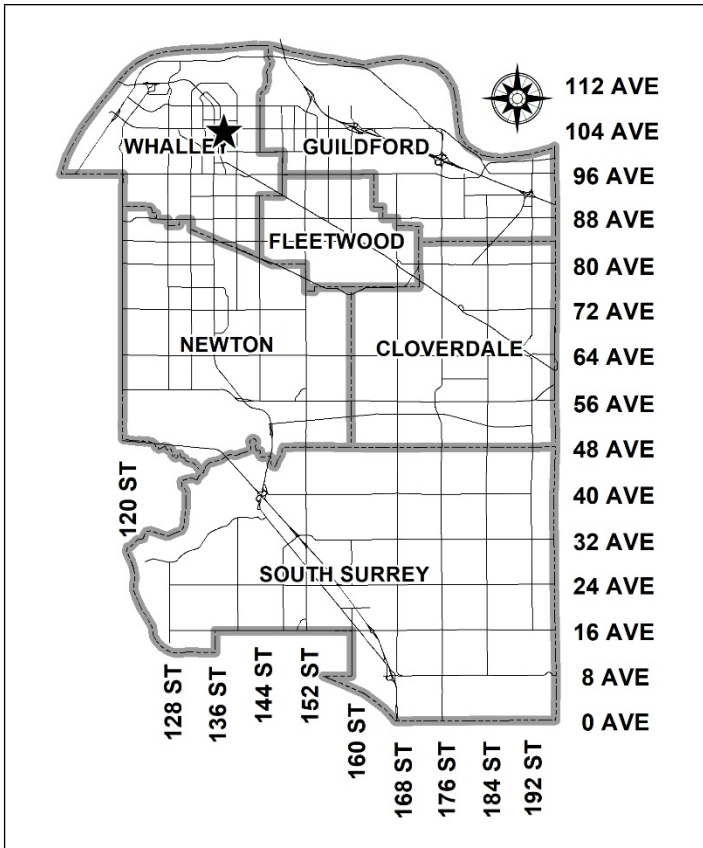


City of Surrey
PLANNING & DEVELOPMENT REPORT
 Application No.: 7923-0372-00
 Planning Report Date: February 12, 2024



PROPOSAL:

- **CD Bylaw Amendment**

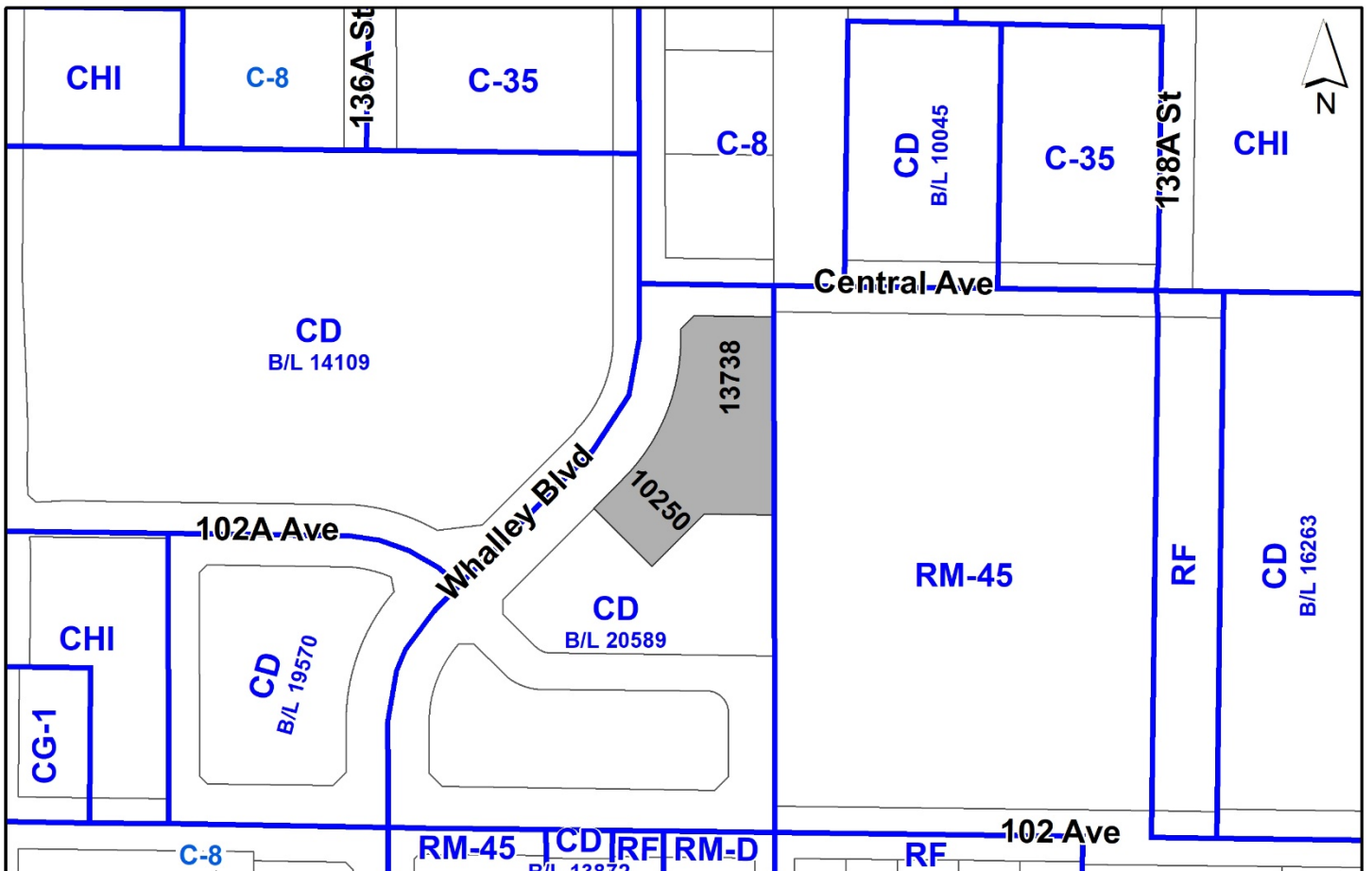
to allow for an increase in density to permit a previously approved development of a 31-storey mixed-use tower with ground floor commercial space and one single-storey stand-alone commercial building.

LOCATION: 13738 Central Avenue
 (10250 Whalley Boulevard)

ZONING: CD (Bylaw No. 20589)

OCP DESIGNATION: Downtown

CCP DESIGNATION: Mid to High Rise Mixed-Use



RECOMMENDATION SUMMARY

- Rezoning (Amendment) Bylaw to proceed to Public Notification. If supported the Bylaw will be brought forward for First, Second and Third Reading.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- An amendment to CD Bylaw No. 20589 is proposed to allow for an increase in density to Block A to accommodate additional floor area resulting from revisions triggered during detailed building design.

RATIONALE OF RECOMMENDATION

- The site is the location of Anthem's high-density mixed-use development called "Georgetown". The parent property was rezoned previously under Development Application No. 7919-0258-00, which received Final Adoption on July 25, 2022. The subdivision of the parent property into three development parcels to accommodate a three-phase comprehensive development project was also completed as part of Development Application No. 7919-0258-00.
- The applicant has subsequently advised staff that through detailed building design for Phase 1 (Lot A), an increase in Floor Area Ratio (FAR) from 5.7 to 5.8 FAR specified for Block A in approved CD Bylaw No. 20589 is required.
- The proposed 203 square metre increase in FAR (equivalent to 0.05 FAR) is to accommodate an additional 6 inches of space between the columns and glazing in four stacks of tower units to physically install the windows in the dwelling units.
- No changes to the form and character of the development previously approved by Council are proposed.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to amend Comprehensive Development Bylaw No. 20589 and Council endorse the Rezoning (Amendment) Bylaw to proceed to Public Notification.
2. Council instruct staff to resolve the following issue prior to final adoption:
 - (a) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	CCP Designation	Existing Zone
Subject Site	Phase 1 (Lot A) of the Georgetown development, 31-storey residential tower under construction at the northeast corner at Central Avenue and Whalley Blvd. (DP No. 7919-0258-01)	Mid to High Rise Mixed-Use	CD (Bylaw No. 20589)
North (Across Central Avenue):	Small-scale commercial businesses to be closed. Proposed development of a 37-storey mixed-use tower with a 5-storey podium consisting of 389 dwelling units and ground floor commercial space (Development Application No. 7922-0372-00, Third Reading).	Residential Mid to High-Rise 3.5 FAR	C-8

Direction	Existing Use	CCP Designation	Existing Zone
East:	"The Meadows" two-storey townhouse development	Low to Mid Rise Residential up to 2.5 FAR	RM-45
South:	Vacant portion on Phase 2 (Lot B) of the Georgetown Development	Mid to High Rise Mixed-Use	CD (Bylaw No. 20589)
West (Across Whalley Blvd.):	Recently closed large format commercial businesses. Proposed phases 4-7 of Anthem's Georgetown development (5 high rise mixed-use towers and 1, 6-storey apartment building with 2231 residential units and 9,370 m ² of commercial space). (Development Application No. 7922-0103-00, Pre-Council).	Mid to High Rise Mixed-Use and Mid to High Rise Residential	CD (Bylaw No. 14109)

Context & Background

- The subject site is the location of Anthem's high-density mixed-use development called "Georgetown". The parent property was rezoned previously under Development Application No. 7919-0258-00, which received Final Adoption on July 25, 2022.
- The subdivision of the parent property into three development parcels to accommodate a three-phase comprehensive development project was also completed as part of Development Application No. 7919-0258-00.
- The proposed increase in Floor Area Ratio (FAR) is only proposed for Phase 1 (Lot A) specified as Block A in CD Bylaw No. 20589.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to amend CD Bylaw No. 20589 to increase the allowable FAR specified for Block A from 5.7 to 5.8 FAR.
- The proposed increase in FAR will accommodate the requirement of 6 inches of space between the columns and glazing in four stacks of tower units required to physically install the windows in the dwelling units that was not accounted for by the applicant in the proposed building design at the Development Permit stage.
- The proposed building design is otherwise generally in keeping with the Form and Character specified within Detailed Development Permit No. 7919-0258-01.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed 203 square metres of additional residential area is subject to the Tier 2 Capital Plan Project CACs, which will be calculated in accordance with the flat rates under Schedule G of the Zoning Bylaw and payable prior to Final Adoption. The amount of floor space subject to Tier 2 CACs will be determined in advance of Final Adoption of the CD Bylaw Amendment bylaw.

PRE-NOTIFICATION

- Pre-notification letters were sent out on January 24, 2024 and the development proposal sign was installed on January 22, 2024 and staff have received no responses.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- | | |
|--------------|---|
| Appendix I. | CD Bylaw No. 20589, Amended |
| Appendix II. | Initial Planning Report No. 7919-0258-00, dated March 7, 2022 |

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

JM/ar

CITY OF SURREY

BYLAW NO. 20589

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".

Legal: As described in Appendix "A".

PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone (CD47), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
 FROM: COMMUNITY COMMERCIAL ZONE (C-8)
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 47" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD47"	10232 Whalley Boulevard	Lot 66, Plan 38420	20589	N/A"

2. This By-law shall be cited for all purposes as "Surrey Comprehensive Development Zone 47 (CD 47), Bylaw, 2022, No. 20589".

PASSED FIRST READING on the 7th day of March, 2022.

PASSED SECOND READING on the 7th day of March, 2022.

PUBLIC HEARING HELD thereon on the 28th day of March, 2022.

PASSED THIRD READING, as amended on the 25th day of July, 2022.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the 25th day of July, 2022.

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 47 (CD 47)

This Comprehensive Development Zone 47 (CD 47) as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
10232 Whalley Boulevard	Lot 66 Section 26 Block 5 North Range 2 West New Westminster District Plan 38420	008-538-051

The *Lands* are divided into Blocks A, B and C as shown outlined in bold on the Survey Plan, attached hereto and forming part of this Bylaw as Schedule A, certified correct by John Franko, B.C.L.S. on the 25th day of February, 2022.

(collectively the "*Lands*")

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of high *density*, high-rise *multiple unit residential buildings*, and related *amenity spaces*, and commercial and office uses, which are to be developed in accordance with a *comprehensive design*.

B. Permitted Uses

Lands, buildings and structures shall only be used for the following uses, or a combination thereof:

Block A:

Principal Uses:

1. *Multiple unit residential buildings and ground-oriented multiple unit residential buildings;*
and
2. *Eating establishments excluding drive-through restaurant.*

Accessory Uses:

3. The following *accessory uses*, provided that such uses form an integral part of a *multiple unit residential building on the Lands*:
 - (a) *Retail stores excluding adult entertainment stores, auction houses, and secondhand stores and pawnshops;*
 - (b) *Personal service uses excluding body rub parlours;*
 - (c) *General service uses excluding funeral parlours and drive through banks;*
 - (d) *Eating establishments excluding drive-through restaurants;*
 - (e) *Neighbourhood pubs;*
 - (f) *Liquor store;*
 - (g) *Office Uses excluding social escort services, methadone clinics and marijuana dispensaries;*
 - (h) *Indoor recreational facilities;*
 - (i) *Community services;*
 - (j) *Child care centres; and*
 - (k) *Cultural uses.*

Block B and Block C:

Principal Uses:

1. *Multiple unit residential buildings and ground-oriented multiple unit residential buildings.*

Accessory Uses:

2. The following *accessory uses*, provided that such uses form an integral part of a *multiple unit residential building* on the *Lands*:
 - (a) *Retail stores* excluding *adult entertainment stores*, auction houses, and *secondhand stores* and *pawnshops*;
 - (b) *Personal service uses* excluding *body rub parlours*;
 - (c) *General service uses* excluding funeral parlours and *drive through banks*;
 - (d) *Eating establishments* excluding *drive-through restaurants*;
 - (e) *Neighbourhood pubs*;
 - (f) *Liquor store*;
 - (g) Office Uses excluding *social escort services*, *methadone clinics* and *marijuana dispensaries*;
 - (h) *Indoor recreational facilities*;
 - (i) *Community services*;
 - (j) *Child care centres*; and
 - (k) *Cultural uses*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. Maximum Density:

Maximum *density* shall be as follows:

 - (a) 1 *dwelling unit*; and
 - (b) The lesser of *floor area ratio* of 0.1 or *building area* of 300 sq. m.
2. Permitted Density Increases:

If amenity contributions are provided in accordance with Schedule G, *density* may be increased as follows:

 - (a) Block A: Maximum *floor area ratio* of ~~5.7~~ 5.8, excluding:
 - i. The indoor *amenity space* requirement (pursuant to Section J.1. of this Zone); and
 - ii. Up to a maximum of 170 sq. m of *the secure bicycle parking area* requirement (pursuant to Section H.4. of this Zone);
 - (b) Block B: Maximum *floor area ratio* of 6.9, excluding:
 - i. The indoor *amenity space* requirement (pursuant to Section J.1. of this Zone); and
 - ii. Up to a maximum of 170 sq. m of *the secure bicycle parking area* requirement (pursuant to Section H.4. of this Zone); and
 - (c) Block C: Maximum *floor area ratio* of 6.4, excluding:
 - i. The indoor *amenity space* requirement (pursuant to Section J.1. of this Zone); and
 - ii. Up to a maximum of 170 sq. m of *the secure bicycle parking area* requirement (pursuant to Section H.4. of this Zone).
3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D. of this Zone, and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Sections D.2. and D.4. of this Zone.
4. Notwithstanding the definition of *floor area ratio* in Zoning Bylaw, as amended and the maximum *floor area ratio* specified in Section D.2, the cumulative *floor area ratio* of all *buildings* on the *Lands* shall not exceed 6.4.

E. Lot Coverage

1. The maximum *lot coverage* for all *buildings* and *structures* shall be 42%.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E. of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1. of this Zone.

F. Yards and Setbacks

Block A

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	North <i>Yard</i>	South <i>Yard</i>	West <i>Yard</i>	East <i>Yard</i>
<i>Principal Building and Structures</i>	4.5 m	1.2 m	2.5 m	4.5 m

Block B

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	North <i>Yard</i>	South <i>Yard</i>	West <i>Yard</i>	East <i>Yard</i>
<i>Principal Building and Structures</i>	3.6 m	3.6 m	2.5 m	7.5 m

Block C

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	North <i>Yard</i>	South <i>Yard</i>	West <i>Yard</i>	East <i>Yard</i>
<i>Principal Building and Structures</i>	3.5 m	4.5 m	2.5 m	2.0m

1. Notwithstanding Section A.3.(d) of Part 5, Off-Street Parking and Loading/Unloading, an underground parking facility may be located up to 0.0 m of any *lot line*.
2. Notwithstanding Section A.26.(b) of Part 4, General Provisions, stairs with more than three risers may encroach into the *setbacks*.
3. Notwithstanding Section F. of this Zone, the minimum *setbacks* of *principal buildings* and *accessory buildings* and *structures* for interior *lot lines* for *lots* created by an air space subdivision may be 0.0 m.
4. Notwithstanding the definition of setback in Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended, canopies may encroach into the required setbacks.

G. Height of Buildings

The *principal building height* shall not exceed 124 m.

H. Off-Street Parking and Loading/Unloading

1. Parking Calculations:
Refer to Table D.1 of Part 5 Off-Street Parking and Loading/Unloading.
2. Tandem Parking:
Tandem parking is not permitted.
3. Underground Parking:
All required resident *parking spaces* shall be provided as *underground parking*.

4. Bicycle Parking:
A secure bicycle parking area shall be provided in a separate bicycle room located within a building, whether located at or above finished grade, with convenient access to the outside of the building.

I. Landscaping and Screening

1. General Landscaping:
 - (a) All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained; and
 - (b) *Highway* boulevards abutting a *lot* shall be seeded or sodded with grass; except at *driveways*, or as directed by the City.
2. Refuse:
Garage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

J. Special Regulations

1. Amenity Spaces:
Amenity space, subject to Section B.6. of Part 4, General Provisions, shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space* in the amount of:
 - i. 3.0 sq. m per *dwelling unit*;
 - ii. 1.0 sq. m per *lock-off suite*; and
 - iii. 4.0 sq. m per *micro unit*;
 - (b) Indoor *amenity space* in the amount of:
 - i. 3.0 sq. m per *dwelling unit* up to 557 sq. m of *amenity space* (equivalent to 186 *dwelling units*);
 - ii. 1.0 sq. m per *dwelling unit* for that portion greater than 557 sq. m of *amenity space*;
 - iii. 1.0 sq. m per *lock-off suite*; and
 - iv. 4.0 sq. m per *micro unit*; and
 - (c) Indoor *amenity space* devoted to a *child care centre* shall be a maximum of 1.5 sq. m per *dwelling unit*.
2. Child Care Centres:
Child care centres shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.
3. Balconies:
Balconies are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 sq. m per *dwelling unit*, whichever is greater.

K. Subdivision

1. Minimum Lot Sizes:
Lots created through subdivision shall conform to the following minimum standards:
 - (a) *Lot Area*: Minimum 3,800 sq. m;
 - (b) *Lot Width*: Minimum 25 m; and
 - (c) *Lot Depth*: Minimum 40 m.
2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

L. Other Regulations

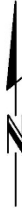
Additional land use regulations may apply as follows:

1. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of the Zoning Bylaw and in accordance with the servicing requirements of the RM-135 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
2. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2021, No. 20291, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-135 Zone for the residential portion and the C-8 Zone for the commercial portion, in City Centre Land Use Plan identified in Schedule G Section E.30(a).
3. Development permits, pursuant to the *OCP*.
4. Trees and vegetation, pursuant to Surrey Tree Preservation Bylaw, as amended.
5. Sign regulations, pursuant to Surrey Sign By-law, as amended.

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
REZONING BYLAW NUMBER 20589 OF LOT 66
SECTION 26 BLOCK 5 NORTH RANGE 2 WEST NWD PLAN 38420**

CITY OF SURREY
BCGS 92G.016

10 0 10 20 50
ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF.
THE INTENDED PLOT SIZE OF THIS PLAN IS 432mm IN
WIDTH BY 560mm IN HEIGHT (C SIZE) WHEN PLOTTED AT
A SCALE OF 1:1000



LEGEND

INTEGRATED SURVEY AREA No. 1,
CITY OF SURREY, NAD83 (CSRS) 4.0.0 BC.1 GVRD.

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN
GEODETIC CONTROL MONUMENTS 92H0869 AND 5821.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES
UNLESS OTHERWISE SPECIFIED TO COMPUTE GRID DISTANCES.
MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED
FACTOR OF 0.9995910, WHICH HAS BEEN DERIVED FROM GEODETIC
CONTROL MONUMENTS 92H0869 AND 5821.

THIS PLAN HAS BEEN PREPARED FOR MORTGAGE AND OR MUNICIPAL
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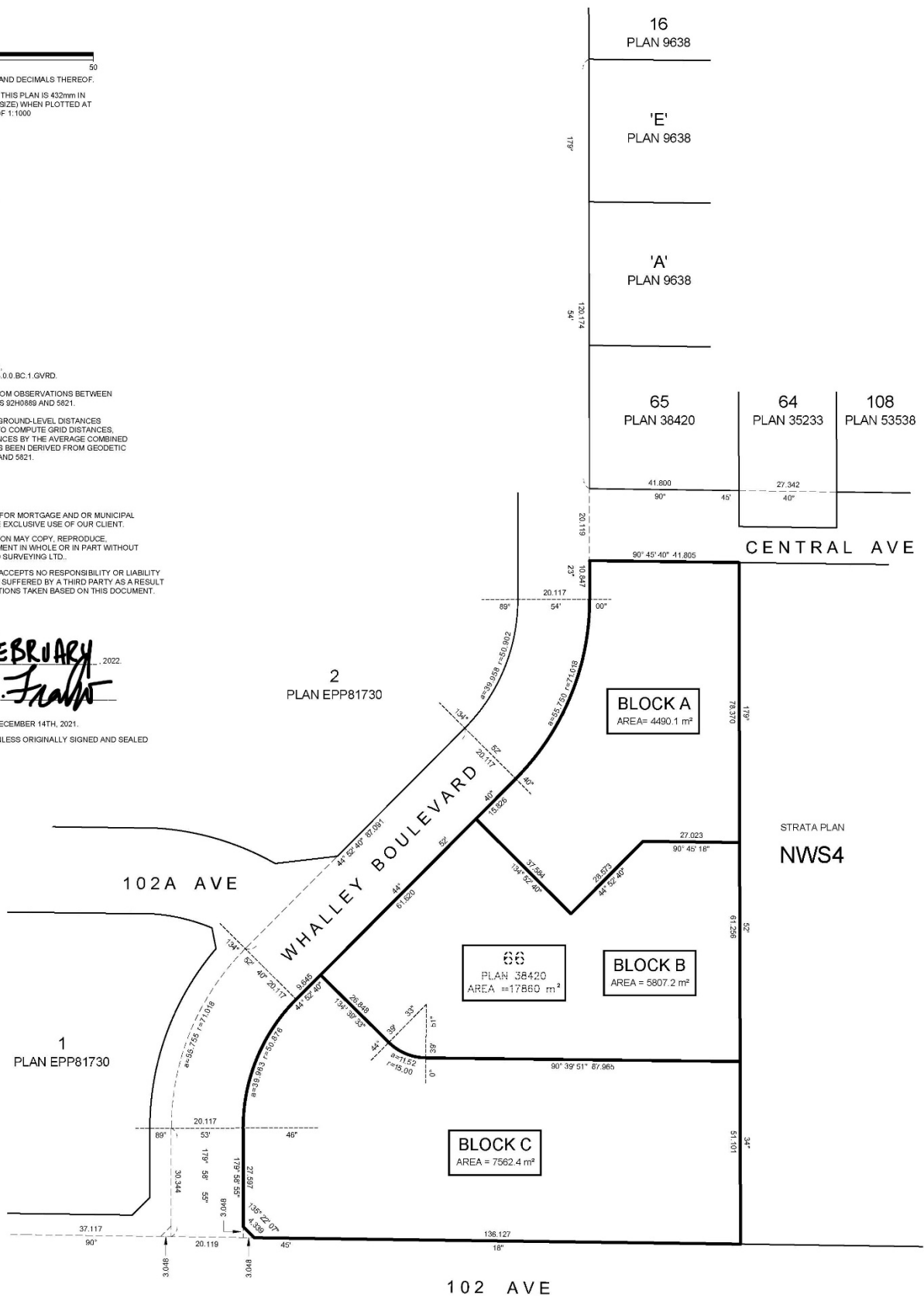
CERTIFIED CORRECT

THIS PLAN OF
25TH FEBRUARY
2022.

John M. Franko
JOHN M. FRANKO, B.C.L.S.

FIELD SURVEY COMPLETED ON DECEMBER 14TH, 2021.

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED
OR DIGITALLY CERTIFIED.



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City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7919-0258-00

Planning Report Date: March 7, 2022

PROPOSAL:

- **City Centre Plan Amendment** for a portion from Residential Mid to High Rise Residential 3.5 FAR to Mixed-Use 3.5 FAR
- **Rezoning** from C-8 to CD
- **General Development Permit**
- **Detailed Development Permit**
- **Development Variance Permit**

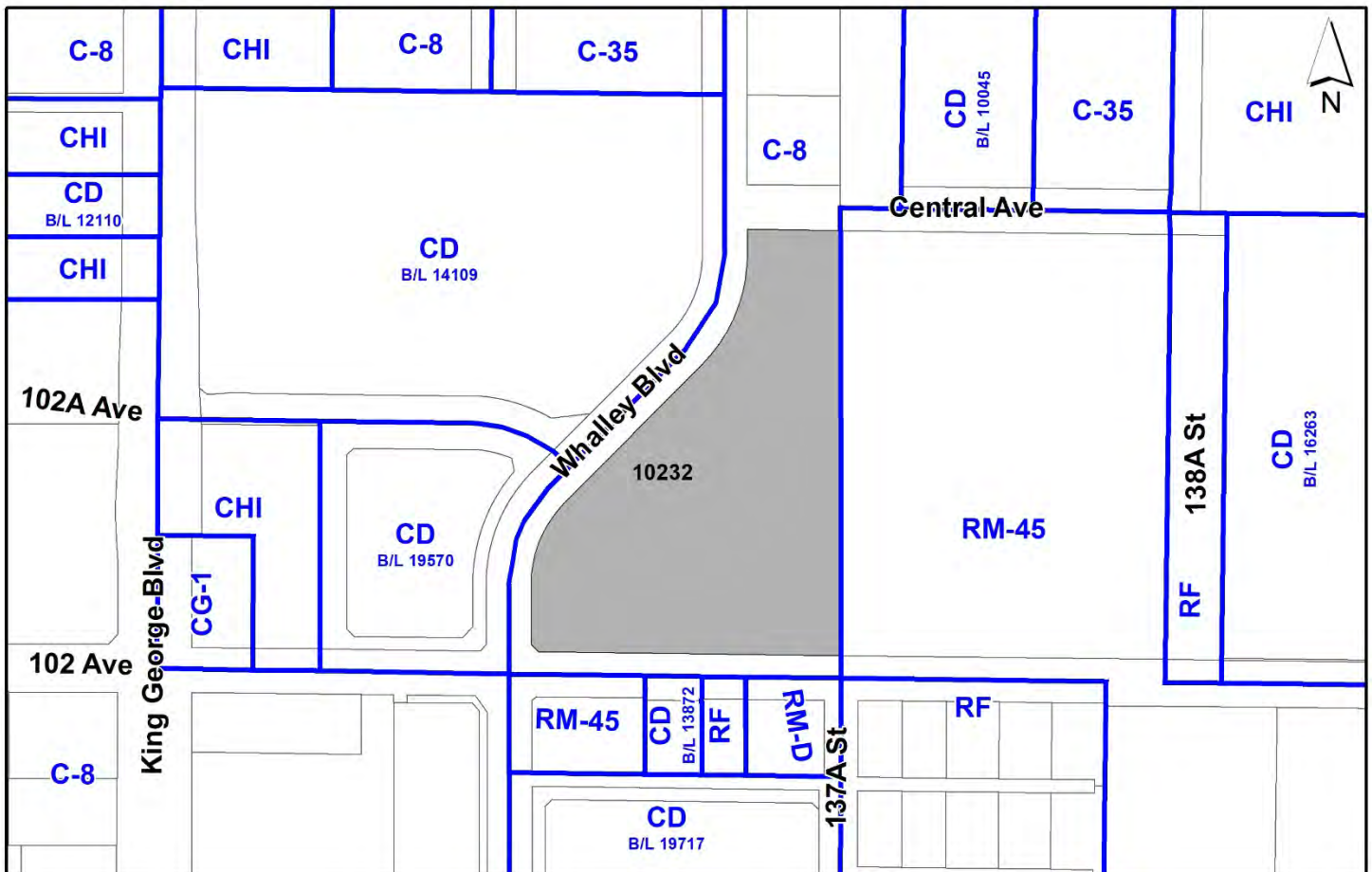
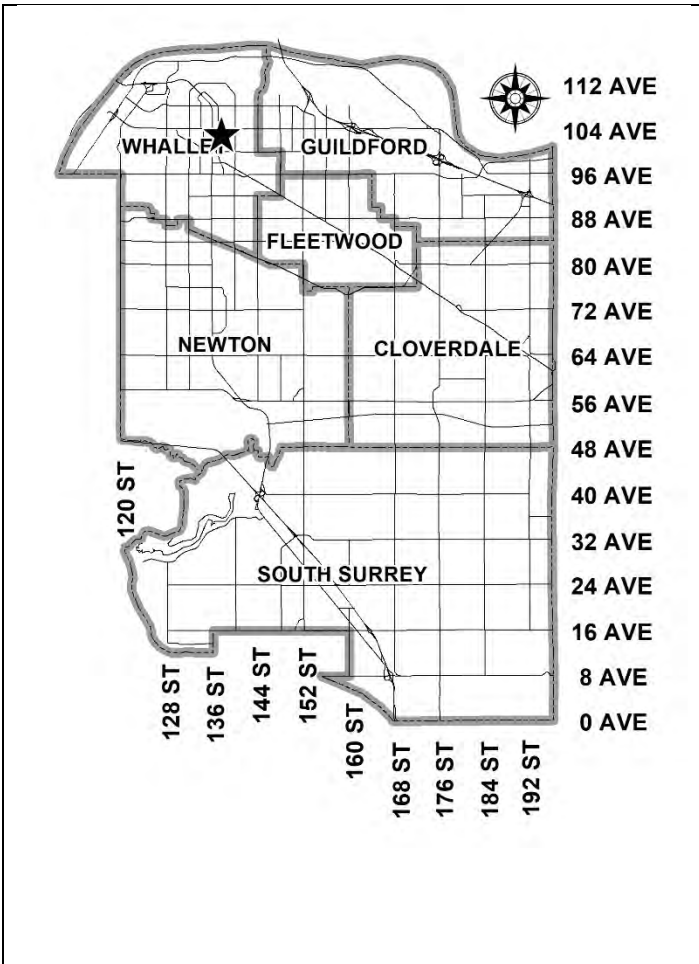
to permit the development of a mixed-use phased development consisting of three high-rise mixed-use towers, two low-rise residential buildings and one single-storey stand-alone commercial building. Phase 1 consists of a 31-storey mixed-use tower with ground floor commercial space and one single-storey stand-alone commercial building.

LOCATION: 10232 - Whalley Boulevard

ZONING: C-8

OCP DESIGNATION: Central Business District

CCP DESIGNATION: Residential Mid to High Rise Residential 3.5 FAR and Mixed-Use 3.5 FAR



RECOMMENDATION SUMMARY

- Bylaw Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to the definition of "Bond" in the *Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended* to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an Amendment to the City Centre Plan for a portion of the site from "Mid to High Rise Residential 3.5 FAR" to "Mixed-Use 3.5 FAR".
- The applicant is requesting a variance to the definition of "Bond" in the *Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended*, to include the use of a Surety Bond for Servicing Agreement No. 7819-0258-00 and to proceed to Public Notification

RATIONALE OF RECOMMENDATION

- The proposal complies with the Central Business District designation in the Official Community Plan (OCP).
- The proposed City Centre Plan Amendment of a portion of the subject site from "Residential Mid to High Rise 3.5 FAR" to "Mixed-Use 3.5 FAR" will accommodate three mixed-use towers with ground floor commercial retail space and one single-storey stand-alone commercial building fronting Whalley Boulevard in Phase 1 that is envisioned to be a restaurant.
- The proposed density and building form are appropriate for this part of Surrey City Centre, and forms part of an emerging high-density mixed-use hub that will be complementary to the City of Surrey Civic Centre to the west.
- The proposed development conforms to the goal of achieving high-rise, high-density development around the three SkyTrain Stations. The Surrey Central SkyTrain Station is located within a walking distance of 500 metres (1,640 ft.) from the subject site.
- The proposed height and density of the development is consistent with an evolving urban context in the City Centre, as it relates to adjacent tower developments in City Centre.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Surrey City Centre Plan and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.

-
- The applicant will be subject to the Tier 1 and Tier 2 Capital Projects Community Amenity Contribution and Density Bonus Program.
 - The pilot program to use Surety Bonds supports the goals of the City's Sustainability Charter to increase housing options and affordability by allowing improved utilization of developers' capital funds for reinvestment. A Surety Bond, which is a three-party agreement between the Developer, Surety Bond Insurer ("Surety") and the City, obligates the Surety to pay the City for the debt or default of the Developer. The Developer's working capital will then be freed for greater liquidity that can then be leveraged for reinvestment into the City.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to rezone the subject site from "Community Commercial Zone (C-8)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft General Development Permit No. 7919-0258-00 generally in accordance with the attached drawings (Appendix I).
3. Council authorize staff to draft Detailed Development Permit No. 7919-0258-01 for Phase 1 generally in accordance with the attached drawings (Appendix I).
4. Council approve Development Variance Permit No. 7919-0258-00 (Appendix VIII) to vary the definition of "Bond" in the *Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended*, to include the use of a Surety Bond for Servicing Agreement No. 7819-0258-00 and to proceed to Public Notification.
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (h) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RMC-135 Zone, at the rate in effect at the time of Final Adoption;
 - (i) provision of cash-in-lieu or other demand management measures to address the shortfall in residential parking spaces to the satisfaction of the General Manager, Engineering;

- (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services;
 - (k) registration of a volumetric statutory right-of-way for public rights-of-passage for the proposed plaza spaces located throughout the development site;
 - (l) registration of a shared access and maintenance easement for shared use of the proposed outdoor amenity spaces located throughout the development site; and
 - (m) submission of a finalized Traffic Impact Assessment (TIA) to the satisfaction of staff.
6. Council pass a resolution to amend the City Centre Plan to redesignate a portion of the subject site from "Mid to High Rise Residential 3.5 FAR" to "Mixed-Use 3.5 FAR" as shown in Appendix VII, when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	CCP Designation	Existing Zone
Subject Site	Vacant lot and renovated building (former Dollarama) to be used for future presentation centre.	Mixed Use 3.5 FAR and Residential Mid to High-Rise 3.5 FAR	C-8
North (Across Central Avenue):	Small-scale commercial businesses	Residential Mid to High-Rise 3.5 FAR	C-8

Direction	Existing Use	CCP Designation	Existing Zone
East:	"The Meadows" two-storey townhouse development	Low to Mid Rise Residential up to 2.5 FAR	RM-45
South (Across 102 Avenue):	Two and three- storey apartment buildings, single family and duplex dwellings	Mixed Use 3.5 FAR and Residential Mid to High-Rise 3.5 FAR	RM-45, CD (Bylaw No. 13872), RF and RM-D
West (Across Whalley Blvd.):	Large format commercial businesses to be closed. Approved Georgetown master plan and Phase 1, 30-storey residential tower under construction (Development Application No. 7916-0448-00)	Mixed Use 3.5 FAR and Residential Mid to High-Rise 3.5 FAR	CD (Bylaw No. 19570 and 14109)

Context & Background

- The subject site consists of a single, large property located at 10232 - Whalley Boulevard in City Centre, on the east side of Whalley Boulevard and north of 102 Avenue. The subject property is 1.8 hectares in area.
- The subject site is designated Central Business District in the Official Community Plan (OCP), Residential Mid to High Rise 3.5 FAR and Mixed-Use 3.5 FAR in the City Centre Plan, and is zoned Community Commercial Zone (C-8).

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing the following:
 - City Centre Plan amendment;
 - Subdivision of the existing lot into 3 lots (Phase 1 to 3);
 - Rezoning;
 - General Development Permit (Form and Character) to permit the development of a mixed-use phased development consisting of three mixed-use high-rise towers, two low-rise residential buildings and one single-storey stand-alone commercial building;
 - Detailed Development Permit for a 31-storey mixed-use tower with ground floor commercial and one single-storey stand-alone commercial building to be constructed in Phase 1 (Lot 1); and

- a Development Variance Permit to vary the definition of "Bond" in the *Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended*, to include the use of a Surety Bond for Servicing Agreement No. 7819-0258-00.
- The following table provides specific details on the proposal:

Proposed		
Lot Area		
Gross Site Area:	<i>All Phases (Lots 1-3)</i> 17,859 m ²	<i>Phase 1 (Lot 1)</i> 3,904 m ²
Road Dedication:	4,636 m ²	
Net Site Area:	13,224 m ²	
Number of Lots:	Existing - 1 Proposed - 3	
Building Height:	Tower 1: 97 metres / 31 storeys Building 1 (commercial): 10 metres / 1 storey Tower 2: 124 metres / 38 storeys Midrise 1: 22 metres / 6 storeys Tower 3: 103 metres / 33 storeys Midrise 2: 22 metres / 6 storeys	
Floor Area Ratio (FAR):	<i>All Phases (Lots 1-3)</i> 4.7 FAR (gross) 6.4 FAR (net)	<i>Phase 1 (Lot 1)</i> 5.0 (gross) 5.7 (net)
Floor Area		
Residential:	<i>All Phases (Lots 1-3)</i> 81,474 m ²	<i>Phase 1 (Lot 1)</i> 21,457 m ²
Commercial:	2,237 m ²	877 m ²
Total:	83,710 m ²	22,334 m ²
Residential Units:		
Studio:	<i>All Phases (Lots 1-3)</i> 313	<i>Phase 1 (Lot 1)</i> 90
1-Bedroom:	629	176
2-Bedroom:	333	89
3-Bedroom:	26	0
Total:	1,301	355

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District has advised that there will be approximately 130 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

70 Elementary students at Lena Shaw School
60 Secondary students at Guildford Park School

(Appendix III)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy as follows:

Phase 1: Q1 2026

Phase 2: Q1 2027

Phase 3: Q1 2031

Parks, Recreation & Culture: Parks has no concerns with the proposed development.

