET

GROUP 161

Client: QUARRY ROCK DEVELOPMENTS
2023-1575 BAYVIEW ROAD, BURNHAMTHORPE, ONT. L4X 1L9

Project: PROPOSED 6 STOREY RESIDENTIAL DEVELOPMENT
1575, 1545, 1535 157 ST. & W. AVENUE, BURNHAMTHORPE, ONT. L4X 1L9

Date: 10/03/2023

Client: QUARRY ROCK DEVELOPMENTS
2023-1575 BAYVIEW ROAD, BURNHAMTHORPE, ONT. L4X 1L9

Project: PROPOSED 6 STOREY RESIDENTIAL DEVELOPMENT
1575, 1545, 1535 157 ST. & W. AVENUE, BURNHAMTHORPE, ONT. L4X 1L9

Date: 10/03/2023

SOUTH ELEVATION (LANE)

Project number: 21115
Date: 2023-10-03
Draw: Author
Checked: Checker

A-304

Scale: 3/16" = 1'-0"

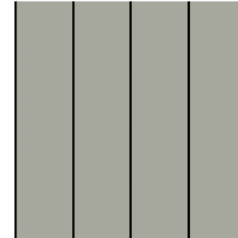
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1. RED BRICK
(MUTUAL MATERIAL-WINDSOR)



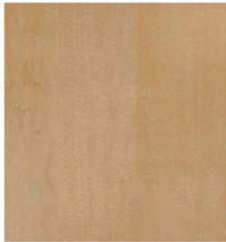
2. SMOOTH FINISH HARDIE SHIPLAP
(HORIZ'L), TRIMS & FLASHING
SW-7674 (PEPPERCORN)



3. SMOOTH FINISH
HARDIE SHIPLAP (VERT'L)
(SW-6185 ESCAPE GREY)



4. HARDIE TRIMS & FASCIAS
(SW-7067 CITYSCAPE)



6. GLULAM & GLASS MAIN
ENTRANCE CANOPY



5. HARDIE TRIMS & FASCIA &
FLASHINGS
(SW-7069 IRON ORE)



8. LONGBOARD ALUMINUM SOFFIT
LIGHT FIR



7. WALL SCONCES AT ENTRIES



EAST ELEVATION (157 STREET)

LEGEND

DESCRIPTION	GRAPHIC
1. RED BRICK (MUTUAL MATERIAL - WINDSOR)	
2. SMOOTH FINISH HARDIE SHIPLAP (HORIZ'L), TRIMS & FLASHINGS (SW-7674 PEPPERCORN)	
3. SMOOTH FINISH HARDIE SHIPLAP (VERT'L) (SW-6185 ESCAPE GRAY)	
4. HARDIE TRIMS & FASCIAS (SW-7067 CITYSCAPE)	
5. HARDIE TRIMS & FASCIA & FLASHINGS (SW-7069 IRON ORE)	
6. GLULAM & GLASS MAIN ENTRANCE CANOPY	
7. BLACK PVC FRAMED WINDOWS/DOORS	
8. GLASS	
9. METAL RAILINGS (SW-7674 PEPPERCORN)	
10. PRECAST CONCRETE CORNER/HEADERS/ILL	

ELEVATION **ELEV**
 PROPERTY LINE
 FINISHED GRADE
 EXISTING GRADE

REV	DESCRIPTION	DATE
H	DP REVISIONS	2023-10-03
E	DP REVISIONS	2023-08-09
D	DP REVISIONS	2023-07-18
C	DP REVISIONS	2023-06-02
A	DP APPLICATION	2023-12-13
10	Issue	10/03/2023

Mutual for
 DP REVISIONS 2023-10-03

apa
 ARCHITECTURE
 200-1581 SULLYVILLE WAY RICHMOND, BC V6V 2B9
 (604) 276-2134
 info@aparchitect.com

GROUP 161
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Client:

QUARRY ROCK DEVELOPMENTS
 4022-5402 BAYVIEW ROAD, BURNABY, BC

Project:
 PROPOSED 6 STOREY
 RESIDENTIAL DEVELOPMENT
 1532, 1542, 1552 157 ST. & 16 AVENUE, BURNABY, BC

Date:

 10/03/2023

MATERIAL BOARD

Project number	21115
Date	2023-10-03
Drawn	Author
Checked	Checker

A-305

Scale: As indicated

DO NOT SCALE DRAWING. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO THE COMMENCEMENT OF WORK. ALL ERRORS & OMISSIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS ARE NOT TO BE CARRIED OUT WITHOUT THE EXCLUSIVE PERMISSION FROM THE ARCHITECT. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND CAN BE REPRODUCED ONLY WITH THE PERMISSION OF THE ARCHITECT. IN WHICH CASE THE REPRODUCTION SHALL BEAR THE ARCHITECT'S MARK.



H	DP REVISIONS	2023-10-03
E	DP REVISIONS	2023-08-29
D	DP REVISIONS	2023-07-18
C	DP REVISIONS	2023-06-02
A	DP APPLICATION	2023-12-13
1/1	Issue	1/1

Revised for
DP REVISIONS 2023-10-03

GROUP 161
ARCHITECTURE INC.

GROUP 161 IS NOT AN ARCHITECTURE FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR PARTNERS WHO HOLD THE CERTIFICATE OF PRACTICE.

Client:
QUARRY ROCK DEVELOPMENTS
4202-5402 BRYNE ROAD, BURNABY, BC

Project:
PROPOSED 6 STOREY
RESIDENTIAL DEVELOPMENT
1833, 1843, 1853 157 ST. & 56 AVENUE, BURNABY, BC

Date:

10/03/2023

RENDERING

Project number 21115
Date 2023-10-03
Drawn Author
Checked Checker

A-310
Scale

DO NOT SCALE DRAWING. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATINGS AND LEVELS PRIOR TO THE COMMENCEMENT OF WORK. ALL ERRORS & OMISSIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS ARE NOT TO BE CARRIED OUT WITHOUT THE EXCLUSIVE PERMISSION FROM THE ARCHITECT. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND CAN BE REPRODUCED ONLY WITH THE PERMISSION OF THE ARCHITECT. IN WHICH CASE THE REPRODUCTION SHALL BEAR THE ARCHITECT'S MARK.



H	DP REVISIONS	2023-10-03
E	DP REVISIONS	2023-08-29
D	DP REVISIONS	2023-07-18
C	DP REVISIONS	2023-06-02
A	DP APPLICATION	2023-12-13
1/1	Issue	1st

Revised for: 2023-10-03
 DP REVISIONS

apd
 Architects
 200 1061 SULLY ROAD STE 1000 RICHMOND BC V6V 2B8
 (604) 276-2134
 info@apdgroup.com

GROUP I61
 REGISTERED ARCHITECTS
 GROUP I61 IS NOT AN ARCHITECTURAL FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR FIRM THAT HOLD THE CERTIFICATE OF PRACTICE.

Client:
QUARRY ROCK DEVELOPMENTS
 4025 5455 BRYNE ROAD, SURREY, BC

Project:
 PROPOSED 6 STOREY
 RESIDENTIAL DEVELOPMENT
 1833, 1843, 1853 197 ST. E. W. AVENUE, SURREY, BC

Date:

 10/03/2023

RENDERING

Project number: 21115
 Date: 2023-10-03
 Drawn: Author
 Checked: Checker

A-311
 Scale:

DO NOT SCALE DRAWING. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO THE COMMENCEMENT OF WORK. ALL ERRORS & OMISSIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS ARE NOT TO BE CARRIED OUT WITHOUT THE EXCLUSIVE PERMISSION FROM THE ARCHITECT. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND CAN BE REPRODUCED ONLY WITH THE PERMISSION OF THE ARCHITECT. IN WHICH CASE THE REPRODUCTION SHALL BEAR THE ARCHITECT'S MARK.



H	DP REVISIONS	2023-10-03
E	DP REVISIONS	2023-08-29
D	DP REVISIONS	2023-07-18
C	DP REVISIONS	2023-06-02
A	DP APPLICATION	2023-12-13
Rev.	Revised	Date

Revised for:
DP REVISIONS 2023-10-03



Architect
Group 161 Inc.
200-1061 SULLY ROAD, VAN COUVER, BC V6V 2B8
604.266.2146
info@group161.com

GROUP 161
GROUP 161 IS NOT AN ARCHITECTURE FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH PARTNERS WHO HOLD THE CERTIFICATE OF PRACTICE.

Client:

QUARRY ROCK DEVELOPMENTS
2022-5452 SPYNE ROAD, SURREY, BC

Project:
PROPOSED 6 STOREY
RESIDENTIAL DEVELOPMENT
1532, 1540, 1553 157 ST. & 16 AVENUE, SURREY, BC

Date:

10/03/2023

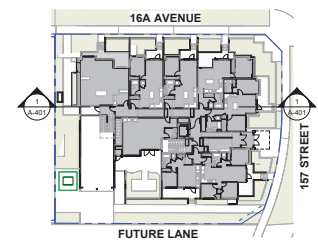
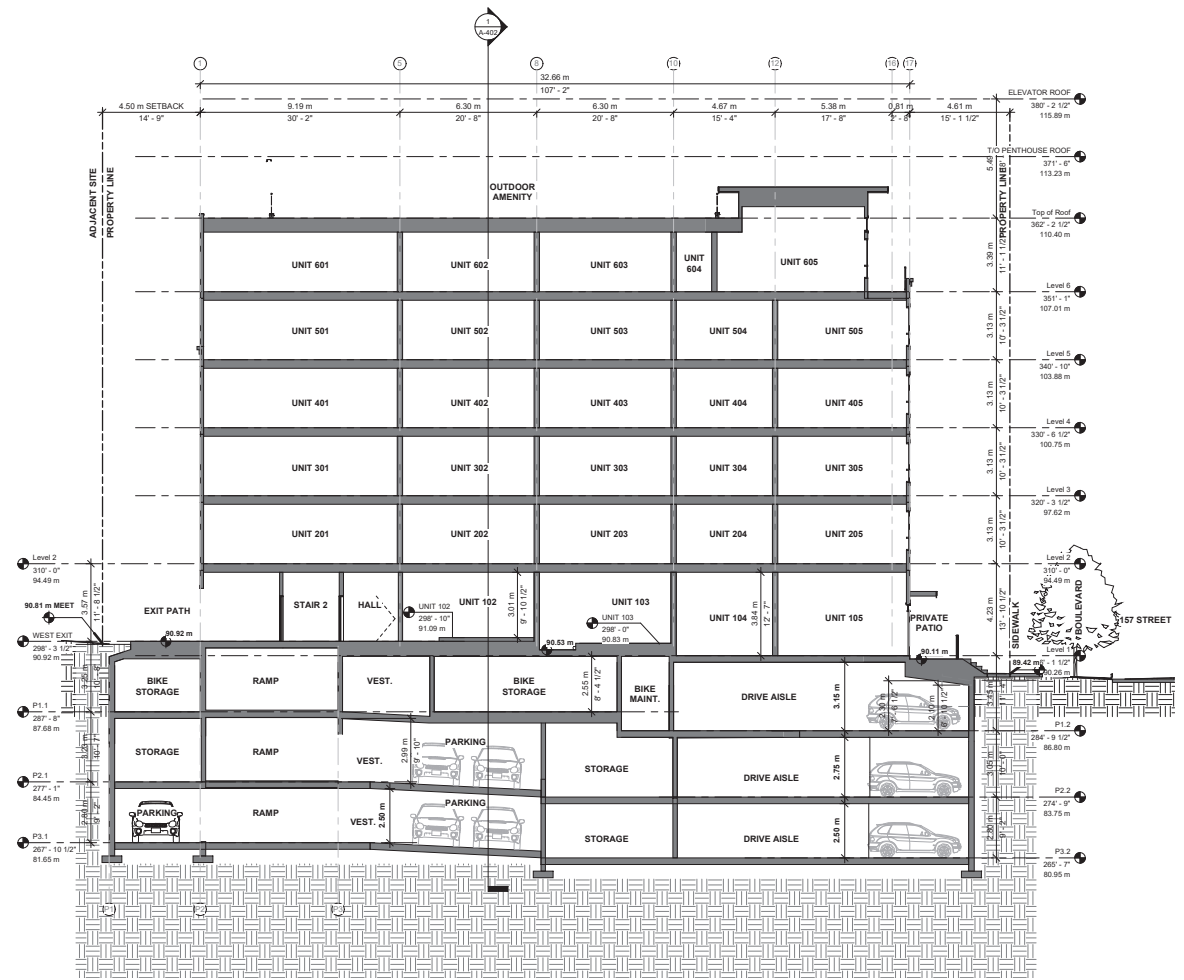
RENDERING

Project number 21115
Date 2023-10-03
Drawn Author
Checked Checker

A-312

Scale

DO NOT SCALE DRAWING. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO THE COMMENCEMENT OF WORK. ALL ERRORS & OMISSIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS ARE NOT TO BE CARRIED OUT WITHOUT THE EXCLUSIVE PERMISSION FROM THE ARCHITECT. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND CAN BE REPRODUCED ONLY WITH THE PERMISSION OF THE ARCHITECT. IN WHICH CASE THE REPRODUCTION SHALL BEAR THE ARCHITECT'S MARK.



H	DP REVISIONS	2023-10-03
E	DP REVISIONS	2023-08-09
D	DP REVISIONS	2023-07-18
C	DP REVISIONS	2023-06-02
A	DP APPLICATION	2023-12-13
Rev.	Author	2023-12-13

Revised for: **DP APPLICATION**
 Date: 2023-12-13



JDA
 Architects Inc.
 300 WEST SULLY ROAD, SUITE 100, RICHMOND, BC V6V 2G9
 (604) 276-1316
 jda@jdaarchitects.com

GROUP I61
 GROUP I61 IS NOT AN ARCHITECTURE FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR PARTNERS WHO HOLD THE CERTIFICATE OF PRACTICE.



QUARRY ROCK DEVELOPMENTS
 4025 - 5402 BURNIE ROAD, BURNABY, BC

Project:
 PROPOSED 6 STOREY
 RESIDENTIAL DEVELOPMENT
 1533, 1543, 1553 157 ST. E. W. AVENUE, BURNABY, BC

Date:
 10/03/2023



BUILDING SECTIONS

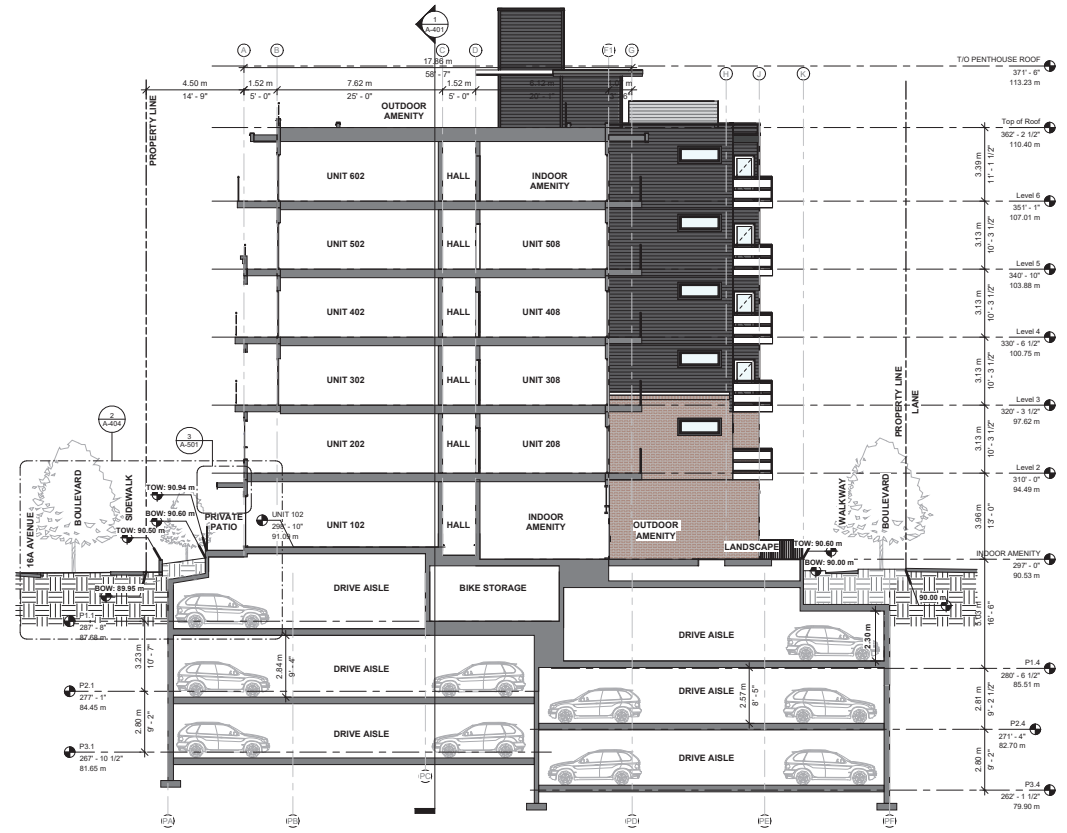
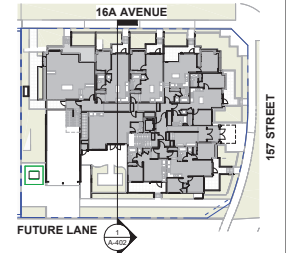
Project number	21115
Date	2023-10-03
Drawn	Author
Checked	Checker

A-401

Scale: As Indicated

1 BUILDING SECTION - EW
 A-401 1/8" = 1'-0"

DO NOT SCALE DRAWING. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO THE COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS ARE NOT TO BE CARRIED OUT WITHOUT THE EXCLUSIVE PERMISSION FROM THE ARCHITECT. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND CAN BE REPRODUCED ONLY WITH THE PERMISSION OF THE ARCHITECT. IN WHICH CASE THE REPRODUCTION SHALL BEAR THE ARCHITECT'S MARK.



H	DP REVISIONS	2023-10-03
E	DP REVISIONS	2023-08-09
D	DP REVISIONS	2023-07-18
C	DP REVISIONS	2023-06-02
A	DP APPLICATION	2023-12-13
Rev.	Author	202

