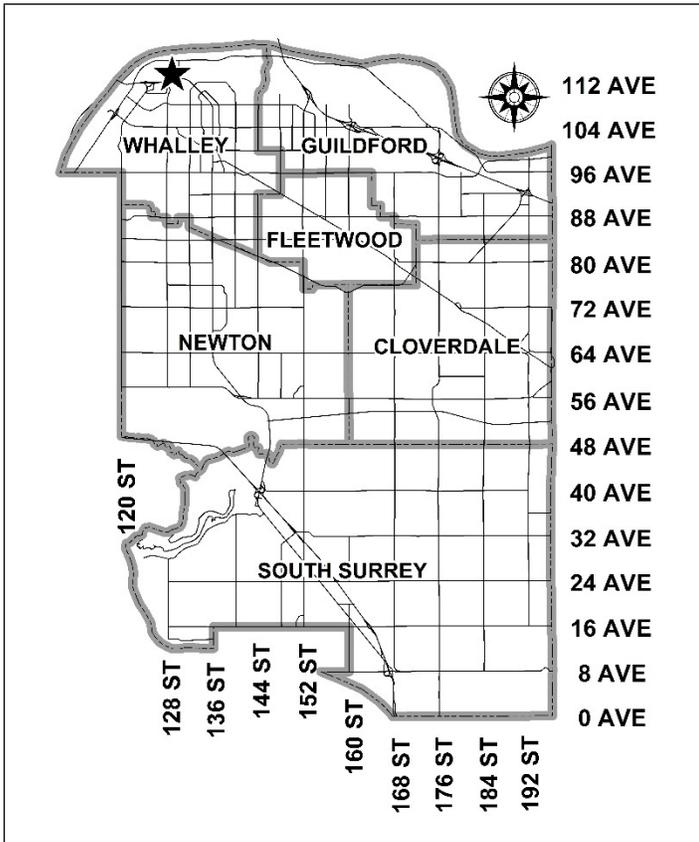


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7920-0139-00

Planning Report Date: September 14, 2020



PROPOSAL:

- **Development Variance Permit**

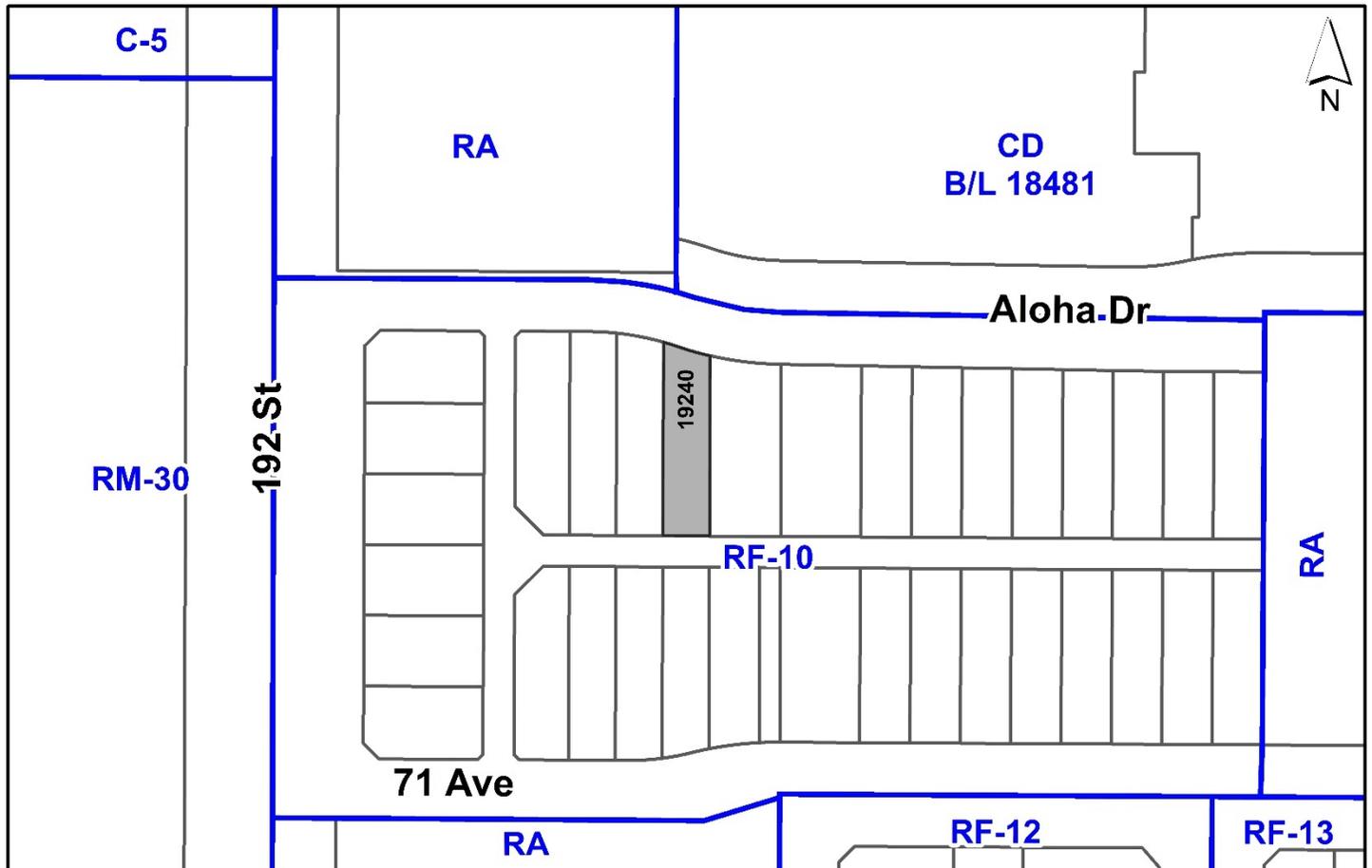
To reduce the rear yard setback for an accessory structure to allow the construction of a single family dwelling with detached garage.

LOCATION: 19240 - Aloha Drive

ZONING: RF-10

OCP DESIGNATION: Urban

INFILL AREA PLAN DESIGNATION: Single Family Lane Accessed (10-12 upa)



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposed variance to reduce the minimum rear yard setback of the RF-10 Zone for a Type III lot from 6.0 metres to 3.0 metres for an accessory building.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- The proposal complies with the Single Family Lane Accessed (10-12 upa) designation in the Aloha Estates Infill Plan and the Medium Density (10-15 upa) designation in the East Clayton Neighbourhood Concept Plan (NCP)
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The subject lot has an angled lot geometry at the front of the lot, which requires the proposed single family dwelling to be positioned further back on the lot than a standard rectangular RF-10 Type III lot. This reduces the available space for the dwelling, backyard space, and the detached garage, while still adhering to the required setbacks.
- The proposal provides the required 3 off-street parking spots for a residential lot as per Zoning Bylaw requirements.
- The adjacent RF-10 Type I and Type III lots have issued building permits that include a rear yard setback for the detached garage ranging from 3 metres to 6 metres. Thus, the proposed variance will be consistent with the other lots in the neighbourhood and not impact the lane interface.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7920-0139-00 (Appendix II) to reduce the minimum rear yard setback of the RF-10 Zone for a Type III lot from 6.0 metres to 3.0 metres for an accessory building to proceed to Public Notification.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	Infill Area Plan Designation	Existing Zone
Subject Site	Vacant single family lot	Single Family Land Accessed (10-12 upa)	RF-10 (Type III)
North (Across Aloha Drive):	Townhouse construction (Development Project No. 7915-0050-00)	Townhouse (20-25 upa) or Townhouse and Commercial	CD (Bylaw No. 18481)
East:	Vacant single family lot	Single Family Land Accessed (10-12 upa)	RF-10 (Type III)
South:	Vacant single family lot	Single Family Land Accessed (10-12 upa)	RF-10 (Type III)
West:	Vacant single family lot	Single Family Land Accessed (10-12 upa)	RF-10 (Type I)