Surrey Fire Department: The Fire Department has no concerns with the proposed development application. However, there are some items which will be required to be addressed as part of the Building Permit application.

Advisory Design Panel: The proposal was considered at the ADP meeting on December 16, 2021 and received conditional support. The applicant has agreed to resolve all of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning bylaw, to the satisfaction of the Planning and Development Department. (Appendix V).

Transportation Considerations

Transit

- Currently bus route #325 (Newton Exchange / Surrey Central Station) runs along the subject site's frontage with stops located on 102 Avenue.
- The subject site is located one block south of the Frequent Transit Network along 104 Avenue that serves bus routes #320 (Langley / Fleetwood / Surrey Central Station), #501 (Langley Centre / Surrey Central Station) and R1-King George Rapid Bus.
- Surrey Central SkyTrain Station and surrounding transit hub are approximately 500 metres (less than 10-minute walk) from the subject site. Planned redevelopment in the adjacent area will increase road network connections that reduce the walking distance between the SkyTrain station and this site.

Traffic Impacts

- The proposed development triggers the requirement for a Transportation Impact Analysis (TIA) to evaluate the surrounding road network and identify any mitigating measures that would be required to address impacts.
- The analysis assumes new full-movement traffic signals along Whalley Boulevard at 102A Avenue and Central Avenue that are being delivered through the adjacent Development Application 7916-0448-00.
- Based on the assumed future road network and intersection controls, the TIA results indicate that site-generated traffic impacts are not significant and do not require additional infrastructure beyond the standard frontage roadworks.

Road Network and Infrastructure

- Whalley Boulevard is a north-south Arterial Road requiring dedication from the applicant to achieve a City Centre standard 32.0 m cross-section. The applicant will construct a sidewalk, cycle track and treed boulevards with streetlighting on the east side of Whalley Boulevard concurrent with the timing of the adjacent development Phase (1, 2 or 3). The west side along this entire segment of Whalley Boulevard is being delivered through Development Application 7916-0448-00.
- Central Avenue is an east-west Collector Road requiring dedication from the applicant to achieve a City Centre standard 24.0 m cross-section. The applicant will construct a sidewalk, treed boulevard with streetlighting, cycle track and a parking pocket as part of Phase 1.
- 102 Avenue is an east-west Collector Road requiring dedication from the applicant to achieve a City Centre standard 32.0 m cross-section. The applicant will construct a sidewalk, cycle track and treed boulevards with streetlighting on the north side of 102 Avenue as part of Phase 3. Traffic signal infrastructure on the northeast corner of Whalley Boulevard will be upgraded through Phase 3 frontage works.
- 102A Avenue is a new east-west Local Road that will connect Whalley Boulevard east to 137A Street as part of Phase 2 of the development. The applicant is dedicating and delivering a unique Local Road cross-section with sidewalks, treed boulevards with streetlighting and parking on the north side through Phase 2 (south side to be delivered with Phase 3).
- 137A Street is a new north-south Local Road between 102A Avenue and 102 Avenue. The applicant is dedicating and delivering a unique Local Road cross-section with sidewalks and treed boulevards with streetlighting on both sides of 137A Street as part of Phase 3.
- The applicant is also providing an internal road (not dedicated) as part of Phase 1 and 2 that provides north-south traffic movement through the site parallel to Whalley Boulevard.

Access

- The primary access for Phase 1 will be right in/right out from Whalley Boulevard to a private internal road with access to the underground parking and loading facilities.

- Phase 2 will continue the private internal road to 102A Avenue and include access to an additional parkade ramp and loading facilities.
- Access to Phase 3 will be exclusively from the new 102A Avenue.

Parking

- The Zoning Bylaw requires a total of 1,377 parking spaces to be provided on-site.
- The applicant is proposing a total of 1,148 parking spaces to be provided for the overall development. The parking will be provided separately for each phase in three separate, 4-level underground parking facilities based on:
 - Utilizing the Alternative Parking Provisions for Residential use in accordance with Section C of Part 5 of the Zoning Bylaw for an 18% reduction (229 spaces);
 - Providing a combination of transportation demand management measures including on-street EV charging stations, shared vehicles/spaces, additional/enhanced bicycle parking and bicycle maintenance facilities (99 spaces); and
 - Payment-in-lieu is proposed to cover 10% of the shortfall (130 spaces).
- On-street parking can be accommodated on both sides of 102A Avenue between Whalley Boulevard and 137A Street. The on-street EV charging station will be located on 102A Avenue.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist. This project will be required to meet a minimum of Step 2 of the BC Energy Step Code, and possibly higher based upon the date of Building Permit issuance.
- The building will be connected to the City's District Energy system.
- In addition, the applicant has highlighted the following additional sustainable features:
 - Passive design has been considered through a reduction of Glazing (50% glass to solid);
 - Reduced exposed concrete is provided;
 - Right sizing of balconies has been considered with more provided in front of living spaces to reduce direct solar exposure;
 - Spandrel glazing has been increased along the West and East where overheating is a concern;
 - Air conditioning will also be provided for all units to cool on warmer days and provide resilience to peak summer days;
 - Drought tolerant and local planting has been considered throughout;
 - Rainwater management has been enhanced through the provision of greened roof decks and robust landscape at grade; and
 - Cisterns have been designed in the underground parking facilities.

School Capacity Considerations

- The School District has advised that the two schools (Lena Shaw Elementary School and Guildford Park Secondary School) in the catchment area of the subject site are at or over capacity, respectively.
- As part of the 2022/23 Five Year Capital Plan, the School District is seeking an 8-classroom addition. The Ministry of Education has yet to approve funding for this project.
- In March 2020, the Ministry of Education supported the School District to prepare a feasibility study for a 450-seat addition at Guildford Park Secondary School. The addition is projected to open September 2024 to help alleviate the over-capacity issue.

POLICY & BYLAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated General Urban in Metro Vancouver's Regional Growth Strategy (RGS). The proposed development complies with the RGS.

Official Community Plan

Land Use Designation

- The subject site is designated Central Business District in the Official Community Plan, with a permitted maximum density of 3.5 FAR, as noted in Figure 16 of the OCP.
- In accordance with the OCP, the density for the subject site may be expressed as floor area ratio (FAR) calculated on the basis of the gross site area.
- The proposed density (4.62 gross FAR) is consistent with the 3.5 gross FAR designation in the City Centre Plan including density bonus. Therefore, an OCP Amendment is not required.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management
 - Accommodating Higher Density: Direct residential development into Surrey's City Centre at densities sufficient to encourage commercial development and transit services expansion.
 - Centres, Corridors and Neighbourhoods:
 - Dynamic City Centre: Strengthen Surrey's City Centre as a dynamic, attractive and complete Metropolitan Core.
 - Transit Corridors: Support Transit Oriented Development along major corridors linking urban centres and employment areas, through the development of a high density development within walking distance to the SkyTrain and other transit infrastructure.

- Healthy Neighbourhood: Plan and design urban neighbourhoods with sufficient densities to support a higher-quality transit system that is accessible to most residents.
- Urban Design: Ensure a new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.

Secondary Plans

Land Use Designation

- The proposed City Centre Plan (CCP) Amendment of a portion of the site from "Residential Mid to High Rise 3.5 FAR" to "Mixed Use 3.5 FAR" is to accommodate the proposed three mixed-use towers and one stand-alone commercial building. This development will be a significant and welcomed addition to the Central Downtown District, which continues to evolve into a vibrant and dynamic place for people to live, work and play.
- The overall density of the proposed development is 4.7 FAR (gross), which is consistent with the permitted density of 3.5 FAR on this site and within this area, with density bonus. The residential portion of the proposed mixed-use development represents a density of 4.56 FAR for the site, while the proposed floor area accounting for the remaining 0.13 FAR is comprised of the commercial retail space. These uses form an integral part of a complete community.
- Non-residential uses are exempt from Tier 1 and Tier 2 Community Amenity Contributions (CAC).

Density Bonus

- The proposed development will be subject to Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report and will be calculated and collected in accordance with Schedule G of the Zoning Bylaw prior to Final Adoption.

Themes/Objectives

- The proposed development is consistent with the following guiding principles:
 - Build Density, through the development of a high-density development close to the Civic Centre.
 - Encourage Housing Diversity, with a variety of unit types and sizes.
 - Create Vibrant Urban Space, with high quality architectural aesthetics, individual units oriented towards public streets to animate the street, and amenities such as plazas.
 - Green the Downtown, with appropriate new tree planting and landscaping treatments.
 - Promote Identity and Sense of Place, with a blend of open landscaped spaces and enclosed residential spaces.

CD Bylaw

- The applicant is proposing to rezone the subject site from "Community Commercial Zone (C-8)" to "Comprehensive Development Zone (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed mixed-use, phased development consisting of three mixed-use high-rise buildings, two low-rise residential buildings and a stand-alone commercial building on the subject site. The proposed CD Bylaw for the proposed development site identifies the uses, densities and setbacks proposed. The CD Bylaw will have provisions based on the "Multiple Residential 135 Zone (RM-135)" and the "Community Commercial Zone (C-8)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning Bylaw, including the "Multiple Residential 135 Zone (RM-135)" the "Community Commercial Zone (C-8)", and parking requirements.

Zoning	RM-135 Zone(Part 25)	C-8 Zone (Part 36)	Proposed CD Zone
Floor Area Ratio:	2.5 (net)	0.8 (net)	<i>Overall net site density All Phases (Lots 1-3) 6.4 (net)</i> Block A (Phase 1- Lot 1) 5.7 (net) Block B (Phase 2 - Lot 2) 6.9 (net) Block C (Phase 3 - Lot 3) 6.4 (net)
Lot Coverage:	33%	50%	42%
Yards and Setbacks	7.5 metres or 50% the height of the building	7.5 metres	Commercial 2.5 m Residential 4.5 m
Principal Building Height:	N/A		124 m (38-storeys)
Permitted Uses:	The RM-135 Zone permits multiple unit residential buildings and ground-oriented multiple residential buildings. The C-5 Zone permits commercial uses including: <ul style="list-style-type: none"> • Retail stores; • Personal service uses; • General service uses; 		Residential will comply with the RM-135 Zone. Commercial uses will include the following, with some restrictions: <ul style="list-style-type: none"> • Retail stores; • Personal service uses; • Eating establishments; • Neighbourhood pubs; • Office uses;

Zoning	RM-135 Zone (Part 25)	C-8 Zone (Part 36)	Proposed CD Zone
	<ul style="list-style-type: none"> Beverage container return centres; Eating establishments; Neighbourhood pubs; Liquor store; Office uses; Parking facilities; Automotive service uses; Indoor recreational facilities; Entertainment uses; Assembly halls; Community services; Child care facilities; Cultural uses; and One dwelling unit. 		<ul style="list-style-type: none"> General service uses; Indoor recreational facilities; Entertainment uses Community services; Child care facilities; and Cultural uses.
Indoor Amenity:	2,627 square metres		The proposed 2,203 m ² does not meet the Zoning Bylaw requirement and cash-in-lieu for the 424 m ² shortfall will be required.
Outdoor Amenity:	3,903 square metres		The proposed 4,454 m ² exceeds the Zoning Bylaw requirement.
Parking (Part 5)	Required		Proposed
Number of Stalls			
Commercial:	46		46
Restaurant:	30		40
Residential:	1,171		951
Residential Visitor:	130		111
Total:	1,377		1,148

- The proposed floor area ratio (FAR) of the development is 6.3 net FAR (4.7 gross FAR), and the lot coverage is proposed to be 42%, which will exceed the maximum 2.5 FAR and 33% lot coverage permitted under the RM-135 Zone. Given the site's location in City Centre and proximity to public transit options, the proposed density is appropriate, and the proposed lot coverage is consistent with other similar high-rise developments.
- The RM-135 Zone requires the setbacks to be 7.5 metres or a minimum of 50% of the building height, whichever is greater. The applicant is proposing reductions for all setbacks in the CD Bylaw. The reduction in building setbacks is supportable as they allow for a more urban and active engagement of the streets, which is desirable for the City Centre area and consistent with the City Centre Plan design guidelines as well as the Development Permit (Form and Character) design guidelines in the Official Community Plan.
- The proposed building height is consistent with other existing and proposed high-rises in the area.

Proposed Variance

- The applicant is requesting the following variance:
 - to vary the definition of "Bond" in the *Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended*, to include the use of a Surety Bond for Servicing Agreement No. 7819-0258-00 and to proceed to Public Notification.
- The pilot program to use Surety Bonds supports the goals of the City's Sustainability Charter to increase housing options and affordability by allowing improved utilization of developers' capital funds for reinvestment. A Surety Bond, which is a three-party agreement between the Developer, Surety Bond Insurer ("Surety") and the City, obligates the Surety to pay the City for the debt or default of the Developer. The Developer's working capital will then be freed for greater liquidity that can then be leveraged for reinvestment into the City.
- The pilot program supports the Sustainability Charter theme of Inclusion, specifically the following Desired Outcomes and Strategic Directions:
 - Housing DO12: Everyone in Surrey has a place to call home;
 - Housing DO13: Appropriate and affordable housing is available to meet the needs of all households in Surrey;
 - Housing SD10: Increase and maintain the supply of affordable and appropriate rental housing across all Surrey communities; and
 - Housing SD11: Ensure development of a variety of housing types to support people at all stages of life.
- The Engineering Department supports the variance to include the use of a Surety Bond for Servicing Agreement No. 7819-0258-00.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The City Centre Plan identifies the subject site as Residential Mid to High Rise Residential and Mixed-Use 3.5 FAR. The proposed gross density for the subject site is 4.7 FAR.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit Issuance (\$2,000 per unit).
- The proposed development is subject to the Tier 2 Capital Plan Project CACs, which will be calculated in accordance with the flat rates under Schedule G of the Zoning Bylaw and payable prior to Final Adoption. The amount of floor space subject to Tier 2 CACs will be determined in advance of Final Adoption.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on August 10, 2021, and the Development Proposal Signs were installed on August 23, 2021. Staff received no responses from neighbouring residents.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Surrey City Centre Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Surrey City Centre Plan.
- The applicant is seeking both a General Development Permit and a Detailed Development Permit (Phase 1) as part of the current application and will continue to refine the design of the future phases of the development through subsequent Detailed Development Permit applications. The applicant continues to work with staff on an ongoing basis to resolve specific design-related concerns.
- The applicant has worked with staff to develop a design that incorporates City Centre urban design guidelines and principles through varied tower heights, podium massing refinement, public realm and street interface.
- The applicant and staff will continue to work on the following items prior to final adoption of the Phase 1 development:

- Design development to improve and refine the public realm interfaces at all road frontages, with respect to landscaping, sidewalks, tree boulevards, and resolution of the interim walkway access through the site before Phases 2 and 3;
 - Design development and resolution of the podium and tower connection and elevations of Tower 1; and
 - Resolution of the interface at the east property line facing the neighbors.
- The applicant and staff will continue to work on the following items through the Detailed Development Permit review of the subsequent phases:
 - Design development and resolution of detailed architectural expression to provide distinct tower forms, especially Phase 2 where the tower holds a street-end view;
 - Design development and resolution of tower and podium architectural expressions, including corner treatment, and detailed architectural expression;
 - Resolution of tower separation between Phase 2 and 3 to achieve the full 30-metre corner to corner tower separation specified within the City Centre Plan Form and Character Guidelines;
 - Reduction of tower floor plate area to below 700 square metres on Phase 2 and 3 towers;
 - Design development to improve and refine the public realm interfaces at all road frontages, with respect to landscaping and sidewalks; and
 - Design development to refine the low-rise building's architectural expression and street interfaces for Phases 2 and 3.
- The applicant has agreed to address any outstanding post-ADP and staff comments to the satisfaction of the City Architect, prior to final adoption (Appendix V).
- The multi-phase mixed-use development proposal ("Georgetown") includes three high-rise mixed-use towers (31, 33 and 38-storeys) and two low-rise residential apartment buildings (6-storeys) and a one-storey stand-alone commercial building at an overall gross density of 4.7 FAR. Located in close proximity to Surrey Central SkyTrain station, the mixed-use development will contribute to the emerging transit hub in this location.
- The three high-rise towers, which sit on retail/residential podiums, are located on the western portion of the subject site along Whalley Boulevard. The podiums are 2-4 storeys in height and include residential units and amenity space above the ground floor commercial retail units, providing a continuous street wall and active uses at the ground plane. A one-storey commercial building intended for a large restaurant, also fronts Whalley Boulevard creating a vibrant and active frontage.
- Along Whalley Blvd, ground floor retail units are broken up into retail bays with stone pillars, curtain wall glazing and wide canopies to provide opportunities for signage and identity for future commercial retail occupants.
- The three towers have been designed to include an architectural expression with an arrangement of dark and light toned zones of the building façade and features such as balcony placement, grids, and vertical features.

- Two low-rise apartment buildings with at-grade townhouses and a central outdoor amenity/green space are located on the eastern portion of the site. The expansive outdoor amenity/green space is intended to serve as the heart of the residential component of the proposed development and is designed to serve as an active gathering space where the residents of the development can relax and play.

Landscaping

- The landscape concept has been designed to respond to the urban core of City Centre as an active, pedestrian-friendly space, oriented to people living, working, and recreating in the City Centre. The overall design considers site circulation and incorporates an inclusive interface between the public and private realm.
- Small corner plazas and green lawn areas throughout the site provide opportunities for gathering and socializing. The large open lawn is proposed as a key focal point in the central amenity space. The large open space provides for active recreation use by residents and includes a children's play area and amphitheater seating along terraced planter seating walls to provide seating options for residences gathering at the edge of open lawn area.
- The stand-alone commercial building will include a green roof providing natural stormwater detention. The roof of the low-rise apartment buildings includes decorative rock and ballast roof designed to have a high albedo preventing urban heat island.
- All site planting was selected to provide year-round interest by introducing a mix of evergreen and deciduous shrubs with a varied range of seasonal colours, hardiness and drought tolerance.

Indoor Amenity

- Per the Indoor Amenity Space requirements in the Zoning Bylaw, high-rise towers that are 25 storeys or higher must meet a base requirement of 3 square metres per unit up to 557 square metres per tower, which equates to 186 units, plus 1 square metre per unit above 557 square metres.
- Based upon the City's revised Zoning Bylaw requirement, the proposed development must provide 2,627 square metres of indoor amenity space to serve the residents of the proposed 1,301 units.
- The applicant is proposing 2,203 square metres of indoor amenity space located throughout the development, which is below the total indoor amenity space required under the Zone.
- The applicant will be required to pay cash-in-lieu for the shortfall of 424 square metres of indoor amenity space prior to final adoption.
- The indoor amenity space proposed in Phase 1 includes a business centre with quiet working pods, gym and fitness area including a yoga space on Level 1. A second indoor amenity space is proposed on Level 2 and includes a lounge and dining area, games room and media room with projector screen/large TV.

Outdoor Amenity

- Based upon the City's Zoning Bylaw requirement of 3 square metres per dwelling unit of outdoor amenity space, 3,903 square metres of outdoor amenity space is required for the proposed development.
- Overall, the proposed outdoor amenity space provided through private, programmed amenity and publicly accessible open space (secured through a statutory right-of-way for public rights of passage) is 4,454 square metres which exceeds the outdoor amenity space requirement.
- The applicant will be required to register an access easement across the site to ensure access to the proposed shared outdoor amenity facilities within the development for all residents.
- The outdoor amenity space proposed in Phase 1 includes the northern portion of the large central green space with children's play area, as well as two small scale hardscaped plaza areas at ground level. A private outdoor amenity space is also provided on Level 2 (associated with the indoor amenity area) and 3 with table and chairs and lounge seating.

TREES

- Glen Murray, ISA Certified Arborist of Froggers Creek Tree Consultants Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	4	4	0
Cottonwood	2	2	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	2	2	0
Elm	2	2	0
Cherry	11	11	0
London Plane	12	12	0
Maple	1	1	0
Norway Maple	15	14	1
Purple Plum	1	1	0
Tulip	2	2	0
Coniferous Trees			
Black Pine	5	5	0
Giant Redwood	4	4	0
Hemlock	37	37	0
Shore Pine	1	1	0
Western Red Cedar	5	5	0
Total (excluding Alder and Cottonwood Trees)	98	97	1

Total Replacement Trees Proposed (excluding Boulevard Street Trees)	104
Total Retained and Replacement Trees	105
Contribution to the Green City Program	To be determined once future phases have been reviewed under subsequent Development Permits (Phase 2 and 3).

- The Arborist Assessment states that there are a total of 98 mature trees on the site, excluding Alder and Cottonwood trees. Six (6) existing trees, approximately less than 1% of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 200 replacement trees on the site. The applicant is proposing 34 replacement trees in Phase 1, with additional trees to be added in later phases.
- The new trees on the site will consist of a variety of trees including Red Maple, Galaxy Magnolia, Persian Ironwood and Japanese Pink Snowbell.
- In summary, a total of 34 trees are proposed to be replaced on the site in Phase 1, with additional trees to be planted in later phases. A potential contribution to the Green City Program will be determined once all tree removal and replacement has been confirmed for future phases. A Tree Cutting Permit will only be issued for Phase 1 with subsequent Tree Cutting Permits released upon issuance of future Detailed Development Permits for Phase 2 and 3.

CITY ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System Bylaw" (see Appendix VI for location). The District Energy System consists of three primary components:
 - community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
 - distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system and is used to meter the amount of energy used.

- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.
- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System Bylaw".

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	ADP Comments and Responses
Appendix VI.	District Energy Map
Appendix VII.	City Centre Plan Amendment
Appendix VIII.	Development Variance Permit

approved by Ron Gill

Jeff Arason
Acting General Manager
Planning and Development

JLM/cm

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
REZONING BYLAW NUMBER _____ OF LOT 66
SECTION 26 BLOCK 5 NORTH RANGE 2 WEST NWD PLAN 38420**

CITY OF SURREY
BCGS 92G.016



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF.

THE INTENDED PLOT SIZE OF THIS PLAN IS 432mm IN
WIDTH BY 560mm IN HEIGHT (C SIZE) WHEN PLOTTED AT
A SCALE OF 1:1000



LEGEND

INTEGRATED SURVEY AREA No. 1,
CITY OF SURREY, NAD83 (CSRS) 4.0.0.BC.1.GVRD.

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN
GEODETIC CONTROL MONUMENTS 92H0889 AND 5821.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES
UNLESS OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES,
MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED
FACTOR OF 0.9995910, WHICH HAS BEEN DERIVED FROM GEODETIC
CONTROL MONUMENTS 92H0889 AND 5821.

THIS PLAN HAS BEEN PREPARED FOR MORTGAGE AND OR MUNICIPAL
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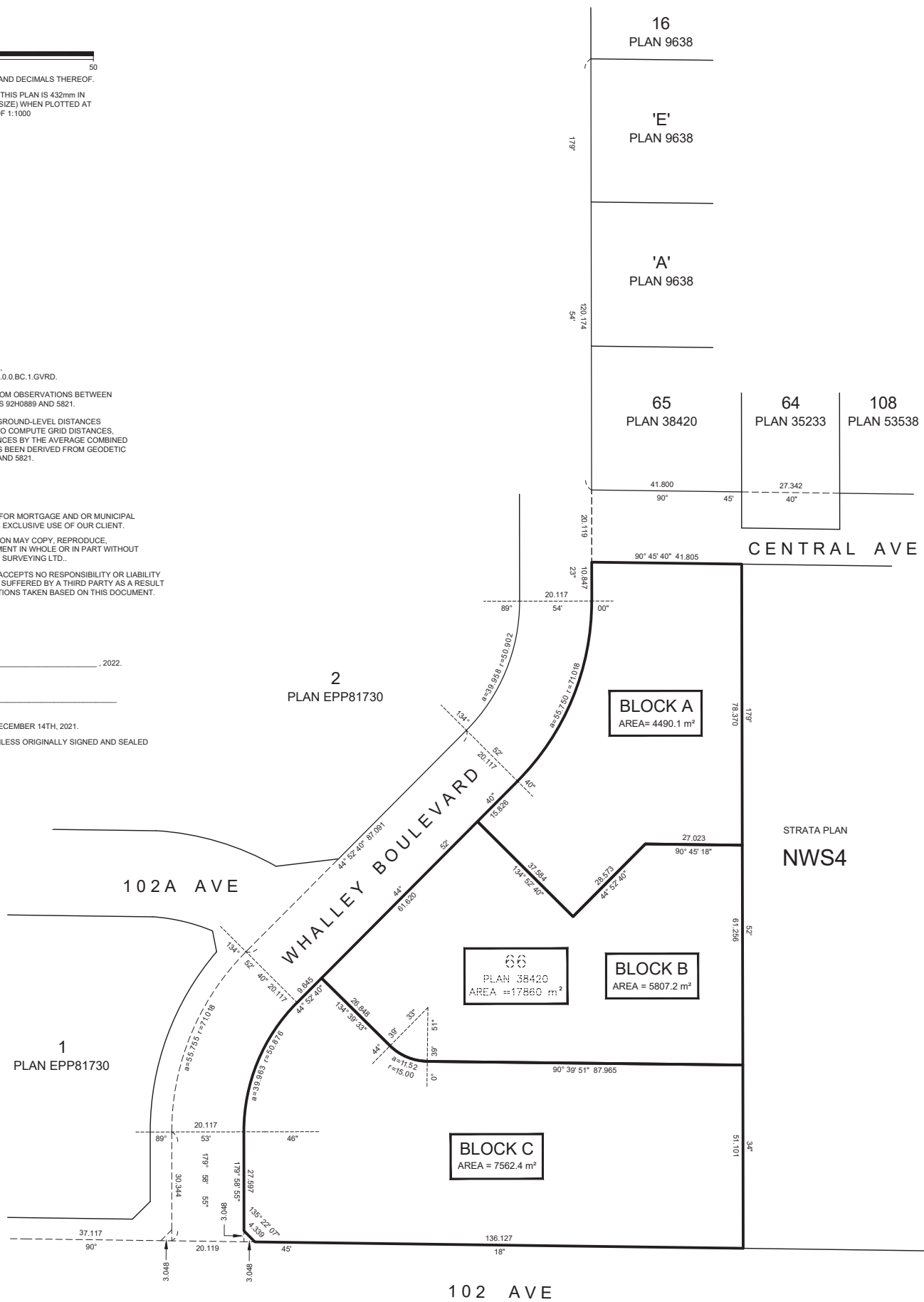
CERTIFIED CORRECT

THIS _____ DAY OF _____, 2022.

JOHN M. FRANKO, B.C.L.S.

FIELD SURVEY COMPLETED ON DECEMBER 14TH, 2021.

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OR DIGITALLY CERTIFIED.



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**PROPOSED SUBDIVISION PLAN (v7) OF
LOT 66 SECTION 26 BLOCK 5 NORTH
RANGE 2 WEST NWD PLAN 38420**

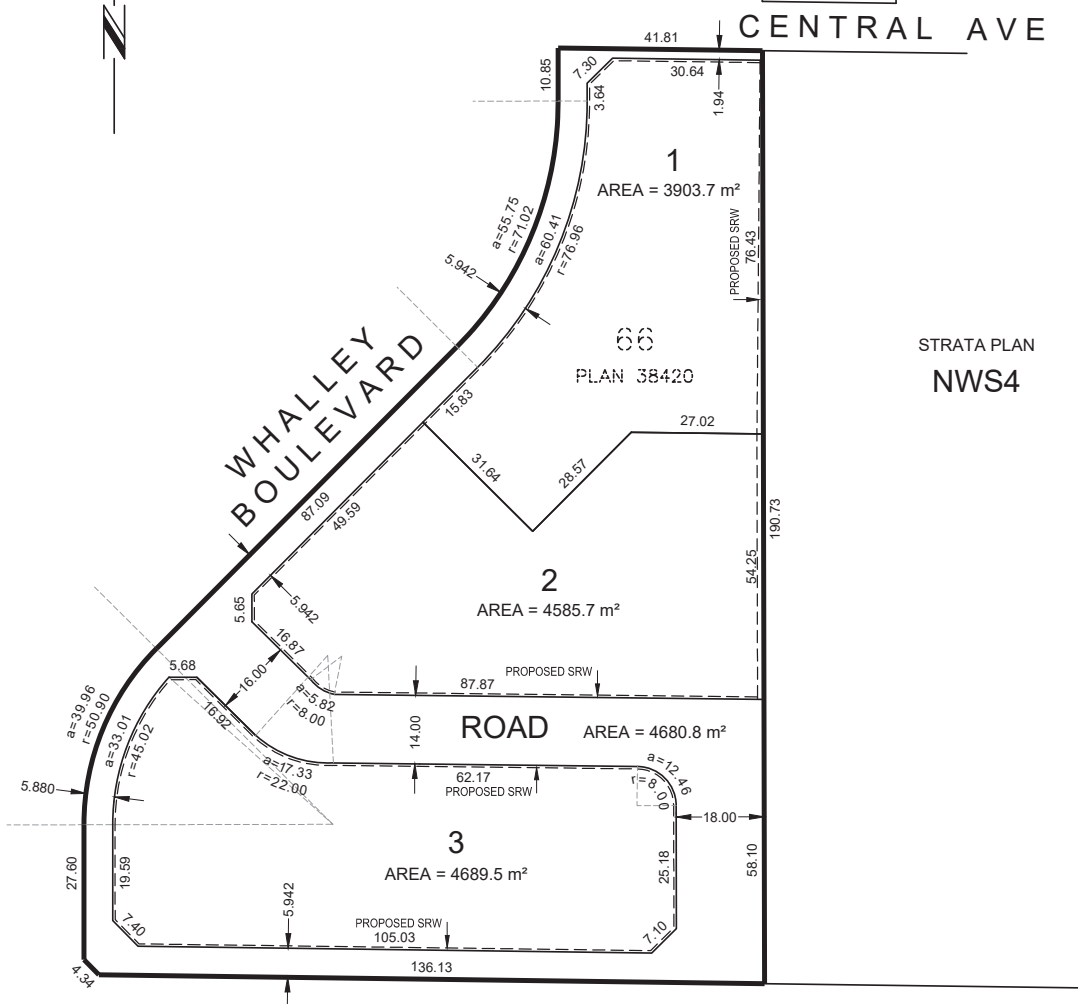
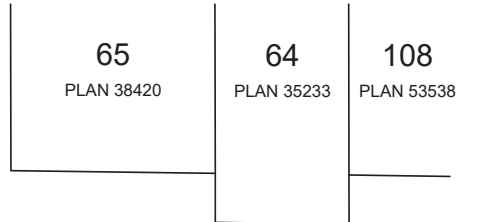
PLAN EPP _____

CITY OF SURREY
BCGS 92G.016



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THE INTENDED PLOT SIZE OF THIS PLAN IS 280mm IN
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A SCALE OF 1:1000



CENTRAL AVE

STRATA PLAN
NWS4

102 AVE

1ST MARCH

John M. Franko
CERTIFIED COPIEST

THIS _____ DAY OF _____, 2022.

JOHN M. FRANKO, B.C.L.S.

FIELD SURVEY COMPLETED ON DECEMBER 14, 2021.

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THIS PLAN LIES WITHIN THE JURISDICTION OF THE APPROVING OFFICER FOR THE CITY OF SURREY.

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE ____TH DAY OF _____, 2019.
JOHN M. FRANKO, BCLS 893.



IBI GROUP
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 tel 604 683 8797 fax 604 683 0492
 ibigroup.com



ANTHEM PROPERTIES
 Suite 1100 Bentall IV Box 49200
 1055 Dunsmuir Street
 Vancouver BC Canada V7X 1K8



10232 Whalley Blvd

10232 Whalley Boulevard

Detailed DP of Phase 1

2022-02-18

Surrey, BC

10232 Whalley Blvd - Phases 1, 2&3

Site & Project Description

Project Description: Phase 1 will consist of a mixed use tower (04 floors) with retail and amenities above with a standalone 3 storey retail building.

Site Address: 10232 Whalley Boulevard, Surrey BC. Legal Address: LOT 60 BLOCK 50 SECTION 26 RANGE 2W PLAN R2005828 HWY

Suburb Zoning By-Laws: District: C8, Current Zoning: C8, Adjacent Zoning: C8, Referred to: C8

SURREY CITY CENTRE PLAN

Table with 2 columns: Current, Proposed. Rows: FAR (5.5 to 4.8), Max Height (N/A to 100.0m), Designation (Special Downtown District)

PLAN SURREY Z01, Official Community Plan

Table with 2 columns: Current, Proposed. Rows: FAR (5.5 to 3.5), Designation (Mid-rise 25 FAR, Residential B10 to High Rise 55 FAR)

Deviations: Seeking an amendment to the Official Community Plan and City Centre Plan to permit a higher density.

EXISTING LAND USE: 3 storey Retail & office use & Surface Parking

Lot 1 Phase 1 Site Area table with Metric and Imperial columns for Net Site Area, Deductions, Total Gross Site Area.

FLOOR AREA (FAR) CALCULATIONS

Permitted FAR Area - Phase 1

Table with 4 columns: Components, FAR (Net Area), FAR (Gross Area), Permitted FAR Area (Metric/Imperial).

Proposed FAR Area - Phase 1

Table with 4 columns: Components, FAR (Net Area), FAR (Gross Area), Proposed FAR Area (Metric/Imperial).

SITE COVERAGE CALCULATIONS

Table with 3 columns: Metric (sq.m), Imperial (sq.ft.) for Gross Site Area, Phase 1, Total, Site Coverage % Net Area, Site Coverage % Gross Area, Max. Permitted Lot Coverage %.

Note 01: Site Coverage 13% as per SECTION 28.2 CITY BYLAW

FLOOR PLATE SIZES

Table with 3 columns: Metric (sq.m), Imperial (sq.ft.) for Max. Permitted Floor Plate, Proposed Floor Plate size.

BUILDING SETBACKS- Phase 1

Table with 10 columns: Property Line, Required (Metric/Imperial), Proposed (Metric/Imperial). Rows: North (120 Ave.), East, West (Whalley Blvd).

Note: 2.5m setback for amenity level

HEIGHT OF BUILDING (MEASURED FROM LOBBY LEVEL)

Table with 2 columns: Lobby Level Elevation (84.2m), Tower 01 (Metric/Imperial) for Number of Floors, Top of Last Occupied Level, Top of Appurtenance.

UNIT COUNT

Table with 7 columns: Type, Studio, 1 bedroom, 2 bedroom, 3 bedroom, Total, Adaptive. Rows: Distribution (25%, 30%, 25%, 0%, 100%, 8%).

