

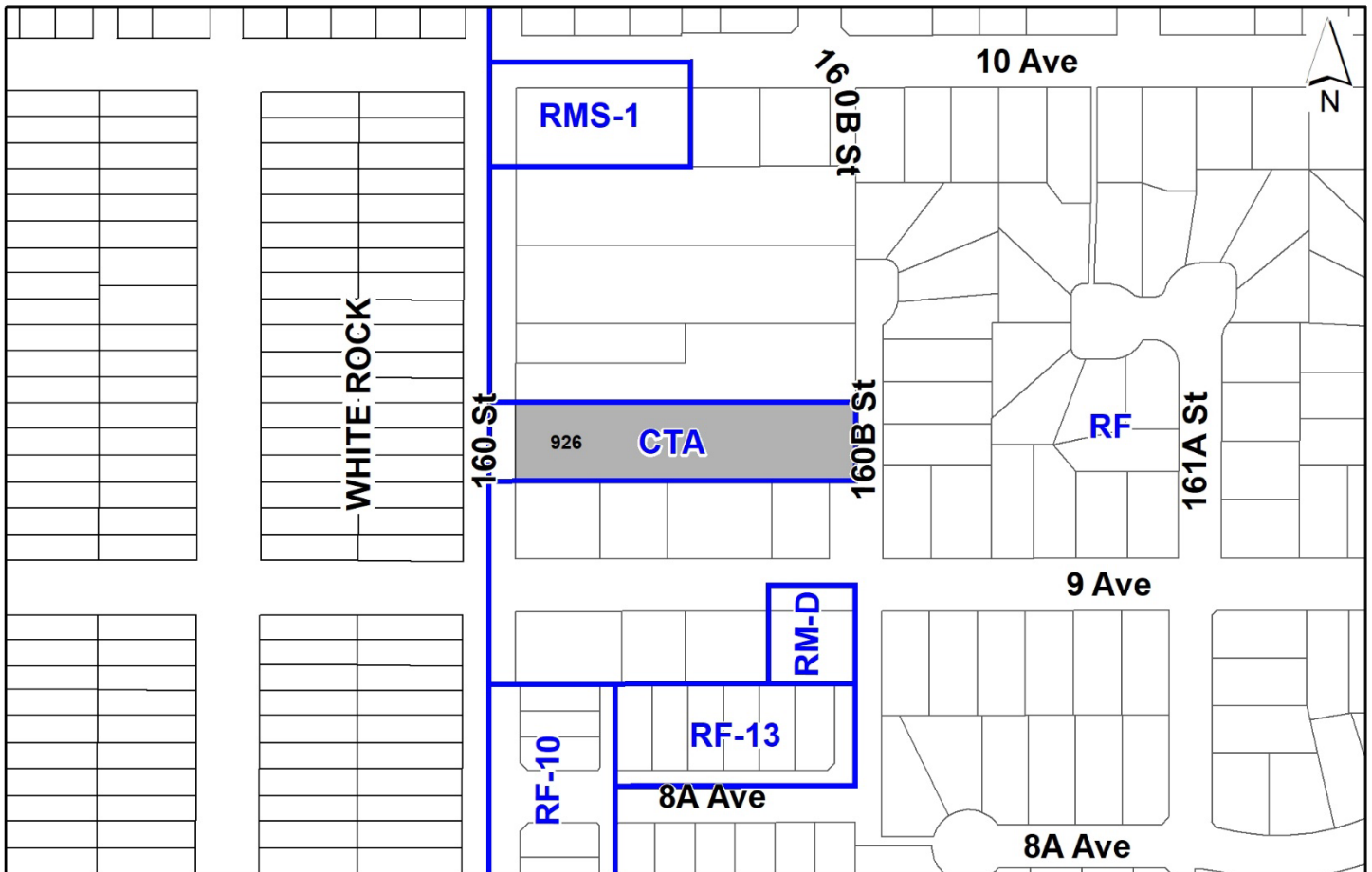
PROPOSAL:

- **Development Permit**
to allow a 59 room hotel.

LOCATION: 926 - 160 Street

ZONING: CTA

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the uses and density permitted under the existing “Tourist Accommodation Zone (CTA)”.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality materials and contemporary design. The street interface has been designed to a high quality to achieve a positive experience between the proposed building and the public realm, including substantial landscaping buffering to integrate into the surrounding single family dwelling context.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7921-0106-00, generally in accordance with the attached drawings (Appendix I).
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
 - (g) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Hotel	Urban	CTA
North:	Single Family Residential	Urban	RF
East (Across 160B Street):	Single Family Residential	Urban	RF
South:	Single Family Residential	Urban	RF
West (Across 160 Street in White Rock):	Single Family Residential	Mature Neighbourhood	RS-2 One Unit (Small Lot) Residential Zone

Context & Background

- The subject site is located between 160 and 160B Streets, north of 9 Avenue, on the Surrey – White Rock border. There is an existing older hotel building on the 3,944 square metre site that is proposed to be replaced.
- The site is designated Urban in the Official Community Plan. There is no secondary plan in this area.
- The site is zoned “Tourist Accommodation Zone (CTA)”. The proposed hotel complies with the uses and density permitted under the existing CTA Zone.
- A previous application on the subject property, Development Application No. 7916-0438-00, proposed rezoning and subdivision to allow 12 townhouse units and 2 single family lots. After public consultation including a Public Information Meeting, the application was closed at the applicants request due to community opposition.
- The subject application was originally submitted as a proposal to redevelop the site into a child care centre and two single family lots. However, this would require rezoning to a commercial or public assembly zone to allow the child care centre use. The developer was still unable to gain support from area residents, and therefore decided to revise the proposal to construct a new hotel under the existing CTA Zone.

DEVELOPMENT PROPOSAL

Planning Considerations

- The application proposes a Development Permit to allow a new three storey, 1,799 square metre hotel building with 59 rooms.
- The proposed hotel complies with the uses and density permitted under the existing CTA Zone.

	Proposed
Lot Area	
Gross Site Area:	3,935 square metres
Road Dedication:	333 square metres
Net Site Area:	3,602 square metres
Number of Lots:	1
Building Height:	10 metres
Floor Area Ratio (FAR):	0.49
Floor Area	
Commercial:	1,799 square metres
Number of Rooms:	59

Referrals

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
- Surrey Fire Department: No concerns.
- Advisory Design Panel: The application was not subject to review by the ADP but was reviewed by staff and found satisfactory.

Transportation Considerations

- The site will have vehicular access from 160 Street to the west.
- The application proposes a total of 59 parking spaces based on the required one parking space per sleeping unit under Part 5 of the Zoning Bylaw. 56 parking spaces will be located in the proposed underground parkade, and 3 parking spaces are proposed to be located as surface parking near the building entrance.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the General Urban designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the Urban designation in the Official Community Plan.

Zoning By-law

- The proposed development complies with the uses and density permitted under the "Tourist Accommodation Zone (CTA)".

CTA Zone (Part 42)	Permitted and/or Required	Proposed
Floor Area Ratio:	0.50	0.49
Lot Coverage:	50%	15%
Yards and Setbacks		
North (Side):	7.5 metres	7.5 metres
East (Front – double fronting lot):	20 metres	54 metres
South (Side):	7.5 metres	7.5 metres
West (Front):	20 metres	22 metres
Height of Buildings		
Principal buildings:	10 metres	10 metres
Accessory buildings:	7.5 metres	n/a
Parking (Part 5)	Required	Proposed
Number of Stalls		
Commercial (Tourist Accommodation):	59	59
Bicycle Spaces		
Tourist Accommodation	2	2

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Approval of the Development Permit.

PUBLIC ENGAGEMENT

- The Development Proposal Signs were installed on November 3, 2023. Staff received 6 responses from neighbouring residents (*staff comments in italics*):
- Most responses were seeking general information on the proposal. Staff received two responses expressing opposition to the proposal and one response in support of the proposal. Concerns pertained to the location of the hotel within in a residential area, the potential for short-term rentals, and increased traffic generated by a hotel.

Staff responded that the proposed hotel use is permitted under the site's existing "Tourist Accommodation (CTA)" zoning. There have been previous Development Applications for rezoning and subdivision to allow residential development (7992-0637-00, 7916-0438-00, and the original proposal under the current Development Application was for two single family lots on 160B Street and a child care centre), which faced neighbourhood opposition. In response to this opposition, the developer decided to proceed with an application for a new hotel under the existing zoning.

Vehicle access will be from 160 Street and parking will be mostly provided in an underground parking facility. The CTA Zone allows for Tourist Accommodation and is not intended for short-term rentals. There will be landscape buffering along all four sides of the site and a cluster of existing trees will be retained in the north-east corner of the site.

DEVELOPMENT PERMITS

Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant has worked with staff to integrate the design with the surrounding single family residential context and provide adequate landscape buffering and screening.
- The proposed design is for a 3-storey hotel building with 59 guest rooms. The hotel building, access and parkade entry are located on the western half of the property. The eastern half of the property consists of outdoor amenity space for hotel guests including an open lawn, patios with seating and landscaping. Sensitive use of native shrubs, along with deciduous and coniferous trees, help the site to blend in better with the neighbourhood.
- The building will front onto 160 Street, with a large setback of approximately 22 metres, allowing room for the driveway, parking ramp to the underground parking, entry plaza, bike racks, short-term surface parking spaces, and will have substantial landscaping planted on both sides of the driveway.
- The front building façade along 160 Street provides a visually interesting expression that is well articulated with use of a variety of materials and stepped back at the third (top) storey to reduce the building massing and to be more in keeping with the surrounding single family dwelling character.
- Exterior finish materials include fiber cement, hardie panels, painted roof projections, and Endicott face brick, in neutral tones of charcoal, beige, sandstone, black and white, as well as a planted green wall on upper storey.
- The entry plaza invites users and pedestrians to access the site in an open and welcoming way, while the building retains a modest scale.
- Signage has not yet been determined and will be confirmed prior to issuance of the Development Permit or through a separate sign permit application.

Landscaping

- The 160 Street frontage is designed to provide a welcoming entryway with decorative paving, an open plaza area, short-term parking spaces, and bike racks for guests/visitors and staff. Landscaping will surround the driveway entrance with a variety of shrubs and trees.
- A cluster of 6 existing trees comprised of Douglas fir and western red cedar will be retained at the rear of the site near the north-east corner of the property.

- All non-hard surfaces are proposed to be covered by vegetation to maximize biodiversity. The planting design includes ground covers, a variety of flowering and non-flowering shrubs, and trees including different species of maple, white spruce, serviceberry and sweetgum.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Tim Vandenberg and Rhythm Batra, ISA Certified Arborists of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood	3	1	2
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	2	2	0
Holly	1	1	0
Coniferous Trees			
Douglas Fir	10	7	3
Western Red Cedar	17	16	1
Total (excluding Alder and Cottonwood Trees)	30	26	4
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		30	
Total Retained and Replacement Trees Proposed		36	
Estimated Contribution to the Green City Program		\$12,650	

- The Arborist Assessment states that there are a total of 30 mature trees on the site, excluding Alder and Cottonwood trees. 3 existing trees, approximately 10% of the total trees on the site, are Alder and Cottonwood trees. The applicant proposes to retain 6 trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 53 replacement trees on the site. Since 30 replacement trees can be accommodated on the site, the proposed deficit of 23 trees will require an estimated cash-in-lieu payment of \$12,650 representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Japanese maple, red maple, vine maple, white spruce, serviceberry, and sweetgum.
- In summary, a total of 36 trees are proposed to be retained or replaced on the site with an estimated contribution of \$12,650 to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey, Tree Preservation and Tree Plans

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

EM/ar

PROPOSED TOURIST ACCOMMODATION FACILITY 926 160TH STREET, SURREY, BC



1 View from NW
Scale: NTS

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ARBORIST	Mike Fadum & Associates	#105- 8277 129 Street, Surrey, V3W 0A6	Mike Fadum	(778) 593 0300
CIVIL CONSULTANTS	HUB ENGINEERING	Unit 212 12992 76 AVE, Surrey, BC	Mike Kompter	(604) 572 4328
AHJ	CITY OF SURREY			



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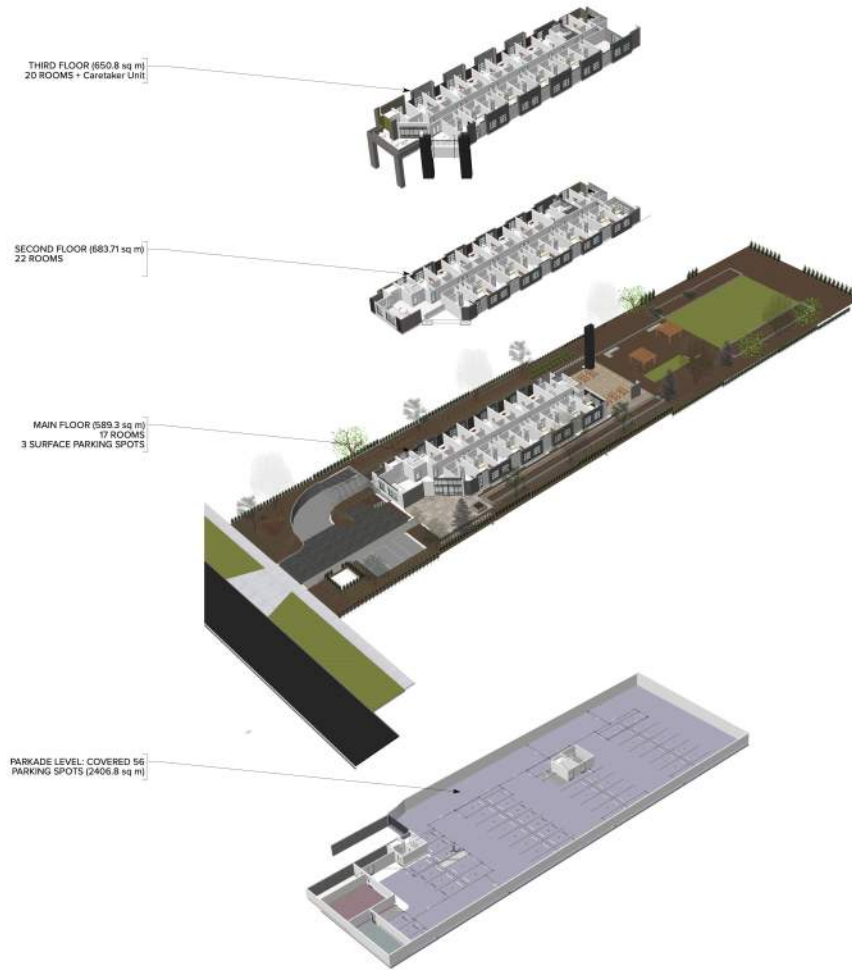
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Sheet Title
COVER SHEET

Sheet No. A0.01	Total Sheets 9	Contractors	Consultants
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No	Date	Issue Notes
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Scale

PROJECT STATISTICS



PROJECT DATA

CIVIC ADDRESS	926 160 STREET, SURREY, BC
ZONE	CTA
PROPOSED USE	TOURIST ACCOMMODATION
BASIS OF DESIGN	BCBC 2018

AREA CALCULATION	REQUIRED	PROPOSED
PROPOSED STORIES		3
BUILDING HEIGHT	10m	9.75m
TOTAL PROPOSED UNITS		59

GROSS SITE AREA	42360 sqft (3935.37 sqm)
NET SITE AREA	38773.75 sqft (3602.20 sqm)
GROSS FLOOR AREA	19,362.12 sqft (1798.8 sqm)
FAR	0.49

