

**PROPOSAL:**

- Major Development Permit Amendment
- Development Variance Permit

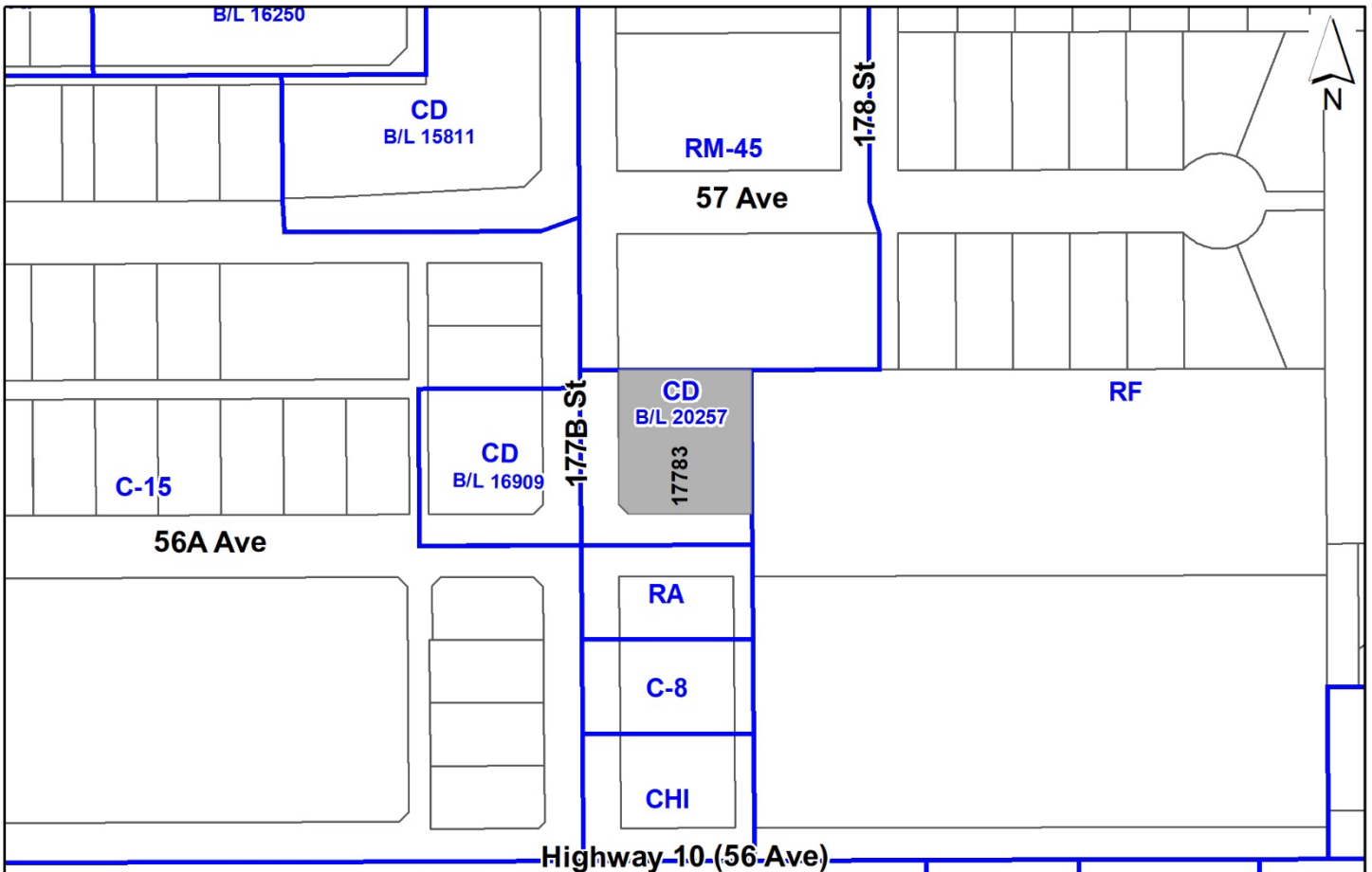
to permit the development of 5-storey residential building, containing 48 dwelling units over one (1) level of underground parking and one (1) level of wrapped, at-grade parking in Cloverdale Town Centre.

**LOCATION:** 17783 - 56A Avenue

**ZONING:** CD (By-law No. 20257)

**OCF DESIGNATION:** Multiple Residential

**TCP DESIGNATION:** Low-Rise Residential



## RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the rear (north) and side (east) yard setback as well as increase the maximum lot coverage provisions of CD By-law No. 20257.

## RATIONALE OF RECOMMENDATION

- At the December 6, 2021 Regular Council – Land Use meeting, Council granted Final Adoption to Rezoning By-law No. 20257 (RES.R21-2252), Heritage Revitalization Agreement By-law No. 20258 (RES.R21-2253) and issued Development Permit No. 7919-0339-00 (RES. R21-2254) to permit the development of 5-storey apartment building, containing 48 dwelling units over two (2) levels of underground parking, as well as the relocation, restoration and adaptive re-use of the Main Residence, a “Craftsman” style single family dwelling constructed in 1924, on the subject property in Cloverdale Town Centre.
- Subsequently, it was determined by the applicant that existing hydrogeological conditions in and around the subject site precluded the construction of the second, lowest level of underground parking, thereby requiring significant revisions to the previously approved Development Permit No. 7919-0339-00. The applicant has worked with staff to amend the proposal in order to achieve a 5-storey apartment building, containing 48 dwelling units, over one (1) level of underground parking and one (1) level of at-grade parking wrapped within the proposed building envelope.
- Although the revised development proposal is generally in keeping with the form and character approved under Development Permit No. 7919-0339-00 City staff have noted that the proposed changes are significant enough to require a Major Development Permit Amendment.
- The applicant is not proposing any changes to Heritage Revitalization Agreement By-law No. 20258 as it relates to the relocation, restoration, adaptive re-use and ongoing maintenance of the 1.5-storey Main Residence within the proposed development.
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS), the Multiple Residential designation of the Official Community Plan (OCP) and the Low-Rise Residential designation in the Cloverdale Town Centre Plan (TCP).
- The proposed reductions to both the rear (north) and side (east) yard setbacks apply only to the first storey of the proposed 5-storey building form and are necessary to accommodate the one (1) storey of wrapped, at-grade parking proposed. City staff have worked with the applicant to ensure that the exterior walls at these locations will be finished with a high-quality, decorative concrete finish and appropriately screened with landscaping. All other storeys of the proposed building will comply with the setback requirements of CD By-law No. 20257.

- The applicant is not seeking any variances to the street-facing front (south) and side yard on a flanking street (west) setbacks, abutting 56A Avenue and 177B Street respectively.
- The proposed increase to the maximum permitted lot coverage under CD By-law No. 20257, from 51% to 65%, is required in order to accommodate the increased ground floor building area in conjunction with the proposed wrapped, at-grade parking.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7923-0270-00, generally in accordance with the attached drawings (Appendix I).
2. Council approve Development Variance Permit No. 7923-0270-00 (Appendix II) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum rear (north) yard setback of CD By-law No. 20257 from 5.5 metres to 2.0 metres to the principal building face of the first storey of the proposed 5-storey building;
  - (b) to reduce the minimum side (east) yard setback of CD By-law No. 20257 from 3.0 metres to 2.0 metres to the principal building face of the first storey of the proposed 5-storey building; and
  - (c) to increase the maximum permitted lot coverage of CD By-law No. 20257 from 51% to 65%.
3. Council instruct staff to resolve the following issues prior to final approval:
  - (a) resolution of all urban design issues to the satisfaction of the Planning and Development Department; and
  - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	TCP Designation	Existing Zone
Subject Site	Vacant site.	Low-Rise Residential	CD (By-law No. 20257)
North:	3-storey, 36-unit apartment building	Low-Rise Residential	RM-45
East:	Cloverdale Traditional Elementary School	Institutional	RF
South (Across 56A Avenue):	Single family dwelling on undersized RA lot.	Low-Rise Mixed-Use	RA
West (Across 177B Street):	3-storey, 29-unit apartment building.	Low-Rise Residential	CD (By-law No. 16909)

## Context & Background

- The subject property, at 17783 – 56A Avenue, is designated General Urban in the Metro Vancouver 2050 Regional Growth Strategy (RGS), Multiple Residential in the Official Community Plan (OCP), Low-Rise Residential in the Cloverdale Town Centre Plan and currently zoned “Comprehensive Development Zone (CD)” under Rezoning By-law No. 16909.
- At the December 6, 2021 Regular Council – Land Use meeting, Council granted Final Adoption to Rezoning By-law No. 20257 (RES.R21-2252), Heritage Revitalization Agreement By-law No. 20258 (RES.R21-2253) and issued Development Permit No. 7919-0339-00 (RES. R21-2254) to permit the development of 5-storey apartment building, containing 48 dwelling units over two (2) levels of underground parking, as well as the relocation, restoration and adaptive re-use of the Main Residence, a “Craftsman” style single family dwelling constructed in 1924, on the subject property in Cloverdale Town Centre (see Appendix III).
- Subsequently, it was determined by the applicant that existing hydrogeological conditions in and around the subject site precluded the construction of the second, lowest level of underground parking, thereby requiring significant revisions to the previously approved Development Permit No. 7919-0339-00. The applicant has worked with staff to amend the proposal to achieve a 5-storey apartment building, containing 48 dwelling units, over one (1) level of underground parking and one (1) level of at-grade parking wrapped within the proposed building envelope.
- Although the revised development proposal is generally in keeping with the form and character approved under Development Permit No. 7919-0339-00 City staff have noted that the proposed changes are significant enough to require a Major Development Permit Amendment.
- The applicant is not proposing any changes to Heritage Revitalization Agreement By-law No. 20258 as it relates to the relocation, restoration, adaptive re-use and ongoing maintenance of the 1.5-storey Main Residence within the proposed development.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- In order to permit the development of a 5-storey residential building, containing 48 dwelling units over one (1) level of underground parking and one (1) level of wrapped, at-grade parking in Cloverdale Town Centre the applicant will require the following:
  - Major Development Permit Amendment for Form and Character; and
  - Development Variance Permit for reduced building setbacks and increased lot coverage.

	Proposed
<b>Lot Area</b>	
Gross Site Area:	1,955.6 square metres
Road Dedication:	N/A
Undevelopable Area:	N/A
Net Site Area:	1,955.6 square metres
<b>Building Height:</b>	16.9 metres
<b>Floor Area Ratio (FAR):</b>	1.82
<b>Floor Area</b>	
Residential:	3,569 square metres
<b>Residential Units:</b>	
1-Bedroom:	36 dwelling units
2-Bedroom:	8 dwelling units
3-Bedroom:	4 dwelling units
<b>Total:</b>	<b>48 dwelling units</b>

### Referrals

Engineering:	The Engineering Department has no objection to the project.
Surrey Fire Services:	No concerns.
Heritage Advisory Commission (HAC):	The applicant was not referred to the HAC but was reviewed by staff to ensure compliance with the previously approved Heritage Revitalization Agreement By-law No. 20258 and found to be satisfactory.
Advisory Design Panel:	The application was not referred to the ADP but was reviewed by staff and found to be satisfactory.

### Transportation Considerations

- All road dedication and construction requirements associated with the proposed redevelopment have been addressed through a Servicing Agreement associated with Development Application No. 7919-0339-00.
- Driveway access to both the at-grade and underground parking levels is proposed from 56A Avenue, at the south-west corner of the subject site, which is in keeping with the access location accepted under Development Application No. 7919-0339-00.
- The subject site is within walking distance from public transit along 177B Street (TransLink Route No. 370 – Cloverdale/Willowbrook and TransLink Route No. 342 – Langley Centre/Newton Exchange).

### Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## CD By-law and Proposed Variances

- The table below provides a comparison between CD By-law No. 20257

	Permitted under CD By-law No. 20257	Proposed
<b>Floor Area Ratio:</b>	2.0	1.82
<b>Lot Coverage:</b>	51%	65%*
<b>Yards and Setbacks</b>		
North:	5.5 metres	2.0 metres*
East:	3.0 metres	2.0 metres*
South:	3.0 metres	3.0 metres
West:	4.5 metres	4.5 metres
<b>Height of Buildings</b>		
Principal buildings:	17.0 metres	16.9 metres
<b>Amenity Space</b>		
Indoor Amenity:	3 sq.m. per dwelling unit (144 sq.m. in total)	The proposed 109 sq.m. (+ CIL of \$6,000 and \$20,000 paid under Development Application No. 7919-0339-00) meets the Zoning Bylaw requirements.
Outdoor Amenity:	3 sq.m. per dwelling unit (144 sq.m. in total)	The proposed 150 sq.m. meets the Zoning Bylaw requirements.
<b>Parking (Part 5)</b>		
	<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>		
Residential:	65 parking stalls	65 parking stalls
Residential Visitor:	9 parking stalls	9 parking stalls
<b>Total:</b>	74 parking stalls	74 parking stalls
<b>Bicycle Spaces</b>		
Residential Secure Parking:	58 bicycle spaces	58 bicycle spaces
Residential Visitor:	6 bicycle spaces	6 bicycle spaces
<b>Total:</b>	64 bicycle spaces	64 bicycle spaces

\* variance required (see below)

### Setback/Lot Coverage Variances

- The applicant is requesting the following variances:
  - To reduce the rear (north) yard and side (east) yard setbacks of CD By-law No. 20257, from 5.5 metres and 3.0 metres respectively, to 2.0 metres for the first storey of the proposed 5-storey residential building; and

- To increase the minimum lot coverage permitted under CD By-law No. 20257, from 51% to 65%.
- The proposed reductions to both the rear (north) and side (east) yard setbacks apply only to the first storey of the proposed 5-storey building form and are necessary to accommodate the one (1) storey of wrapped, at-grade parking proposed. City staff have worked with the applicant to ensure that the exterior walls at these locations will be finished with a high-quality, decorative concrete finish and appropriately screened with landscaping. All other storeys of the proposed building will comply with the setback requirements of CD By-law No. 20257.
- The applicant is not seeking any variances to the street-facing front (south) and side yard on a flanking street (west) setbacks, abutting 56A Avenue and 177B Street respectively.
- The proposed increase to the maximum permitted lot coverage under CD By-law No. 20257, from 51% to 65%, is required in order to accommodate the increased ground floor building area in conjunction with the proposed wrapped, at-grade parking.
- Staff support the requested variances to proceed for consideration.

#### **Capital Projects Community Amenity Contributions (CACs)**

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No. R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance.

#### **Affordable Housing Strategy**

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The proposed development will be subject to Affordable Housing Strategy Contribution, which will be payable at the rate applicable at the time of Building Permit issuance.



## Public Art Policy

- Under Development Application No. 7919-0339-00 the applicant registered a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The contribution will be payable at the time of Building Permit issuance.

## PUBLIC ENGAGEMENT

- Pre-notification postcards were sent on September 8, 2023 and the Development Proposal Sign was installed on September 11, 2023. To date, staff have received no responses from neighbouring residents with respect to the proposal.

## DEVELOPMENT PERMITS

### Form and Character Development Permit Requirement

- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Cloverdale Town Centre Plan (TCP).
- The applicant has worked with staff to mitigate the impacts of the required design change on the two street frontages (56A Avenue and 177B Street). This included the internalization or minimization of grade changes, especially along the 56A Avenue lobby entrance, and improving the internal layout and public-facing landscaping of the ground floor unit facing 177B Street.

### Site Planning and Building Design

- The proposed development consists of an "L" -shaped, 5-storey low-rise residential building over one (1) level of underground parking and one (1) level of wrapped, at-grade parking. The proposed units consist of 36 1-bedroom, 8 2-bedroom and 4 3-bedroom units that range in size from 46 to 92 square metres.
- The one (1) level of wrapped, at-grade parking has been primarily located along the north and eastern portions of the lot, away from existing street frontages. Though this required revision to the proposal results in a one-storey high concrete wall interfacing to the north and eastern lot lines, staff have worked with the applicant to ensure that the walls will be finished in a high-quality, decorative concrete finish and that additional landscaping will be relocated along these two interfaces in order to visually soften the overall look.
- All other aspects of the original building design approved under Development Application No. 7919-0339-00 have been retained, where possible, including both the variety of high-quality materials and contemporary colour scheme as well as the patterning of solids and voids created by the inset private balconies.

### Landscaping

- The landscape plans propose a total of 36 trees, an increase of 8 trees over Development Application No. 7919-0339-00, as well as a significant number of low-lying and ground cover species to be planted throughout the subject site.
- A corner plaza is proposed at the intersection of 56A Avenue and 177B Street, which contains benches for seating, a bicycle storage rack, perimeter planting and a row of four (4) Akebono Cherry trees. The corner plaza will be delineated from the adjacent concrete public sidewalk through the use of decorative hardscaping.

### Indoor Amenity

- The applicant is proposing to utilize the retained heritage building (Main Residence) as the primary indoor amenity space, which will be connected to the proposed apartment building through a stairway and accessible lift accessed through the 56A Avenue entrance lobby. The proposed 80-square metre indoor amenity space will consist of a multi-purpose room, kitchen, and washroom facilities. An additional amenity room (gym) is proposed on the 2<sup>nd</sup> floor of the apartment building, with an open to below space overlooking the entrance lobby area.
- The proposed 109 square metres of indoor amenity space does not meet the minimum 144 square metres of total indoor amenity space required under the RM-70 Zone, upon which CD By-law No. 20257 is based, and is 6 square metres below the 115 square metres of indoor amenity space provided under Development Application No. 7919-0339-00. The applicant will provide a monetary contribution of \$6,000.00 (based on \$3,000 per unit of the indoor amenity space required) in accordance with the Zoning Bylaw and City policy to address the shortfall under the RM-70 Zone.

### Outdoor Amenity

- The applicant is proposing approximately 150 square metres of outdoor amenity space, which is located within a ground level central courtyard directly adjacent to the proposed indoor amenity space contained within the Main Residence, and consists of flexible seating space, a lounge area with harvest table and outdoor barbeque as well as a children's play area with timber play table and climbing rocks. The proposed outdoor amenity space is framed by a series of raised planters containing both low-level shrubs as well as a series of shade trees (Katsura Tree and Japanese Dogwoods).
- The proposed 150 square metres of outdoor amenity space exceeds the minimum required 144 square metres of outdoor amenity space (based on 3 square metres per dwelling unit) under the Zoning Bylaw.

### **TREES**

- The proposed tree retention and removal was confirmed under the original Rezoning and Development Permit application (No. 7919-0339-00) . No additional tree removal is proposed.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Development Variance Permit No. 7923-0270-00
- Appendix III. Planning & Development Report No. 7919-0339-00

*approved by Ron Gill*

Don Luymes  
General Manager  
Planning and Development

CL/ar

**DEVELOPMENT DATA**

LEGAL DESCRIPTION:  
LOT 1 SECTION 8 TOWNSHIP 6 NEN WESTMINSTER DISTRICT PLAN EPH11110

**SITE AREA:**  
GROSS: 21,019 S.F. 0.484 ACRES 1,860.1 M<sup>2</sup> 0.196 HA.  
ROAD DEDICATION: 49 S.F. 0.001 ACRES 4.3 M<sup>2</sup> 0.000 HA.  
NET: 21,050 S.F. 0.483 ACRES 1,856.6 M<sup>2</sup> 0.196 HA.

**DENSITY:** 91.4 U.P.A. 245 U.P.H.A. (48 UNITS)  
**F.A.R.:** 1.02 (36,371 S.F.)

**SITE COVERAGE:** 63.6% (13,381 S.F.)  
**BUILDING HEIGHT:** 5 STOREY (16.4m)

**AMENITY:**  
**REQUIRED:**  
INDOOR: 48 UNITS x 32.3 S.F. PER = 1550 S.F.  
OUTDOOR: 48 UNITS x 32.3 S.F. PER = 1550 S.F.

**PROPOSED:**  
INDOOR: 1424 S.F.  
OUTDOOR: 1472 S.F.

**NOTE:** SUPPLY AND INSTALL ELEVATOR CALL BUTTONS IN A HORIZONTAL MANNER COMPLIANT WITH BCBC AND SAFETY BC REQUIREMENTS

**NOTE:** PROVIDE CONDUIT TO PRINCIPAL ENTRY DOORS FOR FUTURE POWER DOOR OPERATIONS

**PARKING:**  
**REQUIRED:**  
1 BED - 1.3 SPACES x 36 UNITS = 46.8 SPACES  
2 BEDS - 1.5 SPACES x 12 UNITS = 18 SPACES  
VISITOR - 0.2 SPACES x 48 UNITS = 9.6 SPACES  
**TOTAL:** 74.4 SPACES

**PROVIDED:**  
RESIDENTIAL: 65 SPACES  
VISITOR: 9 SPACES  
**TOTAL:** 74 SPACES

INCLUDING 26 S.V. & 2 ACCESSIBLE STALLS OF WHICH ONE IS FOR A VAN

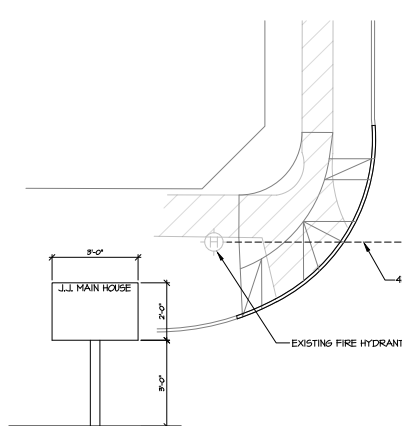
**BICYCLE SPACES:**  
**REQUIRED:** 48 UNIT X 1.2 = 57.6 SPACES  
**PROVIDED:** 56 SPACES

**UNIT SUMMARY**  
1 BEDROOM APARTMENT: 36 UNITS 75.0%  
2 BEDROOM APARTMENT: 8 UNITS 16.7%  
3 BEDROOM APARTMENT: 4 UNITS 8.3%  
**TOTAL:** 48 UNITS 100%

**UNIT BREAKDOWN**

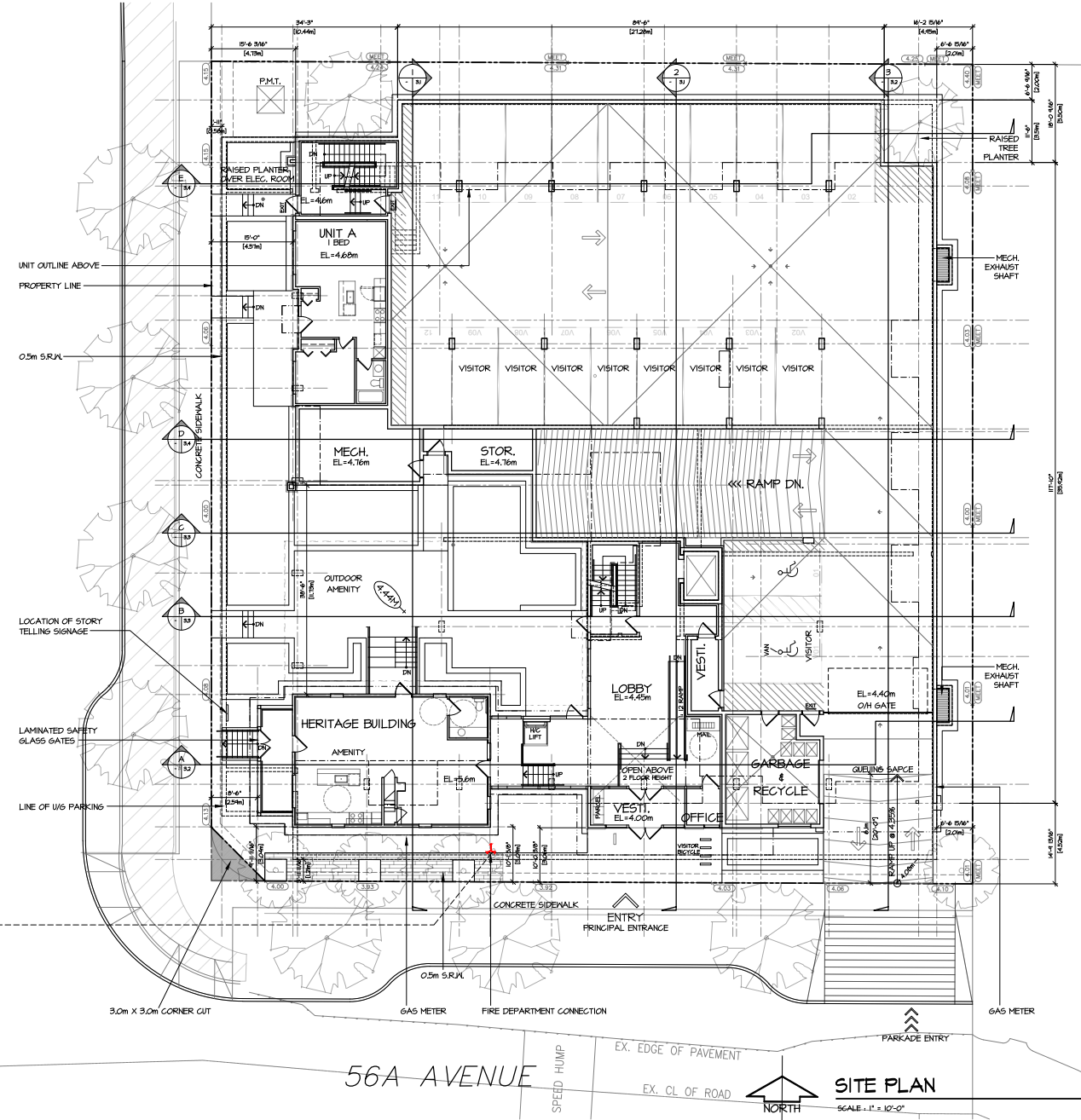
UNIT TYPE 'A'	1 BED	505 S.F.	1 UNITS	505 S.F.
UNIT TYPE 'A1'	1 BED	483 S.F.	8 UNITS	3,864 S.F.
UNIT TYPE 'A2'	1 BED	592 S.F.	3 UNITS	1,746 S.F.
UNIT TYPE 'A3'	1 BED	547 S.F.	1 UNITS	547 S.F.
UNIT TYPE 'B1'	1 BED + DEN	542 S.F.	16 UNITS	8,672 S.F.
UNIT TYPE 'B2'	1 BED + DEN	715 S.F.	4 UNITS	2,860 S.F.
UNIT TYPE 'B3'	1 BED + DEN	664 S.F.	3 UNITS	1,992 S.F.
UNIT TYPE 'C'	2 BED	471 S.F.	4 UNITS	1,884 S.F.
UNIT TYPE 'D'	2 BED + DEN	450 S.F.	3 UNITS	1,350 S.F.
UNIT TYPE 'D1'	2 BED + DEN	450 S.F.	1 UNITS	450 S.F.
UNIT TYPE 'E'	3 BED	942 S.F.	4 UNITS	3,768 S.F.
<b>TOTAL:</b>			<b>48 UNITS</b>	<b>32,019 S.F.</b>

ADAPTABLE



**STORY TELLING SIGNAGE**  
SCALE: NTS

177B STREET



56A AVENUE



**SITE PLAN**

SCALE: 1" = 10'-0"

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ISSUED FOR:	
BY:	
DATE:	
ISSUE:	
REV.:	
DATE:	
DATE:	
DATE:	



DESIGN NO.:	116/624 BC LTD
DRAWN BY:	
DATE:	2023.09.20
SCALE:	1/8" = 1'-0"

CLIENT:	116/624 BC LTD
PROJECT:	APARTMENT PROJECT 177B 56A AVENUE, SURREY
SHEET CONTENTS:	SITE PLAN

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

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EMAIL: mail@bdarkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.

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ISSUE	DATE	BY	ISSUED FOR

REV#	DATE	BY	REV. OUT



DESIGN :	11/6/24 BC LTD
M.D. :	
DRAWN :	
DATE :	Sept. 20 23
SCALE :	3/32" = 1'-0"
SHEET CONTENTS :	RENDER (177B STREET)

barnett dembek

UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

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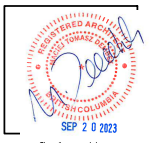
CLIENT NO.	SHEET NO.
	AC-11
PROJECT NO.	REV. NO.
18031	

**RENDER (177B STREET)**



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REV#	DATE	BY	ISSUE FOR



DESIGN : M.D.	DATE : Sept. 20 23
DRAWN :	SCALE : 1/8" = 1'-0"
CLIENT : 116/624 BC LTD	
PROJECT : APARTMENT PROJECT 177B 56A AVENUE, SURREY	
SHEET CONTENTS : RENDER (CORNER OF 177B ST. AND 56 AVE)	

**barnett dembek**

UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

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CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18031	AC-12

**RENDER (CORNER OF 177B ST. AND 56 AVE)**



RENDER (56A AVENUE)

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REV#	DATE	BY	ISSUED FOR



DESIGN :	116/6291 BC LTD
M.D. :	
DATE :	5th - 20 23
SCALE :	5/32" = 1'-0"
PROJECT :	APARTMENT PROJECT 1783 56A AVENUE, SURREY
SHEET CONTENTS :	RENDER (56A AVENUE)

**barnett dembek**

UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

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CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18031	AC-13

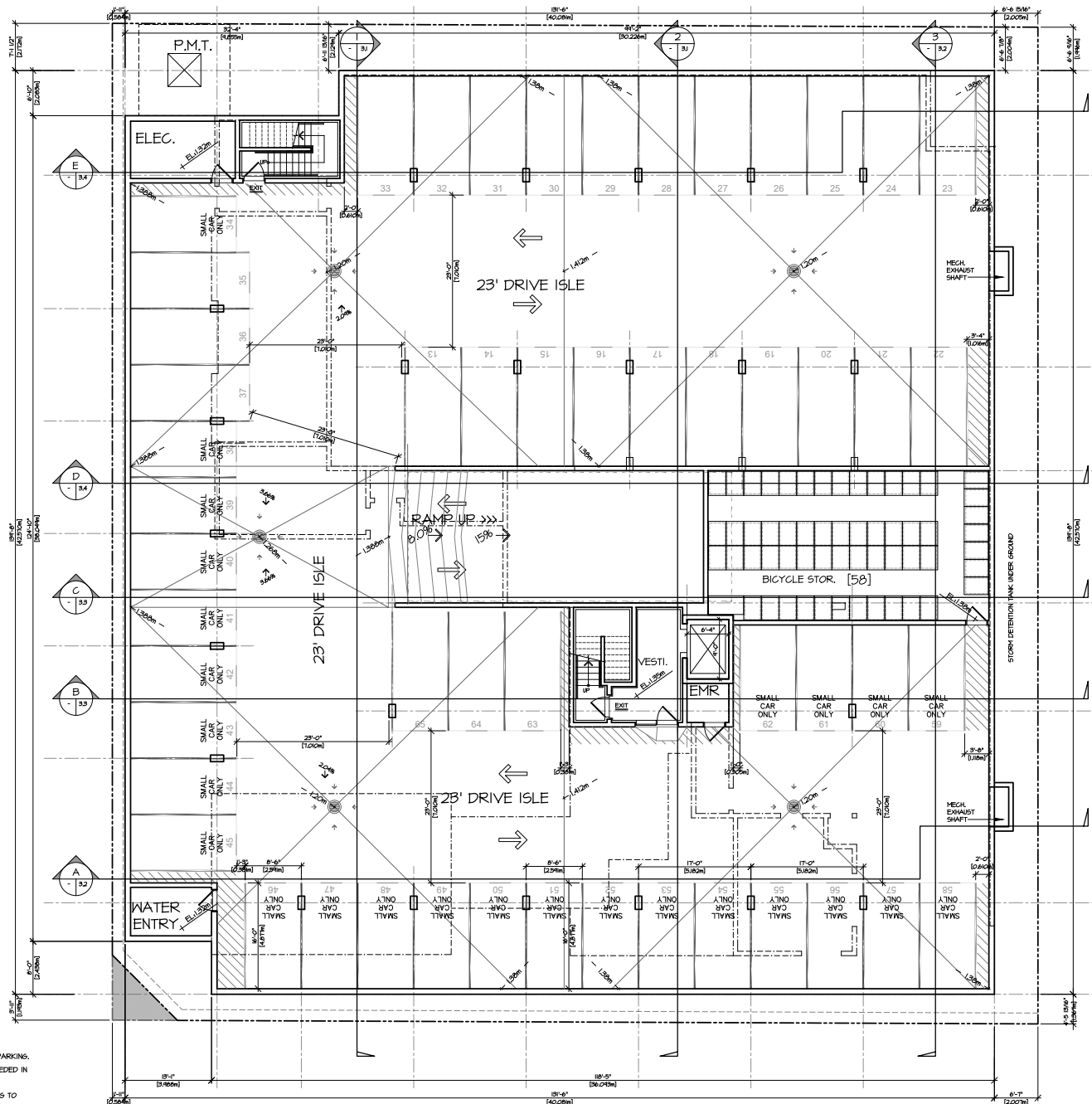
177B STREET

56A AVENUE

**CPED REQUIREMENTS  
FOR UNDERGROUND PARKING**

THE FOLLOWING IS A SUMMARY OF CPED REQUIREMENTS FOR THE UNDERGROUND PARKING AS RECOMMENDED BY THE SURREY RCMP.

- a) PAINT THE UNDERGROUND PARKING WALLS & COLUMNS WHITE.
- b) INSTALL HARD-WIRED VIDEO SURVEILLANCE EQUIPMENT IN U/G PARKING.
- c) AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED IN U/G PARKING AND STAIRWELLS.
- d) PROVIDE VISION PANELS IN ALL DOORS IN U/G PARKING LEADING TO PUBLICLY ACCESSIBLE AREAS.
- e) ELEVATOR LOBBY IN U/G PARKING AREA SHOULD BE GLAZED TO PERMIT NATURAL SURVEILLANCE.
- f) ENSURE ADEQUATE LIGHTING THROUGHOUT THE U/G PARKING.
- g) PROVIDE ROUGH SURFACE FINISH ON RAMPS TO DETER SKATEBOARDERS.



53 PARKING STALLS  
U/G PARKING GARAGE  
SCALE: 1/8" = 1'-0" 18,082 SQ.FT.

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REV.	DATE	BY	ISSUED FOR



DESIGN: 11616291 BC LTD	DATE: 5/29/2023
DRAWN: [Signature]	SCALE: 1/8" = 1'-0"
PROJECT: APARTMENT PROJECT 177B 56A AVENUE, SURREY	
SHEET CONTENTS: UNDERGROUND PARKING GARAGE	

**barnett dembek**

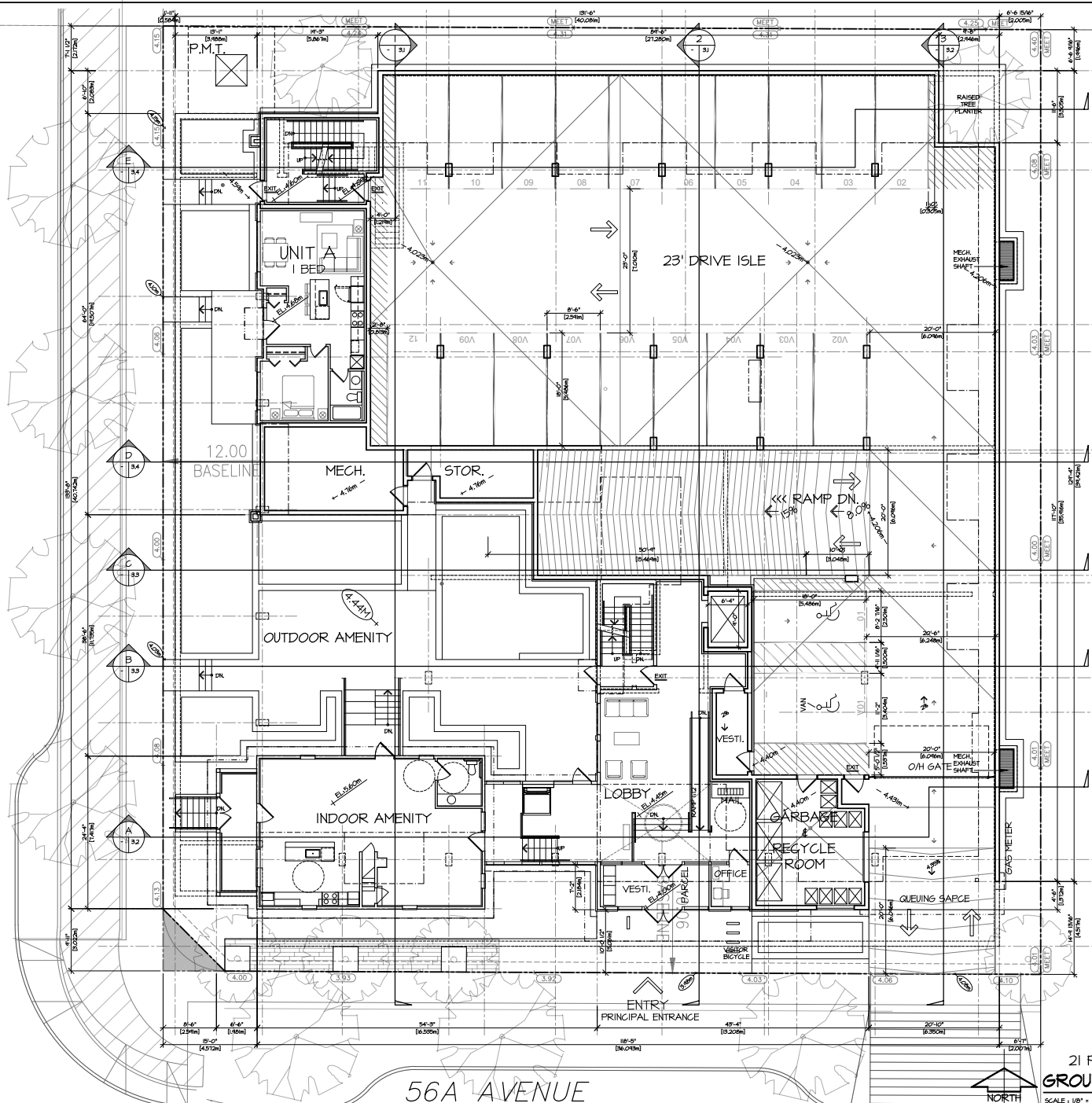
UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail @ bdarkitex.com

CLIENT NO. 18031	SHEET NO. AC-2.1
PROJECT NO. 18031	REV. NO.



177B STREET



56A AVENUE

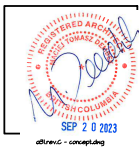
PARKING GARAGE  
10,334 SQ.FT.

21 PARKING STALLS  
**GROUND FLOOR PLAN**

SCALE: 1/8" = 1'-0"  
2,905 SQ.FT.  
INCLUDE INDOOR AMENITY 1,122 SQ.FT.

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REV.	DATE	BY	ISSUED FOR



DESIGN :	11/6/24 BC LTD
MD :	
DATE :	Sept. 20 23
SCALE :	1/8" = 1'-0"

CLIENT :	11/6/24 BC LTD
PROJECT :	APARTMENT PROJECT 11783 56A AVENUE, SURREY
SHEET CONTENTS :	GROUND FLOOR PLAN

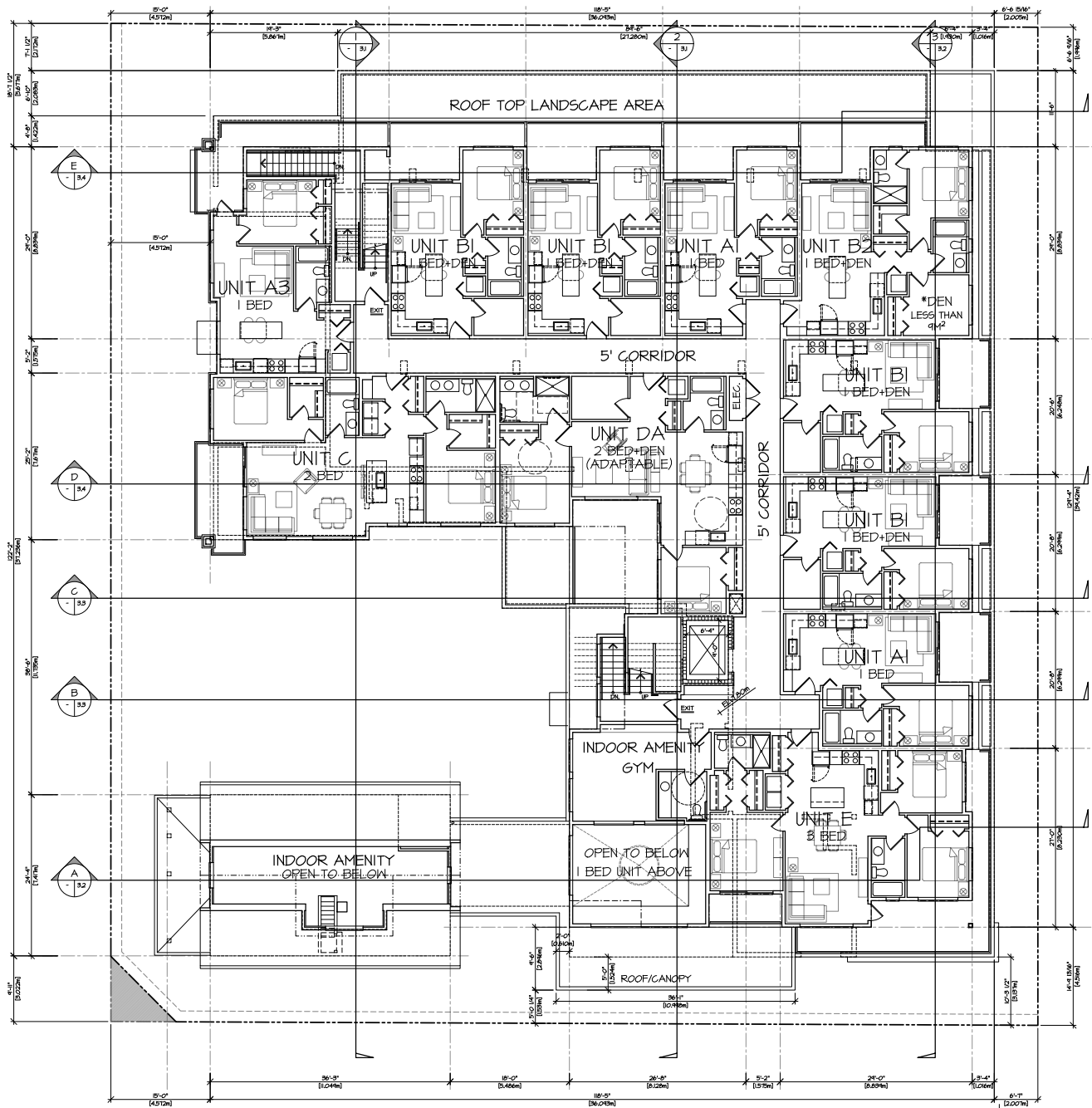
**barnett dembek**

UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail @ bdarkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-2.2
18031	REV. NO.

177B STREET



56A AVENUE

**2ND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 9,048 SQ.FT.  
 INCLUDE INDOOR AMENITY 311 SQ.FT.

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REV	DATE	BY	ISSUED FOR



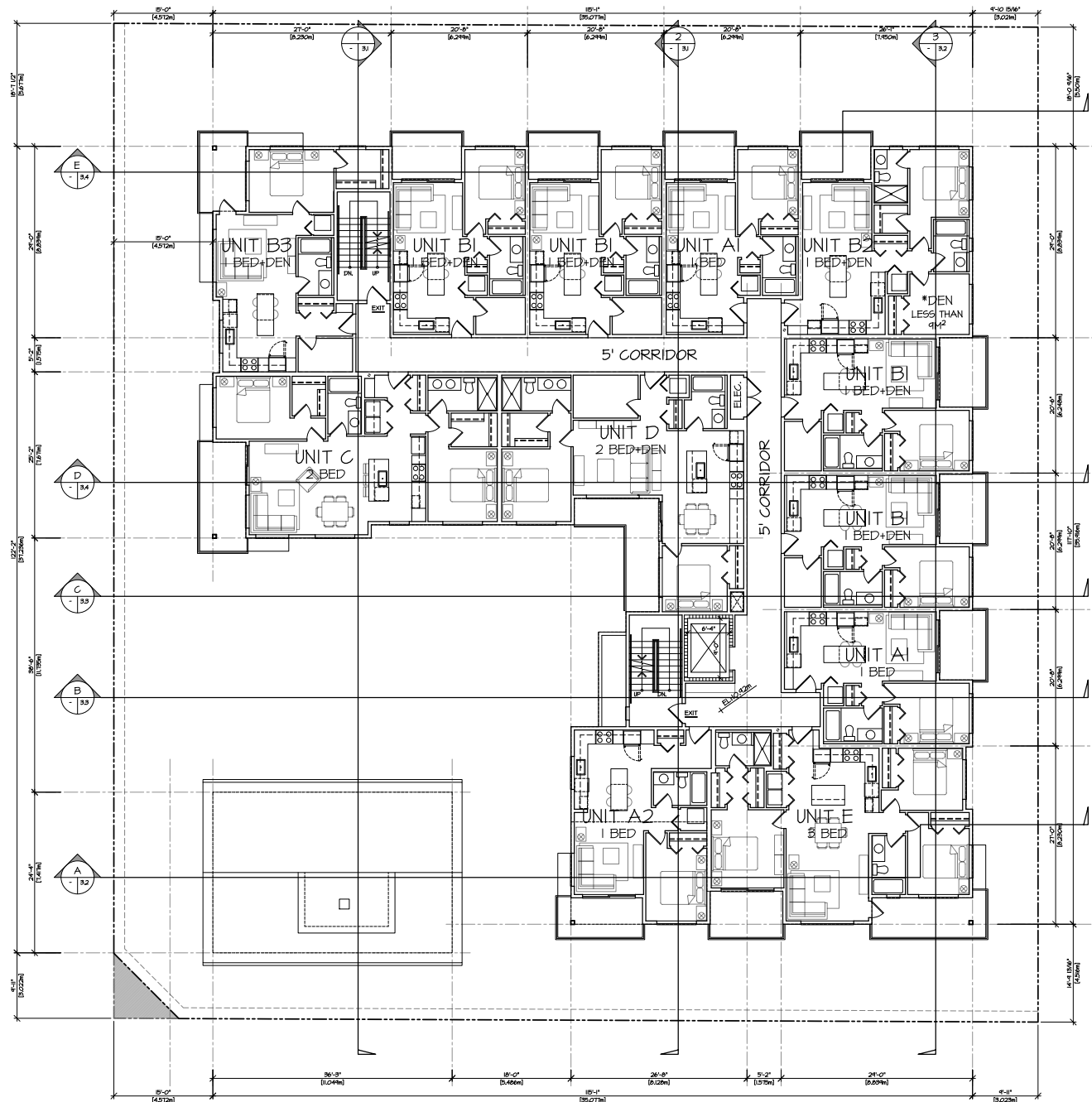
DESIGN :	11/16/24 BC LTD
MD :	
DRAWN :	
DATE :	5th - 20 23
SCALE :	1/8" = 1'-0"
PROJECT :	APARTMENT PROJECT 117B3 56A AVENUE, SURREY
SHEET CONTENTS :	SECOND FLOOR PLAN

**barnett dembek**

UNIT 135,  
 7539 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE:	(604) 597-7100
FAX:	(604) 597-2099
EMAIL:	mail @ bdarkitex.com
CLIENT NO.	SHEET NO.
18031	AC-23
PROJECT NO.	REV. NO.