COMMON AREA CALCULATIONS (INDOOR & OUTDOOR)

Table with 3 columns: Required (Indoor Base, Outdoor, Total), Provided (Indoor, Outdoor, Total) with Metric and Imperial values.

note: additional area required beyond provision will be payed for in lieu of provision

Note 01:

Minimum Required

min. low-midrise 3-6 storey; min. requirement 746m + 1 sm per micro suite and / or lock off suite (approx 800sf)

Base Required:

- 1) Indoor amenity space Requirement: 3 Sm/Unit (557m)(approx 6000sf) + 1 sm / unit (above 557m)
2) Outdoor amenity space, in the amount of 3.0 square metres (32 sq.ft.) per dwelling unit and shall not be located within

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Table with 3 columns: No., DESCRIPTION, DATE

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PROJECT

T Tower Phase 1

10232 Whalley Boulevard, Surrey, B.C.

PROJECT NO:

120071

DRAWN BY:

FX

CHECKED BY:

GV

PROJECT MGR:

GV

APPROVED BY:

SHEET TITLE

General Statistics

SHEET NUMBER

A0.03

ISSUE

VEHICLES FOR PAVED PARKING STALLS REQUIRED				VEHICLES FOR UNPAVED PARKING STALLS REQUIRED			
VEHICLES				RESIDENTIAL STALLS	COMMERCIAL STALLS	2 BAY & 3 BAY	TOTAL
Residential Units	1.0 parking spaces per dwelling unit			Town 1	261	261	261
Other Uses	1.0 parking spaces per dwelling unit for visitors						
Other Uses (e.g., underground parking, etc.)	1.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	2.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	3.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	4.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	5.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	6.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	7.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	8.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	9.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	10.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	11.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	12.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	13.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	14.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	15.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	16.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	17.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	18.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	19.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	20.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	21.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	22.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	23.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	24.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	25.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	26.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	27.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	28.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	29.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						
Other Uses (e.g., underground parking, etc.)	30.0 parking spaces per 100 sq ft of gross floor area within the above floor area to which the above ratio is applied to (see table 1, column 3.2)						

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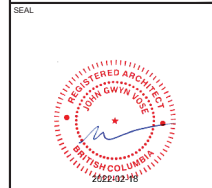
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bi@group.com

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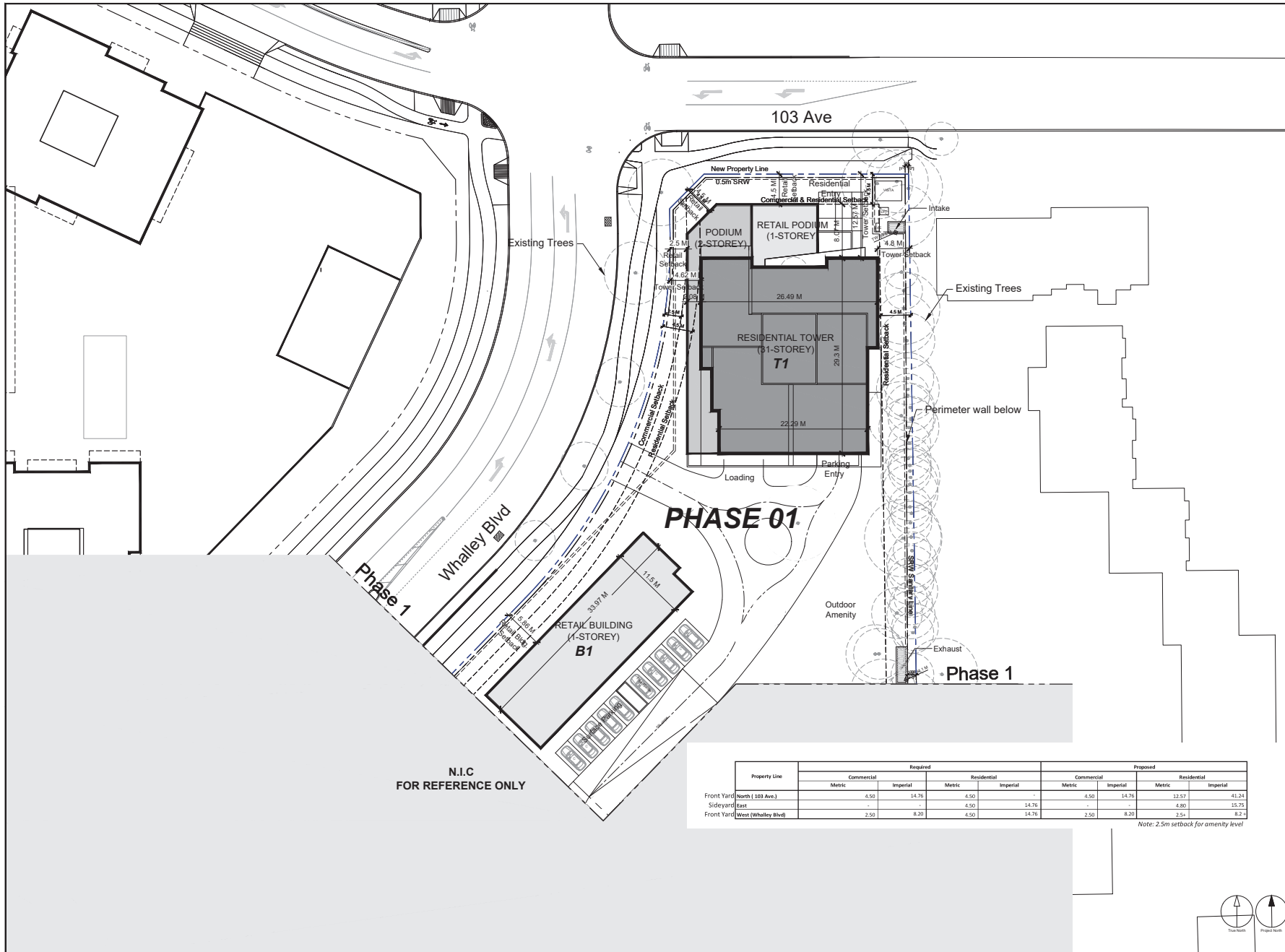
T Town Phase 1
10232 Whalley Boulevard, Surrey, B.C.

PROJECT NO: 120071
DRAWN BY: FX
PROJECT MGR: GVT
CHECKED BY: GVT
APPROVED BY: GVT

SHEET TITLE
Parking Statistics

SHEET NUMBER ISSUE

A0.05



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 10232 Whalley Boulevard, Surrey, B.C.

PROJECT NO: 120071
DRAWN BY: FX
CHECKED BY: GV
PROJECT MGR: GV
APPROVED BY: ---

SHEET TITLE
 Setback Diagram

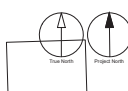
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PHASE 01

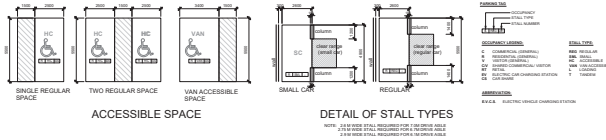
Property Line	Required				Proposed			
	Commercial		Residential		Commercial		Residential	
	Metric	Imperial	Metric	Imperial	Metric	Imperial	Metric	Imperial
Front Yard North (103 Ave.)	4.50	14.76	4.50	14.76	4.50	14.76	12.57	41.24
Side Yard East			4.50	14.76			4.80	15.75
Front Yard West (Whalley Blvd)	2.50	8.20	4.50	14.76	2.50	8.20	2.54	8.32

Note: 2.5m setback for amenity level

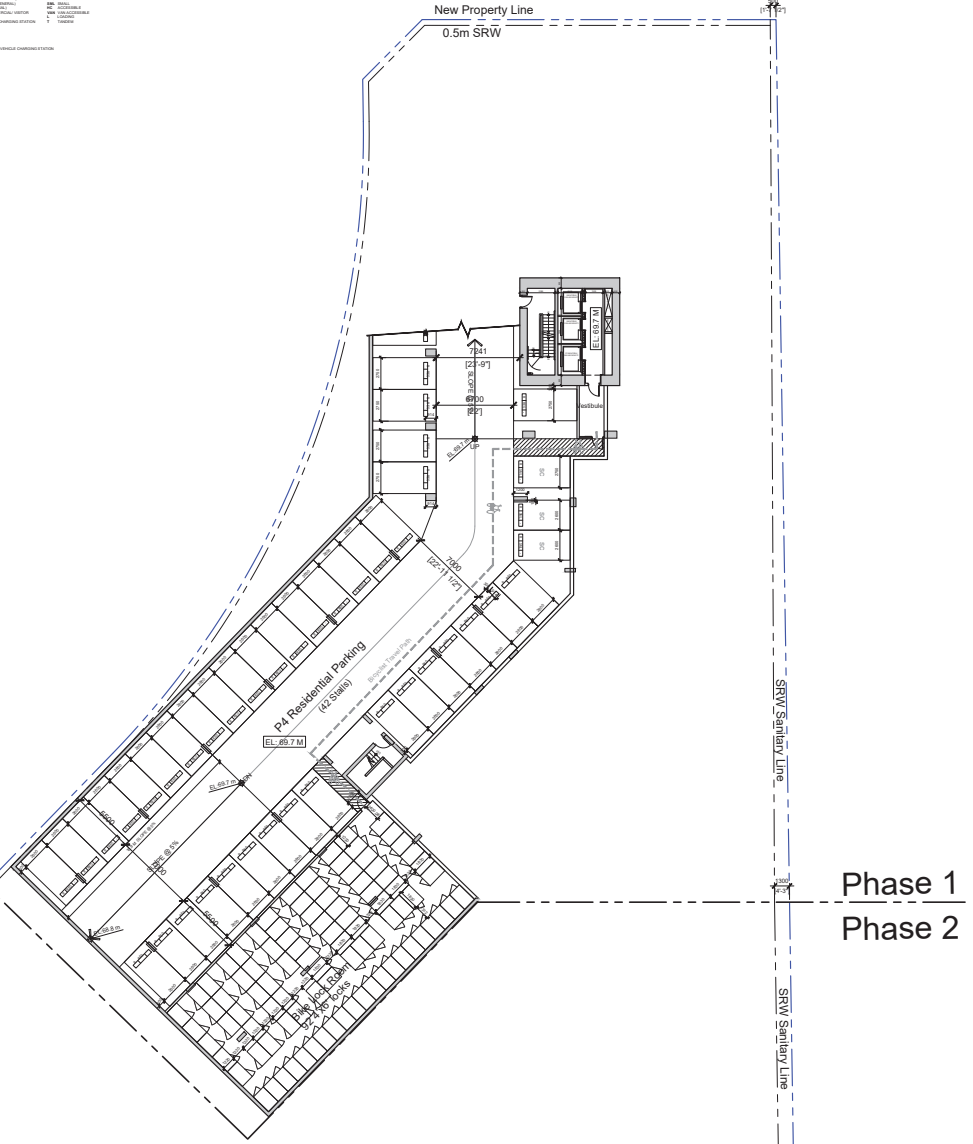


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 Project: 120071 - 10232 Whalley Boulevard, Surrey, B.C. V3R 4G8
 Date: 2022-02-18
 Scale: 1:1000
 Author: FX
 Checker: GV
 Project Manager: GV
 Approved: ---
 Sheet Title: Setback Diagram
 Sheet Number: A0.08
 Issue:



PARKING STALL/ PROVIDED		
Count	Name	SIZE
0	PARKSTALL-DYN	HC
3	PARKSTALL-DYN	SML
39	PARKSTALL-DYN	REG
42		



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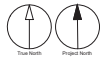
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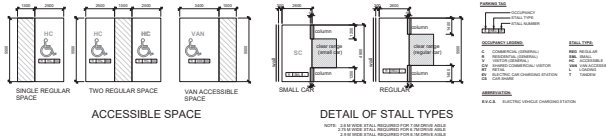
PROJECT NO: 120071
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PROJECT MGR: GV
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SHEET TITLE
 P4 Parking Plan

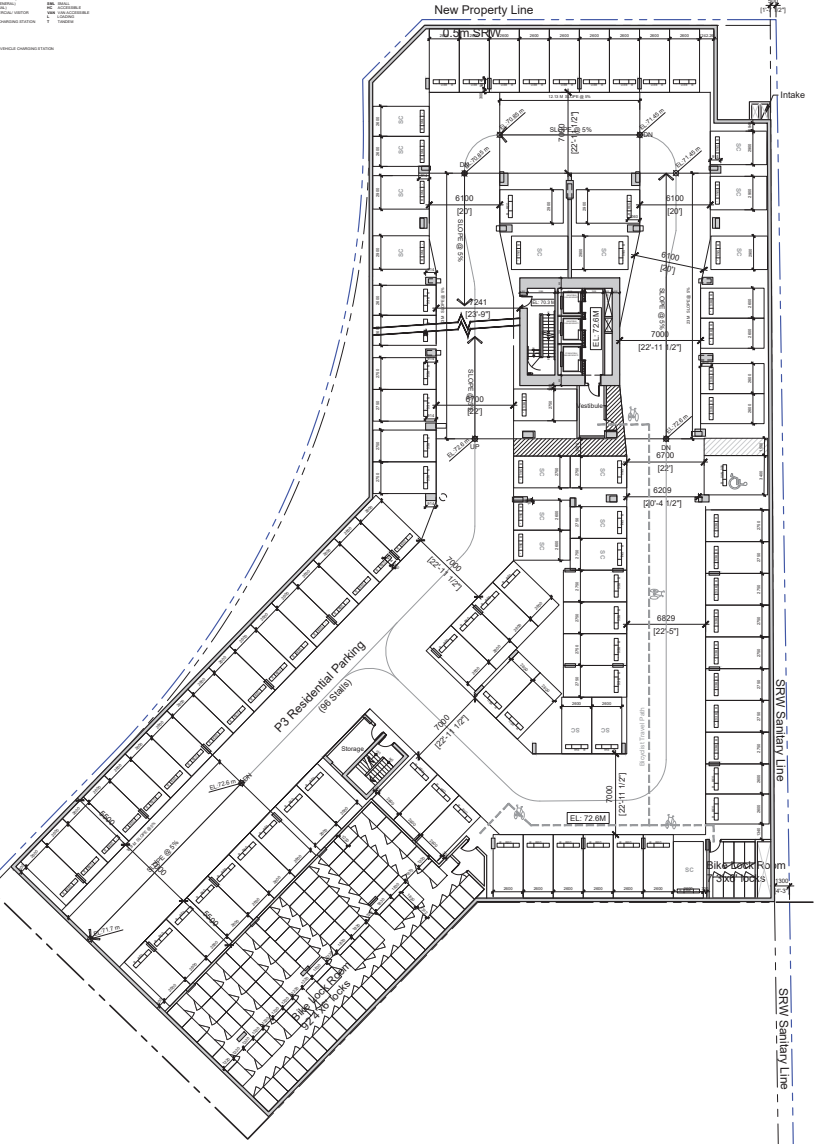
SHEET NUMBER A1.01

ISSUE





PARKING STALL/ PROVIDED		
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3	PARKSTALL-DYN	HC
18	PARKSTALL-DYN	SML
75	PARKSTALL-DYN	REG
96		



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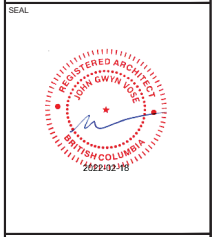
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PROJECT
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 10232 Whalley Boulevard, Surrey, B.C.

PROJECT NO:
 120071

DRAWN BY:
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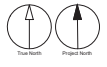
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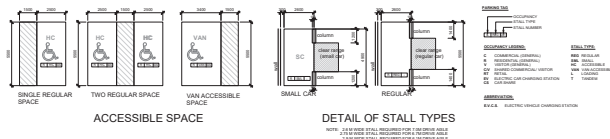
PROJECT MGR:
GV

APPROVED BY:

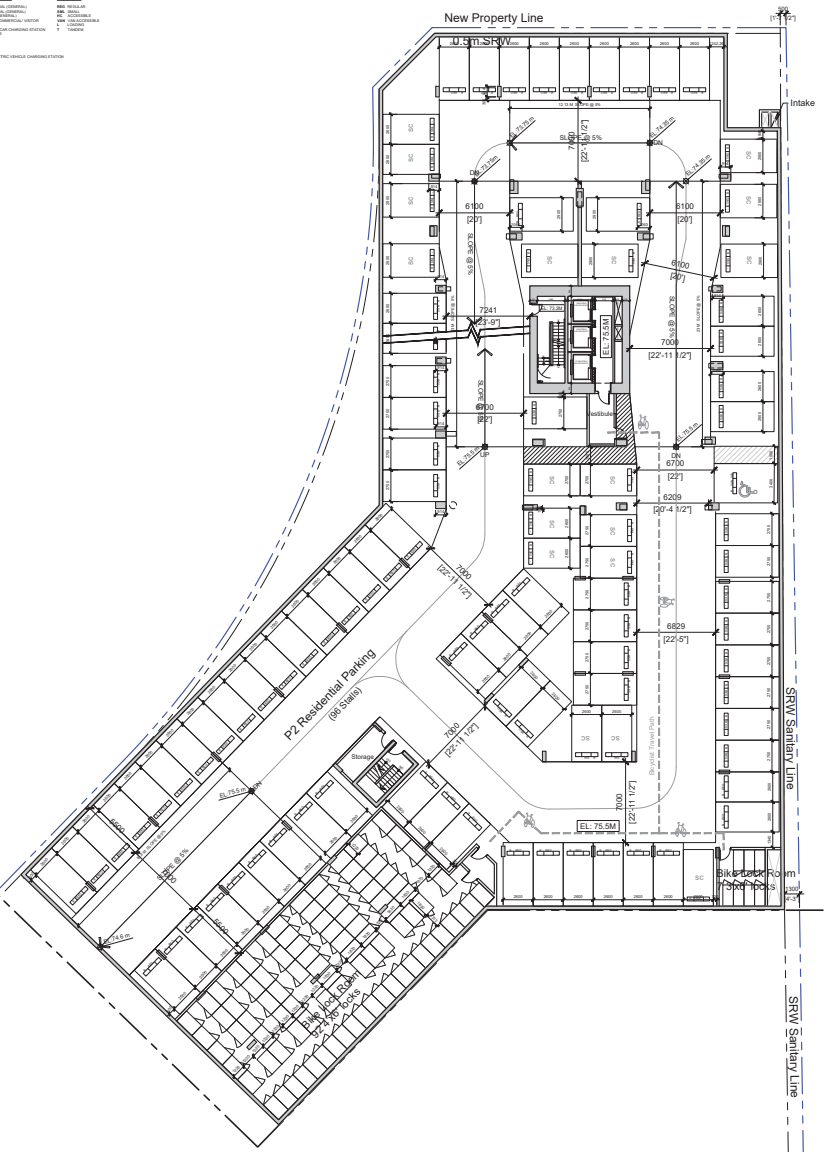
SHEET TITLE
P3 Parking Plan

SHEET NUMBER
A1.02





PARKING STALL/ PROVIDED		
Count	Name	SIZE
3	PARKSTALL-DYN	HC
18	PARKSTALL-DYN	SML
75	PARKSTALL-DYN	REG
96		



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VANCOUVER BC V6C 2B5

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ISSUES	No.	DESCRIPTION	DATE
NOT FOR CONSTRUCTION			

KEY PLAN

CONSULTANTS

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Suite 700 - 1285 West Pender Street
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Tel: 604 683 8797 Fax: 604 683 0482
ibi@group.com

PROJECT
T Town Phase 1
10232 Whalley Boulevard, Surrey, B.C.

PROJECT NO:
120071

DRAWN BY:
FX

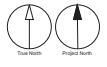
CHECKED BY:
GV

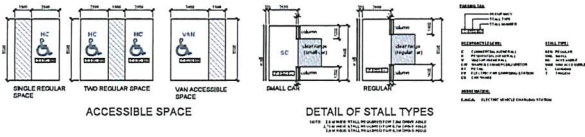
PROJECT MGR:
GV

APPROVED BY:

SHEET TITLE
P2 Parking Plan

SHEET NUMBER
A1.03

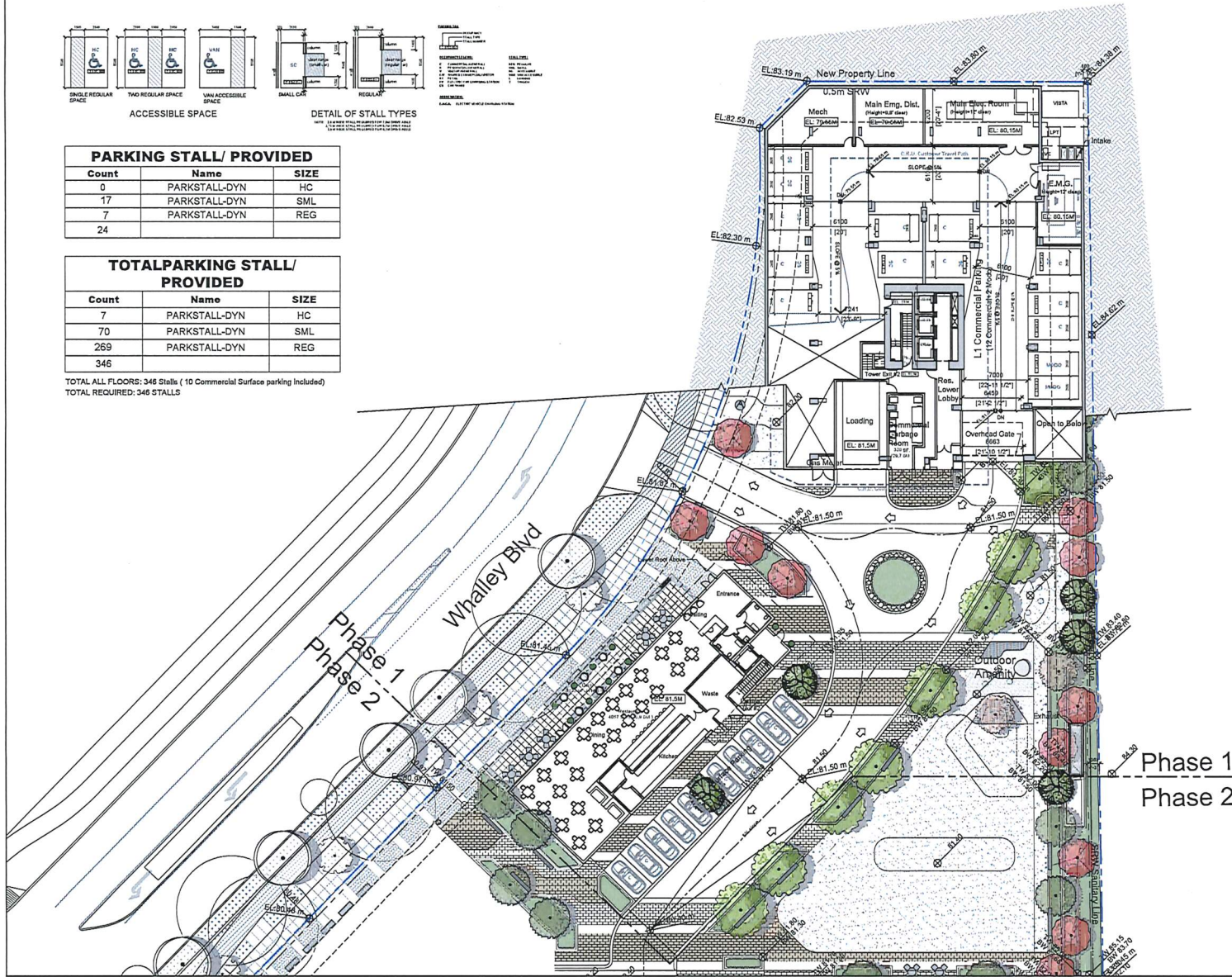




PARKING STALL/ PROVIDED		
Count	Name	SIZE
0	PARKSTALL-DYN	HC
17	PARKSTALL-DYN	SML
7	PARKSTALL-DYN	REG
24		

TOTAL PARKING STALL/ PROVIDED		
Count	Name	SIZE
7	PARKSTALL-DYN	HC
70	PARKSTALL-DYN	SML
269	PARKSTALL-DYN	REG
346		

TOTAL ALL FLOORS: 346 Stalls (10 Commercial Surface parking Included)
 TOTAL REQUIRED: 346 STALLS



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NO.	DESCRIPTION	DATE

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CONSULTANTS

SEAL

PROJECT
 T Town Phase 1
 10332 Whalley Boulevard, Surrey, B.C.

PROJECT NO.
 120071

DRAWN BY: FX
CHECKED BY: GV

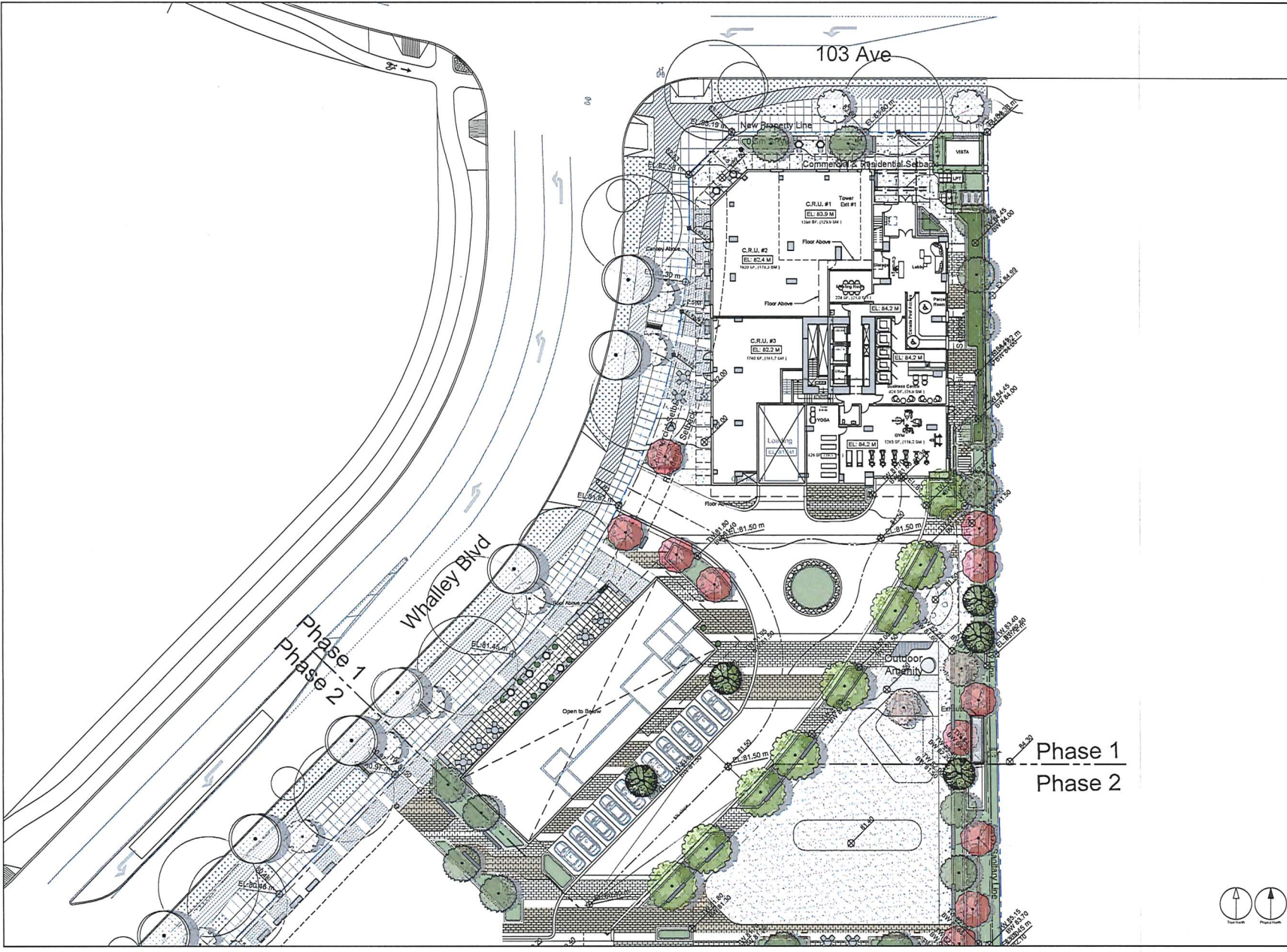
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SHEET TITLE
 Level 1 Lower Floor Plan

SHEET NUMBER
 A1.05

ISSUE

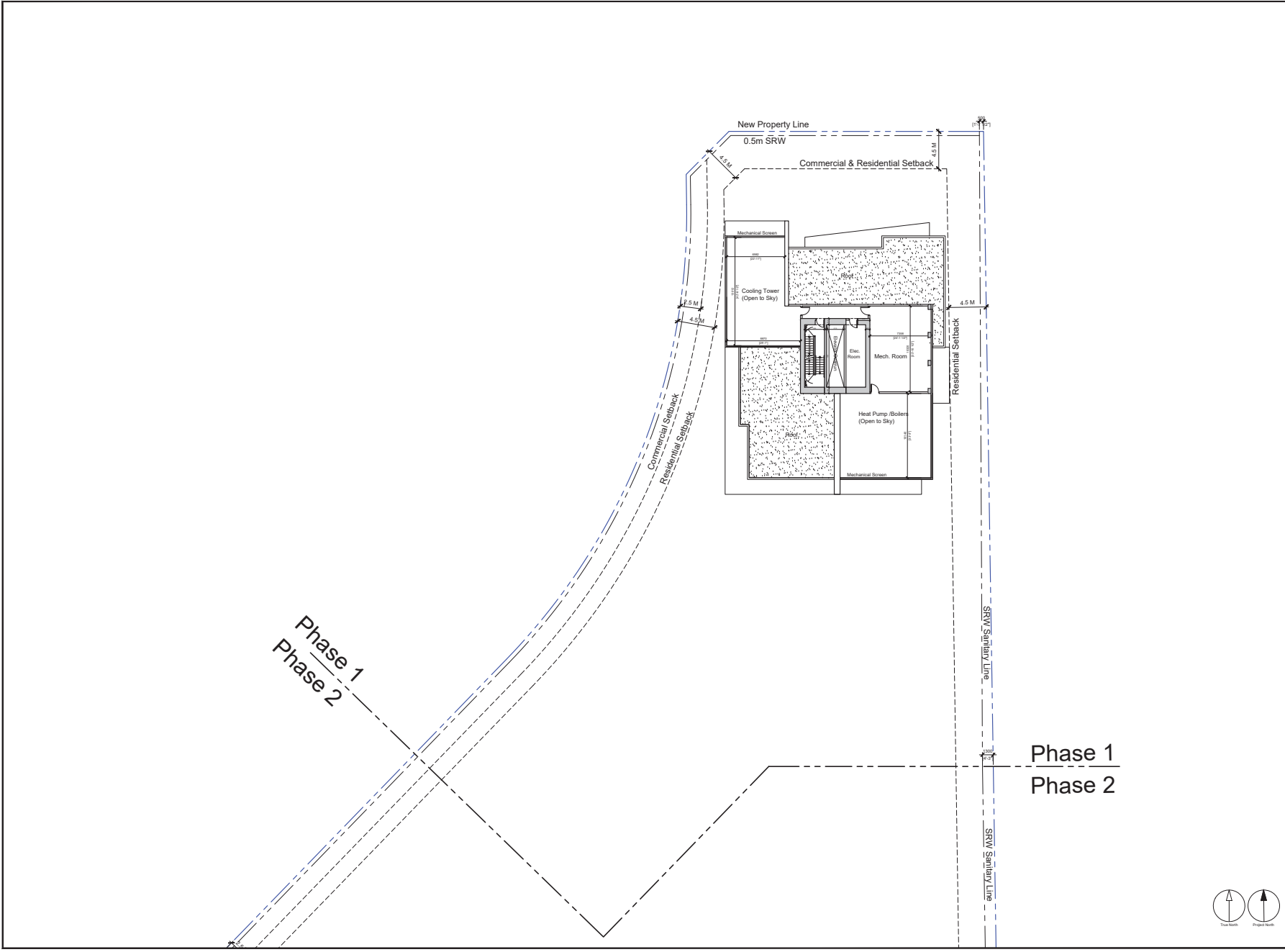
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No.	DESCRIPTION
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SEAL	
PROJECT	
T Town Phase 1 10332 Whalley Boulevard, Surrey, B.C.	
PROJECT NO:	
120071	
DRAWN BY:	CHECKED BY:
GV	GV
PROJECT MGR:	APPROVED BY:
GV	---
SHEET TITLE	
Level 1 Upper Floor Plan	
SHEET NUMBER	ISSUE
A1.06	



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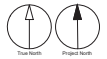
IBI GROUP ARCHITECTS (CANADA) INC.
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 Vancouver BC V6E 4B1 Canada
 Tel: 604 683 8797 Fax: 604 683 0482
 ibigroup.com

PROJECT
 T Town Phase 1
 10232 Whalley Boulevard, Surrey, B.C.

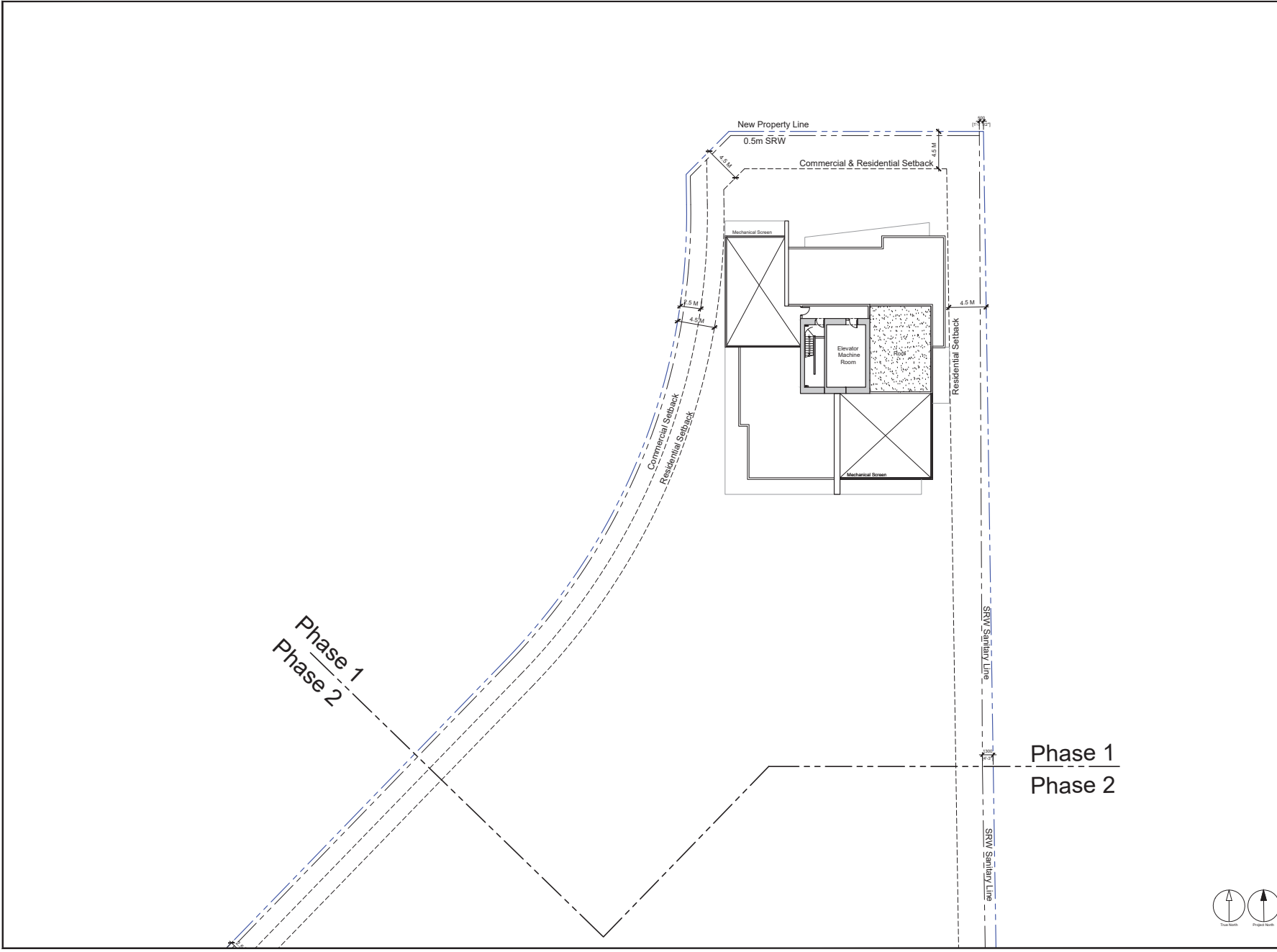
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DRAWN BY: FX **CHECKED BY:** GV
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SHEET TITLE
 Roof Mech. L1 Floor Plan

SHEET NUMBER **ISSUE**
 A1.10



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PROJECT
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PROJECT NO: 120071

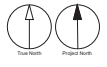
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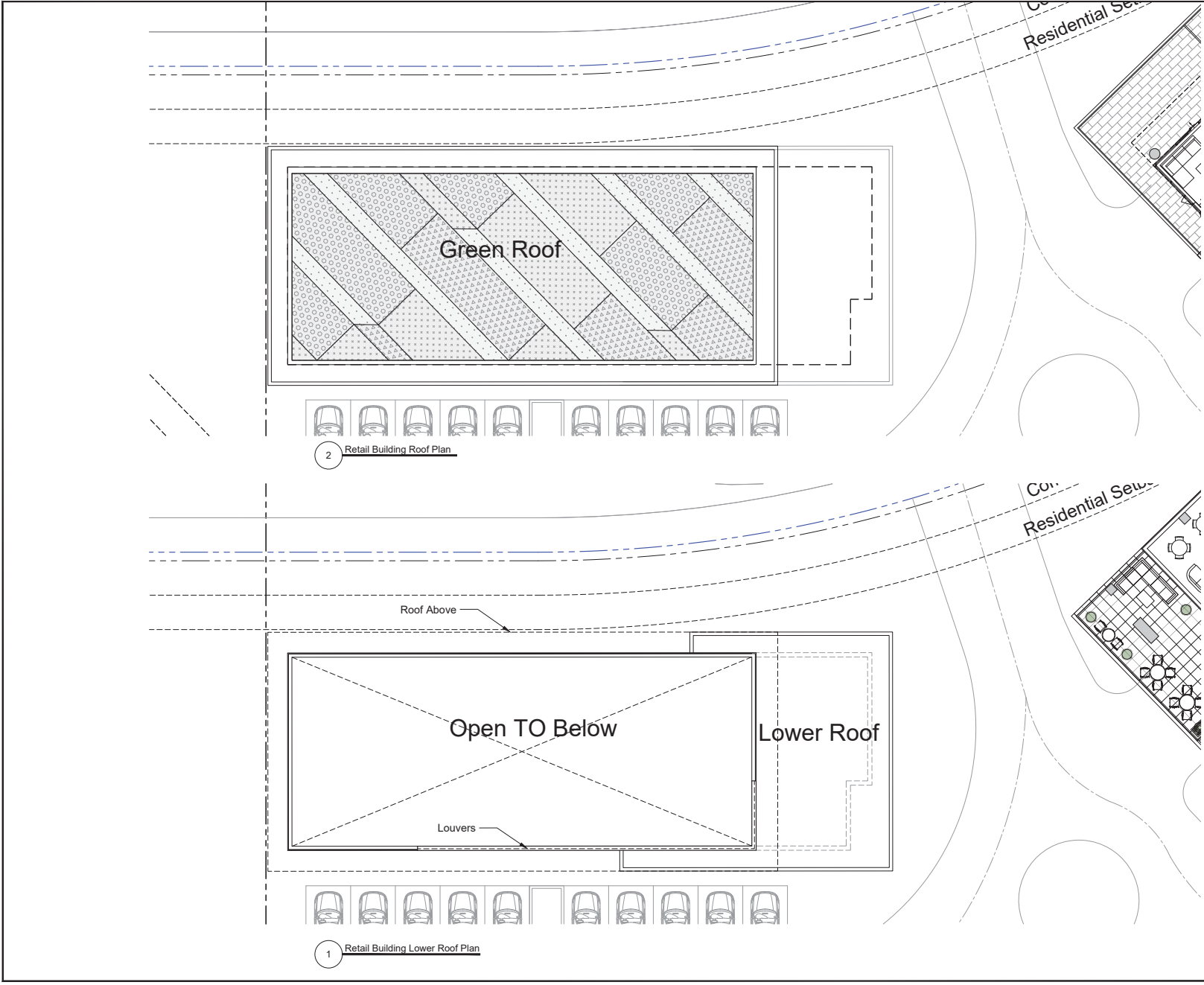
SHEET TITLE
 Roof Mech. L2 Floor Plan

SHEET NUMBER **ISSUE**

A1.11



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2 Retail Building Roof Plan

1 Retail Building Lower Roof Plan

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ibi@group.com

PROJECT
T Town Phase 1
10232 Whalley Boulevard, Surrey, B.C.

