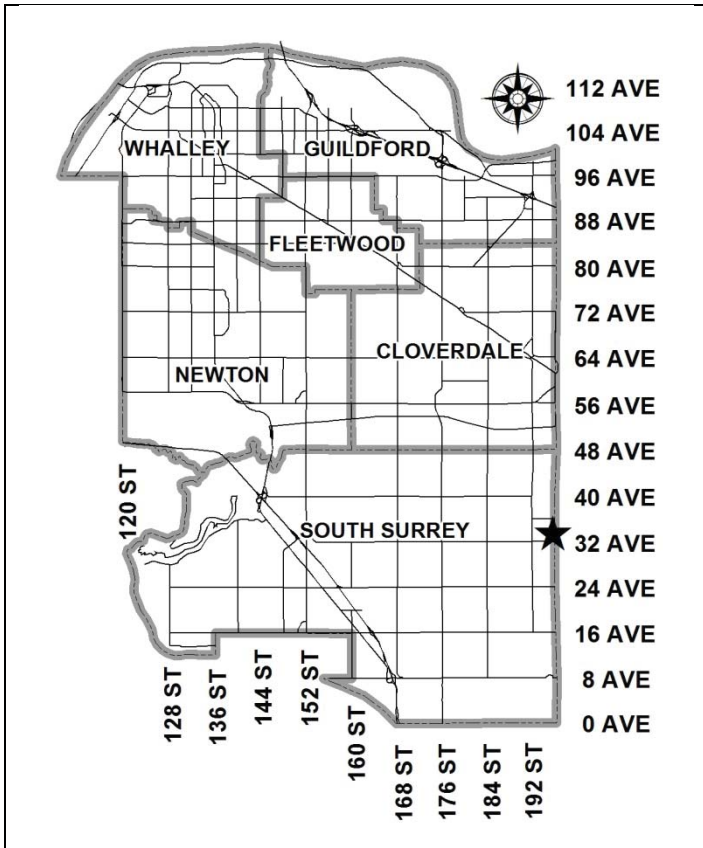


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7916-0671-00

Planning Report Date: December 19, 2016



**PROPOSAL:**

- **Development Variance Permit**  
to reduce the required parking for an existing industrial building.