GROUP I61

Client:
QUARRY ROCK DEVELOPMENTS
 2025, 5402 SPYNE ROAD, SURREY, BC

Project:
PROPOSED 6 STOREY RESIDENTIAL DEVELOPMENT
 1833, 1843, 1853 157 ST. & 16 AVENUE, SURREY, BC

Date:
10/03/2023

BUILDING SECTIONS

Project number: 21115
 Date: 2023-10-03
 Drawn: Author
 Checked: Checker

1 BUILDING SECTION - NS
A-402 1/8" = 1'-0"

A-402
 Scale: As indicated

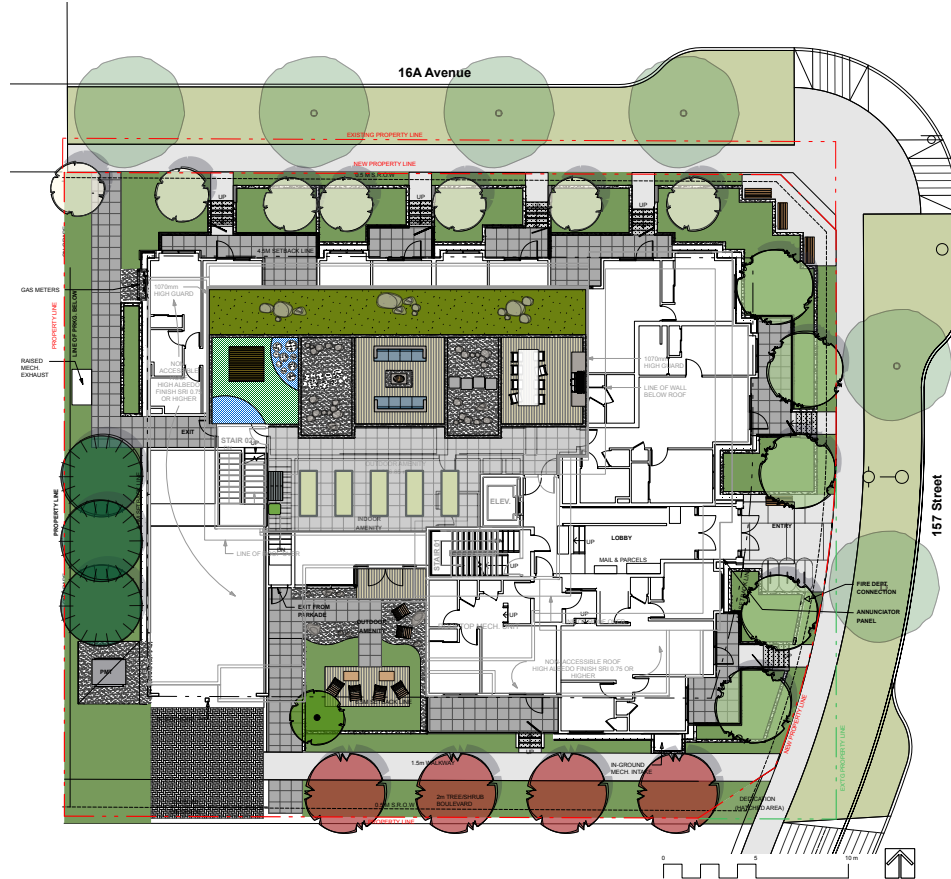
SEV B1 for Quarry Rock

Civic Address: 157 St & 16 Ave, Surrey BC

ISSUED FOR ADP RESPONSE October 3, 2022

CONSULTANT TEAM

OWNER: Quarry Rock Developments
LANDSCAPE: ETA Landscape Architecture
ARCHITECT: Atelier Pacific Architecture



Sheet Drawing Title

- L0.0 Cover Sheet
- L0.1 Landscape Notes & Schedules
- L0.2 Landscape Precedent Images
- L1.0 Arborist Tree Management Plan
- L2.0 Offsite Plan
- L3.0 Landscape Materials Plan - Ground
- L3.1 Landscape Materials Plan - Roof
- L4.0 Lighting Plan - Ground & Roof
- L5.0 Landscape Grading & Drainage Plan
- L6.1 Tree Plan
- L6.2 Planting Plan - Ground
- L7.0 Soil Depth Plan
- L8.0 Irrigated Areas & Servicing Plan
- L9.0 Landscape Sections & Elevations
- L10.1 Softscape Details
- L10.2 Hardscape Details
- L10.3 Site Furnishing Details
- L10.4 Site Furnishing Details

Revision
No. Date Revision Notes

Issue No.	Date	Issue Notes
A	2022-12-13	Issued for DP
B	2023-06-06	Re-issued for DP
C	2023-07-14	Re-issued for DP
D	2023-08-09	Re-issued for DP
E	2022-08-22	Re-issued for DP
F	2023-10-03	Issued for ADP Response

Professional Seal

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Project

SEV B1

1633, 1643, 1653 157 St
Surrey, BC

Drawing Title

Cover Sheet

Legal

Project Manager	Project ID
KD	22225
Drawn By	Scale
KP	1:75
Reviewed By	Drawing No.
KD	
Date	
	L0.0
	18



LIGHTING PLAN LEGEND		
	S/W	Step / Wall Light
	B	Bollard Light
		Down Light

Note:
Refer to Electrical plans & specs for final locations, fixture details and cut sheets.

Revision		
No.	Date	Revision Notes
A	2022-12-13	Issued for DP
B	2023-06-06	File-issued for DP
C	2023-07-14	File-issued for DP
D	2023-08-09	File-issued for DP
E	2023-08-22	File-issued for DP
F	2023-10-03	Issued for ACP Response

Issue		
No.	Date	Issue Notes
A	2022-12-13	Issued for DP
B	2023-06-06	File-issued for DP
C	2023-07-14	File-issued for DP
D	2023-08-09	File-issued for DP
E	2023-08-22	File-issued for DP
F	2023-10-03	Issued for ACP Response

Professional Seal

eta landscape architecture
 1690 West 2nd Avenue
 Vancouver, BC, Canada - V6J 1H4
 | 604.683.1456
 | 604.683.1459
 | www.eta.ca

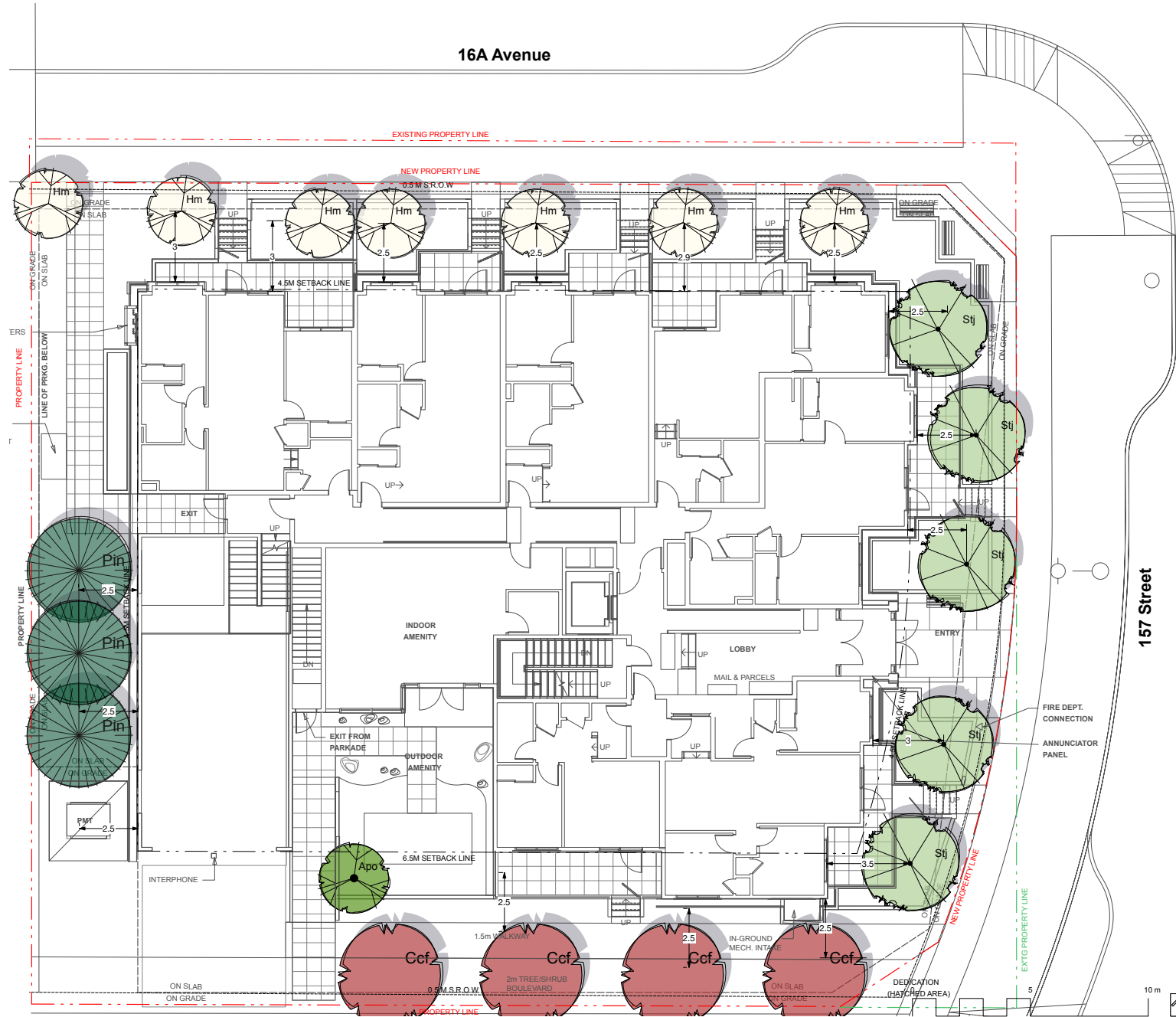
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Project
SEV B1
 1633, 1643, 1653 157 St
 Surrey, BC

Drawing Title
Lighting Plan

Legal	
Project Manager	Project ID
KD	22225
Drawn By	Scale
KP	1:75
Reviewed By	Issued On
KD	
Date	L4.0
	18

16A Avenue



Revision		
No.	Date	Revision Notes
A	2022-12-13	Issued for DP
B	2023-06-06	File-issued for DP
C	2023-07-14	File-issued for DP
D	2023-08-09	File-issued for DP
E	2023-09-22	File-issued for DP
F	2023-10-03	Issued for ACP Preparation

