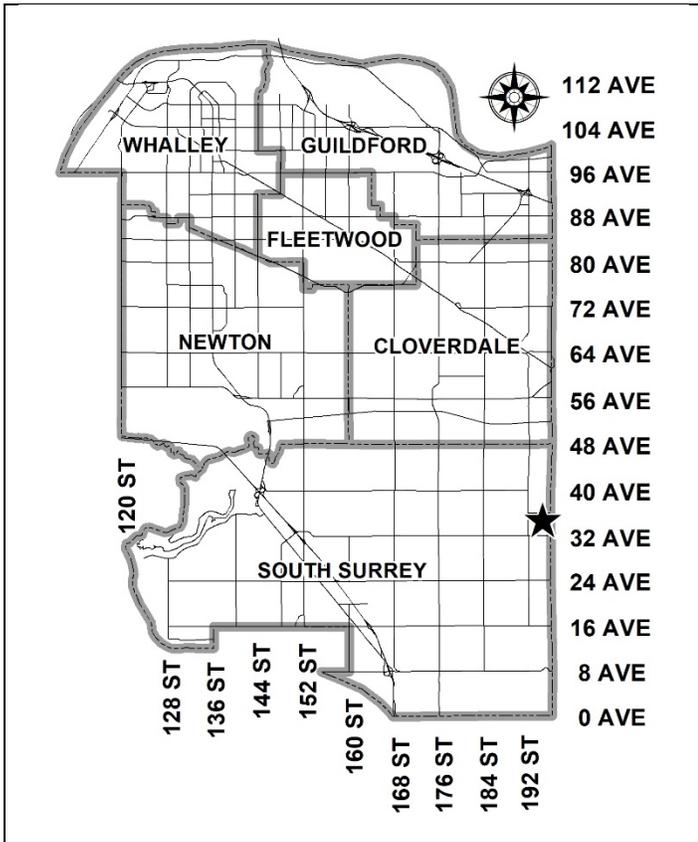


City of Surrey
PLANNING & DEVELOPMENT REPORT
 Application No.: 7923-0081-00
 Planning Report Date: October 30, 2023



PROPOSAL:

- **Rezoning** from A-1 to IB-1
- **Development Permit**
- **Development Variance Permit**

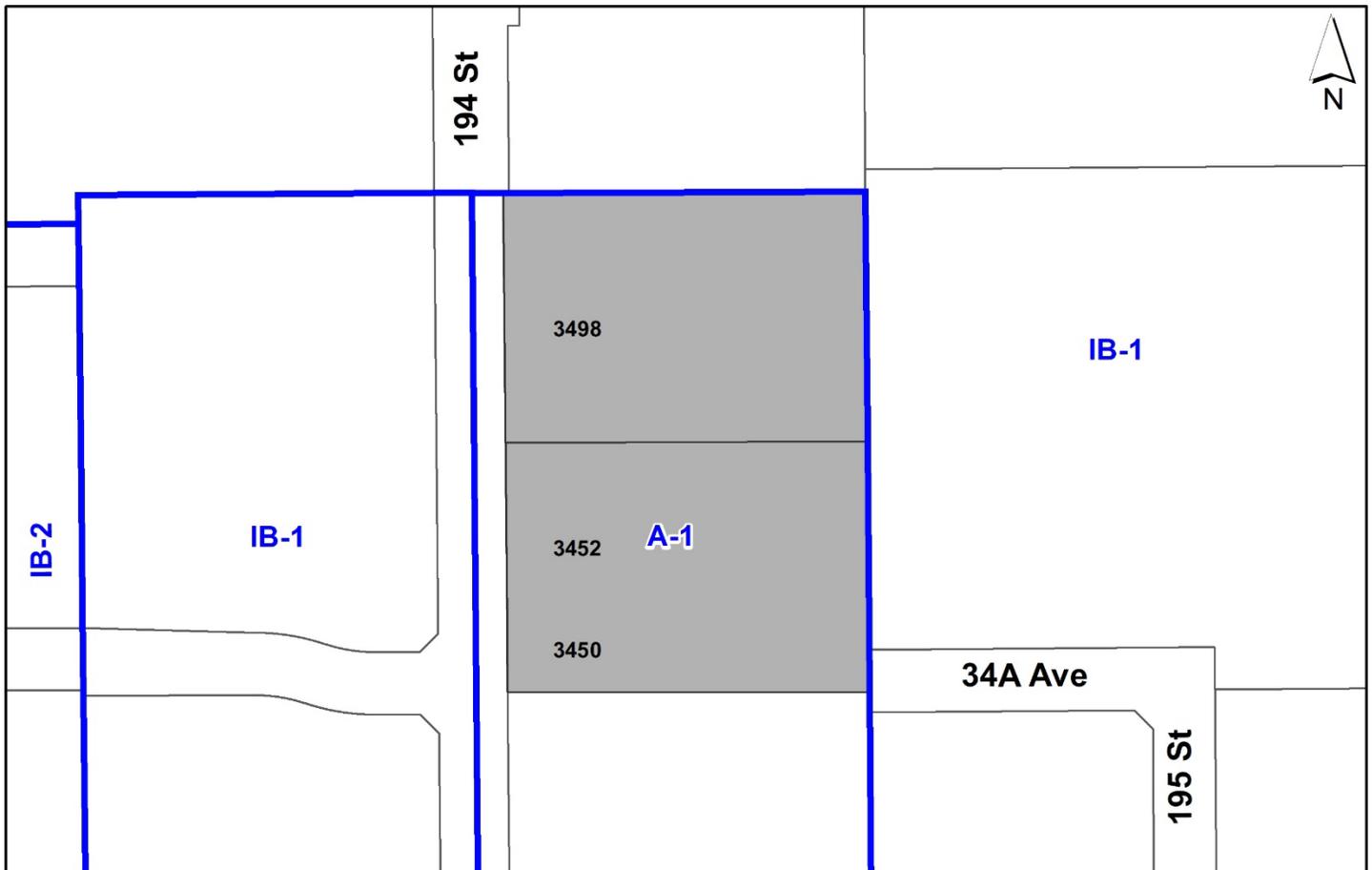
to permit the development of a 9,226 square metres multi-tenant industrial building.

LOCATION: 3450 - 194 Street (3452 - 190 Street)
 3498 - 194 Street

ZONING: RA

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary the rear yard building setback requirements of the IB-1 Zone.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Business Park designation in the Campbell Heights Local Area Plan (LAP)
- The proposal complies with the Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Campbell Heights.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface achieves a suitable urban experience between the proposed building and the public realm.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed sign has been comprehensively designed to be integrated with the design of the building and provides a comprehensive look for the development.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "General Agriculture Zone (A-1)" to "Business Park 1 Zone (IB-1)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7923-0081-00 generally in accordance with the attached drawings (Appendix I)
3. Council approve Development Variance Permit No. 7923-0081-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum rear yard (north) setback of the IB-1 Zone from 7.5 metres to 0 metres to the principal building face.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
 - (i) registration of a Section 219 Restrictive Covenant to prohibit any use that require a Metro Vancouver air quality permit from locating on the site.

SITE CONTEXT & BACKGROUND

| Direction | Existing Use | LAP Designation | Existing Zone |
|----------------------------|-------------------------------------|-----------------|---------------|
| Subject Site | Farm with a single family dwelling | Business Park | A-1 |
| North: | Multi-tenant industrial building | Business Park | IB-1 |
| East: | Multi-tenant industrial building | Business Park | IB-1 |
| South (Across 34A Avenue): | Industrial site under construction. | Business Park | IB-1 |
| West (Across 194 Street): | Multi-tenant industrial Building | Business Park | IB-1 |

Context & Background

- The two subject properties are a total of 1.9 hectares (4.6 acres), designated Mixed Employment" in the Official Community Plan (OCP), "Business Park" in the Campbell Heights Local Area Plan (LAP) and zoned "General Agricultural Zone (A-1)".
- The site currently has a farm with several greenhouses and a single family dwelling located on it. The site is mainly flat with minimal slope.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to rezone the site from "General Agricultural Zone (A-1)" to "Business Park Zone (IB-1)" and a Development Permit for Form and Character to permit the development of an industrial business park building with a gross floor area of 9,226 square metres (FAR 0.55). With a gross site area of 18,606 square metres and a road dedication area of 1,822 square metres, the net site area is 16,784 square metres.
- The building is intended to be used as a multi-tenant industrial facility.
- The application requires road dedication along the south and west and access is proposed on both 34A Avenue and 194 Street.

| | Proposed |
|--------------------------------|----------------------|
| Lot Area | |
| Gross Site Area: | 18,606 square metres |
| Road Dedication: | 1,822 square metres |
| Net Site Area: | 16,784 square metres |
| Number of Lots: | 2 |
| Building Height: | 12.19 metres |
| Floor Area Ratio (FAR): | 0.55 |
| Floor Area | |
| Industrial: | 7,890 square metres |
| Office: | 1,335 square metres |
| Total: | 9,226 square metres |

Referrals

| | |
|-------------------------|--|
| Engineering: | The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II. |
| Surrey Fire Department: | No concerns. |
| Advisory Design Panel: | The application was not subject to refer by the ADP but was reviewed by staff and found satisfactory. |

Transportation Considerations

Road Network and Infrastructure

- As part of the subject proposal, the applicant will be required to provide the following improvements:
 - Dedication and construction of the east side of 194 Street to the City's collector road standard; and
 - Dedication and construction of the north side of 34A Avenue to the City's local industrial road standard.

Traffic Impacts

- The subject proposal is anticipated to generate approximately one vehicle every minute in the peak hour. A site-specific transportation impact analysis was not required as the proposal is below the City's minimum traffic volume requirement threshold.

Access and Parking

- Vehicular accesses to the subject development are proposed via 194 Street to the west and 34A Avenue to the south. The 194 Street access will be for passenger vehicles and 34A Avenue will be used for loading trucks.

- Based on the subject proposal, the Zoning Bylaw requires a total of 131 parking spaces to be provided on site for all of the proposed uses.
- The applicant is proposing to provide 135 parking spaces on site, exceeding the Zoning Bylaw requirements.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan.

Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

(The proposed development has attractive elevations along 194 Street and 34A Avenue with expansive two-level spandrel glazing at the intersection corner. There is also a public amenity at this corner).

- B6.9 – Create opportunities for interactive and enjoyable public plazas by using furniture, banners, signs, interactive public art, heritage interpretation, paving patterns, vibrant colours and other "placemaking" design elements.

(The proposed development includes a plaza at the southwest corner of the site near the intersection, with benches and an amenity space).

- C2.38 – Ensure the loading and on-site access of goods delivery vehicles is considered in conjunction with overall urban development site design.

(Site access and loading bays have been designed and located to minimize public view, and to allow for the building to be used as screening for portions of the site. The loading is accessed from 34A Avenue, with a 10 metre high screening wall along that frontage).

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

(The proposed development is compatible with the Mixed Employment designation and builds upon the employment lands in Campbell Heights. The subject site is also located near the major transportation corridors of 36 Avenue, Highway 15, 192 Street and international border crossings).

Secondary Plans

Land Use Designation

- The proposal complies with the Business Park designation in the Campbell Heights Local Areas Plan (LAP) as follows:

Themes/Objectives

- 6.5.1.4 – Design Guidelines: Business Park – The use of glass and high quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

(The proposed development incorporates expansive two-level spandrel glass at the intersection corner and along 194 Street frontage).

- 6.5.1.4 – Design Guidelines: Business Park – Variations in massing and changes in height and horizontal planes are encouraged.

(The proposed development incorporates a variation in building height at the unit entrances, and the corner has a detail with spandrel glass).

- 6.5.1.4 – Design Guidelines: Business Park – The exterior of buildings should be coordinated in the design on all elevations with regard to colour, materials, architectural form, and detailing to achieve design harmony and continuity.

(The proposed building is architecturally coordinated with a modern appearance that promotes harmony by using consistent cladding materials, glazing, and landscaping).

Zoning By-law

- The applicant proposes to rezone the subject site from "General Agriculture Zone (A-1)" to "Business Park 1 Zone (IB-1)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Business Park 1 Zone (IB-1)" and parking requirements.

| IB-1 Zone (Part 47A) | Permitted and/or Required | Proposed |
|----------------------|---------------------------|----------|
|----------------------|---------------------------|----------|

| IB-1 Zone (Part 47A) | Permitted and/or Required | Proposed |
|---------------------------------|----------------------------------|-----------------|
| Floor Area Ratio: | 1.00 | 0.55 |
| Lot Coverage: | 60% | 47% |
| Yards and Setbacks | | |
| North (rear): | 7.5 metres | 0 metres |
| East (side): | 7.5 metres | 25.9 metres |
| South (front): | 7.5 metres | 7.5 metres |
| West (side on flanking street): | 9.0 metres | 27.9 metres |
| Height of Buildings | | |
| Principal buildings: | 14 metres | 12.19 metres |
| Accessory buildings: | 6 metres | n/a |
| Parking (Part 5) | Required | Proposed |
| Number of Stalls | | |
| Industrial: | 66 | 68 |
| Office: | 66 | 67 |
| Total: | 132 | 135 |

- The proposal includes a total of 135 surface parking spaces, which exceeds the parking requirements of the Zoning By-law for light impact industrial and office uses.

Setback Variance

- The applicant is requesting the following variance:
 - (a) to reduce the north (rear) yard setback of the IB-1 Zone from 7.5 metres to 0 metres.
- The north rear yard setback acts like a side yard. A 0-metre interior (side) yard setback is consistent with other industrial zones.
- The subject property is narrow by industrial standards, and the rear yard setback reduction increases the depth of the proposed industrial units.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on September 15, 2023 and the Development Proposal Signs were installed on July 20, 2023. Staff received no responses from neighbouring property owners.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The applicant has worked with staff to enhance the landscaping at the intersection corner, as well as enhancement of the elevations. Landscaping was also revised to increase planting opportunities.
- The general site design consists of one large industrial building, with a 7.5-metre landscape buffer along the south frontage, and 6 metres landscape along the west frontage. The north portion of the site accommodates a zero metre setback. The west setback is proposed at 25.9 metres, which exceeds the minimum 7.5 metres, and accommodates the loading area. A publicly accessible open space plaza is featured at the southwest corner of the site.
- The longitudinal length of the building along 194 Street is visually scaled down with a rhythm of indented bays that bring about a comfortable proportion. The building is proposed to be of concrete tilt-up panels in shades of grey and white, which have ample street oriented glazing on both storeys along 194 Street and 34A Avenue frontage.
- Main vehicular access is proposed on 194 Street, and truck and employee access are proposed on 34A Avenue. The loading area will be screened from public view by the building and landscaping along 34A Avenue.

Landscaping

- The proposed landscaping consists of a 7.5 metre wide landscape buffer along 34A Avenue and a 6.0 metre wide landscape buffer along 194 Street.
- On the south portion of the site, the landscaping is proposed adjacent to the building. A publicly accessible open space plaza is proposed at the southwest corner of the site.
- The new trees on the site will consist of a variety of trees including Katsura, European Hornbeam, Pin Cherty, Flame Amur Maple, Serbian Spruce and a variety of shrubs, groundcover and grasses.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include minor revisions to landscaping and signage.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- **Kelly Koome**, ISA Certified Arborist of **Koome Urban Forestry** prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

| Tree Species | Existing | Remove | Retain |
|---|-----------------|------------------|---------------|
| Deciduous Trees (excluding Alder and Cottonwood Trees) | | | |
| Flowering Cherry | 1 | 1 | 0 |
| Coniferous Trees | | | |
| Douglas Fir | 50 | 50 | 0 |
| Western Red Cedar | 58 | 57 | 1 |
| Coulter Pine | 1 | 1 | 0 |
| Giant Redwood | 2 | 0 | 2 |
| Western Hemlock | 1 | 1 | 0 |
| Total (excluding Alder and Cottonwood Trees) | 118 | 113 | 5 |
| Total Replacement Trees Proposed (excluding Boulevard Street Trees) | | 35 | |
| Total Retained and Replacement Trees Proposed | | 40 | |
| Estimated Contribution to the Green City Program | | \$105,050 | |

- The Arborist Assessment states that there is a total of 118 mature trees on the site, with no Alder and Cottonwood trees. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- It was determined that 3 City Boulevard Trees could be retained by meandering the proposed sidewalks around the tree protection zones. This method has been done elsewhere in the City, and Parks supports the meandering of the sidewalk.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 226 replacement trees on the site. Since only 35 replacement trees can be accommodated on the site, the deficit of 191 replacement trees will require a cash-in-lieu payment of \$105,050, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- In summary, a total of 40 trees are proposed to be retained or replaced on the site with a contribution of \$105,050 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

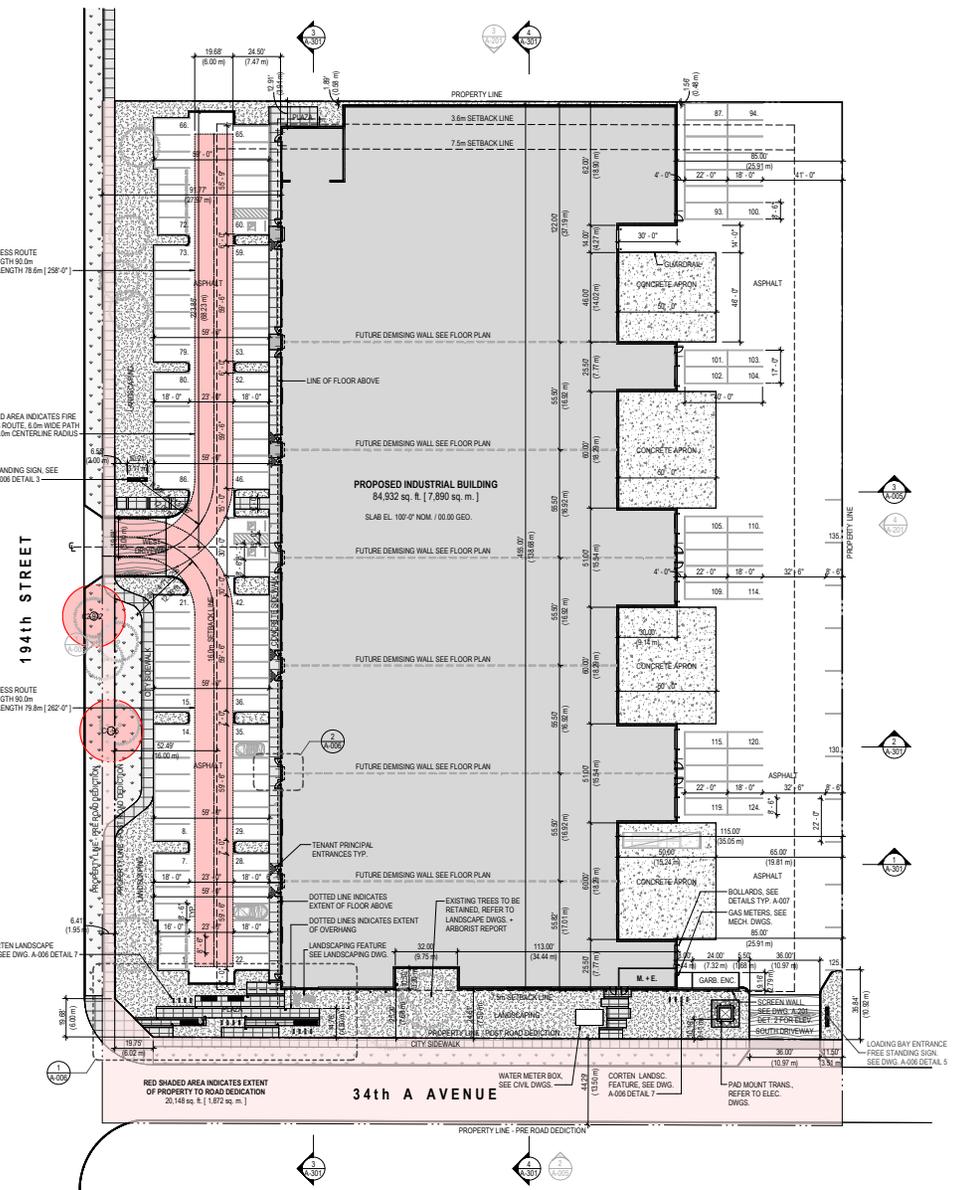
The following information is attached to this Report:

| | |
|---------------|---|
| Appendix I. | Site Plan, Building Elevations, Landscape Plans and Perspective |
| Appendix II. | Engineering Summary |
| Appendix III. | Summary of Tree Survey, Tree Preservation and Tree Plans |
| Appendix IV. | Development Variance Permit No. 7923-0081-00 |