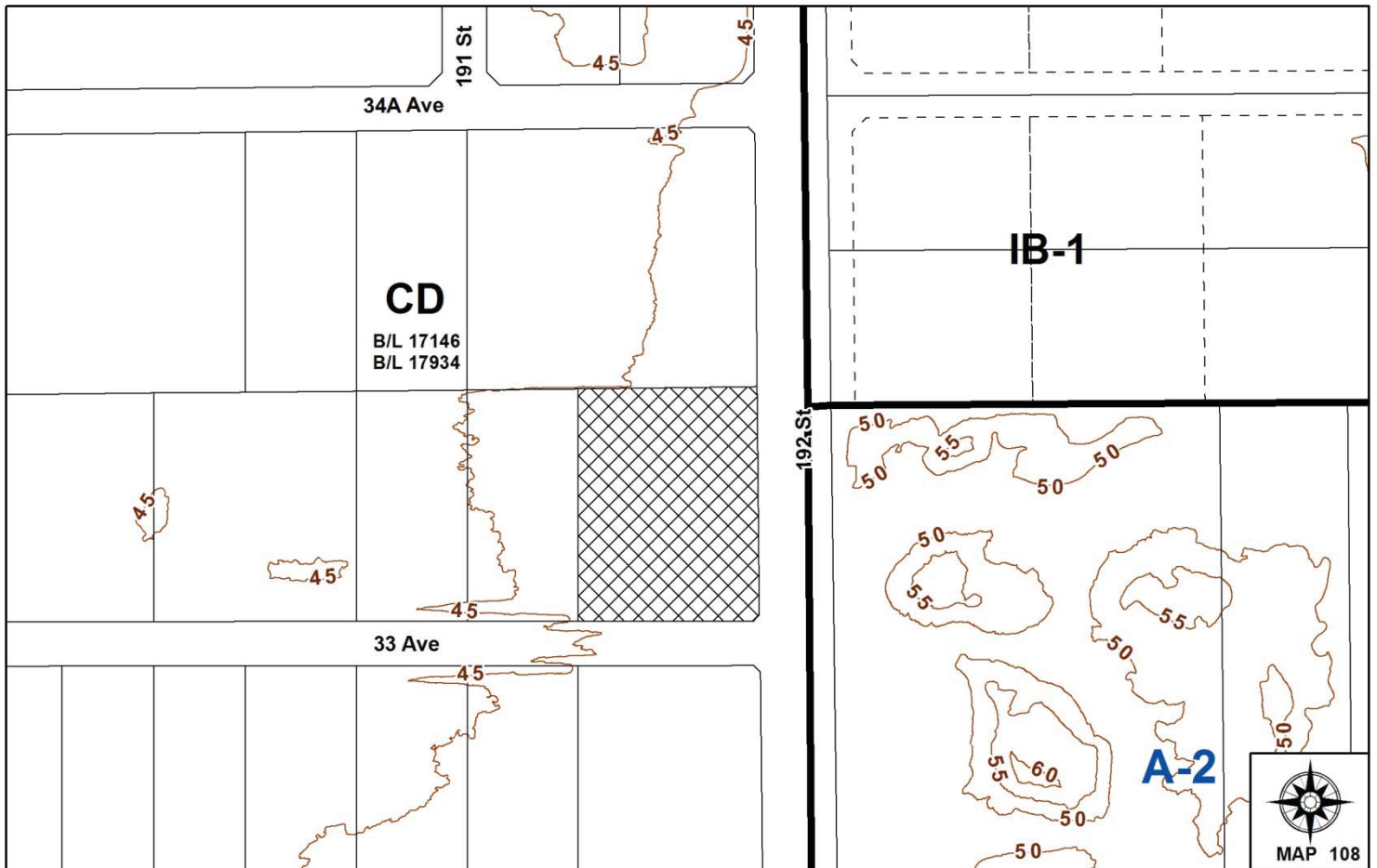
**LOCATION:** 19195 - 33 Avenue

**OWNER:** 028138813 Holdings Lot 8 Ltd.

**ZONING:** CD (By-law No. 17146 as amended by 17934)

**OCP DESIGNATION:** Mixed Employment

**LAP DESIGNATION:** Business Park & Landscaping Strips



### RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking a variance to the parking requirements to allow Office Uses that are ancillary to Light Impact Industrial Uses to be calculated at a rate of 1 parking space per 100 square metres (1,075 sq. ft.) of gross floor area.

### RATIONALE OF RECOMMENDATION

- On December 1, 2014, Development Permit No. 7914-0220-00 was approved, permitting the development of a 3,155 square metre (33,960 sq. ft.) multi-tenant industrial building on the subject property, which required a minimum of 32 parking spaces.
- Under the approved Development Permit (DP), the parking requirement was calculated following the Zoning By-law requirement rate of 1 space per 100 square metres (1,075 sq. ft.) of gross floor area for Light Impact Industrial Uses, including ancillary office use.
- On May 30, 2016, the parking requirements of the Zoning By-law were amended with ancillary office use for Light Impact Industry no longer being included at a rate of 1 space per 100 square metres (1,075 sq. ft.) of gross floor area, but rather being considered a separate use calculated at 2.5 spaces per 100 square metres (1,075 sq. ft.) of gross floor area.
- The applicant is proposing a variance to permit the required parking to be calculated based on the parking provisions that were in effect at the time of DP issuance.
- Given that the applicant's plans were approved prior to the parking rate by-law change, staff supports the requested variance proceeding to Public Notification.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7916-0671-00 (Appendix II), to vary Part 5 "Off Street Parking and Loading/Unloading" of Zoning By-law 12000 to allow office uses that are ancillary to Light Impact Industrial Uses to be calculated at a rate of 1 parking space per 100 square metres (1, 075 sq. ft.) of gross floor area, to proceed to Public Notification.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Multi-tenant industrial building.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Industrial building	Mixed Employment/ Business Park & Landscaping Strips	CD (By-law No. 17146 as amended by 17934)
East (Across 192 Street):	Gravel operation; Development Application No. 7916-0681-00 proposing to rezone to IB-1/IB-2 and subdivide into 4 lots	Mixed Employment/ Business Park (Office), Business Park & Landscaping Strips	A-2
South (Across 33 Avenue):	Vacant industrial land	Mixed Employment/ Business Park & Landscaping Strips	CD (By-law No. 17146 as amended by 17934)
West:	Industrial building	Mixed Employment/ Business Park	CD (By-law No. 17146 as amended by 17934)

DEVELOPMENT CONSIDERATIONSBackground Information

- The subject property is designated "Mixed Employment" in the Official Community Plan (OCP), "Business Park" and "Landscaping Strips" in the Campbell Heights Local Area Plan (LAP), and is zoned "Comprehensive Development Zone (CD)" (By-law No. 17146 as amended by 17934).
- On December 1, 2014, Development Permit No. 7914-0220-00 was approved, permitting the development of a 3,155 square metre (33, 960 sq. ft.) multi-tenant industrial building on the subject property, which required a minimum of 32 parking spaces.

- Under the approved Development Permit, the parking requirement was calculated at the rate of 1 space per 100 square metres (1,075 sq. ft.) of gross floor area for Light Impact Industrial Uses, including ancillary office use. This was calculated in accordance with the provisions identified in Part 5 "Off Street Parking and Loading/Unloading" of Zoning By-law 12000.
- On May 30, 2016, Part 5 of Zoning By-law 12000 was amended with ancillary office use for Light Impact Industry no longer being included at a rate of 1 space per 100 square metres (1,075 sq. ft.) of gross floor area, but rather being considered a separate use calculated at a rate of 2.5 spaces per 100 square metres (1,075 sq. ft.) of gross floor area.

### Current Proposal

- The applicant is proposing a variance to permit the parking required for ancillary office use to be calculated based on the parking rates that were in effect at the time that the Development Permit was issued.
- The applicant has provided a total of 33 parking spaces, which complies with the number of parking spaces that were required under the parking provisions that were in effect at the time the Development Permit was issued.

### BY-LAW VARIANCE AND JUSTIFICATION

#### (a) Requested Variance:

- Vary Part 5 "Off-Street Parking and Loading/Unloading" of Zoning By-law 12000 to allow office uses that are ancillary to Light Impact Industrial uses to be calculated at a rate of 1 parking space per 100 square metres (1,075 sq. ft.) of gross floor area.

#### Applicant's Reasons:

- A Development Permit (No. 7914-0220-00) was approved and a Building Permit issued prior to the changes to the parking provisions in the Zoning By-law coming into effect, which increased the number of parking spaces that are required for ancillary office uses.
- The increase in the parking requirements for ancillary office uses impacts the ability of tenants to have a Tenant Improvement (TI) permit issued.

#### Staff Comments:

- The requested variance is considered reasonable given that the applicant based their plans on the parking requirements that were approved under Development Permit No. 7914-0220-00.
- The applicant is providing 33 parking spaces, which complies with the number of parking spaces required under the parking provisions that were in effect at the time the Development Permit was issued.

- Staff supports the requested variance to proceed to Public Notification.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Lot Owners and Action Summary  
Appendix II. Development Variance Permit No. 7916-0671-00

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

CB/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                    James Weng  
   Prism Construction Ltd.  
   Address:                    1525 - Cliveden Avenue, Unit 201  
   Delta, BC V3M 6L2

2.            Properties involved in the Application

- (a)      Civic Address:                    19195 – 33 Avenue

- (b)      Civic Address:                    19195 – 33 Avenue  
   Owner:                            028138813 Holdings Lot 8 Ltd.