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Project
SEV B1

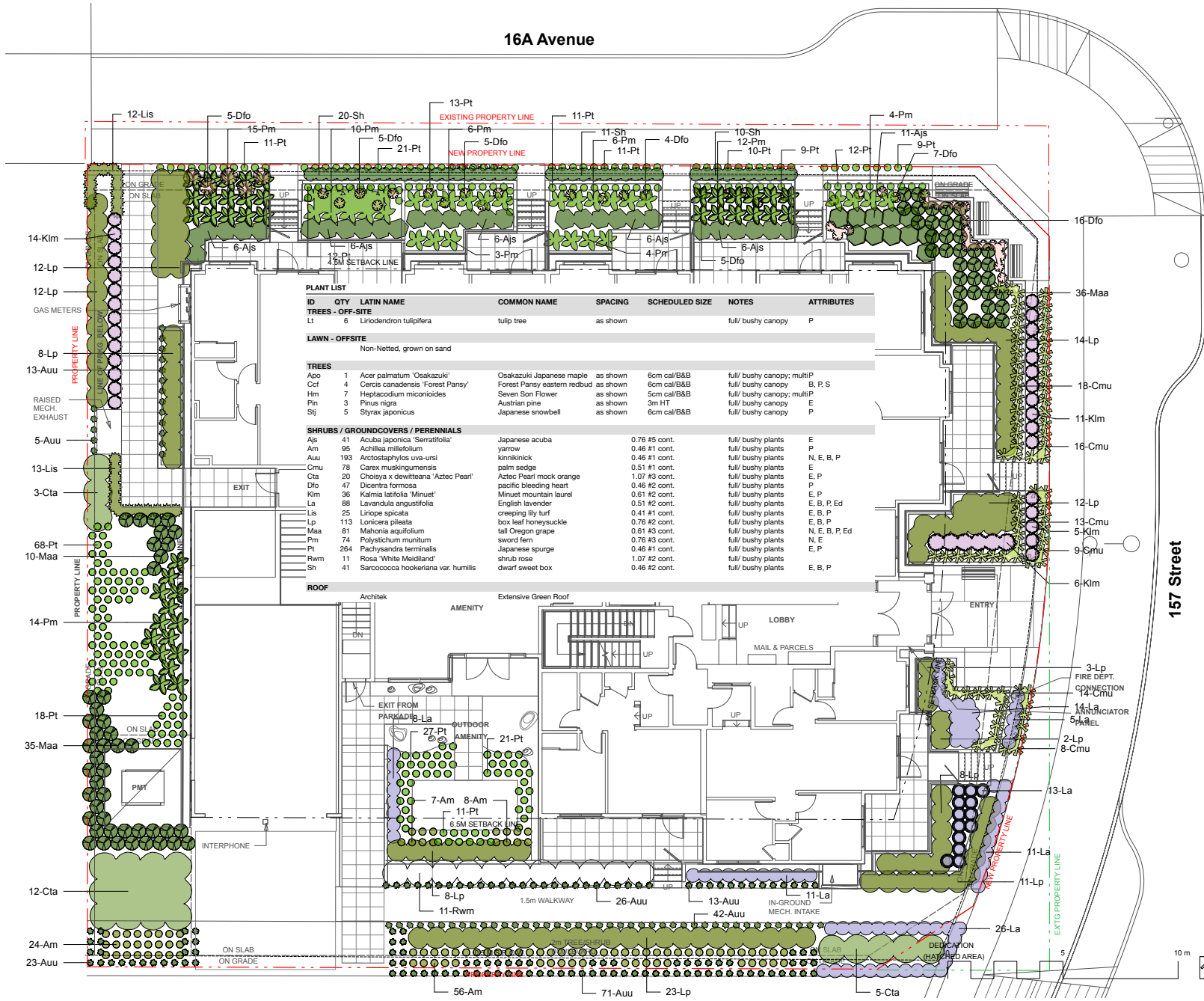
1633, 1643, 1653 157 St
Surrey, BC

Drawing Title
Tree Plan

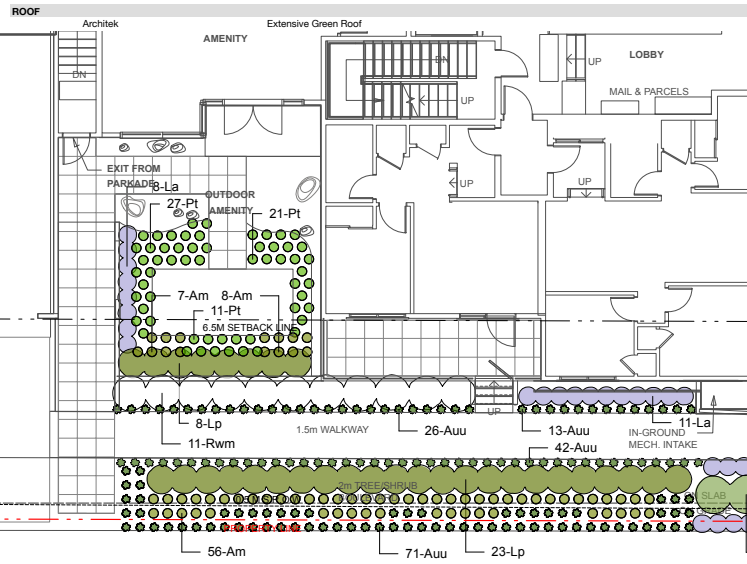
Legal

Project Manager	Project ID
KD	222205
Drawn By	Scale
KP	1:75
Reviewed By	Checked By
KD	
Date	L6.1
	10
	18

16A Avenue



ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
PLANT LIST							
TREES - OFF-SITE							
Lt	6	Liriodendron tulipifera	tulip tree	as shown		full/ bushy canopy	P
LAWN - OFFSITE							
Non-Netted, grown on sand							
TREES							
Apo	1	Acer palmatum 'Osakazuki'	Osakazuki Japanese maple	as shown	6cm cal/B&B	full/ bushy canopy, multiP	
Cef	4	Cercis canadensis 'Forest Paney'	Forest Paney eastern redbud	as shown	6cm cal/B&B	full/ bushy canopy	B, P, S
Hm	7	Heptacodium miconioides	Seven Son Flower	as shown	5cm cal/B&B	full/ bushy canopy, multiP	
Pm	3	Pinus nigra	Austrian pine	as shown	3m HT	full/ bushy canopy	E
Stj	5	Syrax japonicus	Japanese snowbell	as shown	6cm cal/B&B	full/ bushy canopy	P
SHRUBS / GROUNDCOVERS / PERENNIALS							
Ajs	41	Acuba japonica 'Serratifolia'	Japanese acuba	0.76 #5 cont.		full/ bushy plants	E
Am	95	Achillea millefolium	yarrow	0.46 #1 cont.		full/ bushy plants	P
Auu	193	Arctostaphylos uva-ursi	kinnikinnick	0.46 #1 cont.		full/ bushy plants	N, E, B, P
Cmu	78	Carex muskingumensis	palm sedge	0.51 #1 cont.		full/ bushy plants	E
Cta	20	Choisya x dewitteana 'Aztec Pearl'	Aztec Pearl mock orange	1.07 #3 cont.		full/ bushy plants	E, P
Dfo	47	Dicentra formosa	pacific bleeding heart	0.46 #2 cont.		full/ bushy plants	P
Klm	36	Kalmia latifolia 'Minuet'	Minuet mountain laurel	0.61 #2 cont.		full/ bushy plants	E, P
La	88	Lavandula angustifolia	English lavender	0.51 #2 cont.		full/ bushy plants	E, B, P, Ed
Lis	25	Liriope spicata	creeping lily turf	0.41 #1 cont.		full/ bushy plants	E, B, P
Lp	113	Lonicera pileata	box leaf honeysuckle	0.76 #2 cont.		full/ bushy plants	E, B, P
Maa	81	Mahonia aquifolium	tall Oregon grape	0.61 #3 cont.		full/ bushy plants	N, E, B, P, Ed
Pm	74	Polystichum munitum	sword fern	0.76 #3 cont.		full/ bushy plants	N, E
Pt	204	Pachysandra terminalis	Japanese spurge	0.46 #1 cont.		full/ bushy plants	E, P
Rwm	11	Rosa 'White Medallion'	shrub rose	1.07 #2 cont.		full/ bushy plants	E, B, P
Sh	41	Sarcococca hookeriana var. humilis	dwarf sweet box	0.46 #2 cont.		full/ bushy plants	E, B, P



Revision
No. Date Revision Notes

Issue No. Date Issue Notes
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 B 2023-06-06 Re-issued for DP
 C 2023-07-14 Re-issued for DP
 D 2023-08-09 Re-issued for DP
 E 2023-08-22 Re-issued for DP
 F 2023-10-03 Issued for ACP/Permit