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

HS/ar



UNIT COUNT AND SQUARE FOOTAGE:

| | | |
|-----------------------|--|---------------------------------------|
| UNIT 101 | GROUND FLOOR: 22,743 SQ. FT. MEZZANINE: 2,880 SQ. FT. | UNIT 101 TOTAL: 25,623 SQ. FT. |
| UNIT 102 | GROUND FLOOR: 10,422 SQ. FT. MEZZANINE: 1,891 SQ. FT. | UNIT 102 TOTAL: 12,313 SQ. FT. |
| UNIT 103 | GROUND FLOOR: 10,422 SQ. FT. MEZZANINE: 1,891 SQ. FT. | UNIT 103 TOTAL: 12,313 SQ. FT. |
| UNIT 104 | GROUND FLOOR: 10,422 SQ. FT. MEZZANINE: 1,891 SQ. FT. | UNIT 104 TOTAL: 12,313 SQ. FT. |
| UNIT 105 | GROUND FLOOR: 10,422 SQ. FT. MEZZANINE: 1,891 SQ. FT. | UNIT 105 TOTAL: 12,313 SQ. FT. |
| UNIT 106 | GROUND FLOOR: 10,422 SQ. FT. MEZZANINE: 1,891 SQ. FT. | UNIT 106 TOTAL: 12,313 SQ. FT. |
| UNIT 107 | GROUND FLOOR: 9,773 SQ. FT. MEZZANINE: 2,045 SQ. FT. | UNIT 107 TOTAL: 11,818 SQ. FT. |
| MAIN FLOOR GFA | 84,932 SQ. FT. (7,890 SQ. M.) | |
| 2ND FLOOR GFA | 14,376 SQ. FT. (1,335 SQ. M.) | |
| TOTAL GFA | 99,307 SQ. FT. (9,226 SQ. M.) | |

PROPERTY INFORMATION:

| | |
|-------------------------------------|---|
| CIVIC ADDRESS: | 3450 - 194th STREET, SURREY, BC |
| LEGAL ADDRESS: | LOT B, SECTION 27, TOWNSHIP 7, PLAN NWP11840 NWD PART S12 |
| PID: | 009 - 403 - 913 |
| ZONING EXISTING: | A1 |
| ZONING PROPOSED: | B1 - BUSINESS PARK 1 ZONE |
| OCF: | MIXED EMPLOYMENT |
| SITE AREA - PRE DEDICATION: | 200,274 sq. ft. / 18,606 sq. m. |
| SITE AREA - POST DEDICATION: | 180,611 sq. ft. / 16,784 sq. m. |

OCF - MIXED EMPLOYMENT:

| | |
|--------------------------------------|---|
| DENSITIES: | MAY RANGE FROM 1.0 FAR TO 1.5 FAR |
| USES: | INDUSTRIAL, COMMERCIAL, BUSINESS + OFFICE |
| DEVELOPMENT PERMITS REQUIRED: | |

IB1 - BUSINESS PARK 1 ZONE REVIEW:

| | | |
|----------------------|---|--|
| DENSITY: | MAXIMUM PROPOSED: | FSR 0.10 FSR 0.55 |
| LOT COVERAGE: | MAXIMUM LOT COVERAGE OF | 60% (120,164 sq. ft. / 11,163.64 sq. m.) |
| PROPOSED: | 42% PRE DEDICATION 47% POST DEDICATION | |
| SETBACKS: | REQUIRED | PROPOSED |
| | FRONT YARD (SOUTH) | 16.0m (7.5m) / 7.6m |
| | REAR YARD (NORTH) | 7.5m / 0.0m |
| | SIDE YARD (EAST) | 7.5m / 25m |
| | STREET SIDE YARD (WEST) | 6.0m / 27m |

* FRONT YARD MAY BE REDUCED TO 7.5m IF THE AREA BETWEEN BUILDING FACE AND HIGHWAY IS NOT USED FOR PARKING AND IS LANDSCAPED

** ONE SIDE YARD MAY BE REDUCED TO 3.6m IF THE SIDE YARD ABUTS LAND THAT IS DESIGNATED COMMERCIAL OR MIXED EMPLOYMENT IN THE OCP

*** STREET SIDE YARD MAY BE REDUCED TO 7.5m IF THE AREA BETWEEN BUILDING AND PLANNING STREET IS NOT USED FOR PARKING AND IS LANDSCAPED

| | |
|-------------------------|---|
| BUILDING HEIGHT: | PRINCIPAL BUILDING - MAXIMUM HEIGHT OF 14.00m (46 ft.) PROPOSED HEIGHT OF 12.19 (40 ft.) ACCESSORY BUILDING - MAXIMUM HEIGHT OF 6.0m (19 ft.) PROPOSED HEIGHT: N/A |
|-------------------------|---|

| | |
|---------------------|--|
| LANDSCAPING: | LOT LINES ABUTTING AN ARTERIAL OR COLLECTOR ROAD - MIN. 6.0m ABUTTING ALL OTHER HIGHWAY TYPES - MIN. 3.0m |
|---------------------|--|

OFF-STREET PARKING REVIEW:

| | |
|--|---|
| PARKING DESIGN REQUIREMENTS: | |
| STANDARD STALL: | 2.9m WIDE x 5.5m LONG WITH 6.1m DRIVE AISLE 2.7m WIDE x 5.5m LONG WITH 5.7m DRIVE AISLE 2.6m WIDE x 5.5m LONG WITH 7.0m DRIVE AISLE |
| ACCESSIBLE PARKING: | 2.5m WIDE x 5.5m LONG WITH 6.1m DRIVE AISLE ADJACENT 1.5m SHARED AISLE |
| SMALL CAR: | UP TO 50% OF REQUIRED PARKING LENGTH MAY BE REDUCED TO 4.8m 90 DEGREE PARKING ONLY CLEARLY IDENTIFIED AS "SMALL CAR" |
| TANDEM PARKING: | 2.6m WIDE x 6.7m LENGTH WITH 6.0m DRIVE AISLE |
| PARALLEL PARKING: | 2.6m WIDE x 6.7m LENGTH WITH 6.0m DRIVE AISLE, TWO WAY TRAFFIC |
| PARKING CALCULATION REQUIREMENTS: | |
| INDUSTRIAL LIGHT IMPACT: | 1 PARKING SPACE PER 100 sq. m. OF GFA |
| OFFICE: | 2.5 PARKING SPACE PER 100 sq. m. OF GFA |
| BICYCLE PARKING: | N/A |

OFF-STREET PARKING CALCULATIONS:

| | | | |
|---|--------|---|------------|
| OFFICE + MEZZANINE (OFFICE ALLOWANCE): | MAIN | 14,208 sq. ft. (1,320 sq. m.) = 1,320 / 100 x 2.5 | = 33.0 |
| | SECOND | 14,376 sq. ft. (1,335 sq. m.) = 1,335 / 100 x 2.5 | = 33.3 |
| WAREHOUSE: | MAIN | 70,724 sq. ft. (6,486 sq. m.) = 6,570 / 100 | = 65.7 |
| TOTAL PARKING REQUIRED: | | | 132 STALLS |
| TOTAL PARKING PROVIDED: | | | 135 STALLS |

PRELIMINARY
NOT FOR CONSTRUCTION

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by LARRY PODHORA ARCHITECTURE INC. to any party with whom LARRY PODHORA ARCHITECTURE INC. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose.

| | | |
|----------------------|------------|------------------------------|
| B | 2023.10.19 | RE-issued for OCP |
| A | 2023.10.17 | Issued for OCP |
| NO. | DATE | ISSUE / REVISION DESCRIPTION |
| ISSUES AND REVISIONS | | |
| SEAL | | |

larry podhora | architecture inc
487 HOWE STREET, NORTH SAANICH, BC, V8L 5C1

PROJECT NAME
HIGHPOINT INDUSTRIAL

PROJECT ADDRESS
3450 - 194th STREET
SURREY, BC

DRAWING TITLE
SITE PLAN, CONTEXT PLAN & PROJECT INFORMATION

| | |
|---------------------|-----------------------------|
| SCALE: | 1" = 30'-0" |
| DRAWN: | Tristan Hanscomb |
| REVIEWED: | Larry Podhora, Mark Bronsma |
| PROJECT NO.: | 220330 |
| DRAWING NO.: | A-001 |





SOUTHWEST CORNER - SUNRISE



CORTEN STEEL FINs



NORTH BALCONY - AFTERNOON



SOUTHWEST CORNER - DUSK

PRELIMINARY
NOT FOR CONSTRUCTION

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| NO. | DATE | YMO. | DESCRIPTION |
|-----|------------|--------|---------------|
| B | 2023.10.19 | RE | Issued for EP |
| A | 2023.03.01 | ISSUED | Issues for EP |

ISSUES AND REVISIONS

SEAL



larry podhora | architecture inc
147 HOWICEST RD, NORTH SAANICH, BC, V8L 5K1

PROJECT NAME
HIGHPOINT INDUSTRIAL

PROJECT ADDRESS
**3450 - 194th STREET
SURREY, BC**

DRAWING TITLE
DETAILED RENDERS

| SCALE | |
|-------------|------------------------------|
| DRAWN | Tristan Hanscomb |
| REVIEWED | Larry Podhora, Mark Bronsema |
| PROJECT NO. | 22030 |
| DRAWING NO. | |