177B STREET



56A AVENUE

**3RD-5TH FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 9,286 SQ.FT.

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REV.	DATE	BY	ISSUED FOR



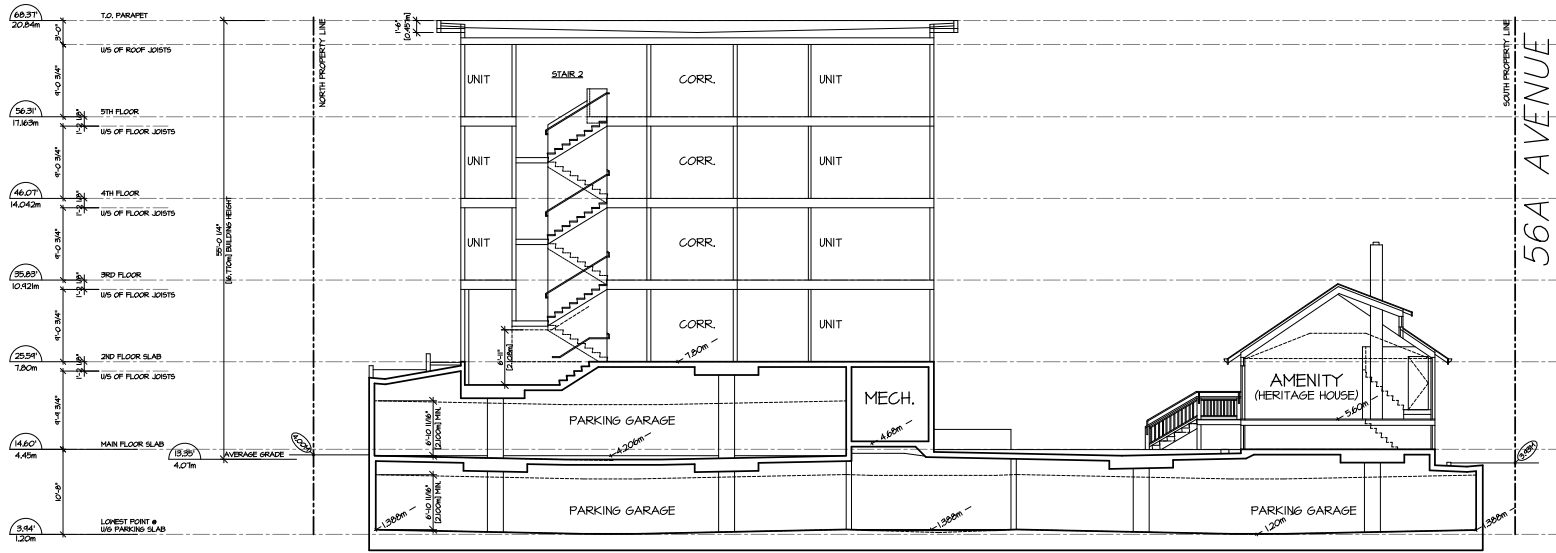
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MD :	
DRAWN :	
DATE :	5/11/20 29
SCALE :	1/8" = 1'-0"
PROJECT : APARTMENT PROJECT ITT B3 56A AVENUE, SURREY	
SHEET CONTENTS : 3RD-5TH FLOOR PLAN	

**barnett dembek**

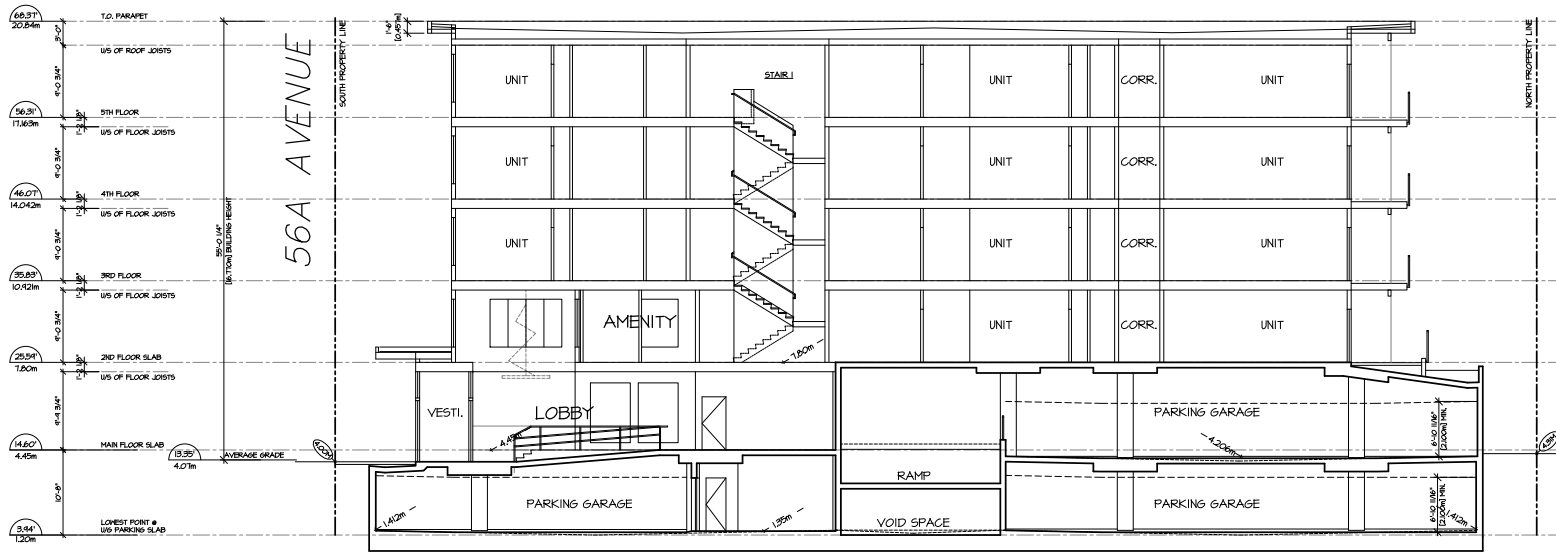
UNIT 135,  
 7539 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail @ bdarkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18031	AC-2.4



**SECTION I**  
SCALE = 1/8" = 1'-0"



**SECTION II**  
SCALE = 1/8" = 1'-0"

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REV. NO.	DATE	BY	ISSUED FOR



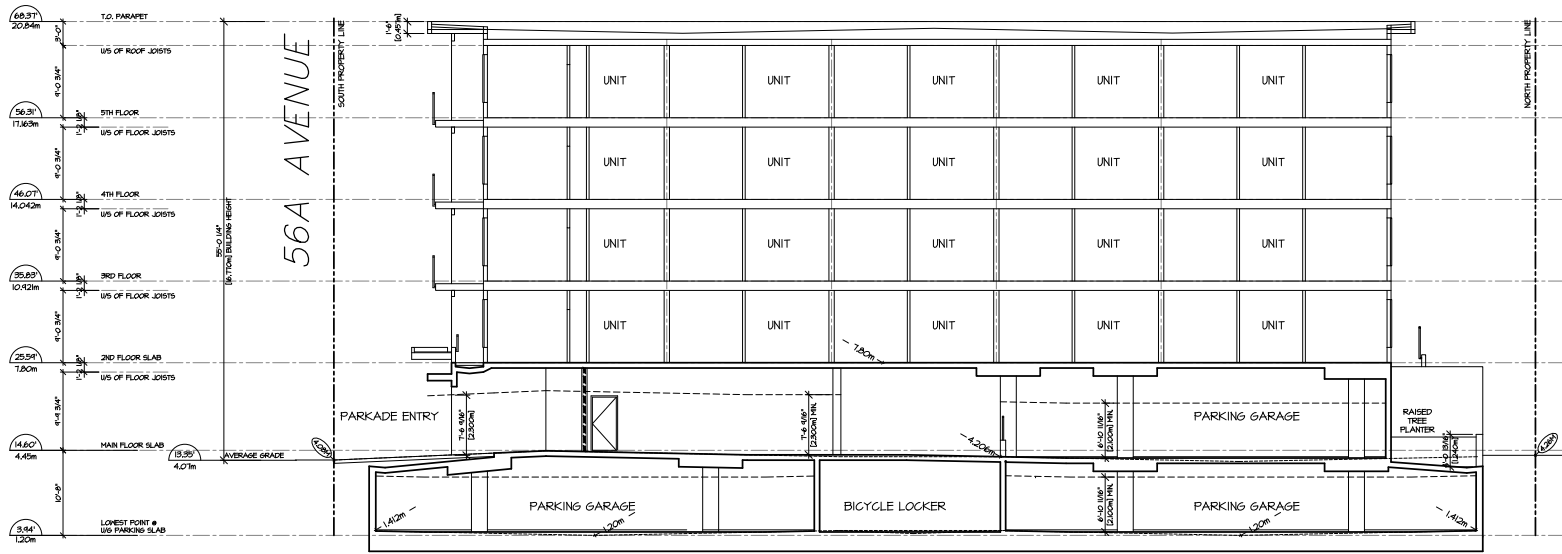
DESIGN :	1161624 BC LTD
H.D. :	
DATE :	Sept. 20 23
SCALE :	1/8" = 1'-0"
PROJECT :	APARTMENT PROJECT 11783 56A AVENUE, SURREY, B.C.
SHEET CONTENTS :	SECTION I

**barnett dembek**

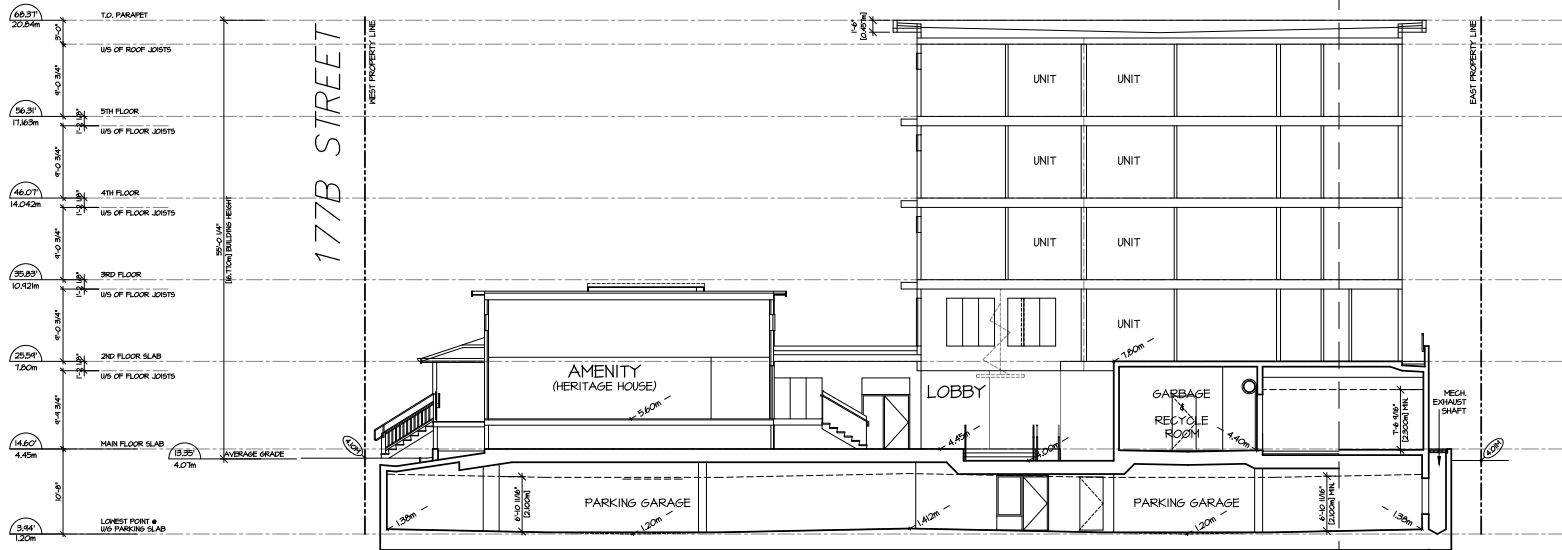
UNIT 135,  
7539 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail @ bdarkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18031	AC-3.1



**SECTION 3**  
SCALE = 1/8" = 1'-0"



**SECTION A**  
SCALE = 1/8" = 1'-0"

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REV.	DATE	BY	ISSUED FOR

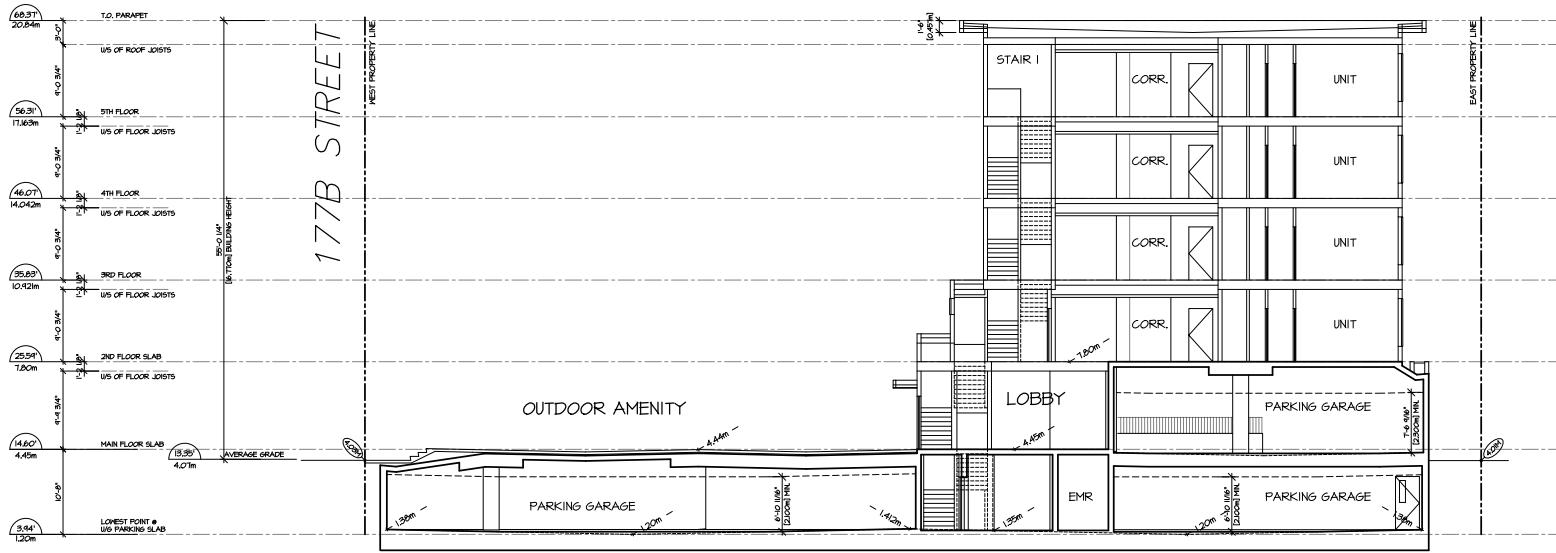


CLIENT :	1161624 BC LTD
DESIGN :	MD
PROJECT :	APARTMENT PROJECT 177B 56A AVENUE, SURREY
DATE :	5th-20-23
SHEET CONTENTS :	SECTION 1
DRAWN :	
SCALE :	1/8" = 1'-0"

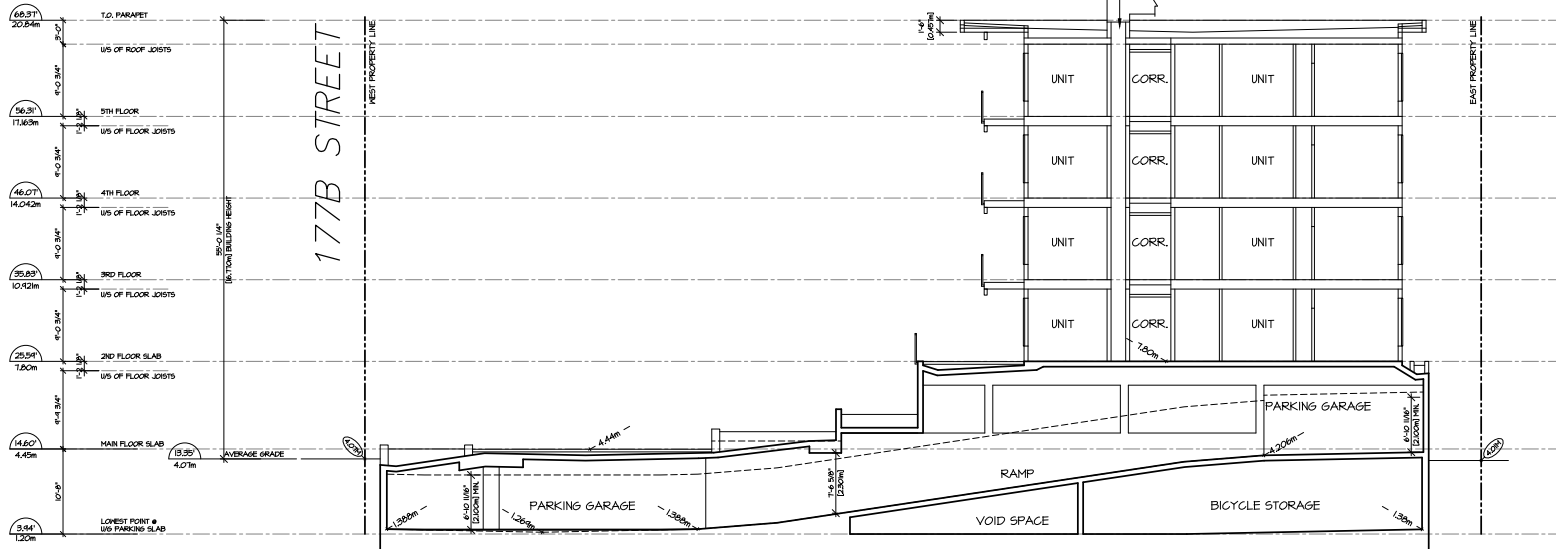
**barnett dembek**

UNIT 135,  
7539 130 STREET,  
SURREY, B.C.  
V3W 1H8  
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail @ bdarkitex.com

CLIENT NO.		SHEET NO.	AC-3.2
PROJECT NO.	18031	REV. NO.	



**SECTION B**  
SCALE = 1/8" = 1'-0"



**SECTION C**  
SCALE = 1/8" = 1'-0"

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REV.	DATE	BY	ISSUED FOR



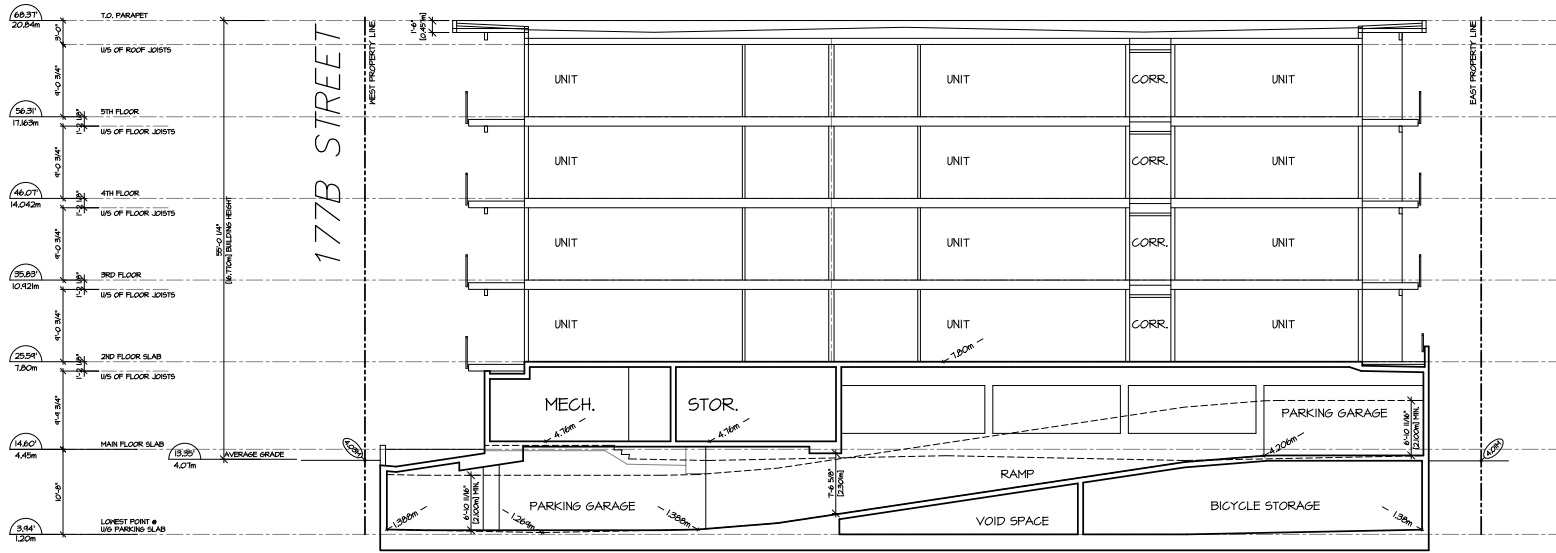
DESIGN :	1161624 BC LTD
MD :	
DATE :	Sept 20 23
SCALE :	1/8" = 1'-0"
PROJECT :	APARTMENT PROJECT 117183 56A AVENUE, SURREY
SHEET CONTENTS :	SECTION I

**barnett dembek**

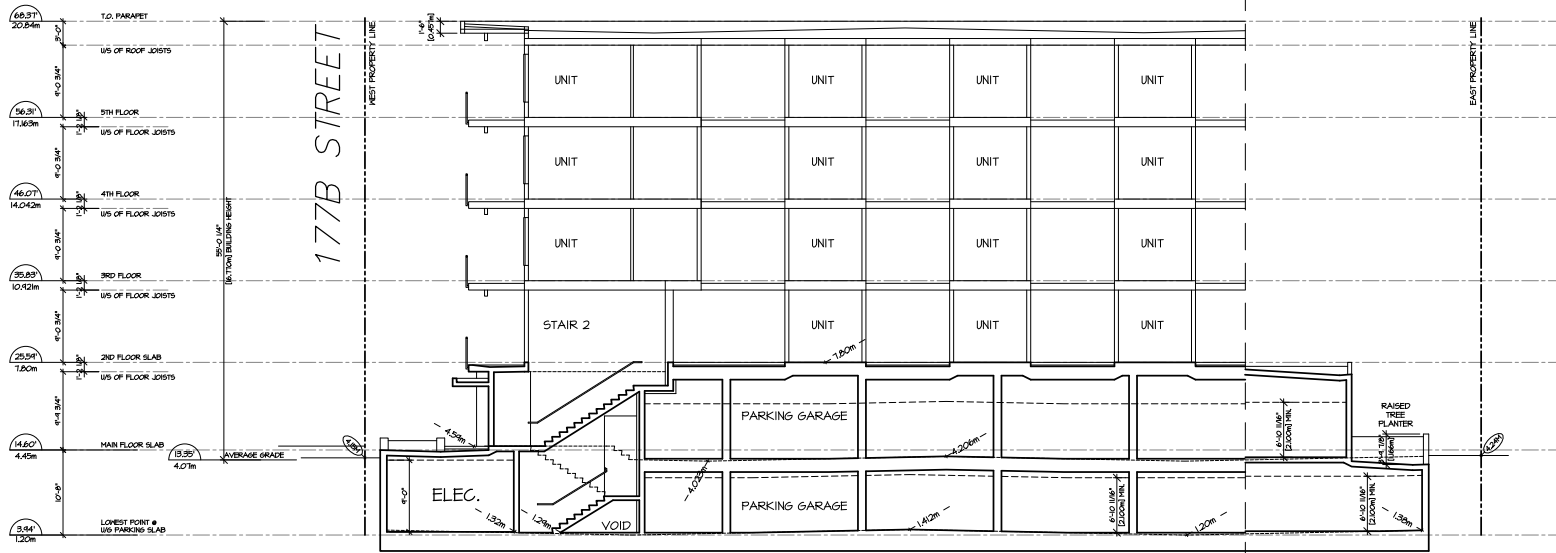
UNIT 135,  
7539 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail @ bdarkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-33
18031	REV. NO.



**SECTION D**  
SCALE = 1/8" = 1'-0"



**SECTION E**  
SCALE = 1/8" = 1'-0"

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REV. NO.	DATE	DATE	BY	ISSUED FOR



DESIGN :	1161624 BC LTD
MD :	
DRAWN :	
DATE :	5th-20-23
SCALE :	1/8" = 1'-0"
PROJECT :	APARTMENT PROJECT 11783 364 AVENUE, SURREY
SHEET CONTENTS :	SECTION I

**barnett dembok**

UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail @ bdarkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-3A
18031	REV. NO.



56A AVENUE

**SCHEDULE OF FINISHES**

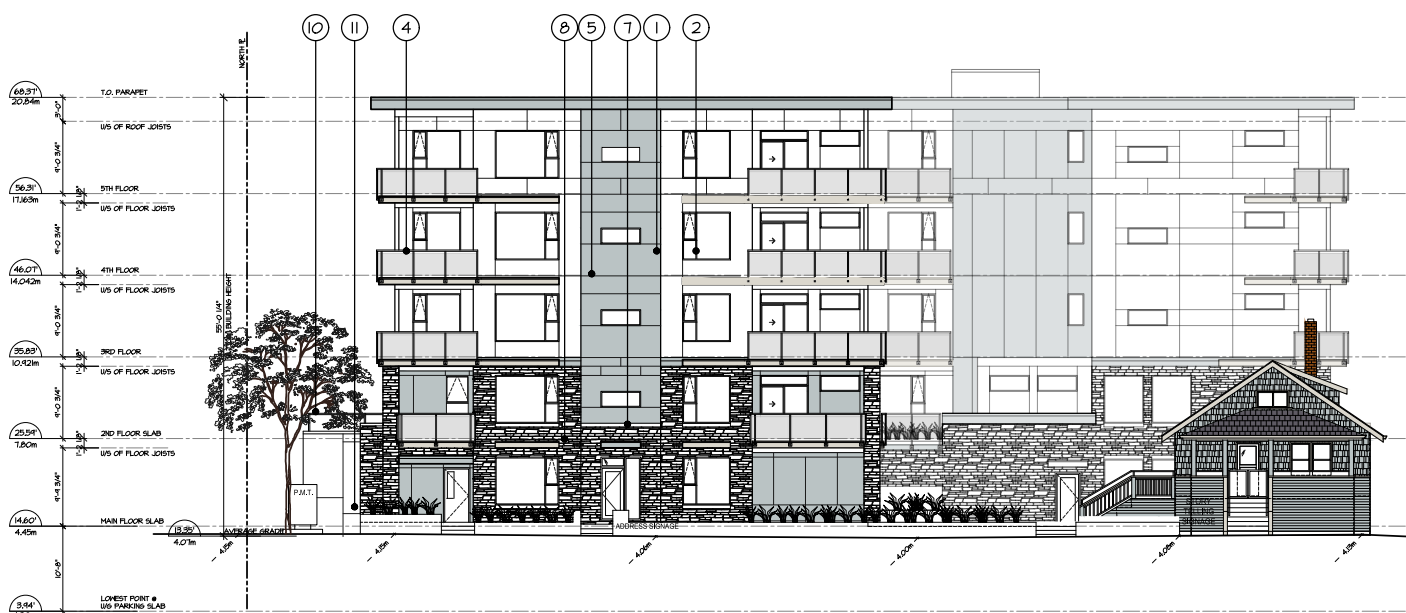
- ① FIBRE CEMENT PANEL  
- ARGON FILLED; LOW E COATED
- ② VINYL FRAMED WINDOWS  
- ARGON FILLED; LOW E COATED
- ③ CLEAR ANODIZED ALUMINUM FRAME WINDOWS  
G/M MATCHING GLASSURE PANELS AT  
- CORNERS-OVER AND UNDER WINDOWS  
- ARGON FILLED; LOW E COATED ON SOUTH & WEST
- ④ POWDER COAT ALUMINUM RAIL  
G/M SAFETY GLASS PANELS
- ⑤ PRE-FINISHED THRU-MALL FLASHING
- ⑥ POWDER COATED ALUMINUM FRAME  
G/M SAFETY OB GLASS PRIVACY SCREEN
- ⑦ 2 X 6 HARDIE TRIM
- ⑧ STONE VENEER PANGAEA LEDGESTONE  
"GRIGIO" (SANDSTORM)
- ⑨ FROSTED SPANDREL GLAZING
- ⑩ POWDER COAT ALUMINUM PICKET RAIL
- ⑪ CONCRETE FINISH WITH REVEALS

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REV#	DATE	ISSUE	BY	DATE	ISSUED FOR

**SOUTH ELEVATION**

SCALE : 1/8" = 1'-0"



177B ST

56A AVENUE

**WEST ELEVATION**

SCALE : 1/8" = 1'-0"



CLIENT :	116/624 BC LTD
PROJECT :	APARTMENT PROJECT 177B 56A AVENUE, SURREY
SHEET CONTENTS :	STREET ELEVATIONS
DESIGN :	
NO. :	
DRAWN :	
DATE :	Sept. 20 23
SCALE :	1/8" = 1'-0"

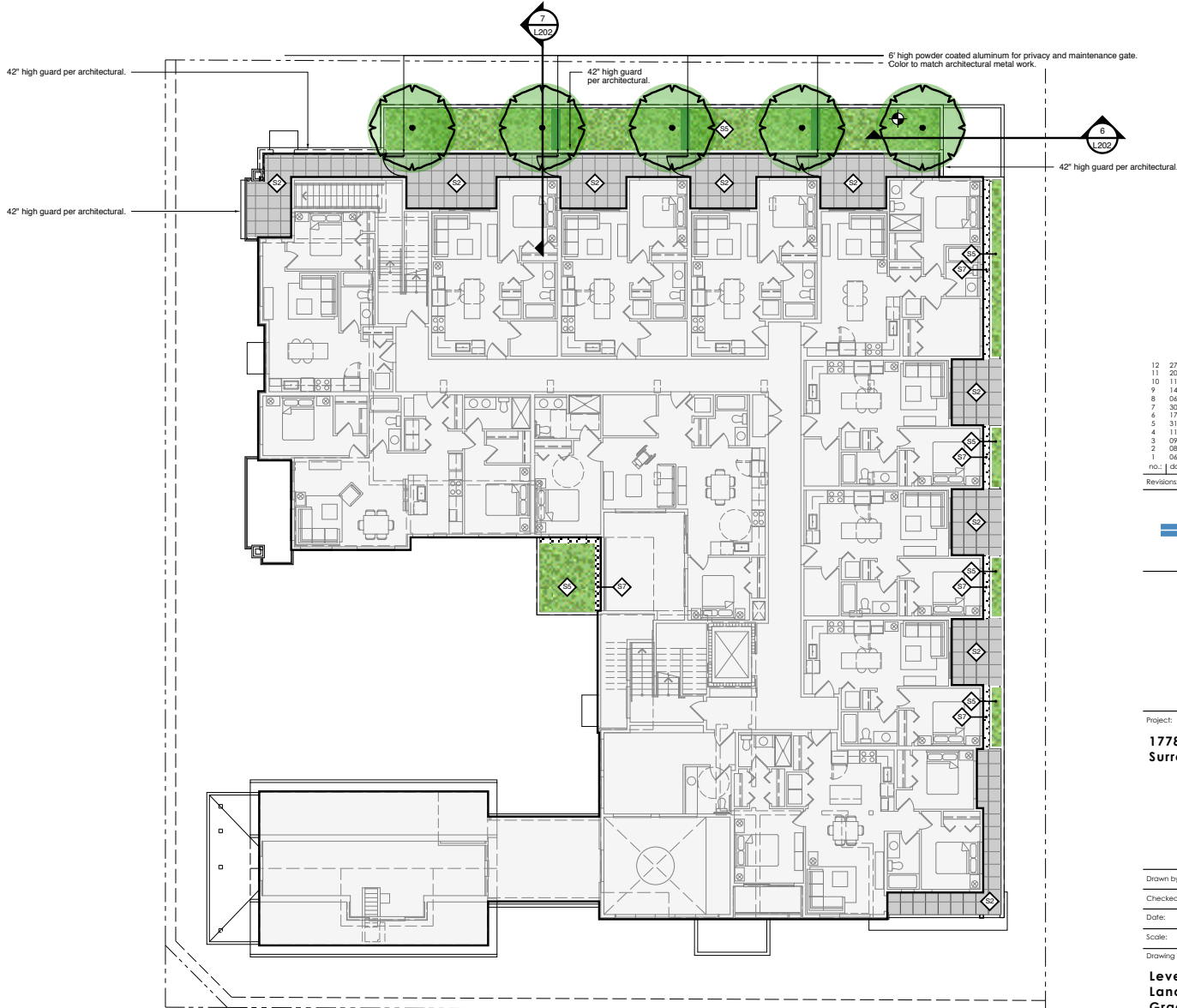
**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail @ bdarkitex.com

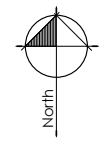
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18031	AC-4.1





7  
L202

8  
L202



12	27 09 2023	Released for DP
11	20 09 2023	Revision
10	11 08 2023	Revision
9	14 03 2023	Review Per Engineering comments
8	04 01 2022	Engineering comments revision
7	30 08 2021	Released for DP
6	17 07 2021	Released for DP
5	31 05 2021	SP
4	11 06 2020	ADP Comment Response
3	09 29 2020	ADP
2	08 28 2020	DP
1	06 11 2020	SP/RZ
no.	date	Item

Revisions:

**dk** Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6L 1H5  
T: 604 684 4511  
F: 604 684 0577  
www.dk.bc.ca

Project:

**17783 56A Avenue  
Surrey**

Drawn by: RSS

Checked by: DXC

Date: September 2023

Scale: 1/8" (1/8" = 1' 0")

Drawing Title:

**Level 2  
Landscape Materials,  
Grading and Drainage  
Plan**

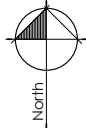
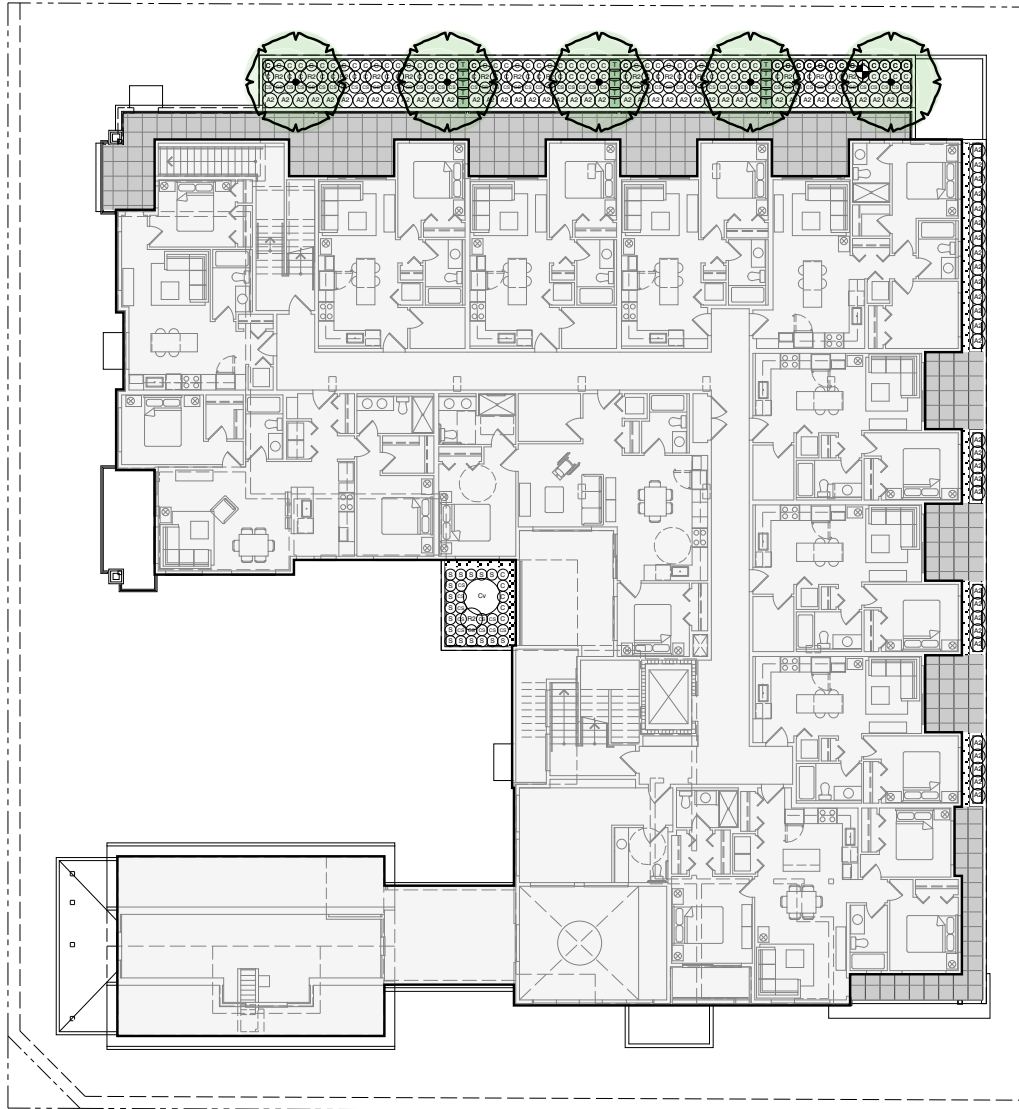
Project No.:

**19014**

Sheet No.:

**L105**





12	27 09 2023	Released for DP
11	20 09 2023	Revision
10	11 08 2023	Revision
9	14 03 2023	Review Per Engineering comments
8	04 01 2022	Engineering comments revision
7	30 08 2021	Released for DP
6	17 07 2021	Released for DP
5	31 05 2021	SP
4	11 06 2020	ADP Comment Response
3	09 29 2020	ADP
2	08 28 2020	DP
1	06 11 2020	SP/RZ
no.	date	Item

Revisions:

Durante Kreuk LLP  
 102 - 1637 West 5th Avenue  
 Vancouver BC V6J 1H5  
 T: 604 684 4511  
 F: 604 684 0577  
 www.dk.bc.ca

Project:

**17783 56A Avenue  
 Surrey**

Drawn by: RSS

Checked by: DXC

Date: September 2023

Scale: 1/8" (1/8" = 1' 0")

Drawing Title:

**Level 2  
 Planting Plan**

Project No.:

**19014**

Sheet No.:

**L106**



**SCALE BAR**

**MATERIALS LEGEND - LEVEL 2**

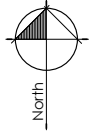
- ORGANIC SOI FOR LAWN/SHRUB AND TREE PLANTING. Average Soil Depth : 1m  
Minimum 10 cubic meter available per tree.
- ORGANIC SOIL FOR LAWN/SHRUB PLANTING. Average Soil Depth : 0.6m

**TREE OFFSET REQUIREMENT - LEVEL 2**

TREES	SYMBOL	QTY	Botanical Name	Average Mature Height	Required and Provided Offset from Building Face
		5	Cercis canadensis	7.6m	2m

**PROVIDED SOIL VOLUM PER TREE - LEVEL 2**

TREES	Average Organic Soil Per Tree
T32-36	10.62 m <sup>3</sup>
Breakdown:	Total Organic Soil Volume: 53.14 m <sup>3</sup> Total number of trees sharing soil: 5



12	27 09 2023	Reissued for DP
11	20 09 2023	Revision
10	11 08 2023	Revision
9	14 03 2023	Review Per Engineering comments
8	04 01 2022	Engineering comments revision
7	30 08 2021	Reissued for DP
6	17 07 2021	Reissued for DP
5	31 05 2021	SP
4	11 06 2020	ADP Comment Response
3	09 29 2020	ADP
2	08 28 2020	DP
1	06 11 2020	DP/PIZ
no.	date:	Item:

Revisions:



Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6L 1H5  
T: 604 684 4511  
F: 604 684 0577  
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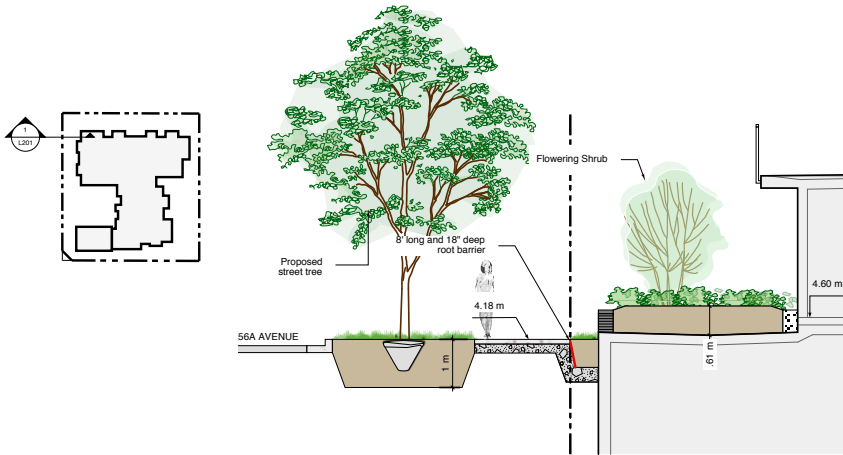
Project:  
**17783 56A Avenue  
Surrey**

Drawn by: RSS  
Checked by: DXC  
Date: September 2023  
Scale: 1/8" (1/8" = 1' 0")

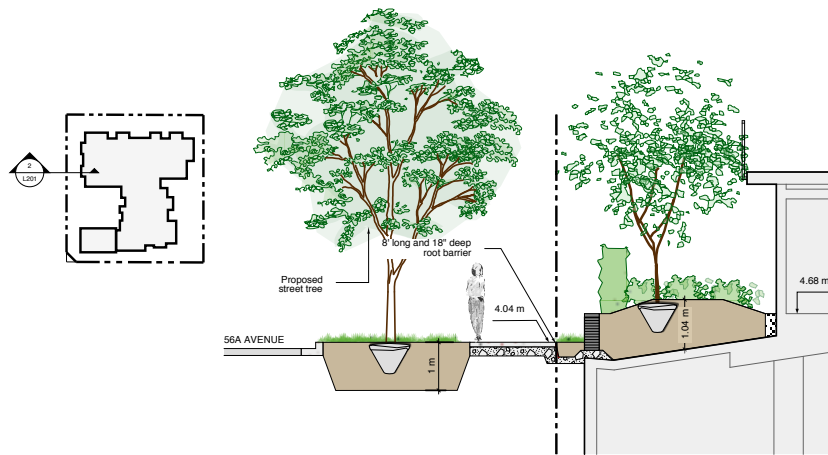
Drawing Title:  
**Level 2  
Soil Volume and Depth  
Plan**

Project No.:  
**19014**  
Sheet No.:

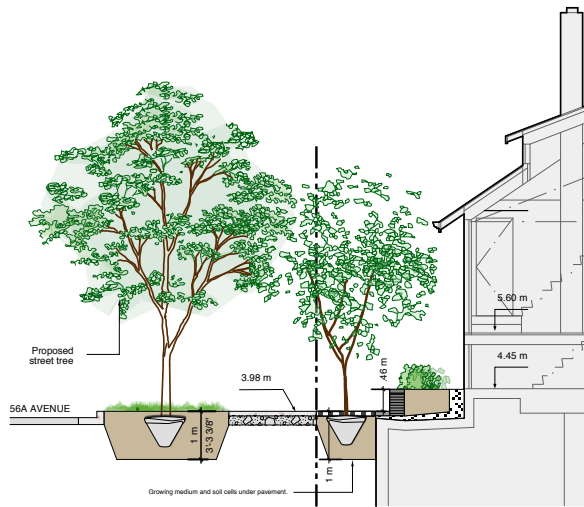




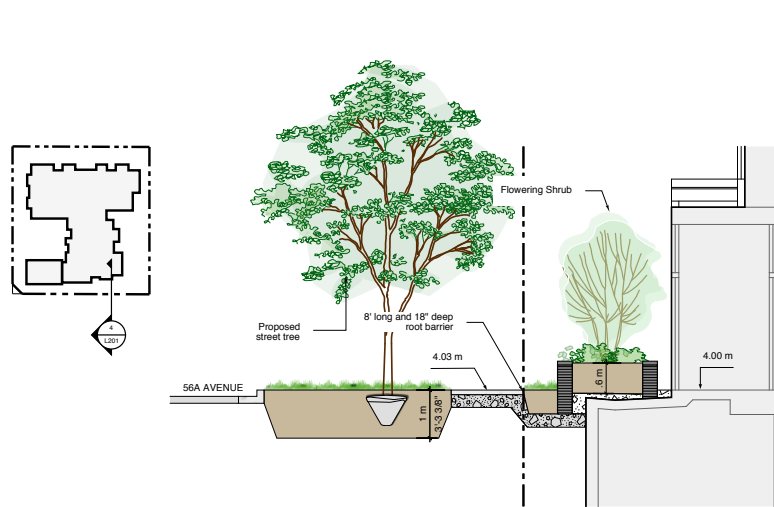
1 Section Through Residential Patio  
L101 Scale 1:48 (1/4" = 1' 0")



2 Section Through Planting and Residential Patio  
L101 Scale 1:48 (1/4" = 1' 0")



3 Section Through Heritage Plaza  
L101 Scale 1:48 (1/4" = 1' 0")



4 Section Through Planting at Entry  
L101 Scale 1:48 (1/4" = 1' 0")

1m 5m 10m

SCALE BAR

9	27/09/2023	Reissued for DP
8	14/03/2022	Review For Engineering comments
7	06/01/2022	Engineering comments revision
6	30/08/2021	Reissued for DP
5	17/07/2021	Reissued for DP
4	31/05/2021	SP
3	09/29/2020	ADP
2	06/28/2020	DP
1	06/11/2020	DP/RZ
no.	date	item

Revisions:

**dk** Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
T: 604 684 4511  
F: 604 684 0577  
www.dk.bc.ca

Project:

**17783 56A Avenue  
Surrey**

Drawn by: RSS

Checked by: DXC

Date: September 2023

Scale: 1/4" (1/8" = 1' 0")

Drawing Title:

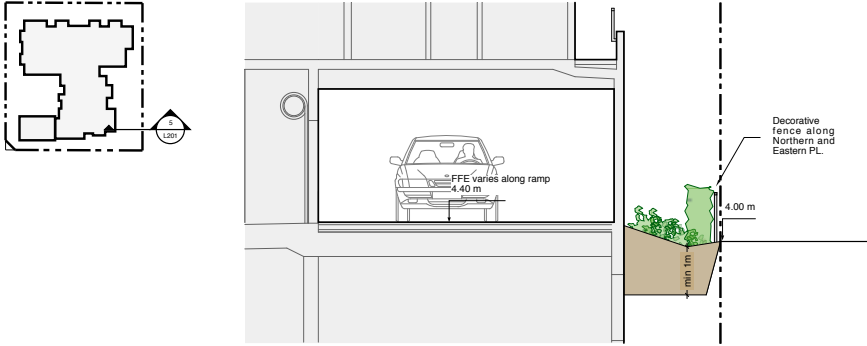
**Landscape Sections**

Project No.:

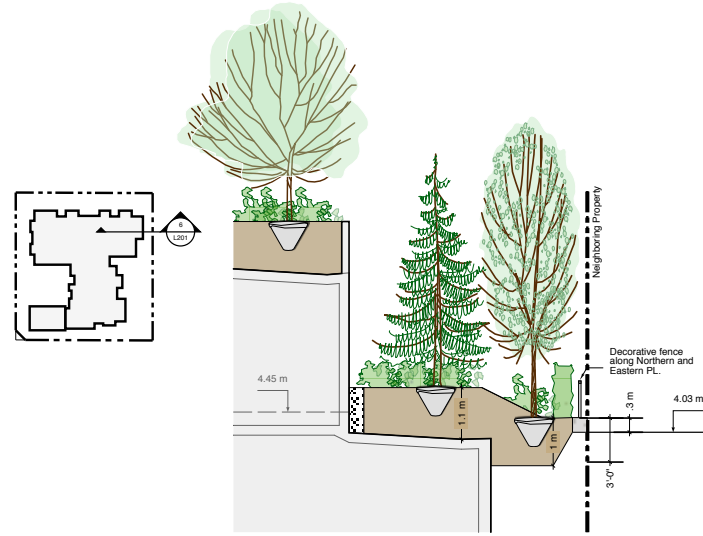
19014

Sheet No.:

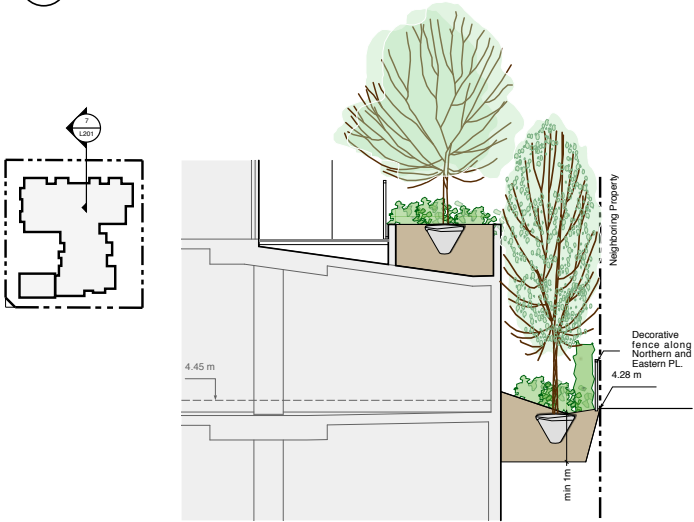
L201



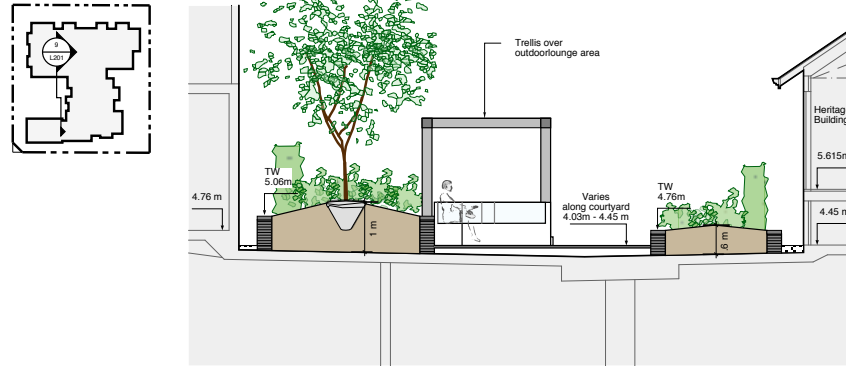
5 Section Through Parking Ramp at East PL  
L101 Scale 1:48 (1/4" = 1' 0")



6 Section Through Landscape at East PL  
L101 Scale 1:48 (1/4" = 1' 0")



7 Section Through Landscape at North PL  
L101 Scale 1:48 (1/4" = 1' 0")



8 Section Through Amenity Patio  
L101 Scale 1:48 (1/4" = 1' 0")

9	27 09 2023	Reissued for DP
8	14 03 2022	Review For Engineering comments
7	06 01 2022	Engineering comments revision
6	30 08 2021	Reissued for DP
5	17 07 2021	Reissued for DP
4	31 05 2021	SP
3	09 29 2020	ADP
2	08 28 2020	DP
1	06 11 2020	SP/RZ
no.:	date:	Item:

Revisions:

**dk** Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
T: 604 684 4511  
F: 604 684 0577  
www.dk.bc.ca

Project:

**17783 56A Avenue  
Surrey**

Drawn by: RSS

Checked by: DXC

Date: September 2023

Scale: 1/4" (1/8" = 1' 0")

Drawing Title:

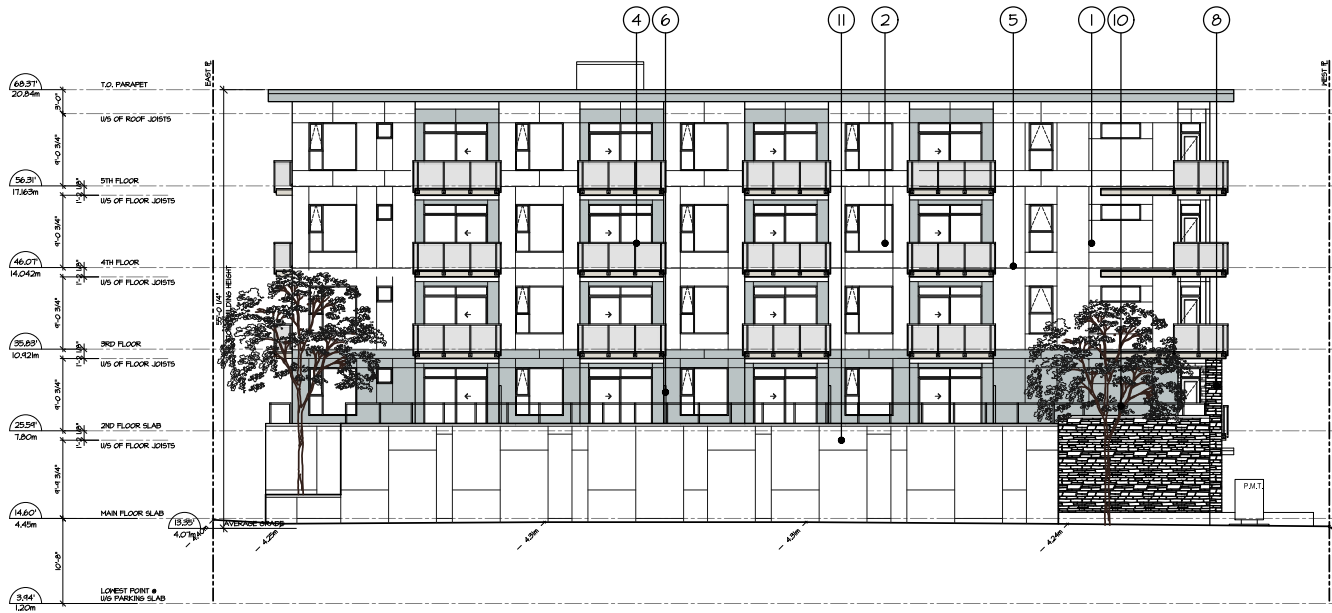
**Landscape Sections**

Project No.:

**19014**

Sheet No.:



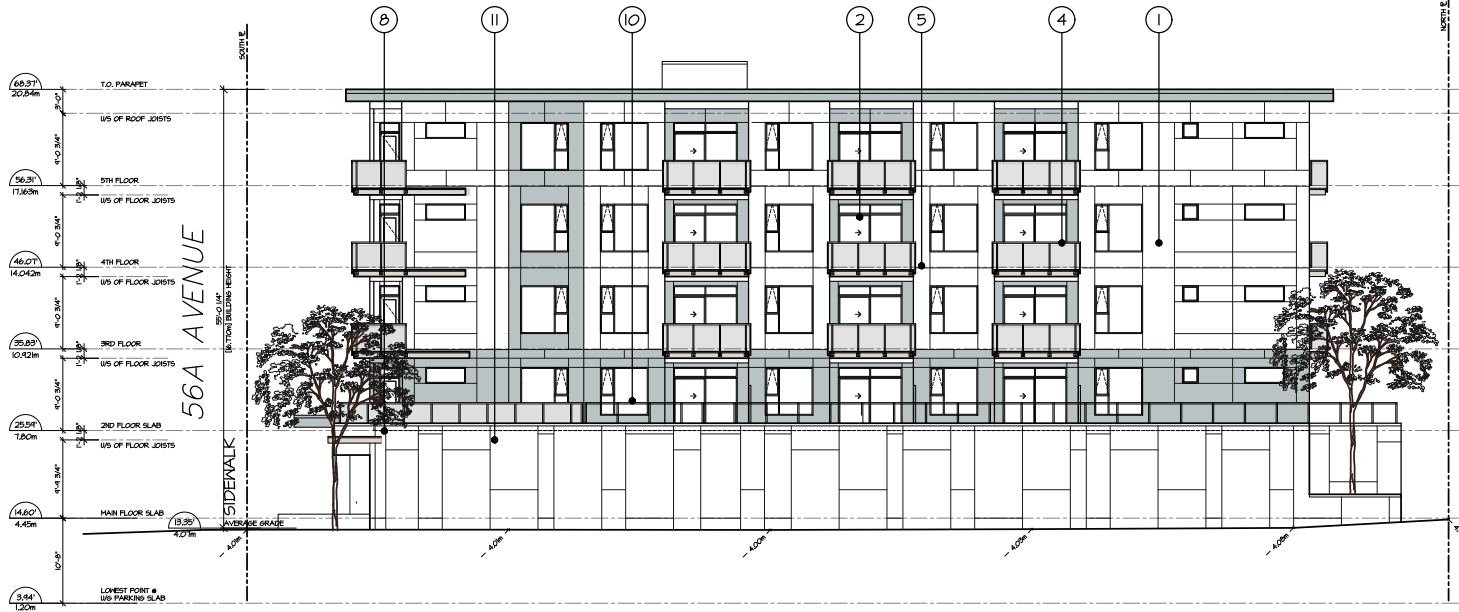


### SCHEDULE OF FINISHES

- ① FIBRE CEMENT PANEL
- ② VINYL FRAMED WINDOWS  
- ARGON FILLED; LOW E COATED
- ③ CLEAR ANODIZED ALUMINUM FRAME WINDOWS  
C/M MATCHING CLOSURE PANELS AT  
- CORNERS-OVER AND UNDER WINDOWS  
- ARGON FILLED; LOW E COATED ON SOUTH & WEST
- ④ POWDER COAT ALUMINUM RAIL  
C/M SAFETY GLASS PANELS
- ⑤ PRE-FINISHED THRU-WALL FLASHING
- ⑥ POWDER COATED ALUMINUM FRAME  
C/M SAFETY OB GLASS PRIVACY SCREEN
- ⑦ 2 X 6 HARDIE TRIM
- ⑧ STONE VENEER PANGAEA LEDGESTONE  
"GRIGIO" (SANDSTONY)
- ⑨ FROSTED SPANDREL GLAZING
- ⑩ POWDER COAT ALUMINUM PICKET RAIL
- ⑪ CONCRETE FINISH WITH REVEALS

### NORTH ELEVATION

SCALE : 1/8" = 1'-0"



### EAST ELEVATION

SCALE : 1/8" = 1'-0"

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REV#	DATE	ISSUE	BY	DATE	ISSUED FOR



DESIGN NO. :	116/6241 BC LTD
DRAWN BY :	
DATE :	Sept. 20 23
SCALE :	1/8" = 1'-0"
PROJECT :	APARTMENT PROJECT 11783 56A AVENUE, SURREY
SHEET CONTENTS :	ELEVATIONS

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail @ bdarkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18031	AC-4.2

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0270-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 031-612-181

Lot 1 Section 8 Township 8 New Westminster District Plan EPP111770  
17783 - 56A Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2020, No.20257 is amended as follows:

- (a) In Section F. Yards and Setbacks, the minimum rear (north) yard setback is reduced from 5.5 metres to 2.0 metres to the principal building face of the first storey of the proposed 5-storey building;
- (b) In Section F. Yards and Setbacks, the minimum side (east) yard setback is reduced from 3.0 metres to 2.0 metres to the principal building face of the first storey of the proposed 5-storey building; and
- (c) In Section E. Lot Coverage, the maximum permitted lot coverage is increased from 51% to 65%.

