

June, 2016
BUILDING DIVISION

APPLYING FOR A BUILDING PERMIT TO FINISH A TOWNHOUSE BASEMENT OR TO RENOVATE A CONDOMINIUM OR TOWNHOUSE

This guide has been prepared to assist you when applying for a building permit to finish the basement of a townhouse unit, or to renovate a condominium or townhouse unit.

This guide is for general guidance only. It does not replace by-laws or other legal documents.

General Information

A simple project often only requires a site plan showing the location of the condominium or townhouse unit, and a floor plan of the unit. Please see the attached examples.

If the proposed work will involve any changes to the structural elements of a building, sealed and signed structural drawings will be required.

If a basement is adjacent to a garage, additional British Columbia Building Code (BCBC) requirements apply. See BCBC Sentences 9.10.9.16.(4), 9.10.13.15.(1), and 9.10.13.15.(2).

If a finish basement project includes enclosing any portion of an existing garage, the minimum number of required parking spaces and the minimum length and width of each required parking space must be maintained. Please see Section B "Parking Dimensions and Standards" in Part 5 of the Surrey Zoning By-law.

Required Site Plan (architectural drawing)

- Provide two copies of a site plan showing the location of the condominium or townhouse unit where the work is proposed.

Required Floor Plan (architectural drawing)

- Provide two copies of a floor plan of each floor where the work is proposed.
- Use minimum size 11" x 17" plain white paper to provide sufficient room for notes and stamps to be added. Drawings on graph paper will not be accepted.
- Use a scale of $\frac{1}{4}" = 1' - 0"$ and state the scale on the drawings. Sample instructions can be found online.
- State the square footage of each floor. For finish basement projects, state the square footage of the entire basement floor and, if the entire basement is not being finished, also state the square footage of the floor area that is proposed to be finished.
- State the overall width and length of each floor, outside of foundation wall to outside of foundation wall, as well as the width and length of each room. State the width of each hallway.
- Label the use of each proposed and existing room.
- Provide the width and height of each door and window. The BC Building Code requires minimum egress dimensions for bedroom windows and bedroom window wells, as well as minimum entrance door sizes. See BCBC Sentences 9.6.3.1.(1), 9.7.1.2.(1), 9.7.1.2.(2), 9.7.1.3.(1), 9.7.1.3.(2), and 9.7.1.3.(3).
- Provide the construction details of all proposed wall assemblies.
- Show all plumbing fixtures. Identify proposed and existing fixtures.
- Show the location of any bathroom exhaust fans that may be required.

Other Drawings that may be required

If an existing basement window will be enlarged, or if a new basement window will be installed, provide an elevation drawing of the affected building face and a section drawing through the wall in which the window will be installed.

If a new window well will be installed, the architectural drawings shall show:

- The proposed materials used to construct the window well.
- The length, width, and depth of the well.
- If the well will be more than 600 mm (2 ft.) deep, provide details of the required guard around the well or cover over the well.

If the proposed work includes any plumbing, two copies of plumbing isometric drawings will be required.

Required Documents

- A Building Permit Application form.
- Strata Council approval if the proposed work will involve any plumbing, any structural element of the building, the exterior envelope of the building, or will take place outside the building. In these cases, the involvement of a Registered Professional (an architect and/or structural engineer) is usually required.
- Schedule B is required for any drawings that have been sealed and signed by a Registered Professional.
- Schedule A is required if there is more than one Registered Professional involved.

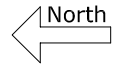
Fee

The building permit fee will be based on the declared value of construction and shall be paid at the time of building permit application.