A-003



SOUTH ELEVATION



SOUTHWEST CORNER - PLAZA



NORTH WEST CORNER DETAIL - AFTERNOON



SITE SIGNAGE AT PARKING ENTRANCE - DAWN

PRELIMINARY
NOT FOR CONSTRUCTION

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| | | | |
|----------------------|------------|-------------------|-------------|
| B | 2023.10.19 | RE-issued for EIP | |
| A | 2023.03.01 | Issues for EIP | |
| NO. | DATE | YMO. | DESCRIPTION |
| ISSUES AND REVISIONS | | | |

SEAL



larry podhora | architecture inc
147 HOWICEST RD, NORTH SAANICH, BC, V8L 5K1

PROJECT NAME
HIGHPOINT INDUSTRIAL

PROJECT ADDRESS
**3450 - 154th STREET
SURREY, BC**

DRAWING TITLE
DETAILED RENDERS

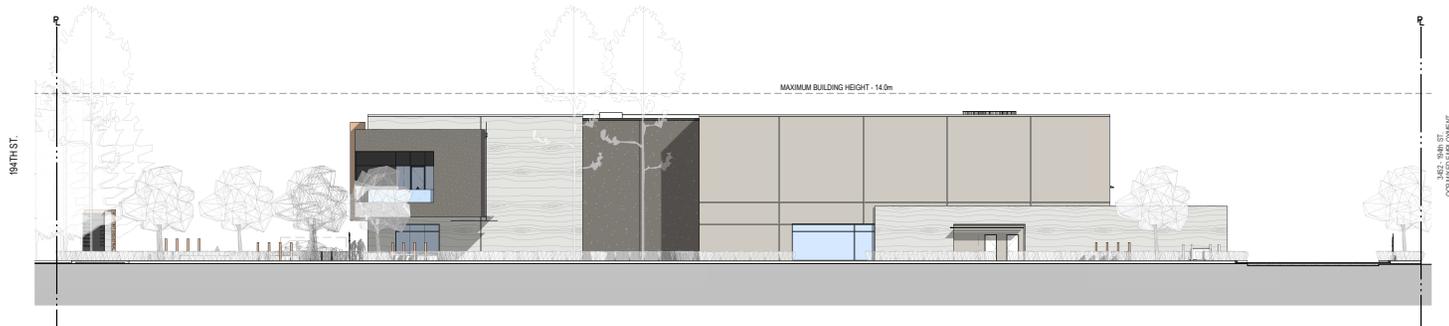
| | |
|-------------|-----------------------------|
| SCALE | |
| DRAWN | Tristan Hanscomb |
| REVIEWED | Larry Podhora, Mark Bronsma |
| PROJECT NO. | 22030 |
| DRAWING NO. | |

A-004



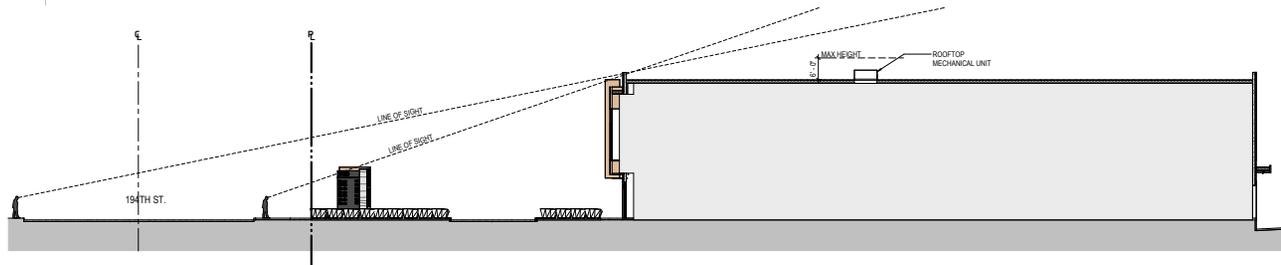
1 194TH ST. STREETSCAPE

SCALE: 1/16" = 1'-0"



2 34TH A VE. STREETSCAPE

SCALE: 1/16" = 1'-0"



3 ROOFTOP SCREENING - SIGHTLINE SECTION

SCALE: 1/16" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

This drawing has been prepared solely for the use of THE CLIENT and there are no representations of any kind made by LARRY PODHORA ARCHITECTURE INC. to any party with whom LARRY PODHORA ARCHITECTURE INC. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose.

B 2023.10.19 RE-issued for EP
A 2023.03.01 Issues for EP
NO. DATE Y/M/D DESCRIPTION
ISSUES AND REVISIONS
SEAL



larry podhora | architecture inc
487 HOWE STREET, 10, NORTH SAANICH, BC, V8L 5K1

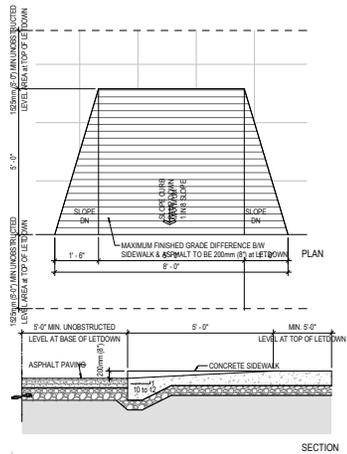
PROJECT NAME
HIGHPOINT INDUSTRIAL

PROJECT ADDRESS
3450 - 194th STREET
SURREY, BC

DRAWING TITLE
**STREETSCAPE
ELEVATIONS**

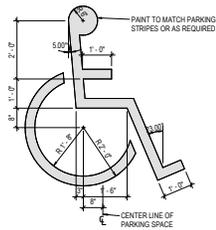
SCALE 1/16" = 1'-0"
DRAWN Tristan Hanscomb
REVIEWED Larry Podhora, Mark Bronsema
PROJECT NO. 22030
DRAWING NO.

A-005



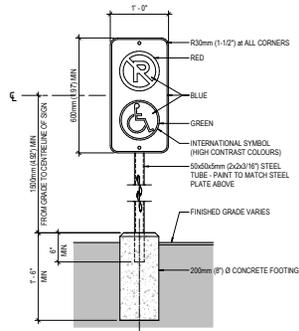
1 ACCESSIBLE LETDOWN

SCALE: 1/2" = 1'-0"



5 ACCESSIBLE PAINTED SYMBOL

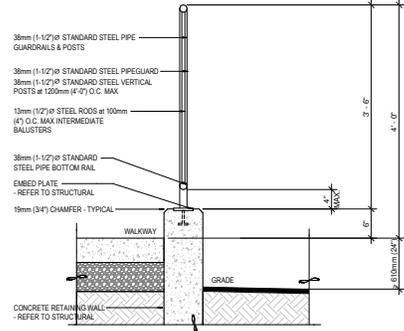
SCALE: 1/2" = 1'-0"



NOTE:
 1. SIGN SHOULD BE PROPERLY CENTERED AT FRONT OF PARKING SPACE.
 2. SIGN FACE SHOULD BE LOCATED NO FURTHER THAN 150mm (6") FROM THE FRONT OF EACH PARKING SPACE AT A MINIMUM 915mm (3'-0") CLEAR.
 3. MOUNT SIGN ON COLUMN OR WALL AT SIM. CONDITION
 4. WHERE SIGN IS PLACED IN PAVED AREA AT PARKING STALLS, PROVIDE PRE-CAST BUMPERS

2 ACCESSIBLE POST MOUNTED SIGN

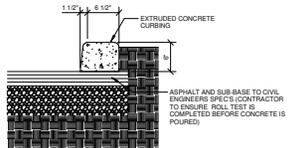
SCALE: 1" = 1'-0"



NOTE:
 GUARDS TO BE INSTALLED IN ALL LOCATIONS WHERE THE ELEVATION DIFFERENCE EXCEEDS 610mm (2'-4")

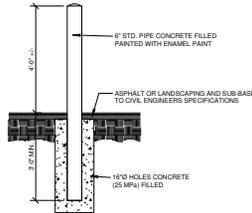
3 RETAINING WALL AND GUARDRAIL

SCALE: 1" = 1'-0"



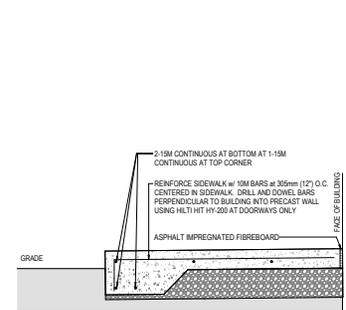
6 EXTRUDED CURB DETAIL

SCALE: 1" = 1'-0"



7 BOLLARD DETAIL

SCALE: 1" = 1'-0"



NOTE:
 120mm (5") THICK SIDEWALK ON 6" COMPACTED CLEAN GRANULAR FILL. PROVIDE CONTROL JOINTS EVERY 1200mm (9'-0") - REFER TO SITE PLAN.
 PROVIDE 50mm (2") RIGID INSULATION BENEATH SIDEWALK AT ALL DOORS, EXTENDING 120mm (5'-0") BEYOND DOOR or EITHER SIDE.