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Project
SEV B1

1633, 1643, 1653 157 St
 Surrey, BC

Drawing Title
**Planting Plan
 Ground Level**

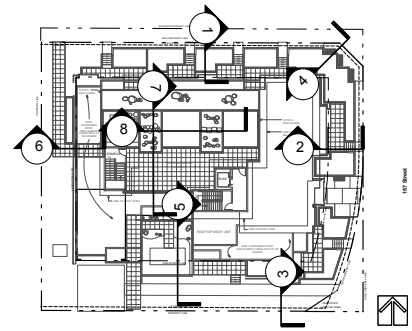
Legend

Project Manager: KD
 Designer: KP
 Date: 11/17/23

Project ID: 222205
 Scale: 1:75
 Drawing No: 11/17/23

Scale: 1:75
 Date: 11/17/23

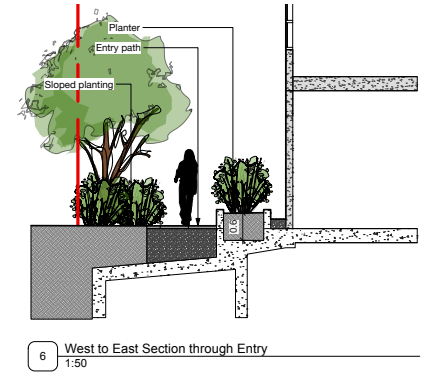
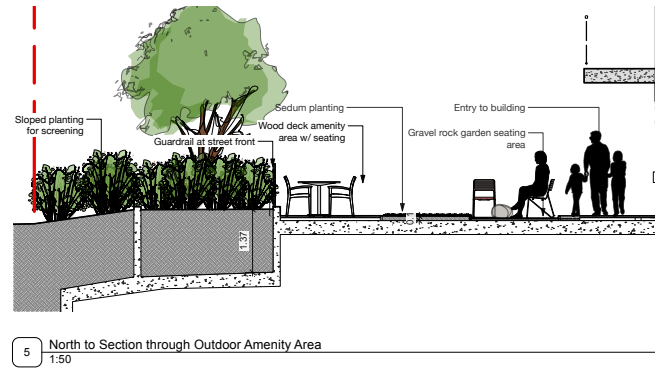
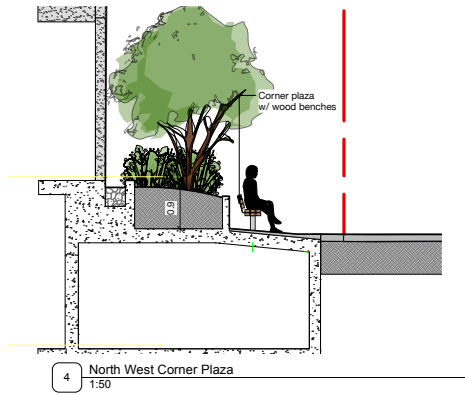
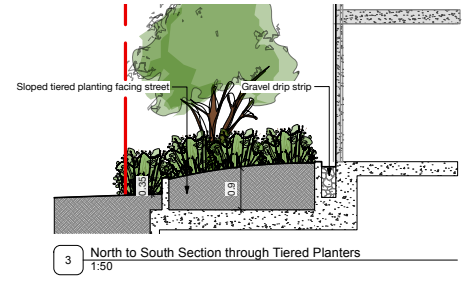
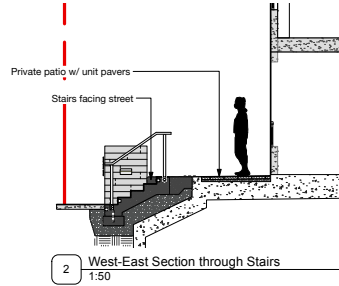
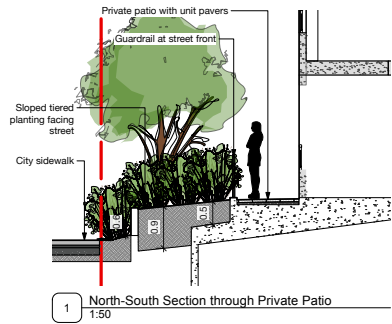
L6.2
 11
 18



Revision
No. Date Revision Notes

Issue No.	Date	Issue Notes
A	2022-12-13	Issued for DP
B	2023-06-06	File-issued for DP
C	2023-07-14	File-issued for DP
D	2023-08-09	File-issued for DP
E	2022-08-22	File-issued for DP
F	2023-10-03	Issued for ADP Presentation

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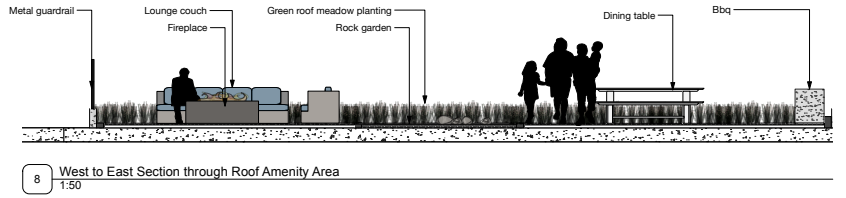
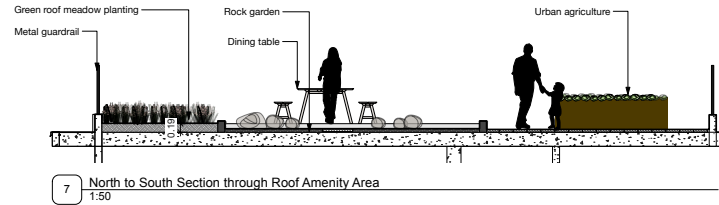
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Project
SEV B1

1633, 1643, 1653 157 St
Surrey, BC

Drawing Title
Landscape Sections & Elevations

Legal



Project Manager	Project ID
KD	222205
Drawn By	Scale
KP	1:75
Checked By	Issued On
KD	14
Date	27
	18

L9.0

ARCHITEK ASSURED GREEN ROOFS
basic extensive

A cost effective approach for extensive green roof systems, is a light weight build up composed of a drainage board thinner than usual which can reduce the height of flashings and borders. Easiness on installation since drainage board and filter sheet are merged in one single layer. This system is designed for those green roofs that does not require a significant amount of water retention but still performs in other sustainable aspects for the building. The basic extensive green roof can be installed in both types of roof, conventional and inverted assemblies.

KEY FEATURES:

Cost savings: requires less time to install and very low maintenance involved.

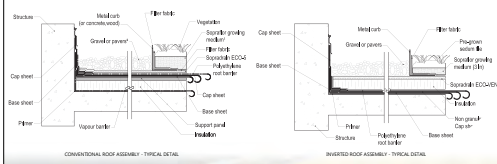
Improved Performance: Increased thermal insulation.

Reduced Heat Island: Moderates temperature so rooftop equipment (including solar PV) operates more efficiently.

Increased Value: Enhances views, creates enjoyable outdoor space and provides habitat for nature.

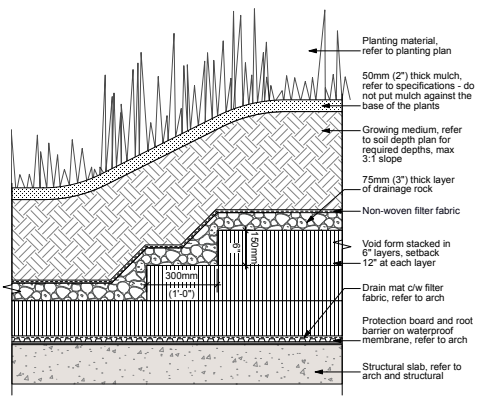
Locally Sourced Materials: Architek uses mostly locally sourced materials.

LEED Features: beyond Sustainable Sites (SS) and Water Efficiency (WE) some layers of this build up has recycled material content and can contribute to Materials & Resources category.

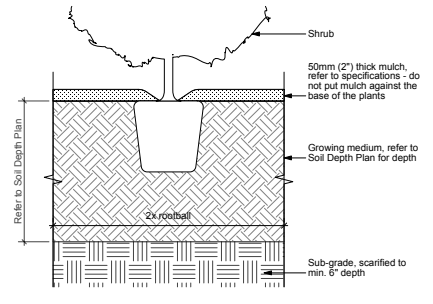


ARCHITEK™ Assured Sustainable Building Products Inc. - Canada
200 - 2718 Ave. 104, Unit 104, St. Albert, AB T8M 1A8
Phone: 1-800-774-0029 Toll free: 1-888-317-0226
info@architek.com www.architek.com

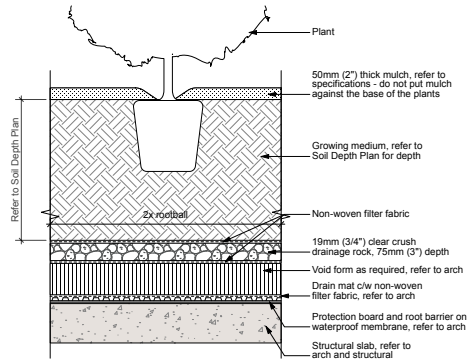
1 Roof Meadow Planting
Scale: 1:10



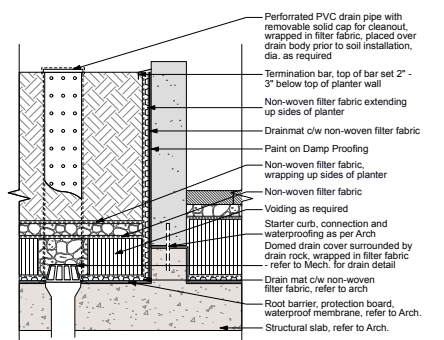
6 Sloped on Void Form
Scale: 1:10



2 Shrubs on Grade
Scale: 1:10

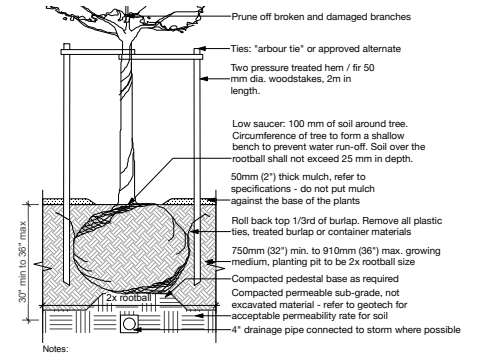


3 Shrubs on Slab
Scale: 1:10

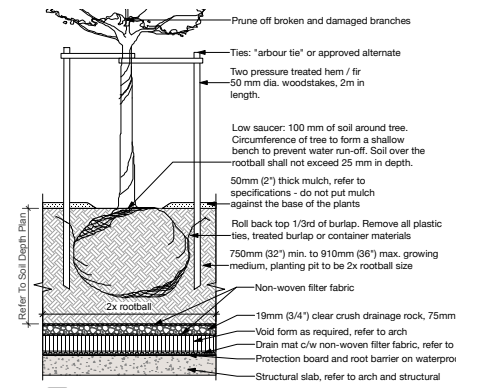


Notes:
Minimum 10m3 soil per tree. Soil to be minimum 36" in Depth

7 Planting in CIP Planter
Scale: 1:10



4 Trees on Grade
Scale: 1:20



5 Trees on Slab
Scale: 1:20

Revision No.	Date	Revision Notes
A	2022-12-13	Issued for DP
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C	2023-07-14	File-issued for DP
D	2023-08-09	File-issued for DP
E	2023-08-22	File-issued for DP
F	2023-10-03	Issued for ADP-Preaction

Issue No.	Date	Issue Notes
A	2022-12-13	Issued for DP
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D	2023-08-09	File-issued for DP
E	2023-08-22	File-issued for DP
F	2023-10-03	Issued for ADP-Preaction