DEDICATION	2m at WEST
	9.5m at EAST
LOT COVERAGE	<50% / % 15.3

CTA SETBACKS		
FRONT YARD	20m (65Ft)	21.94m (71.9Ft)
SIDE YARDS	7.5m (25Ft)	7.5m (25Ft)
REAR YARD	17m (55.7743 Ft)	53.9m (176.8Ft)

NUMBER OF PARKING SPOTS	1 PARKING SPOT PER ROOM
NUMBER OF SURFACE PARKING	3
NUMBER OF COVERED PARKING	56
NUMBER OF SMALL CAR PARKING	17
TOTAL NUMBER OF PARKING	59 (required) / 59 (proposed)

ROOM BREAKDOWN PER FLOOR

AREA CALCULATION	LEVEL 1	LEVEL 2	LEVEL 3	TOTAL
ROOM A (26 TOTAL)	8	9	9	26
ROOM A1 (2 TOTAL)	0	1	1	2
ROOM B (26 TOTAL)	8	10	8	26
ROOM B1 (3 TOTAL)	1	1	1	3
ROOM A2 (1 TOTAL)	0	1	0	1
ROOM A3 (1 TOTAL)	0	0	1	1
TOTAL NUMBER OF ROOMS PER FLOOR	17	22	20	59

GROSS AREA CALCULATION (EXCLUDING PARKING & INDOOR AMENITY)

LEVEL	AREA
MAIN FLOOR LEVEL	5,917.9 sqft (549.8 sqm)
SECOND FLOOR LEVEL	7,040.45 sqft (654.08 sqm)
THIRD FLOOR LEVEL	6,404.53 sqft (595 sqm)
CARETAKER UNIT, THIRD FLOOR AREA	
GROSS FLOOR AREA	19,362.12 sqft (1798.8 sqm)

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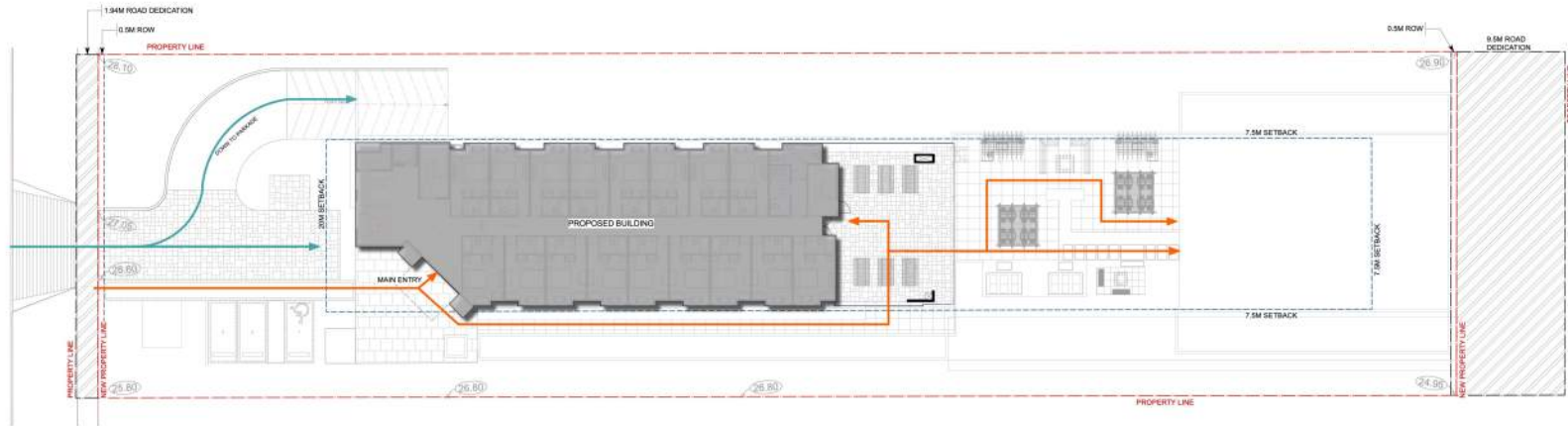
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DESIGN RATIONALE



1 SITE PLAN
Scale: 1:200

SITE PLANNING PRINCIPLES

The proposed project is a 3-Storey Hotel Building Development with an Underground Parkade, Amenity spaces, and multi-purpose lawn on the rear end. We have worked diligently to incorporate all of the functional requirements for the hotel building and site.

The site and building design has evolved with continual guidance from the City Staff over the last months. We have taken the principal points that the CoS considered vital in the evolution of this site design which include the following:

- Setbacks provided with landscape buffers to provide screening and privacy from neighboring properties.
- Provide pedestrian friendly walkways to the Building and Amenities for hotel visitors.
- Allow for direct access to the underground parkade for visitors.
- Allow for an easy drop off zone in front of the building lobby.
- Building expression and elevations designed to be modern and simple, and to relate to the site.
- Several amenities provided for visitors such as Covered dining tables, lounges, firepits, BBQ, and a large multi-purpose lawn for several occasions.

As guided by the CoS staff at the very beginning, we continued to work with the same principles, setbacks and the requirements and faithfully followed the CoS staff's directives in the site planning of this development.



ENVIRONMENTAL / SUSTAINABILITY FEATURES

This project is designed in compliance with CoS, the Building Codes, and the Official Community Plan Development Permit Guidelines. We have taken careful consideration to design the site with landscaping, walkways and open spaces that add to the sustainability of the building and site. Some of the sustainable features include:

- Design Elements such as overhangs, and landscape elements allowing for natural shading and protection of the Building.
- Rich selection of plants, shrubs and trees on site to reduce any heat island effects.
- Bike and pedestrian paths with easy access to transit lines.
- Green Wall designs.
- Curtain glazings and large windows selection to reduce excess window junctions, and spandrel panels provided to block solar radiations.



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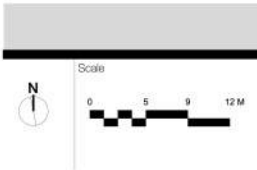
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SITE CONTEXT



CONTEXT

As evident by the footprint configuration of the surrounding developments, this development makes place for itself in a swiftly expanding area of new single family homes and mature older homes. The scale, setbacks and interfaces are designed to match other residential properties in the area to keep up with the spirit of residential integration. We also envisage this facility to seamlessly integrate with the transit facilities, and provide a good community option.

KEY

- Site
- Existing Residential Buildings
- New Single Family Residential Buildings
- Proposed Building
- Property Line



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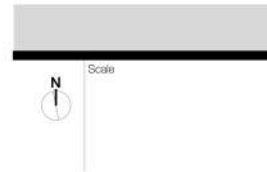
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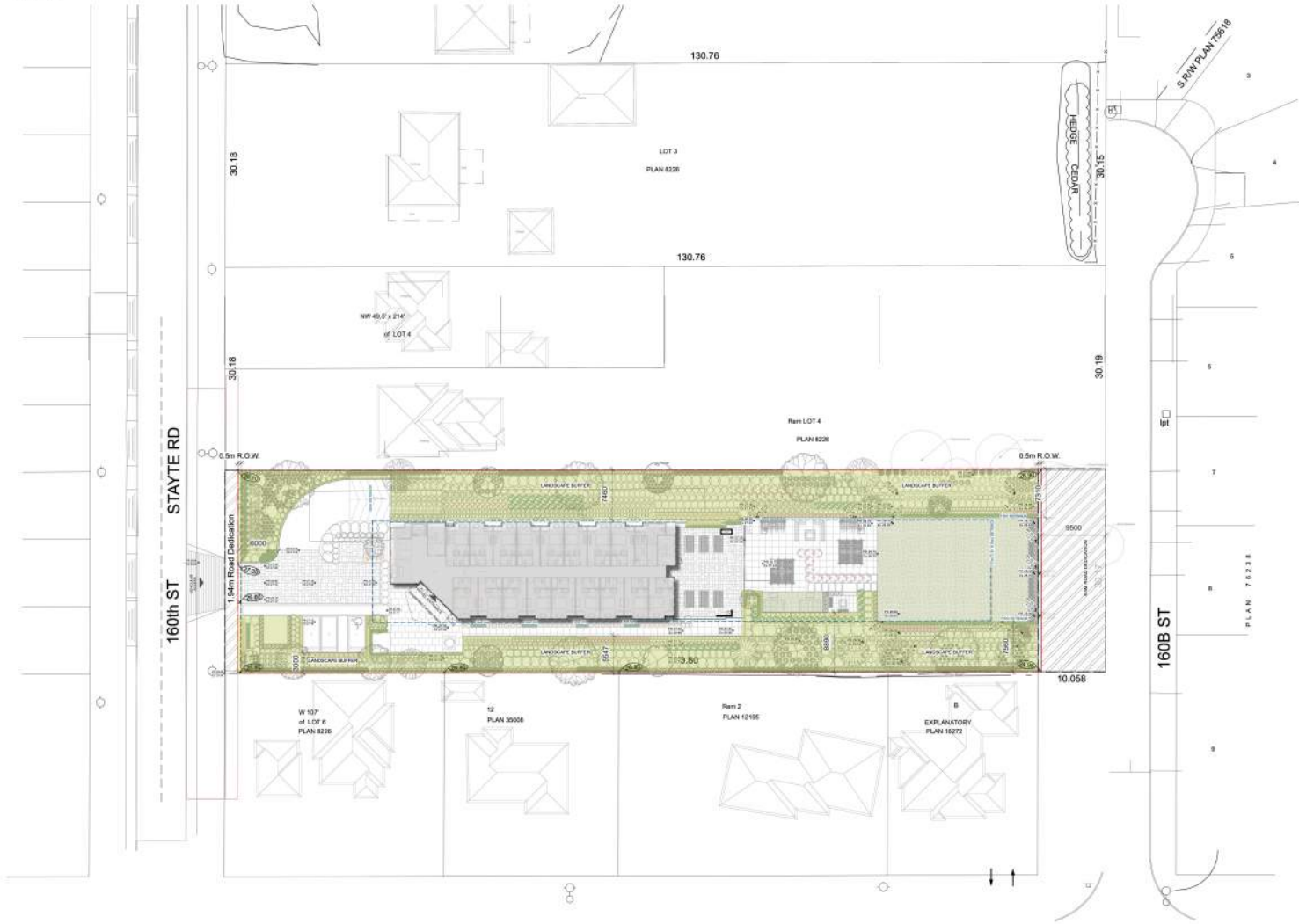
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ENLARGED CONTEXT PLAN



1 CONTEXT PLAN
Scale: 1:300



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ENLARGED CONTEXT PLAN

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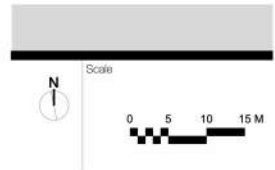
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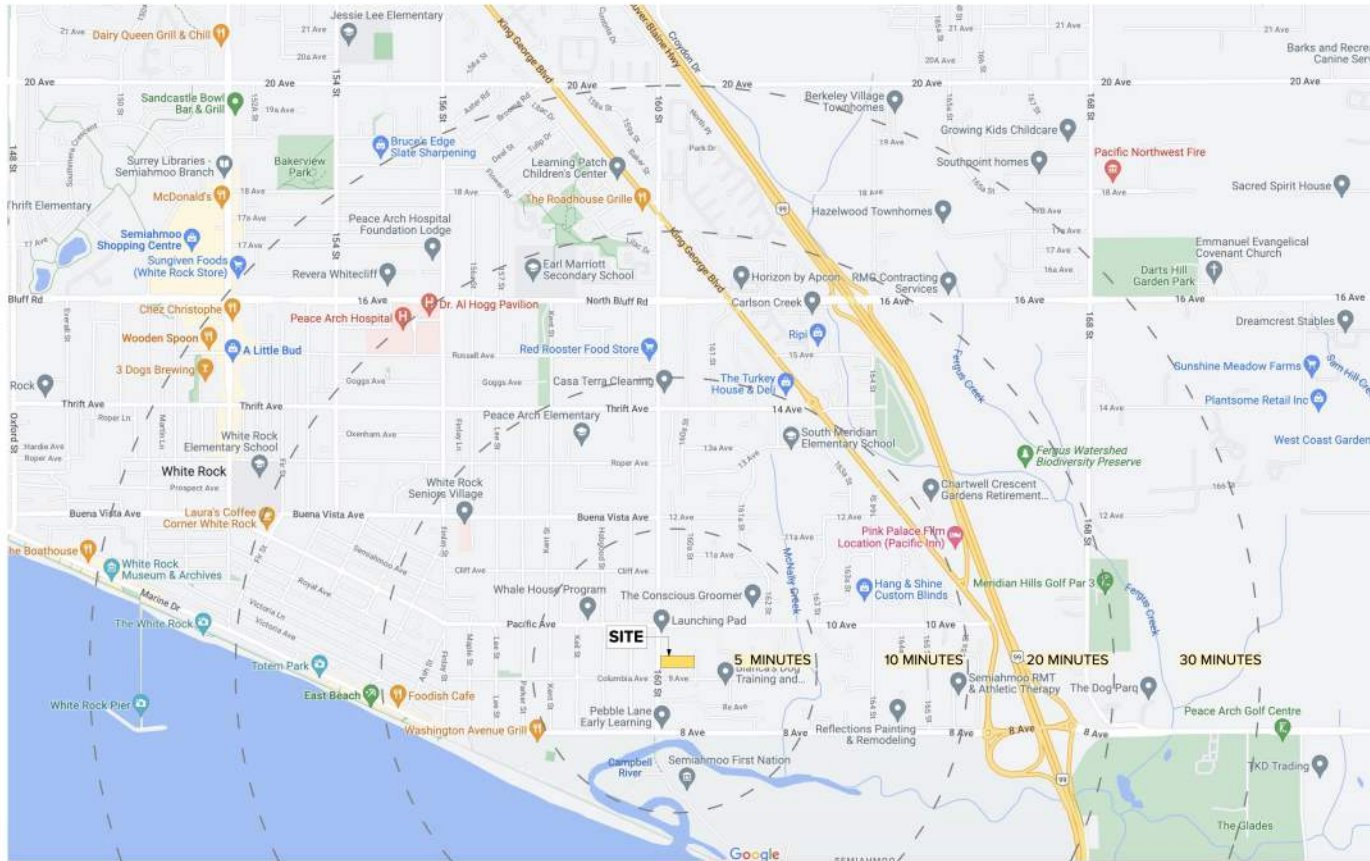
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NEIGHBOURHOOD CONTEXT



CONTEXT

As the density of White Rock and South Surrey area explode and become more urbanized, the requirement of hotel facilities is swiftly expanding because of the beach, Canada's longest pier as a tourist attraction place and multiple tourist attractions nearby. Several restaurants, and cafes are mushrooming in the area; therefore the need for such a facility is evident.

Furthermore, this site is well connected to the transit lines and highway connectivity to enable convenience for tourists to integrate it with their vacation plan.



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Project
926 160th St. HOTEL

Owner
1065423 BC LTD.

Sheet Title
**NEIGHBOURHOOD
CONTEXT**

Sheet No.
A0.06

Drawn By
BF

Reviewed By
RD

Total Sheets
9

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RD

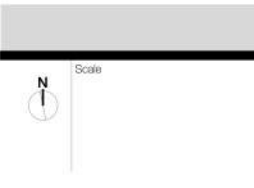
Status
DP SUBMISSION

Contractors
**A+J
City of Surrey**

Consultants
**Documents
REVIEW**

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No	Date	Issue Notes
A	2021-03-06	DP SUBMISSION
B	2022-06-04	DP RE-SUBMISSION
C	2022-11-21	DP RE-SUBMISSION
D	2023-04-21	DP RE-SUBMISSION
E	2023-06-11	DP RE-SUBMISSION



STREETSCAPE



1 STREETScape 160 St
Scale: 1:192



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Project
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Owner
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Sheet Title
STREETSCAPE

Sheet No.
A0.07

Drawn By
BF

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RD

Total Sheets
9

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RD

Status
DP SUBMISSION

Contractors

A+U
City of Surrey

Consultants

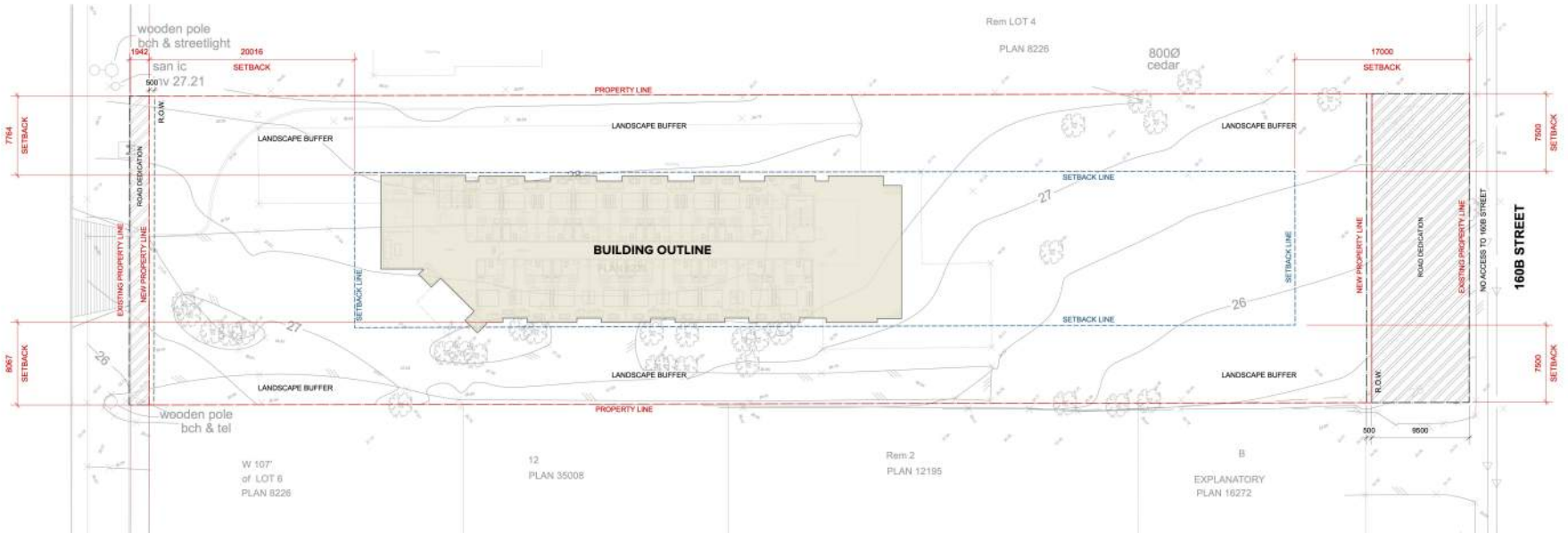
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C	2022-11-21	DP RE-SUBMISSION
D	2023-04-21	DP RE-SUBMISSION
E	2023-06-11	DP RE-SUBMISSION

Scale





1 **BASE PLAN**
Scale: 1/300



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Project
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Owner
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Sheet Title
BASE PLAN

Sheet No.
A0.08

Drawn By
BF

Reviewed By
RD

Total Sheets
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Checked By
RD

Status
DP SUBMISSION

Contractors

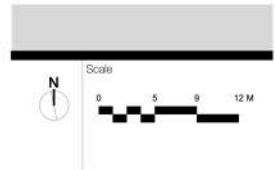
A+J
City of Surrey

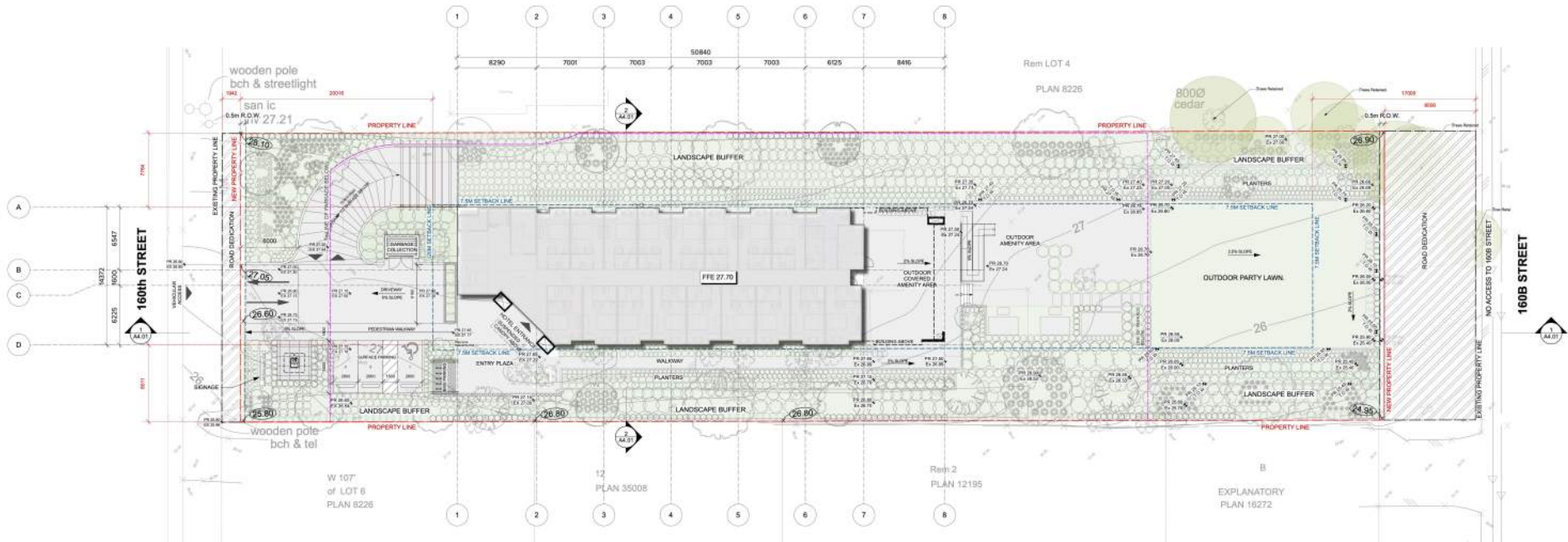
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Documents
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C	2022-11-21	DP RE-SUBMISSION
D	2023-04-21	DP RE-SUBMISSION
E	2023-06-11	DP RE-SUBMISSION





1 SITE PLAN
Scale: 1:300

PR 27.90
Ex 27.24

EXISTING SURVEY AND PROPOSED GRADES

25.80
CIVIL GRADES

25.47
SURVEY GRADES

TREES TO BE RETAINED



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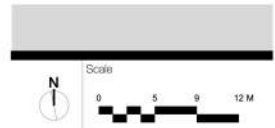
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926 160th St. HOTEL

Owner
1065423 BC LTD.

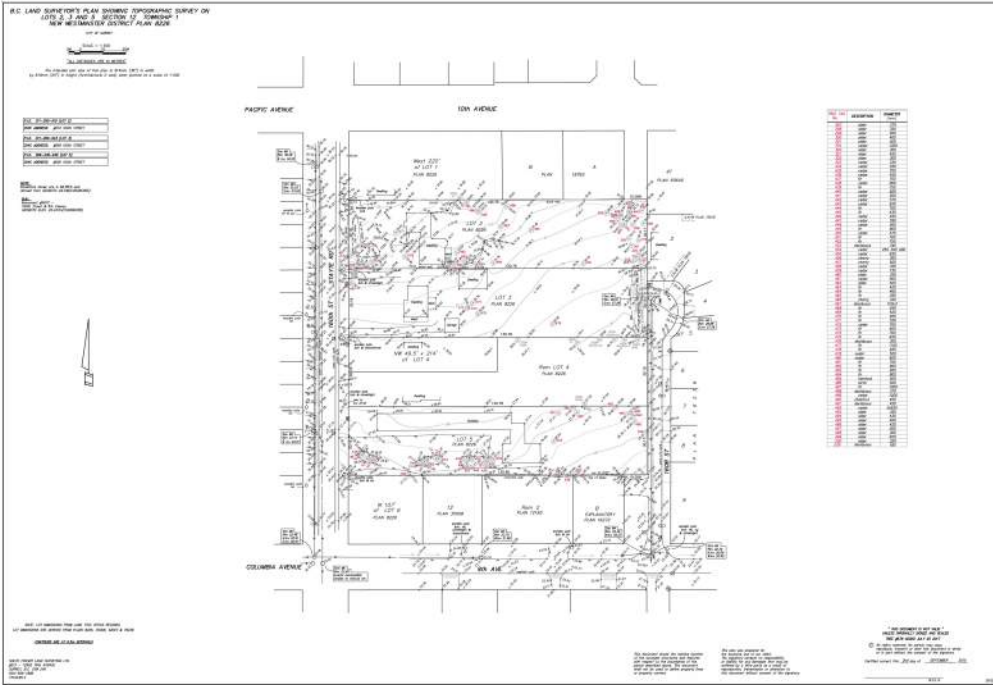
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SITE PLAN

Sheet No. A1.01	Total Sheets 9	Contractors	Consultants
Drawn By BF	Checked By RD	A+J City of Surrey	Documents REVIEW
Reviewed By RD	Status DP SUBMISSION	FOR REVIEW ONLY	

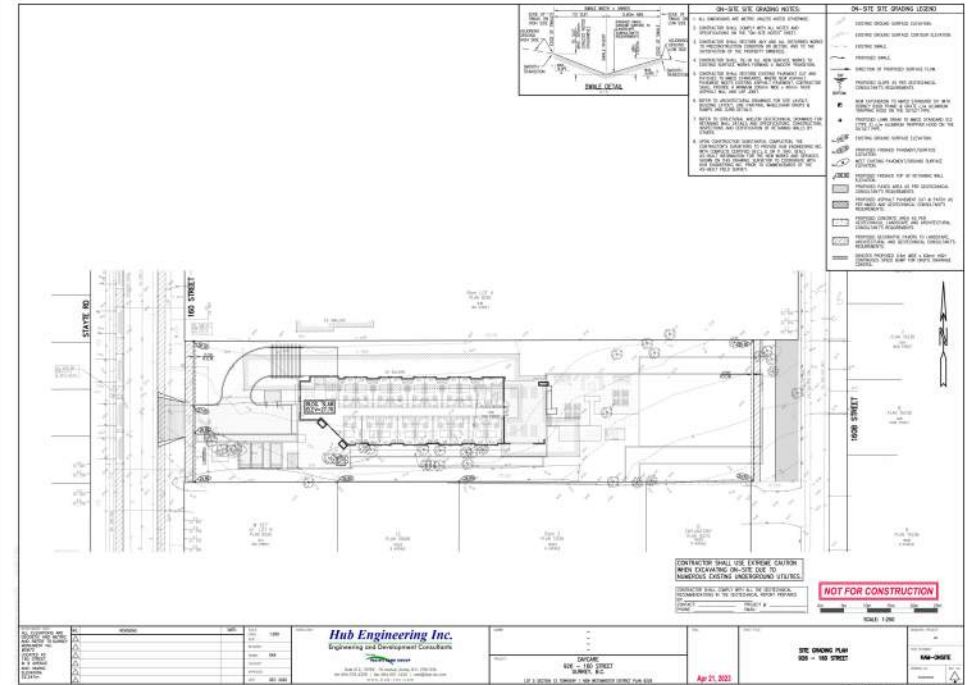
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C	2022-11-21	DP RE-SUBMISSION
D	2023-04-21	DP RE-SUBMISSION
E	2023-05-11	DP RE-SUBMISSION



SURVEY/CIVIL PLAN



1 SURVEY PLAN
Scale: NTS



2 CIVIL PLAN
Scale: NTS



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Owner
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Sheet Title
SURVEY/CIVIL PLAN

Sheet No. A1.02	Total Sheets 9	Contractors	Consultants
Drawn By BF	Checked By RD	A+U City of Surrey	Documents REVIEW
Reviewed By RD	Status DP SUBMISSION	FOR REVIEW ONLY	

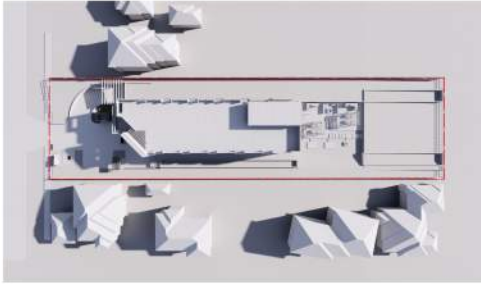
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E	2023-06-11	DP RE-SUBMISSION

Scale

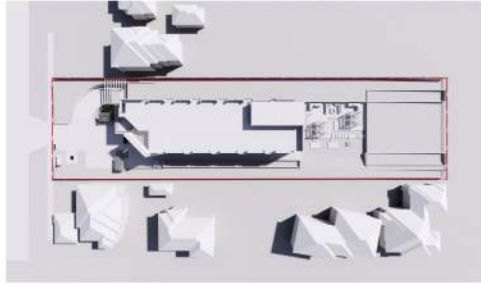
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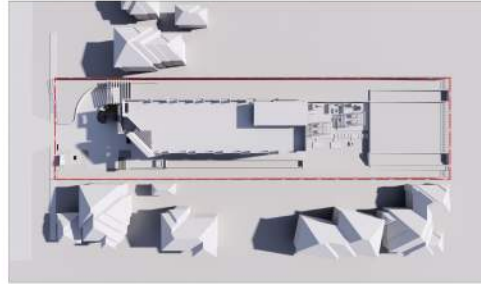
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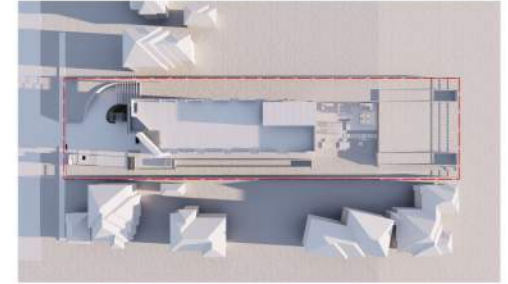
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AUTUMN



WINTER

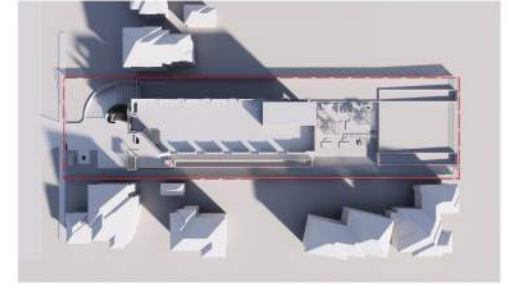
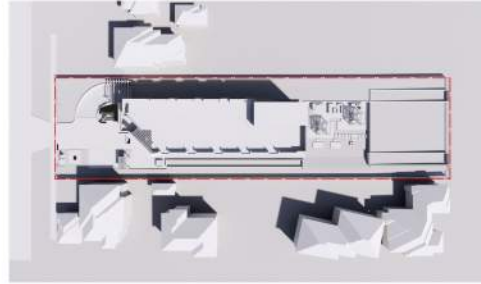
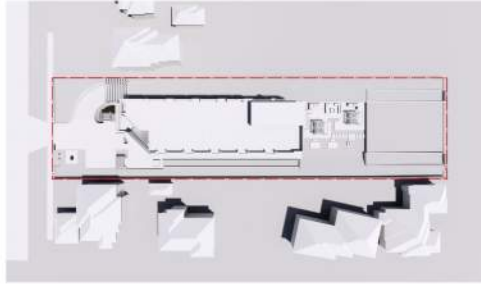
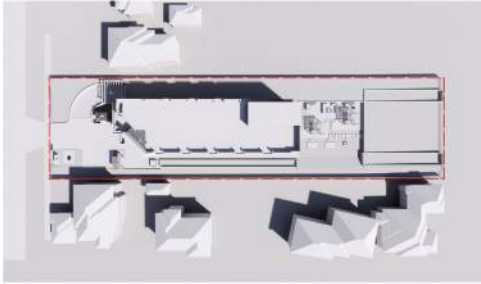


1 21st MARCH 9AM
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4 21st JUNE 9AM
Scale: NTS

7 21st SEPTEMBER 9AM
Scale: NTS

10 21st DECEMBER 9AM
Scale: NTS

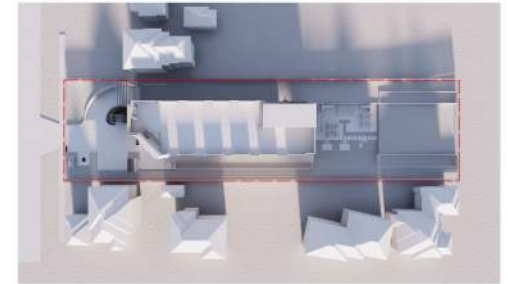
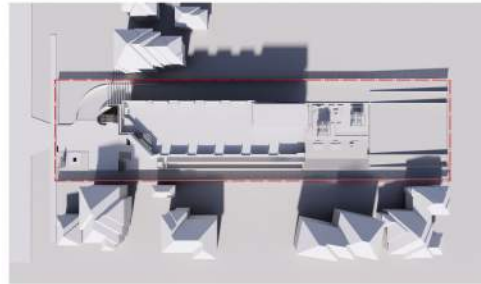
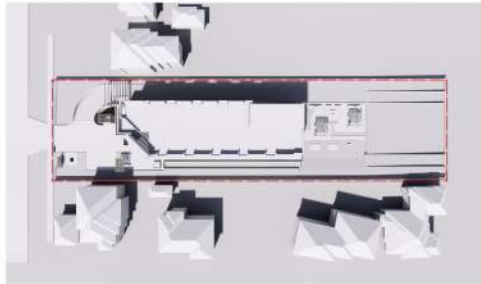
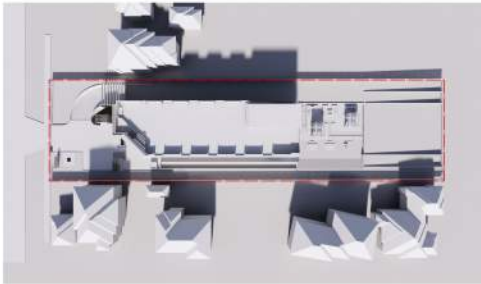


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5 21st JUNE 12PM
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8 21st SEPTEMBER 12PM
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11 21st DECEMBER 12PM
Scale: NTS



3 21st MARCH 3PM
Scale: NTS

6 21st JUNE 3PM
Scale: NTS

9 21st SEPTEMBER 3PM
Scale: NTS

12 21st DECEMBER 3PM
Scale: NTS



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Project
926 160th St. HOTEL

Owner
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Sheet Title
SHADOW STUDY

Sheet No.
A1.03

Drawn By
BF

Reviewed By
RD

Total Sheets
9

Checked By
RD

Status
DP SUBMISSION

Contractors

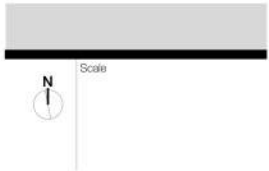
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City of Surrey

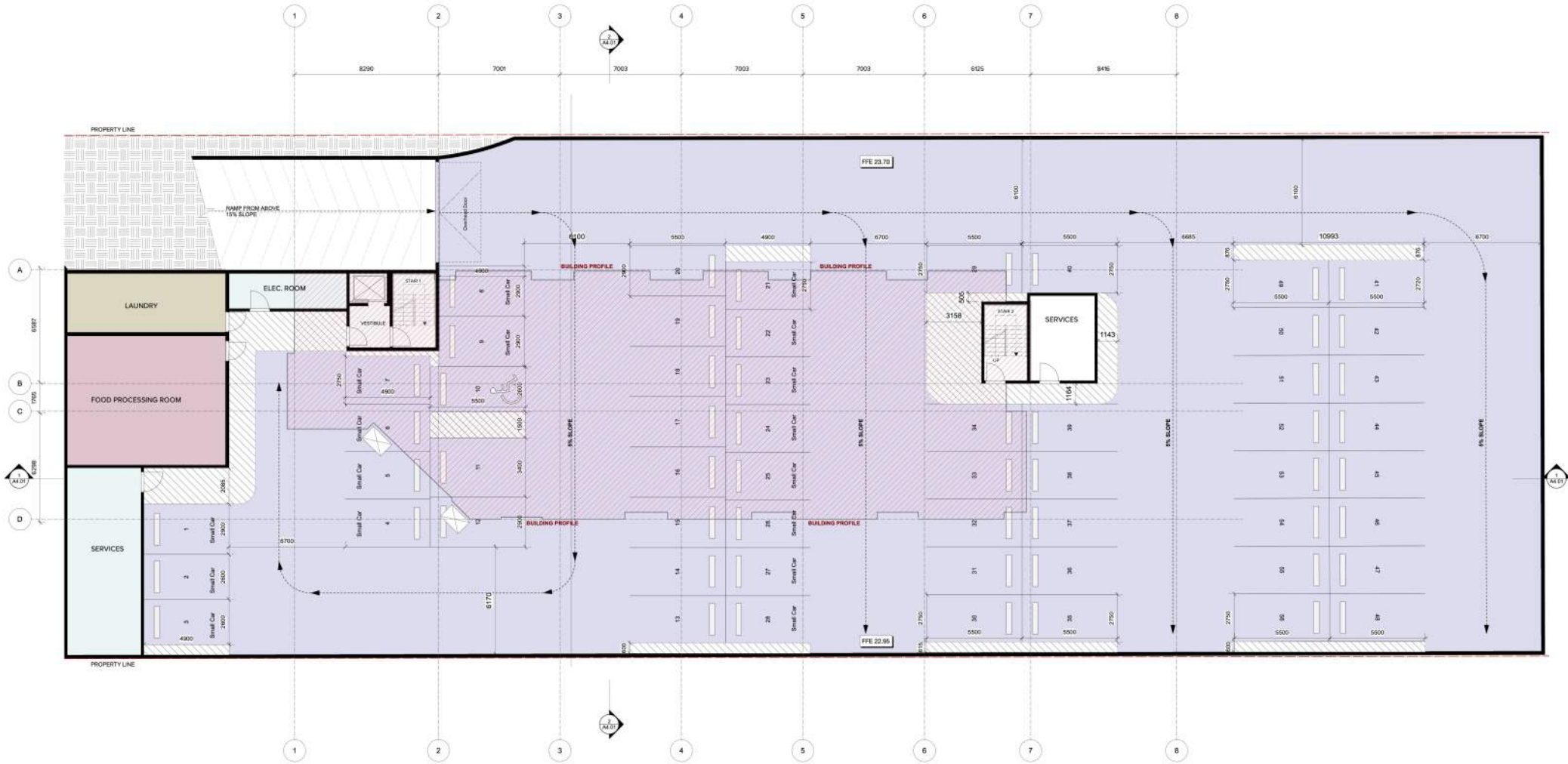
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Documents
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B	2022-06-04	DP RE-SUBMISSION
C	2022-11-21	DP RE-SUBMISSION
D	2023-04-21	DP RE-SUBMISSION
E	2023-06-11	DP RE-SUBMISSION





1 PARKADE PLAN
Scale: 1:100



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Project
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Owner
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Sheet Title
PARKADE PLAN

Sheet No.
A2.01

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9

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Status
DP SUBMISSION

Contractors

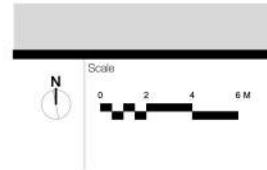
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Documents
REVIEW

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B	2022-06-04	DP RE-SUBMISSION
C	2022-11-21	DP RE-SUBMISSION
D	2023-04-21	DP RE-SUBMISSION
E	2023-06-11	DP RE-SUBMISSION





SPACE LEGEND

- RECEPTION AREA
- CIRCULATION
- CONTROL ROOM
- TYPE A (22.06 m²)
- TYPE B (21.88 m²)
- TYPE B1 (22.75 m²)
- WASHROOM

1 MAIN FLOOR PLAN
Scale: 1:100



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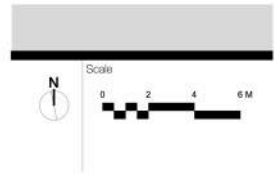
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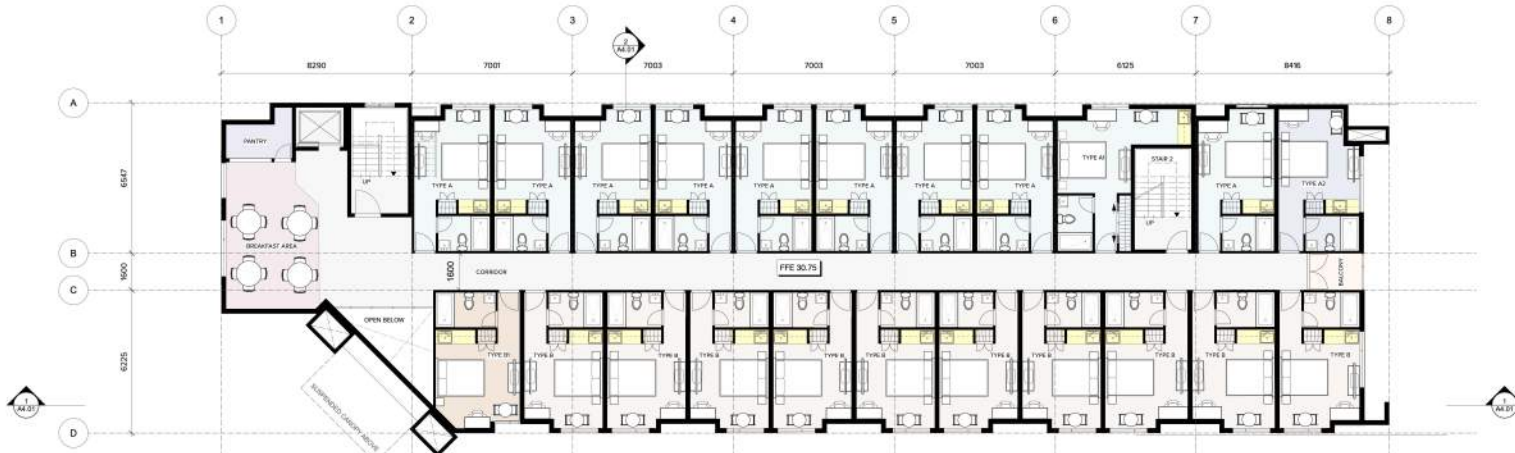
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Sheet No. A2.02	Total Sheets 9	Contractors A+J City of Surrey	Consultants Documents REVIEW
Drawn By BF	Checked By RD	Reviewed By RD	Status DP SUBMISSION

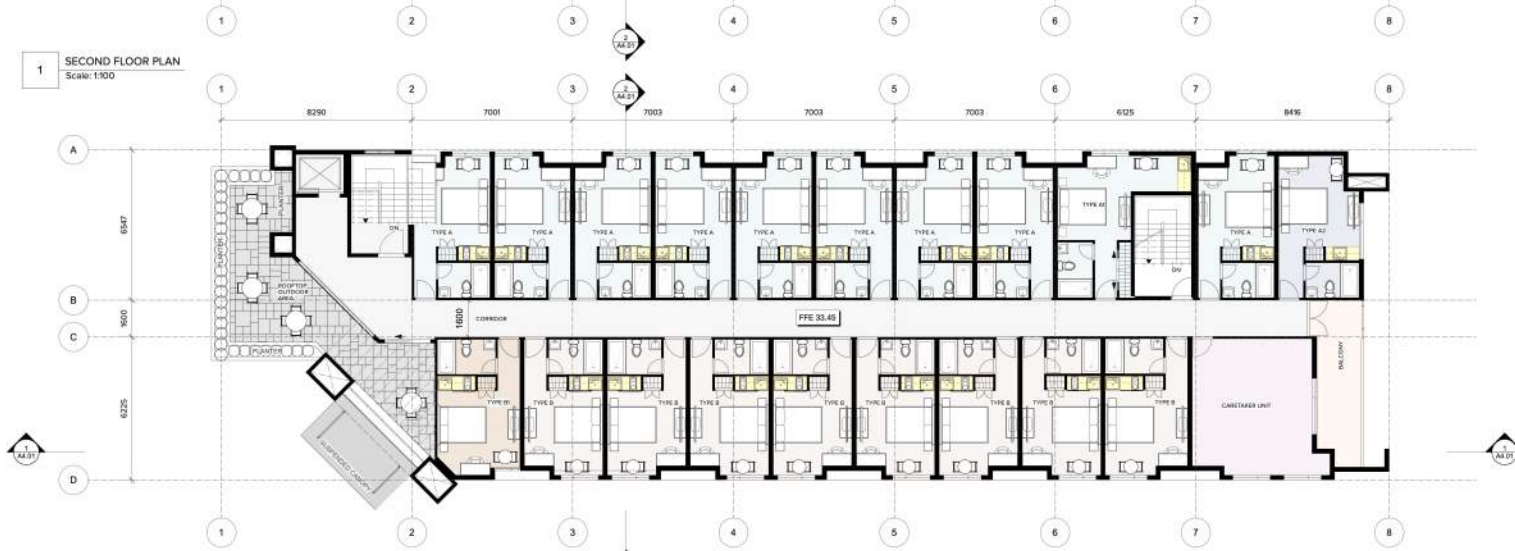
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C	2022-11-21	DP RE-SUBMISSION
D	2023-04-21	DP RE-SUBMISSION
E	2023-06-11	DP RE-SUBMISSION





1 SECOND FLOOR PLAN
Scale: 1:100



2 THIRD FLOOR PLAN
Scale: 1:100

SPACE LEGEND

- RECEPTION AREA
- CIRCULATION
- CARETAKER UNIT
- BREAKFAST AREA
- PANTRY
- KITCHEN
- TYPE A (22.05 m²)
- TYPE A1 (25.96 m²)
- TYPE A2 (22.87 m²)
- TYPE B (21.98 m²)
- TYPE B1 (22.75 m²)
- TYPE B2 (21.25 m²)