4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF       , 20 .

ISSUED THIS    DAY OF       , 20 .

---

Mayor – Brenda Locke

---

City Clerk – Jennifer Ficocelli



DEVELOPMENT DATA

LEGAL DESCRIPTION : LOT 1 SECTION 8 TOWNSHIP 6 NEH WESTMINSTER DISTRICT PLAN EPH11110

SITE AREA : GROSS : 21,019 S.F. 0.484 ACRES 1,860.1 M<sup>2</sup> 0.196 HA. ROAD DEDICATION : 49 S.F. 0.001 ACRES 4.3 M<sup>2</sup> 0.000 HA. NET : 21,050 S.F. 0.483 ACRES 1,855.8 M<sup>2</sup> 0.196 HA.

DENSITY : 91.4 U.F.A. 245 U.F.H.A. (48 UNITS)

F.A.R. : 1.82 (3,841 S.F.)

SITE COVERAGE : 65.6% (13,801 S.F.)

BUILDING HEIGHT : 5 STOREY (18.7M)

AMENITY : REQUIRED : INDOOR : 48 UNITS x 32.3 S.F. PER = 1550 S.F. OUTDOOR : 48 UNITS x 32.3 S.F. PER = 1550 S.F.

PROPOSED : INDOOR : (424 S.F.) OUTDOOR : (472 S.F.)

NOTE: SUPPLY AND INSTALL ELEVATOR CALL BUTTONS IN A HORIZONTAL MANNER COMPLIANT WITH BCBC AND SAFETY BC REQUIREMENTS

NOTE: PROVIDE CONDUIT TO PRINCIPAL ENTRY DOORS FOR FUTURE POWER DOOR OPERATIONS

PARKING : REQUIRED : 1 BED - 1.3 SPACES x 36 UNITS = 46.8 SPACES 2 BEDS - 1.5 SPACES x 12 UNITS = 18 SPACES VISITOR - 0.2 SPACES x 48 UNITS = 9.6 SPACES TOTAL : 74.4 SPACES

PROVIDED : RESIDENTIAL : 65 SPACES VISITOR : 9 SPACES TOTAL : 74 SPACES

INCLUDING 26 S.V. & 2 ACCESSIBLE STALLS OF WHICH ONE IS FOR A VAN

BICYCLE SPACES : REQUIRED : 48 UNIT x 1.2 = 57.6 SPACES PROVIDED : 56 SPACES

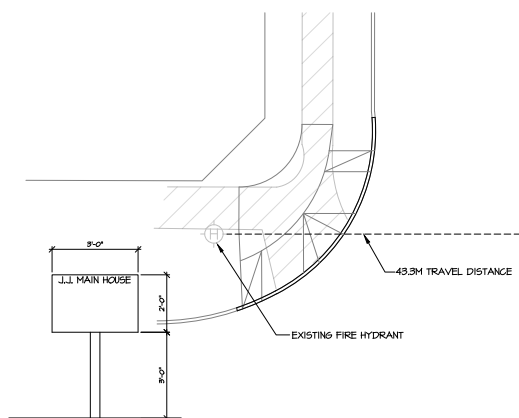
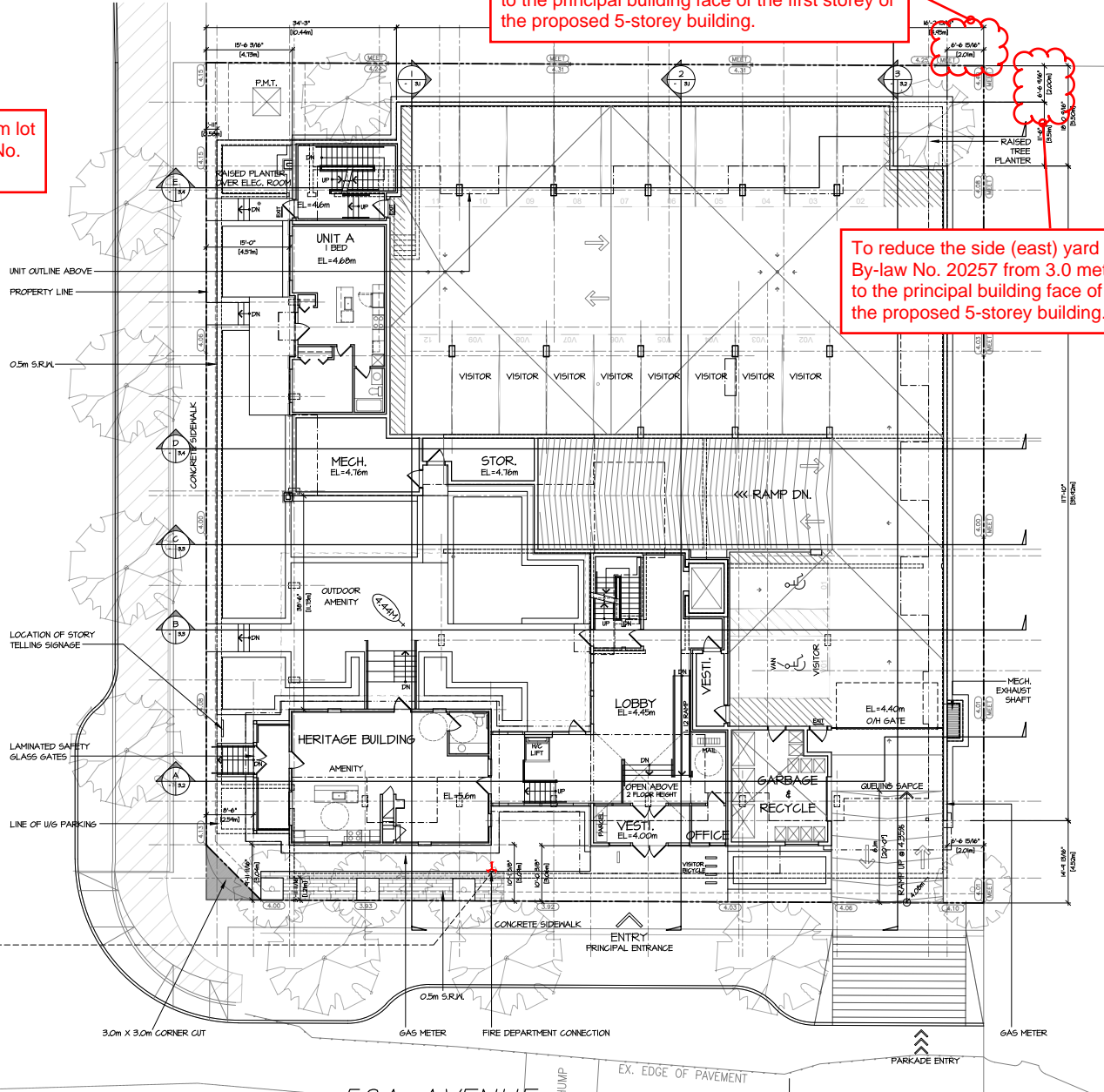
UNIT SUMMARY : 1 BEDROOM APARTMENT : 36 UNITS 75.0% 2 BEDROOM APARTMENT : 8 UNITS 16.7% 3 BEDROOM APARTMENT : 4 UNITS 8.3% TOTAL : 48 UNITS 100%

Table with 4 columns: UNIT TYPE, BED, S.F., UNITS. Includes breakdown for types A through E and a total row.

To increase the maximum lot coverage of CD By-law No. 20257 from 51% to 65%.

To reduce the rear (north) yard setback of CD By-law No. 20257 from 5.5 metres to 2.0 metres to the principal building face of the first storey of the proposed 5-storey building.

To reduce the side (east) yard setback of CD By-law No. 20257 from 3.0 metres to 2.0 metres to the principal building face of the first storey of the proposed 5-storey building.



STORY TELLING SIGNAGE SCALE : NTS

56A AVENUE SITE PLAN SCALE : 1" = 10'-0"

Vertical sidebar containing project metadata: CLIENT (116/621 BC LTD), PROJECT (APARTMENT PROJECT), SHEET CONTENTS (SITE PLAN), DESIGN/DATE/SCALE, and a table with columns for ISSUED FOR, BY, DATE, ISSUE, REV, and a circular seal with the date SEP 2 0 2023.

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7919-0339-00

Planning Report Date: December 21, 2020

**PROPOSAL:**

- **Rezoning** from RF to CD (based on RM-70)
- **Development Permit**
- **Heritage Revitalization Agreement**

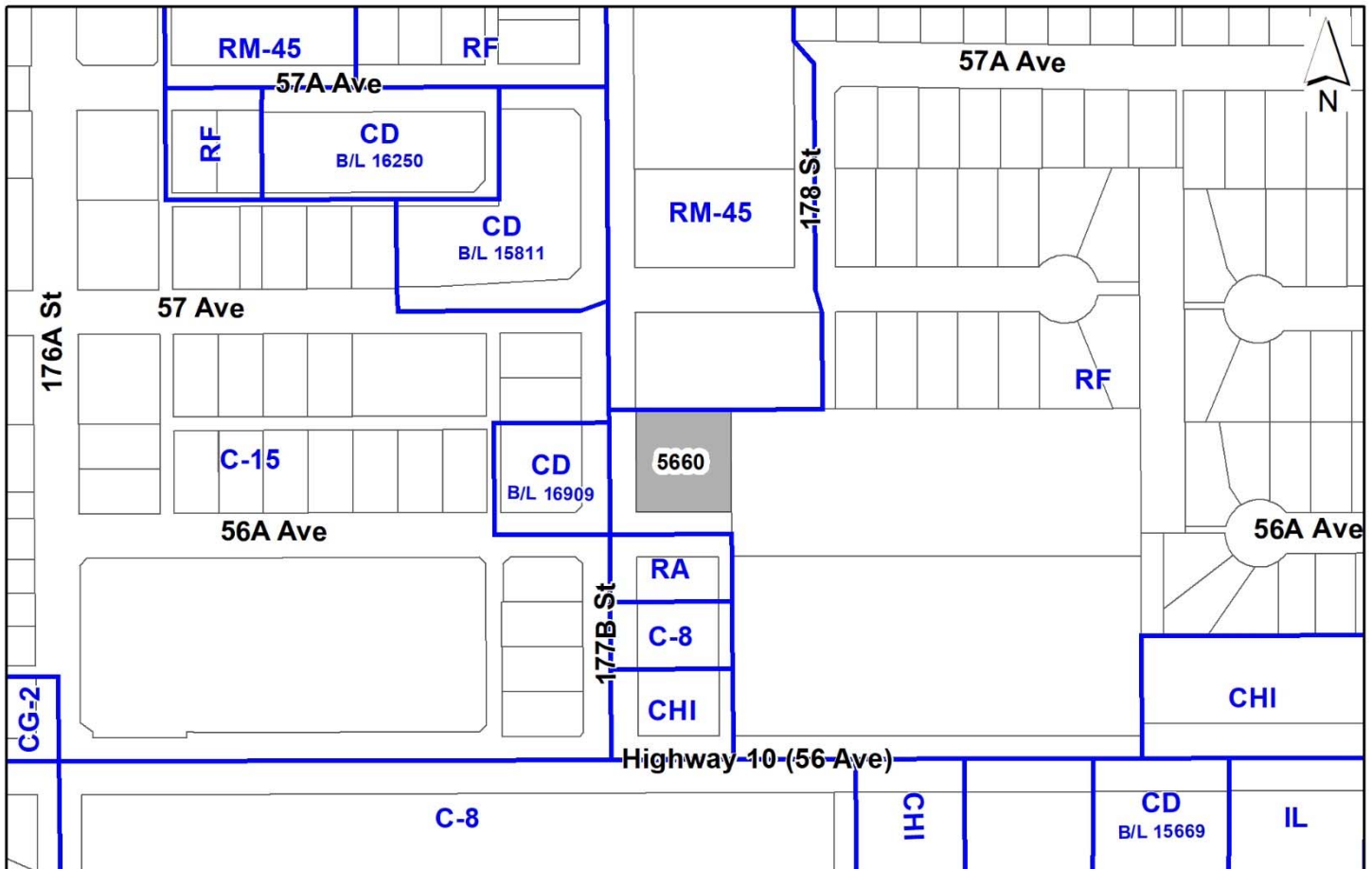
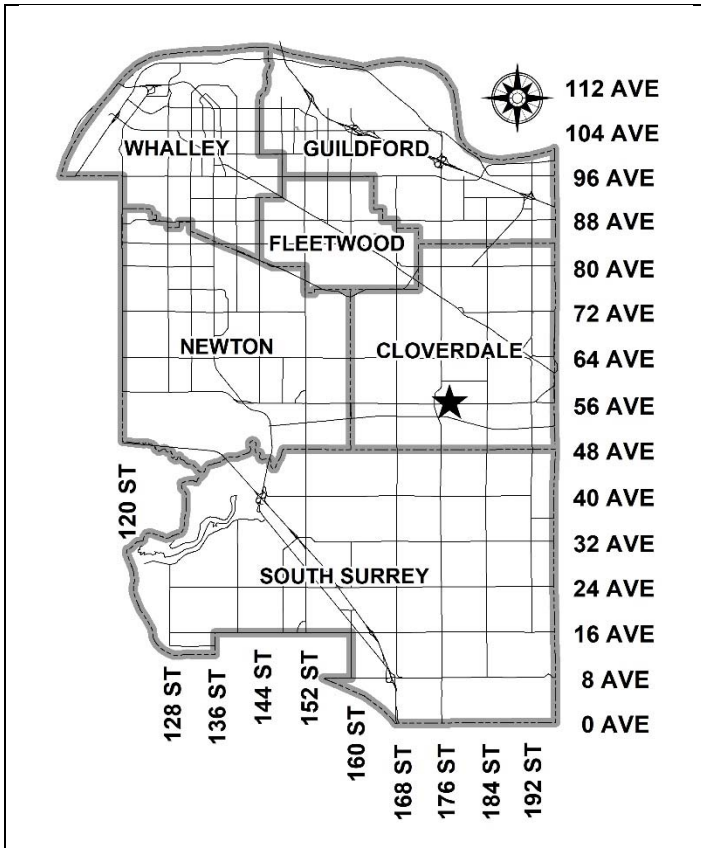
to permit development of a 5-storey, 48-unit apartment building, including the preservation of the Main Residence.

**LOCATION:** 5660 - 177B Street

**ZONING:** RF

**OCP DESIGNATION:** Multiple Residential

**TCP DESIGNATION:** Low-Rise Residential



## RECOMMENDATION SUMMARY

- Bylaw Introduction and set date for Public Hearing for Rezoning.
- A Bylaw be introduced and be given First, Second and Third Reading for a Heritage Revitalization Agreement (HRA) Bylaw to preserve the Main Residence.
- Approval to draft Development Permit for Form and Character.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposal complies with the "Low Rise Residential" designation in the Cloverdale Town Centre Plan (TCP), where heritage preservation is proposed.
- The proposed density, building form and setbacks achieve a more urban form and pedestrian oriented streetscape in compliance with the Cloverdale Town Centre Plan (TCP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The applicant is proposing to preserve the Main Residence, a 1.5-storey "Craftsman" style home constructed in 1924, which is on the Surrey Heritage Register. The proposed retention of this building and adaptive re-use as the indoor amenity space for the proposed residential development, as per the Heritage Revitalization Agreement (HRA), is supported by the Heritage Advisory Committee (HAC).

## RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. A Bylaw be introduced and be given First, Second and Third Readings, to allow the Owner and the City of Surrey to enter into a Heritage Revitalization Agreement to allow for the restoration and maintenance of the Main Residence at 5660 – 177B Street.
3. Council authorize staff to draft Development Permit No. 7919-0339-00 generally in accordance with the attached drawings (Appendix I).
4. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) approval from the Ministry of Transportation & Infrastructure;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (g) provisions of a cash-in-lieu contribution to satisfy the indoor amenity space requirements of the RM-70 Zone, at the rate in effect at the time of Final Adoption of the Rezoning Bylaw;
  - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
  - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services;
  - (j) submission of a Heritage Alteration Permit (HAP) to address the temporary relocation of the Main Residence to and from the subject property, to the satisfaction of the General Manager, Planning & Development; and
  - (k) registration of a volumetric statutory right-of-way for public passage over the proposed heritage public plaza at the south-west corner of the subject property.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	TCP Designation	Existing Zone
Subject Site	Single family dwelling on the Surrey Heritage Register (Main Residence)	Low Rise Residential	RF
North:	3-storey, 36-unit apartment building (Benberg Apartments)	Low Rise Residential	RM-45
East:	Cloverdale Traditional Elementary School.	Institutional	RF
South (Across 56A Avenue):	Single family dwelling on undersized RA lot.	Low Rise Mixed Use	RA
West (Across 177B Street):	3-storey, 29-unit apartment building	Low Rise Residential	CD (Bylaw No. 16909)

### Context & Background

- The 1,960-square metre subject property is located at 5660 – 177B Street in Cloverdale Town Centre.
- The subject site is designated "Multiple Residential" in the Official Community Plan (OCP), "Low Rise Residential" in the Cloverdale Town Centre Plan (TCP) and is currently zoned "Single Family Residential Zone (RF)".
- The subject site contains the Main Residence, a 1.5-storey "Craftsman" style home constructed in 1924, which has been identified by City staff as a candidate for retention through a Heritage Revitalization Agreement (HRA).

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant proposes the following in order to permit the development of a 5-storey, 48-dwelling residential building with two (2) levels of underground parking:
  - Rezoning from RF to CD (based on RM-45);
  - Development Permit for Form and Character; and
  - Heritage Revitalization Agreement (HRA) for the temporary relocation, adaptive re-use, and on-going maintenance of the Main Residence.

- The following tables provides specific details on the proposal:

	Proposed
<b>Lot Area</b>	
Gross Site Area:	1,960 square metres
Road Dedication:	4.5 square metres
Net Site Area:	1,955 square metres
<b>Building Height:</b>	17 metres
<b>Unit Density:</b>	254 units per hectare (99 units per acre)
<b>Floor Area Ratio (FAR):</b>	2.0
<b>Floor Area</b>	
Residential:	3,974 square metres
<b>Residential Units:</b>	
1-Bedroom:	14
2-Bedroom:	34
Total:	48

## Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has provided the following projections for the number of students from this development:**

3 Elementary students at Martha Currie Elementary School  
2 Secondary students at Lord Tweedsmuir Secondary School

(Appendix III)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2023.

Parks, Recreation & Culture: No concerns.

Ministry of Transportation & Infrastructure (MOTI): MoTI has granted preliminary approval to the proposed Rezoning Bylaw for a period of one (1) year.

Surrey Fire Department: The Surrey Fire Department has no concerns with the proposed development application. However, there are some items which will be required to be addressed as part of the subsequent Building Permit application.

Heritage Advisory Commission (HAC):	The Heritage Advisory Committee (HAC) supports the preservation of the Main Residence, endorses the proposed Conservation Plan, and has recommended that the Heritage Revitalization Agreement (HRA) be forwarded to Council for consideration.
Advisory Design Panel:	The proposal was considered at the ADP meeting on October 8, 2020 and was conditionally supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the Rezoning Bylaw, to the satisfaction of the Planning and Development Department.

### Transportation Considerations

- The applicant will be required to complete the following road dedication and construction requirement as part of the subject application:
  - Dedicate 3.0-metre x 3.0-metre corner cut at the intersection of 56A Avenue and 177B Street;
  - Register a 0.5-metre wide statutory right-of-way along the south and west lot lines for sidewalk maintenance; and
  - Construction the north side of 56A Avenue to the Local Road Standard and 177B Street to the Collector Road Standard for those portions of the road right-of-way abutting the lot.
- Driveway access to the underground parkade is proposed from 56A Avenue at the south-east corner of the subject site.
- The subject site is within walking distance from public transit along 177B Street (Route 370 - Cloverdale/Willowbrook, and Route 342 - Langley Centre/Newton Exchange).

### Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## POLICY & BYLAW CONSIDERATIONS

### Regional Growth Strategy

- The subject site complies with the "General Urban" designation in the Metro Vancouver *Regional Growth Strategy* (RGS). In addition, the subject site is located within an identified "Urban Centre" (Cloverdale Town Centre).

## Official Community Plan

### Land Use Designation

- The proposal complies with the "Multiple Residential" designation of the subject site in the Official Community Plan (OCP).

### Themes/Policies

- In selected areas, including Urban Centres and Frequent Transit Development Areas, and where specifically noted in approved Secondary Plans, densities expressed as Floor Area Ratio (FAR) are calculated on a gross site basis, before dedications for roadways or other public purposes are accounted for.

*(As the subject site is located in the Cloverdale Urban Centre, as identified in the OCP and by the Metro Vancouver Regional Growth Strategy (RGS), the proposed FAR is calculated on a gross site basis, before road dedications.)*

- The proposed development complies with the following policies in the OCP:
  - A1.1 – Support compact and efficient land development that is consistent with the Metro Vancouver Regional Growth Strategy (RGS)  
  
*(The proposed development is a more efficient use of the land and is consistent with the RGS).*
  - A1.3 – Accommodate urban land development according to the following order of growth management priorities:
    - a. City Centre, Town Centre, Urban Centre, Frequent Transit Development Areas and Skytrain Corridor Planning Area locations well-served by local services, infrastructure and transit.

*(The proposed development is located within both a Town Centre and Urban Centre).*

- B2.1 – Support each Town Centre as the primary centre for its community, the location of higher intensity urban development, and the location of community-servicing civic, cultural, social and recreational facilities.
- B2.16 – Enhance each Town Centre's distinctiveness by promoting, preserving and enhancing unique characteristics such as architectural styles, built and natural heritage, cultural heritage, social gathering spaces, places of worship, landmark buildings, landscapes or signs.
- F8.1 – Employ tools under the authority granted through the Local Government Act, Community Charter and Heritage Conservation Act (as amended) to identify, retain, preserve, reuse, protect, integrate, maintain and revitalize built, natural, and cultural sites, features and landscapes that have important historical, architectural or cultural significance.



*(The proposed development includes the preservation and adaptive re-use of the Main Residence, a "Craftsman" style house constructed in 1924, through a Heritage Revitalization Agreement (HRA). The Main Residence is significant for its association with the inter-war agricultural development of Cloverdale and for its connection to the original Owner and well-known Surrey resident, John. J. Main.)*

**Secondary Plans**

Land Use Designation

- The proposal complies with the "Low Rise Residential" designation of the subject site in the Cloverdale Town Centre Plan (TCP), where heritage preservation is proposed.

Themes/Policies

- The proposed development complies with the following objectives and policies in the Cloverdale Town Centre Plan:
  - Attract residents by improving the balance of housing types and affordability as well as focus new housing within walking distance of the downtown core.

*(The proposed development includes a mixture of 1- and 2-bedroom dwelling units ranging in size from 51 to 84 sq.m. in size, which accommodates a range of housing demographics (e.g. seniors, young professionals, families). The subject site is within a 5-minute walk of the downtown core of Cloverdale Town Centre (176 Street)).*

- A minimum of 30% of new multi-family housing units should be family oriented 2-bedroom or greater, and at least 10% 3-bedroom or greater.

*(Over 70% (34 out of 48) of the total proposed dwelling units are 2-bedroom, which greatly exceeds the minimum of 30% requested under the Cloverdale Town Centre Plan guidelines. No 3-bedroom units are proposed).*

**CD Bylaw**

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed 4-storey, 48-unit low-rise, medium-density residential building with heritage retention on the subject site. The proposed CD Bylaw for the proposed development site identifies the uses, densities and setbacks proposed. The CD Bylaw will have provisions based on the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone, and the proposed CD Bylaw is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
<b>Floor Area Ratio:</b>	1.5	2.0
<b>Lot Coverage:</b>	33%	51%
<b>Yards and Setbacks</b>	7.5 metres along all lot lines.	North: 5.5 metres East: 3.0 metres South: 3.0 metres

		West: 4.5 metres
<b>Principal Building Height:</b>	50 metres	17 metres
<b>Permitted Uses:</b>	<ul style="list-style-type: none"> <li>Multiple unit residential buildings</li> <li>Ground-oriented multiple unit residential buildings.</li> <li>Child care centres.</li> </ul>	<ul style="list-style-type: none"> <li>Multiple unit residential buildings</li> <li>Ground-oriented multiple unit residential buildings.</li> </ul>
<b>Amenity Space:</b>		
Indoor Amenity:	3.0 square metres per dwelling unit (144 sq.m. in total)	The proposed 115 m <sup>2</sup> (+ CIL of \$15,000.00) meets the Zoning Bylaw requirement.
Outdoor Amenity:	3.0 square metres per dwelling unit (144 sq.m. in total)	The proposed 150 m <sup>2</sup> meets the Zoning Bylaw requirement.
<b>Parking (Part 5)</b>		<b>Proposed</b>
<b>Number of Spaces</b>		
Residential:	69 spaces	72 spaces
Residential Visitor:	10 spaces	10 spaces
Total:	79 spaces	82 spaces
<b>Bicycles Spaces</b>		
Residential Secure:	58 bicycle spaces	63 bicycle spaces
Residential Visitor:	6 bicycle spaces	6 bicycle spaces

- The floor area ratio (FAR) has been increased from 1.5 FAR in the RM-70 Zone to 2.0 FAR (net) in the proposed CD Zone. The proposed density complies with the "Multiple Residential" designation in the OCP and the "Low Rise Residential" designation in the Cloverdale TCP.
- The maximum lot coverage has been increased from 33% in the RM-70 Zone to 51% in the CD Zone to accommodate the built form, which is generally consistent with other more recent multiple unit residential projects in the Cloverdale Town Centre Plan area.
- The reduced setbacks for the proposed 5-storey apartment building, from 7.5 metres to 3.0 metres along the south lot line (56A Avenue) and 4.5 metres along west lot line (177B Street), achieve a more urban, pedestrian-oriented streetscape, which is consistent with the goals and objectives of the OCP and Cloverdale Town Centre Plan. The reduced setback for the from 7.5 metres to 5.5 metres along the north lot line assists in accommodating the built form while still providing for a sufficient setback and interface between the proposed 5-storey building and existing 3-storey building to the immediate north (17788 – 57 Avenue).
- To accommodate the retained heritage building (Main Residence), reduced setbacks from 7.5 metres to 3.0 metres along the south lot line (56A Avenue) and 2.4 metres along the west lot line (177B Street) are proposed. Approximately 10 risers leading to the refurbished verandah will be permitted to encroach into the west yard setback for the heritage building.
- The proposed CD Bylaw will also allow for minor encroachment of balcony structure supports, canopies, and roof overhangs into the required setbacks.

- The minimum parking requirement is 69 residential parking spaces and 10 visitor parking spaces, for a total of 79 parking spaces. The applicant is proposing 72 residential parking spaces and 10 visitor parking spaces, for a total of 82 parking spaces, which exceeds the minimum requirement. The proposed bicycle parking complies with the minimum requirements of the Zoning Bylaw.

### **Capital Projects Community Amenity Contributions (CACs)**

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs and will provide \$1,500/unit if issuance of the Building Permit occurs by December 31, 2021, with rates increasing to \$2,000/unit as of January 1, 2022. The contribution will be payable at the rate applicable at the time of the issuance of the Building Permit.

### **Affordable Housing Strategy**

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

### **Public Art Policy**

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption of the Rezoning Bylaw.

### **PUBLIC ENGAGEMENT**

- Pre-notification letters were sent out on April 6, 2020, and the Development Proposal Signs were installed on April 17, 2020 to advise the public of the proposed development. To date, staff have received two (2) email responses from area residents: (*staff comments in italics*):
  - One resident expressed concerns with the proposed building height, on-site tree removal and the potential impacts of the proposed development on street parking in the area.

*(The proposed building height (5-storey or 17 metres) complies with the maximum building height permitted under the "Low Rise Residential" designation in the Cloverdale*

*Town Centre Plan, where heritage preservation is proposed. The applicant has worked with City staff to limit the overall massing of the proposed building to reduce impacts to existing 3- and 4-storey buildings in the immediate area. The proposed form and character is supported by City staff and was given conditional support by the City's Advisory Design Panel (ADP).*

*The applicant is proposing to remove 14 trees on-site trees to permit the proposed development, however, 28 new trees are proposed to be planted on site along with shrubs, grasses, and groundcover. The applicant will work with the City's Engineering Department to maximize street tree planting along both 56A Avenue and 177B Street.*

*The applicant is proposing 82 parking stalls in a two-level underground parkade, which is slightly more than the Zoning Bylaw requirements. This includes 10 parking spaces of residential visitors. In addition, the Developer will continue to work with the City's Engineering staff to maximize on-street parking opportunities through both project scoping and detailing, should Council grant Third Reading to the subject Rezoning Bylaw).*

- One resident expressed concerns about some of the proposed residential units overlooking the adjacent Cloverdale Traditional Elementary School grounds to the east.

*(Only 16 of the proposed 48 dwelling units will have windows or balconies overlooking the adjacent Cloverdale Traditional Elementary School grounds to the east.*

*The overlap between occupancy of the dwelling units and use of the adjacent grounds during school hours is likely to be minimal, however, Crime Prevention Through Environmental Design (CPTED) principles encourage the natural surveillance of such areas, especially after hours and over the weekend, to dissuade potential nuisance or criminal behaviour).*

- The subject development application was reviewed by the Cloverdale Business Improvement Association, who confirmed their support for the proposal.
- In response to the pre-notification, the Cloverdale Community Association (CCA) requested to see the proposed layout for the subject application, however, they did not respond to requests to provide formal comments as of Tuesday, December 15, 2020.

## DEVELOPMENT PERMITS

### Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Cloverdale Town Centre Plan (TCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Cloverdale Town Centre Plan (TCP). The applicant has worked with staff to improve the integration of the retained heritage building (Main Residence) into the overall building massing and use program, and to develop a design that both incorporates Cloverdale Town Centre Plan design guidelines and responds to neighbouring context, including confirmation of appropriate interfaces with the public realm and adjacent properties.

- Due to subsurface soil conditions within the Cloverdale Town Centre Plan area, the ability to achieve more than one (1) level of underground parking has proven to be a challenge. However, the applicant's geotechnical consultant has confirmed that a two level underground parking structure is feasible on the subject site through the use of a modified floating concrete slab foundation.
- The comprehensive geotechnical report, prepared by the applicant's geotechnical consultant, was peer-reviewed by an independent, third-party Qualified Professional and found to be acceptable with respect to the proposed site preparation, excavation stabilization and foundation design. City staff have noted that should the proposed foundation design be found to be infeasible for the subject development proposal, resulting in the potential loss of one (1) level of underground parking, the applicant will be required to revise the subject proposal to ensure compliance with off-street parking requirements in the Surrey Zoning Bylaw. In addition, City staff have noted that no variances for a reduction to off-street parking requirements will be supported in future.

#### Existing Heritage Building and Proposed Heritage Revitalization Agreement (HRA)

- The development proposal includes the retention of the 1.5-storey Main Residence, which is currently located at the south-west corner of the subject site.
- Constructed in 1924, the Main Residence is significant for its association with the interwar agricultural development of Cloverdale and for its connection to original owner and well-known Surrey resident, John J. Main. The house is valued for its "Craftsman" influenced vernacular architecture.
- The character-defining elements of the Main Residence include:
  - Location along 177B Street;
  - Form, scale and massing as expressed by a 1.5-storey height and simple, shed-roof dormer as well as a regular rectangular plan;
  - Wood-frame construction, with original cedar shingle cladding beneath later stucco;
  - Vernacular "Craftsman" inspired details such as the front gabled roof with triangular wooden brackets, exposed rafter tails, pointed bargeboards and main floor set significantly above grade and accessed by a flight of stairs;
  - Original window placement and window assemblies; and
  - Interior masonry red brick chimney.
- The heritage protection instrument applied for, a Heritage Revitalization Agreement (HRA), is a voluntary agreement between landowners and the City. The agreement is regulated through a Bylaw under Section 610 of the Local Government Act. The attached HRA (Appendix IX) specifies the owner's obligations to protect, conserve, and maintain the building and includes provisions for replication and compensation in the event that the building is destroyed.

- The HRA also includes a Conservation Plan that outlines:
  - The heritage significance of the building;
  - The character-defining elements of the building;
  - The maintenance and restoration requirements consistent with the heritage character; and
  - Interventions that would require or would not require issuance of Heritage Alteration Permits (HAPs) before works can be completed. While the HRA and Conservation Plan allow for normal maintenance any significant alterations in the future will be subject to a Council-authorized HAP.
- The applicant will be required to submit a subsequent HAP to address the temporary relocation of the Main Residence to and from the subject site to permit the construction of the proposed underground parking structure and 5-storey apartment building, to the satisfaction of the General Manager, Planning & Development.

#### Site Planning and Building Design

- The proposed development consists of a "T"-shaped, 5-storey low-rise residential building with two (2) levels of underground parking containing 48 dwelling units. The proposed unit consists of 14 1-bedroom and 37 2-bedroom apartment units, which range in size from 51 to 84 square metres.
- Following temporary relocation off-site to accommodate the construction of the proposed underground parking structure, the Main Residence is proposed to be relocated to the south-west corner of the subject site where it will function as the indoor amenity space for the proposed apartment building. A 1-storey glass-clad entrance lobby will provide a visual and physical linkage between the heritage building and the apartment building, with the horizontal curtain wall mullion set at the same height as the top edge of the horizontal wooden siding on the Main Residence.
- The existing stucco siding on the Main Residence will be removed and the existing cedar shingles and horizontal siding repaired and, where necessary, replaced and the existing asphalt roof will be replaced with cedar shingles. All existing wooden door and window assemblies will be repaired and maintained in their existing locations, except one central window on the north elevation which is to be removed to accommodate an additional door and stair connection to the proposed outdoor amenity space. The existing enclosed verandah on the west façade is to be restored to its original open-sided condition, with new stairs facing towards the 177B Street frontage. An access gate and appropriate signage is proposed along the 177B Street stairs to prevent the public from accessing either the verandah or interior of the Main Residence as they will remain on private property and for the sole use of the future apartment residents and their guests.

- Further visual connection between the Main Residence and proposed apartment building is provided through the use of grey ledgerstone veneer cladding and grey Hardi-panels over the first two storeys of the apartment building, terminating at the height of the roof peak of the heritage building. This also serves to delineate a two-storey "townhouse expression" along the 56A Avenue (south) and 177B Street (west) frontages. Grey Hardi-panels are also used to accentuate the building articulations along south and west building facades. The upper storeys of the apartment building will be clad in white Hardi-panel siding with the balconies treated with clear glass guards and powder-coated aluminum railings to ensure that the 5-storey apartment building provides a subtle backdrop and does not visually overwhelm the 1.5-storey heritage Main Residence. Grey roof overhangs and fascia will cap the edge of the proposed flat roof.
- The proposed 1-storey entrance lobby, located along the 56A Avenue frontage and set forward from the 5-storey building form, is accentuated by the use of use of more extensive glazing as well as a canopy projection that provides both weather protection and an enhanced sense of "entrance" to the building.

### Landscaping

- The landscape plans propose a total of 28 trees as well as a significant number of low-lying and ground cover species to be planted throughout the subject site.
- Ground-level residential units each have access to a private, raised patio space which are screened from the adjacent public sidewalk through low-lying shrubs, including Hill's Yew hedging, and individual trees. Each patio can be accessed either through the dwelling unit or via gated street-level entrance.
- A corner plaza is proposed at the intersection of 56A Avenue and 177B Street, which contains benches for seating, a bicycle storage rack, perimeter planting and a row of four (4) Akebono Cherry trees. The corner plaza will be delineated from the adjacent concrete public sidewalk through the use of decorative hardscaping.

### Indoor Amenity

- The RM-70 Zone requires that 144 square metres of indoor amenity space be provided based on the provision of 3.0 square metres of amenity space per proposed dwelling unit.
- The applicant is proposing to utilize the retained heritage building (Main Residence) as the primary indoor amenity space, which will be connected to the proposed apartment building through a stairway and accessible lift accessed through the 56A Avenue entrance lobby. The proposed 80-square metre indoor amenity space will consist of a multi-purpose room, kitchen, and washroom facilities. An additional multi-purpose amenity room is proposed on the 2<sup>nd</sup> floor of the apartment building, with an open to below space overlooking the entrance lobby area.

- The proposed 115 square metres of indoor amenity space does not meet the minimum 144 square metres of total indoor amenity space required under the RM-70 Zone (upon which the proposed CD Bylaw is based), but does exceed the minimum 74 square metres of indoor amenity space that must be provided on a site for 3- to 6-storey high apartment building. The applicant will provide a monetary contribution of \$15,000.00 (based on \$1,500 per unit of the indoor amenity space required) in accordance with the Zoning Bylaw and City policy to address the shortfall under the RM-70 Zone.

#### Outdoor Amenity

- The RM-70 Zone requires that 144 square metres of outdoor amenity space be provided based on the provision of 3.0 square metres of amenity space per proposed dwelling unit.
- The applicant is proposing approximately 150 square metres of outdoor amenity space, which is located within a groundlevel central courtyard directly adjacent to the proposed indoor amenity space contained within the Main Residence, and consists of flexible seating space, a lounge area with harvest table and outdoor barbeque as well as a children's play area with timber play table and climbing rocks. The proposed outdoor amenity space is framed by a series of raised planters containing both low-level shrubs as well as a series of shade trees (Katsura Tree and Japanese Dogwoods).
- The proposed 150 square metres of outdoor amenity space exceeds the minimum required 144 square metres of outdoor amenity space (based on 3 square metres per dwelling unit) under the Zoning Bylaw.

#### Advisory Design Panel

ADP Date: October 8, 2020

- The applicant has generally resolved most of the outstanding items from the ADP review (see Appendix VIII). The following items have been generally addressed to the satisfaction of staff:
  - Development of the interface between the retained heritage building and the proposed apartment building, including refinement of the landscaping features and public plaza at the south-west corner of the subject site.
  - Enhancement of the interface between the proposed indoor amenity space contained within the retained heritage building and the proposed outdoor amenity space directly to the north.
- The applicant and staff will continue to work on the following items:
  - Further refinement of the material contrasts between the retained heritage building and proposed apartment building.
- Any additional revisions will be completed prior to Council consideration of Final Adoption of the Rezoning Bylaw and Heritage Revitalization Bylaw, to the satisfaction of the Planning and Development Department.



**TREES**

- Corey Plester, ISA Certified Arborist of Mike Fadum & Associates Limited, prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

<b>Tree Species</b>	<b>Existing</b>	<b>Remove</b>	<b>Retain</b>
<b>Deciduous Trees</b>			
Apple	3	3	0
Bigleaf Maple	1	1	0
Horse Chestnut	1	1	0
<b>Coniferous Trees</b>			
Douglas-fir	7	7	0
<b>Total</b>	<b>12</b>	<b>12</b>	<b>0</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>28</b>	
<b>Total Retained and Replacement Trees</b>		<b>28</b>	
<b>Contribution to the Green City Program</b>		<b>Not applicable</b>	

- The Arborist Assessment states that there is a total of 12 protected trees on the site. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, underground parking facilities, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 24 replacement trees on the site. The applicant is proposing 28 replacement trees, exceeding City requirements.
- A total of ten (10) shared or off-site trees are proposed for removal, in addition to the 14 on-site trees noted above. The applicant has obtained permission from both adjacent property owners to the north and east of the subject site for the removal of these shared or off-site trees.
- The new trees on the site will consist of a variety of trees including Japanese Dogwood, Akebono Cherry and Katsura Tree.
- In summary, a total of 28 trees are proposed to be retained or replaced on the site with no contribution to the Green City Program.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, Landscape Plans and Perspectives
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey and Tree Preservation
- Appendix V. Heritage Advisory Commission Minutes (May 13, 2020 and Draft December 9, 2020)
- Appendix VI. Cloverdale Town Centre Plan
- Appendix VII. Aerial Photo (COSMOS, April 2020)
- Appendix VIII. ADP Comments and Response
- Appendix IX. Heritage Revitalization Agreement

*approved by Ron Gill*

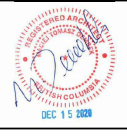
Jean Lamontagne  
General Manager  
Planning and Development

CRL/cm



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ISSUE	DATE	BY	REASON FOR



CLIENT: 1161621 BC LTD  
 PROJECT: APARTMENT PROJECT  
 SHEET CONDURS: 5660 111 B STREET, SURREY  
 SHEET CONDURS: RENCER (111B STREET)

DESIGN:	DATE:	SCALE:
11/10/21	DEC 15 20	1" = 1'-0"
DRAWN:	DATE:	SCALE:

**barnett dembek**

UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H6

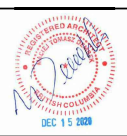
PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
18031	AC-0.1
PROJECT NO.	REV. NO.

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ISSUE	DATE	BY	ISSUED FOR



Design: 1:10  
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 Date: 15 Dec 20  
 Scale: 1" = 1'-0"

Client: 1181624 BC LTD  
 Project: APARTMENT PROJECT  
 5660 171 B STREET, SURREY  
 Sheet Contents: RENDER (CORNER OF 171B ST. AND 56 AVENUE)



UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

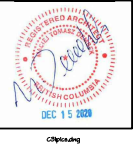
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 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
18031	AC-02
PROJECT NO.	REV. NO.



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ISSUE	DATE	BY	REASON FOR



DESIGN NO.	118031
CLIENT	118031 BC LTD
PROJECT	APARTMENT PROJECT 5660 171 B STREET, SURREY
SHEET CONTAINS	RENDER (566A AVENUE)
DATE	DEC 15 20
SCALE	1" = 1'-0"
DRAWN BY	
DESIGNED BY	

**barnett dembek**  
ARCHITECTS INC.

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
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CLIENT NO.	118031	SHEET NO.	AC-03
PROJECT NO.	18031	REV. NO.	

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### DEVELOPMENT DATA

SITE AREA :  
 GROSS : 21,048 S.F. 0.484 ACRES 1,960.1 M2 0.196 HA.  
 ROAD DEDICATION : 48 S.F. 0.001 ACRES 4.5 M2 0.000 HA.  
 NET : 21,050 S.F. 0.483 ACRES 1,955.6 M2 0.196 HA.

DENSITY : 99.4 U.P.A. 245 U.P.H.A. (48 UNITS)  
 F.A.R. : 2.0 (42,116 S.F.)  
 2.03 (ON GROSS SITE)  
 SITE COVERAGE : 50.0% (10,622 S.F.)  
 BUILDING HEIGHT : 5 STOREY

AMENITY :  
 REQUIRED :  
 INDOOR : 48 UNITS x 32.3 S.F. PER = 1,550 S.F.  
 OUTDOOR : 48 UNITS x 32.3 S.F. PER = 1,550 S.F.  
 PROPOSED :  
 INDOOR : 1,244 S.F.  
 OUTDOOR : 1,615 S.F.

UNIT SUMMARY  
 1 BEDROOM APARTMENT : 14 UNITS  
 2 BEDROOM APARTMENT : 34 UNITS  
 TOTAL : 48 UNITS

UNIT BREAKDOWN

A1	1 BED	548 S.F. x 5 UNITS	= 2,740 S.F.
A2	1 BED	625 S.F. x 4 UNITS	= 2,500 S.F.
A4	1 BED	544 S.F. x 1 UNITS	= 544 S.F.
A5	1 BED	606 S.F. x 3 UNITS	= 1,818 S.F.
A6	1 BED	636 S.F. x 1 UNITS	= 636 S.F.
B1	2 BED	848 S.F. x 10 UNITS	= 8,480 S.F.
B2	2 BED	856 S.F. x 4 UNITS	= 3,424 S.F.
B3	2 BED	804 S.F. x 5 UNITS	= 4,020 S.F.
B4	2 BED	901 S.F. x 5 UNITS	= 4,505 S.F.
B5	2 BED	760 S.F. x 5 UNITS	= 3,800 S.F.
B6	2 BED	784 S.F. x 4 UNITS	= 3,136 S.F.
B8	2 BED	830 S.F. x 1 UNITS	= 830 S.F.
		TOTAL :	48 UNITS 36,430 S.F.

PARKING :  
 REQUIRED :  
 1 BED - 1.3 SPACES x 14 UNITS = 18.2 SPACES  
 2 BED+ - 1.5 SPACES x 34 UNITS = 51.0 SPACES  
 VISITOR - 0.2 SPACES x 48 UNITS = 9.6 SPACES  
 TOTAL : 78.8 SPACES  
 PROVIDED :  
 RESIDENTIAL : 72 SPACES  
 VISITOR : 10 SPACES  
 TOTAL : 82 SPACES

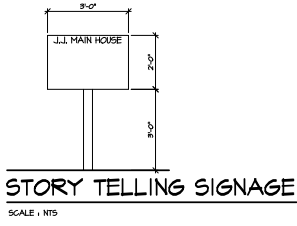
INCLUDING 31 S/C  
 & 2 ACCESSIBLE STALLS  
 OF WHICH 1 IS FOR A VAN

BICYCLE SPACES :  
 REQUIRED : 51.6 SPACES  
 PROVIDED : 63 SPACES

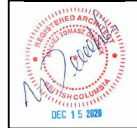
NOTE:  
 SUPPLY AND INSTALL ELEVATOR CALL BUTTONS IN A HORIZONTAL MANNER COMPLIANT WITH BCBC AND SAFETY BC REQUIREMENTS  
 NOTE:  
 PROVIDE CONDUIT TO PRINCIPAL ENTRY DOORS FOR FUTURE POWER DOOR OPERATIONS

177B STREET

56A AVENUE



CONCEPTUAL SITE PLAN  
 SCALE : 3/32" = 1'-0"



DESIGN :	11/16/21 BC LTD
DATE :	Dec. 9, 2021
SCALE :	3/32" = 1'-0"
PROJECT :	APARTMENT PROJECT 5660 177 B STREET, SURREY
SHEET CONTAINS :	CONCEPTUAL SITE PLAN

**barnett dembek**  
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 7536 130 STREET,  
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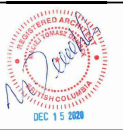
CLIENT NO.	SHEET NO.
PROJECT NO.	AC-1.0
REV. NO.	
18031	



CONTEXT PLAN

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REV#	DATE	BY	ISSUE



CLIENT :	1161624 BC LTD
DESIGN :	M.D.
PROJECT :	APARTMENT PROJECT
DATE :	Dec. 9, 20
SCALE :	1" = 40'-0"
SHEET CONTAINS :	CONTEXT PLAN

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

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CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18031	AC-1.2



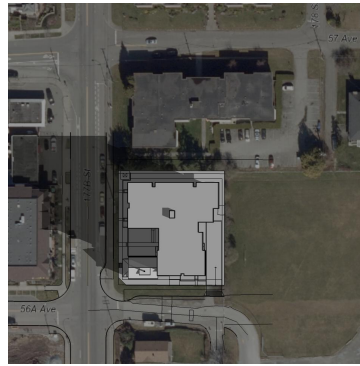




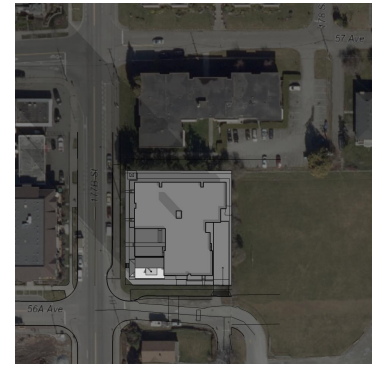
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JUNE 21, 9:00 AM



SEPTEMBER 21, 9:00 AM



DECEMBER 21, 9:00 AM



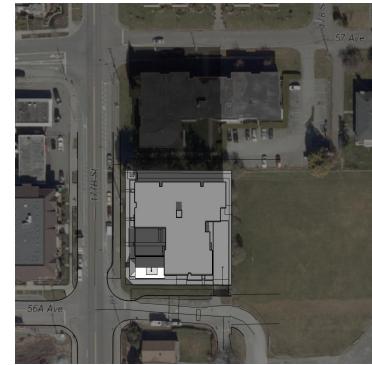
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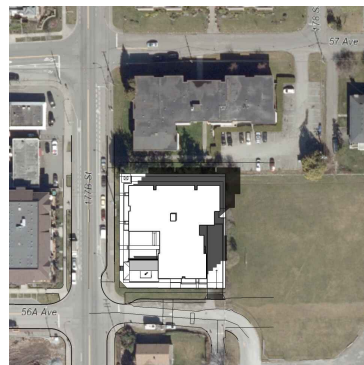
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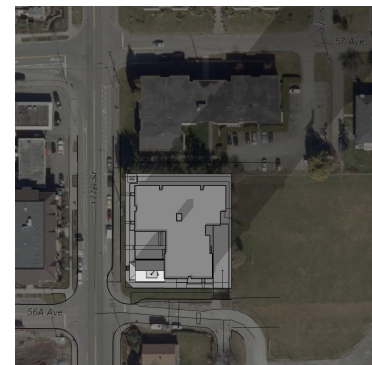
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JUNE 21, 3:00 PM



SEPTEMBER 21, 3:00 PM



DECEMBER 21, 3:00 PM

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ISSUE NO.	ISSUED FOR	DATE	BY



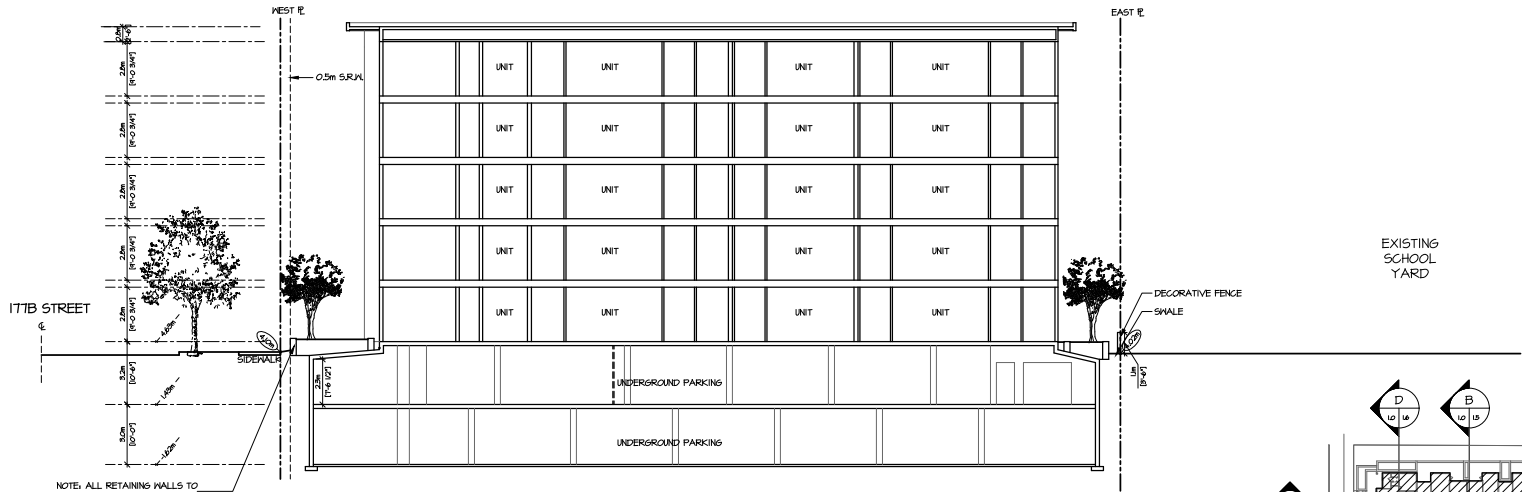
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CLIENT : 1161624 BC LTD  
 PROJECT : APARTMENT PROJECT  
 SHEET NO. : ANALYSIS  
 PROJECT : 5660 171 B STREET, SURREY  
 SHEET TITLE : ANALYSIS

**barnett dembek**  
 UNIT 135  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8  
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 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18031	AC-14