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Project
SEV B1

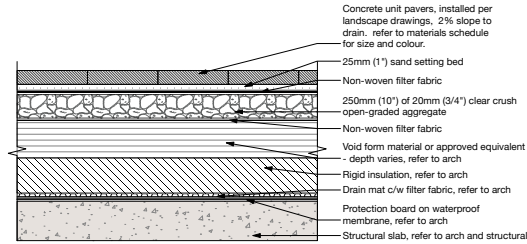
1633, 1643, 1653 157 St
Surrey, BC

Drawing Title

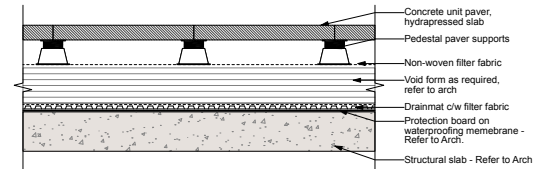
Softscape Details

Legal

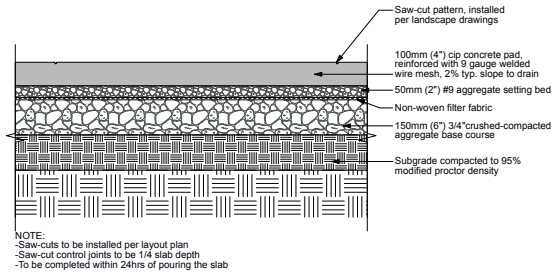
Project Manager	Project ID
KD	222205
Drawn By	Scale
KP	AS SHOWN
Reviewed By	Drawing No.
KD	15
Date	27
	18



1 Pedestrian Concrete Unit Pavers - on Slab
Scale: 1:10

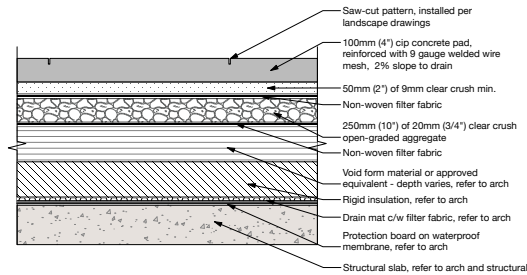


2 Unit Pavers on Pedestals
Scale: 1:10

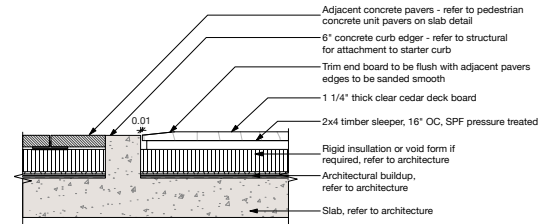


NOTE:
-Saw-cuts to be installed per layout plan
-Saw-cut control joints to be 1/4 slab depth
-To be completed within 24hrs of pouring the slab

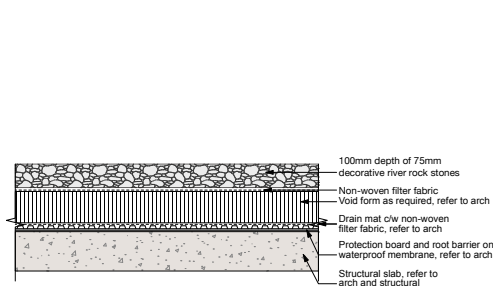
3 Pedestrian Concrete - at Grade
Scale: 1:10



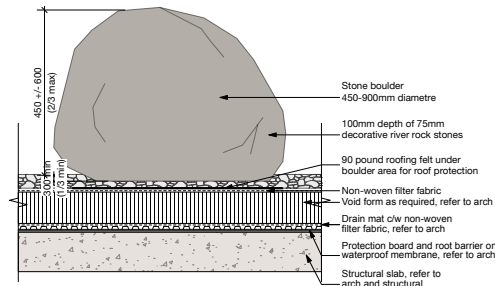
4 Pedestrian Concrete - on Slab
Scale: 1:10



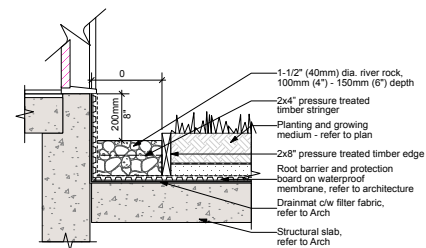
5 Wood Decking
Scale: 1:10



6 Decorative Rock on Slab
Scale: 1:10



7 Boulder on Slab
Scale: 1:10



8 Gravel Drip Strip on Slab
Scale: 1:10

Revision
No. Date Revision Notes

Issue No.	Date	Issue Notes
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D	2023-08-09	File-issued for DP
E	2023-08-22	File-issued for DP
F	2023-10-03	Issued for ADP Revisions

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Project

SEV B1

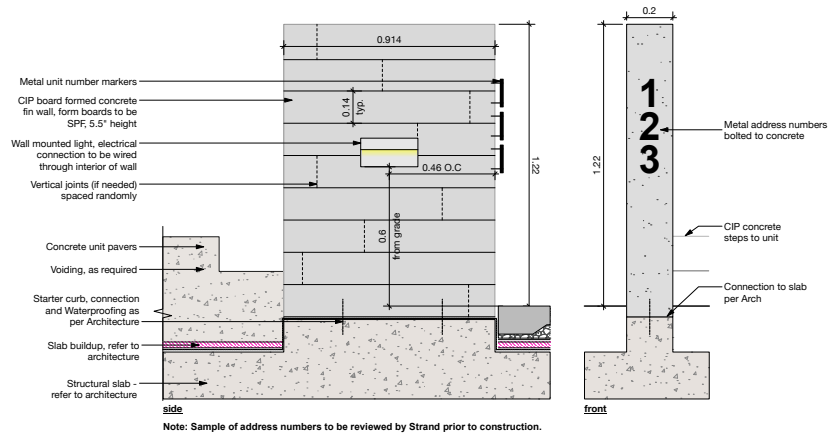
1633, 1643, 1653 157 St
Surrey, BC

Drawing Title

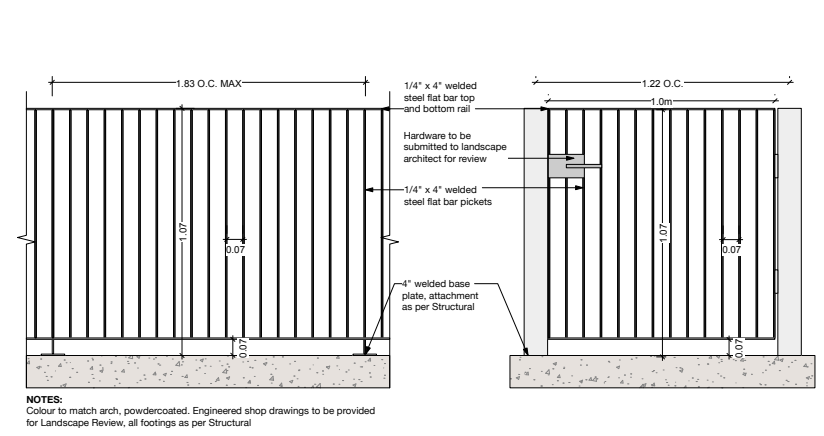
Hardscape Details

Legal

Project Manager	Project ID
KD	222205
Drawn By	Scale
KP	as shown
Reviewed By	Checked By
KD	
Date	
	L10.2
	19
	18



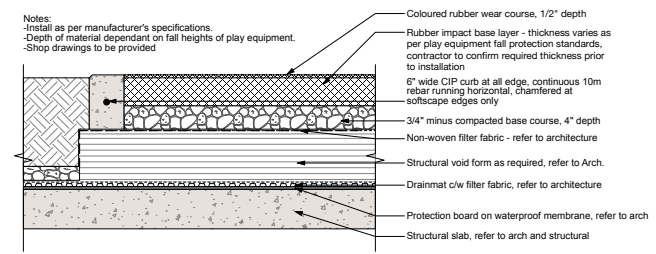
1 DETAIL: CIP Concrete Entry Monument
Scale: 1:10



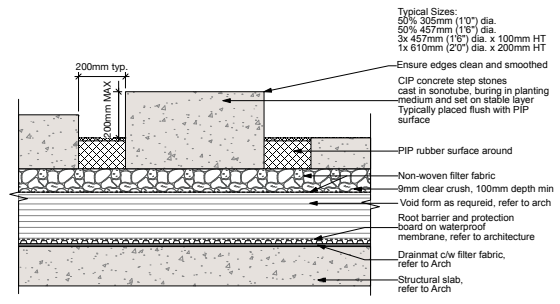
2 DETAIL: Metal Guardrail and Gate
Scale: 1:10

Revision		
No.	Date	Revision Notes
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D	2023-08-09	File-issued for DP
E	2023-08-22	File-issued for DP
F	2023-10-03	Issued for ACP Response

Issue		
No.	Date	Issue Notes
A	2022-12-13	Issued for DP
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D	2023-08-09	File-issued for DP
E	2023-08-22	File-issued for DP
F	2023-10-03	Issued for ACP Response



3 DETAIL: PIP Rubber Play Surface
Scale: 1:10



4 DETAIL: CIP Play Stones
Scale: 1:10

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Project
SEV B1

1633, 1643, 1653 157 St
 Surrey, BC

Drawing Title
**Landscape Site
 Furnishing Details**

Legal

Project Manager	Project ID
KD	22225
Drawn By	Scale
KP	as shown
Reviewed By	Drawing No.
KD	
Date	
	L10.4
	18
	18

TO: **Director, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **October 10, 2023** PROJECT FILE: **7823-0009-00**

RE: **Engineering Requirements (Commercial/Residential)
Location: 1636 156 Street**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate as road Bylaw Road for Parcel A of Lot 1 Plan 84811 (PID 015-873-668).
- Dedicate varying widths on 16 Ave from 2.808 m to 4.942 m.
- Dedicate varying widths on 156 Street from 1.942 m to 4.942 m.
- Dedicate 20 m for 16A Avenue.
- Dedicate 3 m x 3 m corner cuts at 16A Ave/156 Street and 16A Ave/156A Street.
- Dedicate 8.0 m wide Lane with 3 m x 3 m corner cuts at 156A Street and 157 Street
- Register 0.5 m SRW on all frontage roads for sidewalk maintenance.