PROJECT NO:
120071

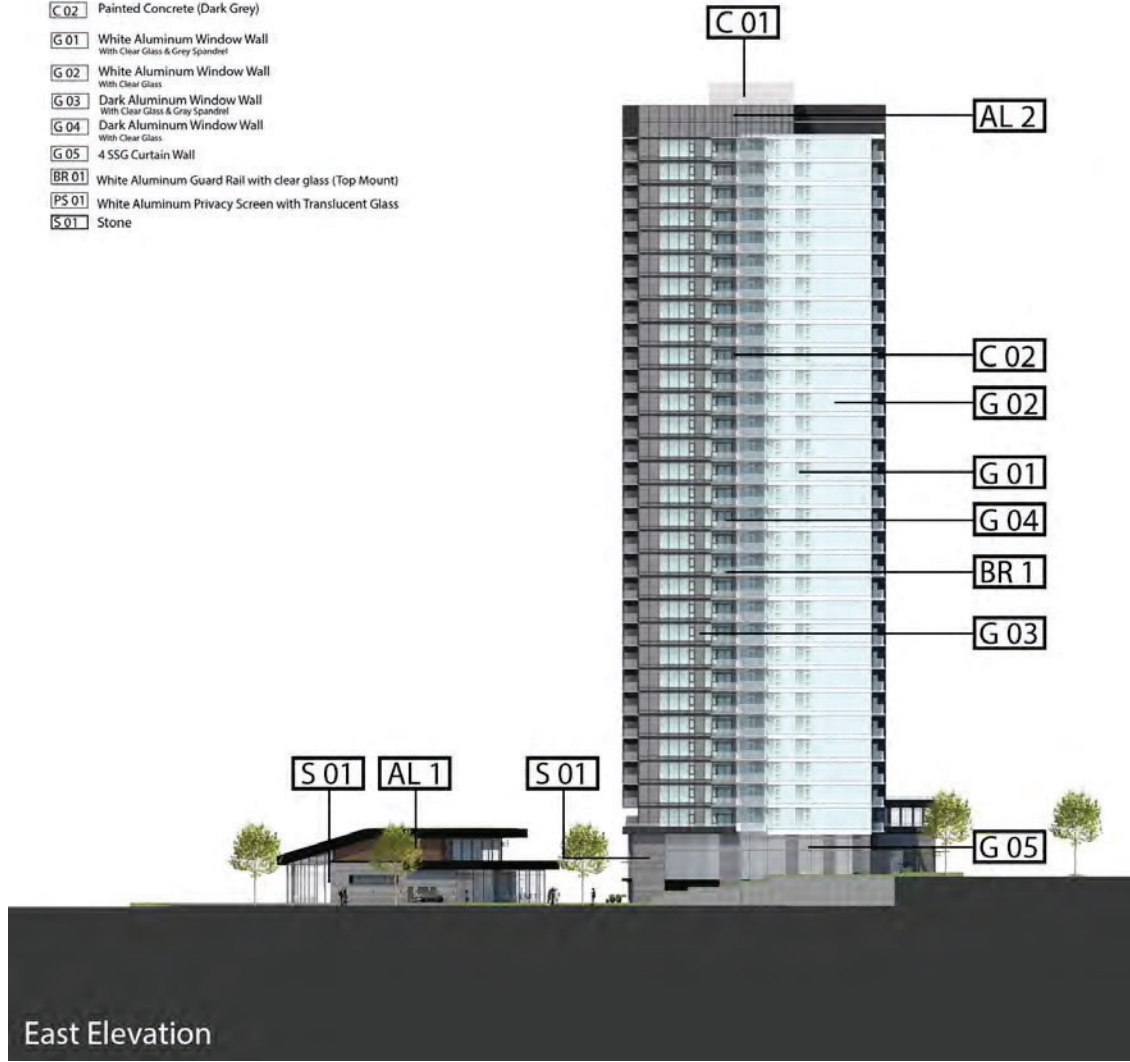
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SHEET TITLE
Retail Building Roof Plan

SHEET NUMBER A1.22	ISSUE
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Scale: North, Project North

- AL 01** Metal Pannel wood tone
- AL 02** Aluminum Louver (Grey)
- AL 03** Aluminum Canopy with Translucent Glass
- B 01** Brick
- C 01** Painted Concrete (White)
- C 02** Painted Concrete (Dark Grey)
- G 01** White Aluminum Window Wall With Clear Glass & Grey Spandrel
- G 02** White Aluminum Window Wall With Clear Glass
- G 03** Dark Aluminum Window Wall With Clear Glass & Gray Spandrel
- G 04** Dark Aluminum Window Wall With Clear Glass
- G 05** 4 SSG Curtain Wall
- BR 01** White Aluminum Guard Rail with clear glass (Top Mount)
- PS 01** White Aluminum Privacy Screen with Translucent Glass
- S 01** Stone



East Elevation

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PROJECT

T Town Phase 1

10232 Whalley Boulevard, Surrey, B.C.

PROJECT NO: 120071

DRAWN BY: FX **CHECKED BY:** GV

PROJECT MGR: GV **APPROVED BY:** ---

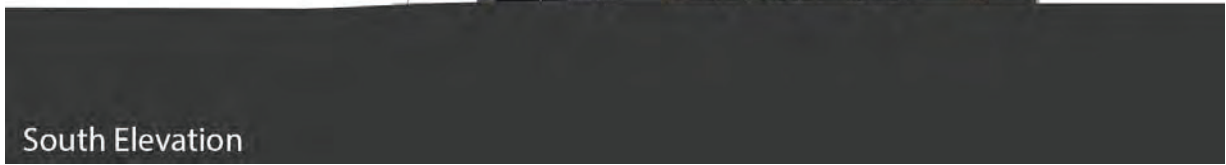
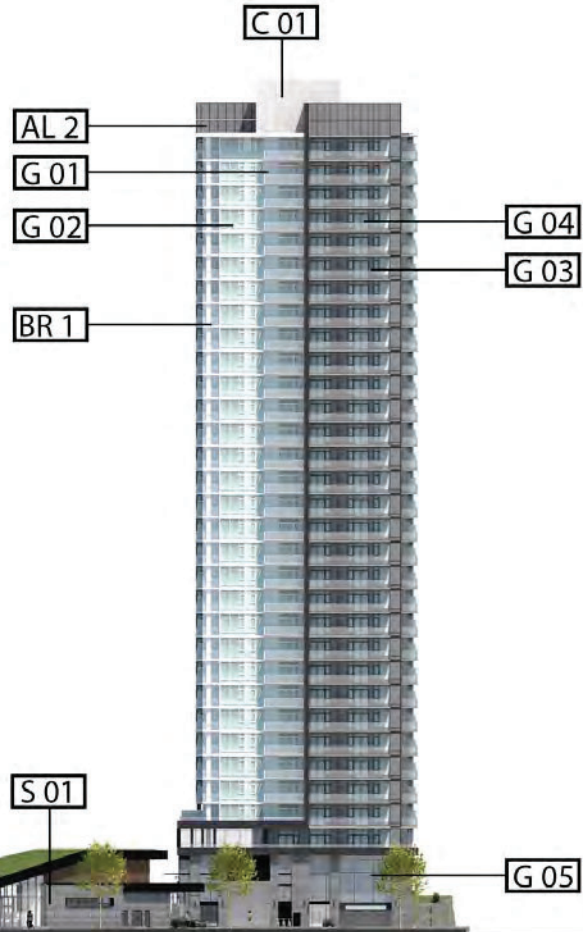
SHEET TITLE

Tower Coloured Elevation East

SHEET NUMBER	ISSUE
A2.01	

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- AL 01** Metal Pannel wood tone
- AL 02** Aluminum Louver (Grey)
- AL 03** Aluminum Canopy with Translucent Glass
- B 01** Brick
- C 01** Painted Concrete (White)
- C 02** Painted Concrete (Dark Grey)
- G 01** White Aluminum Window Wall With Clear Glass & Grey Spandrel
- G 02** White Aluminum Window Wall With Clear Glass
- G 03** Dark Aluminum Window Wall With Clear Glass & Grey Spandrel
- G 04** Dark Aluminum Window Wall With Clear Glass
- G 05** 4 SSG Curtain Wall
- BR 01** White Aluminum Guard Rail with clear glass (Top Mount)
- PS 01** White Aluminum Privacy Screen with Translucent Glass
- S 01** Stone



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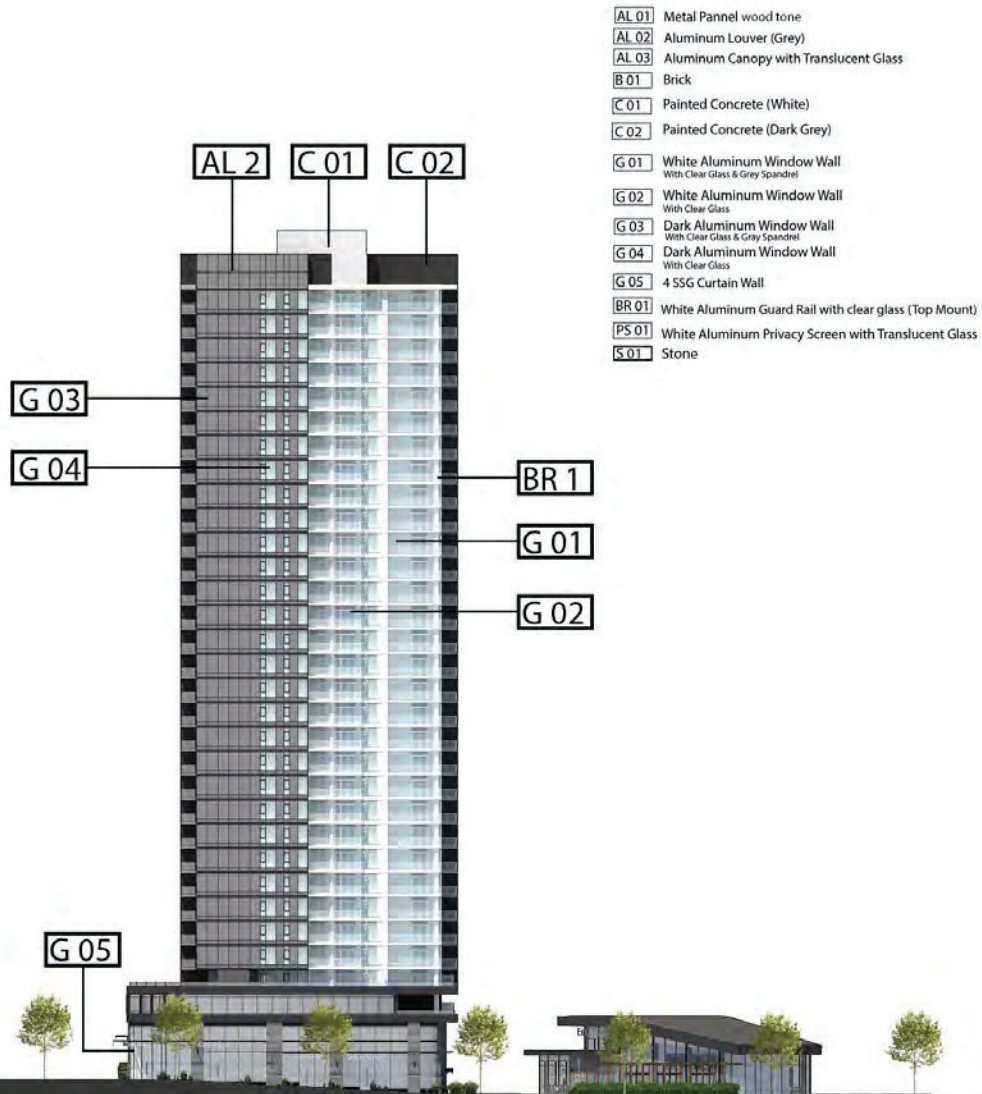
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DRAWN BY: FX	CHECKED BY: GV
PROJECT MGR: GV	APPROVED BY: ---

SHEET TITLE
 Tower Coloured Elevation South

SHEET NUMBER A2.02	ISSUE
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- AL 01** Metal Panel wood tone
- AL 02** Aluminum Louver (Grey)
- AL 03** Aluminum Canopy with Translucent Glass
- B 01** Brick
- C 01** Painted Concrete (White)
- C 02** Painted Concrete (Dark Grey)
- G 01** White Aluminum Window Wall With Clear Glass & Grey Spandrel
- G 02** White Aluminum Window Wall With Clear Glass
- G 03** Dark Aluminum Window Wall With Clear Glass & Gray Spandrel
- G 04** Dark Aluminum Window Wall With Clear Glass
- G 05** 4 SSG Curtain Wall
- BR 01** White Aluminum Guard Rail with clear glass (Top Mount)
- PS 01** White Aluminum Privacy Screen with Translucent Glass
- S 01** Stone

West Elevation

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PROJECT
T Town Phase 1
10232 Whalley Boulevard, Surrey, B.C.

PROJECT NO:
120071

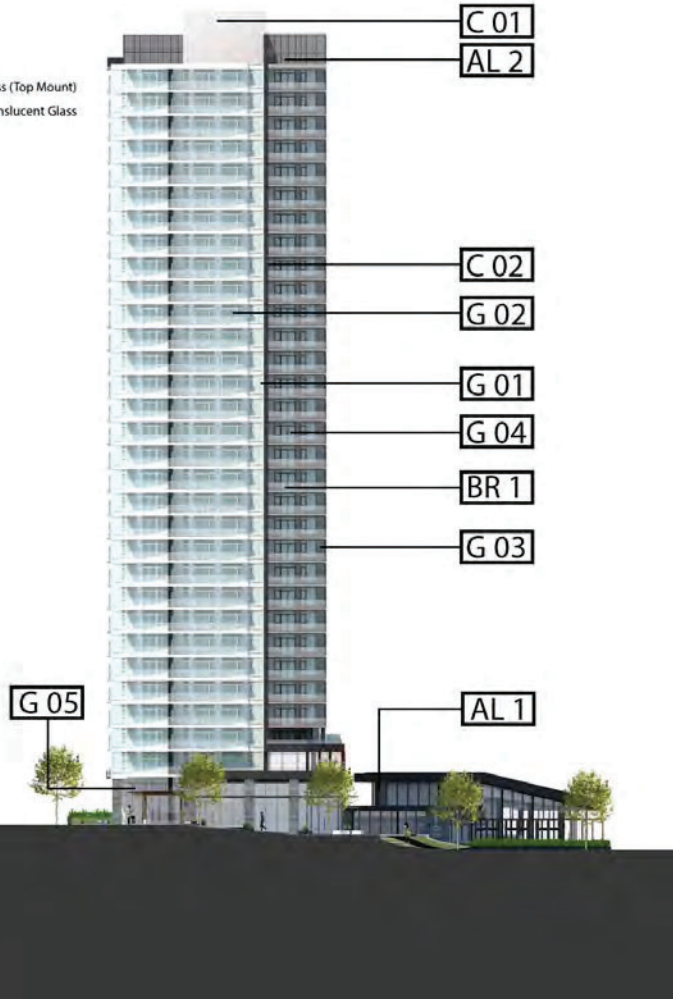
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SHEET TITLE
Tower Coloured Elevation West

SHEET NUMBER A2.03	ISSUE
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- AL 02** Aluminum Louver (Grey)
- AL 03** Aluminum Canopy with Translucent Glass
- B 01** Brick
- C 01** Painted Concrete (White)
- C 02** Painted Concrete (Dark Grey)
- G 01** White Aluminum Window Wall
With Clear Glass & Grey Spandrel
- G 02** White Aluminum Window Wall
With Clear Glass
- G 03** Dark Aluminum Window Wall
With Clear Glass & Grey Spandrel
- G 04** Dark Aluminum Window Wall
With Clear Glass
- G 05** 4 SSG Curtain Wall
- BR 01** White Aluminum Guard Rail with clear glass (Top Mount)
- PS 01** White Aluminum Privacy Screen with Translucent Glass
- S 01** Stone



North Elevation

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bgi@bgi.com

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10232 Whalley Boulevard, Surrey, B.C.

PROJECT NO:
120071

DRAWN BY: FX
CHECKED BY: GV

PROJECT MGR: GV
APPROVED BY: ----

SHEET TITLE
Tower Coloured Elevation North

SHEET NUMBER A2.04

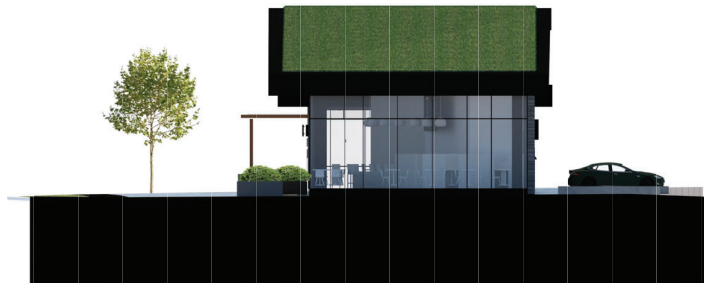
ISSUE



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

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ibi@group.com

PROJECT

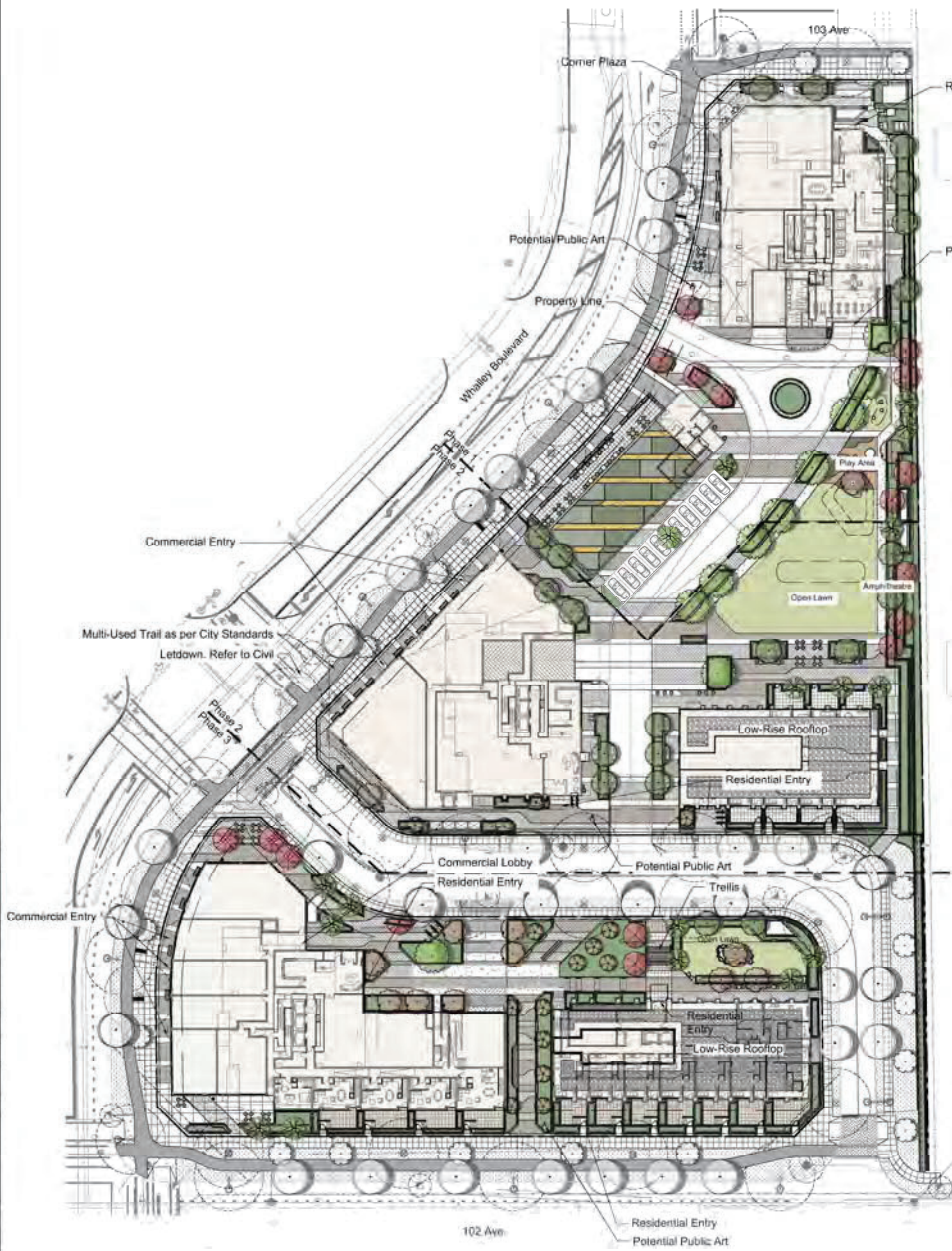
T Town Phase 1
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PROJECT NO:
120071
DRAWN BY: **FX** CHECKED BY: **GV**
PROJECT MGR: **GV** APPROVED BY: **---**

SHEET TITLE
Retail Building Coloured Elevations

SHEET NUMBER **A2.05** ISSUE

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OUTDOOR AMENITY SPACE



Play Area



Open Lawn



Amphitheatre

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	5,6,7 LD-01	CONCRETE SLAB
	1 LD-02	HYDRO-PRESSED SLAB Pattern: Stone Slab Color: Natural Manufacturer: Absolut Concrete
	5,7 LD-01	CONCRETE SIDEWALK
	2 LD-02	CONCRETE PAVERS Pattern: Running Bond Color: Brown Manufacturer: Absolut Concrete
	2 LD-02	CONCRETE PAVERS Pattern: Running Bond Color: Charcoal / Desert Sand Manufacturer: Absolut Concrete
	2 LD-02	CONCRETE PAVERS Pattern: Running Bond Color: Natural Manufacturer: Absolut Concrete
	5 LD-02	RUBBER SURFACING
	8 LD-01	DRIVEWAY

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1,2 LD-01	PROPOSED TREE
	000	Soil See Original Landscaping Notes for Specifications
	3 LD-01	SHRUB PLANTING

SITE FURNISHINGS/LIGHTING

KEY	REF.	DESCRIPTION
	3 LD-03	TABLE AND CHAIRS Material: Aluminum 304, Strong Steel Color: Black Manufacturer: Landscape Forms Supplier: Landscape Forms Mount: Modular
	6 LD-03	SEAT STONE Material: F.O. Flat Color: White, Granite Manufacturer: SSS Product
	1 LD-03	SEAT WALL
	5 LD-03	PLANTER/POT Material: Heavy Line Supplier: Compex
	7 LD-03	BOLLARD Material: 6 Galvalume Material: Aluminum Head Material: Chrome Manufacturer: Stainless Security
	7 LD-02	BIKE RACK Material: 6 Alum Color: Powder Coated Steel Mount: Surface Supplier: Landscape Forms
	8 LD-03	MOVABLE PLANTERS Material: 6 Alum Supplier: Daylight Design

No.	By	Description	Date
1	PC	Revised for DP Review	Feb 18, 2020
2	PC	Revised for DP Review	May 18, 2021
3	PC	Revised for DP Review	July 26, 2021
4	PC	Revised for DP Review	Oct 30, 2020

REVISIONS TABLE FOR DRAWINGS

* Drawing Number - The Revised Drawing is the number of the drawing that it replaced. All other drawings are to be updated accordingly.

No.	By	Description	Date
1	PC	Revised for DP Review	Feb 18, 2020
2	PC	Revised for DP Review	May 18, 2021
3	PC	Revised for DP Review	July 26, 2021
4	PC	Revised for DP Review	Oct 30, 2020

REVISIONS TABLE FOR SHEET

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Location:	10232 Whalley Boulevard Surrey, BC
Drawn:	RM
Checked:	PC
Approved:	EU
Stamp:	Original Sheet Size: 21" x 36"

Scale: 1:400

DATE: 11/11/2021 10:58:11 AM

PROJECT: GEORGETOWN

DRAWING: L-02

REVISIONS:



Georgetown - Phase 1

Issued for Development Permit

Sheet Number	Sheet Title
L-03	COVER PAGE - PHASE 1
L-04A	LANDSCAPE PLAN L1 - PH1
L-04B	LANDSCAPE PLAN L1 - PH1
L-05A	PLANTING L1 - PH1
L-05B	PLANTING L1 - PH1
L-06	WALL AND GRADING PLAN - PH1
L-07	LIGHTING PLAN L1 - PH1
L-08	LANDSCAPE PLAN L2 - PH1
L-09	LANDSCAPE PLAN L3 - PH1
LS-01	SECTIONS - PH1
LS-02	SECTIONS - PH1
LS-03	SECTIONS - PH1
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS

Contact Information

VDZ+A

Project Landscape Architecture

Fort Langley Studio
 102 - 9181 Church Street
 Fort Langley, British Columbia, V4M 2R8

Mount Pleasant Studio
 102-355 Kingsway
 Vancouver, British Columbia, V5T 3J7

Primary project contact:
 Phoenix Chan
 phoenix@vdz.ca
 o. 604 546 0927

Alternate contacts (in case away):
 Dave Jerke
 Principal Landscape Architect
 davidj@vdz.ca
 o. 604 546 0921

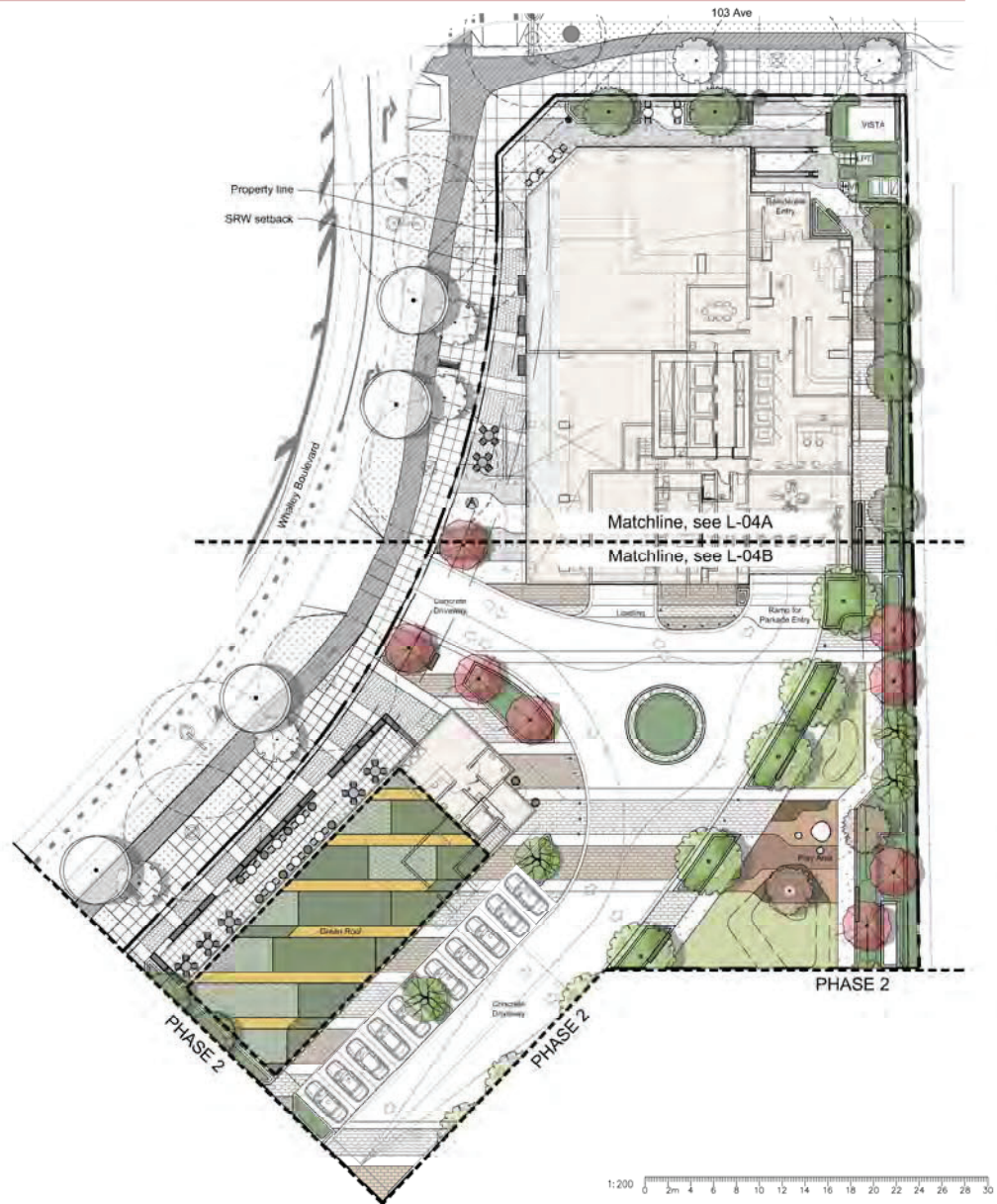
Contact Information

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Suite 1100, Bentall 4, Box 49200
 1055 Dunsmuir Street
 Vancouver, BC, V7X 1K8
 p. 604 689 3040

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 Project Architecture

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No.	By	Description	Date
1	PC	Revised for DP Review	Feb. 18, 2020
2	PC	Revised for DP Review	May 18, 2021
3	PC	Revised for DP Review	July 26, 2021
4	PC	Issue for DP Review	Oct 31, 2022
No.	By	Description	Date

REVISIONS TABLE FOR DRAWINGS
 *Change Number: The standard design for the sheets at 102-355 ave may not be applicable to the site specific conditions.

No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

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 Georgetown

Location:
 10232 Whalley Boulevard
 Surrey, BC

Drawn: PC FW	Stamp:
Checked: PC	
Approved: DJ	Original Stamp: 21" x 30"
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Drawing Title: COVER PAGE - PHASE 1
 Drawing #: L-03
 VDZ Project #: DP2020-51

HARDSCAPE MATERIALS

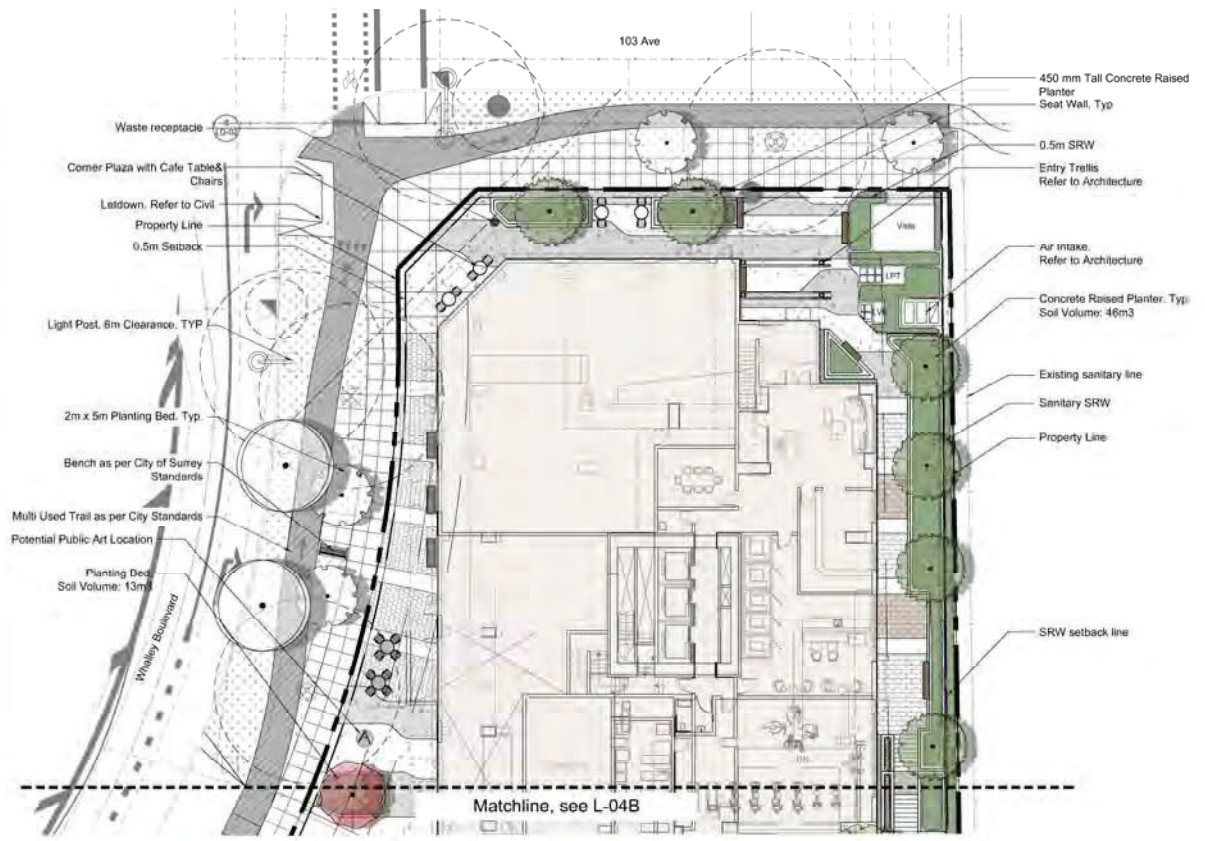
KEY	REF.	DESCRIPTION
	5.6, 7 LD-01	CONCRETE SLAB
	1 LD-02	HYDRAPRESSED SLAB Pattern: Stone Blend Colour: Natural Manufacturer: Atlas-Concrete
	5.7 LD-01	CONCRETE SIDEWALK
	2 LD-02	CONCRETE PAVERS Pattern: Random Blend Colour: Stone Manufacturer: Atlas-Concrete
	2 LD-02	CONCRETE PAVERS Pattern: Random Blend Colour: Orange / Desert Sand Manufacturer: Atlas-Concrete
	2 LD-02	CONCRETE PAVERS Pattern: Random Blend Colour: Natural Manufacturer: Atlas-Concrete
	5 LD-02	RUBBER SURFACING
	8 LD-01	DRIP STRIP

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1, 2 LD-01	PROPOSED TREE
		SOIL See Critical Landscape Notes for Specifications
	3 LD-01	SHRUB PLANTING

SITE FURNISHINGS/LIGHTING

KEY	REF.	DESCRIPTION
	3 LD-03	TABLE AND CHAIRS Model: 9' Diameter 30" Square Table Colour: Silver Manufacturer: Landscape Forms Supplier: Landscape Forms Mount: Mobile
	6 LD-03	SEAT STONE Model: 4' Dia. Flat Colour: White / Natural Manufacturer: D3 Products
	1 LD-03	SEAT WALL
	5 LD-03	PLANTER/POT Model: Iron Lin Supplier: Compass
	7 LD-03	BILLIARD Accessories Included: Mobile Billiard Manufacturer: Premier Furniture
	7 LD-02	BIKE RACK Model: 6' Wide Colour: Powder Coated Steel Mount: Surface Supplier: Atlas-Concrete
	8 LD-03	MOVEABLE PLANTERS Colour: Iron / Concrete Supplier: Compass



PLANT SCHEDULE PHASE 1

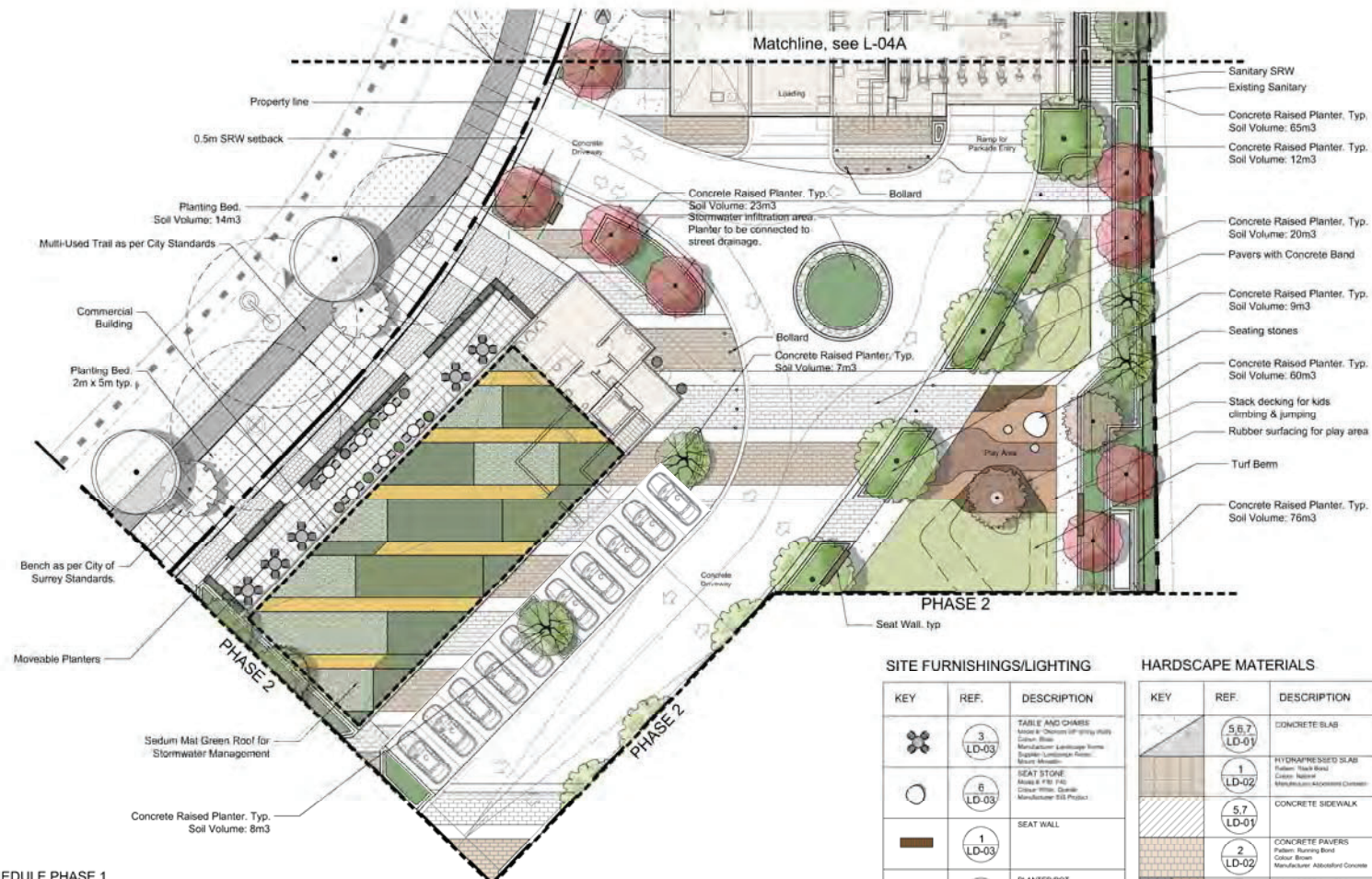
TYPES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	Acan tuberosa / Red Moss	888	8cm	5
	Aster & Rudbeckia / Anemone / Anemone Fragrant Moss Urban landscaping, sunny garden, same spec. 1.5m (3' 6")	848	8cm cal	8
	Magnolia & Gardenia / Glossy Magnolia	848	6cm	2
	Pantus pennsylvanicus Ruby Vase / Pleasant Ironwood	848	8cm	7
	Stylosanthes Pink Chimes / Japanese Pink Snowball Desert	848	8cm cal	4
STREET TREES				
	Street Tree 1	848	8cm cal	4
	Street Tree 2	848	6cm cal	6



NO.	BY	DESCRIPTION	DATE
4	PC	Revised for DP Review	Feb 18, 2020
3	PC	Revised for DP Review	Nov 18, 2019
2	PC	Revised for DP Review	June 28, 2019
1	PC	Issued for DP Review	Oct 30, 2018

REVISIONS TABLE FOR DRAWINGS
 *Original location: The revised set maps to the original at 100-4100 Ave may not be consistent or used to other plans unless otherwise noted.