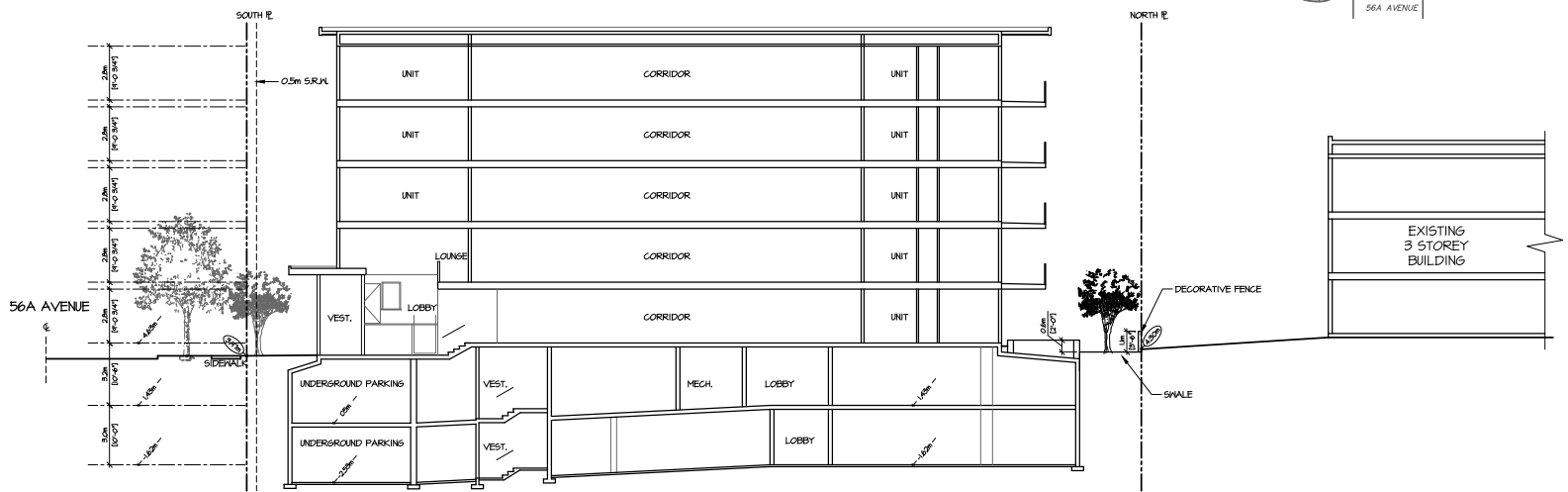
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**SECTION A-A**

SCALE : 3/32" = 1'-0"

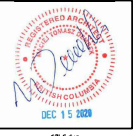
NOTE: ALL RETAINING WALLS TO BE MAXIMUM 0.6M (2') HIGH



**SECTION B-B**

SCALE : 3/32" = 1'-0"

REV	DATE	BY	ISSUE FOR

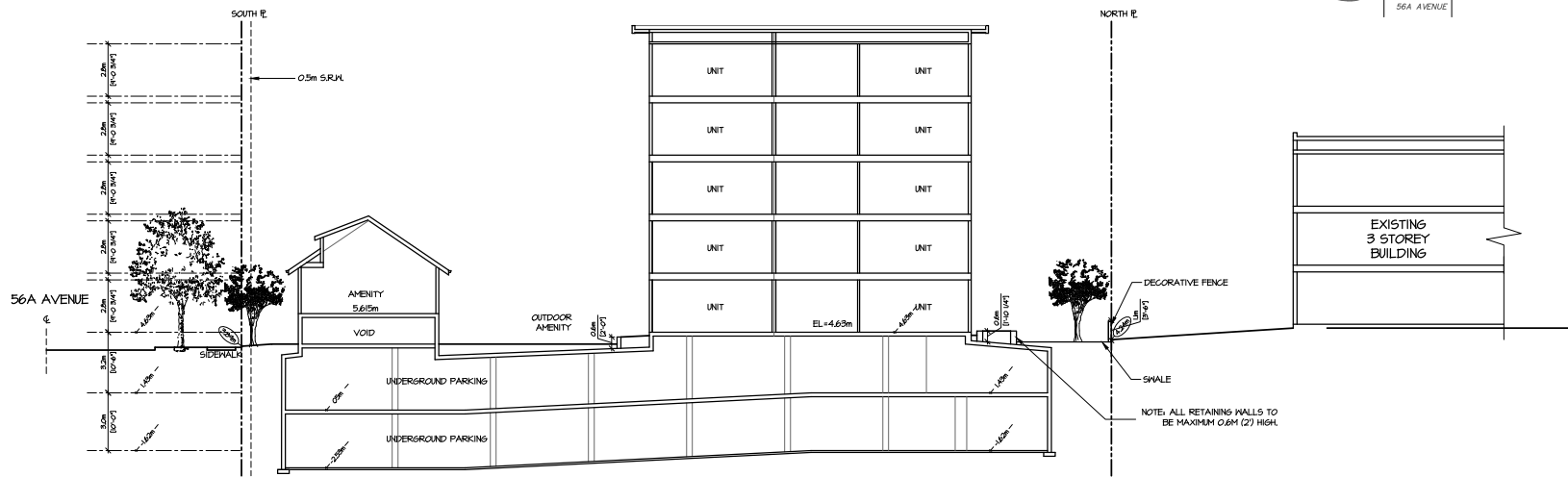
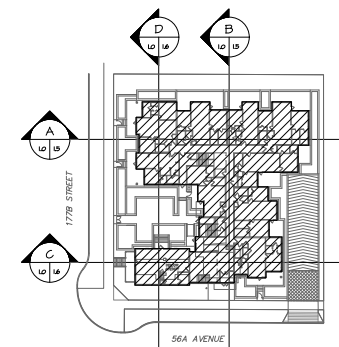
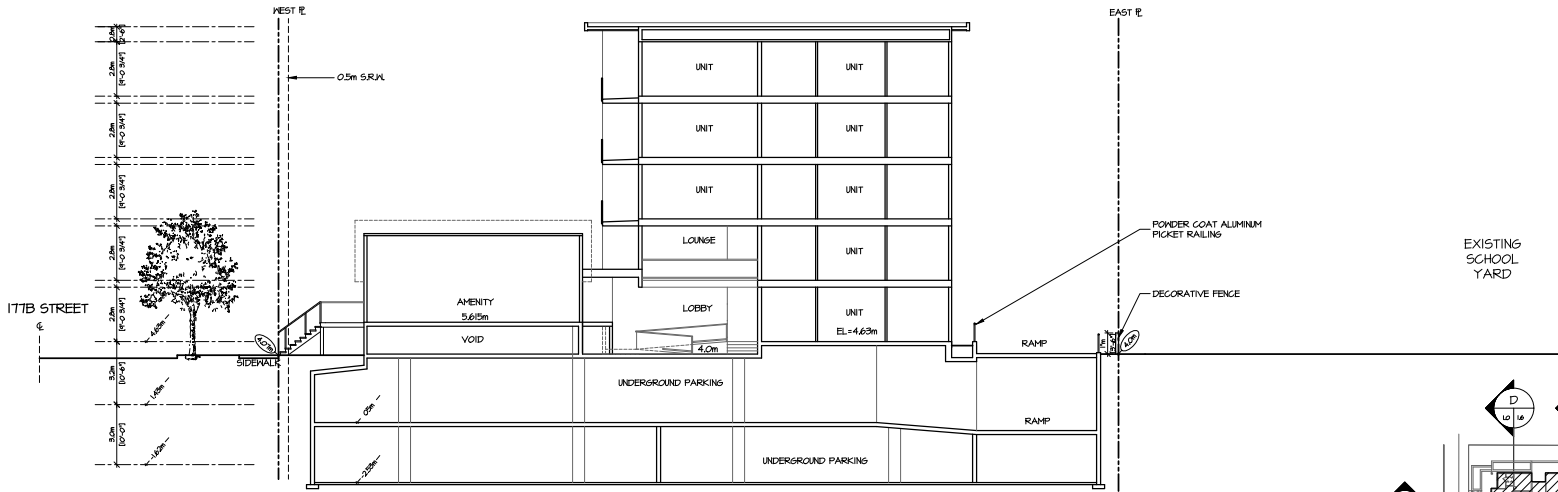


DESIGN :	11/16/2020 BC LTD
M.D.	
DRAWN :	
DATE :	Dec. 15 20
SCALE :	3/32" = 1'-0"
CLIENT :	1161624 BC LTD
PROJECT :	APARTMENT PROJECT 5660 ITTB STREET, SURREY
SHEET CONTAINS :	SITE SECTIONS

**barnett dembek**  
 ARCHITECTS INC.  
 UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

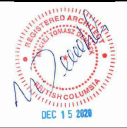
PHONE: (604) 597-7100  
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CLIENT NO.	SHEET NO.
PROJECT NO.	AC-15
18031	



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REV#	DATE	BY	ISSUE



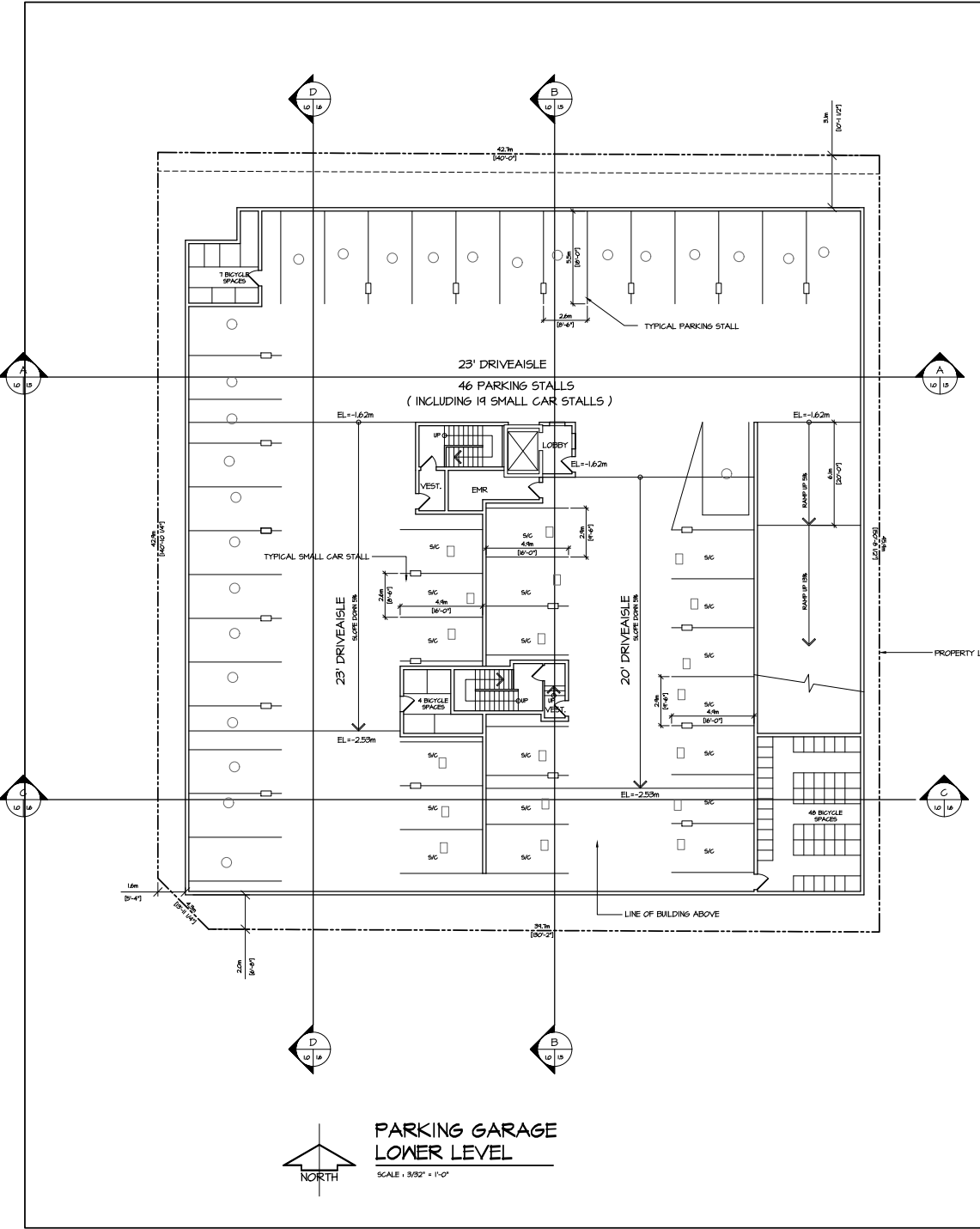
DESIGN: M.D.	DRAWN: M.D.	DATE: 09-30	SCALE: 3/32" = 1'-0"
CLIENT: 11616242 BC LTD			
PROJECT: APARTMENT PROJECT 5660 177 B STREET, SURREY			
SHEET CONTENTS: SITE SECTIONS			

**barnett dembok**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
12031	AC-1.6

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**OPTED REQUIREMENTS FOR UNDERGROUND PARKING**

THE FOLLOWING IS A SUMMARY OF OPTED REQUIREMENTS FOR THE UNDERGROUND PARKING AS RECOMMENDED BY THE SURREY RCMP.

- a) PAINT THE UNDERGROUND PARKING WALLS & COLUMNS WHITE.
- b) INSTALL HARD-WIRED VIDEO SURVEILLANCE EQUIPMENT IN U/G PARKING.
- c) AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED IN U/G PARKING AND STAIRWELLS.
- d) PROVIDE VISION PANELS IN ALL DOORS IN U/G PARKING LEADING TO PUBLICLY ACCESSIBLE AREAS.
- e) ELEVATOR LOBBY IN U/G PARKING AREA SHOULD BE GLAZED TO PERMIT NATURAL SURVEILLANCE.
- f) ENSURE ADEQUATE LIGHTING THROUGHOUT THE U/G PARKING.
- g) PROVIDE ROUGH SURFACE FINISH ON RAMPS TO DETER SKATEBOARDERS.

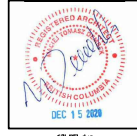
NOTE:  
ALL PARKING STALLS AGAINST WALLS HAVE 0.3m EXTRA WIDTH.

NOTE:  
ALL DEADEND DRIVEAISLES AND PARKING STALLS ARE 0.6m LONGER AND WIDER THAN THE MINIMUM STALL WIDTH.

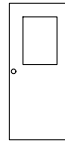
NOTE:  
ALL PARKING STALLS AND DRIVEAISLES TO CONFORM WITH SURREY ZONING BYLAW 12000 PART 5 REQUIREMENTS

NOTE:  
SUPPLY AND INSTALL ELEVATOR CALL BUTTONS IN A HORIZONTAL MANNER COMPLIANT WITH BCBC AND SAFETY BC REQUIREMENTS

REVISION NO.	DATE	BY	ISSUED FOR



DESIGN :	DATE :	SCALE :
11/01/2018	11/01/2018	1/32" = 1'-0"
CLIENT : 11616228 BC LTD		
PROJECT : APARTMENT PROJECT		
5660 111 B STREET, SURREY		
SHEET CONTAINS : UNDERGROUND PARKING GARAGE LOWER LEVEL		



GLAZED EXIT DOORS

NTS

NOTE:  
CONSTRUCT AND INSTALL FOR EVERY RESIDENTIAL PARKING SPACE AND 50% OF VISITOR PARKING SPACES AN ENERGIZED ELECTRICAL OUTLET CAPABLE OF PROVIDING LEVEL 2 OR A HIGHER LEVEL OF VEHICLE CHARGING AS DEFINED BY SAE INTERNATIONALS I172 STANDARD, AS AMENDED OR REPLACED FROM TIME TO TIME FOR EACH SUCH PARKING SPACE.

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
12031	AC-20

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### OPTED REQUIREMENTS FOR UNDERGROUND PARKING

THE FOLLOWING IS A SUMMARY OF OPTED REQUIREMENTS FOR THE UNDERGROUND PARKING AS RECOMMENDED BY THE SURREY RCMP.

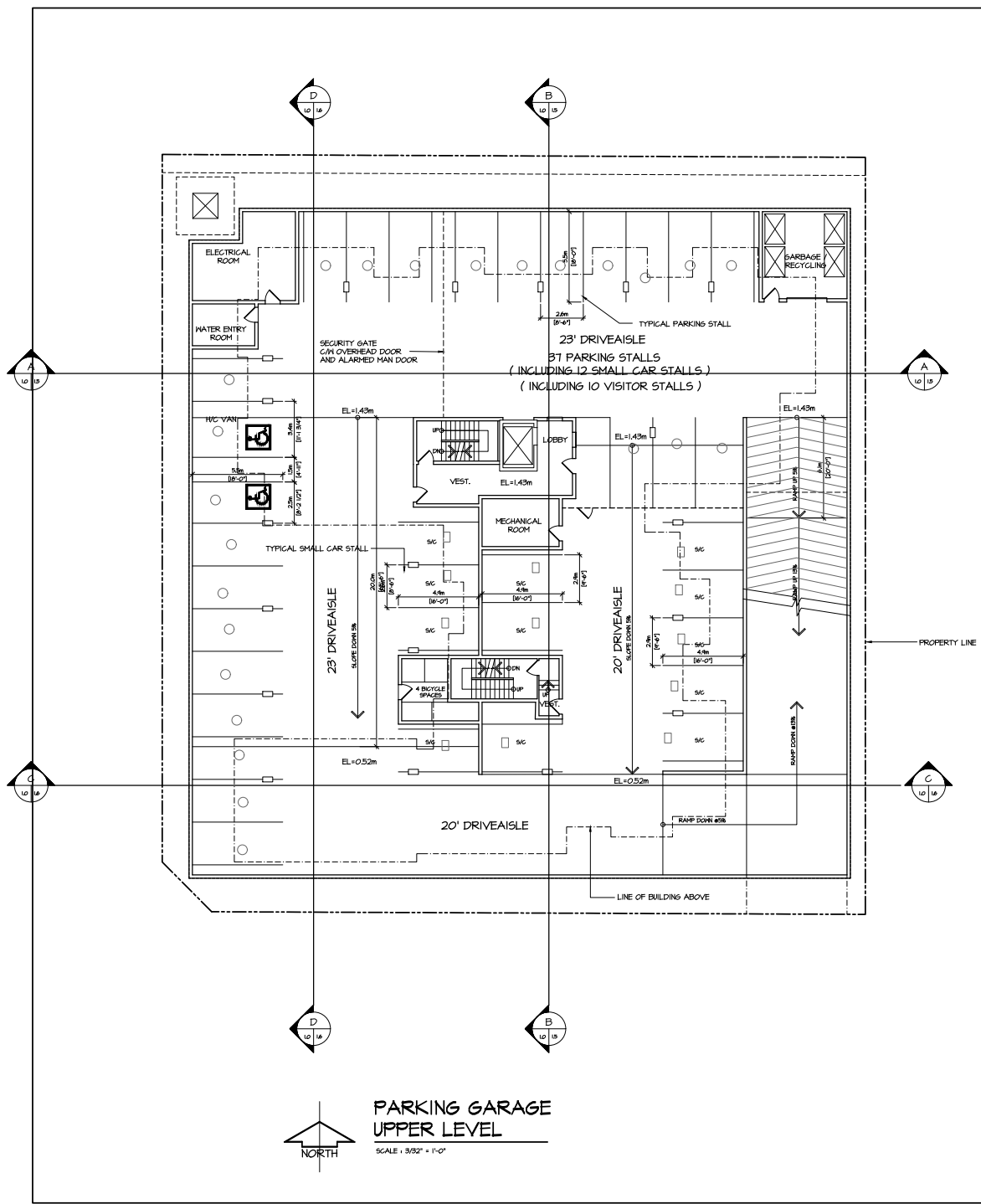
- a) PAINT THE UNDERGROUND PARKING WALLS & COLUMNS WHITE.
- b) INSTALL HARD-WIRED VIDEO SURVEILLANCE EQUIPMENT IN U/G PARKING.
- c) AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED IN U/G PARKING AND STAIRWELLS.
- d) PROVIDE VISION PANELS IN ALL DOORS IN U/G PARKING LEADING TO PUBLICLY ACCESSIBLE AREAS.
- e) ELEVATOR LOBBY IN U/G PARKING AREA SHOULD BE GLAZED TO PERMIT NATURAL SURVEILLANCE.
- f) ENSURE ADEQUATE LIGHTING THROUGHOUT THE U/G PARKING.
- g) PROVIDE ROUGH SURFACE FINISH ON RAMPS TO DETER SKATEBOARDERS.

NOTE:  
ALL PARKING STALLS AGAINST WALLS HAVE 0.3m EXTRA WIDTH.

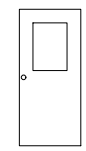
NOTE:  
ALL DEADEND DRIVEABLES AND PARKING STALLS ARE 0.6m LONGER AND WIDER THAN THE MINIMUM STALL WIDTH.

NOTE:  
ALL PARKING STALLS AND DRIVEABLES TO CONFORM WITH SURREY ZONING BYLAW 12000 PART 5 REQUIREMENTS

NOTE:  
SUPPLY AND INSTALL ELEVATOR CALL BUTTONS IN A HORIZONTAL MANNER COMPLIANT WITH BCBC AND SAFETY BC REQUIREMENTS



**PARKING GARAGE UPPER LEVEL**  
SCALE: 3/32" = 1'-0"



GLAZED EXIT DOORS

NTS

NOTE:  
CONSTRUCT AND INSTALL FOR EVERY RESIDENTIAL PARKING SPACE AND 50% OF VISITOR PARKING SPACES AN ENERGIZED ELECTRICAL OUTLET CAPABLE OF PROVIDING LEVEL 2 OR A HIGHER LEVEL OF VEHICLE CHARGING AS DEFINED BY SAE INTERNATIONALS I172 STANDARD, AS AMENDED OR REPLACED FROM TIME TO TIME FOR EACH SUCH PARKING SPACE.

ISSUED FOR	BY	DATE	ISSUE

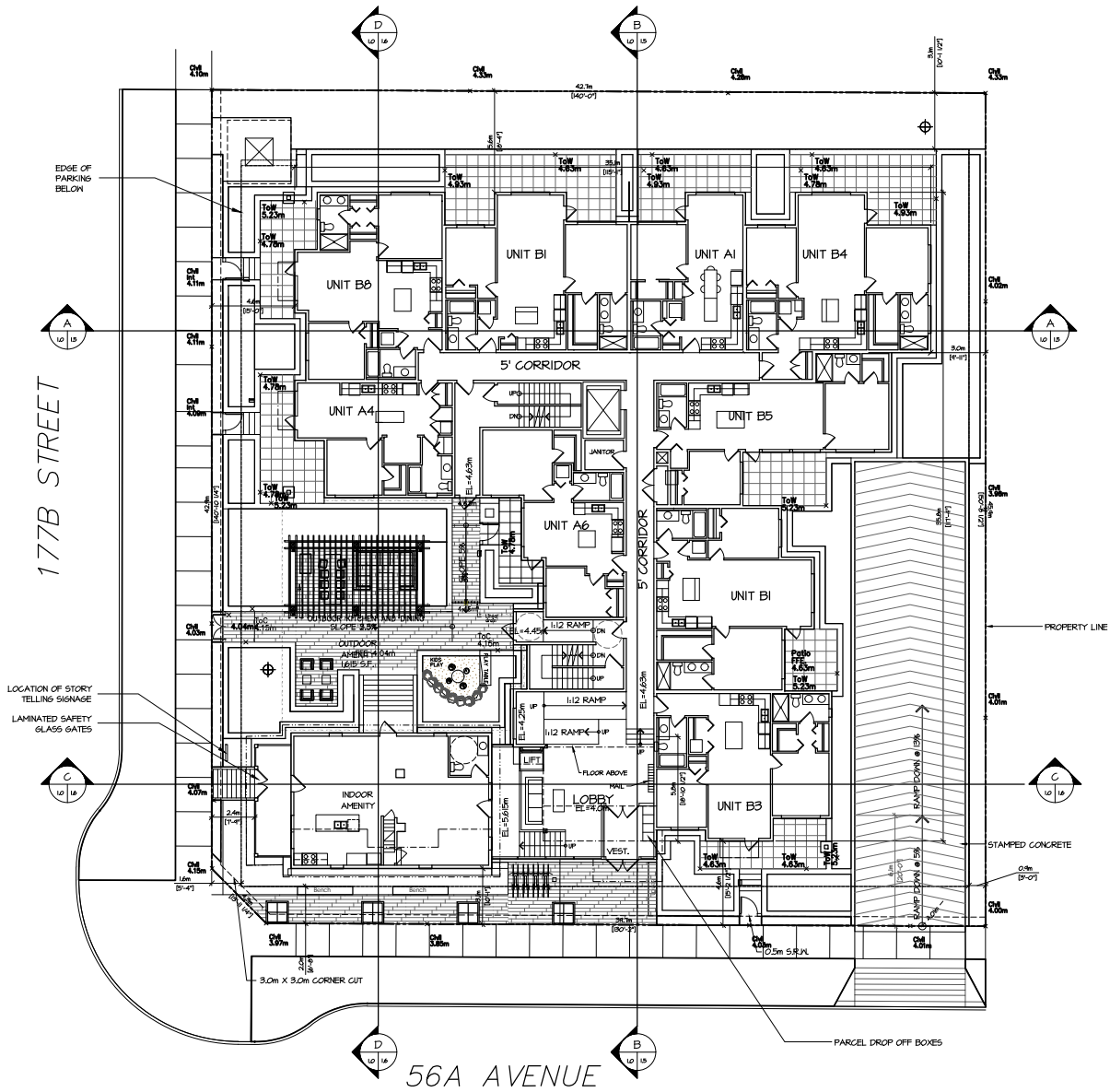


DESIGN :	11/16/2020 BC LTD
DATE :	11/16/2020
PROJECT :	APARTMENT PROJECT 5660 111 B STREET, SURREY
SHEET CONTAINS :	UNDERGROUND PARKING GARAGE UPPER LEVEL

**barnett dembek**  
7536 130 STREET, SURREY, B.C. V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@barnettde.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-2.1
12031	REV. NO.



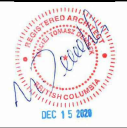

  
**1ST FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"  
 AREA: 9,780 S.F.

NOTE:  
 PROVIDE CONDUIT TO PRINCIPAL ENTRY DOORS FOR FUTURE  
 POWER DOOR OPERATIONS

NOTE:  
 SUPPLY AND INSTALL ELEVATOR CALL BUTTONS IN A HORIZONTAL  
 MANNER COMPLIANT WITH BCBC AND SAFETY BC REQUIREMENTS

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 SHOWS LOCATIONS OF SOME PERMITTED  
 CONDUIT PENETRATIONS. UNLESS  
 SPECIALLY NOTED, ALL PENETRATIONS  
 THROUGH WALLS AND CEILING SHALL  
 BE MADE IN ACCORDANCE WITH THE  
 CANADIAN CONCRETE ACT R.S.O. 1990.

ISSUE NO.	DATE	BY	ISSUED FOR

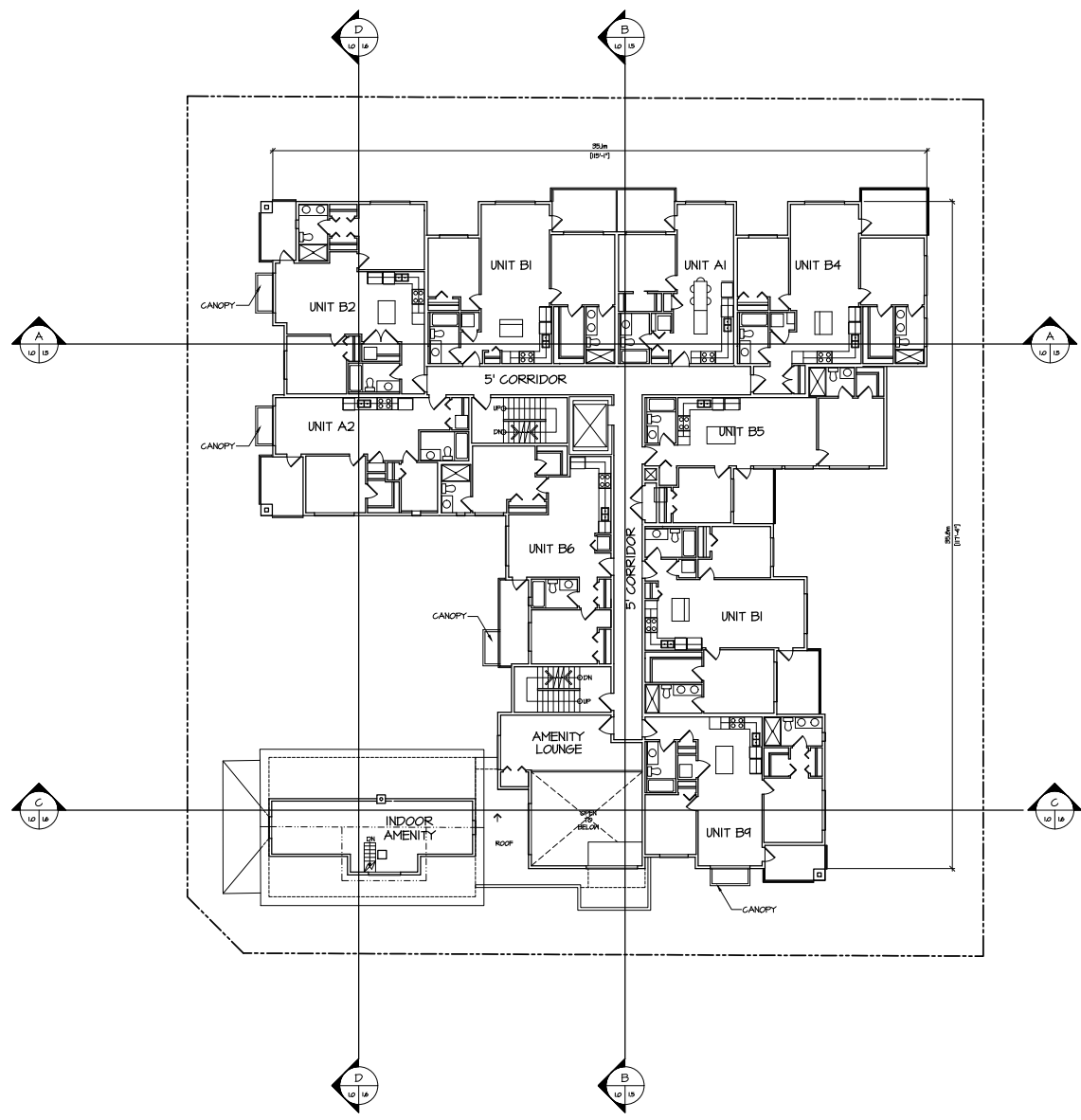



DESIGN :	11616241 BC LTD
H.O. :	
DRAWN :	
DATE :	Dec. 09 20
SCALE :	3/32" = 1'-0"
CLIENT :	11616241 BC LTD
PROJECT :	APARTMENT PROJECT 5660 177 B STREET, SURREY
SHEET CONTAINS :	FIRST FLOOR PLAN

**barnett dembek**  
 ARCHITECTURE INC.  
 UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18031	AC-2.2

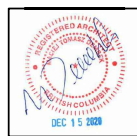


  
**2ND FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"  
 AREA: 8,214 S.F.

NOTE:  
 SUPPLY AND INSTALL ELEVATOR CALL BUTTONS IN A HORIZONTAL MANNER COMPLIANT WITH BCBC AND SAFETY BC REQUIREMENTS

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ISSUE NO.	DATE	BY	ISSUED FOR



DESIGN	DATE	SCALE
11/6/21	11/6/21	3/32" = 1'-0"

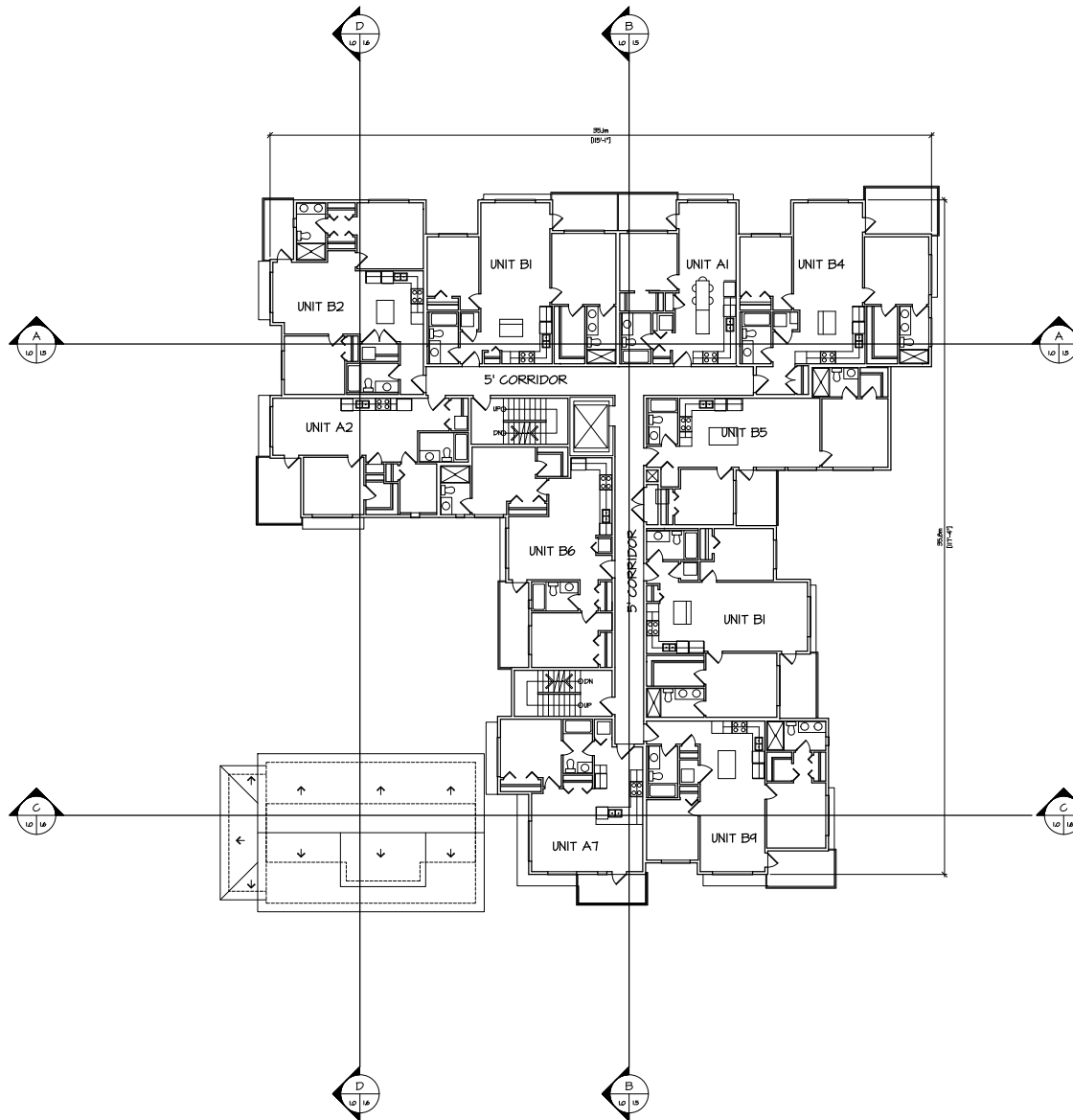
CLIENT	PROJECT	SHEET CONTAINS
1161621 BC LTD	APARTMENT PROJECT 5660 171 B STREET, SURREY	SECOND FLOOR PLAN

**barnett dembek**  
 ARCHITECTURE INC.

UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

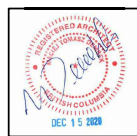
CLIENT NO.	SHEET NO.
18031	AC-23



**3RD FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"  
 AREA: 8,618 S.F.

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ISSUE	DATE	BY	ISSUED FOR



DESIGN : M.D.	DRAWN : M.D.	DATE : Dec. 15, 20	SCALE : 3/32" = 1'-0"
CLIENT : 11616241 BC LTD	PROJECT : APARTMENT PROJECT 5660 171 B STREET, SURREY	SHEET CONTAINS : 3RD FLOOR PLAN	

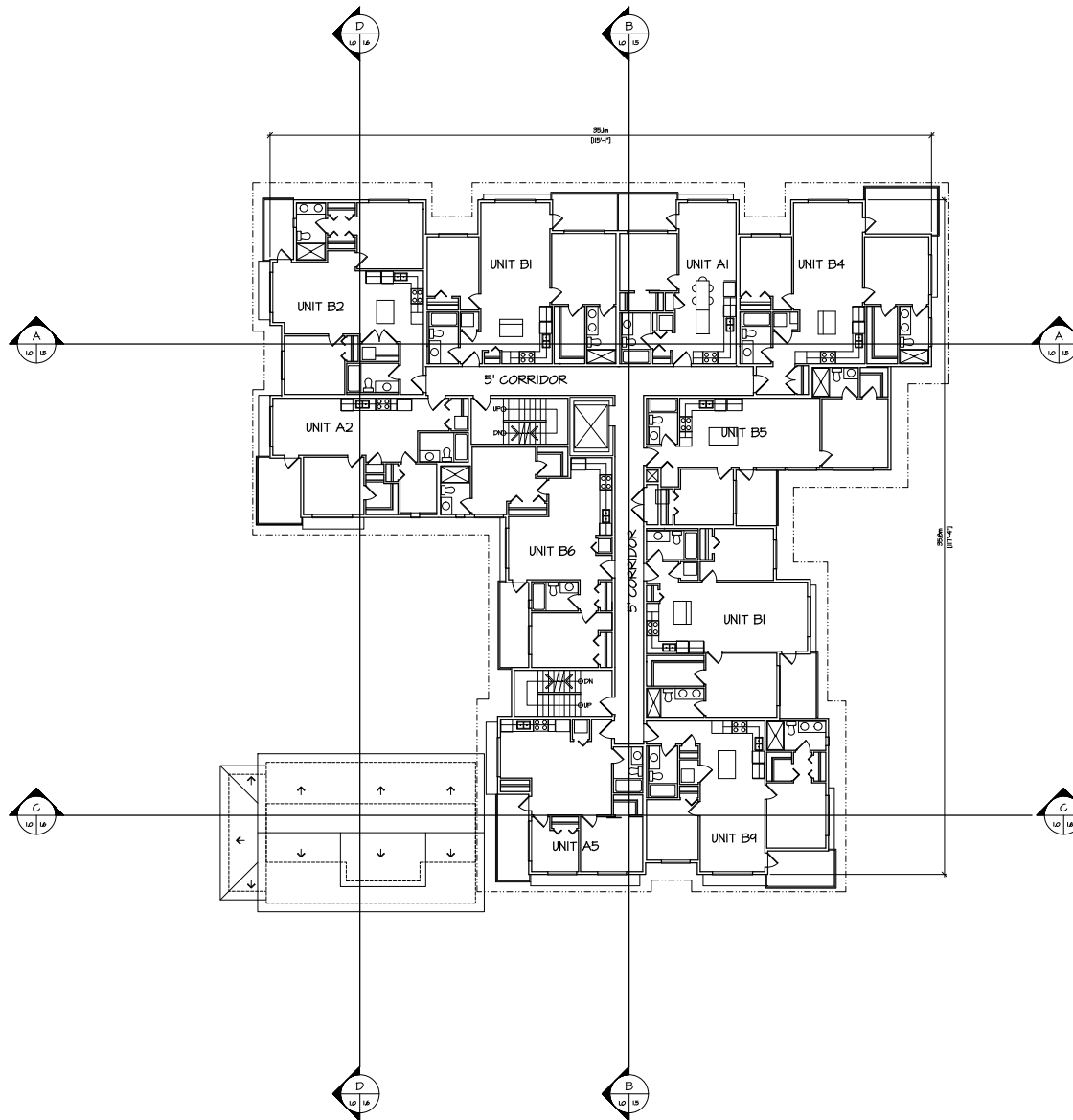
**barnett dembek**  
 ARCHITECTURE INC.

UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18031	AC-2.4





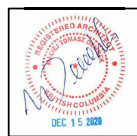
**4TH & 5TH FLOOR PLANS**

SCALE: 3/32" = 1'-0"  
 AREA: 8,610 S.F.

NOTE:  
 SUPPLY AND INSTALL ELEVATOR CALL BUTTONS IN A HORIZONTAL MANNER COMPLIANT WITH BCBC AND SAFETY BC REQUIREMENTS

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ISSUE	DATE	BY	ISSUED FOR



DESIGN: 11/6/24 BC LTD	CLIENT: 11/6/24 BC LTD
DRAWN: 1	PROJECT: APARTMENT PROJECT 5660 171 B STREET, SURREY
DATE: 1	SHEET CONTAINS: 4TH & 5TH FLOOR PLANS
DATE: 0-20	
SCALE: 1/32" = 1'-0"	

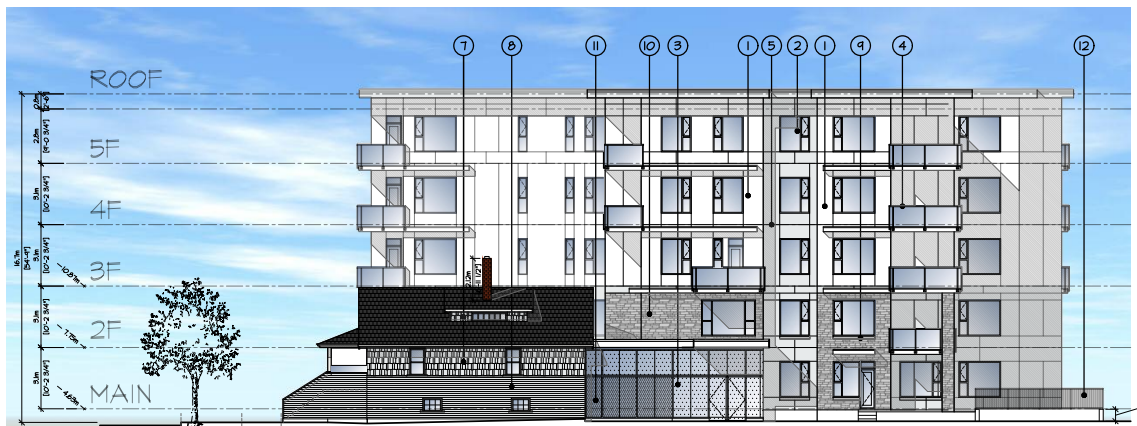
**barnett dembek**

UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

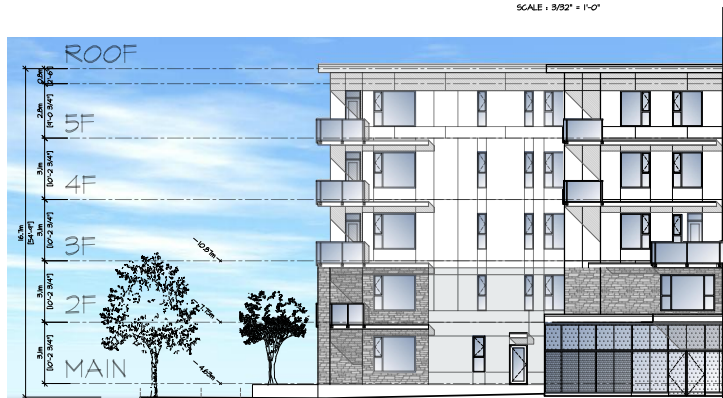
CLIENT NO. 18031	SHEET NO. AC-25
PROJECT NO.	REV. NO.





177B ST SIDEWALK  
SOUTH ELEVATION (56A AVE)

SCALE : 3/32" = 1'-0"



177B ST SIDEWALK  
PARTIAL SOUTH ELEVATION (56A AVE)

SCALE : 3/32" = 1'-0"







56A AVE

EAST ELEVATION

SCALE : 3/32" = 1'-0"

**COLOUR LEGEND**

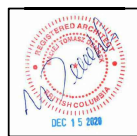
-  APARTMENT SIDING/ TRIM  
JAMES HARDIE "PEARL GRAY"
-  APARTMENT SIDING/ TRIM  
JAMES HARDIE "ARCTIC WHITE"
-  HERITAGE HOUSE SIDING  
BENJAMIN MOORE "POINT GRAY"
-  HERITAGE HOUSE TRIMS AND FASCIAS  
BENJAMIN MOORE "DUNBAR BUFF"

**SCHEDULE OF FINISHES**

- ① FIBRE CEMENT PANEL
- ② VINYL FRAMED WINDOWS  
- ARGON FILLED, LOW E COATED
- ③ CLEAR ANODIZED ALUMINUM FRAME WINDOWS  
- ARGON FILLED, LOW E COATED ON SOUTH & WEST  
C/M MATCHING CLOSURE PANELS AT  
CORNERS, OVER AND UNDER WINDOWS
- ④ POWDER COAT ALUMINUM RAIL  
C/M SAFETY GLASS PANELS
- ⑤ PRE-FINISHED THRU-WALL FLASHING
- ⑥ POWDER COATED ALUMINUM FRAME  
C/M SAFETY OB GLASS PRIVACY SCREEN
- ⑦ CEDAR SHAKE (PER HERITAGE CONSULTANT)
- ⑧ 4" HORIZONTAL SHIPLAPS SIDING  
(PER HERITAGE CONSULTANT)
- ⑨ 2 X 6 HARDIE TRIM
- ⑩ STONE VENEER PANGAEA LEDGESTONE  
"GRIGIO" (SANDSTORM)
- ⑪ FROSTED SPANDREL GLAZING
- ⑫ POWDER COAT ALUMINUM PICKET RAIL

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ISSUE NO.	DATE	BY	ISSUED FOR



DESIGN :	11/16/24	BC LTD
DRAWN :		
DATE :		
DATE :		
SCALE :	3/32"	1'-0"

CLIENT :	11/16/24	BC LTD
PROJECT :	APARTMENT PROJECT 5660 177 B STREET, SURREY	
SHEET CONTAINS :	ELEVATIONS	

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mtd@barnettde.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-2.7
18031	



**WEST ELEVATION (177B ST)**

SCALE: 3/32" = 1'-0"



**WEST ELEVATION (177B ST)**

SCALE: 3/32" = 1'-0"



**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"

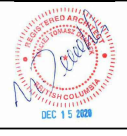
- COLOUR LEGEND**
- APARTMENT SIDING/ TRIM  
JAMES HARDIE "PEARL GRAY"
  - APARTMENT SIDING/ TRIM  
JAMES HARDIE "ARCTIC WHITE"
  - HERITAGE HOUSE SIDING  
BENJAMIN MOORE "POINT GRAY"
  - HERITAGE HOUSE TRIMS AND FASCIAS  
BENJAMIN MOORE "DUNBAR BUFF"

**SCHEDULE OF FINISHES**

- (1) FIBRE CEMENT PANEL
- (2) VINYL FRAMED WINDOWS  
- ARGON FILLED, LOW E COATED
- (3) CLEAR ANODIZED ALUMINUM FRAME WINDOWS  
C/M MATCHING CLOSURE PANELS AT  
CORNERS, OVER AND UNDER WINDOWS  
- ARGON FILLED, LOW E COATED ON SOUTH & WEST
- (4) POWDER COAT ALUMINUM RAIL  
C/M SAFETY GLASS PANELS
- (5) PRE-FINISHED THRU-WALL FLASHING
- (6) POWDER COATED ALUMINUM FRAME  
C/M SAFETY OB GLASS PRIVACY SCREEN
- (7) CEDAR SHAKE (PER HERITAGE CONSULTANT)
- (8) 4" HORIZONTAL SHIPLAPS SIDING  
(PER HERITAGE CONSULTANT)
- (9) 2 X 6 HARDIE TRIM
- (10) STONE VENEER PANGAEA LEDGESTONE  
"GRIGIO" (SANDSTORM)
- (11) FROSTED SPANDREL GLAZING

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ISSUE NO.	DATE	BY	ISSUED FOR



DESIGN: M.D.	DRAWN: M.D.	DATE: Dec. 19, 20	SCALE: 3/32" = 1'-0"
CLIENT: 1161624 BC LTD			
PROJECT: APARTMENT PROJECT 5660 177 B STREET, SURREY			
SHEET CONTAINS: ELEVATIONS			

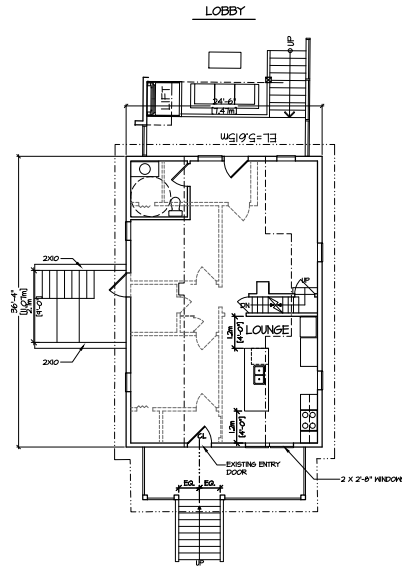
**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

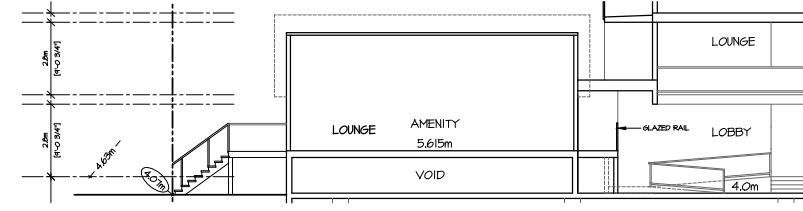
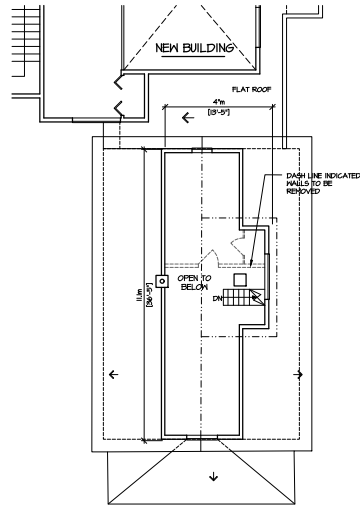
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: [mail@barnett-dembek.com](mailto:mail@barnett-dembek.com)

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18031	AC-2B

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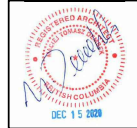


MAIN FLOOR 1024 SQ.FT.

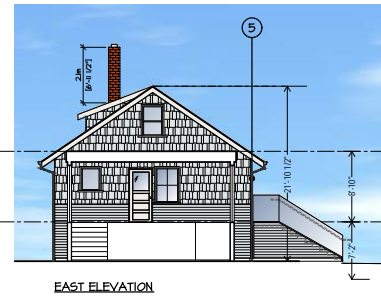


SECTION C-C

REV	DATE	BY	ISSUE FOR



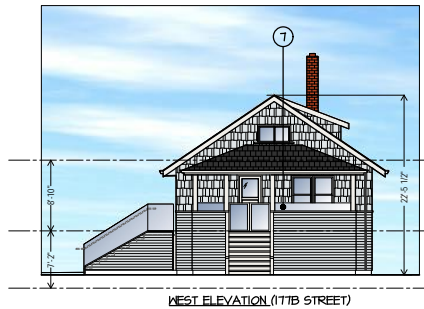
NORTH ELEVATION



EAST ELEVATION

SCHEDULE OF FINISHES

- 2X10 WOOD TRIMS/ ALL EXISTING TRIMS  
COLOUR: BM-DUNBAR BUFF OR EDWARDIAN GREAM (VC-5 OR VC-7) (LOW LUSTRE)
- WOOD FRAME/ SASH WINDOWS  
WOOD FRAME  
COLOUR: BM-DUNBAR BUFF OR EDWARDIAN GREAM (VC-5 OR VC-7) (LOW LUSTRE)  
SASH  
COLOUR: BM-GLOSS BLACK (VC-35) (HIGH GLOSS)
- CEDAR SHINGLE (PER HERITAGE CONSULTANT)  
COLOUR: BM-POINT GREY (VC-24) (LOW LUSTRE)
- 4" HORIZONTAL SHIPLAPS SIDING (PER HERITAGE CONSULTANT)  
COLOUR: BM-POINT GREY (VC-24) (LOW LUSTRE)
- ALUMINUM GUTTER AND DOWNSPOUT (COLOUR FINISH TO MATCH DUNBAR BUFF)
- CEDAR ROOF SHINGLES
- LAMINATED SAFETY GLASS THRU BOLTED ONTO SPACERS ON INSIDE FACE OF DECK WALL
- EXISTING BRICK CHIMNEY (PASTEL BROWN)



WEST ELEVATION (117B STREET)



SOUTH ELEVATION (56A AVENUE)

DESIGN :	M.D.	DATE :	SCALE :
1186241 BC LTD	11/16/21	DEC 15 2020	1/8" = 1'-0"
PROJECT : APARTMENT PROJECT 5660 117 B STREET, SURREY			
SHEET CONTAINS : AMENITY BUILDING			





**barnett dembk**  
 UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darklitex.com

CLIENT NO.	SHEET NO.
18031	AC-3.2
PROJECT NO.	REV. NO.















