

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0337-00

Planning Report Date: December 4, 2023

PROPOSAL:

- **Development Variance Permit**

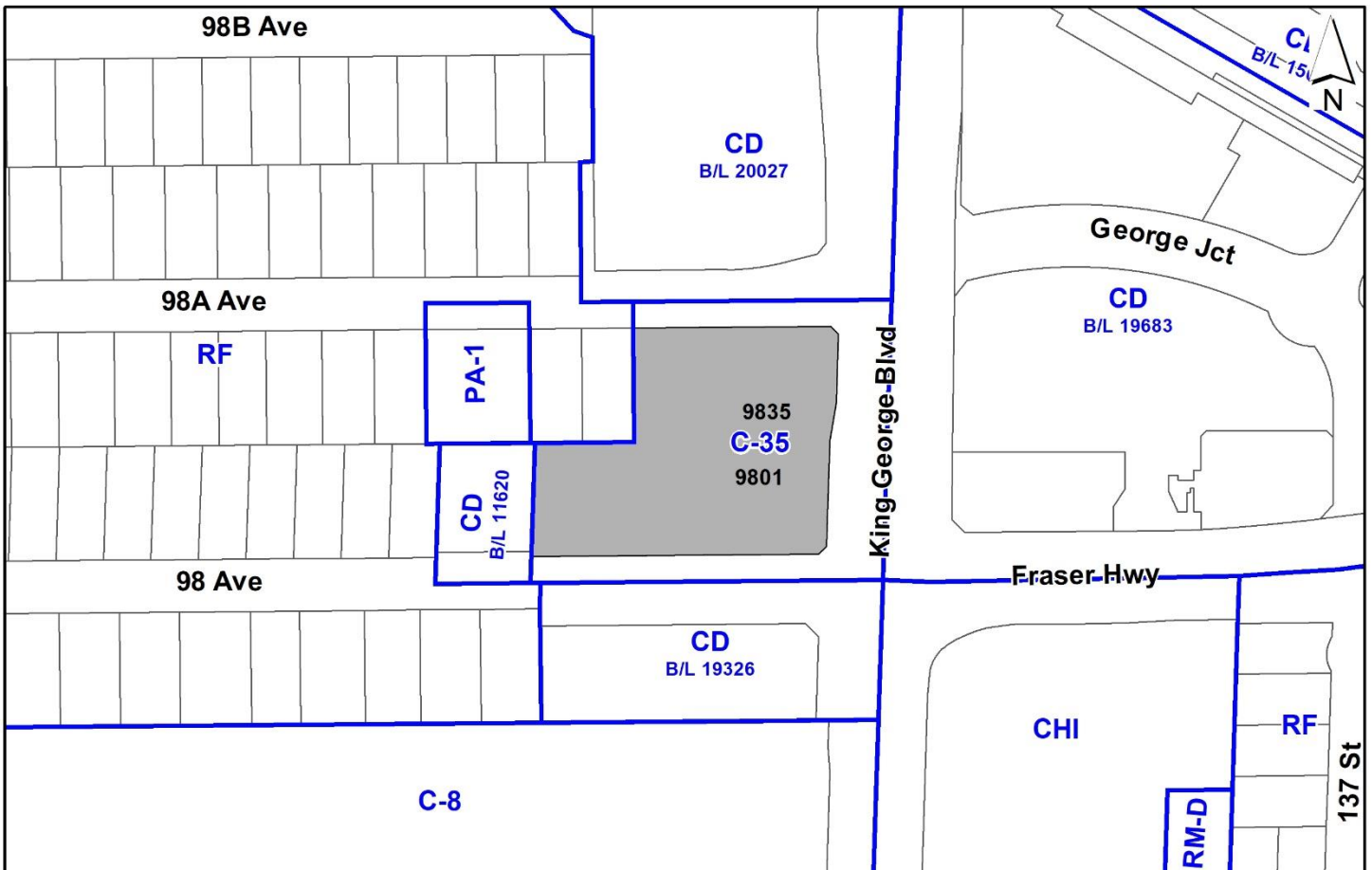
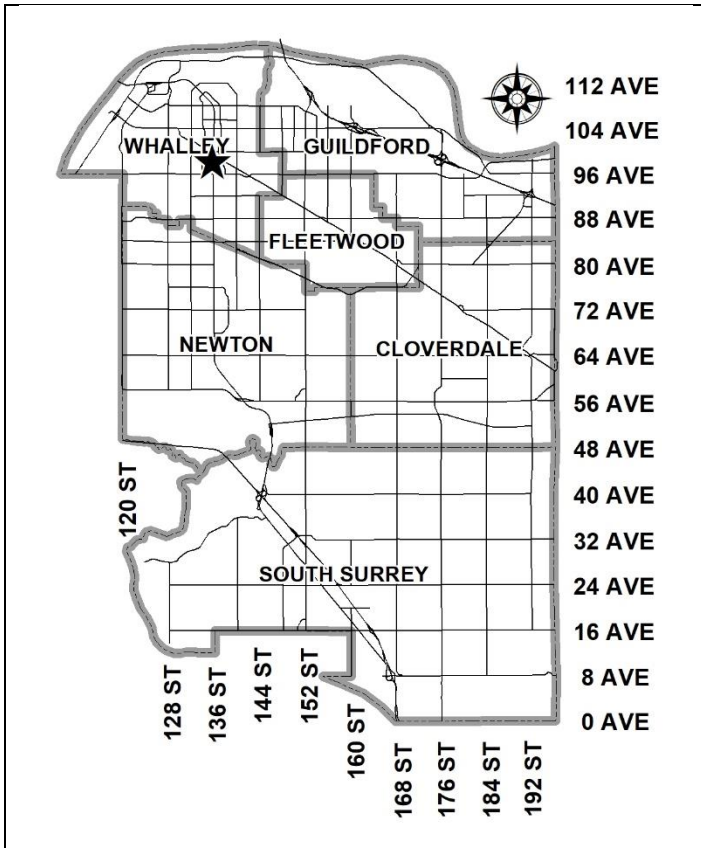
to replace the development drawings attached to Land Use Contract (LUC) No. 420 and to reduce the number of required parking spaces to allow for additional rental residential units and renovations to the existing buildings on the site.

LOCATION: 9801 King George Boulevard
 (9835 King George Boulevard)

ZONING: LUC. No. 420 (C-35 underlying)

OCP DESIGNATION: Downtown

CCP DESIGNATION: Mid To High Rise Mixed-Use



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to reduce the number of parking spaces outlined in Land Use Contract (LUC) No. 420 from 423 to 367 parking spaces.

RATIONALE OF RECOMMENDATION

- At the January 8, 2018 Regular Council – Land Use meeting, under Development Application No. 7917-0262-00, Council approved the termination of LUC No. 420 to permit the existing underlying C-35 Zone to come into effect on the subject site. In accordance with legislation, the LUC Termination By-law has a one-year grace period from adoption of LUC By-law termination, after which the current underlying Zone comes into effect. That grace period would have ended on January 8, 2019.
- On September 12, 2018, the Board of Variance granted the applicant permission to extend the termination date of LUC No. 420 until January 8, 2024, to allow for the conversion of the existing low-rise commercial building into 63 new residential rental units and the exterior renovation of the existing residential high-rise building under the LUC. The Board acknowledged that undue hardship would be caused to the applicant by early termination of LUC No. 420. (Appendix II)
- At the April 15, 2019 Regular Council – Land Use meeting, Council supported Development Application No. 7918-0346-00, which included a variance to Land Use Contract No. 420 to replace the development drawings originally attached to the LUC and to reduce the number of required parking spaces in order to allow for additional rental residential units and renovations to the existing buildings. Development Variance Permit No. 7918-0346-00 was issued on October 5, 2020 and expired on October 5, 2022.
- Since 2019, the applicant has gradually worked towards obtaining the necessary City approvals for their renovation project. Building Permit No. 2021-014341-000-00 for the conversion of the existing low-rise commercial building into 63 new residential units and Building Permit No. 2022-012636-000-00 for the exterior renovation of the existing residential high-rise building have both been submitted. The applicant is working with the Building Division to resolve outstanding deficiencies for imminent building permit issuance.
- In order for the applicant to proceed with the renovation project under the existing, extended, LUC No. 420, it is necessary for the Development Variance Permit to be renewed. The subject Development Variance Permit No. 7923-0337-00 is identical to the previous Development Variance Permit No. 7918-0346 and is required to be issued before LUC No. 420 expires on January 8, 2024.
- The proposed Development Variance Permit will allow the applicant to commence building renovations when Building Permit No. 2021-014341-000-00 and Building Permit No. 2022-012636-000-00 are issued.

- The proposed renovations will result in 63 additional market rental units in City Centre and will update the aesthetic of the existing buildings into a more contemporary and classic design that will fit into the developing downtown area.
- The proposed residential rental use complies with the Downtown designation in the Official Community Plan (OCP).
- The proposed parking space reduction exceeds off-street parking requirements for market rental units in City Centre as detailed in Corporate Report R077 which passed Third Reading on June 5, 2023.
- There is a demand for additional rental units in the City Centre and throughout the City.
- Staff support the variances.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7923-0337-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to replace the Drawings Numbered 77-RZ-91 (A), (B), (C), (D), (E), (F), (G), (H), and (I) attached to and forming part of Land Use Contract No. 420 and replacing them with the drawings attached and numbered 7923-0337-00 (1) through to and including 7923-0337-00 (60); and
 - (b) to reduce the required number of parking spaces as outlined under Land Use Contract No. 420 from 423 to 367.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/CCP Designation	Existing Zone
Subject Site	Mixed-use development with commercial space and residential rental units	Downtown/Mid to High Rise Mixed-Use	LUC No. 420 (C-35 underlying)
North (Across 98A Avenue):	Mixed-use development approved and under construction	Downtown/High Rise Mixed Use – Type I	CD (By-Law No. 20027)
East (Across King George Blvd):	Existing mixed-use towers (King George Hub)	Downtown/ High Rise Mixed Use – Type I	CD (By-Law No. 19683)
South (Across 98 Avenue):	Mixed use tower and podium development at Third Reading	Downtown/ High Rise Mixed Use – Type I	CD (By-Law No. 19326)
West:	Single Family Dwellings	Multiple Residential/Low to Mid Rise Residential	RF and CD (By-Law No. 11620)

Context & Background

- At the January 8, 2018 Regular Council – Land Use meeting, under Development Application No. 7917-0262-00, Council approved the termination of LUC No. 420 to permit the existing underlying C-35 Zone to come into effect on the subject site. In accordance with legislation, the LUC Termination By-law has a one-year grace period from adoption of LUC By-law termination, after which the current underlying Zone comes into effect. That grace period would have ended on January 8, 2019.

- On September 12, 2018, the Board of Variance granted the applicant permission to extend the termination date of LUC No. 420 until January 8, 2024, to allow for the conversion of the existing low-rise commercial building into 63 new residential rental units and the exterior renovation of the existing residential high-rise building under the LUC. The Board acknowledged that undue hardship would be caused to the applicant by early termination of LUC No. 420. (Appendix II)
- Development Application No. 7918-0346-00 was initially presented to Council at the December 3, 2018 Regular Council – Land Use meeting. The proposal was to replace the development drawings attached to Land Use Contract No. 420 and to reduce the number of required parking spaces in order to allow for additional rental residential units and renovations to the existing buildings.
- After questions and comments were raised by Council at the December 3, 2018 Regular Council - Land Use Meeting, the project was "referred back to staff to complete a report from the Advisory Design Panel and Fire Department and a traffic impact study".
- In response to Council's direction, staff worked with the applicant resulting in the following revisions to the proposal:
 - additional urban design review and revisions were undertaken between staff and the applicant;
 - the project was brought forward to the Advisory Design Panel (ADP) for review and comment; and
 - the finalized architectural and landscape designs were amended to reflect comments from the ADP.
- The design of the buildings and proposed renovations were enhanced to better align with current and future anticipated development in the surrounding area.
- A traffic impact study was not required as traffic and parking demand was not anticipated to increase from the proposed conversion of commercial to residential space.
- The project was referred to the Fire Department and there were no additional requirements or concerns raised.
- Council supported the applicant's revised proposal and the amended Development Variance Permit was issued by Council on October 5, 2020. It has since expired on October 5, 2022.

DEVELOPMENT PROPOSAL

Planning Considerations

- Since 2019, the applicant has gradually worked towards obtaining the necessary City approvals for their renovation project. Building Permit No. 2021-014341-000-00 for the conversion of the existing low-rise commercial building into 63 new residential rental units and Building Permit No. 2022-012636-000-00 for the exterior renovation of the existing residential high-rise building have both been submitted. The applicant is working with the Building Division to resolve outstanding deficiencies for imminent building permit issuance.
- In order for the applicant to proceed with the renovation project under the existing, extended, LUC No. 420, it is necessary for the Development Variance Permit to be renewed. The subject Development Variance Permit No. 7923-0337-00 is identical to the previous Development Variance Permit No. 7918-0346 and is required to be issued before LUC No. 420 expires on January 8, 2024.
- The proposed Development Variance Permit will allow the applicant to commence building renovations when Building Permit No. 2021-014341-000-00 and Building Permit No. 2022-012636-000-00 are issued.
- The proposed renovations will result into 63 additional market rental units in City Centre. There is a high demand for residential market rental units in the City. The location of the site, directly across from the Skytrain station, provides an ideal location for residential rental units.
- The proposed exterior changes will update the aesthetic of the existing buildings into a more contemporary design that will fit into the developing downtown area.
- The existing commercial space has not been successful, and the new mixed-use development across the street, King George Hub, includes commercial space that is reflective of current leasing needs and will be able to service the area.

Referrals

Engineering: The Engineering Department has no objection to the project.

School Board: The School District has advised that there will be approximately 8 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

- 5 Elementary student at A.H.P. Matthew Elementary School
- 2 Secondary student at Queen Elizabeth Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2026.

Fire Department: Comments from the Fire Department were conveyed to the applicant and will be addressed as part of the Building Permit.

Form and Character

Building Design

- The design concept includes updating the two existing buildings to a contemporary design that will fit into this developing area in City Centre. The colour palette is neutral and comprised of off-whites and greys.

Low Rise

- The low-rise building will be reflective of contemporary building design incorporating classic aesthetic elements.
- The exterior is being re-clad with high quality materials including fibre cement panel, metal panel and standing seam metal cladding.
- All the windows are being updated to double or triple glazed insulated windows with glass railings being provided for the balconies.

High Rise

- The applicant is proposing to break up the current building massing by increasing the vertical design elements on the façade with both colour and railing design.
- Colour is being used to create more dimensionality with darker and lighter colours being used to make portions of the building appear to be recessed.

- Existing railings are being replaced with glass railings and arranged vertically.

Landscaping Improvements

- The proposed landscape improvements include renovations to the existing courtyard space and the public realm.
- Semi-private and private patios and courtyard areas have been added to the existing site.
- The interior courtyard provides semi-private patios and shared amenity areas with a variety of programming and planting to define spaces and provide privacy.
- The units along King George Boulevard have semi-private patios that are screened by existing large trees along King George Boulevard.
- A plaza and gathering space are proposed at the corner of King George Boulevard and 98A Avenue to activate this frontage closer to the King George sky train station.

Transportation Considerations

- Transportation Engineering staff advise that a traffic impact study was not required as the subject proposal is to convert existing commercial space to residential rental dwelling units. Commercial uses generate higher traffic volumes than residential uses, which is reflected in the Zoning By-law No. 12000 rates for off-street parking, wherein commercial parking rates are higher than residential rates.
- There are 367 parking spaces on site currently, which exceeds the current parking requirement of 189 spaces in the Zoning By-law No. 12000. The City Centre parking rate of 0.65 stalls per residential unit was recently approved by Council at the June 5, 2023 Regular Council – Public Hearing meeting (Corporate Report R077 – Off-Street Parking Requirements for Market Rental).
- There are 423 spaces required under the existing Land Use Contract No. 420. However, these parking numbers were established when the Land Use Contract came into effect in 1978.
- Parking requirements have reduced over time based on transit infrastructure improvements, particularly in the City Centre area. King George Boulevard was recently selected by the Mayor’s Council on Regional Transportation as one of the first three corridors for Metro Vancouver’s first new Bus Rapid Transit (BRT) routes. Implementation of BRT will increase transit ridership along King George Boulevard, reducing the need for car ownership and parking spaces within the development.

Requested Variances (to LUC No. 420)

- The applicant is requesting the following variances:
 - (a) to replace the Drawings Numbered 77-RZ-91 (A), (B), (C), (D), (E), (F), (G), (H), and (I) attached to and forming part of Land Use Contract No. 420 and replacing them with the drawings attached and numbered 7923-0337-00 (1) through to and

including 7923-0337-00 (60); and

- (b) to reduce the required number of parking spaces as outlined under Land Use Contract No. 420 from 423 to 367.
- The proposed renovations will result into 63 additional market rental units in City Centre. There is a high demand for residential market rental units in the City. The location of the site, directly across from the Skytrain station, provides an ideal location for residential rental units.
 - The proposed exterior changes will update the aesthetic of the existing buildings into a more contemporary design that will fit into the developing downtown area.
 - The existing number of parking spaces is 367, which exceeds the current parking requirement of 189 spaces in the Zoning By-law No. 12000 as noted previously in the report (and based on the proposed rental tenure of the units).
 - Staff support the requested variances to proceed for consideration.

INFORMATION ATTACHED TO THIS REPORT

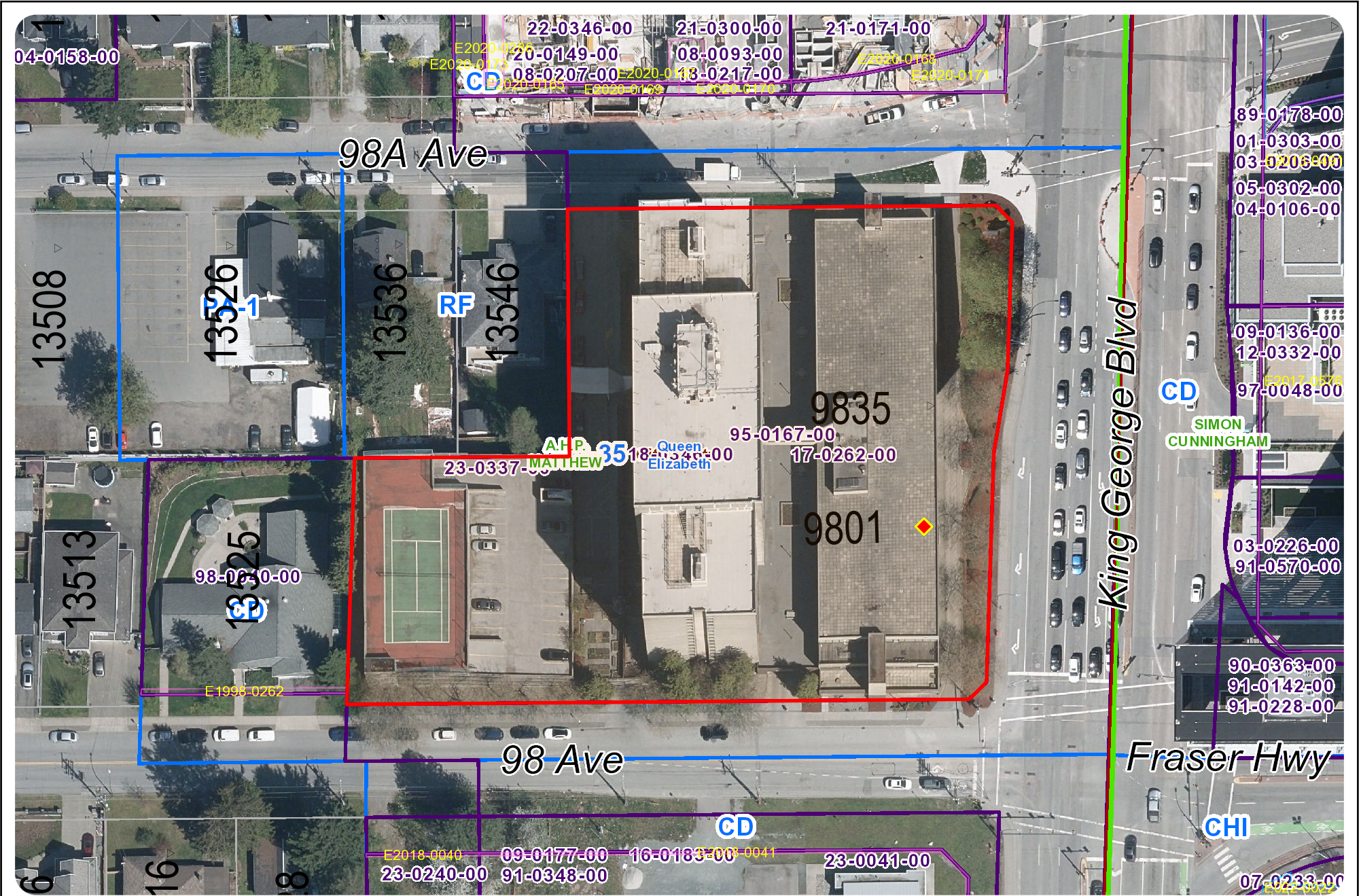
The following information is attached to this Report:

Appendix I.	Cosmos Aerial Photo
Appendix II.	Board of Variance September 12, 2018 Meeting Minutes
Appendix III.	School District Comments
Appendix IV.	Development Variance Permit No. 7923-0337-00

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

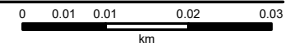
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Map created on: 2023-11-24

**City of Surrey
Board of Variance
Minutes**

2E – Community Room A
City Hall
13450 - 104 Avenue
Surrey, B.C.
WEDNESDAY, SEPTEMBER 12, 2018
Time: 9:13 a.m.
File: 0360-20

Present:

Gil Mervyn, Chair
Puneet Sandhar
Inderjit Dhillon

Absent:

Mike Bola
Jennifer Rahiman

Staff Present:

K. Broersma, Planner
L. Pitcairn, Senior Planner
L. Blake, Secretary

A. ADOPTION OF MINUTES

1. Minutes of the Board of Variance hearing held July 11, 2018.

Moved by I. Dhillon
Seconded by P. Sandhar

THAT the Minutes of the Board of Variance hearing held on July 11, 2018, be received and adopted as circulated.

CARRIED UNANIMOUSLY

B. DEFERRED APPEALS**C. NEW APPEALS**

1. **Appeal No. 18-61 – Surrey Village Holdings Ltd.**

For permission for an extension of five years to the effective termination date of Land Use Contract No. 420 until January 8, 2024, to allow for the conversion of some of the retail space into residential units at 9801/9835 King George Boulevard.

The Board acknowledged Daniel Shouldice from McMillan LLP, Agent for the Appellant Surrey Village Holdings Ltd., in attendance to speak to the application.

Mr. Shouldice reported that the Appellant purchased the property in 2014 with the intention of operating the building as a rental property and to convert the commercial units to additional rental units. The Appellant is currently in the first phase (Phase One) of a two phase construction process and have pursued the permit and construction process in good faith. The project would not affect the existing character of the neighbourhood and the Appellant is not

seeking the maximum extension request. City staff have expressed support for the proposal. Should an extension of the Land Use Contract (LUC) not be permitted, the Appellant would be forced to abandon Phase Two of the construction process, resulting in loss of time and funds already invested into the project. Additionally, there would be a hardship to the community, as the project would not result in additional rental stock.

In response to questions from the Board, the Agent made the following comments:

- The project would result in an additional 50 rental units.

The Chair confirmed there were no persons present to speak to the application and no correspondence received in response to the notification regarding the appeal.

Members of the Board made the following comments regarding the requested variance:

- The property was purchased and the construction process initiated prior to the termination of the LUC. The proposal would be permitted under the LUC.
- The Appellant has invested time and funding into the project and the termination of the LUC would result in a hardship.
- The proposal would provide a benefit to the community by adding additional rental stock in the area.

Therefore, it was

Moved by P. Sandhar
Seconded by I. Dhillon

THAT the Board finds that undue hardship would be caused to the Appellant by the early termination of Land Use Contract No. 420, and orders that Appeal No. 18-61, to extend the effective termination date of the Land Use Contract until January 8, 2024, to allow for the conversion of some of the retail space into residential units at 9801 and 9835 King George Boulevard, as presented to the Board, be **ALLOWED**.

CARRIED UNANIMOUSLY

D. OTHER BUSINESS

E. NEXT MEETING

The next Board of Variance hearing is scheduled for Wednesday, October 10, 2018 at 9:00 a.m.

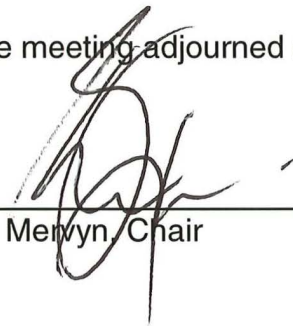
F. ADJOURNMENT

Moved by I. Dhillon
Second by P. Sandhar

THAT the meeting be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 9:33 a.m.



Gil Merwyn, Chair



Lauren Blake, Secretary

Department: **Planning and Demographics**
 Date: **November 27, 2023**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23 0337 00**

The proposed development of **63** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	8
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Projected Number of Students From This Development In:	
Elementary School =	5
Secondary School =	2
Total Students =	7

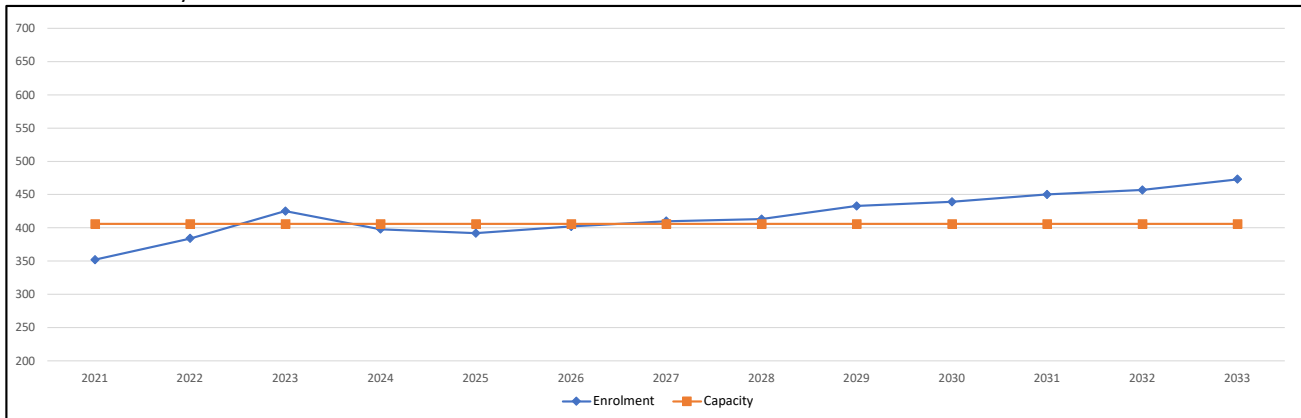
Current Enrolment and Capacities:	
A H P Matthew Elementary	
Enrolment	425
Operating Capacity	406
# of Portables	0
Queen Elizabeth Secondary	
Enrolment	1472
Operating Capacity	1600
# of Portables	4

Summary of Impact and Commentary
 The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

AHP Matthews is operating below capacity, however, the 10 year enrolment project still anticipate a growth trend for the catchment. The current growth expected at AHP Matthews can be accommodated by portables over the next 10 years. The District will be re-evaluating the space needs of this school and its neighbouring elementary schools, once a revised land use plan for the King George Boulevard has been adopted.