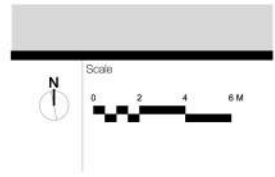


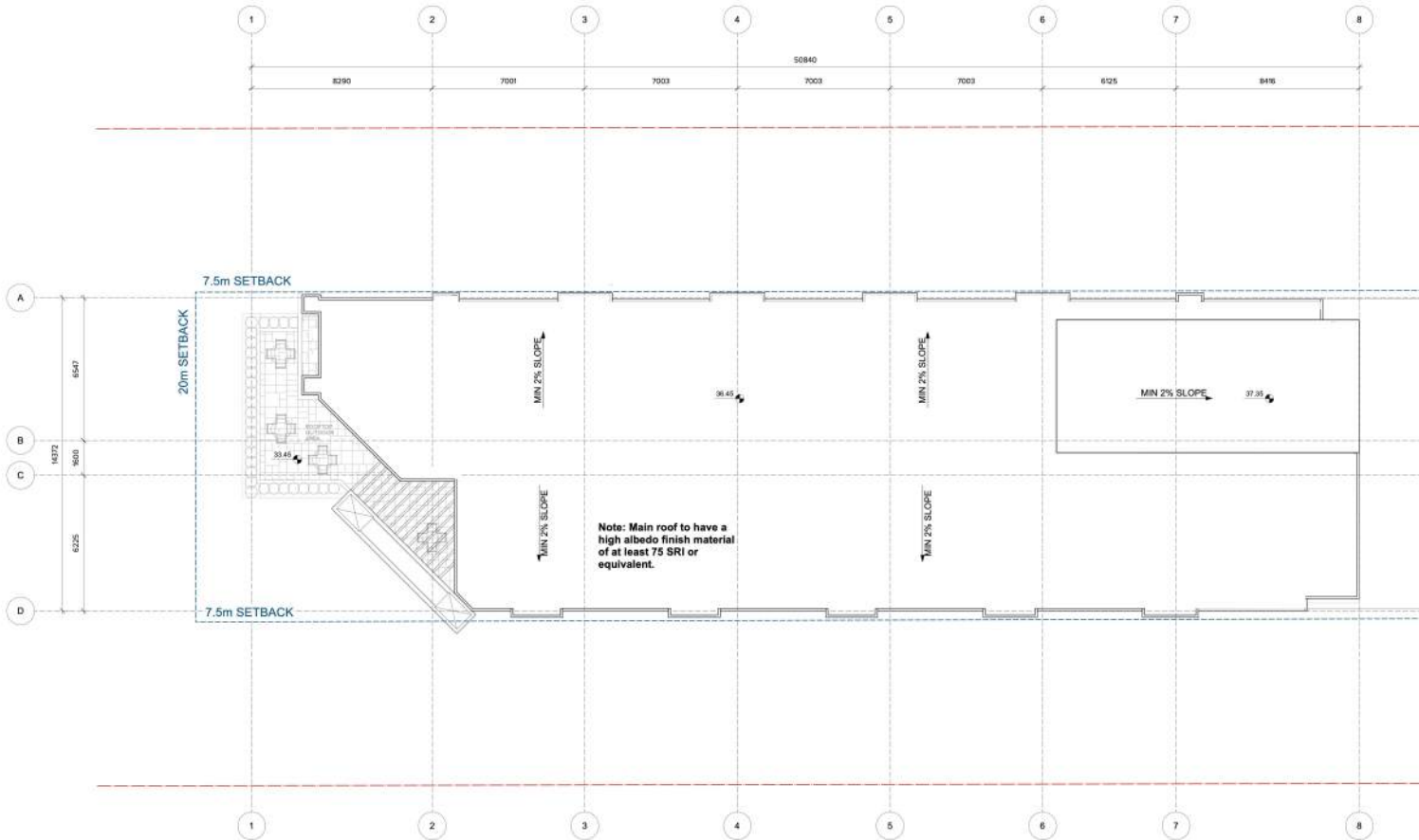
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Project
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 Owner
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 Sheet Title
FLOOR PLANS

Sheet No. A2.03	Total Sheets 9	Contractors	Consultants
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Reviewed By RD	Status DP SUBMISSION	FOR REVIEW ONLY	

No	Date	Issue Notes
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B	2022-06-04	DP RE-SUBMISSION
C	2022-11-21	DP RE-SUBMISSION
D	2023-04-21	DP RE-SUBMISSION
E	2023-06-11	DP RE-SUBMISSION





1 ROOF PLAN
Scale: 1:100



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Project
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Owner
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Sheet Title
ROOF PLAN

Sheet No.
A2.04

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Total Sheets
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Contractors

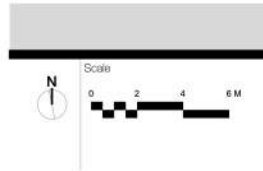
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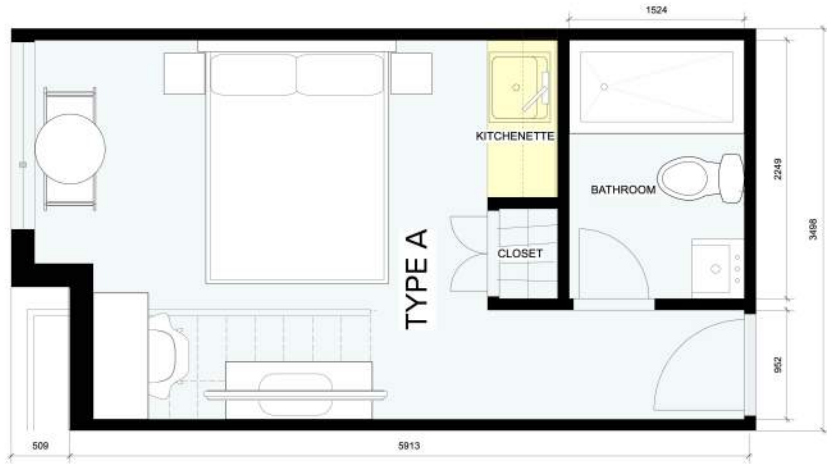
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C	2022-11-21	DP RE-SUBMISSION
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1 ROOM TYPE A
Scale: 1:20



3 ROOM TYPE B1
Scale: 1:20



2 ROOM TYPE B
Scale: 1:20



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Project
926 160th St. HOTEL

Owner
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Sheet Title
ROOM PLANS-1

Sheet No.
A2.05

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9

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C	2022-11-21	DP RE-SUBMISSION
D	2023-04-21	DP RE-SUBMISSION
E	2023-05-11	DP RE-SUBMISSION





1 ROOM TYPE A1
Scale: 1:20



2 ROOM TYPE A2
Scale: 1:20

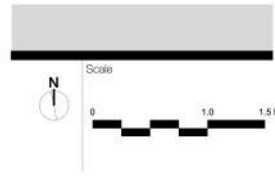


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Project
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Owner
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Sheet Title
ROOM PLANS-2

Sheet No. A2.06	Total Sheets 9	Contractors	Consultants
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C	2022-11-21	DP RE-SUBMISSION
D	2023-04-21	DP RE-SUBMISSION
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1 SOUTH SITE ELEVATION
Scale: 1:200



2 NORTH SITE ELEVATION
Scale: 1:200



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Project
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Owner
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Sheet Title
NORTH & SOUTH SITE ELEVATIONS

Sheet No.
A3.01

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BF

Reviewed By
RD

Total Sheets
9

Checked By
RD

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DP SUBMISSION

Contractors

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E	2023-06-11	DP RE-SUBMISSION





1 SOUTH ELEVATION
Scale: 1/100



4 NORTH ELEVATION
Scale: 1/100

- External Finishes**
- 6" ARTISAN Fiber cement Lap Siding, Colour: Benjamin Moore Kendall Charcoal HC-166
 - 6" ARTISAN Fiber cement Lap Siding, Colour: Benjamin Moore Alexandria Beige HC-77
 - Hardie Panels, Colour: Benjamin Moore White Heron GC-57
 - Painted Roof Fascia Projections Color: Benjamin Moore Midnight Dream 2129-10
 - Endicott Face Brick- Dark Sandstone
 - Window Wall
 - Steel Canopy
 - Black Metal railing with Glass Panels
 - Metal standing seam
Color: Dark Gray
 - Aluminum Composite Panel
Color: Dark Gray



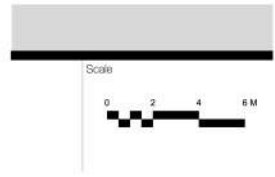
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Project
926 160th St. HOTEL
Owner
1065423 BC LTD.
Sheet Title
NORTH & SOUTH BLDG ELEVATIONS

Sheet No.
A3.02
Drawn By
BF
Reviewed By
RD
Total Sheets
9
Checked By
RD
Status
DP SUBMISSION

Contractors
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A	2021-03-06	DP SUBMISSION
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1 EAST ELEVATION (160B ST)
Scale: 1:100



2 WEST ELEVATION (160 ST)
Scale: 1:100

- External Finishes**
- 6" ARTISAN Fiber cement Lap Siding, Colour: Benjamin Moore Kendall Charcoal HC-166
 - 6" ARTISAN Fiber cement Lap Siding, Colour: Benjamin Moore Alexandria Beige HC-77
 - Hardie Panels, Colour: Benjamin Moore White Heron OC-57
 - Painted Roof Facia Projections Color: Benjamin Moore Midnight Dream 2129-10
 - Endicott Face Brick- Dark Sandstone
 - Window Wall
 - Steel Canopy
 - Black Metal railing with Glass Panels
 - Metal standing seam Color: Dark Gray
 - Aluminum Composite Panel Color: Dark Gray
 - Green Wall



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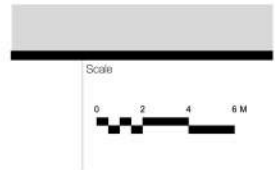
Project
 926 160th St. HOTEL

Owner
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Sheet Title
 WEST & EAST SIDE ELEVATIONS

Sheet No. A3.03	Total Sheets 9	Contractors A+J City of Surrey	Consultants Documents REVIEW
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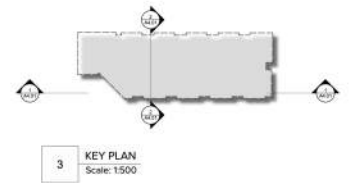




1 SECTION 1
Scale: 1/100



2 SECTION 2
Scale: 1/100



3 KEY PLAN
Scale: 1/500

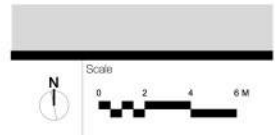


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Project
926 160th St. HOTEL
Owner
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Sheet Title
SECTIONS

Sheet No. A4.01	Total Sheets 9	Contractors	Consultants
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1 VIEW OF FRONT ENTRANCE FROM SW (160 ST)
Scale: NTS



2 BIRD'S EYE VIEW FROM SW (160 ST)
Scale: NTS



3 VIEW OF REAR SIDE FROM SE
Scale: NTS



4 VIEW OF REAR SIDE FROM EAST
Scale: NTS



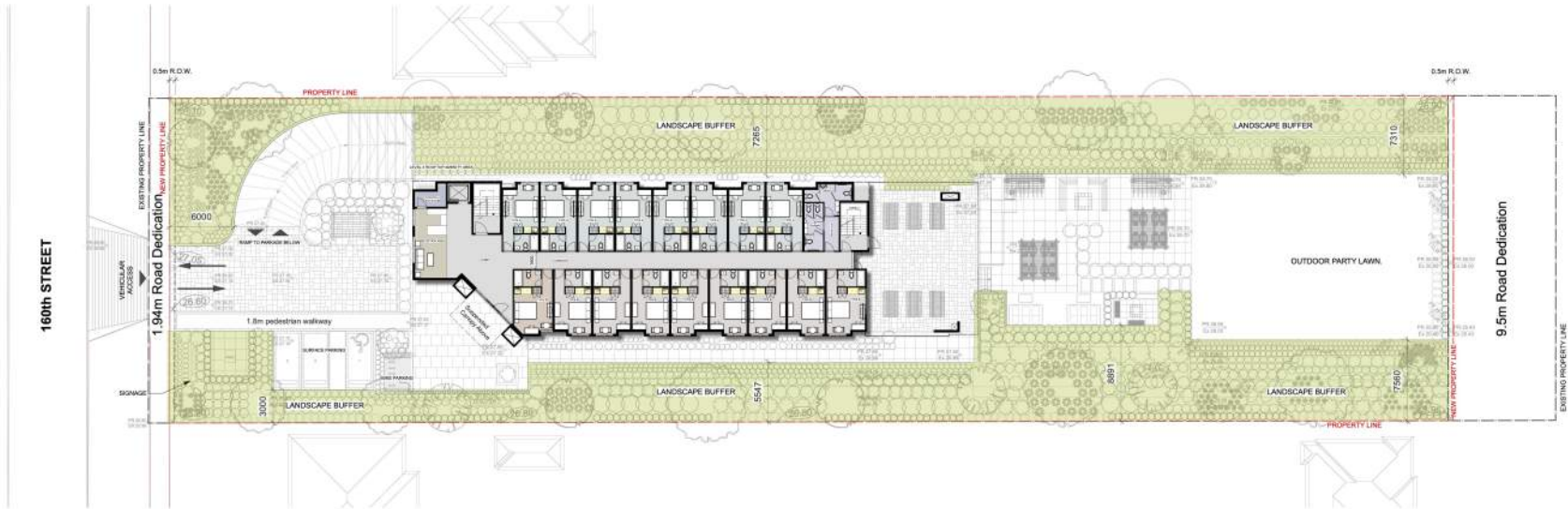
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Project
926 160th St. HOTEL
Owner
1065423 BC LTD.
Sheet Title
PERSPECTIVE VIEW

Sheet No. A5.01	Total Sheets 9	Contractors	Consultants
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Scale



1 KEY PLAN
Scale: 1:200

DESIGN RATIONALE AND SUMMARY

This is a Tourist accommodation facility located at the border of South Surrey and Whiterock with a changing demographic. With the number of residential densities placed within ever densifying residential neighborhood increasing in the surrounding area, demand of tourist accommodation is increasing. To address this problem we are proposing tourist accommodation and influx of tourist with accommodation needs. The design not only allows for better vehicular and pedestrian access to the site but also provides access opportunities for the neighborhood as well.

In keeping with residential nature of the neighborhood, the overall design tries to introduce a variety of plants to create diversity and visual interest. Longitudinal sides of the sites are treated with hedges and cedar fence to provide privacy from adjacent properties.

The different areas of the site are clearly defined for their intended use. The entry plaza invites users and pedestrians to access the site in an open and welcoming way, at the same time retaining a residential scale. The outdoor amenities area at the back leaves the rest of the site safer for pedestrian use. The outdoor amenity area is set apart with a surrounding shrubs to restrict access from and to the areas. It includes covered a patio, outdoor dining, non-netted SOD for parties and events.

Sensitive use of native shrubs, along with coniferous trees, help the site seamlessly blend with the neighborhood. Also, plenty of buffer is provided between the properties to the all four sides of site.

GENERAL NOTES

All materials and workmanship to CLS Standards, latest edition. Soil depths and subgrade preparation, soil quality and plant sizes to meet or exceed that standard.

Plant sizes in this list are specified according to the BC Landscape Standard's latest edition. Container sizes are specified as per "CNTA Standards". Both plant size and container size are the minimum acceptable sizes. The installers are advised to search and review, make plant material available to the Landscape Architect for optional review at the source of supply. Area of search to include Lower Mainland and Fraser Valley. "Substitutions" must obtain written approval from the Landscape Architect prior to making any substitutions to specified material. Unapproved substitutions will be rejected. Allow a minimum of five working days prior to delivery for request to substitute. Substitutions are subject to the Landscape Standard.

All plant material must be provided from the certified "Disease Free" nursery. All plant material must conform to the latest edition of the "BC Landscape Standard". Provide certification upon request. All landscaping and landscape materials to conform to the latest edition of the CLS standards.