AMENITY BUILDING

## COLOUR LEGEND

-  APARTMENT SIDING/ TRIM  
JAMES HARDIE "PEARL GRAY"
-  APARTMENT SIDING/ TRIM  
JAMES HARDIE "ARCTIC WHITE"
-  HERITAGE HOUSE SIDING  
BENJAMIN MOORE "POINT GRAY"
-  HERITAGE HOUSE TRIMS AND FASCIAS  
BENJAMIN MOORE "DUNBAR BUFF"

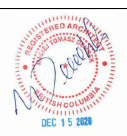


## MATERIAL LEGEND

- |   |  |   |  |   |  |
|---|--|---|--|---|--|
|    | 1 CEDAR SHINGLE (PER HERITAGE CONSULTANT)<br>COLOUR: BM-POINT GREY (VC-24) (LOW LUSTRE)  |    | 6 FIBRE CEMENT PANEL   |    | 11 POWDER COAT ALUMINUM PICKET RAIL  |
|   | 2 4" HORIZONTAL SHIPLAP SIDING (PER HERITAGE CONSULTANT)<br>COLOUR: BM-POINT GREY (VC-24) (LOW LUSTRE)   |   | 7 WOOD FRAME/ SASH WINDOWS<br>WOOD FRAME-<br>COLOUR: BM-DUNBAR BUFF OR EDWARDIAN CREAM (VC-5 OR VC-7)<br>(LOW LUSTRE)<br>COLOURS: SASH-<br>COLOUR: COLOUR: BM-GLOSS BLACK (VC-35) (HIGH GLOSS) |   | 12 VINYL FRAMED WINDOWS<br>-ARGON FILLED; LOW E COATED                         |
|  | 3 FROSTED SPANDEL GLAZING  |  | 8 PRE-FINISHED THRU-WALL FLASHING  |  | 13 LAMINATED SAFETY GLASS THRU BOLTED ONTO SPACERS ON INSIDE FACE OF DECK WALL |
|  | 4 STONE VENEER<br>DARK RIDGE PRO-FIT ALPINE LEDGE STONE CULTURED STONE   |  | 9 2 X 6 HARDIE TRIM  |  | 14 CEDAR ROOF SHINGLES   |
|  | 5 CLEAR ANODIZED ALUMINUM FRAME WINDOWS<br>BM-POINT GREY (VC-24) (LOW LUSTRE)<br>C/M MATCHING CLOSURE PANELS AT CORNERS, OVER AND UNDER WINDOWS<br>-ARGON FILLED; LOW E COATED ON SOUTH & WEST |  | 10 POWDER COAT ALUMINUM RAIL<br>C/M SAFETY GLASS PANELS  |   |  |

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REV.	DATE	BY	ISSUE FOR



DESIGN : M.D.	DRAWN : M.D.	DATE : Dec. 15 2020	SCALE : 1/8" = 1'-0"
CLIENT : 1161624 BC LTD	PROJECT : APARTMENT PROJECT 5660 171 B STREET, SURREY	SHEET CONTENTS : MATERIAL & COLOUR BOARD	

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mol@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18031	AC-4.1

# PROJECT INFORMATION

SURREY PROJECT NUMBER: 7919-0339-00

DRAWINGS PREPARED BY: Durante Kreuk Ltd.  
 LANDSCAPE ARCHITECT: Dylan Cnemoff  
 LANDSCAPE DESIGNER: Reyhaneh Sobhani S

## DRAWING LIST

- L000 COVER
- L101 LANDSCAPE MATERIALS AND GRADING PLAN
- L102 PLANTING PLAN
- L201 LANDSCAPE SECTIONS
- L301 LANDSCAPE DETAILS
- L302 LANDSCAPE DETAILS

## LANDSCAPE NOTES

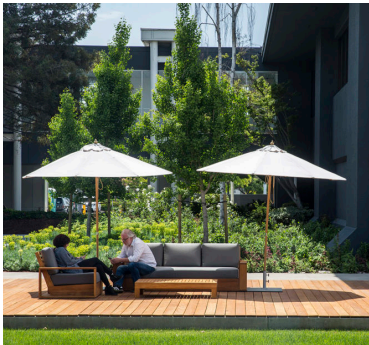
1. Refer to Architectural package for overall plan, survey information and dimensioned site plan.
2. For hard landscape details attached to the building - REFER TO ARCHITECTURAL.
3. For parking layout and number of spaces - REFER TO ARCHITECTURAL.
4. For hard landscape grading information - REFER TO ARCHITECTURAL.
5. For drainage information - REFER TO MECHANICAL.
6. ALL STREET TREES Install 8' x 18" Deep Root Barrier centred on each tree between tree pit and sidewalk (side of tree adjacent to sidewalk). Refer to Specification.
7. ALL STREET TREES to be installed to the City of Surrey standards.
8. Although not always shown, all planting areas adjacent to the building face to be separated by a min. 8" wide gravel strip, separated by a pressure treated wood assembly as shown in the details.
9. Soil depths to meet or exceed the Canadian Landscape Standard, as described in Landscape Specifications.
10. All ground level patios to be provided with a hose bib at each unit.

## IRRIGATION NOTES

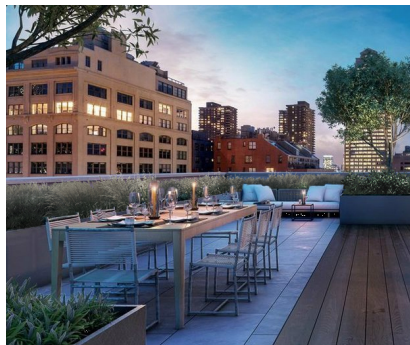
1. Irrigation to be provided for all 'Soft Landscape Areas' shown on the drawing. All irrigation to be to IIABC Standards.
2. Irrigated areas to be installed as a design build irrigation system from the stub out provided. Provide submittals to consultant at least one week prior to installation and as-built drawing within one month of substantial performance.
3. The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines.
4. Planters and Plant pots to be irrigated with a high efficiency irrigation system.
5. Separate zone and required sleeves to be provided for spray irrigation of the boulevard.
6. All irrigation valve boxes to be equipped with quick couplers.
7. Irrigation valve boxes to be integrated into building design or base of planter.

## PRECEDENT IMAGES

Flexible Outdoor Spaces



Outdoor Dining



Feature pavers











Bike Racks







Kids Play Area. Play hut and Play Logs.





## MATERIALS LEGEND

	PLANK PAVERS Dark colour
	HYDROPRESSED SLABS (24"x24" Typical, unless otherwise noted Type = Light shot blast finish. Colour = Charcoal.
	PLAYGROUND SURFACING Engineered wood chips
	PLANTING
	HEDGE PLANTING Privacy screening
	OFF-SITE CIP Concrete paving (Natural Colour) Light Broom Finish with control joints to City Standards.
	OFF-SITE Sod Lawn Non-netted sand based turf
	STRUCTURAL SOIL

## SITE FURNITURE LEGEND

	Potential locations for outdoor furniture Tables, Chairs and loungers by strata (Shown for info)
	Bike Racks Stainless Steel loops
	Benches - Wood Slat with Concrete base
	Jamison tree grate by Urban Accessories

## LIGHTING LEGEND

	NICHE LIGHT/STEP LIGHT. MP lighting L-36
	WALL MOUNT LIGHT. MP lighting L-16

## IRRIGATION

	IRRIGATION STUB OUT 50 PSI @ 50 GPM unless otherwise noted
---	---

## PLANT LIST

TREES SYMBOL	QTY	Botanical Name	Common Name	Size/ Comments
	10	Cornus k. 'Chinensis'	Japanese Dogwood	10' Ht. B.&B Specimen (3 Stem)
	17	Prunus 'Akebono'	Akebono Cherry	2' Cal. B.&B Specimen
	1	Cercidiphyllum japonicum	katsura tree	3' cal. B.&B Specimen
	7	Street Trees	3' Cal. B.&B Specimen (As per City of Surrey standards and specifications)	

## SHRUBS / PERENNIALS / GRASSES / GROUNDCOVERS

SYMBOL	QTY	Botanical Name	Common Name	Size/ Comments
A	56	Arctostaphylos uva-ursi	Kinnikinnick	#2 Pot. 18" O.C.
A1	62	Azalea 'Fashion Pink'	Fashion Pink Azalea	#2 Pot. 24" O.C.
B	34	Buxus s. 'Winter Gem'	Box	#2 Pot. 18" O.C.
Cv	3	Ceanothus s. 'Victoria'	Victoria California Lilac	#3 Pot. 5' O.C.
Gs	179	Gaulltheria shallon	Salal	#2 Pot. 24" O.C.
Ht	107	Hosta 'Tokudama'	Hosta	#2 Pot. 24" O.C.
La	6	Lavandula s. 'Munstead'	Lavender	#2 Pot. 18" O.C.
Lp	8	Lonicera pileata	privet honeysuckle	#2 Pot. 30" O.C.
Nd	6	Nandina d. 'Moon Bay'	Heavenly Bamboo	#2 Pot. 3' O.C.
Pm	246	Polystichum munilum	Western Sword Fern	#2 Pot. 24" O.C.
Pt	29	Pachysandra terminalis	Japanese pachysandra	#2 Pot. 12" O.C.
R1	121	Rhodo. 'Wojnar's Purple'	Dwarf Purple Rhodo	#2 Pot. 24" O.C.
R2	4	Rhodo. 'Anah Kuschke'	Purple Rhododendron	#3 Pot. 36" O.C.
S	138	Sarcococca h. 'hookeriana'	Sweet Box	#2 Pot. 18" O.C.
T	415	Taxus media 'Hilli'	Hill's Yew (Male Only)	4' Ht. RB to RB

## PLANTING NOTES

1. All work shall meet or exceed the requirements as outlined in the Current Edition of the Canadian Landscape Standard.
2. Plant sizes and related container classes are specified according to the Current Edition of the Canadian Landscape Standard. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the CNLA (ANSI) Standard.
3. All trees to be staked in accordance with CSLA Standards.

## DESIGN RATIONALE

Located in a medium density neighbourhood, the site is in walking distance of Cloverdale Traditional Elementary School, Museum of Surrey, commercial areas and green spaces in the community. The street frontages of 26A Avenue and 157B Street will be coordinated with City Staff and upgraded as required.

The street level units each have a private patio with gated access from the sidewalk. Low stacked Zen walls and layered planting will provide a rich pedestrian experience along the building frontages. The remaining ground level units will have private patios, accessed from the suites. Adjacent to heritage building, a plaza surrounded with shrub planting will be provided at the corner of 26A Avenue and 157B Street. The plaza will take advantage of relatively flat grades and bench seating to create a calming place to be.

A central courtyard will provide on-site outdoor amenity with several spaces for people to use independently or come together as a group. The indoor amenity area, located in the retained Heritage building, has direct connection with the outdoor amenity. Universal access is provided to the courtyard from the lobby and the street. The outdoor amenity includes a small kid play area, outdoor rooms, an outdoor kitchen and an outdoor dining area. A trellis will provide shelter and sense of enclosure to enhance the outdoor experience. High quality materials and a carefully selected plant palette will set the tone for the overall experience.

A mix of native and adaptive, drought tolerant plant material is proposed for the landscape areas on the podium. Evergreen shrubs, perennials and grasses, will comprise the majority of the plant palette, providing seasonal interest and a variety of habitat.

Site safety will be addressed throughout the site by selecting vegetation at recommended levels to maintain site lines adjacent to public areas and circulation routes. Safety levels of lighting will be provided with a range of light types throughout the site.



177B STREET

56A AVENUE



4 11 06  
 3 09 29  
 2 08 28  
 1 06 11  
 no.: | date:  
 Revisions:

Project:  
 5660 -

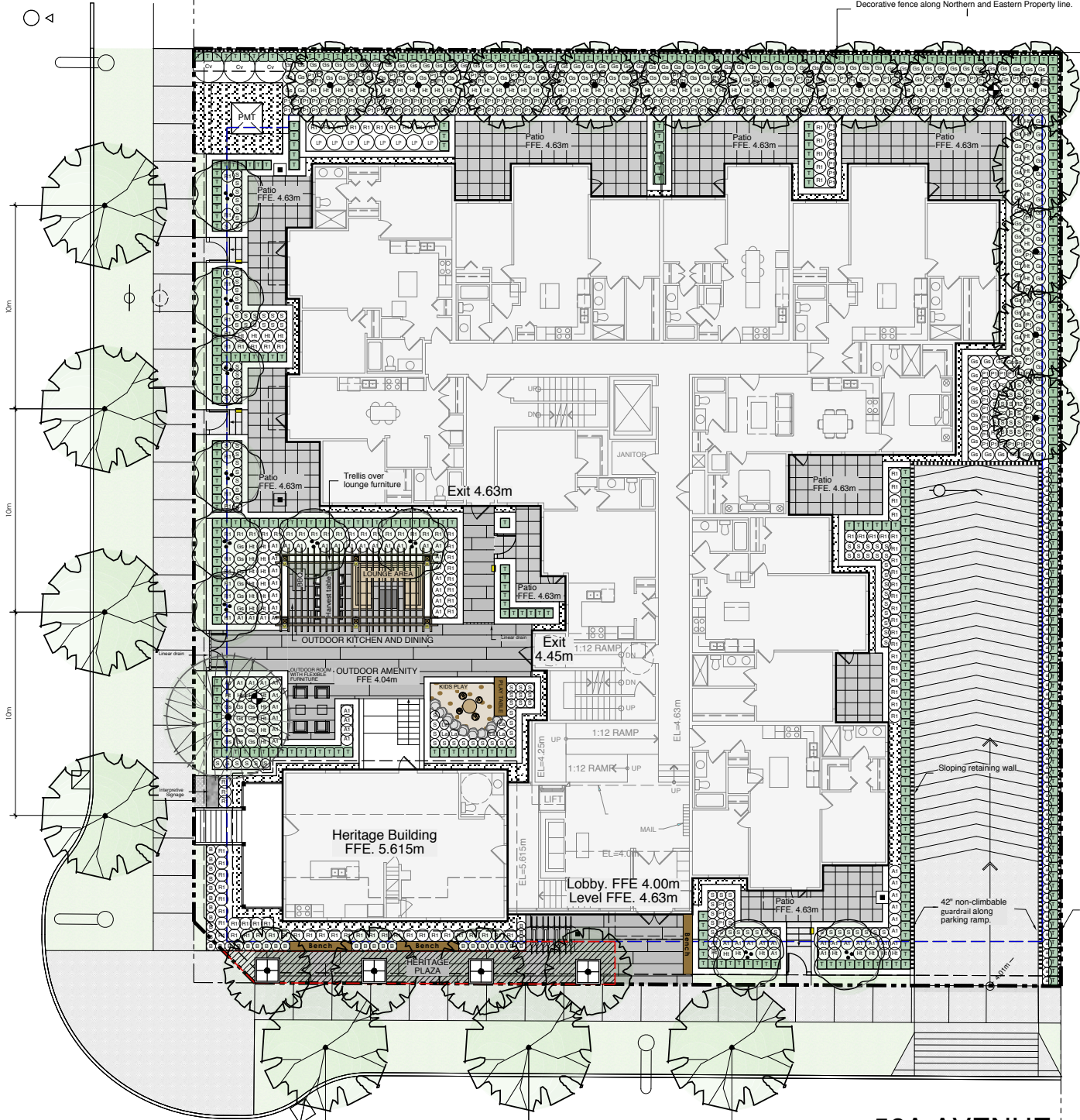
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Project No.:  
 19014  
 Sheet No.:



177B STREET



56A AVENUE



3 09 29  
 2 08 28  
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 no.: | date:  
 Revisions:

Project:  
 5660 -

Drawn by:  
 Checked by:  
 Date:  
 Scale:  
 Drawing Title:

Planting

Project No.:  
 19014  
 Sheet No.:

Decorative fence along Northern and Eastern Property line.

Decorative fence along Northern and Eastern Property line.

---

TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **December 02, 2020** PROJECT FILE: **7819-0339-00**

---

RE: **Engineering Requirements (Multi-Family)  
Location: 5660 177B Street**

### REZONE

#### *Property and Right-of-Way Requirements*

- Dedicate a 3.0 m x 3.0 m corner cut at the intersection of 177B Street and 56A Avenue; and
- Register 0.5 m statutory right-of-way along 177B Street and 56A Avenue frontage.

#### *Works and Services*

- Construct the east side of 177B Street to the Collector Road Standard;
- Construct the north side of 56A Avenue to the Local Road Standard;
- Construct curb bulges at the intersection of 177B Street and 56A Avenue;
- Construct a 7.3 m wide concrete letdown along 56A Avenue;
- Construct a sanitary main along 57 Avenue and 177B Street;
- Abandon existing sanitary main from 57 Avenue to 56B Avenue and redirect the service connection for 17788 – 57Avenue to 177B Street;
- Submit a fire flow analysis to determine the extent of the water improvement works;
- Provide an adequately sized sanitary, storm and water service connections complete with inspection chambers and abandon all existing service connections;
- Register a restrictive covenant for sustainable features to meet the Cloverdale-McLellan integrated storm management plan requirements;
- Register a restrictive covenant for on-site water quality/sediment control; and
- Register a restrictive covenant for installation and maintenance of a P-trap.

A Servicing Agreement is required prior to Rezone. A processing fee of \$27,032.25 is required. The processing fee is subject to an increase after January 1<sup>st</sup>, 2021.

### DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit



Tommy Buchmann, P.Eng.  
Development Services Manager  
SC



July 24, 2020

Planning

**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Martha Currie Elementary is in a maturing neighbourhood. The 10 year enrolment projections are showing that enrolment growth is continuing. By 2028 the school is anticipated to be operating at 129% capacity. The District has asked for an addition at Martha Currie in the 2021/2022 Five Year Capital Plan. As of this report, the Ministry of Education has yet to approve funds for the project. Until the addition is built, growth will be managed by using portables.

In September 2018, Salish Secondary opened in the Clayton area, north of the Fraser Highway. This new 1500 capacity school was built to relieve the current enrolment pressure at Lord Tweedsmuir and Clayton Heights Secondary.

**THE IMPACT ON SCHOOLS**

APPLICATION #: 19 0339 00

**SUMMARY**

The proposed 48 lowrise units are estimated to have the following impact on the following schools:

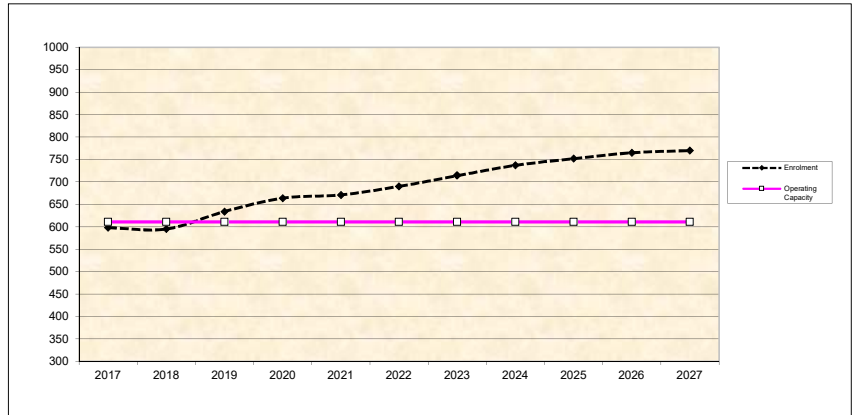
**Projected # of students for this development:**

Elementary Students:	3
Secondary Students:	2

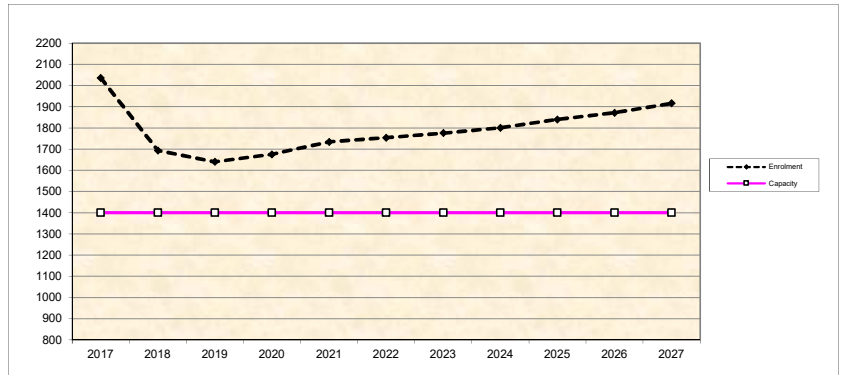
September 2019 Enrolment/School Capacity

<b>Martha Currie Elementary</b>	
Enrolment (K/1-7):	87 K + 547
Operating Capacity (K/1-7)	76 K + 535
<b>Lord Tweedsmuir Secondary</b>	
Enrolment (8-12):	1640
Capacity (8-12):	1400

**Martha Currie Elementary**



**Lord Tweedsmuir Secondary**



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.  
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

MIKE FADUM AND ASSOCIATES LTD.  
VEGETATION CONSULTANTS

## Tree Preservation Summary

Surrey Project No: 19-0339-00


Address: 5660 - 177B Street

Registered Arborist: Corey Plester #PN-8523A

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	12
<b>Protected Trees to be Removed</b>	12
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	0
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 12 X two (2) = 24</li> </ul>	24
<b>Replacement Trees Proposed</b>	28
<b>Replacement Trees in Deficit</b>	0
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	NA

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	11
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 11 X two (2) = 22</li> </ul>	22
<b>Replacement Trees Proposed</b>	NA
<b>Replacement Trees in Deficit</b>	NA

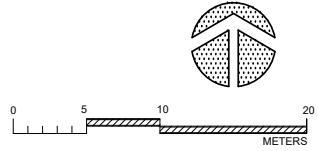
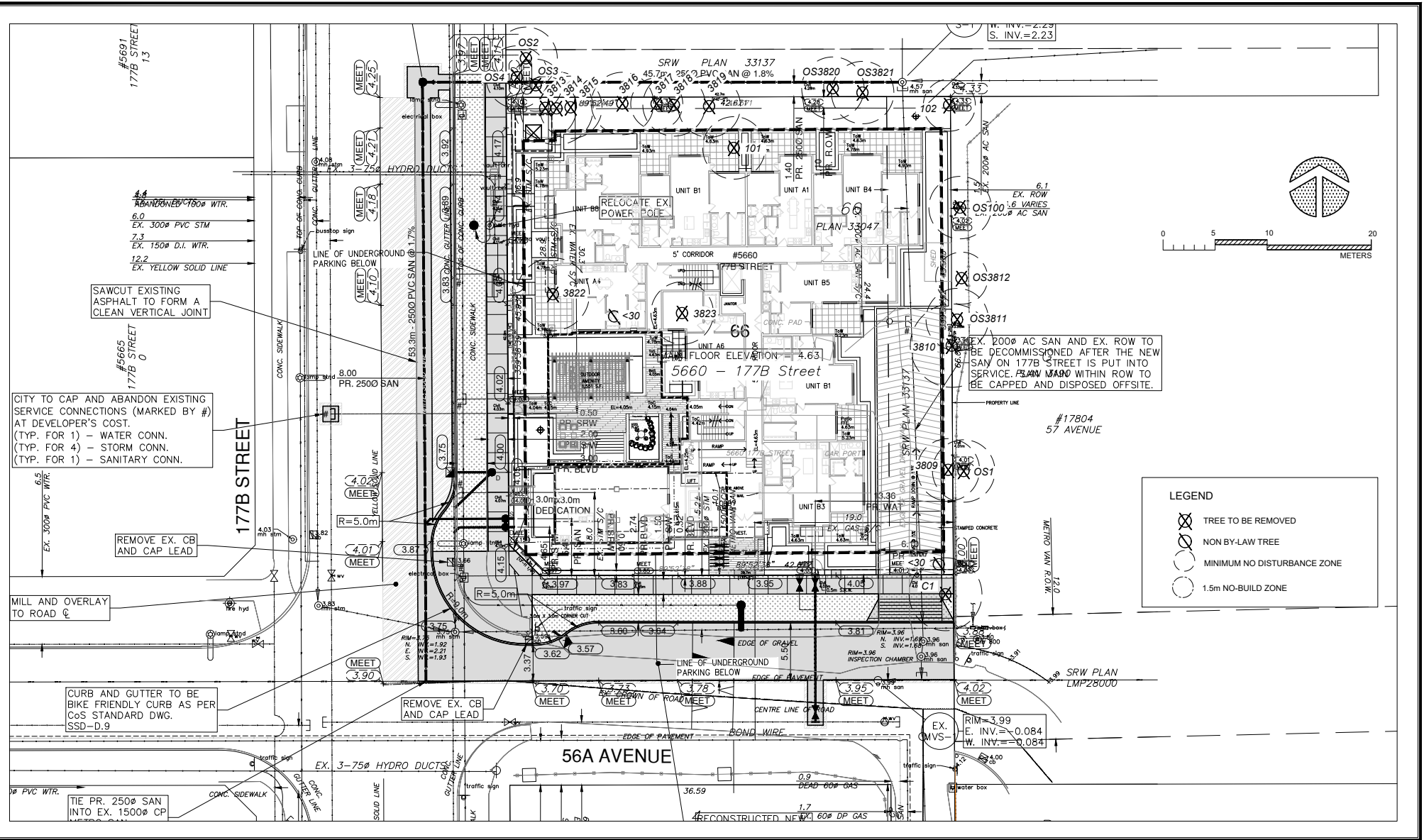
Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: December 15, 2020
--	-------------------------



Mike Fadum and Associates Ltd.  
#105, 8277-129 Street, Surrey, BC, V3W 0A6  
Phone 778-593-0300 Fax 778-593-0302





**LEGEND**

- TREE TO BE REMOVED
- NON BY-LAW TREE
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE

CITY TO CAP AND ABANDON EXISTING SERVICE CONNECTIONS (MARKED #) AT DEVELOPER'S COST.  
 (TYP. FOR 1) - WATER CONN.  
 (TYP. FOR 4) - STORM CONN.  
 (TYP. FOR 1) - SANITARY CONN.

SAWCUT EXISTING ASPHALT TO FORM A CLEAN VERTICAL JOINT

MILL AND OVERLAY TO ROAD C

REMOVE EX. CB AND CAP LEAD

CURB AND GUTTER TO BE BIKE FRIENDLY CURB AS PER CoS STANDARD DWG. SSD-D-9

TIE PR. 250Ø SAN INTO EX. 1500Ø CP

EX. 200Ø AC SAN AND EX. ROW TO BE DECOMMISSIONED AFTER THE NEW SAN ON 177B STREET IS PUT INTO SERVICE. PLAN 17804 WITHIN ROW TO BE CAPPED AND DISPOSED OFFSITE.

NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	AUG30/19	MK	SITE PLAN	6	AUG24/20	MK	KEY & SITE PLAN
2	NOV28/19	MK	SITE PLAN	7	AUG26/20	MK	SITE PLAN
3	MAR03/20	MK	CIVIL PLAN	8	SEPT09/20	MK	SITE PLAN
4	MAY21/20	MK	SITE PLAN				
5	AUG25/20	MK	KEY & SITE PLAN				

**MIKE FADUM AND ASSOCIATES LTD.**  
**VEGETATION CONSULTANTS**

#105, 8277 129 St  
 Surrey, British Columbia  
 V3W 0A6  
 Ph: (778) 593-0300  
 Fax: (778) 593-0302  
 Email: [mfadum@fadum.ca](mailto:mfadum@fadum.ca)

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PROJECT TITLE  
**5660 - 177B STREET**  
**SURREY, B.C.**

SHEET TITLE  
**T1 - TREE REMOVAL AND PRESERVATION PLAN**  
 CLIENT

DRAWN MK  
 SCALE AS SHOWN  
 DATE OCTOBER 17, 2018

**T-1**  
 SHEET 1 OF 2

the impact to archaeological sites and preserve farm and heritage sites. There are nearly 50 heritage sites located within the flood plane.

- The City has been awarded a \$76.6 million dollar federal grant under the Disaster Mitigation and Adaptation Fund. The funding advances "no regret" actions related to coastal flood. "No regret" actions are projects that will provide an immediate benefit to current issues, such as providing recreation or reducing traffic congestion, as well as address coastal flooding related issues in the long-term future. The federal grant, as well as additional partner funding, will be utilized to implement 13 projects.
- Proposed Mud Bay foreshore enhancements have triggered a Provincial Environmental Assessment. The City is seeking an exemption for the Assessment as the project will improve the environment and the Assessment requirements could impact the project timeline by one-full year. The City's solution for the foreshore is nature-based, to reduce coastal squeeze and flooding. It is proposed that foreshore protection be implemented along one kilometre of Mud Bay Park. This will establish a salt marsh habitat over a wider distance that is able to adapt to sea level rise while preserving the natural look of the shoreline. This approach has been developed with subject-matter experts and with input from residents and stakeholders. The City will be completing a detailed environmental study, as the area is a habitat for migratory birds, as well as developing protocols along with First Nations regarding the handling of artifacts. As part of early engagement in the Environmental Assessment process, input from the Commission was requested.

## C. OUTSTANDING BUSINESS

## D. NEW BUSINESS

### 1. PLANNING & DEVELOPMENT

- (a) House at 5660 177B Street Proposed Rezoning and Heritage Revitalization Agreement (HRA) and Addition to the Heritage Register  
File: 6800-10

Kelsey Baglo, Heritage Planner, summarized the report dated April 30, 2020 regarding rezoning and Heritage Revitalization Agreement (HRA) applications that have been submitted for the house located at 5660 177B Street. The following information was highlighted:

- The house was constructed in 1924 and operated as a dairy farm.
- The proposal consists of retaining the house on site to be used as an amenity space for a five-storey apartment development. The house will be temporarily relocated while an underground parking structure is constructed.

- The applicant had an evaluation worksheet prepared for the house by Donald Luxton and Associates, recommending that the house be added to the Heritage Register.

In response to questions from the Commission, Ms. Baglo and Christopher Lumsden, Planner, provided the following information:

- An HRA will be placed on the house during its temporary relocation to ensure its safety. The HRA would apply to the house while it is temporarily relocated to the property only and not the land of the relocation site. An HRA will be adopted at the permanent site at the same time.
- Staff are reviewing the proposal for a five-storey development with a 2 Floor Area Ratio (FAR), with the retention of the heritage building.
- The applicant is able to satisfy all parking requirements through the two-levels of underground parking.
- The conservation plan, including the new location of the house, will be brought forward to the Commission for consideration.

It was Moved by Commissioner Hol  
Seconded by Commissioner Priddy  
That the Heritage Advisory Commission:

1. Receive the report dated April 30, 2020 regarding rezoning and Heritage Revitalization Agreement applications for the house located at 5660 177B Street as information;
2. Recommend to Council that the house at 5660 177B Street be added to the Surrey Heritage Register; and
3. Recommend to the General Manager, Planning and Development, that staff be directed to proceed with the preparation of a Heritage Revitalization Agreement (HRA) for the house at 5660 177B Street.

Carried

- (b) Brynjolfson Residence (12876 Crescent Road)  
Application for Financial Assistance to Repair Interior Fir Floors  
File: 6800-01

Kelsey Baglo, Heritage Planner, summarized the report dated April 22, 2020 regarding an application for financial assistance that has been submitted for the Brynjolfson Residence located at 12876 Crescent Road) to repair the interior fir floors. Ms. Baglo noted that while financial assistance is generally provided to exterior features of a property, the fir floors of the Brynjolfson residence were recognized as a heritage defining element and are therefore eligible for the grant.

**D. NEW BUSINESS****1. PLANNING & DEVELOPMENT**

- (a) **Main Residence (5660 177B Street) Heritage Revitalization Agreement**  
File: 6800-01

Commissioner Hol declared a conflict of interest and left the meeting at 4:35 p.m.

Kelsey Baglo, Heritage Planner, summarized the on-table report dated December 8, 2020 regarding a Heritage Revitalization Agreement (HRA) for the Main Residence located at 5660 177B Street.

In response to a question from the Commission, Ms. Baglo advised that the Main Residence will be utilized as an amenity building.

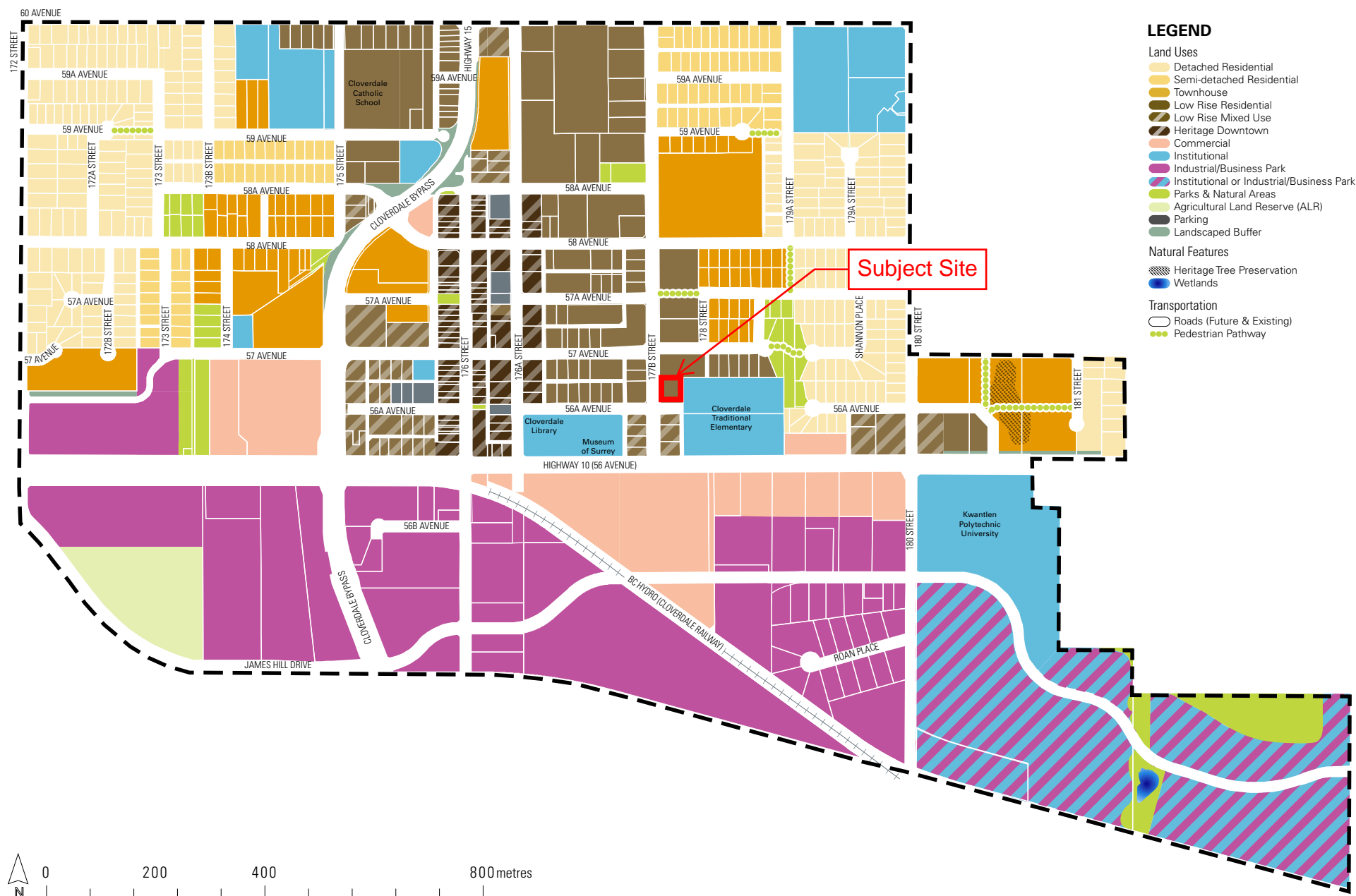
It was Moved by Commissioner Gibbs  
Seconded by Commissioner Priddy  
That the Heritage Advisory Commission

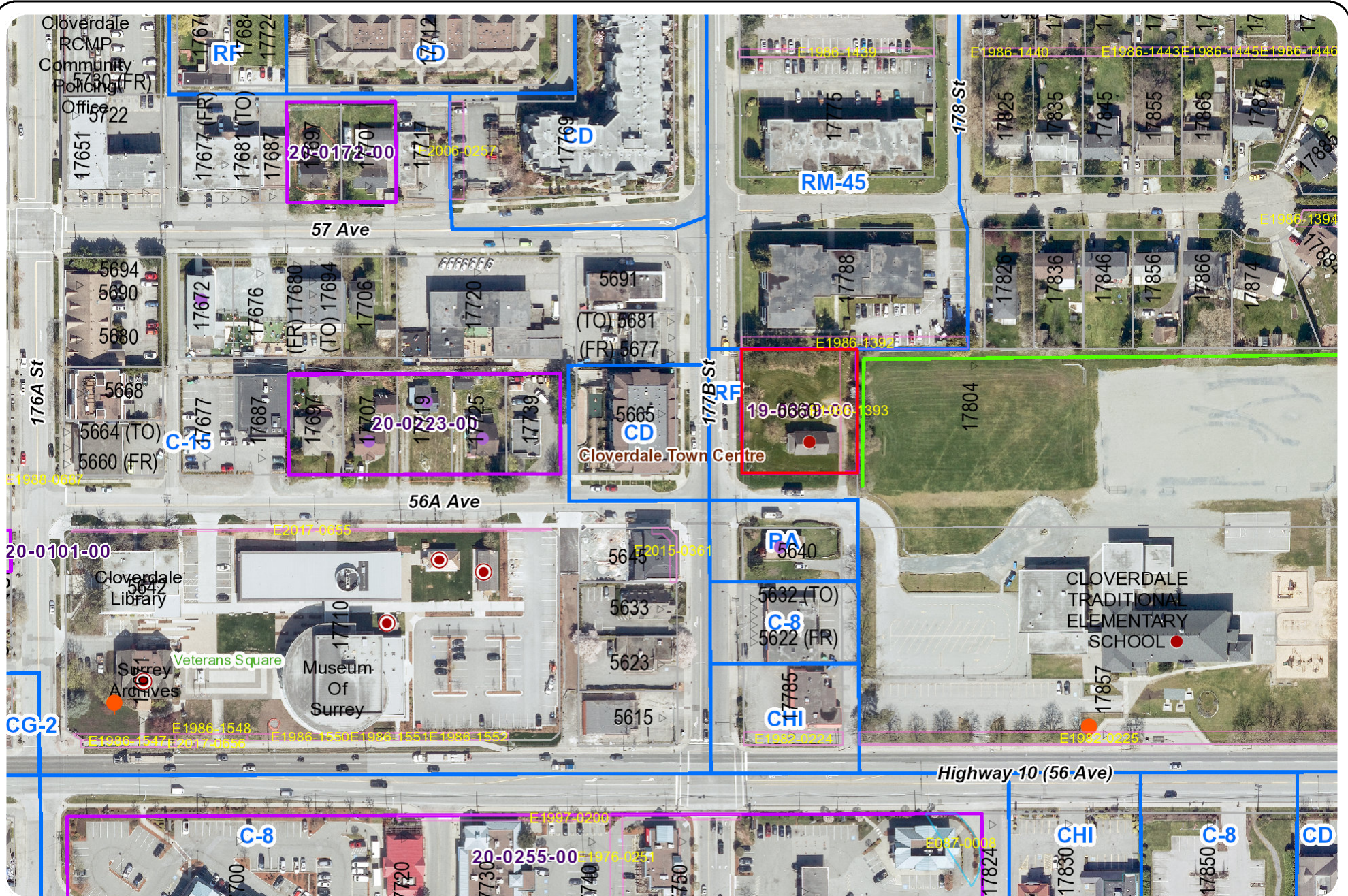
(HAC):

1. Receive the on-table report dated December 8, 2020 regarding a Heritage Revitalization Agreement (HRA) for the Main Residence located at 5660 177B Street as information; and
2. Recommend to the General Manager, Planning and Development Department that the HRA for the Main Residence be forwarded to Council for consideration following City Architect and Legal review.  
Carried by members remaining



Figure 3.1: Land Use Map

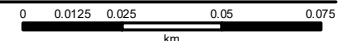




Aerial Photo (COSMOS, April 2020)

Scale: 1:1,902

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca



Map created on: 2020-12-10

- 2. Time:** 4:35 p.m.
- File No.: 7919-0339-00  
Address: 5660 - 177B Street  
New or Resubmit: New  
Last Submission Date: N/A  
Description: Rezoning (RF to CD, based on RM-70), Development Permit (Form and Character) and Heritage Revitalization Agreement to permit a 5-storey, 48-unit residential apartment building as well as the relocation, preservation and maintenance of the JJ Main House in Cloverdale Town Centre.
- Developer: Aman Dhillon  
Architect: Maciej Dembeck, Architect, AIBC, Barnett Dembek Architects Inc.  
Landscape Architect: Dylan Chernoff, BCSLA Durante Kreuk Ltd.  
Heritage Consultant: Ricky Disini, Donald Luxton and Associates Inc.  
Planner: Christopher Lumsden  
Urban Design Planner: Sam Maleknia

The Urban Design Planner advised that staff have no specific issues. Staff worked closely with the applicant to advance the concept and support the project. Staff asked the panel to provide comments on the overall site planning, landscape concept, indoor and outdoor amenity and potential rooftop amenity, architectural expression of the building, retained heritage integration, and public realm interfaces. He also added, the heritage building will be temporary removed and subsequently relocated on the property after completion of the underground parking structure as the indoor amenity building.

The Project Architect presented an overview of the site and building plans, elevations, sections, and streetscapes.

The Landscape Architect presented an overview of the general concept for the Landscape design

### ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by A. Kenyon  
Seconded by R. Jenkins  
That the Advisory Design Panel (ADP) is in  
CONDITIONAL SUPPORT of the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department and, at the discretion of Planning staff, resubmit the project to the ADP for review.

Carried  
With R. Dhall opposed.

#### Key Points:

- Consider further development of the landscape design framing the heritage building. A long plaza with a paver surface is added along the heritage building 56A Avenue frontage up to the lobby entry. Trees are placed in grates within the plaza surface, and street facing benches are added along the length of the heritage building. Layered base planting of Boxwood Winter Gem and Dwarf Purple Rhodo are placed against the heritage building and provide a backdrop to the new rectangular plaza.
- Consider measures to enhance the presence of the building entry from the corner of 56A and 177B. A long plaza with a paver surface is added along the heritage building 56A Avenue frontage up to the lobby entry. Trees are placed in grates within the plaza surface, and street facing benches are added along the length of the heritage building. The lobby walls themselves are finished with a large scale glazing system to enlarge and consolidate the scale of the lobby for more visibility from the intersection.
- Consider using materials and or colour to neutralize the heritage house facing facades of the new building. The lobby finish is simplified as a simple glass and spandrel glass glazing system. The wood siding is deleted from the apartment building proper.
- Consider further development of the interface between the heritage building and new building. Siding areas are removed and all lobby walls are finished with a glazed wall system where they connect between the apartment building and heritage building. The rear side of the heritage house forms a backdrop to the lobby interior.
- Reconsider the need for or strategy regarding the use wood siding on the facade. The wood siding is deleted. The grey wall colour on the building base is carried up into void areas between projecting bays in lieu, as a strategy to break up the building massing.
- Consider orienting the balcony facing the heritage home to the south façade. The balcony on the south west unit, third floor is removed from the west face of the building to the south side in line with and over the lobby entry canopy.
- If possible, consider dropping the finish floor elevation of the heritage

- home. The intent is to preserve the heritage character of the building. Dropping the floor significantly alters that character.
- Reconsider the architectural language of the stair on the north side of the heritage home. Consider providing an occupiable space at the top of the stair. The stair is widened and terraced seating is added within the framing walls.
  - Consider measures to dissuade public from accessing the heritage home. The existing porch is enclosed with a pony wall approximately 2' high. As this is well below current guardrail height requirements, a clear, laminated safety glass upstand is to be installed on the inside face of the existing parapet wall. A gate is added at the top of the stair matching the additional upstand glazed balustrade.
  - Consider using your energy and thermal comfort modeling as a design tool. With input from the energy consultant, further design refinements will be implemented.
  - Consider extending balcony extension features to provide shading on the south façade. Overhangs are increased to 2' on the south and west facades where they are over windows.
  - Consider improving the comfort and energy performance of the heritage building. The renovation will involve a complete removal of interior wall finishes on the outside of the building and rebuilding of those walls with insulation to today's Step 3 Energy Code requirements. Glazing will be augmented with additional interior lites of glass.
  - Consider providing adaptable suites including adaptable balconies. Adaptable suites are not required by the City of Surrey. Balconies will be designed with flush sills.
  - Consider storey-telling signage describing the heritage home. The applicant will continue to work with City staff to ensure that acceptable signage is installed along 177B Street, adjacent to the Main Residence.

### Site

- The placement of the Heritage building requires some design development. **The added plaza and base planting embed the heritage house at the street intersection and expand the public realm to augment the house.**
- The Heritage building is sitting awkwardly, consider maybe placing it on an angle, consider plaza surrounding it, or a false front façade. **Plaza is added on south side along 56A Avenue. Angled placement would place the retained heritage building at odds with the street grid.**

### Form and Character

- Consider signage or plaques at the Heritage building. **Signage is added.**
- Consider potential damage during transportation for the Heritage home. **Required bracing and protection will be provided during the transport of the house and will ultimately form part of the heritage agreement.**
- Consider design development regarding new building to Heritage building. **The connecting lobby is simplified as an all glass entry pavilion.**
- Unit A.5 balcony is very close to the heritage building roof. Consider shifting them to south side similar to unit B9 which help announce the main entry. **The 3<sup>rd</sup> floor balcony is shifted to line up with the entry canopy below. The clerestory lobby window is revised to align with these 2 projections.**
- The cedar siding is out of place and seems random. Reconsider the strategy and where the material is applied. **It is deleted.**
- Consider the activities that may happen on the Heritage amenity patio facing the street. Existing stairs and porch of the heritage home will confuse the public. Consider gating or signing, etc. **Glazed gates are added.**

### Landscape

- Consider a green roof. **The landscape at grade is a green roof. The wood frame roof will be finished with a high albedo roof membrane of white granules on the 2 ply torch on membrane. A note is added to the roof plan.**

### CPTED

- No specific issues were identified.

### Sustainability

- Recommend that a mechanical and energy consultant is engaged as early as possible. **Both consultants have been engaged and will provide direction with the commencement of design development stage of working drawing preparation.**
- Recommend thermal comfort modeling. **This will be provided by the mechanical and energy consultants.**
- Recommend filling walls with insulation and the window efficiency in the Heritage amenity home. **This will be provided in the working drawings in accordance with the heritage consultant.**

## Accessibility

- The access to the Heritage amenity is unfortunate for those with accessibility issues. Consider lowering the finish floor elevation of the heritage home/amenity space (by utilizing the void space below) to minimize the number of stairs and ramps to connect to the lobby area and provide a higher ceiling height. Lowering the floor is too significant an alteration to the building and non compliant with the heritage status. The interior second floor will be removed to augment the interior ceiling height.
- Recommend that the amenity restrooms be to Code. A universal washroom will be provided.
- Recommend that the designated disabled parking stalls be to Code. Per Surrey requirements, two side by side parking stalls are provided on the upper parking level, one with regular width and one with van width.
- Recommend that the entrance door be power operated. The BC Building Code does not require power operated doors with this type of building occupancy. These are also an ongoing maintenance issue. We will provide conduit to the entry doors for future power door installation should the strata elect to have these installed. A note is added to the concept site and first floor plans to this effect.
- Consider the elevator and entrance call button panel to be placed horizontally. A note is added to all floor plans to “supply and install elevator call buttons in a horizontal manner compliant with BCBC and Safety BC requirements.
- Consider 3% of units be wheelchair accessible. On designated rental projects accessible, adaptable and universal units are typically provided; given this is market housing, this will not be provided. However, if requested by a buyer, and alternate accessible unit plan will be made available.

SCHEDULE "I"

[Surrey Heritage Revitalization Agreement By-law, 20 , No.\_\_\_\_\_]

HERITAGE REVITALIZATION AGREEMENT

This Agreement made the \_\_\_ day of \_\_\_\_\_, 20

BETWEEN:

1161629 B.C. LTD., INC.NO. BC1161629  
7581 6<sup>th</sup> Street  
Burnaby, British Columbia V3N 3M4

and

0917723 B.C. LTD., INC.NO. 0917723  
13615 60<sup>th</sup> Avenue  
Surrey, British Columbia V3X 3L1

(the "Owners")

OF THE FIRST PART

AND:

CITY OF SURREY, a municipal corporation,  
and having offices at 13450 - 104 Avenue  
Surrey, British Columbia V3T 1V8

(the "City")

OF THE SECOND PART

WHEREAS:

- A. The Owner is the registered owner in fee simple of the following lands and premises situate in the City of Surrey, British Columbia and described as:

Parcel Identifier: 006-780-326  
Lot 66 Section 8 Township 8 New Westminster District Plan 33047

5660 - 177B Street

("Permanent Location")

And

Parcel Identifier: 003-449-254  
Lot 3 Block 2 Section 17 Block 5 North Range 2 West New Westminster District Plan 616

12454 - 110 Avenue

("Temporary Location")



And as the legal description of the Permanent Location is to change, the City Clerk is directed to insert the following new legal description once title(s) has/have been issued, as follows:

Parcel Identifier: \_\_\_\_\_

\_\_\_\_\_  
(collectively, the "Lands");

- B. The Owner and the City consider that the Lands, including the improvements and features on the Lands, have *heritage value* and *heritage character*;
- C. The Owner and the City desire to conserve the *heritage value* and *heritage character* of the Lands;
- D. For the purpose of conservation of the *heritage value* and *heritage character* of the Lands, the Owner and the City have agreed to enter into this Agreement setting out the terms and conditions of continuing protection for the *heritage value* and *heritage character* of the Lands;
- E. The Owner has agreed to the terms for compensating the City for the loss in *heritage value* in accordance with Section 2(f) of this Agreement in the event the heritage improvements or features on the Lands are moved or destroyed other than through natural causes;
- F. The improvements or features on the Lands which have *heritage value* and *heritage character* which both the Owner and City desire to conserve have been described by text, photographs, plans and drawings attached to this Agreement as Appendix "A" (the "Conservation Plan") and Appendix "B" (the "Donald Luxton and Associates Inc Plan");
- G. The improvements or features identified in the Conservation Plan as the Main Residence (the "House") is listed on the Surrey Heritage Register and the Owner and the City consider that the House has *heritage value* and *heritage character* such that all provisions of this Agreement applicable to the Lands also apply to the House; and

- H. The House will be temporary relocated to the Temporary Location as provided for in this Agreement, and all provisions of this Agreement are applicable to the Temporary Location until such time as the House is moved back to the Permanent Location and final building inspection of the issued building permit, which conforms to this Agreement and the approved development permit, is successfully achieved.

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the mutual premises of the parties hereto and for other good and valuable consideration (the receipt and sufficiency of whereof is hereby by the parties acknowledged) the Owner and the City covenant and agree with one another pursuant to Section 610 of the Local Government Act, R.S.B.C. 2015, Chapter 1, as amended, re-enacted or consolidated from time to time and any successor statute (the "Local Government Act"), as follows:

### Conservation Plan

1. (a) The Conservation Plan and the Donald Luxton and Associates Inc Plan form part of this Agreement. To the extent that the text, photographs, plans and drawings constituting the Conservation Plan or Donald Luxton and Associates Inc Plan require interpretation, the City shall be, in the first instance, the interpreter of the Conservation Plan and Donald Luxton and Associates Inc Plan and shall determine the matter. If the Owner is dissatisfied with the City's interpretation, then Section 15 of this Agreement shall apply.
- (b) Part I of the Conservation Plan and the Donald Luxton and Associates Inc Plan identify, detail and describe the character, extent and nature of the improvements and features on the Lands that have *heritage value* and *heritage character* including, but not limited to: location on 177B Street; form, scale and massing as expressed by its one and one-half storey height and simple, shed-roof dormer, and regular rectangular plan; wood-frame construction, with original cedar shingle cladding beneath later stucco; vernacular Craftsman inspired details such as the front gabled roof with triangular wooden brackets, exposed raftertails, pointed bargeboards, main floor set significantly above grade, accessed by a flight of steps; original window placement, and original wood window assemblies, including multi-wood frame light casement units at the basement level, double-hung assemblies on the main elevation, and large multi-light assemblies inside the enclosed verandah; original wood doors; and interior masonry red brick chimney. Part II of the Conservation Plan and the Donald Luxton and Associates Inc Plan set out the maintenance strategy, general standards and exemptions for the *conservation* and maintenance of all improvements and features on the Lands that have *heritage value* and *heritage character*. Part III of the Conservation Plan and Donald Luxton and Associates Inc Plan set out the standards and specifications for relocation, restoration, rehabilitation, replication, repair, replacement or maintenance to be undertaken and completed pursuant to this Agreement.

## Owner's Obligations to Protect, Conserve, Maintain and Rebuild

2. The Owner covenants and agrees that:
- (a) No improvements on the Lands identified in the Conservation Plan as having *heritage value* or *heritage character* shall be *altered*, including alterations required or authorized by this Agreement, except as agreed to in writing by the City.
  - (b) Each action of relocation, restoration, rehabilitation, replication, repair, replacement or maintenance required by Parts I, II, and III of the Conservation Plan and the Donald Luxton and Associates Inc Plan shall be commenced and completed in accordance with the timing, phasing, standards and specifications set out the Conservation Plan and the Donald Luxton and Associates Inc Plan.
  - (c) All improvements identified in the Conservation Plan as having *heritage value* and *heritage character* shall be maintained to the minimum standards as set out in the Heritage Property Standards of Maintenance Bylaw, 2017, No. 18931, and in accordance with the guidelines and requirements set out in the Conservation Plan and Donald Luxton and Associates Inc Plan.
  - (d) In the event the House is damaged during its relocation or otherwise, the Owner of the Lands accepts the obligation to undertake all necessary construction to restore the damaged portion or portions of the House to its original condition. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to restore the damaged portion or portions of the House. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The restoration of the House shall reflect the character-defining elements and design components including, but not limited to: location on 177B Street; form, scale and massing as expressed by its one and one-half storey height and simple, shed-roof dormer, and regular rectangular plan; wood-frame construction, with original cedar shingle cladding beneath later stucco; vernacular Craftsman inspired details such as the front gabled roof with triangular wooden brackets, exposed raftertails, pointed bargeboards, main floor set significantly above grade, accessed by a flight of steps; original window placement, and original wood window assemblies, including multi-wood frame light casement units at the basement level, double-hung assemblies on the main elevation, and large multi-light assemblies inside the enclosed verandah; original wood doors; and interior masonry red brick chimney; all as subject to approval by the City Architect or designate.

- (e) In the event the House is destroyed during its relocation or otherwise, the Owner of the Lands accepts the obligation to undertake all necessary construction to create a replica of the House. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to create a replica of the House. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The construction of the replica of the House shall reflect the character-defining elements and design components as described in Section 2(d), all as subject to approval by the City Architect or designate.
- (f) In the event that the House is destroyed during its relocation or otherwise, in addition to the construction of a replica described in 2(e), the Owner covenants and agrees to compensate the City for the loss in *heritage value* to the community in the amount of \$18,667.01 indexed to the Vancouver Consumer Price Index (CPI) with 2020 being the base year, except that if the House is destroyed through natural causes, including but not limited to, flood, earthquake and accidental fire as determined by the City in its sole discretion, and a replica is constructed by the Owner that is acceptable to the Heritage Advisory Commission or any successor decision making body in its sole discretion, then payment of compensation by the Owner to the City is not required.
- (g) Should the House become vacant and unoccupied, the Owner of the Lands agrees to maintain the integrity and security of the House and Lands including, but not limited to, on-site security, monitored security alarm system, perimeter fencing and lighting, and boarding of windows and doors. The Owner of the Lands must provide to the City in writing a 24-hour emergency contact number and confirm the security measures are in place. If the Owner fails to secure the House, the City may and is authorized to enter onto the Lands to undertake the necessary works to secure the House, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands and to conduct inspections to determine that the security measures continue to be in place.
- (h) Should the House become vacant and unoccupied during construction or other redevelopment of the Lands, the Owner agrees to post a sign that reads as follows:

**PROTECTED HERITAGE SITE**

**No Vandalism or Removal of Materials**

**(Maximum individual penalty: \$50,000 and 2 years Imprisonment)**

If the Owner fails to post the required sign, the City may and is authorized to post the sign, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands.

- (i) Once the House is occupied, there must be appropriate security measures in place to maintain the integrity and security of the House and Lands. Should the House become vacant and unoccupied for a period of 30 days or more, the requirements in 2(g) apply, including the right of the City to enter onto the Lands to carry out the necessary works at the expense of the Owner and confirm that security measures are in place, unless otherwise agreed to in writing by the City. The Owner of the Lands must also provide to the City in writing a 24-hour emergency contact number.
- (j) The Owner shall do or cause to be done all such things, and shall take or cause to be taken all such actions, as are necessary to ensure that the restrictions and requirements set out in Parts II and III of the Conservation Plan and in the Donald Luxton and Associates Inc Plan are fully observed, and the Owner shall not do, cause or allow to be done anything that would be in breach of the restrictions and requirements of this Agreement.
- (k) Where required by the City in a heritage alteration permit, the Owner shall provide security to the City to guarantee the performance of the terms, requirements and conditions contained in the Conservation Plan and the Donald Luxton and Associates Inc Plan.
- (l) The Owner may apply to the City for funding including, but not limited to, monies for exemption from taxes, or any provision for assistance as specified in Section 25 of the Community Charter, S.B.C. 2003, c.26 (the "Community Charter").

#### Construction and Maintenance

- 4. Wherever under this Agreement the Owner relocates, restores, rehabilitates, replicates, repairs, replaces, maintains or in any way alters improvements on, or features of the Lands identified in the Conservation Plan and the Donald Luxton and Associates Inc Plan as having *heritage value* and *heritage character* or constructs or maintains other works to protect or conserve such improvements or features, all such work shall be done at the Owner's sole expense strictly in accordance with the Conservation Plan and the Donald Luxton and Associates Inc Plan and as agreed by the City in writing and all improvements or features shall be diligently and continuously maintained in good repair and efficient operating condition by the Owner at the Owner's sole expense in accordance with good engineering, design, heritage and conservation practice.

#### No Liability to City

- 5. In no case shall the City be liable or responsible in any way for:
  - (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that may be suffered or sustained by the Owner or by any other person who may be on the Lands; or
  - (b) any loss or damage of any nature whatsoever, howsoever caused to the Lands or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements of this Agreement, wrongful or negligent failure or omission to comply with its restrictions and requirements, or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements or with any other term, condition or provision of this Agreement.

#### Reasonable Care and Risk

6. The Owner shall at all times, in complying with the restrictions or requirements of this Agreement, take reasonable care not to injure any person or cause or allow damage to any property, and shall take reasonable care not to cause, suffer, permit or allow any condition to exist that might reasonably lead to, cause or result in injury to any person or property including persons and property on adjacent lands. It shall be the sole responsibility of the Owner to comply and maintain compliance with the restrictions and requirements in a safe manner, and without reasonably foreseeable risk to person or property. Compliance with the restrictions and requirements in this Agreement shall be at the sole and exclusive risk and cost of the Owner.

#### Modification

7. If, in fulfilling its responsibilities and obligations pursuant to this Agreement, the Owner perceives or becomes aware of any unreasonable risk of injury to persons or damage to property or other potential loss that cannot be reasonably avoided, alleviated, reduced or eliminated except by measures that would be a breach of the restrictions, requirements of this Agreement, the Owner shall notify the City in writing of the nature and extent of the risk and of the measures proposed by the Owner to be undertaken at its sole cost to reduce, alleviate, avoid or eliminate the risk. Risk shall remain with the Owner.

#### Indemnity

8. The Owner shall at all times indemnify and save harmless the City and its elected and appointed officials, employees, contractors and agents of and from all loss and damage, and all actions, claims, costs, demands, expenses, fines, liabilities and suits of any nature whatsoever by whomsoever brought for which the City shall or may become liable, incur or suffer by reason of existence and effect whether direct or indirect of the restrictions or requirements of this Agreement, or breach or non-performance by the Owner of any covenant, term or provision hereof, or by reason of any work or action of the Owner in performance of this Agreement, or by reason of any work or action of the Owner in performance of its obligations, or by reason of any wrongful act or omission, default or negligence of the Owner.

#### Alternative Remedies

9. Any performance by the City pursuant to a statutory right to perform the obligations of an Owner arising out of this Agreement may be exercised fully in accordance with the Local Government Act and the Community Charter, and shall be without prejudice to any and all other remedies at law and equity available to the City, and no reference in this Agreement to, or exercise of any specific right or remedy by the City, shall preclude the City from exercising any other right or remedy.

### Damages

10. The Owner covenants and agrees that the measure of damages for any breach of the restrictions or requirements of this Agreement shall include, but shall not be limited to, the actual cost and expense of all administration, labour, materials, equipment, services and work required for all remedial acts necessary to fully relocate, restore, rehabilitate, replace, repair or maintain the building, structure, improvements on or features of the Lands having *heritage value* and *heritage character* to be protected, conserved, preserved or kept in its natural state. The nature and extent of any breach of the said restrictions and requirements, and the nature and extent of any relocation, restoration, rehabilitation, replacement, maintenance or remedial work or action of any nature required to remedy such breach shall be determined by the City by reference to the Conservation Plan and the Donald Luxton and Associates Inc Plan, and Sections 2 and 4 of this Agreement.

### No Waiver

11. No restrictions, requirements or other provisions in this Agreement shall be deemed to have been waived by the City unless a written waiver authorized by resolution of the Council and signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default nor any previous written waiver shall be taken to operate as a waiver by the City of any subsequent default or in any way to defeat or affect the rights of remedies to the City.

### Statutory Authority and Proprietary Rights

12. Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled and no permissive by-law enacted by the City, or permit, license or *approval*, granted, made or issued hereunder, or pursuant to statute, by the City shall stop, limit or impair the City from relying upon and enforcing this Agreement.

### Compliance with Laws

13. Despite any provision of this Agreement, the Owner shall comply with all laws, including by-laws of the City and all regulations and orders of any authority having jurisdiction, and to the extent only that such laws, regulations and orders are mandatory and necessarily require the breach of any restriction or positive obligation of this Agreement to be observed or performed by the Owner, or less than strict compliance with the terms hereof, then the Owner upon sixty (60) days' written notice to the City shall be excused from complying with such restrictions or performing such obligation and such restriction or obligation shall be suspended but only to the extent and for the time that such mandatory law, regulation or order is inconsistent with compliance with the said restrictions or obligations.

## Notice

14. Any notice to be given under this Agreement shall be in writing and may be either delivered personally or sent by prepaid registered mail and if so mailed shall be deemed to have been given five (5) days following the date upon which it was mailed. The address of the parties for the purpose of notice shall be as follows:

If to the City:

Attention: City Clerk  
CITY OF SURREY  
13450 - 104 Avenue  
Surrey, British Columbia V3T 1V8

If to the Owner of the Permanent Location:

1161629 B.C. LTD., INC. NO. BC1161629  
7581 6<sup>th</sup> Street  
Burnaby, British Columbia V3N 3M4

If to the Owner of the Temporary Location:

0917723 B.C. LTD., INC. NO. 0917723  
13615 60<sup>th</sup> Avenue  
Surrey, British Columbia V3X 3L1

Any party may at any time give notice in writing to the other of any change of address and after the third day of giving of the notice, the address specified in the notice shall be the address of the party for the giving of notices.

If title to the Lands is transferred to a new Owner, the new Owner shall provide notice in writing to the City within 15 days of such a transfer providing the name of the new Owner, the contact for notice if it is different than the Owner and the new Address to which notices are to be sent.

## Arbitration

15. The Owner, if dissatisfied with the City's interpretation of the Conservation Plan and the Donald Luxton and Associates Inc Plan and any determination pursuant to Section 1(a) of this Agreement, may require that the matter be decided and determined by binding arbitration as follows:
- (a) The Owner must, within thirty (30) days of any exercise of discretion by the City, give notice to the City of its intention to dispute and in such notice shall name a member in good standing of the Architectural Institute of British Columbia who has agreed to act as an arbitrator;
  - (b) The City shall within thirty (30) days of receipt of the aforesaid notice either accept the Owner's arbitrator, or name another with the same qualifications willing to act, and shall give notice of the same to the Owner;



- (c) Where each of the Owner and the City have named an arbitrator, the two arbitrators shall within thirty (30) days of the City's notice pursuant to Section 15(b) appoint a third arbitrator having the same qualifications and the three arbitrators shall decide the dispute;
  - (d) Where the City accepts the arbitrator first selected by the Owner, that arbitrator shall act as a single arbitrator and forthwith decide the dispute;
  - (e) Any arbitrator's decision in respect of the exercise of discretion by the City shall be final, conclusive and binding on all parties;
  - (f) The arbitrator shall award the prevailing party full compensation for all costs and expenses of the arbitrator, costs and fees of the proceedings and solicitor-client costs and expenses; and
  - (g) The arbitrator shall issue a final decision regarding the dispute within twenty-five (25) business days after the arbitrator's appointment, subject to extension of that time by agreement of the parties.
16. Without limiting the City's power of inspection conferred by statute and in addition to that power, the City shall be entitled at all reasonable times and with reasonable notice to enter onto the Lands from time to time for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner, and wherever possible, when an inspection of the Lands is undertaken, the City shall provide reasonable notice to the Owner.

#### Headings

17. The headings in this Agreement are inserted for convenience only and shall not affect the construction of this Agreement or any of its provisions.

#### Schedules

18. All schedules to this Agreement are incorporated into and form part of this Agreement.

#### Number and Gender

19. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

#### Interpretation

20. Terms used in this Agreement that are italicized are defined in the Local Government Act, and the Heritage Conservation Act, R.S.B.C. 1996, Chapter 187, as amended, re-enacted or consolidated from time to time and any successor statute, and shall take their meaning from those Acts.

Successors Bound

21. All restrictions, rights and liabilities imposed upon or given to the respective parties under this Agreement shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns. When the Owner is more than one party they shall be bound jointly and severally by the terms, covenants and agreements on the part of the Owner.

Notice to be Filed

22. Notice of this Agreement and amendments to it will be filed in the Land Title Office and once filed, this Agreement and amendments will be binding on all persons who acquire an interest in the Lands.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date first above written.

**1161629 B.C. LTD., INC.NO. BC1161629**  
by its authorized signatories

\_\_\_\_\_  
Jagminder Paul Kaur Dhesi

\_\_\_\_\_  
Amandeep Dhillon

\_\_\_\_\_  
Charnjeev Makkar

**0917723 B.C. LTD., INC.NO. 0917723**  
by its authorized signatories

\_\_\_\_\_  
Jagminder Paul Kaur Dhesi

**CITY OF SURREY**

\_\_\_\_\_  
Doug McCallum  
Mayor

\_\_\_\_\_  
Jennifer Ficocelli  
City Clerk

## Appendix "A"

### CONSERVATION PLAN

#### PART I – HISTORICAL AND ARCHITECTURAL BACKGROUND

##### 1. Description of Historic Place

The Main Residence is a one and one-half storey wood-frame house located along 177B Street in the Cloverdale neighbourhood of Surrey. Located on a large lot, the house is characterized by its gabled roof, wooden knee brackets, and full-width enclosed porch with hip roof.

##### 2. Heritage Value of Historic Place

Constructed in 1924, the Main Residence is significant for its association with the interwar agricultural development of Cloverdale and for its connection to original owner and well-known Surrey resident, John J. Main. The house is also valued for its Craftsman influenced vernacular architecture, representative of its type.

Cloverdale originally developed along the tracks of the New Westminster Southern Railway (NWSR), which opened in 1891. With the completion of the Victoria Terminal Railway in 1903, the Vancouver, Victoria and Eastern Railway in 1907, and the BC Electric Railway in 1910, development in Cloverdale quickened. The area became an important railway hub, and developed as a thriving commercial core, which was bolstered in 1912 when Surrey's new Municipal Hall was built in the area, establishing it as the District's administrative centre. In 1923 the Pacific Highway was graded and cemented from the International Border to Old Yale Road, thereby encouraging additional development in Cloverdale as the highway became a major road transportation service route. A number of the town's more prominent citizens relocated to this area, drawn to its semi-rural estate character. This house was originally located on a 7-hectare parcel, which operated as a dairy farm, though it was decreased in size over the years as a portion was sold to the Surrey School Board and other portions were subdivided and sold for development. The Main Residence is valued as part of a trend of semi-rural homes, built during the 1920s and 1930s in Cloverdale.

The Main Residence is additionally valued for its association with the Main family. In 1920, this property was granted to war veteran, John J. Main as part of the post-World War One Canadian Government's Soldiers Settlement Scheme. Originally from England, Main arrived in Surrey in 1919 and, like many early Surrey residents, became involved in agricultural pursuits. The family operated a dairy farm from this property and eventually constructed their family home here in 1924. Main and his wife, Edith, were active Cloverdale residents, delivering milk from their farm to the local community via horseback. Prior to its renaming, 177B Street was known as Main(e) Street, named so after the Main family. John and Edith remained in the house until their deaths in 1972 and 1966, respectively. The Main Residence remains a tangible representation of the Main family's contribution and connection to the Cloverdale community.

The Main Residence is significant for its vernacular architecture with Craftsman influences. The house is a modest and restrained example of this architectural style, which was the most popular housing style during the early twentieth century and the interwar period, in particular. The Craftsman style was typified by rational space planning, the use of natural materials and a mix of traditional design elements inspired by the Arts and Crafts movement in England. The Main Residence is prominent along 177B Street and exists as one of only two remaining early homes in the immediate vicinity.

### **3. Character Defining Elements**

Key elements that define the heritage character of the Main Residence include its:

- location on 177B Street;
- form, scale and massing as expressed by its one and one-half storey height and simple, shed-roof dormer, and regular rectangular plan;
- wood-frame construction, with original cedar shingle cladding beneath later stucco;
- vernacular Craftsman inspired details such as the front gabled roof with triangular wooden brackets, exposed raftertails, pointed bargeboards, main floor set significantly above grade, accessed by a flight of steps;
- original window placement, and original wood window assemblies, including multi-wood frame light casement units at the basement level, double-hung assemblies on the main elevation, and large multi-light assemblies inside the enclosed verandah;
- original wood doors; and
- interior masonry red brick chimney.

## **PART II – MAINTENANCE STANDARDS AND PERMIT APPROVALS**

### **1. General**

#### **A. Requirement to Commence Renovations**

The restoration of the House, including works that are consistent with Part III – Restoration Standards and Specifications, must commence within 60 days following the relocation of the House to the Permanent Location.

#### **B. Maintenance Strategy**

The strategy to ensure ongoing conservation of the House shall consist of a Maintenance Plan and a Funding Strategy.

The Maintenance Plan shall be prepared with input from a conservation architect or qualified heritage consultant that is acceptable to the City. Issues to be addressed in the Maintenance Plan include water penetration and damage from sun, wind, weather, and animals. Maintenance includes, but is not limited to, painting or staining, sealing, weather-stripping and the like.

The Funding Strategy shall include, but is not limited to, whether or not the Owner intends to absorb all the costs, undertake fundraising or seek government financial incentives, including those available from the City.

The Owner shall submit a Maintenance Plan and Funding Strategy for review and approval by the General Manager, Planning and Development and the Heritage Advisory Commission within one (1) year of the adoption of a by-law authorizing the City to enter into this Agreement.

The Maintenance Plan and Funding Strategy for the House shall include, but is not limited to, the following:

- (a) A description and a time schedule for the relocation, renovations, repair, and replacement of the exterior elements, *landscaping* or other identified works on the Lands that constitute the character-defining elements and as identified in Part III – Renovation Standards and Specifications;
- (b) A description and time schedule for the ongoing maintenance of the elements, *landscaping* or other identified works on the Lands and other relevant details. Maintenance includes: painting, staining and sealing of the exterior cladding and trims, weather stripping, re-roofing, replacement of windows, doors and exterior cladding or trims to match the existing materials;
- (c) Ongoing maintenance of *landscaping*;
- (d) A colour scheme for the exterior of the House;
- (e) A description of any matters noted in Part III – Renovation Standards and Specifications or in the plans attached to this Agreement as requiring further details; and
- (f) A financial plan detailing the funding for the renovation and maintenance outlined above, including corporate sponsorships, annual budgets by the Owner or tenant, applications for government grants, strata fees, and other relevant details.

**C. Amending an Established Maintenance Strategy**

An Owner may apply to the City to amend an existing Maintenance Plan and Funding Strategy. Any amendment is subject to approval by the General Manager, Planning and Development and, if deemed necessary by the General Manager, Planning and Development, the Heritage Advisory Commission.

**2. Standards**

The "Standards and Guidelines for the Conservation of Historic Places in Canada", established under the Historic Places Program or successor guidelines as may be approved by the City are to apply to all construction, maintenance, restoration or renovation works undertaken under Parts II or III on the House.

### 3. **Timing and Phasing**

With respect to the phasing or timing of commencement or completion of action applying to the Lands, restoration of the House shall be completed and a final occupancy permit or equivalent for the House shall be issued within one year of the adoption of a by-law to enter into this Agreement.

### 4. **Heritage Alteration Permit(s) Approval**

A. Changes to the building, structure, exterior appearance of the House, features on the Lands identified in the Conservation Plan, the Donald Luxton and Associates Inc Plan or character-defining elements may require the Owner to apply for a heritage alteration permit or obtain approval from the City.

Proposed changes shall be referred to the Planning & Development Department of the City prior to the commencement of any work to determine if the changes require or do not require a heritage alteration permit.

B. A heritage alteration permit may not be required for alterations including, but not limited to, the following:

- (a) changes to the Conservation Plan or the Donald Luxton and Associates Inc Plan that are considered by the City Architect to be minor in nature and not affecting the character-defining elements of the House;
- (b) restorations considered by the City Architect to be consistent with the original design, being made to replace stylistically foreign elements and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City; or
- (c) simple repair and maintenance of existing elements not affecting the *building* structure, exterior or interior appearance of the House.

C. A heritage alteration permit shall be required for all but minor alterations including, but not limited to, the following:

- (a) changes to the House structure;
- (b) changes to the exterior appearance of the House;
- (c) replacement of existing elements and/or construction of additions to the House;
- (d) changes to the external appearance of the House due to interior renovations;
- (e) the temporary relocation of the House from the Permanent Location to the Temporary Location; and
- (f) the relocation of the House from the Temporary Location to the Permanent Location.

If a heritage alteration permit is determined to be required, the Owner shall apply to the City for a heritage alteration permit before undertaking any of the works listed in this Section 4.C.

After the heritage alteration permit application is submitted, the heritage alteration permit will be considered for issuance by City Council upon the recommendation of the General Manager, Planning and Development and the Heritage Advisory Commission, or by a City official delegated by City Council.

**5. Building Permit Approval**

Construction, alterations, relocation or other actions to be authorized by a building permit shall be consistent with the provisions of the Conservation Plan, the Donald Luxton and Associates Inc Plan, and with heritage alteration permits sanctioning construction, alterations, relocation or other actions.

As the House is recognized as a historic site, Building Code equivalencies may be used to lessen visual impacts on the historical appearance or authenticity of the *building*. To utilize Building Code equivalencies, the Owner shall retain a qualified architect that is acceptable to the City Architect.

**6. Conditions**

- A. The works specified in Part III and attachments to this Conservation Plan and the Donald Luxton and Associates Inc Plan shall be supervised by a conservation architect or qualified heritage consultant acceptable to the City.
- B. The works specified in Part III and attachments to this Conservation Plan and the Donald Luxton and Associates Inc Plan shall be approved by a conservation architect or qualified heritage consultant acceptable to the City prior to the City granting final building approval.

**PART III – RESTORATION STANDARDS AND SPECIFICATIONS**

**1. Site:**

See Section 5.1 " Site " of the Donald Luxton and Associates Inc Plan.

**2. Overall Form, Scale and Massing:**

See Section 5.2 "Overall Form, Scale and Massing " of the Donald Luxton and Associates Inc Plan.

**3. Exterior Wood-Frame Walls:**

See Section 5.3 "Exterior Wood-Frame Walls" of the Donald Luxton and Associates Inc Plan.

**4. Front Verandah:**

See Section 5.4 " Front Verandah " of the Donald Luxton and Associates Inc Plan.

**5. Fenestration:**

See Section 5.5 "Fenestration" of the Donald Luxton and Associates Inc Plan.

**6. Roof:**

See Section 5.6 "Roof" of the Donald Luxton and Associates Inc Plan.

**7. Exterior Colour Schedule:**

See Section 5.7 "Exterior Colour Schedule" of the Donald Luxton and Associates Inc Plan.

The exterior paint colour shall be subject to the prior written approval of the City. If the colour of the House is to be changed, the change shall be done in consultation with the City and reflect as best as can be determined the original appearance of the House or heritage colours appropriate for the period of the House.

Changes to the exterior colour scheme shall not be undertaken without being reviewed and approved by the City Architect. The City Architect may consult with the Heritage Advisory Commission about the colour scheme.

Prior to final paint application, samples of the colours should be placed on the *building* to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the heritage consultant.

**8. Interior:**

See Section 5.8 "New Electrical Service" of the Donald Luxton and Associates Inc Plan.

**9. Accessory Buildings and Structures:**

No placement of accessory buildings or structures shall be permitted within 3 metres of the House without first obtaining a heritage alteration permit.

**10. Trees and Landscaping:**

All trees on the lot are subject to the provisions of the Surrey Tree Protection Bylaw, 2006, No. 16100 (the "Tree Bylaw") and considered to be "Protected Trees" under the Tree Bylaw.

**11. Plans and Elevations:**

The plans and elevations attached as Appendix "A-1" and the Donald Luxton and Associates Inc Plan attached as Appendix "B" form part of this Heritage Conservation Plan.

These attachments depict the above described and additional details regarding the standards and specifications for restoration, rehabilitation, replication, repair, replacement, maintenance, and relocation to be undertaken and completed pursuant to this Conservation Plan.



**12. Relocation:**

The relocation plan attached as Appendix "A-2" forms part of this Heritage Conservation Plan. Both the temporary relocation of the House from the Permanent Location to the Temporary Location and the relocation of the House from the Temporary Location to the Permanent Location must conform with the relocation plan and any applicable permits.

**13. Other:**

The general intent is to promote restoration and retention of existing materials and elements wherever possible. If restoration is not feasible, replacements shall be constructed to match existing in terms of form, detailing and materials. Where original features have already been removed, altered or replaced by stylistically foreign elements, new replacements shall be consistent with the original design and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City.

Minor changes to the provisions of Part III that do not affect the character defining elements or that improve the authenticity of the restorations, may be approved by the City Architect, in consultation with the Heritage Advisory Commission.

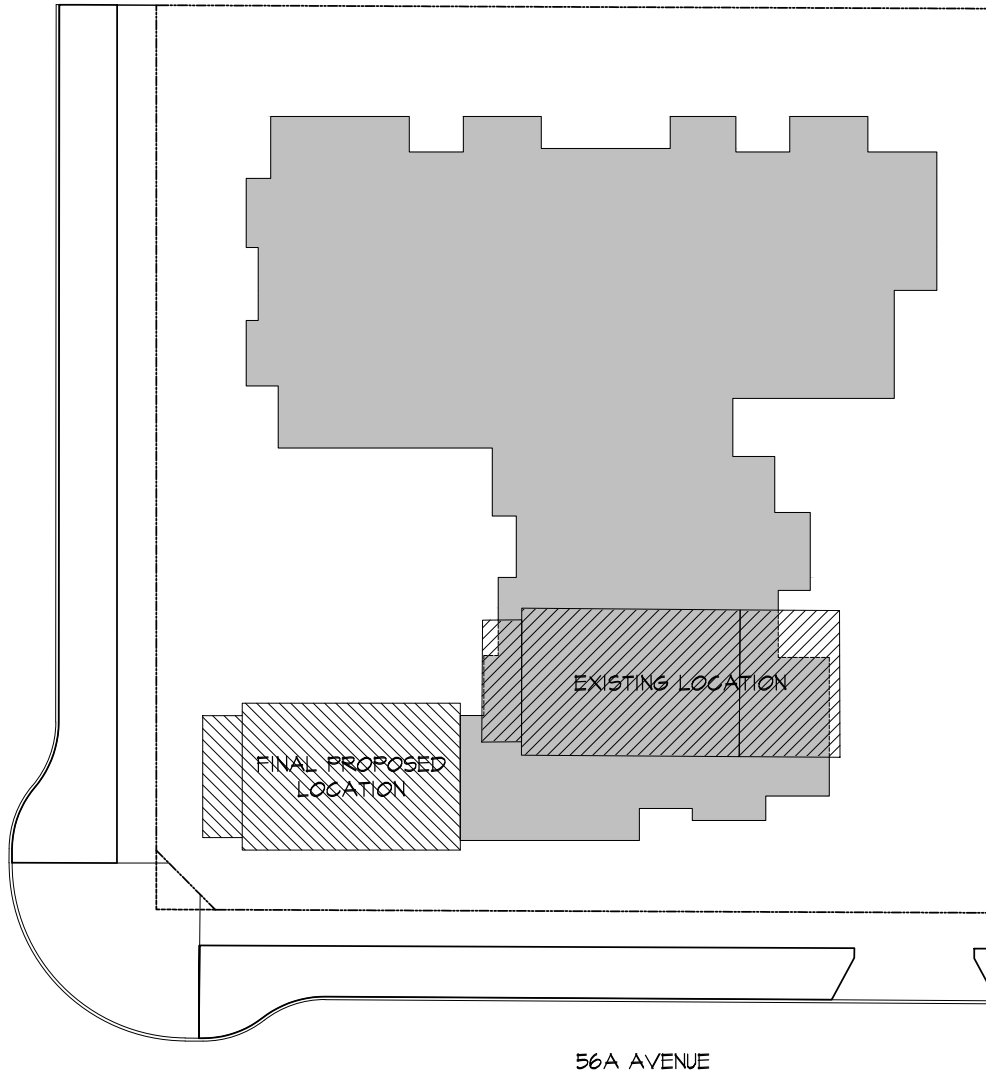
(Note: Terms used in Appendix "A" of this Agreement that are italicized are defined in Surrey Zoning By-law, 1993, No. 12000, as amended, and shall take their meaning from the By-law.)

**Appendix "A-1"**

**PLANS AND ELEVATIONS**

(Attachment beginning on the next page)

177B STREET



### HERITAGE HOUSE DATA

SITE AREA: 21,050 S.F. 0.483 AC 1,955.6 M<sup>2</sup> 0.196 Ha  
 DENSITY: 2.1 U.P.A 5.1 U.P.Ha  
 SITE COVERAGE: 0.05% (1,024 S.F.)  
 SETBACK:  
 WEST 2.4M (TO FACE OF POST)  
 SOUTH 3.1M (TO BLDG FACE)



### CONTEXT AND RELOCATION PLAN

SCALE : 3/32" = 1'-0"

#### NOTE

TO PERMIT CONSTRUCTION OF BELOW GRADE PARKING STRUCTURE, THE HERITAGE HOUSE WILL BE TEMPORARILY RELOCATED TO 12454 110 AVENUE, SURREY, BC.

#### LEGEND

-  PROPOSED APARTMENT DEVELOPMENT
-  EXISTING HERITAGE HOUSE LOCATION
-  PROPOSED HERITAGE HOUSE LOCATION

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ISSUE	DATE	BY	ISSUED FOR

CLIENT :	1161624 BC LTD
DESIGN :	
PROJ. :	
DRAWN :	
DATE :	Nov 5 20
SCALE :	3/32" = 1'-0"
SHEET CONTENTS :	PROJECT : APARTMENT PROJECT 5660 177 B STREET, SURREY
CONTEXT & RELOCATION PLAN	

#### barnett dembek

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100	FAX: (604) 597-2099	EMAIL: mail@darkitex.com
CLIENT NO.	SHEET NO.	
	AC-10	
PROJECT NO.	REV. NO.	
18031		



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ISSUED FOR	BY	DATE	ISSUE
REV. NO.	DATE	BY	DESCRIPTION



CS-1876/2021/2021

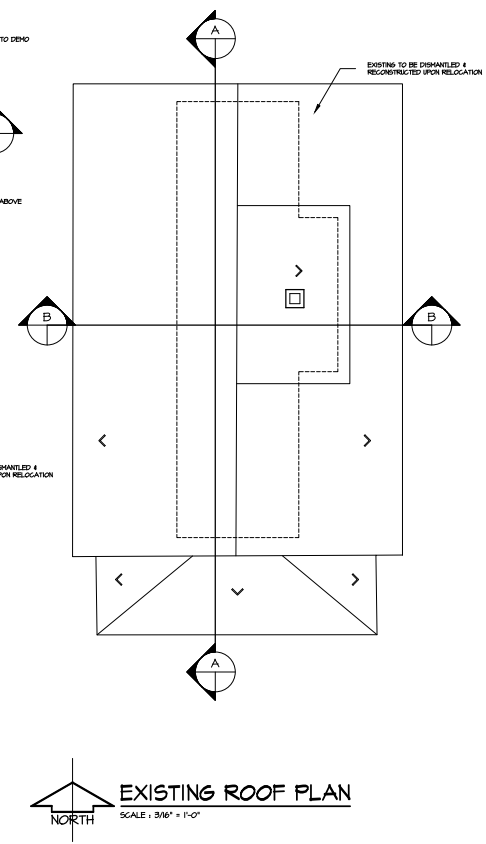
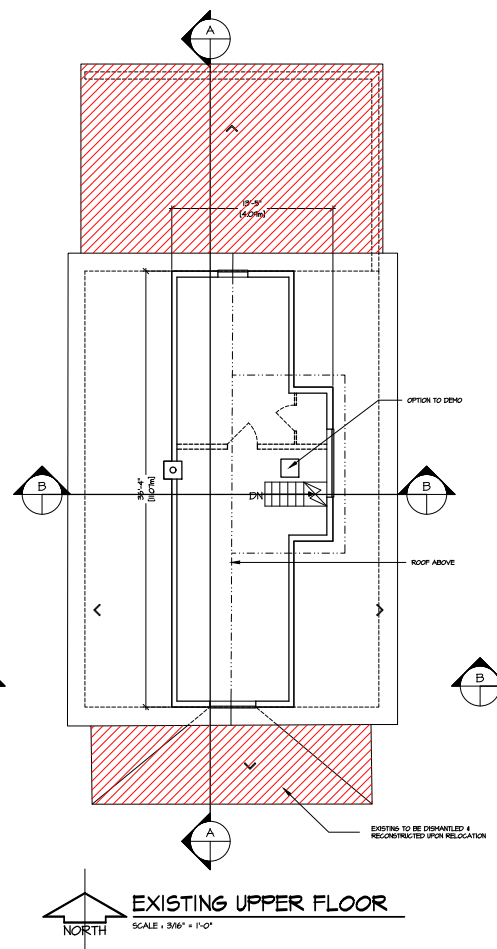
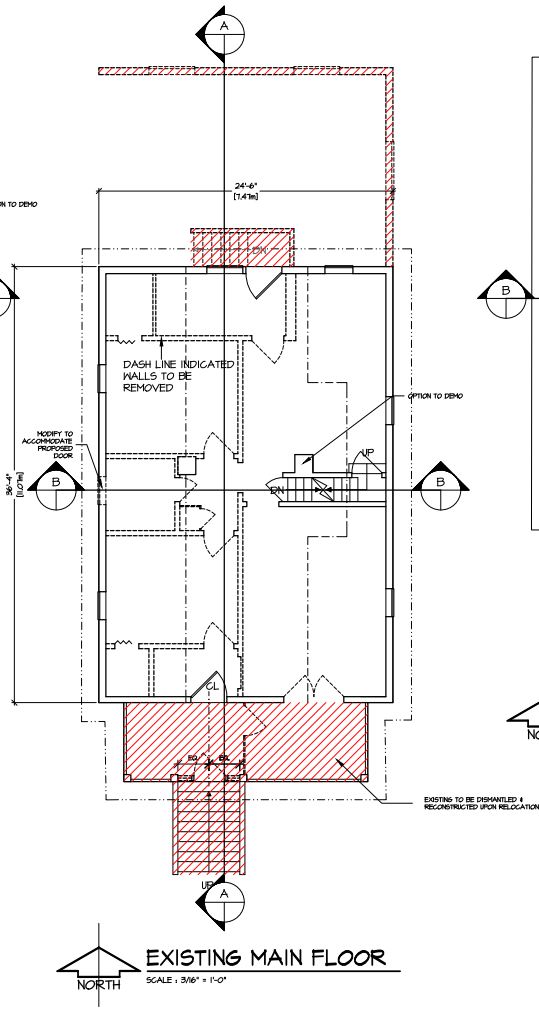
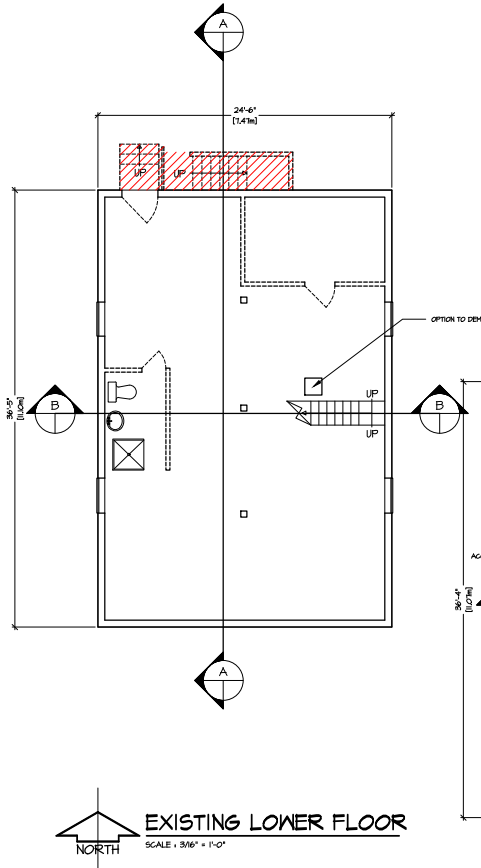
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PROJECT : APARTMENT PROJECT 5660 117 B STREET, SURREY	DRAWN :		
SHEET CONTENTS : MAIN RESIDENCE HERITAGE HOUSE EXISTING FLOOR PLANS			

**barnett dembek**  
ARCHITECTS INC.

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@dbarkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18031	AC-12



**NOTES**

- 1) ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE HERITAGE CONSERVATION PLAN PREPARED BY DONALD LUXTON AND ASSOCIATES: MAIN RESIDENCE CONSERVATION PLAN (5660 117B STREET, SURREY, BC) CONSERVATION PLAN, ISSUED SEPTEMBER 2020.
- 2) ALL ORIGINAL MATERIALS AND ARCHITECTURAL DETAILING SHALL NOT BE REMOVED OR REPLACED WITHOUT PRIOR REVIEW BY CLIENT, ARCHITECT AND HERITAGE CONSULTANT. IF TEMPORARY REMOVAL IS REQUIRED, EXISTING CONDITION SHOULD BE DOCUMENTED PRIOR TO CAREFUL DISMANTLING, SALVAGE ALL ORIGINAL MATERIALS, AS POSSIBLE, AND REINSTATE TO MATCH ORIGINAL.
- 3) SURVIVING ORIGINAL WOOD WINDOWS AND WOOD ELEMENTS ARE TO BE PRESERVED AND PROTECTED. A WINDOW SURVEY IS TO BE UNDERTAKEN TO ASSESS THE EXISTING CONDITION, AND TO RESTORATION METHODS WHERE NECESSARY, AS SPECIFIED BY HERITAGE CONSULTANT.
- 4) ALL NEW AND REPLACEMENT WINDOWS AND DOORS SHOULD BE MADE OF WOOD.
- 5) ALL BUILDING COMPONENTS SHOWN AS BEING RETAINED SHALL BE RETAINED IN PLACE AND SHALL NOT BE REMOVED FROM THEIR ORIGINAL LOCATION WITHIN OR ON BUILDING, REPAIR IN-KIND ONLY AS NECESSARY.

**LEGEND**

- EXISTING TO BE REMOVED / DEMOLISHED
- ===== EXISTING TO REMAIN
- /// AREA TO BE DEMOLISHED

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ISSUED FOR	BY	DATE	ISSUE

REV	DATE	BY	NO

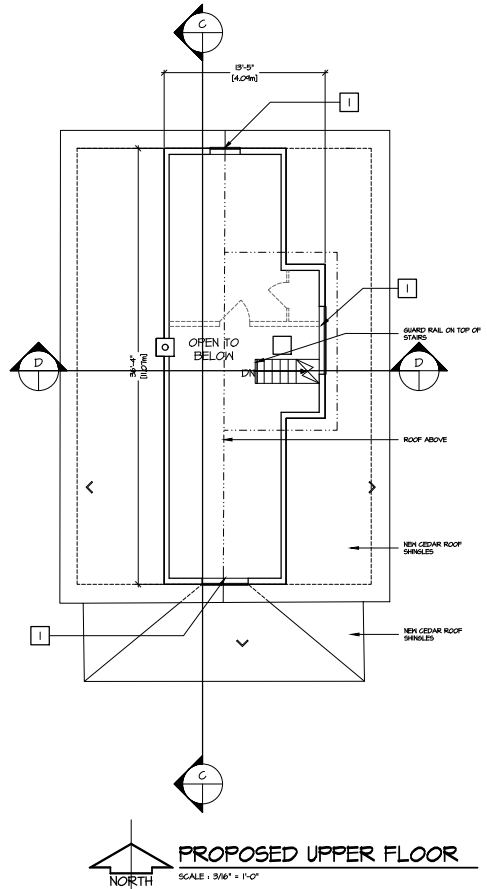
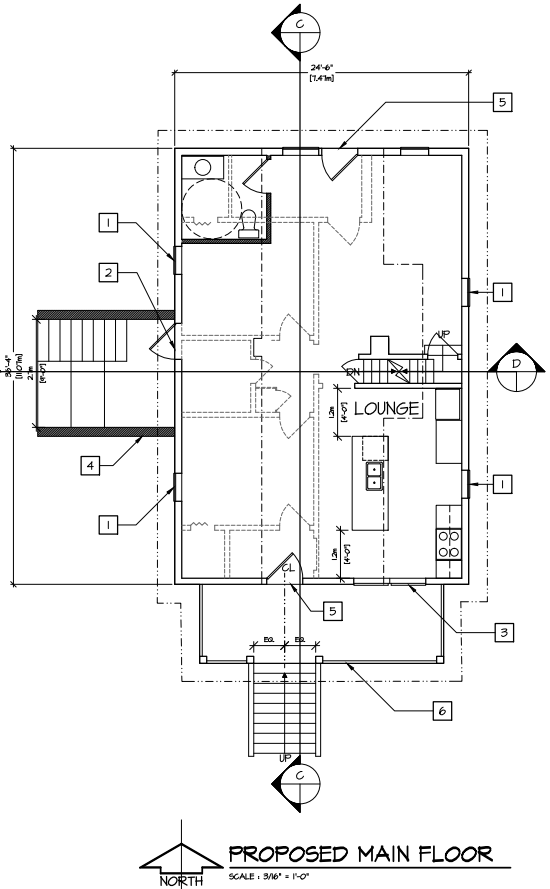
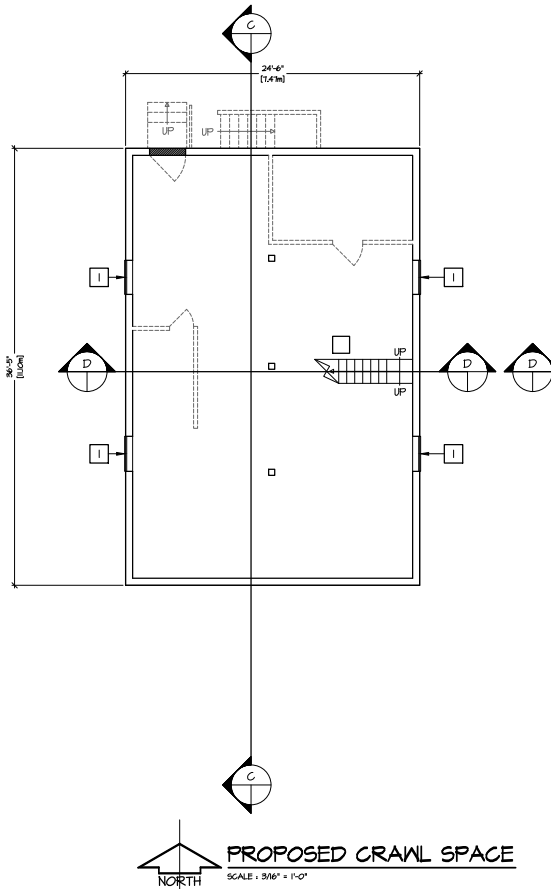
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PROJECT : APARTMENT PROJECT 5660 171 B STREET, SURREY			
SHEET CONTAINS : MAIN RESIDENCE HERITAGE HOUSE PROPOSED FLOOR PLANS			

**barnett dembek**  
ARCHITECTS INC.

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7536 130 STREET,  
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V3W 1H8

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EMAIL: mail@barnett-dembek.com

CLIENT NO:	SHEET NO:
PROJECT NO:	REV. NO:
18031	AC-13



**SCOPE OF WORK**

- 1) RETAIN EXISTING WOOD WINDOW ASSEMBLIES IN GOOD CONDITIONS, REPAIR IN-KIND AS NECESSARY. REPLACE WITH NEW LIKE-FOR-LIKE IF NON-REPARABLE.
- 2) MODIFY EXISTING WINDOW OPENING TO ACCOMMODATE NEW HISTORICALLY APPROPRIATE WOOD DOOR.
- 3) REMOVE EXISTING DOOR AND MODIFY TO MATCH ORIGINAL WINDOW OPENING, REINSTATE NEW WOOD WINDOW ASSEMBLY.
- 4) NEW CLOSED STAIRCASE (RETURN WALLS TO MATCH WOOD CLADDING OF BASEMENT WALL)
- 5) RETAIN EXISTING WOOD DOOR, REPAIR IN-KIND AS NECESSARY. REPLACE WITH NEW LIKE-FOR-LIKE IF NON-REPARABLE
- 6) RESTORE FRONT VERANDAH, INCLUDING NEW WOOD STAIRCASE ASSEMBLY

**NOTES**

- 1) ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE HERITAGE CONSERVATION PLAN PREPARED BY DONALD LUXTON AND ASSOCIATES. MAIN RESIDENCE CONSERVATION PLAN (5660 171B STREET, SURREY, BC) CONSERVATION PLAN, ISSUED SEPTEMBER 2020.
- 2) ALL ORIGINAL MATERIALS AND ARCHITECTURAL DETAILING SHALL NOT BE REMOVED OR REPLACED WITHOUT PRIOR REVIEW BY CLIENT, ARCHITECT AND HERITAGE CONSULTANT. IF TEMPORARY REMOVAL IS REQUIRED, EXISTING CONDITION SHOULD BE DOCUMENTED PRIOR TO CAREFUL DISMANTLING, SALVAGE ALL ORIGINAL MATERIALS, AS POSSIBLE, AND REINSTATE TO MATCH ORIGINAL.
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- 4) ALL NEW AND REPLACEMENT WINDOWS AND DOORS SHOULD BE MADE OF WOOD.
- 5) ALL BUILDING COMPONENTS SHOWN AS BEING RETAINED SHALL BE RETAINED IN PLACE AND SHALL NOT BE REMOVED FROM THEIR ORIGINAL LOCATION WITHIN OR ON BUILDING, REPAIR IN-KIND ONLY AS NECESSARY.

**LEGEND**

- EXISTING TO BE REMOVED / DEMOLISHED
- \_\_\_\_\_ EXISTING TO REMAIN
- ////// NEW WALL / NEW CONSTRUCTION



ISSUED FOR	
BY	
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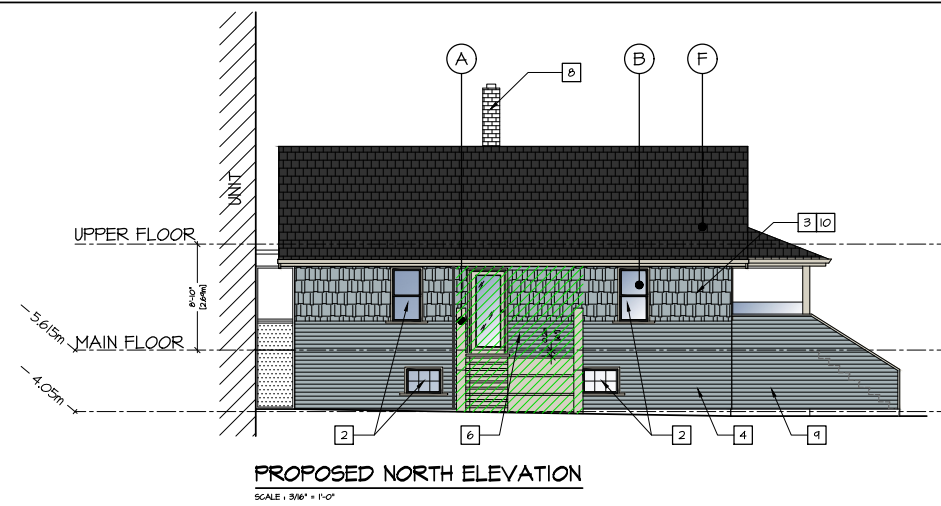
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CLIENT :	PROJECT :	SHEET CONTENTS :
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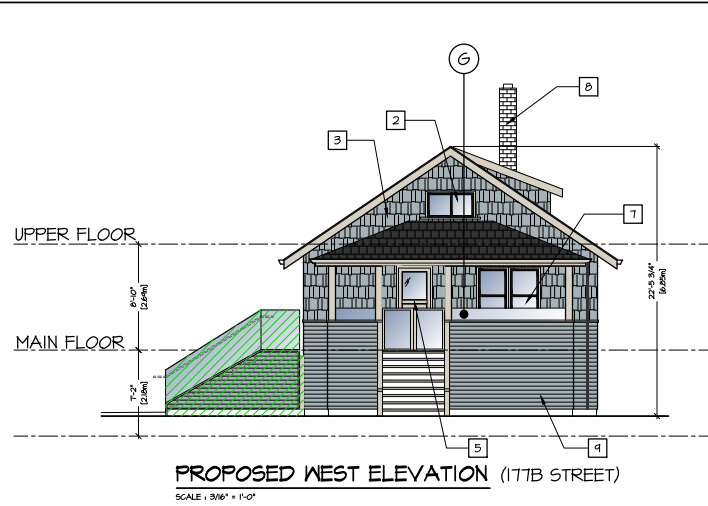
**barnett dembek**  
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 7536 130 STREET,  
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PHONE: (604) 597-7100	FAX: (604) 597-2099	EMAIL: mol@barnett-dem-bek.com
CLIENT NO. 18031	SHEET NO. AC-15	REV. NO.

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**PROPOSED NORTH ELEVATION**  
 SCALE : 3/16" = 1'-0"



**PROPOSED WEST ELEVATION (117B STREET)**  
 SCALE : 3/16" = 1'-0"

**SCHEDULE OF FINISHES**

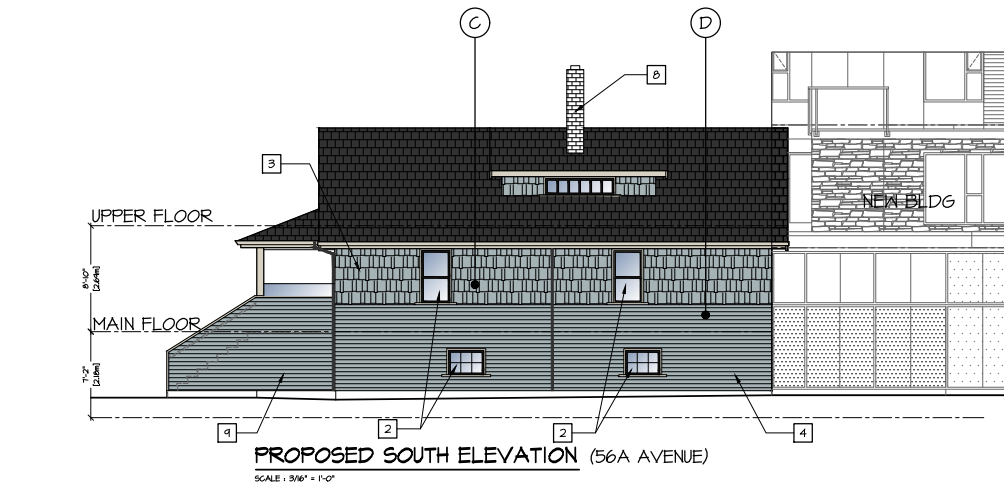
- (A) 2X10 WOOD TRIMS/ ALL EXISTING TRIMS  
 COLOUR: BM-DUNBAR BUFF OR EDWARDIAN CREAM (VC-5 OR VC-7) (LOW LUSTRE)
  - (B) WOOD FRAME/ SASH WINDOWS  
 WOOD FRAME  
 COLOUR: BM-DUNBAR BUFF OR EDWARDIAN CREAM (VC-5 OR VC-7) (LOW LUSTRE)  
 SASH  
 COLOUR: BM-GLOSS BLACK (VC-35) (HIGH GLOSS)
  - (C) CEDAR SHINGLE (PER HERITAGE CONSULTANT)  
 COLOUR: BM-POINT GREY (VC-24) (LOW LUSTRE)
  - (D) 4" HORIZONTAL SHIPLAPS SIDING (PER HERITAGE CONSULTANT)  
 COLOUR: BM-POINT GREY (VC-24) (LOW LUSTRE)
  - (E) ALUMINUM GUTTER AND DOWNSPOUT (COLOUR FINISH TO MATCH DUNBAR BUFF)
  - (F) CEDAR ROOF SHINGLES
  - (G) LUMINATED SAFETY GLASS THRU BOLTED ONTO SPACERS ON INSIDE FACE OF DECK WALL
- AREA WHERE CONSTRUCTION WORK IS PROPOSED

**SCOPE OF WORK**

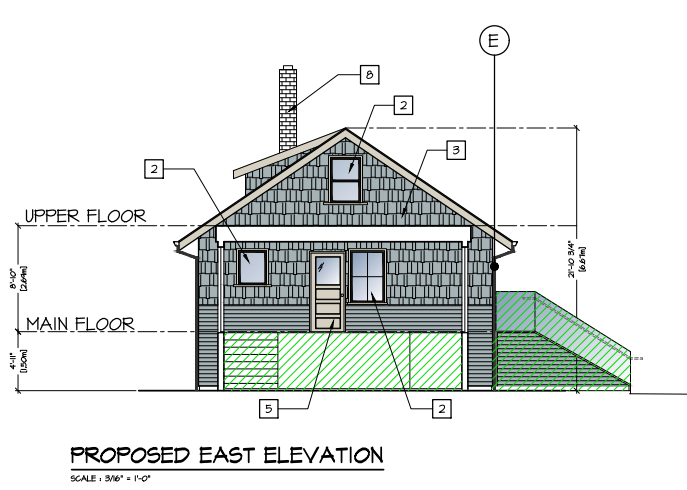
- 1 RETAIN EXISTING EXTERIOR WOOD TRIMS IN GOOD CONDITION, REPAIR IN-KIND AS NECESSARY. REPLACE WITH NEW LIKE-FOR-LIKE IF NON-REPAIRABLE.
- 2 RETAIN EXISTING WOOD WINDOW ASSEMBLIES IN GOOD CONDITIONS, REPAIR IN-KIND AS NECESSARY. IF TEMPORARY DISMANTLING IS REQUIRED DUE TO RELOCATION, SALVAGE ORIGINAL WOOD WINDOW ASSEMBLIES AND REINSTATE TO MATCH ORIGINAL. REPLACE WITH NEW LIKE-FOR-LIKE IF NON-REPAIRABLE.
- 3 RETAIN EXISTING CEDAR SHINGLES IN GOOD CONDITION, REPAIR IN-KIND AS NECESSARY. REPLACE WITH NEW LIKE-FOR-LIKE IF NON-REPAIRABLE.
- 4 NEW BASEMENT WALL, REINSTATE SALVAGED WOOD SIDING IN GOOD CONDITION, REPAIR IN-KIND AS NECESSARY. REPLACE WITH NEW LIKE-FOR-LIKE IF NON-REPAIRABLE.
- 5 RETAIN EXISTING WOOD DOOR, REPAIR IN-KIND AS NECESSARY. REPLACE WITH NEW LIKE-FOR-LIKE IF NON-REPAIRABLE.
- 6 MODIFY EXISTING WINDOW OPENING TO ACCOMMODATE NEW HISTORICALLY APPROPRIATE WOOD DOOR.
- 7 REMOVE EXISTING DOOR AND MODIFY TO MATCH ORIGINAL WINDOW OPENING, REINSTATE NEW WOOD WINDOW ASSEMBLY.
- 8 RETAIN EXISTING BRICK CHIMNEY. REMOVE STUCCO, AND SALVAGE ORIGINAL MASONRY UNITS IN GOOD CONDITION RECONSTRUCT WITH SALVAGED MASONRY, OR WITH REPLACEMENT UNITS TO MATCH ORIGINAL LIKE-FOR-LIKE IF HEAVILY DETERIORATED.
- 9 RESTORE FRONT VERANDAH, INCLUDING NEW WOOD STAIRCASE ASSEMBLY.
- 10 REMOVE STUCCO TO EXPOSE ORIGINAL EXISTING WOOD CLADDING. RETAIN ALL WOOD CLADDING MATERIALS IN GOOD CONDITION, REPAIR IN KIND AS NECESSARY. REPLACE LIKE-FOR-LIKE IF HEAVILY DETERIORATED BEYOND REPAIR.

**NOTES**

- 1) ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE HERITAGE CONSERVATION PLAN PREPARED BY DONALD LIXTON AND ASSOCIATES, MAIN RESIDENCE CONSERVATION PLAN (5660 117B STREET, SURREY, BC) CONSERVATION PLAN, ISSUED SEPTEMBER 2020.
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- 3) SURVIVING ORIGINAL WOOD WINDOWS AND WOOD ELEMENTS ARE TO BE PRESERVED AND PROTECTED. A WINDOW SURVEY IS TO BE UNDERTAKEN TO ASSESS THE EXISTING CONDITION AND TO RESTORATION METHODS WHERE NECESSARY, AS SPECIFIED BY HERITAGE CONSULTANT.
- 4) ALL NEW AND REPLACEMENT WINDOWS AND DOORS SHOULD BE MADE OF WOOD.
- 5) ALL BUILDING COMPONENTS SHOWN AS BEING RETAINED SHALL BE RETAINED IN PLACE AND SHALL NOT BE REMOVED FROM THEIR ORIGINAL LOCATION WITHIN OR ON BUILDING, REPAIR IN-KIND ONLY AS NECESSARY.



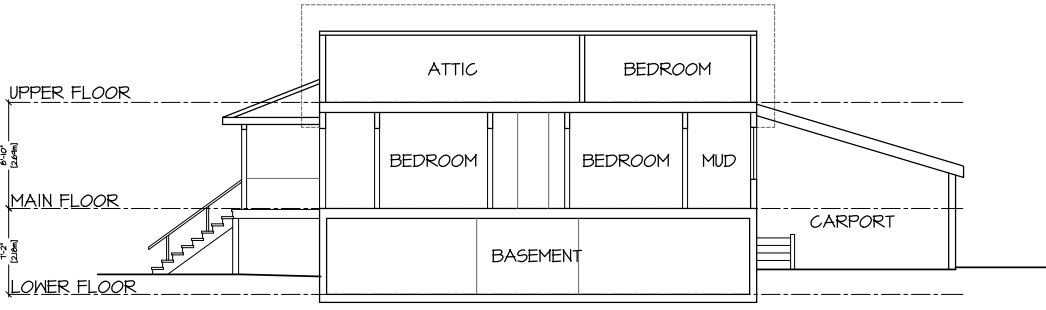
**PROPOSED SOUTH ELEVATION (56A AVENUE)**  
 SCALE : 3/16" = 1'-0"



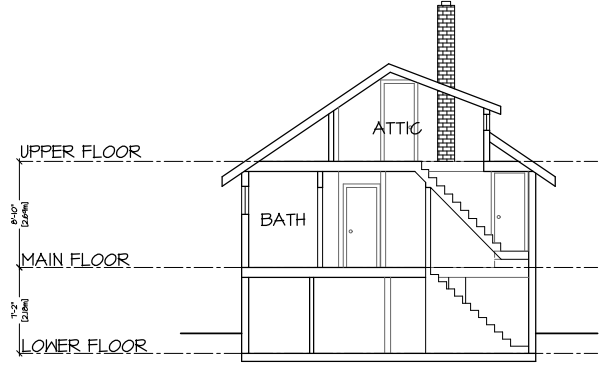
**PROPOSED EAST ELEVATION**  
 SCALE : 3/16" = 1'-0"



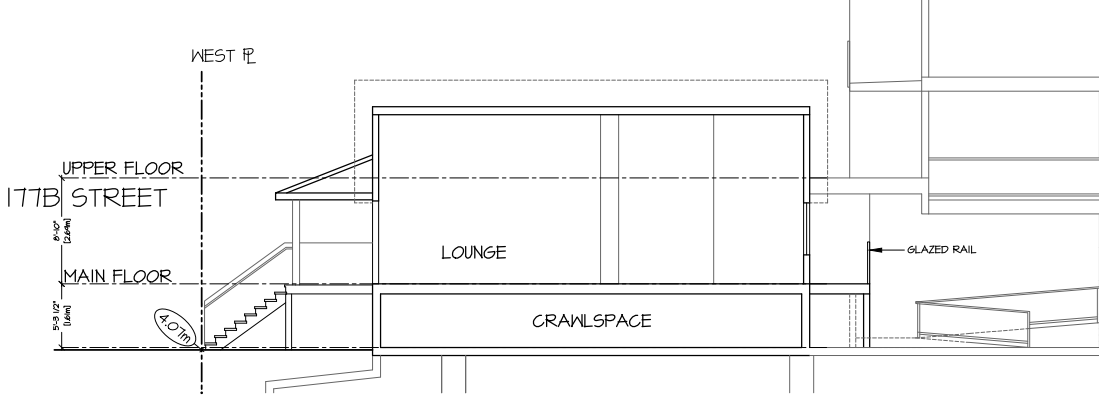
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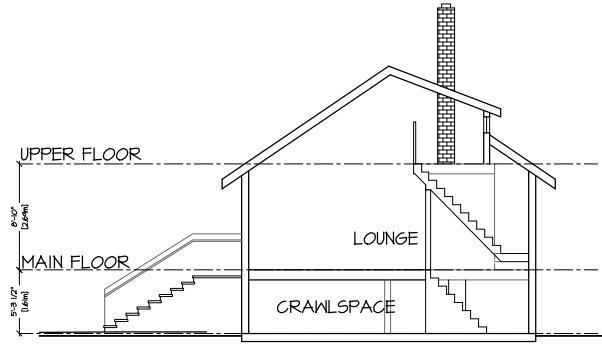
**SECTION A-A (EXISTING SECTION)**  
 SCALE : 3/16" = 1'-0"



**SECTION B-B (EXISTING SECTION)**  
 SCALE : 3/16" = 1'-0"



**SECTION C-C (PROPOSED SECTION)**  
 SCALE : 3/16" = 1'-0"



**SECTION D-D (PROPOSED SECTION)**  
 SCALE : 3/16" = 1'-0"

**NOTES**

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- 2) ALL ORIGINAL MATERIALS AND ARCHITECTURAL DETAILINGS SHALL NOT BE REMOVED OR REPLACED WITHOUT PRIOR REVIEW BY CLIENT, ARCHITECT AND HERITAGE CONSULTANT. IF TEMPORARY REMOVAL IS REQUIRED, EXISTING CONDITION SHOULD BE DOCUMENTED PRIOR TO CAREFUL DISMANTLING. SALVAGE ALL ORIGINAL MATERIALS, AS POSSIBLE, AND REINSTATE TO MATCH ORIGINAL.
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- 4) ALL NEW AND REPLACEMENT WINDOWS AND DOORS SHOULD BE MADE OF WOOD.
- 5) ALL BUILDING COMPONENTS SHOWN AS BEING RETAINED SHALL BE RETAINED IN PLACE AND SHALL NOT BE REMOVED FROM THEIR ORIGINAL LOCATION WITHIN OR ON BUILDING, REPAIR IN-KIND ONLY AS NECESSARY.

REV#	DATE	BY	ISSUED FOR

DESIGN :	DRWN :	DATE :	SCALE :
HYD.		Nov. 5. 20	3/16" = 1'-0"
CLIENT : 11616291 BC LTD			
PROJECT : APARTMENT PROJECT			
5660 177 B STREET, SURREY			
SHEET CONTAINS : MAIN RESIDENCE HERITAGE HOUSE SECTIONS			

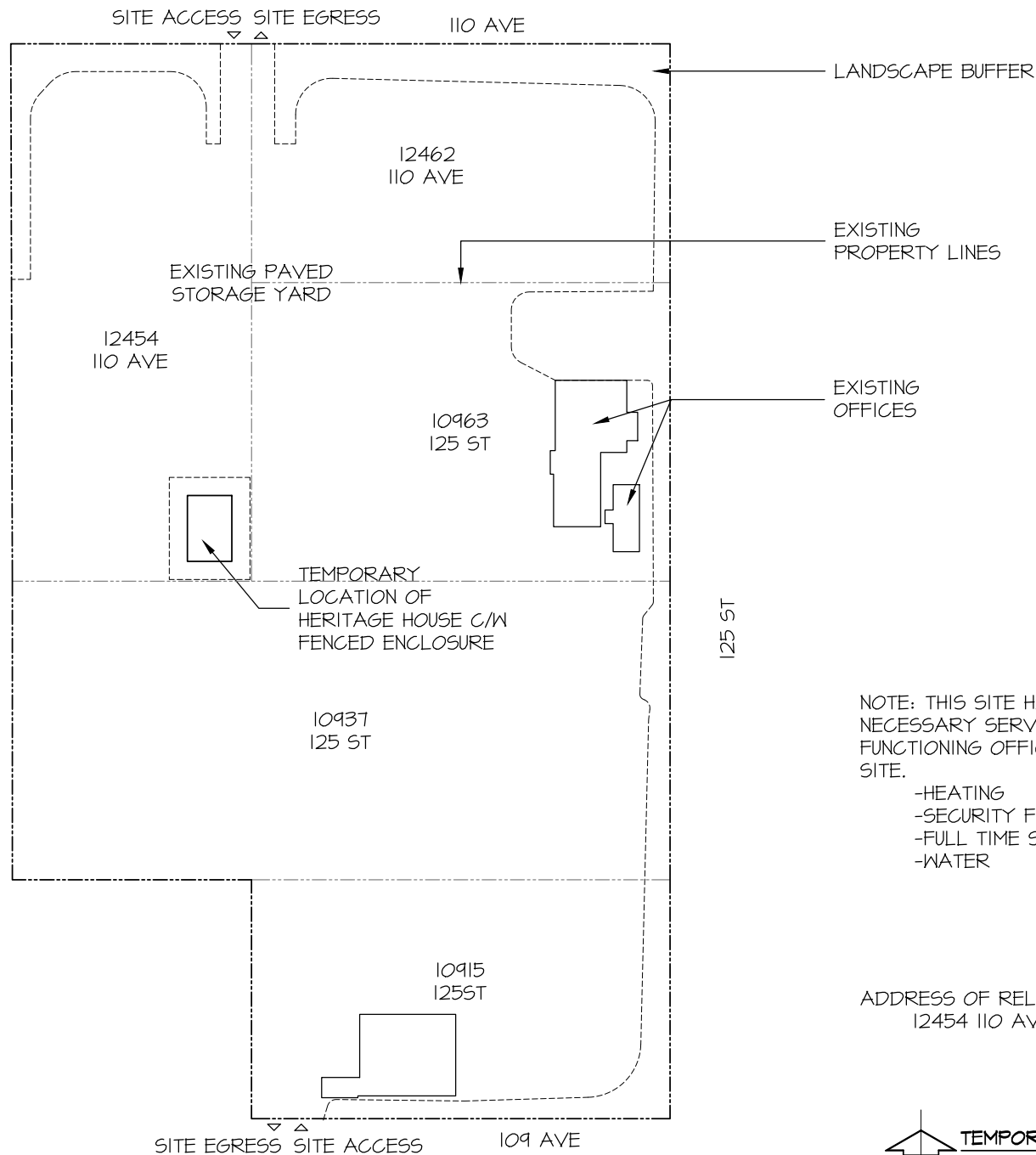
**barnett dembek**  
 ARCHITECTS

UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-16
18031	REV. NO.





LANDSCAPE BUFFER

EXISTING PROPERTY LINES

EXISTING OFFICES

NOTE: THIS SITE HAS ACCESS TO ALL NECESSARY SERVICES AS 2 FULLY FUNCTIONING OFFICES ARE LOCATED ON SITE.

- HEATING
- SECURITY FENCE
- FULL TIME SECURITY GUARD
- WATER

ADDRESS OF RELOCATION:  
12454 110 AVE, SURREY, BC



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ISSUED FOR	BY	DATE	ISSUE



CH-Heritage Relocation Plan


DESIGN :	NO.	DRAWN :	DATE :	SCALE :
CLIENT :	1161621 BC LTD			
PROJECT :	APARTMENT PROJECT			
	5660 111 B STREET, SURREY			
SHEET CONTAINS :	MAIN RESIDENCE HERITAGE HOUSE RELOCATION PLAN			

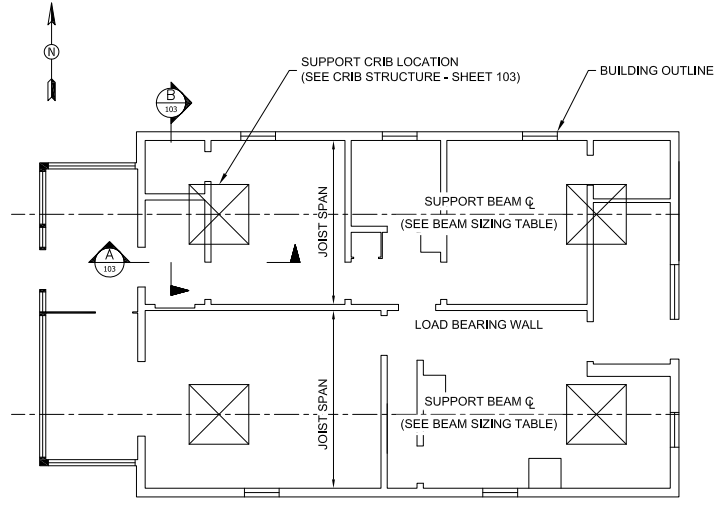


UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mol@barnitex.com

CLIENT NO.	SHEET NO.
18031	AC-1.7
PROJECT NO.	REV. NO.
18031	


	1	2	3	4	5	6	7										
A	<p>1. <u>GENERAL</u></p> <p>1.1. THIS PROCEDURE IS DEVELOPED FOR THE USE OF SUPREME STRUCTURAL TRANSPORT LTD., HEREIN REFERRED TO AS THE MOVER. THE MOVER HAS BEEN ENGAGED BY THE CONTRACTOR LISTED ON THE DRAWINGS. THE PROCEDURE IS APPLICABLE FOR THE TEMPORARY SUPPORT AND RELOCATION OF TYPICAL TIMBER STUD AND JOIST FRAMED STRUCTURES WITH LOAD BEARING WALLS, SHEATHING, INTERIOR WALLS, FLOORS, AND ROOF INTACT AND IN GOOD CONDITION.</p> <p>1.2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE FOLLOWING:</p> <ol style="list-style-type: none"> <li>A NOTICE OF PROJECT (N.O.P.) IS SUBMITTED PER THE REQUIREMENTS OF WSBC OHSR 20.2.</li> <li>ENERGY HAZARDS DUE TO ELECTRICAL, GAS, OR OTHER UTILITIES HAVE BEEN IDENTIFIED AND MITIGATED BY TAG-OUT, LOCK-OUT, DISCONNECTION OR OTHERWISE TO THE SATISFACTION OF THE MOVER.</li> <li>WATER, SEWER, AND/OR OTHER UTILITIES HAVE BEEN TEMPORARILY AND SAFELY DISCONNECTED PRIOR TO ANY DEMOLITION OR LIFTING.</li> <li>STRUCTURE'S INTEGRITY PRIOR TO LIFTING MEETS WSBC OHSR 20.111.</li> <li>SITE SUPERVISION RESPONSIBILITIES ARE CLEARLY IDENTIFIED AND ASSIGNED TO A COMPETENT SITE SUPERVISOR, WHO WILL BE ON SITE TO PERFORM SUPERVISORY RESPONSIBILITIES WHILE THE STRUCTURE IS SUPPORTED ON TEMPORARY CRIBBING SUPPORTS.</li> <li>PROHIBITING ACCESS AND SECURING THE STRUCTURE IN ACCORDANCE WITH WSBC OHSR 4.34, SO IT IS INACCESSIBLE TO WORKERS OR ADDITIONAL LOADINGS AT ANY TIME WHILE ON TEMPORARY SUPPORTS.</li> <li>REGULAR VISUAL INSPECTIONS ARE CONDUCTED AND DOCUMENTED TO IDENTIFY ANY SHIFTING OF SUPPORTS OR MOVEMENT OF THE STRUCTURE (AT A MINIMUM, THE FREQUENCY OF INSPECTIONS MUST MEET THE INTERVAL SPECIFIED ON THE DRAWINGS).</li> <li>ALL CRIBS AND SUPPORT BEAMS REMAIN UNDISTURBED, ARE NOT EXPOSED TO ANY UNINTENDED LOADS, AND ARE NOT USED FOR ANY PURPOSE OTHER THAN SUPPORTING THE STRUCTURE.</li> <li>NO WATER COLLECTS IN OR AROUND THE BASE OF THE CRIBS UNLESS APPROVED BY AN ENGINEER.</li> <li>NO SETTLEMENT OF THE GROUND SUPPORTING THE CRIBS.</li> <li>NO EXCAVATION BELOW THE CRIB BASE LEVEL UNLESS AUTHORIZED BY AN ENGINEER.</li> </ol>				<p>7. <u>LIFTING</u></p> <p>7.1. <u>JACKING EQUIPMENT / SYSTEM</u></p> <p>7.1.1. TO AVOID DAMAGE TO THE STRUCTURE, THE JACKING PROCEDURE WILL ENSURE NO DIFFERENTIAL DISPLACEMENTS BETWEEN SUPPORT LOCATIONS. ALL JACK MOVEMENTS WILL BE SYNCHRONIZED.</p> <p>7.1.2. THE JACKING OF THE STRUCTURE WILL UTILIZE A FLUID DISPLACEMENT BASED SYNCHRONIZED JACKING SYSTEM. ALL CYLINDERS MUST HAVE EQUAL BORE DIAMETER. A SINGLE 15 ton CRIB JACK IS TO BE USED AT EACH IDENTIFIED JACKING LOCATION.</p> <p>7.1.3. EACH JACK SHALL BE CONNECTED TO A DEDICATED PORT ON THE SYNCHRONIZED JACKING SYSTEM.</p> <p>7.1.4. THE OPERATOR OF THE SYNCHRONIZED JACKING SYSTEM SHALL BE SUITABLY TRAINED AND EXPERIENCED IN THE OPERATION OF THIS EQUIPMENT.</p> <p>7.2. <u>JACK INSTALLATION AND PRE-SET PROCEDURE</u></p> <p>7.2.1. SUPPORT BEAMS AND JACKS SHALL BE INSTALLED IN LOCATIONS INDICATED ON THE DRAWINGS.</p> <p>7.2.2. WITH ALL JACKS IN POSITION AND PLUMBED TO THE HYDRAULIC PUMP, THE SYSTEM SHALL BE PRESSURIZED TO A NOMINAL PRESSURE (typ. 500 psi) TO SEAT THE CYLINDERS, SHIMS, AND CRIBBING.</p> <p>7.2.3. VISUALLY INSPECT EACH JACK LOCATION TO CONFIRM THE PROPER SEATING OF THE JACKING EQUIPMENT.</p> <p>7.2.4. PRESSURIZE THE SYSTEM USING STRAIGHT PRESSURE (HYDRAULICALLY MANIFOLDED) UNTIL MOVEMENT OF THE STRUCTURE IS DETECTABLE IN THE VICINITY OF EACH JACKING LOCATION. AS THIS PRE-SET LOAD IS REACHED IN EACH CYLINDER, ITS RESPECTIVE PORT SHALL BE LOCKED INTO THE SYNCHRONIZED JACKING SYSTEM. CONTINUE UNTIL THE PRE-SET LOAD IS ACHIEVED IN ALL CYLINDERS AND ALL PORTS ARE LOCKED INTO THE SYNCHRONIZED JACKING SYSTEM</p> <p>7.3. <u>JACKING PROCEDURE</u></p> <p>7.3.1. HYDRAULIC PRESSURES OF EACH PORT SHALL BE VISUALLY MONITORED DURING LIFT-OFF TO ENSURE THAT THE ACCUMULATION OF LOADS DURING TRANSFER PROCEEDS UNIFORMLY, THAT THE ACQUIRED LOADS ARE APPROXIMATELY AS ANTICIPATED, AND THAT THE PRESSURES DO NOT EXCEED THE SAFE WORKING PRESSURE CAPACITIES OF THE SYSTEM COMPONENTS.</p> <p>7.3.2. THE STRUCTURE BEARING IN THE VICINITY OF EACH JACKING LOCATION SHALL BE VISUALLY MONITORED TO ENSURE THAT LIFT-OFF IS UNIFORM.</p> <p>7.3.3. MONITOR CYLINDERS DURING EXTENSION TO ENSURE RAMS ARE NOT OVER STROKED.</p> <p>7.3.4. EXTEND CYLINDERS UNTIL DESIRED JACKING HEIGHT IS OBTAINED.</p> <p>7.3.5. BUILD UP CRIBBING AND SHIMS AS REQUIRED TO SUPPORT THE LOAD.</p> <p>7.3.6. RELEASE HYDRAULIC PRESSURE FROM THE SYSTEM.</p> <p>7.3.7. ADDITIONAL SHOTS ARE PERFORMED BY RE-SETTING OF JACKS TO A NEW ELEVATION AND REPEATING THE PROCESS AS ABOVE.</p> <p>7.4. <u>LOWERING PROCEDURE</u></p> <p>7.4.1. TO RESUME HYDRAULIC SUPPORT OF THE LOAD FOLLOW THE ABOVE PRE-SET AND LIFT-OFF PROCEDURES, OR PRESSURIZE EACH CYLINDER INDEPENDENTLY UNTIL SUPPORTING CRIBBING/SHIM AT THAT LOCATION BECOMES FREE TO MOVE. LOCK ALL PORTS INTO THE SYNCHRONIZED JACKING SYSTEM.</p> <p>7.4.2. REMOVE ANY BLOCKING PACKS AND SHIM.</p> <p>7.4.3. RETRACT CYLINDERS UNTIL DESIRED JACKING HEIGHT IS OBTAINED OR LOAD COMES TO BEAR ON ITS SUPPORTS.</p> <p>7.5. <u>INSPECTIONS</u></p> <p>7.5.1. TEMPORARY SUPPORT IS FOR A PERIOD OF UP TO TWO MONTHS FROM THE LIFT DATE INDICATED ON THE STRUCTURE LIFT DRAWINGS. TEMPORARY SUPPORT CRIBS AND BEARING MUST BE REVIEWED BY AN ENGINEER PRIOR TO EXTENSION BEYOND THIS DATE.</p>				A								
B	<p>2. <u>DESIGN SPECIFICATIONS:</u></p> <ol style="list-style-type: none"> <li>BRITISH COLUMBIA BUILDING CODE 2012</li> <li>CAN/CSA-S16-14</li> <li>CAN/CSA-086-14</li> </ol> <p>3. <u>DESIGN LOADS:</u></p> <ul style="list-style-type: none"> <li>ROOF DL = 1.0 kPa</li> <li>FLOOR DL = 0.7 kPa</li> <li>WALL DL = 0.5 kPa</li> <li>STORAGE LOAD = 0.0 kPa</li> <li>SNOW/RAIN: (SS+SR) = 2.6 kPa</li> <li>WIND LOAD: (1/10 YEAR) = 0.34 kPa</li> </ul> <p>4. <u>MATERIALS:</u></p> <p>- UNLESS NOTED OTHERWISE ON DRAWINGS:</p> <ol style="list-style-type: none"> <li>STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 OR BETTER (<math>F_y = 245 \text{ MPa}</math>).</li> <li>TIMBER CRIBBING TO BE CONSTRUCTED OF FULL DIMENSION 6"x8" D.FIR-L NO. 2 OR BETTER, IN GOOD CONDITION.</li> <li>SHIMS TO BE HARDWOOD, PLYWOOD, OR DIMENSIONAL LUMBER (SPF).</li> </ol> <p>5. <u>GEOTECHNICAL NOTES:</u></p> <ol style="list-style-type: none"> <li>MINIMUM SOIL BEARING CAPACITY = 150 kPa.</li> <li>EXCAVATION BELOW CRIB BASE LEVEL IS NOT PERMITTED UNLESS APPROVED BY ENGINEER.</li> <li>ACTUAL SOIL BEARING CAPACITY ON SITE TO BE APPROVED BY ENGINEER OR REVIEWED FOR SUITABILITY AS BELOW BY THE MOVER.</li> <li>CRIB BASES ON SOIL TO BE TESTED AS FOLLOWS: <ol style="list-style-type: none"> <li>JACK STRUCTURE 2" CLEAR OF EXISTING SUPPORT AND HOLD FOR A MINIMUM OF 5 MINUTES. MOVER CLEAR TO ASSESS ALL CRIBS FOR STABILITY AND SETTLEMENT (GLOBAL AND DIFFERENTIAL AT BASE CORNERS).</li> <li>ONCE MOVER IS SATISFIED WITH CRIB INSPECTION, CRIB LOADS ARE TO BE RECORDED ON THE DRAWINGS (SHEET 103).</li> </ol> </li> </ol>				<p>THIS DRAWING IS THE CONFIDENTIAL PROPERTY OF SUPREME STRUCTURAL TRANSPORT LTD. IT IS NOT TO BE COPIED OR GIVEN TO A THIRD PARTY WITHOUT THE WRITTEN PERMISSION OF SUPREME STRUCTURAL TRANSPORT LTD.</p>				B								
C	<p>6. <u>SUPPORT BEAM AND CRIB INSTALLATION</u></p> <ol style="list-style-type: none"> <li>SUPPORT BEAMS TO BE ARRANGED TO PROPERLY SUPPORT ALL FLOOR JOIST SPANS AS INDICATED ON THE DRAWINGS.</li> <li>ALL CRIBS, BEAMS, JACKS, AND STRUCTURE TO BE MAINTAINED PLUMB AND LEVEL.</li> </ol>				<p>PROJECT: TIMBER FRAME SFD HERITAGE HOUSE RELOCATION</p> <p>ADDRESS: 5660 177B STREET, SURREY</p> <p>CLIENT: STOIC CONSULTING GROUP</p>				C								
D	<p>PRELIMINARY DO NOT USE FOR CONSTRUCTION</p>								D								
E					<table border="1"> <tr> <td>LIFT DATE:</td> <td>SCALE:</td> </tr> <tr> <td>-</td> <td>-</td> </tr> <tr> <td>DWG No.:</td> <td>REV.:</td> </tr> <tr> <td>101</td> <td>-</td> </tr> </table>				LIFT DATE:	SCALE:	-	-	DWG No.:	REV.:	101	-	E
LIFT DATE:	SCALE:																
-	-																
DWG No.:	REV.:																
101	-																
	1	2	3	4	5	6	7										



PLAN - SUPPORT LAYOUT  
SCALE 1:100

BEAM SIZING (MIN)				
SUPPORT LOAD	BEAM SIZE	MAX. SPAN	MAX. CANTILEVER	MAX. DEFLECTION
15 ton	W14x90	30'	10'	1-1/2"
15 ton	W12x87	25'	10'	1"
15 ton	W12x72	20'	10'	3/4"
10 ton	W14x90	38'	10'	1-3/4"
10 ton	W12x72	30'	10'	1-1/2"
10 ton	W10x60	20'	10'	3/4"
7.5 ton	W8x48	20'	8'	1"
1.1 ton	6x8" DFL NO.2	5'	2' 6"	-
0.7 ton	6x8" DFL NO.2	8'	4'	-
0.5 ton	6x8" DFL NO.2	10'	5'	-

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PROJECT: TIMBER FRAME SFD HERITAGE HOUSE RELOCATION		CLIENT:	
ADDRESS: 5660 177B STREET, SURREY		STOIC CONSULTING GROUP	
		LIFT DATE:	SCALE: 1:100
		DWG No.: 102	REV.:

PRELIMINARY  
DO NOT USE FOR CONSTRUCTION



**Appendix "B"**

**HERITAGE CONSERVATION PLAN**

**Main Residence – 5660 177B Street**

Donald Luxton and Associates Inc Plan, December 2020

(The " Donald Luxton and Associates Inc Plan ")

(Attachment beginning on the next page)



# MAIN RESIDENCE

5660 177B STREET, SURREY, BC

## CONSERVATION PLAN

DECEMBER 2020

**DONALD LUXTON**  
AND ASSOCIATES INC 



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# 1 INTRODUCTION

**HISTORIC NAME:** Main Residence  
**CIVIC ADDRESS:** 5660 177B Street., Surrey, BC  
**ORIGINAL OWNERS:** John James and Edith Main  
**DATE OF CONSTRUCTION:** 1924

The Main Residence is located at 5660 177B Street in the Cloverdale neighbourhood of Surrey. The house was constructed in 1924 and remains largely intact retaining many original building materials that contribute to its heritage character and value. It is characterized by its gabled roof, wooden knee brackets, and full-width porch (later enclosed) with hipped-roof.

The Main Residence is significant for its association with the interwar agricultural development of Cloverdale and for its connection to original owner and well-known Surrey resident, John J. Main. The house is also valued for its Craftsman influenced vernacular architecture, representative of its type.

A Heritage Revitalization Agreement is being proposed for the site, and the redevelopment scheme is being prepared by Barnett Dembek Architects Incorporated. It includes the overall redevelopment of the site, and the conservation of the Main Residence.

The primary intent is to preserve the existing historic structure, and to restore any elements that are missing, deteriorated or heavily altered, based on surviving original materials and archival documentation. The secondary intent is to undertake a rehabilitation of the Main Residence that will upgrade its structure and services to increase its functionality by accommodating new multi-functional spaces, as well as the overall rehabilitation of the site with the construction of a new residential complex adjacent to the historic residence.

The major proposed interventions of the overall project to the heritage resource are to:

- preserve and repair in-kind surviving, original character-defining elements,
- restore missing, deteriorated, or heavily altered character-defining elements;
- relocation of the Main Residence within the site;
- rehabilitate the interior of the residence to accommodate multi-functional amenity spaces; and,
- rehabilitate the site by constructing a new residential complex.

This Conservation Plan is based on Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*. It outlines the best practices for conservation of historic places that will occur as part of the proposed development.

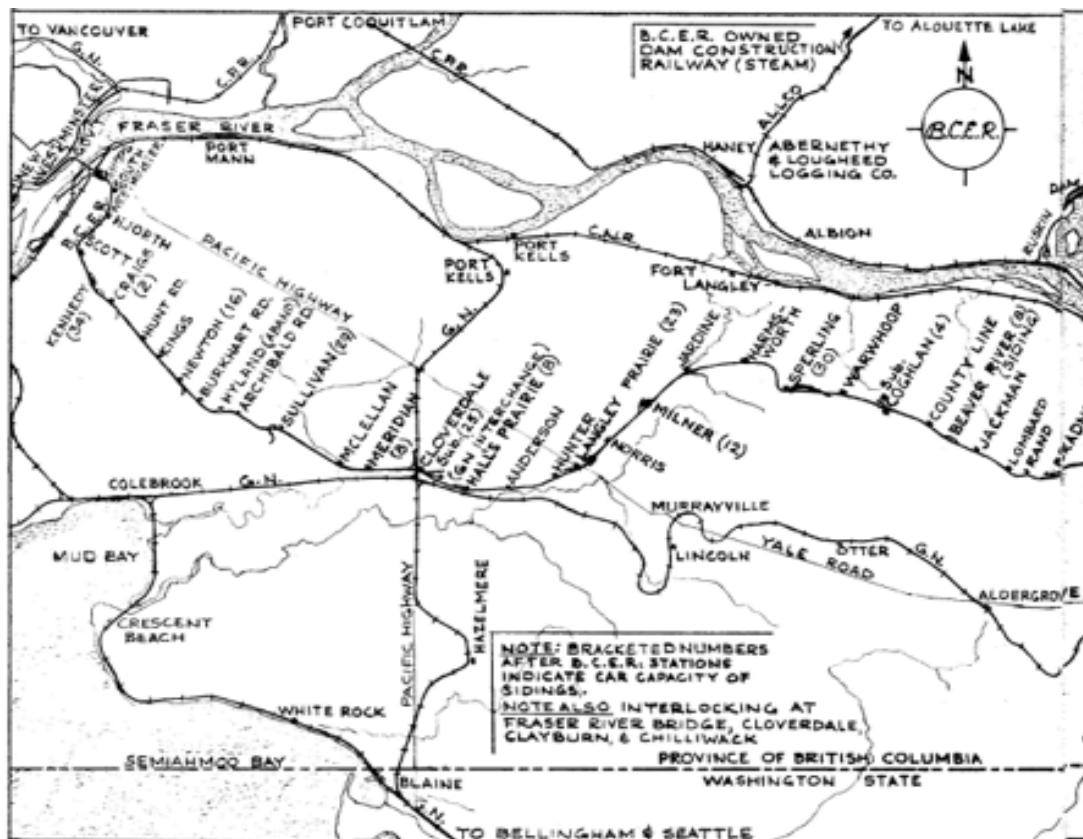
## 2 HISTORIC CONTEXT

European colonization of Surrey began in 1860 when James Kennedy pre-empted land near the Fraser River, opposite New Westminster. For the next two decades, settlement in Surrey, as well as throughout British Columbia was slow, with the area's geography providing significant challenges to would-be settlers. Early communities congregated close to water routes, which were essential for transport. Among the first European settlers to Cloverdale were brothers William and Thomas Shannon who, in 1875, purchased 960 acres of land from the government. William Shannon (1843-1928) was inspired to name the area after the clover that grew in abundance in this rich agricultural region.

William Shannon subsequently sold his farm in Clover Valley and went into the real estate business in Vancouver. The large land holdings of

his younger brother Joseph, who had arrived in the area one year prior, were also sold to the incoming settlers of Clover Valley. Joseph retained the section on the east side of Clover Valley Road, which is now known as Pacific Highway. He became one of the great benefactors in the development of the new settlement and donated land to a number of developments and organizations.

Cloverdale was the City of Surrey's first Town Centre. It was officially established in 1879 near Five Corners, which is the historic intersection of 60 Avenue and Old McClellan Road. The commercial core of Cloverdale evolved into what now constitutes Cloverdale Town Centre. The advent of the railways played a significant role in the development of Cloverdale, and greatly influenced the settlement's layout. When the New Westminster-Southern Railway (a subsidiary of the Great Northern Railway



*Railway lines travelling through the Fraser Valley*

## 2 HISTORIC CONTEXT



*Railway through Cloverdale; on the left side of track are Cloverdale Hotel & United Church, circa 1910 (Surrey Archives)*



*BC Electric Interurban at Cloverdale Station, circa 1910 (Surrey Archives)*

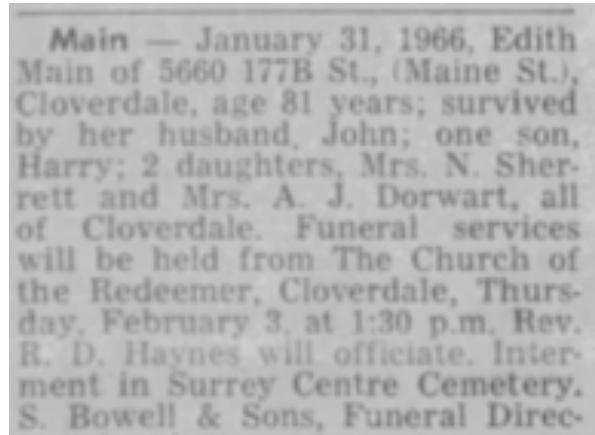
## 2 HISTORIC CONTEXT

(GNR)), linking Bellingham to New Westminster, was forged through the valley in 1891, a station was built near the present town centre and given the name “Cloverdale.” Official opening of the line took place on February 14, 1891, with a public excursion from New Westminster to Fairhaven, which was attended by important local figures.

In 1903, the Victoria Terminal Railway and Ferry Company (VTRF), a subsidiary of the GNR, opened its railway line from Port Guichon to Cloverdale where it connected with the New Westminster and Southern. The VTRF line was purchased by the Vancouver, Victoria and Eastern Railway and Navigation Company (VVER) in 1907. The BC Electric Interurban (BCER) connected Vancouver and the Fraser Valley when completed in 1911. With three intersecting railways running through it, Cloverdale developed as a north-south community along the railway, and blossomed as a transportation hub. It quickly emerged as the administrative, transportation and education centre of the Surrey area. In addition, Cloverdale was situated on prime agricultural land, and its proximity to trains allowed produce to be shipped around the lower mainland and to the United States quickly and efficiently.

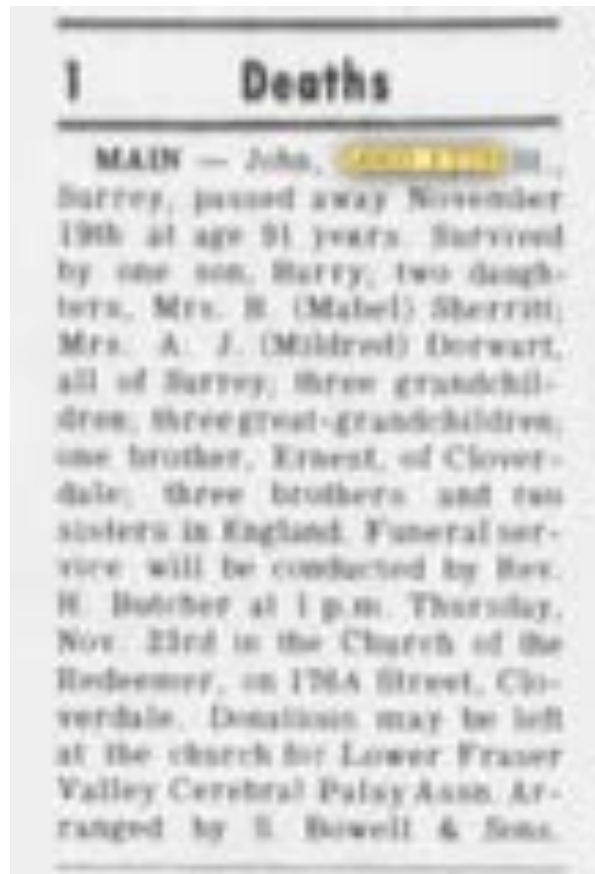
Cloverdale experienced a boom in 1910-1911, and many of the historic buildings in the downtown core date from this period. In 1912, a new Municipal Hall was built, and this helped establish Cloverdale as the regional centre of the District. Two sawmills, both operated by the Hadden family, operated in Cloverdale while timber supplies lasted. In 1912, Surrey High School was established in one room of the Cloverdale Public School. Students attending Surrey High School from surrounding areas such as Newton and Sullivan could ride the BCER to get to Cloverdale.

Cloverdale was also home to the Municipal Policeman, the Municipal Jail, the Starr Hotel, Hotel Columbia, a local creamery, an opera house, and a number of churches. The number of hotels reinforced Cloverdale’s importance as a transport hub. The coming of the automobile heralded the decline of the railways. However, Cloverdale continued to grow and develop, and quickly adapted and



**Main** — January 31, 1966, Edith Main of 5660 177B St., (Maine St.), Cloverdale, age 81 years; survived by her husband, John; one son, Harry; 2 daughters, Mrs. N. Sherritt and Mrs. A. J. Dorwart, all of Cloverdale. Funeral services will be held from The Church of the Redeemer, Cloverdale, Thursday, February 3, at 1:30 p.m. Rev. R. D. Haynes will officiate. Interment in Surrey Centre Cemetery. S. Bowell & Sons, Funeral Direc-

*Edith Main obituary, February 3, 1966 (Surrey Leader)*



**1 Deaths**

**MAIN** — John, **John James Main**, Surrey, passed away November 23rd at age 91 years. Survived by one son, Harry; two daughters, Mrs. B. (Mabel) Sherritt; Mrs. A. J. (Mildred) Dorwart, all of Surrey; three grandchildren; three great-grandchildren; one brother, Ernest, of Cloverdale; three brothers and two sisters in England. Funeral service will be conducted by Rev. H. Butcher at 1 p.m. Thursday, Nov. 23rd in the Church of the Redeemer, on 178A Street, Cloverdale. Donations may be left at the church for Lower Fraser Valley Cerebral Palsy Assn. Arranged by S. Bowell & Sons.

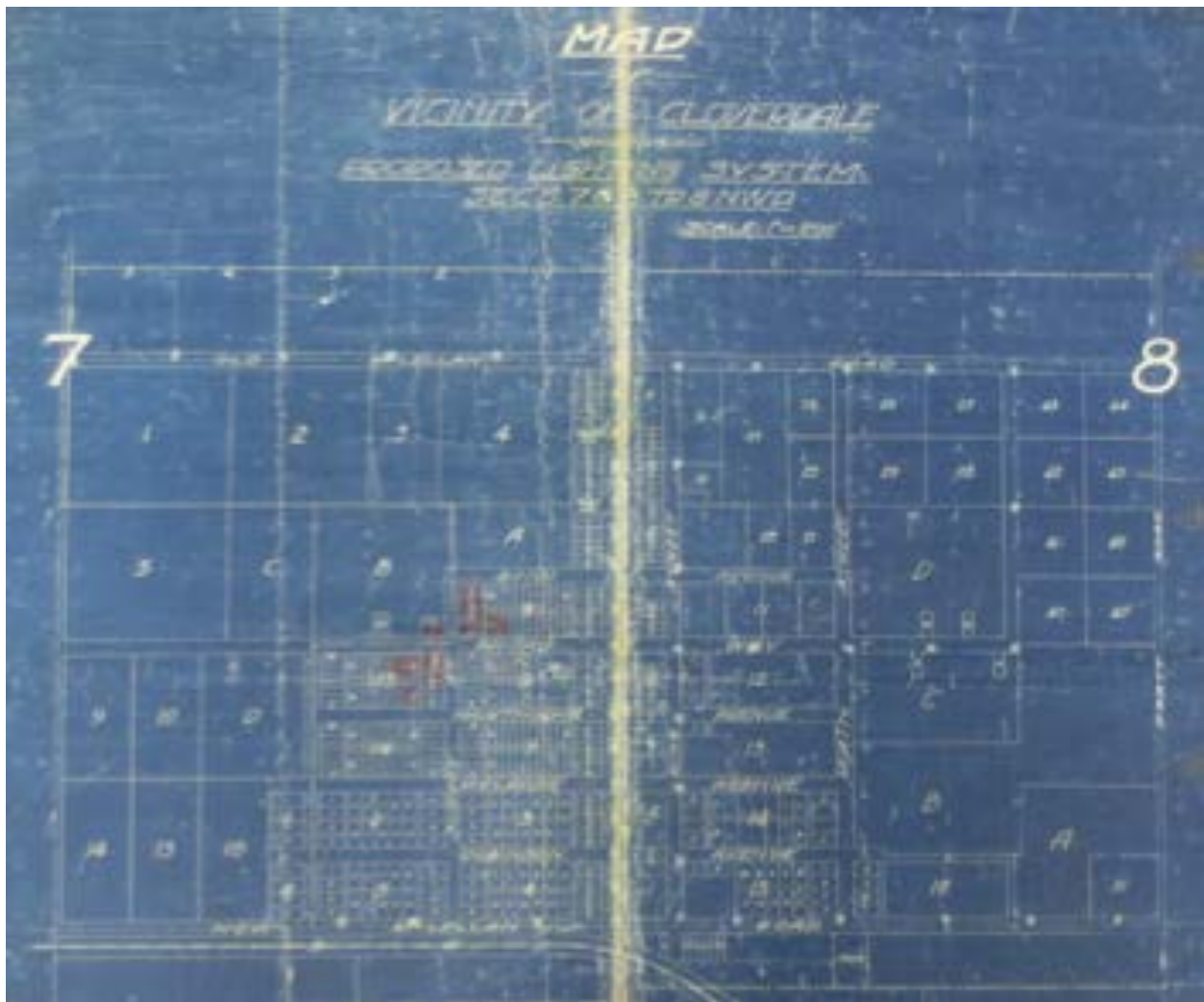
*John James Main obituary, November 23, 1972 (Surrey Leader)*

## 2 HISTORIC CONTEXT

refocused its resources to the emerging automobile culture. Between 1912 and 1913, the former Clover Valley Road was improved and opened south to the border at Blaine, Washington. This gravel road was formally opened on July 12, 1913, and later renamed Pacific Highway (176 Street) and, in 1923 the road was paved from the U.S. border to Old Yale Road. At this time, this highway was the only paved route in this part of the Fraser Valley from the international border to Vancouver; one year later the Main Residence was constructed on property owned by John and Edith Main, who obtained their land as part of the post-First World War Soldiers

Settlement Scheme. The Mains operated a dairy farm along 177B Street, which was originally named after the family. The farm, along with the remainder of Cloverdale, thrived due to its ascendant status as a service centre on the Pacific Highway.

With the completion of the Pattullo Bridge in 1937 and the King George Highway in 1940, access to the district was further improved. The area's enhanced accessibility, coupled with a shortage of wartime housing in Vancouver and New Westminister, encouraged many families of servicemen to relocate to Cloverdale, where housing was affordable.



*Map of Vicinity of Cloverdale Showing Proposed Lighting System, circa 1920; annotation on verso suggests lights were partially installed prior to 1930*

## 2 HISTORIC CONTEXT



*Cloverdale, 1967, Main Residence noted by arrow (British Columbia Archives I-21263)*

## 2 HISTORIC CONTEXT



*Main Residence, circa 1985 (SMA 2017.0043.915)*



## 2 HISTORIC CONTEXT



*Main Residence, circa 1985 (SMA 2017.0043.916)*



*Main Residence, 1986 (SMA 2017.0043.917)*

# 3 STATEMENT OF SIGNIFICANCE

**Address:** 5660 177B Street, Surrey, British Columbia

**Historic Name:** Main Residence

**Original Owner:** John James and Edith Main

**Date of Construction:** 1924

## **Description of the Historic Place**

The Main Residence is a one and one-half storey wood-frame house located along 177B Street in the Cloverdale neighbourhood of Surrey. Located on a large lot, the house is characterized by its gabled roof, wooden knee brackets, and full-width enclosed porch with hip roof.

## **Heritage Value of the Historic Place**

Constructed in 1924, the Main Residence is significant for its association with the interwar agricultural development of Cloverdale and for its connection to original owner and well-known

Surrey resident, John J. Main. The house is also valued for its Craftsman influenced vernacular architecture, representative of its type.

Cloverdale originally developed along the tracks of the New Westminster Southern Railway (NWSR), which opened in 1891. With the completion of the Victoria Terminal Railway in 1903, the Vancouver, Victoria and Eastern Railway in 1907, and the BC Electric Railway in 1910, development in Cloverdale quickened. The area became an important railway hub, and developed as a thriving commercial core, which was bolstered in 1912 when Surrey's new Municipal Hall was built in the area, establishing it as the District's administrative centre. In 1923 the Pacific Highway was graded and cemented from the International Border to Old Yale Road, thereby encouraging additional development in



*Main Residence, 2020*

### 3 STATEMENT OF SIGNIFICANCE

Cloverdale as the highway became a major road transportation service route. A number of the town's more prominent citizens relocated to this area, drawn to its semi-rural estate character. This house was originally located on a 7-hectare parcel, which operated as a dairy farm, though it was decreased in size over the years as a portion was sold to the Surrey School Board and other portions were subdivided and sold for development. The Main Residence is valued as part of a trend of semi-rural homes, built during the 1920s and 1930s in Cloverdale.

The Main Residence is additionally valued for its association with the Main family. In 1920, this property was granted to war veteran, John J. Main as part of the post-World War One Canadian Government's Soldiers Settlement Scheme. Originally from England, Main arrived in Surrey in 1919 and, like many early Surrey residents, became involved in agricultural pursuits. The family operated a dairy farm from this property and eventually constructed their family home here in 1924. Main and his wife, Edith, were active Cloverdale residents, delivering milk from their farm to the local community via horseback. Prior to its renaming, 177B Street was known as Main(e) Street, named so after the Main family. John and Edith remained in the house until their deaths in 1972 and 1966, respectively. The Main Residence remains a tangible representation of the Main family's contribution and connection to the Cloverdale community.

The Main Residence is significant for its vernacular architecture with Craftsman influences. The house is a modest and restrained example of this architectural style, which was the most popular housing style during the early twentieth century and the interwar period, in particular. The Craftsman style was typified by rational space planning, the use of natural materials and a mix of traditional design elements inspired by the Arts and Crafts movement

in England. The Main Residence is prominent along 177B Street and exists as one of only two remaining early homes in the immediate vicinity.

#### **Character-Defining Elements**

Elements that define the heritage character of the Main Residence are its:

- location on 177B Street;
- form, scale and massing as expressed by its one and one-half storey height and simple, shed-roof dormer, and regular rectangular plan;
- wood-frame construction, with original cedar shingle cladding beneath later stucco;
- vernacular Craftsman inspired details such as the front gabled roof with triangular wooden brackets, exposed raftertails, pointed bargeboards, main floor set significantly above grade, accessed by a flight of steps;
- original window placement, and original wood window assemblies, including multi-wood frame light casement units at the basement level, double-hung assemblies on the main elevation, and large multi-light assemblies inside the enclosed verandah;
- original wood doors; and
- interior masonry red brick chimney.

# 4 CONSERVATION GUIDELINES

## 4.1 STANDARDS AND GUIDELINES

The Main Residence is a significant historical resource in the City of Surrey. Parks Canada's *Standards & Guidelines for the Conservation of Historic Places in Canada* is the source used to assess the appropriate level of conservation and intervention. Under the *Standards & Guidelines*, the overall approach for the Main Residence is rehabilitation, with aspects of preservation and restoration.

**Preservation:** *the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.*

**Restoration:** *the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*

**Rehabilitation:** *the action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.*

Interventions to the Main Residence should be based upon the Standards outlined in the *Standards & Guidelines*, which are conservation principles of best practice. The following **General Standards** should be followed when carrying out any work to an historic property.

## STANDARDS

### Standards relating to all Conservation Projects

1. Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
2. Conserve changes to a historic place, which over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.
5. Find a use for a historic place that requires minimal or no change to its character defining elements.
6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.

## 4 CONSERVATION GUIDELINES

### **Additional Standards relating to Rehabilitation**

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. Conserve the heritage value and character-defining elements when creating any new additions to a historic place and any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.

### **Additional Standards relating to Restoration**

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

## **4.2 CONSERVATION REFERENCES**

The proposed work entails the conservation of the Main Residence and its relocation to a new position on the extant property. The residence will be re-purposed as an amenity space associated with the new residential complex to be constructed on the property.