Context & Background

- The subject lot is located at 19240 – Aloha Drive in East Clayton and is approximately 324 square metres in size. The subject lot is designated "Urban" in the Official Community Plan (OCP), designated as "Single Family Lane Accessed (10-12 upa) in the Aloha Estates Infill Plan and zoned "Single Family Residential (10) Zone (RF-10)" as a Type III lot.
- The subject lot was created under Development Project No. 7915-0402-00, a rezoning application from "One-Acre Residential Zone (RA)" to "Single Family Residential (10) Zone (RF-10)" in order to permit subdivision into 16 single family small lots. The final subdivision plans were signed on May 1, 2019.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to reduce the minimum rear yard setback of the RF-10 Zone for a Type III lot from 6.0 metres to 3.0 metres for an accessory building in order to construct a single family dwelling and a detached garage with lane access.
- The subject lot has an angled lot geometry at the front of the lot, which requires the proposed single family dwelling to be positioned further back on the lot than a standard rectangular RF-10 Type III lot. This reduces the available space for the dwelling, backyard space, and the detached garage, while still adhering to the required setbacks.

Zoning By-law

Setback Variance

- The applicant is requesting the following variances:
 - to reduce the minimum rear yard setback of the RF-10 Zone for a Type III lot from 6.0 metres to 3.0 metres for an accessory building
- The subject lot has an angled lot geometry at the front of the lot, which requires the proposed single family dwelling to be positioned further back on the lot than a standard rectangular RF-10 Type III lot. This reduces the available space for the dwelling, backyard space, and the detached garage, while still adhering to the required setbacks.
- The proposal provides the required 3 off-street parking spots for a residential lot as per Zoning Bylaw requirements.
- The adjacent RF-10 Type I and Type III lots have issued building permits that show a rear yard setback for the detached garage ranging from 3 metres to 6 metres. Thus, the proposed variance will be consistent with the lots in the neighbourhood and not impact the lane interface.
- Staff support the requested variances to proceed for consideration.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

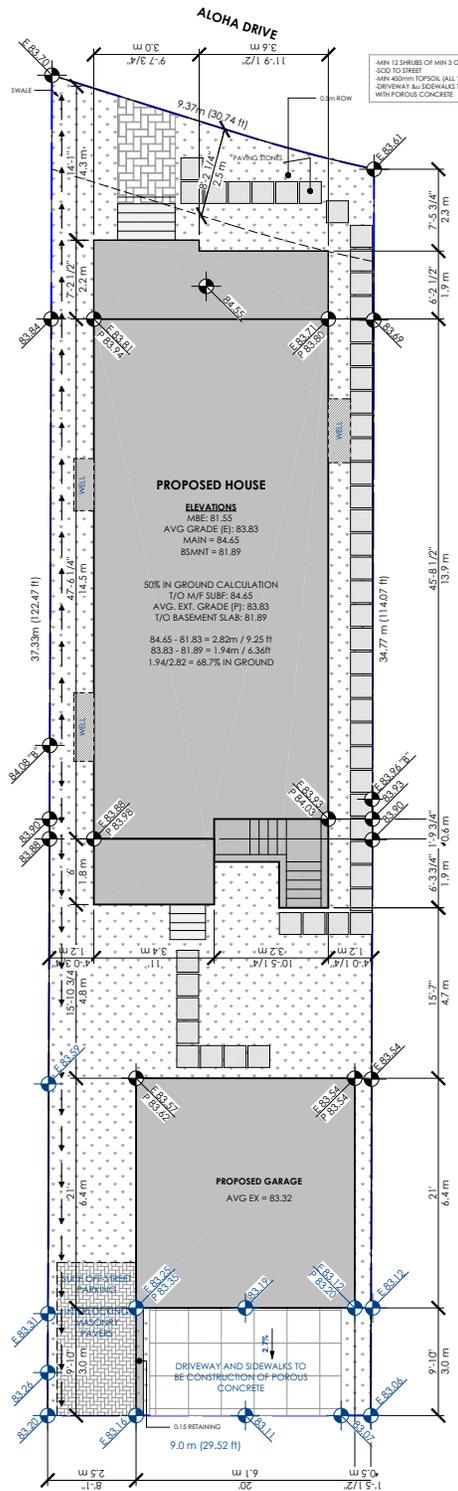
Appendix I. Site Plan & Building Elevations
Appendix II. Development Variance Permit No. 7920-0139-00

approved by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

SJ/cm

Appendix I



SITE PLAN
SCALE: 3/16" = 1'-0"

STRUCTURAL DESIGN CRITERIA
CONCRETE FOUNDATIONS AND SLABS ON GRADE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25MPA @ 28 DAYS.
- ROOF JOIST, SOFFIT FRAMING AND WALL PLATES TO BE A MINIMUM OF #2 HEAVY OR BETTER UNO.
- ALL BEAMS TO BE #2 DOUGLASS FIR OR BETTER.
- STUDS SHALL CONFORM TO PROVINCIAL AND/OR NATIONAL BUILDING STANDARDS.

NOTE
IF SOIL CONDITIONS ARE LESS OR ROOF LOADS ARE GREATER THAN THIS PLAN IS DESIGNED FOR, YOUR BUILDING DEPARTMENT MAY REQUIRE ADJUSTMENTS TO THE PLANS OR ASK THAT THE PLANS BE ENGINEERED BY A PROFESSIONAL ENGINEER.

FOUNDATIONS:
- FOUNDATIONS SHALL BE CONCRETE ON SOLID UNDISTURBED BEARING AND 2" OF MINIMUM BELOW THE FROST LINE.
- FOUNDATION WALLS SHALL NOT BE BACK FILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAY STRENGTH, OR UNTIL ADEQUATELY BRACED SUBJECT TO THE APPROVAL BY THE AUTHORITY HAVING JURISDICTION.
- GRADES SHOWN ON THE PLANS ARE EITHER FROM THE LOT GRADING PLAN AND INTERPOLATED OR ARE ESTIMATED WHERE ACCURATE INFORMATION IS NOT AVAILABLE. THEREFORE, WALL HEIGHTS MAY HAVE TO BE ADJUSTED TO SUIT LOCAL CONDITIONS.
- ALL CONCRETE FOUNDATION WALLS EXCEEDING PROVINCIAL OR NATIONAL BUILDING STANDARDS MAY REQUIRE ENGINEERING.
- FURTER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED TO THE APPROVAL OF THE LOCAL AUTHORITIES. THIS CAN BE CONFIRMED WITH BUILDING DEPARTMENTS.

FINISHING:
- ALL INTERIOR AND EXTERIOR FINISHING SHALL BE SPECIFIED BY THE OWNER AND ANY FINISHING SHALL BE CONFIRMED WITH THE OWNER.
- EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHER STRIPPED.
- GARAGE DOORS TO THE DWELLING TO HAVE AUTO CLOSERS ON THEM.
- FLASH AT ALL EXTERIOR CHANGES IN EXTERIOR FINISHING. CAULK AROUND ALL UNFINISHED EXTERIOR OPENINGS. (SEE RAIN SCREEN DETAILS PROVIDED WITHIN THIS PLAN)
- SLIDING GLASS DOORS TO HAVE SAFETY GLASS.
- WINDOW SIZES ARE SHOWN IN FEET AND INCHES.
- OPENINGS IN PARTITIONS WITHOUT DOORS ARE SHOWN AS FULL HEIGHT UNLESS THERE IS A DETAIL FOR ARCHWAYS.
- COAT CLOSETS SHALL HAVE ROAD AND SHELF. LINEN CLOSETS SHALL HAVE 5 ADJUSTABLE SHELVES.

HEATING AND ELECTRICAL:
- INSTALLATION OF HEATING SYSTEMS MUST CONFORM TO ALL LOCAL BUILDING CODES AND BE INSTALLED PER THE MANUFACTURER'S SPECS.
- GAS CONNECTIONS WILL REQUIRE A SEPARATE INSPECTION.
- INSTALLATION OF ALL ELECTRICAL ITEMS MUST CONFORM TO LOCAL ELECTRICAL CODES AND REGULATIONS.
- ALL OUTLET LOCATIONS MUST COMPLY OR EXCEED LOCAL RESIDENTIAL STANDARDS OR NATIONAL CODES MINIMUM ACCEPTANCE.

ERRORS & OMISSIONS:
- VANCOUVER DRAFTING SERVICES MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS WHICH MAY AFFECT THE OVERALL CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS & DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD ANY VARIANCE BE FOUND ON THESE PLANS, PLEASE ADVISE VANCOUVER DRAFTING SOLUTIONS AS SOON AS POSSIBLE. AS A RESULT, WE WILL BE ABLE TO CORRECT ANY ERRORS IN A TIMELY FASHION AND, IF NECESSARY, REPLACE ANY PLANS PURCHASED. AS A RESULT, UNINTENTIONAL ERRORS CAN BE AVOIDED FROM REOCCURRING.

ALL WORK TO COMPLY WITH THE 2018 BCBC

SITE INFORMATION:
ADDRESS: 19240 ALOHA DR - SURREY BC
LOT: 10
LOT AREA: 328 sq m / 3530.56 sq ft
ZONING: R-10
CLIMATE ZONE: 4
MAX. FAR: 2712 SQ FT
PROP. FAR: 2706 SQ FT
MAX LOT COVERAGE: 52.0% = 170 sq m / 1836 sq ft
PROP LOT COVERAGE: 50.25% = 165 sq m / 1774 sq ft

MAX BLDG HT (HOUSE): 31' 0"
PROP BLDG HT (HOUSE): 30' 5-3/4"
MAX BLDG HT (GARAGE): 16' 0"
PROP BLDG HT (GARAGE): 15' 4-1/2"

SETBACKS (HOUSE):
MIN. SIDE YARD: 1.2 m / 3.93 ft
PROP. SIDE YARD: 1.48 m / 4.88 ft
MIN. FRONT YARD: 2.5 m / 8.2 ft
PROP. FRONT YARD: 2.5 m / 8.2 ft

SETBACKS (GARAGE):
MIN. REAR: 1.2 m / 3.93 ft
PROP. REAR: 1.2 m / 3.93 ft
MIN. SIDE YARD: 0.0 m / 0.0 ft
PROP. SIDE YARD: 1' 5-1/2" (R) / 8'-1" (L)

SITE COVERAGE:
EXISTING SITE AREA: 3,530 SQ FT
HOUSE: 1,202 SQ FT
GARAGE: 420 SQ FT
TOTAL: 1,622 SQ FT (48.0%)
ALLOWABLE: 1,836 SQ FT (52%)

AREAS:
BASEMENT FLOOR: 988 SQ FT (N/C 50% I.C.)
BASEMENT SUITE: 830 SQ FT
MAIN FLOOR: 1012 SQ FT
UPPER FLOOR: 858 SQ FT
GARAGE: 400 SQ FT
TOTAL: 2290.4 SQ FT

DRAWING INDEX:
A1 - SITE PLAN
A2 - FLOOR PLANS (HOUSE)
A3 - ELEVATIONS (HOUSE)
A4 - CROSS SECTIONS (HOUSE)
A5 - FLOOR PLANS & ELEVATIONS (GARAGE)
A6 - ENERGY CALCULATIONS

JOB NO.: 17-044
SCALE: AS NOTED
DRAWN BY: DJD
DATE: 2020-05-15

SHEET TITLE
SITE PLAN & INFO

REVISIONS

ENGINEER'S SEAL

DISCLAIMER
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PROJECT
19240 ALOHA DR
SURREY, BC

CONSULTANT

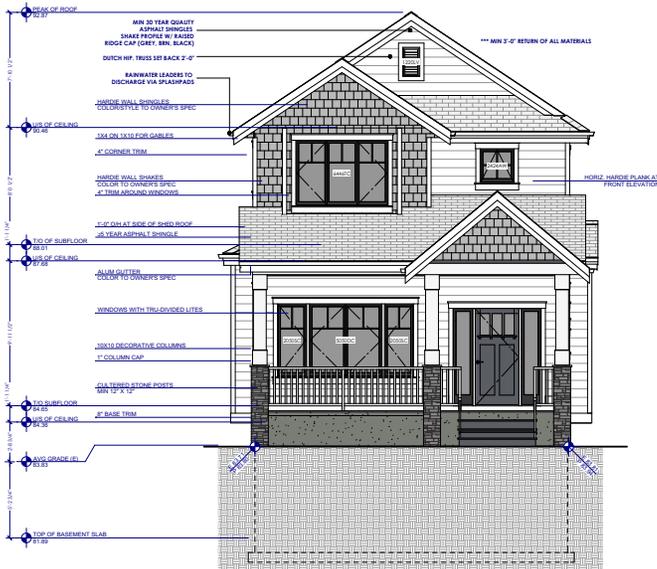
NOTES

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VANCOUVER DRAFTING SOLUTIONS
VANCOUVER DRAFTING SOLUTIONS
VANCOUVER DRAFTING SOLUTIONS

IN ACCORDANCE WITH BCBC 2018 - 9.36 ENERGY EFFICIENCY (CLIMATE ZONE 4)

GENERAL INFORMATION			
COMPLIANCE PATH	PRESCRIPTIVE	<input checked="" type="checkbox"/>	PRESCRIPTIVE WITH TRADE-OFFS
			PERFORMANCE
VENTILATION DESIGN (ACTIVE OR PASSIVE, AIR FLOWS, HRV, CRAWLSPACE VENTILATION SCHEME, ETC)	FORCED AIR	<input checked="" type="checkbox"/>	ELECTRIC
HEATING TYPE	(MAIN & UPPER)	<input checked="" type="checkbox"/>	HYBRIDIC
			(SPLIT & BSMT)
CONSTRUCTION AND EFFECTIVE RSI VALUE FOR ALL ENVELOPE ASSEMBLIES WITHOUT A HEAT RECOVERY VENTILATOR			
ABOVE GROUND OPaque	REQUIRED EFFECTIVE INSULATION	RSI (R) VALUE	RSI (R) VALUE
BUILDING ASSEMBLIES			
CEILING	6.91 (19.23)	6.92 (19.32)	
CATHEDRAL CEILING & FLAT ROOFS	4.67 (13.5)	4.71 (13.26)	
WALLS	2.78 (7.78)	2.86 (8.16)	
FOUNDATION WALLS	1.99 (11.30)	RSI 2.48 (R-14.08)	
FLOORS OVER UNHEATED SPACES	4.67 (13.5)	4.83 (13.71) MINIMUM	
BELOW GRADE OR IN CONTACT WITH THE GROUND BUILDING ASSEMBLIES			
BELOW FROST LINE	UNINSULATED	N/A	
ABOVE FROST LINE		1.96 (11.13)	N/A
HEATED FLOORS		2.32 (12.17)	RSI 2.58 (R-14.56)
SLABS ON GRADE WITH AN INTEGRAL FTG		1.96 (11.13)	2.8 (R-15.8)
FENESTRATION AND DOORS	U VALUE		U VALUE
U VALUES SHALL BE IN ACCORDANCE WITH THE VALUES SPECIFIED IN B.C.B.C. TABLE 3.16.2.7.A.			
DOOR TO GARAGE		1.1 (R-6.25)	
ACCESS HATCH		2.6 (R-14.6)	
FRONT DOOR		2.6 (U-0.46)	
GLASS BLOCK		2.9 (U-0.25)	
SKYLIGHTS		2.78 (R-12.78)	RSI 2.90 (R-16.4)
GARAGE DOOR (IN CONDITIONED SETTING)		1.1 (R-6.25)	

THE ENERGY EFFICIENCY SPECIFICATION SET OUT IN THESE DRAWINGS ARE IN COMPLIANCE WITH THE LATEST EDITION OF THE 2012 EDITION OF THE BRITISH COLUMBIA BUILDING CODE



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

SPATIAL CALCULATION:
TOTAL WALL AREA: 975 SQ FT
TOTAL OPENING AREA: 67 SQ FT (6.9%)
MAX ALLOWED: 68.25 SQ FT (7%)
LIMITING DISTANCE 1.2M



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

SPATIAL CALCULATION:
TOTAL WALL AREA: 955 SQ FT
TOTAL OPENING AREA: 67 SQ FT (7%)
MAX ALLOWED: 67 SQ FT (7%)
LIMITING DISTANCE 1.2M

CONSULTANT

PROJECT

19240 ALOHA DR
SURREY, BC

DISCLAIMER

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ENGINEER'S SEAL

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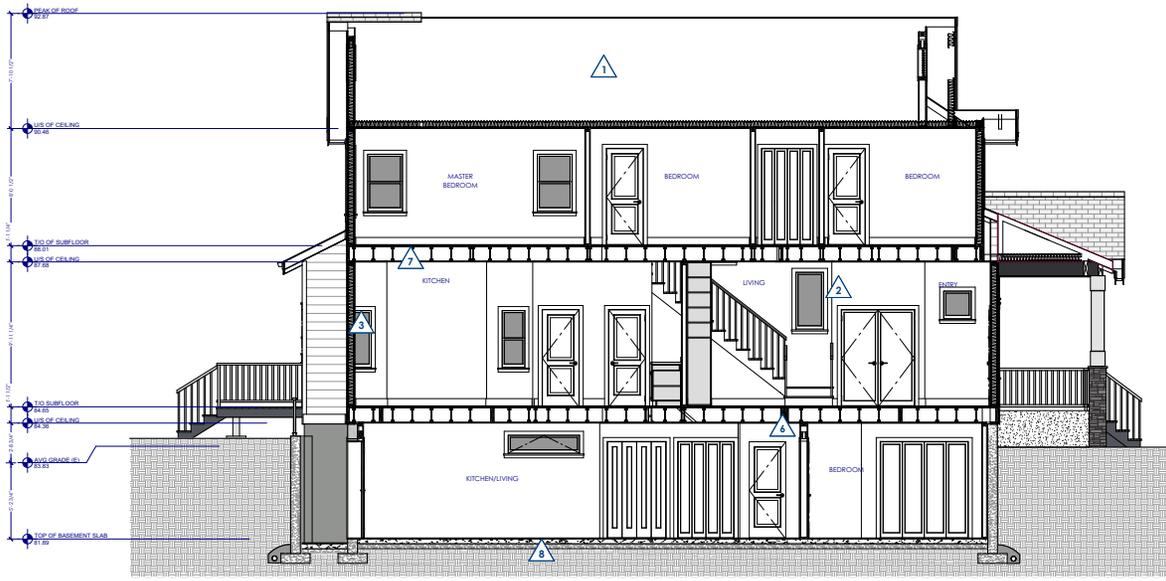
SHEET TITLE

ELEVATIONS

JOB NO: 17-044
SCALE: AS NOTED
DRAWN BY: DJD
DATE: 2020-05-15

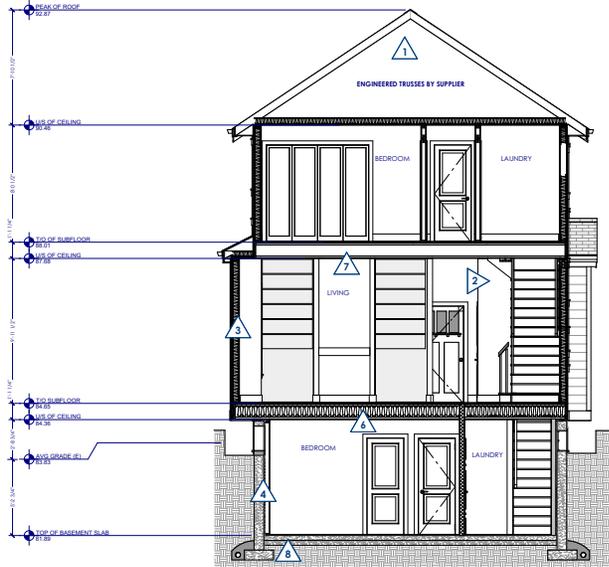
ALL WORK TO COMPLY WITH THE 2018 BCBC

A-3

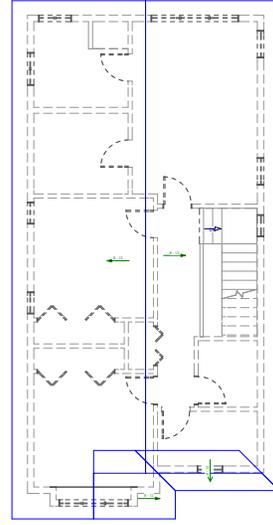


CROSS SECTION A
SCALE: 1/4" = 1'-0"

- 1 **TYPICAL SLOPED ROOF SYSTEM:**
- 35 YEAR ASPHALT SHINGLES C/W BRIDGE CAP. INSTALL PER MANUF.'S RECOMMENDATIONS. COLOR AND STYLE TO BE SELECTED BY OWNERS
- MIN 2 LAYERS LAPPED ROOFING PAPER C/W ICE DAM PROTECTION.
- MIN. 1/2" PLY. SHEATHING W/ 1" CIPS AS REQUIRED
- ENGINEERED WOOD TRUSSES BY MANUFACTURER
- MIN. R-44 INSULATION (BATT OR BLOWN) CONFORM W/ OWNERS
- 6 MIL POLY V.B. C/W LAP & TAPED JOINTS.
- 5/8" DRYWALL OR PER OWNERS SPECIFICATIONS
- SPRAYED PAINT FINISH OR PER OWNERS SPECIFICATIONS
- 2 **TYPICAL LOAD BEARING WALL:**
- 1/2" DRYWALL
- 2X4 OR 2X6 STUD WALL - STUDS @ 16" O.C. (UNLESS OTHERWISE NOTED)
- 1/2" DRYWALL
- PAINT FINISHED E.S. OR PER OWNERS SPECIFICATIONS
- 3 **TYPICAL EXTERIOR WALL:**
- 2X4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE
- MIN. 2 LAYERS OF 30 LAPPED BUILDING PAPER
- 1/2" PLY SHEATHING
- FILL CAVITY W/ BATT OR BLOWN INSULATION MIN. R20 (OPTIONAL)
- 6 MIL POLY V.B.
- 1/2" DRYWALL
- PAINT FINISH OR PER OWNERS SPECIFICATIONS
- 4 **CONCRETE FOUNDATION WALL:**
- BITUMINOUS DAMPROOFING - MIN. 2 COATS
- IF CONCRETE FOUNDATION WALL C/W 15M @ 16" O.C. VERT & HORIZ
- KEEP REINFORCED 1-1/2" CLEAR FROM INSIDE WALL FACE
- 2" X 4" CONCRETE STRIP FOOTING C/W @ 3-15M BOT. CONT.
- UNDISTURBED SOIL BEARING
- 4" PERIMETER DRAIN W/ MIN. 1/2" GRAVEL COVER OR TO SUIT SITE COND.
- 5 **GARAGE FLOOR - SLAB ON GRADE:**
- FINISH BY OWNER
- 4" CONCRETE SLAB
- COMPACTED GRANULAR FILL
- MIN. 1% SLOPE TO ENTRY
- 6 **MAIN FLOOR SYSTEM:**
- NO G.W.B. (UNFINISHED)
- 11-7/8" TJI ENGINEERED FLOOR JOISTS
- 3/4" SUBFLOOR
- FINISH AS PER OWNERS SPECS
- 7 **UPPER FLOOR SYSTEM:**
- 1/2" G.W.B.
- 11-7/8" TJI ENGINEERED FLOOR JOISTS
- 3/4" SUBFLOOR
- FINISH AS PER OWNERS SPECS
- 8 **TYP. SLAB ON GRADE FLOOR - BELOW BROSLINE:**
- ASSEMBLY 9.36 (2.8 A.2(c))
- FINISH BY OWNER
- 4" CONCRETE SLAB
- 6 MIL UV PCY V.B.
- 2" TYP. 3" RIGID INSULATION
- TO 48" BELOW SLAB
- OR 48" FROM PERIMETER
- COMPACTED GRANULAR FILL
- PROVIDE MIN. 18.5 L. 0.8% THERMAL BREAK FROM PERIM. OF SLAB TO EXT. FDN.



CROSS SECTION B
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/16" = 1'-0"

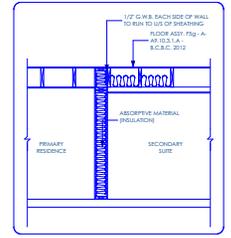
STRUCTURAL DESIGN CRITERIA:
- CONCRETE FOUNDATIONS AND SLABS ON GRADE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500PSI @ 28 DAYS.
- ROOF JOIST, ROOF FRAMING AND WALL PLATES TO BE A MINIMUM OF #2 HEAVY OR BETTER LINO.
- ALL BRAMS TO BE #2 DOUBLEGLASS FR OR BETTER.
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FOUNDATIONS:
- FOUNDATIONS SHALL BE CONCRETE ON SOLID UNDISTURBED BEARING AND 2' OF MINIMUM BELOW THE FROST LINE.
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FINISHING:
- ALL INTERIOR AND EXTERIOR FINISHING SHALL BE SPECIFIED BY THE OWNER AND ANY FINISHING SHALL BE CONFIRMED WITH AND BY THE OWNER.
- EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHER STRIPPED.
- GARAGE DOORS TO THE DWELLING TO HAVE AUTO CLOSERS ON THEM.
- FLASH AT ALL EXTERIOR CHANGES IN EXTERIOR FINISHING. CALLS AROUND ALL UNFLASHED EXTERIOR OPENINGS - SEE RAIN SCREEN DETAILS PROVIDED WITHIN THIS PLAN.
- SLIDING GLASS DOORS TO HAVE SAFETY GLASS.
- WINDOW SIZES ARE SHOWN IN FEET AND INCHES.
- OPENINGS IN PARTITIONS WITHOUT DOORS ARE SHOWN AS FULL HEIGHT UNLESS THERE IS A DETAIL FOR ARCHWAYS.
- COAT CLOSETS SHALL HAVE ROAD AND SHELF. LINEN CLOSETS SHALL HAVE 3 ADJUSTABLE SHELVES.

HEATING AND ELECTRICAL:
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- GAS CONNECTIONS WILL REQUIRE A SEPARATE PERMIT AND INSPECTION.
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- ALL OUTLET LOCATIONS MUST COMPLY OR EXCEED LOCAL RESIDENTIAL STANDARDS OR NATIONAL CODES MINIMUM ACCEPTANCE.



30 MIN FRR
SCALE: NOT TO SCALE

ERRORS & OMISSIONS:
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ALL WORK TO COMPLY WITH THE 2018 BCBC.

CONSULTANT

PROJECT

19240 ALOHA DR
SURREY, BC

DISCLAIMER

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ENGINEER'S SEAL

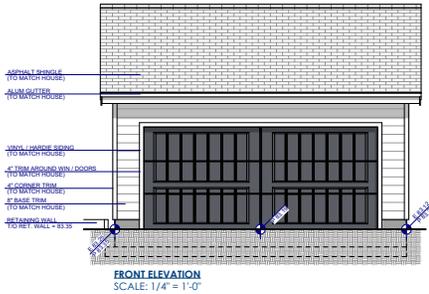
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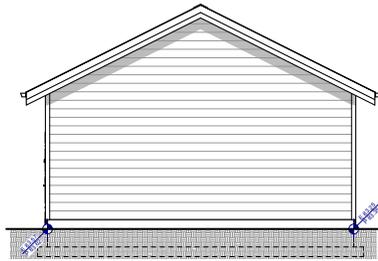
SHEET TITLE

CROSS SECTIONS A & B

JOB NO: 17-044
SCALE: AS NOTED
DRAWN BY: DJD
DATE: 2020-05-15



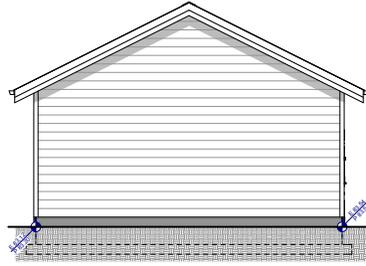
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



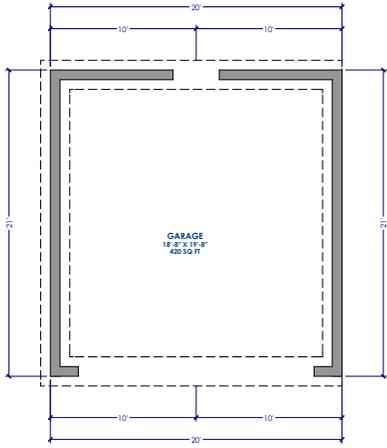
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



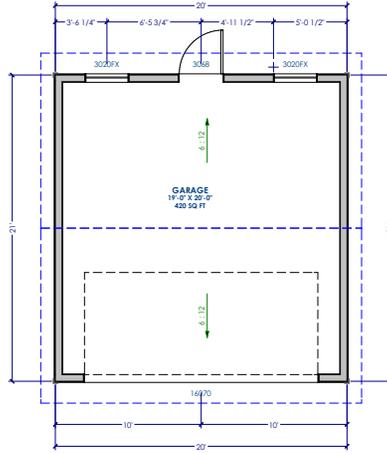
REAR ELEVATION
SCALE: 1/4" = 1'-0"



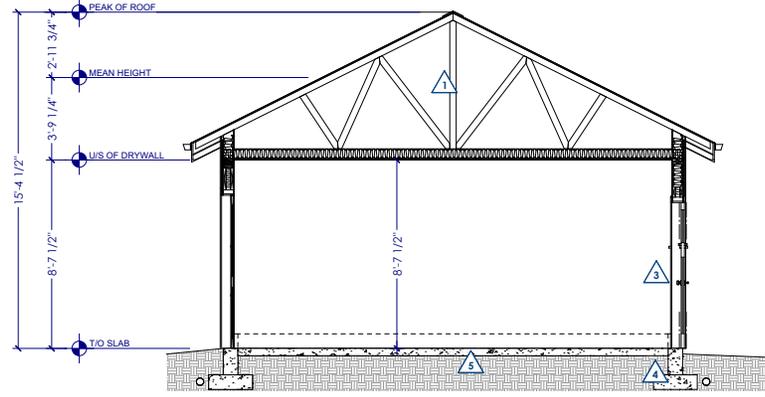
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"
AREA: 420 SQ FT



GARAGE PLAN
SCALE: 1/4" = 1'-0"
AREA: 420 SQ FT



CROSS SECTION B
SCALE: 3/8" = 1'-0"

- 1 TYPICAL SLOPED ROOF SYSTEM:**
- 3/8\"/>
- 2 TYPICAL LOAD BEARING WALL:**
- 1/2\"/>
- 3 TYPICAL 4S MIN EXTERIOR WALL:**
- HARDIE SIDING
- BUILDING PAPER WITH F.S.R. OF 25
- 1/2\"/>
- 4 TYPICAL 4S MIN EXTERIOR WALL:**
- HARDIE SIDING
- BUILDING PAPER WITH F.S.R. OF 25
- 1/2\"/>
- 5 CONCRETE FOUNDATION WALL:**
- BITUMINOUS DAMPROOFING - MIN. 2 COATS
- 8\"/>
- 6 GARAGE FLOOR - SLAB ON GRADE:**
- FINISH BY OWNER
- 4\"/>

STRUCTURAL DESIGN CRITERIA:
- CONCRETE FOUNDATIONS AND SLABS ON GRADE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.
- ROOF JOIST, ROOF FRAMING AND WALL PLATES TO BE A MINIMUM OF #2 HEAVY OR BETTER LINO.
- ALL BRIMS TO BE #2 DOUGLASS FIR OR BETTER.
- STUDS SHALL CONFORM TO PROVINCIAL AND/OR NATIONAL BUILDINGS STANDARDS.
NOTE:
IF SOIL CONDITIONS ARE LESS OR ROOF LOADS ARE GREATER THAN THIS PLAN IS DESIGNED FOR, YOUR BUILDING DEPARTMENT MAY REQUIRE ADJUSTMENTS TO THE PLANS OR ASK THAT THE PLANS BE ENGINEERED BY A PROFESSIONAL ENGINEER.

FOUNDATIONS:
- FOUNDATIONS SHALL BE CONCRETE ON SOLID UNDISTURBED BEARING AND 2\"/>

FINISHING:
- ALL INTERIOR AND EXTERIOR FINISHING SHALL BE SPECIFIED BY THE OWNER AND ANY FINISHING SHALL BE CONFIRMED WITH AND BY THE OWNER.
- EXTERIOR DOORS SHALL BE SOLID CORE AND WEAR STRIPPED.
- GARAGE DOORS TO THE DWELLING TO HAVE AUTO CLOSERS ON THEM.
- FLASH AT ALL EXTERIOR CHANGES IN EXTERIOR FINISHING. CALCULATED AROUND ALL UNFLASHED EXTERIOR OPENINGS - SEE RAIN SCREEN DETAILS PROVIDED WITHIN THIS PLAN.
- SLIDING GLASS DOORS TO HAVE SAFETY GLASS.
- WINDOW SIZES ARE SHOWN IN FEET AND INCHES.
- OPENINGS IN PARTITIONS WITHOUT DOORS ARE SHOWN AS FULL HEIGHT UNLESS THERE IS A DETAIL FOR ARCHWAYS.
- COAT CLOSETS SHALL HAVE ROAD AND SHEET LINEN CLOSETS SHALL HAVE 3 ADJUSTABLE SHELVES.

HEATING AND ELECTRICAL:
- INSTALLATION OF HEATING SYSTEMS MUST CONFORM TO ALL LOCAL BUILDING CODES AND BE INSTALLED PER THE MANUFACTURER'S SPECS.
- GAS CONNECTIONS WILL REQUIRE A SEPARATE PERMIT AND INSPECTION.
- INSTALLATION OF ALL ELECTRICAL ITEMS MUST CONFORM TO LOCAL ELECTRICAL CODES AND REGULATIONS.
- ALL OUTLET LOCATIONS MUST COMPLY OR EXCEED LOCAL RESIDENTIAL STANDARDS OR NATIONAL CODES MINIMUM ACCEPTANCE.

CONSULTANT

PROJECT

19240 ALOHA DR
SURREY, BC

DISCLAIMER

THESE DRAWINGS AND SPECIFICATIONS ARE AND SHALL REMAIN THE PROPERTY OF VANCOUVER DRAFTING AND SHALL NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION FROM VANCOUVER DRAFTING. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS RELATIVE TO THE PROJECT AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES AND/OR OMISSIONS. DO NOT SCALE DRAWINGS.

ENGINEER'S SEAL

VANCOUVER DRAFTING

DAVID DOMINGO
WWW.VANCOUVERDRAFTING.CA
604-722-9198
VANCOUVERDRAFTING@HOTMAIL.COM

SHEET TITLE

GARAGE PLANS

JOB NO: 17-044
SCALE: AS NOTED
DRAWN BY: DJD
DATE: 2020-05-15

ALL WORK TO COMPLY WITH THE 2018 BCBC

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7920-0139-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 030-806-976

Lot 10 Section 15 Township 8 New Westminster District Plan EPP81358

19240 - Aloha Drive

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F.3 of Part 17C "Single Family Residential (10) Zone (RF-10)", the minimum rear yard setback for an accessory building and structure is reduced from 6.0 metres to 3.0 metres.
4. This development variance permit applies to only the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

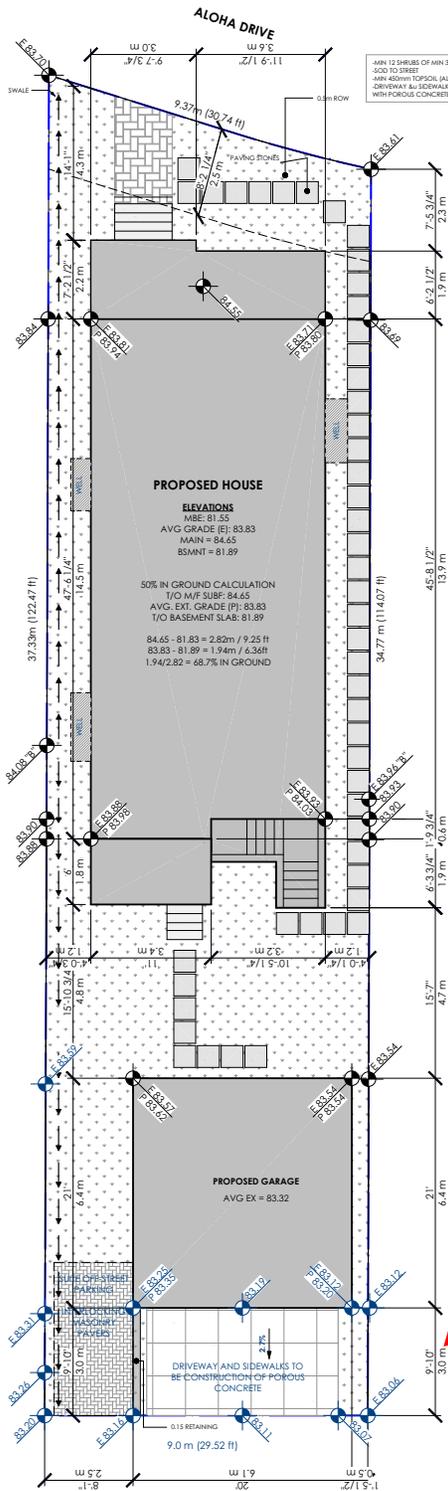
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

Schedule A



SITE PLAN
 SCALE: 3/16" = 1'-0"

STRUCTURAL DESIGN CRITERIA
 CONCRETE FOUNDATIONS AND SLABS ON GRADE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25MPA @ 28 DAYS.
 - ROOF JOIST, SOOT FRAMING AND WALL PLATES TO BE A MINIMUM OF #2 HEAVY OR BETTER LUG.
 - ALL BEAMS TO BE #2 DOUGLASS FIR OR BETTER.
 - STUDS SHALL CONFORM TO PROVINCIAL AND/OR NATIONAL BUILDING STANDARDS.

NOTE
 IF SOIL CONDITIONS ARE LESS OR ROOF LOADS ARE GREATER THAN THIS PLAN IS DESIGNED FOR, YOUR BUILDING DEPARTMENT MAY REQUIRE ADJUSTMENTS TO THE PLANS OR ASK THAT THE PLANS BE ENGINEERED BY A PROFESSIONAL ENGINEER.

FOUNDATIONS:
 - FOUNDATIONS SHALL BE CONCRETE ON SOLID UNDISTURBED BEARING AND 2" OF MINIMUM BELOW THE FROST LINE.
 - FOUNDATION WALLS SHALL NOT BE BACK FILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAY STRENGTH, OR UNTIL ADEQUATELY BRACED SUBJECT TO THE APPROVAL BY THE AUTHORITY HAVING JURISDICTION.
 - GRADES SHOWN ON THE PLANS ARE EITHER FROM THE LOT GRADING PLAN AND INTERPOLATED OR ARE ESTIMATED WHERE ACCURATE INFORMATION IS NOT AVAILABLE. THEREFORE, WALL HEIGHTS MAY HAVE TO BE ADJUSTED TO SUIT LOCAL CONDITIONS.
 - ALL CONCRETE FOUNDATION WALLS EXCEEDING PROVINCIAL OR NATIONAL BUILDING STANDARDS MAY REQUIRE ENGINEERING.
 - FROSTER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED TO THE APPROVAL OF THE LOCAL AUTHORITIES. THIS CAN BE CONFIRMED WITH BUILDING DEPARTMENTS.

FINISHING:
 - ALL INTERIOR AND EXTERIOR FINISHING SHALL BE SPECIFIED BY THE OWNER AND ANY FINISHING SHALL BE CONFIRMED WITH AND BY THE OWNER.
 - EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHER STRIPPED.
 - GARAGE DOORS TO THE DWELLING TO HAVE AUTO CLOSERS ON THEM.
 - FLASH AT ALL EXTERIOR CHANGES IN EXTERIOR FINISHING. CAULK AROUND ALL UNFINISHED EXTERIOR OPENINGS. (SEE RAIN SCREEN DETAILS PROVIDED WITHIN THIS PLAN)
 - SLIDING GLASS DOORS TO HAVE SAFETY GLASS.
 - WINDOW SIZES ARE SHOWN IN FEET AND INCHES.
 - OPENINGS IN PARTITIONS WITHOUT DOORS ARE SHOWN AS FULL HEIGHT UNLESS THERE IS A DETAIL FOR ARCHWAYS.
 - COAT CLOSETS SHALL HAVE ROAD AND SHELF. LINEN CLOSETS SHALL HAVE 5 ADJUSTABLE SHELVES.

HEATING AND ELECTRICAL:
 - INSTALLATION OF HEATING SYSTEMS MUST CONFORM TO ALL LOCAL BUILDING CODES AND BE INSTALLED PER THE MANUFACTURER'S SPECS.
 - GAS CONNECTIONS WILL REQUIRE A SEPARATE INSPECTION.
 - INSTALLATION OF ALL ELECTRICAL ITEMS MUST CONFORM TO LOCAL ELECTRICAL CODES AND REGULATIONS.
 - ALL OUTLET LOCATIONS MUST COMPLY OR EXCEED LOCAL RESIDENTIAL STANDARDS OR NATIONAL CODES MINIMUM ACCEPTANCE.

