

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**  
 Application No.: 7921-0059-00

Planning Report Date: July 12, 2021

**PROPOSAL:**

- **Rezoning** from A-1 to IB-1
- **Development Permit**
- **Development Variance Permit**

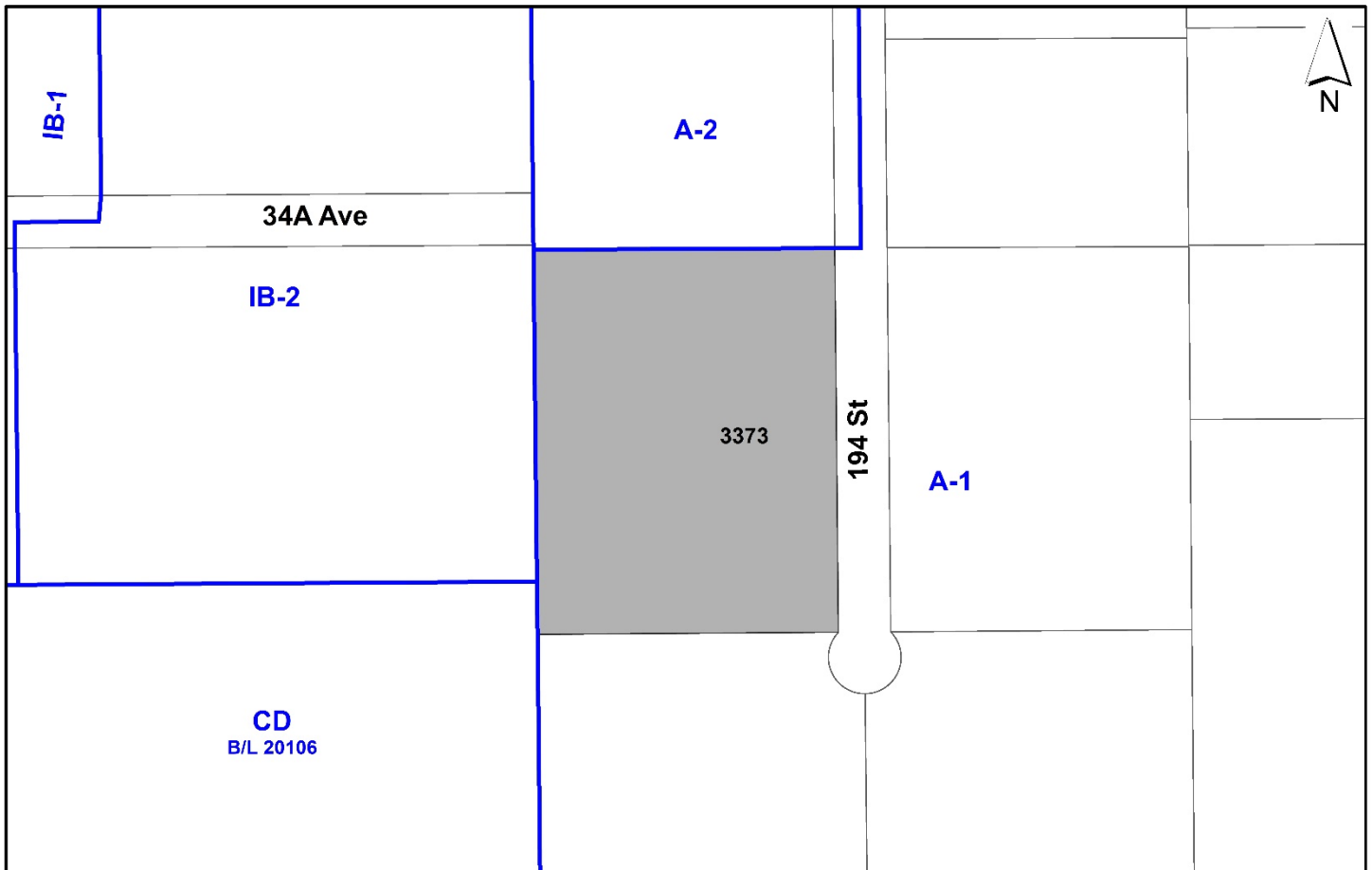
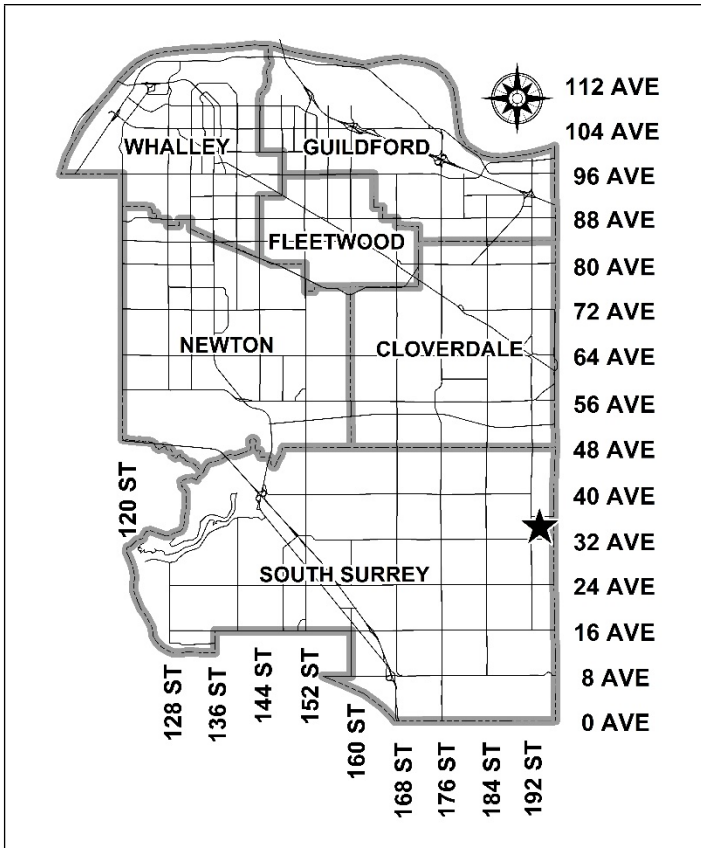
to permit the development of a 9,197 square-metre industrial building.