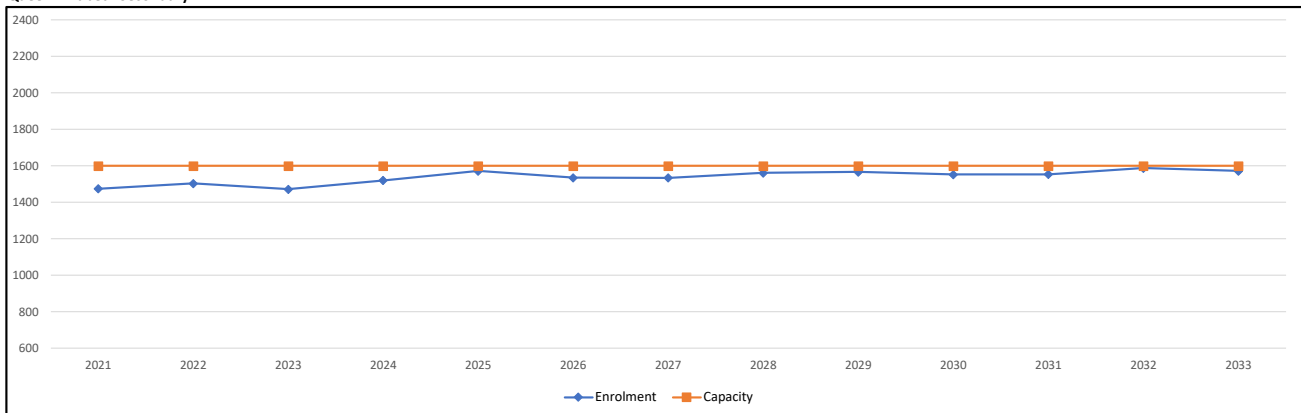
Queen Elizabeth Secondary operates below existing school capacity. Over the next 10 years, the enrolment growth trend will take on a stronger upwards trend line post 2023. Like the elementary school, the proposed new higher density development anticipated around King George Boulevard and 96th Avenue will also fuel secondary growth in the catchment. There are no current plans to expand the existing secondary school, but enrolment will be monitored over the next several years.

A H P Matthew Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Queen Elizabeth Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0337-00

Issued To:

{the "Owner"}

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-552-052

Lot 234 Except: Part Dedicated Road On Plan LMP503, Section 34 Block 5 North Range 2 West
New Westminster District Plan 57169

9801 - King George Boulevard

(the "Land")

3. Surrey Land Use Contract No. 420 Authorization By-law, 1977, No. 5367 is varied as follows:

(a) Schedule One "1" is varied by removing the Drawings Numbered 77-RZ-91 (A), (B), (C), (D), (E), (F), (G), (H), and (I) and replacing them with the drawings attached and numbered 7923-0337-00 (1) through to and including 7923-0337-00 (60) (the "Drawings") which are attached hereto and form part of this Development Variance Permit as Schedule A.

(b) Schedule "D" is varied to provide for a total of 367 parking stalls for residential use, or 1.2 parking stalls per residential unit, and whichever is greater, which is attached hereto as Schedule A, page 23.

4. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

5. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

6. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

7. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

SURREY VILLAGE

DEVELOPMENT VARIANCE PACKAGE
SUBMISSION PACKAGE - MARCH 13, 2019



Musson
Castell
Mackey
Partnership



PWL partnership



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WRITTEN BRIEFS**PROJECT DESCRIPTION & SITE CONTEXT**

This development variance permit application is to amend the existing Land Use Contract (LUC 420). The project site area is 8,366 sq m and located at King George Boulevard and 98A Avenue and within close proximity to King George Skytrain Station. The site is occupied by two existing buildings, a 18-storey residential high rise and a three-storey commercial low rise building with a shared courtyard between the two. There are two levels of underground parking that connect to a three-level parking structure to the southwest of the site.

In this application we are proposing to convert the existing commercial building (low rise) into rental residential; both buildings are 100 percent market rental comprised of a mix of studios, one and two bedroom units. For the low rise the concrete structure, layout of cores and general massing of the building will remain roughly the same which limits the extent of the proposed improvements. We are proposing to remove the existing curtain wall and cladding and replacing the exterior envelope with new cladding and fenestration including additional architectural elements improving the overall aesthetics of the building. On the high rise (phase 2 of the project) we are updating the exterior facade with new architectural elements including but not limited to new glass balcony guardrails and to be completely repainted as per the enclosed renderings in order to make the building more current and relevant to the neighborhood.

The primary entrance for the two buildings is through the shared courtyard and exterior amenity space. The site already has an indoor amenity space (within the high rise), a tennis court on top of the parkade structure and a community garden for tenants to use.

DESIGN CONCEPT, LANDSCAPE CONCEPT & CPTED STRATEGY**DESIGN CONCEPT:**

For the design concept since we are working with two existing buildings, is to update the aesthetic to a contemporary and classic design that will fit into the developing area. The color pallet is neutral comprised of off-whites and various tones of grey. The low rise exterior assembly is being re-cladded with fiber cement panel, metal panel and standing seam metal cladding. All windows are being updated to double glazed, insulated units. Glass railings are being provided for the balconies. For the high rise we are proposing to break up the current massing which is mostly horizontal and gridded by thickening the existing vertical elements on the façade emphasize the verticality of the building. We are using color to create more dimensions on the existing planes; darker colors where we want the building to appear recessed and lighter colors to pop other portions of the mass to the foreground. The existing metal railings are being replaced with glass with portions being back painted and arranged in a vertical pattern to again draw on the linear element.

LANDSCAPE CONCEPT:

The proposed landscape improvements on the project are comprised of a renovation to the existing courtyard space and surrounding public realm. Semi-private, private patios and courts have been added to the existing site responding to changes in the interior use from commercial to rental residential and better interface with the developing neighborhood with access from and to public transit and neighboring buildings.

The interior courtyard consists of private patios at the west end and a shared amenity space on the east. The shared amenity has controlled access from the street through visually permeable fencing. The shared amenity is divided into a number of outdoor rooms to allow different groups to occupy the space at the same time. Planting is provided throughout to help define the space and provide privacy. The growing medium will be light-weight in order to avoid structural issues while still providing the appropriate volume.

Along King George semi-private patios have been provided adjacent to the new rental units. Existing large scale trees have been retained and low planting added to some to provide privacy to the patios. A shared gathering space has been proposed at the corner of King George and 98A to activate this frontage as this side of the site is wider and closer to the King George skytrain station enhancing pedestrian connectivity. This area provides bike parking and public seating. There is also an accessible path provided from the northeast end to the secondary entrance off of King George Boulevard. The grading along King George does change significantly from north to south with a 3 meter grade change.



WRITTEN BRIEFS**DESIGN, LANDSCAPE & CPTED CONCEPT/STRATEGY CONT...****PARKING:**

The site and existing parking meets the new policy of 0.9 stalls/unit and 0.1 stalls/unit visitor.

CPTED:

CPTED is a proactive development philosophy whereby the proper design and effective use of the built environment can lead to a reduction in the incidence of crime. This is accomplished by thoughtfully employing natural forms of surveillance, access control, and territorial reinforcement to present a psychological deterrent to criminal behavior.

The design of Surrey Village complex utilizes natural surveillance, natural access control, and territorial reinforcement through the following design principles:

- Orienting pathways towards natural forms of surveillance such as building entrances and windows.
- Increasing visual permeability at main building entrances.
- Strategically lighting public areas and potential problem areas such as narrow pedestrian links and secondary building accesses.
- Providing clear sight lines and visual permeability.
- Limiting uncontrolled access to buildings and private spaces.
- Adding dense or thorny landscaping as a natural barrier to discourage unwanted entry.
- Providing amenities in public areas that encourage activity and use.
- Avoiding the creation of “no-man’s land” by ensuring that all spaces have an assigned use.
- Creating clearly marked transitional zones as people move between public and private spaces.

With these thoughtfully employed natural barriers, we are encouraging positive social interactions while reducing the opportunities for criminal activity.

RESPONSE TO URBAN DESIGN PLANNING POLICY

This development variance permit application is to amend the existing Land Use Contract (LUC 420).

ENVIRONMENTAL/BUILDING SUSTAINABILITY FEATURES

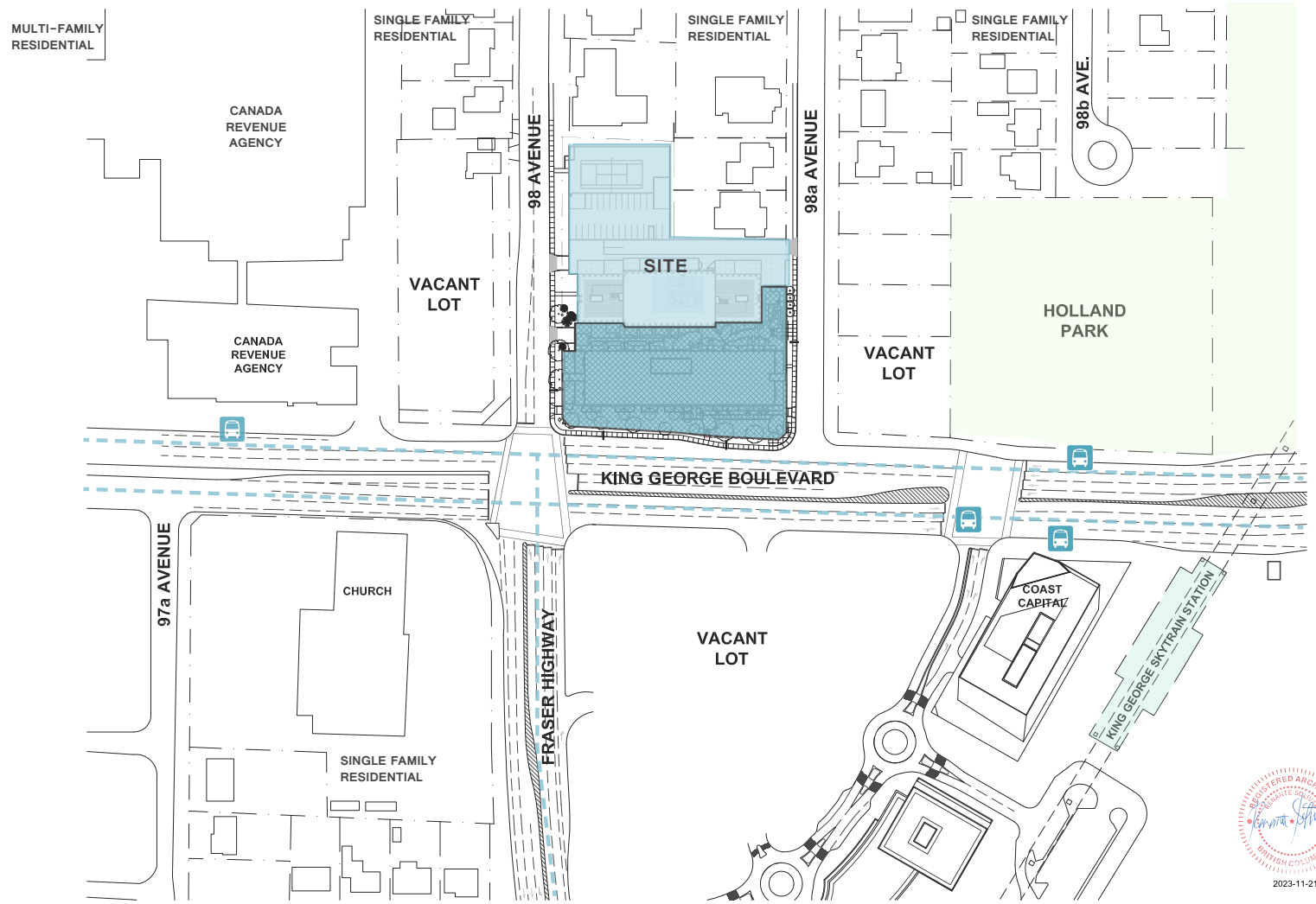
The buildings provide a mix of housing types from studios, 1 and two bedrooms that are 100% market rental. The low rise building will have secure bicycle storage facilities for the residence which is not a requirement in the current LUC. There will also be recycling onsite.

In re-cladding the low rise we will be providing an insulated rainscreen envelope with double glazed, insulated windows. Structural upgrades to the envelope will provide an S4 upgrade. Energy efficient lighting, low flush toilets and high-efficiency plumbing fixtures will also be incorporated into the residential units in the low rise.

The courtyard has an intensive green roof on top of the existing parkade structure with a combination of shrubs and permeable/durable paving. In addition, plant materials are drought tolerant and will require less irrigation and ongoing maintenance.



CONTEXT



LEGEND:

-  PROJECT SITE
-  PHASE 1 SCOPE OF WORK
-  PUBLIC PARK
-  BUS STOP
-  BUS ROUTE



CONTEXT



1 98a Avenue Looking East



2 Aerial View Looking Southwest



3 King George Boulevard Looking Northwest

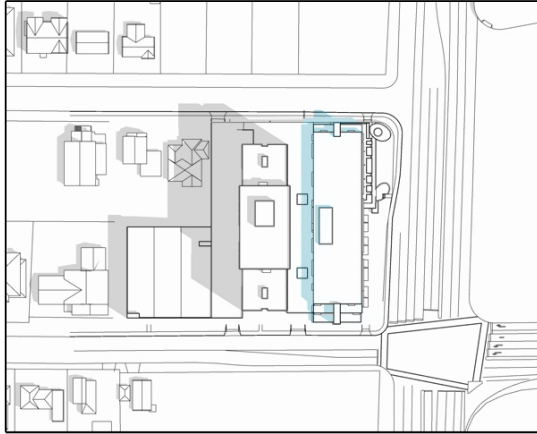


4 Aerial View Looking Northeast

1.2 EXISTING SITE PHOTOS

CONTEXT

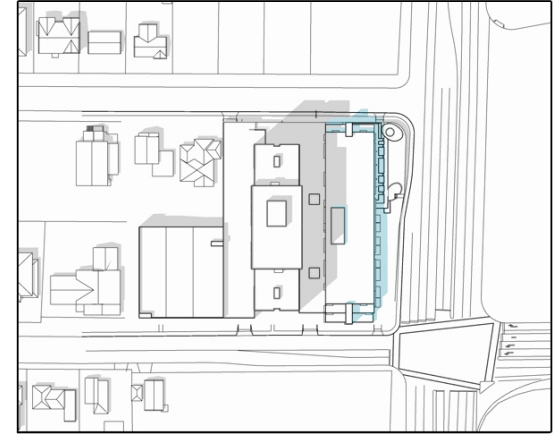
SUMMER SOLSTICE



JUNE 21 - 10 AM

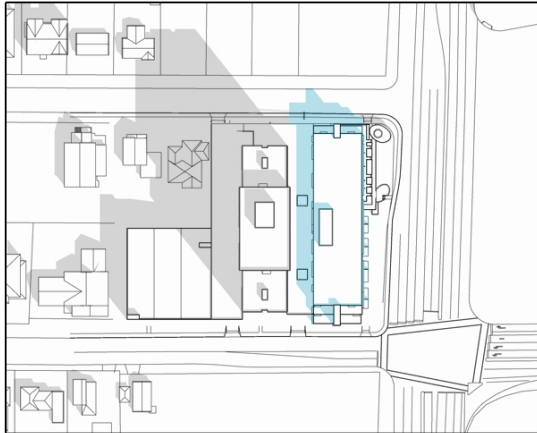


JUNE 21 - 12 PM



JUNE 21 - 2 PM

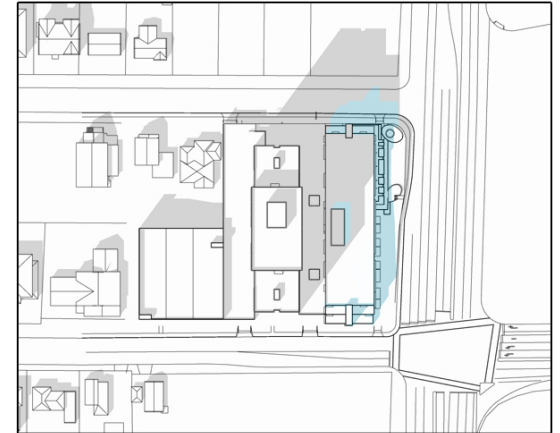
FALL EQUINOX



SEPT 22 - 10 AM



SEPT 22 - 12 PM



SEPT 22 - 2 PM

INCREMENTAL GROUND SHADOW [LOW-RISE]



CONTEXT

SUMMER SOLSTICE



JUNE 21 - 10 AM



JUNE 21 - 12 PM



JUNE 21 - 2 PM

FALL EQUINOX



SEPT 22 - 10 AM



SEPT 22 - 12 PM



SEPT 22 - 2 PM

INCREMENTAL GROUND SHADOW [HIGH-RISE]



CONTEXT



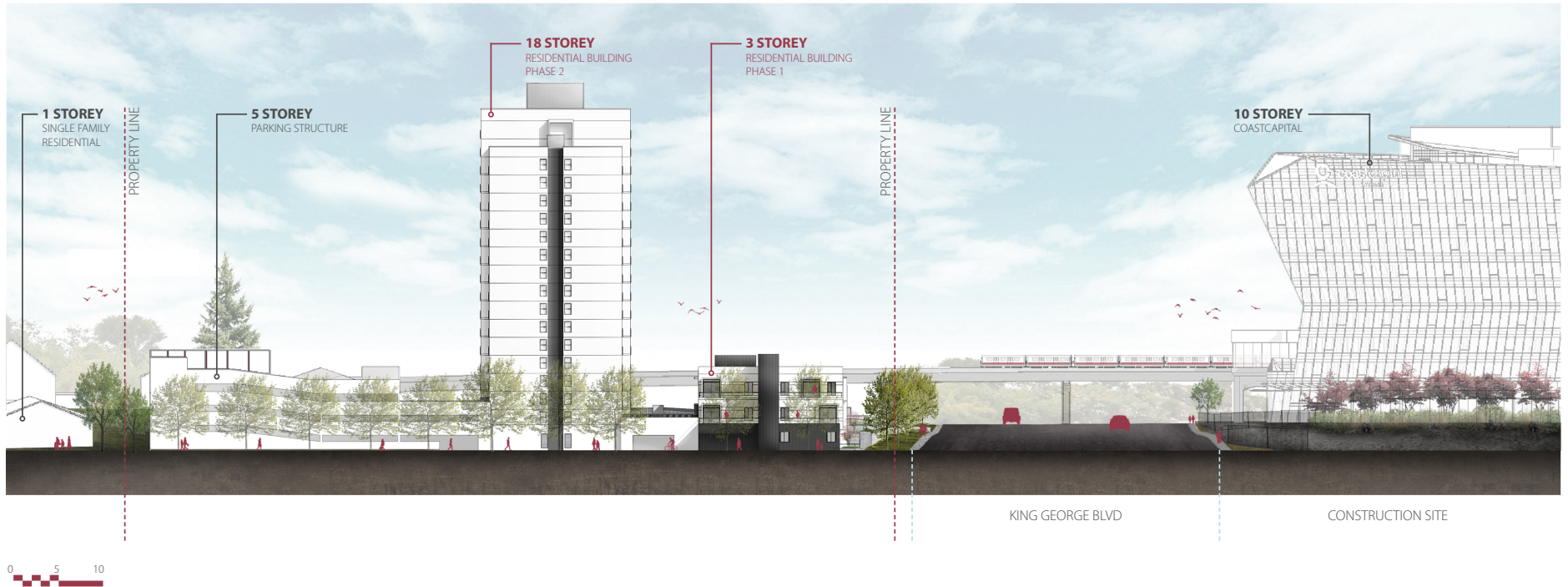
1.5 STREETSCAPE - KING GEORGE BLVD



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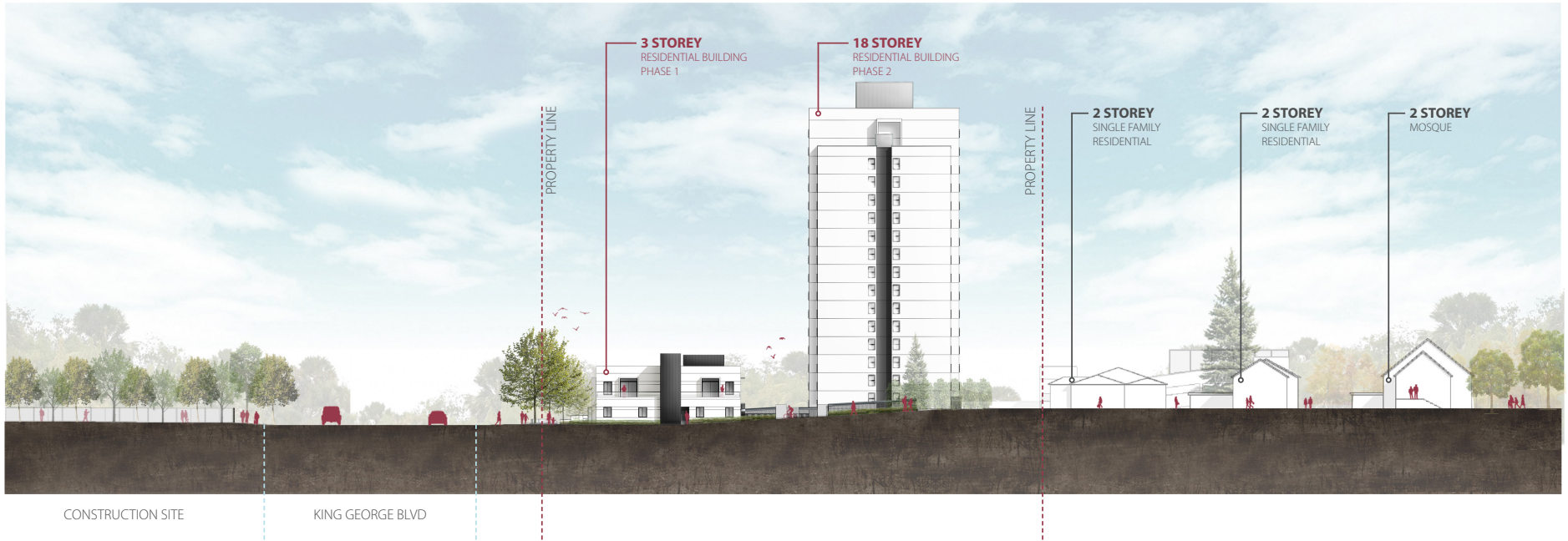


CONTEXT



1.6 STREETScape - 98 AVE

CONTEXT



COLOURED ELEVATIONS



0 5 10

2.1 EAST ELEVATION - LOW RISE - PHASE 1 - KING GEORGE BLVD



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COLOURED ELEVATIONS



2.2 NORTH ELEVATION - LOW & HIGH RISE - 98A AVE



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COLOURED ELEVATIONS



0 5 10

2.3 WEST ELEVATION - LOW RISE - PHASE 1 - PLAZA



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2.4 SOUTH ELEVATION - LOW & HIGH RISE - 98 AVE



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COLOURED ELEVATIONS



UNDERGROUND PARKING

2.5 EAST ELEVATION - HIGH RISE - PHASE 2 - PLAZA



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COLOURED ELEVATIONS



2.6 WEST ELEVATION - HIGH RISE - PHASE 2 - LANE

MATERIAL BOARD



2023-11-21

RENDERS - EXISTING CONTEXT



RENDERS - PROPOSED DESIGN CONCEPT



2.8 LOOKING SOUTH WEST - KING GEORGE & 98A AVENUE



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RENDERS - PROPOSED DESIGN CONCEPT

RENDERS - EXISTING CONTEXT



2.9 LOOKING NORTH EAST - KING GEORGE



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PWL partnership





**Musson
Cattell
Mackey
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Architects
Designers
Planners

A Partnership
Of Corporations



SUBMISSION TO ADP - FEBRUARY 14, 2019

CONSULTANT LIST

OWNER / CLIENT

SURREY VILLAGE HOLDINGS LTD.
REALSTAR MANAGEMENT
77 BLOOR STREET WEST, SUITE 2000
TORONTO, ON, M5S 1M2
PHONE: 1 (416) 923-2898

ARCHITECT

MUSSON CATTELL MACKEY PARTNERSHIP
ARCHITECTS DESIGNERS PLANNERS
OCEANIC PLAZA
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VANCOUVER, BC, V6E 3X1
PHONE: (604) 687-2990
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LANDSCAPE

PWL PARTNERSHIP
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www.pwlpartnership.com

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\\MCM\ARCHITECTS\COM\MCMDATA\MCM\PROJECTS\2016-2020\2020\220036 - SURREY VILLAGE PHASE 2\8 PRODUCTION\8.1 AUTOCAD\DP BOOKLET\216039-DP000 - PH2-COVER.DWG | 20 Nov 2023 - 4:20 PM | IWOO

Surrey Village Low-Rise & Exterior Modifications
9801 KING GEORGE BOULEVARD
Project # 216039

PROJECT INFORMATION

PROJECT DESCRIPTION

CONVERSION OF EXISTING 3 STOREY COMMERCIAL BUILDING TO 63 RESIDENTIAL UNITS. REVITALIZATION OF EXTERIOR FACADE, LANDSCAPE AT KING GEORGE BOULEVARD AND WITHIN THE PLAZA. ON THE EXISTING RESIDENTIAL 18 STOREY HIGH-RISE WE ARE MODERNIZING THE EXTERIOR FACADE WITH PAINT AND NEW BALCONY GUARDRAILS.

CIVIC ADDRESS

9835 & 9801 KING GEORGE BOULEVARD, SURREY BC. V3T 5H6

LEGAL DESCRIPTION

LOT 234, EXCEPT: PART DEDICATED ROAD ON PLAN LMP503, SECTION 34, BLOCK 5, NORTH RANGE 2 WEST, NEW WESTMINSTER DISTRICT PLAN 57169

ZONING

L.U.C. 420

O.C.P.

CENTRAL BUSINESS DISTRICT

P.I.D.

005-552-052

FSR PER LUC

3.4 (29,742 / 8,700)

CURRENT FSR

3.6 (29,729 / 8,366)

OFF STREET PARKING REQUIREMENTS

(ACCORDING WITH LUC 420, BYL 5367)

UNIT TYPE	STALL REQ'T
BACHELOR	1.05 per unit
1 BED RM.	1.15 per unit
2 BED RM.	1.35 per unit
LUXURY	1.5 per unit
OFFICE	2.5 units per 1,000sf
COMMERCIAL	2.5 units per 1,000sf
VISITOR	0.05 per unit

MIN. REGULAR STALL DIMENSIONS = 2.4m x 6.0m

PARKING CALCULATION

FLOOR / LEVEL	RESIDENTIAL STALLS REQ'D		STALLS PROVIDED	
	HIGH-RISE	LOW-RISE	RESIDENTIAL	COMM. / OFFICE
PARKING P1	0	0	27	0
LEVEL 01 / P2	0	10	167	0
LEVEL 02 / P3	7	30	102	0
LEVEL 03 / P4	21	32	47	0
LEVEL 04-16 / P5	282	-	24	0
LEVEL 17-18	23	-	0	0
VISITOR	14	3	-	-
SUB-TOTAL	347	76	367	0
TOTAL	423		367 (-56 STALLS)	

BICYCLE STALLS REQUIREMENTS - LOW-RISE BUILDING

TYPE	REQUIRED	PROVIDED	DIFFERENCE
CLASS A	76	77	+1
CLASS B	6	6	0
TOTAL	82	83	+1

EXISTING FLOOR AREA (m²)

(ACCORDING WITH LUC 420, BYL 5367)

RESIDENTIAL	25,500	APPROX.
COMMERCIAL	4,242	APPROX.
TOTAL	29,742	APPROX.

