

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7917-0154-00

Planning Report Date: June 13, 2022

PROPOSAL:

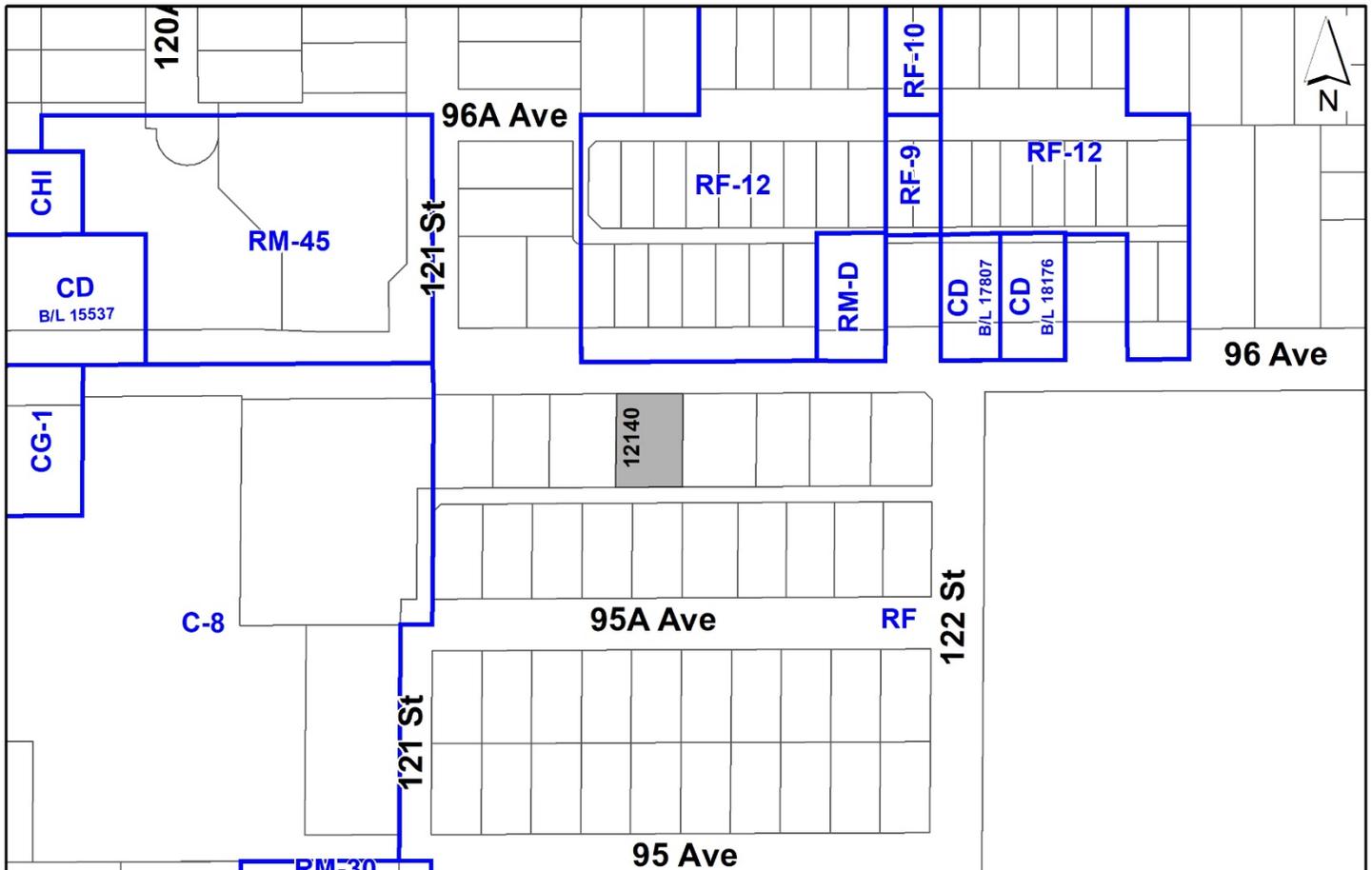
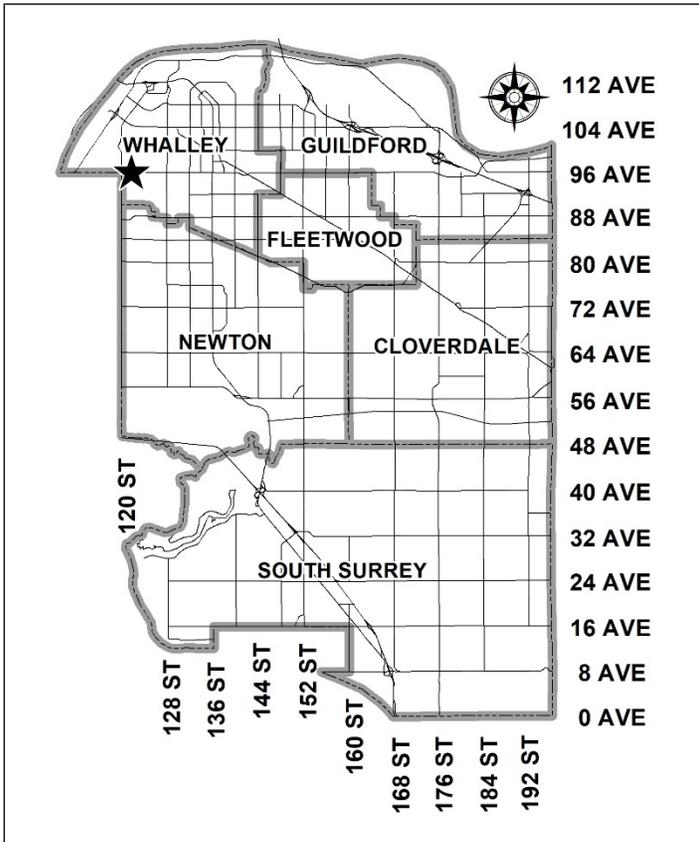
- **Rezoning** from RF to RM-23
- **Development Permit**
- **Development Variance Permit**

to permit the development of 4 row house units.

LOCATION: 12140 - 96 Avenue

ZONING: RF

OCP DESIGNATION: Multiple Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning;
- Approval to draft Development Permit for Form and Character; and
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary the Zoning By-law to increase the maximum number of risers permitted within the front yard setback area from 3 to 4 for Lots 1 to 4.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Whalley.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed development is in close proximity to a Frequent Transit Corridor along 120 Street (Scott Road) and conforms to the goal of achieving higher density development near a transit corridor.
- The proposed setbacks achieve a more urban, pedestrian streetscape in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed variance to the RM-23 lots to allow 4 risers instead of 3 in the front yard setback area is considered minor and is the result of the road dedication requirements along 96 Avenue (which shorten the distance to the front property line) as well as the minor slopes along the front of the subject site.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential 23 Zone (RM-23)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7917-0154-00 generally in accordance with the attached drawings (Appendix I).
3. Council approve Development Variance Permit No. 7917-0154-00 (Appendix V) varying the Zoning By-law to increase the maximum number of risers permitted within the front yard setback area from 3 to 4 for proposed Lots 1 to 4, to proceed to Public Notification.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) submission of an acoustical report for the units adjacent to 96 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
 - (i) registration of a Section 219 Restrictive Covenant on Lots 1 - 4 for structural independence, a "no build" until approval /certification of plans in accordance with Building Code, maintenance, and use of a party wall, and for exterior finishes and drainage.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Single family dwellings	Multiple Residential	RF
North (Across 96 Avenue):	Small single family dwellings	Urban	RF-12
East:	Single family dwelling under Development Application No. 7917-0155-00 for row housing (pre-Council)	Multiple Residential	RF
South:	Single family dwellings	Multiple Residential	RF
West:	Single family dwelling	Multiple Residential	RF

Context & Background

- The subject site consists of two properties located at 12140 – 96 Avenue and 12156 – 96 Avenue in Whalley. The development site is comprised primarily of the property at 12140 – 96 Avenue, along with a portion along the west property line of 12156 – 96 Avenue to be subdivided and incorporated into the development site, resulting in a development site approximately 0.098 hectares in area. The remaining portion of 12156 – 96 Avenue is under a separate Development Application No. 7917-0155-00 that is also proposing 4 row housing units, that is proceeding concurrently with the subject application.
- The subject site is designated "Multiple Residential" in the Official Community Plan (OCP) and is currently zoned "Single Family Residential Zone (RF)".
- There are existing single family dwellings on both properties that will be demolished as part of the development.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential 23 Zone (RM-23)" to allow subdivision into four (4) row housing lots. A Development Permit for Form and Character is also proposed for the row housing units.
- The subject site consists of 12140 – 96 Avenue, with the addition of 56.7 square metres of the neighbouring property at 12156 – 96 Avenue which will be incorporated into the development site. This portion of 12156 – 96 Avenue is required in order to provide a feasible development site for the proposed row house building.
- The applicant is proposing one row housing building that will contain four (4) row housing units, with each unit on a separate lot. Each individual row house is three storeys.

- The proposed development is adjacent to Development Application No. 7917-0155-00, on the remaining portion of 12156 – 96 Avenue to the east and is an application for a similar proposal. Both applications will be developed simultaneously by the property owners.
- The proposed RM-23 lots are 7.2 metres in width for the end lots and 6.3 metres in width for the internal lots. The RM-23 lots vary in area from 208 square metres to 238 square metres which meet the minimum dimensions for the RM-23 Zone. The RM-23 lots will be accessed via a rear lane.
- The form, character and density of the proposed development complies with the OCP designation of Multiple Residential. The proposed row houses, although on fee-simple lots, are multi-family in character, as each building contains four separate dwelling units, separated by party walls which correspond to the property lines between each individual parcel.
- The RM-23 units require party wall agreements between owners, as units share common walls along their common property line. A party wall agreement for shared maintenance, along with a Section 219 Restrictive Covenant, will be required to be registered on title for each lot.
- Proposed Lots 1 to 4 will require a variance to the Zoning Bylaw to increase the maximum number of risers permitted within the front yard setback area from 3 to 4. This variance is the result of the road dedication requirements along 96 Avenue (which shorten the distance to the front property line) as well as the minor slopes along the front of the subject site. Staff consider the proposed variance to be minor.
- The proposal complies with all other zoning provision in the Zoning Bylaw and the RM-23 Zone.
- The proposed development will allow for a similar lot pattern for the rest of the block to be achieved through future rezoning and subdivision applications for row housing units.
- The following table provides development details for the proposal:

	Proposed
Lot Area	
Gross Site Area:	0.098 hectares
Road Dedication:	0.009 hectares
Net Site Area:	0.089 hectares
Number of Lots:	4
Building Height:	9.2 metres
Unit Density:	45 UPH
Floor Area Ratio (FAR):	0.65 FAR

Referrals

Engineering:

The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District has advised that there will be approximately 5 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

2 Elementary students at Kirkbride Elementary School
1 Secondary students at L.A. Matheson Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by June 2024.

Transportation Considerations

- The application will provide approximately 90 square metres of road dedication.
 - 3.0 metres of dedication is required for 96 Avenue for an ultimate road dedication of 30 metres.
- Proposed Lot 1 to 4 will be oriented towards 96 Avenue. Driveway access from 96 Avenue is not permitted as it is an arterial road. Each RM-23 unit will have pedestrian access from the street (96 Avenue) and vehicular access via the existing rear lane.
- The subject site is about 64 metres away to bus service along 96 Avenue. These routes include bus route 316 and 329 to Surrey Central Station / Scottsdale Station and bus route 314 to Surrey Central Station / Sunbury Station.
- The subject site is also about 285 metres away to bus service along 120 Street (Scott Road). These routes include bus route 319 to Scott Road Station / Newton Exchange, bus route 312 and 391 to Scott Road Station / Scottsdale Exchange and bus route 329 to Surrey Central / Scottsdale Exchange.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated as "General Urban" in the Metro Vancouver Regional Growth Strategy (RGS). The "General Urban" designation is intended for residential neighbourhoods and centres. The proposed row house units/lots comply with this designation.

Official Community Plan

Land Use Designation

- The proposal complies with the "Multiple Residential" designation of the Official Community Plan (OCP), which is intended to support medium to high density residential neighbourhoods. This designation allows up to 1.5 FAR in areas outside of urban centres. The proposed development complies with allowable FAR in the designation.
- The proposal is also consistent with the following OCP Themes/Policies:

Themes/Policies

- Theme A1: Growth Priorities
 - A.1.3: Accommodate urban land development according to the following order of growth management:
 - A.1.3b: Vacant or under-developed commercial, mixed-use and multi-family locations in existing urban areas, particularly along transit corridors and areas well-served by existing community amenities and infrastructure.
 - A.1.3c: Serviced infill areas and redevelopment sites in appropriate locations within existing residential neighbourhoods, when developed compatible with existing neighbourhood character.
 - The proposed development will support growth by increasing density in an existing neighbourhood. The proposed development will allow for a similar lot pattern for the rest of the block to be achieved through future rezoning and subdivision applications for row housing units. The Development Permit for Form & Character will include thoughtful design measures to ensure any future development will be compatible with the character of the proposed development.
- Theme A2: Accommodating Higher Density
 - A.2.1: Direct residential and mixed-use development into Surrey's City Centre, Town Centres, Urban Centres, Skytrain Corridor Planning Areas along Frequent Transit Corridors and in approved Secondary Plan areas, at densities sufficient to encourage commercial development and transit service expansion.
 - A.2.6: Support the redevelopment of Frequent Transit Corridors that fall outside of Town Centres to a higher-density; concentrate these developments within Frequent Transit Development Areas (FTDA), Skytrain Corridor Planning Areas and within 400 metres of existing or planned Rapid Transit stops.
 - The proposed development is in close proximity to a Frequent Transit Corridor along 120 Street (Scott Road) that falls outside of a Town Centre. The proposed density conforms to the goal of achieving higher density development near a transit corridor that also has rapid bus stops.