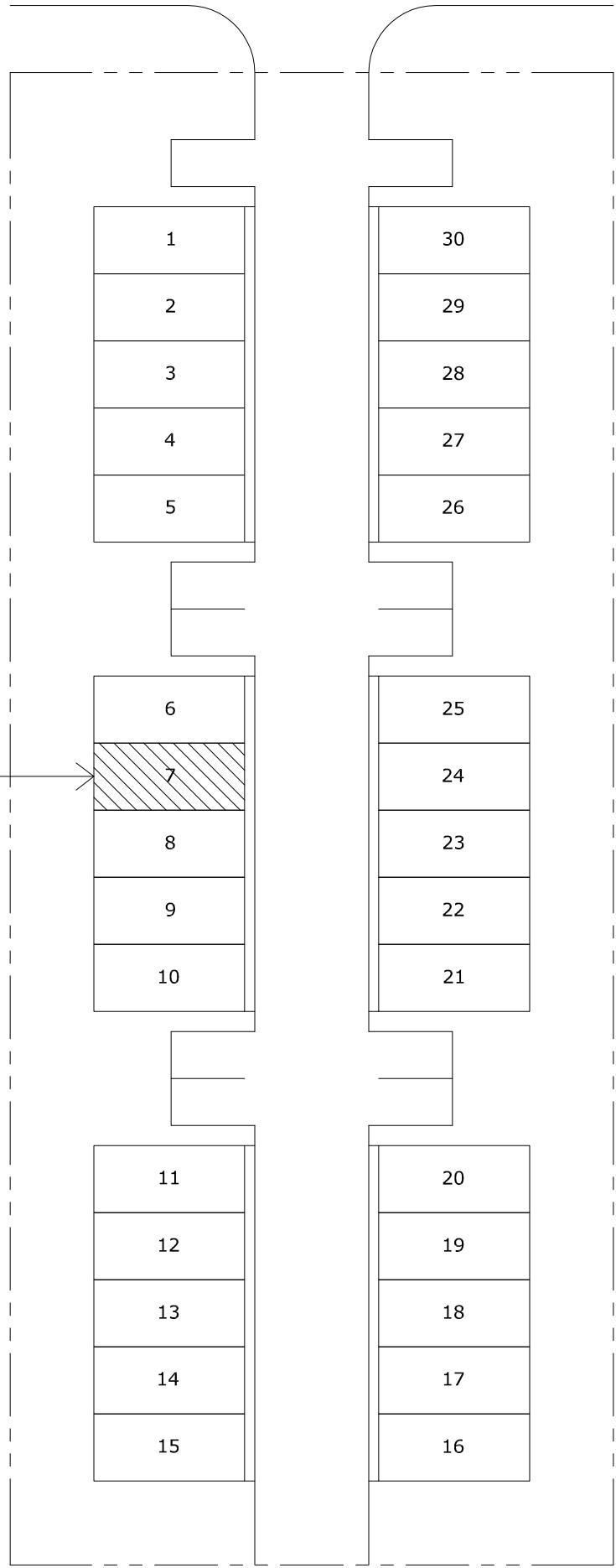
Other Permits that may be required

Separate plumbing, electrical, and sprinkler permits are required for any plumbing, electrical, and sprinkler work, respectively. Plumbing, electrical, and sprinkler permits may be applied for only after the building permit has been issued.

160 Street

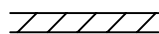


Location of
Townhouse Unit

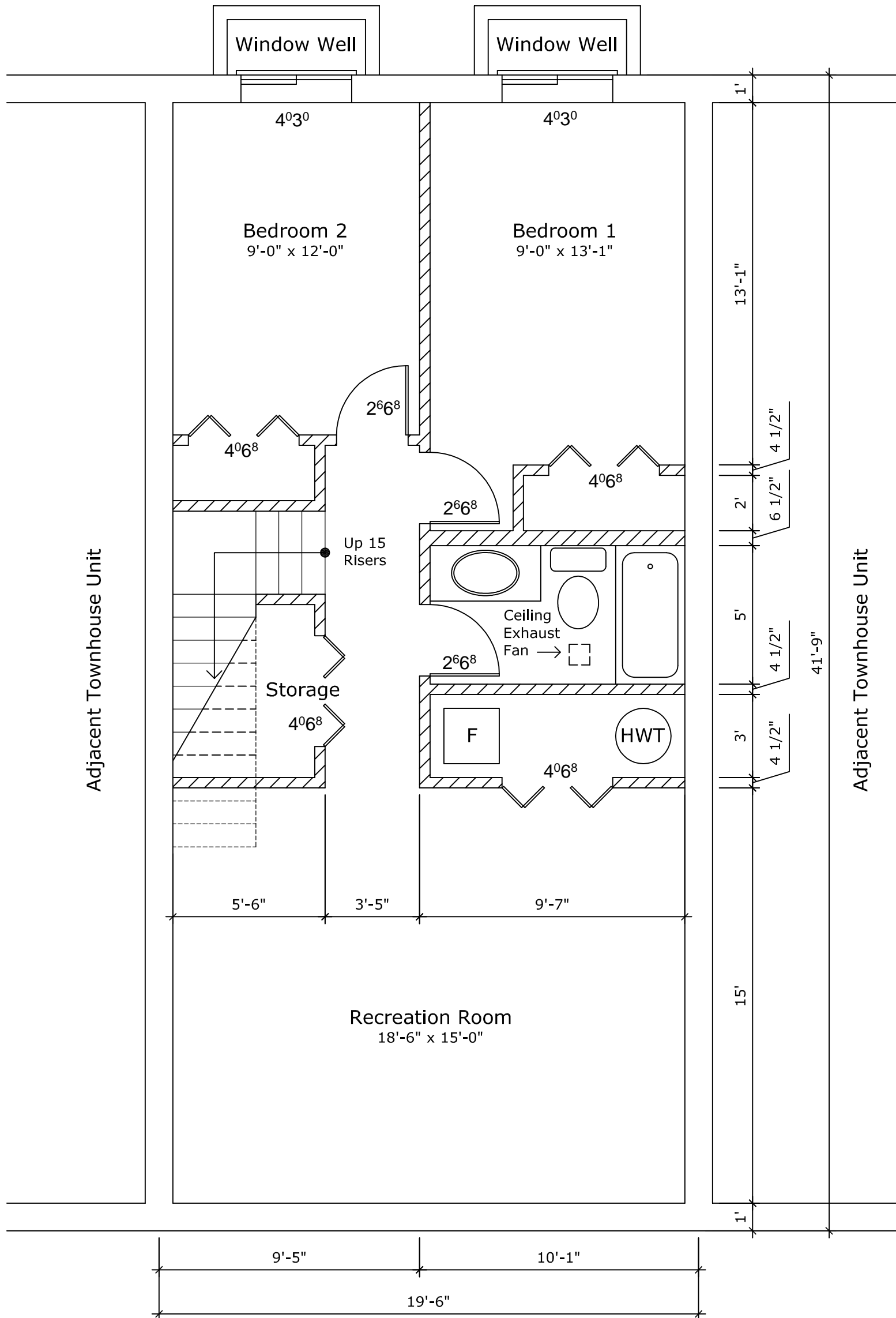


Site Plan

Unit 7
5678 - 160 Street

 Proposed Wall Assembly
 1/2" Gypsum Board
 2x4 Wood Studs @ 16" o.c.
 1/2" Gypsum Board

Rough-in plumbing is existing.



Basement Floor Plan
 814 sq. ft.
 Scale: 1/4" = 1' - 0"

Unit 7
 5678 - 160 Street