4 SIDEWALK DETAIL

SCALE: 1" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION

This drawing has been prepared solely for the use of the CLIENT and there are no representations or any kind made by LARRY PODHORA ARCHITECTURE INC. to any party with whom LARRY PODHORA ARCHITECTURE INC. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose.

| | | | |
|----------------------|------------|-------------------|-------------|
| B | 2023.10.19 | RE-issued for ICP | |
| A | 2023.03.01 | Issued for ICP | |
| NO. | DATE | YMD | DESCRIPTION |
| ISSUES AND REVISIONS | | | |
| SEAL | | | |



larry podhora | architecture inc
 147 HOWICREST RD. NORTH SAANICH, BC, V8L 5K1

PROJECT NAME
HIGHPOINT INDUSTRIAL

PROJECT ADDRESS
 3450 - 154th STREET
 SURREY, BC

DRAWING TITLE
SITE DETAIL - TYPICAL

| | |
|-------------|------------------------------|
| SCALE | As indicated |
| DRAWN | Tristan Hanscomb |
| REVIEWED | Larry Podhora, Mark Bronsema |
| PROJECT NO. | 22030 |
| DRAWING NO. | |

A-007

EXTERIOR - PROJECT MATERIAL BOARD



1. EIFS - PAINTED
 FINISH: PAINTED - SHERWIN WILLIAMS
 COLOUR: GAUNTLET GRAY
 CODE: SW.7019



8. ALUMINUM METAL PARAPET CAP
 MANUFACTURER: MAKIN METALS
 FINISH: ALUMINUM PRE-FINISHED
 COLOUR: WEATHERED ZINC
 NOTES: OR EQUIVALENT



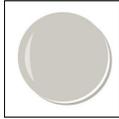
2. TILT UP CONCRETE
 FINISH: BOARD FORM
 COLOUR: NATURAL/SEALED
 NOTES: N/A



9. METAL MAN DOOR
 FINISH: PAINTED - SHERWIN WILLIAMS
 COLOUR: GAUNTLET GRAY
 CODE: SW.7019



3. STEEL CORTEN
 MANUFACTURER: TBD
 FINISH:
 COLOUR:
 NOTES:



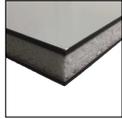
10. OVERHEAD DOORS
 FINISH: PAINTED - SHERWIN WILLIAMS
 COLOUR: REPOSE GRAY
 CODE: SW.7015



4. GLAZING - MAIN FLOOR
 MANUFACTURER: VITRO GLASS
 PRODUCT: SOLARBAN 70
 COLOUR: OPTIGRAY CLEAR
 NOTES: N/A



11. GLASS GUARDRAIL
 MANUFACTURER: TBD
 FINISH: PRE-FINISHED
 COLOUR: CLEAR GLASS - FRAMELESS
 NOTES: N/A



5. SPANDREL METAL PANEL
 MANUFACTURER: TBD
 FINISH: ALUMINUM
 COLOUR: BLACK
 NOTES: N/A



12. SOFFIT
 MANUFACTURER: LUX ARCHITECTURAL PANELS
 FINISH: VENTED SOFFIT
 COLOUR: BRUSHED CARBON
 NOTES: OR EQUIVALENT



6. SPANDREL - TINTED GLASS
 MANUFACTURER: TBD
 FINISH: TINTED SAFETY GLASS
 COLOUR: BLACK
 NOTES: N/A



13. TILT UP CONCRETE
 FINISH: PAINTED
 COLOUR: DEROSE GRAY
 NOTES: SW.7015



7. GLAZING FRAMING
 MANUFACTURER: TBD
 FINISH: ANODIZED ALUMINUM
 COLOUR: BLACK
 NOTES: N/A

PRELIMINARY
 NOT FOR CONSTRUCTION

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B 2023.10.19 RE-issued for IEP
 A 2023.03.01 Issues for IEP
 NO DATE YMO. DESCRIPTION

ISSUES AND REVISIONS

SCALE



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1407 HOWE STREET, 10, NORTH SAANICH, BC, V8L 5K1

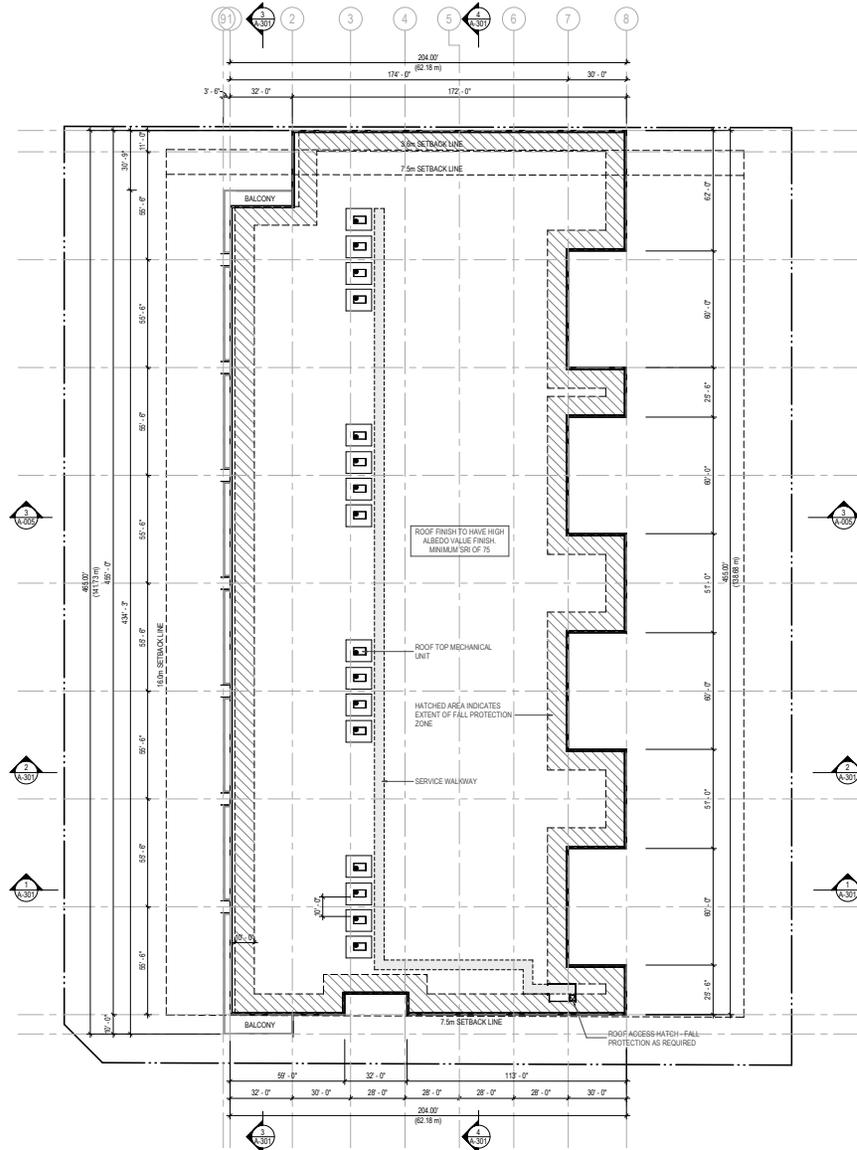
PROJECT NAME
HIGHPOINT INDUSTRIAL

PROJECT ADDRESS
 3450 - 154th STREET
 SURREY, BC

DRAWING TITLE
PROJECT MATERIALS

SCALE
 DRAWN Tristan Hanscomb
 REVIEWED Larry Podhora, Mark Bronsema
 PROJECT NO. 22030
 DRAWING NO.

A-008



1 ROOF PLAN

SCALE: 1" = 30'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by LARRY PODHORA ARCHITECTURE INC. to any party with whom LARRY PODHORA ARCHITECTURE INC. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose.

B 2023.10.19 RE-issued for EP
A 2023.03.01 Issues for EP
NO. DATE YMD. DESCRIPTION

ISSUES AND REVISIONS

SEAL



larry podhora | architecture inc
487 HOWICREST RD, NORTH SAANICH, BC, V8L 5K1

PROJECT NAME
HIGHPOINT INDUSTRIAL

PROJECT ADDRESS
3450 - 194th STREET
SURREY, BC

DRAWING TITLE
ROOF PLAN

SCALE 1" = 30'-0"
DRAWN Tristan Hanscomb
REVIEWED Larry Podhora, Mark Bronsema
PROJECT NO. 220330
DRAWING NO.



PROJECT NORTH

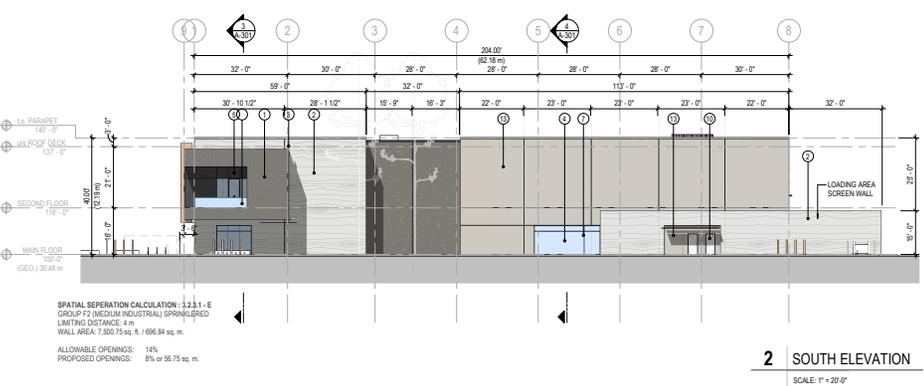
A-102

MATERIAL LEGEND

1. EIFS - PAINTED SW 7019
 2. TILT CONCRETE - BOARD FORM NATURAL
 3. STEEL CORTEN
 4. GLAZING
 5. SPANDREL - METAL BLACK
 6. SPANDREL - BLACK TINTED GLASS
 7. GLAZING FRAMING - BLACK
 8. ALUMINUM PARAPET CAP - WEATHERED ZINC
 9. PAINTED - SW 7019
 10. PAINTED - SW 7015
 11. GLASS GUARDRAIL - FRAMELESS
 12. SOFFIT - BRUSHED CARBON
 13. TILT CONCRETE - PAINTED SW 7015
 14. SLIDING CURTAIN WALL JOINTS
- SEE DWG. A-008 PROJECT MATERIAL BOARD FOR DETAILS.