NO.	BY	DESCRIPTION	DATE
REVISIONS TABLE FOR SHEET			
Project: Georgetown			
Location: 10232 Whalley Boulevard, Surrey, BC			
Drawn: PC	Stamp:		
Checked: PC			
Approved: DJ	Original Sheet Size: 24"x36"		
Scale: 1:500	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS ON THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS ON THE WORK.		



PLANT SCHEDULE PHASE 1

TREE	BOTANICAL / COMMON NAME	COHT	CAL	QTY
	Acer rubrum / Red Maple	BAB	6cm cal	5
	Aper x Freeman / Amelanchier / Amelanchier Freeman Mazer Uniform branching, nursery grown; dense tree, 1.5m (5' tall)	BAB	6cm cal	4
	Magnolia x Galixy / Galaxy Magnolia	BAB	6cm cal	3
	Parrotia persica Ruby Vase / Russian Parrotia	BAB	6cm cal	3
	Styrax japonicus Pink Chimes / Japanese Pink Snowbell Dwarf	BAB	6cm cal	4
STREET TREES	BOTANICAL / COMMON NAME	COHT	CAL	QTY
	Street Tree 1	BAB	6cm cal	4
	Street Tree 2	BAB	6cm cal	6

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1.2 LD-01	PROPOSED TREE See Critical Landscape Notes for Specifications
	3 LD-01	SHRUB PLANTING

SITE FURNISHINGS/LIGHTING

KEY	REF.	DESCRIPTION
	3 LD-03	TABLE AND CHAIRS Metal & Chrome, 40" x 60" x 75" Colour: Black Manufacturer: Landscape Forms Supplier: Landscape Forms Mount: Standard
	6 LD-03	SEAT STONE Material: # 719 F40 Colour: White, Granite Manufacturer: SLS Product
	1 LD-03	SEAT WALL
	5 LD-03	PLANTERPOT Material: Ivory Lin Supplier: Contractor
	7 LD-03	BOLLARD Material: # 44444 Material: Stainless Steel Mount: Standard Manufacturer: Landscape Forms
	7 LD-02	BIKE RACK Material: # 44444 Colour: Powder Coat/White Mount: Surface Supplier: Landscape Forms
	8 LD-03	MOVEABLE PLANTERS Colour: 50% Concrete Supplier: Designer/Client

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	5.6.7 LD-01	CONCRETE SLAB
	1 LD-02	HYDRAPRESSED SLAB Pattern: Tuck & Seal Colour: Natural Manufacturer: Advanced Concrete
	5.7 LD-01	CONCRETE SIDEWALK
	2 LD-02	CONCRETE PAVERS Pattern: Random Blend Colour: Brown Manufacturer: Advanced Concrete
	2 LD-02	CONCRETE PAVERS Pattern: Random Blend Colour: Charcoal, Dusted Sand Manufacturer: Advanced Concrete
	2 LD-02	CONCRETE PAVERS Pattern: Random Blend Colour: Natural Manufacturer: Advanced Concrete
	5 LD-02	RUBBER SURFACING
	8 LD-01	DRIP STRIP



No.	By	Description	Date
1	PC	Revised for DP Review	Feb 18, 2020
2	PC	Revised for DP Review	May 11, 2021
3	PC	Revised for DP Review	July 28, 2021
4	PC	Revised for DP Review	Oct 31, 2022

REVISIONS TABLE FOR DRAWINGS

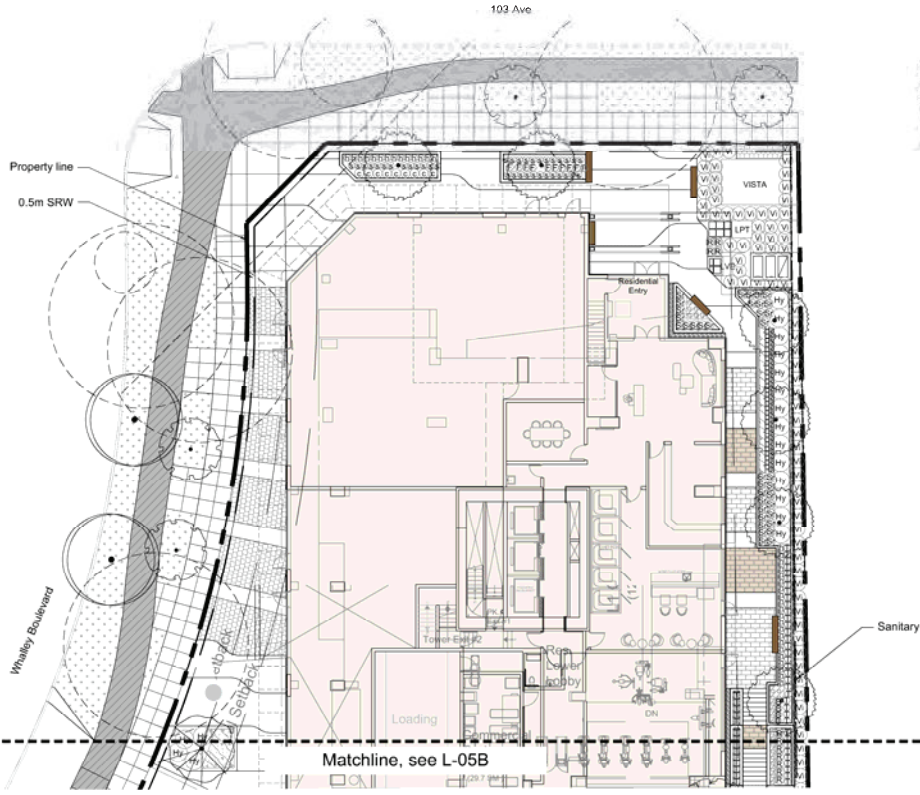
REVISIONS TABLE FOR SHEET

Project: **Georgetown**
 Location: **10232 Whalley Boulevard
 Surrey, BC**

Drawn: **PC**
 PW
 Checked: **PC**
 Approved: **CU**
 Stamp: **Original Stamp Size: 24"x36"**

Scale: **1:200**
 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE CONSULTANT AND SHALL BE RETURNED AT THE CONSULTANT'S OFFICE. ALL DIMENSIONS SHALL BE IN METERS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL LABEL ALL DIMENSIONS FOR THE CONSULTANT'S USE.

Z:\PROJECTS\GEOMETRIC\PROJECTS\DP2020-51\LANDSCAPE\L1\LANDSCAPE PLAN L1 - PH1.DWG (DATE: 10/31/2022)



PLANT SCHEDULE PHASE 1 1:150

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
B	Berberis temperata 'Softdown' / True Dwarf Barberry	#2	0.45m	78
Hr	Hydrangea paniculata 'Cardinalis' / Cardinal's Palace Hydrangea	#3	1.2m	29
Bl	Salicaria douglasii 'Blue Star' / Blue Star Juniper	#3	0.8m	37
R	Rhododendron x 'Ramapo' / Ramapo Rhododendron	#3	0.6m	118
Sr	Sarcococca rupefolia / Fragrant Sarcococca	#2	0.6m	36
St	Spiraea betulifolia 'Tor' / Birchleaf Spirea	#2	0.75m	23
T	Taxus x media 'Hicksii' / Hicks Yew	1.2m H.	0.45m	112
V	Viburnum davidii / David Viburnum	#2	0.9m	145
GRASSES	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
c	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	#1	0.6m	38
J	Imperata cylindrica 'Rubra' / Japanese Blood Grass	#1	0.75m	17
p	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass	#1	0.6m	24
F	Polystichum munium / Western Sword Fern	#2	0.5m	113
s	Stipa tenacissima / Mexican Feather Grass	#1	0.45m	73
PERENNIALS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
n	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	#1	0.45m	94
Ha	Heuchera villosa 'Autumn Bride' / Autumn Bride Heuchera	#1	0.3m	32
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Festuca glauca 'Beyond Blue' / Blue Fescue	#1	300mm	64
	Helleborus niger / Christmas Rose	#1	300mm	155
	Pachysandra terminalis 'Green Sheen' / Green Sheen Japanese Spurge	#1	380mm	94

No.	By	Description	Date
4	PC	Re-issued for DP Review	Feb. 18, 2022
3	PC	Re-issued for DP Review	Nov. 19, 2021
2	PC	Re-issued for DP Review	July 26, 2021
1	PC	Issued for DP Review	Oct. 30, 2020

REVISIONS TABLE FOR DRAWINGS

* Grouping together: The drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

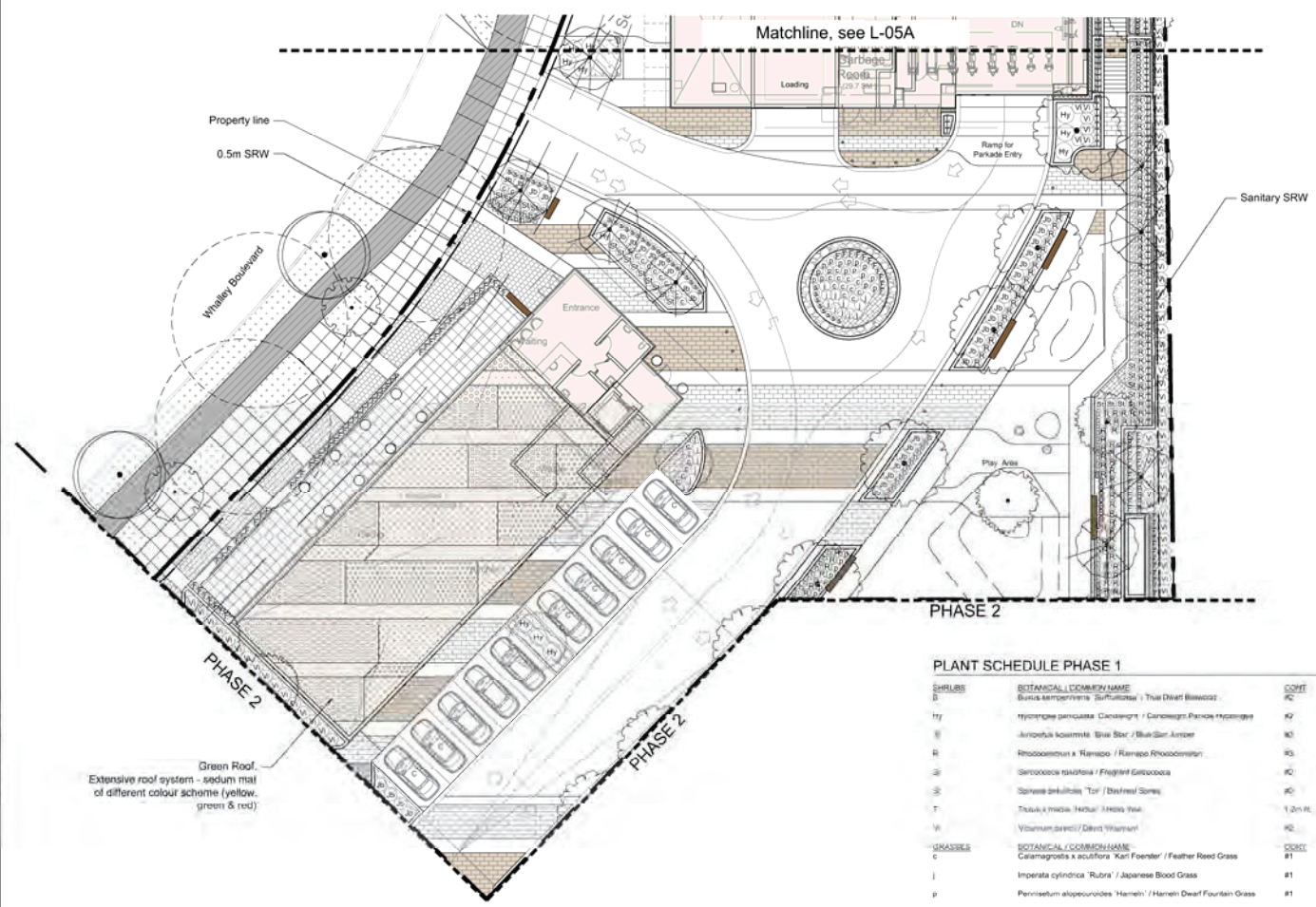
No.	By	Description	Date
REVISIONS TABLE FOR SHEET			
Project:			
Georgetown			
Location:			
10232 Whalley Boulevard Surrey, BC			

Scale: 1:150

Original Sheet Size: 34" x 20"

VDZ+A logo and project information.





PLANT SCHEDULE PHASE 1

SHRUBS		BOTANICAL / COMMON NAME	COUNT	SPACING	QTY
B	Buxus sempervirens	English Boxwood / True Dwarf Boxwood	42	0.45m	18
HY	Hydrangea paniculata	Clanvange / Grandiflora Panicle Hydrangea	42	1.3m	99
E	Arctostaphylos	Blue Star / Black Star Juniper	83	0.6m	17
R	Rhododendron x	Ranapo / Ranapo Rhododendron	83	0.6m	118
G	Senecio paludosus	English Groundsel	40	0.6m	38
S	Spirea palmata	Top / Distorted Spirea	40	0.75m	23
T	Thuja occidentalis	Arctic / Norway Spruce	1,2m H.	0.45m	142
V	Viburnum plicatum	Diablo Viburnum	42	0.6m	145
GRASSES		BOTANICAL / COMMON NAME	COUNT	SPACING	QTY
C	Carex acutiflora	Karl Foerster / Feather Reed Grass	81	0.6m	38
I	Imperata cylindrica	Rubra / Japanese Blood Grass	81	0.75m	17
P	Pennisetum alopecuroides	Hameln / Hameln Dwarf Fountain Grass	81	0.6m	24
F	Polystichum munitum	Western Sword Fern	82	0.5m	113
S	Stipa tenacissima	Mexican Feather Grass	81	0.45m	73
TRENBERGS		BOTANICAL / COMMON NAME	COUNT	SPACING	QTY
T	Hemerocallis	Star of Day / Black Day Day Lily	81	0.45m	81
H.L.	Heuchera	Autumn Bride / Autumn Bride Heuchera	81	0.6m	33
DRYED COVER		BOTANICAL / COMMON NAME	COUNT	SPACING	QTY
	Festuca ovina	Sheep Fescue / Blue Fescue	81	300mm	84
	Helleborus niger	Christmas Rose	81	300mm	155
	Polygonum viviparum	Green / Green / Green Green / Green Green / Green Green	81	300mm	84

Green Roof
 Extensive roof system - sedum mat
 of different colour scheme (yellow, green & red)

PHASE 2

PHASE 2

PHASE 2



No.	By	Description	Date
1	PC	Revised for DP Review	Feb 18, 2021
2	PC	Revised for DP Review	Mar 18, 2021
3	PC	Revised for DP Review	Jun 28, 2021
4	PC	Revised for DP Review	Oct 31, 2021

REVISIONS TABLE FOR DRAWINGS

REVISIONS TABLE FOR SHEET

Project: **Georgetown**

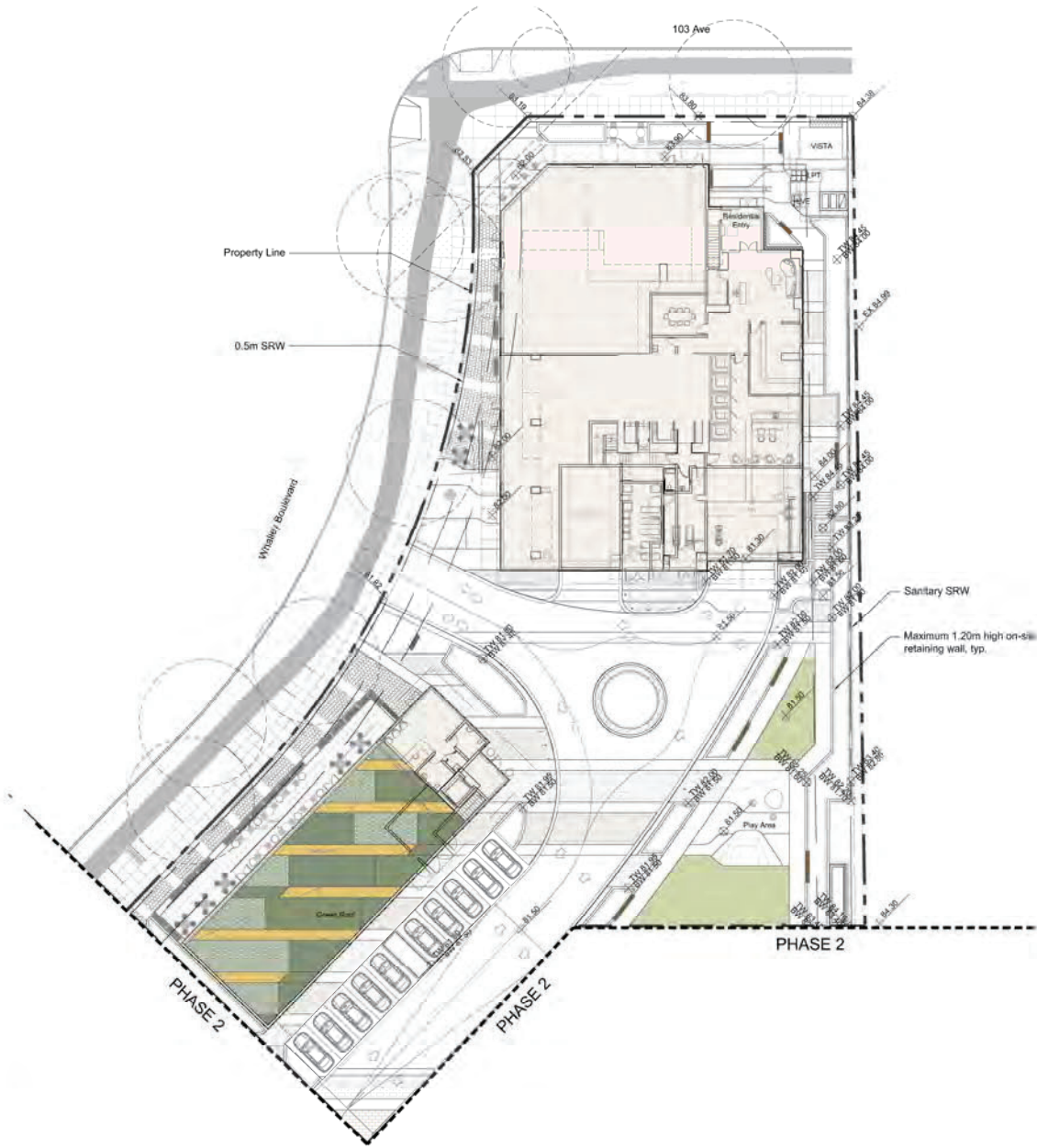
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 Surrey, BC**

Drawn by: **EU** Checked by: **PC**

Approved by: **EU** Original Date: **21/1/20**

Scale: **1:150**

DATE PLOTTED: 2021/05/13 10:58:12 AM



No.	By	Description	Date
1	PC	Issued for DP Review	Feb 18, 2020
2	PC	Revised for DP Review	May 18, 2021
3	PC	Revised for DP Review	July 28, 2021
4	PC	Issued for DP Review	Oct 30, 2020

REVISIONS TABLE FOR DRAWINGS

*Original location: The revised table is in the right of the table. If you may still be concerned about other people's drawings.

No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
Georgelown

Location:
10232 Whalley Boulevard
Surrey, BC

Drawn:
PC
FW

Checked:
PC

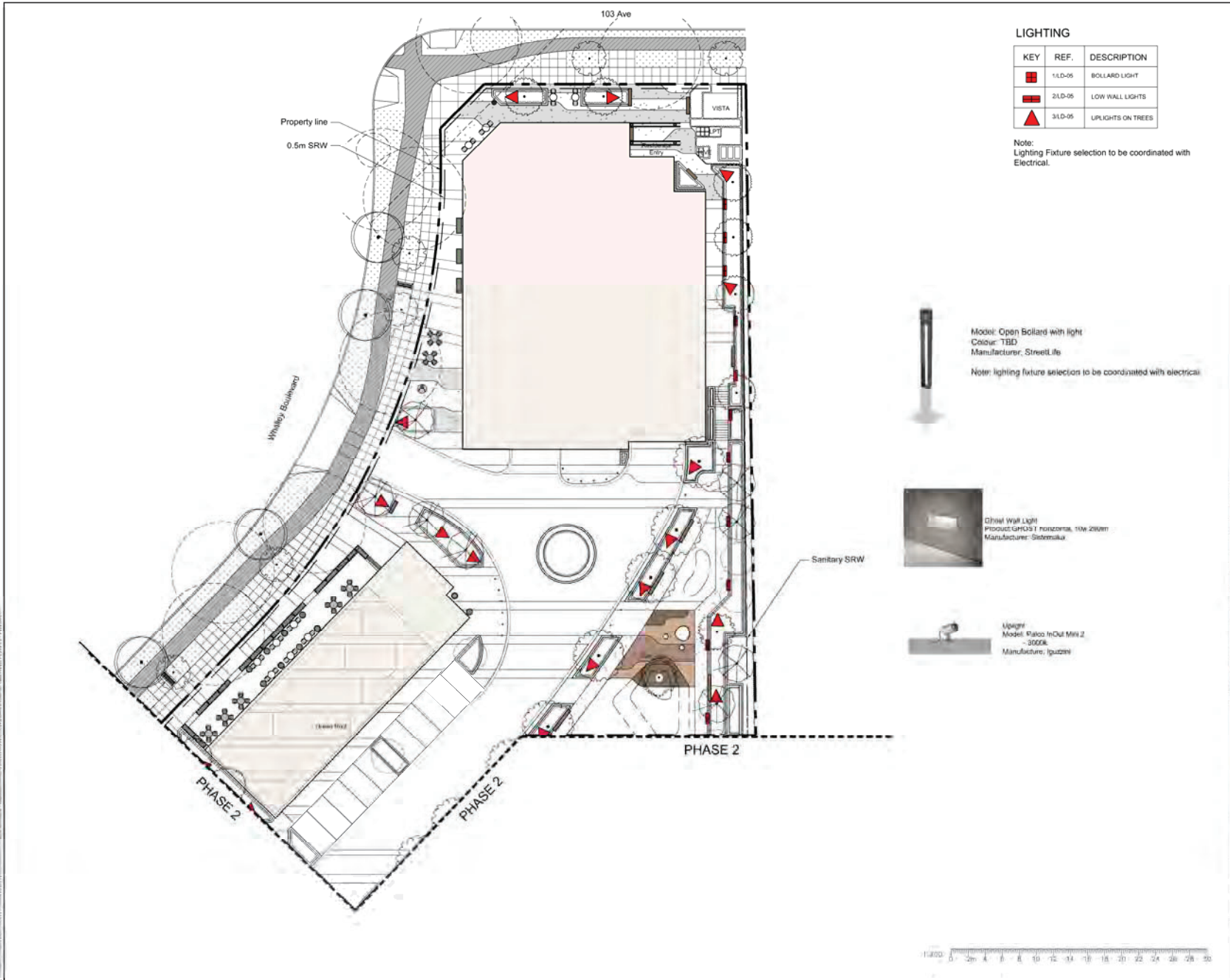
Approved:
DJ

Stamp:
Original Sheet Size:
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Scale:
1:200

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTING ENGINEER IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE OWNER AND NOT THE CONSULTING ENGINEER. ALL DIMENSIONS SHALL BE MEASURED FROM THE CONSTRUCTION UNLESS OTHERWISE NOTED FOR THE CONTRACTOR TO USE.





LIGHTING

KEY	REF.	DESCRIPTION
	1/LD-05	BOLLARD LIGHT
	2/LD-05	LOW WALL LIGHTS
	3/LD-05	UPLIGHTS ON TREES

Note:
Lighting Fixture selection to be coordinated with Electrical.



Model: Open Bollard with light
Colour: TBD
Manufacturer: Street life

Note: lighting fixture selection to be coordinated with electrical.



Model: Open Bollard with light
Product: GPHDS 1 horizontal, 10w 290mm
Manufacturer: Sotemaku



Model: Falso InOut Mini 2
- 3000K
Manufacturer: Iguazzi



VDZ+A
 ARCHITECTURE INTERIOR DESIGN LANDSCAPE ARCHITECTURE
 FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO
 100-9331 Church St | 100-353 Kingsway
 Fort Langley BC | Vancouver BC
 V5M 2M6 V5T 2T7
 www.vdz.ca 604-882-0024

Rev.	By	Description	Date
1	PC	Site Based For DP Review	Feb 18 2020
2	PC	Site Based For DP Review	Feb 18 2020
3	PC	Site Based For DP Review	Feb 18 2020
4	PC	Site Based For DP Review	Feb 18 2020
5	PC	Site Based For DP Review	Feb 18 2020

REVISIONS TABLE FOR SHEET

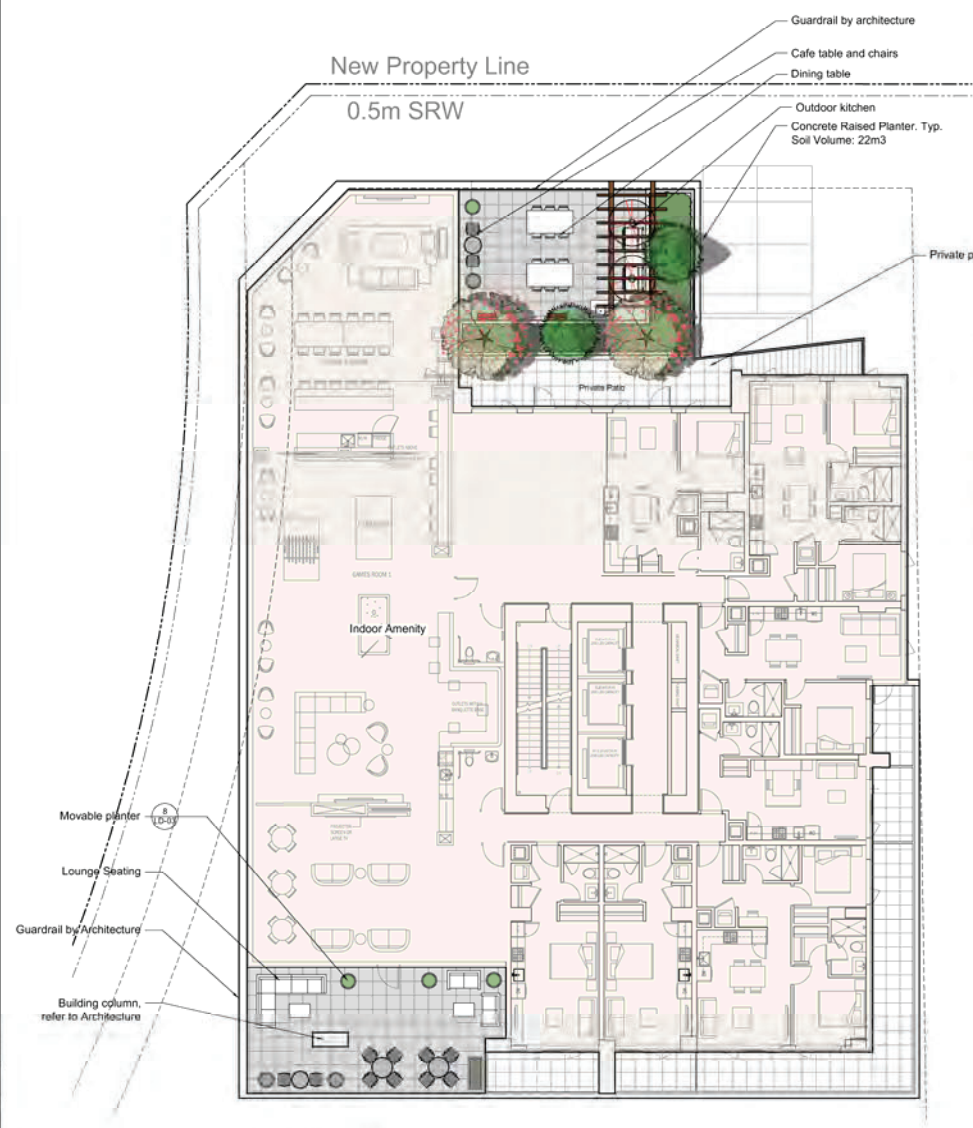
Project:
 Location: 10232 Whalley Boulevard, Surrey BC

Drawn:
 PC
 FW
 Checked:
 PC
 Approved:
 SU
 Original Date/Size:
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Scale: 1:200

Drawing Title: LIGHTING PLAN L1 - PH1
 Drawing #: L-07
 Project #: DP2020-51

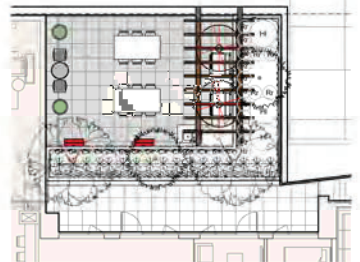
Z:\Projects\2020\2020-51\2020-51-LANDSCAPE PLAN L2 - PH1.DWG



1 LANDSCAPE PLAN
Scale: 1:50

- Guardrail by architecture
- Cafe table and chairs
- Dining table
- Outdoor kitchen
- Concrete Raised Planter. Typ. Soil Volume: 22m3

Private patio, refer to architecture



2 PLANTING PLAN
Scale: 1:50

- Movable planter (LD-03)
- Lounge Seating
- Guardrail by Architecture
- Building column, refer to Architecture

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1 LD-02	HYDRAPRESSED SCAB Pattern: Scab Bond Colour: Charcoal Manufacturer: AtlasBoard Concrete
	1 LD-02	HYDRAPRESSED SCAB Pattern: Scab Bond Colour: Natural Manufacturer: AtlasBoard Concrete
	3 LD-02	DECKING

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1,2 LD-01	PROPOSED TREE
	3 LD-01	SHRUB PLANTING

SITE FURNISHINGS

KEY	REF.	DESCRIPTION
	3 LD-03	TABLE AND CHAIRS Model #: 020000 30" 18x18 metal Colour: Silver Manufacturer: Landscape Forms Supplier: Landscape Forms Room: 00-00-00
	2 LD-03	BENCH
	1 LD-04	OUTDOOR LOUNGE
	5 LD-03	PLANTER/POT Model #: Iron Life Supplier: Compea

LIGHTING

KEY	REF.	DESCRIPTION
	2LD-05	WALL LIGHT
	3LD-05	UP LIGHT
	4LD-05	PENDEN LIGHT

Note: Lighting Fixture selection to be coordinated with Electrical.

PLANT SCHEDULE PHASE 1

TREE	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE
	<i>Acer saccharum</i> 'Sierki' / Sierki Japanese Maple	8B8	5cm cal.	
	<i>Prunus strobilus</i> 'Fragrantissima' / Fragrant White Plum	8B8	3cm H	
SHRUBS	BOTANICAL / COMMON NAME	CONT.	NATIVE	
	<i>Hydrangea paniculata</i> 'Limelight' / Limelight Panicle Hydrangea	82		
	<i>Rosa wichuraiana</i> 'Ramsey' / Ramsey Rose	82		
	<i>Saxifraga oppositifolia</i> / Dwarf Sax	82		
GRASSES	BOTANICAL / COMMON NAME	CONT.	NATIVE	
	<i>Cyperus tenuiflorus</i> 'Korn' / Dwarf Hair Grass	81		
DWARF CLOWERS	BOTANICAL / COMMON NAME	CONT.	NATIVE	
	<i>Thymus praecox</i> 'Sissinghurst' / Sissinghurst Dwarf Thyme	1501		



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REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
4	PC	Re-issued for DP Review	Feb 18, 2022
3	PC	Re-issued for DP Review	Nov 18, 2021
2	PC	Re-issued for DP Review	July 26, 2021
1	PC	Issued for DP Review	Oct 30, 2020

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

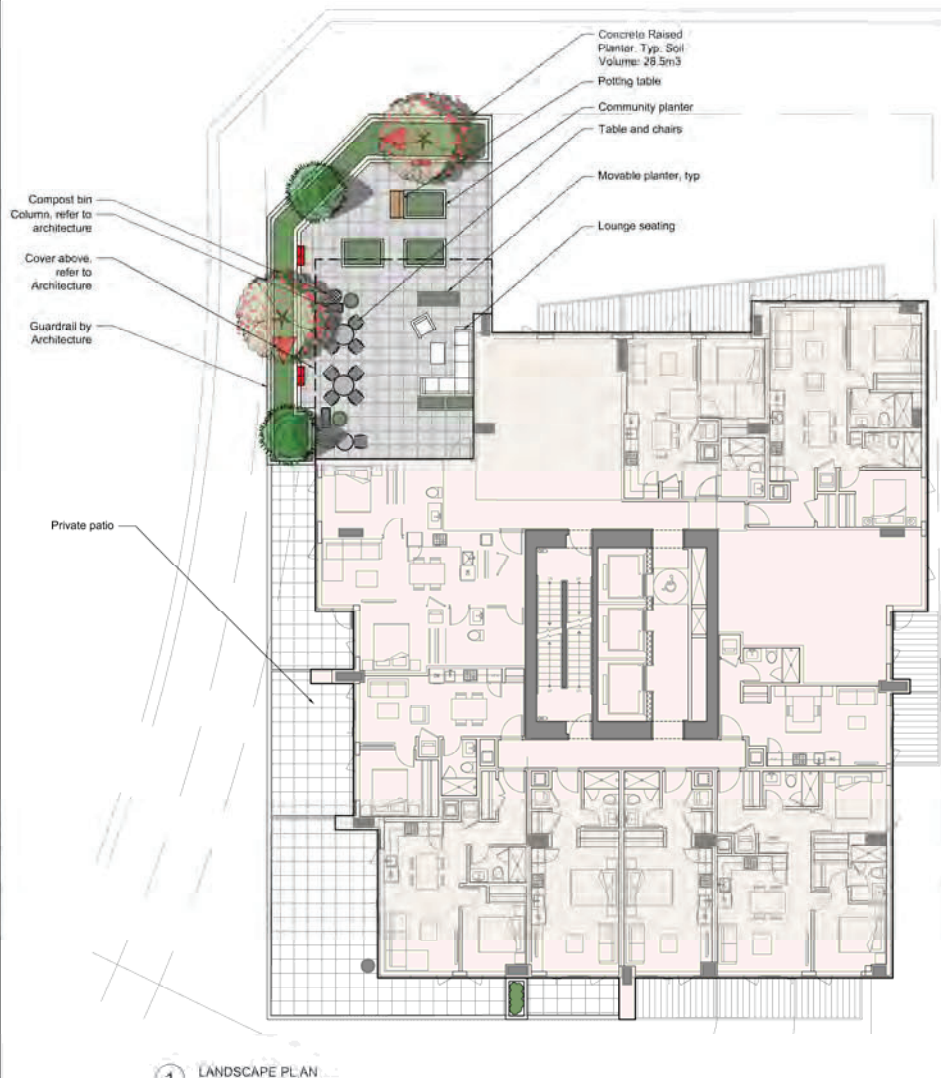
Project:
Georgetown

Location:
10232 Whalley Boulevard
Surrey, BC

Drawn PC	Stamp
Checked PC	
Approved SU	Original Design Sign. 21/23P

Scale:
1:50

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BC BUILDING ACT AND REGULATIONS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. VDZ+A IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. VDZ+A IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. VDZ+A IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.