- Theme B3: Transit Corridors
 - B.3.1: Support higher-density residential, commercial and mixed-use development in appropriate locations along existing and planned Frequent Transit Corridors and Skytrain Corridor Planning Areas outside of Surrey's Town Centres.
 - B.3.3: Support redevelopment opportunities for medium-density, street-oriented, mixed-use infill within identified Frequent Transit Development Areas, that is sensitive to the character of existing residential areas.
 - The proposed density conforms to the goal of achieving medium-density, street-oriented residential development, while maintaining the character of the existing residential area. The proposed development provides a density transition from the neighbouring detached single family residential area to the proposed medium-density rowhouses along an arterial road close to a Frequent Transit Corridor.

Zoning By-law

- The applicant proposes to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential 23 Zone (RM-23)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Multiple Residential 23 Zone (RM-23)", streamside setbacks and parking requirements.

RM-23 Zone (Part 21A)	Permitted and/or Required	Proposed
Unit Density:	57 UPH	45 UPH
Floor Area Ratio:	1.5	0.65
Lot Coverage:	50% (Internal Lots) 60% (End Lots)	29% (Internal Lots) 29% (End Lots)
Yards and Setbacks		
North (front):	3.5 metres	3.5 metres
East (side):	1.2 metres	1.2 metres
South (rear):	12.5 metres	17.6 metres
West (side):	1.2 metres	1.2 metres
Height of Buildings		
Principal buildings:	9.5 metres	9.2 metres
Accessory buildings:	5 metres	5 metres
Parking (Part 5)	Required	Proposed
Number of Stalls	2 per lot	3 per lot

Setback Variance

- The applicant is requesting the following variances:
 - varying the Zoning By-law to increase the maximum number of risers permitted within the front yard setback area from 3 to 4 for Lots 1 to 4.

- This variance is the result of the road dedication requirements along 96 Avenue as well as the minor slopes along the front of the subject site.
- The proposal complies with all other zoning provision in the Zoning Bylaw and the RM-23 Zone.
- Staff consider this to be a minor variance and support the requested variance to proceed for consideration.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. As this project is not within a Secondary Plan area, the current rate is \$4,000 per new unit.
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the densities in the OCP designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- As the subject application was instream on April 10, 2018, the contribution does not apply.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on July 16, 2019, and May 16, 2022, and the Development Proposal Signs were installed on July 17, 2019. Staff received no responses from neighbouring property owners to date.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.

- All four proposed RM-23 units will be three-storeys in height.
- The proposed row house units have been specifically designed to interface well with 96 Avenue and to provide an attractive interface with the public realm. Each RM-23 unit will have pedestrian access from the street (64 Avenue) and vehicular access via an existing rear lane. In addition, the street-fronting units contain active living space on the ground floor, doors facing the street and a walkway connecting each residence to the street.
- The buildings are designed to step with the grades of the site, which will help to break up the massing of the buildings. Articulation is provided along the elevations, and the roof line is broken up through stepping the buildings with the grade.
- Proposed cladding materials consist of horizontal hardie siding and hardie panel. Asphalt shingles are proposed as the roofing material. The proposed colour scheme will be finalized as part of the completion of the Development Permit.
- Landscaping around the row houses consists of a generous combination of trees and shrubs in both coniferous and deciduous varieties. Landscaping along the front yards is proposed to provide buffering from 96 Avenue.

TREES

- Mike Fadum, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Coniferous Trees			
Colorado Blue Spruce	1	1	0
Total	1	1	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		8	
Total Retained and Replacement Trees		8	

- The Arborist Assessment states that there is a total of one mature tree on the site. There are no Alder and Cottonwood trees on site. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees at a 2 to 1 replacement ratio for all trees. This will require a total of 2 replacement trees on the site. The applicant is proposing 8 replacement trees, exceeding City requirements.

- The new trees on the site will consist of a variety of trees including Japanese Maple, Bruns Serbian Spruce, and Pink-flowered Japanese Snowball.
- In summary, a total of 8 trees are proposed to be retained or replaced on the site with a no contribution to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Development Variance Permit No. 7917-0154-00

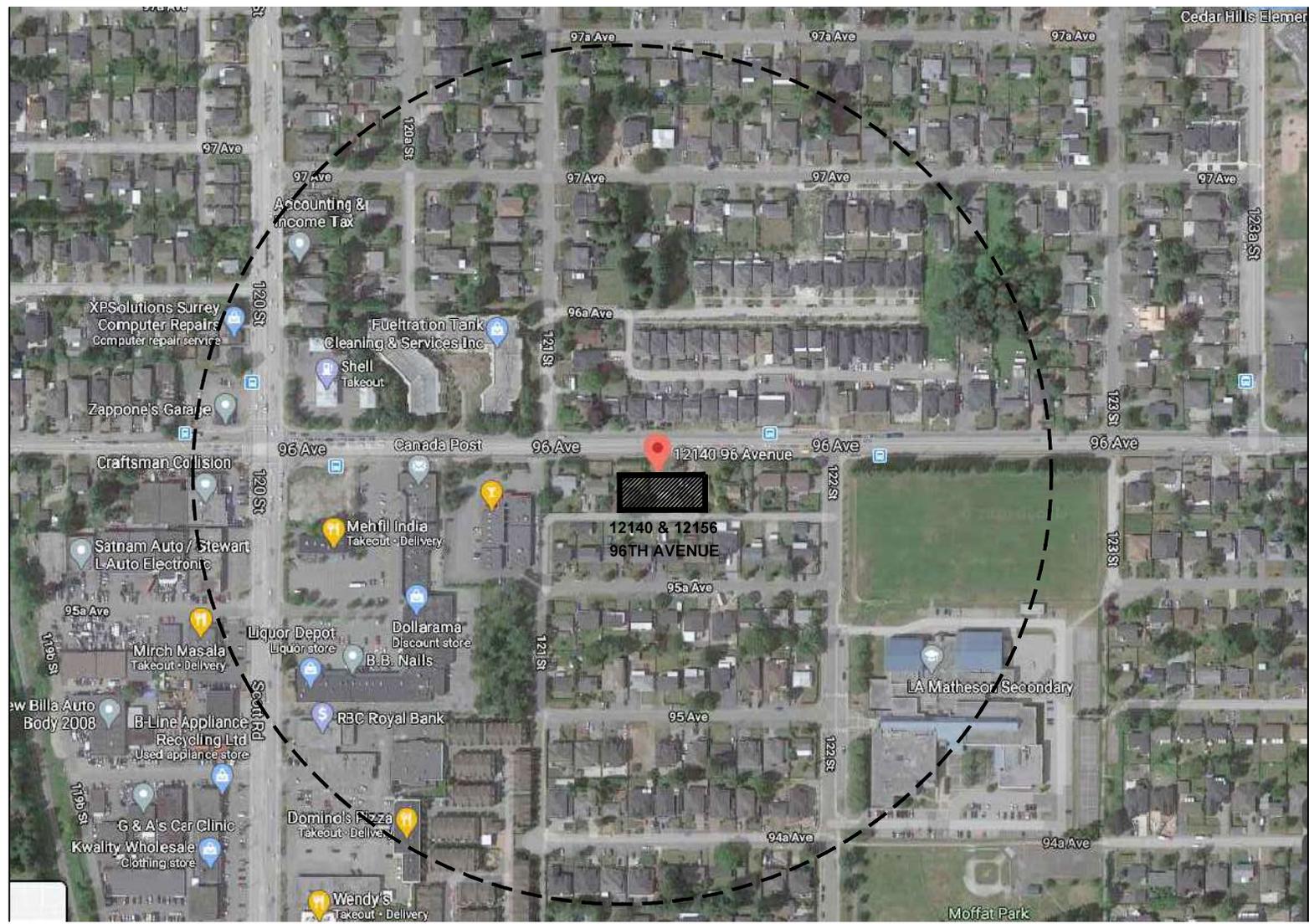
approved by Ron Gill

Jeff Arason
Acting General Manager
Planning and Development

SJ/cm



Applin & Martin Consultants Ltd.
 201 - 12448 96 Avenue, Surrey, B.C. V3W 3E9
 Tel: (604) 587-0958, Fax: (604) 587-0951
 Email: general@aplinmartin.com



TRUE NORTH
 PROJECT NORTH
 1/40.1 SCALE(S)
SITE CONTEXT PLAN



ARCHITECT
 ANDY IGEL, AIBC, AIA, AIA, MRAIC, NCARB
 APLIN & MARTIN CONSULTANTS LTD.

REV	DATE	DESCRIPTION	DR	RV
1		ISSUED FOR DEVELOPMENT PERMITS	CL	VC
2		REVISED PERMITS DEVELOPMENT PERMITS	CL	VC
3		REVISED PERMITS DEVELOPMENT PERMITS	CL	VC
4		REVISED PERMITS DEVELOPMENT PERMITS	CL	VC
5		REVISED PERMITS DEVELOPMENT PERMITS	CL	VC

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PROJECT: ROWHOMES DEVELOPMENT

12140 & 12156 96 AVENUE
 SURREY, BC

CONTEXT PLAN

SCALE	1/128"=1'-0"	PERMITS
SCALE	1/128"=1'-0"	PERMITS
PROJECT NO.	A0.1	18-120

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PROPERTY INFORMATION

PROPERTY INFORMATION
ADDRESS: 12140 96 Avenue, Surrey, BC
LEGAL DESCRIPTION: LOT 12 SECTION 31 TOWNSHIP 2 PLAN NWP21427 NWD
PID: 010-443-584

ZONING INFORMATION

EXISTING ZONING: RF - SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING: RM-23 MULTIPLE RESIDENTIAL
NCP DESIGNATION: N/A
OCP DESIGNATION: MULTIPLE RESIDENTIAL - 100%

SITE AREA:
GROSS SITE AREA: 9,588 sq.ft. / 891 sq.m. (0.22 ac / 0.089 ha)
NET SITE AREA: 3,966 sq.ft. / 366 sq.m. (0.09 ac / 0.03 ha)

BUILDING AREA:
BUILDING 1
BUILDING FOOTPRINT: 3,161 sq.ft. / 296 sq.m.
GROSS FLOOR AREA: 3,161+3, 178 = 6,279 sq.ft. / 583 sq.m.

DENSITY:
ALLOWABLE EFFICIENCY: 23.0 u.p.a. / 57.0 u.p.h.
PROPOSED EFFICIENCY: 8.35 u.p.a. / 21.0 u.p.h.

UNITS:
TOTAL # OF UNITS: 4 UNITS

LOT COVERAGE:
ALLOWABLE LOT COVERAGE: 30%
LOT 1 COVERAGE: 29%
LOT 2 COVERAGE: 29%
LOT 3 COVERAGE: 29%
LOT 4 COVERAGE: 29%

YARDS & SETBACKS:

	REQUIRED:	PROPOSED:
PRINCIPAL BUILDING:		
FRONT YARD (NORTH):	3.5m (11'-5")	3.5m (11'-5")
REAR YARD (SOUTH):	12.5m (41'-0")	17.5m (57'-7")
SIDE YARD (INTERNAL):	0.0m (0'-0")	1.2m (4'-0")
SIDE YARD (EXTERNAL):	1.2m (4'-0")	1.2m (4'-0")
ACCESSORY BUILDING:		
FRONT YARD (SOUTH):		3.3m (10'-10 1/2")
SIDE YARD (WEST EXTERNAL):		4.1m (13'-5")
SIDE YARD (EXTERNAL):		4.0 m (13'-2")

BUILDING HEIGHT:
MAXIMUM HEIGHT ALLOWED:
PRINCIPAL BUILDING: 31'-0" (9.5m)
ACCESSORY BUILDING: 16'-0" (5.0m)
PROPOSED BUILDING HEIGHT:
BUILDING 1 PRINCIPAL BUILDING: 30'-0 1/2" (9.2m)
ACCESSORY BUILDING: 13'-7 3/4" (4.2m)

ARCHITECT:
ANDY IGEI, AIBC, AIA, AIA, MRAC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

5 APR 11 22 REVISIONS FOR DEVELOPMENT PERM. ZDGL VC
4 JAN 11 22 REVISIONS FOR DEVELOPMENT PERM. QL AI
3 NOV 11 21 REVISIONS FOR DEVELOPMENT PERM. QLAI AI
2 MAR 11 21 REVISIONS FOR DEVELOPMENT PERM. MLRS AI
1 SEP 10 20 REVISIONS FOR DEVELOPMENT PERM. ZDGL VC