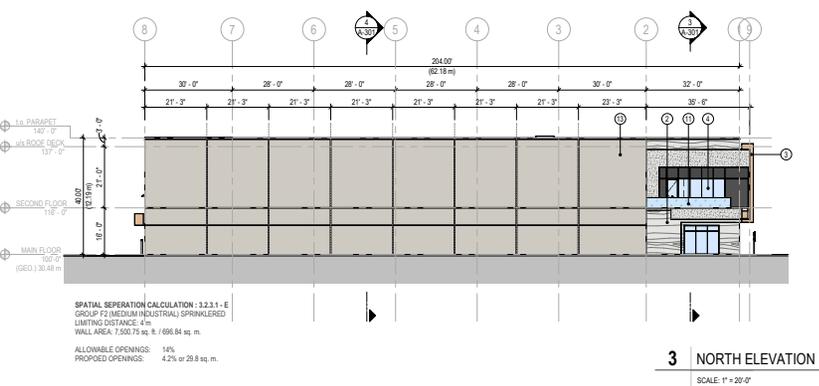


SPATIAL SEPERATION CALCULATION - 3.2.3.1 - E
GROUP F2 (MEDIUM INDUSTRIAL) SPRINKLERED
LIMITING DISTANCE: 15 m
WALL AREA: 16,624 sq. ft. / 1,544 sq. m.
ALLOWABLE OPENINGS: 100%
PROPOSED OPENINGS: 42% or 649 sq. m.



SPATIAL SEPERATION CALCULATION - 3.2.3.1 - E
GROUP F2 (MEDIUM INDUSTRIAL) SPRINKLERED
LIMITING DISTANCE: 4 m
WALL AREA: 7,200.75 sq. ft. / 666.84 sq. m.
ALLOWABLE OPENINGS: 14%
PROPOSED OPENINGS: 8% or 56.75 sq. m.

SPATIAL SEPERATION CALCULATION - 3.2.3.1 - E
GROUP F2 (MEDIUM INDUSTRIAL) SPRINKLERED
LIMITING DISTANCE: 4 m
WALL AREA: 1,500.75 sq. ft. / 139.64 sq. m.
ALLOWABLE OPENINGS: 14%
PROPOSED OPENINGS: 4.2% or 29.8 sq. m.



PRELIMINARY
NOT FOR CONSTRUCTION

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by LARRY PODHORA ARCHITECTURE INC. to any party with whom LARRY PODHORA ARCHITECTURE INC. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose.

B 2023.10.19 RE-issued for IEP
A 2023.10.19 Issues for IEP
NO. DATE Y.M.D. DESCRIPTION
ISSUES AND REVISIONS
SCALE



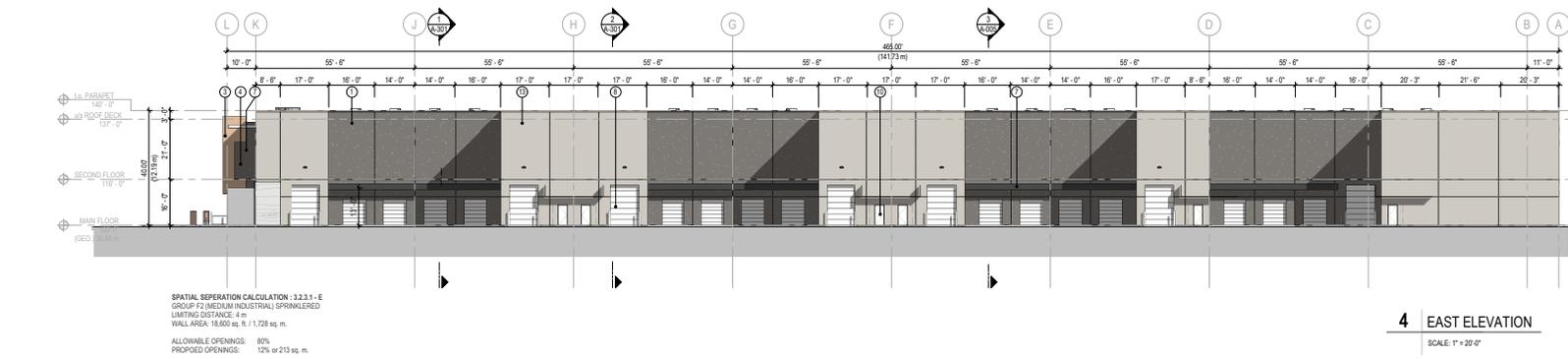
larry podhora | architecture inc
487 HOWE STREET, RD. NORTH SAANICH, BC, V8L 5K1

PROJECT NAME
HIGHPOINT INDUSTRIAL

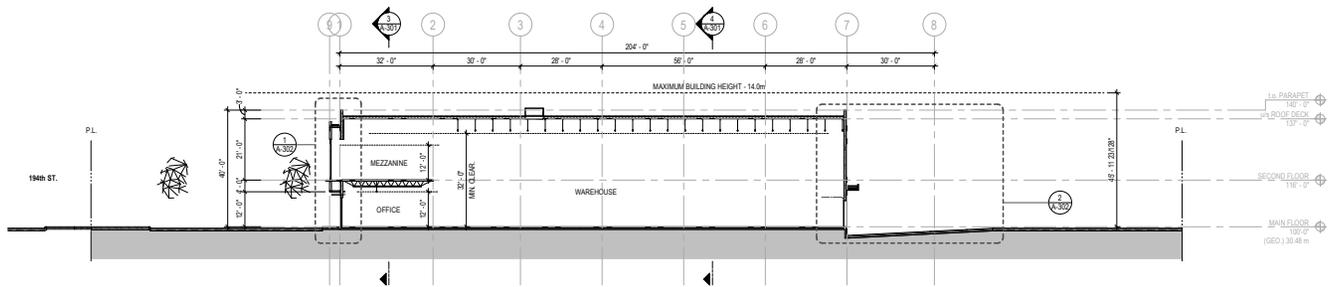
PROJECT ADDRESS
3450 - 154th STREET
SURREY, BC

DRAWING TITLE
BUILDING ELEVATIONS

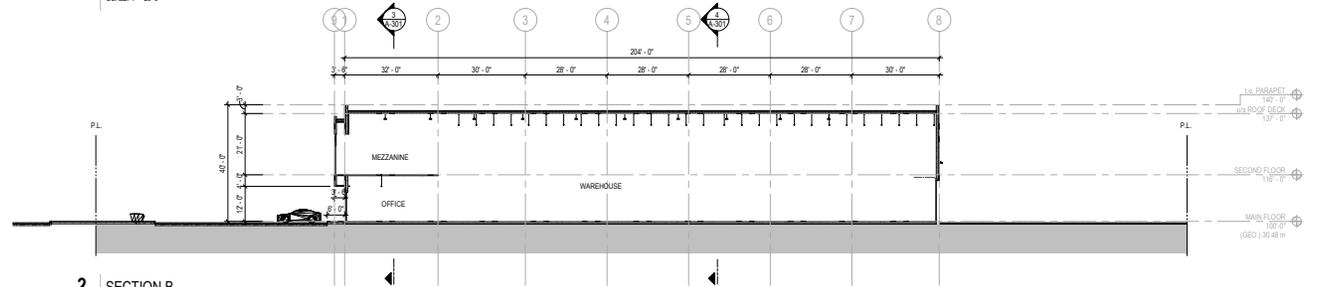
SCALE 1" = 20'-0"
DRAWN Tristan Hanscomb
REVIEWED Larry Podhora, Mark Bromsena
PROJECT NO. 220330
DRAWING NO.



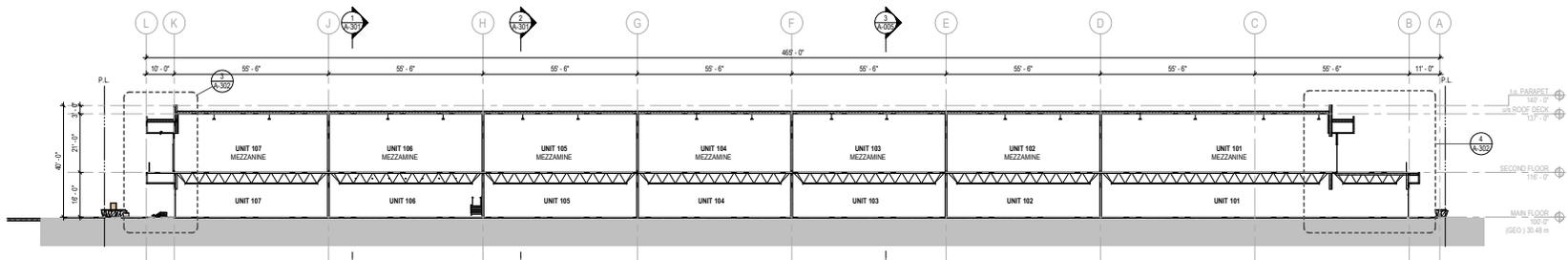
SPATIAL SEPERATION CALCULATION - 3.2.3.1 - E
GROUP F2 (MEDIUM INDUSTRIAL) SPRINKLERED
LIMITING DISTANCE: 4 m
WALL AREA: 18,800 sq. ft. / 1,728 sq. m.
ALLOWABLE OPENINGS: 80%
PROPOSED OPENINGS: 12% or 213 sq. m.



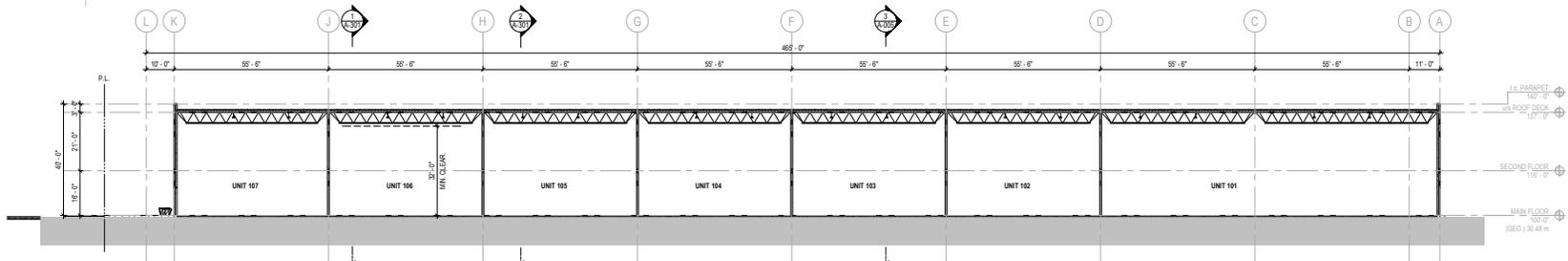
1 SECTION A
SCALE: 1" = 20'-0"



2 SECTION B
SCALE: 1" = 20'-0"



3 SECTION C
SCALE: 1" = 20'-0"



4 SECTION D
SCALE: 1" = 20'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

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| | | | |
|----------------------|------------|------------------|-------------|
| B | 2023.10.19 | RE-issued for EP | |
| A | 2023.03.01 | Issued for GP | |
| NO. | DATE | YMD | DESCRIPTION |
| ISSUES AND REVISIONS | | | |
| SEAL | | | |



larry podhora | architecture inc
467 HOWICEST RD, NORTH SAANICH, BC, V8L 5K1

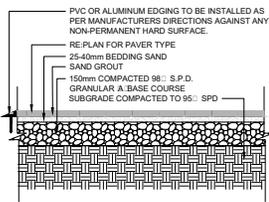
PROJECT NAME
HIGHPOINT INDUSTRIAL

PROJECT ADDRESS
3450 - 194th STREET
SURREY, BC

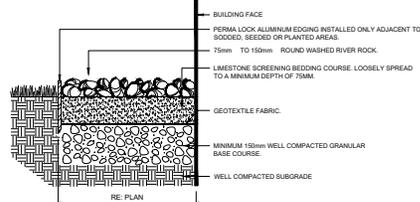
DRAWING TITLE
BUILDING SECTIONS

| | |
|-------------|------------------------------|
| SCALE | 1" = 20'-0" |
| DRAWN | Tristan Hanscomb |
| REVIEWED | Larry Podhora, Mark Bronsema |
| PROJECT NO. | 22030 |
| DRAWING NO. | |

A-301



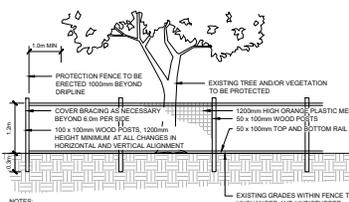
BROADWAY PLANKS PAVER SPECIFICATIONS
 PATTERN: HOLLAND
 COLOUR: ANTIQUE BROWN
 MANUFACTURER: BARKMAN CONCRETE
 CONTACT: WWW.BARKMANCONCRETE.COM



NOTES:
 1. RIVER ROCK SHALL BE FREE FROM CRACKS AND FISSURES AND SHALL BE FREE FROM SAND, CLAY AND OTHER DELETERIOUS MATERIAL.
 2. RIVER ROCK SHALL BE PLACED OVER THE SCREENINGS COURSE SUCH THAT AN OVERALL LEVEL APPEARANCE IS ACHIEVED WITHOUT VOIDS.
 3. RIVER ROCK TO BE LIGHTLY COMPACTED TO EMBED INTO BEDDING COURSES.



STAMPED CONCRETE SPECIFICATIONS
 PATTERN: RUNNING BOND
 INTEGRAL COLOUR: LIGHT GREY
 ANTIQUE RELEASE: SMOKEY BEIGE
 MANUFACTURER: BRICKFORM
 CONTACT: WWW.BRICKFORM.COM



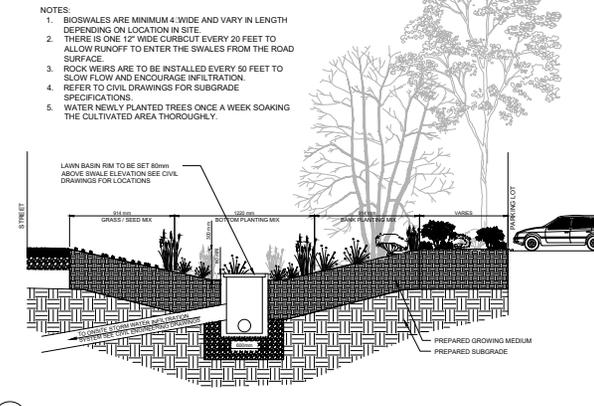
NOTES:
 1. ATTACHMENT OF FENCE TO TREES WILL NOT BE PERMITTED. UNCHANGED AND UNDISTURBED
 2. ANY EXPOSED ROOTS ARE TO BE HAND PRUNED USING PROPER ARBORICULTURAL PRACTICES
 3. UNDER NO CIRCUMSTANCES SHALL ANY CONSTRUCTION MATERIALS, EQUIPMENT OR VEHICLES BE PLACED WITHIN THE TREE PROTECTION ZONE.
 4. ALL TREE PROTECTION TO BE ERECTED PRIOR TO ANY CONSTRUCTION ACTIVITY AND IS TO REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED. OBTAIN WRITTEN APPROVAL FROM CONTRACT ADMINISTRATOR PRIOR TO REMOVAL OF FENCING.

D1 PAVERS 1:20

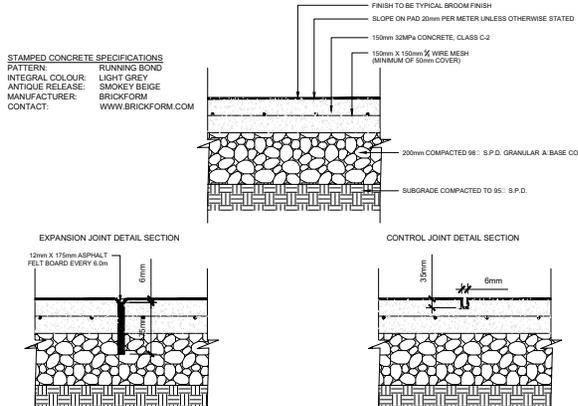
D2 GRAVEL 1:10

D6 BIKE RACK N.T.S.

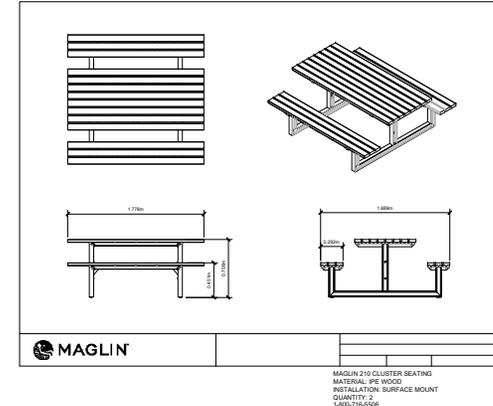
D7 TREE PROTECTION FENCE N.T.S.



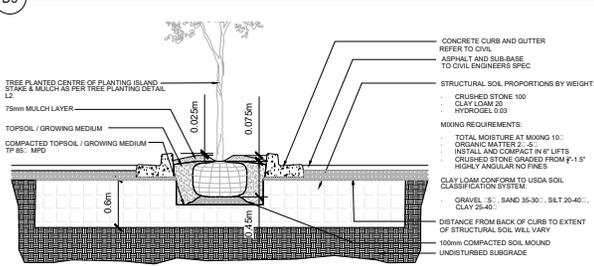
D3 BIOSWALE 1:20



D8 STAMPED CONCRETE 1:10



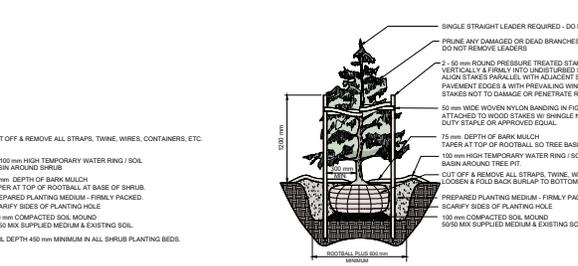
D9 PICNIC TABLE N.T.S.



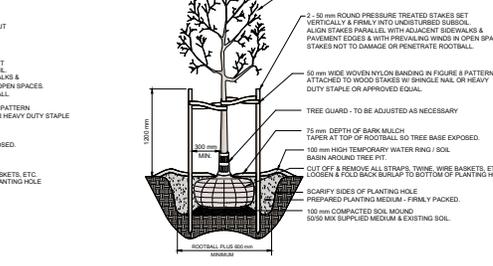
D4 STRUCTURAL SOIL 1:30



D5 CONCRETE C.I.P STEPPED BENCH N.T.S.



CONIFEROUS TREE N.T.S.



DECIDUOUS TREE N.T.S.

| | | |
|--------------------|--------------|--------------------------|
| 4 | 18/10/23 | ISSUED FOR DP |
| 3 | 11/08/22 | ISSUED FOR CLIENT REVIEW |
| 2 | 10/08/22 | ISSUED FOR COORDINATION |
| 1 | 25/07/22 | ISSUED FOR COORDINATION |
| NO. | DATE (MM/DD) | DESCRIPTION |
| ISSUES & REVISIONS | | |
| SCALE | | |

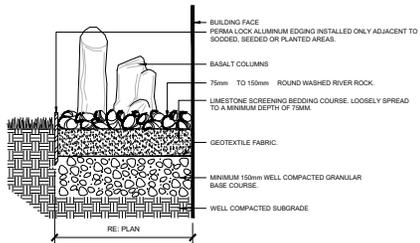
INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS:
 3450 - 34 A AVENUE
 SURREY, BC

CURRENT TITLE:
 DETAILS

SCALE: AS NOTED
 DRAWN: MA
 CHECKED: JT
 PROJECT NO.: 22030-L
 DRAWING NO.: L2

THIS DRAWING IS PROPERTY OF KBVA GROUP OF COMPANIES AND SHALL NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.



- NOTES:
1. RIVER ROCK SHALL BE FREE FROM CRACKS AND FISSURES AND SHALL BE FREE FROM SAND, CLAY AND OTHER DELETERIOUS MATERIAL.
 2. RIVER ROCK SHALL BE PLACED OVER THE SCREENINGS COURSE SUCH THAT AN OVERALL LEVEL APPEARANCE IS ACHIEVED WITHOUT Voids.
 3. RIVER ROCK TO BE LIGHTLY COMPACTED TO EMBED INTO BEDDING COURSES.



NORTHWEST LANDSCAPE STONE SUPPLY MODEL, BCM BASALT COLUMNS SAWN BOTTOM MEDIUM SIZE 1-888-887-7738

D1 ROCK GARDEN

| | | |
|---------------------|--------------|--------------------------|
| 4 | 18/10/23 | ISSUED FOR DP |
| 3 | 11/06/22 | ISSUED FOR CLIENT REVIEW |
| 2 | 10/06/22 | ISSUED FOR COORDINATION |
| 1 | 25/07/22 | ISSUED FOR COORDINATION |
| NO. | DATE (MM/DD) | DESCRIPTION |
| ISSUES & REVISIONS: | | |
| SEAL: | | |

NORTH ARROW

PROJECT NAME:
INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS:
**3450 - 34 A AVENUE
 SURREY, BC**

DRAWING TITLE:
DETAILS

| | |
|--------------|----------|
| SCALE: | AS NOTED |
| DRAWN: | MA |
| CHECKED: | JT |
| PROJECT NO.: | 22030-L |

DRAWING NO. **L3**

TO: **Director, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **October 04, 2023** PROJECT FILE: **7823-0081-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 3450 194 St**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.942 m towards 194 Street.
- Dedicate a 5.0 m x 5.0 m corner cut at 194 Street and 34A Avenue intersection.
- Dedicate 13.5 m for industrial half-road.
- Register 0.5 m statutory right-of-way (SRW) along 194 Street and 34A Avenue.

Works and Services

- Construct the east side of 194 Street.
- Construct the north side of 34A Avenue.
- Construct storm, sanitary and water mains along 194 Street and 34A Avenue.
- Provide a sanitary and water service connection to the site.
- Register restrictive covenant (RC) for the installation and maintenance of on-site mitigation features and water quality/sediment control systems.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Jeff Pang, P.Eng.
Development Services Manager

BD

3.3 Replacement Tree Requirements

Table 2 – Tree Replacement Summary

Surrey Project No:

Address: 3498, 3452 & 3450 194th Ave

Registered Arborist: Kelly Koome (ISA PN-5962A)

Tree Preservation Summary

| On-Site Trees | Number of Trees |
|--|-----------------|
| Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas) | 118 |
| Protected Trees to be Removed | 113 |
| Protected Trees to be Retained (excluding trees within proposed open space or riparian areas) | 5 |
| Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X one (0) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio X two (113) = 226 | 226 |
| Replacement Trees Proposed | 35 |
| Replacement Trees in Deficit | 191 |
| Protected Trees to be Retained in Proposed [Open Space / Riparian Areas] | 0 |
| Off-Site Trees | Number of Trees |
| Protected Off-Site Trees to be Removed | 0 |
| Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0 | 0 |
| Replacement Trees Proposed | 0 |
| Replacement Trees in Deficit | 0 |

Summary, report and plan prepared and submitted by:



Kelly Koome, Consulting Arborist
ISA Certified Arborist, PN-5962A
ISA Tree Risk Assessment Qualified

Date: **October 24, 2023**

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0081-00

Issued To:

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-603-913

South Half Lot "B" Section 27 Township 7 New Westminster District Plan 11840

3450 - 194 Street

Parcel Identifier: 009-603-948

Parcel "One" (438141E) Lot "B" Section 27 Township 7 New Westminster District Plan 11840

3498 - 194 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) to reduce the north (rear) yard setback of the IB-1 Zone from 7.5 metres to 0 metres.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

SCHEDULE A



To reduce the rear yard setback from 7.5 metres to 0 metres.

UNIT COUNT AND SQUARE FOOTAGE:

| | | |
|----------------|--|--------------------------------|
| UNIT 101 | GROUND FLOOR: 22,743 SQ. FT. MEZZANINE: 2,880 SQ. FT. | UNIT 101 TOTAL: 25,623 SQ. FT. |
| UNIT 102 | GROUND FLOOR: 10,422 SQ. FT. MEZZANINE: 1,891 SQ. FT. | UNIT 102 TOTAL: 12,313 SQ. FT. |
| UNIT 103 | GROUND FLOOR: 10,422 SQ. FT. MEZZANINE: 1,891 SQ. FT. | UNIT 103 TOTAL: 12,313 SQ. FT. |
| UNIT 104 | GROUND FLOOR: 10,422 SQ. FT. MEZZANINE: 1,891 SQ. FT. | UNIT 104 TOTAL: 12,313 SQ. FT. |
| UNIT 105 | GROUND FLOOR: 10,422 SQ. FT. MEZZANINE: 1,891 SQ. FT. | UNIT 105 TOTAL: 12,313 SQ. FT. |
| UNIT 106 | GROUND FLOOR: 10,422 SQ. FT. MEZZANINE: 1,891 SQ. FT. | UNIT 106 TOTAL: 12,313 SQ. FT. |
| UNIT 107 | GROUND FLOOR: 5,773 SQ. FT. MEZZANINE: 2,045 SQ. FT. | UNIT 107 TOTAL: 11,818 SQ. FT. |
| MAIN FLOOR GFA | 84,932 SQ. FT. (7,890 SQ. M.) | |
| 2ND FLOOR GFA | 14,375 SQ. FT. (1,335 SQ. M.) | |
| TOTAL GFA | 99,307 SQ. FT. (9,226 SQ. M.) | |

PROPERTY INFORMATION:

CIVIC ADDRESS: 3450 - 194th STREET, SURREY, BC
LEGAL ADDRESS: LOT B, SECTION 27, TOWNSHIP 7, PLAN NWP11840 NWD PART S12
PID: 009-403-913
ZONING EXISTING: A1
ZONING PROPOSED: B1 BUSINESS PARK 1 ZONE
OCP: MIXED EMPLOYMENT
SITE AREA - PRE DEDICATION: 200,274 sq. ft. / 18,606 sq. m.
SITE AREA - POST DEDICATION: 180,611 sq. ft. / 16,784 sq. m.

OCP - MIXED EMPLOYMENT:

DENSITIES: MAY RANGE FROM 1.0 FAR TO 1.5 FAR
USES: INDUSTRIAL, COMMERCIAL, BUSINESS + OFFICE
DEVELOPMENT PERMITS REQUIRED

IB1 - BUSINESS PARK 1 ZONE REVIEW:

DENSITY: MAXIMUM PROPOSED: FSR 0.10
LOT COVERAGE: MAXIMUM LOT COVERAGE OF: 60% (130,164 sq. ft. / 11,963.64 sq. m.)
PROPOSED: 42% PRE DEDICATION
47% POST DEDICATION

SETBACKS:
FRONT YARD (SOUTH) 16.0m (7.5m) 7.6m
REAR YARD (NORTH) 7.5m 0.0m
SIDE YARD (EAST) 7.5m 25m
STREET SIDE YARD (WEST) 9.0m 27m

* FRONT YARD MAY BE REDUCED TO 7.5m IF THE AREA BETWEEN BUILDING FACE AND HIGHWAY IS NOT USED FOR PARKING AND IS LANDSCAPED

** ONE SIDE YARD MAY BE REDUCED TO 3.6m IF THE SIDE YARD ABUTS LAND THAT IS DESIGNATED COMMERCIAL OR MIXED EMPLOYMENT IN THE OCP

*** STREET SIDE YARD MAY BE REDUCED TO 7.5m IF THE AREA BETWEEN BUILDING AND PLANNING STREET IS NOT USED FOR PARKING AND IS LANDSCAPED

BUILDING HEIGHT: PRINCIPAL BUILDING - MAXIMUM HEIGHT OF 14.00m (46 ft.)
PROPOSED HEIGHT OF 12.19 (40 ft.)
ACCESSORY BUILDING - MAXIMUM HEIGHT OF 6.0m (19 ft.)
PROPOSED HEIGHT: N/A

LANDSCAPING: LOT LINES ABUTTING AN ARTERIAL OR COLLECTOR ROAD - MIN. 6.0m
ABUTTING ALL OTHER HIGHWAY TYPES - MIN. 3.0m

OFF-STREET PARKING REVIEW:

PARKING DESIGN REQUIREMENTS:

STANDARD STALL: 2.9m WIDE x 5.5m LONG WITH 6.1m DRIVE AISLE
2.7m WIDE x 5.5m LONG WITH 7.0m DRIVE AISLE
2.6m WIDE x 5.5m LONG WITH 7.0m DRIVE AISLE

ACCESSIBLE PARKING:

2.5m WIDE x 5.5m LONG WITH 6.1m DRIVE AISLE
ADJACENT 1.5m SHARED AISLE

SMALL CAR:

UP TO 30% OF REQUIRED PARKING
LENGTH MAY BE REDUCED TO 4.8m
90 DEGREE PARKING ONLY
CLEARLY IDENTIFIED AS "SMALL CAR"

TANDEM PARKING:

2.6m WIDE x 6.7m LENGTH WITH 6.0m DRIVE AISLE

PARALLEL PARKING:

2.6m WIDE x 6.7m LENGTH WITH 6.0m DRIVE AISLE, TWO WAY TRAFFIC

PARKING CALCULATION REQUIREMENTS:

INDUSTRIAL LIGHT IMPACT: 1 PARKING SPACE PER 100 sq. m. OF GFA
OFFICE: 2.5 PARKING SPACE PER 100 sq. m. OF GFA
BICYCLE PARKING: N/A

OFF-STREET PARKING CALCULATIONS:

OFFICE + MEZZANINE (OFFICE ALLOWANCE): MAIN 14,208 sq. ft. (1,320 sq. m.) = 1,320 / 100 x 2.5 = 33.0
SECOND 14,375 sq. ft. (1,335 sq. m.) = 1,335 / 100 x 2.5 = 33.3
WAREHOUSE: MAIN 70,724 sq. ft. (6,486 sq. m.) = 6,570 / 100 = 65.7

TOTAL PARKING REQUIRED:

132 STALLS

TOTAL PARKING PROVIDED:

132 STALLS

PRELIMINARY
NOT FOR CONSTRUCTION

This drawing has been prepared solely for the use of the CLIENT and does not constitute a representation of any kind made by LARRY PODHORA ARCHITECTURE INC. to any party with whom LARRY PODHORA ARCHITECTURE INC. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose.

B 2023.10.19 RE-issued for O/P
A 2023.10.19 Issues for O/P
NO. DATE Y.M.D. DESCRIPTION
ISSUES AND REVISIONS

SEAL

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