PROPOSED FLOOR AREA (m²)

FLOOR / LEVEL	RESIDENTIAL AREA (m ²)	
	HIGH-RISE	LOW-RISE
LEVEL 01	994	866
LEVEL 02	1,403	1,680
LEVEL 03	1,490	1,556
LEVELS 04-16	1,490	-
LEVELS 17-18	794	-
ROOF / MECH.	644	142
SUB-TOTAL	25,486	4,243
TOTAL		29,729

UNIT MIX - LOW-RISE BUILDING

FLOOR / LEVEL	STUDIO	1 BED RM	2 BED RM	TOTAL
LEVEL 01	3	5	1	9
LEVEL 02	6	16	4	26
LEVEL 03	10	14	4	28
TOTAL	19	35	9	63
PERCENTAGE	30%	56%	14%	100%

UNIT MIX - HIGH-RISE BUILDING

FLOOR / LEVEL	STUDIO	1 BED RM	2 BED RM	TOTAL
LEVEL 01	0	0	0	0
LEVEL 02	1	3	2	6
LEVEL 03	2	9	6	17
LEVELS 04-16	26	130	78	234
LEVELS 17-18	4	12	4	20
TOTAL	33	154	90	227

SITING (m²)

SITE AREA - LUC	8,700	APPROX.
SITE AREA - SURVEY	8,366	



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05 | 2019-03-13
RESPONSE TO ADP
04 | 2019-02-14
SUBMISSION TO ADP
03 | 2018-11-26
DEVELOPMENT VARIANCE PERMIT R2
02 | 2018-10-25
DEVELOPMENT VARIANCE PERMIT R1
01 | 2018-09-07
DEVELOPMENT VARIANCE PERMIT
Revisions: YFFX-MM-DD



2023-11-21

Seal

**Surrey Village
Low-Rise & Exterior
Modifications**

9801 King George Blvd.
Surrey, BC, V3T 5H6

Project

**Project
Statistics**

Drawing

Scale As Indicated

Project 216039

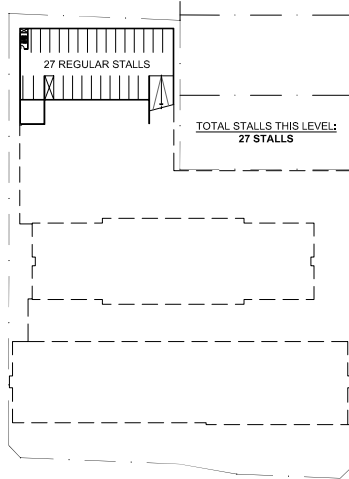
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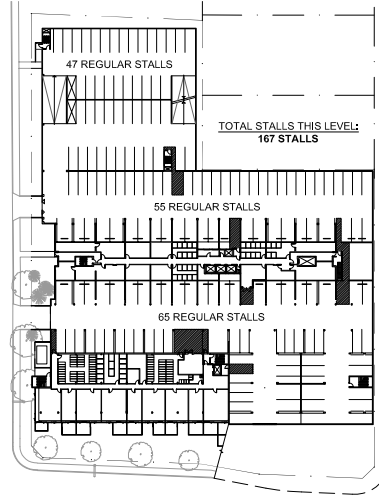
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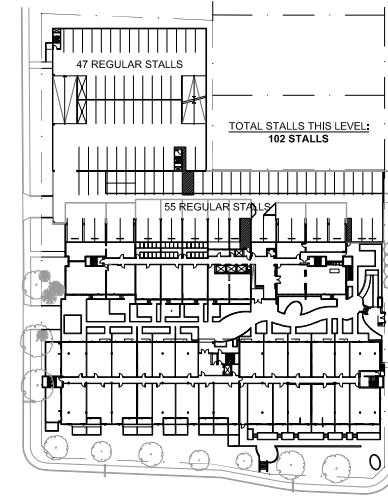
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Suite 1900
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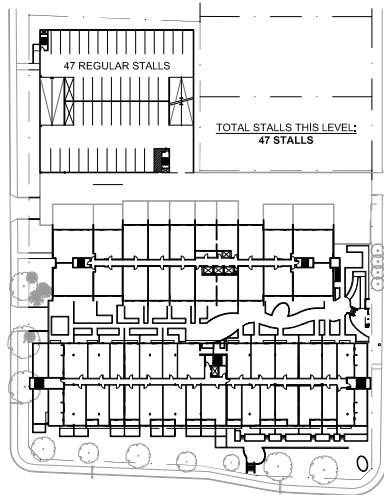
1 LEVEL P1
- 1:1250



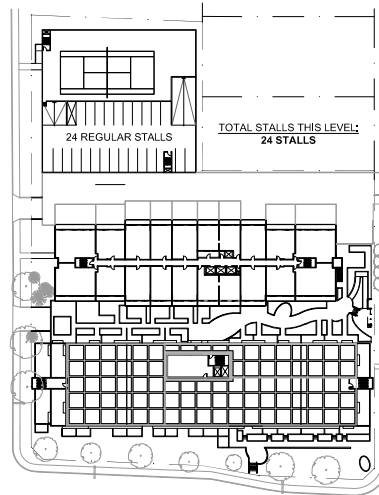
2 LEVEL 01 / P2
- 1:1250



3 LEVEL 02 / P3
- 1:1250



4 LEVEL 03 / P4
- 1:1250



5 LEVEL 04 / P5
- 1:1250

Surrey Land Use Contract No. 420 Authorization By-law, 1977, No. 5367 is varied as follows: Schedule "D" is varied to provide for a total of 367 parking stalls for residential use, or 1.2 parking stalls per residential unit, and whichever is greater.

05	2019-03-13	RESPONSE TO ADP
04	2019-02-14	SUBMISSION TO ADP
03	2018-11-26	DEVELOPMENT VARIANCE PERMIT R2
02	2018-10-25	DEVELOPMENT VARIANCE PERMIT R1
01	2018-09-07	DEVELOPMENT VARIANCE PERMIT
Revisions	YYYY-MM-DD	



Seal
**Surrey Village
Low-Rise & Exterior
Modifications**

9801 King George Blvd.
Surrey, BC, V3T 5H6

Project

**Parking
Calculations**

Drawing

Scale As Indicated

Project 216039

Sheet **DP050**



05	2019-03-13	RESPONSE TO ADP
04	2019-02-14	SUBMISSION TO ADP
03	2018-11-28	DEVELOPMENT VARIANCE PERMIT R2
02	2018-10-29	DEVELOPMENT VARIANCE PERMIT R1
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Revisions	FFFF-MM-DD	



Seal
**Surrey Village
 Low-Rise & Exterior
 Modifications**

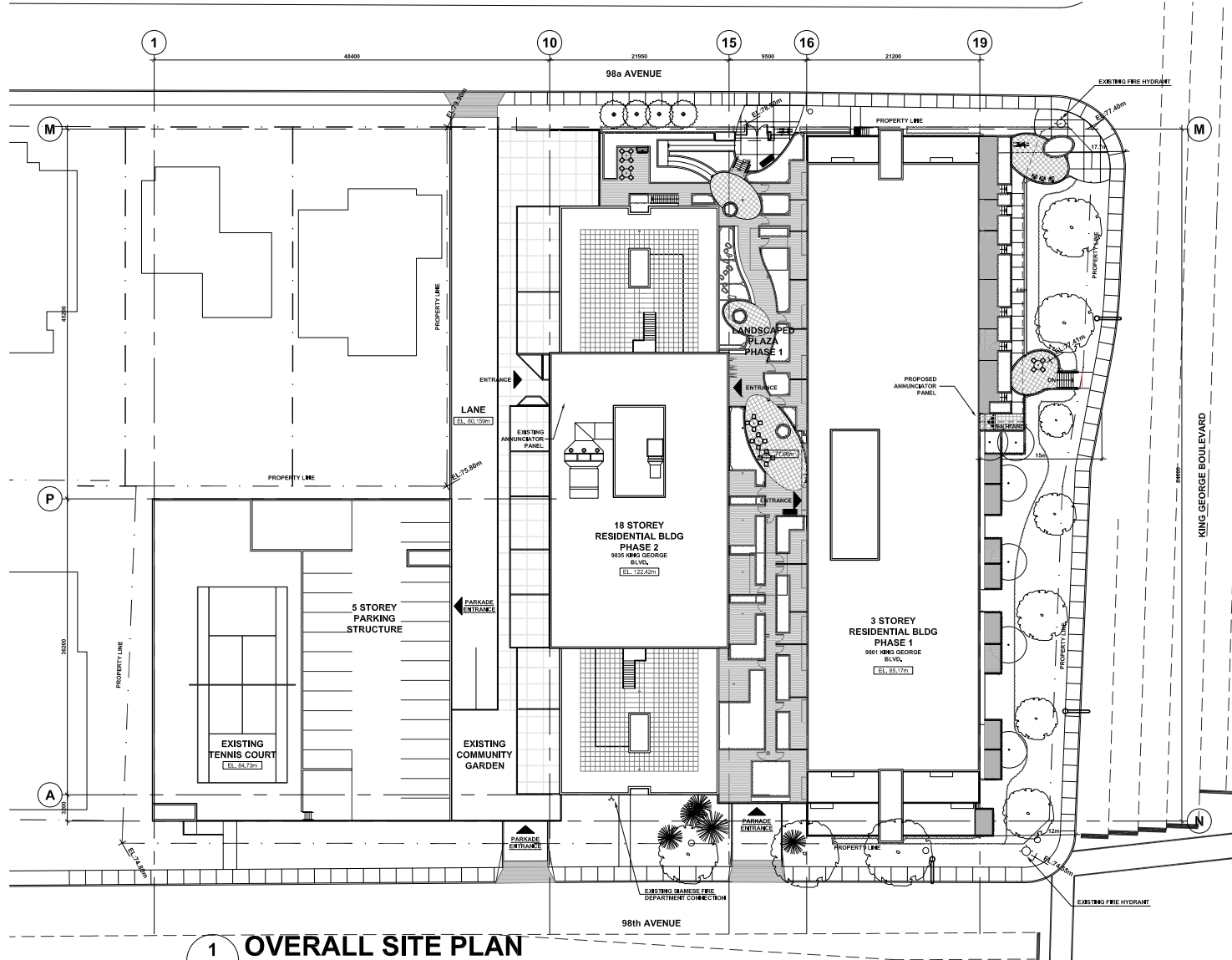
9801 King George Blvd.
 Surrey, BC, V3T 5H6

Project

**Overall
 Site Plan**

Drawing
 Scale 1:500
 Project 216039

Sheet **DP101**



1 OVERALL SITE PLAN
 1:500





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LEGEND:

AREA UNDER SEPARATE PERMIT APPLICATION

05	2019-03-13	RESPONSE TO ADP
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Revisions	YYYY-MM-DD	



Surrey Village Low-Rise & Exterior Modifications

9801 King George Blvd.
Surrey, BC, V3T 5H6

Project

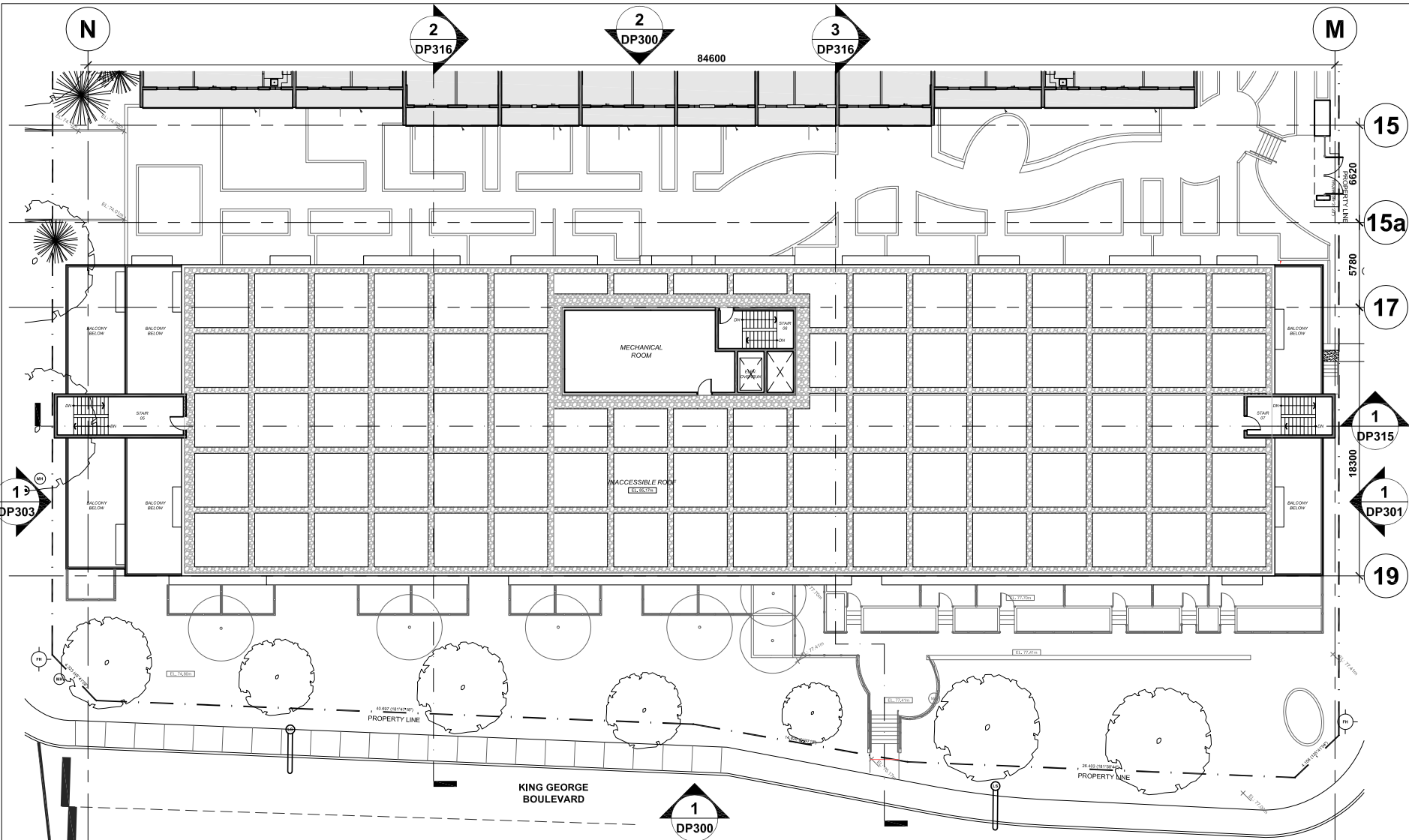
Roof Plan

Drawing

Scale 1 : 250

Project 216039

Sheet **DP214**



1 ROOF PLAN

1:250





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01 2018-09-07	DEVELOPMENT VARIANCE PERMIT
Revisions	YFFP-KMM-EC



2023-11-21

Seal

**Surrey Village
Low-Rise & Exterior
Modifications**

9801 King George Blvd.
Surrey, BC, V3T 5H6

Project

**Overall
Elevations
Low Rise
East & West**

Drawing

Scale 1 : 250

Project 216039

Sheet **DP300**

1
DP302

2
DP302



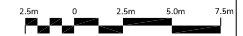
1 ELEVATION - EAST - King George Blvd.
1:250

1
DP304

2
DP304



2 ELEVATION - WEST - Plaza
1:250





2023-11-21

Seal

**Surrey Village
Low-Rise & Exterior
Modifications**

9801 King George Blvd.
Surrey, BC, V3T 5H6

Project

**Elevation
Low Rise**

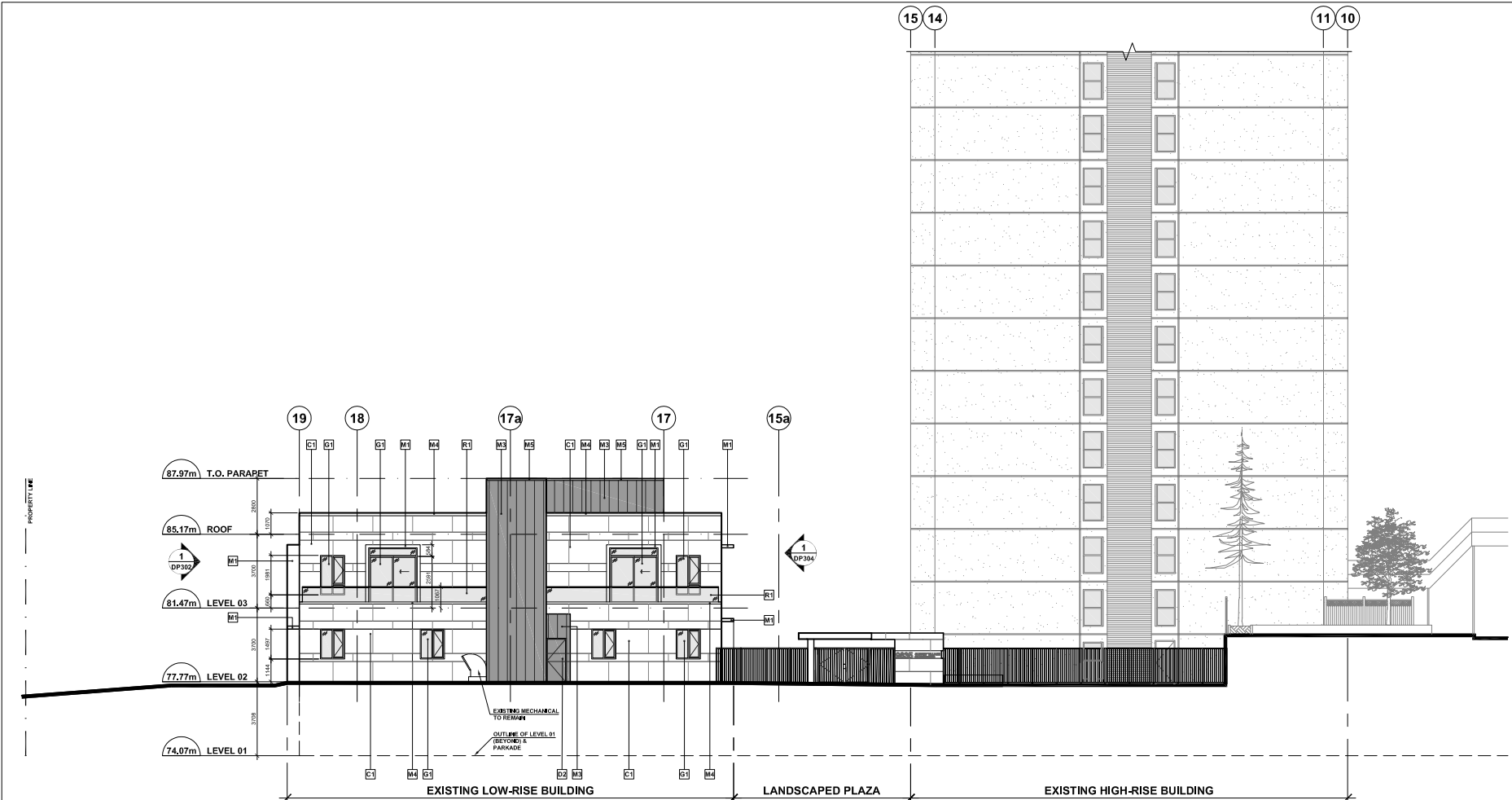
North

Drawing

Scale: 1:200

Project: 216039

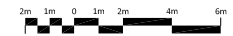
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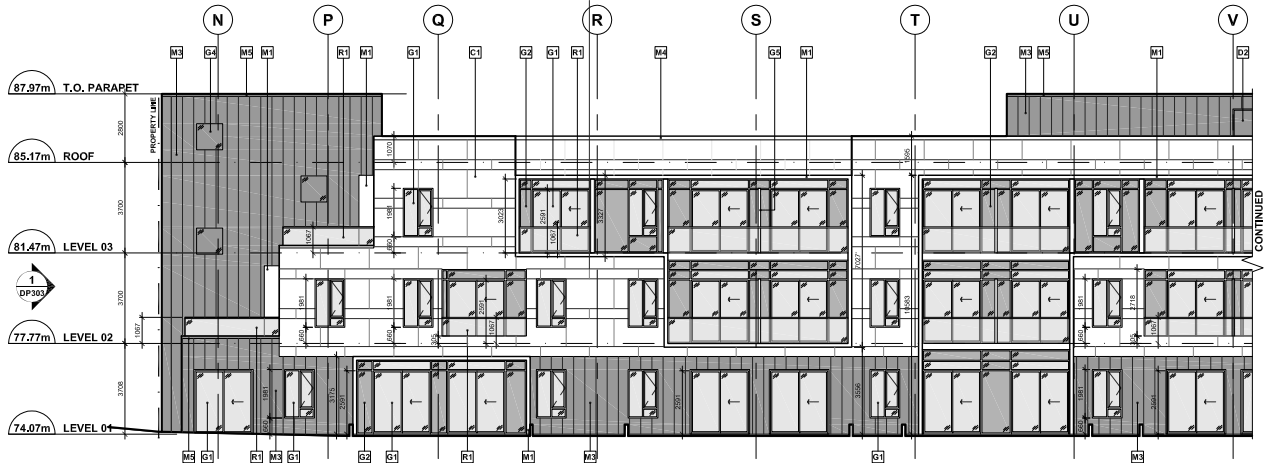


1
-
ELEVATION - NORTH - 98 Ave.
1:200

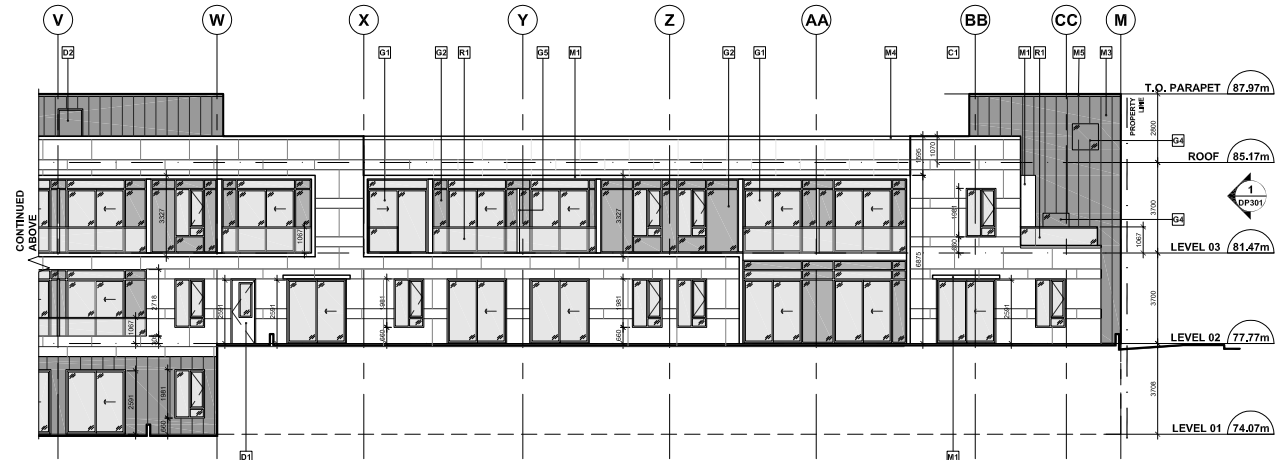
MATERIALS LEGEND

M1 METAL PANEL - WHITE	M5 METAL FLASHING - CHARCOAL GREY	G4 BACK PAINTED GLASS - CHARCOAL GREY	D2 EXISTING HOLLOW METAL DOOR, PAINTED	R1 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CLEAR GLASS
- NOT USED.	M7 EXISTING MECHANICAL LOUVRE, PAINTED	G5 FROSTED GLASS PRIVACY SCREEN	P1 PAINT - WHITE	R2 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CHARCOAL GREY BACK PAINTED GLASS
M3 STANDING SEAM METAL CLADDING - CHARCOAL GREY	G1 GLAZING 01 - VISION GLASS	C1 FIBER CEMENT PANEL - WHITE	P2 PAINT - LIGHT GREY	R3 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CLEAR GLASS WITH FADED FRIT PATTERN TO HIDE SLAB EDGE
M4 METAL FLASHING - WHITE	G2 GLAZING 02 - SPANDREL PANEL	D1 NEW HOLLOW METAL DOOR, PAINTED	P3 PAINT - CHARCOAL GREY	





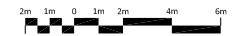
1 ELEVATION - EAST - King George Blvd.
1:200
(SOUTHERN PORTION)



2 ELEVATION - EAST - King George Blvd.
1:200
(NORTHERN PORTION)

MATERIALS LEGEND

M1 METAL PANEL - WHITE	M5 METAL FLASHING - CHARCOAL GREY	G4 BACK PAINTED GLASS - CHARCOAL GREY	D2 EXISTING HOLLOW METAL DOOR, PAINTED	R1 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CLEAR GLASS
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M4 METAL FLASHING - WHITE	G2 GLAZING 02 - SPANDREL PANEL	D1 NEW HOLLOW METAL DOOR, PAINTED	P3 PAINT - CHARCOAL GREY	





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Revisions	YYYY-MM-DD	



2023-11-21

Seal

Surrey Village Low-Rise & Exterior Modifications

9801 King George Blvd.
Surrey, BC, V3T 5H6

Project

Elevation Low Rise

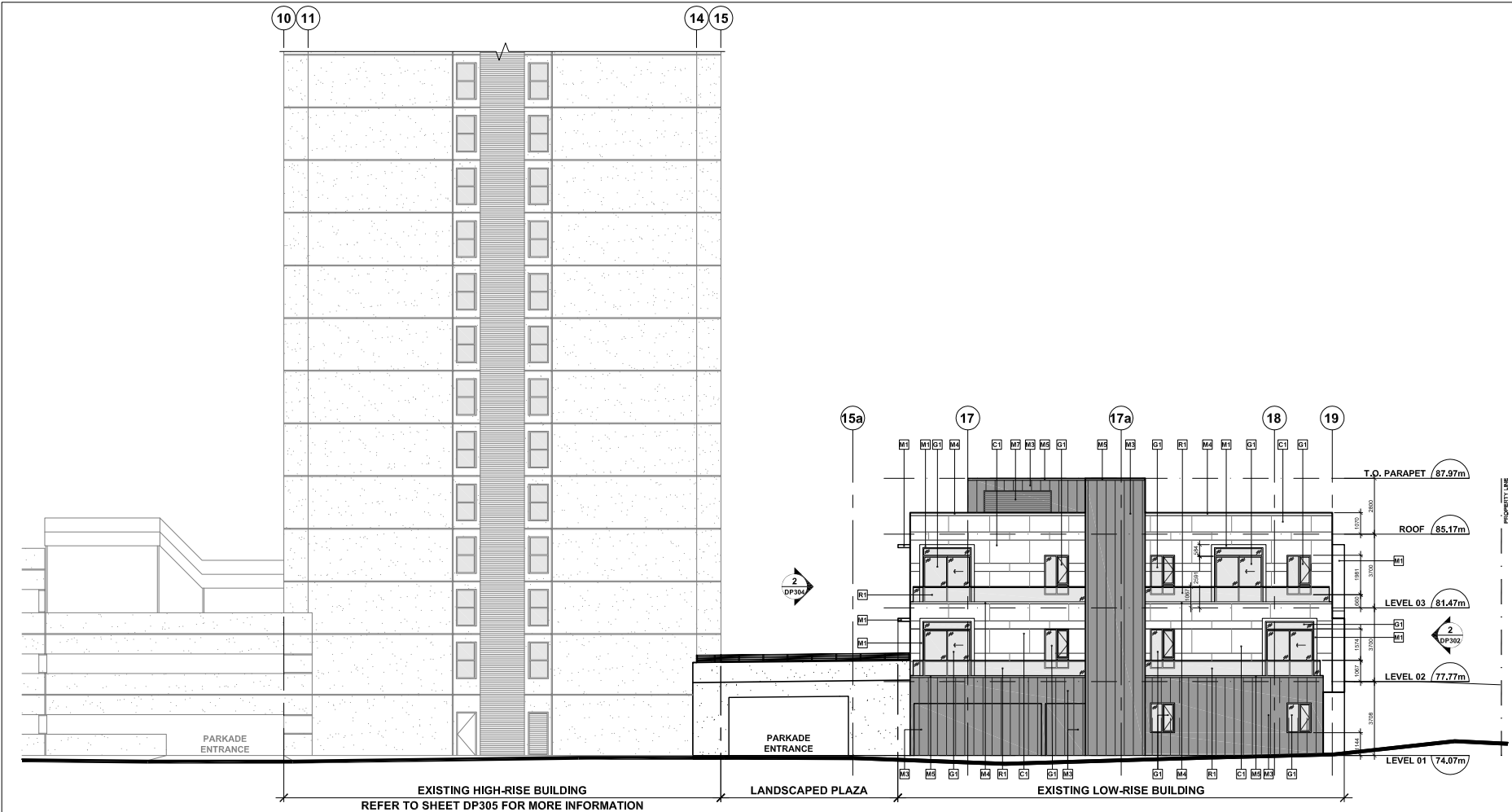
South

Drawing

Scale 1:250

Project 216039

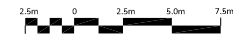
Sheet **DP303**



1 ELEVATION - SOUTH - 98a Ave.
- 1:200

MATERIALS LEGEND

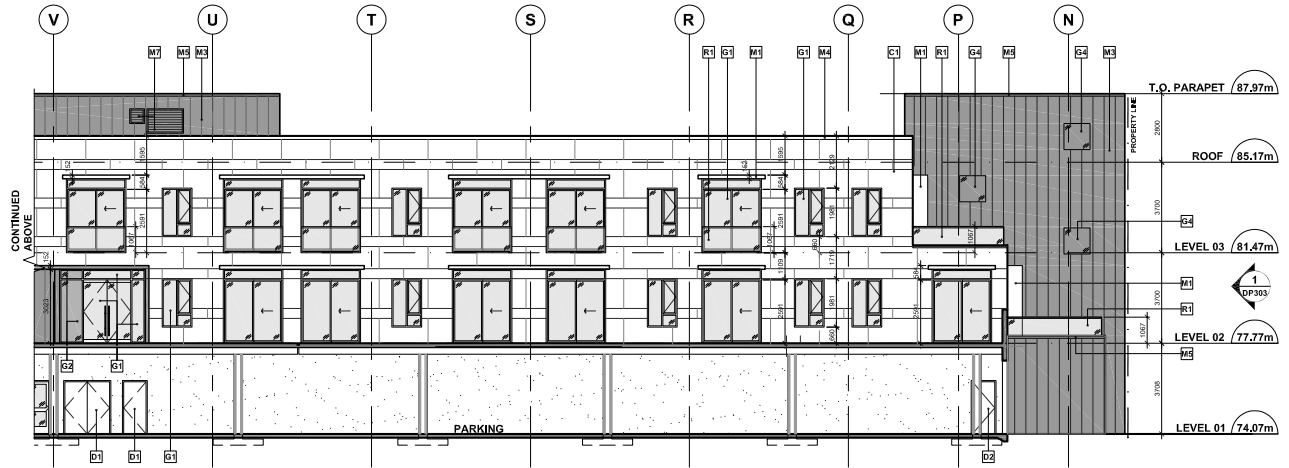
M1 METAL PANEL - WHITE	M5 METAL FLASHING - CHARCOAL GREY	G4 BACK PAINTED GLASS - CHARCOAL GREY	D2 EXISTING HOLLOW METAL DOOR, PAINTED	R1 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CLEAR GLASS
- NOT USED.	M7 EXISTING MECHANICAL LOUVRE, PAINTED	G5 FROSTED GLASS PRIVACY SCREEN	P1 PAINT - WHITE	R2 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CHARCOAL GREY BACK PAINTED GLASS
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M4 METAL FLASHING - WHITE	G2 GLAZING 02 - SPANDREL PANEL	D1 NEW HOLLOW METAL DOOR, PAINTED	P3 PAINT - CHARCOAL GREY	



