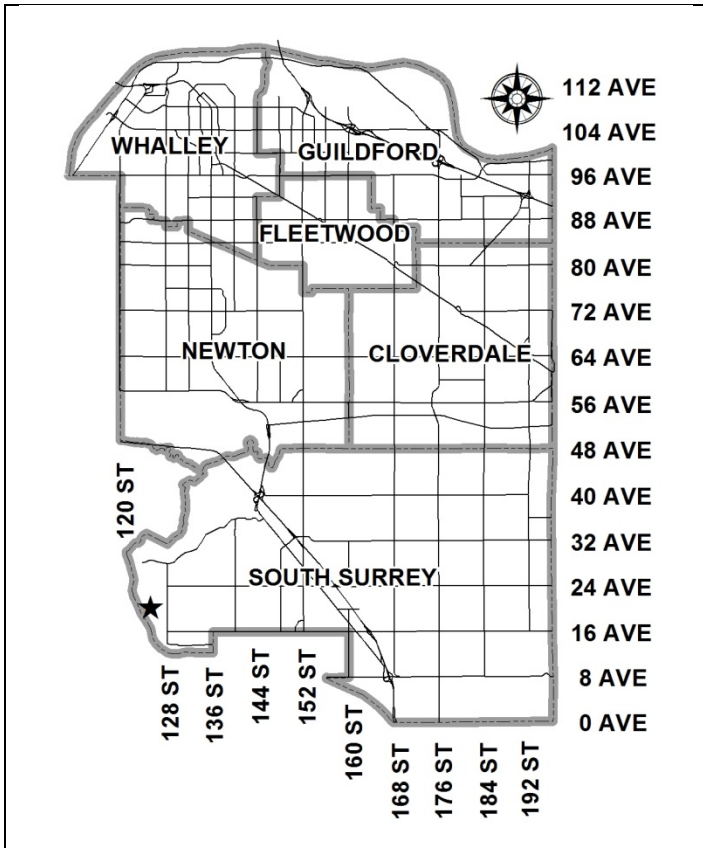


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7918-0084-00

Planning Report Date: March 12, 2018



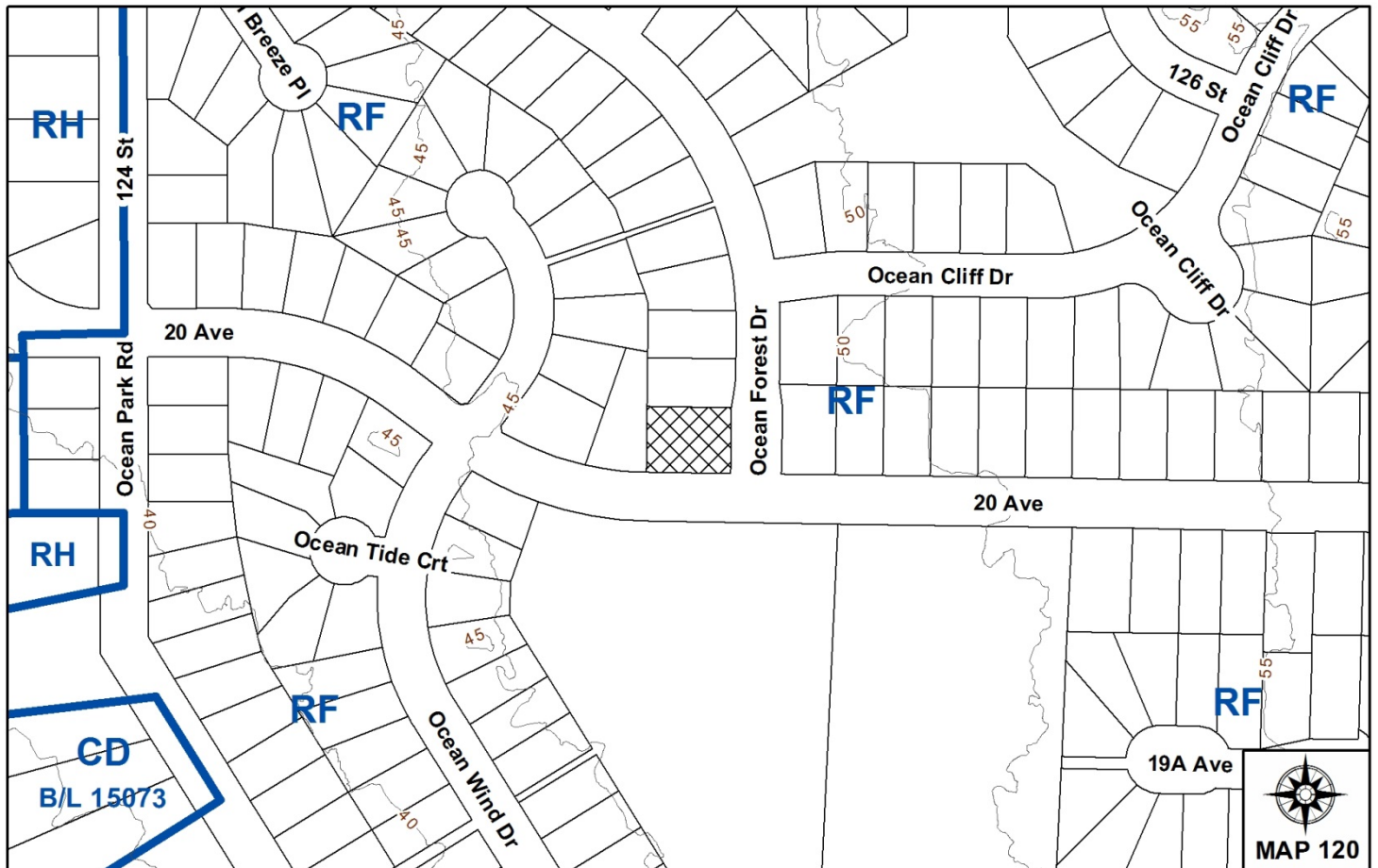
PROPOSAL:

- **Development Variance Permit**
to reduce the minimum front yard setback for two existing accessory buildings.

LOCATION: 2005 - Ocean Forest Drive

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to reduce the minimum front yard setback for two existing accessory buildings from 18 metres (60 ft.) to a minimum of 11 metres (36 ft.).

RATIONALE OF RECOMMENDATION

- The reduced front yard setback of 11 metres (36 ft.) will allow for two existing, non-conforming accessory buildings (sheds) to be retained. The second accessory building is located approximately 14 metres (47 ft.) from the front yard lot line.
- The existing sheds are well-screened from the street by trees and landscaping, and separated from the adjacent property by a 1.8 metre (6 ft.) high fence.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7918-0084-00 (Appendix II) to reduce the minimum front yard setback of the RF Zone for two accessory structures from 18 metres (60 ft.) to a minimum of 11 metres (36 ft.), to proceed to Public Notification.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Single family residential dwelling.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwelling.	Urban	RF
East (Across Ocean Forest Drive):	Single family dwelling.	Urban	RF
South (Across 20 Avenue):	Ocean Cliff Elementary School.	Urban	RF
West:	Single family dwelling.	Urban	RF

DEVELOPMENT CONSIDERATIONSBackground/Proposal

- The subject property is located at 2005 - Ocean Forest Drive, is zoned "Single Family Residential Zone (RF)," and designated Urban in the Official Community Plan (OCP).
- The applicant is proposing a Development Variance Permit to reduce the minimum required front yard setback for an accessory structure in the RF Zone from 18 metres (60 ft.) to 11 metres (36 ft.), to legalize an existing shed.
- The existing accessory structure is a shed, which is 100 square metres (1,076 sq. ft.) in size.
- In addition to the accessory structure in question, there is an additional accessory building (pool shed) that encroaches into the required front yard setback of the RF Zone which is located approximately 14 metres (47 ft.) from the front yard lot line.

- The reduced front yard setback will allow for both existing, non-conforming accessory buildings (sheds) to be retained.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum front yard setback of the RF Zone from 18 metres (60 ft.) to a minimum of 11 metres (36 ft.) for two existing sheds.

Applicant's Reasons:

- The reduced front yard setback for an accessory building will allow for two existing, non-conforming accessory buildings to be retained.
- The existing accessory buildings were constructed in approximately 2006. The applicant purchased the property with the existing, non-conforming accessory buildings in 2015.

Staff Comments:

- The existing accessory buildings (sheds) do not comply with the required front yard setback for an accessory structure in the RF Zone.
- The existing sheds are well-screened from the street by trees and landscaping, and separated from the adjacent property to the north by a 1.6 metre (6 ft.) high fence.
- No complaints have been received from neighbours regarding the structure.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential)
Appendix II. Development Variance Permit No. 7918-0084-00

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

KS/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7918-0084-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-715-831
Lot 348 Section 18 Township 1 New Westminster District Plan 59152
2005 - Ocean Forest Drive

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) Section F. Yards and Setbacks of Part 16 "Single Family Residential Zone (RF)", the minimum front yard setback for two accessory structures is reduced from 18 metres (60 ft.) to a minimum of 11 metres (36 ft.).
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

7. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

PROPOSED NEW SINGLE DWELLING

CLIENT: BRAD SMYTH

LEGAL DESCRIPTION

LOT 348 SECTION 18 TOWNSHIP 1 NWD PLAN 59152
PID: 005-715-831

CIVIC ADDRESS

2005 OCEAN FOREST DRIVE, SURREY, BC

ZONING ANALYSIS

ZONE = RF
LOT AREA = 10082.00 SF (937.00 SM)

SITE COVERAGE

PERMITTED 0.32 = 3226.24 SF (299.73 SM)
PROPOSED AREA = 2478.02 SF (230.22 SM)

FLOOR AREA RATIO

PERMITTED FAR = 5028.70 SF (467.18 SM)
PROPOSED FLOOR AREA = 3038.46 SF (282.28 SM)

EXISTING MAIN FLOOR AREA (UNALTERED) = 1047.00 (97.27 SM)
EXISTING GARAGE (UNALTERED) = 462.00 SF (42.92 SM)
EXISTING STORAGE (UNALTERED) = 156.00 SF (14.49 SM)
MAIN FLOOR ADDITION (UNALTERED) = 368.46 SF (34.23 SM)
TOTAL MAIN FLOOR GROSS AREA = 2033.46 SF (188.91 SM)

EXISTING UPPER FLOOR PLAN (UNALTERED) = 1467.00 SF (136.29 SM)

MAXIMUM COVERED OUTDOOR SPACE

PERMITTED = .01 = 502.87 SF
TOTAL OUTDOOR SPACE COVERED = 482.16 SF
- EXISTING VERANDA/ PORCH = 187.70 SF
- ADDITION REAR PATIO = 294.46 SF

BUILDING SETBACKS

FRONT YARD (MIN. 7.50m) = UNALTERED = 10.66m
REAR YARD (MIN. 7.50m) = 10.17m
RIGHT SIDE YARD (MIN. 1.50m) = UNALTERED = 4.75m
FLANKING STREET YARD (MIN. 3.60m) = UNALTERED = 3.91m

GENERAL NOTES:

THESE DRAWINGS HAVE BEEN PREPARED BY JOSS DESIGN INC. TO CONFORM TO CURRENT RESIDENTIAL STANDARDS OF THE BRITISH COLUMBIA BUILDING CODE (B.C.B.C.) 2012 AND THE SPAN BOOK 2004 EDITION. THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO PROVINCIAL AND LOCAL BUILDING CODES AND BY-LAWS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS, AND SPECIFICATIONS PRIOR TO CONSTRUCTION. ANY ERROR OR OMISSIONS SHALL BE BROUGHT TO OUR ATTENTION IMMEDIATELY SO THAT CORRECTIONS CAN BE MADE AND PLANS REPLACED.

DO NOT SCALE DRAWINGS. JOSS DESIGN INC. WILL NOT BE RESPONSIBLE FOR DEPARTURES FROM AND/OR CHANGE TO THESE PLANS.

STRUCTURAL SPECIFICATIONS

EXTERIOR WALLS ARE DRAWN 6" THICK ASSUMING 1/2" PLYWOOD SHEATHING ON 5-12" STUDS. ALL INTERIOR WALLS ARE DRAWN 4" OR 6" THICK FOR 2x4 OR 2x6 STUD WALLS.

DIMENSIONS TO BE TAKEN FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS AND CENTRE OR FACE OF STUDS FOR INT. WALLS AS SHOWN.

ALL HEIGHT DIMENSIONS ON FLOOR PLANS ARE FROM TOP OF FLOOR PLYWOOD.

APPLICATION OF MATERIALS MUST CONFORM TO THE TABLES PROVIDED IN THE SPAN BOOK 2004 EDITION.

BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION WALLS BY FASTENING A SILL PLATE TO THE FOUNDATION WALL WITH 13MM ANCHOR BOLTS SPACED AT 1800MM ON CENTER, UNLESS OTHERWISE NOTED.

FLOOR JOISTS SPANNING MORE THAN 2100MM ARE TO BE BRIDGED AT MID SPAN OR AT 2100MM ON CENTRE BY 38x38 DIAGONAL BRIDGING. ALL SUBFLOORS TO BE 15.5MM T&G PLYWOOD, GLUED AND NAILLED TO THE JOISTS.

WINDOW AND DOOR SIZES ARE APPROXIMATE AND CONTRACTOR SHALL CHECK WITH WINDOW AND DOOR SUPPLIER FOR ACTUAL ROUGH OPENINGS.

ALL LINTELS ARE TO BE 2-38x135 D. FIR NO. 2 OR BETTER, UNLESS OTHERWISE STATED, AND SHALL BE SUPPORTED ON A MINIMUM 38MM BEARING.)

BUILDER TO CHECK SNOW LOAD AND RAIN LOAD GUIDELINES FOR THEIR MUNICIPALITY PRIOR TO CONSTRUCTION.

TOP OF EXTERIOR FOUNDATION WALLS TO BE MIN 6" ABOVE FINISHED GRADE.

ALL GUARDRAILS TO BE 42" IN HEIGHT AND 4" VERTICAL SPACING - ALL GUARDRAILS MUST CONFORM TO ALL RELEVANT REQUIREMENT TO SECTION 9.8.8 OF THE B.C.B.C. 2012.

CONTRACTOR MUST VERIFY ALL SERVICE LINES PRIOR TO CONSTRUCTION.

FOOTINGS MUST PENETRATE BELOW FROST LINE AND BE ON SOLID BEARING.

EXPOSED SHEET METAL FLASHING SHALL BE OF GALVANIZED STEEL.

CAULKING AND FLASHING TO BE PROVIDED AS PER B.C.B.C. 2012.

INSULATION AND VENTILATION

ALL INSULATION TO BE R40 FOR ROOFS, R22 FOR WALLS, AND R28 FOR CANTILEVERED FLOORS, UNLESS OTHERWISE NOTED.

ATTIC ROOF SPACE SHALL BE VENTED WITH ROOF TYPE, EAVE TYPE AND/OR GABLE TYPE VENTS TO A MINIMUM OF 1:300 OF THE INSULATED CEILING AREA. ROOFS CONSTRUCTED WITH ROOF JOISTS SHALL BE VENTED TO A MINIMUM OF 1:150 OF THE INSULATED CEILING AREA.

VENTS SHALL BE UNIFORMLY PLACED AROUND THE BUILDING. CRAWLSPACES MAY ALSO BE HEATED BY A FORCED AIR HEATING SYSTEM OR VENTS TO AN ADJACENT BASEMENT AND SHALL BE VENTED TO ACCORDING TO SECTION 9.32 OF THE B.C.B.C. 2012.

CEILING INSULATION SHALL BE INSTALLED SO AS NOT TO RESTRICT AIR FLOW THROUGH ROOF VENTS TO ATTIC SPACES.

ATTIC SPACES AND CRAWLSPACES TO HAVE A MINIMUM 500x700 ACCESS HATCHWAY.

MISCELLANEOUS

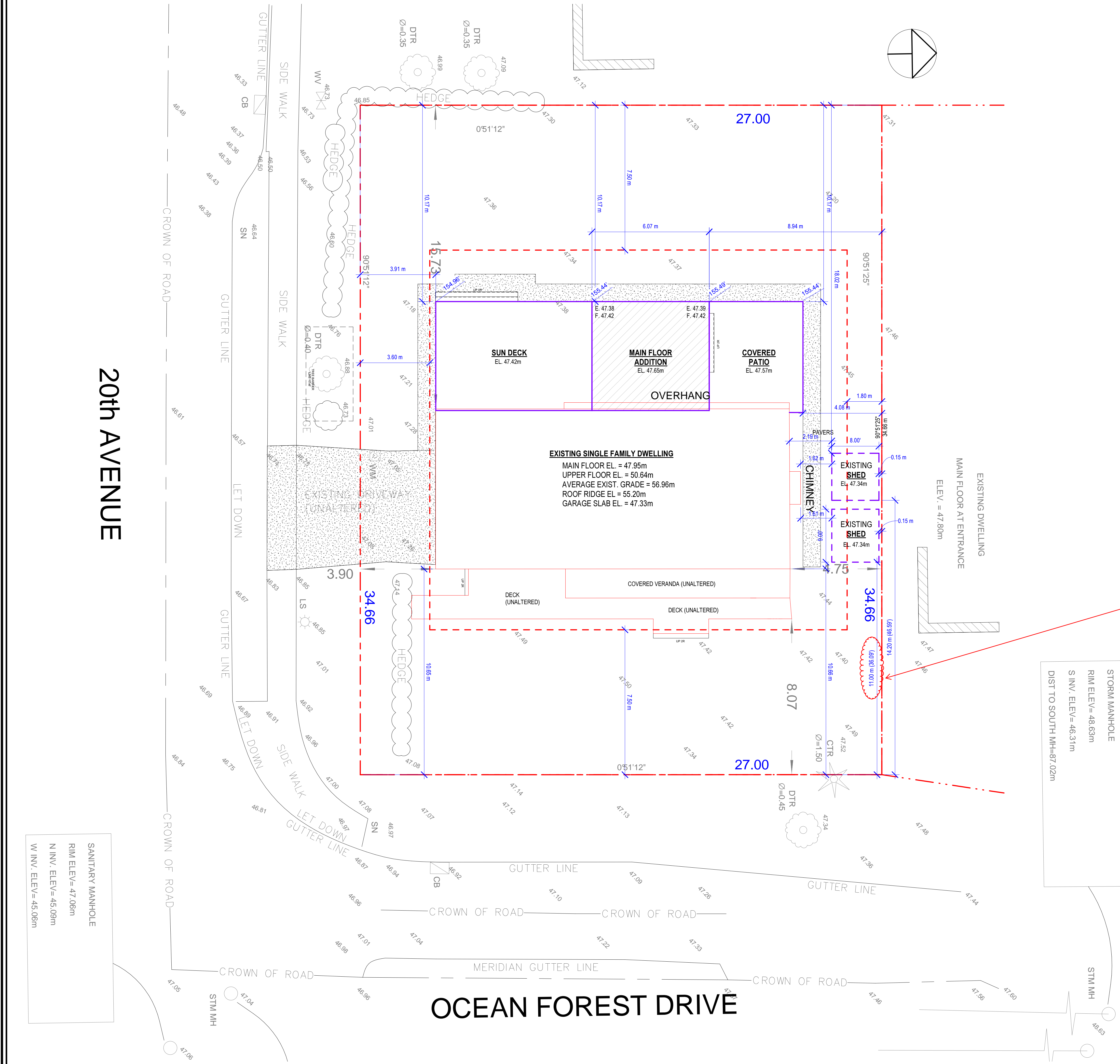
THE INSTALLATION OF PLUMBING, HEATING AND ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND THE APPLICABLE SECTIONS OF THE B.C.B.C. STANDARDS.

DRAWING INDEX

SHEET	DRAWING TITLE
1	SITE PLAN & NOTES

Proposed front yard setback reduced from 18 metres (60 ft.) to 11 metres (36 ft.).

STORM MANHOLE
RIM ELEV.= 48.03m
S INV. ELEV.= 46.31m
DIST TO SOUTH MH=87.02m



20th AVENUE

OCEAN FOREST DRIVE

SANITARY MANHOLE
RIM ELEV.= 47.00m
N INV. ELEV.= 45.09m
W INV. ELEV.= 45.06m

JOSS
1205-22091 FRASER WOOD, RICHMOND, BC
EMAIL: INFO@JOSSHOMEDESIGN.COM
TEL: 778 323-8873

DRAWN JS MARCH 5, 2018

2005 OCEAN FOREST DRIVE, SURREY

PROJECT
SCALE 1/8"=1'-0"

SITE PLAN & NOTES

DRAWING TITLE

1 of 1