Min. growing medium depths over prepared subgrade shall be:	
Lawn areas	300mm
Ground Cover Areas	450mm
Shrub Areas	450mm
Tree Pits	300mm (around root balls)

Growing medium shall have physical and chemical properties as described in the standards for "Ground" areas, except for the areas over structures where the medium shall conform to the requirements for level 1 applications. Processing and mixing of the growing medium shall be done off-site using a mechanized screening process. Proposed growing medium shall be tested by a recognized laboratory. The contractor shall guarantee that the soil submitted for testing is a sample representative of the soil to be used at the site.

On-Site or imported soils shall satisfy the requirements of the standards for growing medium. Soils shall be virtually free from subsoil, wood including woody plant parts, weed or reproductive parts of the weeds, plant pathogenic organisms, toxic material, stones over 30mm, and foreign objects.

All planting beds shall receive min. 50mm bark mulch. The contractor shall maintain clean working conditions, remove all refuse and debris and present the site in a safe and clean condition upon completion of all works. Plant species and varieties may not be substituted without the approval of the Landscape architect. All plant material to be warranted for one year from date of substantial completion. All wood fences to be cedar, with one coat of clear penetrating preservative.



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Owner
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Sheet Title
KEY PLAN

Sheet No.
L01

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Total Sheets
9

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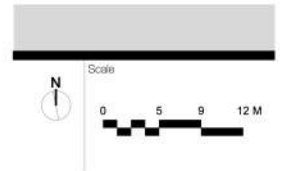
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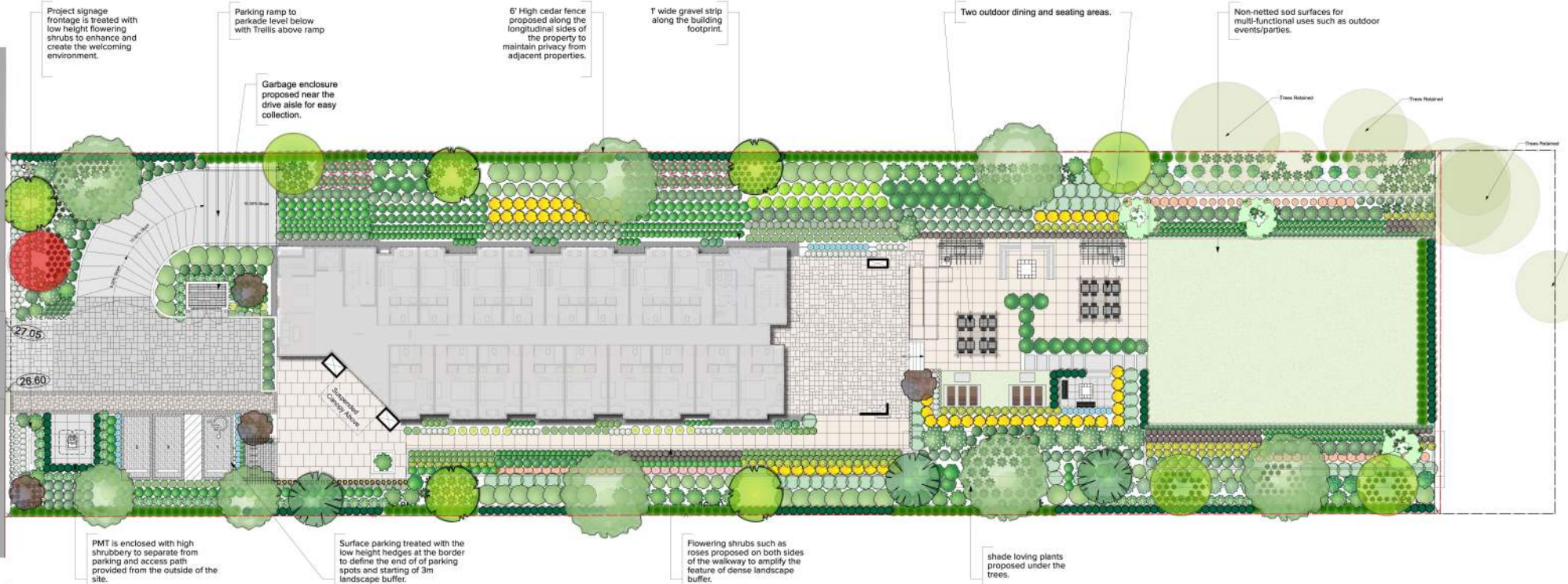
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1 CONCEPT PLAN
Scale: 1:150

Example of Some Proposed Plants



Picea glauca Acer circinatum Amelanchier laevis Hydrangea quercifolia Rosa rugosa Rhododendron cliphense Hosta blue angel

PAVING AND FURNISHING LEGENDS ON L3
PROPOSED SHRUBS AND TREES LIST ON L4

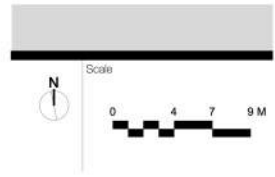


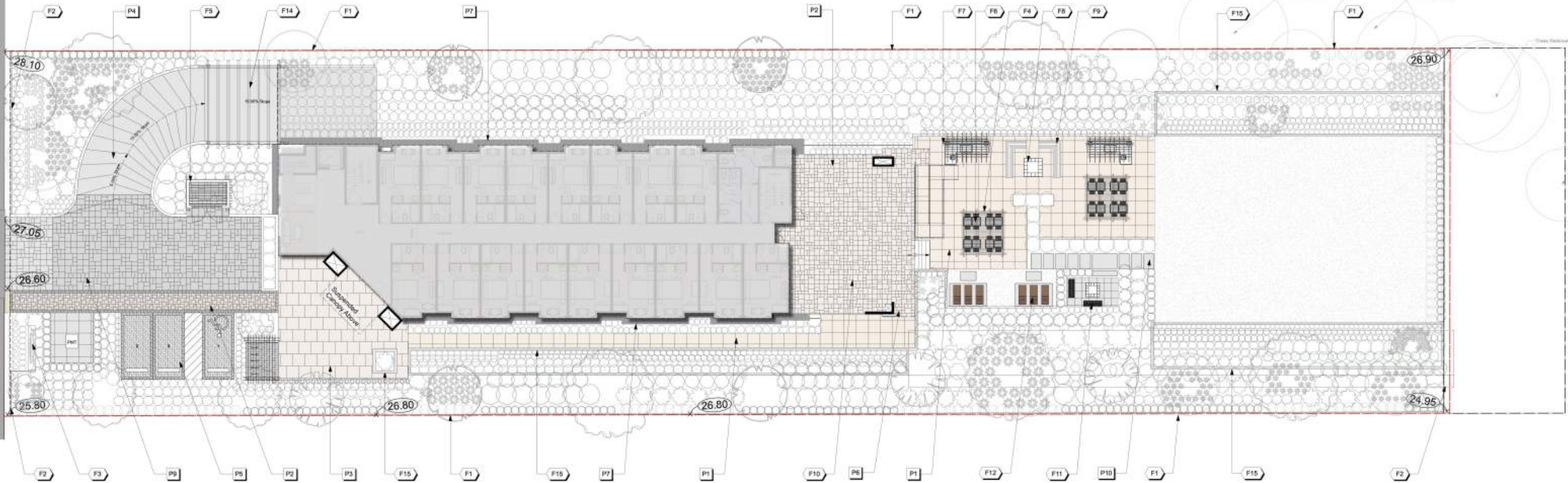
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Sheet Title
CONCEPT PLAN

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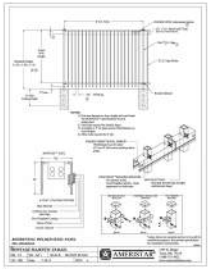




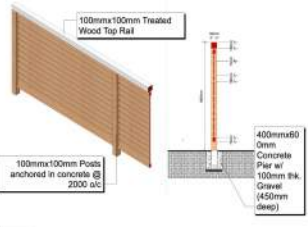
1 HARDSCAPE PLAN
Scale: 1:50



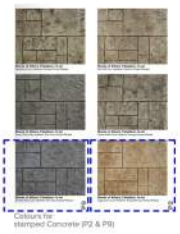
2 NAU PORCELAIN PAVERS NA01 (P3)
Scale: NTS



3 PROPOSED FENCE (F2)
Scale: NTS



4 6" CEDAR FENCE (F1)
Scale: NTS



5 Stamped concrete (P2,P9)
Scale: NTS



6 Equiparc Bench (F11)
Scale: NTS

Non-Netted SOD

PROPOSED SHRUBS AND TREES LIST ON L4

- Paving Legend**
- P1 CIP Stained Concrete with saw cut joints and broom finish. Colour Beige.
 - P2 CIP Stamped Concrete. Colour Beige. (See L03/5)
 - P3 Porcelain Pavers NAU Porcelain Pavers NA01 Colour 'Fado'. (See L03/2)
 - P4 Concrete Ramp
 - P5 AquaPave Paving System. (See L06/6)
 - P6 Gravel
 - P7 1' Wide gravel strip along the building footprint
 - P9 CIP Stamped Concrete. Colour Grey (See L03/5)
 - P10 CIP Concrete Steps with broom finish

- Site Furnishing Legend**
- F1 6' High cedar fence
 - F2 3' High decorative metal fence
 - F3 Project Signage. (See L06/4)
 - F4 Outdoor Dining Trellis. (See L06/8)
 - F5 CMU wall for garbage enclosure. (See L06/9)
 - F6 Outdoor table with chairs
 - F7 Outdoor Kitchen and sink
 - F8 Fire Pit. (See L06/5)
 - F9 L-Shaped wooden bench. (See L06/7)
 - F10 Picnic Table. (See L06/3)
 - F11 Equiparc Bench. (See L03/6)
 - F12 Lounge Chairs. (See L06/2)
 - F13 Trellis Above on 3rd Floor
 - F14 Parkade Entry Trellis
 - F15 CIP Concrete Planter Sand blasted

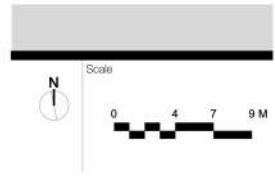


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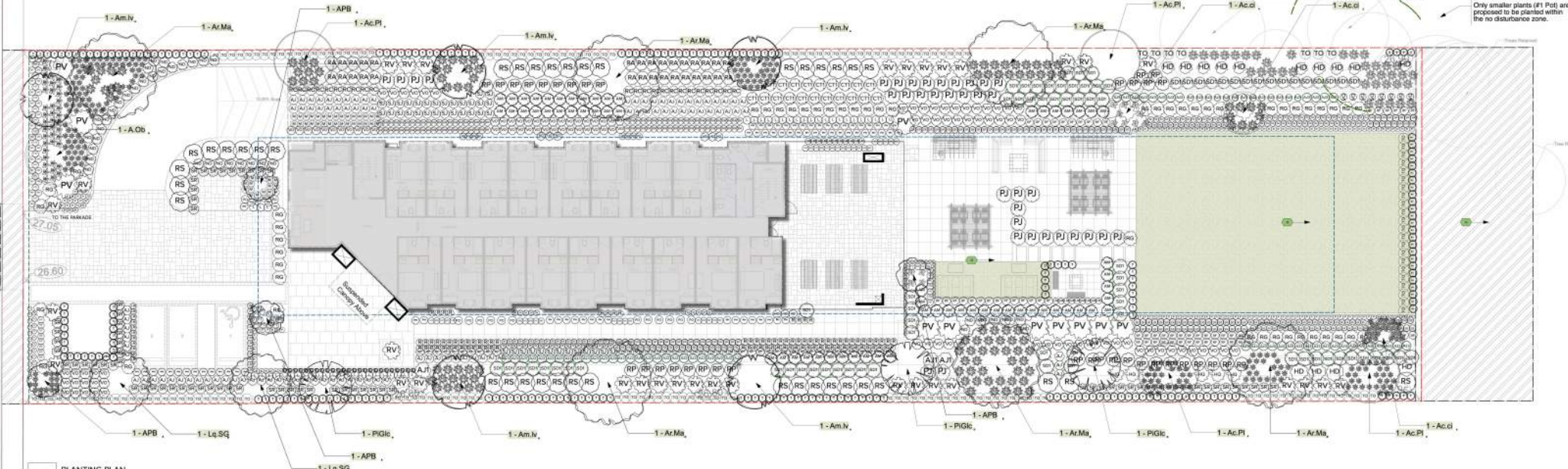
Project
926 160th St. HOTEL
Owner
1065423 BC LTD.
Sheet Title
HARDSCAPE PLAN

Sheet No. L03	Total Sheets 9	Contractors	Consultants
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Only smaller plants (#1 Pot) are proposed to be planted within the no disturbance zone.



1 PLANTING PLAN
Scale: 1:150

Recommended Shrubs Main Floor

Image Detail	ID	Quantity	Latin Name	Common Name	Scheduled Size
	RV	32	Rhododendron Vulcan	Red Rhododendron	#7 pot
	L	41	Lavendula vars	Lavender	#1 pot
	HL	25	Hemerocallis 'Lemon Yellow' or vars	Lemon Yellow Daylily	#1 pot
	AJ	80	Azalea japonica	Japanese azalea	#3 pot
	AJ3	44	Azalea Northern lights mandarin lights	Northern Lights Azalea	#3 pot
	SD1	63	Spiraea douglasii	Hardhack spiraea	#2 pot
	CT1	20	Choisya ternata 'Aztec Pearl'	Aztec Pearl Mock Orange	#3 pot
	Rh.Go	52	Rhododendron 'Gumpo Pink'	Pink Gumpo Azalea	#7 pot
	R	94	Rosa Nutkana	Nootka Rose	#2 pot
	RR	260	Rosa rugosa 'Champlain'	Champlain Hardy Shrub Rose	#2 per
	BP	45	Rubus Paviflorus	Thimble berry	#2 pot
	AJ2	14	Azalea japonica Hino Crimson	Crimson azalea	#3 pot
	AM	68	Azalea mollis 'Lemonara'	Deciduous azalea yellow	#3 pot
	BF	81	Rudbeckia fulgida var. fulgida	Orange Coneflower	#1 pot
	ER	196	Echinacea 'Rosta'	Purple coneflower Rosta (dwarf)	#1 pot
	PM	130	Polystichum munitum	swordfern	#3 pot
	SJ	41	Skimmia japonica	Japanese Skimmia	#2 pot
	M	71	Mahonia nervosa	Dull Oregon grape	#1 pot
	V	136	Vaccinium ovatum 'Thunderbird'	evergreen huckleberry	#3 pot
	PU	43	Pieris japonica 'Mountain Fire'	Mountain Fire Lily Of The Valley	#3 pot
	RS	48	Ribes sanguineum 'King Edward VII'	King Edward VII Flowering Currant	#3 pot
	HD	35	Holodiscus discolor	oceanspray	#3 pot
	BI	212	Buxus 'Green Velvet'	Green Beauty Boxwood	#3 pot
	FG	77	Festuca glauca 'Elijah Blue' (F. ovina var. gl.)	Elijah Blue Fescue	#1 pot