ERRORS & OMISSIONS:
 - VANCOUVER DRAFTING SERVICES MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS WHICH MAY AFFECT THE OVERALL CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS & DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD ANY VARIANCE BE FOUND ON THESE PLANS, PLEASE ADVISE VANCOUVER DRAFTING SOLUTIONS AS SOON AS POSSIBLE. AS A RESULT, WE WILL BE ABLE TO CORRECT ANY ERRORS IN A TIMELY FASHION AND, IF NECESSARY, REPLACE ANY PLANS PURCHASED. AS A RESULT, UNINTENTIONAL ERRORS CAN BE AVOIDED FROM REOCCURRING.

ALL WORK TO COMPLY WITH THE 2018 BCBC

SITE INFORMATION:
 ADDRESS: 19240 ALOHA DR - SURREY BC
 LOT AREA: 328 sq m / 3530.56 sq ft
 ZONING: R-10
 CLIMATE ZONE: 4
 MAX FAR: 2712 SQ FT
 PROP. FAR: 2706 SQ FT
 MAX LOT COVERAGE: 52.0% = 170 sq m / 1836 sq ft
 PROP LOT COVERAGE: 50.25% = 165 sq m / 1774 sq ft

SETBACKS (HOUSE):
 MIN SIDE YARD: 1.2 m / 3.93 ft
 PROP. SIDE YARD: 1.48 m / 4.88 ft
 MIN FRONT YARD: 2.5 m / 8.2 ft
 PROP. FRONT YARD: 2.5 m / 8.2 ft

SETBACKS (GARAGE):
 MIN REAR: 1.2 m / 3.93 ft
 PROP. REAR: 1.2 m / 3.93 ft
 MIN SIDE YARD: 0.0 m / 0.0 ft
 PROP. SIDE YARD: 1' 5 1/2" (R) / 8'-1" (L)

SITE COVERAGE:
 EXISTING SITE AREA: 3,530 SQ FT
 HOUSE: 1,202 SQ FT
 GARAGE: 420 SQ FT
 TOTAL: 1,622 SQ FT (48.0%)
 ALLOWABLE: 1,836 SQ FT (52%)

AREAS:
 BASEMENT FLOOR: 988 SQ FT (N/C 50% I.C.)
 BASEMENT SUITE: 830 SQ FT
 MAIN FLOOR: 1012 SQ FT
 UPPER FLOOR: 488 SQ FT
 GARAGE: 400 SQ FT
 TOTAL: 2290.4 SQ FT

DRAWING INDEX:
 A1 - SITE PLAN
 A2 - FLOOR PLANS (HOUSE)
 A3 - ELEVATIONS (HOUSE)
 A4 - CROSS SECTIONS (HOUSE)
 A5 - FLOOR PLANS & ELEVATIONS (GARAGE)
 A6 - ENERGY CALCULATIONS

DVP for rear yard setback for an accessory building from 6.0 metres to 3.0 metres

IN ACCORDANCE WITH BCBC 2018 - 9.36 ENERGY EFFICIENCY (CLIMATE ZONE 4)

COMPLIANCE PATH	PRESCRIPTIVE	PRESCRIPTIVE WITH TRADE-OFFS	PERFORMANCE
VENTILATION DESIGN (ACTIVE OR PASSIVE, AIRFLOWS, HRV, CRAWLSPACE VENTILATION SCHEME, ETC)		<input checked="" type="checkbox"/>	
HEATING TYPE	<input checked="" type="checkbox"/> FORCED AIR	<input checked="" type="checkbox"/> ELECTRIC	<input type="checkbox"/> HYBRID
	<input type="checkbox"/> (MAIN & UPPER)	<input type="checkbox"/> (SUITE & BSMT)	

BUILDING ASSEMBLIES	REQUIRED EFFECTIVE INSULATION	ACTUAL EFFECTIVE INSULATION
CEILING BELOW ATTICS	6.91 (R-23)	6.92 (R-39.23)
CATHEDRAL CEILING & FLAT ROOFS	4.07 (R-13)	4.71 (R-26.79)
WALLS	2.78 (R-15.79)	2.86 (R-16.24)
FOUNDATION WALLS	1.99 (R-11.30)	1.97 (R-11.08)
FLOORS OVER UNHEATED SPACES	4.67 (R-26.52)	4.83 (R-27.6)

BELOW GRADE OR IN CONTACT WITH THE GROUND BUILDING ASSEMBLIES	RSI (R) VALUE	RSI (R) VALUE
BELOW FROST LINE	UNINSULATED	N/A
ABOVE FROST LINE	1.96 (R-11.13)	N/A
HEATED FLOORS	2.32 (R-13.17)	RSI 2.38 (R-14.56)
SLABS ON GRADE WITH AN INTEGRAL FTG	1.96 (R-11.13)	2.8 (R-15.89)
FENESTRATION AND DOORS	U VALUE	U VALUE

U VALUES SHALL BE IN ACCORDANCE WITH THE VALUES SPECIFIED IN B.C.B.C. TABLE 9.36.2.7.A.	RSI (R) VALUE	RSI (R) VALUE
DOOR TO GARAGE	1.1 (R-6.29)	
ACCESS HATCH	2.6 (R-14.6)	
FRONT DOOR	2.6 (U=0.46)	
GLASS BLOCK	2.9 (U=0.23)	
SKYLIGHTS	2.78 (R-15.79)	RSI 2.90 (R-16.4)
GARAGE DOOR (IN CONDITIONED SETTING)	1.1 (R-6.29)	

THE ENERGY EFFICIENCY SPECIFICATION SET OUT IN THESE DRAWINGS ARE IN COMPLIANCE WITH THE LATEST EDITION OF THE 2012 EDITION OF THE BRITISH COLUMBIA BUILDING CODE

JOB NO.: 17-044
SCALE: AS NOTED
DRAWN BY: D.J.D
DATE: 2020-05-15

SHEET TITLE: SITE PLAN & INFO

REVISIONS:

ENGINEER'S SEAL:

DISCLAIMER:
 VANCOUVER DRAFTING SOLUTIONS MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS WHICH MAY AFFECT THE OVERALL CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS & DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD ANY VARIANCE BE FOUND ON THESE PLANS, PLEASE ADVISE VANCOUVER DRAFTING SOLUTIONS AS SOON AS POSSIBLE. AS A RESULT, WE WILL BE ABLE TO CORRECT ANY ERRORS IN A TIMELY FASHION AND, IF NECESSARY, REPLACE ANY PLANS PURCHASED. AS A RESULT, UNINTENTIONAL ERRORS CAN BE AVOIDED FROM REOCCURRING.

PROJECT: 19240 ALOHA DR SURREY, BC

CONSULTANT:

NOTES:

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 11881 152ND STREET, SURREY, BC V3R 4S1
 TEL: 604.279.9299
 VANCOUVERDRAFTING@GMAIL.COM

A-1