1 LANDSCAPE PLAN
Scale 1:100



2 PLANTING PLAN
Scale 1:100

PLANT SCHEDULE

	BOTANICAL / COMMON NAME	CORT	CAL	SEE	QTY
TREES					
	<i>Acer palmatum</i> 'Sierri' / Sierri Japanese Maple	B&B	5cm cal		2
	<i>Pinus strobus</i> 'Fastigata' / Pyramidal White Pine	B&B		3m ht	2
SHRUBS					
	<i>Hydrangea paniculata</i> 'Candlelight' / Candlelight Panicle Hydrangea	PC	NATIVE		18
	<i>Rhododendron</i> 'Rampart' / Rampart Rhododendron	#3			33
GRASSES					
	<i>Festuca glauca</i> 'Beyond Blue' / Blue Fescue	CORT	NATIVE		23
PERENNIALS					
	<i>Hemerocallis</i> 'Stella de Oro' / Stella de Oro Daylily	PC	NATIVE		13
DWARF CONIFERS					
	<i>Thuja occidentalis</i> 'Emerald' / Emerald Green Arborvitae	CORT	NATIVE	1.8m ht	4



MATERIALS LEGEND

KEY	REF.	DESCRIPTION
	1 LD-02	HYDRAPRESSED SLAB Fiber Reinforced Concrete Concrete Reinforcement - Galvanized Corrosion
	3 LD-03	TABLE & CHAIRS
	1 LD-04	LOUNGE SEATING
	5 LD-03	PLANTER POT Metric 8 Liter Eco- Superior Composite
	8 LD-03	MOVEABLE PLANTER Metric 8 Liter - 17" x 14" x 12" Superior Composite
	1,2 LD-01	PROPOSED TREE
	3 LD-01	SHRUB PLANTING

LIGHTING

KEY	REF.	DESCRIPTION
	2 LD-05	WALL LIGHT
	3 LD-05	UPLIGHT

Note:
Lighting Fixture selection to be coordinated with Electrical.

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No.	By	Description	Date
4	PC	Re-issued for DP Review	Feb. 18, 2022
3	PC	Re-issued for DP Review	Nov. 18, 2021
2	PC	Re-issued for DP Review	July 26, 2021
1	PC	Issued for DP Review	Oct. 30, 2020

REVISIONS TABLE FOR DRAWINGS

* Changes to drawings, the drawings and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project: Georgelown	Location: 10232 Whalley Boulevard Surrey, BC
Drawn: PC	Stamp:
Checked: PC	
Approved: SU	Original Stamp Size: 31" x 39"

Scale:
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VDZ+A PROJECT NO. 2020-51
DATE: 2022-02-18

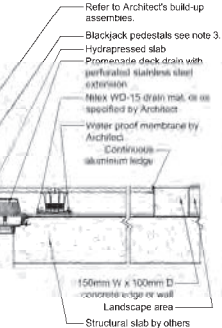
Drawing Title: LANDSCAPE PLAN L3 - PH1

VDZ Project #: DP2020-51

Drawing #: L-09

Z:\Projects\2020\2020-51\10232 Whalley Boulevard (PH1)\L3 - PH1\L3 - PH1.DWG

Unit Paver Details:
 Type: Texaco
 Size: 610 X 610 X 50mm
 Colours: Natural
 Manufacturer: Absolutford Concrete
 (804) 852-4967

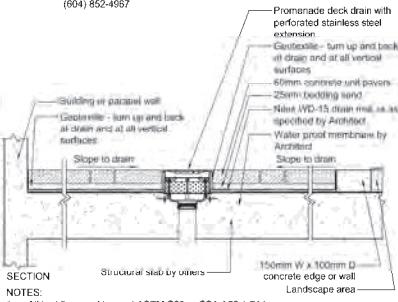


SECTION

- NOTES:**
1. All components as specified or approved alternate.
 2. Contractor to provide cut sheets of all components for Landscape Architect approval.
 3. Blackjack Screwjack or OneStep system depending on depth to slab.
 4. Aluminum ledge to be secured to wall/curb with concrete screws.

1 HYDRAPRESSED SLAB
 Scale 1:10

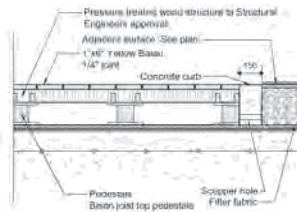
Unit Paver Details:
 Type: Classic California
 Size: 301mm X 151mm X 80mm
 Colours: Charcoal / Natural. Refer to plans.
 Manufacturer: Absolutford Concrete
 (804) 852-4967



SECTION

- NOTES:**
1. All bedding sand to meet ASTM C33 or CSA A23.1 FA.1.
 2. All joint sand to meet ASTM C144 or CSA A179.
 3. All components as specified or approved alternate.
 4. Contractor to provide cut sheets of all components for Landscape Architect approval.
 5. Contractor to ensure no visible pooling occurs on paver surface.
 6. All joints to be tight fit.
 7. All paver cuts to be minimum 1/2 Paver.

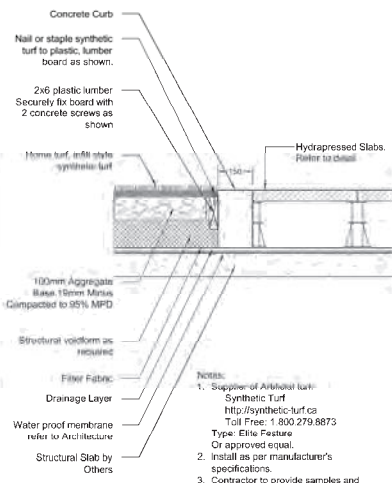
2 UNIT PAVERS
 Scale 1:10



SECTION

- NOTES:**
1. All bedding sand to meet ASTM C33 or CSA A23.1 FA.1.
 2. All joint sand to meet ASTM C144 or CSA A179.
 3. All components as specified or approved alternate.
 4. Contractor to provide cut sheets of all components for Landscape Architect approval.
 5. Contractor to ensure no visible pooling occurs on paver surface.
 6. All joints to be tight fit.
 7. All paver cuts to be minimum 1/2 Paver.

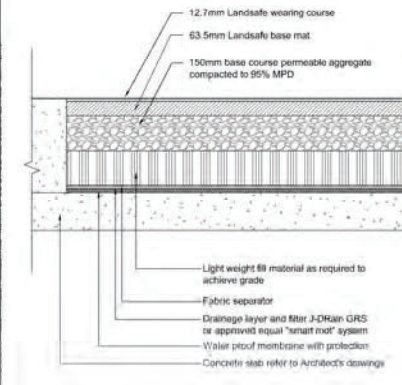
3 DECKING
 Scale 1:20



SECTION

- NOTES:**
1. Supplier of Artificial Turf: Synthetic Turf Co. <http://synthetic-turf.ca> Toll Free: 1 800 279 8873 Type: Elite Feature Or approved equal.
 2. Install as per manufacturer's specifications.
 3. Contractor to provide samples and product data sheet to landscape architect for approval prior to turf purchase and installation.

4 ARTIFICIAL TURF ON SLAB
 Scale 1:10



5 RUBBER SURFACING ON SLAB
 Scale 1:10



1.2m Height Picket Fence with Gate

6 PICKET FENCE WITH GATE
 Scale NTS



Model: Role Bike Rack
 Material: Aluminum
 Manufacturer: Landscape Forms or approved equal

7 BIKE RACK
 Scale NTS



Model: Lakestar green top open
 Colour: Silver
 Mount: as per Manufacturer's Specifications
 Manufacturer: Landscape Forms or approved equal

8 WASTE RECEPTACLE
 Scale NTS

VDZ+A
 VISION DESIGN ZONE ARCHITECTURE
 FORT LANGLEY STUDIO: MOUNT PLEASANT STUDIO
 160-5331 Church St | 503-553 Kingway
 Fort Langley BC | Surrey BC
 V3M 2G8 | V3T 3J7
 www.vdz.ca | 604 802 0224

No.	By	Description	Date
4	PC	Re-issued for DP Review	Feb 18, 2021
3	PC	Re-issued for DP Review	Nov 18, 2021
2	PC	Re-issued for DP Review	July 26, 2021
1	PC	Issued for DP Review	Oct 30, 2020
No.	By	Description	Date

REVISIONS TABLE FOR DRAWINGS
 *Change marked. The drawing date stamp in the project of V2020-51 may not be representative of other projects without permission.

No.	By	Description	Date
REVISIONS TABLE FOR SHEET			
Project: Georgelown			
Location: 10232 Whalley Boulevard Surrey, BC			

Drawn: PC	Stamp:
Checked: PC	
Approved: DJ	Original Date/Sign. 31/12/21
Scale:	
AS SHOWN	

Drawing Title: **DETAILS**
 V2020-51
 Drawing #: **LD-02**



1 SEAT WALL
Scale NTS



Model: FGP Bench Backed 70"
Colour: Cast aluminum supports with a wood seating surface
Manufacturer: Landscape Forms
or approved equal

2 BENCH
Scale NTS



Model: Chipman 30" dining w/ armless chairs
Colour: Silver
Manufacturer: Landscape Forms
or approved equal

3 TABLE & CHAIRS
Scale NTS



DINING TABLE
Model #: ACT82100-BH-8 ANCORA BAR HEIGHT TABLE
Colour: Silver

CHAIR
Model #: FRC1700-BH-MSF BAR HEIGHT FORD STUOL SERIES
Colour: Silver

Manufacturer: Magin
www.magin.com
1-800-716-5506

4 DINING TABLE
Scale NTS



1A Size: 26.75"W x 31.5"H
15.75"W x 18.50"H
11.00"W x 13.00"H
Ivory Lite
1B Size: 26.75"W x 31.50"H
15.75"W x 18.50"H
11.00"W x 13.00"H
Onyx
Black Lite
Ivory Lite

Supplier: Camparis (or approved equal)
Item Style: Bradford Planter (S14)

5 PLANTING POT
Scale NTS



SEAT STONE:
Model: Cast Stone
Colour: Anthracite
Manufacturer: EIS-Product
http://eisproduct.com/
1-310-392-8887

6 MOON STONE BENCH
Scale NTS



Model #: RR400
Material: Stainless Steel
Mount: Embedded
Manufacturer: Reliance Foundry

7 BOLLARD
Scale NTS

Revisions	No.	By	Description	Date
4	PC		Re-issued for DP Review	Feb 18, 2021
3	PC		Re-issued for DP Review	Nov 18, 2020
2	PC		Re-issued for DP Review	July 26, 2021
1	PC		Issued for DP Review	Oct 30, 2020



Moveable Planters
Size: as per plan
Manufacturer: c3
https://c3planters.com/

8 MOVEABLE PLANTER
Scale NTS

No.	By	Description	Date
REVISIONS TABLE FOR DRAWINGS			
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REVISIONS TABLE FOR SHEET			
Project: Georgetown			
Location: 10232 Whalley Boulevard Surrey, BC			
Drawn PC	Stamp		
Checked PC	AS SHOWN		
Approved: DJ	Original Sheet Size: 21" x 36"		
Scale: AS SHOWN	CONSTRUCTION DETAILS: THESE DRAWINGS ARE FOR INFORMATION ONLY. THEY DO NOT CONSTITUTE A CONTRACT. ANY CHANGES TO THE DRAWINGS MUST BE APPROVED BY THE ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.		



1 LOUNGE SEATING
Scale NTS



2 TRELLIS
Scale NTS



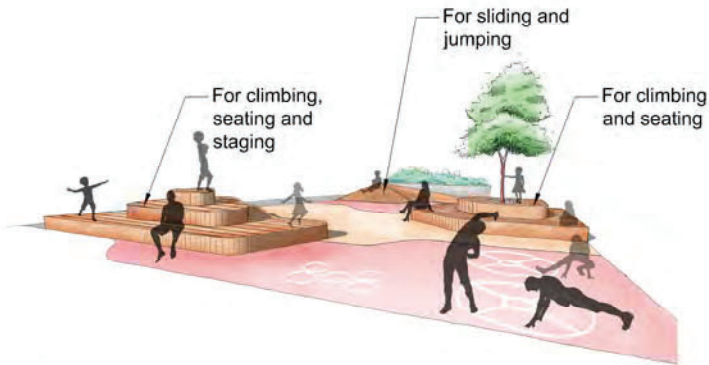
BUILT-IN GRILL
Model: Aurora Ab404
Material: Stainless Steel
Size: 32" W x 19 1/2" D x 12" H
Supplier: Fire Magic 1-800-332-3973
or approved equal

3 OUTDOOR KITCHEN
Scale NTS



Manufacturer: Dekko or approved equal
Model: Belmont
Colour: Natural

4 FIRE PIT
Scale NTS



SEAT & PLAY WOODEN STRUCTURE

5 SEAT/PLAY STRUCTURE
Scale NTS



6 COMMUNITY GARDEN PLANTERS
Scale NTS



POTTING TABLE
Model #: 6593205
Size: 45-1/2" W x 59" H x 23-3/4" deep overall
Material: Wood
Supplier: Gardener's Supply Company
www.gardeners.com



CEDAR COMPOST BIN
Model #: 8587527
Size: 28" Square x 37" H
Material: Cedar, aluminum
Supplier: Gardener's Supply Company
www.gardeners.com

7 POTTING TABLE & COMPOST BIN
Scale NTS

#	PC	Re-issued for DP Review	Feb. 18, 2021
#	PC	Re-issued for DP Review	May 18, 2021
#	PC	Re-issued for DP Review	July 26, 2021
#	PC	Issued for DP Review	Oct 30, 2020

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
Georgetown
Location:
10232 Whalley Boulevard
Surrey, BC

Drawn PC	Stamp:
Checked PC	
Approved DJ	Original Sheet Size 21" x 35"

Scale:
AS SHOWN
CONSTRUCTION SHALL INCLUDE ALL DETAILS OF THE WORK AND ACCORDING TO THE DRAWINGS. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.



Model: Open Boilero with light
 Colour: TBD
 Manufacturer: StreetLife

Note: lighting fixture selection to be coordinated with electrical.

1 BALLARD LIGHT
 Scale NTS



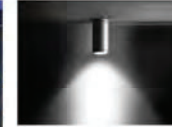
Ghost Wall Light
 Product: GHOST horizontal, 10w, 230mm
 Manufacturer: Simermika

2 LOWER WALL LIGHT
 Scale NTS



Uplight
 Model: Falco In-Dul Mini 2
 - 3000k
 Manufacturer: Iguzzini

3 UPLIGHT
 Scale NTS



EXAMPLE: PENDANT LIGHTS

PENDANT LIGHT
 Type: Moreside Round
 Colour: Black
 Manufacturer: Sistemakur
 www.sistemakur.com
 604 215 1539
 Supplier: CDM2 Lightworks
 Contact: Nicole Meints
 604-880-4480

Note: lighting fixture selection to be coordinated with electrical.

4 PENDANT LIGHT
 Scale NTS

4	PC	Re-issued for DP Review	Feb 18, 2022
3	PC	Re-issued for DP Review	Nov 30, 2021
2	PC	Re-issued for DP Review	July 26, 2021
1	PC	Issued for DP Review	Oct 30, 2020

Rev	By	Description	Date

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Rev	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
 Georgetown

Location:
 10232 Whalley Boulevard
 Surrey, BC

Drawn: PC	
Checked: PC	
Approved: DJ	
Scale: As SHOWN	



IBI GROUP
Suite 700 – 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 8797 fax 604 683 0492
ibigroup.com



ANTHEM PROPERTIES
Suite 1100 Bentall IV Box 49200
1055 Dunsmuir Street
Vancouver BC Canada V7X 1K8



10232 Whalley Blvd

10232 Whalley Boulevard

General DP of All Phases

2022-02-18

Surrey, BC

10232 Whalley Blvd - Phases 1, 2&3

Site 4 - Proposed Development

Project Description: These Plans consist of the following: Phase 1 - 400 units (200 townhouses (100 townhouses) and 200 townhouses) with a 4-story office building; Phase 2 - 400 units (200 townhouses (100 townhouses) and 200 townhouses) with a 4-story office building; Phase 3 - 400 units (200 townhouses (100 townhouses) and 200 townhouses) with a 4-story office building. (See drawings for details.)

City Address: 10232 Whalley Boulevard, Surrey BC
Legal Address: LOT 48 BLOCK 28 SECTION 28 RANGE 6V PLAN 1079882 BC 2010

OWNER (OWNERS BY): Anthem Properties
Current zoning: S-4
Adjacent zoning: S-4
Approved by: SR

SURREY CITY CENTRE PLAN		PLAN NUMBER 2015, Official Community Plan	
Current	Proposed	Current	Proposed
Use	S-4	Zone	SR
Max Height	10.0 m	Development	Medium-Density Residential (MDR)
Setback	SR-48 Setback	Signage	SR-48 Signage

EXISTING LAND USE: 4-storey office building & surface parking

Notes: SR-48 SECTION PHASE 2-3 for high-rise (medium-density residential)

	Use	Net Area		Exclusions		Gross Area	
		Area (sq m)	Area (sq ft)	Area (sq m)	Area (sq ft)	Area (sq m)	Area (sq ft)
Phase 1	Office	4,000.00	42,900.00	0.00	0.00	4,000.00	42,900.00
Phase 2	Office	4,000.00	42,900.00	0.00	0.00	4,000.00	42,900.00
Phase 3	Office	4,000.00	42,900.00	0.00	0.00	4,000.00	42,900.00
Total		12,000.00	128,700.00	0.00	0.00	12,000.00	128,700.00

FLOOR AREA (FAR) CALCULATIONS

Exclusions	FAR (Net Area)		Proposed FAR Area	
	Area (sq m)	Area (sq ft)	Area (sq m)	Area (sq ft)
None Existing	0.00	0.00	12,000.00	128,700.00
None Proposed	0.00	0.00	12,000.00	128,700.00
Total FAR	0.00	0.00	12,000.00	128,700.00

Exclusions	FAR (Net Area)		Proposed FAR Area	
	Area (sq m)	Area (sq ft)	Area (sq m)	Area (sq ft)
Phase 1	4,000.00	42,900.00	4,000.00	42,900.00
Phase 2	4,000.00	42,900.00	4,000.00	42,900.00
Phase 3	4,000.00	42,900.00	4,000.00	42,900.00
Total Area	12,000.00	128,700.00	12,000.00	128,700.00

Phase 1	Proposed FAR (Net Area)		Proposed Exclusions		Proposed FAR Area	
	Area (sq m)	Area (sq ft)	Area (sq m)	Area (sq ft)	Area (sq m)	Area (sq ft)
Office	4,000.00	42,900.00	0.00	0.00	4,000.00	42,900.00
Total	4,000.00	42,900.00	0.00	0.00	4,000.00	42,900.00

Phase 2	Proposed FAR (Net Area)		Proposed Exclusions		Proposed FAR Area	
	Area (sq m)	Area (sq ft)	Area (sq m)	Area (sq ft)	Area (sq m)	Area (sq ft)
Office	4,000.00	42,900.00	0.00	0.00	4,000.00	42,900.00
Total	4,000.00	42,900.00	0.00	0.00	4,000.00	42,900.00

Phase 3	Proposed FAR (Net Area)		Proposed Exclusions		Proposed FAR Area	
	Area (sq m)	Area (sq ft)	Area (sq m)	Area (sq ft)	Area (sq m)	Area (sq ft)
Office	4,000.00	42,900.00	0.00	0.00	4,000.00	42,900.00
Total	4,000.00	42,900.00	0.00	0.00	4,000.00	42,900.00

SITE COVERAGE CALCULATIONS

Area (sq m)	Area (sq ft)	Percentage (%)
17,400.00	186,800.00	13.51%
Phase 1	4,000.00	11.61%
Phase 2	4,000.00	11.61%
Phase 3	4,000.00	11.61%
Total	12,000.00	34.83%

BUILDING SETBACKS - Phase 1

Property Line	Setback (m)		Setback (ft)	
	Minimum	Maximum	Minimum	Maximum
Front Yard	3.00	10.00	9.84	32.81
Side Yard	1.50	1.50	4.92	4.92
Rear Yard	3.00	3.00	9.84	9.84

BUILDING SETBACKS - Phase 2

Property Line	Setback (m)		Setback (ft)	
	Minimum	Maximum	Minimum	Maximum
Front Yard	3.00	10.00	9.84	32.81
Side Yard	1.50	1.50	4.92	4.92
Rear Yard	3.00	3.00	9.84	9.84

BUILDING SETBACKS - Phase 3

Property Line	Setback (m)		Setback (ft)	
	Minimum	Maximum	Minimum	Maximum
Front Yard	3.00	10.00	9.84	32.81
Side Yard	1.50	1.50	4.92	4.92
Rear Yard	3.00	3.00	9.84	9.84

HEIGHT OF BUILDINGS (MEASURED FROM LOBBY LEVEL)

Maximum Height of Towers: 38 storeys (Existing Whalley Blvd)

Maximum # of Floors: 38 storeys (Existing Whalley Blvd)

Lot/Land Elevation: 84.3 m

FLOOR RATIO SIZES

Tower	Tower 01		Tower 02		Tower 03	
	Area (sq m)	Area (sq ft)	Area (sq m)	Area (sq ft)	Area (sq m)	Area (sq ft)
Max. Permitted Floor Plate Size	800.0	8,580.0	800.0	8,580.0	800.0	8,580.0
Proposed Floor Plate Size	700.0	7,517.0	700.0	7,517.0	700.0	7,517.0

UNIT COUNT

Type	Units	1 Bedroom	2 Bedroom	3 Bedroom	Total	Adaptable Units
Tower 1 / Phase 1	20	10	10	0	40	10
Tower 2 / Phase 2	20	10	10	0	40	10
Tower 3 / Phase 3	20	10	10	0	40	10
Total	60	30	30	0	120	30

PHASE 1 - PHASE 2 - PHASE 3 - TOWER 1 - TOWER 2 - TOWER 3

Phase / Tower	Tower 1	
	Area (sq m)	Area (sq ft)
Sub-area Required	700.0	7,517.0
Excluded	1,000.0	10,764.0
Total	3,000.0	32,281.0

PHASE 2 - TOWER 2

Phase / Tower	Tower 2	
	Area (sq m)	Area (sq ft)
Sub-area Required	700.0	7,517.0
Excluded	1,000.0	10,764.0
Total	3,000.0	32,281.0

PHASE 3 - TOWER 3

Phase / Tower	Tower 3	
	Area (sq m)	Area (sq ft)
Sub-area Required	700.0	7,517.0
Excluded	1,000.0	10,764.0
Total	3,000.0	32,281.0

PHASE 1 - TOWER 1

Phase / Tower	Tower 1	
	Area (sq m)	Area (sq ft)
Sub-area Required	700.0	7,517.0
Excluded	1,000.0	10,764.0
Total	3,000.0	32,281.0

PHASE 2 - TOWER 2

Phase / Tower	Tower 2	
	Area (sq m)	Area (sq ft)
Sub-area Required	700.0	7,517.0
Excluded	1,000.0	10,764.0
Total	3,000.0	32,281.0

PHASE 3 - TOWER 3

Phase / Tower	Tower 3	
	Area (sq m)	Area (sq ft)
Sub-area Required	700.0	7,517.0
Excluded	1,000.0	10,764.0
Total	3,000.0	32,281.0

Notes:

Minimum Required:
 min. height: 8 storeys; min. requirement: Phase 1 - 1 sqm per unit and 1 sqm per unit (Phase 2/3)
 min. height: 8 storeys; min. requirement: Phase 2 - 1 sqm per unit and 1 sqm per unit (Phase 1/3)
Notes:
 1) Outdoor amenity space: 1 sqm per unit
 2) Outdoor amenity space: 1 sqm per unit



ANTHEM PROPERTIES
 SUITE 300-550 BURNARD STREET
 VANCOUVER BC V6C 2B5

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ISSUES:

No.	DESCRIPTION	DATE
1001		
1002		
1003		
1004		
1005		
1006		
1007		

KEY PLAN

CONSULTANTS

SEAL



PROJECT: 10232 Whalley Blvd

PROJECT NO.: 120071

DRAWN BY: FX

CHECKED BY: GV

PROJECT MGR: GV

APPROVED BY: ---

SHEET TITLE: General Statistics

SHEET NUMBER: A0.02

ISSUE:

DATE:

BY:

DATE:

BY:

DATE:

BY:

DATE:

BY:

DATE:

BY:

DATE:

BY:

DATE:

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PHASE 3 - PARKING STATISTICS

REVISIONS

Revisions table with columns: Revision No., Description, Date.

REVISIONS

Revisions table with columns: Revision No., Description, Date.

PHASE 3 - PARKING STATISTICS

Summary text for Phase 3 parking statistics.

Use	Residential (Units)	Commercial (Units)	Industrial (Units)	Public (Units)	Commercial (Units)	Garage (Units)	Total
Residential	100						100
Commercial		50					50
Industrial			20				20
Public				10			10
Commercial					30		30
Garage						50	50
Total	100	50	20	10	30	50	260

Use	Residential (Units)	Commercial (Units)	Industrial (Units)	Public (Units)	Commercial (Units)	Garage (Units)	Total
Residential	100						100
Commercial		50					50
Industrial			20				20
Public				10			10
Commercial					30		30
Garage						50	50
Total	100	50	20	10	30	50	260

Use	Residential (Units)	Commercial (Units)	Industrial (Units)	Public (Units)	Commercial (Units)	Garage (Units)	Total
Residential	100						100
Commercial		50					50
Industrial			20				20
Public				10			10
Commercial					30		30
Garage						50	50
Total	100	50	20	10	30	50	260

Use	Residential (Units)	Commercial (Units)	Industrial (Units)	Public (Units)	Commercial (Units)	Garage (Units)	Total
Residential	100						100
Commercial		50					50
Industrial			20				20
Public				10			10
Commercial					30		30
Garage						50	50
Total	100	50	20	10	30	50	260

Use	Residential (Units)	Commercial (Units)	Industrial (Units)	Public (Units)	Commercial (Units)	Garage (Units)	Total
Residential	100						100
Commercial		50					50
Industrial			20				20
Public				10			10
Commercial					30		30
Garage						50	50
Total	100	50	20	10	30	50	260

Use	Residential (Units)	Commercial (Units)	Industrial (Units)	Public (Units)	Commercial (Units)	Garage (Units)	Total
Residential	100						100
Commercial		50					50
Industrial			20				20
Public				10			10
Commercial					30		30
Garage						50	50
Total	100	50	20	10	30	50	260

Use	Residential (Units)	Commercial (Units)	Industrial (Units)	Public (Units)	Commercial (Units)	Garage (Units)	Total
Residential	100						100
Commercial		50					50
Industrial			20				20
Public				10			10
Commercial					30		30
Garage						50	50
Total	100	50	20	10	30	50	260

Use	Residential (Units)	Commercial (Units)	Industrial (Units)	Public (Units)	Commercial (Units)	Garage (Units)	Total
Residential	100						100
Commercial		50					50
Industrial			20				20
Public				10			10
Commercial					30		30
Garage						50	50
Total	100	50	20	10	30	50	260

PHASE 3 - PARKING STATISTICS

Use	Residential (Units)	Commercial (Units)	Industrial (Units)	Public (Units)	Commercial (Units)	Garage (Units)	Total
Residential	100						100
Commercial		50					50
Industrial			20				20
Public				10			10
Commercial					30		30
Garage						50	50
Total	100	50	20	10	30	50	260

Use	Residential (Units)	Commercial (Units)	Industrial (Units)	Public (Units)	Commercial (Units)	Garage (Units)	Total
Residential	100						100
Commercial		50					50
Industrial			20				20
Public				10			10
Commercial					30		30
Garage						50	50
Total	100	50	20	10	30	50	260

Use	Residential (Units)	Commercial (Units)	Industrial (Units)	Public (Units)	Commercial (Units)	Garage (Units)	Total
Residential	100						100
Commercial		50					50
Industrial			20				20
Public				10			10
Commercial					30		30
Garage						50	50
Total	100	50	20	10	30	50	260

Use	Residential (Units)	Commercial (Units)	Industrial (Units)	Public (Units)	Commercial (Units)	Garage (Units)	Total
Residential	100						100
Commercial		50					50
Industrial			20				20
Public				10			10
Commercial					30		30
Garage						50	50
Total	100	50	20	10	30	50	260



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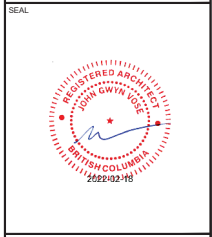
ISSUES

No.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

KEY PLAN

CONSULTANTS



IBI GROUP ARCHITECTS (CANADA) INC.
Suite 700 - 2885 West Pender Street
Vancouver BC V6E 4B1 Canada
Tel: 604 683 8797 Fax: 604 683 0482
ibi@group.com

PROJECT
10232 Whalley Blvd

10232 Whalley Boulevard, Surrey, B.C.

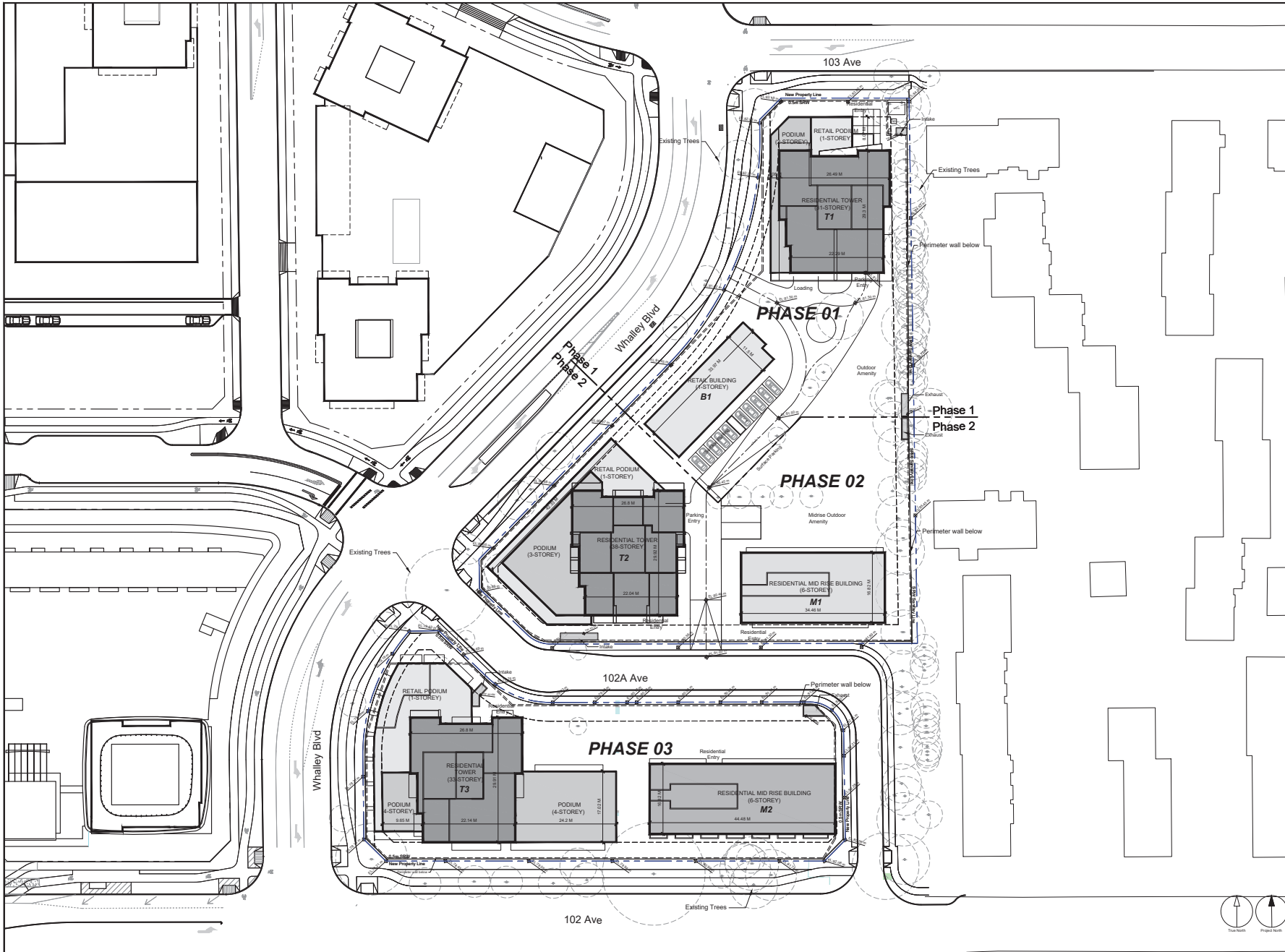
PROJECT NO:
120071

DRAWN BY: FX
CHECKED BY: GV
PROJECT MGR: GV
APPROVED BY: ---

SHEET TITLE
Parking Statistics - Phase 3

SHEET NUMBER A0.08

File Location: \\15007-1-03-2006-04-03-Drawing\0600-General\A008-Parking_Statistics - Phase 3.dwg Plot Date: February 18, 2022 2:05:54 PM Project No:



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Anthem
ANTHEM PROPERTIES
 SUITE 300-550 BURKARD STREET
 VANCOUVER BC V6C 2B5

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ISSUES

No.	DESCRIPTION	DATE

IBI Group Architects (Canada) Inc.
 is a member of the IBI Group of Companies

NOT FOR CONSTRUCTION

KEY PLAN

CONSULTANTS

SEAL

REGISTERED ARCHITECT
BRITISH COLUMBIA
 2022-02-18

IBI IBI GROUP ARCHITECTS (CANADA) INC.
 Suite 700 - 1285 West Pender Street
 Vancouver BC V6E 4B1 Canada
 Tel: 604 683 8797 Fax: 604 683 0482
 ibigroup.com

PROJECT
 10232 Whalley Blvd
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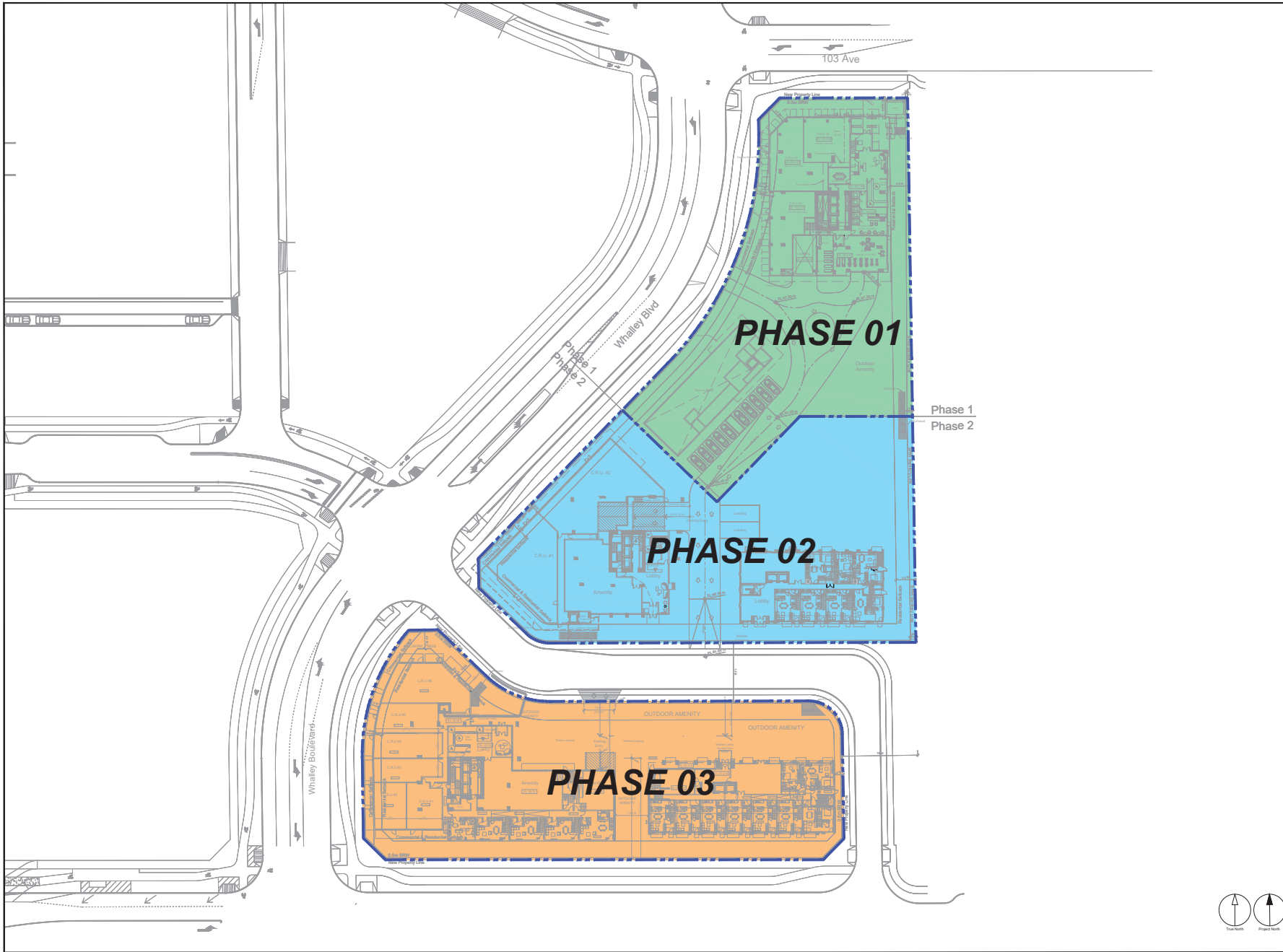
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PROJECT MGR: GV
APPROVED BY: GV