Recommended Shrubs Main Floor - Continued

	RA	30	Rhododendron 'Anne Kruschke'	Rhododendron 'Anne Kruschke'	#5 pot
	RC	23	Rhododendron cilpanense	Rhododendron cilpanense	#3 pot
	SD1	16	Spiraea douglasii	Hardhack spiraea	#1 pot
	TO	163	Thuja occidentalis 'Smaragd'	Emerald Cedar	1.5 m. ht.
	Tx	220	Taxus sp	Yew, hedge variety	1.5 m. ht.
	HA	41	Hosta x 'Blue Angel'	Blue Angel Plantain Lily	#1 pot
	Tx-1	20	Taxus sp	Yew, hedge variety	#1
	SR	75	Sarcococca nuscifolia	Fragrant Sarcococca	#3 pot
	PA1	73	Pennisetum alopecuroides 'Hamely'	Hameln Dwarf Fountain Grass	#2 pot
	AJ1	3	Aucuba japonica 'Picturata'	Picturata Aucuba	#3 pot
	PV	15	Philadelphus x virginatis	Mock Orange	#5 pot
	LM	43	Liriope muscari	Big Blue Lily Turf	#1 pot
	TO-1	15	Thuja occidentalis 'Smaragd'	Emerald Cedar	#1
	ND	40	Nandina domestica	Heavenly Bamboo	#3 pot
	PO	14	Pennisetum orientale	Oriental Fountain Grass	#3 pot
	HS	128	Helictotrichon sempervirens	Blue Oat Grass	#1 pot
	P	249	Polystichum polyblepharum	Tassel Fern	#2 pot
	HQ	6	Hydrangea quercifolia	Oakleaf Hydrangea	#3 pot
	HP	13	Hosta x 'Patriot'	Patriot Plantain Lily	#3 pot
	PT	17	Pachysandra terminalis	Japanese Spurge	#1 pot
	RS-1	4	Ribes sanguineum 'King Edward VII'	King Edward VII Flowering Currant	#1 pot
	AJ3-1	13	Azalea Northern lights mandarin lights	Northern Lights Azalea	#1 pot
	VO-1	15	Vaccinium ovatum 'Thunderbird'	evergreen huckleberry	#1 pot
	PM-1	65	Polystichum munitum	swordfern	#1 pot
	RP-1	3	Rubus Paviflorus	Thimble berry	#1 pot

Recommended Trees

Image Detail	ID	Quantity	Latin Name	Common Name	Scheduled Size
	PiGlc	4	Picea glauca	White Spruce	3 m.
	ArMa	7	Acer Macrophyllum	Red Maple, Swamp Maple	6 cm. Cal.
	APB	4	Acer palmatum Bloodpot	Bloodpot Japanese Maple	6 cm. Cal.
	AmV	5	Amenchier laevis	Althegery Serviceberry	6 cm. Cal.
	AcCI	3	Acer coronatum	Vine maple	3.0m ht.
	AcPI	4	Acer palmatum	Japanese Maple	3.5 m. ht.
	LqSQ	2	Liquidambar styraciflua	American Sweetgum	7 cm. cal.
	AOb	1	Acer palmatum 'Osio-Beri'	Osio-Beri Japanese Maple	3m ht. 5 cm cal. mult.

PAVING AND FURNISHING LEGENDS ON L3

Non-Netted SOD

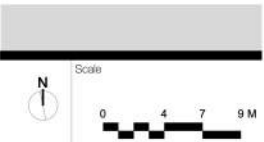


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Project
926 160th St. HOTEL
Owner
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Sheet Title
PLANTING PLAN (MAIN FLOOR)

Sheet No. **L04**
Total Sheets **9**
Contractors
City of Surrey
Consultants
Documents **REVIEW**
Reviewed By **RD**
Status **DP SUBMISSION**
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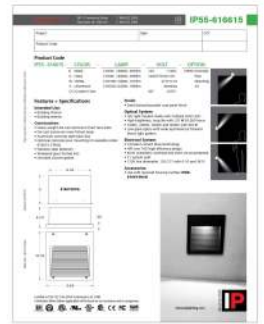




PAVING AND FURNISHING LEGENDS ON L03
PROPOSED SHRUBS AND TREES LIST ON L04

1 GRADING/LIGHTING PLAN
Scale: 1/50

- Landscape 2' Inground Lighting
See Attached Brochure L05/3
- IP Wall Light
See Attached Brochure L05/2
- LED Bollard.
See Attached Brochure L05/4



2 IP Wall Light
Scale: NTS



3 Landscape 2' Inground Lighting
Scale: NTS



4 LED Bollard
Scale: NTS

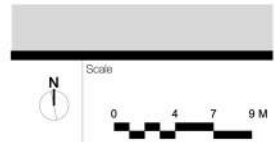


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Project
926 160th St. HOTEL
Owner
1065423 BC LTD.
Sheet Title
GRADING/LIGHTING PLAN

Sheet No. L05	Total Sheets 9	Contractors	Consultants
Drawn By BF	Checked By RD	A+J City of Surrey	Documents REVIEW
Reviewed By RD	Status DP SUBMISSION	FOR REVIEW ONLY	

No	Date	Issue Notes
A	2021-03-06	DP SUBMISSION
B	2022-06-04	DP RE-SUBMISSION
C	2022-11-21	DP RE-SUBMISSION
D	2023-04-21	DP RE-SUBMISSION
E	2023-06-11	DP RE-SUBMISSION



Recommended Shrubs Third Floor

Image Detail	ID	Quantity	Latin Name	Common Name	Scheduled Size
	HS	10	Helleborus scaber	Blue Dot Grass	#1 pot
	PA1	4	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	#2 pot
	PA1	8	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	#2 pot

**PAVING AND FURNISHING LEGENDS ON L03
PROPOSED SHRUBS AND TREES LIST ON L04**

Equiparc Lounger Chair

EP 2830
DESCRIPTION:
 Lounger chair with adjustable backrest and footrest. Dimensions: 1000mm x 600mm x 750mm. Material: Powder coated steel frame, recycled plastic slats. Weight: 15kg. Assembly: 15 minutes. Maintenance: Clean with mild detergent. Warranty: 5 years. **FINISHES:** Black, Grey, White, Red, Blue, Green. **INSTALLATION:** Requires 4x 100mm diameter anchors. **COMMENTS:** Suitable for outdoor use. **CONTRACTOR:** Equiparc Ltd.

Equiparc Picnic Table

EP 2830
DESCRIPTION:
 Picnic table with 4 legs and 2 benches. Dimensions: 1800mm x 600mm x 750mm. Material: Powder coated steel frame, recycled plastic slats. Weight: 25kg. Assembly: 20 minutes. Maintenance: Clean with mild detergent. Warranty: 5 years. **FINISHES:** Black, Grey, White, Red, Blue, Green. **INSTALLATION:** Requires 8x 100mm diameter anchors. **COMMENTS:** Suitable for outdoor use. **CONTRACTOR:** Equiparc Ltd.



1 THIRD FLOOR AMENITY PLAN
Scale: 1:100

MONTIGO CFPO-S2 Firepit Square

TECHNICAL SPECIFICATION

The firepit is designed to be used with a gas burner. It is made of stainless steel and is suitable for outdoor use. It is suitable for use in areas with a maximum wind speed of 15 km/h. It is suitable for use in areas with a maximum temperature of 100°C. It is suitable for use in areas with a maximum humidity of 80%.

CAUTION

Do not use the firepit in areas with a maximum wind speed of 15 km/h. Do not use the firepit in areas with a maximum temperature of 100°C. Do not use the firepit in areas with a maximum humidity of 80%.

TYPICAL FINISH

Stainless steel, powder coated.

GAS

Propane gas, 1000W burner.

INSTALLATION

Requires 4x 100mm diameter anchors.

COMMENTS

Suitable for outdoor use.

CONTRACTOR

Montigo Ltd.

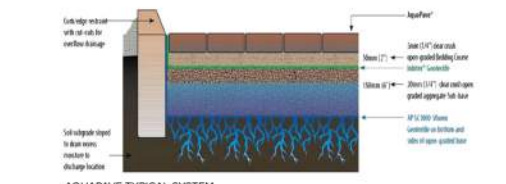
4 Montigo Firepit (F8)
Scale: NTS



6 L-Shaped Bench Example (F9)
Scale: NTS

2 LOUNGE CHAIR (F12)
Scale: NTS

3 EP 2830 Picnic Table (F10)
Scale: NTS



Standard Colors

Shade, Charcoal, Red, Red/Wack, Indigo/Sage, Desert Sand, Sand/Brown, Brown.

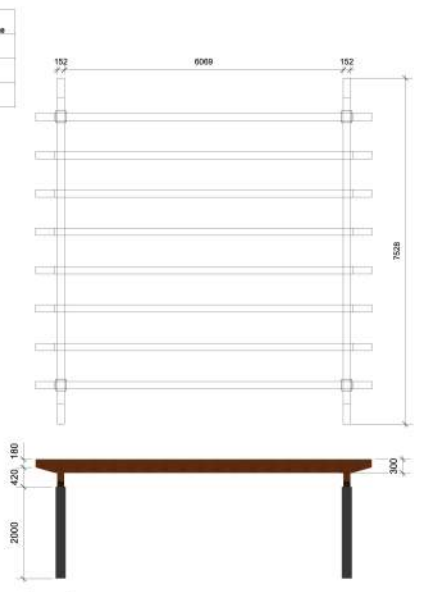
For full details, please refer to the color chart.

5 AQUARAVE SYSTEM (P5)
Scale: NTS



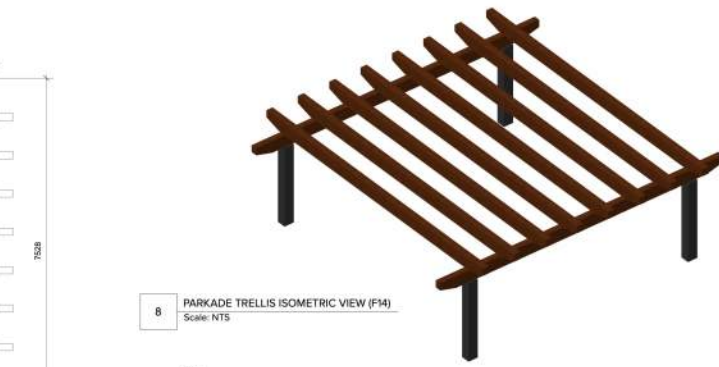
9 PROJECT SIGNAGE DETAIL (F3)
Scale: NTS

10 PROJECT SIGNAGE DETAIL (F3)
Scale: NTS

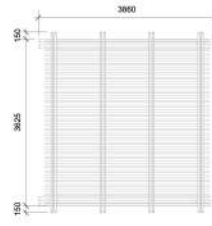


7 PARKADE TRELLIS PLAN/ELEVATION (F14)
Scale: NTS

9 PROJECT SIGNAGE DETAIL (F3)
Scale: NTS



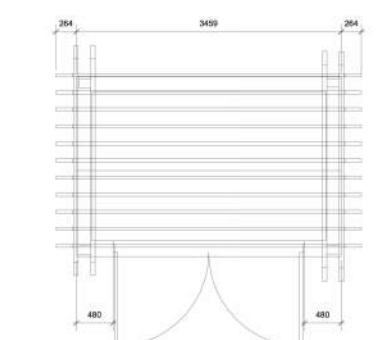
8 PARKADE TRELLIS ISOMETRIC VIEW (F14)
Scale: NTS



11 OUTDOOR DINING TRELLIS PLAN/ELEVATION (F4)
Scale: NTS



12 OUTDOOR DINING TRELLIS ISOMETRIC VIEW (F4)
Scale: NTS



13 GARBBAGE ENCLOSURE DETAIL (F5)
Scale: NTS

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Project
926 160th St. HOTEL

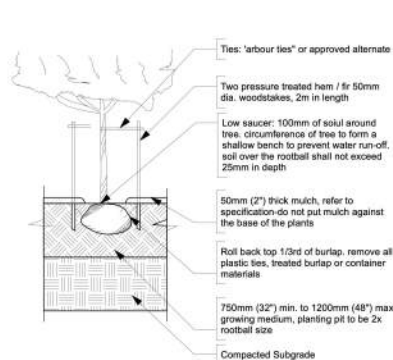
Owner
1065423 BC LTD.

Sheet Title
3-FLOOR PLAN & DETAILS

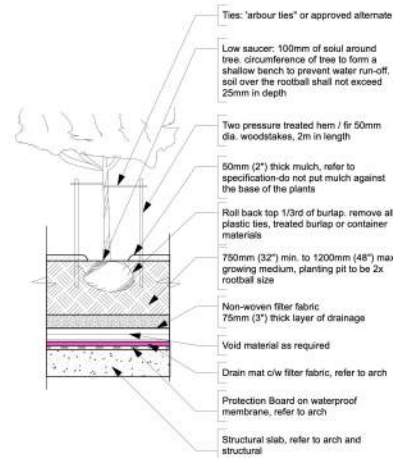
Sheet No. L06	Total Sheets 9	Contractors	Consultants
Drawn By BF	Checked By RD	A+U City of Surrey	Documents REVIEW
Reviewed By RD	Status DP SUBMISSION	FOR REVIEW ONLY	

No	Date	Issue Notes
A	2021-03-05	DP SUBMISSION
B	2022-06-04	DP RE-SUBMISSION
C	2022-11-21	DP RE-SUBMISSION
D	2023-04-21	DP RE-SUBMISSION
E	2023-05-11	DP RE-SUBMISSION

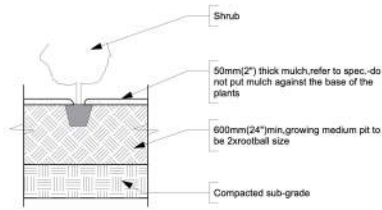
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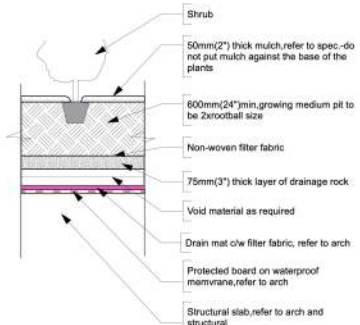
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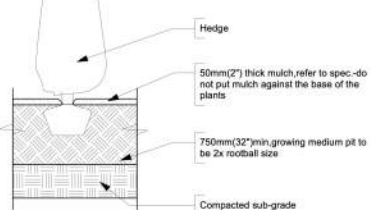
6 TREE ON SLAB
Scale: NTS



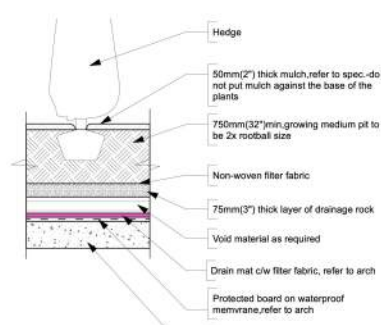
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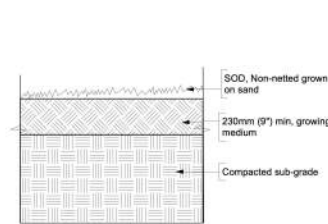
7 SHRUB ON SLAB
Scale: NTS



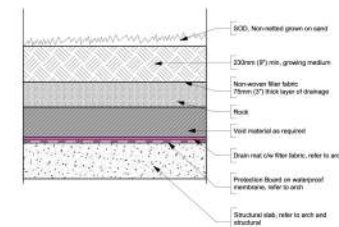
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Scale: NTS



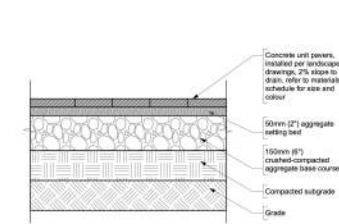
8 HEDGE ON SLAB
Scale: NTS



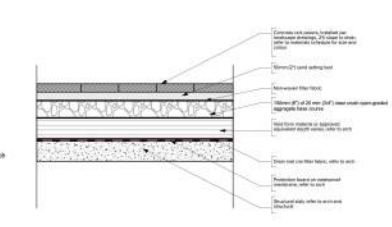
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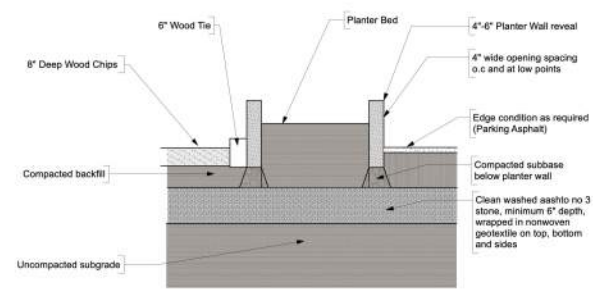
9 SOD ON SLAB
Scale: NTS