**LOCATION:** 3373 - 194 Street

**ZONING:** A-1

**OCP DESIGNATION:** Mixed Employment

**LAP DESIGNATION:** Business Park



**RECOMMENDATION SUMMARY**

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

**DEVIATION FROM PLANS, POLICIES OR REGULATIONS**

- Proposing to reduce the rear yard setback requirements of the IB-1 Zone from 7.5 metres to 0 metres.

**RATIONALE OF RECOMMENDATION**

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Business Park designation in the Campbell Heights Local Area Plan (LAP)
- The proposal complies with the Mixed Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Campbell Heights.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed sign has been comprehensively designed to be integrated with the design of the building and provides a coordinated look for the development.
- The proposed building setback reduction on the south portion of the site is consistent with other industrial sites where one of the setbacks adjacent to other industrial land can be reduced to 0 metres. In this case, the site fronts two roads, and the frontage is on 34A Avenue, so the south setback is considered the rear yard, and a variance is required. The property to the south is also designated Business Park in the Campbell Heights Local Area Plan (LAP), and has a current Development Application on it. The site plan for the adjacent site shows parking against the property line, with a drive aisle. The building is proposed at 8.9 metres setback.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "General Agriculture Zone (A-1)" to "Business Park 1 Zone (IB-1)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7921-0059-00 generally in accordance with the attached drawings (Appendix I).
3. Council approve Development Variance Permit No. 7921-0059-00 (Appendix IV) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum rear yard requirement of the Business Park 1 Zone ( IB-1) from 7.5 metres to 0 metres.
4. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
  - (i) registration of a Section 219 Restrictive Covenant to prohibit any uses that require a Metro Vancouver air quality permit from locating on the site.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Farm and greenhouse	Business Park	A-1
North (Across 34A Avenue):	Single family dwelling	Business Park	A-2
East (Across 194 Street):	Farm, greenhouse and single family dwelling	Business Park	A-1
South:	Development Application No. 7919-0128-00 for a multi-tenant industrial building. Application received Third Reading on Nov 18, 2019.	Business Park	A-1
West:	Development Permit No. 7919-0082-00 for two industrial buildings issued on July 27, 2020. Currently under construction.	Business Park	IB-2

### Context & Background

- The subject property is 1.7 hectares (4.2 acres), designated "Mixed Employment" in the Official Community Plan (OCP), "Business Park" in the Campbell Heights Local Area Plan (LAP) and zoned "General Agricultural Zone (A-1)".
- The site currently has a farm with greenhouse and several trees. The site is practically flat with minimal slope.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant is proposing to rezone the site from "General Agricultural Zone (A-1)" to "Business Park Zone (IB-1)" and a Development Permit for Form and Character to permit the development of an industrial business park building with a gross floor area of 9,197 square metres (FAR 0.56). With a gross site area of 17,097 square metres and a road dedication of 569 square metres, the total net site area is 16,528 square metres.
- The proposed end user is Bothwell Accurate, which are looking to consolidate multiple business units located currently in Surrey, Richmond, and Port Coquitlam into a single facility and have chosen to do so at 3373 194 Street, Surrey BC. They will be occupying the entire building, initially employing 80 staff and intending to increase this to 100 or more as the company grows in the local area.

- The intended use of the facility will be primarily the manufacturing, assembly, and distribution of building envelope systems (roofing, glazing, flashings, etc.) in the 6,944 square metres of warehouse area. Their executive and administrative staff will also be based out of this facility within the proposed 2,253 square metres of office that is planned for this location.
- The application requires road dedication along the north and east, and access is proposed on both 34A Avenue and 194 Street.

	Proposed
<b>Lot Area</b>	
Gross Site Area:	1.7 hectares (4.22 acres)
Road Dedication:	569 square metres
Net Site Area:	1.65 hectares (4.08 acres)
<b>Number of Lots:</b>	1
<b>Building Height:</b>	10.7 metres
<b>Unit Density:</b>	n/a
<b>Floor Area Ratio (FAR):</b>	0.56
<b>Floor Area</b>	
Industrial:	6,944 square metres
Commercial/Office:	2,253 square metres
Total:	9,197 square metres

## Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Surrey Fire Department:	The Fire Department has no concerns with the proposed development.
Advisory Design Panel:	The application was not referred to the ADP but was reviewed by staff and found satisfactory.

## Transportation Considerations

- The application requires road dedication to the north and east. To the north, a varying amount from 0 metres on the west to 6.5 metres on the east for 34A Avenue, and 1.94 metres to the east, for 194 Street, as well as applicable corner cut, for a total of 569 square metres of road dedication.
- The site will be accessed via two driveways, one on 34A Avenue for trucks and employees, and one on 194 Street for vehicular access only.
- The proposed truck bay is located on the western portion of the site, with some landscaping and screening from 34A Avenue.

## Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist. The applicant also proposes to meet the Climate Adaptation Strategy policy for a green roof or a high-albedo roof, which is typically considered to have a Solar Radiance Index (SRI) value of 0.75.

## POLICY & BY-LAW CONSIDERATIONS

### Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy.

### Official Community Plan

#### Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan.

#### Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

*(The proposed development is oriented towards 194 Street and 34A Avenue with expansive two-level spandrel glazing at the corner).*

- B6.9 – Create opportunities for interactive and enjoyable public plazas by using furniture, banners, signs, interactive public art, heritage interpretation, paving patterns, vibrant colours and other "placemaking" design elements.