Works and Services

- Construct north side of 16 Avenue, including traffic signal at 157 Street.
- Construct east side of 156 Street, both sides of 156A Street and west side of 157 Street.
- Construct 16A Avenue and east-west Lane.
- Provide storm and sanitary system analysis to confirm available downstream capacities, upgrade as required.
- Construct storm drainage system for the proposed development.
- Construct water mains on 156A Street and 16A Avenue.
- Provide water analysis to confirm the size of the metered domestic service connection.
- Upgrade the sanitary sewers on 16 Avenue and 156A Street.
- Double bond for works under 7819-0183-00 as required.
- Pay latecomer charges relative to project 7819-0183-00.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit except for the requirements listed above.



Jeff Pang, P.Eng.
Development Services Manager
IK1

NOTE: Detailed Land Development Engineering Review available on file

Department: **Planning and Demographics**
Date: **June 29, 2023**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23 0009 00**

The proposed development of **455** High Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	17
---	----

Projected Number of Students From This Development In:	
Elementary School =	9
Secondary School =	5
Total Students =	14

Current Enrolment and Capacities:	
Jessie Lee Elementary	
Enrolment	384
Operating Capacity	411
# of Portables	1
Earl Marriott Secondary	
Enrolment	1348
Operating Capacity	1500
# of Portables	4

Summary of Impact and Commentary

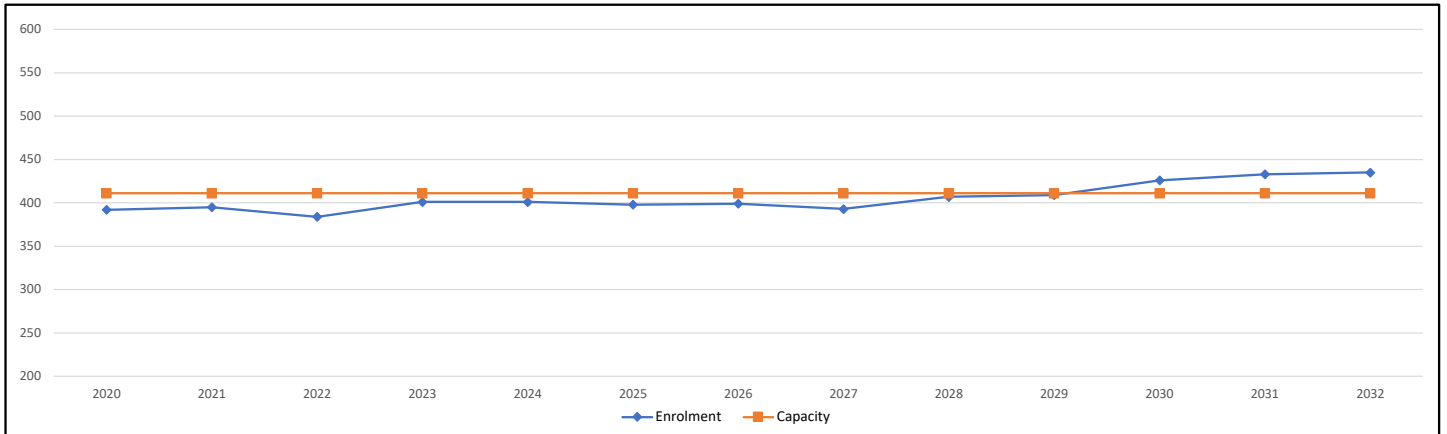
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

Actual enrollment at Jessie Lee Elementary has grown modestly the past five years. The 10-year projections support continuing growth at a similar modest pace. Enrolment growth can be handled with 4 portables or less. Currently there are no capital expansion requests for Jessie Lee Elementary.

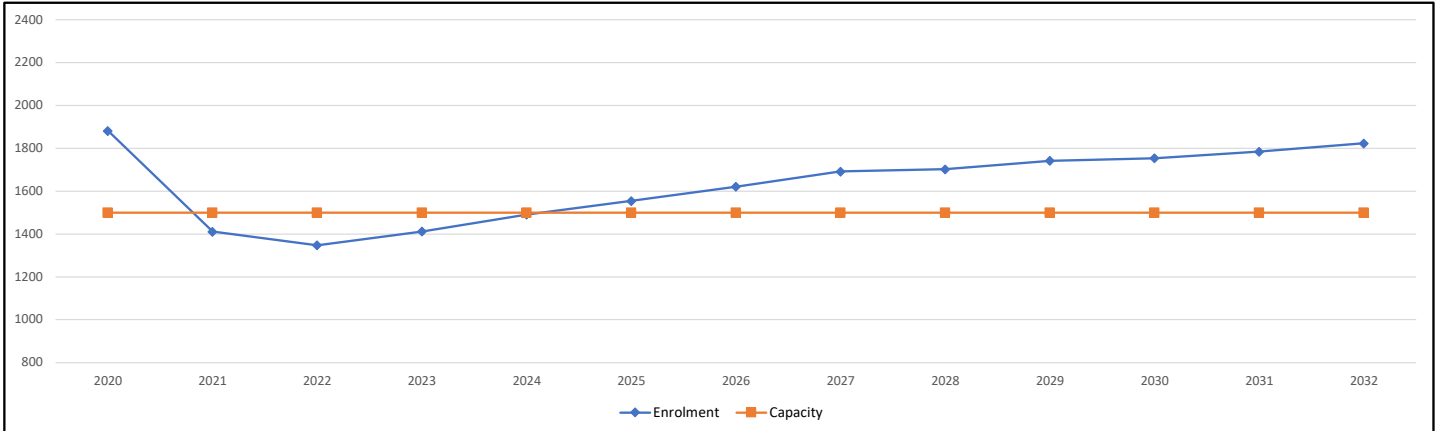
Grandview Heights Secondary opened September 2021. This new facility relieves the overcrowding at Earl Marriot Secondary. Newly adopted secondary boundary changes have come into effect. At this time, Jessie Lee will no longer feed two secondary schools but will only feed Earl Marriot

Enrolment at Earl Marriott Secondary is expected to reach the 1800 range by 2032. As part of the District's 2024/2025 Five Year Capital Plan, the district has requested a 500 capacity addition. The Ministry of Education and Child Care has not approved funding for this project.

Jessie Lee Elementary



Earl Marriott Secondary



Population : The projected population of children aged 0-17 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.



APPENDIX A: Tree Preservation Summary

Table2: Tree Preservation Summary

Surrey Project No:

Address: 1653-1633 157 Street, 15665-15697 & 15621-15645 16 Avenue, and 1626-1636 & 1625-1671 156A Street, 1624-1668 156 St, Surrey, BC

Registered Arborist: D. Glyn Romaine (PN 7929A)

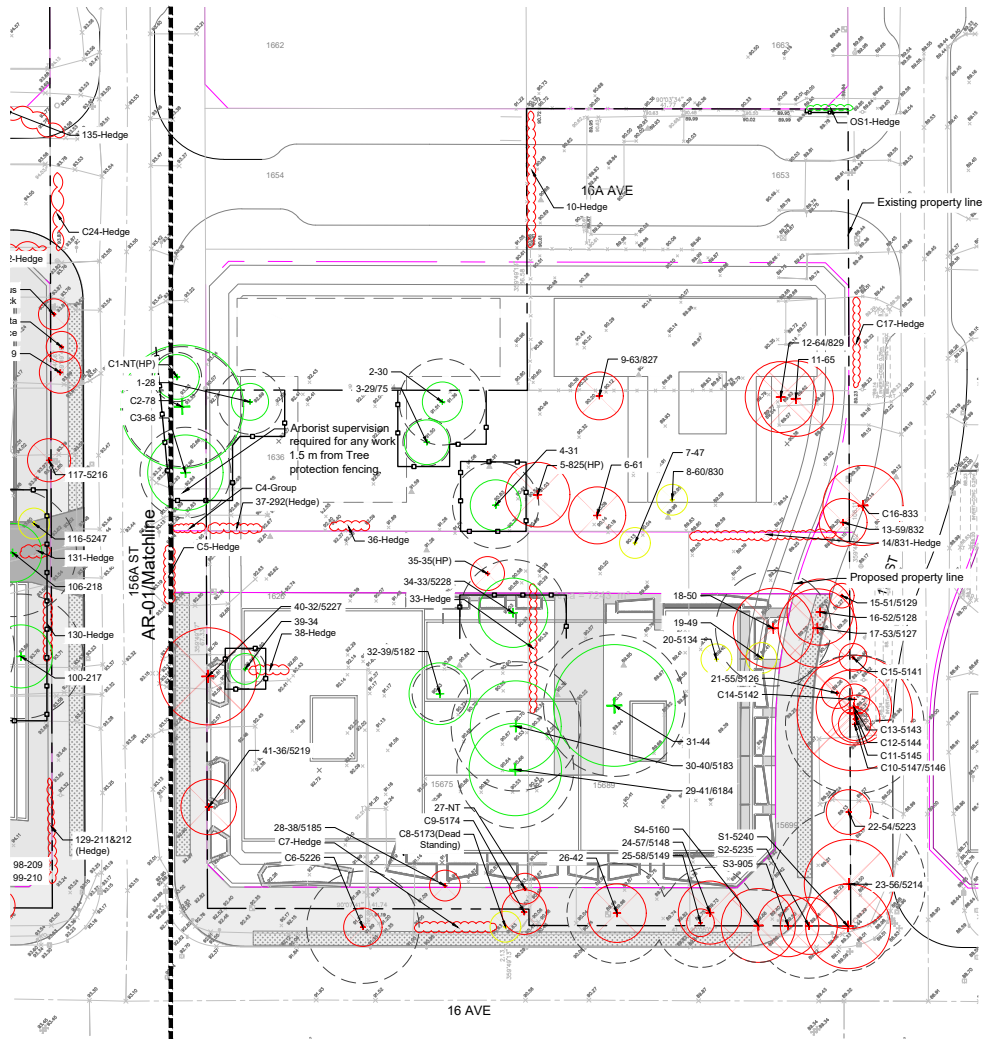
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	151
Protected Trees to be Removed	114
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	37
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{\quad 0 \quad} \times \text{one (1)} = 0$ - All other Trees Requiring 2 to 1 Replacement Ratio $\underline{\quad 114 \quad} \times \text{two (2)} = 228$ 	228
Replacement Trees Proposed	20 (For detailed DP NE building only)
Replacement Trees in Deficit	208
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	16