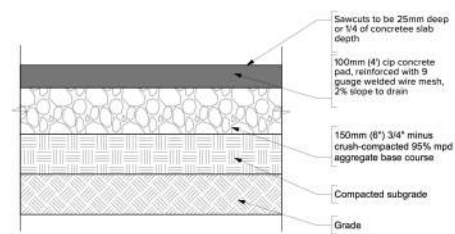
5 CONCRETE UNIT PAVERS ON GRADE
Scale: NTS



10 CONCRETE UNIT PAVERS ON SLAB
Scale: NTS



11 PLANTER ON GRADE
Scale: NTS



12 CONCRETE ON GRADE
Scale: NTS



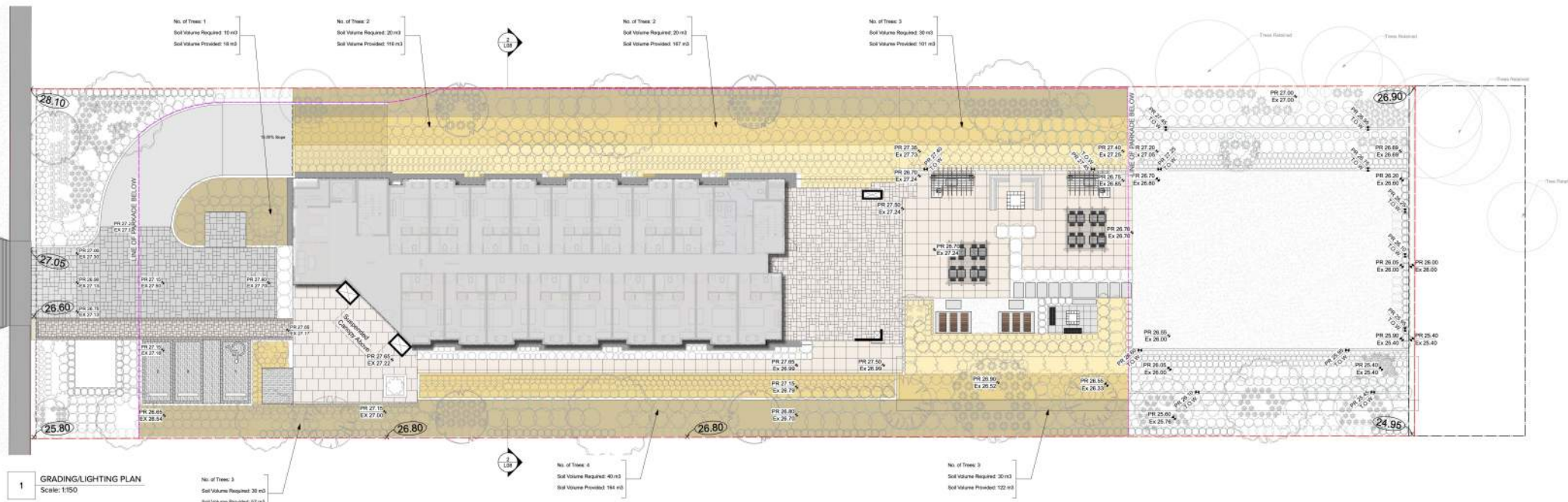
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Project
926 160th St. HOTEL
Owner
1065423 BC LTD.
Sheet Title
DETAILS

Sheet No. L07	Total Sheets 9	Contractors	Consultants
Drawn By BF	Checked By RD	A+J City of Surrey	Documents REVIEW
Reviewed By RD	Status DP SUBMISSION	FOR REVIEW ONLY	

No	Date	Issue Notes
A	2021-03-06	DP SUBMISSION
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D	2023-04-21	DP RE-SUBMISSION
E	2023-06-11	DP RE-SUBMISSION

Scale



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Project
926 160th St. HOTEL
 Owner
1065423 BC LTD.
 Sheet Title
SOIL CALCULATION PLAN

Sheet No. L08	Total Sheets 9	Contractors A+J City of Surrey	Consultants Documents REVIEW
Drawn By BF	Checked By RD	Reviewed By RD	Status DP SUBMISSION
FOR REVIEW ONLY			

No	Date	Issue Notes
A	2021-03-05	DP SUBMISSION
B	2022-06-04	DP RE-SUBMISSION
C	2022-11-21	DP RE-SUBMISSION
D	2023-04-21	DP RE-SUBMISSION
E	2023-05-11	DP RE-SUBMISSION

Scale

N

TO: **Director, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **December 12, 2023** PROJECT FILE: **7821-0106-00**

RE: **Engineering Requirements (Commercial)
Location: 926 160 Street**

DEVELOPMENT PERMIT

Property and Statutory Right-of-Way (SRW) Requirements

- Dedicate 1.942 metres for 160 Street.
- Dedicate 9.5 metres for 160B Street.
- Register 0.5 metre SRW along property lines of 160 and 160B Streets.

BUILDING PERMIT

Works and Services

- Construct the west half of 160B Street.
- Construct sidewalk on 160 Street.
- Implement onsite low impact sustainable drainage features.
- Install water, sanitary and drainage service connections.
- Pay applicable latecomers.

A Servicing Agreement is required prior issuance of Building Permit.



Jeff Pang, P.Eng.
Development Services Manager

KMH

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 21-0106-00

Address: 926 - 160 Street, Surrey, BC

Registered Arborist: Tim Vandenberg

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	33
Protected Trees to be Removed	27
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	6
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1 X one (1) = <u>1</u> - All other Trees Requiring 2 to 1 Replacement Ratio 26 X two (2) = <u>52</u> 	53
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	9
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 9 X two (2) = 18 	18
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

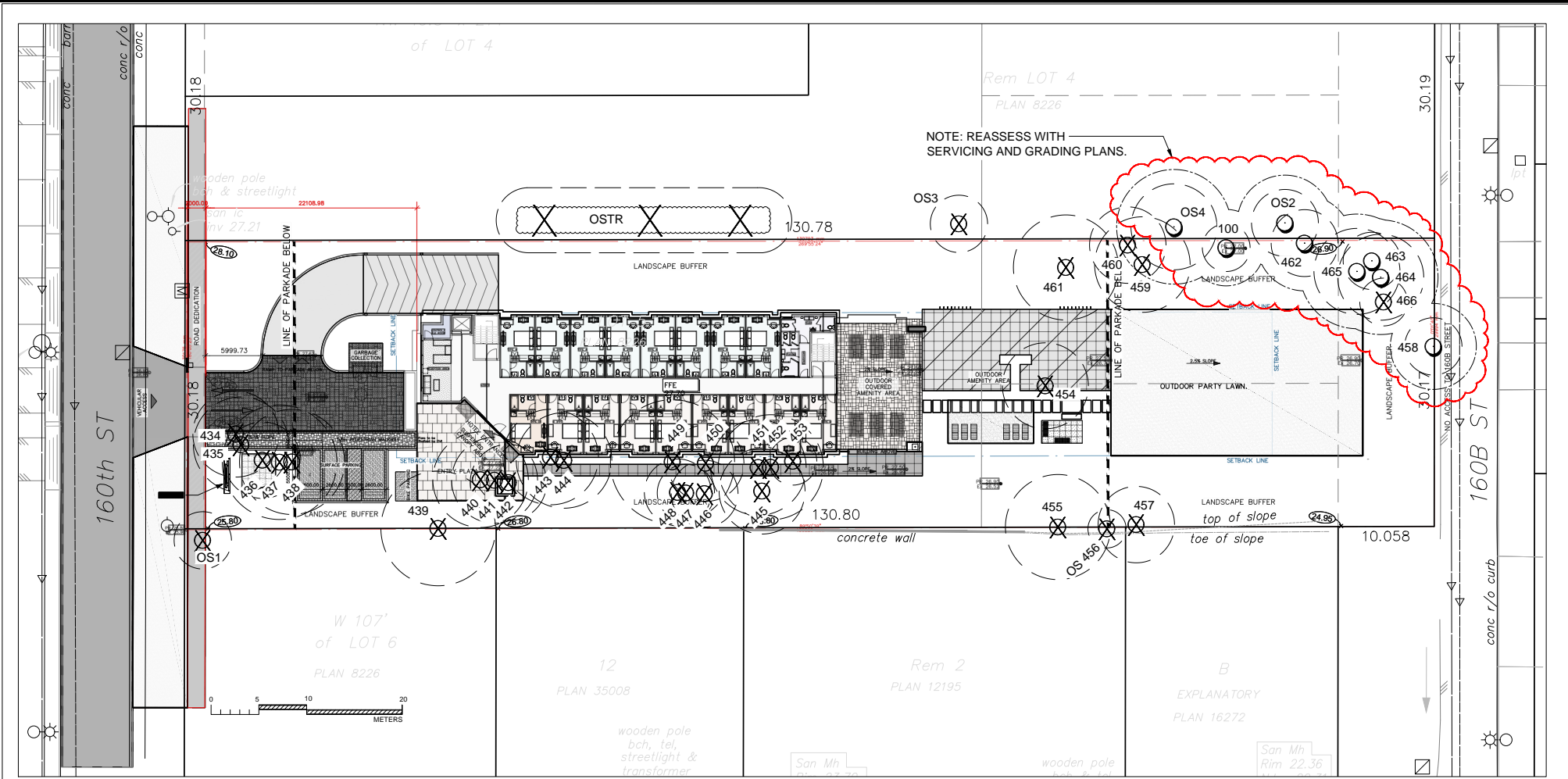
Signature of Arborist:

Date: April 18, 2023



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302





NOTE: REASSESS WITH
SERVICING AND GRADING PLANS.

LEGEND

-  TREE TO BE RETAINED
-  TREE TO BE REMOVED
-  MINIMUM NO DISTURBANCE ZONE
-  1.5m EXCAVATION OFFSET



NO.	DATE	BY	REVISION
1	SEPT21/17	MK	REVISED SITE PLAN
2	JAN02/18	MK	REVISED SITE PLAN
3	MAR09/21	MK	REVISED SITE PLAN
4	OCT27/22	MK	REVISED SITE PLAN
5	APR14/23	MK	REVISED SITE PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

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Email: mfadum@fadum.ca

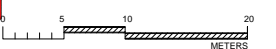
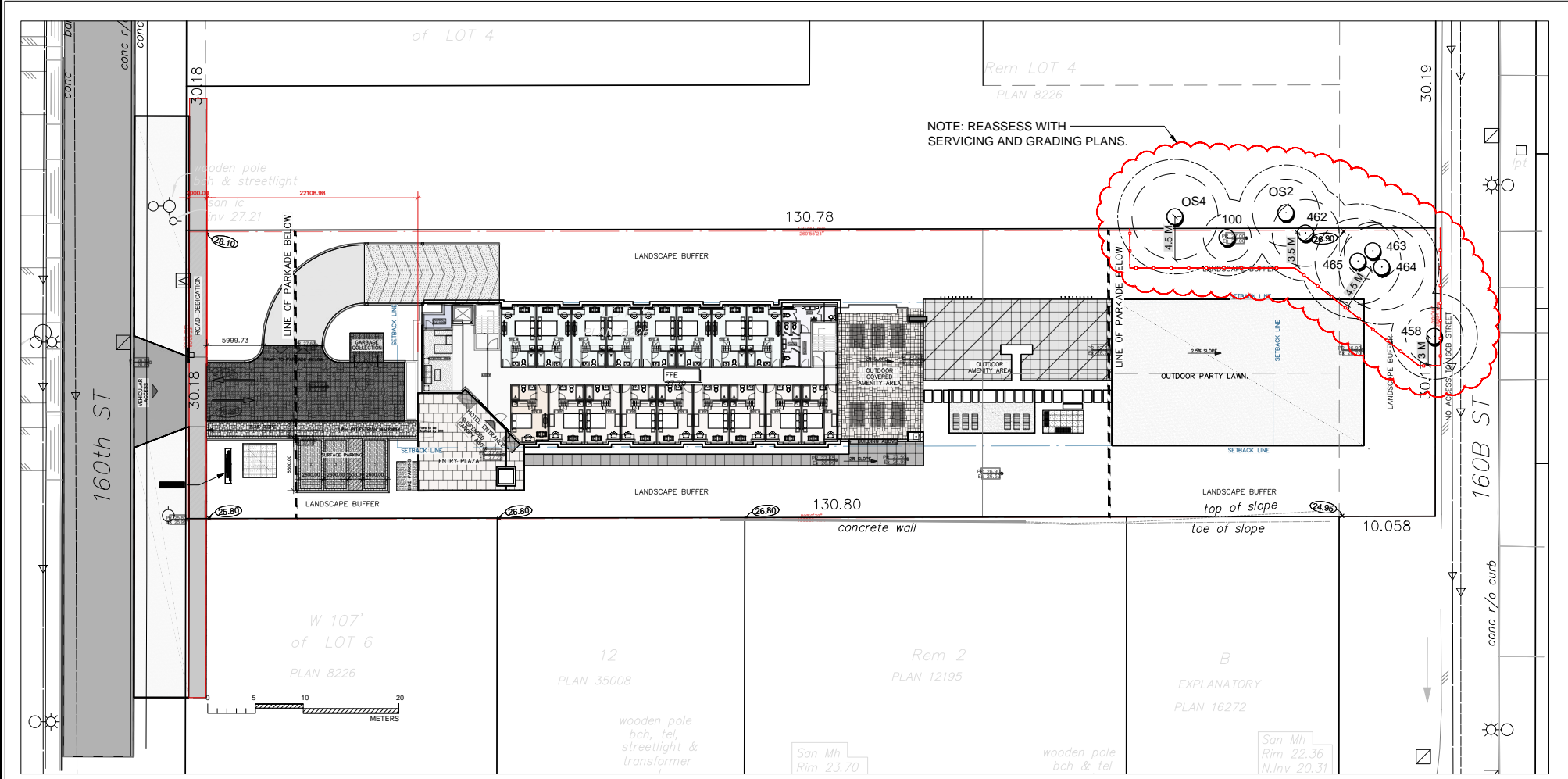
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PROJECT TITLE
926 160 STREET
SURREY, B.C.

SHEET TITLE
T1 - TREE REMOVAL AND PRESERVATION PLAN

DRAWN MK
SCALE AS SHOWN
DATE SEPT. 1, 2016

T-1
SHEET 1 OF 2



LEGEND			
	TREE TO BE RETAINED		MINIMUM NO DISTURBANCE ZONE
	TREE PROTECTION FENCING		1.5m EXCAVATION OFFSET

STAMP	NO.	DATE	BY	REVISION
	1	SEPT21/17	MK	REVISED SITE PLAN
	2	JAN02/18	MK	REVISED SITE PLAN
	3	MAR09/21	MK	REVISED SITE PLAN
	4	OCT27/22	MK	REVISED SITE PLAN

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 Email: mfadum@fadum.ca

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PROJECT TITLE
926 160 STREET
SURREY, B.C.

SHEET TITLE
T2 - TREE PROTECTION PLAN

CLIENT

DRAWN
 MK

SCALE
 AS SHOWN

DATE
 SEPT. 1, 2016

T-2
 SHEET 2 OF 2