PROJECT:
ROWHOMES DEVELOPMENT

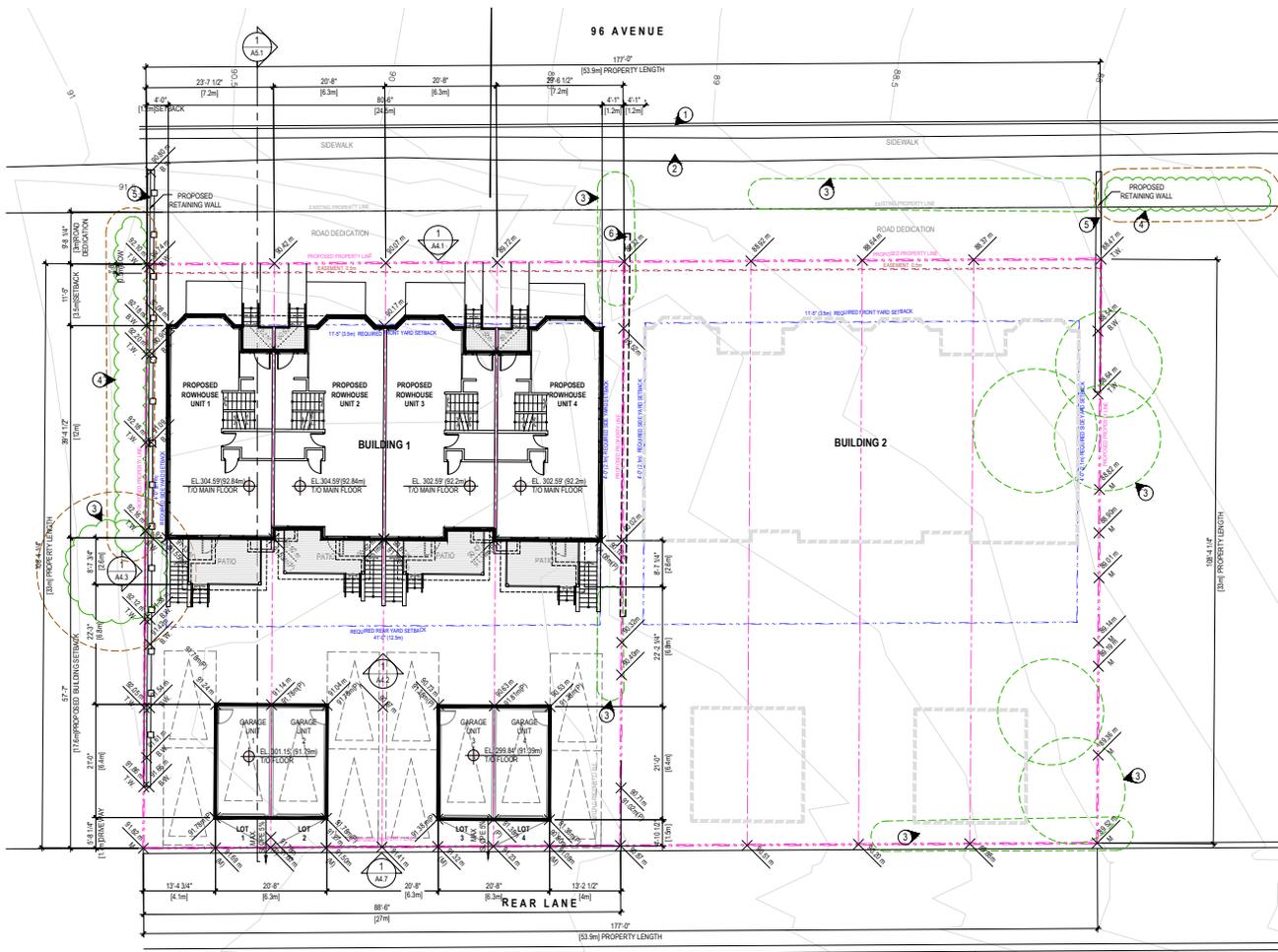
12140 & 12156 96 AVENUE
SURREY, BC

SHEET TITLE:

**SITE PLAN -
BUILDING 1**

SCALE: 3/32" = 1'-0"
DRAWING NO. PROJECT NO.

A1.2a 18-120



SITE PLAN
SCALE: 3/32" = 1'-0"

TRUE NORTH PROJECT NORTH

NOTES:

- 1 ROAD CURBS
- 2 SIDE WALK
- 3 EXISTING TREE / HEDGE TO BE REMOVED
- 4 EXISTING TREE / HEDGE TO REMAIN
- 5 PROPOSED CONCRETE RETAINING WALL. REFER TO CIVIL DRAWING
- 6 EXISTING CONCRETE RETAINING WALL TO BE REMOVED

LEGEND

- PROPOSED PROPERTY LINE
- - - - - EXISTING / ADJACENT PROPERTY LINE
- - - - - BUILDING SETBACK (REQUIRED MINIMUM)
- - - - - RIGHT OF WAY
- EXISTING SITE GRADES
- PROPOSED SITE GRADES
- MATCH EXISTING SITE GRADES

AREA CALCULATIONS

BUILDING 1	LOT AREA	MAIN FLOOR	SECOND FLOOR	TOTAL AREA	GARAGES(NIC)	BAS. FLOOR(NIC)
LOT 1 / UNIT 1	2559 sf / 238 sm	764 sf / 71 sm	797 sf / 74 sm	1561 sf / 145 sm	217 sf / 20 sm	746 sf / 69 sm
LOT 2 / UNIT 2	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm
LOT 3 / UNIT 3	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm
LOT 4 / UNIT 4	2551 sf / 237 sm	761 sf / 71 sm	794 sf / 74 sm	1555 sf / 144 sm	217 sf / 20 sm	743 sf / 69 sm

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PROPERTY INFORMATION

PROPERTY INFORMATION
ADDRESS: 12140 & 12156 96 AVENUE, SURREY, BC
LEGAL DESCRIPTION: LOT 12 SECTION 31 TOWNSHIP 2 PLAN NWP21427 NWD
LOT 4 SECTION 31 TOWNSHIP 2 PLAN NWP18384 NWD
PID: 010-443-584, 010-345-612

ZONING INFORMATION

EXISTING ZONING: RF - SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING: RM-23 MULTIPLE RESIDENTIAL
OCP DESIGNATION: N/A
NCP DESIGNATION: MULTIPLE RESIDENTIAL - 100%

SITE AREA:

GROSS SITE AREA: 20,884.75 sq.ft. / 1,940 sq.m. (0.48 ac / 0.19 ha)
NET SITE AREA: 8,740.59 sq.ft. / 812 sq.m. (0.20 ac / 0.08 ha)

BUILDING AREA:

BUILDING 1
BUILDING FOOTPRINT: 3,101 sq.ft. / 288 sq.m.
GROSS FLOOR AREA: 3,101+3, 178 = 6,279 sq.ft. / 583 sq.m.
BUILDING 2
BUILDING FOOTPRINT: 3,101 sq.ft. / 288 sq.m.
GROSS FLOOR AREA: 3,101+3, 178 = 6,279 sq.ft. / 583 sq.m.
TOTAL BUILDING FOOTPRINT: 6,202 sq.ft. / 576 sq.m.
TOTAL GROSS FLOOR AREA: 12,558 sq.ft. / 1,167 sq.m.

DENSITY:

ALLOWABLE EFFICIENCY: 23.0 u.p.a. / 57.0 u.p.h.a.
PROPOSED EFFICIENCY: 16.7 u.p.a. / 42.0 u.p.h.a.

UNITS:

TOTAL # OF UNITS: 8 UNITS (4 UNITS PER COMPLEX)

LOT COVERAGE:

ALLOWABLE LOT COVERAGE: 60%
PROPOSED LOT COVERAGE: 38%

YARDS & SETBACKS:

	REQUIRED:	PROPOSED:
PRINCIPAL BUILDING:		
FRONT YARD (NORTH):	3.5m (11'-5")	3.5m (11'-5")
REAR YARD (SOUTH):	12.5m (41'-0")	17.5m (57'-7")
SIDE YARD (INTERNAL):	0.0m (0'-0")	1.2m (4'-0")
SIDE YARD (EXTERNAL):	1.2m (4'-0")	1.2m (4'-0")
ACCESSORY BUILDING:		
FRONT YARD (SOUTH):		3m (9'-10")
SIDE YARD (WEST EXTERNAL):		4.1m (13'-5")
SIDE YARD (EAST EXTERNAL):		4.0m (13'-3")

BUILDING HEIGHT:

MAXIMUM HEIGHT ALLOWED:
PRINCIPAL BUILDING: 31'-0" (9.5m)
ACCESSORY BUILDING: 16'-6" (5.0m)

PROPOSED BUILDING HEIGHT:

BUILDING 1 PRINCIPAL BUILDING: 30'-0 1/2" (9.2m)
ACCESSORY BUILDING: 13'-7 3/4" (4.2m)
BUILDING 2 PRINCIPAL BUILDING: 30'-6" (9.3m)
ACCESSORY BUILDING: 13'-8" (4.2m)

ARCHITECT:
ANDY IGEI, AIBC, AIA, AIA, MRAC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

REV	DATE	DESCRIPTION	DR	RV
5	APR 11 22	REVISED FOR DEVELOPMENT PERM	ZDGL	VC
4	APR 11 22	REVISED FOR DEVELOPMENT PERM	QL	AI
3	NOV 15 21	REVISED FOR DEVELOPMENT PERM	QL	AI
2	MAR 22 21	REVISED FOR DEVELOPMENT PERM	MLRS	AI
1	SEP 28 20	REVISED FOR DEVELOPMENT PERM	ZDGL	VC

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PROJECT:

ROWHOMES DEVELOPMENT

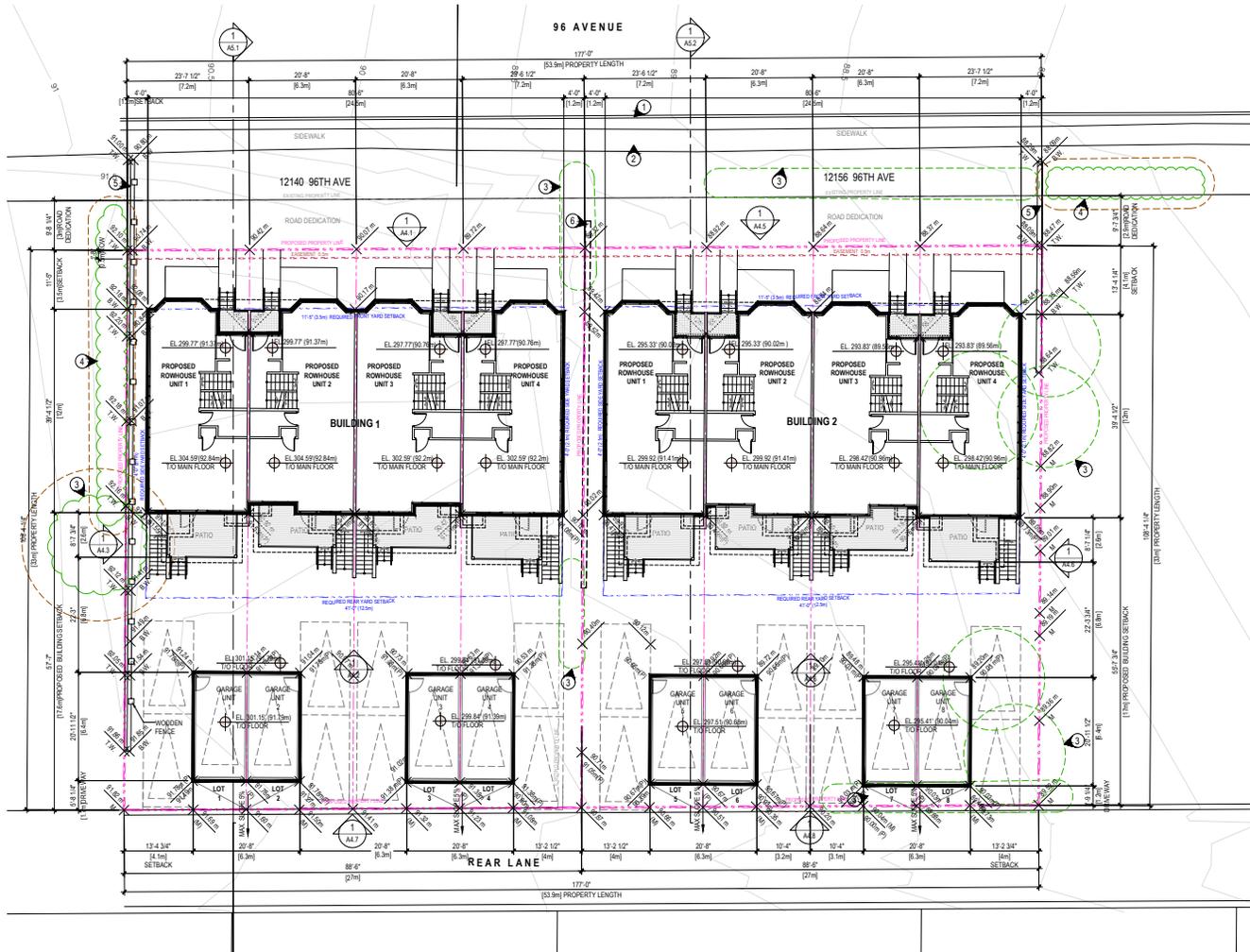
12140 & 12156 96 AVENUE
SURREY, BC

SHEET TITLE:

**OVERALL
SITE PLAN**

SCALE: 3/32" = 1'-0"

A1.2 18-120



1 SITE PLAN
SCALE: 3/32" = 1'-0"
TRUE NORTH
PROJECT NORTH

LEGEND

	PROPOSED PROPERTY LINE
	EXISTING / ADJACENT PROPERTY LINE
	BUILDING SETBACK (REQUIRED MINIMUM)
	RIGHT OF WAY
	6' WOODEN FENCE
	EXISTING SITE GRADES
	PROPOSED SITE GRADES
	MATCH EXISTING SITE GRADES

AREA CALCULATIONS

BUILDING	LOT AREA	MAIN FLOOR	SECOND FLOOR	TOTAL AREA	GARAGES(N/C)	BAS. FLOOR(N/C)
BUILDING 1						
LOT 1 / UNIT 1	2559 sf / 238 sm	764 sf / 71 sm	797 sf / 74 sm	1561 sf / 145 sm	217 sf / 20 sm	746 sf / 69 sm
LOT 2 / UNIT 2	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm
LOT 3 / UNIT 3	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm
LOT 4 / UNIT 4	2551 sf / 237 sm	761 sf / 71 sm	794 sf / 74 sm	1555 sf / 144 sm	217 sf / 20 sm	743 sf / 69 sm
BUILDING 2						
LOT 5 / UNIT 1	2551 sf / 237 sm	761 sf / 71 sm	794 sf / 74 sm	1555 sf / 144 sm	217 sf / 20 sm	743 sf / 69 sm
LOT 6 / UNIT 2	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm
LOT 7 / UNIT 3	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm
LOT 8 / UNIT 4	2560 sf / 238 sm	764 sf / 71 sm	797 sf / 74 sm	1561 sf / 145 sm	217 sf / 20 sm	746 sf / 69 sm

NOTES:

- ROAD CURBS
- SIDE WALK
- EXISTING TREE / HEDGE TO BE REMOVED
- EXISTING TREE / HEDGE TO REMAIN
- PROPOSED CONCRETE RETAINING WALL. REFER TO CIVIL DRAWING
- EXISTING CONCRETE RETAINING WALL TO BE REMOVED



1 MAR. 21 @ 10 AM
A0.2 SCALE: 1/32"=1'-0"



2 MAR. 21 @ 12 PM
A0.2 SCALE: 1/32"=1'-0"



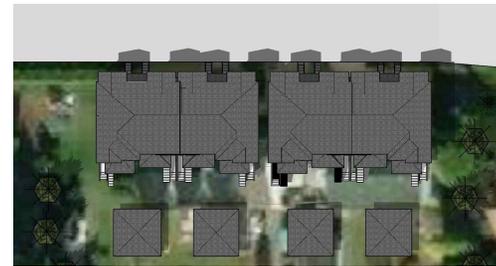
3 MAR. 21 @ 2 PM
A0.2 SCALE: 1/32"=1'-0"



4 JUN. 21 @ 10 AM
A0.2 SCALE: 1/32"=1'-0"



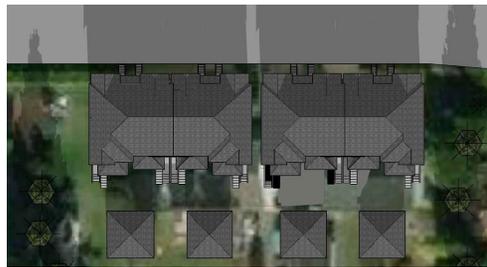
5 JUN. 21 @ 12 PM
A0.2 SCALE: 1/32"=1'-0"



6 JUN. 21 @ 2 PM
A0.5 SCALE: 1/32"=1'-0"



7 DEC. 21 @ 10 AM
A0.2 SCALE: 1/32"=1'-0"



8 DEC. 21 @ 12 PM
A0.2 SCALE: 1/32"=1'-0"



9 DEC. 21 @ 2 PM
A0.2 SCALE: 1/32"=1'-0"



ARCHITECT
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APLIN & MARTIN CONSULTANTS LTD.

5	APL122	REVISION FOR DEVELOPMENT	CL	AI
4	APL122	REVISION FOR DEVELOPMENT	CL	AI
3	APL122	REVISION FOR DEVELOPMENT	CL	AI
2	APL122	REVISION FOR DEVELOPMENT	KL	AI
1	APL122	REVISION FOR DEVELOPMENT	KL	AI

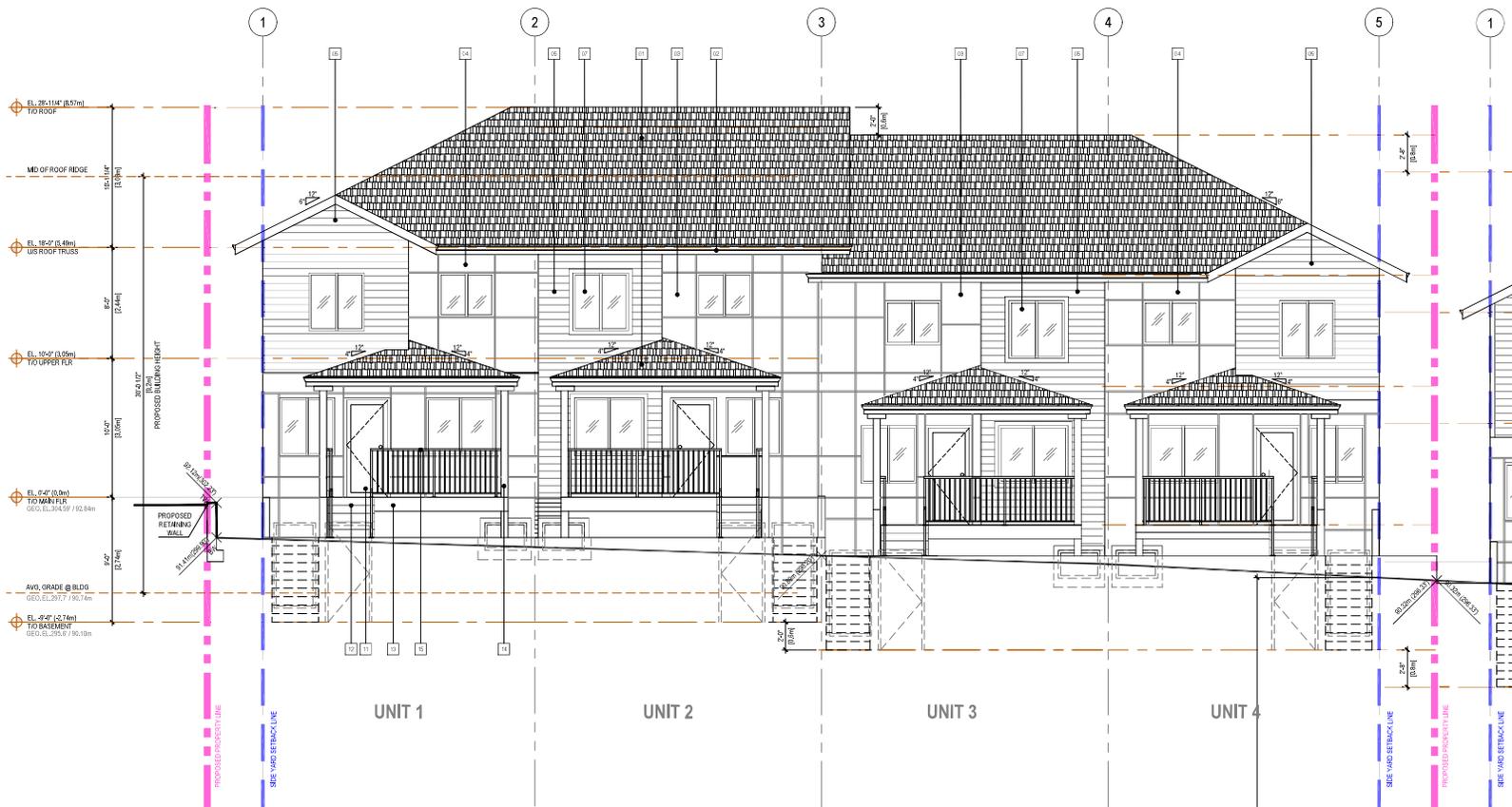
REV	DATE	DESCRIPTION	DR	RV

PROJECT:
**ROWHOMES
DEVELOPMENT**

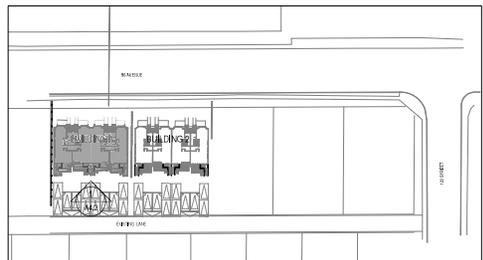
12140 & 12156 96 AVENUE
SURREY, BC

SHEET TITLE:
**SHADOW
STUDY**

SCALE: 1/32"=1'-0"	REV: 00
A0.2	PROJECT NO.: 18-120



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SITE KEY PLAN
SCALE: 1/8" = 1'-0"



ARCHITECT
ANDY IGEL, AIBC, AIA, AIA, M.R.A.C., N.C.A.R.B.
APLIN & MARTIN CONSULTANTS LTD.

REV.	DATE	DESCRIPTION	DR	RV
5	2022-04-25	REVISION FOR DEVELOPMENT	CL	AI
4	2022-04-25	REVISION FOR DEVELOPMENT	CL	AI
3	2022-04-25	REVISION FOR DEVELOPMENT	CL	AI
2	2022-04-25	REVISION FOR DEVELOPMENT	ML	AI
1	2022-04-25	REVISION FOR DEVELOPMENT	CL	AI

MATERIALS LEGEND

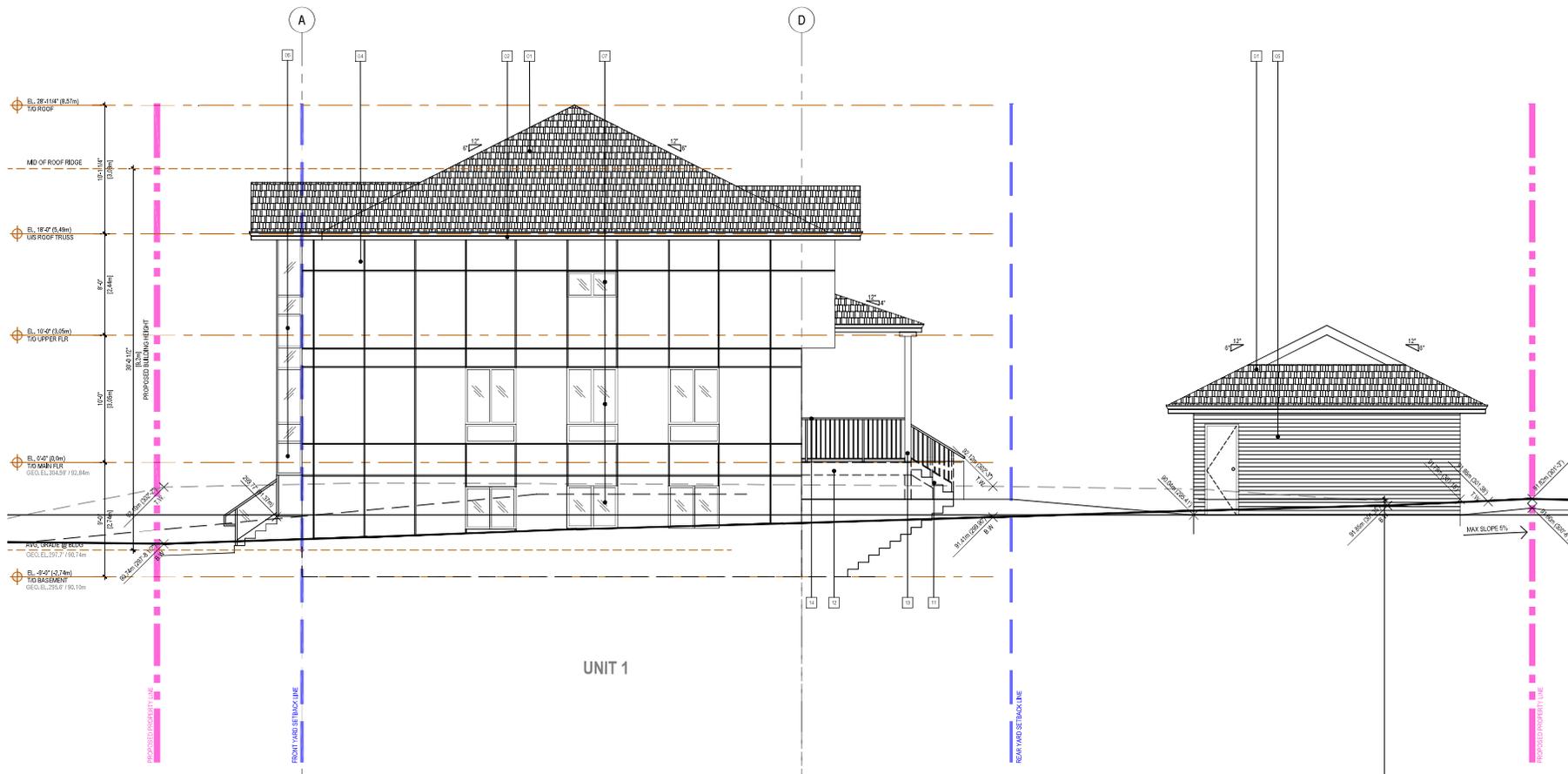
- 01 SHAKE PROFILE ASPHALT SHINGLES ROOF
BLACK
- 02 HARDBE FASQA BOARD WITH ROOF GUTTER
BLACK
- 03 HARDBE PANEL
BIRCHBARK TAN 698
- 04 HARDBE PANEL
BIRCHBARK TRAIL 688
- 05 HORIZONTAL HARDBE SIDING
BIRCHBARK HIGHLANDS TAN 1139
- 06 SPANDEL PANEL
SHAKESPEARE TRIDENT 1039
- 07 VINYL FRAMED WINDOW
BLACK
- 08 SOLID WOOD ENTRY DOOR
NATURAL STAIN
- 09 PANEL GARAGE DOOR
WHITE
- 10 VINYL PATIO DOOR
BLACK
- 11 COMPOSITE STAIR
NATURAL WOOD COLOR W/ CLEAR STAIN
- 12 COMPOSITE DECK
NATURAL WOOD COLOR W/ CLEAR STAIN
- 13 CEDAR POST
NATURAL STAIN
- 14 ALUMINUM RAILING
BLACK

PROJECT:
**ROWHOMES
DEVELOPMENT**

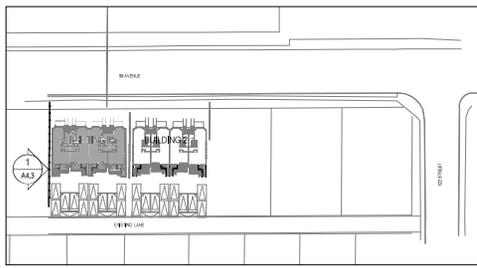
12140 & 12156 96 AVENUE
SURREY, BC

**SOUTH
ELEVATION
(BUILDING 1)**

SCALE: 1/4" = 1'-0"	DATE: 2022-04-25
DRAWING NO. A4.2	PROJECT NO. 18-120



1 WEST ELEVATION
SCALE 1/4" = 1'-0"



2 SITE KEY PLAN
SCALE 1/8" = 1'-0"



MATERIALS LEGEND

01	SHAKE PROFILE ASPHALT SHINGLES ROOF BLACK
02	HARDBE FASQA BOARD WITH ROOF GUTTER BLACK
03	HARDBE PANEL BLACKS/TAN 698
04	HARDBE PANEL BLACKS/TAN 688
05	HARDBENTRAL HARDBE SERRING BIG-HARBOR HIGHLANDS TAN 1139
06	SPANDREL PANEL SHAKEDINO TRIDENT 1039
07	W/HL FRAMED WINDOW BLACK
08	SOLID WOOD ENTRY DOOR NATURAL STAIN
09	PANEL GARAGE DOOR WHITE
10	W/HL PAIR DOOR BLACK
11	COMPOSITE STAR NATURAL WOOD COLOR W/ CLEAR STAIN
12	COMPOSITE DECK NATURAL WOOD COLOR W/ CLEAR STAIN
13	CEDAR POST NATURAL STAIN
14	ALUMINUM RAILING BLACK



ARCHITECT
ANDY IGEL, AIBC, AIA, MRAIC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

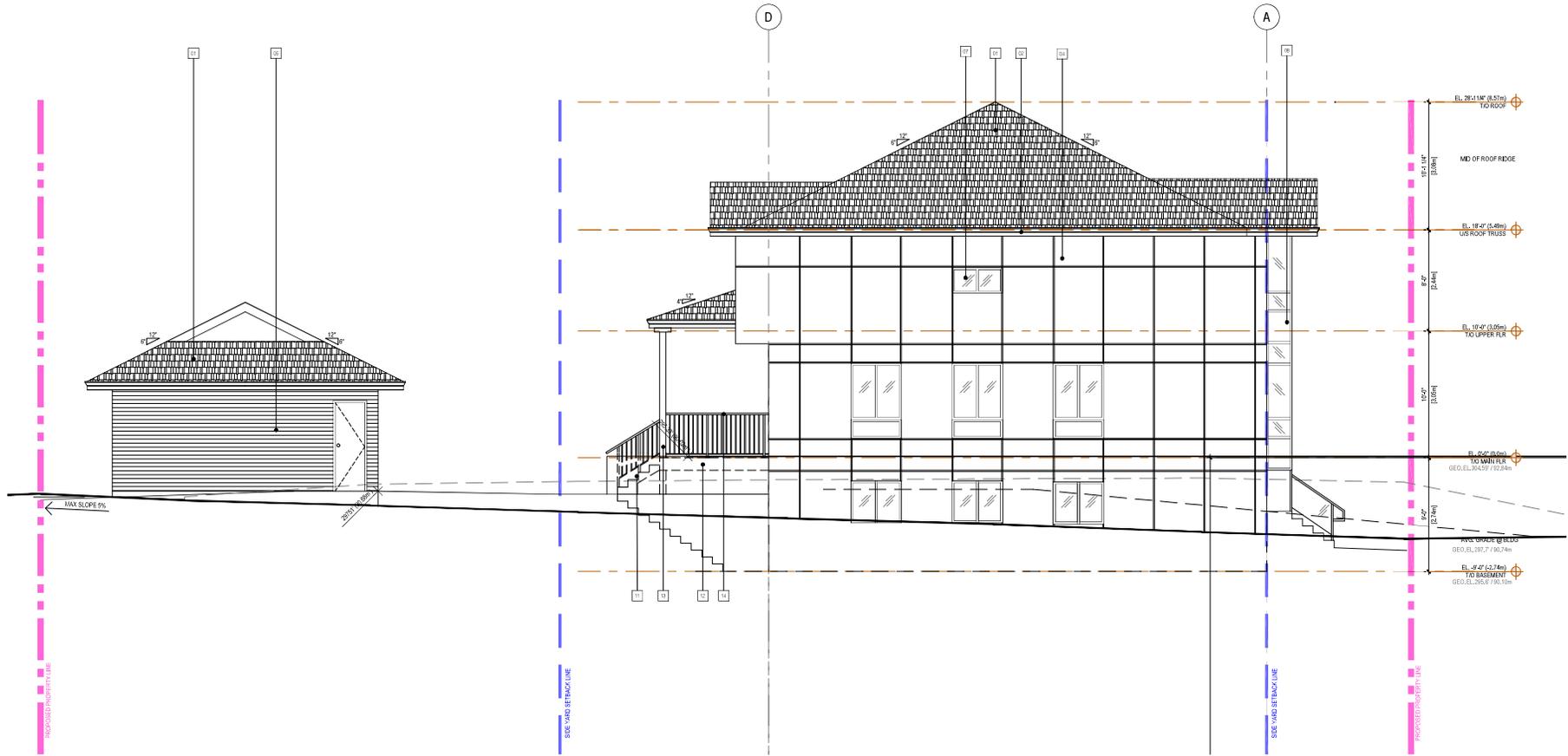
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3	APPLI 1/22	REVISION FOR DEVELOPMENT	12/14/20	AI
2	APPLI 1/22	REVISION FOR DEVELOPMENT	11/16/20	AI
1	APPLI 1/22	REVISION FOR DEVELOPMENT	10/14/20	AI

DATE DESCRIPTION DR RV
 10/14/20 REVISION FOR DEVELOPMENT AI AI
 11/16/20 REVISION FOR DEVELOPMENT AI AI
 12/14/20 REVISION FOR DEVELOPMENT AI AI
 12/14/20 REVISION FOR DEVELOPMENT AI AI

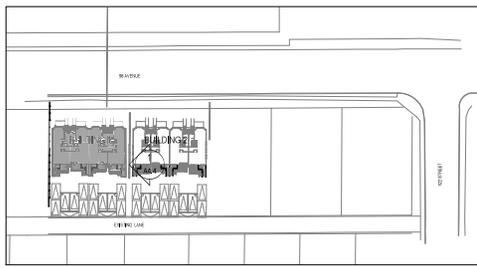
PROJECT
ROWHOMES DEVELOPMENT
12140 & 12156 86 AVENUE
SURREY, BC

SHEET TITLE
WEST ELEVATION (BUILDING 1)

SCALE	1/4" = 1'-0"	SHEET NO.	1
DATE	11/16/20	PROJECT NO.	18-120
A.4.3			



1 EAST ELEVATION
A4.4 SCALE 1/4" = 1'-0"



2 SITE KEY PLAN
A4.4 SCALE 1/8\"/>



ARCHITECT
ANDY JOEL, AIBC, AIA, AIA, MRAC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

MATERIALS LEGEND

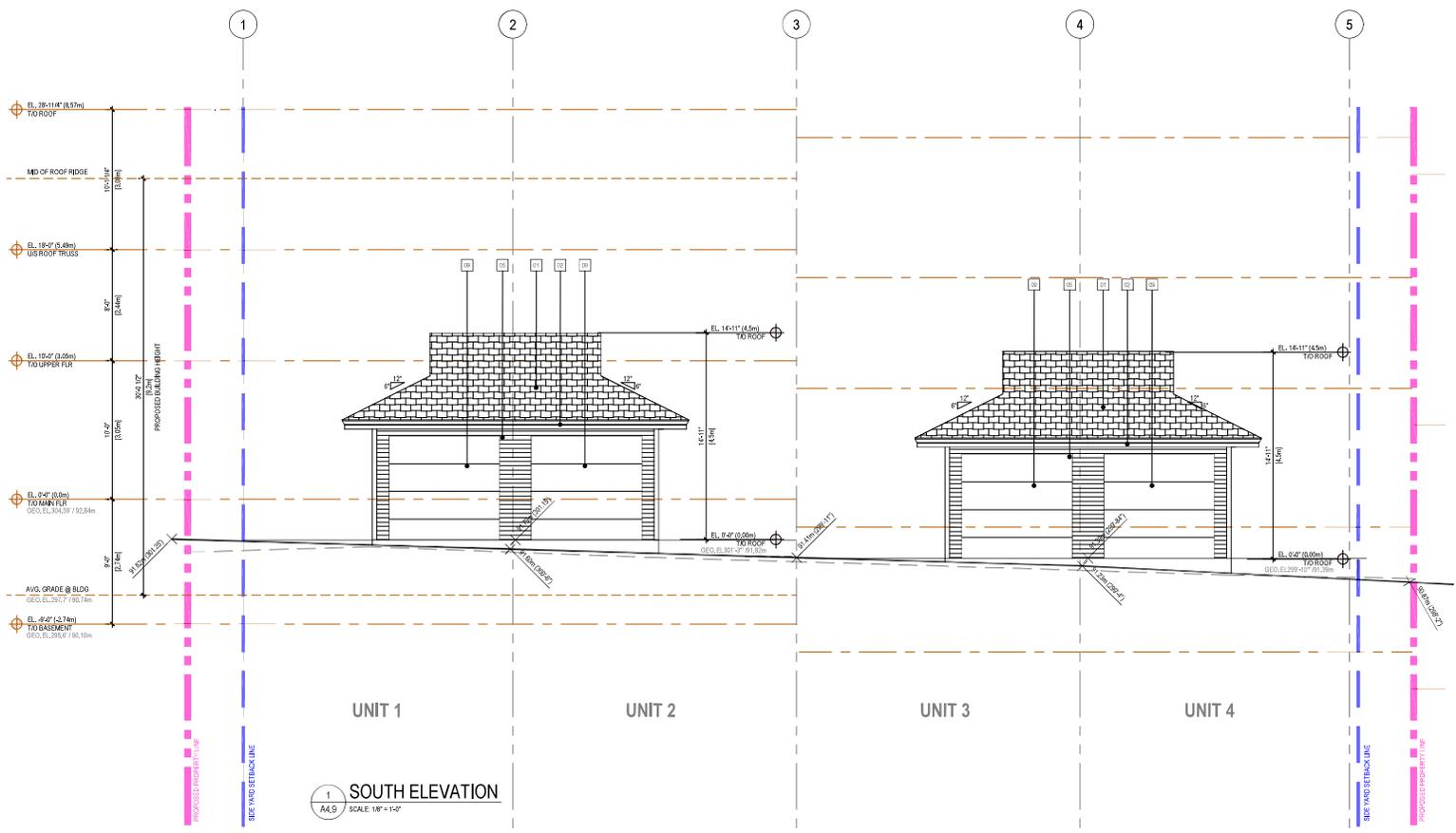
01	SHAKE PROFILE ASPHALT SHINGLES ROOF BLACK
02	HARDBE FASQA BOARD WITH ROOF CUTTER BLACK
03	HARDBE PANEL BLACK/STAIN TAN 688
04	HARDBE PANEL BLACK/STAIN TRAIL 688
05	HORIZONTAL HARDBE SIDING BIG-HARBOR HIGHLANDS TAN 1139
06	SPANDREL PANEL SHIM-DONO TRIM/HT 1259
07	W/HL FRAMED WINDOW BLACK
08	SOLID WOOD ENTRY DOOR NATURAL STAIN
09	PANEL GARAGE DOOR WHITE
10	W/HL PAIR DOOR BLACK
11	COMPOSITE STAIR NATURAL WOOD COLOR W/ CLEAR STAIN
12	COMPOSITE DECK NATURAL WOOD COLOR W/ CLEAR STAIN
13	CEDAR POST NATURAL STAIN
14	ALUMINUM RAILING BLACK

CHANGES AND REVISIONS AS NOTED THROUGHOUT OF SHEETS.
FOR THE RECORD, THE ARCHITECT HAS REVIEWED THE WORK FOR CONFORMANCE WITH THE BRITISH COLUMBIA BUILDING ACT AND THE
REGULATIONS THEREUNDER. THE ARCHITECT'S REVIEW DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.
THE ARCHITECT HAS REVIEWED THE WORK FOR CONFORMANCE WITH THE BRITISH COLUMBIA BUILDING ACT AND THE REGULATIONS THEREUNDER.
FOR THE RECORD, THE ARCHITECT HAS REVIEWED THE WORK FOR CONFORMANCE WITH THE BRITISH COLUMBIA BUILDING ACT AND THE
REGULATIONS THEREUNDER. THE ARCHITECT'S REVIEW DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

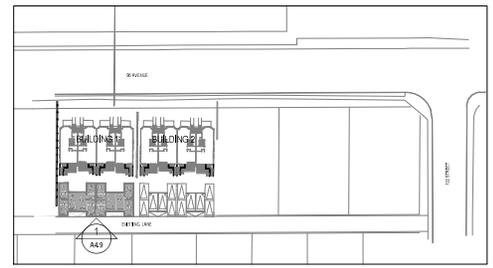
PROJECT
**ROWHOMES
DEVELOPMENT**
12140 & 12156 96 AVENUE
SURREY, BC

SHEET TITLE
**EAST
ELEVATION
(BUILDING 1)**

SCALE 1/4" = 1'-0"	DATE 1
DRAWING NO. A.4.4	PROJECT NO. 18-120



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 SITE KEY PLAN
SCALE: 1/8" = 1'-0"



ARCHITECT
ANDY IGEL, AIBC, AIA, MRAC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

MATERIALS LEGEND

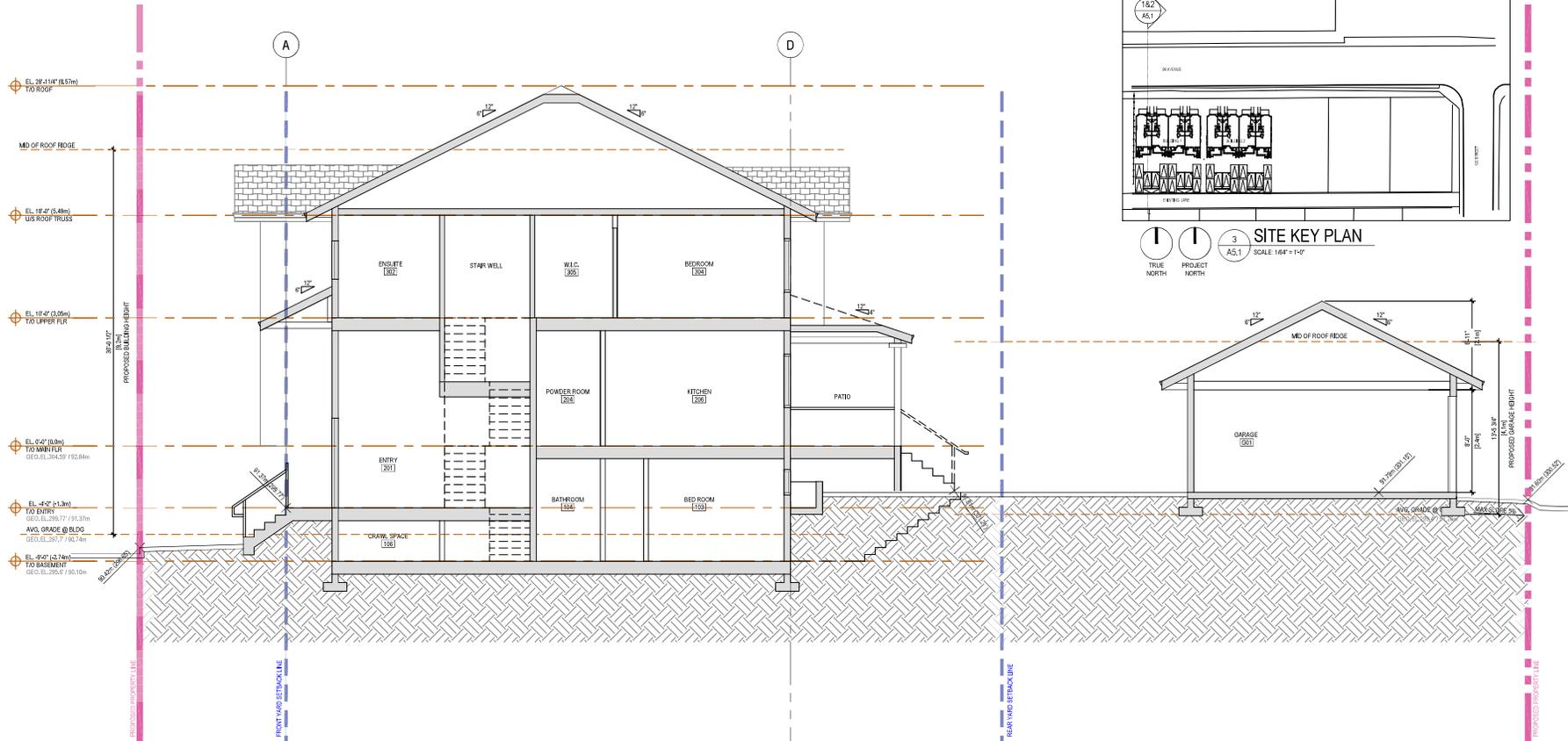
REV.	DATE	DESCRIPTION	DR	RV
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02		HARDBE FASQA BOARD WITH ROOF GUTTER BLACK		
03		HARDBE PANEL BMACSOT TAN 688		
04		HARDBE PANEL BMACSOT TRAIL 688		
05		HARDBONTAL HARDBE SIDING BIG-HARBOR HIGHLANDS TAN 1139		
06		SPANDREL PANEL SHARDING TRIDENT 1059		
07		W/FL FRAMED WINDOW BLACK		
08		SOLID WOOD ENTRY DOOR NATURAL STAIN		
09		PANEL GARAGE DOOR WHITE		
10		W/FL PATIO DOOR BLACK		
11		COMPOSITE STAIR NATURAL WOOD COLOR W/ CLEAR STAIN		
12		COMPOSITE DECK NATURAL WOOD COLOR W/ CLEAR STAIN		
13		CEDAR POST NATURAL STAIN		
14		ALUMINUM RAILING BLACK		

PROJECT
**ROWHOMES
DEVELOPMENT**

12140 & 12156 96 AVENUE
SURREY, BC

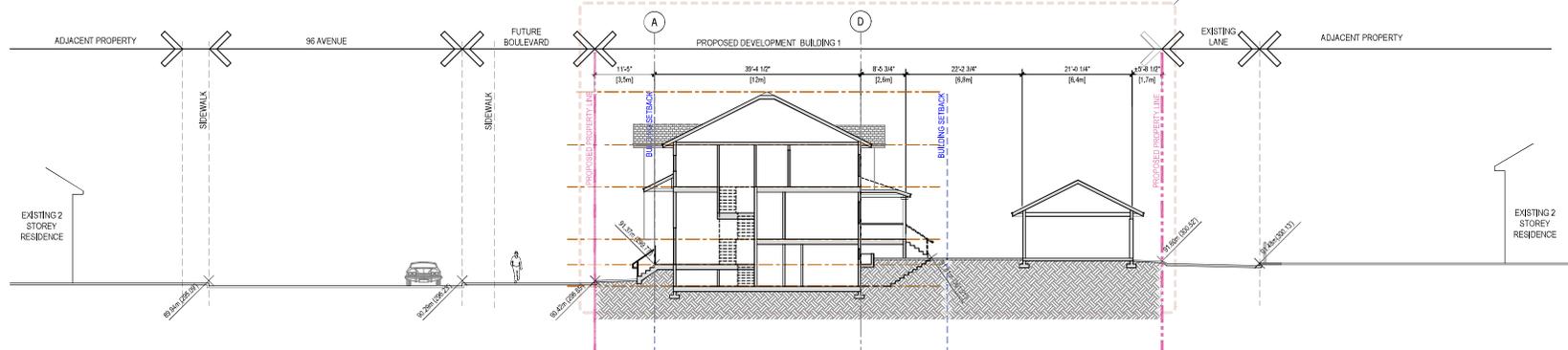
**GARAGE
SOUTH ELEVATION
(BUILDING 1)**

SCALE: 1/4" = 1'-0"	DATE: 18-120
PROJECT NO. A4.9	PROJECT NO. 18-120



1 BUILDING SECTION
AS.1 SCALE 1/4" = 1'-0"

3 SITE KEY PLAN
AS.1 SCALE 1/4" = 1'-0"



2 SITE STREET SECTIONS
AS.1 SCALE 3/8" = 1'-0"



ARCHITECT
ANDY ICEL, AIBC, AIA, MRAC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

REV.	DATE	DESCRIPTION	DR	RV
1		REVISED FOR DEVELOPMENT	AS.1	
2		REVISED FOR DEVELOPMENT	AS.1	
3		REVISED FOR DEVELOPMENT	AS.1	
4		REVISED FOR DEVELOPMENT	AS.1	
5		REVISED FOR DEVELOPMENT	AS.1	

OWNER: APLIN & MARTIN CONSULTANTS LTD.
PROJECT: ROWHOMES DEVELOPMENT
12140 & 12156 96 AVENUE
SURREY, BC

**BLDG SECTION
BLDG 1 & SITE
STREET SECTION**

SCALE	DATE	PROJECT NO.
1/4" = 1'-0"	18-120	AS.1



1 PERSPECTIVE - NORTH-EAST VIEW
A9.1 SCALE: NTS



2 PERSPECTIVE - NORTH VIEW
A9.1 SCALE: NTS



3 PERSPECTIVE - NORTH-WEST VIEW
A9.1 SCALE: NTS



ARCHITECT
ANDY IGEL, AIBC, AIA, MRAC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

5	APR122	REVISION FOR DEVELOPMENT	CDMP	AI
4	JAN122	REVISION FOR DEVELOPMENT	CDMP	AI
3	MAY121	REVISION FOR DEVELOPMENT	CDMP	AI
2	MAY121	REVISION FOR DEVELOPMENT	KLRS	AI
1	FEB121	REVISION FOR DEVELOPMENT	CL	VC

REV	DATE	DESCRIPTION	DR	RV

PROJECT
**ROWHOMES
DEVELOPMENT**

12140 & 12156 96 AVENUE
SURREY, BC

SHEET TITLE
PERSPECTIVES

SCALE	DATE
NTS	REV 11/21
PROJECT NO.	PROJECT FILE
A9.1	18-120

SEAL:

8	22 APR 26 NEW SITE PLAN TREE NO 051 TO BE REMOVED	SD
7	22 APR 6 NEW SITE PLAN	SD
6	22 FEB 08 NEW SITE PLAN	SD
5	20 SEP 15 NEW SITE PLAN	SD
4	20 JUL 27 NEW SITE AND CIVIL PLANS	SD
3	28 SEP 27 NEW CIVIL PLAN	SD
2	19 AUG 09 NEW SITE PLAN	SD
1	17 FEB 09 NEW SITE PLAN	SD

NO. DATE REVISION DESCRIPTION DR.

CLIENT: WESTLAND DECK AND FENCING

WITH: GERRY BLONSKI ARCHITECTS

PROJECT:
4-UNIT TOWNHOUSE DEVELOPMENT

12140 - 96TH AVENUE
SURREY, BC

DRAWING TITLE:

LANDSCAPE PLAN

DATE: January 26, 2017 DRAWING NUMBER:

SCALE: 1/8" = 1'-0"

DRAWN: DD

DESIGN: DD

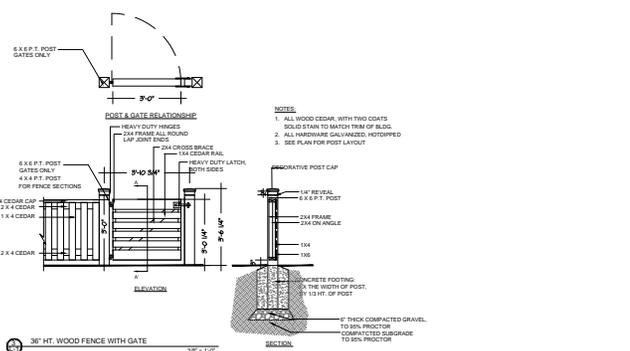
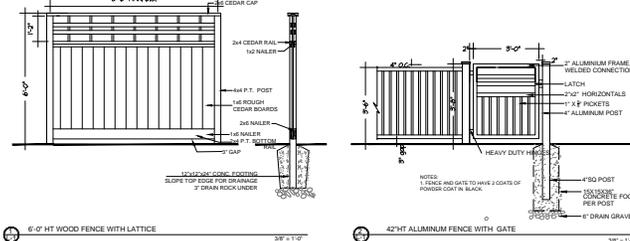
CHKD: PCM

L1

OF 3

NOTES:

1. ALL METALS PRESURE TREATED TO CSA STANDARDS AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER METALS TO BE CE240 #2 CONSTRUCTION GRADE MINIMUM.
3. ALL HARDWARE NOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FINISHES TO BE LEVEL. CHANGES IN GRADE TO BE IN 1" - 10" STEPS MAX. GATE TO GRADE TO FOLLOW FINISH GRADE. GATE TO BE 3/4"
6. AS DARK BROWN TO MATCH THE EXTERIOR STAIN OF THE HERITAGE HOUSE AND NEW HOUSE STRINGS.



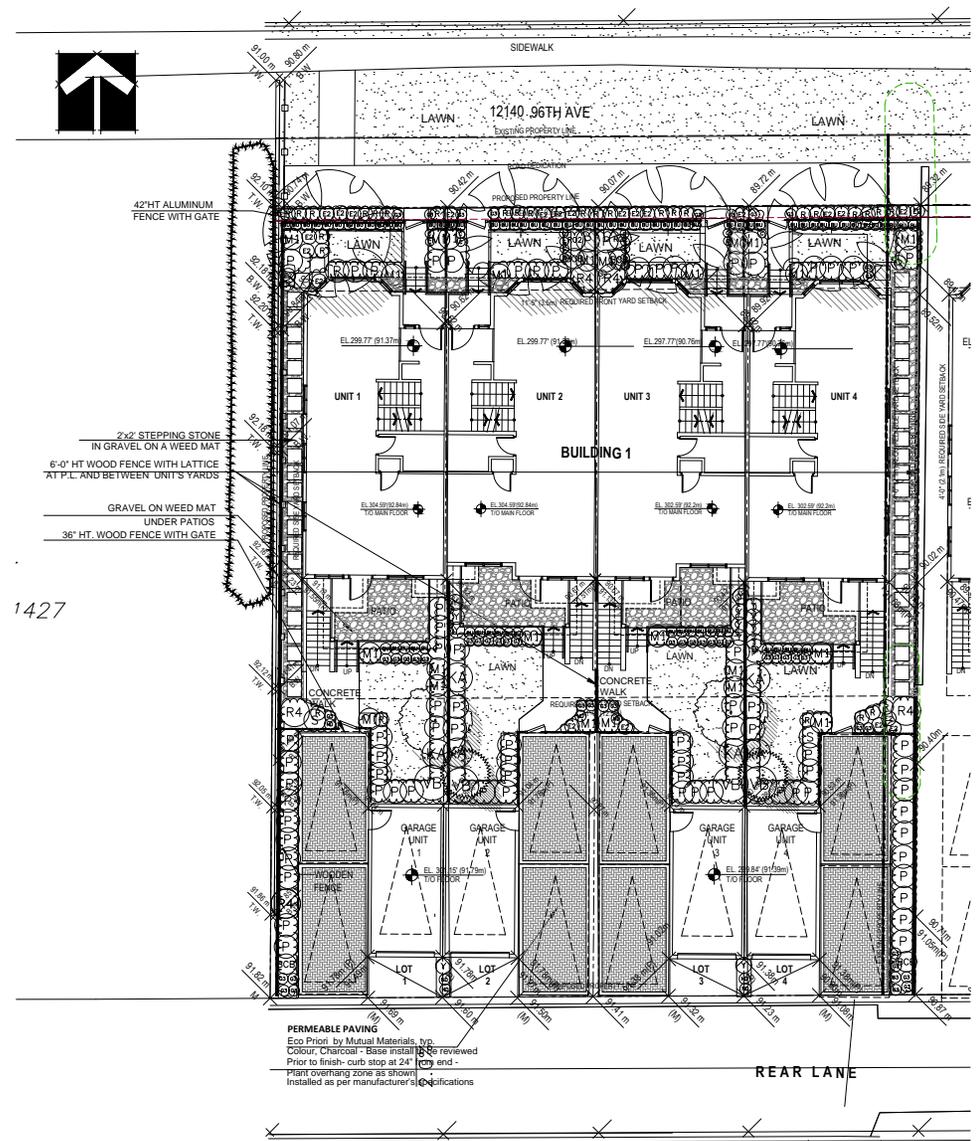
PLANT SCHEDULE PMG PROJECT NUMBER: 17-009A

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	2	ACER PALMATUM	JAPANESE MAPLE	5CM CAL, 8.8B
	2	PICEA OMORICA 'BRUNS'	BRUNS SERBIAN SPRUCE	2M HT, 8.8B
	4	STYRAX JAPONICUS 'PINK CHIMES'	PINK FLOWERED JAPANESE SNOWBELL	6CM CAL, 8.8B
SHRUB	4	BERBERIS THUNBERGII 'MONOMI'	CHERRY BOMB BARBERRY	#2 POT
	76	BUXUS SEMPERVIRENS	COMMON BOXWOOD	#3 POT, 40CM
	6	KALMIA LATIFOLIA 'RASPBERRY GLOW'	MOUNTAIN LAUREL	#3 POT, 60CM
	76	PIERIS JAPONICA 'VALLEY FIRE'	VALLEY FIRE PIERIS	#3 POT, 50CM
	6	RHOODODENDRON 'CHRISTMAS CHEER'	CHRISTMAS CHEER RHOODODENDRON	#3 POT, 50CM
	2	ROSA 'SCARLET MEIDLAND'	SCARLET MEIDLAND ROSE	#2 POT, 40CM
	2	SPRAEA X BUNALDA 'LIME MOUND'	LIME MOUND SPIRAEA	#2 POT, 40CM
	13	TAKUS X MEDIA 'HICKSY'	HICKS' VEIN	1.2M
	4	VIURNUM X BURKWOODII'	BURKWOOD VIURNUM	1.0M HT, 8.8B, TREE FORM
GRASS	16	CAREX 'ICE DANCE'	FROSTED SEDGE	#1 POT
	24	MISCANTHUS SINENSIS 'LITTLE KITTEN'	COMPACT MAIDEN GRASS	#1 POT
	50	PENNISETUM ALOPECUROIDES 'HAMLIN'	DWARF FOUNTAIN GRASS	#1 POT, HEAVY
PERENNIAL	30	RUBRBECKIA FULGIDA VAR SULLIVANTI'	GOLDSTURMRUBRBECKIA, YELLOW	15CM POT
	26	EUONYMUS JAPONICA 'EMERALD GAIETY'	EUONYMUS, SILVER VARIEGATED	#1 POT, 25CM
	7	NANDINA DOMESTICA 'HARBOUR DWARF'	HARBOUR DWARF NANDINA	#1 POT, 25CM

NOTES: - PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CSA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

NOTE:

- All soft landscape areas to be irrigated with automatic irrigation to I.L.A.B.C. Standards, latest edition.
- See civil and architectural plans for grading details.



PERMEABLE PAVING
Eco Priori by Mutual Materials, Inc.
Colour: charcoal. Issue installed & reviewed
Prior to finish- curb stop at 24" and -
Plant overhanging zone as shown
Installed as per manufacturer's specifications

1427



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **June 08, 2022** PROJECT FILE: **7817-0154-00**

RE: **Engineering Requirements
Location: 12140 96 Avenue, 12156 96 Avenue**

REZONE AND SUBDIVISION***Property and Right-of-Way Requirements***

- Dedicate 2.808 metres along 96 Avenue; and
- Register 0.5 m statutory right-of-way (SRW) along 96 Avenue frontage.

Works and Services

- Construct sidewalk along the south side of 96 Avenue;
- Construct the Residential Lane;
- Construct adequately-sized drainage, water, and sanitary service connections. Abandonment of surplus connection(s), if any, is also required;
- Construct 250 mm Sanitary main within the Residential Lane; and
- Construct frontage mains required to service the site.

A Servicing Agreement is required prior to Rezone and Subdivision.

DEVELOPMENT PERMIT AND DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit and Development Variance Permit.

Jeff Pang, P.Eng.
Development Services Manager

AJ



May 31, 2022

Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 17 0154 00

SUMMARY

The proposed 4 Single family with suites are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

Elementary Students:	2
Secondary Students:	1

September 2021 Enrolment/School Capacity

Kirkbride Elementary	
Enrolment (K/1-7):	28 K + 308
Operating Capacity (K/1-7)	38 K + 419
L. A. Matheson Secondary	
Enrolment (8-12):	1145
Capacity (8-12):	1400

Projected population of school-age children for this development:	5
--	---

Population: The projected population of children aged 0-19 Impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

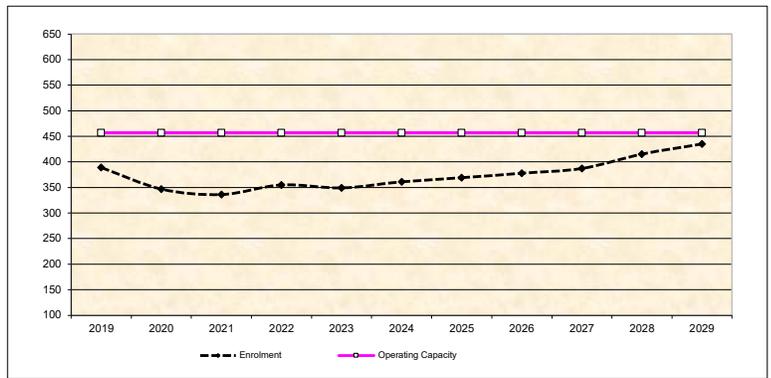
School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

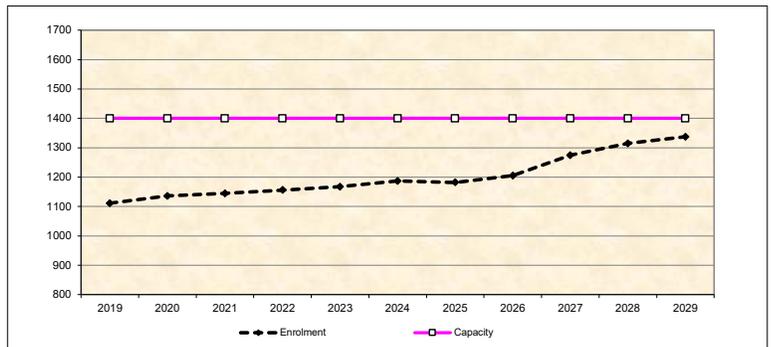
Kirkbride Elementary is currently operating below capacity. The 10 year enrolment projections are showing modest growth in the catchment. Even though some parcels are looking to increase their housing density, the projected development is not enough to overcome a maturing enrolment trend in the area. Currently, there are no plans to expand this school.

L.A. Matheson Secondary is currently operating at 82%. Though the 10 year enrollment projections do show modest growth, the current capacity of the building can accommodate it. Currently, there are no plans to expand this school.

Kirkbride Elementary



L. A. Matheson Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 17-0154-00

Address: 12140 - 96 Ave Surrey, BC

Registered Arborist: Corey Plester #PN-8523A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	1
Protected Trees to be Removed	1
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All Other Trees Requiring 2 to 1 Replacement Ratio 1 X two (2) = 2 	2
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All Other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	0
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: May 26, 2022
--	--------------------



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302



MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

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Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE
TREE PRESERVATION
AND PROTECTION PLAN

12140 96 AVENUE
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	FEB10/21	MK	SITE PLAN
2	AUG16/21	MK	SITE & CIVIL PLAN
3	OCT21/21	MK	SITE PLAN & UPDATED SURVEY
4	NOV05/21	MK	REVISIONS
5	MAY25/22	MK	UPDATE SURVEY
6	MAY27/22	MK	UPDATE SURVEY

SHEET TITLE

T1 - TREE REMOVAL AND PRESERVATION PLAN

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DRAWN

MK

SCALE

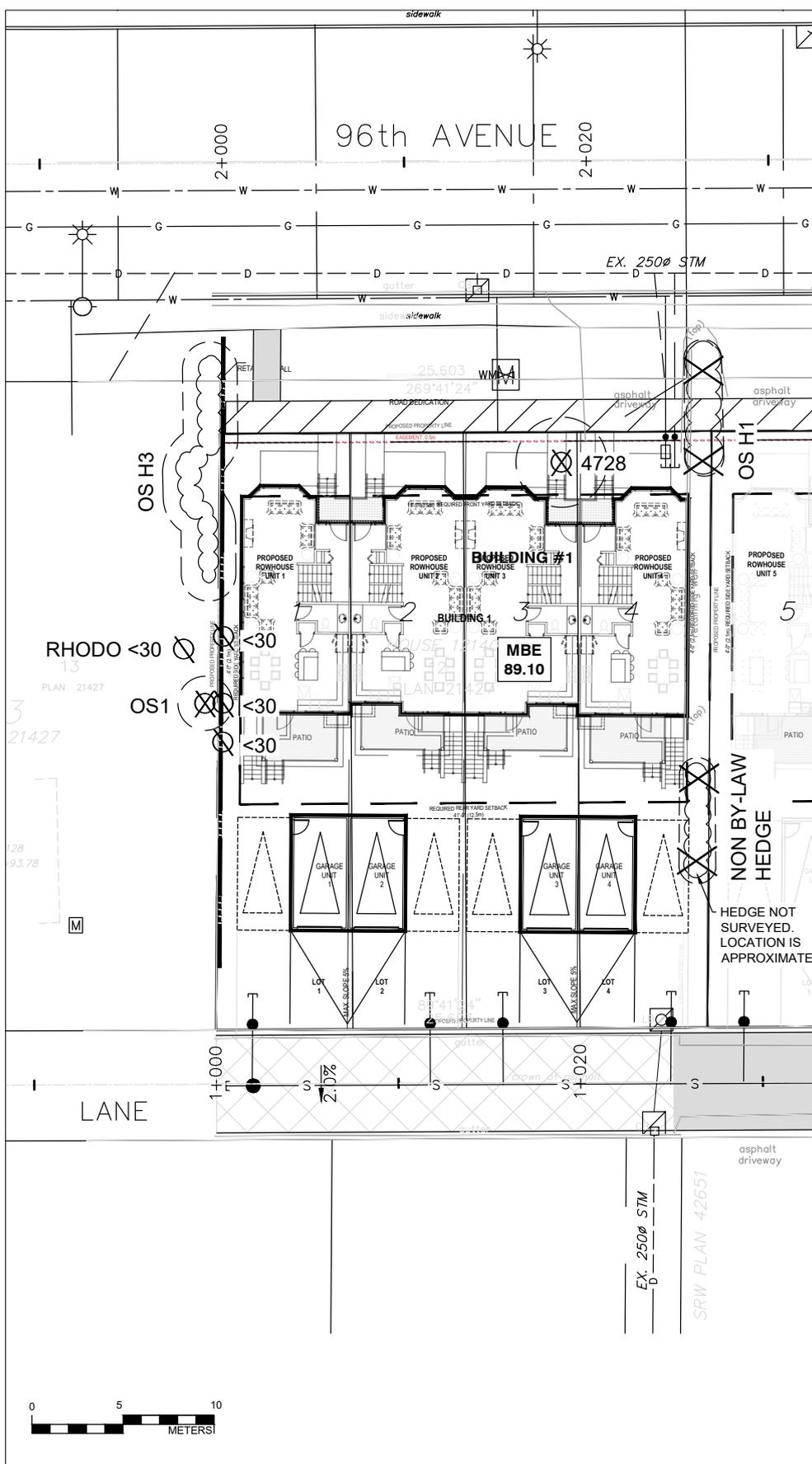
AS SHOWN

DATE

DECEMBER 18, 2017

T - 1

SHEET 1 OF 2



LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- NON BY-LAW TREE
- MINIMUM NO DISTURBANCE ZONE



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Surrey, British Columbia
V3W 0A6
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CLIENT

FILE NO.

PROJECT TITLE
TREE PRESERVATION
AND PROTECTION PLAN

12140 96 AVENUE
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	FEB10/21	MK	SITE PLAN
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4	NOV05/21	MK	REVISIONS
5	MAY25/22	MK	UPDATE SURVEY
6	MAY27/22	MK	UPDATE SURVEY

GENERAL NOTES:

- NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
- TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
- REASSESS TREES WITH LOT GRADING PLANS.
- REPLACEMENT TREES SHALL CONFORM TO BC S/LA/BCLNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.

SHEET TITLE

T2 - TREE PRESERVATION
AND PROTECTION PLAN

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DRAWN

MK

SCALE

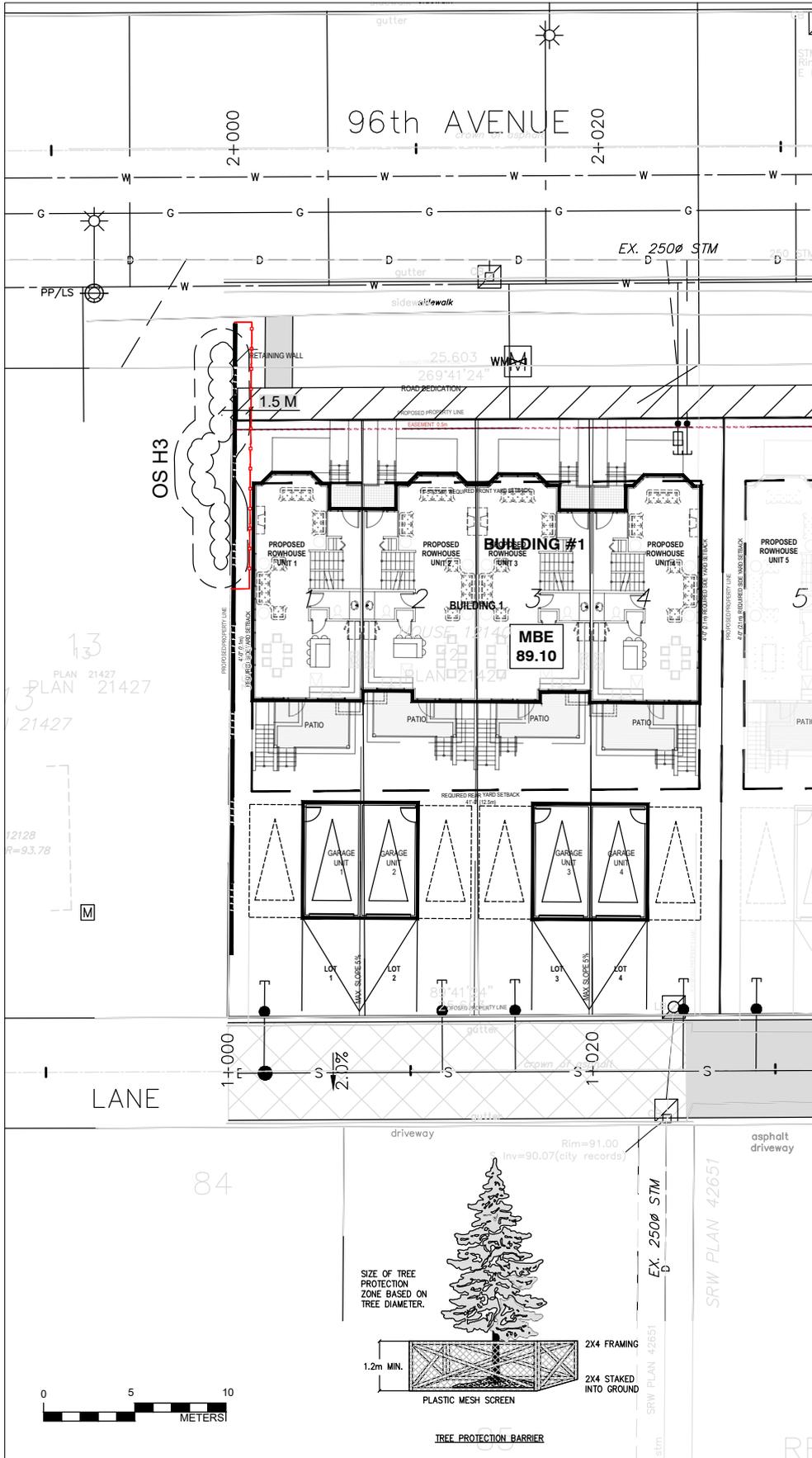
AS SHOWN

DATE

DECEMBER 18, 2017

T-2

SHEET 2 OF 2



LEGEND

- TREE TO BE RETAINED
- MINIMUM NO DISTURBANCE ZONE
- TREE PROTECTION FENCING

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0154-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-443-584
 Lot 12 Section 31 Township 2 New Westminster District Plan 21427
 12140 - 96 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Section 26(b) of Part 4 of General Provisions the maximum number of risers permitted within the front yard setback area is increased from 3 to 4 for Lots 1 to 4.

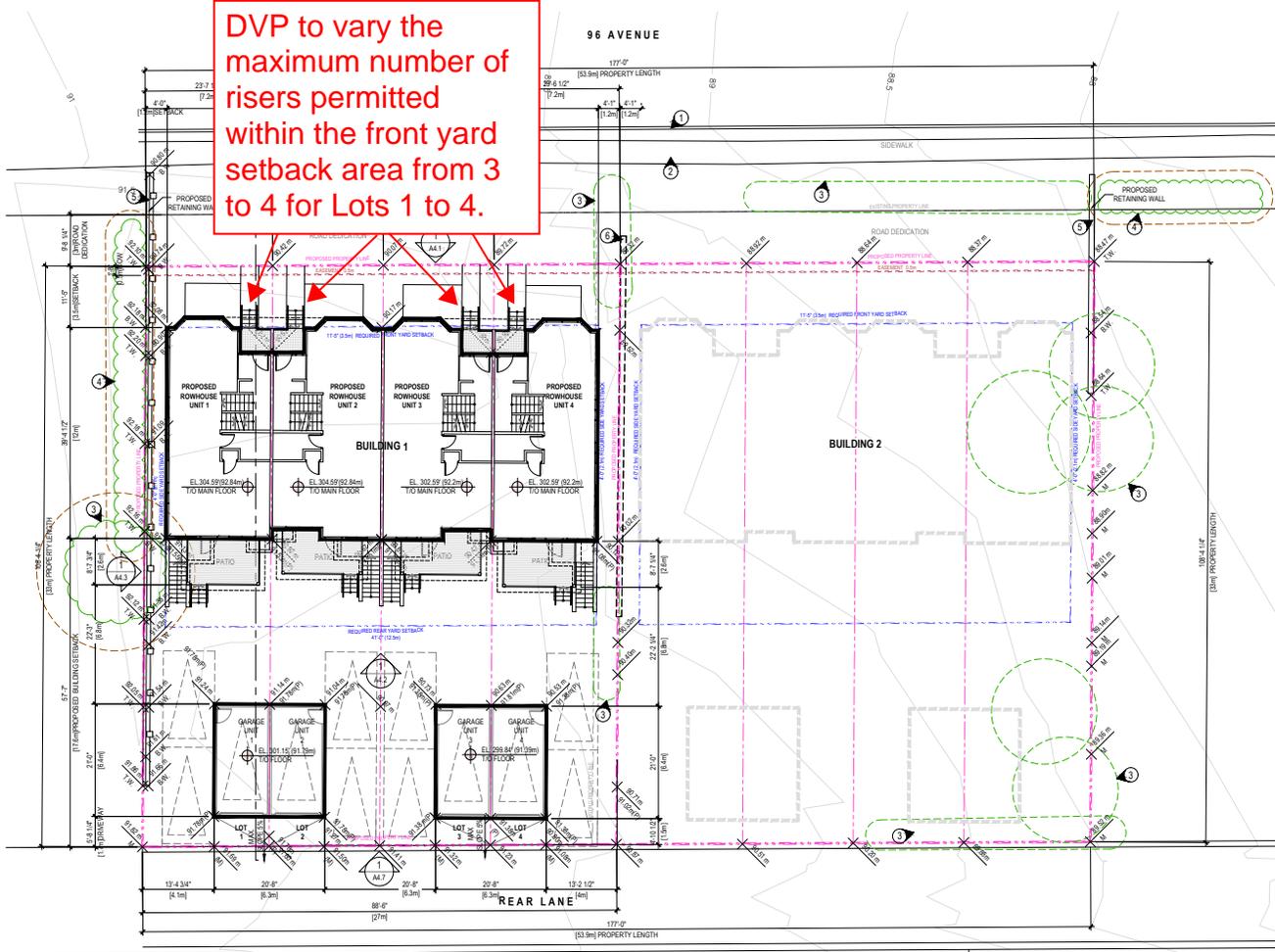
5. This development variance permit applies to only the portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

DVP to vary the maximum number of risers permitted within the front yard setback area from 3 to 4 for Lots 1 to 4.



PROPERTY INFORMATION	
PROPERTY INFORMATION	
ADDRESS:	12140 96 AVENUE, SURREY, BC
LEGAL DESCRIPTION:	LOT 12 SECTION 31 TOWNSHIP 2 PLAN NWP21427 NWD
PID:	010-443-584

ZONING INFORMATION	
EXISTING ZONING:	RF - SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING:	RM-23 MULTIPLE RESIDENTIAL
NCP DESIGNATION:	N/A
OCF DESIGNATION:	MULTIPLE RESIDENTIAL - 100%
SITE AREA:	
GROSS SITE AREA:	9,588 sq.ft. / 891 sq.m. (0.22 ac / 0.089 ha)
NET SITE AREA:	3,966 sq.ft. / 366 sq.m. (0.09 ac / 0.03 ha)
BUILDING AREA:	
BUILDING 1	
BUILDING FOOTPRINT:	3,181 sq.ft. / 296 sq.m.
GROSS FLOOR AREA:	3,181+3, 176 = 6,279 sq.ft. / 583 sq.m.
DENSITY:	
ALLOWABLE EFFICIENCY:	23.0 u.p.a. / 57.0 u.p.h.
PROPOSED EFFICIENCY:	8.35 u.p.a. / 21.0 u.p.h.
UNITS:	
TOTAL # OF UNITS:	4 UNITS

LOT COVERAGE:	
ALLOWABLE LOT COVERAGE:	30%
LOT 1 COVERAGE:	29%
LOT 2 COVERAGE:	29%
LOT 3 COVERAGE:	29%
LOT 4 COVERAGE:	29%

YARDS & SETBACKS:	REQUIRED:	PROPOSED:
PRINCIPAL BUILDING:		
FRONT YARD (NORTH):	3.5m (11'-5")	3.5m (11'-5")
REAR YARD (SOUTH):	12.5m (41'-0")	17.5m (57'-7")
SIDE YARD (INTERNAL):	0.0m (0'-0")	1.2m (4'-0")
SIDE YARD (EXTERNAL):	1.2m (4'-0")	1.2m (4'-0")
ACCESSORY BUILDING:		
FRONT YARD (SOUTH):		3.3m (10'-10 1/2")
SIDE YARD (WEST EXTERNAL):		4.1m (13'-5")
SIDE YARD (EXTERNAL):		4.0 m (13'-2")

BUILDING HEIGHT:	
MAXIMUM HEIGHT ALLOWED:	
PRINCIPAL BUILDING:	31'-0" (9.5m)
ACCESSORY BUILDING:	16'-0" (5.0m)
PROPOSED BUILDING HEIGHT:	
BUILDING 1 PRINCIPAL BUILDING:	30'-0 1/2" (9.2m)
ACCESSORY BUILDING:	13'-7 3/4" (4.2m)

ARCHITECT:
ANDY IGEI, AIBC, AIA, AIA, MRAC, NCARB
APLIN & MARTIN CONSULTANTS LTD.

REV	DATE	DESCRIPTION	DR	VR
5	APR 11 22	REVISIONS FOR DEVELOPMENT PERM	ZDGL	AI
4	JAN 11 22	REVISIONS FOR DEVELOPMENT PERM	QL	AI
3	NOV 11 21	REVISIONS FOR DEVELOPMENT PERM	QL	AI
2	MAR 11 21	REVISIONS FOR DEVELOPMENT PERM	MLRS	AI
1	SEP 11 20	REVISIONS FOR DEVELOPMENT PERM	ZDGL	VC

PROJECT:
ROWHOMES DEVELOPMENT

12140 & 12156 96 AVENUE
SURREY, BC

SHEET TITLE:

SITE PLAN - BUILDING 1

SCALE	REVISION
3/32" = 1'-0"	1
DRAWING NO.	PROJECT NO.
A1.2a	18-120

SITE PLAN
SCALE: 3/32" = 1'-0"

LEGEND	
	PROPOSED PROPERTY LINE
	EXISTING / ADJACENT PROPERTY LINE
	BUILDING SETBACK (REQUIRED MINIMUM)
	RIGHT OF WAY
	6' WOODEN FENCE
	EXISTING SITE GRADES
	PROPOSED SITE GRADES
	MATCH EXISTING SITE GRADES

AREA CALCULATIONS							
BUILDING	LOT AREA	MAIN FLOOR	SECOND FLOOR	TOTAL AREA	GARAGES(NIC)	BAS. FLOOR(NIC)	
LOT 1 / UNIT 1	2559 sf / 238 sm	764 sf / 71 sm	797 sf / 74 sm	1561 sf / 145 sm	217 sf / 20 sm	746 sf / 69 sm	
LOT 2 / UNIT 2	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm	
LOT 3 / UNIT 3	2240 sf / 208 sm	788 sf / 73 sm	794 sf / 74 sm	1582 sf / 147 sm	217 sf / 20 sm	769 sf / 71 sm	
LOT 4 / UNIT 4	2551 sf / 237 sm	761 sf / 71 sm	794 sf / 74 sm	1555 sf / 144 sm	217 sf / 20 sm	743 sf / 69 sm	

NOTES:

- ① ROAD CURBS
- ② SIDE WALK
- ③ EXISTING TREE / HEDGE TO BE REMOVED
- ④ EXISTING TREE / HEDGE TO REMAIN
- ⑤ PROPOSED CONCRETE RETAINING WALL. REFER TO CIVIL DRAWING
- ⑥ EXISTING CONCRETE RETAINING WALL TO BE REMOVED

M:\HS2018\18_0044_ARCHITECTURAL\Production\Consent\dwg\18_0044_S1T.dwg, 4:58:46 PM, 6/12/2024, 13:18:52, ZDGL