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio - All other Trees Requiring 2 to 1 Replacement Ratio 	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report, and plan prepared and submitted by: D. Glyn Romaine (PN7929-A)

Signature of Arborist

October 10, 2023
Date



October 3, 2023

Surrey File #: 23-0009
Re: ADP Response – SEV B1
To: City of Surrey
Attn: Ann McLean, City Architect
Nathan Chow, Urban Design Planner
Keith Broersma, Senior Planner
CC: Ingrid Libera, QRD
Kristin Defer, ETA

Please see below our response to the Advisory Design Panel Comments. Consultant team comments are noted **in red**:

Key Points

- Building proposes clear massing and material expression.
Thank you.
- Consider more accessibility through increased space in the corner plaza.
Seating in the corner plaza has been simplified to backed wood benches. The plaza surface is entirely accessible, with CIP paving meeting the sidewalk.
- Consider opening and widening the lower amenity area.
We considered enlarging the lower amenity area in some way but found it compromised the adjacent outdoor amenity too much. The existing balance between indoor amenity and outdoor amenity at the ground floor is ideal for social gatherings.
- Consider including more programming space on the rooftop amenity area for children.
Expanded rooftop amenity area includes a children's play area with playhouse. See updated Landscape Roof Plan.
- Consider a lower-profile or lighter roof overhang.
We reduced the roof overhand as much as feasible, leaving a 3 foot deep overhang where required to protect balconies below.

Site

- Consider widening the seating in the corner plaza to provide ample space for users.

Seating in the corner plaza has been simplified to backed wood benches. The plaza surface is entirely accessible, with CIP paving meeting the sidewalk.

Form and Character

- Consider widening the two-story townhouses on the north.
We widened the two-storey box windows throughout.
- Consider pulling the layout of levels two through six to the south, to allow for more natural light.
We explored the suggestion to pull Unit G south and have determined it would not be a viable solution. To do so would result in either enlarging the unit, resulting in a more expensive unit for residents without the ability to add features to offset those costs (such as an additional bedroom) or increasing the common corridor width, thus decreasing the overall efficiency of the building. Furthermore, this would result in overshadowing or reducing the size of the ground level outdoor amenity area, creating a less-desirable outdoor realm for residents.
- Consider reducing the overhang of the roof to minimize the heaviness of its appearance.
We reduced the roof overhang as much as feasible, leaving a 3 foot deep overhang where required to protect balconies below.

Landscape

- Consider better defining the seating area in the corner plaza through use of trellises or partial containment.
Landscape Response: Trellis or vertical elements are not recommended in this space. Structures tend to close off areas visually and by creating a sense of enclosure also make the space seem smaller. We want the plaza to have an open and inviting feel, and to be clearly visible for pedestrians approaching from any side.
- Consider expanding the upper landscape deck by maximizing its potential useable space.
Landscape Response: Provided, amenity area expanded – including extensive green roof area - and small children’s play area added. See updated Landscape Roof Plan.
- Consider including one programming element for children to improve overall use for residents living in family-oriented units.
Landscape Response: Provided in expanded roof amenity area.

CPTED

- No specific issues were identified.

Sustainability

- No specific issues were identified.

Accessibility

- Reconsider the design of seating in the corner plaza, ensuring that it is accessible to individuals with mobility constraints.
The creative block seating in the plaza has been replaced with more conventional benches to suit standards for accessibility.

JESSIE ARORA

Principal, Architect AIBC
SAA, MAA, AAA, OAA, RA

MEMO

Project: Southend Village A and B:
Re: ADP Response: City of Surrey File #: 7923-0009-00

Date: October 3, 2023
To: City of Surrey
Attn:
Ann McLean, City Architect
Nathan Chow, Urban Design Planner
Keith Broersma, Senior Planner

CC: Ingrid Libera, QRD
Kristin Defer, ETA

From: Shelley Craig, Architect AIBC, FRAIC

Please see below the response to the Advisory Design Panel Comments. City comments are noted in italics. Consultant team comments are noted in red:

Key Points

- The massing and height transition from 12 storeys to 6 storeys is well handled. **UAA Response:** Thank you! No comment required
- Consider including a childcare as an additional or supplementary use to round out the project. **UAA Response:** This can be considered at a later stage as a possible inclusion for the A1 Level 2 Amenity Space.
- Consider more soft planting landscape elements in the central north-south plaza. **UAA Response:** This can be addressed at the Detailed Design Development Stage when more detailed landscape design is submitted. See Landscape comments below.
- Consider including landscape elements to promote healing for hospital patients. **UAA Response:** This can be addressed at the Detailed Design Development Stage when more detailed landscape design is submitted.

Site

- Consider repurposing a portion of the designated gym space to develop a childcare facility. **UAA Response:** This can be considered at a later stage as a possible inclusion for the **Building A1** Level 2 Amenity Space.
- Consider changing the Level 2 amenity area to become an indoor rather than outdoor area to improve its useability and functionality. **Providing both indoor and outdoor Amenity areas is important for health and wellness of the community. The project currently provides more indoor space than is required as per the City of Surrey Development Guidelines. Converting this area to indoor space would reduce access to daylight at the pedestrian mews below.**

Form and Character:

- Consider relocating the Parcel A-1 Tower to the north to create a south-facing podium rooftop, allowing for south sun exposure to the amenity area. **UAA Response:** Relocating the tower would not be consistent with the Semiahmoo Town Centre Plan, and would overshadow the future path to the north.
- Reconsider the development of Parcel A-2 and refine the design of the tower to better express how the tower form lands at the southwest corner; further, ensure that the parcel reads as a tower at street-level. **UAA Response:** The massing of the 12 storey A2 mid-rise building lands at the southwest corner. It is only interrupted by the canopy that provides a covered outdoor area for the café as well as providing rain protection for persons arriving by rapid bus.
- Recommend strengthening the relationship between Towers B1 and B2, paying specific attention to material and form. **UAA Response:** B2 is considered in the continuity of the streetscape facing 16th Ave and employs massing strategies that reflect the transformation from 12 storeys to 6 storeys. The transition in scape and the massing addresses Parcel C, located immediately to the east – implementing similar simple, robust forms and material palette. The 6 storey massing transition also aligns with B2, located to the north. Both B1 and B2 respond to the Semiahmoo Town Centre Plan, providing consistency in massing, while allowing a degree of variance lending vitality and interest to the public realm.
- Reconsider the design of the parapet guardrail to ensure that it is completely coordinated with the landscape design. **UAA Response:** At the Detailed Development Permit Application, the landscaping will be set back from the roof edge ensuring a continuous parapet height and providing access for maintenance.

Landscape:

- Consider mitigating the inconsistencies between the architectural and landscape sections of the project. **Landscape Response:** Architectural and landscape backgrounds are continuously coordinated and reviewed.
- Consider raking the landscape area facing 16 Avenue to increase visual permeability. **Landscape Response:** The sloped landscape area facing 16 Avenue will be revised to meadow/grasses/low evergreen plants to create a year-round feature that buffers the busy streetfront from the more peaceful, safe public plaza area. Lower plants and reduced tree planting in this area will allow for site-lines from upper plaza to sidewalk.
- Consider including additional landscape elements in the central plaza between Phase One and Phase Two, such as planting shrubs, to mediate wind tunnel effects.

Landscape Response: As much planting has been included while still allowing for adequate circulation and access to all front entries in this space. Planting areas have been designed with desire lines considered.

- Consider a vertical element or another feature such as paving treatments, lighting, water feature, or public art located at the knuckle (SW corner) of the plaza.

Landscape Response: The south-west corner of the plaza has a tricky grading condition wrapping around the corner and causes accessibility issues, so a sloped natural rock hardscape feature is proposed. This is also an ideal spot for potential future public art.

- Consider diversifying the plant palette to include planting that can be used for healing purposes, either through texture, fragrance, or other means, to further compliment other biophilic elements.

Landscape Response: Plant species to be reviewed and additional species incorporated. Traditional/native plant species to the Pacific NW such as salal, violet, yarrow, and Idaho fescue have been added. Edible perennial herbs will be incorporated around outdoor dining spaces.

- Recommend ensuring soil volumes for all trees meet their minimum volume requirements.

Landscape Response: Noted. All trees have minimum 0.915m (3ft) soil depth. Volumes to be reviewed and revised as necessary to ensure 10m³/tree.

- Ensure that the amount of soft landscape initially projected is not reduced during later phases of development. **Landscape Response:** Noted.

CPTED

- Consider lower shrub and ground cover and planting trees with higher standards to allow an eye level view for pedestrians and motorists entering and exiting the courtyard.

- **Landscape Response:** The sloped landscape area facing 16 Avenue will be revised to meadow/grasses/low evergreen plants to create a year round feature that buffers the busy streetfront from the more peaceful public plaza area. Lower plants and reduced tree planting in this area will allow for sitelines from upper plaza to sidewalk.

Sustainability

- No specific issues were identified. **UAA Response:** None required.

Accessibility

- Recommend avoiding or limiting disappearing stair risers, especially at high traffic locations, in consideration of individuals with mobility or sight impairments. **UAA Response:** Noted. This will be carefully examined and developed in further detail at the Detailed DP Submission.