The following conservation resources should be referred to:

*Standards and Guidelines for the Conservation of Historic Places in Canada*, Parks Canada, 2010.  
<http://www.historicplaces.ca/en/pages/standards-normes/document.aspx>

### **National Park Service, Technical Preservation Services. Preservation Briefs:**

- *Preservation Brief 3: Improving Energy Efficiency in Historic Buildings.*
- *Preservation Brief 4: Roofing for Historic Buildings.*
- *Preservation Brief 9: The Repair of Historic Wooden Windows.*
- *Preservation Brief 10: Exterior Paint Problems on Historic Woodwork.*
- *Preservation Brief 18: Rehabilitating Interiors in Historic Buildings – Identifying Character-Defining Elements.*
- *Preservation Brief 19: The Repair and Replacement of Historic Wood Shingle Roofs.*
- *Preservation Brief 28: Painting Historic Interiors.*
- *Preservation Brief 32: Making Historic Properties Accessible.*
- *Preservation Brief 37: Appropriate Methods of Reducing Lead-Paint Hazards in Historic Housing.*
- *Preservation Brief 41: The Seismic Retrofit of Historic Buildings: Keeping Preservation in the Forefront.*
- *Preservation Brief 43: The Preparation and Use of Historic Structure Reports.*
- *Preservation Brief 47: Maintaining the Exterior of Small and Medium Size Historic Buildings.*

### 4.3 GENERAL CONSERVATION STRATEGY

The primary intent is to preserve the existing historic structure, while undertaking a rehabilitation that will upgrade its structure and services to increase its functionality of its use. As part of the scope of work, character-defining elements will be preserved, while missing or deteriorated elements will be restored.

#### Proposed Redevelopment Scheme

A Heritage Revitalization Agreement for this property is being prepared by the City of Surrey. The major proposed interventions of the overall project to the heritage resource are to:

- preserve and repair in-kind surviving, original character-defining elements,
- restore missing, deteriorated, or heavily altered character-defining elements;
- relocation of the Main Residence within the site;
- rehabilitate the interior of the residence to accommodate multi-functional amenity spaces; and,
- rehabilitate the site by constructing a new residential complex.

Due to the proposed addition to the historic building, all new visible construction will be considered a modern addition to the historic structure. The *Standards & Guidelines* list recommendations for new additions to historic places. The proposed design scheme should follow these principles:

- Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.
- Design for the new work may be contemporary or may reference design motifs from the historic place. In either case, it should be compatible in terms of mass, materials, relationship of solids to voids, and colour, yet be distinguishable from the historic place.
- The new additions should be physically and visually compatible with, subordinate to and distinguishable from the preserved historic façade.

An addition should be subordinate to the historic place. This is best understood to mean that the addition must not detract from the historic place or impair its heritage value. Subordination is not a question of size; a small, ill-conceived addition could adversely affect an historic place more than a large, well-designed addition.

Additions or new construction should be visually compatible with, yet distinguishable from, the historic place. To accomplish this, an appropriate balance must be struck between mere imitation of the existing form and pointed contrast, thus complementing the historic place in a manner that respects its heritage value.

#### Relocation of Historic Building

The relocation of an historic building on an existing lot is the least intrusive relocation approach with regards to loss of historic context and invasive work to the structure. The following **Relocation Guidelines** should be implemented for the relocation of the Main Residence:

- A relocation plan should be prepared prior to relocation that ensures that the least destructive method of relocation will be used.
- Alterations to the historic structure to permit the relocation process should be evaluated in accordance with the Conservation Plan and reviewed by the Heritage Consultant. This can involve removal of later additions that are not enhancing the heritage value and historic appearance of the historic building.
- Only an experienced and qualified contractor shall undertake the physical relocation of the historic structure.
- Preserve historic fabric of the exterior elevations, including, but not limited to: the wood-frame construction; wood window and door assemblies; surviving original wood cladding beneath later stucco; gabled roof structure and associated elements (brick chimney, gabled dormer, triangular wooden knee brackets, exposed rafter tails, pointed bargeboards).
- The brick chimney and full-width front porch may be relocated with the main structure if

## 4 CONSERVATION GUIDELINES

possible. Alternatively, document the existing elements and salvage all original materials in good, reparable condition by carefully dismantling the structures prior to demolition and relocation. All salvaged original materials in good, reparable condition should be reinstated to match historic appearance, if unable to relocate with the historic building due to structural reasons.

- Appropriate foundation materials shall be used at the new site, which can include reinforced concrete foundations and floor slab. The final relative location to grade should match the original as closely as possible, taking into account applicable codes.
- Provide utility installations for electricity, communication and other service connections underground if possible. All installations located above ground should be incorporated harmoniously into the design concept for the relocated structure.

### 4.4 SUSTAINABILITY STRATEGY

Heritage conservation and sustainable development can go hand in hand with the mutual effort of all stakeholders. In a practical context, the conservation and re-use of historic and existing structures contributes to environmental sustainability by reducing solid waste disposal, saving embodied energy, and conserving historic materials that are often less consumptive of energy than many new replacement materials.

In 2016, the Federal Provincial Territorial Ministers of Culture & Heritage in Canada (FPTMCHC) published a document entitled, *Building Resilience: Practical Guidelines for the Retrofit and Rehabilitation of Buildings in Canada* that is “intended to establish a common pan-Canadian ‘how-to’ approach for practitioners, professionals, building owners, and operators alike.”

The following is an excerpt from the introduction of the document:

*[Building Resilience] is intended to serve as a “sustainable building toolkit”*

*that will enhance understanding of the environmental benefits of heritage conservation and of the strong interrelationship between natural and built heritage conservation. Intended as a useful set of best practices, the guidelines in **Building Resilience** can be applied to existing and traditionally constructed buildings as well as formally recognized heritage places.*

*These guidelines are primarily aimed at assisting designers, owners, and builders in providing existing buildings with increased levels of sustainability while protecting character-defining elements and, thus, their heritage value. The guidelines are also intended for a broader audience of architects, building developers, owners, custodians and managers, contractors, crafts and trades people, energy advisers and sustainability specialists, engineers, heritage professionals, and officials responsible for built heritage and the existing built environment at all jurisdictional levels.*

***Building Resilience** is not meant to provide case-specific advice. It is intended to provide guidance with some measure of flexibility, acknowledging the difficulty of evaluating the impact of every scenario and the realities of projects where buildings may contain inherently sustainable elements but limited or no heritage value. All interventions must be evaluated based on their unique context, on a case-by-case basis, by experts equipped with the necessary knowledge and experience to ensure a balanced consideration of heritage value and sustainable rehabilitation measures.*

***Building Resilience** can be read as a stand-alone document, but it may also further illustrate and build on the sustainability considerations in the Standards and Guidelines for the Conservation of Historic Places in Canada.*

## 4 CONSERVATION GUIDELINES

### 4.5 ALTERNATE COMPLIANCE

The Main Residence may be eligible for heritage variances that will enable a higher degree of heritage conservation and retention of original material, including considerations available under the following legislation.

#### 4.5.1 BRITISH COLUMBIA BUILDING CODE

Building Code upgrading ensures life safety and long-term protection for historic resources. It is important to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements do not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of equivalencies have been developed and adopted in the British Columbia Building Code that enable more sensitive and appropriate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements. Table A-1.1.1.1., found in Appendix A of the Code, outlines the “Alternative Compliance Methods for Heritage Buildings.”

Given that Code compliance is such a significant factor in the conservation of heritage buildings, the most important consideration is to provide viable economic methods of achieving building upgrades. In addition to the equivalencies offered under the current Code, the City can also accept the report of a Building Code Engineer as to acceptable levels of code performance.

#### 4.5.2 ENERGY EFFICIENCY ACT

The provincial *Energy Efficiency Act* (Energy Efficiency Standards Regulation) was amended in 2009 to exempt buildings protected through heritage designation or listed on a community heritage register from compliance with the regulations. Energy Efficiency standards therefore do not apply to windows, glazing products, door slabs or products installed in heritage buildings. This means that exemptions can be allowed to energy upgrading measures that would destroy heritage character-defining elements such as original windows and doors.

These provisions do not preclude that heritage buildings must be made more energy efficient, but they do allow a more sensitive approach of alternate compliance to individual situations and a higher degree of retained integrity. Increased energy performance can be provided through non-intrusive methods of alternate compliance, such as improved insulation and mechanical systems. Please refer to the *Standards and Guidelines for the Conservation of Historic Places in Canada* for further detail about “Energy Efficiency Considerations.”

### 4.6 SITE PROTECTION & STABILIZATION

It is the responsibility of the owner to ensure the heritage resource is protected from damage at all times. At any time that the house is left vacant, it should be secured against intrusion and vandalism through the use of appropriate fencing and security measures. This is especially important if the building is missing windows or doors or is left elevated for any period of time. Security measure may include mothballing the historic property and/or hiring a security guard for the duration of the work.

Generally, once a heritage property is no longer undergoing rehabilitation work and is under occupancy of its owners, lockable doors and lower level windows and continued monitoring by the owners should be adequate protection. A comprehensive site protection plan should be developed in discussion between owner, contractor and/or architect. Plan may be reviewed by Heritage Consultant, is desired.

In the event that the house is damaged or destroyed, the owner will be required to pay the damages and may face additional fines. Section 21.2 under the Preservation Intervention category of the Heritage Conservation Act states “if the minister considers that property protected under section 13 (2) is subject to damage or deterioration and is being unreasonable neglected by the owner, the minister may order the owner, on terms and conditions and to specifications that the minister considers appropriate, to preserve the property at the expense of the owner or at the expense of the owner and the government on a cost sharing basis”.



## 4 CONSERVATION GUIDELINES

The Main Residence is currently vacant and the structure should be temporarily closed up to protect it from the weather and to prohibit unauthorized access.

The following checklist will ensure that work items for the protection during the temporary mothballing of the historic structure are not inadvertently omitted and the listed heritage resource secured:

### Moisture

- Is the roof watertight?
- Is exterior cladding in good condition to keep water out?
- Is the site of the temporary location properly graded for water run-off?

### Ventilation

- Have steps been taken to ensure proper ventilation of the building?
- Have interior doors been left open for ventilation purposes?
- Has the secured building been checked within the last 3 months for interior dampness or excessive humidity?

### Pests

- Have nests/pests been removed from the building's interior and eaves?
- Are adequate screens in place to guard against pests?
  
- Has the building been inspected and treated for termites, carpenter ants, rodents, etc.?

### Security

- Are smoke and fire detectors in working order?
- Are wall openings boarded up and exterior doors securely fastened?
- Are plans in place to monitor the building on a regular basis?
- Are the keys to the building in a secure but accessible location?
- Are the grounds being kept from becoming overgrown?

- Is the site securely fenced and regularly patrolled?
- Is the building signed identifying it as a protected heritage building with a phone number for citizens to call with questions or concerns or report vandals?

The aforementioned items will assist in protecting the listed heritage resource that is currently unoccupied during the planning process until actual site work commences.

# 5 CONSERVATION RECOMMENDATIONS

A preliminary condition review of the Main Residence was carried out during a site visit in February 2020. In addition to the visual review of the exterior of the building, paint samples were removed from the exterior and interior. The recommendations for the conservation of the house are based on the site review, material samples and archival documents that provide valuable information about the original appearance of the historic building.

The following chapter describes the materials, physical condition and recommended conservation strategy for the Main Residence based on Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*.

## 5.1 SITE

The Main Residence is addressed at 5660 177B Street, in the Cloverdale neighborhood of Surrey. The square lot is at the corner of 177B Street and 56A Avenue and is bounded by an apartment building to the north, an open field of Cloverdale Traditional School to the east, and roadways of 56A Avenue and 177B Street to the south and west, respectively.

The historic house is setback from the property lines, with landscaping around the residence and mature trees along its north and west property lines. A small one-storey side-gabled shed structure is located at the northeast corner of the property is accessed through a gravel driveway that runs behind (east) the residence.



Aerial view showing location of Main Residence, addressed at 5660 177B Street (outlined in blue).

## 5 CONSERVATION RECOMMENDATIONS

The proposed redevelopment scheme includes the relocation of the Main Residence to the southwest corner of the property. The relocation of the building within the existing city block will enhance its prominence along the street, and preserve the historic neighborhood context of the residence, while allowing for the rehabilitation of the property through the construction of a new residential complex.

Supreme Structural Transport has been in coordination with the developer on the temporary relocation of the Main Residence prior to its intended final setting into the southwest corner of the redevelopment. The secure off-site location of the heritage house is: 12454 110 Avenue, Surrey, BC.

All heritage resources within the site should be protected from damage or destruction at all times. See **Section 4.6 Site Stabilization and Protection** for guidance. Design guidelines for new construction adjacent to the heritage resource are listed in **Section 4.3 General Conservation Strategy**.

### Conservation Strategy: Rehabilitation

- Relocate the building to the southwest corner of the property.
- Preserve the original orientation of the historic front facade, in relation to 177B Street.
- Rehabilitate the site by constructing a new residential complex. The design of the new infill structures should be “physically and visually compatible with, subordinate to, and



*Photos showing location of the Main Residence within the site, and existing mature vegetation within the property.*

## 5 CONSERVATION RECOMMENDATIONS

distinguishable from the historic place: as recommended in **Standard 11**.

- All rehabilitation work should occur within the property lines.

### 5.2 OVERALL FORM, SCALE & MASSING

The Main Residence retains the integrity of its original residential form, scale and massing as expressed by its one and one-half storey height, rectangle plan, front-gabled roof with a shed-roof dormer to the south, and interior brick chimney. The historic front facade (west elevation) is characterized by a closed, full-width verandah with hipped roof structure. A later rear extension (exterior workshop and/or garage) with shed roof structure was added over time.

Based on visual review, the front verandah would have been originally open, with closed balustrades, square columns, and simple front entry stairs that align with the front entrance doors. A recessed secondary entry porch is located at the rear

(east) elevation, accessed by side entry stairs. The basement is also accessible from the rear through concrete steps.

The proposed redevelopment scheme includes the preservation of the original form, scale and massing of the Main Residence. The relocation of the historic structure would require demolition of the existing concrete foundation walls. The later rear shed-roof extension will be demolished prior to relocation, as it does not contribute to the historic character of the house.

#### **Conservation Strategy: Preservation**

- Preserve the overall form, scale and massing of the building.
- Demolish the later added shed roof structure at the rear of the house.
- Relocate the brick chimney with the main structure, if possible. Alternatively, salvage original materials, and reinstate to match original above the roofline upon relocation.
- To ensure the prolonged preservation of the new foundation, all landscaping should be



*Front elevation and partial side (south elevation) of Main Residence.*

## 5 CONSERVATION RECOMMENDATIONS



*Side (south) elevation of Main Residence, showing front verandah (left) and later shed-roof extension to the rear (right). Note differential settlement at southwest corner of front verandah.*



*Side (north) elevation of Main Residence, showing later shed-roof extension to the rear (left) and front verandah (right). Note uniform settlement at northwest corner of front verandah.*

5 CONSERVATION RECOMMENDATIONS



*Photos showing rear (east) elevation of Main Residence.*

## 5 CONSERVATION RECOMMENDATIONS

separated from the foundations at grade by a course of gravel or decorative stones to help prevent splash back and assist drainage. New vegetation may assist in concealing the newly exposed foundations, if desired.

### 5.3 EXTERIOR WOOD-FRAME WALLS

The Main Residence features original wood-frame construction using typical dimensional lumber. Wood-frame construction was one of the most affordable housing construction methods utilized in the past due to the abundance of local old growth forests.

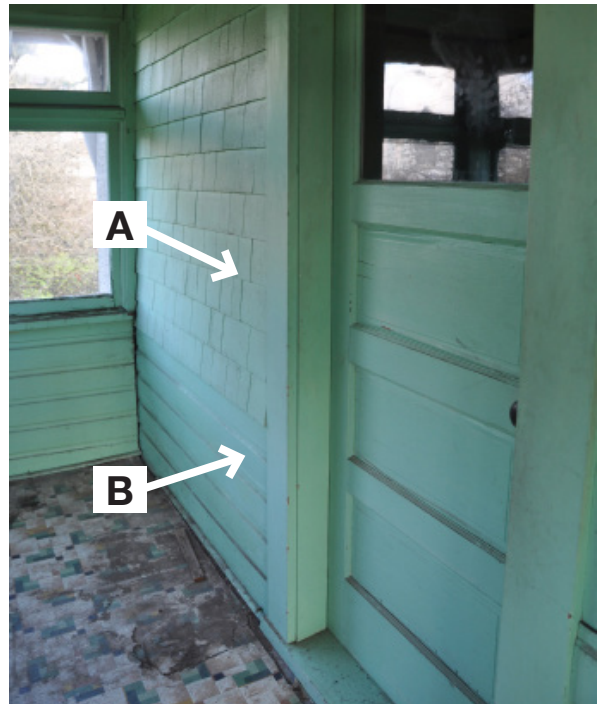
Based on preliminary visual assessment of the exterior cladding, the existing stucco finish is a later unsympathetic intervention. Original wood exterior cladding are extant in localized areas, as evidenced by wood shingles and shiplap siding on the front verandah, as well as the rear porch and a portion of the exterior rear wall where cedar shingles are now exposed.

The Main Residence also features typical wood trim elements including, but not limited to: triangular brackets, exposed roof raftertails and soffits, bargeboards and fascia, as well as window and door surround exterior trims.

No intrusive disturbance of the exterior stucco were performed during the preliminary assessment. Further investigation is required to determine if original wood materials (cladding and trims) are still intact upon removal of later unsympathetic exterior stucco on all elevations. This would also confirm if they are in good, repairable condition, or if they are heavily deteriorated beyond repair, and would now require removal and replacement to match original, both visually and physically.

#### Conservation Strategy: Preservation

- Preserve the original wood-frame structure of the Main Residence, and repair in-kind as required.
- Carefully remove all later, unsympathetic exterior stucco finish.



Localized areas showing surviving original wood cladding: cedar shingles (A) and shiplap siding (B).

## 5 CONSERVATION RECOMMENDATIONS

- Preserve all original exterior wood cladding and trims on all elevations to be retained, if possible, and clean surface for repainting.
- If original wood cladding and trims require temporary removal, salvage all wood elements in good condition, and reinstate to match original historic appearance.
- If original wood cladding and trims require replacement, new materials should be visually and physically compatible with the original (i.e. new should match existing in material, size, profile and thickness).
- Combed and/or textured lumber is not acceptable. Hardi-plank or other cementitious boards are also not acceptable.
- Cleaning procedures should be undertaken with non-destructive methods. Areas with biological growth should be cleaned using a soft, natural bristle brush, without water, to remove dirt and other material. If a more intense cleaning is required, this can be accomplished with warm water, mild detergent (such as D/2 Biological Solution®) and a soft bristle brush. High-pressure power washing, abrasive cleaning or sandblasting should not be allowed under any circumstances.
- A mock-up of rehabilitation methods should

be carried out in location advised by the Architect and the Heritage Consultant prior to proceeding with the rest of the work, to ensure all repairs are historically appropriate.

- Design structural or seismic upgrades so as to minimize the impact to the character-defining elements.

### 5.4 FRONT VERANDAH

The Main Residence is characterized by an original full-width front verandah with hipped roof. The roof is clad with later asphalt shingles, with open soffits and exposed rafter tails. The front verandah has been subject to a series of alterations over time, including:

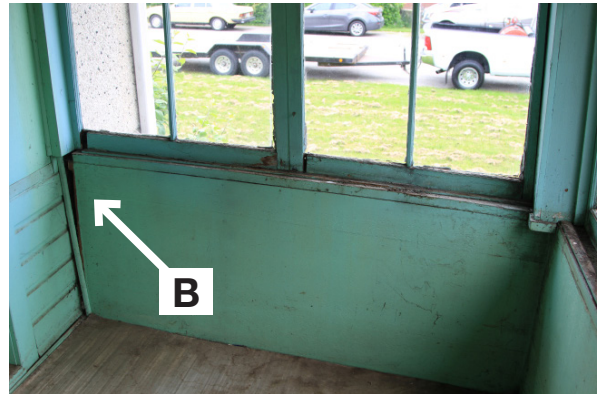
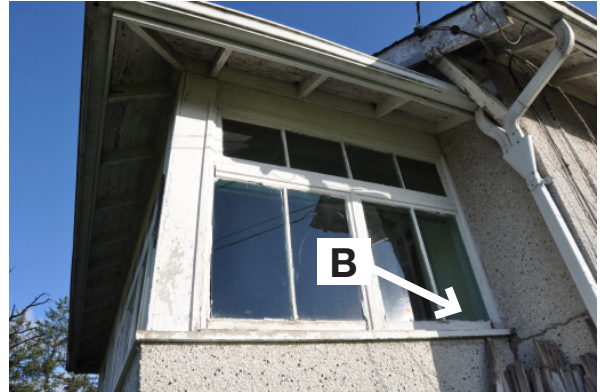
- installation of replacement open staircase assembly;
- enclosure of the verandah by installing a ribbon of clear wood window and door assemblies;
- unsympathetic installation of stucco finish on exterior face of the closed balustrade (which would have originally been characterized with shiplap siding)
- unsympathetic partitioning of the verandah



*Front elevation, showing full-width front verandah.*



## 5 CONSERVATION RECOMMENDATIONS



Detail photos showing elements of the full-width front verandah, as viewed from interior and exterior. Note later partition wall within the verandah (bottom left).



Detail photos showing later replacement entrance staircase (left) and existing condition of crawl space under the front verandah (right).

## 5 CONSERVATION RECOMMENDATIONS

- into two spaces; and,
- unsympathetic alteration of a window opening to accommodate a large double-door assembly.

These alterations are not historically appropriate, and do not contribute to its historic character.

The original open configuration of the front verandah shall be reinstated in its original form which will add to the historic character of the Main Residence.

Due to the relocation of the house, the front verandah will require dismantling and reconstruction. All efforts should be made to document and carefully salvage any original materials in good, repairable condition that may be reused for later reuse in order to reconstruction of the verandah in a historically appropriate manner.

Recent site investigations have confirmed that the verandah was built with in a closed balustrade. Heritage homes were typified by a low balustrade of approximately 24" in height. The project Architect has proposed, through an alternative compliance measure, the use of glass panels to satisfy BC Building Code guard height requirements on the reinstated west-facing verandah.

### **Conservation Strategy: Restoration**

- Investigate to confirm original materials and distinguish from later, unsympathetic alterations. Salvage all original materials that can be reused.
- Remove unsympathetic elements such inner partition wall, and vinyl floor finish above porch deck. Document existing original configuration (e.g. roof pitch, open soffit with exposed raftertails, height of balustrade) prior to demolition and relocation.
- Restore the original front verandah in its existing full-width configuration upon relocation, to match original detailing based on physical and archival evidences.
- Original low height of the balustrade should be retained; utilize alternate compliance methods to meet standard requirements. New materials such as glass panels will be used in

meeting code compliance.

## 5.5 FENESTRATION

*Windows, doors and storefronts are among the most conspicuous feature of any building. In addition to their function — providing light, views, fresh air and access to the building — their arrangement and design is fundamental to the building's appearance and heritage value. Each element of fenestration is, in itself, a complex assembly whose function and operation must be considered as part of its conservation.*

*— Standards and Guidelines for the Conservation of Historic Places in Canada.*

### 5.5.1 WINDOWS

The Main Residence features a variety of original and early replacement wood window assemblies, including: double-hung wood sashes, multi-paned fixed casement and/or hopper assemblies, and single and multi-pane fixed sashes. All multi-pane assemblies have true-divided lights.

In general, most of the wood window assemblies are in fair to poor condition, with varying degrees of deterioration, as evidenced by paint failure, dry-rot, putty failure, cracked or missing glazing, and missing parts. These would require in-kind repair or full replacement with historically appropriate wood assembly to match existing.

Further investigation is required to determine if original wood window surround trims are still extant and in good condition underneath the unsympathetic stucco finish.

### **Conservation Strategy: Preservation**

- Inspect for condition and complete detailed inventory to determine extent of recommended repair or replacement.
- Preserve existing original windows; repair as required; if new sashes are required install replacements matching original sashes in

## 5 CONSERVATION RECOMMENDATIONS



*Clear, sliding wood window assembly at front gable wall (attic).*



*Typical multi-pane fixed (alternatively, casement or awning configuration) window with true divided lights on basement level.*



*Typical double-hung wood sash assembly*



*Multi-light fixed dormer window south elevation.*



*Fixed wood window at rear (east) elevation). Note exposed original wood window exterior casing, which would have been a typical trim detail for all window openings.*



*Double-hung wood sash assembly at rear gable wall (attic).*



*Photo showing typical deterioration of existing wood sashes.*

## 5 CONSERVATION RECOMMENDATIONS

design and materials.

- Repair window assemblies as required, using in-kind repair techniques where feasible.
- Overhaul, tighten/reinforce joints. Repair frame, trim and counterbalances.
- Each window should be made weather tight by re-puttying and weather-stripping as necessary.
- Retain historic glass, where possible. Where broken glass exists in historic wood-sash windows, the broken glass should be replaced. When removing broken glass, the exterior putty should be carefully chipped off with a chisel and the glazier's points should be removed. The wood where the new glass will be rested on should be scraped and cleaned well, and given a coat of linseed oil to prevent the wood from absorbing the oil from the new putty. The new glass should be cut 1/16-1/8th smaller than the opening to allow for expansion and irregularities in the opening, to ensure the glazing does not crack due to natural forces. Window repairs should be undertaken by a contractor skilled in heritage restoration.
- Replacement glass to be visually and physically compatible with existing.

- Prime and repaint as required in appropriate colour, based on colour schedule devised by Heritage Consultant.

### 5.5.2 DOORS

The Main Residence is an example of a craftsman style residence common during the early part of the twentieth century. A characteristic element of craftsman house were their doors. The Main Residence features typical multi-panel wood door with upper glass light at the entry into the house from the front verandah and at the rear of the house. The doors are in good condition and retain their original hardware. Wood works were rationalized to natural design elements and were evident in the simplicity of the main entry door and all the interior doors of the house. The doors possess plain wood trim on the exterior.

#### Conservation Strategy: Preservation & Rehabilitation

- Preserve existing openings and wood door assemblies.
- Repair doors, frames, and trim wood in-kind as required.



Photos showing typical primary and secondary exterior doors: Note that the primary (left) and secondary (middle) entry doors inside the front verandah and rear porch are characterized by a glazed upper and three wood lower inset panelling. The existing closed configuration of the front verandah appears to be an early alteration, which features a ribbon of wood window sashes with corresponding transom band above in the same width, and an in-swing door sash (glazed upper and wood lower inset panelling) with paired sidelights.

## 5 CONSERVATION RECOMMENDATIONS

- Where new doors are added, select new doors that are visual compatibility with the historic character of the building.

### 5.6 ROOF

The Main Residence features a primary front-gabled wood-frame roof structure, with a shed dormer facing south, a red brick chimney along the midsection of the roof ridge, and a hipped roof structure above the full-width front verandah.

Other roof elements that contribute to its historic

character include: tongue-and-groove wood soffits, exposed wood rafter tails with wood bargeboard and aluminum gutters, and triangular wood brackets supporting the wood fascia boards.

In general, the primary roof wood-frame structure and wood trims appear to be in good condition, with some deterioration in localized areas which may be attributed to water damage and later unsympathetic alterations.

The roof cladding appears to have been replaced within the past 20 years, and may now require replacement, particularly the asphalt shingles at



*South elevation showing primary front-gabled wood-frame roof structure, shed dormer, interior brick chimney, hipped-roof (verandah), and shed-roof (rear extension, not original).*



*Existing condition of replacement asphalt roof shingles facing south (left) and north (right). Note heavy biological growth on roof cladding facing north as a result of moisture saturation caused by minimal sun exposure.*

## 5 CONSERVATION RECOMMENDATIONS



*Top, left: Photo showing fascia board, triangular bracket, and tongue-and-groove soffit and mould trim at gable wall of front elevation.*

*Top, right: Typical condition of roof eaves at front verandah.*

*Middle, left: Existing condition of roof eaves at south elevation.*

*Middle, right: Typical deteriorated condition of roof eaves at localized area along the north elevation.*

*Bottom, left: Existing condition of interior brick chimney above roofline.*

## 5 CONSERVATION RECOMMENDATIONS

the north elevation which show accelerated signs of typical deterioration (evidenced by granular loss, warping, biological growth, staining and discoloration).

The rear shed-roof extension is not original, and may should be demolished as part of preserving the original residential form, scale, and massing of the historic structure.

### **Conservation Recommendation: Rehabilitation**

- Preserve the integrity of the original front-gable wood-frame roof structure, including the shed roof dormer, the hipped-roof front verandah, and prominent interior brick chimney.
- If required, roofing membrane and cladding system may be rehabilitated. Cedar shingles are the preferred material by the Architect and Heritage Consultant for approval by the City Architect and shall be prepared for review.
- Preserve all surviving original roof elements, and repair in-kind as required.
- Design and install adequate rainwater disposal system and ensure proper drainage from the site is maintained. Wood gutters with galvanized steel downspouts may be reinstated. Aluminum in appropriate colours is also acceptable.

### *5.6.1 CHIMNEY*

An original interior brick chimney is extant along the midsection of the roof ridge, and appears to be in good condition, with signs of natural weathering.

Due to the relocation of the Main Residence, the brick chimney may need to be dismantled. Prior to careful dismantling, the original configuration of the brick chimney should be documented, and all original materials in good condition should be salvaged and stored in a secure location.

Once relocation is complete, the brick chimney should be reinstated with the salvaged materials (full-dimensional brick units) above the roofline

to match original configuration. The reconstruction should be based on previous documentation of the existing chimney prior to relocation.

### **Conservation Recommendation: Rehabilitation**

- Preserve the chimney in its original configuration above roofline.
- Prior to relocation, document the original detailing of the brick masonry chimney . Carefully dismantle and salvage any bricks in good condition to be used in reconstruction of the chimney.
- Reinstated chimney above roofline to match original.
- Chimney may require structural stabilization.




## **5.7 EXTERIOR COLOUR SCHEDULE**

Part of the restoration process is to finish the building in historically appropriate paint colours. The following preliminary colour scheme has been derived by the Heritage Consultant, based on on-site paint sampling and microscopic paint analysis. The colours have been matched to Benjamin Moore's Historical True Colours Palette. Further on-site analysis is required for final colour confirmation once safe access is available.

Prior to final paint application, samples of these colours should be placed on the building to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the Heritage Consultant.

## 5 CONSERVATION RECOMMENDATIONS

### ***HISTORIC COLOUR TABLE: MAIN RESIDENCE, 5660 177B STREET***

Element	Colour*	Code	Sample	Finish
Wood Window Sashes	Gloss Black	VC-35		High Gloss
Wood Trims (Windows & Door frames and sills, fascia boards, bargeboards); gutters and downspouts	Dunbar Buff or Edwardian Cream	VC-5 or VC 7		Low Lustre
Cedar Shingles & Shiplap sidings	Point Grey	VC-24		Low Lustre

### **5.8 INTERIOR**

The Main Residence feature surviving, original interior wood door assemblies, complete with original wood surround trims. The window openings also feature original interior casings. In general, all interior fittings and finishes appear to be in good condition, and may be reused as part of the interior retrofit.

Since the interior of the Main Residence is proposed to be used as amenity space for the new residential complex, it is anticipated that the interior layout of the residence will be altered. Where feasible, attempt to retain any original interior elements, and reuse in a manner that is sympathetic to its historic character.

#### **Conservation Strategy: Rehabilitate**

- Retain original interior walls and ceilings and their original finishes, if possible.
- Salvage all original wood door assemblies, including surround trims, and reuse where possible.



# 6 MAINTENANCE PLAN

A Maintenance Plan should be adopted by the property owner, who is responsible for the long-term protection of the heritage features of the Main Residence. The Maintenance Plan should include provisions for:

- Copies of the Maintenance Plan and this Conservation Report to be incorporated into the terms of reference for the management and maintenance contract for the building;
- Cyclical maintenance procedures to be adopted as outlined below;
- Record drawings and photos of the building to be kept by the management / maintenance contractor; and
- Records of all maintenance procedures to be kept by the owner.

A thorough maintenance plan will ensure the integrity of the Main Residence is preserved. If existing materials are regularly maintained and deterioration is significantly reduced or prevented, the integrity of materials and workmanship of the building will be protected. Proper maintenance is the most cost effective method of extending the life of a building, and preserving its character-defining elements. The survival of historic buildings in good condition is primarily due to regular upkeep and the preservation of historic materials.

## 6.1 MAINTENANCE GUIDELINES

A maintenance schedule should be formulated that adheres to the *Standards & Guidelines for the Conservation of Historic Places in Canada*. As defined by the *Standards & Guidelines*, maintenance is defined as:

*Routine, cyclical, non-destructive actions necessary to slow the deterioration of a historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save.*

The assumption that newly renovated buildings become immune to deterioration and require

less maintenance is a falsehood. Rather, newly renovated buildings require heightened vigilance to spot errors in construction where previous problems had not occurred, and where deterioration may gain a foothold.

Routine maintenance keeps water out of the building, which is the single most damaging element to a heritage building. Maintenance also prevents damage by sun, wind, snow, frost and all weather; prevents damage by insects and vermin; and aids in protecting all parts of the building against deterioration. The effort and expense expended on an aggressive maintenance will not only lead to a higher degree of preservation, but also over time potentially save large amount of money otherwise required for later repairs.

## 6.2 PERMITTING

Repair activities, such as simple in-kind repair of materials, or repainting in the same colour, should be exempt from requiring city permits. Other more intensive activities will require the issuance of a Heritage Alteration Permit.

## 6.3 ROUTINE, CYCLICAL AND NON-DESTRUCTIVE CLEANING

Following the *Standards & Guidelines for the Conservation of Historic Places in Canada*, be mindful of the principle that recommends “using the gentlest means possible”. Any cleaning procedures should be undertaken on a routine basis and should be undertaken with non-destructive methods. Cleaning should be limited to the exterior material such as concrete and stucco wall surfaces and wood elements such as storefront frames. All of these elements are usually easily cleaned, simply with a soft, natural bristle brush, without water, to remove dirt and other material. If a more intensive cleaning is required, this can be accomplished with warm water, mild detergent and a soft bristle brush. High-pressure washing, sandblasting or other abrasive cleaning should not be undertaken under any circumstances.

### 6.4 REPAIRS AND REPLACEMENT OF DETERIORATED MATERIALS

Interventions such as repairs and replacements must conform to the *Standards & Guidelines for the Conservation of Historic Places in Canada*. The building's character-defining elements – characteristics of the building that contribute to its heritage value (and identified in the Statement of Significance) such as materials, form, configuration, etc. - must be conserved, referencing the following principles to guide interventions:

- An approach of minimal intervention must be adopted - where intervention is carried out it will be by the least intrusive and most gentle means possible.
- Repair rather than replace character-defining elements.
- Repair character-defining elements using recognized conservation methods.
- Replace 'in kind' extensively deteriorated or missing parts of character-defining elements.
- Make interventions physically and visually compatible with the historic place.

### 6.5 INSPECTIONS

Inspections are a key element in the maintenance plan, and should be carried out by a qualified person or firm, preferably with experience in the assessment of heritage buildings. These inspections should be conducted on a regular and timely schedule. The inspection should address all aspects of the building including exterior, interior and site conditions. It makes good sense to inspect a building in wet weather, as well as in dry, in order to see how water runs off – or through – a building. From this inspection, an inspection report should be compiled that will include notes, sketches and observations. It is helpful for the inspector to have copies of the building's elevation drawings on which to mark areas of concern such as cracks, staining and rot. These observations can then be included in the report. The report need not be overly complicated or formal, but must be thorough, clear and concise. Issues of concern, taken from the report should then

be entered in a log book so that corrective action can be documented and tracked. Major issues of concern should be extracted from the report by the property manager.

An appropriate schedule for regular, periodic inspections would be twice a year, preferably during spring and fall. The spring inspection should be more rigorous since in spring moisture-related deterioration is most visible, and because needed work, such as painting, can be completed during the good weather in summer. The fall inspection should focus on seasonal issues such as weather-sealants, mechanical (heating) systems and drainage issues. Comprehensive inspections should occur at five-year periods, comparing records from previous inspections and the original work, particularly in monitoring structural movement and durability of utilities. Inspections should also occur after major storms.

### 6.6 INFORMATION FILE

The building should have its own information file where an inspection report can be filed. This file should also contain the log book that itemizes problems and corrective action. Additionally, this file should contain building plans, building permits, heritage reports, photographs and other relevant documentation so that a complete understanding of the building and its evolution is readily available, which will aid in determining appropriate interventions when needed.

The file should also contain a list outlining the finishes and materials used, and information detailing where they are available (store, supplier). The building owner should keep on hand a stock of spare materials for minor repairs.

#### 6.6.1 LOG BOOK

The maintenance log book is an important maintenance tool that should be kept to record all maintenance activities, recurring problems and building observations and will assist in the overall maintenance planning of the building. Routine maintenance work should be noted in the

## 6 MAINTENANCE PLAN

maintenance log to keep track of past and plan future activities. All items noted on the maintenance log should indicate the date, problem, type of repair, location and all other observations and information pertaining to each specific maintenance activity.

Each log should include the full list of recommended maintenance and inspection areas noted in this Maintenance Plan, to ensure a record of all activities is maintained. A full record of these activities will help in planning future repairs and provide valuable building information for all parties involved in the overall maintenance and operation of the building, and will provide essential information for long term programming and determining of future budgets. It will also serve as a reminder to amend the maintenance and inspection activities should new issues be discovered or previous recommendations prove inaccurate.

The log book will also indicate unexpectedly repeated repairs, which may help in solving more serious problems that may arise in the historic building. The log book is a living document that will require constant adding to, and should be kept in the information file along with other documentation noted in section **6.6 Information File**.

### 6.7 EXTERIOR MAINTENANCE

Water, in all its forms and sources (rain, snow, frost, rising ground water, leaking pipes, back-splash, etc.) is the single most damaging element to historic buildings.

The most common place for water to enter a building is through the roof. Keeping roofs repaired or renewed is the most cost-effective maintenance option. Evidence of a small interior leak should be viewed as a warning for a much larger and worrisome water damage problem elsewhere and should be fixed immediately.

#### 6.7.1 INSPECTION CHECKLIST

The following checklist considers a wide range of potential problems specific to the Main Residence, such as water/moisture penetration, material deterioration and structural deterioration. This does not include interior inspections.

#### EXTERIOR INSPECTION

##### Site Inspection:

- Is the lot well drained? Is there pooling of water?
- Does water drain away from foundation?

##### Foundation

- Moisture: Is rising damp present?
- Is there back splashing from ground to structure?
- Is any moisture problem general or local?
- Are there shrinkage cracks in the foundation?
- Are there movement cracks in the foundation?
- Is crack monitoring required?
- Is uneven foundation settlement evident?
- Are foundation crawl space vents clear and working?
- Do foundation openings (doors and windows) show: rust; rot; insect attack; paint failure; soil build-up;
- Deflection of lintels?

##### Wood Elements

- Are there moisture problems present? (Rising damp, rain penetration, condensation moisture from plants, water run-off from roof, sills, or ledges?)
- Is wood in direct contact with the ground?
- Is there insect attack present? Where and probable source?
- Is there fungal attack present? Where and probable source?
- Are there any other forms of biological attack? (Moss, birds, etc.) Where and probable source?
- Is any wood surface damaged from UV radiation? (bleached surface, loose surface fibres)
- Is any wood warped, cupped or twisted?
- Is any wood split? Are there loose knots?

## 6 MAINTENANCE PLAN

- Are nails pulling loose or rusted?
- Is there any staining of wood elements?  
Source?

### Condition of Exterior Painted Materials

- Paint shows: blistering, sagging or wrinkling, alligatoring, peeling. Cause?
- Paint has the following stains: rust, bleeding knots, mildew, etc. Cause?
- Paint cleanliness, especially at air vents?

### Verandah/Porch

- Are steps safe? Handrails secure?
- Do any support columns show rot at their bases?
- Attachment – are porches, steps, etc. securely connected to the building?

### Windows

- Is there glass cracked or missing?
- If the glazing is puttied has it gone brittle and cracked? Fallen out? Painted to shed water?
- Is there condensation or water damage to the paint?
- Are the sashes easy to operate? If hinged, do they swing freely?
- Is the frame free from distortion?
- Do sills show weathering or deterioration?
- Are drip mouldings/flushing above the windows properly shedding water?
- Is the caulking between the frame and the cladding in good condition?

### Doors

- Do the doors create a good seal when closed?
- Are the hinges sprung? In need of lubrication?
- Do locks and latches work freely?
- If glazed, is the glass in good condition? Does the putty need repair?
- Are door frames wicking up water? Where? Why?
- Are door frames caulked at the cladding? Is the caulking in good condition?
- What is the condition of the sill?

### Gutters and Downspouts

- Are downspouts leaking? Clogged? Are there holes or corrosion? (Water against structure)
- Are downspouts complete without any missing sections? Are they properly connected?
- Is the water being effectively carried away from the downspout by a drainage system?
- Do downspouts drain completely away?

### Roof

- Are there water blockage points?
- Is there evidence of biological attack? (Fungus, moss, birds, insects)
- Are flashings well seated?
- Does the soffit show any signs of water damage? Insect or bird infestation?

## INTERIOR INSPECTION

### Basement

- Are there signs of moisture damage to the walls? Is masonry cracked, discoloured, spalling?
- Is wood cracked, peeling rotting? Does it appear wet when surroundings are dry?
- Are there signs of past flooding, or leaks from the floor above? Is the floor damp?
- Are walls even or buckling or cracked? Is the floor cracked or heaved?
- Are there signs of insect or rodent infestation?

### Concealed spaces

- Is light visible through walls, to the outsider or to another space?
- Are the ventilators for windowless spaces clear and functional?
- Do pipes or exhausts that pass through concealed spaces leak?
- Are wooden elements soft, damp, cracked? Is metal material rusted, paint peeling or off altogether?
- Infestations - are there signs of birds, bats, insects, rodents, past or present?

## 6 MAINTENANCE PLAN

### 6.7.2 MAINTENANCE PROGRAMME

#### INSPECTION CYCLE:

##### Daily

- Observations noted during cleaning (cracks; damp, dripping pipes; malfunctioning hardware; etc.) to be noted in log book or building file.

##### Semi-annually

- Semi-annual inspection and report with special focus on seasonal issues.
- Thorough cleaning of drainage system to cope with winter rains and summer storms
- Check condition of weather sealants (Fall).
- Clean the exterior using a soft bristle broom/brush.

##### Annually (Spring)

- Inspect concrete for cracks, deterioration.
- Inspect metal elements, especially in areas that may trap water.
- Inspect windows for paint and glazing compound failure, corrosion and wood decay and proper operation.
- Complete annual inspection and report.
- Clean out of all perimeter drains and rainwater systems.
- Touch up worn paint on the building's exterior.
- Check for plant, insect or animal infestation.
- Routine cleaning, as required.

##### Five-Year Cycle

- A full inspection report should be undertaken every five years comparing records from previous inspections and the original work, particularly monitoring structural movement and durability of utilities.
- Repaint windows every five to fifteen years.

##### Ten-Year Cycle

- Check condition of roof every ten years after last replacement.

##### Twenty-Year Cycle

- Confirm condition of roof and estimate effective lifespan. Replace when required.

##### Major Maintenance Work (as required)

- Thorough repainting, downspout and drain replacement; replacement of deteriorated building materials; etc.

# APPENDIX A: RESEARCH SUMMARY

**Address:** 5660 177B Street, Surrey, British Columbia

**Historic Name:** Main Residence

**Original Owner:** John James and Edith Main

**Date of Construction:** 1924

2

1919 WHITE ROCK, B. C.  
 Date July 10 1919

Name John James Main  
 Age 32 Male, Married. Occupation Farmer  
 Female, Single.

Object in coming to Canada to take land

Birthplace England  
 Citizenship British Race Adrian

Nat. Cert. No. \_\_\_\_\_ Date \_\_\_\_\_  
 Court \_\_\_\_\_ State \_\_\_\_\_  
 Attester \_\_\_\_\_

Last permanent address Weymouth, N.Y.  
 Street and No. 536 East Colvin St.

Ever lived in Canada? Yes No Address No

Entered previously at \_\_\_\_\_ Date \_\_\_\_\_  
 Left Canada at \_\_\_\_\_ Date \_\_\_\_\_

Ever been refused admission to Canada? Yes No Where \_\_\_\_\_  
 When \_\_\_\_\_

Money in possession belonging to immigrant \$ 100.00  
 If settler, value of effects \$ \_\_\_\_\_

Destined to (Relative, Friend or Employer) Under Release  
 Name E. J. Cook - Weymouth  
 Address 177 1/2 Ave East Weymouth B.C.

Apparent condition of health Good

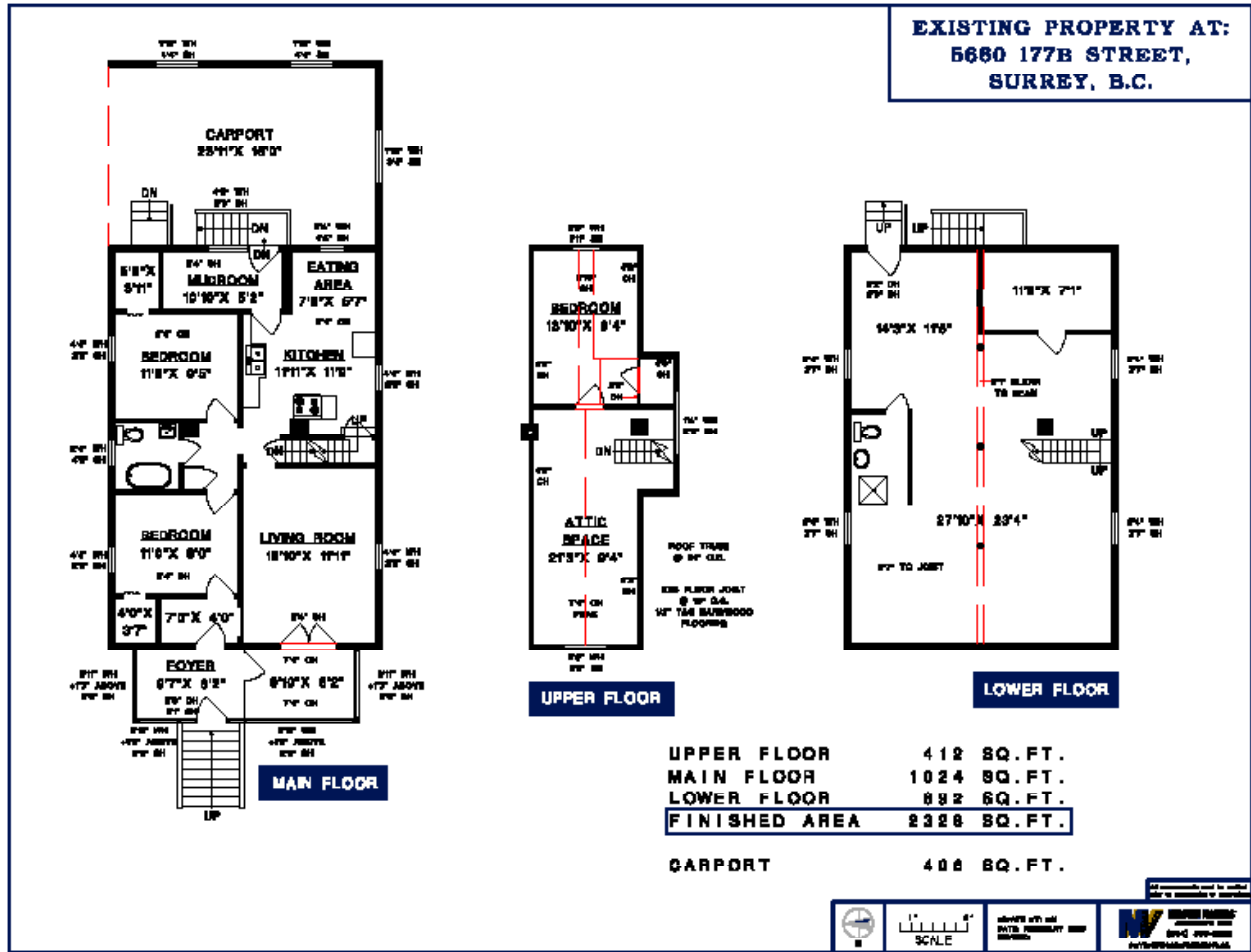
R.R. (kt. issue) 100 No. \_\_\_\_\_ Form \_\_\_\_\_  
 From Weymouth To Victoria  
 Train No. or S.S. name 356

Landing:  
 Port Victoria  
 1st, 2nd or 3rd Class \_\_\_\_\_  
 Date July 10 1919  
 Steamship Canadian

Objection to immigrant, if any \_\_\_\_\_  
 Whether able to read or write? Yes  
 Time and port of last arrival in the United States \_\_\_\_\_  
 Action taken Admitted

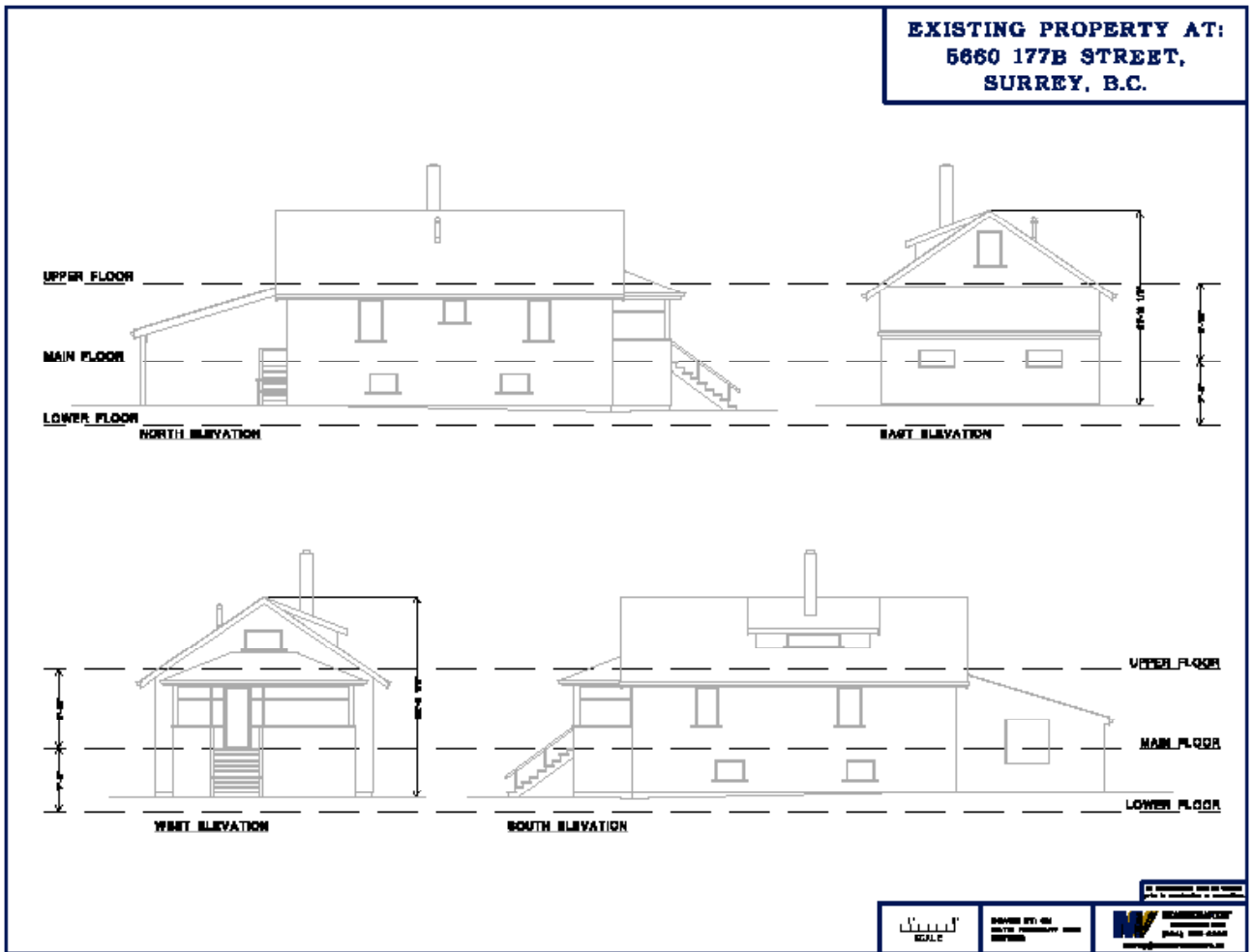
John James Main border crossing, 1919, identified as a farmer coming to Canada 'to take land'

# APPENDIX B: ARCHITECTURAL PLANS



Existing Floor Plans, 2020-02-20, as taken by Measure Masters

APPENDIX B: ARCHITECTURAL PLANS



Existing Elevations, 2020-02-20, as taken by Measure Masters