Director Information:

Amin Rawji  
Omar Amin Rawji

Officer Information As At December 14, 2013:

Ali Nanji (President, Secretary)  
Ayaz Velji (Vice President)

PID:    028-832-761  
Lot 8 Section 28 Township 7 New Westminster District Plan BCP50753

3.            Summary of Actions for City Clerk's Office

- (a)      Proceed with Public Notification for Development Variance Permit No. 7916-0671-00 and bring the Development Variance Permit forward for issuance and execution by the Mayor and City Clerk.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0671-00

Issued To: 028138813 HOLDINGS LOT 8 LTD.  
(the Owner)

Address of Owner: 201, 1525 - Cliveden Avenue  
Delta, BC V3M 6L2

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-832-761  
Lot 8 Section 28 Township 7 New Westminster District Plan BCP50753  
19195 - 33 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Section C.1 of Part 5, Off-Street Parking and Loading/Unloading, office uses that are ancillary to an Industry - Light Impact use are to be calculated at a rate of 1 parking space per 100 square metres (1,075 sq. ft.) of gross floor area.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

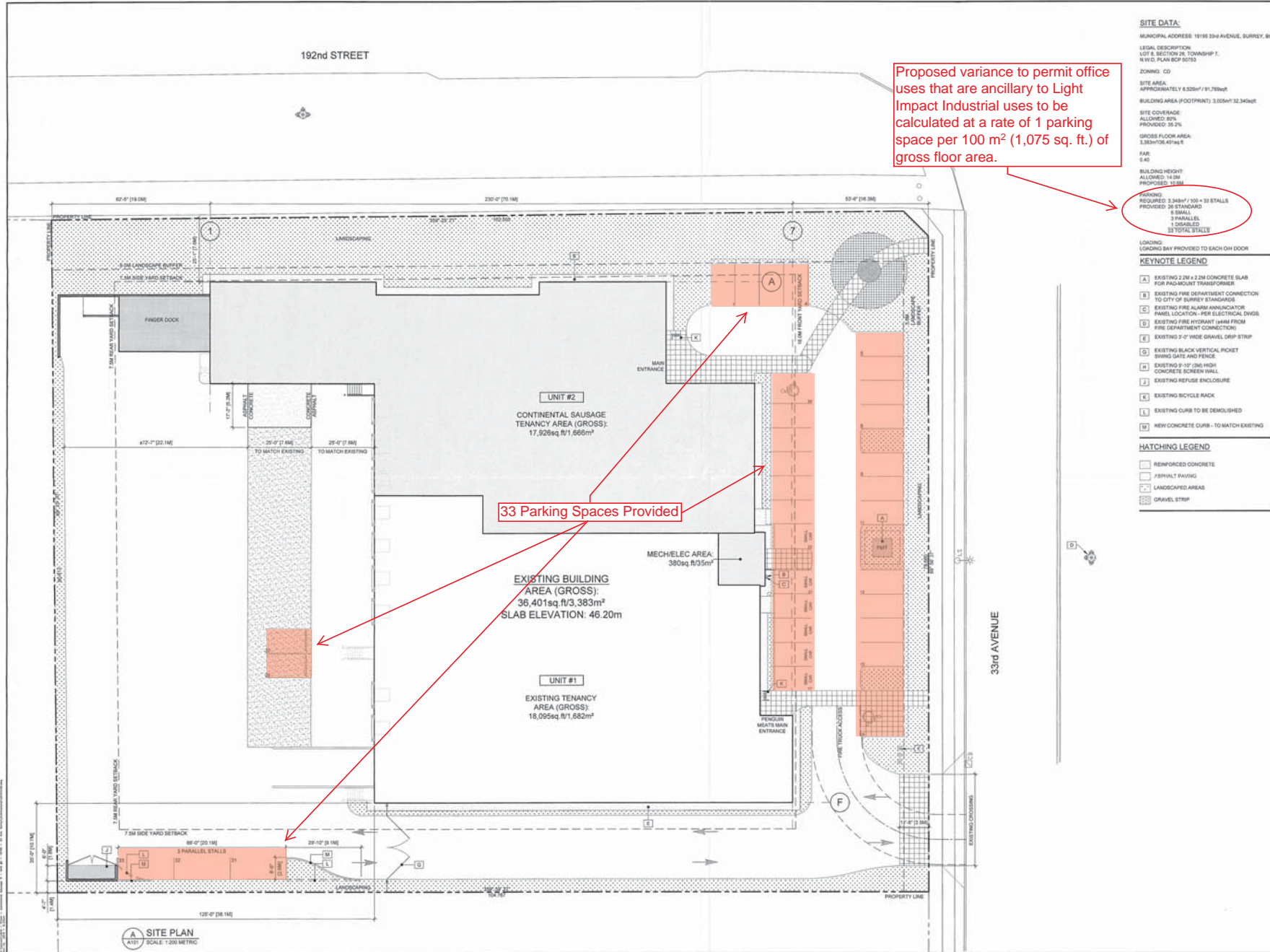
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Mayor – Linda Hepner