SHEET TITLE
 Site Plan

SHEET NUMBER A0.10 **ISSUE**



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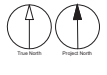
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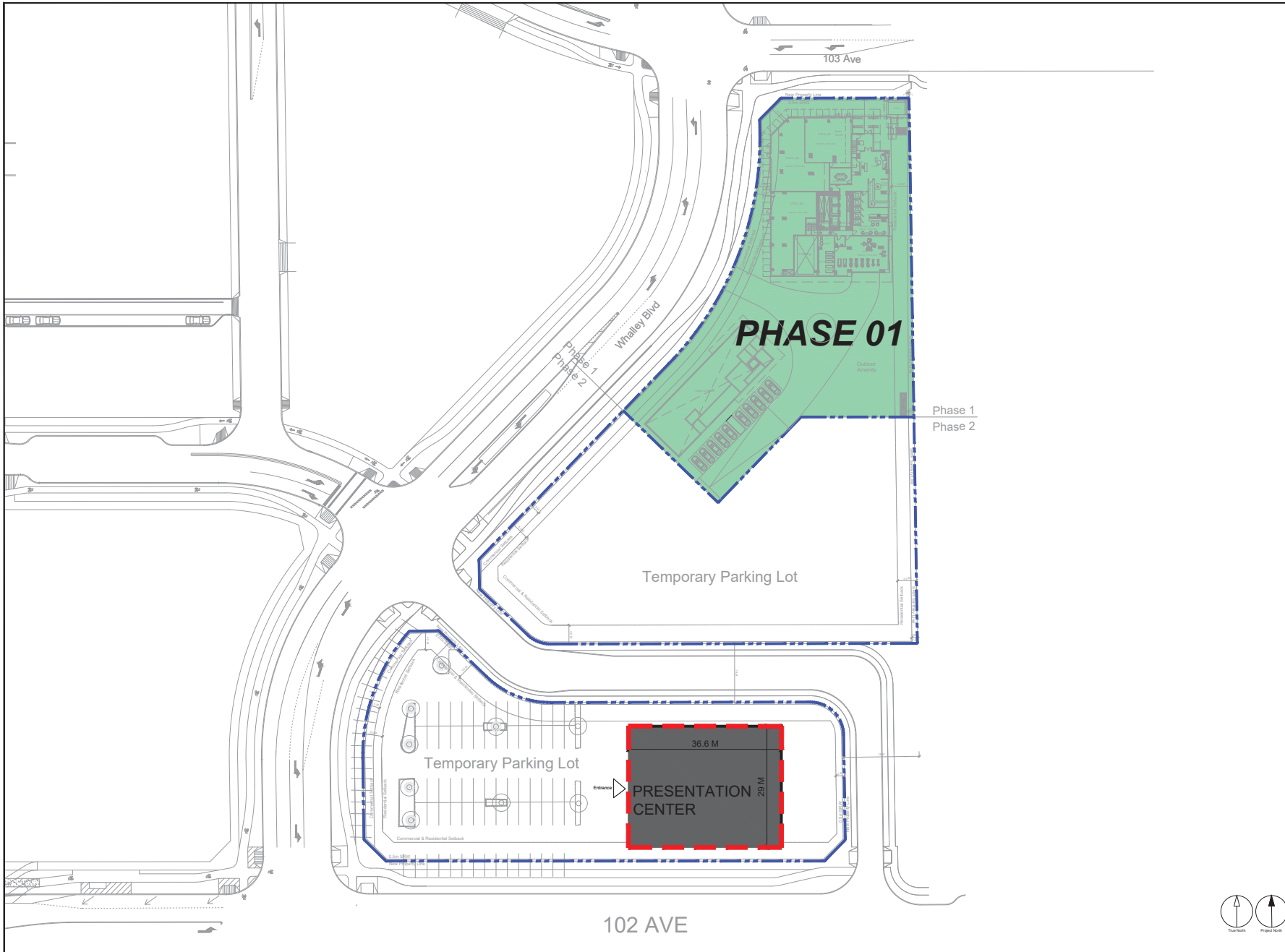
Phasing Plan - Final Condition

SHEET NUMBER
 A0.11a

ISSUE
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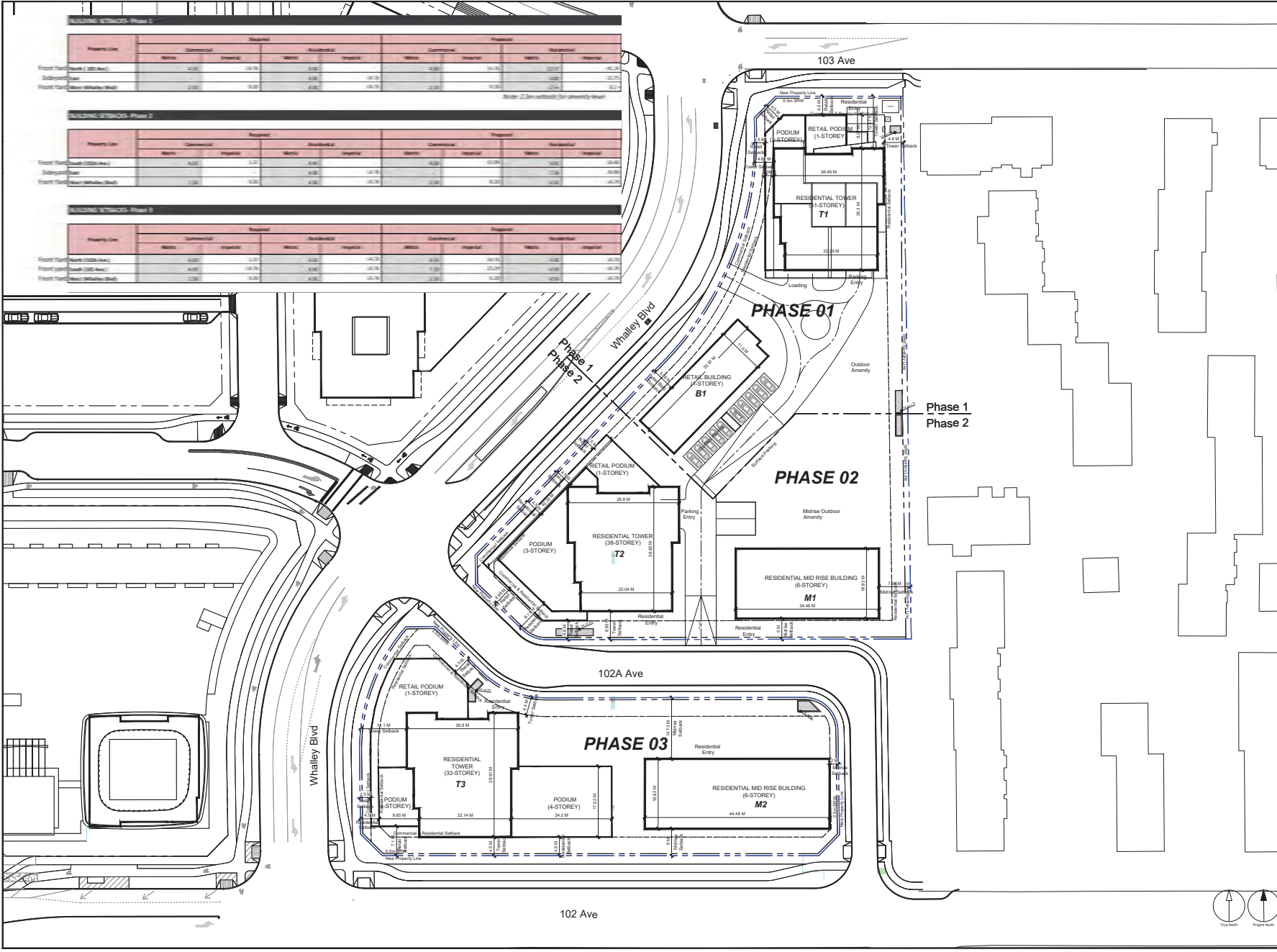
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PROJECT MGR: GV **APPROVED BY:** ---

SHEET TITLE
 Phasing Plan - Interim Condition
 (Phase 1 in construction)

SHEET NUMBER **ISSUE**
 A0.11b

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BUILDING SETBACKS - Phase 1												
Property Line	Commercial		Residential		Commercial		Residential		Commercial		Residential	
	Metre	Imperial	Metre	Imperial	Metre	Imperial	Metre	Imperial	Metre	Imperial	Metre	Imperial
Front (Township 22 Street)	4.50	14.78	6.00	19.69	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78
Side (Whalley Blvd)	2.25	7.38	4.50	14.78	2.25	7.38	4.50	14.78	2.25	7.38	4.50	14.78
Back (22nd Street)	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78

BUILDING SETBACKS - Phase 2												
Property Line	Commercial		Residential		Commercial		Residential		Commercial		Residential	
	Metre	Imperial	Metre	Imperial	Metre	Imperial	Metre	Imperial	Metre	Imperial	Metre	Imperial
Front (Township 22 Street)	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78
Side (Whalley Blvd)	2.25	7.38	4.50	14.78	2.25	7.38	4.50	14.78	2.25	7.38	4.50	14.78
Back (22nd Street)	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78

BUILDING SETBACKS - Phase 3												
Property Line	Commercial		Residential		Commercial		Residential		Commercial		Residential	
	Metre	Imperial	Metre	Imperial	Metre	Imperial	Metre	Imperial	Metre	Imperial	Metre	Imperial
Front (Township 22 Street)	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78
Side (Whalley Blvd)	2.25	7.38	4.50	14.78	2.25	7.38	4.50	14.78	2.25	7.38	4.50	14.78
Back (22nd Street)	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78	4.50	14.78

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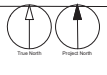
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SHEET TITLE
 Setback Diagram

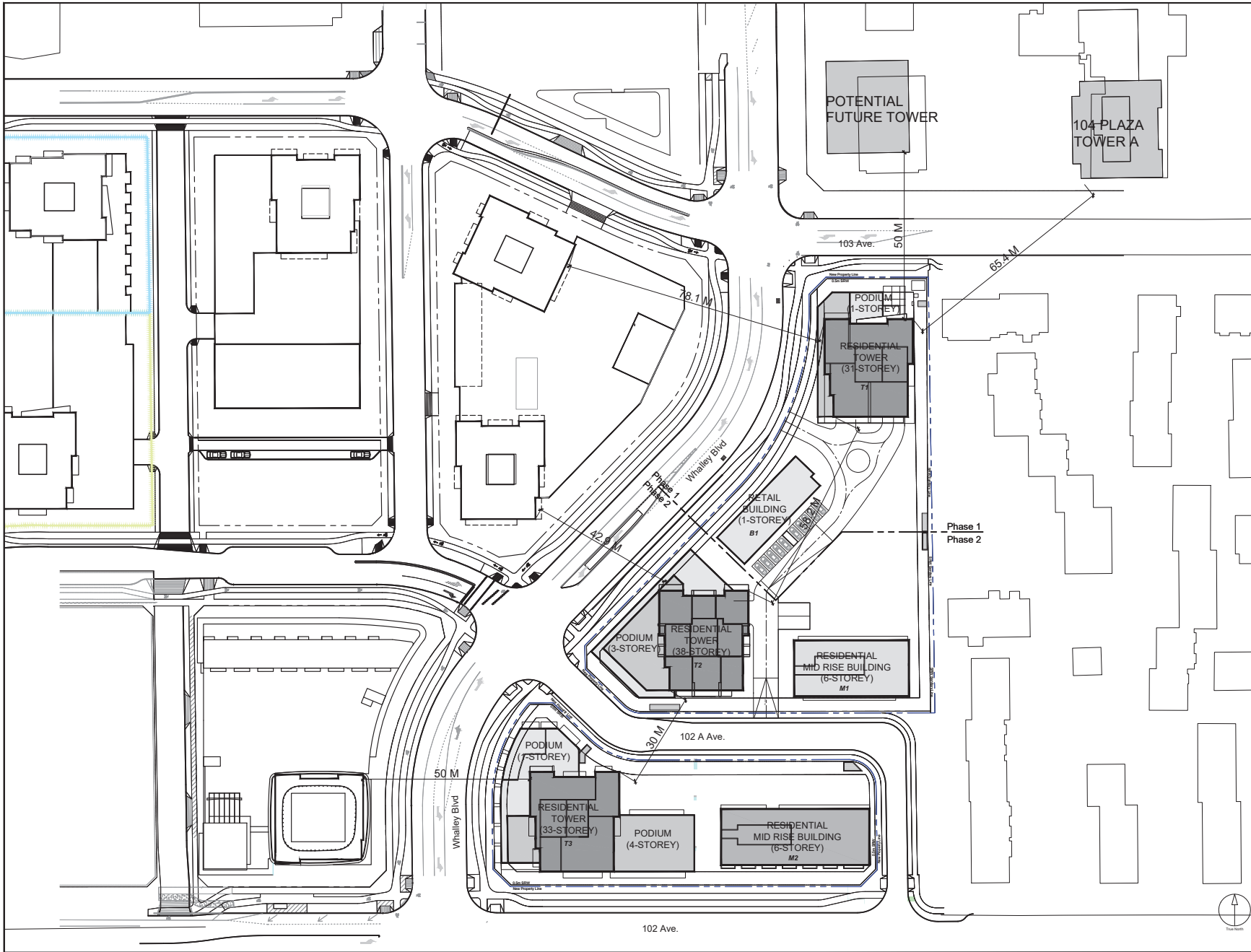
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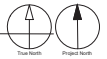
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SHEET TITLE
 Tower Separation Study

SHEET NUMBER
A0.13

ISSUE



Phase 3 Total Tabulation

Level (s)	GFA						Amenity Area (Exclusion)		FAR Area	
	Residential		Commercial		Sub Total					
	Metric (m ²)	Imperial (ft ²)	Metric (m ²)	Imperial (ft ²)	Metric (m ²)	Imperial (ft ²)	Metric (m ²)	Imperial (ft ²)	Metric (m ²)	Imperial (ft ²)
Tower	25,538.7	274,896	713.9	7,684	26,252.6	282,581	697.7	7,510	25,554.9	275,071
Low Rise	4,567.9	49,168	-	-	4,567.9	49,168	140.5	1,512	4,427.4	47,656
Total	30,106.6	324,065	713.9	7,684	30,820.5	331,749	838.2	9,022	29,982.3	322,727

Unit Count					
Studio	1 BD	2BD	3BD	Total	
94	201	98	5	398	
9	28	19	6	62	
103	229	117	11	460	
22%	50%	25%	2%		

REQUIRED / PROVIDED TOTAL PARKING

Use	Residential (Tower 3)	Residential (Mid Rise)	Residential Visitor	Residential Sub-Total	Commercial (Retail)	Car Share / MODO	Total
Parking Rate	0.8 Per Unit	0.8 Per Unit	0.1 Per Unit		3 per 100 m ²		
Parking Stalls Required	318,210	55,803	46,003	460,000	21,422	3,880	485
Rounded (up/down)	318	56	46	460	22	3	485
Stalls After 20% TOD Reduction	254	45	46	378	18	3	399

Note: Commercial Parking will be shared with Residential Visitors

Use	Residential (Tower 3)	Residential (Mid Rise)	Residential Visitor (Tower+Mid Rise) Shared	Residential Visitor (Tower+Mid Rise) Exclusive	Residential Sub-Total	Commercial (Retail)	Car Share	Total
T1	-	-	-	-	-	-	-	-
T2	-	48	-	40	88	-	3	88
T3	110	-	3	3	113	18	-	131
T4	136	-	-	-	136	-	-	136
T5	44	-	-	-	44	-	-	44
Parking Stalls Provided	290	48	-	40	378	18	3	399

Note: 3 Commercial stalls shared with visitor

Small Car (Max)	Electric Vehicle	H/C		
35% of Total Stalls	100% of Residential Stalls	Total	2% of Req'd Parking	Van Accessible
180.0		392	8	4

Small Car (Max)	Electric Vehicle			H/C		
	Residential	Visitors	Commercial	Total	2% of Req'd Parking	Van Accessible
57	335	-	-	-	8	4

REQUIRED / PROVIDED LOADING

Use	Residential		Commercial	Total
	Tower 03	Mid Rise		
Loading Stalls Required	-	-	-	-

Use	Residential		Commercial	Total
	Tower 03	Mid Rise		
Class A Loading Provided	-	-	-	-
Class B Loading Provided	1	-	1	2
TOTAL	1	-	1	2

REQUIRED / PROVIDED BICYCLE PARKING

Use	Residential			Commercial	Total
	Tower 03	Mid Rise	Sub Total Residential		
Long Term Bikes Required	478	74	552	-	552
Short Term Bikes Required	-	-	6	1	7
Total Bikes Required			558	1	559

Use	Residential			Commercial	Total
	Tower 03	Mid Rise	Sub Total Residential		
3x6 bike locker (one bike counted)	189	-	189	-	189
4x6 bike locker (two bike counted)	135	66	201	-	402
bike room	32	-	32	-	32
Total Long term bikes	491	132	623	-	623
Short Term Bikes	-	-	6	6	12
Total Bikes Provided			629	6	635



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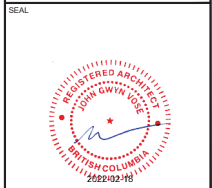
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PROJECT MGR:
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SHEET TITLE
Phase 3 Statistics Summary

SHEET NUMBER
A0.29

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West Elevation Overall

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SHEET TITLE

Coloured Elevation Overall West

SHEET NUMBER	ISSUE
A2.01	

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East Elevation Overall

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SHEET TITLE

Coloured Elevation Overall East

SHEET NUMBER	ISSUE
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North Elevation Overall

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SHEET TITLE
Coloured Elevation Overall North

SHEET NUMBER A2.04	ISSUE
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View of Whalley - Looking South

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<p>SHEET NUMBER</p> <p>A9.01</p>		<p>ISSUE</p>						

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View from South - 102 Ave. - Phase 3

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Overall View 3

SHEET NUMBER	ISSUE
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A9.03	
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View from West - Whalley Blvd.

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SHEET TITLE

Overall View 4

SHEET NUMBER

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View of Phase 1- Whalley Blvd.

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DRAWN BY: FX CHECKED BY: GV

PROJECT MGR: GV APPROVED BY: ---

SHEET TITLE

View of phase 1

SHEET NUMBER

ISSUE

A9.05

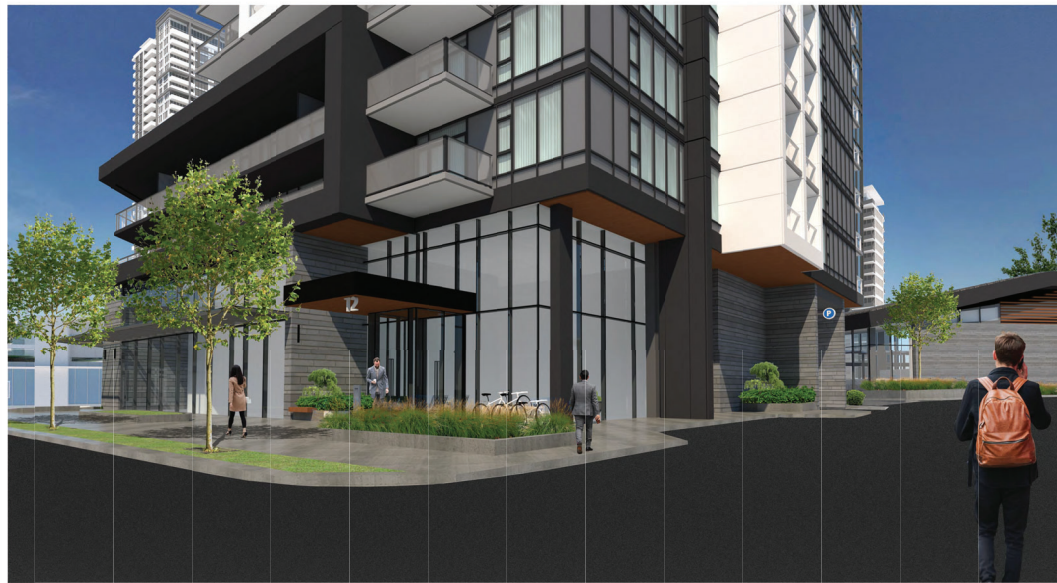
File Location: I:\2021_10232\10232-Phase 1\Drawings\0900\0900-Phase 1\Sheet\A9.05 View of Phase 1.dwg, Last Saved: November 2, 2021, by: ihi@ibi.com, Printed: Friday, February 18, 2022 8:44:03 PM by: ihi@ibi.com



View of Phase 1 Retail Pavilion



View of Tower 1 Lobby



View of Tower 2 Lobby

CLIENT



ANTHEM PROPERTIES
SUITE 300-550 BURBARD STREET
VANCOUVER BC V6C 2B5

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ISSUES

No.	DESCRIPTION	DATE
-----	-------------	------

NOT FOR CONSTRUCTION

KEY PLAN

CONSULTANTS

SEAL



IBI GROUP ARCHITECTS (CANADA) INC.
Suite 700 - 2885 West Pender Street
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Tel: 604 683 8797 Fax: 604 683 0482
ibi@group.com

PROJECT

10232 Whalley Blvd

10232 Whalley Boulevard, Surrey, B.C.

PROJECT NO:
120071

DRAWN BY: FX CHECKED BY: GV

PROJECT MGR: GV APPROVED BY: GV

SHEET TITLE

Podium Views 1

SHEET NUMBER

A9.07

ISSUE

File Location: J:\15007_10232WhalleyBlvd\3D Drawings\0300Retail\0303-3D View of Retail Building - Land Sweep November 1, 2021, by Neil Patel - Project: Podium Views 1 - 2022-102-18.rvt
 2022-102-18



View of Podium - Phase 2



View of Podium - Phase 3

CLIENT

ANTHEM PROPERTIES
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KEY PLAN

CONSULTANTS

SEAL



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PROJECT

10232 Whalley Blvd

10232 Whalley Boulevard, Surrey, B.C.

PROJECT NO:
120071

DRAWN BY:
FX

PROJECT MGR:
GV

CHECKED BY:
GV

APPROVED BY:
GV

SHEET TITLE

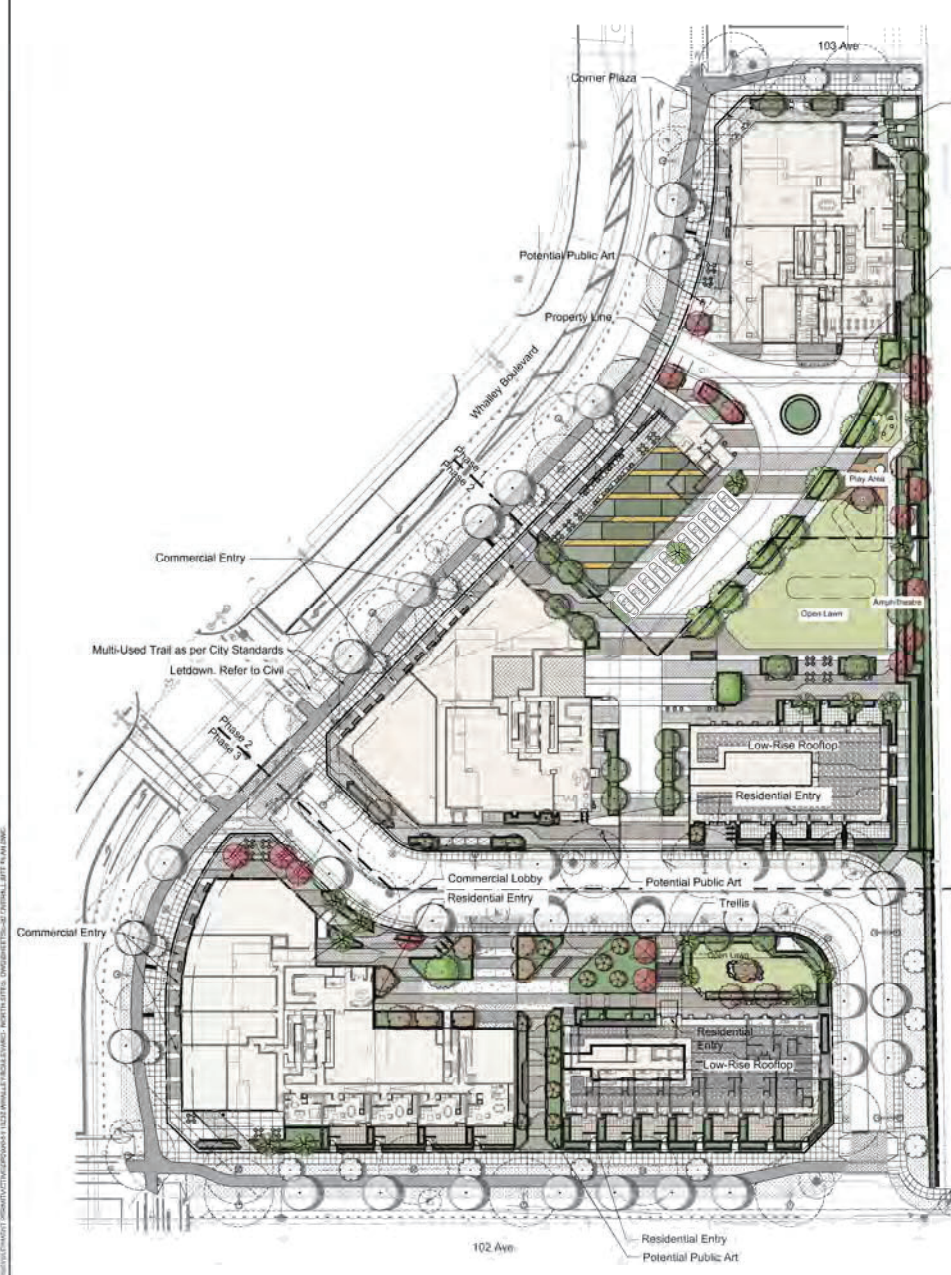
Podium Views 2

SHEET NUMBER

A9.08

ISSUE

File Location: \\120071_10232\000\A9.08_Drawing\0000\A9.08_View of Podium - Phase 2.dwg Last Saved: November 3, 2021 10:48:10 AM Printed: Friday, February 18, 2023 02:07:44 PM Print Job: 17



OUTDOOR AMENITY SPACE



Play Area



Open Lawn



Amphitheatre

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	5,6,7 LD-01	CONCRETE SLAB
	1 LD-02	HYDROFRESNED SLAB Faktor: Slab Slab Color: Slab Manufacturer: Absolut Concrete
	5,7 LD-01	CONCRETE SIDEWALK
	2 LD-02	CONCRETE PAVERS Faktor: Slab Slab Color: Brown Manufacturer: Absolut Concrete
	2 LD-02	CONCRETE PAVERS Faktor: Slab Slab Color: Charcoal Slab Slab Manufacturer: Absolut Concrete
	2 LD-02	CONCRETE PAVERS Faktor: Slab Slab Color: Slab Manufacturer: Absolut Concrete
	5 LD-02	RUBBER SURFACING
	8 LD-01	DRIV-STRIP

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1,2 LD-01	PROPOSED TREE
	000	Soil (Refer to Landscaping Notes for Specifications)
	3 LD-01	SHRUB PLANTING

SITE FURNISHINGS/LIGHTING

KEY	REF.	DESCRIPTION
	3 LD-03	TABLE AND CHAIRS Model: # 3000 Color: Slab Manufacturer: Landscape Forms Supplier: Landscape Forms Mount: Mount
	6 LD-03	SEAT STONE Model: # 10, 100 Color: White, Slab Manufacturer: 303 Product
	1 LD-03	SEAT WALL
	5 LD-03	PLANTERPOT Model: # 1000 Supplier: Company
	7 LD-03	BOLLARD Model: # 1000 Material: Aluminum Slab Mount: Slab Manufacturer: Stainless Incastry
	7 LD-02	BIKE RACK Model: # 1000 Color: Powder Coated Steel Mount: Slab Supplier: Landscape Forms
	8 LD-03	MOVABLE PLANTERS Color: Slab Supplier: Daylight Design

No.	By	Description	Date
1	PC	Revised for DP Review	Feb 18, 2020
2	PC	Revised for DP Review	May 18, 2021
3	PC	Revised for DP Review	July 26, 2021
4	PC	Issued for DP Review	Oct 30, 2020

REVISIONS TABLE FOR DRAWINGS

REVISIONS TABLE FOR SHEET

Project:
Georgetown

Location:
10232 Whalley Boulevard
Surrey, BC

Drawn:
RM
FW

Checked:
PC

Approved:
EU

Stamp:
Original Sheet Size:
21" x 36"

Scale:
1:400

Scale bar: 0 4m 8m 12m 16m 20m 24m 28m 32m 36m 40m 44m 48m 52m 56m 60m

Georgetown - Phase 2&3

Issued for Development Permit

Sheet List Table

Sheet Number	Sheet Title
L-10	COVER PAGE - PHASE 2&3
L-11	LANDSCAPE PLAN L1 - PH2
L-12	WALL AND GRADING PLAN - PH2
L-13	LIGHTING PLAN L1 - PH2
L-14	LANDSCAPE PLAN L2 - PH2
L-15	LANDSCAPE PLAN L1 - PH3
L-16	WALL AND GRADING PLAN - PH3
L-17	LIGHTING PLAN L1 - PH3
L-18	LANDSCAPE PLAN L2 - PH3
L-19	LANDSCAPE PLAN L5 - PH3
L-20	PLANTING PALETTE
LS-04	SECTIONS - PH2&3
LS-05	SECTIONS - PH2&3
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS

Contact Information

VDZ+A

Project Landscape Architecture

Fort Langley Studio
 102 - 9181 Church Street
 Fort Langley, British Columbia, V4M 2R8

Mount Pleasant Studio
 102-355 Kingsway
 Vancouver, British Columbia, V5T 3J7

Primary project contact:
 Phoenix Chan
 phoenix@vdz.ca
 o. 604 546 0927

Alternate contacts (incase away):
 Dave Jerke
 Principal Landscape Architect
 davidj@vdz.ca
 o. 604 546 0921

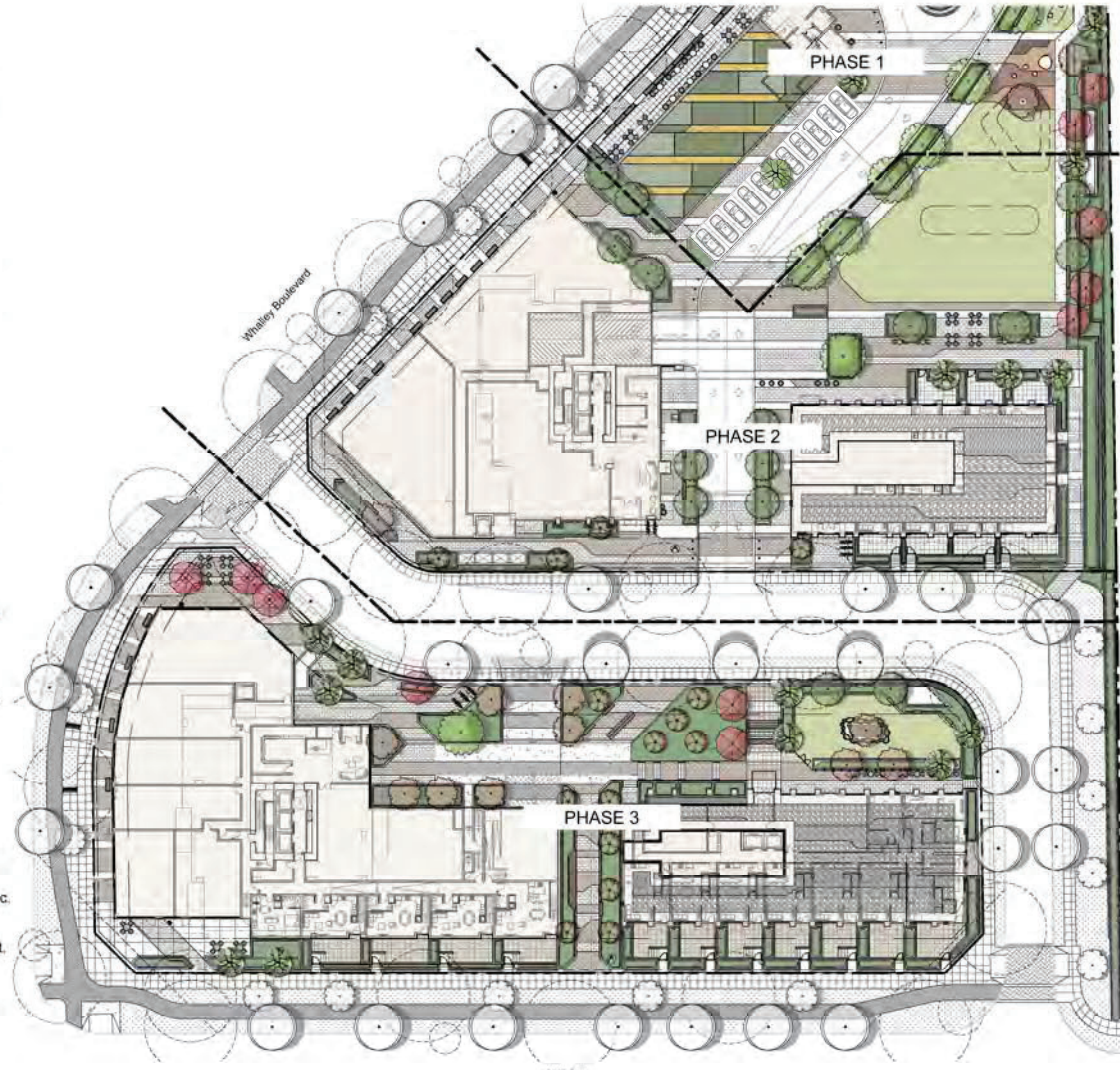
Contact Information

Anthem Properties Group Ltd.
 Client

Suite 1100, Bentall 4, Box 49200
 1055 Dunsmuir Street
 Vancouver, BC, V7X 1K8
 p. 604 689 3040

IBI Group Architects (Canada) Inc.
 Project Architect

Suite 700 - 1285 West Pender St.
 Vancouver, BC, V6E 4B1
 p. 604 683 8797



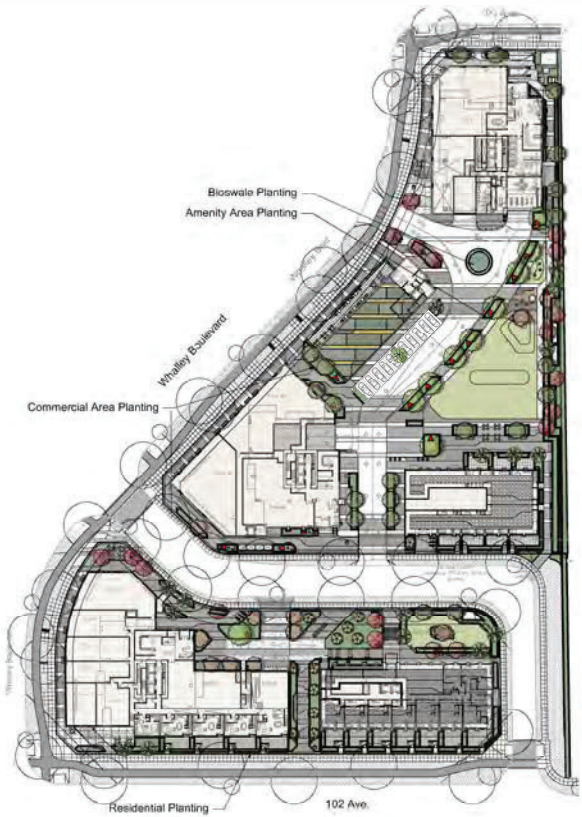
No.	By	Description	Date
1	PC	Revised for DP Review	Feb 13, 2020
2	PC	Revised for DP Review	Feb 13, 2020
3	PC	Revised for DP Review	Feb 26, 2021
4	PC	Revised for DP Review	Oct 31, 2020
5	PC	Revised for DP Review	Oct 31, 2020

REVISIONS TABLE FOR DRAWINGS			
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET	
Project: Georgetown	
Location: 10232 Whalley Boulevard Surrey, BC	
Drawn: PC FW	Stamp:
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Approved: SU	Original Sheet Size: 31" x 39"

Scale:
1:500

VDZ+A
 100-9281 Church St | 102-355 Kingsway
 Fort Langley, BC | Vancouver, BC
 V4M 2M6 V5T 3J7
 www.vdz.ca 604-882-0024



COLOUR PALETTE
 Chartreuse | Pinks | Yellows



PLANTING CONCEPT

Given the multi functionality of the development, several planting design approaches are taken.

From a habitat restoration and storm water management perspective, Bioswales, pollinator plants and bird friendly species are all incorporated. The later are to be placed in roof top amenity areas near potential urban agriculture stations.

Adjacent amenity areas mimic a coastal pine grass land with *Stipa*, *Pinus Contorta* and decorative boulders.

Plantings throughout residential areas are focused on foliage, well keeping the colour palette of Pinks, Chartreuse and Burnt Yellows.

Commercial areas are more broadleaf evergreen, to be tightly clipped with maintenance needs kept to a minimum. The main feature is a specimen *Ginkgo Biloba*. Columnar and smaller tree species are selected for private spaces.