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1 ELEVATION - WEST - Plaza
1:200
(NORTHERN PORTION)

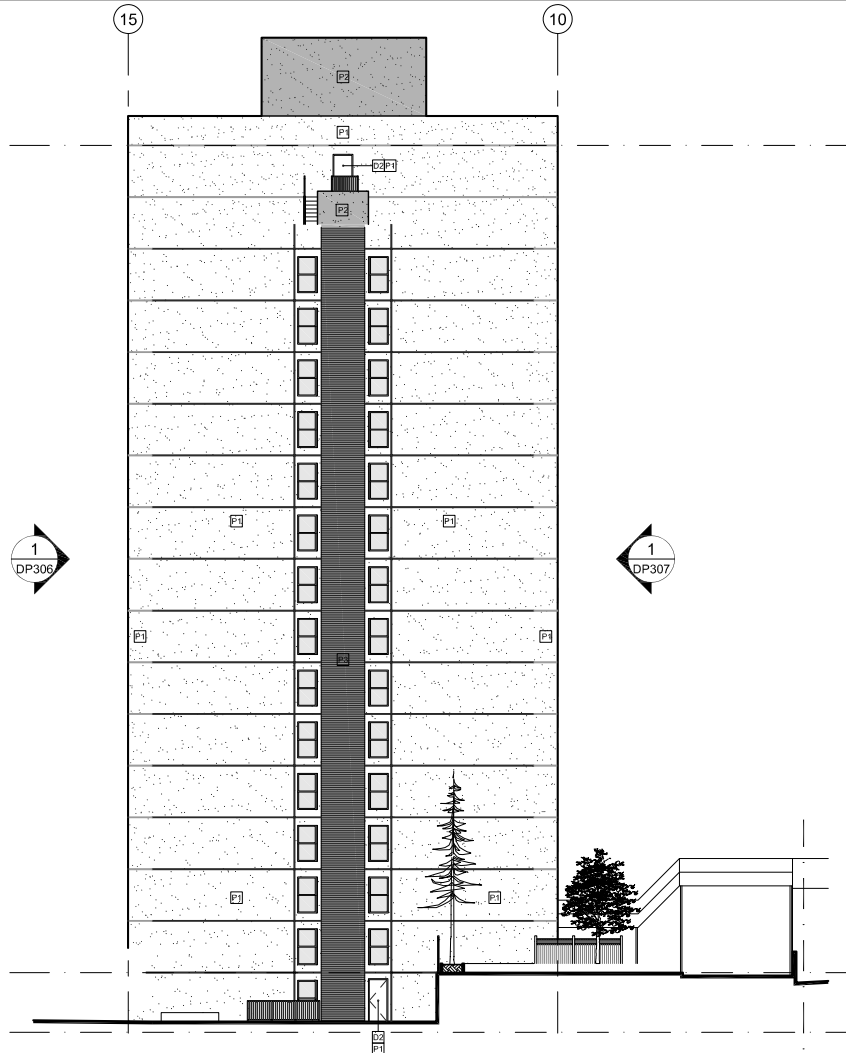


2 ELEVATION - WEST - Plaza
1:200
(SOUTHERN PORTION)

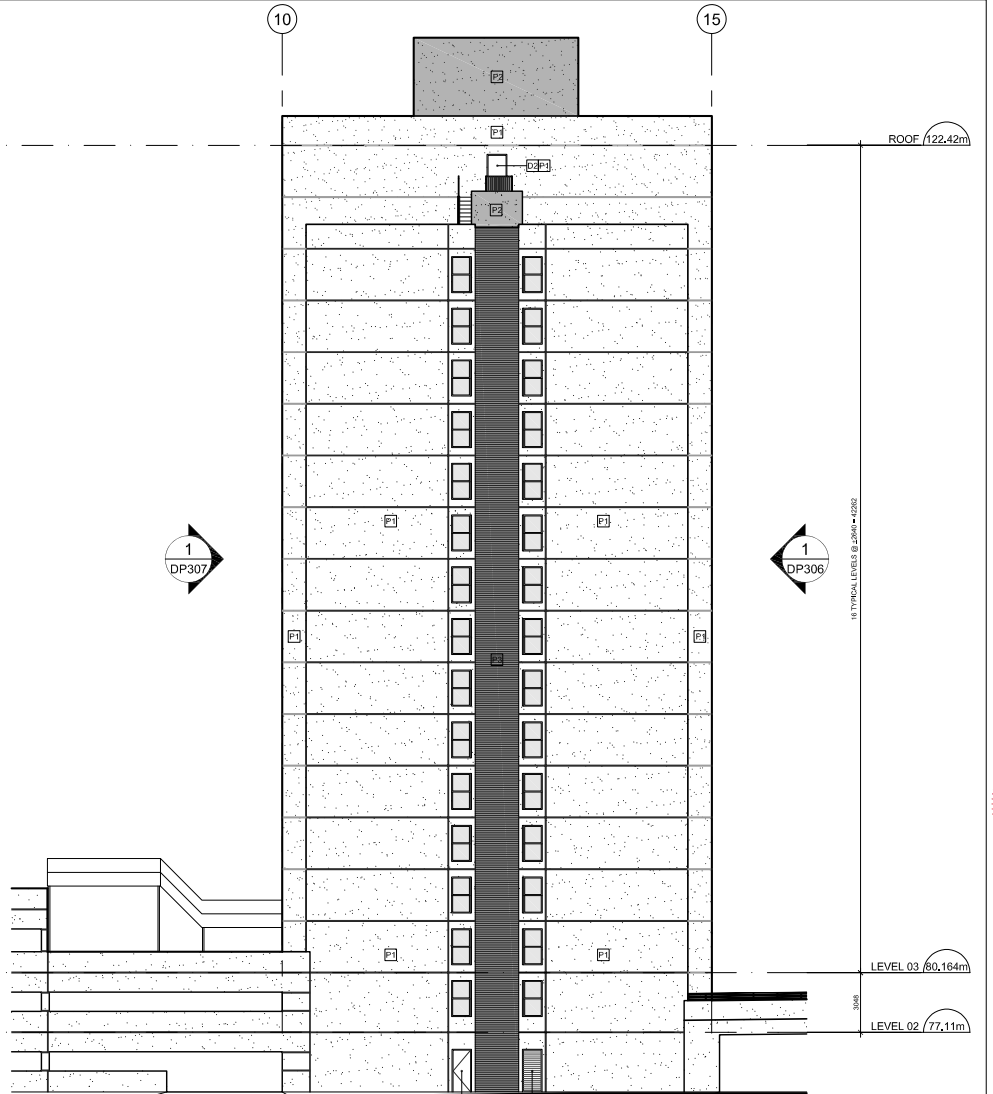
MATERIALS LEGEND

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- NOT USED.	M7 EXISTING MECHANICAL LOUVER, PAINTED	G5 FROSTED GLASS PRIVACY SCREEN	P1 PAINT - WHITE	R2 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CHARCOAL GREY BACK PAINTED GLASS
M3 STANDING SEAM METAL CLADDING - CHARCOAL GREY	G1 GLAZING 01 - VISION GLASS	C1 FIBER CEMENT PANEL - WHITE	P2 PAINT - LIGHT GREY	R3 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CLEAR GLASS WITH FADED FRIT PATTERN TO HIDE SLAB EDGE
M4 METAL FLASHING - WHITE	G2 GLAZING 02 - SPANDREL PANEL	D1 NEW HOLLOW METAL DOOR, PAINTED	P3 PAINT - CHARCOAL GREY	





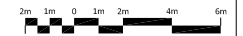
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ELEVATION - NORTH - 98a Ave.
1:250

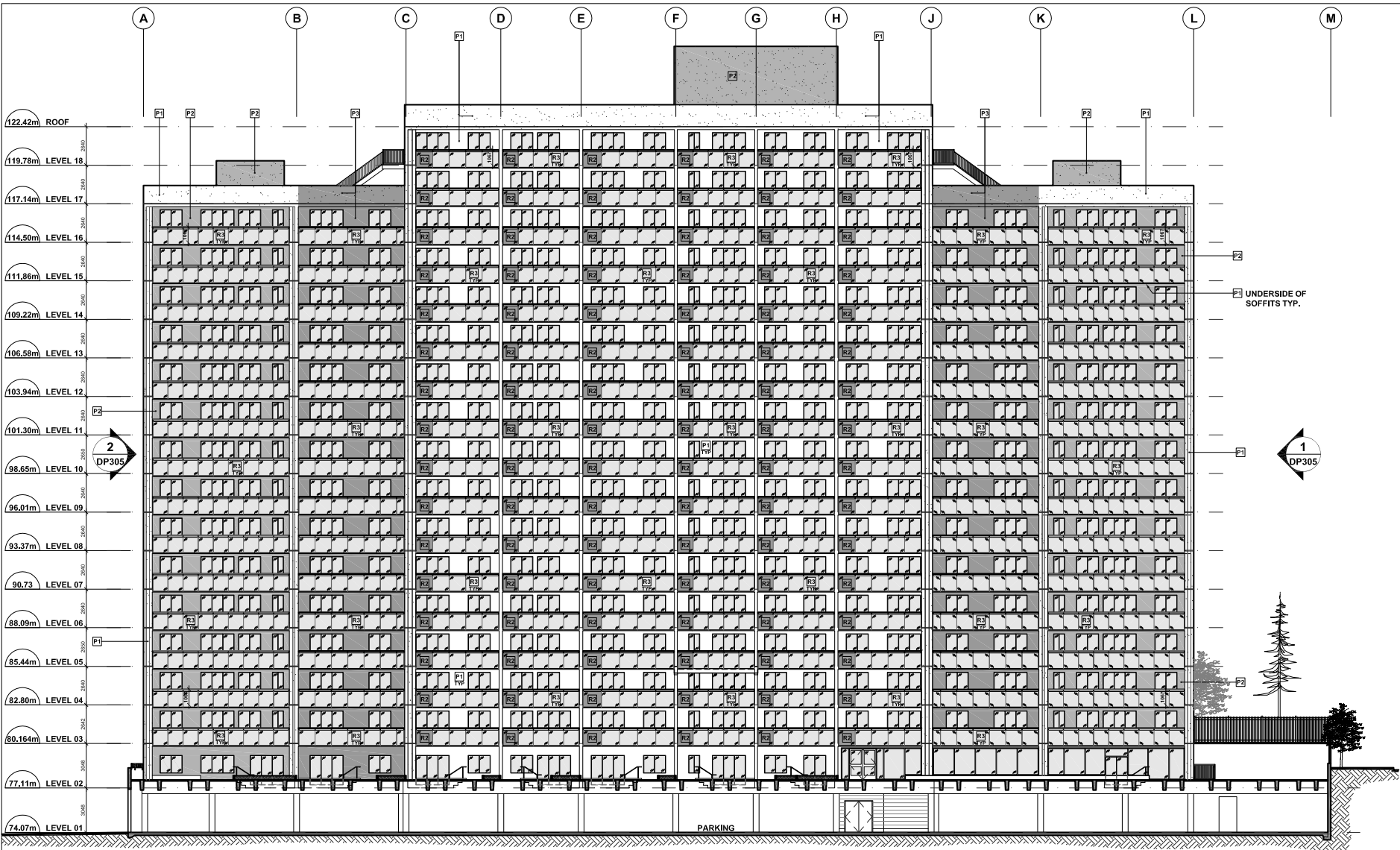


2
ELEVATION - SOUTH - 98 Ave.
1:250

MATERIALS LEGEND

M1 METAL PANEL - WHITE	M5 METAL FLASHING - CHARCOAL GREY	G4 BACK PAINTED GLASS - CHARCOAL GREY	D2 EXISTING HOLLOW METAL DOOR, PAINTED	R1 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CLEAR GLASS
- NOT USED.	M7 EXISTING MECHANICAL LOUVRE, PAINTED	G5 FROSTED GLASS PRIVACY SCREEN	P1 PAINT - WHITE	R2 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CHARCOAL GREY BACK PAINTED GLASS
M3 STANDING SEAM METAL CLADDING - CHARCOAL GREY	G1 GLAZING 01 - VISION GLASS	C1 FIBER CEMENT PANEL - WHITE	P2 PAINT - LIGHT GREY	R3 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CLEAR GLASS WITH FADED FRIT PATTERN TO HIDE SLAB EDGE
M4 METAL FLASHING - WHITE	G2 GLAZING 02 - SPANDREL PANEL	D1 NEW HOLLOW METAL DOOR, PAINTED	P3 PAINT - CHARCOAL GREY	





MATERIALS LEGEND

M1 METAL PANEL - WHITE	M5 METAL FLASHING - CHARCOAL GREY	G4 BACK PAINTED GLASS - CHARCOAL GREY	D2 EXISTING HOLLOW METAL DOOR, PAINTED	R1 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CLEAR GLASS
- NOT USED.	M7 EXISTING MECHANICAL LOUVRE, PAINTED	G5 FROSTED GLASS PRIVACY SCREEN	P1 PAINT - WHITE	R2 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CHARCOAL GREY BACK PAINTED GLASS
M3 STANDING SEAM METAL CLADDING - CHARCOAL GREY	G1 GLAZING 01 - VISION GLASS	C1 FIBER CEMENT PANEL - WHITE	P2 PAINT - LIGHT GREY	R3 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CLEAR GLASS WITH FADED FRIT PATTERN TO HIDE SLAB EDGE
M4 METAL FLASHING - WHITE	G2 GLAZING 02 - SPANDREL PANEL	D1 NEW HOLLOW METAL DOOR, PAINTED	P3 PAINT - CHARCOAL GREY	



Musson Cattell Mackey Partnership

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MCMPartners.com

05	2019-03-13	REVISION TO ADP
04	2019-02-14	SUBMISSION TO ADP
03	2018-11-26	DEVELOPMENT VARIANCE PERMIT R2
02	2018-10-25	DEVELOPMENT VARIANCE PERMIT R1
01	2018-09-07	DEVELOPMENT VARIANCE PERMIT
Revisions		FFFF.AMM.EC



2023-11-21

Seal

Surrey Village Low-Rise & Exterior Modification Phase 2

9801 King George Blvd.
Surrey, BC, V3T 5H6

Project

Elevation High Rise

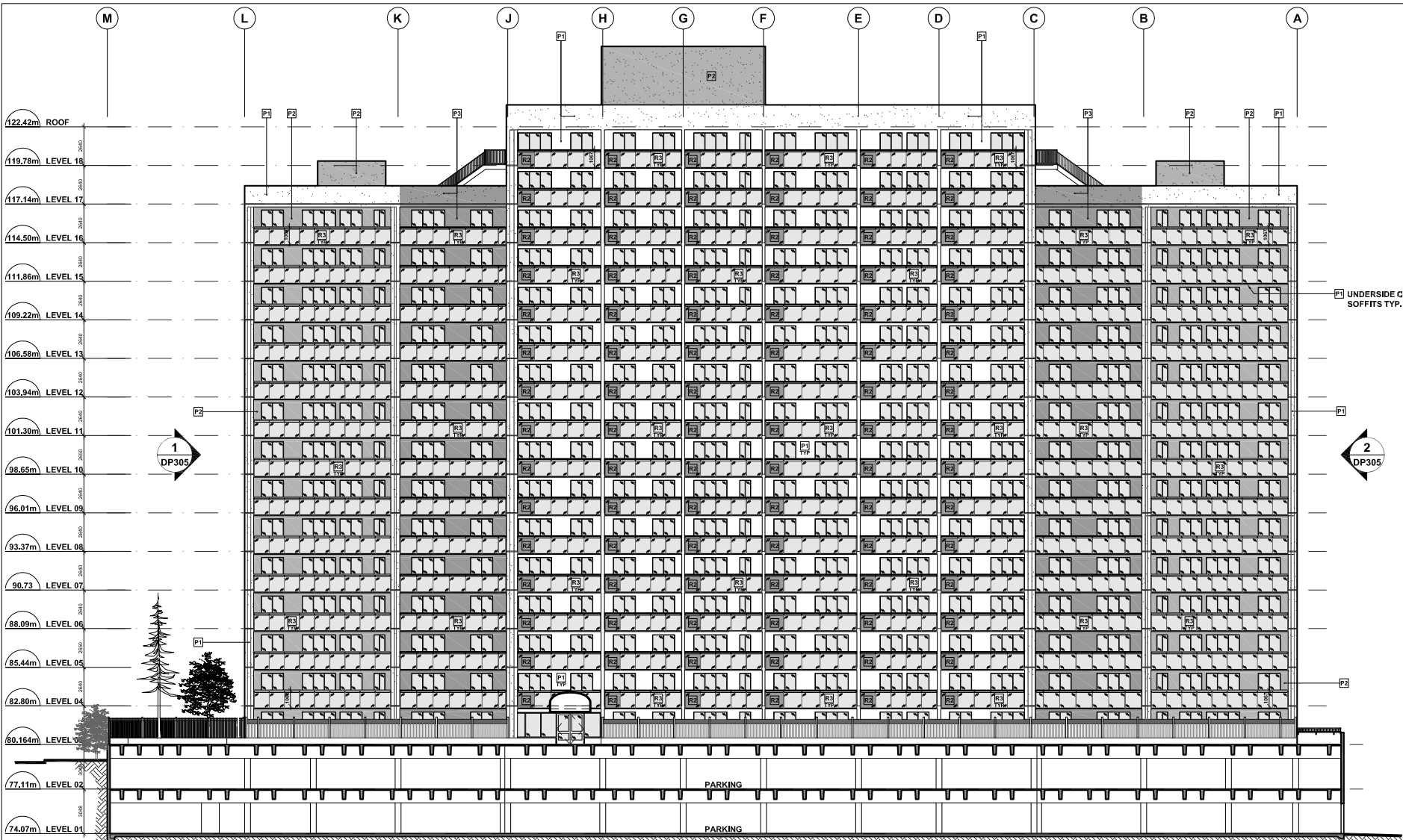
West (Lane)

Drawing

Scale 1:200

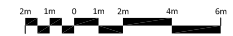
Project 216039

Sheet DP307



MATERIALS LEGEND

M1 METAL PANEL - WHITE	M5 METAL FLASHING - CHARCOAL GREY	G4 BACK PAINTED GLASS - CHARCOAL GREY	D2 EXISTING HOLLOW METAL DOOR, PAINTED	R1 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CLEAR GLASS
- NOT USED.	M7 EXISTING MECHANICAL LOUVRE, PAINTED	G5 FROSTED GLASS PRIVACY SCREEN	P1 PAINT - WHITE	R2 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CHARCOAL GREY BACK PAINTED GLASS
M3 STANDING SEAM METAL CLADDING - CHARCOAL GREY	G1 GLAZING 01 - VISION GLASS	C1 FIBER CEMENT PANEL - WHITE	P2 PAINT - LIGHT GREY	R3 GLASS GUARDRAIL C/W PAINTED ALUMINUM TOP RAIL CLEAR GLASS WITH FADED FRIT PATTERN TO HIDE SLAB EDGE
M4 METAL FLASHING - WHITE	G2 GLAZING 02 - SPANDREL PANEL	D1 NEW HOLLOW METAL DOOR, PAINTED	P3 PAINT - CHARCOAL GREY	



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05	2019-03-13	RESPONSE TO ADP
04	2019-02-14	SUBMISSION TO ADP
03	2018-11-26	DEVELOPMENT VARIANCE PERMIT R2
02	2018-10-25	DEVELOPMENT VARIANCE PERMIT R1
01	2018-09-07	DEVELOPMENT VARIANCE PERMIT
Revisions	YYYY-MM-DD	



2023-11-21

Seal

**Surrey Village
Low-Rise & Exterior
Modifications**

9801 King George Blvd.
Surrey, BC, V3T 5H6

Project

**Longitudinal
Section**

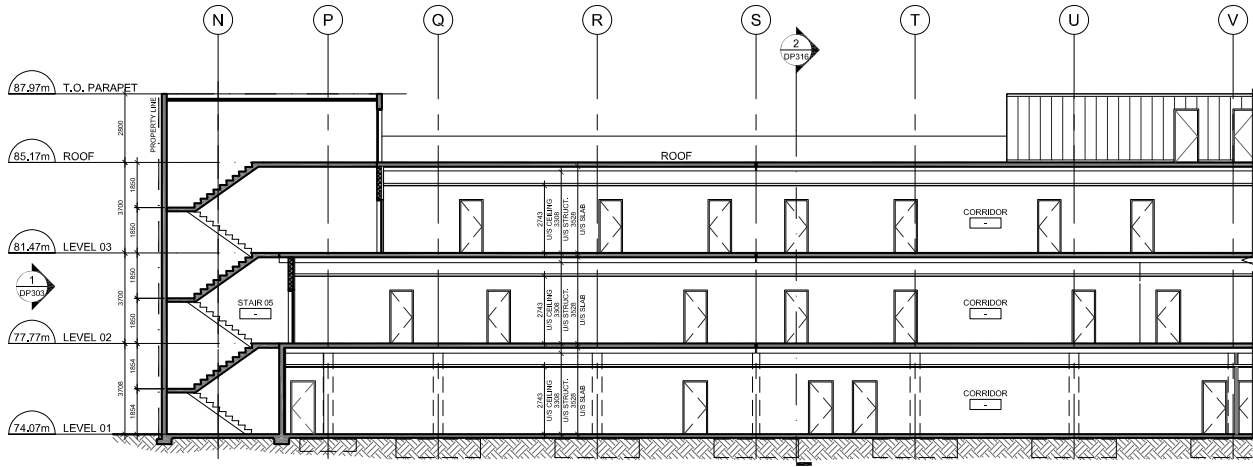
Low Rise

Drawing

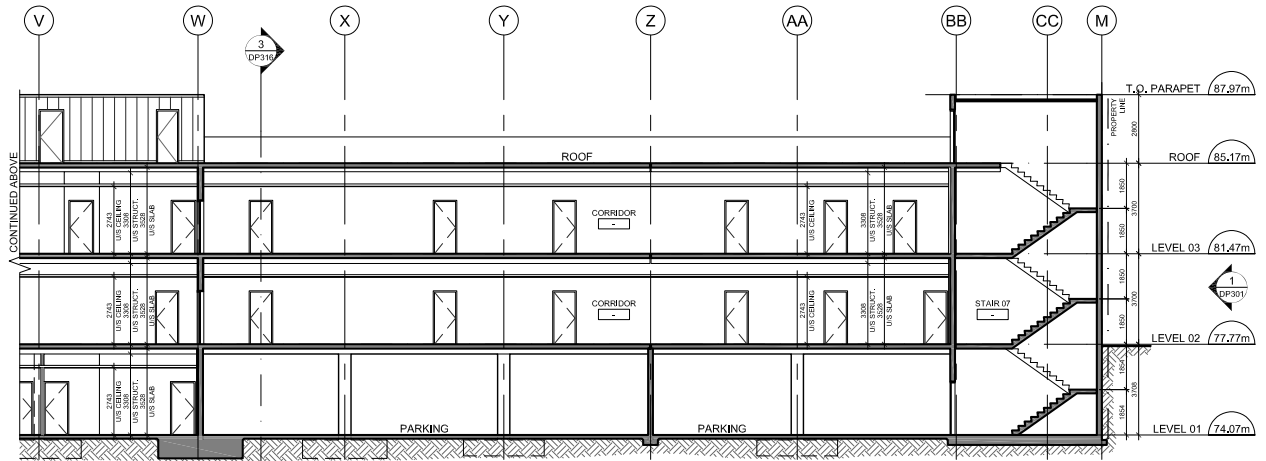
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Project 216039

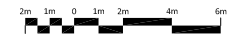
Sheet **DP315**



1 ELEVATION - EAST
1:200 (SOUTHERN PORTION)



2 ELEVATION - EAST
1:200 (NORTHERN PORTION)

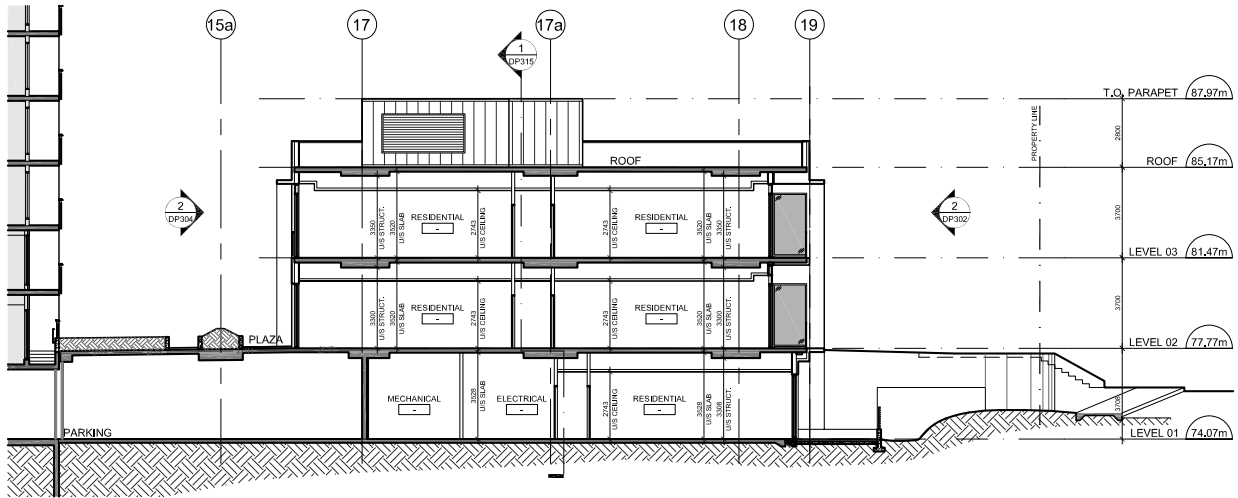




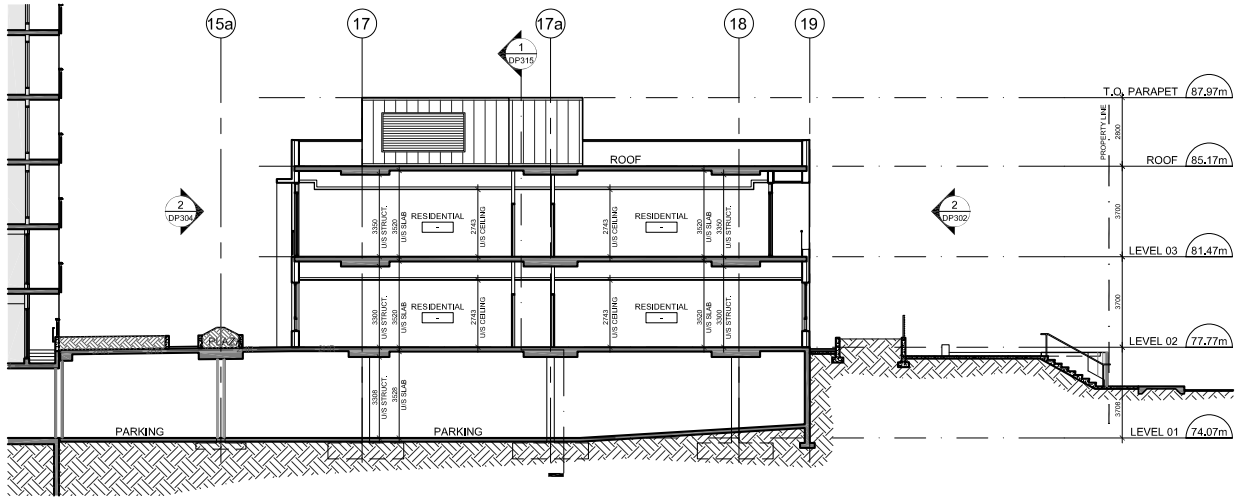
**Musson
Cattell
Mackey
Partnership**

Architects Designers Planners

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2 SECTION 02
- 1:200



3 SECTION 03
- 1:200

05	2019-03-13	RESPONSE TO ADP
04	2019-02-14	SUBMISSION TO ADP
03	2018-11-26	DEVELOPMENT VARIANCE PERMIT R2
02	2018-10-29	DEVELOPMENT VARIANCE PERMIT R1
01	2018-09-07	DEVELOPMENT VARIANCE PERMIT
Revisions	YYYY-MM-DD	



2023-11-21

Seal
**Surrey Village
Low-Rise & Exterior
Modifications**

9801 King George Blvd.
Surrey, BC, V3T 5H6

Project

Cross Sections

Low Rise

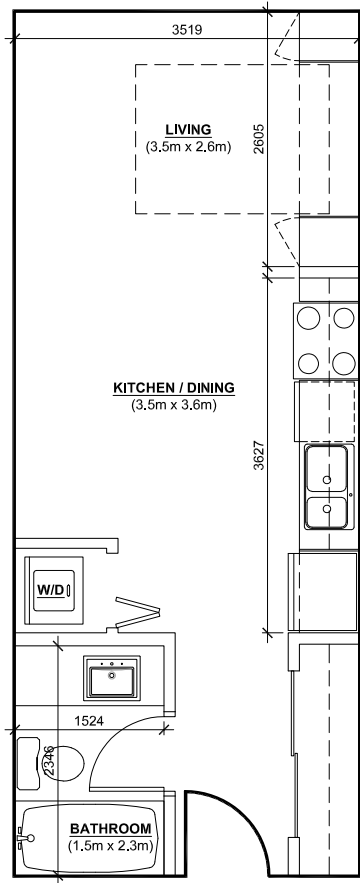
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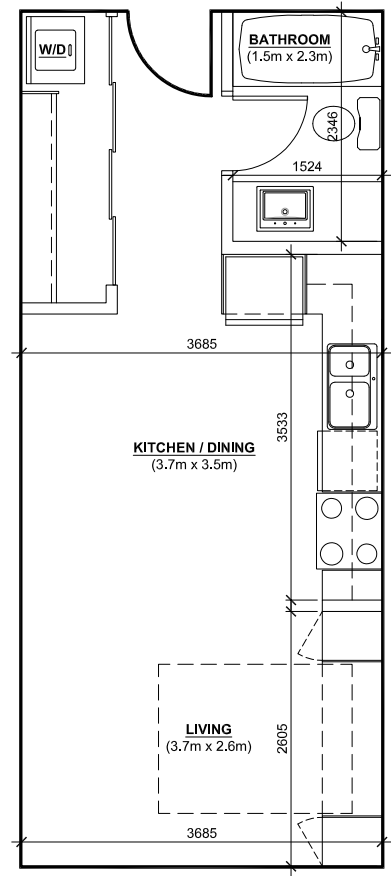
Project 216039

Sheet **DP316**

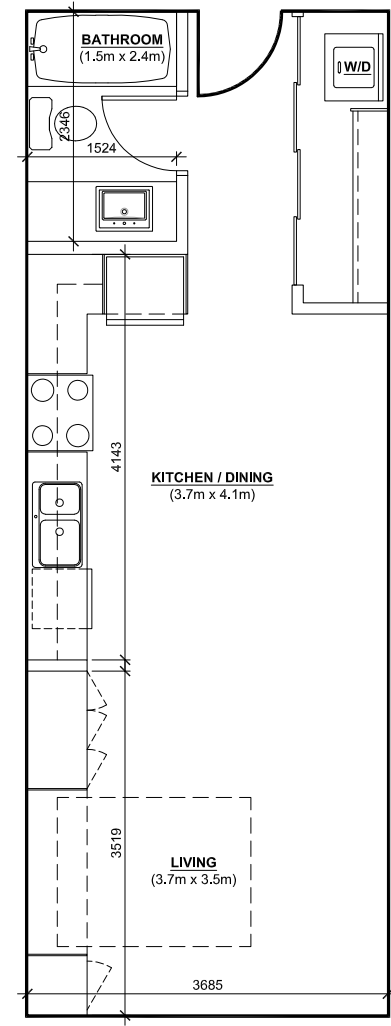




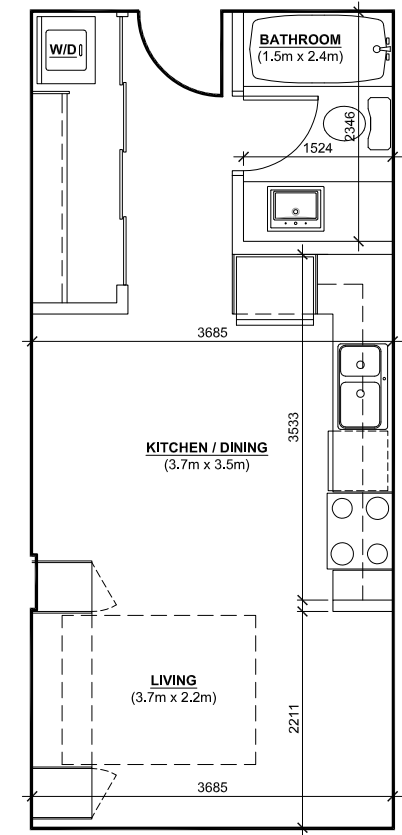
STUDIO TYPE 'D'
 LEVEL: 03 ONLY
 AREA: 31.06m²



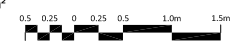
STUDIO TYPE 'C'
 LEVEL: 02 & 03
 AREA: 32.14m² - 32.53m²



STUDIO TYPE 'B'
 LEVEL: 02 ONLY
 AREA: 37.76m²



STUDIO TYPE 'A'
 LEVEL: 01 ONLY
 AREA: 30.73m² - 30.87m²





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02 | 2019-03-13
RESPONSE TO ADP
01 | 2019-02-14
SUBMISSION TO ADP

Revisions YYY-MM-DD



2023-11-21

Seal

**Surrey Village
Low-Rise & Exterior
Modifications**

9801 King George Blvd.
Surrey, BC, V3T 5H6

Project

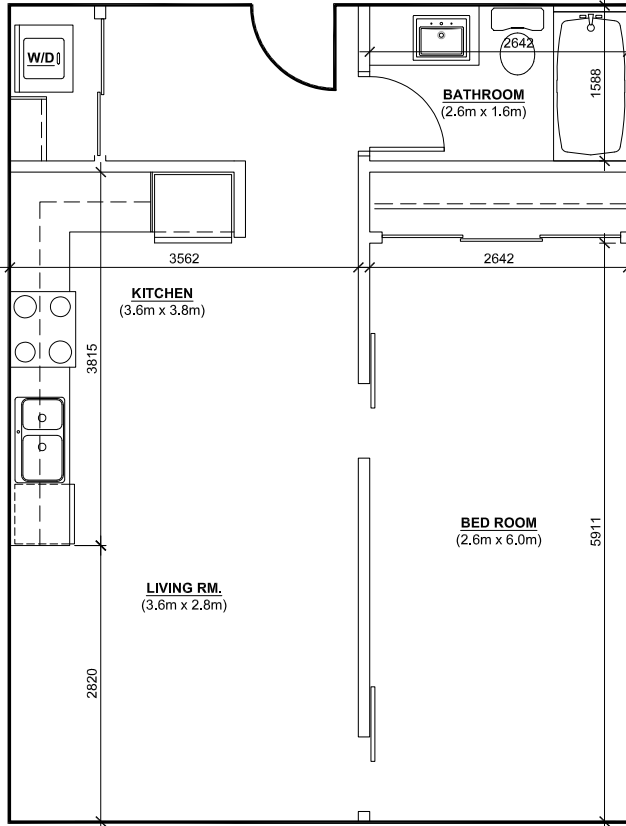
**Typical
Residential
Unit Plans -
1 Bed Rm**

Drawing

Scale 1 : 50

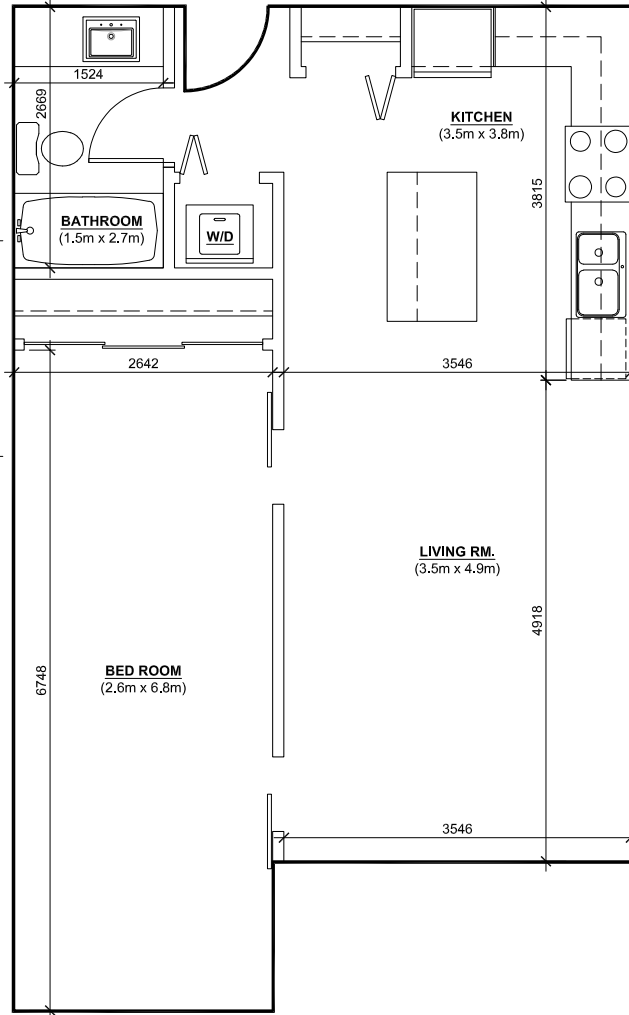
Project 216039

Sheet **DP403**



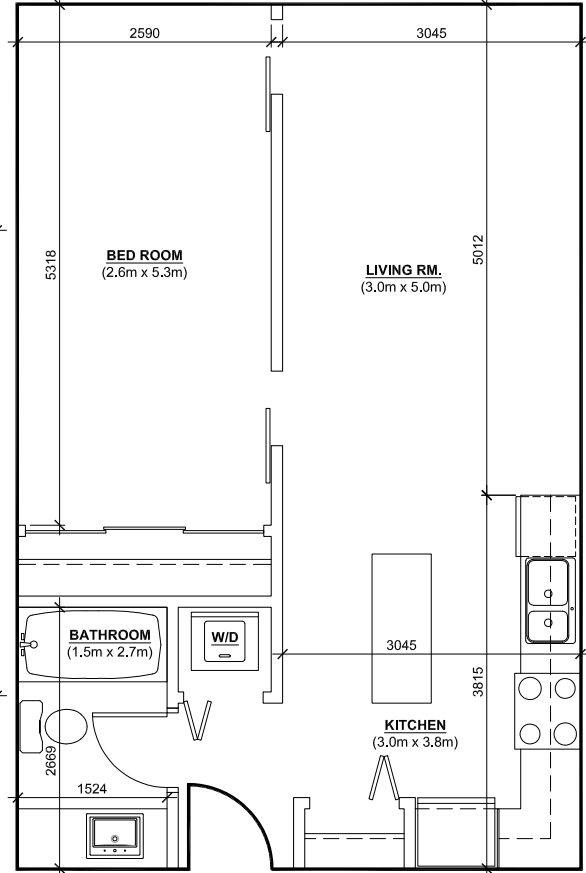
1 BED - TYPE 'F'

LEVEL: 01 ONLY
AREA: 52.69m²



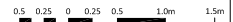
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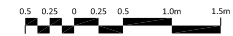
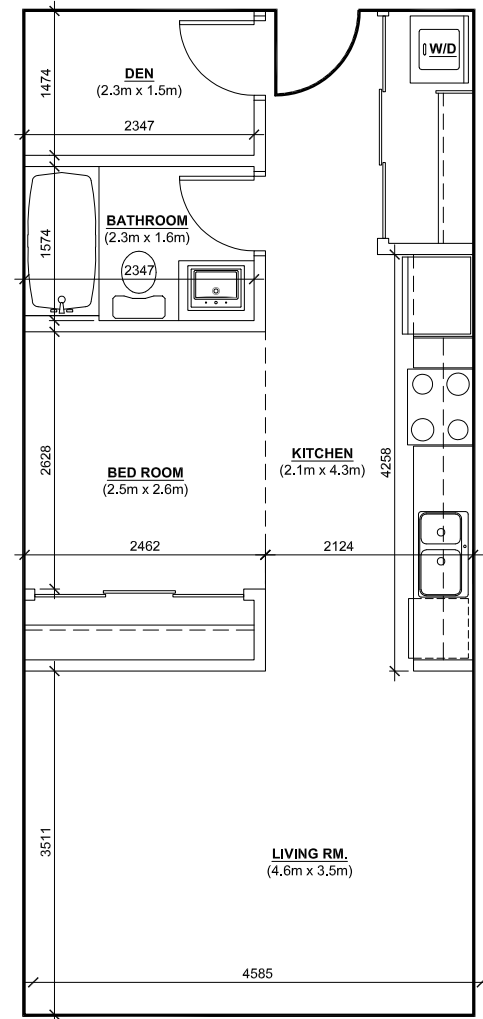
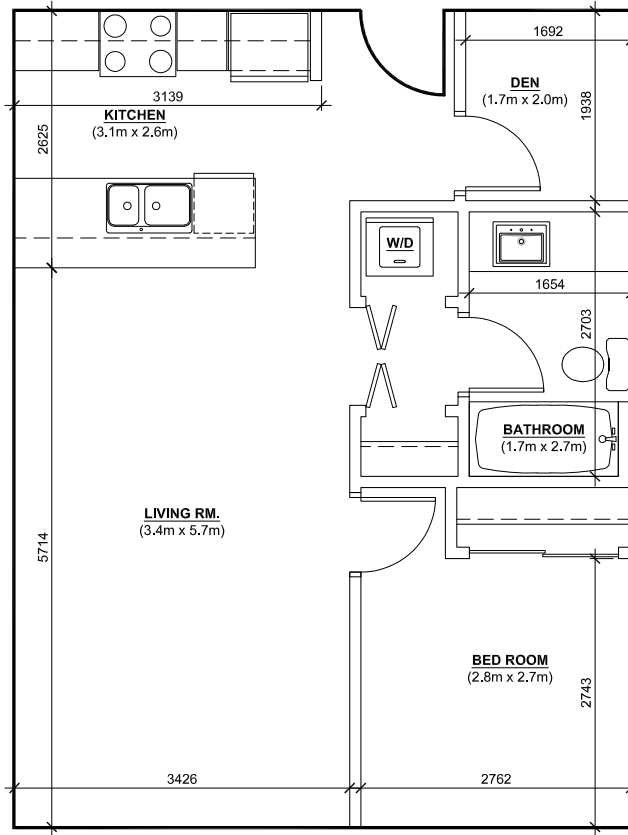
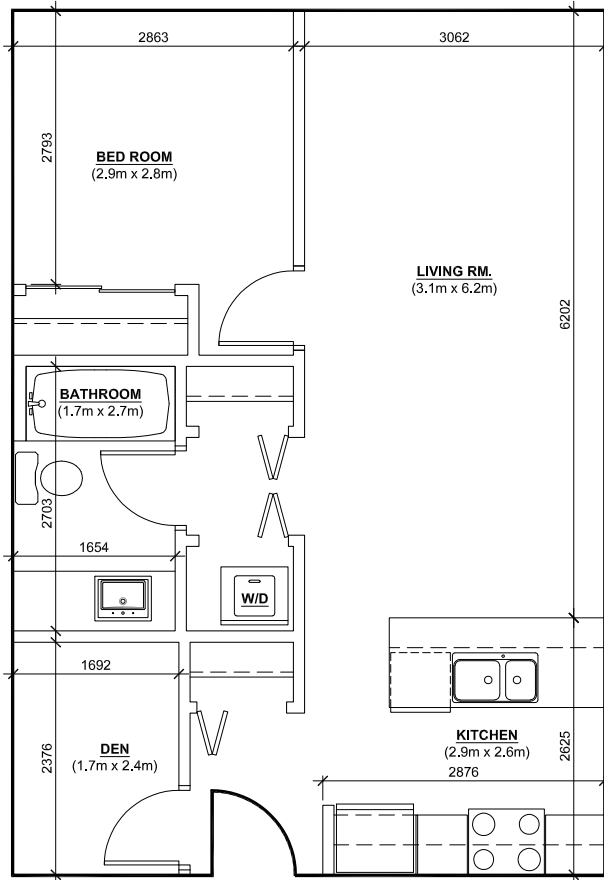
LEVEL: 02 & 03
AREA: 59.07m² - 59.52m²



1 BED - TYPE 'D'

LEVEL: 02 & 03
AREA: 50.76m²







2023-11-21

Seal

**Surrey Village
Low-Rise & Exterior
Modifications**

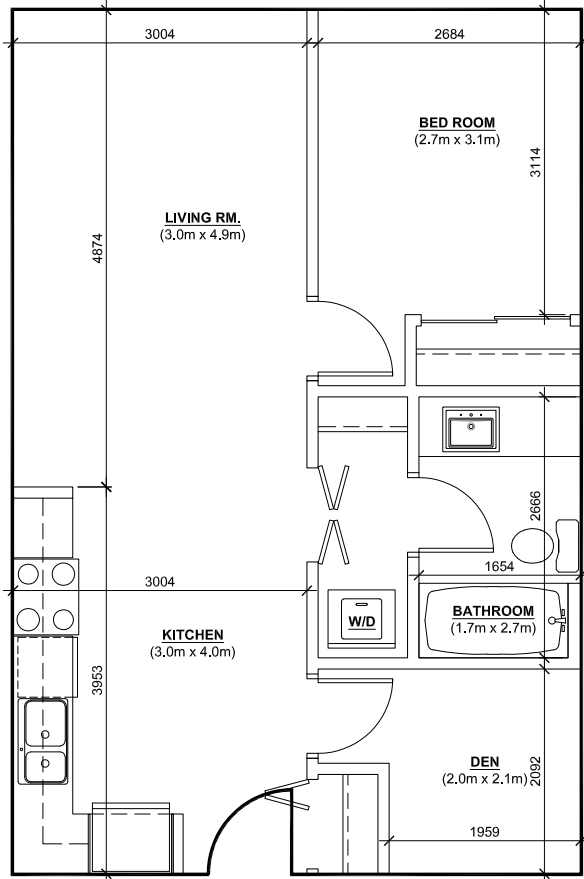
9801 King George Blvd.
Surrey, BC, V3T 5H6

Project

**Typical
Residential
Unit Plans -
1 Bed + Den**

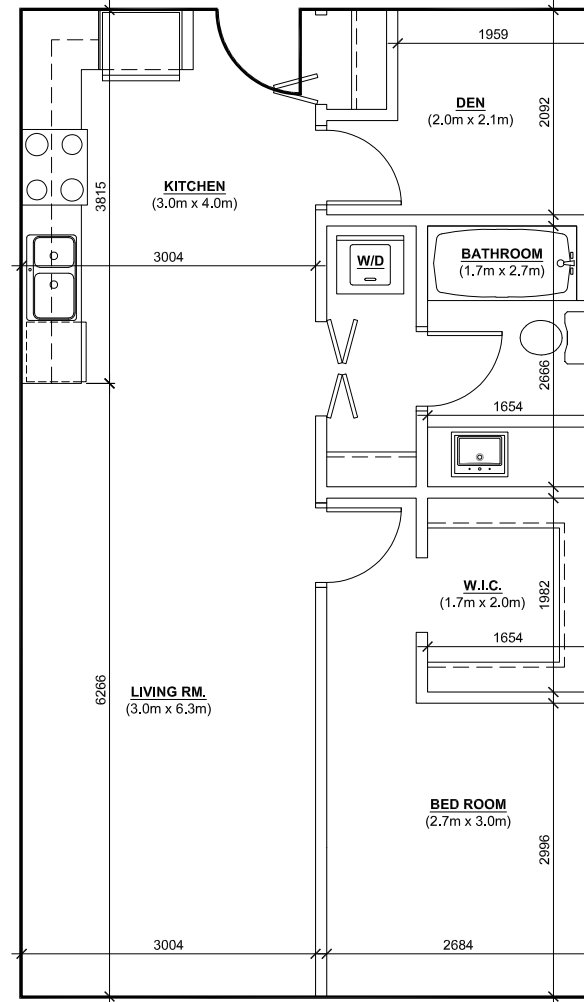
Drawing
Scale: 1 : 50
Project: 216039

Sheet **DP405**



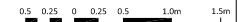
1 BED + DEN - TYPE 'E'

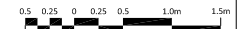
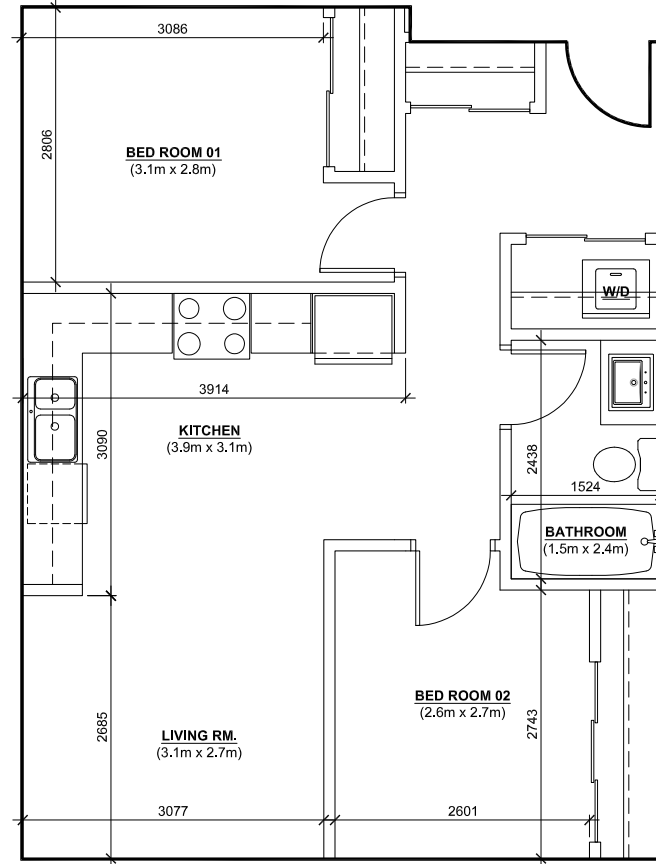
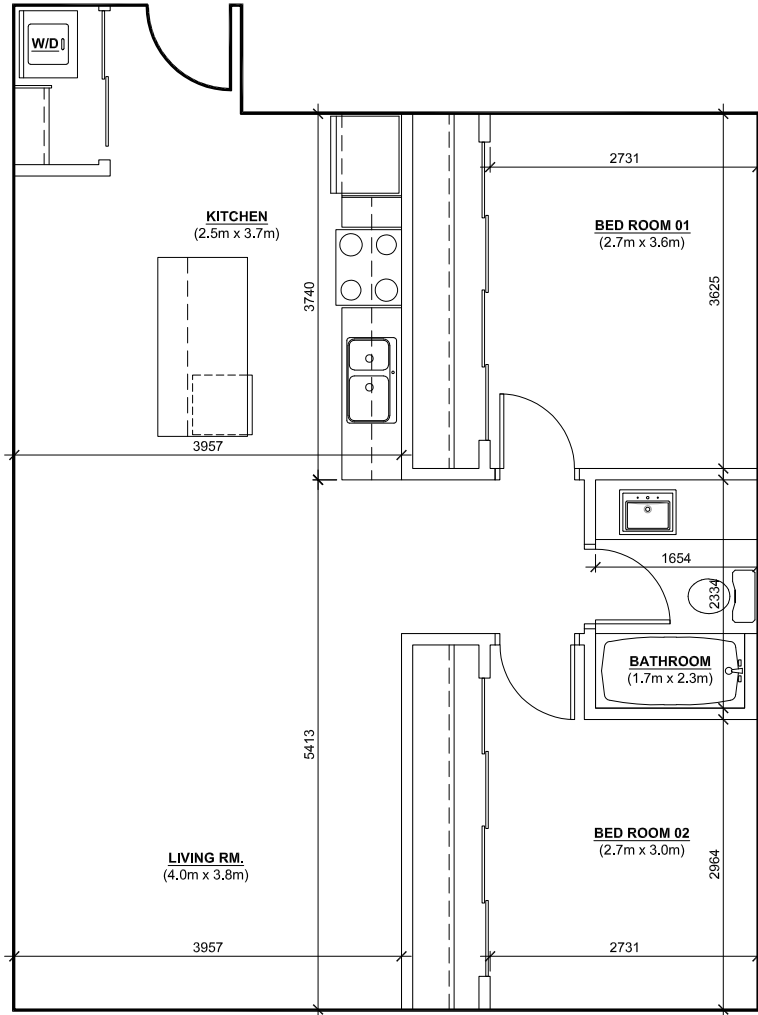
LEVEL: 02 & 03
AREA: 51.22m²



1 BED + DEN - TYPE 'D'

LEVEL: 02 & 03
AREA: 53.75m² - 58.50m²





02	2019-03-13	RESPONSE TO ADP
01	2019-02-14	SUBMISSION TO ADP
Revisions		YYYY-MM-DD



Seal
**Surrey Village
 Low-Rise & Exterior
 Modifications**

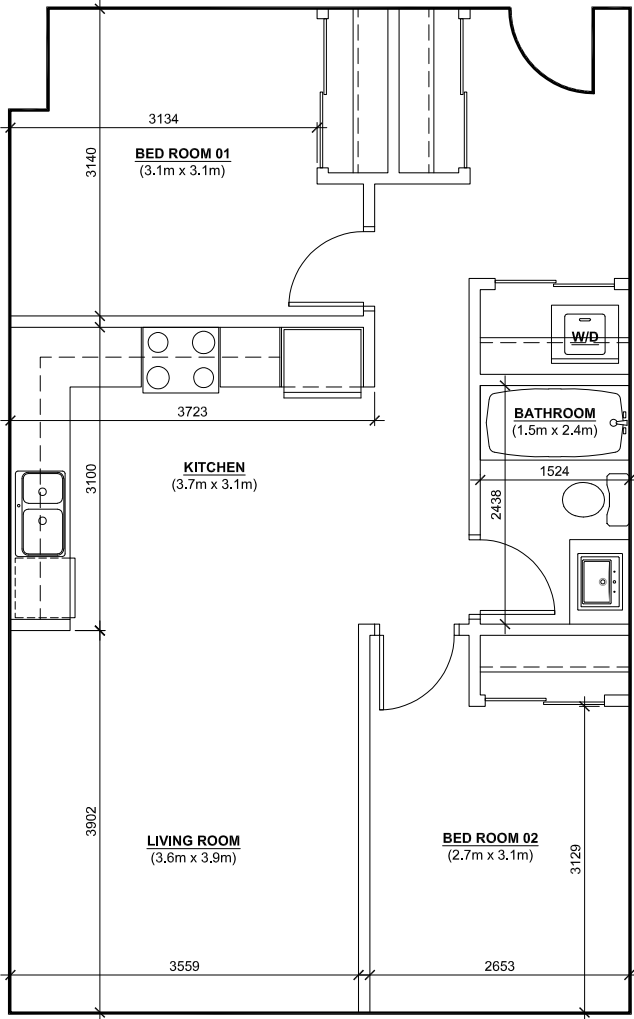
9801 King George Blvd.
 Surrey, BC, V3T 5H6

Project

**Typical
 Residential
 Unit Plans -
 2 Bed**

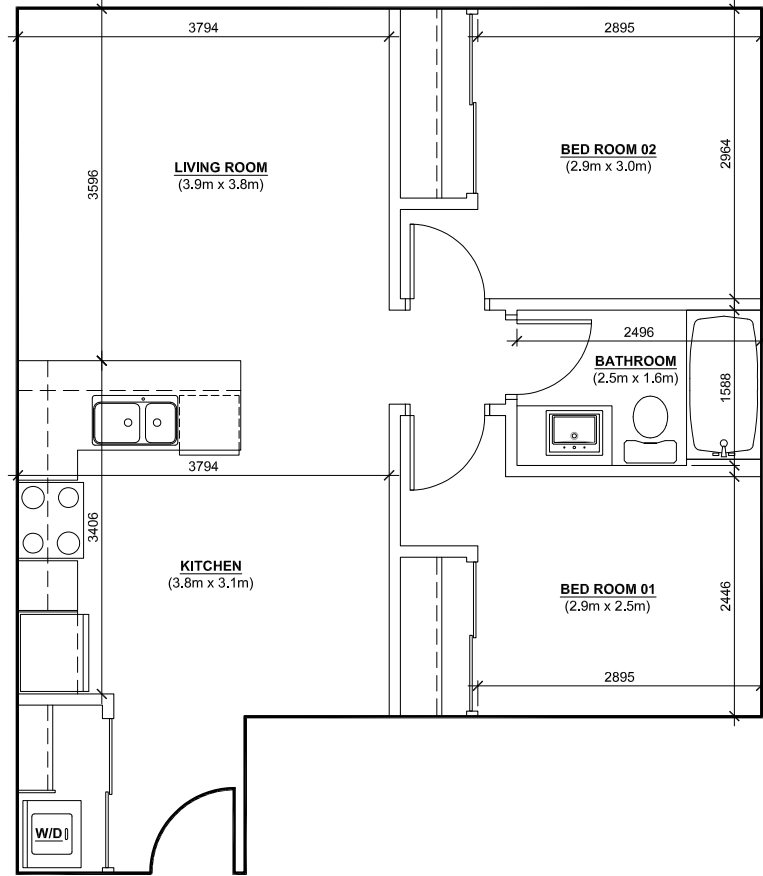
Drawing
 Scale 1 : 50
 Project 216039

Sheet **DP407**



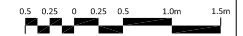
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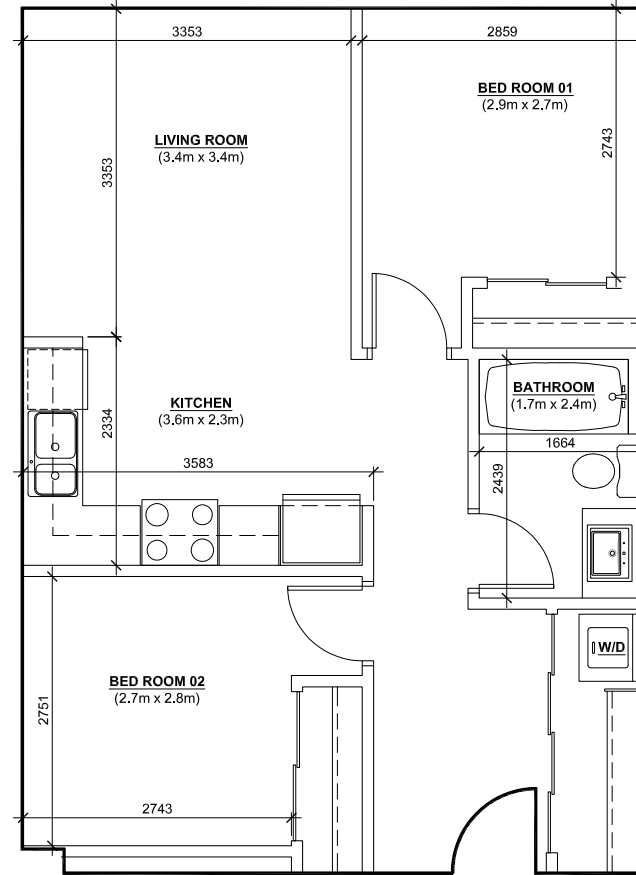
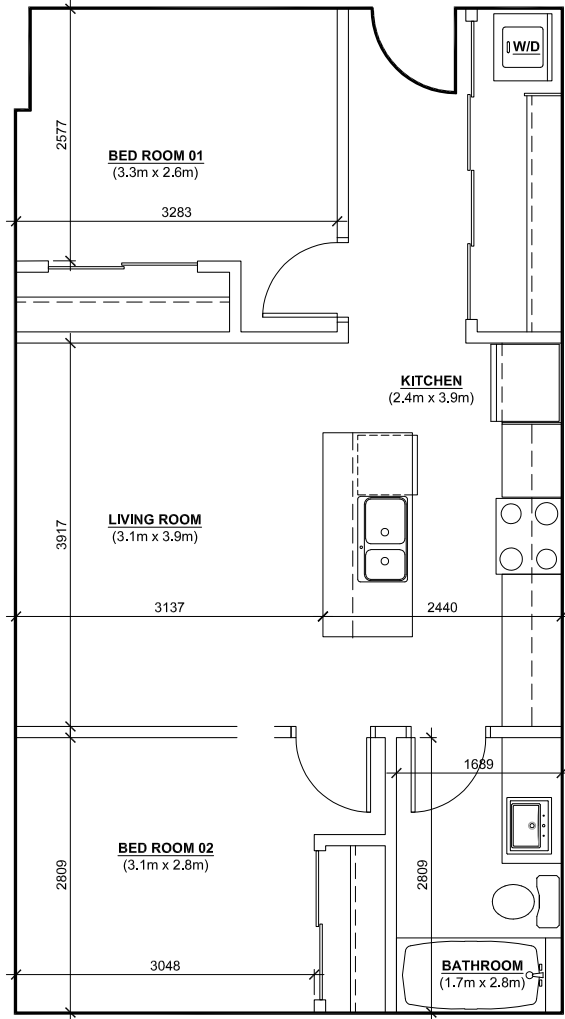
LEVEL: 02 ONLY
 AREA: 64.49m²



2 BED - TYPE 'C'

LEVEL: 02 ONLY
 AREA: 58.60m²





02	2019-03-13	RESPONSE TO ADP
01	2019-02-14	SUBMISSION TO ADP
Revisions		YYYY-MM-DD

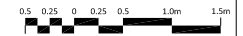


Seal
**Surrey Village
 Low-Rise & Exterior
 Modifications**

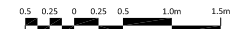
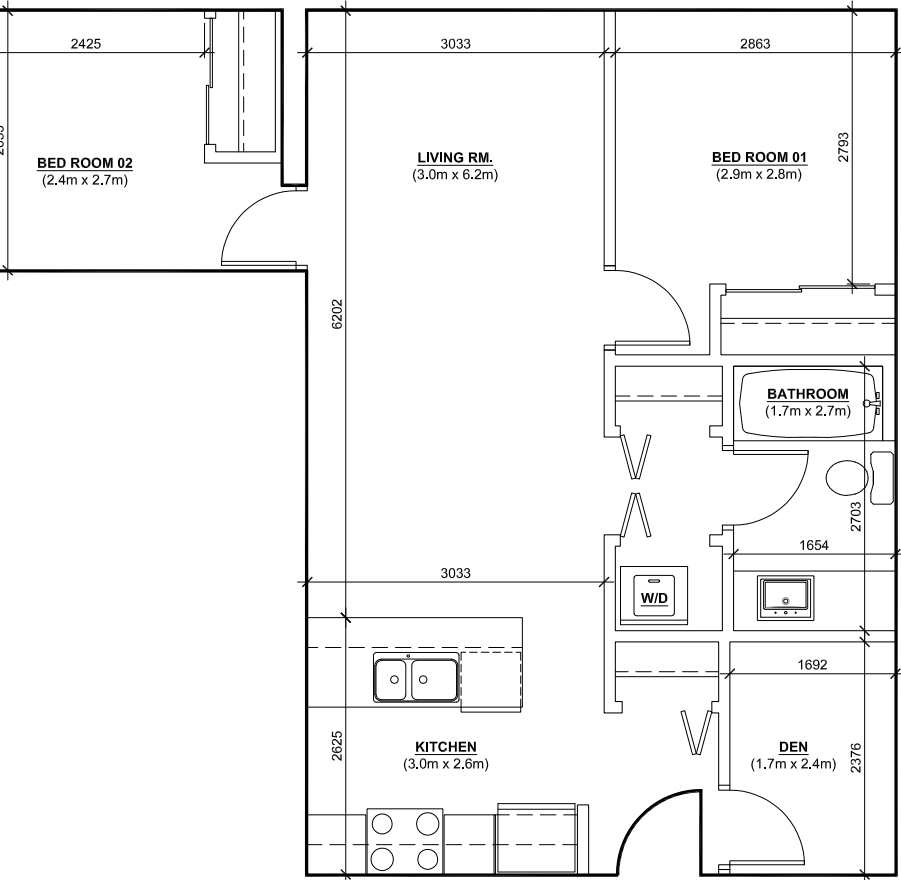
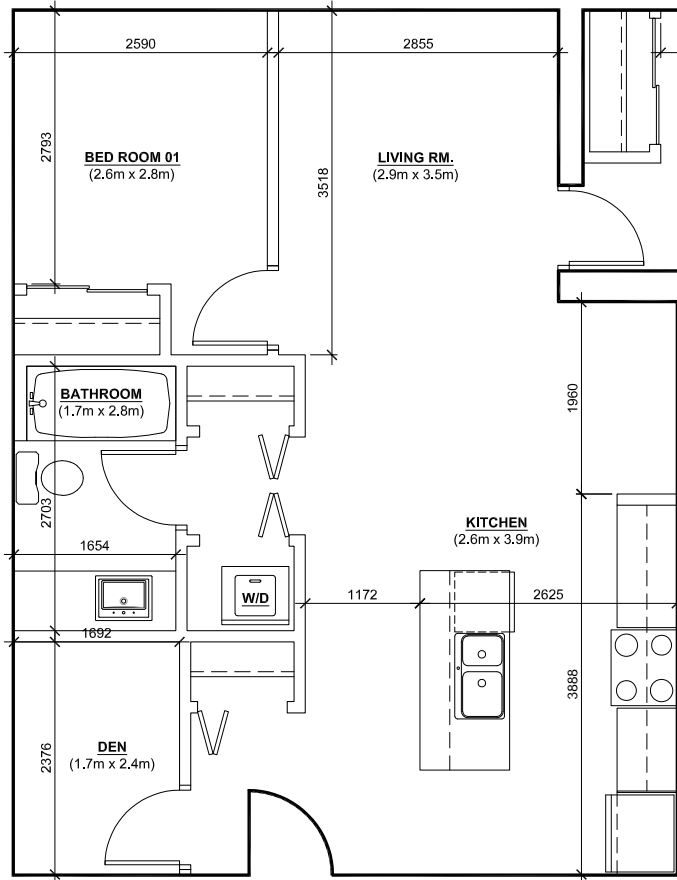
9801 King George Blvd.
 Surrey, BC, V3T 5H6
 Project

**Typical
 Residential
 Unit Plans -
 2 Bed**

Drawing
 Scale: 1 : 50
 Project: 216039



Sheet **DP408**



TREE PROTECTION GENERAL NOTES

A. EXCAVATION AROUND TREES

- EXCAVATION WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
- DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
- TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED BY 1.8M (6'-0") HIGH SEMI-PERMANENT CHAIN-LINK FENCING. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.

B. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES

- HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS.
- USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS.
- RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.

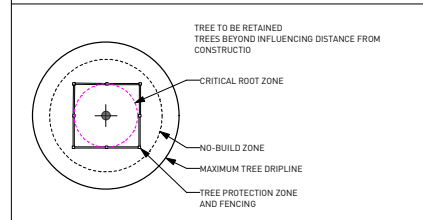
C. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES

- TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING.
- DO NOT CUT MAIN LATERAL ROOTS.
- CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS.
- ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 15cm (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS.

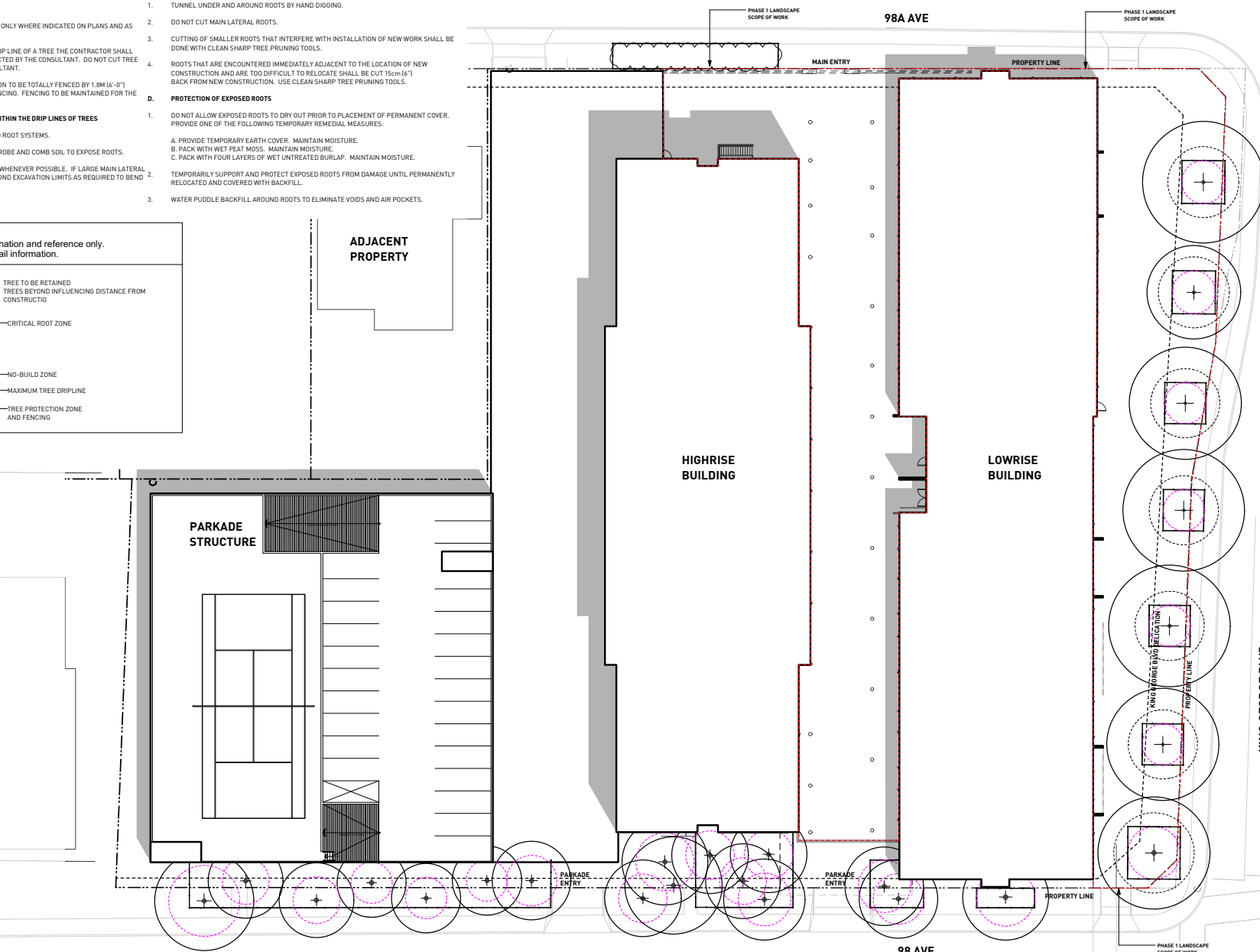
D. PROTECTION OF EXPOSED ROOTS

- DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:
 - PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.
 - PACK WITH WET PEAT MOSS. MAINTAIN MOISTURE.
 - PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
- TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
- WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS.

TREE PROTECTION LEGEND
Information shown is for coordination and reference only.
Refer to Arborist Report for detail information.



ADJACENT PROPERTY



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PWL Partnership Landscape Architects Inc.
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1020 West 44th Avenue
Vancouver, BC, Canada V6P 2P2
www.pwlpw.com
1 604 688 8111
P 604 688 8112



REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	18-6-19	Issued for Meeting
2	18-8-16	Issued for Meeting
3	18-09-07	ISSUED FOR DEVELOPMENT VARIANCE PERMIT
4	18-10-26	REVISED FOR DUP
5	18-11-23	REVISED FOR DUP
6	19-2-14	SUBMISSION TO ADP
7	2019-03-14	Revisions to ADP

PROJECT
Surrey Village

ADDRESS
9835 King George Highway
Surrey, BC

DRAWING TITLE
Tree Management Plan

Scale
1:400

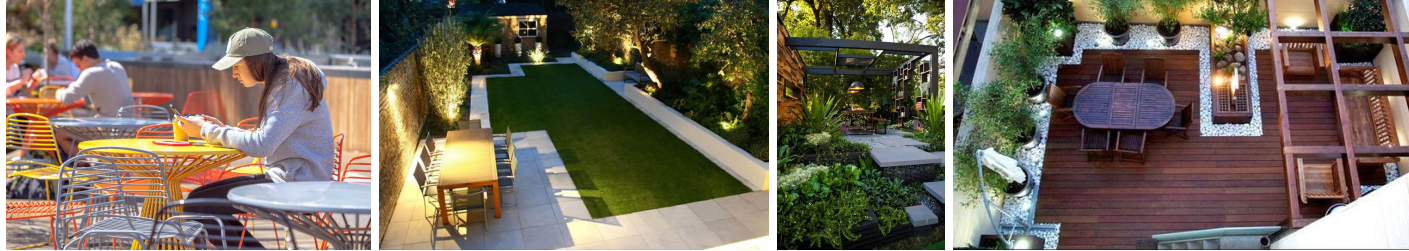
PROJECT NO.	18050
DATE	
FILE NAME	18050 PLAN Ph2.vwx
PLOTTED	
DRAWN	FLD/ZLJZ
REVIEWED	

L0.01



REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
7	2019-03-14	Revisions To ADP



COMMON SEATING AREA



BBO AREA PATIO



COURTYARD LIGHTING

PROJECT
Surrey Village

ADDRESS
 9835 King George Highway
 Surrey, BC

DRAWING TITLE
Precedent Images

NORTH	SCALE
	NTS

PROJECT NO.	18050
DATE	
FILE NAME	18050 PLAN P12.vwx
PLOTTED	
DRAWN	FLD/ZLJZ
REVIEWED	
DRAWING	

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PAVING LEGEND	
KEY	DESCRIPTION
	CIP Concrete Paving with Sawcut at 5' O.C. Light Sandblasting Finish
	Feature Paving 2x2 Hydrogressed Slab
	Composite Decking Type 1 Trex or Equal Colour: Foggy Wharf
	Composite Decking Type 2 Trex or Equal Colour: Windchester Grey
	Maintenance Strip River Rock

LAYOUT AND MATERIALS GENERAL NOTES

- DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.

PLANTING GENERAL NOTES

- ALL PLANTING MATERIALS AND LABOUR ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS AND CANADIAN LANDSCAPE AND NURSERY ASSOCIATION.
- SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
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ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
ACR	6	<i>Acer circinatum</i>	Vine Maple	2.5 m ht. (8'-0" ht.)	As Shown	B&B, Nursery grown, minimum 3 stems
Shrubs						
BMW	384	<i>Buxus microphylla</i> 'Winter Gem'	Winter Gem Boxwood	#3 pot	45 cm (18")	Well established
HSY	24	<i>Hibiscus syriacus</i>	Blue Hibiscus	As Shown	3.0 m ht. (9'-0" ht.)	B&B, Uniform branching
LPL	369	<i>Lonicera pileata</i>	Privet Honeysuckle	#1 pot	45cm (18")	30 cm (12") spread
RMP	71	<i>Rosa 'Medland Pink'</i>	Medland Pink Rose	#2 pot	60 cm (24")	Well established
SJP	263	<i>Skimmia japonica</i>	Japanese Skimmia	#3 pot	60 cm (24")	Well established
SBG	64	<i>Spiraea bumalda</i> 'Goldflame'	Goldflame Spiraea	#3 pot	60 cm (24")	Well established
TXM	108	<i>Taxus x media</i> 'H.M.Eddie'	H.M.Eddie Yew	1.2m	40 cm (16")	Well established, dense hedging plant / B & B
TOS	82	<i>Thuja occidentalis</i> 'Sinnings'	Emerald Cedar	1.2m	40 cm (16")	Well established, dense hedging plant / B & B
VOT	177	<i>Vaccinium ovatum</i> 'Thunderbird'	Thunderbird Evergreen Huckleberry	#3 pot	60 cm (24")	Well established, nursery grown
VDV	129	<i>Viburnum divaricatum</i>	White Viburnum	#2 pot	60 cm (24")	Well established
Ground Cover						
AJU	492	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	#1 pot	38 cm (15")	15cm (6") leads. Minimum 3 leads
PTM	839	<i>Pachysandra terminalis</i>	Japanese Spurge	#1 pot	38 cm (15")	10cm (4") height
Ornamental Grasses						
CID	182	<i>Carex morrowii</i> 'Ice Dance'	Variousted Sedge	#1 pot	38 cm (15")	Well established

HARDSCAPE LEGEND	
KEY	DESCRIPTION
	CIP Concrete Stairs w/ Jaws Tactile Warning and Stainless Steel Handrails on Both Sides Light Sandblasting Finish
	CIP Concrete Wall Plaster Wall Light Sandblasting Finish
	Feature Wall Concrete Feature Wall Light Sandblasting Finish
	CIP Concrete Signage Wall with Metal Signage Light Sandblasting Finish
	CIP Concrete Seat Wall with Chamfer Light Sandblasting Finish
	CIP Concrete Plinth At Courtyard Entry Light Sandblasting Finish

IRRIGATION GENERAL NOTES

- ALL PLANTED AREAS, INCLUDING SHRUBS, GROUND COVER, TREES, EXTENSIVE GREEN ROOF AND LAWN TO BE IRRIGATED.
- IRRIGATION SYSTEM IS TO BE DESIGNED BY AN IAABC CERTIFIED IRRIGATION DESIGNER.
- IRRIGATION SYSTEM IS TO BE INSTALLED BY AN IAABC CERTIFIED IRRIGATION CONTRACTOR.
- IRRIGATION SLEEVE TO BE 4" DIAMETER, SCHEDULE 40PVC, MIN 30CM COVER.

GRADING GENERAL NOTES

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- UNLESS OTHERWISE NOTED ALL DRAINS LOCATED IN LAWN OR PLANTED AREAS TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT AS DETAILED ON LANDSCAPE DRAWINGS.
- UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
- UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 (33%). REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
	Stainless Ring Bike Rack Ring by Landscape Forms, 2 Bike Parkings per Rack, or Equal Surface Mount
	Metal Chair Harpo Lounge Chair by Landscape Forms with Armrest or Equal Surface Mount
	Metal Table and Chairs Carousel by Landscape Forms or Equal Surface Mount
	Metal Bench Lakeside Bench with Armrest by Landscape Forms or Equal
	Metal Fence Powdercoated Aluminium, Colour to match Arch Guardrail
	Metal Gate Powdercoated Aluminium, Colour to match Arch Guardrail
	Planter Pot Cast Planter by Barkman Concrete Product, or Equal
	Outdoor BBQ Weber 5-6/10 or Equal
	Stepping Stone

TREE PROTECTION GENERAL NOTES

A. EXCAVATION AROUND TREES

- EXCAVATION WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
- DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
- TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED BY 1.8M (6'-0") HIGH SEMI-PERMANENT CHAIN-LINK FENCING. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.

B. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES

- HAND EXCAVATE TO MINIMIZE DAMAGE TO TREE SYSTEMS.
- USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS.
- RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.

GRADING LEGEND	
	Existing Elevation
	Proposed Elevation
	Finished Floor Elevation
	Proposed Top of Wall Elevation
	Proposed Bottom of Wall Elevation
	Proposed Top of Stair Elevation
	Proposed Bottom of Stair Elevation
	Proposed Top of Curb Elevation
	Proposed Bottom of Curb Elevation

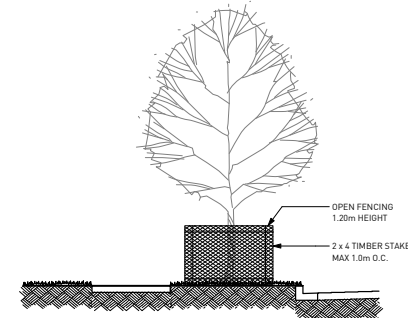
NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

C. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES

- TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING.
- DO NOT CUT MAIN LATERAL ROOTS.
- CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS.
- ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 15cm (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS.

D. PROTECTION OF EXPOSED ROOTS

- DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:
 - PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.
 - PACK WITH WET PEAT MOSS. MAINTAIN MOISTURE.
 - PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
- TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
- WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS.



1 TREE PROTECTION BARRIER FENCING DETAIL
NTS

LAYOUT AND MATERIALS GENERAL NOTES

1. DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
5. EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.



REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
7	2019-03-14	Revisions To ADP

PROJECT
Surrey Village

ADDRESS
 9835 King George Highway
 Surrey, BC

DRAWING TITLE
Landscape Site Plan

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PROJECT NO.	18050
DATE	
FILE NAME	18050 PLAN Ph2.vwx
PLOTTED	
DRAWN	FLD/ZLJZ
REVIEWED	

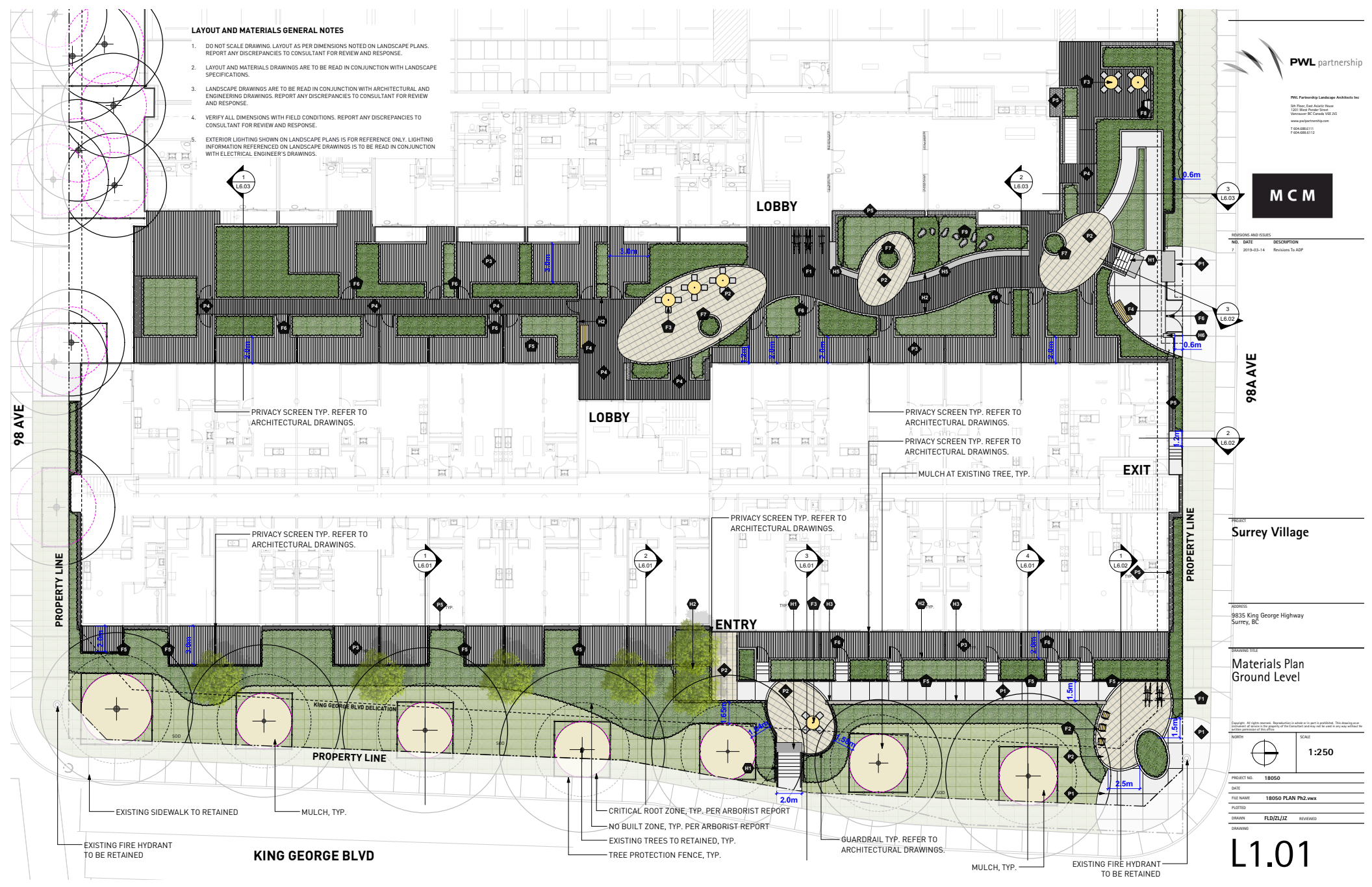
DRAWING
L1.00

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REVISIONS AND ISSUES	
NO.	DESCRIPTION
7	2019-03-14 Revisions to ADP



Surrey Village

ADDRESS
 9835 King George Highway
 Surrey, BC

**Materials Plan
 Ground Level**

Scale: 1:250

PROJECT NO.	18050
DATE	
FILE NAME	18050 PLAN Ph2.vwk
PLOTTED	
DRAWN	FLD/ZLJZ
REVIEWED	

L1.01



REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
7	2019-03-14	Revisions To ADP

98A AVE

PROJECT
Surrey Village

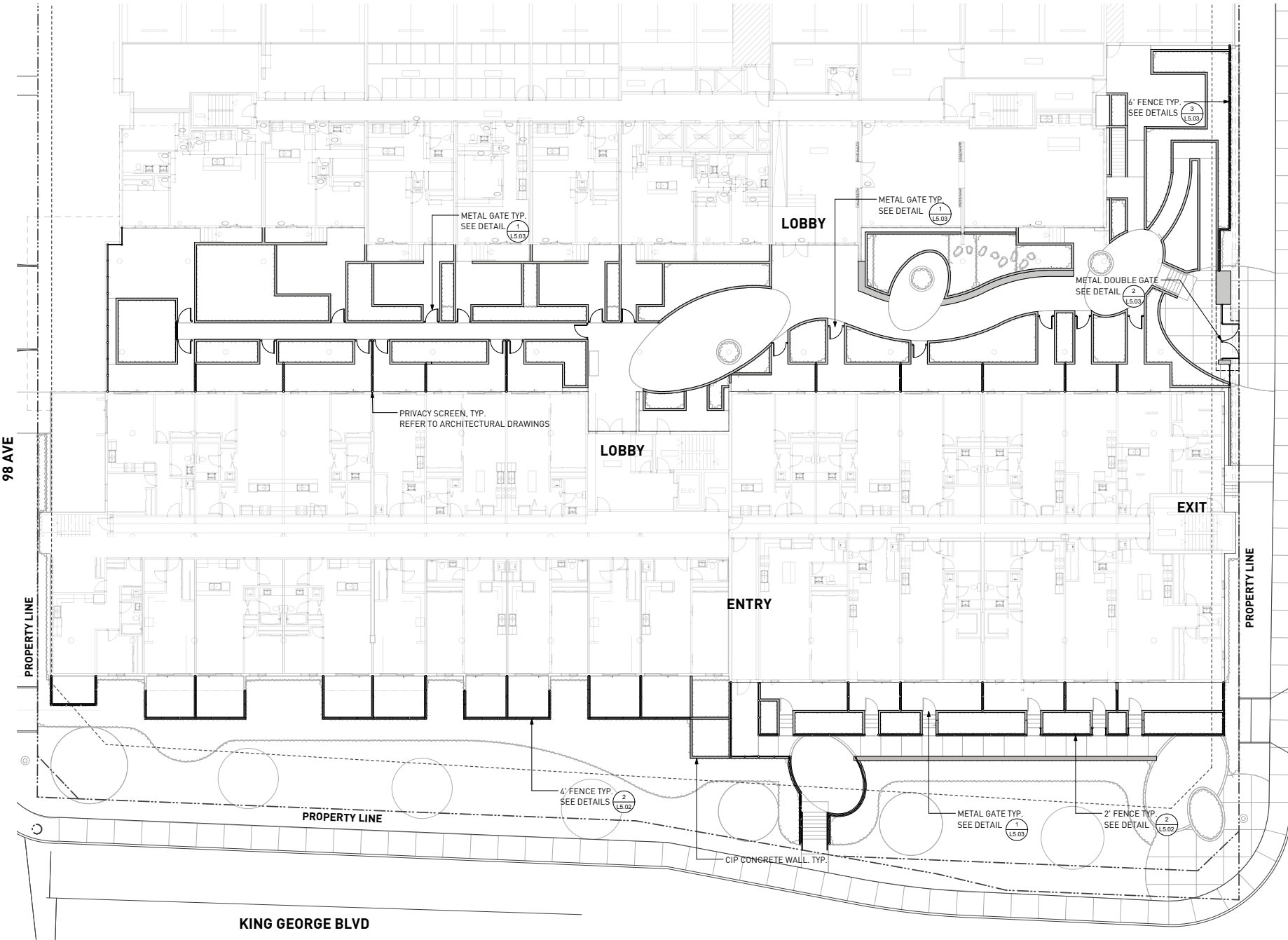
ADDRESS
 9835 King George Highway
 Surrey, BC

DRAWING TITLE
Fencing Plan

North arrow and scale indicator showing North and a scale of 1:250.

PROJECT NO.	18050
DATE	
FILE NAME	18050 PLAN P12.vwx
PLOTTED	
DRAWN	FLD/ZJJZ
REVIEWED	

L1.02



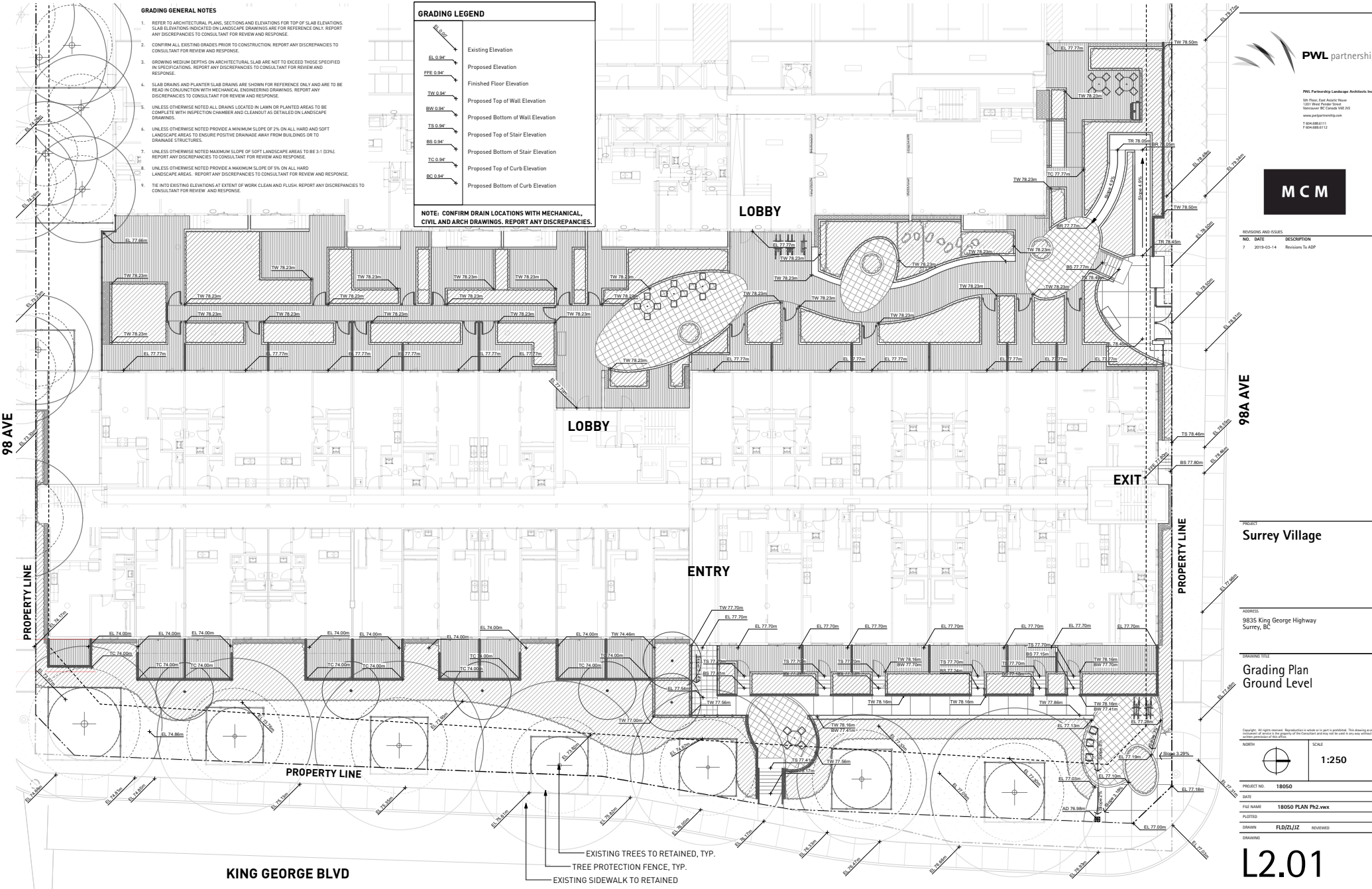
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GRADING LEGEND

	Existing Elevation
	Proposed Elevation
	Finished Floor Elevation
	Proposed Top of Wall Elevation
	Proposed Bottom of Wall Elevation
	Proposed Top of Stair Elevation
	Proposed Bottom of Stair Elevation
	Proposed Top of Curb Elevation
	Proposed Bottom of Curb Elevation

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
7	2019-03-14	Revisions to ADP

PROJECT

Surrey Village

ADDRESS
 9835 King George Highway
 Surrey, BC

DRAWING TITLE

Grading Plan
 Ground Level

Scale: 1:250

PROJECT NO.	18050
DATE	
FILE NAME	18050 PLAN Ph2.vsw
PLOTTED	
DRAWN	FLD/ZLJZ
REVIEWED	

L2.01

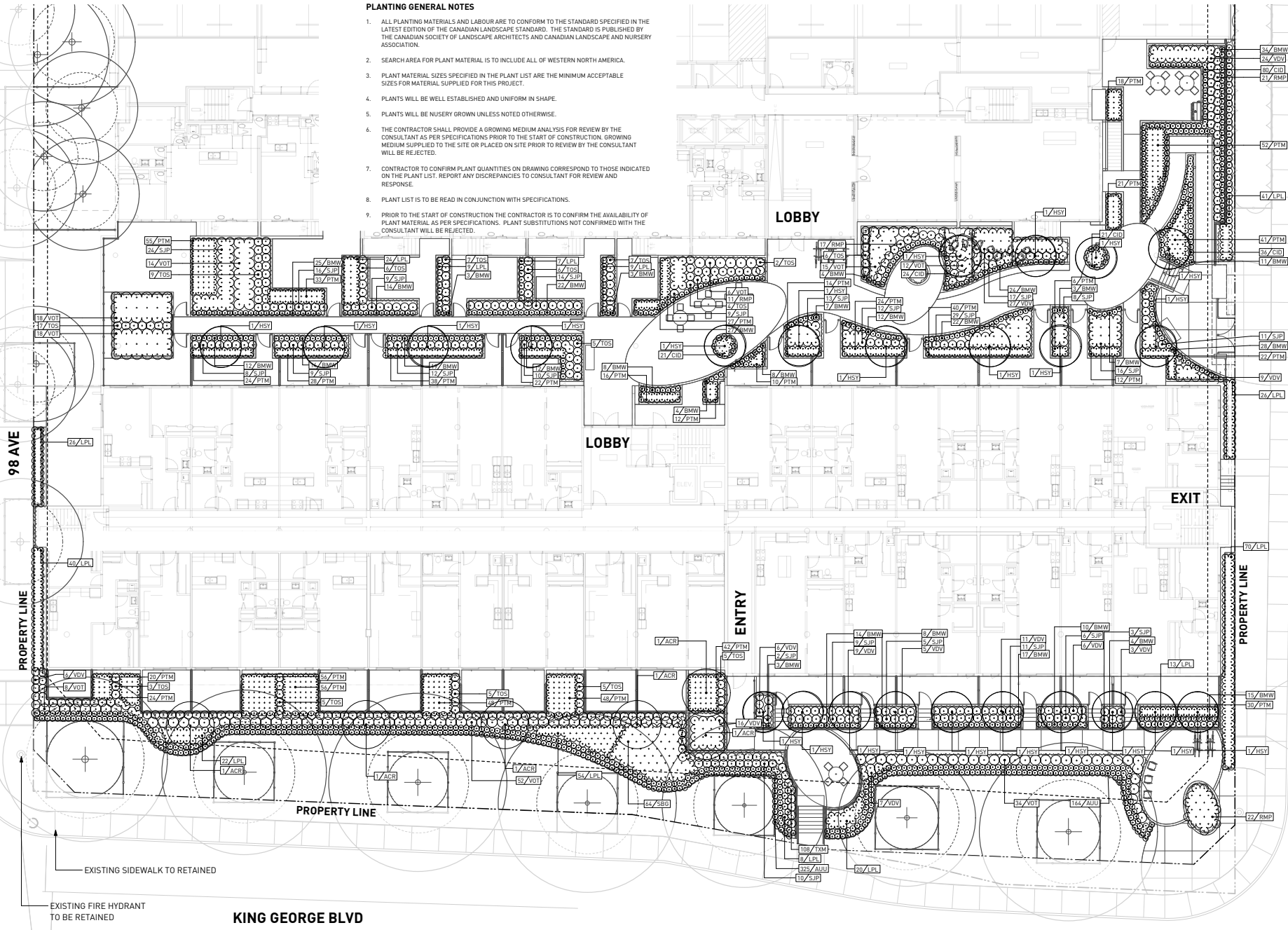
EXISTING TREES TO RETAINED, TYP.
 TREE PROTECTION FENCE, TYP.
 EXISTING SIDEWALK TO RETAINED

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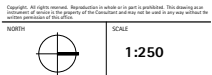
REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
7	2019-03-14	Revisions to ADP



PROJECT
Surrey Village

ADDRESS
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DRAWING TITLE
Planting Plan



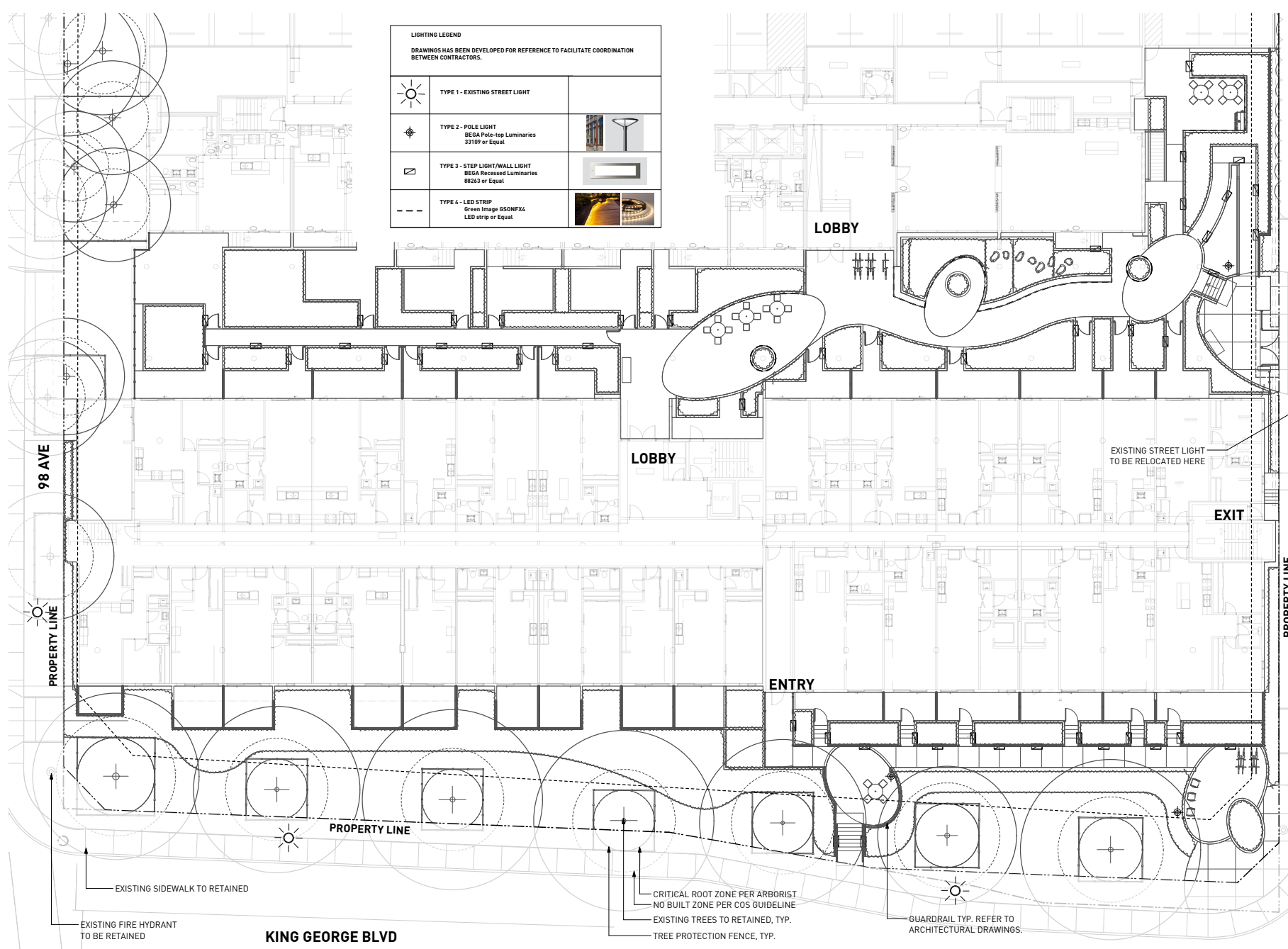
PROJECT NO.	18050
DATE	
FILE NAME	18050 PLAN Ph2.vwx
PLOTTED	
DRAWN	FLD/ZLJZ
REVIEWED	

DRAWING
L3.01

LIGHTING LEGEND		
DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION BETWEEN CONTRACTORS.		
	TYPE 1 - EXISTING STREET LIGHT	
	TYPE 2 - POLE LIGHT BEGA Pole-top Luminaries 33109 or Equal	
	TYPE 3 - STEP LIGHT/WALL LIGHT BEGA Recessed Luminaries 49263 or Equal	
	TYPE 4 - LED STRIP Green Image 050NFX4 LED strip or Equal	



REVISIONS AND ISSUES	
NO.	DATE DESCRIPTION
7	2019-03-14 Revisions To ADP



98A AVE

PROJECT
Surrey Village

ADDRESS
 9835 King George Highway
 Surrey, BC

DRAWING TITLE
Lighting Plan

Scale
 SCALE
1:250

PROJECT NO. 18050
 DATE
 FILE NAME 18050 PLAN Ph2.vwx
 PLOTTED
 DRAWN FLD/ZJJZ REVIEWED
 DRAWING

L4.01




REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	18-04-19	ISSUED FOR MARKING
2	18-04-7	ISSUED FOR DEVELOPMENT VARIANCE PERMIT
3	18-10-26	RESUBMITTED FOR DWP
4	18-11-23	RESUBMITTED FOR DWP
5	19-2-14	SUBMISSION FOR ADP
6	19-3-14	REVISIONS TO ADP

landscape forms

RING®

Product Data Sheet



A unique design featuring a heavy-duty powder-coated steel frame and a built-in lock for secure storage and security that meets Association of Professional and Recreational eBikes (APREB) requirements. Ring that can be installed on any wall or fence. The keyhole can be mounted in a vertical orientation or in the same design. The lock position can be adjusted to prevent the bicycle from tipping over. A stainless steel lock can secure both a wheel and the frame.

Bike Rack

Options

- Silver powder-coated steel frame
- 12" x 12" wall attachment mounting with a pre-drilled hole on back attachment plate
- Ring is also available in powder-coated steel
- Ring lock not included
- Ring can be used to hold up to 2 bicycles
- The keyhole can be mounted in a vertical orientation or in the same design. The lock position can be adjusted to prevent the bicycle from tipping over. A stainless steel lock can secure both a wheel and the frame.

FINISH	STAINLESS	POWDER	POWDER	POWDER	POWDER
	12" x 12"	12" x 12"	12" x 12"	12" x 12"	12" x 12"

Finishes

- 12" x 12" wall attachment mounting with a pre-drilled hole on back attachment plate
- Ring is also available in powder-coated steel
- Ring lock not included
- Ring can be used to hold up to 2 bicycles
- The keyhole can be mounted in a vertical orientation or in the same design. The lock position can be adjusted to prevent the bicycle from tipping over. A stainless steel lock can secure both a wheel and the frame.

To Specify

- Select size and style. Specify powder-coated color or stainless steel.

Designed by Brian Kuen, AIA

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landscape forms

HARPO LOUNGE CHAIR

Product Data Sheet



The Harpo lounge chair is made of weather-resistant aluminum and is designed for outdoor use. The lounge chair has a wide seat and a high backrest for maximum comfort. The chair is made of powder-coated steel and is available in a variety of colors. The chair is also available in a stainless steel finish. The chair is designed for outdoor use and is suitable for use in a variety of settings. The chair is also available in a stainless steel finish. The chair is designed for outdoor use and is suitable for use in a variety of settings. The chair is also available in a stainless steel finish.

FINISH	STAINLESS	POWDER	POWDER	POWDER	POWDER
	12" x 12"	12" x 12"	12" x 12"	12" x 12"	12" x 12"

Lounge Chair

- Powder-coated steel frame with weather-resistant aluminum slats
- 12" x 12" wall attachment mounting with a pre-drilled hole on back attachment plate
- Ring is also available in powder-coated steel
- Ring lock not included
- Ring can be used to hold up to 2 bicycles
- The keyhole can be mounted in a vertical orientation or in the same design. The lock position can be adjusted to prevent the bicycle from tipping over. A stainless steel lock can secure both a wheel and the frame.

Finishes

- 12" x 12" wall attachment mounting with a pre-drilled hole on back attachment plate
- Ring is also available in powder-coated steel
- Ring lock not included
- Ring can be used to hold up to 2 bicycles
- The keyhole can be mounted in a vertical orientation or in the same design. The lock position can be adjusted to prevent the bicycle from tipping over. A stainless steel lock can secure both a wheel and the frame.

Designed by Sam & Cole

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1 BIKE RACK

2 METAL CHAIR

landscape forms

CAROUSEL

Product Data Sheet



Landscape Forms designed the Carousel table with a unique design for outdoor use. The table is made of powder-coated steel and is available in a variety of colors. The table is also available in a stainless steel finish. The table is designed for outdoor use and is suitable for use in a variety of settings. The table is also available in a stainless steel finish. The table is designed for outdoor use and is suitable for use in a variety of settings. The table is also available in a stainless steel finish.

FINISH	STAINLESS	POWDER	POWDER	POWDER	POWDER
	12" x 12"	12" x 12"	12" x 12"	12" x 12"	12" x 12"

Casual Height

- The Carousel table is casual height in outdoor use or in a cafe.
- Table can be used indoors, outdoors, or in a cafe.
- Supports are formed of 2" diameter.
- Construction is made of 1/2" diameter or 3/4" diameter.
- Available with a 12" top.

Mounting Options

- Carousel table can be mounted on a wall, ceiling, or on a stand.
- All tables can be used with all four options.

Tables

- Standard and Casual Height tables are formed of heavy gauge steel.
- Construction is made of 1/2" diameter or 3/4" diameter.
- Available with a 12" top or 18" top.
- All tables can be used with all four options.
- All tables can be used with all four options.

To Specify

1. Select color and finish.
2. Select size and finish.
3. Select size and finish.
4. Select size and finish.
5. Select size and finish.
6. Select size and finish.
7. Select size and finish.
8. Select size and finish.
9. Select size and finish.
10. Select size and finish.

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3 TABLE AND CHAIR

landscape forms

LAKESIDE

Product Data Sheet



The Lakeside bench is made of weather-resistant aluminum and is designed for outdoor use. The bench has a wide seat and a high backrest for maximum comfort. The bench is made of powder-coated steel and is available in a variety of colors. The bench is also available in a stainless steel finish. The bench is designed for outdoor use and is suitable for use in a variety of settings. The bench is also available in a stainless steel finish. The bench is designed for outdoor use and is suitable for use in a variety of settings. The bench is also available in a stainless steel finish.

FINISH	STAINLESS	POWDER	POWDER	POWDER	POWDER
	12" x 12"	12" x 12"	12" x 12"	12" x 12"	12" x 12"

Benches

- The Lakeside bench is made of weather-resistant aluminum and is designed for outdoor use.
- The bench has a wide seat and a high backrest for maximum comfort.
- The bench is made of powder-coated steel and is available in a variety of colors.
- The bench is also available in a stainless steel finish.
- The bench is designed for outdoor use and is suitable for use in a variety of settings.
- The bench is also available in a stainless steel finish.
- The bench is designed for outdoor use and is suitable for use in a variety of settings.
- The bench is also available in a stainless steel finish.

Finishes

- 12" x 12" wall attachment mounting with a pre-drilled hole on back attachment plate
- Ring is also available in powder-coated steel
- Ring lock not included
- Ring can be used to hold up to 2 bicycles
- The keyhole can be mounted in a vertical orientation or in the same design. The lock position can be adjusted to prevent the bicycle from tipping over. A stainless steel lock can secure both a wheel and the frame.

To Specify

- Select size and style. Specify powder-coated color or stainless steel.


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4 METAL BENCH

landscape forms

LAKESIDE

Product Data Sheet



The Lakeside bench is made of weather-resistant aluminum and is designed for outdoor use. The bench has a wide seat and a high backrest for maximum comfort. The bench is made of powder-coated steel and is available in a variety of colors. The bench is also available in a stainless steel finish. The bench is designed for outdoor use and is suitable for use in a variety of settings. The bench is also available in a stainless steel finish. The bench is designed for outdoor use and is suitable for use in a variety of settings. The bench is also available in a stainless steel finish.

FINISH	STAINLESS	POWDER	POWDER	POWDER	POWDER
	12" x 12"	12" x 12"	12" x 12"	12" x 12"	12" x 12"

Benches

- The Lakeside bench is made of weather-resistant aluminum and is designed for outdoor use.
- The bench has a wide seat and a high backrest for maximum comfort.
- The bench is made of powder-coated steel and is available in a variety of colors.
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To Specify

- Select size and style. Specify powder-coated color or stainless steel.

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PROJECT

Surrey Village

ADDRESS

9835 King George Highway
 Surrey, BC

DRAWING TITLE

Landscape Details

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NO.	SCALE
	As Shown

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DATE	May 2018
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DRAWN	FLD/JJZ
REVIEWED	

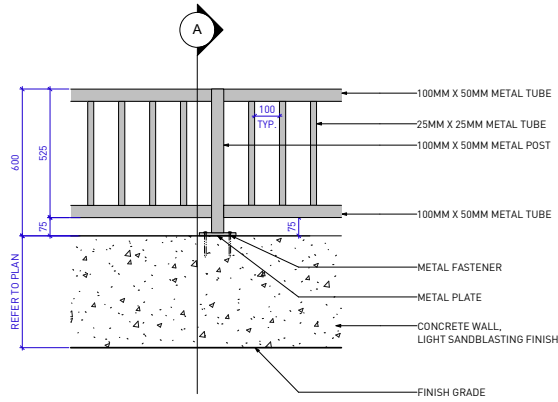
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L5.01

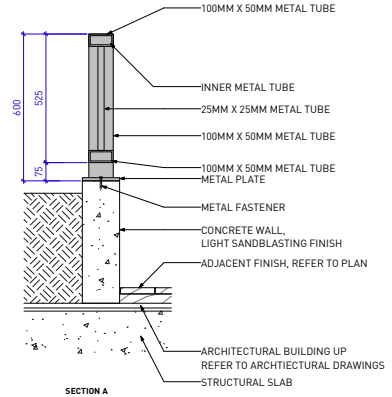


REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	18-6-19	ISSUED FOR BIDDING
2	18-8-7	ISSUED FOR DEVELOPMENT VARIANCE PERMIT
3	18-10-28	RESUBMITTED FOR DWP
4	18-11-23	RESUBMITTED FOR DWP
5	19-2-14	SUBMISSION FOR ADP
6	19-3-14	REVISIONS TO ADP



600MM HT METAL FENCE ELEVATION

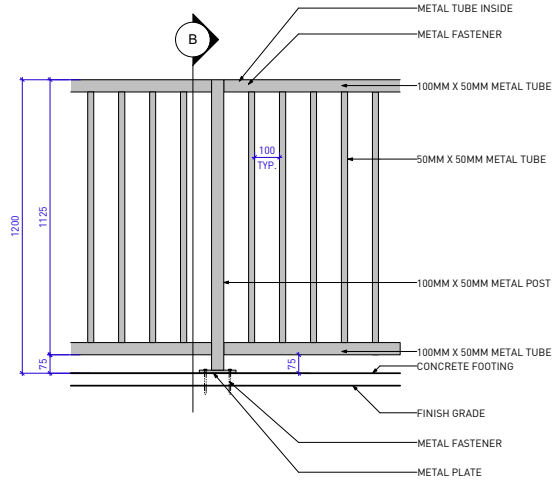


SECTION A

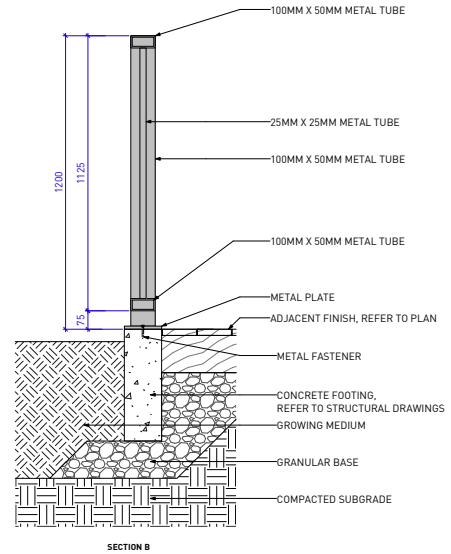
- NOTE:
1. ALL METAL TO BE POWDER COATED ALUMINIUM.
 2. METAL TO MATCH ARCHITECTURAL GUARDRAIL.
 3. SHOP DRAWINGS REQUIRED FOR CONSULTANT'S REVIEW PRIOR TO INSTALLATION



METAL FENCE DESIGN INTENT



1200 MM HT METAL FENCE ELEVATION



SECTION B

PROJECT
Surrey Village

ADDRESS
 9835 King George Highway
 Surrey, BC

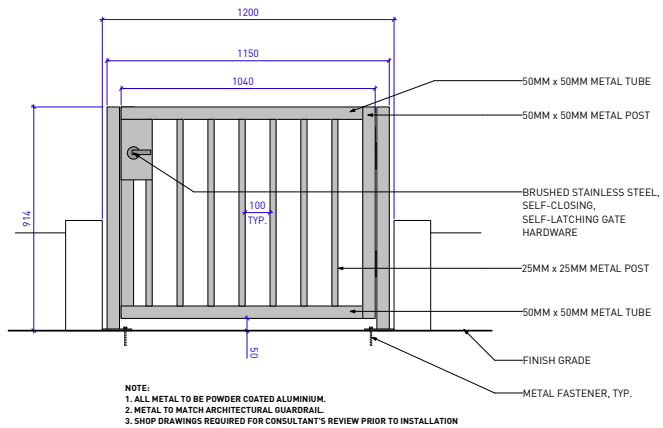
DRAWING TITLE
Landscape Details

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NO.	DATE	DESCRIPTION
1	18-6-19	ISSUED FOR BIDDING
2	18-8-7	ISSUED FOR DEVELOPMENT VARIANCE PERMIT
3	18-10-28	RESUBMITTED FOR DWP
4	18-11-23	RESUBMITTED FOR DWP
5	19-2-14	SUBMISSION FOR ADP
6	19-3-14	REVISIONS TO ADP

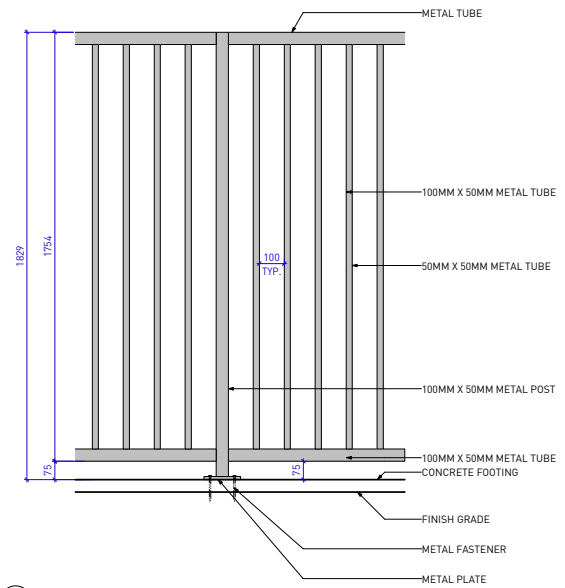
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DATE	May 2018
FILE NAME	18050 DETAILS Ph2.vwx
DRAWN	FLD/ZL/JZ
CHECKED	

L5.02

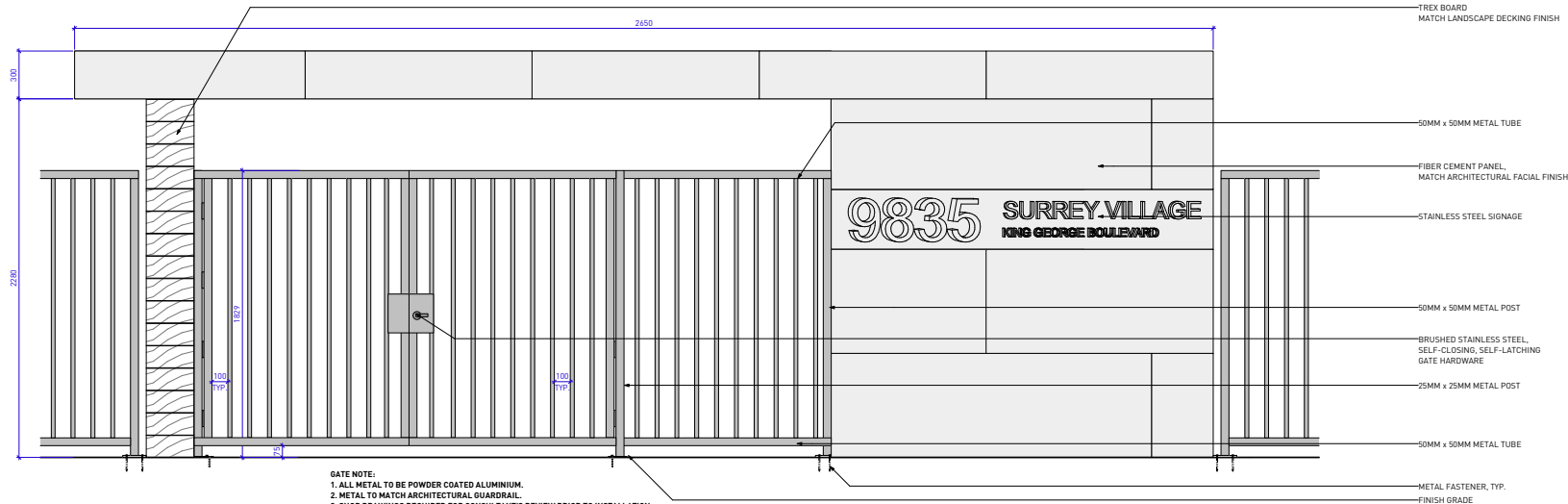


NOTE:
 1. ALL METAL TO BE POWDER COATED ALUMINIUM.
 2. METAL TO MATCH ARCHITECTURAL GUARDRAIL.
 3. SHOP DRAWINGS REQUIRED FOR CONSULTANT'S REVIEW PRIOR TO INSTALLATION

1 METAL GATE PATIO
 SCALE: 1:20



3 METAL FENCE AT ENTRY
 SCALE: 1:20



GATE NOTE:
 1. ALL METAL TO BE POWDER COATED ALUMINIUM.
 2. METAL TO MATCH ARCHITECTURAL GUARDRAIL.
 3. SHOP DRAWINGS REQUIRED FOR CONSULTANT'S REVIEW PRIOR TO INSTALLATION

2 METAL DOUBLE GATE AT COURTYARD ENTRY
 SCALE: 1:20



REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	18-06-19	Issued for Meeting
2	18-09-7	ISSUED FOR DEVELOPMENT VARIANCE PERMIT
3	18-10-26	ISSUED FOR DUP
4	18-11-23	RESUBMISSION FOR DUP
5	19-2-14	SUBMISSION FOR ASP
6	19-2-14	REVISIONS TO ASP

PROJECT
Surrey Village

ADDRESS
 9835 King George Highway
 Surrey, BC

DRAWING TITLE
Landscape Details

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NORTH SCALE

As Shown

PROJECT NO.	18050
DATE	May 2018
FILE NAME	18050 DETAILS Ph2.vrx
PLOTTED	
DRAWN	FLD/ZL/JZ
REVIEWED	
DRAWING	

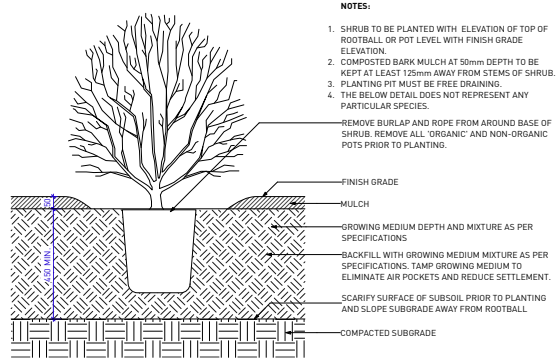


REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	18-0-19	Issued for Meeting
2	18-0-7	ISSUED FOR DEVELOPMENT VARIANCE PERMIT
3	18-10-26	REVISED FOR DUP
4	18-11-23	REVISED FOR DUP
5	19-2-14	SUBMISSION FOR ADP
6	19-3-14	REVISIONS TO ADP

NOTES:

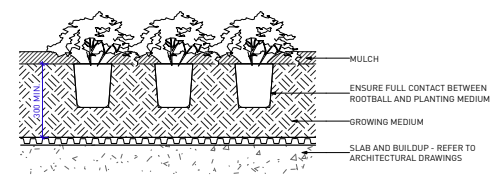
- SHRUB TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL OR POT LEVEL WITH FINISH GRADE ELEVATION.
 - COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 125mm AWAY FROM STEMS OF SHRUB.
 - PLANTING PIT MUST BE FREE DRAINING.
 - THE BELOW DETAIL DOES NOT REPRESENT ANY PARTICULAR SPECIES.
- REMOVE BURLAP AND ROPE FROM AROUND BASE OF SHRUB. REMOVE ALL 'ORGANIC' AND NON-ORGANIC POTS PRIOR TO PLANTING.



2 SHRUB PLANTING ON GRADE
 SCALE: 1:20

NOTES:

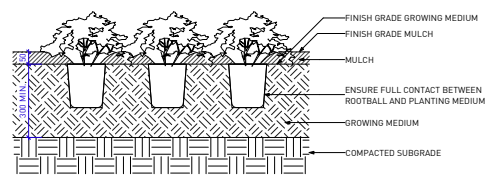
- PLANT TO BE PLANTED WITH TOP OF ROOTBALL LEVEL WITH FINISH GRADE.
- COMPOSTED BARK MULCH TO BE KEPT AT LEAST 30mm AWAY FROM STEMS.
- PRUNE ANY BROKEN OR DAMAGED BRANCHES AND DOUBLE LEADERS USING APPROVED PRUNING TOOLS AND STANDARD I.S.A. PRUNING PRACTICES. SEE SPECIFICATIONS.



3 GROUNDCOVER PLANTING ON SLAB
 SCALE: 1:20

NOTES:

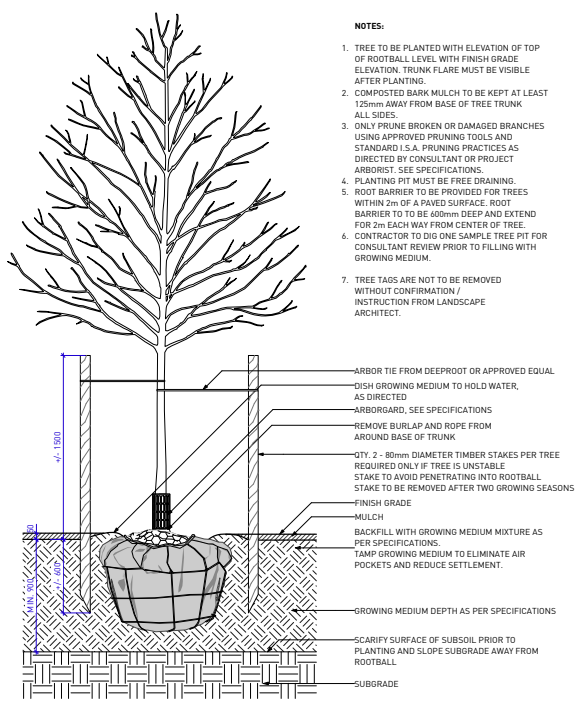
- PLANT TO BE PLANTED WITH TOP OF ROOTBALL LEVEL WITH FINISH GRADE OF GROWING MEDIUM.
- COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS.
- PRUNE ANY BROKEN OR DAMAGED BRANCHES AND DOUBLE LEADERS USING APPROVED PRUNING TOOLS AND STANDARD I.S.A. PRUNING PRACTICES. SEE SPECIFICATIONS.



1 GROUNDCOVER PLANTING ON GRADE
 SCALE: 1:20

NOTES:

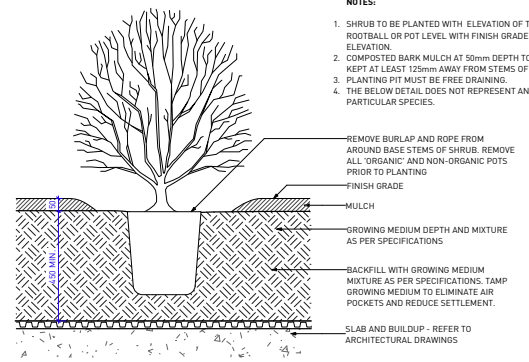
- TREE TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL LEVEL WITH FINISH GRADE ELEVATION. TRUNK FLARE MUST BE VISIBLE AFTER PLANTING.
- COMPOSTED BARK MULCH TO BE KEPT AT LEAST 125mm AWAY FROM BASE OF TREE TRUNK ALL SIDES.
- ONLY PRUNE BROKEN OR DAMAGED BRANCHES USING APPROVED PRUNING TOOLS AND STANDARD I.S.A. PRUNING PRACTICES AS DIRECTED BY CONSULTANT OR PROJECT ARBORIST. SEE SPECIFICATIONS.
- PLANTING PIT MUST BE FREE DRAINING.
- ROOT BARRIER TO BE PROVIDED FOR TREES WITHIN 2m OF A PAVED SURFACE. ROOT BARRIER TO BE 600mm DEEP AND EXTEND FOR 2m EACH WAY FROM CENTER OF TREE.
- CONTRACTOR TO DIG ONE SAMPLE TREE PIT FOR CONSULTANT REVIEW PRIOR TO FILLING WITH GROWING MEDIUM.
- TREE TAGS ARE NOT TO BE REMOVED WITHOUT CONFIRMATION / INSTRUCTION FROM LANDSCAPE ARCHITECT.



4 TREE PLANTING ON GRADE
 SCALE: 1:40

NOTES:

- SHRUB TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL OR POT LEVEL WITH FINISH GRADE ELEVATION.
- COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 125mm AWAY FROM STEMS OF SHRUB.
- PLANTING PIT MUST BE FREE DRAINING.
- THE BELOW DETAIL DOES NOT REPRESENT ANY PARTICULAR SPECIES.



5 SHRUB PLANTING ON SLAB
 SCALE: 1:20

Surrey Village

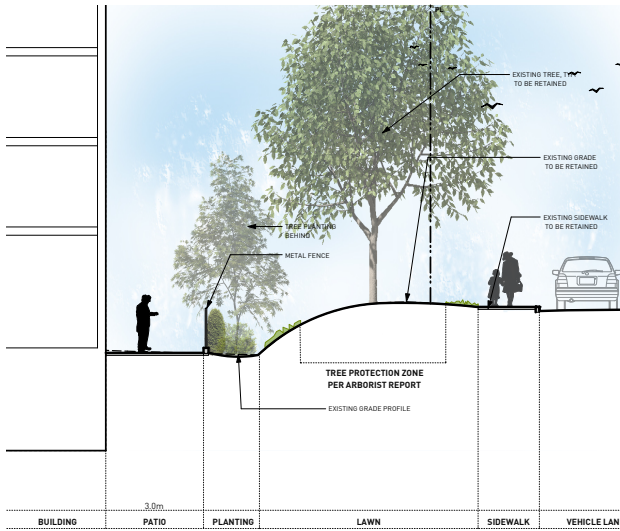
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 Surrey, BC

Landscape Details

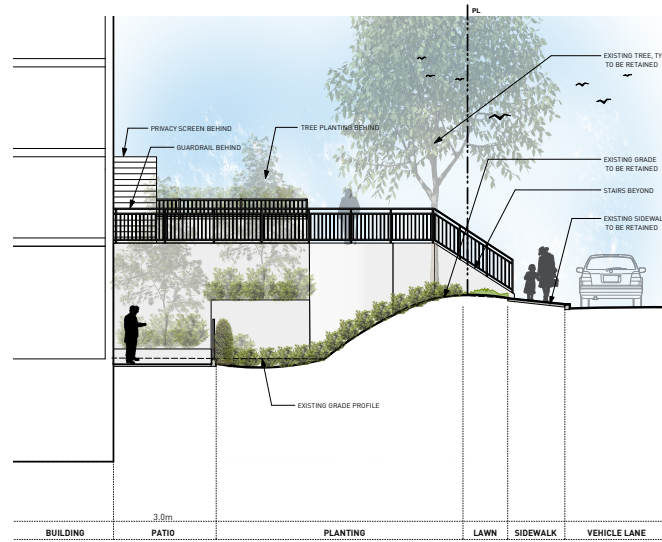
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DRAWN	FLD/ZLJZ
REVIEWED	
DRAWING	

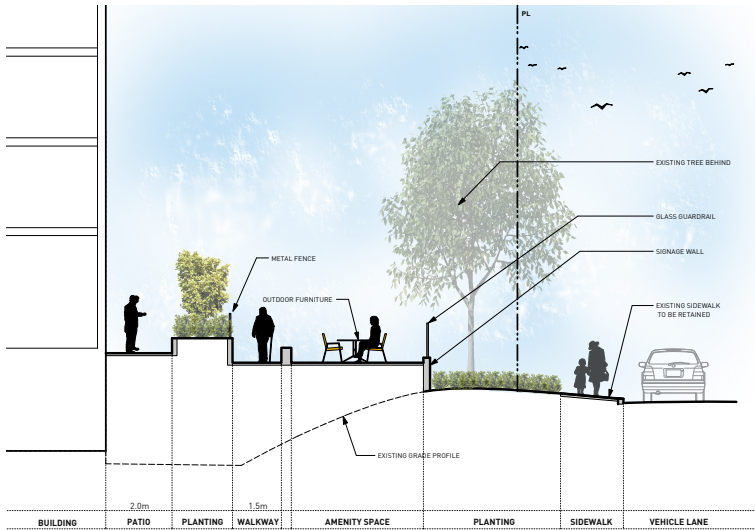
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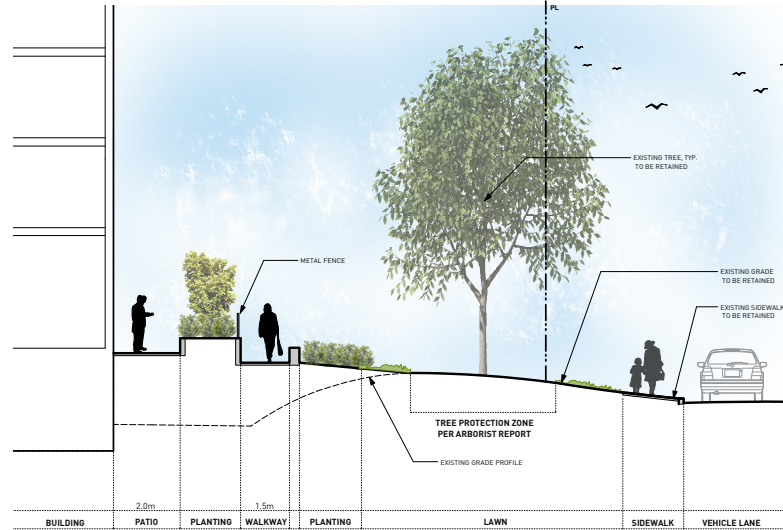
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Scale: 1:150



2 LANDSCAPE SECTION ALONG KING GEORGE BLVD 2
Scale: 1:150



3 LANDSCAPE SECTION ALONG KING GEORGE BLVD 3
Scale: 1:150



4 LANDSCAPE SECTION ALONG KING GEORGE BLVD 4
Scale: 1:150

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	18-6-19	Issued for Meeting
2	18-9-7	ISSUED FOR DEVELOPMENT VARIANCE PERMIT
3	18-10-26	REQUESTED FOR DUP
4	19-2-14	SUBMISSION TO ADP
5	19-3-14	Revisions to ADP

PROJECT
Surrey Village

ADDRESS
9835 King George Highway
Surrey, BC

DRAWING TITLE
Landscape Sections
Along King George Blvd

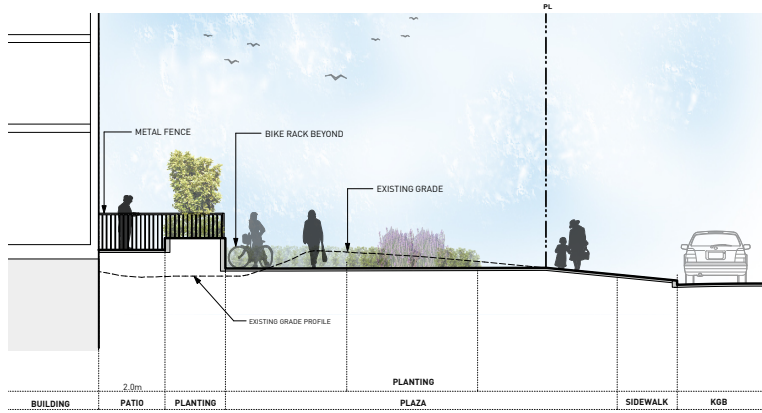
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SCALE
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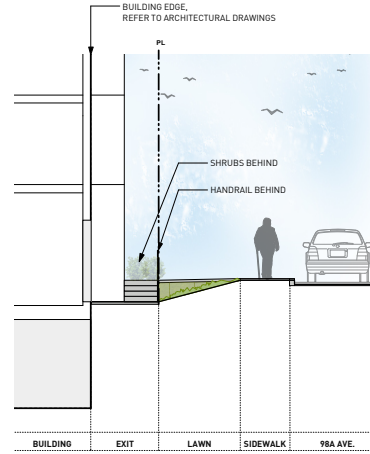
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DATE: May 2018
FILE NAME: 18050 Section.vwk
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REVIEWED: GB



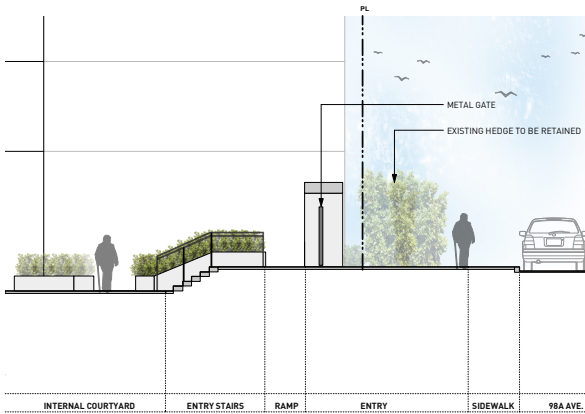
REVISIONS AND ISSUES	
NO.	DESCRIPTION
5	19-3-14 Revisions To ADP



1 LANDSCAPE SECTION ALONG KING GEORGE BLVD 5
 Scale: 1:150



2 NORTH EXIT
 Scale: 1:150



3 NORTH COURTYARD ENTRY SECTION
 Scale: 1:150

PROJECT
Surrey Village

ADDRESS
 9835 King George Highway
 Surrey, BC

DRAWING TITLE
**Landscape Sections
 Courtyard**

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NORTH	SCALE
	As Shown

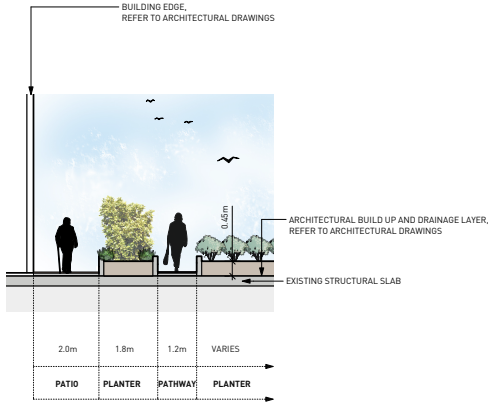
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REVIEWED	GB
DRAWING	

L6.02

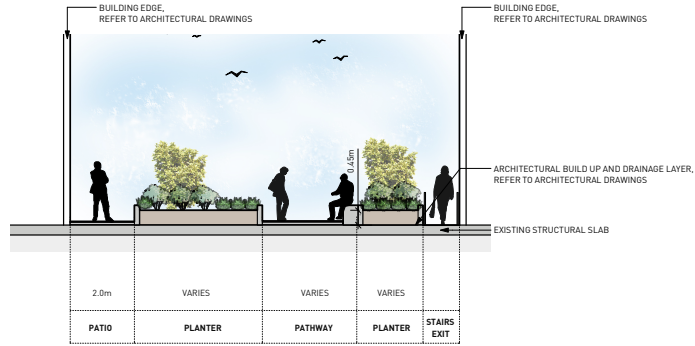


REVISIONS AND ISSUES

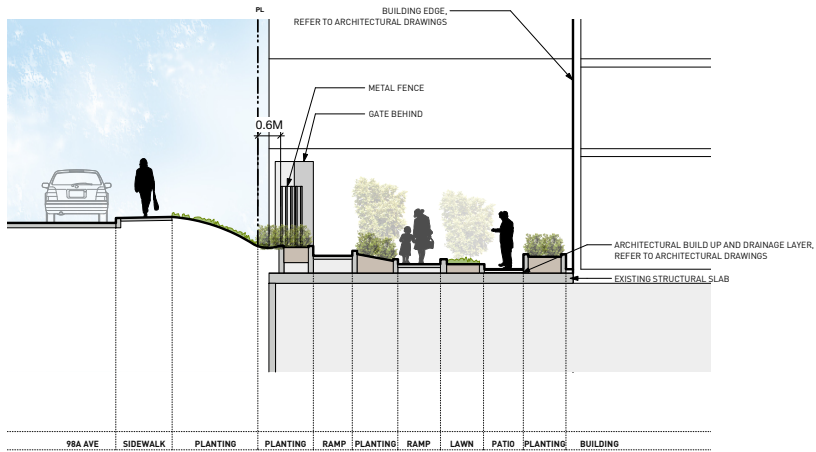
NO.	DATE	DESCRIPTION
5	19-3-14	Revisions To ADP



1 **COURTYARD SECTION 1**
 Scale: 1:150



2 **COURTYARD SECTION 2**
 Scale: 1:150



3 **COURTYARD SECTION 3**
 Scale: 1:150

PROJECT
Surrey Village

ADDRESS
 9835 King George Highway
 Surrey, BC

DRAWING TITLE
**Landscape Sections
 Courtyard**

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NORTH	SCALE
	As Shown

PROJECT NO.	18050
DATE	May 2018
FILE NAME	18050 Section.vwx
PLOTTED	
DRAWN	FLD/ZLJZ
REVIEWED	GB

DRAWING

L6.03