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City Clerk – Jane Sullivan





**SITE DATA:**

MUNICIPAL ADDRESS: 19195 33rd AVENUE, SURREY, BC  
LEGAL DESCRIPTION: LOT 8, SECTION 26, TOWNSHIP 7, R.10, PLAN R0P 5010  
ZONING: CO  
SITE AREA: APPROXIMATELY 8,225m<sup>2</sup> / 91,785sqft  
BUILDING AREA (FOOTPRINT): 3,225m<sup>2</sup> / 32,340sqft  
SITE COVERAGE: ALLOWED 80% PROVIDED 35.2%  
GROSS FLOOR AREA: 3,383m<sup>2</sup> / 36,401sqft  
FAR: 0.45  
BUILDING HEIGHT: ALLOWED: 16.5M PROPOSED: 12.8M

**PARKING:**  
REQUIRED: 2,340m<sup>2</sup> / 106 = 33 STALLS  
PROVIDED: 26 STANDARD  
3 SMALL  
3 PARALLEL  
0 BAYLEED  
33 TOTAL STALLS

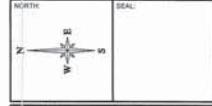
**LOADING:**  
LOADING BAY PROVIDED TO EACH OH DOOR

- KEYNOTE LEGEND**
- A EXISTING 2.2M x 2.2M CONCRETE SLAB FOR PAD-MOUNT TRANSFORMER
  - B EXISTING FIRE DEPARTMENT CONNECTION TO CITY OF SURREY STANDARDS
  - C EXISTING FIRE ALARM ANNUNCIATOR PANEL LOCATION - FIRE ELECTRICAL DIVISION
  - D EXISTING FIRE HYDRANT 144MM FROM FIRE DEPARTMENT CONNECTION
  - E EXISTING 3'-0" WIDE GRAVEL DRIP STRIP
  - F EXISTING BLACK VERTICAL PICKET SWING GATE AND FENCE
  - G EXISTING 9'-10" HIGH CONCRETE SCREEN WALL
  - J EXISTING REFUSE ENCLOSURE
  - K EXISTING BICYCLE RACK
  - L EXISTING CURB TO BE DEMOLISHED
  - M NEW CONCRETE CURB - TO MATCH EXISTING

- HATCHING LEGEND**
- REINFORCED CONCRETE
  - FINISH PAVERING
  - LANDSCAPED AREAS
  - GRAVEL STRIP

PRELIMINARY ISSUES HAVE LETTERS (A, B etc.) WORKING ISSUES HAVE NUMBERS (1, 2 etc.) REVISIONS HAVE LETTER ADDED (DA, 2B etc.)

NO.	DATE	REMARKS
1	JULY 2016	ISSUED FOR BLDG PERMIT
1A	NOV 7/16	RE-ISSUED FOR BLDG PERMIT
1B	NOV 14/16	ISSUED FOR PARKING DVP



CONSULTANT:

**PRISM**  
CONSTRUCTION LTD.

#201 - 1525 CLIVEN AVENUE  
DELTA, BC, V3M 6L2  
TEL: (604)526-3731  
FAX: (604)526-2151

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**cta design group**

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TITLE:  
**SITE PLAN**

DESIGNER: RIC	CHECKED: JK
DIRECTOR: 1816 - Prism - Continental Sausage/Architectural	
SCALE: AS NOTED	FILE: 1816A100
DRAWING NUMBER: 1616	VERSION: A101 1B

7916-0671-00

SCHEDULE A