Low Mounding Curved Forms

PLANT SCHEDULE

DESCRIPTION	CONT.
BOSWALE	
<i>Cornus sericea</i> 'Kelsey' / Kelsey Dogwood	#2
<i>Jubaea edulis</i> / Soft Rush	#1
<i>Ligularia dentata</i> 'Othello' / Othello Ligularia	#1
<i>Mahonia aquifolium</i> / Common Barbary	#3
<i>Polystichum munitum</i> / Western Sword Fern	#2
<i>Symphoricarpos albus</i> / Common White Snowberry	#2
HEDGING	
<i>Taxus x media</i> 'Hicksii' / Hicks Yew	CONT.
<i>Thuja occidentalis</i> 'Smaragd' / Emerald Green Arborvitae	1.2m ht.
SHRUBS/PERENNIALS	
<i>Abelia x grandiflora</i> / Glossy Abelia	#3
<i>Azalea japonica</i> 'Gumpo Pink' / Dwarf Pink Azalea	#3
<i>Berberis thunbergii</i> 'Aurea Nana' / Japanese Barberry	#2
<i>Coreopsis verticillata</i> 'Moonbeam' / Threadleaf Coreopsis	#1
<i>Erkianthus campanulatus</i> / Erkenanthus	#3
<i>Escallonia x</i> 'Newport Dwarf' / Newport Dwarf Escallonia	#3
<i>Euphorbia characias wulfenii</i> / Evergreen Spurge	#1
<i>Hakonechloa macra</i> 'Aureola' / Golden Japanese Forest Grass	#1
<i>Hydrangea paniculata</i> 'Little Lime' / Little Lime Hydrangea	#2
<i>Panicum virgatum</i> 'Northwind' / Switch Grass	#1
<i>Pinus mugo</i> 'Pumilo' / Mugo Pine	#3
<i>Rhododendron x</i> 'Percy Wiseman' / Percy Wiseman Rhododendron	#3
<i>Rhus typhina</i> 'Tiger Eyes' / Tiger Eyes Sumac	#2
<i>Ribes sanguineum</i> / Red Flowering Currant	#3
<i>Rosmarinus officinalis</i> / Rosemary	#3
<i>Rutbeckia fulgida subvar. 'Cotostemum'</i> / Black-Eyed Susan	#1
<i>Sarcococca nuscifolia</i> / Fragrant Sarcococca	#2
<i>Spiraea japonica</i> 'Goldmound' / Spirea	#2
<i>Taxus baccata rapensoides</i> / Spreading English Yew	#2
<i>Vaccinium corymbosum</i> 'Pink Lemonade' / Pink Lemonade Blueberry	#2
GROUND COVERS	
<i>Erica x darleyensis</i> 'Mediterranean Pink' / Mediterranean Pink Heath	CONT.
<i>Pachysandra terminalis</i> 'Green Sheen' / Green Sheen Japanese Spurge	#1
<i>Sedum x</i> 'Angelina' / Angelina Sedum	#1
<i>Thymus serpyllum</i> 'Elfin' / Elfin Thyme	#1

TREE SCHEDULE

TREES	CONT.	SIZE
<i>Chionanthus virginicus</i> / White Fringetree	B&B	6cm cal.
<i>Cornus kousa</i> 'Venus' / Venus Dogwood	B&B	6cm cal.
<i>Ginkgo biloba</i> 'Autumn Gold' / Maidenhair Tree	B&B	6cm cal.
<i>Malus x</i> 'Royalty' / Royalty Crab Apple	B&B	6cm cal.
<i>Picea omorika</i> 'Bruns' / Brun's Spruce	B&B	2.5m ht.
<i>Pinus contorta</i> 'Contorta' / Shore Pine	B&B	2.5m ht.
<i>Quercus palustris</i> 'Green Pillar' / Green Pillar Oak	B&B	6cm cal.
<i>Stewartia monadelphica</i> / Tall Stewartia	B&B	6cm cal.



1 Commercial Spaces
 Clipped Broadleaf Evergreens, Low Forms



2 Amenity Spaces
 Coastal Pine Grassland and Urban Agriculture



3 Residential Areas
 Layering of foliage plants and privacy screening



4 Stormwater Management
 Bioswale Species



Bird Friendly Tree Species



Specimen Ginkgo In Commercial Area

No.	By	Description	Date
1	PC	Revised for DP Review	Feb. 18, 2021
2	PC	Revised for DP Review	Nov. 18, 2021
3	PC	Revised for DP Review	July 26, 2021
4	PC	Issued for DP Review	Oct. 30, 2020

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

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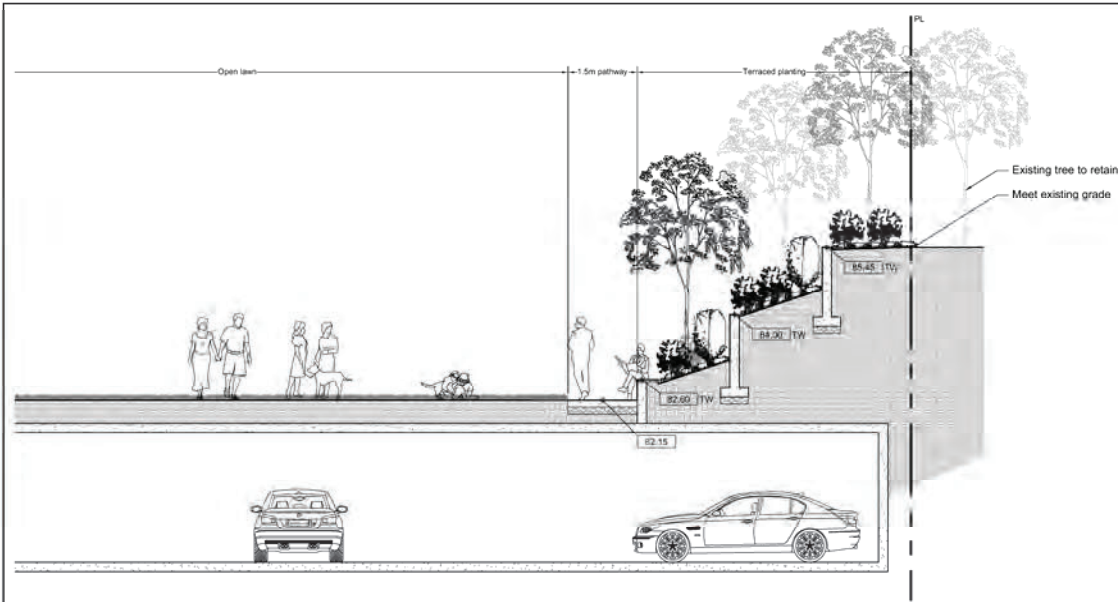
Location: **10232 Whalley Boulevard
 Surrey, BC**

Drawn KM	Stamp
Checked PC	
Approved DJ	

Scale: **AS SHOWN**

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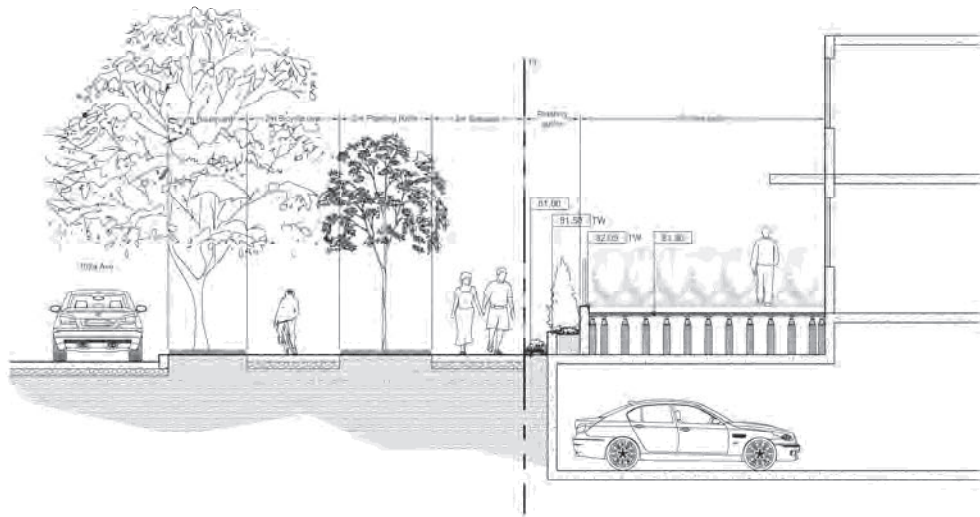
Z:\PROJECTS\2020\2020-51\10232 WHALLEY BOULEVARD - NORTH LOTS - ENG\DRAWING\20-PLANTING PALETTE.DWG



1 SECTION - CENTRAL AMENITY, OPEN LAWN & AMPHITHEATRE SECTION
Scale 1:50



0 KEY PLAN
Scale 1:1000



2 SECTION - LOW RISE BUILDING FRONTAGE ON 102A
Scale 1:50

No.	By	Description	Date
1	PC	Revised for 1000 Models	14 Jun 2020
2	PC	Revised for 1000 Models	14 Jun 2020
3	PC	Revised for 1000 Models	14 Jun 2020
4	PC	Revised for 1000 Models	14 Jun 2020
5	PC	Revised for 1000 Models	14 Jun 2020
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7	PC	Revised for 1000 Models	14 Jun 2020
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47	PC	Revised for 1000 Models	14 Jun 2020
48	PC	Revised for 1000 Models	14 Jun 2020
49	PC	Revised for 1000 Models	14 Jun 2020
50	PC	Revised for 1000 Models	14 Jun 2020



**TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: February 25, 2022 **PROJECT FILE: 7819-0258-00**
(Supercedes Feb. 23/22)

**RE: Engineering Requirements (Commercial/Multi-Family)
Location: 10232 Whalley Boulevard**

**CITY CENTRE PLAN (CCP) AMENDMENT/ DEVELOPMENT PERMIT/DEVELOPMENT
VARIANCE PERMIT**

There are no engineering requirements relative to the CCP Amendment, Development Permit and Development Variance Permit beyond those noted below

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 5.942m along Whalley Boulevard and 102 Avenue.
- Dedicate 1.942m along Central Avenue.
- Dedicate 18.0m for 137A Street.
- Dedicate 14.0m for 102A Avenue.
- Dedicate required corner cuts.
- Provide 0.5m wide statutory rights-of-way along all site frontages.

Works and Services

- Construct east side of Whalley Boulevard, north side of 102 Avenue and south side of Central Avenue.
- Construct 137A Street and 102A Avenue as a full roads.
- Implement the recommendations of the Traffic Impact Study and geotechnical report.
- Construct storm mains along Whalley Boulevard and new 102A Avenue.
- Construct sanitary mains along Whalley Boulevard, 102 Avenue and Central Avenue.
- Complete sanitary and drainage catchment analysis to determine existing capacities. Resolve downstream constraints, as identified.
- Construct water mains along 137A Street, 102A Avenue and Central Avenue. Complete fire flow analysis to determine the ultimate water main size.
- Provide water storm and sanitary service connections to support the development.
- Register applicable legal documents as determined through detailed design.
- Pay amenity charge for undergrounding the existing overhead electrical and telecommunication infrastructure and applicable latecomer charges.

A Servicing Agreement is required prior to Rezone/Subdivision.



Jeff Pang, P.Eng.
Development Services Manager
HB4

NOTE: Detailed Land Development Engineering Review available on file



October 6, 2021

Planning

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

The NCP for the area calls for significant redevelopment located along King George Boulevard and 104th Avenue with the current building form changing into mid to high-rise residential development and mixed use. The timing of these future high-rise developments, with good market conditions could impact the enrolment growth upwards even more from the projections below.

Lena Shaw operates at or slightly above the school's capacity. Post 2023, the projected growth trend begins to get stronger finishing at end of the decade to around 900 students. As part of the District's 2022/2023 Five Year Capital Plan, the district has requested an 8-classroom addition. The Ministry of Education has not approved funding for this project.

Guildford Park Secondary operates over capacity. With the continued development and densification of the City Center, enrollment for this school is projected to continue to grow, perhaps, quicker than what is shown below. In March 2020, the Ministry of Education supported the District to prepare a feasibility study for a 450-capacity addition at the secondary school. The addition is targeted to open for September 2024.

THE IMPACT ON SCHOOLS

APPLICATION #: 19 0258 00

SUMMARY

The proposed 1298 highrise units are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

Elementary Students:	70
Secondary Students:	60

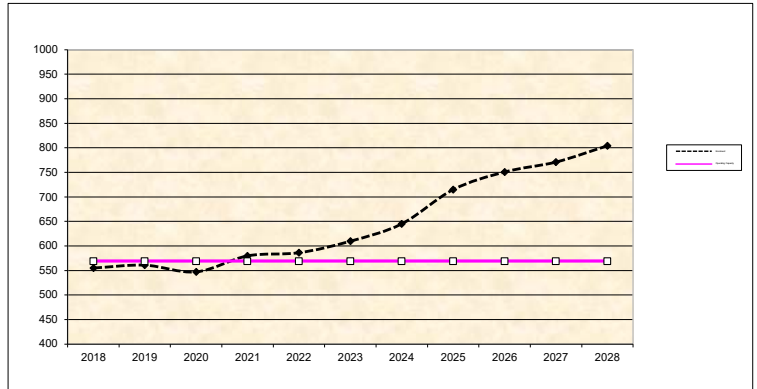
September 2020 Enrolment/School Capacity

Lena Shaw Elementary	
Enrolment (K/1-7):	75 K + 472
Operating Capacity (K/1-7):	57 K + 512
Guildford Park Secondary	
Enrolment (8-12):	1360
Capacity (8-12):	1050

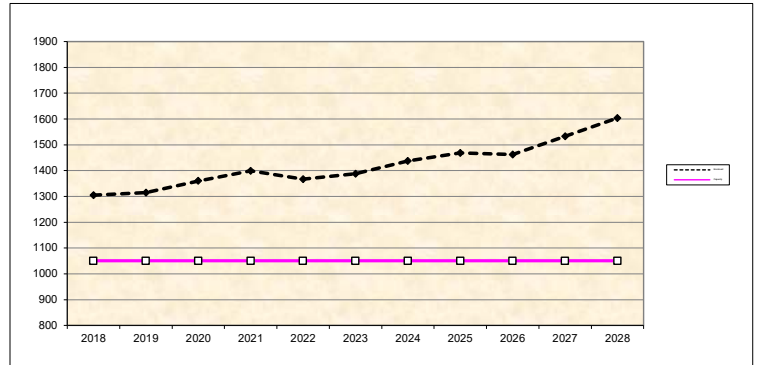
Projected population of school-age children for this development:	140
--	-----

Population: The projected population of children aged 0-19 Impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

Lena Shaw Elementary



Guildford Park Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

Tree Preservation Summary

Surrey Project No:

Address: 10232 Whalley Blvd, Surrey BC

Registered Arborist: Glenn Murray

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	104
Protected Trees to be Removed	103
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	1
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{\quad 6 \quad} \times \text{one (1)} = 6$ - All other Trees Requiring 2 to 1 Replacement Ratio $\underline{\quad 97 \quad} \times \text{two (2)} = 194$ 	200
Replacement Trees Proposed	
Replacement Trees in Deficit	200
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	2
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{\quad 0 \quad} \times \text{one (1)} = 0$ - All other Trees Requiring 2 to 1 Replacement Ratio $\underline{\quad 2 \quad} \times \text{two (2)} = 4$ 	4
Replacement Trees Proposed	0
Replacement Trees in Deficit	4

Summary, report and plan prepared and submitted by:



(Signature of Arborist)

20-Nov-21

Date



Advisory Design Panel Minutes

Location: Virtual
MONDAY, DECEMBER 16, 2021
Time: 3:00 p.m.

Present:

Panel Members:

R. Drew, Chair
T. Bunting
W. Chong
R. Dhall
I. MacFadyen
S. Slot
M. Patterson

Guests:

Richard Bernstein, Chris Dikeakos Architects Inc.
Martin Peter
Mani Mahmoudian
Stephen Vincent, Durante Kruek Ltd.
Alexander Wright, Anthem Properties Group Ltd.
Gwyn Vose, IBI Group
Dave Jerke, van der Zalm + associates inc.

Staff Present:

A. McLean, City Architect
S. Maleknia, Urban Design Planner
W. Lee, Recording Secretary

B. NEW SUBMISSIONS

2. 4:40 p.m.

File No.:	7919-0258-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	Rezoning from C-8 to CD, site-wide General DP and a Detailed DP for Phase 1 to permit a three-phase, mixed-use project consisting of three mixed-use high-rise towers (31, 33 and 37 storeys), one stand-alone retail building and two 6-storey apartment buildings with a total of 1295 residential units and an overall gross FAR of 4.6.
Address:	10232 Whalley Boulevard
Developer:	Anthem Properties Group Ltd.
Architect:	Gwyn Vose, IBI Group
Landscape Architect:	Dave Jerke, van der Zalm + associates inc.
Planner:	Jennifer McLean
Urban Design Planner:	Sam Maleknia

The Urban Design Planner advised that the city staff worked very closely with the applicant regarding overall site planning and siting of the buildings, allocation of different uses, podiums and street walls, potential open spaces and plazas, and public realm interfaces. The proposal generally complies with the City Centre Plan, and staff supports the project.

The Panel was asked to provide detailed comments on Architectural expression, landscaping, edges, setbacks for the detailed DP (Phase 1), and to provide general comments for the General DP including the overall context, open spaces setbacks, form and the general lobby location, i.e. general aspects of Phase 2 and phase 3. Phase 2 and 3 buildings will return to the ADP for their Detailed DPs.

The Project Architect presented an overview of the site planning, streetscapes, building concept, floor plans, and elevations.

The Landscape Architect presented an overview of the general concept for the Landscape design.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

GENERAL DP (PHASE 2&3)

It was Moved by R. Dhall
Seconded by T. Bunting
That the Advisory Design Panel (ADP)
SUPPORT the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department.

Recommend that the landscaping submission return to staff for further development.
Carried

DETAIL DP (PHASE 1)

It was Moved by R. Dhall
Seconded by M. Patterson
That the Advisory Design Panel (ADP)
CONDITIONAL SUPPORT of the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department and, at the discretion of Planning staff, resubmit the project to the ADP for review.

Carried

One Panel member disagreed with the motion, noting that it should not warrant another review by the Panel.

PHASE 2 & 3 COMMENTS

Key Points

- Consider further development of the strip of land at the SE edge of the site.

Response: *Noted. This area will be further developed through the detailed DP design process with detailed landscape drawings.*

- Consider placing trees in the hardscape area in PH 2 driveway / loading area.

Response: *The design of this area has been revised. Trees have been added in this area along the southern edge of the open lawn and along the adjacent strata road. There are some limitations as below this area is structured underground parking.*

- Consider developing pedestrian feel to the lane connecting

Whalley Boulevard to 102A. Extend elements of the character between PH 3 buildings into lane

Response: *Trees have been added along the strata road. Bands of pavers have been added to the road to further improve the pedestrian character of the space. The spaces between the buildings leading from 102A to Whalley Blvd has been enhanced to give a pedestrian feel; additional trees, paving stones, concrete banding, park like setting to the east, lighting, public art, connectivity and permeability corridors, bench seating, resting spots and variety of architectural features with rich materials give this area and pathway a strong pedestrian level of comfort and character. In addition, enhancements have been made to the standalone restaurant building; the seating area and clear glazing wraps around and faces into the lane and interior adding additional activity and vitality to the interior space and lane.*

- Consider further development of the indoor amenity program and PH 3 pedestrian realm between buildings

Response: *Noted. Indoor amenity programming has been enhanced, with specific uses added such as gyms, yoga rooms, libraries, co-working areas, parcel storage and pick up, concierge, bike rooms, seating areas, convenience lobbies to access retail and other outdoor amenities. PH3 pedestrian realm has been further enhanced to provide better connectivity from 102 Ave though Ph3 to Phase 2, further detailed work will be done on this as part of the detailed development permit for Phase 3. Considerations will be artwork, seating, pathing, materials, landscaping, grading, wayfinding. This will be considered during the detailed development permit stage for this phase.*

- Consider further development of the pedestrian connection across 102A Avenue between PH 3 and PH 2

Response: *On Phase 3 the landscape design has been revised in order to provide a direct, landscaped connection up to 102 A Ave from 102 Ave. On Phase 2 the length of the low-rise building has been reduced and the building has been repositioned to provide generous space for a more distinct connection up to the central amenity space from 102 A Ave.*

- Consider realigning the exit path from between CRU 2 and 3 to between CRU 3 and 4

Response. *Noted this will be considered during the detailed development permit stage for these phases.*

- Consider developing more permeability through the restaurant building

Response: Visual permeability has been added by the introduction of additional glazing on the southern face of the building. The sidewalk to the north of the retail pavilion building has been widened to further improve permeability. The seating area of the restaurant and the clear glazing wraps the entire southern side of the building and faces into the interior of the site towards the outdoor amenity park space.

Site

- Recommend further design development to Phase 3 tower podium L3 to L4, dead end corridor resolution at the west; this factor needs to be resolved as it will affect the location of the stair and/ or planning of the units Midrise.

Response: Noted. This will be considered during the detailed development permit process for this phase.

- Recommend further design development to Phase 3 outdoor amenity space; be clear if this space is programmed or a corridor space between buildings; the 25' wide is very minimal with the 4 to 6 storey walls to the sides.

Response: Noted we will consider this comment during the detailed development permit design process for this phase. Currently the design features 25' width and is enhanced with landscaping, paving stones, way finding and art opportunities while providing pathing for pedestrians.

- Recommend further design development to the end elevations (east & west) of the mid-rise buildings; clarify the location of openings and clarify how they are treated regarding a 'wrapped' elevation and/ or material usage in an extruded way.

Response: Noted: This will be considered during the detailed development permit process for this phase.

- Recommend the central spine (north-south pedestrian route) be connected well responding towards southern edge; any articulation of building form, consolidation of open space gives an opportunity of connectivity.

Response: Noted. The connection has been improved. A direct, landscaped path has been created in phase 3. The applicant has proposed public art at key locations along the spine including at the mouth of the central spine adjacent to 102 Ave.

- Careful consideration is needed in detailed design development to ensure that the internal mews is a shared pedestrian-vehicular environment and consideration needs to be given to type of curb, use of bollards and streetlights to create separation, paving materials to subtly indicate pedestrian vs vehicular vs shared.

Response: Vehicle area design and lane will incorporate roll-over curbs. Bollards will be used at key areas as signals barrier to vehicles and pedestrians. Lighting for pedestrians and safety will be incorporated and differing paving materials have been incorporated.

Form and Character

- Recommend further design development to the planning of the deficient area of indoor amenity. The drawings should lay out the functions to justify the deficient amount of indoor amenity Phase 3 tower podium.

Response: Noted. Our initial block space planning indicates that the provided space will be sufficient to provide a range of building amenities that will benefit the future residents. During the detailed development permit phase these amenity spaces will be further developed.

- Encourage the midrise buildings to be formulated slightly more sensitively for pedestrian movement.

Response: The length of the Phase 2 low rise building has been reduced to facilitate pedestrian movement between 102A Ave and the outdoor amenity greenspace. Design of both low-rise residential buildings will be further considered during the detailed development permit phase.

Landscape

- Amenity lawns need more work to be useable.

Response: The open lawn area will provide a flexible space that can accommodate a wide range of outdoor activities (both physical and more contemplative) including soccer, volleyball, spike ball, bocci, and games of tag. The design of the lawn has been revised to add a berm on the northern portion of the lawn that has been integrated into the outdoor play area. This berm will also provide an ideal place for picnics and provide a vantage point for people living above to look out to the lawn.

- Recommend re-assessing the grading transition at the south PL

Response: Building grades have been revised for the phase 3 low rise. Grades will be further considered and refined during the detailed development permit phase.

- Dead space on east side of new road on Phase 3 – consider further design development on how space could be used.

Response: Noted. This will be considered during the detailed development permit phase of this phase. The landscaping will be revised to ensure that this is useful, pleasant space.

CPTED

- No specific issues were identified.

Sustainability

- No specific issues were identified.

Accessibility

- No specific issues were identified.

PHASE 1 COMMENTS

Key Points

- Pedestrianize the internal lane.

Response: Trees & landscaping has been added along the internal lane (strata road) to provide green, pedestrian character. The design of the road surface has been revised to introduce bands of paving stones in order to encourage pedestrian use. Along the edges we have added bench seating, resting spots, opportunities for art, lighting, and rich materials. The adjacency of the outdoor amenities and greenspace further reinforce the green and pedestrian character and the seating area and clear glazing of the standalone restaurant now wraps around and faces into the lane and interior adding additional activity and vitality.

- Consider narrowing the width of the lane accessing the restaurant parking.

Response: This has been considered; however the proposed width of the lane is required to facilitate the multitude of different necessary functions which include deliveries, travelling to and from homes, visiting shops. The proposed design also provides enhanced safety and accessibility options. All of this is vital to maintain the utility of the mixed-use nature of the proposed development.

- Consider further development of the south facing program and façade treatment.

Response: The loading area has been re-located into the interior of the building. This reduces some depth in the retail space but tidies up the south elevation of Phi podium with the benefit of providing a distinct pedestrian path along the building to and from the convenience lobby to the residential building.

- Consider exploring the further integration between the podium and tower expression.

Response: The three towers sit upon 2-4 storey podiums; each is rooted to the ground at the park and lobby portions; while the street facing sides hug the street setback to form a retail street with a reduced overall setback from the tower. Retail streets have a rhythm of bays that create pedestrian friction, while large glazed second storey amenity and setback residential units and balconies improve streetwall. Materiality and color link towers with podiums, while providing unique identity to each and a sense of hierarchy.

Overall, we are satisfied with the resulting form and feel of the podium / tower relationship.

- Consider exploring a mass timber structure for the restaurant.

Response: *The applicant investigated this with their consultant team. We understand that green roofs are another design priority within the City of Surrey. To accommodate this proposed design change, we would have to remove the green roof, as a green roof—even if carefully designed and constructed—still poses a potential leak risk. For a wood building this could cause serious damage to the structural integrity of the building. For this reason, the applicant has elected to provide the green roof on the standalone building and will not be proceeding with a mass timber design.*

- Recommend further design development to Retail Pavilion building to be as transparent all around with a different planning configuration; this allows the visual permeability from Whalley to the inner courtyard.

Response: *Additional glazing has been added to the northern and eastern elevations of this building. The current building design also includes glazing that wraps the south face of the building from Whalley Blvd to the strata road. These revisions improve the visual permeability of this building and also enhance the sense of activity in the interior of the site*

- Provide more planting at grade, especially along internal driveway.

Response: *This has been done. Additional trees and landscaping have been added including along the strata road.*

- Consider utilizing future climate files. This helps understand impact of climate resiliency.

Response: *We will consider future climate files during the next stage of the building's energy modelling.*

Site

- Consider further design development at south side of bldg. 1 / phase 1. It has the best southern exposure and faces the main outdoor amenity space.

Response: *The design has been revised to relocate the loading area to the interior of the building. This reduced the depth of one of the retail spaces but tidies up the south elevation of the podium and allows for a distinct pedestrian route between Whalley Blvd. to the convenience lobby of the residential tower.*

- Consider further design development to the NE plaza.

Response: *The small NE plaza at the corner of Whalley and Central Ave has been revised to open the space up for pedestrian use.*

Form & Character

- Recommend further design development to the planning of exit stair from core to Whalley blvd. Move exit corridor to the south end of CRU 4; this allows the CRU 4 to be continuous with CRU 3 for flexibility and this allows CRU 4 not to be isolated.

Response: *Exit stair has been revised*

- Consider integrating more activities in the open lawn area.

Response: *The open lawn area will provide a flexible space that can accommodate a wide range of activities (both physical and those that are more contemplative) including soccer, volleyball, spike ball, bocci, reading, and games of tag. The design of the lawn has been revised to add a berm on the northern portion of the lawn that has been integrated into the outdoor play area. This berm will also provide an ideal place for picnics and provide a vantage point for people living above to look out to the lawn.*

- Careful consideration is needed in design development to ensure that the internal mews is a shared pedestrian vehicular environment and consideration needs to be given to type of curb, use of bollards and streetlights to create separation, paving materials to subtly indicate pedestrian vs vehicular vs shared.

Response: *Vehicle area design and lane will incorporate roll-over curbs. Bollards will be used at key areas as signals barrier to vehicles and pedestrians. Lighting for pedestrians and safety will be incorporated and differing paving materials have been incorporated.*

- Consider tall glass partitions for the exterior amenity spaces to help buffer the noise and reduce the noise impacts on residents when in the outside environment.

Response: Noted. This will be further considered during the working drawing stage with input from an acoustical consultant as required.

Landscape

- Recommend adding more greenspace. Overlay should be done on all exit points, pedestrian movement, and residual spaces where there is an opportunity to drop the slab and add more trees and shrubs.

Response: *The central greenspace was further expanded. Additional trees and landscaping have been added across the site including along the strata road and the central outdoor amenity space and lawn.*

- There appears to be an excess of hardscape and a lack of planting for both the areas along King George Boulevard and the internal roadway. Additional trees along the internal roadway will help to create more of a pedestrianized streetscape. Consider more shrub and tree plantings, noting that the tree plantings may require some dropped slabs to achieve required soil volumes

Response: *Additional trees were added along the strata road including a line of three trees that are at the northwestern-most portion of the strata road adjacent to Whalley Blvd.*

- Relocate the tree planters that are located in the triangular ph 1,2 lawn, on the phase 2 side, against the internal road to allow a larger lawn area.

Response: *These trees have been moved and the lawn area has been expanded.*

CPTED

- No specific issues were identified.

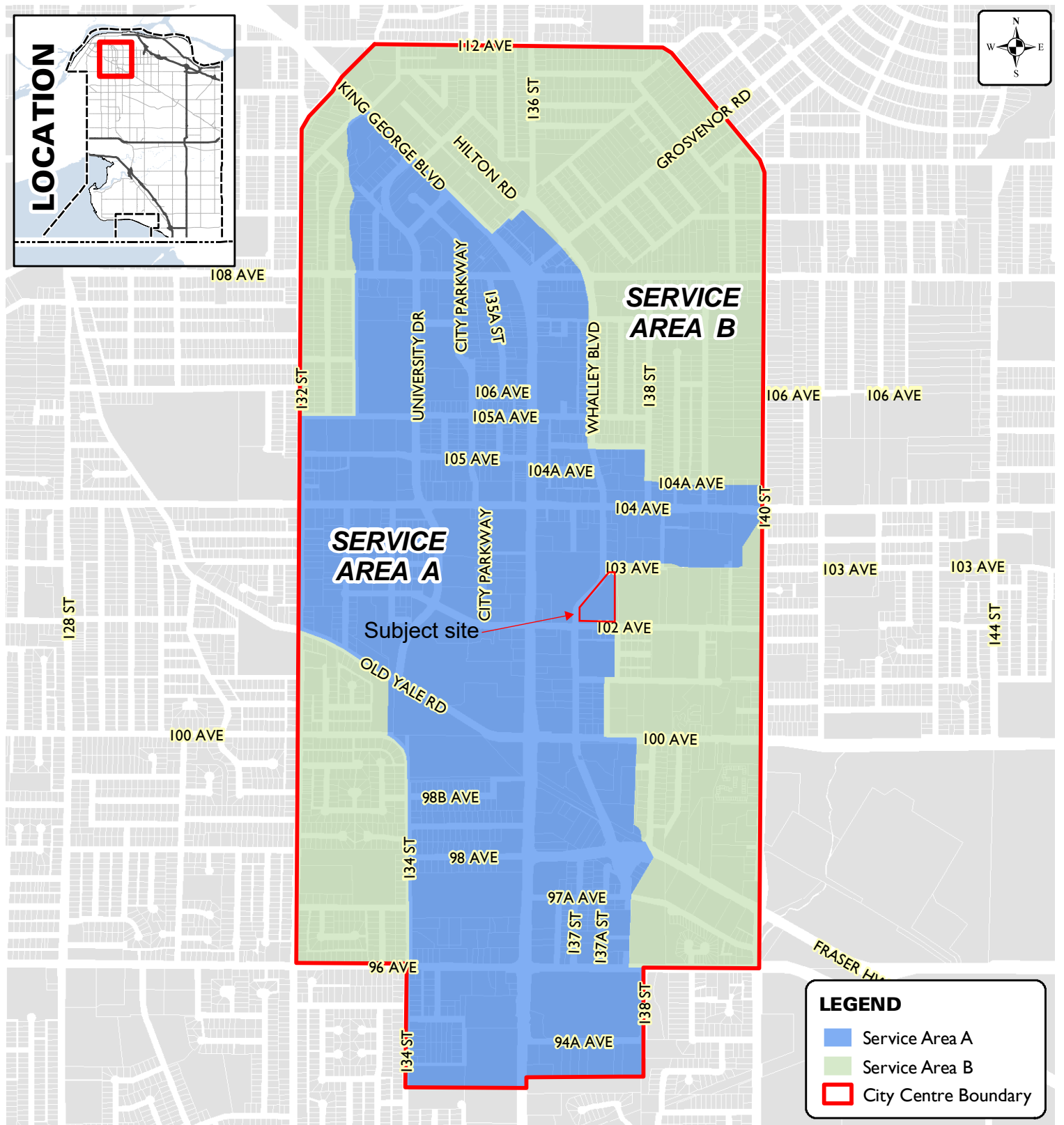
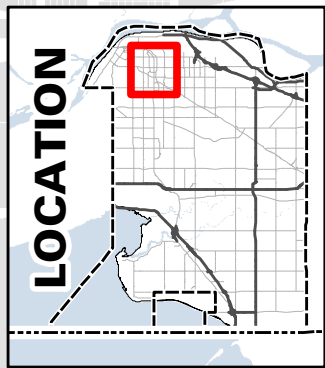
Sustainability

- Refer to Key Points.

Accessibility

- No specific issues were identified.

FIGURE 1



LEGEND

- Service Area A
- Service Area B
- City Centre Boundary

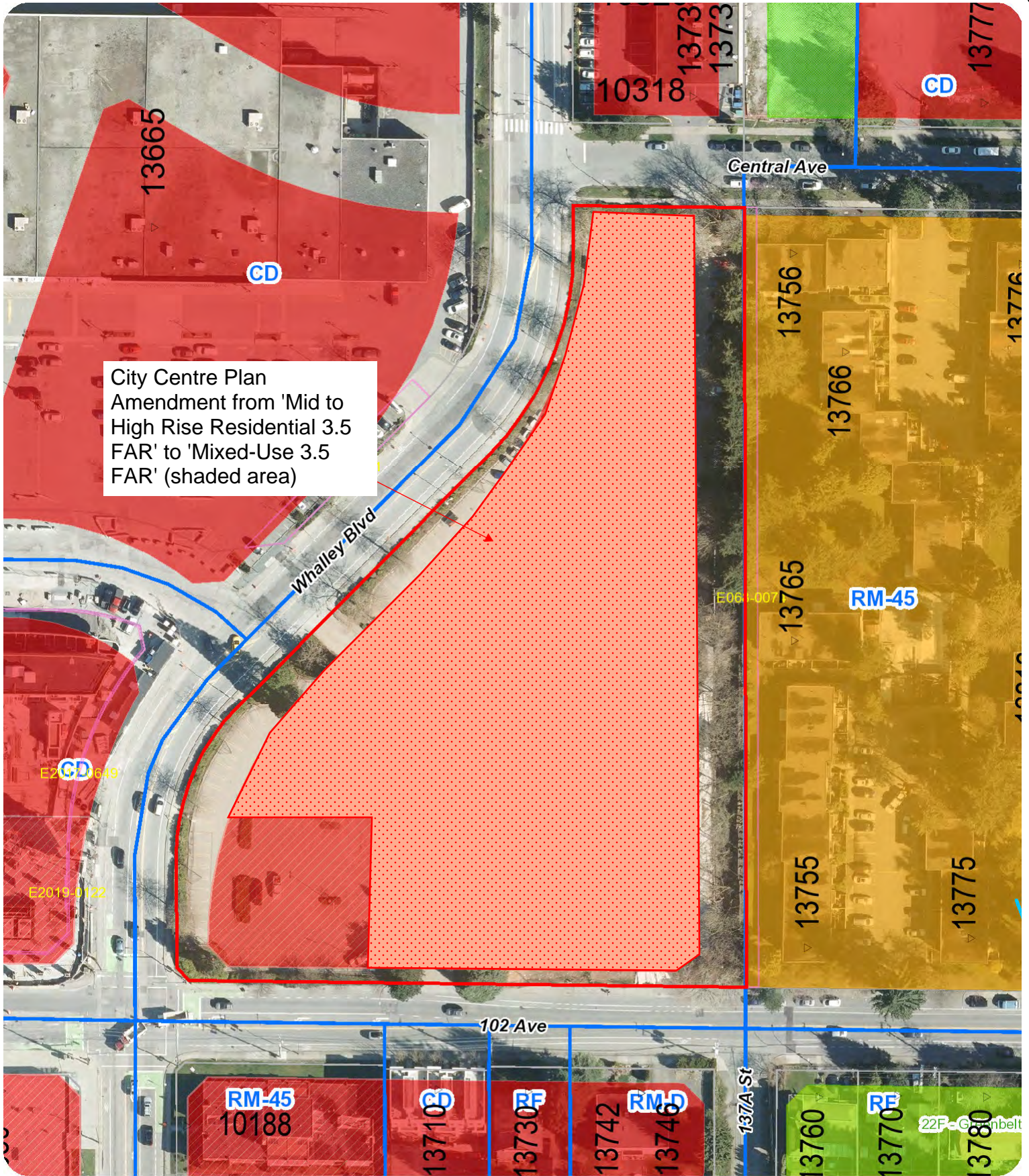
Produced by GIS Section: May 31, 2012, CS/AW8



**DISTRICT ENERGY SERVICE AREA
(SERVICE AREA A & SERVICE AREA B)**

**ENGINEERING
DEPARTMENT**

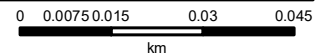
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Enter Map Description

Scale: 1:1,239

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CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7919-0258-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 008-538-051
 Lot 66 Section 26 Block 5 North Range 2 West New Westminster District Plan 38420
 10232 - Whalley Boulevard

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Subdivision and Development By-law, 1986, No. 8830, as amended is varied as follows:
 - (a) In Part I – Interpretation – Definitions, "Bond" means cash, an irrevocable Letter of Credit, or a Surety Bond in favour of the City.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli