

PROPOSAL:

- **NCP Amendment** from “Apartments 45 upa max” and “Mixed Commercial Residential Apartments” to “Apartments 65 upa max” and “Mixed Commercial Residential Apartments” and for changes to the local road network by eliminating the “Proposed Parks and Walkways” designation.
- **Rezoning** from RA to CD (based on RM-70 and C-5)
- **Development Permit**

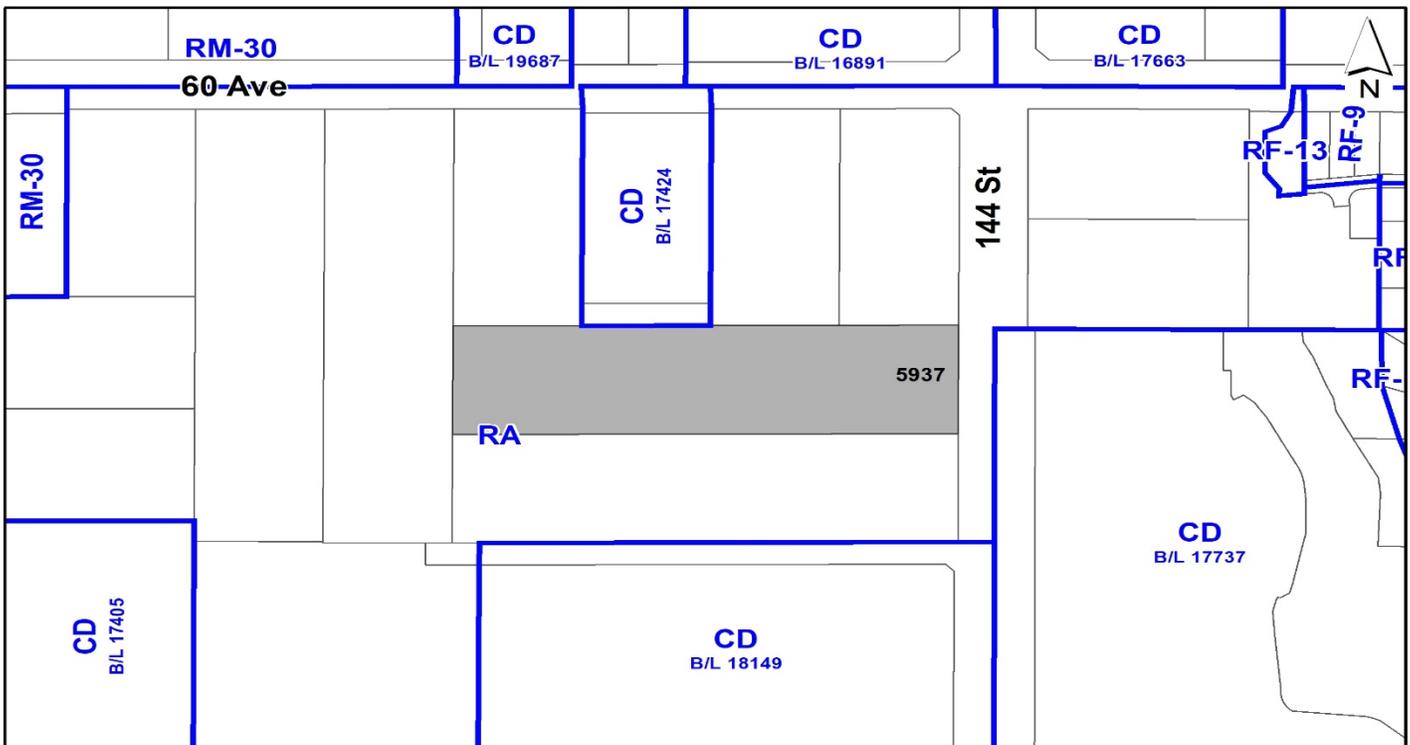
to permit the development of one 4-storey mixed-use building consisting of 57 residential units and 7 Commercial Retail Units, and one 5-storey residential building consisting of 64 residential units.

LOCATION: 5937 - 144 Street

ZONING: RA

OCP DESIGNATION: Multiple Residential

NCP DESIGNATION: “Mixed Commercial-Residential (Apartments),” “Apartments (45 upa max),” and “Proposed Parks and Walkways”



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the South Newton Neighbourhood Concept Plan (NCP) from “Apartments 45 upa max” and “Mixed Commercial Residential Apartments” to “Apartments 65 upa max” and “Mixed Commercial Residential Apartments” and for changes to the local road network by eliminating the “Proposed Parks and Walkways” designation.
- Proposing to reduce the building setback requirements of the RM-70 Zone as part of a Comprehensive Development Zone.

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposal does not comply with the “Mixed Commercial-Residential (Apartments),” “Apartments (45 upa max),” and “Proposed Parks and Walkways” designations in the South Newton Neighbourhood Concept Plan (NCP) due to the proposed unit density. The NCP also calls for the mixed-use development to be located on the western portion of the site. The proposed amendment is considered appropriate because the commercial use is relocated to the busier and more visible arterial road (144 Street) and while the density is greater than envisioned in the NCP, it is consistent with the maximum density permitted in the Multiple Residential land use designation in the OCP.
- The South Newton NCP was adopted by Council in June 1999 and is reflective of the form of development that was appropriate at that time. Since 1999, densities have steadily increased due to increased cost of land, changing market conditions including housing affordability, and to reflect the form of housing that is appropriate in an urbanizing city. For these reasons, it is necessary to amend the NCP land use designations as described above, to accommodate this proposal.
- The proposed density and building form are appropriate for this part of South Newton and is consistent with similar developments supported or approved by Council abutting to the north and south of the subject site (Development Application Nos. 7918-0235-00 and 7917-0432-00).
- The proposal generally complies with the Development Permit requirements in the OCP for Form and Character.

- The proposed building setbacks achieve a more urban, pedestrian streetscape in compliance with the South Newton Neighbourhood Concept Plan (NCP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density above the NCP designation.
- The proposed building achieves an attractive architectural built form, which utilizes high quality materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" containing Block A and Block B on the attached Survey Plan (Appendix I) and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7918-0081-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) Approval from the Ministry of Transportation & Infrastructure;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (h) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (i) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (j) registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
 - (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services.

4. Council pass a resolution to amend the South Newton Neighbourhood Concept Plan (NCP) to redesignate the lands from “Apartments 45 upa max” and “Mixed Commercial Residential Apartments” to “Apartments 65 upa max” and “Mixed Commercial Residential Apartments” and for changes to the local road network by eliminating the “Proposed Parks and Walkways” designation, when the project is considered for final adoption (Appendix VI).

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Acreage residential property	Mixed Commercial-Residential (Apartments), Apartments (45 upa max), and Proposed Parks and Walkways	RA
North:	Existing four-storey residential apartment, acreage residential property, and vacant acreage property with approved four-storey mixed-use residential/commercial building (Development Application No. 7917-0432-00) that was granted Final Adoption at the October 3, 2022 Regular Council Land Use meeting.	Apartments (45 upa max)	RA, CD (By-law No. 17424) and CD (By-law No. 20017)
East (Across 144 Street):	Townhouses	Townhouses (20 upa max)	CD (By-law No. 17737)
South:	Acreage residential property under Development Application No. 7918-0235-00, which proposes the development of one 4-storey apartment building, one 4-storey mixed-use residential/commercial building, and one 5-storey mixed-use residential/commercial rental apartment building with a non-market component. The subject application received Third Reading by Council at the October 18, 2021 Regular Council Public Hearing meeting.	Mixed Commercial-Residential (Apartments)	RA
West:	Vacant acreage residential property	Townhouses (15 upa max)	RA

Context & Background

- The subject site is approximately 0.91 hectares in size and situated near the intersection of 144 Street and 60 Avenue in South Newton. The site is designated “Multiple Residential” in the Official Community Plan, “Mixed Commercial Residential (Apartments)”, “Apartments (45 upa max)”, and “Proposed Parks and Walkways” in the South Newton NCP and zoned “One Acre Residential Zone (RA)”.
- The site is located within the mixed-use and multiple residential node that was identified in the South Newton NCP when it was adopted in 1999.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing the following as part of this application:
 - an amendment to the South Newton Neighbourhood Concept Plan (NCP) to redesignate the lands from “Apartments 45 upa max” and “Mixed Commercial Residential Apartments” to “Apartments 65 upa max” and “Mixed Commercial Residential Apartments” and for changes to the local road network by eliminating the “Proposed Parks and Walkways” designation;
 - Rezoning from “One Acre Residential Zone (RA)” to “Comprehensive Development Zone (CD), based on “Multiple Residential (70) Zone (RM-70)” and “Community Commercial Zone (C-5)”;
 - Development Permit for Form and Character.

In order to permit the development of one 4-storey mixed-use building consisting of 62 residential units and 7 Commercial Retail Units, and one 5-storey residential building consisting of 64 residential units.

	Proposed
Lot Area	
Gross Site Area:	9,186 square metres
Road Dedication:	2,341 square metres
Net Site Area:	6,845 square metres
Number of Lots:	1
Building Height:	Building 1: 17.6 m / Building 2: 16.2 M
Floor Area Ratio (FAR):	1.5
Floor Area	
Residential:	9,825 square metres
Commercial:	966 square metres
Daycare:	220 square metres
Total:	11,001 square metres
Residential Units:	
1-Bedroom:	14
1-Bedroom + Den:	61

	Proposed
2-Bedroom:	23
2- Bedroom + Den:	9
3-Bedroom:	14
Total:	121

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: The School District has advised that there will be approximately 17 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

10 Elementary students at Goldstone Park Elementary School
4 Secondary students at Sullivan Heights Secondary School

(Appendix IV)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by March 2026.

Parks, Recreation & Culture: No concerns.

The closest active park is Goldstone Park with amenities that include a playground, water park, soccer fields, walking loop, and tennis court and is 680 metres away; the closest natural area is Woodward Hill Park and is 315 metres away.

Ministry of Transportation & Infrastructure (MOTI): No concerns.

Surrey Fire Department: No concerns.

Advisory Design Panel: The proposal was considered at the ADP meeting on May 12, 2022 and was supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

Transportation Considerations

- According to industry standard rates, the proposal is anticipated to generate approximately one to two vehicle trips per minute in the peak hour. A transportation impact analysis was not required as the proposal is below the City's minimum threshold for requiring a site-specific assessment.
- The applicant is required to dedicate and construct the following improvements along the site's road frontages:
 - 144 Street sidewalk improvements;
 - A new 143 Street, which will ultimately serve as a continuous connection between 59 Avenue and 60 Avenue; and
 - A new 59A Avenue, which will provide access and circulation for the block and ease traffic impacts to 60 Avenue.
- Vehicle access to the subject site is proposed to be via the new 59A Avenue.
- According to the Zoning By-law, the proposal is required to provide a total of 229 parking spaces on site. The applicant is proposing to provide 232 parking spaces on site, exceeding the Zoning By-law requirements.

Alternative Transportation Modes

- The subject site is less than 100 metres from an accessible bus stop at 144 Street and 60 Avenue which provides service for TransLink Bus Route No. 342 serving Newton Exchange and Langley Centre.
- 144 Street and portions of 60 Avenue provide on-street bicycle lanes, though these are not traffic separated.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
 - The roofing will be constructed of a high-albedo material with a Solar Reflectance Index of 75;
 - Energy efficient LED lighting; and
 - Building envelope design will meet the Energy Step Code 3 requirements.

School Capacity Considerations

- The School District has advised that a new 612-capacity elementary school is to be constructed adjacent to the existing Goldstone Park. The new elementary school (known as Snokomish Elementary) is targeted to open in 2025 and will provide enrollment relief to the two neighbouring schools: Goldstone Park Elementary and Cambridge Elementary. As the proposed development is targeted to complete in Spring 2026, the additional demand will be accommodated.
- A 700-capacity addition to Sullivan Heights Secondary School was recently opened and provides enrollment relief for the school.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the “General Urban” land use designation in the Metro Vancouver Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the “Multiple Residential” land use designation in the Official Community Plan.

Themes/Policies

- The proposed development is consistent with several OCP Themes and Policies, including:
 - Growth Management:
 - Growth Priorities: Support compact and efficient land development that is consistent with the Metro Vancouver *Regional Growth Strategy* (RGS).
 - Accommodating Higher Density: Direct residential and mixed-use development into Surrey’s City Centre, Town Centres, along Frequent Transit Corridors and in approved Secondary Plan areas, at densities sufficient to encourage commercial development and transit service expansion.
 - Sensitive Infill: Require redevelopment and infill development to contribute to neighbourhood walkability and to enhance public open spaces and greenspaces within existing neighbourhoods.
 - Sensitive Infill: Encourage local neighbourhood commercial centres and associated local gathering places to appropriately locate within existing neighbourhoods in order to increase walking and cycling options and contribute to neighbourhood character.
 - Centres, Corridors and Neighbourhoods:
 - Healthy Neighbourhoods: Plan and design urban neighbourhoods with sufficient densities to support a high-quality transit system that is accessible to most residents.

- Healthy Neighbourhoods: Clearly define neighbourhood centres including appropriately-scaled commercial and community facilities.
- Healthy Neighbourhoods: Direct higher residential densities to locations within walking distance of neighbourhood centres, along main roads, near transit routes and adjacent to major parks or civic amenities.
- Urban Design: Ensure new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.

Secondary Plans

Land Use Designation

- The applicant proposes an amendment to the South Newton Neighbourhood Concept Plan (NCP) to to redesignate the lands from “Apartments 45 upa max” and “Mixed Commercial Residential Apartments” to “Apartments 65 upa max” and “Mixed Commercial Residential Apartments” and for changes to the local road network by eliminating the “Proposed Parks and Walkways” designation.

Amendment Rationale

- The South Newton NCP was adopted by Council in June 1999 and is reflective of the form of development that was appropriate at that time. Since 1999, densities have steadily increased due to increased cost of land, changing market conditions including housing affordability, and to reflect the form of housing that is appropriate in an urbanizing city. For these reasons, it is necessary to amend the NCP land use designations as described above, to accommodate this proposal.
- The proposed amendment is also considered appropriate because the commercial use is relocated to the busier and more visible arterial road (144 Street) and while the density is greater than envisioned in the NCP, it is consistent with the maximum density permitted in the Multiple Residential land use designation in the OCP.
- The proposed density and building form are appropriate for this part of South Newton and is consistent with similar developments supported or approved by Council abutting to the north and south of the subject site (Development Application Nos. 7918-0235-00 and 7917-0432-00).
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per unit or per sq. ft. flat rate for the number of units or floor area above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.

Themes/Objectives

- The proposed development is consistent with several South Newton NCP Goals and Objectives, including:

- Ensure that the types of and densities of land uses in South Newton are in keeping with the hierarchy of urban centres promoted in the Official Community Plan.
- Provide a mix of housing densities and types ranging from small lot, compact single family lots to well-designed townhouses and multi-storey apartments to accommodate a range of needs.
- Create opportunities for neighbourhood centres that could be a focus for shopping, recreation, and entertainment.

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate the proposed four-storey mixed use building and a five-storey residential building on the subject site. The proposed CD By-law identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)" and the "Neighbourhood Commercial Zone (C-5)".
- The CD By-law is divided into two blocks. Block A will regulate the western building (Building 2) while Block B will regulate the eastern building (Building 1).
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone, C-5 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	C-5 Zone (Part 35)	Proposed CD Zone
Unit Density:	n/a	n/a	n/a
Floor Area Ratio:	1.50	0.50	1.5
Lot Coverage:	33%	50%	45%
Yards and Setbacks	<p>Front yard (east): Block A: 7.5 m Block B: 7.5 m</p> <p>Front yard (west): Block A: 7.5 m Block B: 7.5 m</p> <p>Side yard flanking (north): Block A: 7.5 m Block B: 7.5 m</p> <p>Side yard (south): Block A: 7.5 m Block B: 7.5 m</p>	<p>Front yard (east): Block A: 7.5 m Block B: 7.5 m</p> <p>Front yard (west): Block A: 7.5 m Block B: 7.5 m</p> <p>Side yard flanking (north): Block A: 7.5 m Block B: 7.5 m</p> <p>Side yard (south): Block A: 7.5 m Block B: 7.5 m</p>	<p>Front yard (east): Block A: n/a Block B: 4.0 m</p> <p>Front yard (west): Block A: 4.6 m Block B: n/a</p> <p>Side yard flanking (north): Block A: 5.5 m Block B: 5.5 m</p> <p>Side yard (south): Block A: 7.5 m Block B: 3.0 m</p>
Principal Building Height:	50 metres	9 metres	Block A: 16.2 m Block B: 17.6 m
Permitted Uses:	<ul style="list-style-type: none"> Multiple unit residential buildings Ground-oriented multiple unit residential buildings Child care centres 	<ul style="list-style-type: none"> Neighbourhood scale commercial uses (list in details in Section B.1 and B.2 of the C-5 Zone) 	<p><u>Block A:</u></p> <ul style="list-style-type: none"> Multiple unit residential buildings, ground-oriented multiple unit residential buildings <p><u>Block B:</u></p> <ul style="list-style-type: none"> The same uses as Block A and all uses permitted under Section B.1 of the C-5 Zone with the exception of Neighbourhood Pub. Block B will also restrict eating establishment to a maximum floor area of 150 square metres and the childcare facility to a maximum floor area of 220 square metres
Amenity Space			
Indoor Amenity:	363 m ²	363 m ²	The proposed 403 m ² meets the Zoning By-law requirement.

Outdoor Amenity:	363 m ²	363 m ²	The proposed 482 m ² meets the Zoning By-law requirement.
Parking (Part 5)		Required	Proposed
Number of Stalls			
Commercial:		29	29
Daycare		9	9
Residential:		167	169
Residential Visitor:		24	25
Total:		229	232
Small (%):			
Bicycle Spaces			
Residential Secure Parking:		145	167
Residential Visitor:			

- The floor area ratio (FAR) of 1.5 is in keeping with the RM-70 Zone. The proposed density exceeds the density identified by the South Newton NCP, however, it is consistent with the Multiple Residential designation in the OCP.
- The proposed height of 16.2 metres for Block A (Building 2) and 17.6 metres for Block B (Building 1) is less than the maximum building height of 50 metres of the RM-70 Zone.
- The proposed setbacks on all property lines are reduced from 7.5 metres. The reduced setbacks for both the mixed-use building (Building 1) and the multiple residential building (Building 2) encourages a more urban streetscape consistent with similar developments in the City.
- The proposed CD Zone will permit multiple unit residential buildings for both Blocks A and B. The mixed-use Block B will also permit all uses under Section B.1 of the C-5 Zone, with the exception of Neighbourhood Pub. The CD Zone will also restrict eating establishments in Block B to a maximum floor area of 150 square metres, and a childcare facility to a maximum floor area of 220 square metres to ensure that the parking requirements in the Zoning By-law can be met. The commercial uses will be restricted to the main floor of the multiple residential building and are limited to a maximum gross floor area of 370 square metres per individual business.
- The proposed off-street parking complies with the minimum parking requirements in the Zoning By-law.
- The proposed secured bicycle parking complies with the minimum parking requirements in the Zoning By-law.

Guidelines for Location and Siting of Child Care Centres

- In 1990, the City completed a report entitled “Guidelines for Location and Siting of Child Care Centres”. The following illustrates how the proposed application adheres to the various locational and siting guidelines outlined in the report:

- Locate child care facilities with maximum enrollment exceeding 25 children in close proximity to multi-family residential development, community facilities and public amenities such as a school, a community, or district park etc.
 - The surrounding neighbourhood includes a mix of multi-family and single-family small lot developments.
- If located along an arterial street, conditions will apply.
 - The proposed child care centre is located along 144 Street which is an arterial road.
 - The proposal includes an outdoor play area at grade that is buffered from 144 Street by the commercial retail units of Building 1. The play area is proposed to be fenced and landscaped to provide protection from 144 Street and the surrounding residential and commercial uses.
- Avoid undue concentration of childcare centres.
 - The guidelines recommend that childcare facilities should be located in areas that are currently underserved to avoid undue concentration of facilities.
 - According to information available online from Fraser Health, three licensed childcare facilities are operating within 500 metres of the subject property. An additional facility is planned in the proposed development to the south Under Development Application No. 7918-0235-00 for 70 children.
 - With approval of the subject application, childcare space for an additional 60 children would be provided. The concentration of facilities is considered reasonable given that 144 Street and 60 Avenue is considered one of the commercial nodes of South Newton, which is intended to provide local serving commercial and amenities for residents in the neighbourhood.
- Provide adequate on-site parking for employees and parents.
 - The applicant will provide a total of 9 surface parking spaces on-site, inclusive of 2 drop-off spaces outside and 7 spaces within the building envelope of Building 2, which complies with the minimum parking requirements under the Zoning By-law.
- Provide adequate fencing, screening, setbacks, and outdoor play areas
 - As the attached layout (Appendix II) illustrates, the child care centre outdoor play area is sited on the ground floor in the southern, central portion of the property away from 144 Street and the surface parking area. The play area will be fenced and landscaped to provide buffering from the adjacent residential and commercial uses with a 1.5 metre tall wooden fence.
 - The play area will be directly accessed from the indoor child care centre located on the ground floor of Building 1.

Signage

- The applicant proposes under awning canopy signs for the proposed commercial spaces. All future tenant signage is to comply with the Sign By-law.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance. The current rate is \$2,000 per new residential unit.
- The applicant will be required to provide the square footage rate for the floor area that achieved above the current Secondary Plan designation in order to satisfy the proposed Secondary Plan Amendment for Tier 2 Capital Plan CACs. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption. The current fee for Newton is \$10 per square foot, for apartments.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on June 6, 2022 and the Development Proposal Signs were installed on July 7, 2022. Staff received two emails/phone call responses from neighbouring residents, both of which were in opposition (*staff comments in italics*):

- The proposed density is not in keeping with the neighbourhood.

(The proposed density exceeds the 45 units per acre in the South Newton NCP, however, the proposal is generally in keeping with the land use and form of development that was anticipated for the “Mixed-Commercial Residential (Apartments)” and “Apartments (45 upa max)” land use designations.)

- Proposed building is too tall.

(The proposed buildings are 17.6 metres and 16.2 metres in height, respectively. The proposed building heights are only slightly taller than similar multiple residential buildings in the area, including to the north and a recently approved building at the corner of 144 Street and 60 Avenue under Development Application No. 7917-0432-00, which is planned to be 15.8 metres in height. Commercial floor space for Building 1 is proposed to be 4.0 – 4.9 metres in height as compared to residential floor heights which are proposed to be 2.8 metres in height. The increased height of the commercial floor space is typical and required to ensure the viability of these spaces. Therefore, while the proposed buildings are four-storeys, in keeping with the surrounding multiple residential buildings and the intended land use/form, the increased height for Building 1 will facilitate ground floor commercial space.)

- Lack of tree retention.

(Staff worked with the applicant to identify candidate trees for retention. However, there are limited opportunities for tree retention given the need to accommodate underground parking and the location of new trees relative to the proposed development. The majority of high value trees are either within the future road dedication, or in the middle of the site meaning that retention is not possible.)

- The proposal will result in increased traffic and infrastructure has not kept pace with development.

(Transportation impacts are a key consideration when planning and approving development in the City. One way to address the additional traffic demand generated by higher density developments is to require applicants to dedicate parts of the property for new roads to increase connectivity. Where there is higher density proposed, the road network is more fine-grained to ensure better accessibility, dispersion of traffic and to promote active modes of transportation which improve safety, efficiency and resiliency of our road network.

As part of this proposal, the developer will be dedicating the entire north side of their property to the City and constructing half of the new 59A Avenue that will run parallel to 60 Avenue, planned to ultimately connect 144 Street to 139 Street. The western portion of the development will be dedicated for a new 143 Street, that is planned to connect to 60 Avenue. These will provide alternative routes for local commuting, dispersing the traffic on the expanded road network and alleviating some demand from 60 Avenue and 144 Street. While these additional local roads, help to distribute traffic they also provide convenient walking/cycling connections with smaller blocks, allowing more residents to use active modes of travel instead of vehicles. They also provide ideal locations for driveway accesses, removing them and their traffic impacts from higher volume arterial roads like 144 Street and collector roads like 60 Avenue.

In addition to new roads provided by development, the City has a capital construction program to initiate strategic transportation projects to improve safety and mobility. A nearby project that is planned to be constructed within the next few years is the completion of 148 Street between 58 Avenue to 64 Avenue. This project will include new

- cycling infrastructure along the corridor and intersection improvements, like a new roundabout at the intersection of 60 Avenue and 148 Street. The project will increase the capacity of these routes while improving safety for the travelling public.)*
- Schools are overcapacity.
(Apartment units generate less demand for school spaces when compared to single family residences. The School District has reviewed the proposed development and advised that the proposal is anticipated to generate 17 school-aged children of which, 14 are expected to attend schools within the District. While Goldstone Park Elementary is significantly overcapacity, a new 612-capacity elementary school (Snokomish Elementary) is in development adjacent to Goldstone Park. This school will provide enrollment relief to several surrounding elementary schools.)
 - Lack of amenities and recreational opportunities in the neighbourhood.
(The City has recently acquired two new parks. The first park, Woodward Hill Park, is located across 60 Avenue on the north side. Amenities in this park have not been planned but the specific amenities will be planned with through engagement with the community.
 - The subject development application was reviewed by the Panorama Neighbourhood Association and Sullivan Amateur Athletic and Community Association. No comments were received from either Associations.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the South Newton Neighbourhood Concept Plan (NCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the South Newton Neighbourhood Concept Plan (NCP).
- The applicant has worked with staff to:
 - Create a strong building form responsive to the context;
 - Minimize the massing/overlook of the five-storey building (Building 2);
 - Create good interfaces along the streets, with comfortable main floor to grade relationships; and
 - Developing an accessible relationship between the rooftop indoor and outdoor amenity spaces.
- The buildings are organized on the site to make pedestrian linkages safe and interesting while accommodating a minimal amount of convenient surface parking for the proposed retail units within Building 1.

- The frontages of the mixed-use buildings will consist of approximately 7 ground floor commercial retail units (CRU) oriented toward 59A Avenue and 144 Street. The CRUs are anticipated to range in size from 88 square metres to 148 square metres. The units can be combined to create larger commercial/retail units at the time of a tenant improvement/building permit application if desired.
- The proposed residential dwelling units range in size from 47 square metres for a 1-bedroom unit to 96 square metres for a 3-bedroom unit and are comprised of 75 1-bedroom/1-bedroom plus den units, 32 2-bedroom/2-bedroom plus den units, and 14 3-bedroom units.
- The two buildings share similar architectural character traits. The applicant has agreed to undertake design development to express the buildings differently to reflect each buildings unique programming and context. The easternmost mixed-use buildings' (Building 1) ground floor commercial is visually connected to the street with ample transparency, while the residential storeys above are pronounced with a deeper modularity of solid walls and fenestration. The overall expression is consistent with other existing and approved development applications in South Newton. The western residential building carries over the same design elements of Building 1 with a two-storey expression of brick veneer that reference a traditional ground-oriented townhouse style unit.
- Building 2 is proposed to be five storeys; however, due to the grades of the site, as viewed from 59A Avenue, the building retains the appearance of a 4-storey building. Similarly, as viewed from the pedestrian mews, the building also retains a 4-storey appearance.
- The buildings have a modest form with a modulated arrangement of window bays and recessed balconies, delineated through alternating materials to create visual interest with smaller building proportions. The buildings are capped with a flat roof with varying parapet heights to highlight the window bays.
- The primary building material is fibre-cement panels. The commercial retail unit fronts in Building 1 are comprised of store-front glazing, accented and divided with contrasting brick veneer pilasters for a substantial and durable appearance. The brick is raised at the east and west corners of Building 1 to highlight the importance of the corner intersection on the east façade and the residential lobby on the west.

Landscaping

- The landscape plan proposes a total of 120 trees to be planted on the site, 73 of which can be counted towards the required replacement tree total.
- A significant number of shrubs and ground cover species are proposed throughout the subject site.
- The 144 Street and 59A Avenue commercial frontages will have a split sidewalk design, comprised of a walkway adjacent to the storefronts, flanked with alternating in-ground tree planters with shrubs and paved walk-throughs to the city sidewalk. Walkways on private property will feature specialty paving.

- A corner plaza is located at the future intersection of 59A Avenue and 143 Street and provides bench seating. The character of the plaza will be developed comply with the city's public realm guidelines.
- The applicant is proposing a 3.0 metre-wide buffer along the entire length of the south property line, which will consist of a 1.5 metre-wide pedestrian mews and a 1.5 metre-wide landscape buffer. The adjacent development to the south (Development Application No. 7918-0235-00) will coordinate with the subject development and provide an additional 1.5 metre-wide landscape buffer and a 1.5 metre-wide pedestrian mews along their north property line. Once both applications are complete, a combined 3 metre landscape buffer with 1.5 metre walkways on either side will provide additional pedestrian circulation and access through the sites.

Indoor Amenity

- The total required indoor amenity space is 363 square metres while the applicant is providing a total of 403 square metres of indoor amenity with 221 square metres located in Building 1 and 182 square metres located in Building 2, thus exceeding the requirements cumulatively across both buildings.
- The indoor amenity space in Building 1 is located on the ground floor and is proposed to include a yoga studio, gym, games area, kitchen and lounge.
- The indoor amenity space in Building 2 is located on the fifth floor and is proposed to include a gym/yoga studio, games area, sauna, kitchen/party room, and lounge.

Outdoor Amenity

- The total required outdoor amenity space is 363 square metres while the applicant is exceeding the requirement by providing 482 square metres total of outdoor amenity as follows:
 - 153 square metres located at grade for Building 1;
 - 186 square metres located on the roof for Building 1;
 - 98 square metres located at grade adjacent to Building 2; and
 - 198 square metres located on the fifth storey for Building 2
- The ground floor outdoor amenity space for Building 1 is proposed to include a play structure, seating areas, and shuffleboard game.
- The rooftop outdoor amenity space for Building 1 is proposed to include a play structure, seating areas, picnic benches, and a barbeque area.
- The ground floor outdoor amenity space adjacent to Building 2 is proposed to include play structures and a seating area.
- The fifth-storey outdoor amenity space for Building 2 is proposed to include a community garden, seating areas, picnic tables, and a barbeque.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - Design development to the exterior expression to better distinguish the two buildings;
 - Provision of adequate soil depth in flush planters along the streets;
 - Review and refinement to the grading at public realm interfaces including smooth transitions to the commercial units and south mews;
 - Design development to enhance the public plaza; and
 - Coordination among disciplines to clarify design intent.
- The applicant has been provided a detailed list identifying these Urban Design requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Jeff Ross and Tim Vandenberg, ISA Certified Arborists of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood	59	59	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	9	9	0
Coniferous Trees			
Norway Spruce	1	1	0
Western Red Cedar	6	5	1
Total (excluding Alder and Cottonwood Trees)	16	15	1
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		120	
Total Retained and Replacement Trees		121	
Contribution to the Green City Program		\$0	

- The Arborist Assessment states that there are a total of sixteen mature trees on the site, excluding Alder and Cottonwood trees. 59 existing trees, approximately 79% of the total trees on the site, are Alder and Cottonwood trees. It was determined that one tree can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, parkades, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 89 replacement trees on the site. The applicant is proposing 120 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Bowhall Maple, Persian Ironwood, Katsura Tree, and Magnolia.
- In summary, a total of 121 trees are proposed to be retained or replaced on the site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Block Plan
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	NCP Plan
Appendix VII.	ADP Comments and Response

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

KS/ar

SURVEY PLAN TO ACCOMPANY CITY OF SURREY BYLAW NO. _____ OVER PART OF NORTH HALF LOT "C" EXCEPT: FIRSTLY: THE EAST 7 FEET; AND SECONDLY: PARCEL ONE (BYLAW PLAN 87473) SECTION 9 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 16821

Current Civic Address:

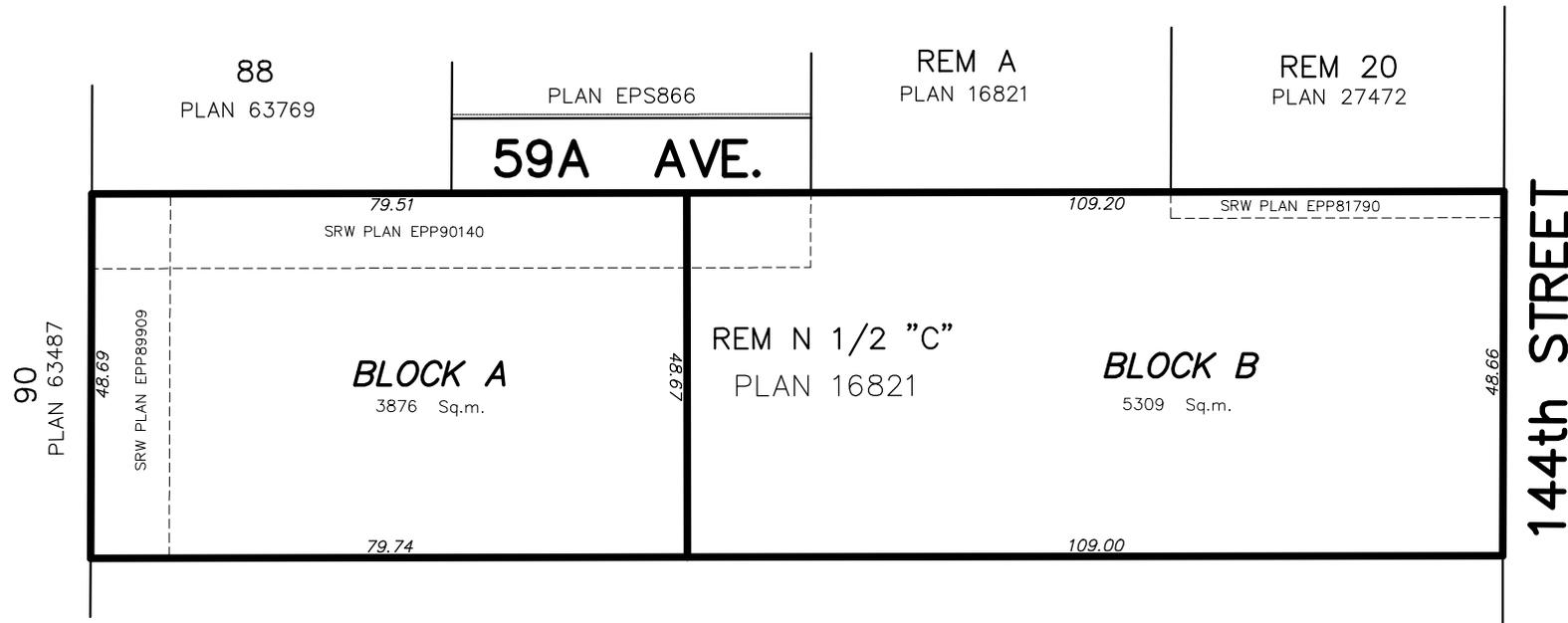
5937 – 144th Street
Surrey, B.C.

SCALE : 1:1000

FOR THE PURPOSE OF REZONING

B.C.G.S. 92G016

CITY OF SURREY



©COPYRIGHT

**DHALIWAL & ASSOCIATES
LAND SURVEYING INC.**

216–12899 76th Avenue

Surrey, B.C.

V3W 1E6

(ph) 501–6188

email: info@dhaliwalsurvey.com

FILE: 1706004–Z01

REM S 1/2 "C"

PLAN 16821

*–property dimensions are derived
from field survey*

**THIS PLAN LIES WITHIN THE
METRO VANCOUVER REGIONAL DISTRICT**

**THIS DOCUMENT IS NOT VALID UNLESS
ORIGINALLY SIGNED AND SEALED**

26th day of October, 2022

**Mark Dailey
NNH34K**

Digitally signed by Mark Dailey
NNH34K
DN: c=CA, cn=Mark Dailey NNH34K,
o=BC Land Surveyor, ou=Verify ID at
www.juricert.com/LKUP.cfm?
id=NNH34K
Date: 2022.10.27 09:30:15 -07'00'

MARK J.R. DAILEY

BCLS 867

LEGEND:

- FIRE FIGHTER ELEVATOR
- STAIRWELL TO ALL BUILDING RESIDENTIAL LEVELS & PARKING
- PRINCIPAL ENTRY
- SIAMESE CONNECTION
- FIRE HYDRANT
- PRIMARY ENTRANCE TO CRU
- F.T. FIRE TRUCK
- FIRE TRUCK ACCESS ROUTE
- PATH OF TRAVEL (BLDG. ENTRANCE TO FIRE TRUCK) (45m MAX.)
- PATH OF TRAVEL (HYDRANT TO FIRE TRUCK) OR ACCESS ROUTE
- TEMP. FIRE TRUCK TURNAROUND (REFER TO CIVIL DRAWINGS)

NOTES:
 THE CITY OF SURREY BYLAW NO.14108 FOR PUBLIC SAFETY RADIO AMPLIFICATION APPLIES TO THIS BUILDING. A COMPLETED LETTER OF UNDERTAKING BI-DIRECTIONAL AMPLIFICATION (BDA) SYSTEM INSTALLATION WILL BE SUBMITTED TO THE PLAN CHECKER AT THE BUILDING DIVISION.
 ALL FLOORING NUMBERING, WAYFINDING, LABELING, IDENTIFICATION, ETC. IS REQUIRED TO BE CONSISTENT BETWEEN THE ELEVATOR, FIRE ALARM PANEL, ANNUNCIATOR GRAPHIC, AND FIRE SAFETY PLAN. STAIRWELL DOORS ARE TO BE LABELED WITH LETTERS (I.E., A,B,C,D) ON BOTH SIDES TO INDICATE STAIRWELL IDENTITY.
 SUBMIT FIRE SAFETY PLAN TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO OCCUPANCY INSPECTION.
 FIRE SAFETY PLAN SHALL BE STORED IN A FIRE SAFETY PLAN BOX NEXT TO FIRE ALARM ANNUNCIATOR PANEL. CONSULT WITH THE FIRE DEPARTMENT FOR THE APPROVED BOX.
 STORAGE LOCKERS ARE TO BE DESIGNED IN CONFORMANCE WITH NFPA 13.

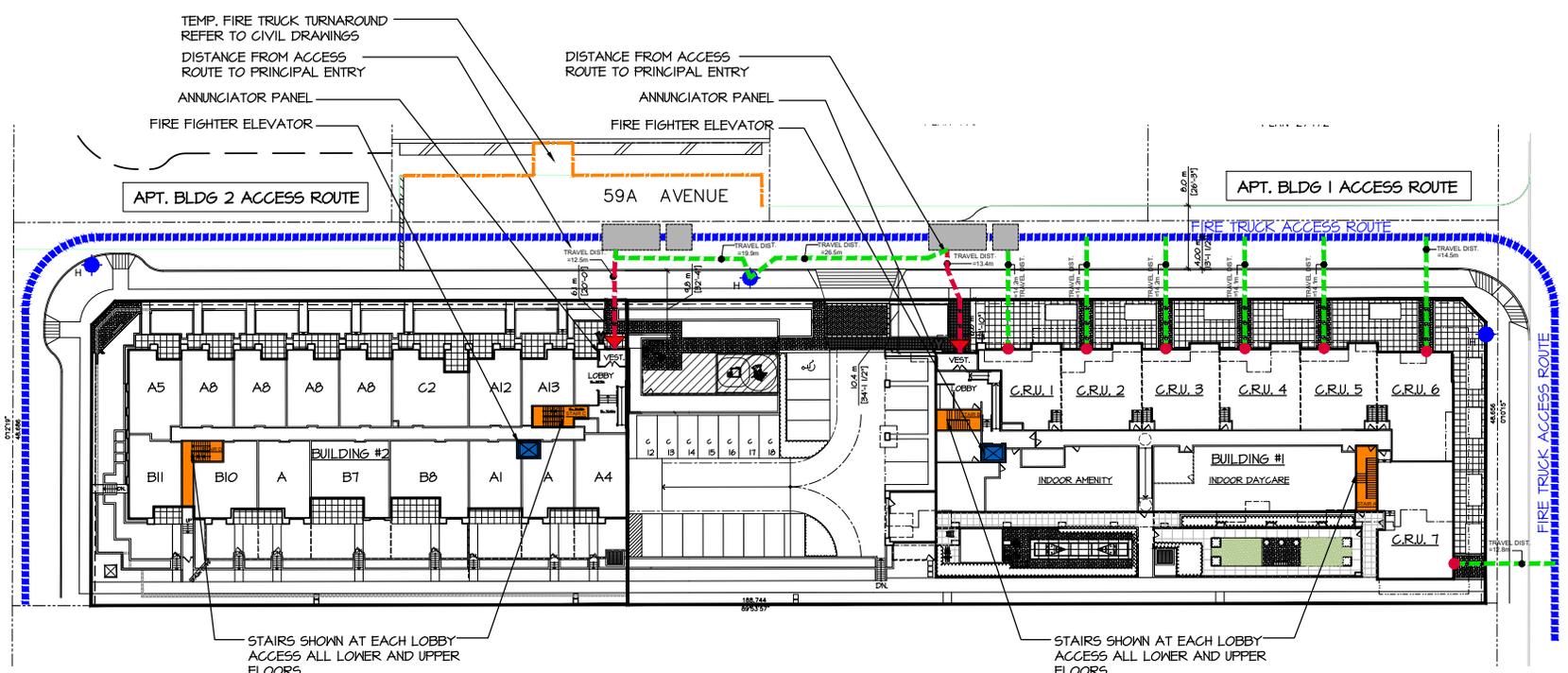
ISSUE NO.	DATE	BY	ISSUED FOR
1	12 JAN 18, 2023	L.P.A.	PREPARED FOR APPROVAL
2	12 JAN 18, 2023	L.P.A.	FOR REVIEW
3	12 JAN 18, 2023	L.P.A.	FOR REVIEW
4	12 JAN 18, 2023	L.P.A.	FOR REVIEW
5	12 JAN 18, 2023	L.P.A.	FOR REVIEW
6	12 JAN 18, 2023	L.P.A.	FOR REVIEW
7	12 JAN 18, 2023	L.P.A.	FOR REVIEW
8	12 JAN 18, 2023	L.P.A.	FOR REVIEW
9	12 JAN 18, 2023	L.P.A.	FOR REVIEW
10	12 JAN 18, 2023	L.P.A.	FOR REVIEW
11	12 JAN 18, 2023	L.P.A.	FOR REVIEW
12	12 JAN 18, 2023	L.P.A.	FOR REVIEW
13	12 JAN 18, 2023	L.P.A.	FOR REVIEW
14	12 JAN 18, 2023	L.P.A.	FOR REVIEW
15	12 JAN 18, 2023	L.P.A.	FOR REVIEW
16	12 JAN 18, 2023	L.P.A.	FOR REVIEW
17	12 JAN 18, 2023	L.P.A.	FOR REVIEW
18	12 JAN 18, 2023	L.P.A.	FOR REVIEW
19	12 JAN 18, 2023	L.P.A.	FOR REVIEW
20	12 JAN 18, 2023	L.P.A.	FOR REVIEW



DESIGN : L.P.A.	DRAWN : L.P.A.	DATE : 19th, 20 21	SCALE : 1/28" = 1'-0"
CLIENT : ANTRAC CONSTRUCTION	PROJECT : 59ST - 144th STREET, SURREY, B.C.	SHEET CONTENTS : FIRE ACCESS PLAN	

barnett dembek
 UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
17043	AC-1.01a

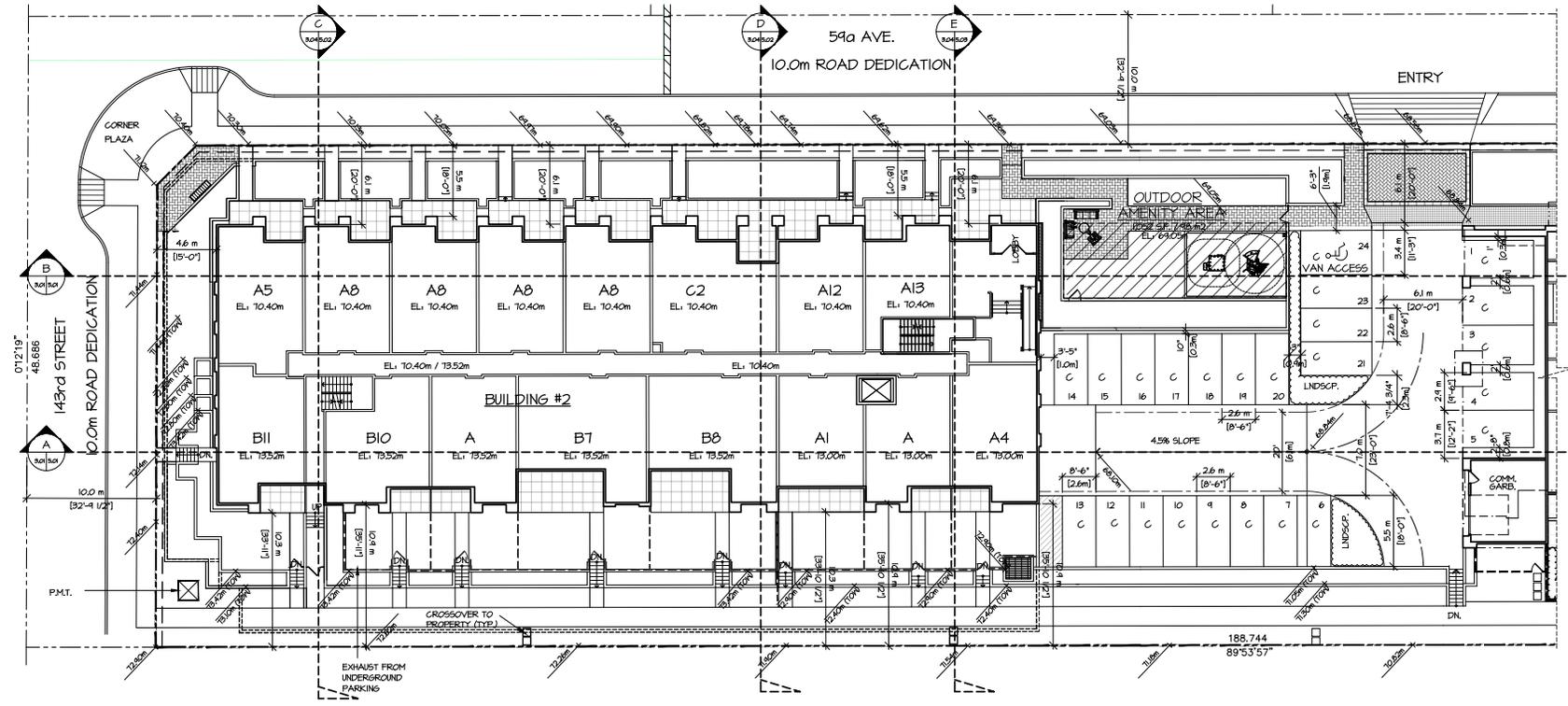


CONCEPTUAL FIRE ACCESS PLAN
 SCALE: 1/28" = 1'-0"

144th STREET
 80
 PLAN 63487

144 ST.

©COPYRIGHT, ALL DESIGNS AND THE UNEXPLORED LIKENESSES THEREOF ARE THE SOLE PROPERTY OF BARNETT DEMBEK ARCHITECTS INC. AND MAY NOT BE USED WITHOUT THE WRITTEN PERMISSION OF BARNETT DEMBEK ARCHITECTS INC. WHICH LICENSE BEING PURCHASED. COPYRIGHT INFRINGEMENT INCLUDES IDEAS GAINED AND CONVERSION THEREOF INTO ANY MATERIAL FORM CANADA COPYRIGHT ACT R.S.C. 1970.



BUILDING #2
CONCEPTUAL SITE PLAN
 SCALE: 1/15" = 1'-0"
 REFER TO SHEETS AC-5.01-5.04 FOR SITE SECTIONS
 (WEST PORTION)

ISSUE NO.	DATE	BY	ISSUED FOR
01	JAN 14, 2023	L.F.A.	CANADIAN CITY OF VANCOUVER
02	JAN 14, 2023	L.F.A.	CANADIAN CITY OF VANCOUVER
03	FEB 28, 2023	L.F.A.	CANADIAN CITY OF VANCOUVER
04	FEB 28, 2023	L.F.A.	CANADIAN CITY OF VANCOUVER

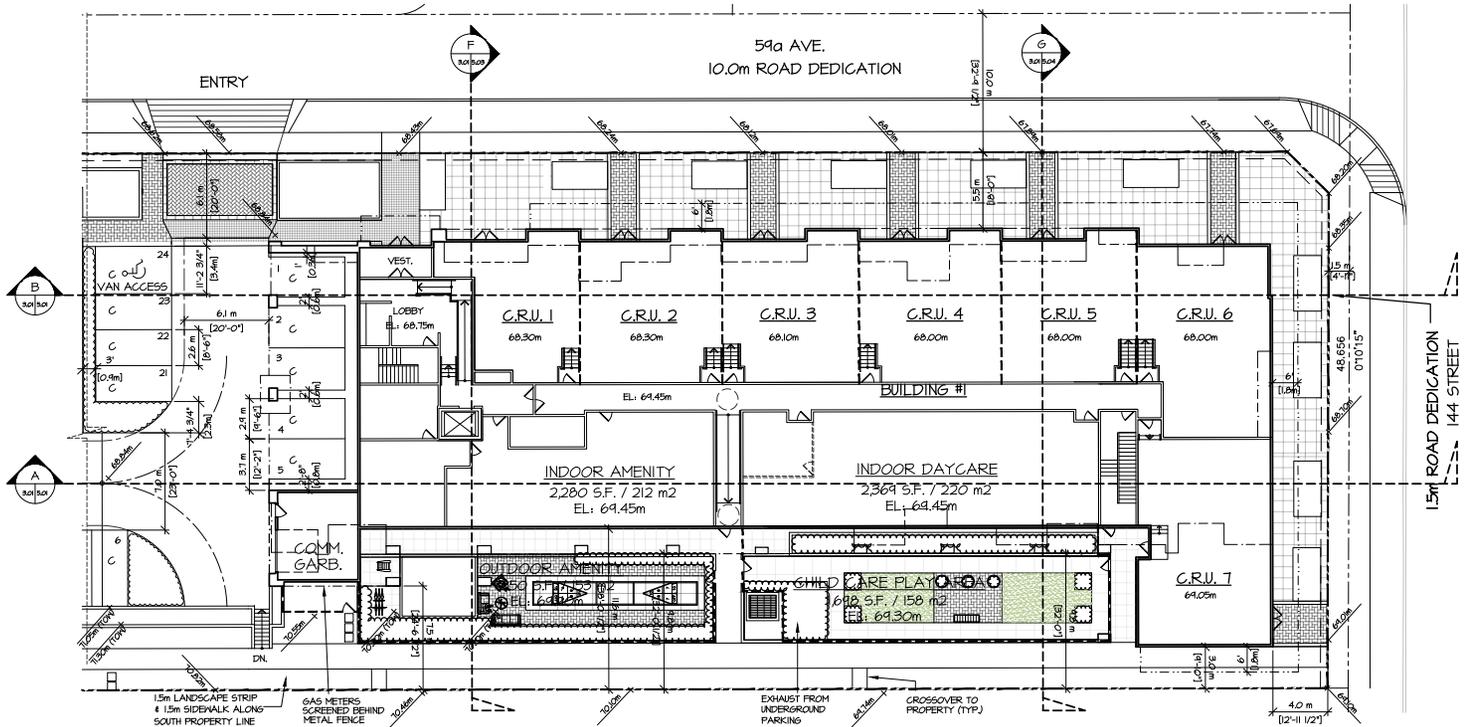


DESIGN :	ANTRAC CONSTRUCTION
DRAWN :	L.F.A.
DATE :	JAN 14 23
SCALE :	1" = 15'-0"
CLIENT :	ANTRAC CONSTRUCTION
PROJECT :	5987 - 144th STREET, SURREY, B.C.
SHEET CONTENTS :	CONCEPTUAL SPLIT SITE PLAN
	BUILDING #2

barnett dembek
 UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-1.01b
REV. NO.	17043

©COPYRIGHT, ALL DESIGNS AND THE MODIFIED DIMENSIONS THEREOF ARE THE SOLE PROPERTY OF BARNETT DEMBEK ARCHITECTS INC. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT LICENSE BEING PURCHASED. COPYRIGHT INFRINGEMENT INCLUDES IDEAS GAINED AND CONVERSION THEREOF INTO ANY MATERIAL FORM CANADA COPYRIGHT ACT R.S.C. 1970.



BUILDING #1
CONCEPTUAL SITE PLAN
 SCALE: 1/16" = 1'-0"
 REFER TO SHEETS AC-5.01-5.04 FOR SITE SECTIONS
 (EAST PORTION)

ISSUE NO.	DATE	BY	ISSUED FOR
01	JAN 18, 2023	LJA	CONCEPTUAL SITE PLAN
02	FEB 28, 2023	LJA	CONCEPTUAL SITE PLAN



CLIENT :	ANTRAC CONSTRUCTION
PROJECT :	5987 - 144th STREET, SURREY, B.C.
SHEET CONTENTS :	CONCEPTUAL SPLIT SITE PLAN BUILDING #1
DESIGN :	LJA
DRAWN :	LJA
DATE :	JAN 18 23
SCALE :	1" = 16'-0"



UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
17043	AC-1.0c

©COPYRIGHT, ALL DESIGNS AND THE MODIFIED LICENSES THEREOF ARE THE SOLE PROPERTY OF BARNETT DEMBEK ARCHITECTS INC. AND MAY NOT BE USED IN WHOLLY OR IN PART WITHOUT LICENSE BEING PURCHASED. COPYRIGHT INFRINGEMENT INCLUDES IDEAS GAINED AND CONVERSION THEREOF INTO ANY MATERIAL FORM CANADA COPYRIGHT ACT R.S.C. 1970.

ISSUE NO.	DATE	BY	ISSUED FOR
01	JUN 14 2023	L.P.A.	SUBMISSION TO A.U.P. (CONSTRUCTION)
02	JUN 14 2023	L.P.A.	FOR CONSTRUCTION



CAD-BENCHMARKING

DESIGN :	L.P.A.
DRAWN :	L.P.A.
DATE :	JUN 14 21
SCALE :	1/25" = 1'-0"

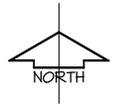
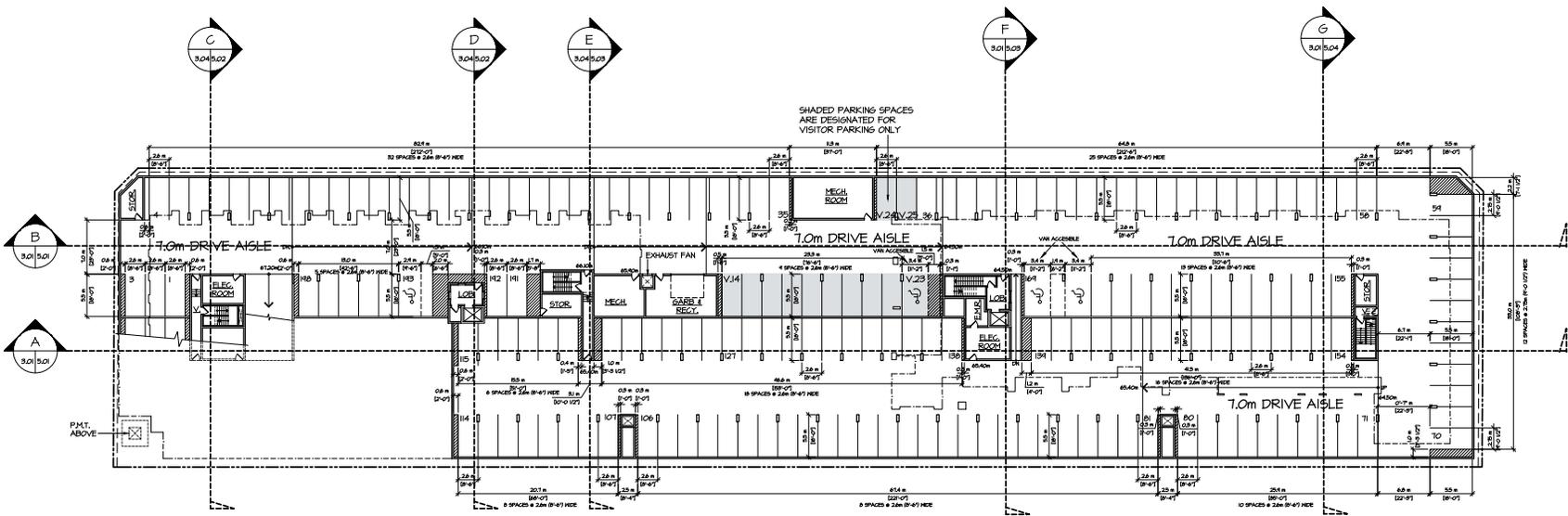
CLIENT :	ANTRAC CONSTRUCTION
PROJECT :	5927 - 144th STREET, SURREY, B.C.
SHEET CONTENTS :	UNDERGROUND PARKING PLAN SHOWING PARKING DIMENSIONS



UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
17043	AC-1.04a



U/G PARKING PLAN
SCALE: 1/25" = 1'-0"
REFER TO SHEET AC-5.01 FOR SITE SECTIONS

PARKING SPACES PROVIDED:	
25 VISITOR SPACES	12 SPACES LOCATED ON U/G PARKING LEVEL (AC-1.04)
	13 SPACES LOCATED MAIN LEVEL - BLDG 2 (AC-3.04)
29 COMMERCIAL SPACES	23 SPACES LOCATED AT GRADE (AC-1.04)
	1 SPACES LOCATED MAIN LEVEL - BLDG 2 (AC-3.04)
9 DAYCARE SPACES	2 SPACES LOCATED AT GRADE (AC-1.04)
	1 SPACES LOCATED MAIN LEVEL - BLDG 2 (AC-3.04)
169 RESIDENTIAL SPACES	164 SPACES LOCATED AT U/G PARKING LEVEL (AC-1.04)
TOTAL PARKING SPACES PROVIDED: 232	

©COPYRIGHT, ALL DESIGNS AND THE MODIFIED LICENSES THEREOF ARE THE SOLE PROPERTY OF BARNETT DEMBEK ARCHITECTS INC. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT LICENSE BEING PURCHASED. COPYRIGHT INFRINGEMENT INCLUDES IDEAS, CHANGES AND CONVERSION THEREOF INTO ANY MATERIAL FORM. CANADA COPYRIGHT ACT R.S.C. 1972.

ISSUE	DATE	BY	ISSUED FOR
1	12 JAN 14, 2023	L.F.A.	PERMISSION TO ADP
2	15 JAN 14, 2023	L.F.A.	CONSENT CITY
3	15 FEB 28, 2023	L.F.A.	CONSENT CITY
4	15 FEB 28, 2023	L.F.A.	CONSENT CITY



443-0-APARCHEN03.dwg

VERSION :	L.F.A.
DRAWN :	L.F.A.
DATE :	MAR 22 23
SCALE :	3/32" = 1'-0"

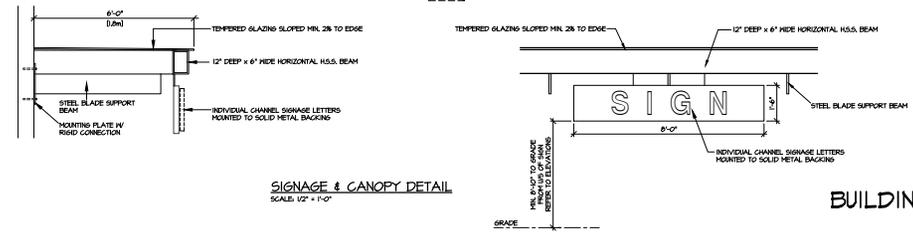
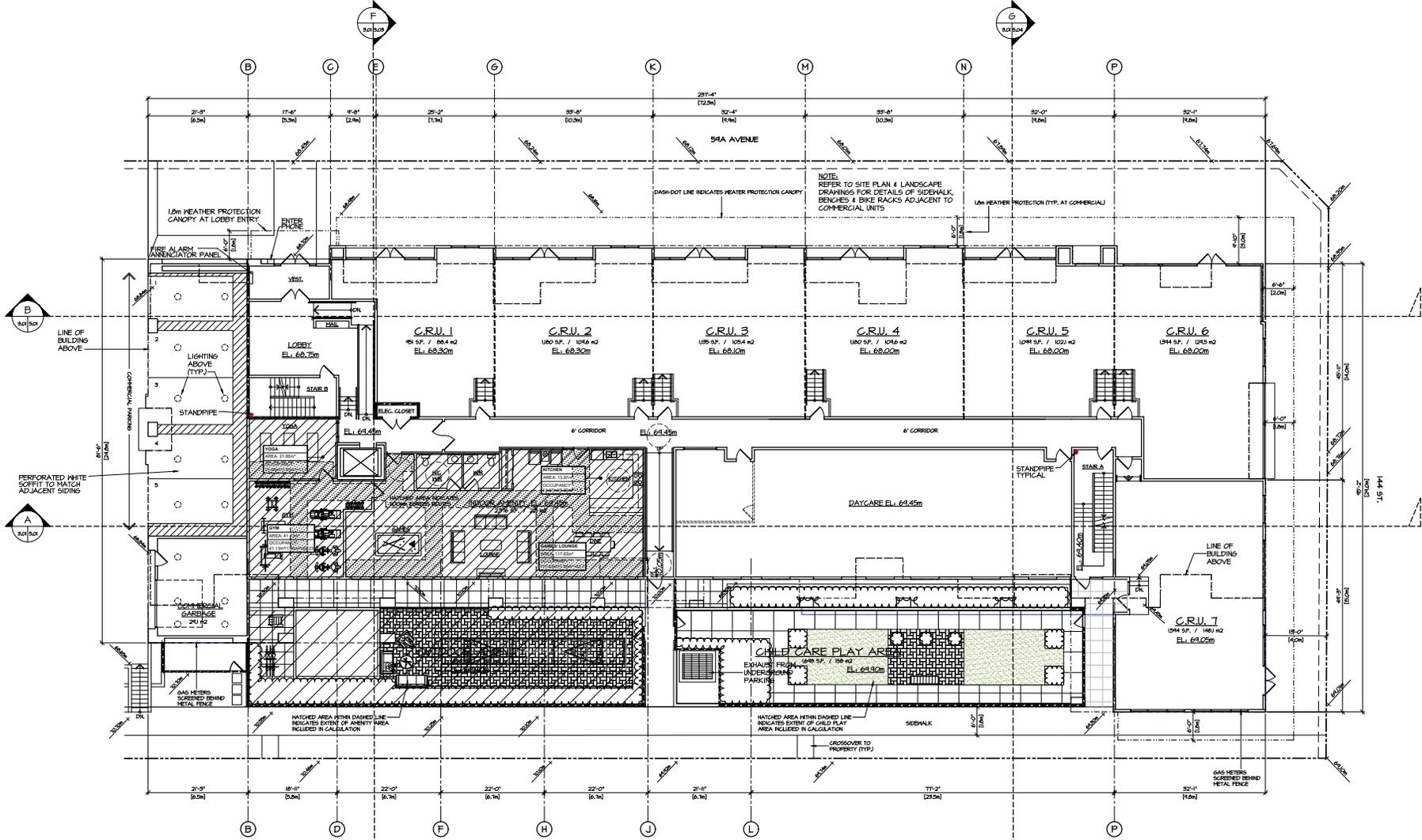
CLIENT : ANTRAC CONSTRUCTION
 PROJECT : 5957 - 144th STREET, SURREY, B.C.
 SHEET CONTENTS : BUILDING PLANS
 BUILDING #1



UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

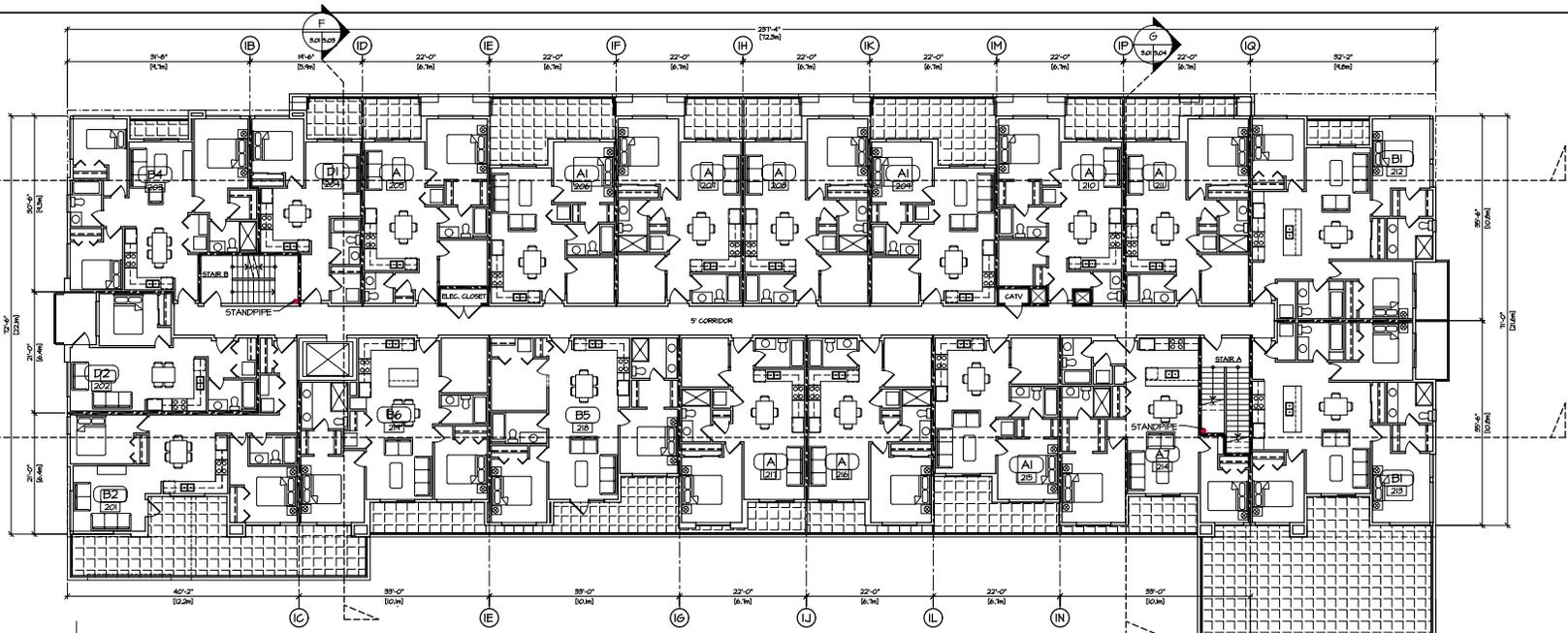
CLIENT NO.	SHEET NO.
17043	AC-3.01
REV. NO.	



MAIN FLOOR PLAN
 SCALE: 3/32" = 1'-0"
 15,744 S.F. / 1,463 m²

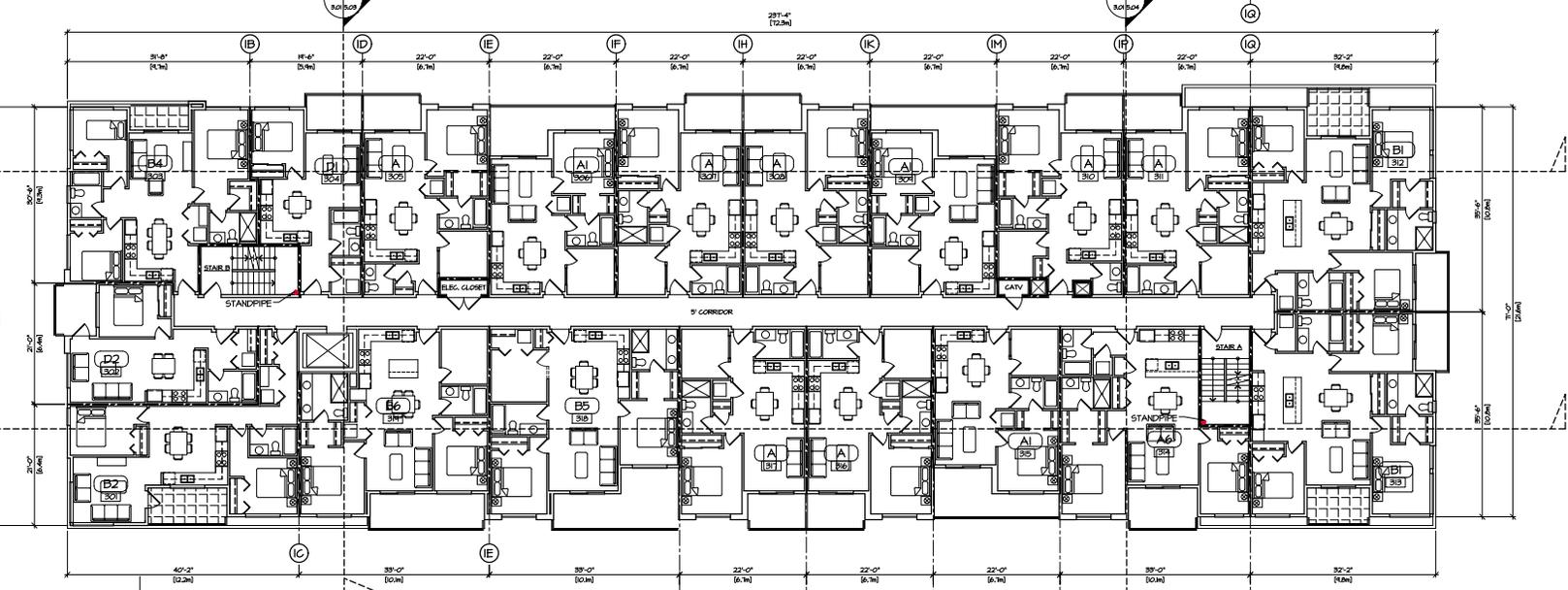
SIGNAGE & CANOPY DETAIL
 SCALE: 1/2" = 1'-0"

BUILDING #1



2nd FLOOR PLAN
 15,531 S.F. / 1,443 m² (18 UNITS)
 SCALE: 3/32" = 1'-0"

RESIDENTIAL: 13,984 S.F. / 1,281 m²
 CIRCULATION: 1,547 S.F. / 144 m²



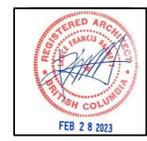
3rd FLOOR PLAN
 15,525 S.F. / 1,442 m² (18 UNITS)
 SCALE: 3/32" = 1'-0"

RESIDENTIAL: 13,989 S.F. / 1,300 m²
 CIRCULATION: 1,535 S.F. / 141 m²

© COPYRIGHT. ALL DESIGNS AND THE MODIFIED LICENSEES THEREOF ARE THE SOLE PROPERTY OF BARNETT-DENBEK ARCHITECTS INC. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT LICENSE BEING PURCHASED. COPYRIGHT INFRINGEMENT INCLUDES IDEAS, SKETCHES, AND CONVERSION THEREOF INTO ANY MATERIAL FORM. CANADA COPYRIGHT ACT R.S.C. 1970.

ISSUE	DATE	BY	ISSUED FOR
01	NOV 14, 2023	L.F.A.	PERMISSION TO ADP
02	JAN 14, 2025	L.F.A.	LOCAL GOVT
03	FEB 28, 2025	L.F.A.	LOCAL GOVT

REV#	DATE	BY	CDT



DESIGN :	L.F.A.
DRAWN :	L.F.A.
DATE :	MAR 22, 25
SHEET :	SCALE: 1" = 1'-0"

CLIENT : ANTRAC CONSTRUCTION
 PROJECT : 5951 - 144th STREET, SURREY, B.C.
 SHEET CONTENTS : BUILDING PLANS
 BUILDING #1

barnett dembek
 UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

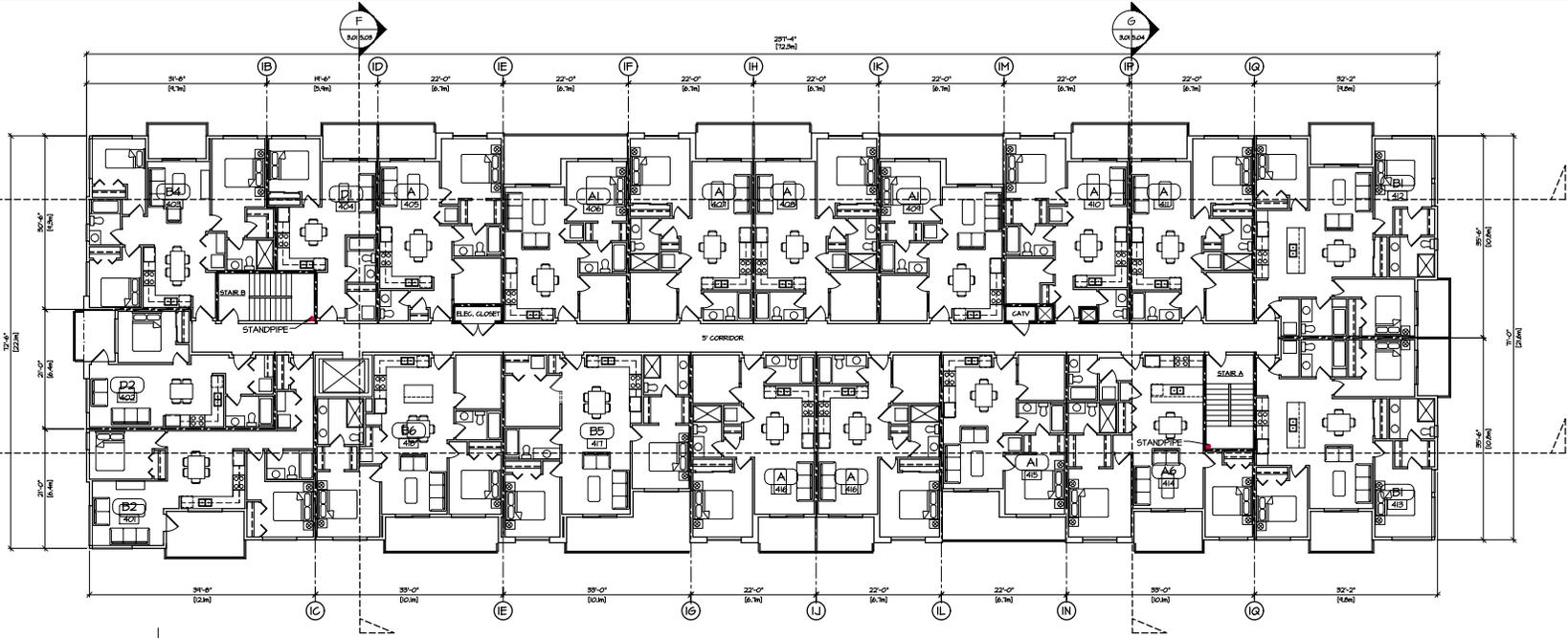
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
17043	AC-3.02

BUILDING #1

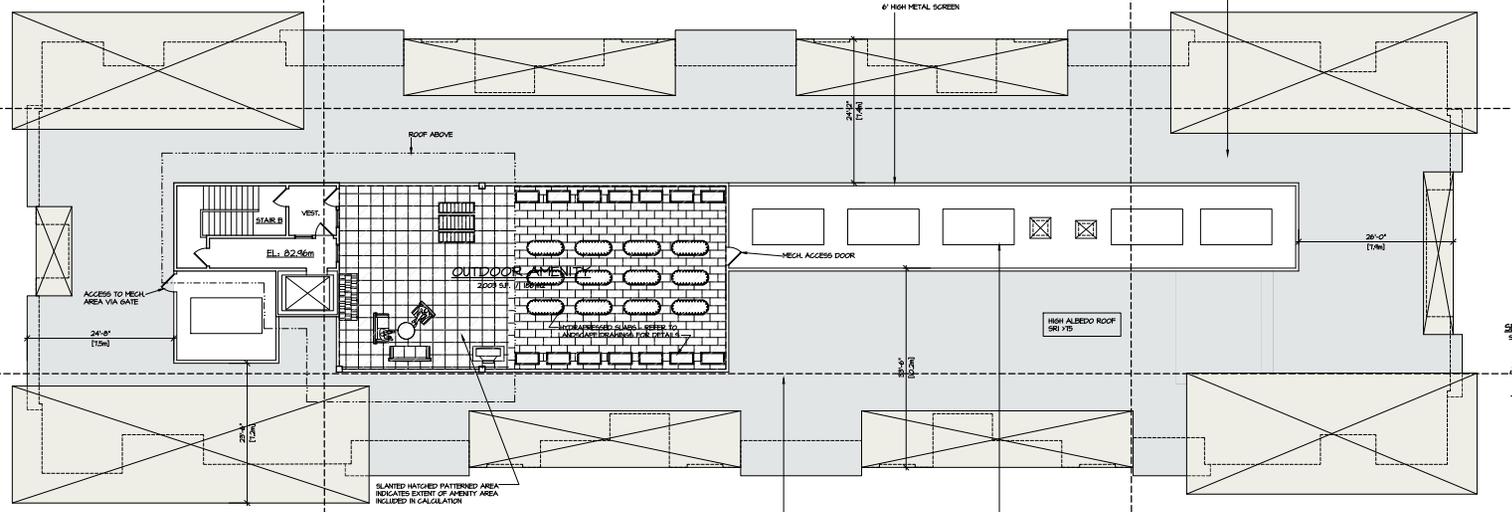
©COPYRIGHT, ALL DESIGNS AND THE MODIFIED LICENSES THEREOF ARE THE SOLE PROPERTY OF BARNETT DEMBEK ARCHITECTS INC. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT LICENSE BEING PURCHASED. COPYRIGHT INFRINGEMENT INCLUDES IDEAS, SKETCHES AND CONVERSION THEREOF INTO ANY MEDIUM. FORM CANADA COPYRIGHT ACT R.S.C. 1971.

ISSUE	DATE	BY	ISSUED FOR
01	JAN 14, 2023	L.F.A.	PERMISSION TO ADP
02	FEB 28, 2023	L.F.A.	COMMUNITY
03	FEB 28, 2023	L.F.A.	COMMUNITY

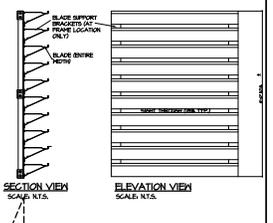
REV#	DATE	BY	DESCRIPTION



4th FLOOR PLAN
 15,225 S.F. / 1,442 m² (19 UNITS)
 SCALE : 3/32" = 1'-0"
 RESIDENTIAL: 15,892 S.F. / 1,500 m²
 CIRCULATION: 1,332 S.F. / 141 m²



5th FLOOR / ROOF PLAN
 415 S.F. / 46 m²
 SCALE : 3/32" = 1'-0"



ROOF EQUIPMENT SCREEN DETAIL
 SCALE: N.T.S.
 - PROVIDES ACCESS DOOR AS REQUIRED
 - COVERING CLIMBERS FROM SURFACE
 WITH ROOF TOP MET MANUFACTURER

ROOF TO BE CONSTRUCTED USING A BUILT-UP, HIGH ALBEDO ROOFING SYSTEM
 SHADED AREA INDICATES HIGH ALBEDO ROOFING SYSTEMS
 SCHEMATIC SUPPLEMENTAL PLAN (NO OR PART)
 MAIN ROOF TO BE R-40 (RSI 1.94)
 POSSIBLE LOCATION OF ROOFTOP MECHANICAL EQUIPMENT
 SIZE & LOCATION TO BE DETERMINED BY MECHANICAL ENGINEERING CONSULTANT AT BUILDING PERMIT STAGE



443-0-APARTMENT.dwg

DESIGN :	L.F.A.
DRAWN :	L.F.A.
DATE :	MAR 22 23
SCALE :	3/32" = 1'-0"

CLIENT : ANTRAC CONSTRUCTION
 PROJECT : 5957 - 144th STREET, SURREY, B.C.
 SHEET CONTENTS : BUILDING PLANS
 BUILDING #1



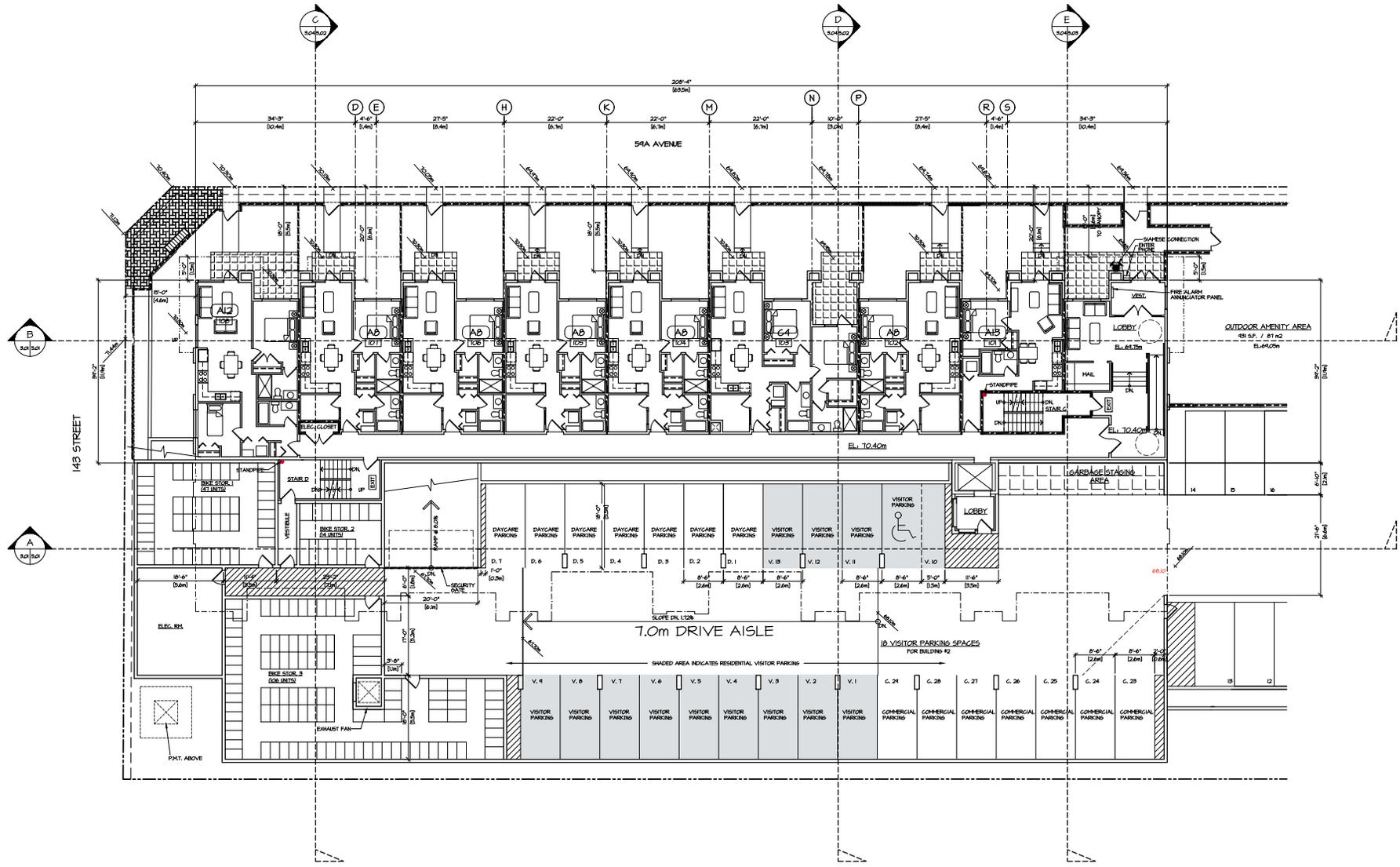
UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
17043	AC-3.03

BUILDING #1

©COPYRIGHT. ALL DESIGNS AND THE WORKED LICENSES THEREOF ARE THE SOLE PROPERTY OF BARNETT DEMBEK ARCHITECTS INC. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT LICENSE BEING PURCHASED. COPYRIGHT INFRINGEMENT INCLUDES IDEAS GAINED AND CONVERSION THEREOF INTO ANY MATERIAL FORM CANADA COPYRIGHT ACT R.S.C. 1970.



MAIN FLOOR PLAN 7479 S.F. / 741 m² (Ø UNITS)
 SCALE: 3/32" = 1'-0"
 RESIDENTIAL: 5629 S.F. / 522 m²
 CIRCULATION: 1661 S.F. / 154 m²

167 BIKE LOCKERS

ISSUE	DATE	BY	ISSUED FOR
NO	NO	LFA	PERMISSION TO ADP
01	14 JUN 2023	LFA	CONCEPTUAL
02	14 JUN 2023	LFA	CONCEPTUAL
03	28 FEB 2023	LFA	CONCEPTUAL



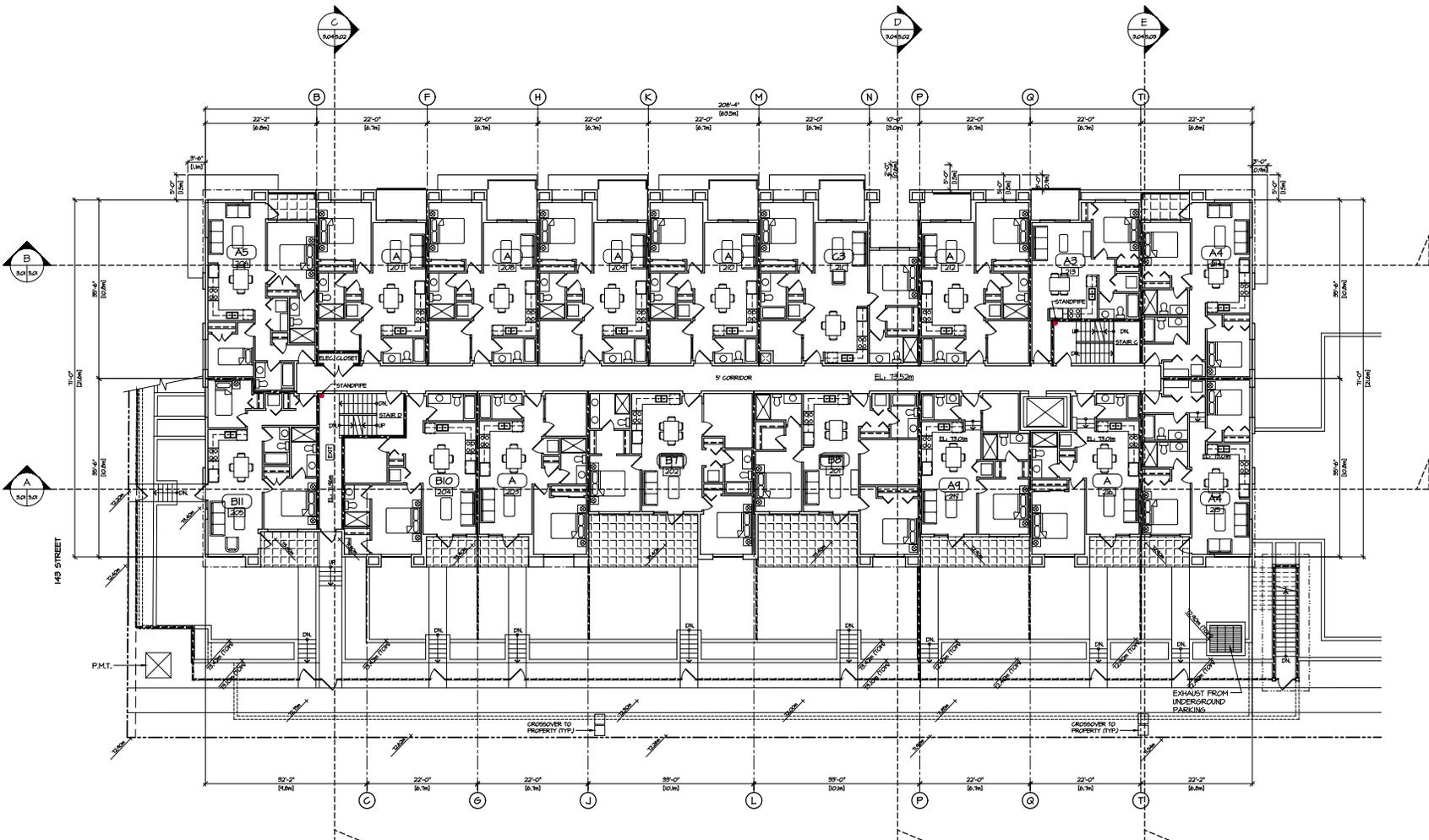
DESIGN :	LFA :	DRAWN :	DATE :	SCALE :
			FEB 28 23	3/32" = 1'-0"
CLIENT :	PROJECT :			
ANTRAC CONSTRUCTION	5921 - 144th STREET, SURREY, B.C.			
	SHEET CONTENTS :			
	BUILDING PLANS			
	BUILDING #2			



UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@borkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
17043	AC-3.04

BUILDING #2



2nd FLOOR PLAN 13,663 SF. / 1,264 m² (17 UNITS)
 SCALE: 3/32" = 1'-0"
 RESIDENTIAL REGULATION 3160 SF. / 1,032 m²
 1400 SF. / 130 m²

© COPYRIGHT, ALL RIGHTS AND THE WORKED LICENSES THEREOF ARE THE SOLE PROPERTY OF BARNETT DEMBEK ARCHITECTS INC. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT LICENSE BEING PURCHASED. COPYRIGHT INFRINGEMENT INCLUDES IDEAS GAINED AND CONVERSION THEREOF INTO ANY MATERIAL FORM CANADA COPYRIGHT ACT R.S.C. 1970.

ISSUE	DATE	BY	ISSUED FOR
1	14 JAN 14, 2023	L.F.A.	PERMISSION TO AMP
2	14 JAN 14, 2023	L.F.A.	COMPLETENESS
3	14 FEB 28, 2023	L.F.A.	COMPLETENESS

REV#	DATE	BY	DESCRIPTION



DESIGN :	L.F.A.
DRAWN :	
DATE :	FEB 28 2023
SCALE :	3/32" = 1'-0"

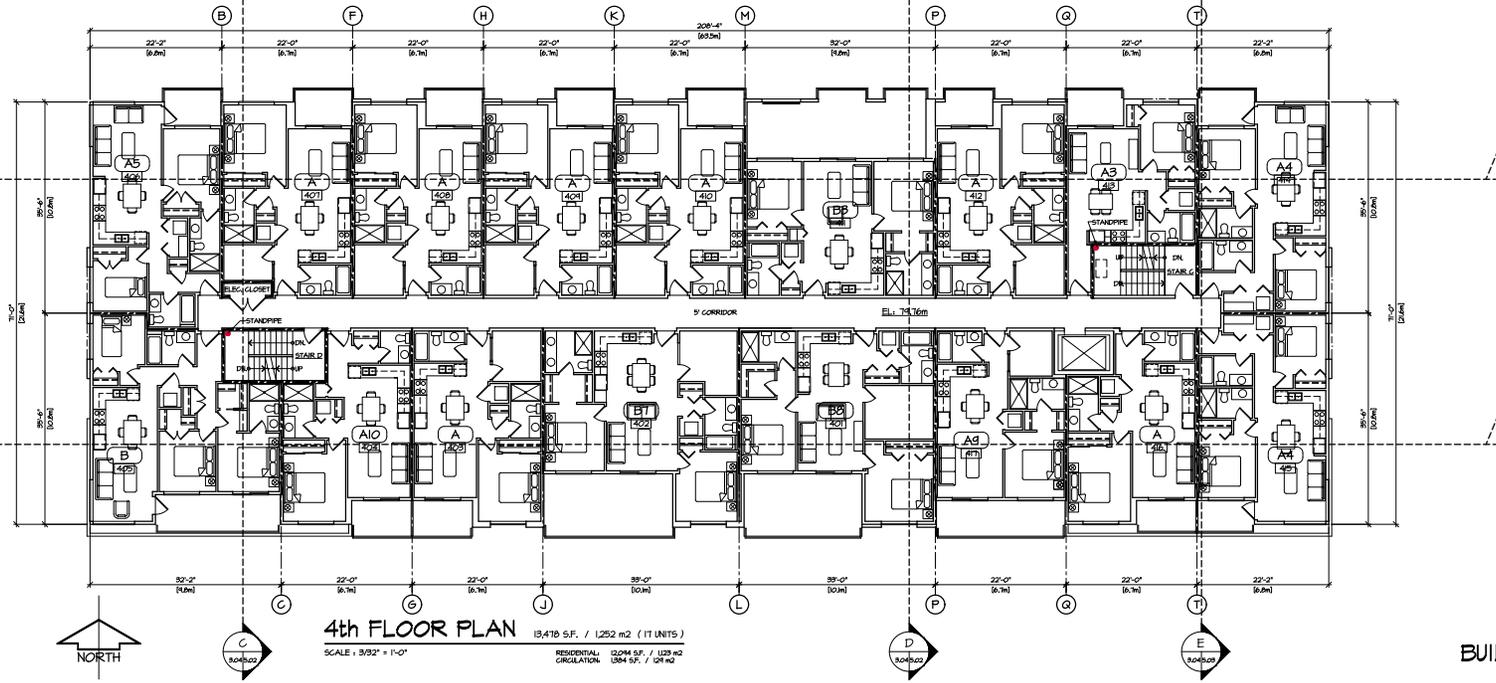
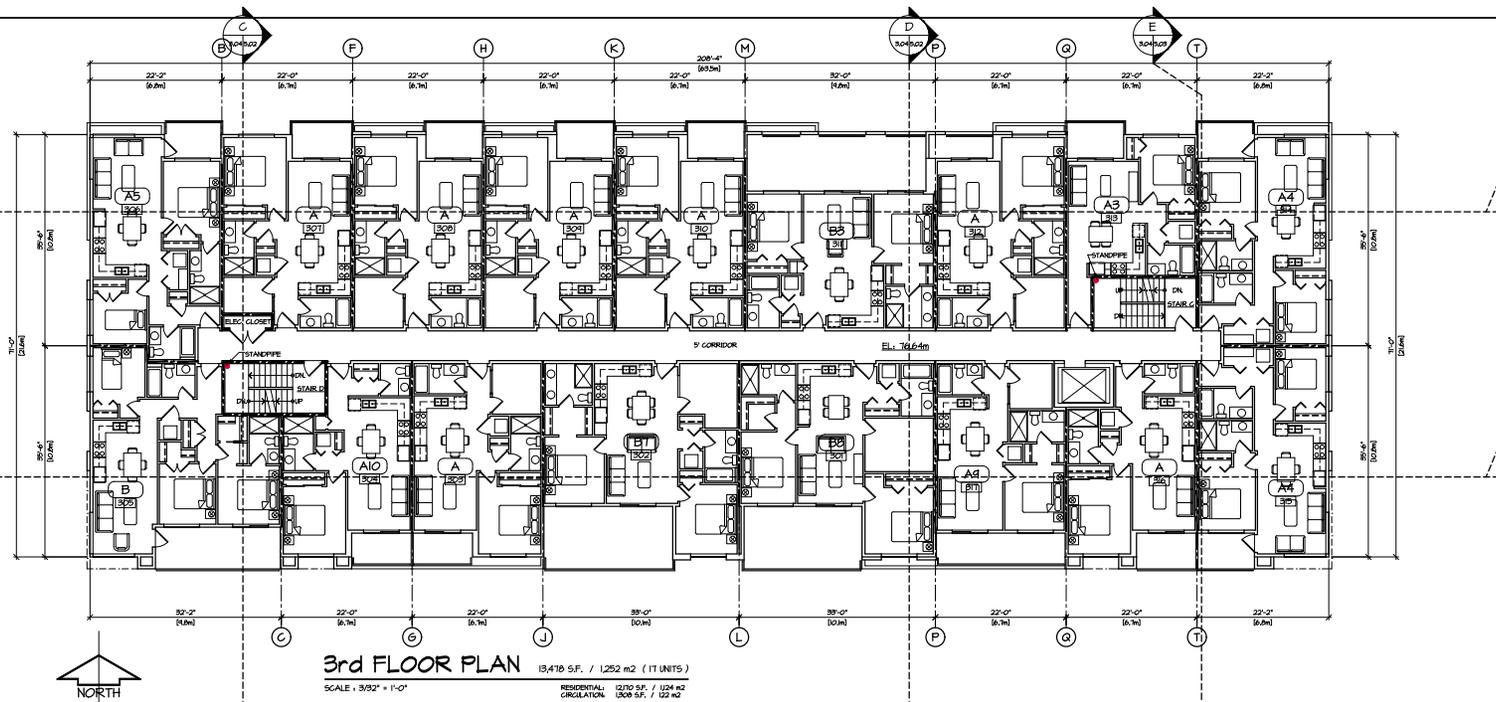
CLIENT : ANTRAC CONSTRUCTION
 PROJECT : 5421 - 144th STREET, SURREY, B.C.
 SHEET CONTENTS : BUILDING PLANS
 BUILDING #2



UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@bdorkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
17043	AC-3.05

BUILDING #2



BUILDING #2

© COPYRIGHT. ALL RIGHTS ARE RESERVED. UNLESS OTHERWISE STATED, THESE ARE THE SOLE PROPERTY OF BARNETT DEMBER ARCHITECTS INC. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT LICENSE BEING PURCHASED. COPYRIGHT INFRINGEMENT WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. IDEAS GAINED AND CONVERSION THEREOF INTO ANY MATERIAL FORM CANADA COPYRIGHT ACT R.S.C. 1970.

ISSUE	DATE	BY	ISSUED FOR
10	FEB 28, 2023	LFA	CONSTRUCTION
9	JAN 18, 2023	LFA	CONSTRUCTION
8			

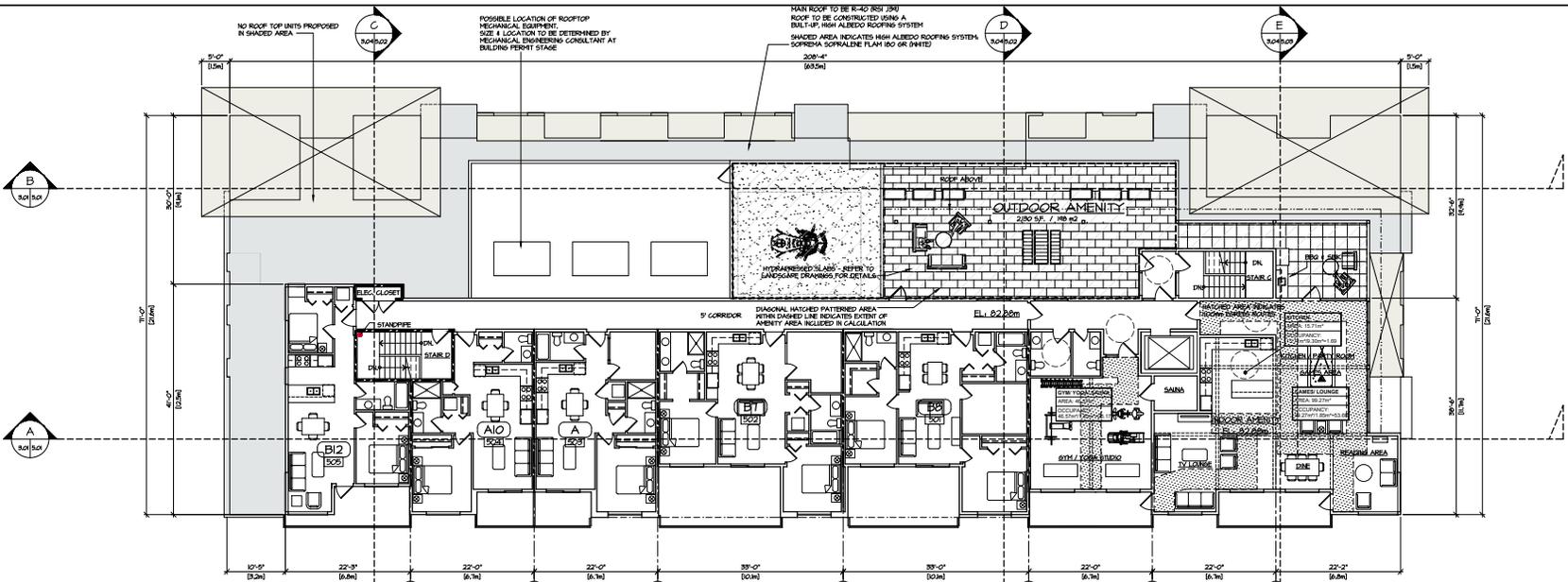


DESIGN: L.F.A.
 DRAWN: F.M.
 DATE: FEB. 22, 2023
 SCALE: 3/32" = 1'-0"

CLIENT: ANTRAC CONSTRUCTION
 PROJECT: 5921 - 144th STREET, SURREY, B.C.
 SHEET CONTENTS: BUILDING PLANS
 BUILDING #2

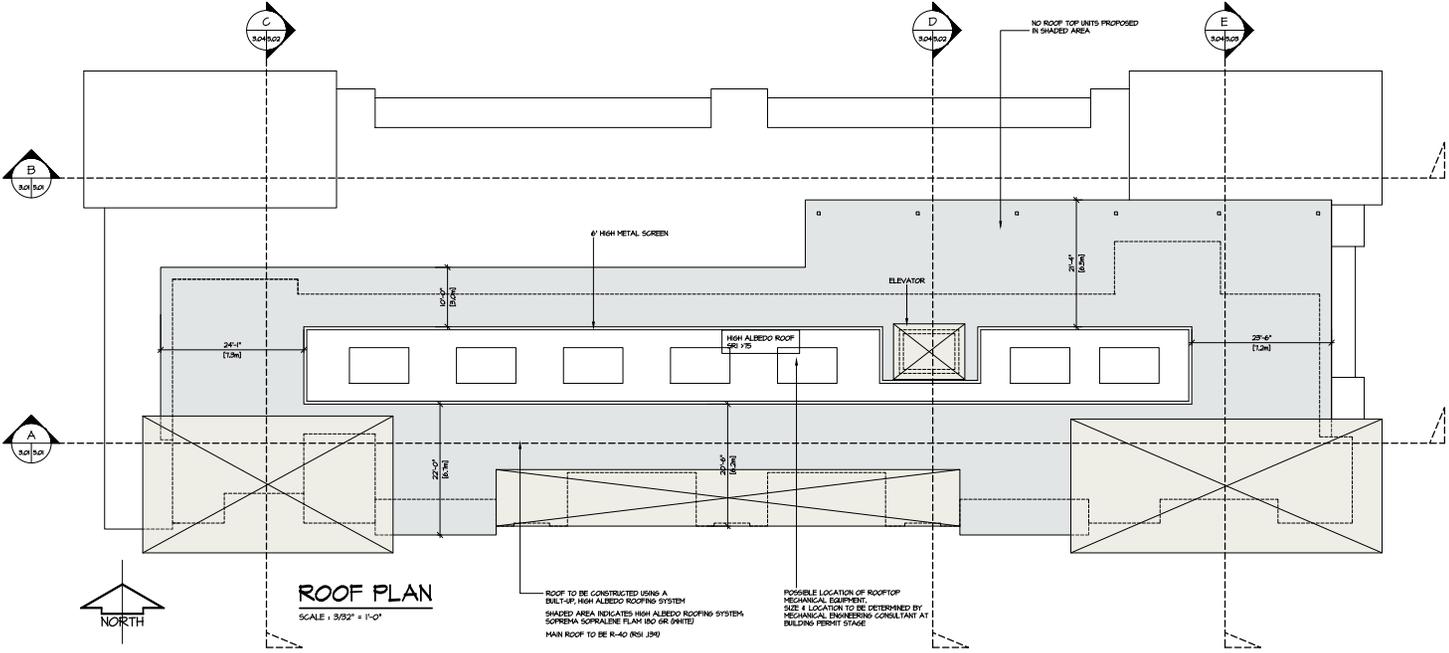
barnett dembek
 UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
17043	AC-3.06



5th FLOOR PLAN
SCALE: 3/32" = 1'-0"

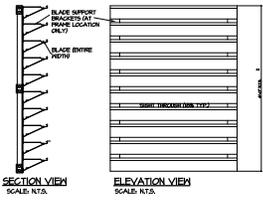
TOTAL S.F. / 660 m² (5 UNITS)
RESIDENTIAL: 572 S.F. / 530 m²
CIRCULATION: 178 S.F. / 164 m²
AMENITY: 104 S.F. / 97 m²



ROOF PLAN
SCALE: 3/32" = 1'-0"

ROOF TO BE CONSTRUCTED USING A BUILT-UP HIGH ALBEDO ROOFING SYSTEM
SHADED AREA INDICATES HIGH ALBEDO ROOFING SYSTEM
SOPHREA SCROLLLINE FLAMING OR (SHITE)
MAIN ROOF TO BE R-40 (RSI .130)

POSSIBLE LOCATION OF ROOFTOP MECHANICAL EQUIPMENT.
SIZE & LOCATION TO BE DETERMINED BY MECHANICAL ENGINEERING CONSULTANT AT BUILDING PERMIT STAGE



ROOF EQUIPMENT SCREEN DETAIL
SCALE: N.T.S. REFERENCE TO MANUFACTURER'S SPECS
• PROVIDE ACCESS DOOR AS REQUIRED
• CORNER CLIMBER FOR EQUIPMENT WITH ROOF TOP AIR HANDLING UNITS

REV#	DATE	DRN	CDT	ISSUE	DATE	BY	ISSUED FOR
01	FEB 28, 2023			NO	FEB 28, 2023	L.F.A.	MEMORANDUM TO ACP
02	JAN 18, 2023			NO	JAN 18, 2023	L.F.A.	CONSENTIVITY
03	FEB 28, 2023			NO	FEB 28, 2023	L.F.A.	CONSENTIVITY



DESIGN : L.F.A.	DRAWN : L.F.A.	DATE : FEB 28 2023	SCALE : 3/32" = 1'-0"
CLIENT : ANTRAC CONSTRUCTION		PROJECT : 5921 - 144th STREET, SURREY, B.C.	
PROJECT NO. 11043		SHEET CONTENTS : BUILDING PLANS BUILDING #2	

barnett dembek
UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
11043	AC-3.01

BUILDING #2



NORTH ELEVATION 59A AVENUE

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION PEDESTRIAN MENUS



SCHEDULE OF FINISHES	
①	2x4 HOOD FASCIA - WHITE
②	1" DEEP HOOD FRAMED CANOPY - BLACK
③	12" DEEP METAL CANOPY W/ FASCIA HING SHANG
④	BRICK VENEER - HEIRON BRICK COMPANY - SILVERADO
⑤	6" CONCRETE CAP ABOVE BRICK
⑥	HARDIE PANEL SIDING (SMOOTH FINISH)
⑦	16" HARDIE BRICK SYSTEM - LAPPED FINISH
⑧	HARDIE PANEL SIDING (SMOOTH FINISH) - ARCTIC WHITE
⑨	HARDIE-PLANK LAP SIDING (6" PROFILE) - ARCTIC WHITE
⑩	HARDIE-PLANK LAP SIDING (4" PROFILE) - ARCTIC WHITE
⑪	VINYL FRAMED WINDOWS
⑫	ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM
⑬	1/8" HOOD TRIM AT WINDOWS
⑭	42" HIGH ALUMINUM GUARD RAIL W/ TEmPERED GLAZING PANELS
⑮	VEGETATIVE LIVING WALL
⑯	METAL LEAVES FOR COMMERCIAL MECHANICAL EXHAUST
⑰	BLACK ALUMINUM PRIVACY SCREEN W/ FROSTED TEmPERED GLAZING PANELS
⑱	BRICK VENEER - BELDEN BRICK - SEA GRAY SMOOTH



ISSUE	DATE	BY	ISSUED FOR
1	12 JAN 14 2023	L.F.A.	SUBMISSION TO ACP
2	12 JAN 14 2023	L.F.A.	CONCRETE CITY
3	12 FEB 28 2023	L.F.A.	CONCRETE CITY
4	12 FEB 28 2023	L.F.A.	CONCRETE CITY



DESIGN :	L.F.A.
DRAWN :	
DATE :	JAN 14 23
SCALE :	3/32" = 1'-0"

CLIENT :	ANTRAC CONSTRUCTION
PROJECT :	59ST - 144th STREET, SURREY, B.C.
SHEET CONTENTS :	ELEVATIONS
BUILDING # :	

barnett dembek

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
17043	AC-4.01

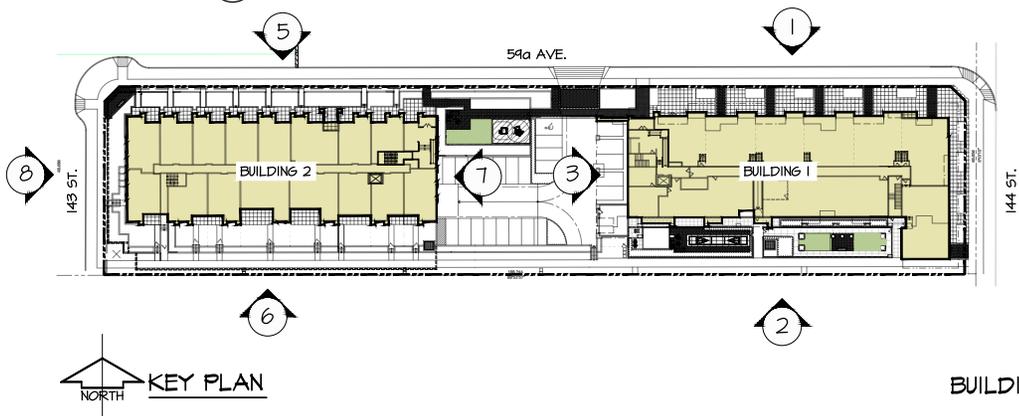


3 WEST ELEVATION BETWEEN BUILDINGS



4 EAST ELEVATION 144 ST.
SCALE: 3/32" = 1'-0"

SCHEDULE OF FINISHES	
①	2x4 HOOD FASCIA - WHITE
②	14" DEEP HOOD FRAMED CANOPY - BLACK
③	12" DEEP METAL CANOPY W/ FASCIA HANG STORAGE
④	BRICK VENEER - HEIRON BRICK COMPANY - SILVERADO
⑤	6" CONCRETE CAP ABOVE BRICK
⑥	HARDE PANEL SIDING (SMOOTH FINISH)
⑦	HARDE PANEL SIDING (SMOOTH FINISH) - ARCTIC WHITE
⑧	HARDE-PLANK LAP SIDING (4" PROFILE) - ARCTIC WHITE
⑨	HARDE-PLANK LAP SIDING (4" PROFILE) - ARCTIC WHITE
⑩	VINYL FRAMED WINDOWS
⑪	ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM
⑫	1x6 HOOD TRIM AT WINDOWS
⑬	42" HIGH ALUMINUM GUARD RAIL W/ TEMPERED GLAZING PANELS
⑭	VEGETATIVE LIVING WALL
⑮	METAL LOUVERES FOR COMMERCIAL MECHANICAL EXHAUST
⑯	BLACK ALUMINUM PRIVACY SCREEN W/ FROSTED TEMPLERED GLAZING PANELS
⑰	BRICK VENEER - BELDEN BRICK - SEA GRAY SMOOTH



KEY PLAN

BUILDING #1

©COPYRIGHT, ALL DESIGNS AND THE WORKED DRAWINGS THEREOF ARE THE SOLE PROPERTY OF BARNETT DANKER ARCHITECTS INC. AND MAY NOT BE USED IN WHOLLY OR IN PART WITHOUT LICENSE BEING PURCHASED. COPYRIGHT INFRINGEMENT INCLUDES IDEAS GAINED AND CONVERSION THEREOF INTO ANY MATERIAL FORM CANADA COPYRIGHT ACT R.S.C. 1970.

REV#	DATE	BY	ISSUE FOR
NO	FEB 28, 2023	L.F.A.	FOR CITY
NO	JAN 14, 2023	L.F.A.	FOR CITY
NO	FEB 28, 2023	L.F.A.	FOR CITY

DESIGN : L.F.A.
DRAWN :
DATE : JAN 14, 23
SCALE : 3/32" = 1'-0"

CLIENT : ANTRAC CONSTRUCTION
PROJECT : 5927 - 144th STREET, SURREY, B.C.
SHEET CONTENTS : ELEVATIONS
BUILDING #1

barnett danker
UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO. SHEET NO.
17043 AC-4.02
PROJECT NO. REV. NO.

REGISTERED ARCHITECT
BARNETT DANKER
FEB 28 2023
C49-ELEVATIONS

©COPYRIGHT, ALL DESIGNS AND THE MODIFIED WARRANTIES THEREOF ARE THE SOLE PROPERTY OF BARNETT DENBOK ARCHITECTS INC. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT LICENSE BEING PURCHASED. COPYRIGHT INFRINGEMENT INCLUDES IDEAS GAINED AND CONVERSION THEREOF INTO ANY MATERIAL FORM CANADA COPYRIGHT ACT R.S.C. 1996.

ISSUE	DATE	BY	ISSUED FOR
1	10 JAN 2023	L.F.A.	SUBMISSION TO A.P.T. (CITY OF SURREY)
2	10 FEB 2023	L.F.A.	FOR CITY (CITY OF SURREY)



DESIGN :	ANTRAC CONSTRUCTION
DRAWN :	
DATE :	JAN 14 23
SCALE :	3/32" = 1'-0"
PROJECT :	5927 - 144th STREET, SURREY, B.C.
SHEET CONTENTS :	ELEVATIONS
	BUILDING #2

barnett denbok
ARCHITECTS
UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
17043	AC-4.03

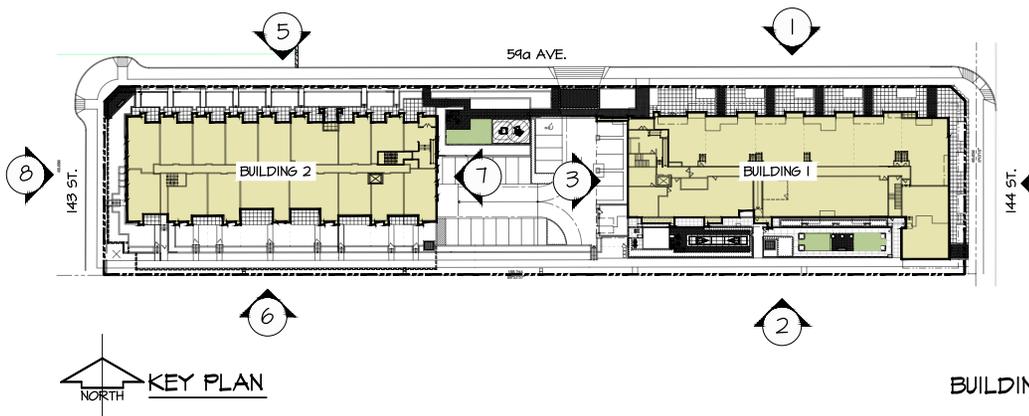


5 NORTH ELEVATION 59A AVENUE
SCALE: 3/32" = 1'-0"



6 SOUTH ELEVATION PEDESTRIAN WALK
SCALE: 3/32" = 1'-0"

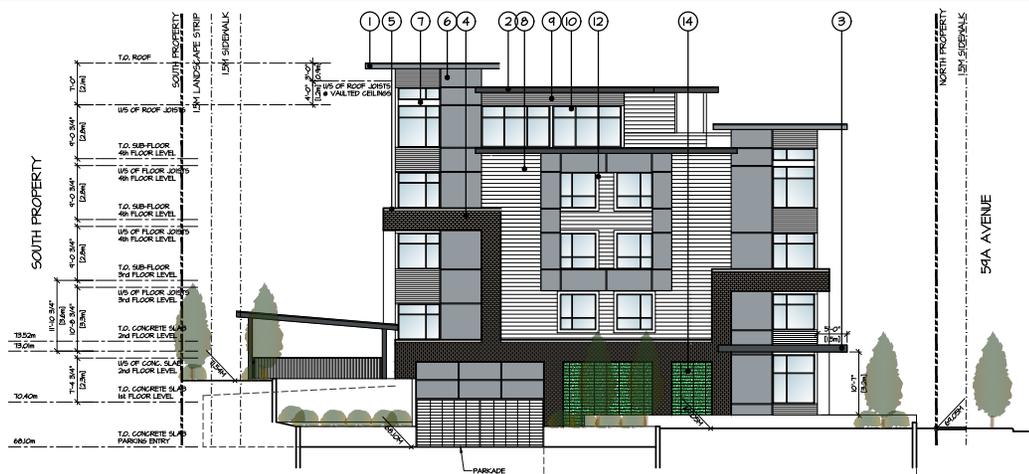
SCHEDULE OF FINISHES	
①	3/4" HOOD FASCIA - WHITE
②	1/4" DEEP HOOD FRAMED CANOPY - BLACK
③	1/2" DEEP METAL CANOPY W/ FASCIA HANG STORAGE
④	BRICK VENEER - HEIRON BRICK COMPANY - SILVERADO
⑤	6" CONCRETE CAP ABOVE BRICK
⑥	HARDIE PANEL SIDING (SMOOTH FINISH) W/ HORIZONTAL BRICK-LIKE JOISTS - LARSEN WHITE
⑦	HARDIE PANEL SIDING (SMOOTH FINISH) - ARCTIC WHITE
⑧	HARDIE-PLANK LAP SIDING (4" PROFILE) - ARCTIC WHITE
⑨	HARDIE-PLANK LAP SIDING (4" PROFILE) - ARCTIC WHITE
⑩	VINYL FRAMED WINDOWS
⑪	ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM
⑫	1/2" HOOD TRIM AT WINDOWS
⑬	42" HIGH ALUMINUM GUARD RAIL W/ TEMPERED GLAZING PANELS
⑭	VEGETATIVE LIVING WALL
⑮	METAL LOUVERES FOR COMMERCIAL MECHANICAL EXHAUST
⑯	BLACK ALUMINUM PRIVACY SCREEN W/ FROSTED TEMPERED GLAZING PANELS
⑰	BRICK VENEER - BELDEN BRICK - SEA GRAY SMOOTH



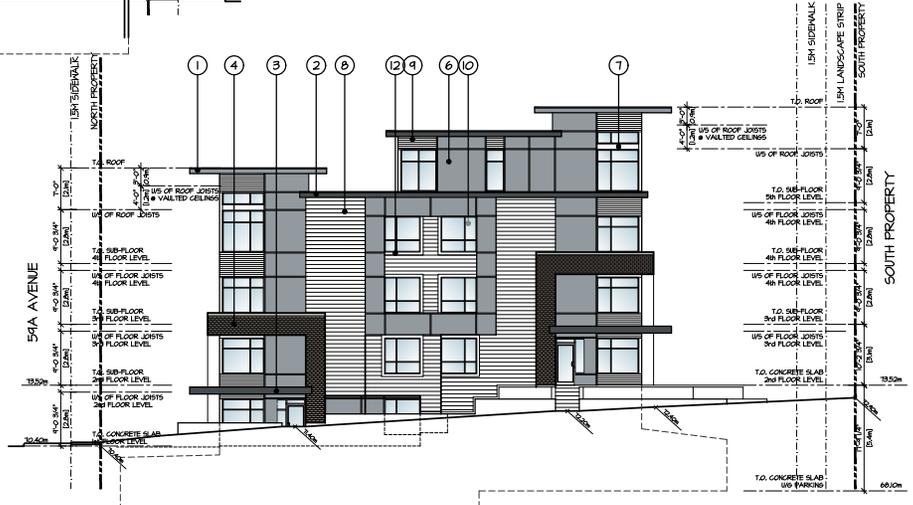
KEY PLAN

BUILDING #2

© COPYRIGHT, ALL RIGHTS AND THE
 WORKER LICENSES THEREOF ARE
 THE SOLE PROPERTY OF BARNETT
 DENBOK ARCHITECTS INC. AND MAY
 NOT BE USED WHOLLY OR IN PART
 WITHOUT LICENSE BEING PURCHASED.
 COPYRIGHT INFRINGEMENT INCLUDES
 IDEAS GAINED AND CONVERSION
 THEREOF INTO ANY MATERIAL FORM
 CANADA COPYRIGHT ACT R.S.C. 1976

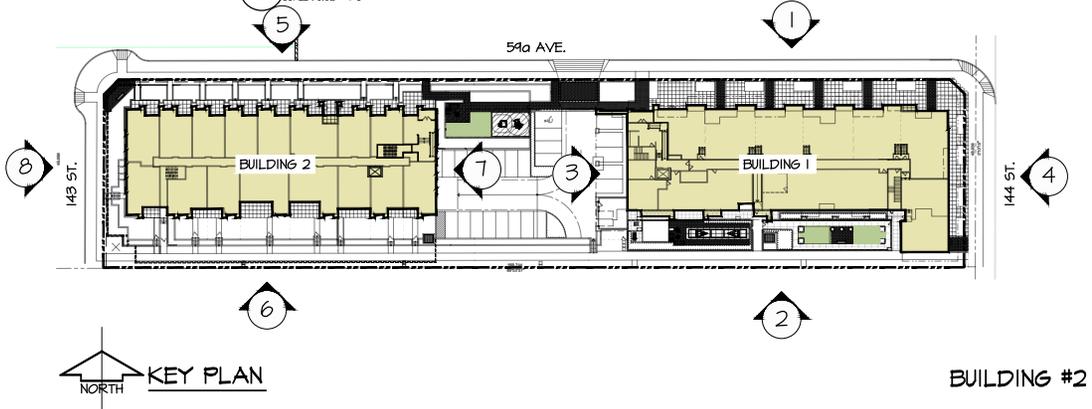


7 EAST ELEVATION BETWEEN BUILDINGS
 SCALE: 3/32" = 1'-0"



8 WEST ELEVATION 143 STREET
 SCALE: 3/32" = 1'-0"

SCHEDULE OF FINISHES	
	① 2x4 HOOD FASCIA - WHITE
	② 1 1/2" DEEP HOOD FRAMED CANOPY - BLACK
	③ 1 1/2" DEEP METAL CANOPY W/ FASCIA HANG STORAGE
	④ BRICK: VENEER - HEHRON BRICK COMPANY - SILVERADO
	⑤ 6" CONCRETE CAP ABOVE BRICK
	⑥ HARDIE PANEL SIDING SMOOTH FINISH
	⑦ HARDIE PANEL SIDING SMOOTH FINISH - ARCTIC WHITE
	⑧ HARDIE PANEL SIDING SMOOTH FINISH - ARCTIC WHITE
	⑨ HARDIE-PLANK LAP SIDING (1 1/2" PROFILE) - ARCTIC WHITE
	⑩ VINYL FRAMED WINDOWS
	⑪ ANODIZED ALUMINUM STORE FRONT GLAZING SYSTEM
	⑫ 1x6 HOOD TRIM AT WINDOWS
	⑬ 42" HIGH ALUMINUM GUARD RAIL W/ TEMPERED GLAZING PANELS
	⑭ VEGETATIVE LIVING WALL
	⑮ METAL LOUVERS FOR COMMERCIAL MECHANICAL EXHAUST
	⑯ BLACK ALUMINUM PRIVACY SCREEN W/ TINTED TEMPERED GLAZING PANELS
	⑰ BRICK: VENEER - BELDEN BRICK - SEA GRAY SMOOTH



KEY PLAN

BUILDING #2

ISSUE	DATE	BY	ISSUED FOR
1	12 JAN 14 2023	L.F.A.	SUBMISSION TO ACP
2	12 JAN 14 2023	L.F.A.	CORRECTIVITY
3	12 FEB 24 2023	L.F.A.	CORRECTIVITY
4	12 FEB 24 2023	L.F.A.	CORRECTIVITY
5	12 FEB 24 2023	L.F.A.	CORRECTIVITY
6	12 FEB 24 2023	L.F.A.	CORRECTIVITY
7	12 FEB 24 2023	L.F.A.	CORRECTIVITY
8	12 FEB 24 2023	L.F.A.	CORRECTIVITY
9	12 FEB 24 2023	L.F.A.	CORRECTIVITY
10	12 FEB 24 2023	L.F.A.	CORRECTIVITY
11	12 FEB 24 2023	L.F.A.	CORRECTIVITY
12	12 FEB 24 2023	L.F.A.	CORRECTIVITY
13	12 FEB 24 2023	L.F.A.	CORRECTIVITY
14	12 FEB 24 2023	L.F.A.	CORRECTIVITY
15	12 FEB 24 2023	L.F.A.	CORRECTIVITY
16	12 FEB 24 2023	L.F.A.	CORRECTIVITY
17	12 FEB 24 2023	L.F.A.	CORRECTIVITY
18	12 FEB 24 2023	L.F.A.	CORRECTIVITY
19	12 FEB 24 2023	L.F.A.	CORRECTIVITY
20	12 FEB 24 2023	L.F.A.	CORRECTIVITY



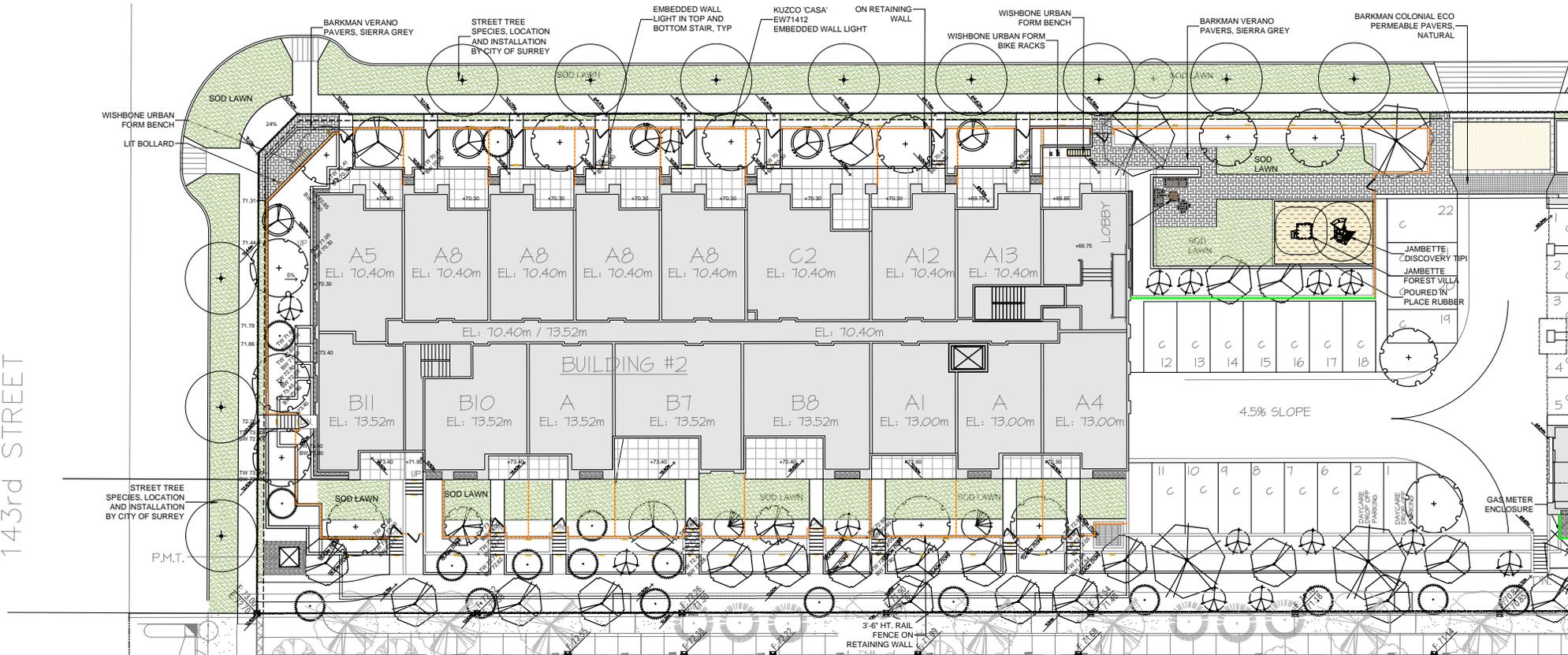
CLIENT : ANTRAC CONSTRUCTION
 PROJECT : 5927 - 144th STREET, SURREY, B.C.
 SHEET CONTENTS : ELEVATIONS BUILDING #2

DESIGN : L.F.A.
 DRAWN : L.F.A.
 DATE : JAN 14 23
 SCALE : 3/32" = 1'-0"

barnett dembok
 UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnett-dembok.com

CLIENT NO. 17043
 SHEET NO. AC-4.04
 REV. NO.

143rd STREET



TREE SCHEDULE			PMG PROJECT NUMBER: 18-239	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
4		ACER JAPONICUM 'ACONITIFOLIUM'	FERN-LEAF FULLMOON MAPLE	6CM CAL; 1M STD
33		ACER RUBRUM 'BOWHALL'	COLUMBIAN BOWHALL MAPLE	6CM CAL; 2M STD; B&B
2		'AMLANCHER' x GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6CM CAL; 1M STD; B&B
6		CERCIDIPHYLLUM JAPONICUM	KATSURRA TREE	6CM CAL; 1.2M STD; B&B
7		CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEEPING NOOTKA CYPRESS	3M HT; B&B
6		MAGNOLIA x 'SUSAN'	SUSAN MAGNOLIA (RED PURPLE)	6CM CAL; 1M STD
22		PAEONIA 'PERSECA VANESSA'	VANESSA 'PERSECA' PINKWOOD	6CM CAL; 1M STD; B&B
15		PICEA GLAUCOA 'PENDULA'	WEEPING WHITE SPRUCE	3M HT; B&B
25		PICEA OCMORIKA 'BRUNS'	BRUNS SERBIAN SPRUCE	3M HT; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLY STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR DESIGNED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



WISHBONE URBAN FORM BENCH



WISHBONE URBAN FORM BIKE RACK



JAMBETTE DISCOVERY TIPI



JAMBETTE FOREST VILLA



KUZCO 'CASA' EW71412 WALL/STAIR LIGHT



KUZCO 'SONOMA' EB3036 BOLLARD



pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6C9
p: 604 294-0011 | f: 604 294-0022

CLIENT: _____
AMITRAC CONSTRUCTION LTD.

PROJECT: _____
MIXED USE DEVELOPMENT
5937 144th STREET
SURREY, BC

SEAL: _____
DRAWING TITLE: _____
WEST LANDSCAPE PLAN

DATE: 19 MAY 24
SCALE: 1:300
DRAWN: RK
DESIGN: RK
CHK'D: MCV
DRAWING NUMBER: _____ OF 11
PMG PROJECT NUMBER: 18-239

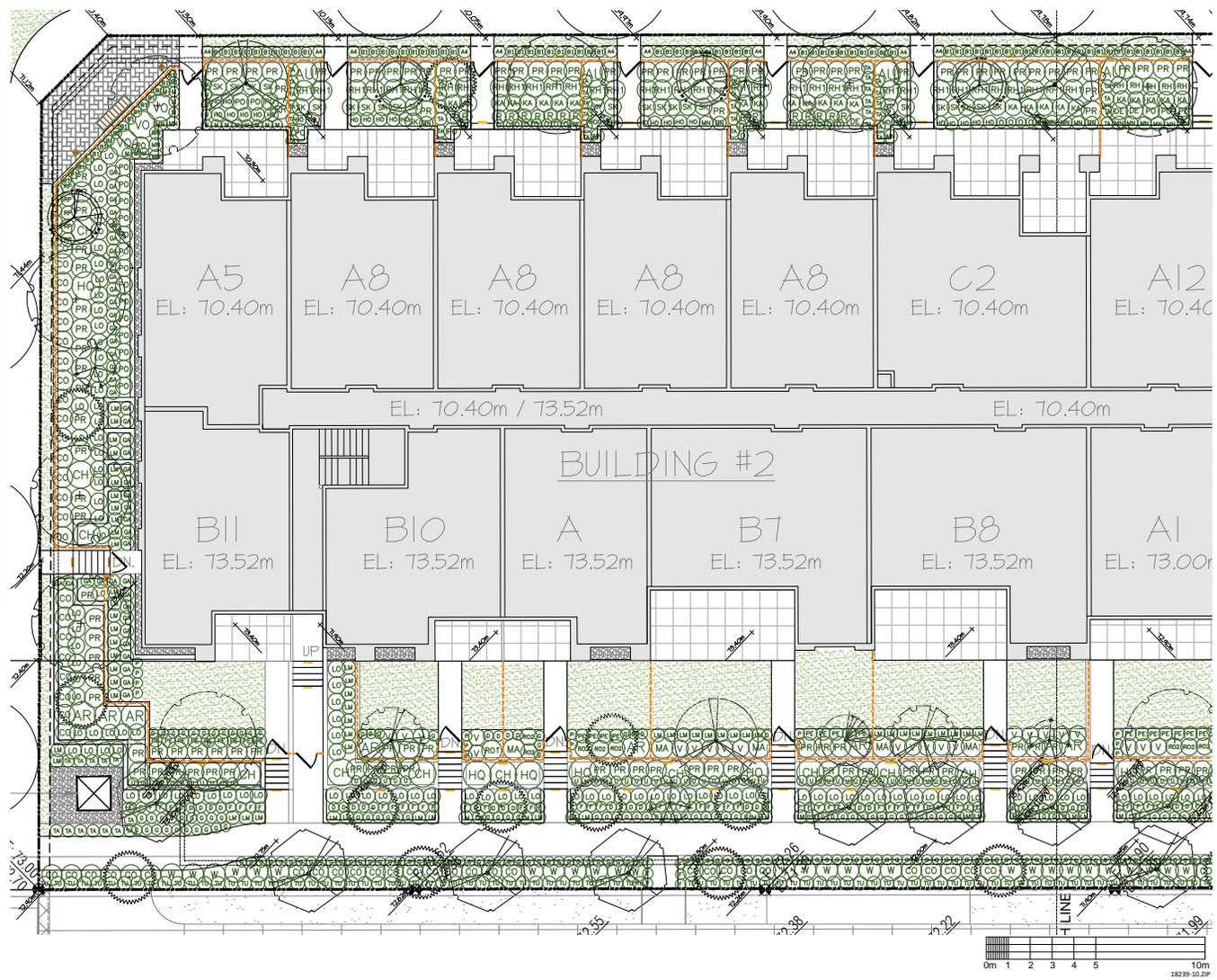
© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

NO.	DATE	REVISION DESCRIPTION	DR.
1	21.09.24	REVISE DETAILS TREE SIZES	RE
2	21.09.24	REVISE PER CITY COMMENTS	SA
3	21.09.24	REVISE PER CITY COMMENTS	SA
4	21.09.24	REVISE PER CITY COMMENTS	SA
5	21.09.24	REVISE PER CITY COMMENTS	SA
6	21.09.24	REVISE PER CITY COMMENTS	SA
7	21.09.24	REVISE PER CITY COMMENTS	SA
8	21.09.24	REVISE PER CITY COMMENTS	SA
9	21.09.24	REVISE PER CITY COMMENTS	SA
10	21.09.24	REVISE PER CITY COMMENTS	SA
11	21.09.24	REVISE PER CITY COMMENTS	SA
12	21.09.24	REVISE PER CITY COMMENTS	SA
13	21.09.24	REVISE PER CITY COMMENTS	SA
14	21.09.24	REVISE PER CITY COMMENTS	SA
15	21.09.24	REVISE PER CITY COMMENTS	SA
16	21.09.24	REVISE PER CITY COMMENTS	SA
17	21.09.24	REVISE PER CITY COMMENTS	SA
18	21.09.24	REVISE PER CITY COMMENTS	SA
19	21.09.24	REVISE PER CITY COMMENTS	SA
20	21.09.24	REVISE PER CITY COMMENTS	SA
21	21.09.24	REVISE PER CITY COMMENTS	SA
22	21.09.24	REVISE PER CITY COMMENTS	SA
23	21.09.24	REVISE PER CITY COMMENTS	SA
24	21.09.24	REVISE PER CITY COMMENTS	SA
25	21.09.24	REVISE PER CITY COMMENTS	SA
26	21.09.24	REVISE PER CITY COMMENTS	SA
27	21.09.24	REVISE PER CITY COMMENTS	SA
28	21.09.24	REVISE PER CITY COMMENTS	SA
29	21.09.24	REVISE PER CITY COMMENTS	SA
30	21.09.24	REVISE PER CITY COMMENTS	SA
31	21.09.24	REVISE PER CITY COMMENTS	SA
32	21.09.24	REVISE PER CITY COMMENTS	SA
33	21.09.24	REVISE PER CITY COMMENTS	SA
34	21.09.24	REVISE PER CITY COMMENTS	SA
35	21.09.24	REVISE PER CITY COMMENTS	SA
36	21.09.24	REVISE PER CITY COMMENTS	SA
37	21.09.24	REVISE PER CITY COMMENTS	SA
38	21.09.24	REVISE PER CITY COMMENTS	SA
39	21.09.24	REVISE PER CITY COMMENTS	SA
40	21.09.24	REVISE PER CITY COMMENTS	SA
41	21.09.24	REVISE PER CITY COMMENTS	SA
42	21.09.24	REVISE PER CITY COMMENTS	SA
43	21.09.24	REVISE PER CITY COMMENTS	SA
44	21.09.24	REVISE PER CITY COMMENTS	SA
45	21.09.24	REVISE PER CITY COMMENTS	SA
46	21.09.24	REVISE PER CITY COMMENTS	SA
47	21.09.24	REVISE PER CITY COMMENTS	SA
48	21.09.24	REVISE PER CITY COMMENTS	SA
49	21.09.24	REVISE PER CITY COMMENTS	SA
50	21.09.24	REVISE PER CITY COMMENTS	SA
51	21.09.24	REVISE PER CITY COMMENTS	SA
52	21.09.24	REVISE PER CITY COMMENTS	SA
53	21.09.24	REVISE PER CITY COMMENTS	SA
54	21.09.24	REVISE PER CITY COMMENTS	SA
55	21.09.24	REVISE PER CITY COMMENTS	SA
56	21.09.24	REVISE PER CITY COMMENTS	SA
57	21.09.24	REVISE PER CITY COMMENTS	SA
58	21.09.24	REVISE PER CITY COMMENTS	SA
59	21.09.24	REVISE PER CITY COMMENTS	SA
60	21.09.24	REVISE PER CITY COMMENTS	SA
61	21.09.24	REVISE PER CITY COMMENTS	SA
62	21.09.24	REVISE PER CITY COMMENTS	SA
63	21.09.24	REVISE PER CITY COMMENTS	SA
64	21.09.24	REVISE PER CITY COMMENTS	SA
65	21.09.24	REVISE PER CITY COMMENTS	SA
66	21.09.24	REVISE PER CITY COMMENTS	SA
67	21.09.24	REVISE PER CITY COMMENTS	SA
68	21.09.24	REVISE PER CITY COMMENTS	SA
69	21.09.24	REVISE PER CITY COMMENTS	SA
70	21.09.24	REVISE PER CITY COMMENTS	SA
71	21.09.24	REVISE PER CITY COMMENTS	SA
72	21.09.24	REVISE PER CITY COMMENTS	SA
73	21.09.24	REVISE PER CITY COMMENTS	SA
74	21.09.24	REVISE PER CITY COMMENTS	SA
75	21.09.24	REVISE PER CITY COMMENTS	SA
76	21.09.24	REVISE PER CITY COMMENTS	SA
77	21.09.24	REVISE PER CITY COMMENTS	SA
78	21.09.24	REVISE PER CITY COMMENTS	SA
79	21.09.24	REVISE PER CITY COMMENTS	SA
80	21.09.24	REVISE PER CITY COMMENTS	SA
81	21.09.24	REVISE PER CITY COMMENTS	SA
82	21.09.24	REVISE PER CITY COMMENTS	SA
83	21.09.24	REVISE PER CITY COMMENTS	SA
84	21.09.24	REVISE PER CITY COMMENTS	SA
85	21.09.24	REVISE PER CITY COMMENTS	SA
86	21.09.24	REVISE PER CITY COMMENTS	SA
87	21.09.24	REVISE PER CITY COMMENTS	SA
88	21.09.24	REVISE PER CITY COMMENTS	SA
89	21.09.24	REVISE PER CITY COMMENTS	SA
90	21.09.24	REVISE PER CITY COMMENTS	SA
91	21.09.24	REVISE PER CITY COMMENTS	SA
92	21.09.24	REVISE PER CITY COMMENTS	SA
93	21.09.24	REVISE PER CITY COMMENTS	SA
94	21.09.24	REVISE PER CITY COMMENTS	SA
95	21.09.24	REVISE PER CITY COMMENTS	SA
96	21.09.24	REVISE PER CITY COMMENTS	SA
97	21.09.24	REVISE PER CITY COMMENTS	SA
98	21.09.24	REVISE PER CITY COMMENTS	SA
99	21.09.24	REVISE PER CITY COMMENTS	SA
100	21.09.24	REVISE PER CITY COMMENTS	SA

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	REMARKS
PMG PROJECT NUMBER: 18-239					
SHRUBS					
22		ARBUSTUS UNEDO 'COMPACTA'	COMPACT STRAWBERRY BUSH	#3 POT: 80CM	
5		AUCUBA JAPONICA 'SERRATIFOLIA'	SAWTOOTHED JAPANESE AUCUBA	#3 POT: 50CM	
21		AZALEA JAPONICA 'AUTUMN CHEER'	DWARF AZALEA, LIGHT PINK	#2 POT: 25CM	
227		BUXUS MICROPHYLLA 'WINTER GEM'	LITTLELEAF BOX	#1 POT: 25CM	
18		CHOISYA TERNATA 'SUNDANCE'	MEXICAN MOCK ORANGE	#3 POT: 50CM	
117		CORNUS BERGEA	REDTIVIG BOGWOOD	#3 POT: 80CM	
3		FOTHERGELLA MAJOR 'MOUNT AIRY'	MOUNT AIRY FOTHERGELLA	#3 POT: 60CM	
12		HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	#3 POT: 80CM	
26		KALMIA LATIFOLIA 'SARAH'	MOUNTAIN LAUREL	#2 POT: 30CM	
21		MAHONIA NEROSA	LONGLEAF MAHONIA	#2 POT: 45CM	
240		PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	#3 POT: 50CM	
9		RHOODODENDRON 'BOY BELLS'	RHOODODENDRON, PINK	#3 POT: 50CM	
40		RHOODODENDRON 'P.J.M.'	RHOODODENDRON, LIGHT PURPLE; E. MAY	#3 POT: 50CM	
12		ROSA 'MIDLAND BONICA'	BONICA ROSE	#2 POT: 40CM	
13		ROSA 'MIDLAND RED'	MIDLAND ROSE, RED	#2 POT: 40CM	
5		ROSMARINUS OFFICINALIS 'PROSTRATUS'	CREeping ROSEMARY	#1 POT	
62		SKIMMIA JAPONICA (90% MALE)	JAPANESE SKIMMIA	#2 POT: 30CM	
67		TAXUS MEDIA 'YUKII'	HILLS YEW	1.5M SHD	
275		THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.2M HT; 8.8B	
13		VACCINIUM OVATUM 'THUNDERBIRD'	EVERGREEN HUCKLEBERRY	#3 POT: 60CM	
40		VIBURNUM DAVIDI	DAVID'S VIBURNUM	#3 POT: 50CM	
106		WEIGELA FLORIDA 'PURPUREA'	PURPLE WEIGELA	#3 POT: 60CM	
GRASS					
245		CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT	
592		FESTUCA OVINA 'GLAUCA'	BLUE FESCUE	#1 POT	
15		MISCANTHUS SINENSIS 'YAKU JIMA'	MAIDEN GRASS	#2 POT	
81		PENISTEMON ALTRICUCURBITES 'HAMELIN'	DWARF FOXTAIN GRASS	#1 POT	
217		STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT	
PERENNIAL					
48		HELLEBORUS x HYBRIDUS	LENTEN ROSE	15CM POT	
138		HEMEROCALLIS 'ELIJAH'	DAYLILY; BRIGHT ORANGE	#1 POT; 1-2 FAN	
36		HOSTA 'PATRIOT'	HOSTA; GREEN AND WHITE VARIEGATED	#1 POT; 1 EYE	
36		BERBERIS 'EMPEROR'S SNOWFLAKE'	SNOWFLAKE EVERGREEN CANDYTURT	#1 POT	
130		LAVENDULA ANGSTUFOLIA 'MUNSTEAD'	ENGLISH LAVENDER; COMPACT; VIOLET-BLUE	#1 POT	
69		LIRIOPE MUSCARI	BLUE LILY TURF	#1 POT	
39		RUDBECKIA FULGIDA VAR. SULLIVANTII	GOLDSTEM RUDBECKIA; YELLOW	15CM POT	
GEOPHYTES					
94		ARCTOSTAPHYLOS UVA-URSI	KINNICKINICK	#1 POT: 20CM	
63		CALLUNA VULGARIS 'ZOE'	SCOTS HEATHER	#1 POT	
4		DRYOPTERIS ERYTHROSORA 'BRILLIANCE'	BRILLIANCE AUTUMN FERN	#2 POT: 45CM	
62		FRAGARIA X ANANASSA	GARDEN STRAWBERRY	9CM POT	
44		GALIA THERIA 'SHALLOW'	SALAL	#1 POT: 25CM	
268		LONICERA PILEATA	PRIVET HONEY-SUCKLE	#1 POT: 25CM	
38		POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT: 25CM	

NOTES: *PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ON-SITE STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. *REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. *SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OR SUPPLY. *AREA OF 65% OR GREATER TO INCLUDE LOWER MAINLAND AND TRAILER VALLEY. *ACCEPTABLE: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. *ITEMS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. *DEFINITION OF CONDITIONS OF AVAILABILITY: *ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. *ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. *BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



pmg LANDSCAPE ARCHITECTS
 Suite C100 - 4185 Silt Creek Drive
 Burnaby, British Columbia, V5G 6G9
 p: 604 294-0011 | f: 604 294-0022

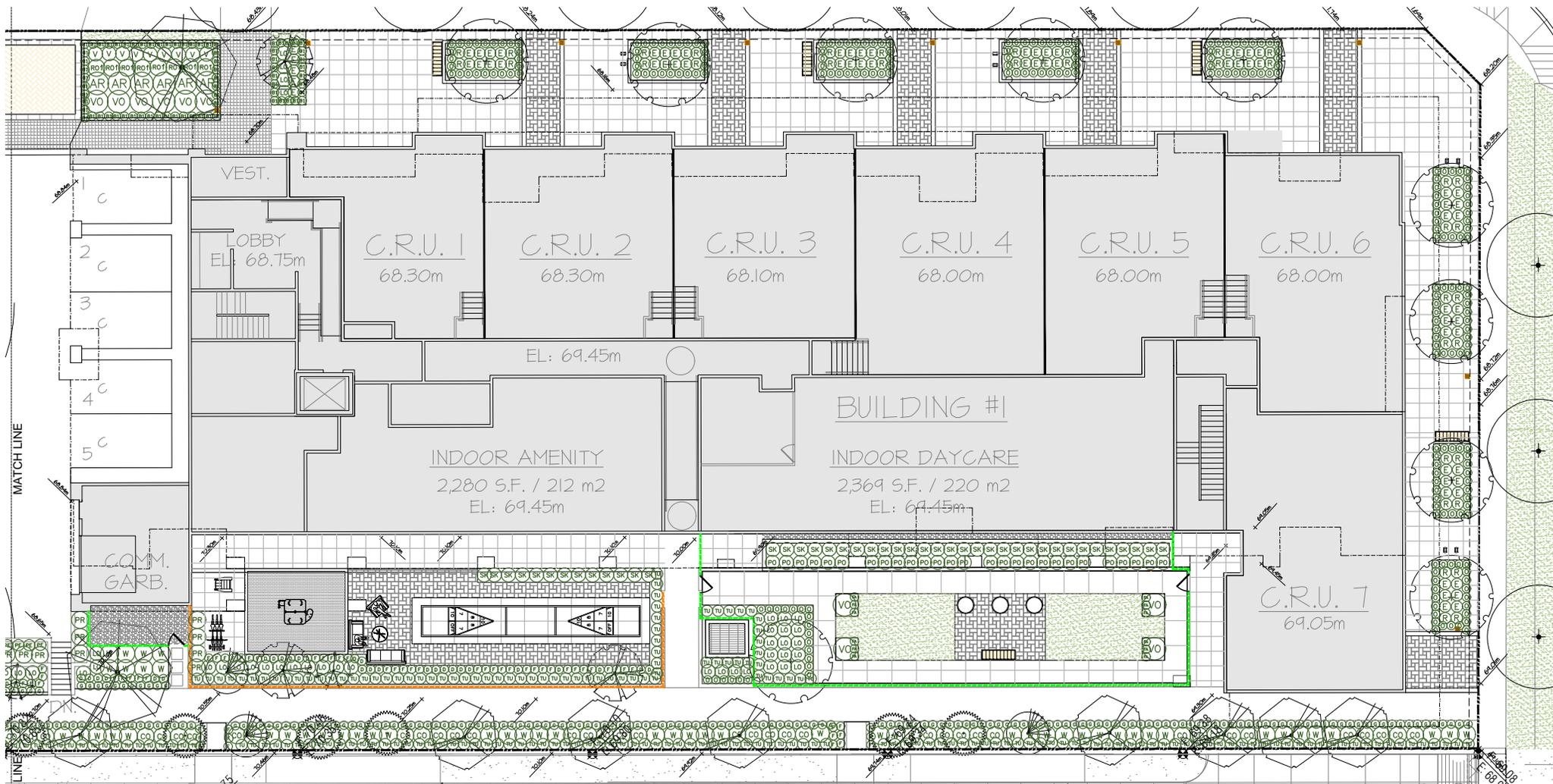
CLIENT: _____
 PROJECT: _____
 SEAL: _____
 DRAWING TITLE: _____
 DATE: 19.MAY.24
 SCALE: 1:300
 DRAWN: RJ
 DESIGN: RJ
 CHKD: MCV
 DRAWING NUMBER: _____

AMITRAC CONSTRUCTION LTD.

NO.	DATE	REVISION DESCRIPTION	DR.
9	23.FEB.24	REVISE DETAIL, TREE SIZES	RV
8	23.JAN.23	REVISE PER ASP. MINUTES / SOIL DEPTH PLAN	SA
7	22.OCT.20	REVISE PER CITY COMMENTS	SA
6	22.AUG.19	ADP RECOMMENDATION	SA
5	22.MAY.03	ADP SUBMISSION	RV
4	21.APR.17	NEW SITE PLAN/CITY COMMENTS	RV
3	20.JUL.08	NEW SITE PLAN/CITY COMMENTS	RV
2	20.MAR.09	REVISE PER NEW SITE PLAN	RV
1	19.OCT.09	NEW SITE PLAN/CITY COMMENTS	RV

MIXED USE DEVELOPMENT
 5937 144th STREET
 SURREY, BC

BUILDING 2 WEST SHRUB PLAN



pmg
 LANDSCAPE ARCHITECTS
 Suite C100 - 4185 Still Creek Drive
 Burnaby, British Columbia, V5C 6G9
 p: 604 294-0011 | f: 604 294-0022

CLIENT:
AMITRAC CONSTRUCTION LTD.

NO.	DATE	DESCRIPTION	BY
9	23.FEB.24	REVISE DETAILS TREE SIZES	RE
8	23.JAN.23	REVISE PER ADP MINUTES / SOIL DEPTH PLAN	SA
7	13.OCT.22	REVISE PER CITY COMMENTS	SA
6	22.JUL.19	ADP SUBMISSION	SA
5	22.MAY.05	ADP SUBMISSION	RE
4	22.AUG.22	NEW SITE PLANNING COMMENTS	RE
3	20.JUL.08	NEW SITE PLANNING COMMENTS	RE
2	20.MAR.05	REVISE PER NEW SITE PLAN	RE
1	18.DEC.09	NEW SITE PLANNING COMMENTS	RJ

PROJECT:
MIXED USE DEVELOPMENT
 5937 144th STREET
 SURREY, BC

SEAL:

DRAWING TITLE:

**BUILDING 1
 SHRUB PLAN**

DATE: 19.MAY.24
 SCALE: 1:200
 DRAWN: RJ
 DESIGN: RJ
 CHKD: MCY
 DRAWING NUMBER:



©Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their



ROOF DECK PLANT SCHEDULE

PMG PROJECT NUMBER: 18-239

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
⊙	2	BERBERIS THUNBERGII ATROPURPUREA 'BAGATELLE'	DWARF PURPLE LEAF BARBERRY	#3 POT; 30CM
⊙	12	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT; 25CM
⊙	2	CHAMAECYPARIS OBTUSA 'NANA GRACILIS'	DWARF HINOKI CYPRESS	#3 POT; 40CM
GRASS				
⊙	2	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#3 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW; MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL APPROVAL FROM THE LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



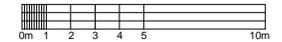
WISHBONE URBAN FORM PICNIC TABLE



COMMUNITY GARDEN GALVANIZED TROUGHS



RATANA BOLANO COLLECTION OF OUTDOOR FURNITURE



18239-10.ZIP

CLIENT:

AMITRAC CONSTRUCTION LTD.

NO.	DATE	REVISION DESCRIPTION	DR.
1	23.FEB.24	REVISE DETAILS, TREE SIZES	RE
2	23.JAN.23	REVISE PER ADP MINUTES, F/SHL DEPTH PLAN	SA
3	22.OCT.20	REVISE PER CITY COMMENTS	SA
4	22.JUL.19	ADP REVISIONS	RE
5	22.MAY.23	ADP SUBMISSION	RE
6	21.JUN.17	NEW SITE PLANT QUANTITY COMMENTS	RE
7	26.JUL.16	NEW SITE PLANT QUANTITY COMMENTS	RE
8	20.MAR.15	REVISE PER NEW SITE PLAN	RE
9	19.DEC.09	NEW SITE PLANT QUANTITY COMMENTS	RE

PROJECT:

MIXED USE DEVELOPMENT

5937 144th STREET
SURREY, BC

SEAL:

DRAWING TITLE:

WEST BUILDING
ROOF DECK PLAN

DATE: 19.MAY.24

SCALE: 1:200

DRAWN: RK

DESIGN: RK

CHKD: MCV

DRAWING NUMBER:

L9

OF 11

PMG PROJECT NUMBER:

18-239

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **February 27, 2023** PROJECT FILE: **7818-0081-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 5937 144 Street**

NCP AMENDMENT/DEVELOPMENT PERMIT

There are no engineering requirements relative to the NCP Amendment/Development Permit except for the requirements listed below.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate Bylaw Road (City Bylaw Number 10715) for Parcel 1 North Half of Lot C (PID 016-760-158) and City Owned Road for East 7 feet of Lot C (PID 012-206-167).
- Dedicate 1.5 m on 144 Street.
- Dedicate 10.0 m for 59A Avenue and 143A Street.
- Dedicate 3 m by 3 m corner cuts at all intersections.
- Obtain necessary off-site SRWs for half roads.
- Provide 0.5 m SRW along all frontage roads.

Works and Services

- Construct west side 144 Street.
- Construct 59A Avenue and 143A Street to half road standards.
- Confirm storm drainage system downstream capacity, upgrade if required.
- Construct storm system to service the proposed development and all frontage roads.
- Provide on-site sustainable drainage works as required as per Hyland Creek ISMP.
- Install water quality/sediment control inlet chamber.
- Construct water mains on 59A Avenue and 143 Street.
- Construct an adequately-sized metered water service connection and backflow preventer.
- Provide meter sizing and service connection sizing calculation.
- Provide cash-in-lieu for upsizing sanitary main.
- Pay Sanitary Latecomers charge relative to project 5811-0044-00-1

A Servicing Agreement is required prior to Rezone/Subdivision.



Jeff Pang, P.Eng.
Development Services Manager
IK1

NOTE: Detailed Land Development Engineering Review available on file

Department: **Planning and Demographics**
Date: **February 22, 2023**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:
Application #: **18 0081 00**

The proposed development of **121** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection 17

Projected Number of Students From This Development In:	
Elementary School =	10
Secondary School =	4
Total Students =	14

Current Enrolment and Capacities:	
Goldstone Park Elementary	
Enrolment	727
Operating Capacity	519
# of Portables	9
Sullivan Heights Secondary	
Enrolment	1759
Operating Capacity	1700
# of Portables	10

Summary of Impact and Commentary

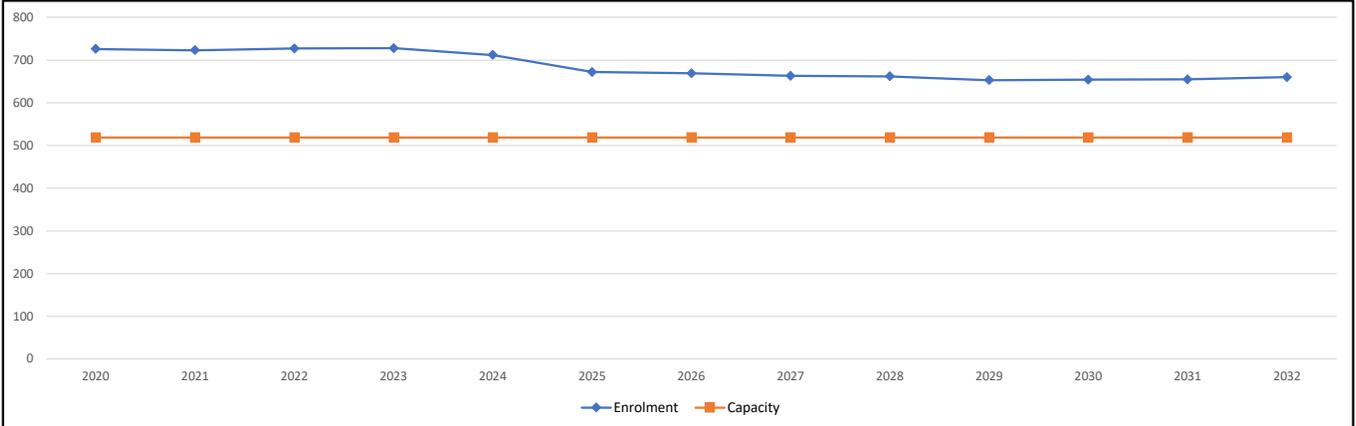
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

Goldstone Park elementary was opened February 2014 to relieve the enrolment pressure at both Woodward Hill and Cambridge Elementary. As of September 2022, all three schools are severely overcrowded. To meet in-catchment demand, portables are in use as enrolling spaces.

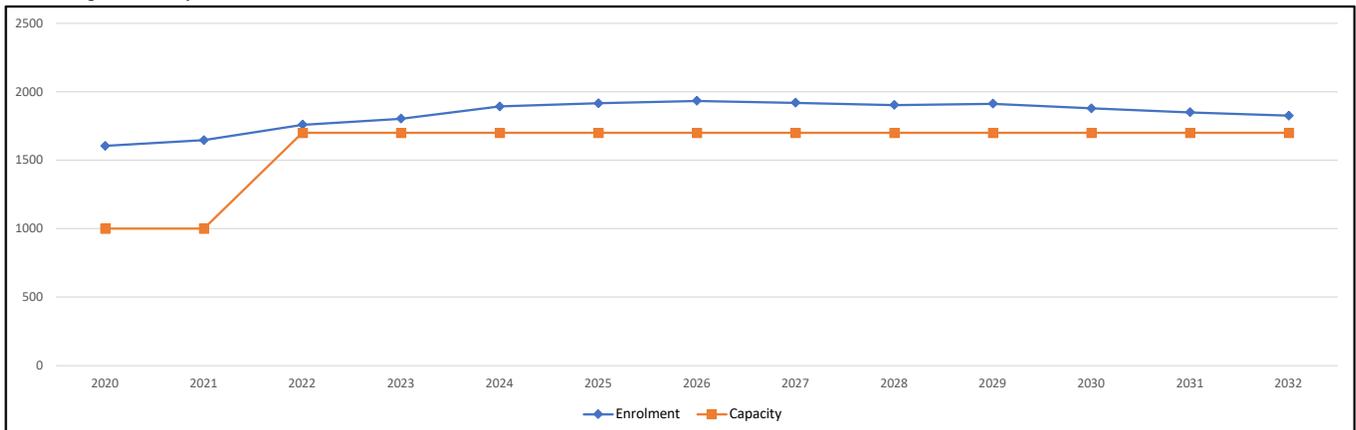
To manage this long term demand, on June 2020, the Ministry approved design and construction funding to build a new 612-capacity elementary school; located next to the existing Goldstone Park. The new Snokomish Elementary is targeted to open in 2025 which will provide enrolment relief to the other neighbouring schools: Goldstone Park, Woodward Hill and Cambridge.

The 700 capacity addition at Sullivan Heights Secondary opened in September 2022 but the school has 10 portables and is already operating above capacity even with the addition.

Goldstone Park Elementary



Sullivan Heights Secondary



Population : The projected population of children aged 0-17 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

Tree Preservation Summary

Surrey Project No: 18-0081-00

Address: 5937 - 144 Street

Registered Arborist: Jeff Ross & Tim Vandenberg

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	75
Protected Trees to be Removed	74
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	1
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 59 X one (1) = <u>59</u> - All other Trees Requiring 2 to 1 Replacement Ratio 15 X two (2) = <u>30</u>	89
Replacement Trees Proposed	120
Replacement Trees in Deficit	NA
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

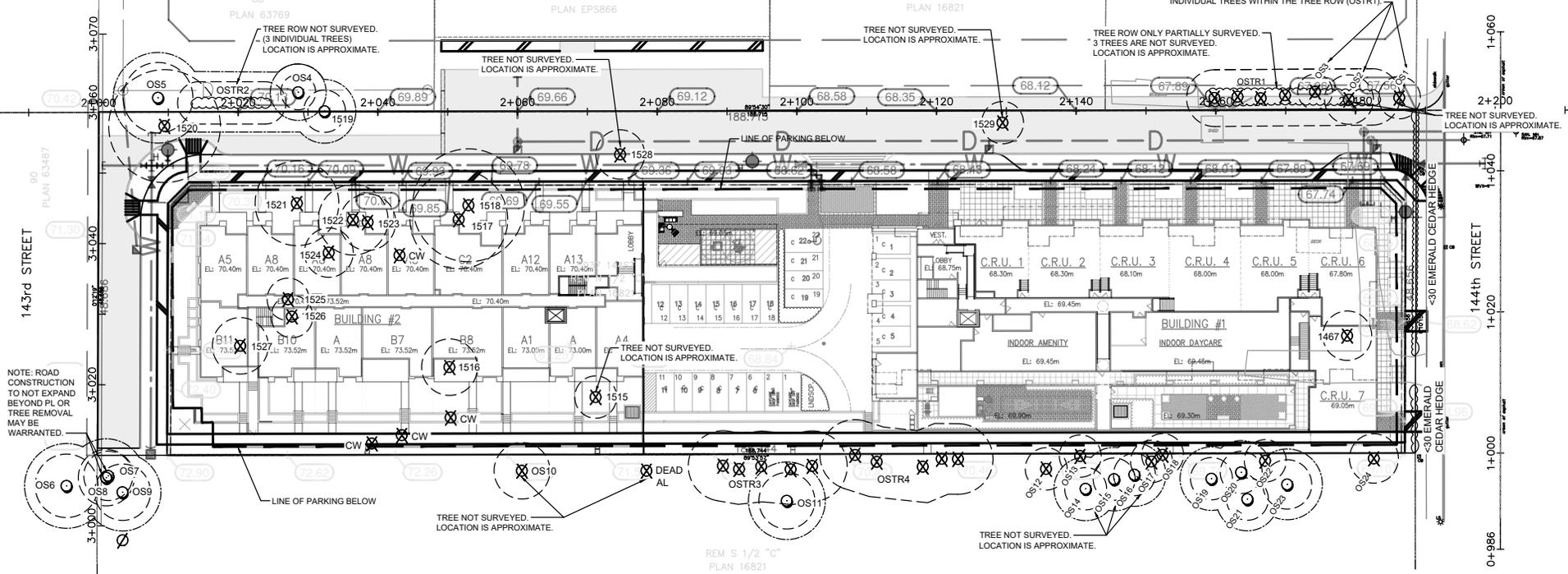
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	28
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1 X one (1) = 1 - Dead Trees Requiring 1 to 1 Replacement Ratio 1 X one (1) = 1 - All other Trees Requiring 2 to 1 Replacement Ratio 26 X two (2) = 52	54
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

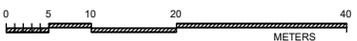
Signature of Arborist: 

Date: February 28, 2023





NOTE: ROAD CONSTRUCTION TO NOT EXPAND BEYOND PL OR TREE REMOVAL MAY BE WARRANTED.



NOTE: ALL OFF-SITE TREES FOR REMOVAL ARE SUBJECT TO PROPERTY OWNER'S APPROVAL.

- LEGEND**
- TREE TO BE RETAINED
 - TREE TO BE REMOVED
 - NON BY-LAW TREE
 - MINIMUM NO DISTURBANCE ZONE
 - 1.5m EXCAVATION OFFSET
 - TREE NOT ASSESSED

NO.	DATE	BY	REVISION
1	FEB16/18	MK	REVISED SITE PLAN
2	FEB21/18	MK	REVISED SITE PLAN
3	FEB12/19	MK	REVISED SITE PLAN
4	APR16/19	MK	REVISED SITE PLAN
5	JUL09/19	MK	REVISED SITE PLAN

NO.	DATE	BY	REVISION
6	SEPT15/22	MK	REVISED SITE PLAN & TREE REVISIONS
7	OCT 24/22	MK	REVISED SITE PLAN
8	FEB 14/23	MK	CIVIL PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Mobile: (604) 240-0309
 Email: mfadum@fadum.ca

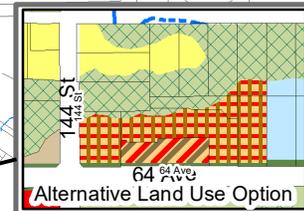
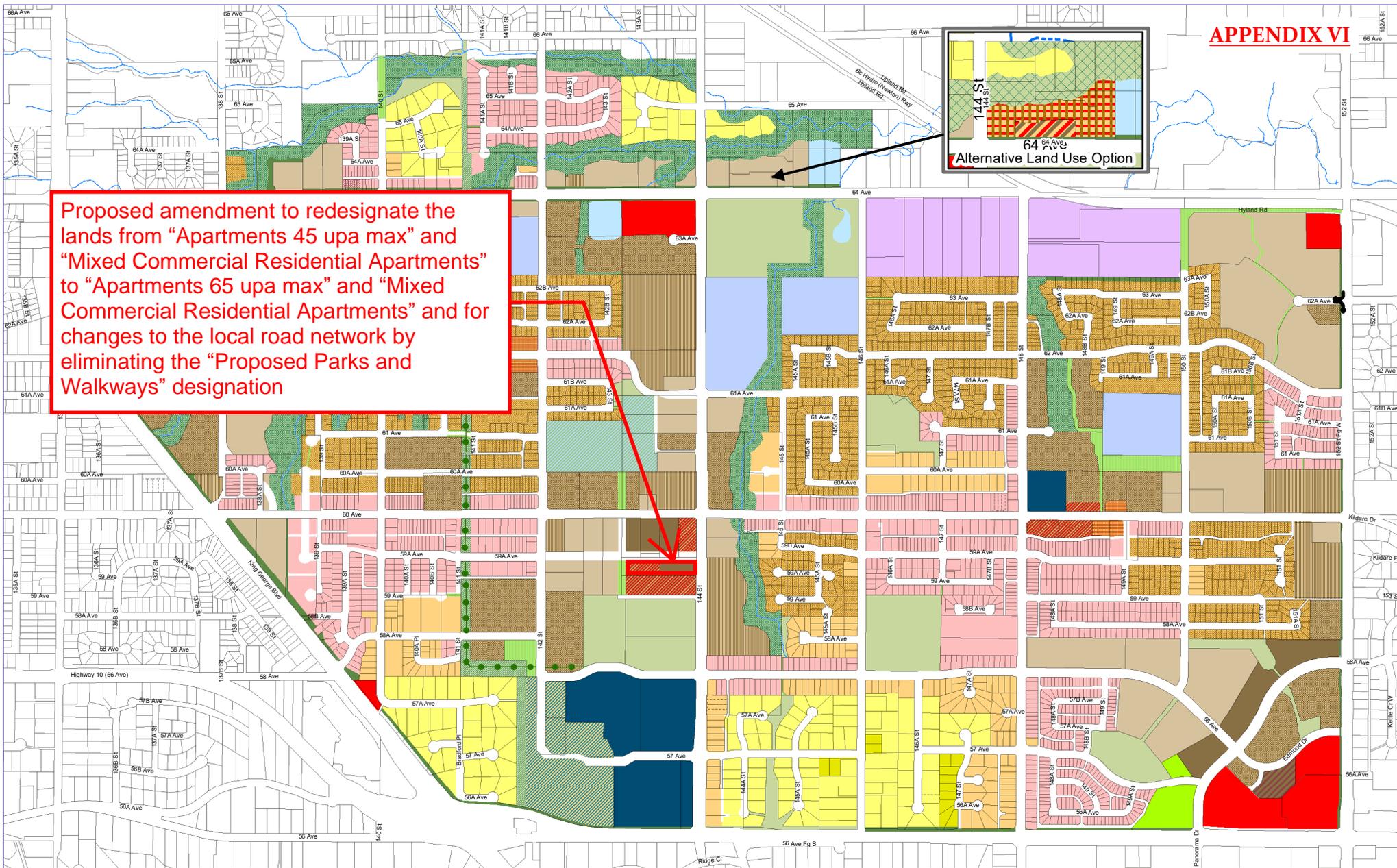
© Copyright Reserved.
 This drawing and design is the property of Mike Fadum and Associates Ltd. and may not be reproduced or used for other projects without their permission.

PROJECT TITLE
5937 144 STREET
SURREY, B.C.

SHEET TITLE
T1 - TREE REMOVAL AND PRESERVATION PLAN
 CLIENT _____

DRAWN MK
 SCALE AS SHOWN
 DATE JUNE 19, 2017

T-1
 SHEET 1 OF 2



SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN

City of Surrey Planning & Development Department

Apartments 65 upa max	Row Housing	Commercial	Proposed School and Park	Buffers
Apartments 45 upa max	Single Family Residential Flex 6 to 14.5	Institutional	Parks	Detention Ponds
Townhouses 25 upa max	Single Family Residential	Office Park	Proposed Park and Walkway	Utility R/W Greenway
Townhouses 20 upa max	Suburban Residential 1/2 Acre	Industrial	Recreational	Creeks and Riparian Set-back
Townhouses 15 upa max	Suburban Residential 1/4 Acre	Schools	Proposed School	WALKWAY
Single Family Small Lots	Mixed Com/Res Apartments	Proposed School		
	Mixed Com/Res Townhouse			

Adopted by Council Resolution December 6, 2004 Amended 11 Oct. 2022

0 250 500 1,000 Meters

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

Present:

Panel Members:

R. Drew, Chair
 J. Azizi
 K. Deol
 E. Kearns (left the meeting at 5:11 p.m.)
 J. Packer
 M. Patterson
 S. Slot

Guests:

Hirmanshu Chopra, Architect, AIBC, Douglas R. Johnson Architects Ltd.
 Patricia Campbell, MBCSLA, MCSLA, PMG Landscape Architects Ltd.
 Igor Nardin, Architect AIBC, OCA Architecture Inc.
 Meredith Mitchell, BCSLA, M2 Landscape Architecture
 Lance Barnett, Barnett Dembek Architects Inc.
 Rebecca Krebs, PMG Landscape Architects

Staff Present:

A. McLean, City Architect
 S. Maleknia, Urban Design Planner
 V. Goldgrub, Planner
 L. Blake, Administrative Assistant

A. RECEIPT OF MINUTES

It was Moved by J. Packer
 Seconded by R. Drew
 That the minutes of the Advisory Design
 Panel meeting of April 21, 2022, be received.

Carried

It was Moved by S. Slot
 Seconded by M. Patterson
 That the minutes of the Advisory Design
 Panel meeting of April 28, 2022, be received.

Carried

B. NEW SUBMISSIONS

3. 5:15 p.m.

File No.:	7918-0081-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	NCP Amendment to swap the “Mixed Commercial-Residential (Apartments)” and “Apartments (45 upa max)” land use designations, to create “Multiple Residential (1.5 FAR max)” as a new land use designation and redesignate the “Apartments (45 upa max)” to “Multiple Residential (1.5 FAR max), and for changes to the local road network.

	Rezoning from RA to CD (Based on C-5 and RM-70), Development Permit for a 4 Storey Mixed-use Commercial / Residential Building and a 4 Storey Residential Building.
Address:	5937 – 144 Street
Developer:	Amson Group, 1131823 BC Ltd.
Architect:	Lance Barnett, Architect AIBC, Barnett Dembek Architects Inc.
Landscape Architect:	Mary Chan Yip, PMG Landscape Architects
Planner:	Kevin Shackles
Urban Design Planner:	Vanessa Goldgrub

E. Kearns declared a conflict of interest and left the meeting at 5:11 p.m.

The Urban Design Planner advised that staff generally support the project but would recommend that the residential lobby for Building 2 to be relocated to the northwest side of the building on 59A Avenue and 143 Street to alleviate grading concerns and allow for a larger lobby.

The Panel was asked to comment on the general form of the development, including its proposed form, height, and landscape treatment, interfaces with the public realm and neighbouring sites, and the character of the building in the neighbourhood context.

The Project Architect presented an overview of the site planning, streetscapes, building concept, floor plans, and elevations.

The Landscape Architect presented an overview of the general concept for the Landscape design.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by J. Azizi
Seconded by S. Slot
That the Advisory Design Panel (ADP)
SUPPORT the project and recommend that the applicant address the following
issues to the satisfaction of the Planning & Development Department.
Carried

Key Points

- Consider providing a turn-around stall in the commercial parking lot. **A hammerhead turn around has been provided.**
- Consider providing direct access from the corridor to the rooftop outdoor amenity on Building 2 (west). **Direct access has been provided.**
- Relocate the Building 2 lobby to the northeast corner of the building, as well as increasing its size. Create a dialogue between the two lobbies. The Building 1 lobby is well-sized. **The Lobby for Building 2 has been relocated as requested.**
- Give further consideration to how residents access the residential waste management. **The collection of residential trash and recycling has been**

located within the underground parking structure and is directly accessible to the residents of both buildings. A staging area has been located adjacent the entry to the underground parking structure. Materials will be moved to this location in advance of trash and recycling pick up.

- Consider limiting the occupancy of the rooftop amenity and removing the second stair. The occupant load will be restricted and the second stair has been eliminated as requested.
- Consider removing a portion or the entire area of the walkway to the amenity area and adding that area to the amenity space for Building 1 (east). Revised as directed.
- Consider providing larger patios for north facing suites. Patios have been increased as directed.
- Consider mechanical cooling. Mechanical cooling is being considered by the developer and will be included in the Building Permit submission should he opt to proceed.
- Locate suite level ERV units as close to the outside wall as possible and allow space for a slightly larger model, as they are more efficient, allow for summer bypass and can accommodate increased filtration for periods of low air quality. The details and location of the ERV Units will be determined during the preparation of the Building Permit drawings. We will strive to locate them close as possible to an outside wall.

Site

- Site comments noted under Key Points.

Form and Character

- The buildings have balanced form and character, and the facades are articulated well.
- The building height and mass is broken down to a good scale for pedestrian friendly expression.

Landscape

- Further design development to review fence and gate placement. The location of the gates at the top of the stair risers may need to be redesigned due to Building Code requirements. Gates have been moved or modified to eliminate conflict with stairs.
- Consider if the two trees in front of the green wall on the east elevation or complimentary or an obstruction. We intentionally placed trees in this location to green the entry to the building, complement the green wall and make use of available soil volumes.
- No concerns were expressed regarding the grade at the lobby. Noted.
- Consider a more architectural style of fence and gate, rather than “paddock” style. The fence detail is an aluminum vertical picket and is screened with planting on both sides.

CPTED

- No specific issues were identified.

Sustainability

- Consider opportunities to reduce thermal bridging for inset balconies and detail the design to minimize penetrations through the envelope. **Care will be given to reduce the opportunities for thermal bridging.**

Accessibility

- Eliminate the number of barriers, such as doors, to general areas. **Care will be given to provide accessibility to all areas of the development.**

C. OTHER BUSINESS

This section had no items to consider.

D. NEXT MEETING

The next Advisory Design Panel is scheduled for May 26, 2022.

E. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 6:26 p.m.

Jennifer Ficocelli, City Clerk

R. Drew, Chairperson