*(The proposed development includes a plaza at northeast corner of the site, with benches and an amenity space).*

- C2.38 – Ensure the loading and on-site access of goods delivery vehicles is considered in conjunction with overall urban development site design.

*(Site access and loading bays have been designed to minimize public view, and to allow for the building to be used as screening for the most part. The loading is accessed from 34A Avenue, with landscape buffering proposed for screening that frontage).*

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

*(The proposed development is compatible with the Mixed Employment designation and builds upon the employment lands in Campbell Heights. The subject site is also located near the major transportation corridors of 36 Avenue, Highway 15, 192 Street and international border crossings).*

## Secondary Plans

### Land Use Designation

- The proposal complies with the Business Park designation in the Campbell Heights Local Areas Plan (LAP) as follows:

### Themes/Objectives

- 6.5.1.4 – Design Guidelines: Business Park – The use of glass and high quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

*(The proposed development incorporates expansive two-level spandrel glass at the corner and along 194 Street frontage).*

- 6.5.1.4 – Design Guidelines: Business Park – Variations in massing and changes in height and horizontal planes are encouraged.

*(The proposed development incorporates a variation in building height at the unit entrances, and the corner has a detail with spandrel glass).*

- 6.5.1.4 – Design Guidelines: Business Park – The exterior of buildings should be coordinated in the design on all elevations with regard to colour, materials, architectural form, and detailing to achieve design harmony and continuity.

*(The proposed building is architecturally coordinated with a modern appearance that promotes harmony by using consistent cladding materials, glazing, and landscaping).*

## Zoning By-law

- The applicant proposes to rezone the subject site from "General Agriculture Zone (A-1)" to "Business Park 1 Zone (IB-1)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Business Park 1 Zone (IB-1)", streamside setbacks and parking requirements.

<b>IB-1 Zone (Part 47A)</b>	<b>Permitted and/or Required</b>	<b>Proposed</b>
<b>Unit Density:</b>	n/a	n/a
<b>Floor Area Ratio:</b>	1.00	0.56
<b>Lot Coverage:</b>	60%	47.8%
<b>Yards and Setbacks</b>		
North:	7.5 metres (without parking)	7.5 metres
East:	9 metres	25.8 metres
South:	7.5 metres	0.08 metres
West:	7.5 metres	19.5 metres
<b>Height of Buildings</b>		
Principal buildings:	14 metres	10.67 metres
Accessory buildings:	6 metres	n/a
<b>Parking (Part 5)</b>	<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>		
Commercial:	56	56
Industrial:	70	70
Total:	126	126

- The proposal includes a total of 126 surface parking spaces, which meets the parking requirements of the Zoning By-law for light impact industrial and office uses.

#### Setback Variance

- The applicant is requesting the following variances:
  - (a) to reduce the minimum rear yard setback of the IB-1 Zone from 7.5 metres to 0 metres.
- The proposed building setback reduction on the south portion of the site is consistent with other industrial sites where one of the setbacks adjacent to other industrial land can be reduced to 0 metres. In this case, the site fronts two roads, and the frontage is on 34A Avenue, so the south setback is considered the rear yard, and a variance is required.
- The property to the south is also designated Business Park in the Campbell Heights Local Area Plan (LAP), and is currently under a development application (Development Application No. 7919-0128-00, received Third Reading and Conditional Approval for a multi-tenant industrial building in November, 2019. The site plan for the adjacent site shows parking against the property line, with a drive aisle. The building is proposed at 8.9 metres setback.
- Staff support the requested variances to proceed for consideration.

#### **Public Art Policy**

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.



## **PUBLIC ENGAGEMENT**

- Pre-notification letters were sent on April 19, 2021, and the Development Proposal Signs were installed on June 10, 2021. Staff received no responses.
- The subject application was also referred to the Little Campbell Watershed Society for consideration. No concerns were received in response to this referral.

## **DEVELOPMENT PERMITS**

### **Form and Character Development Permit Requirement**

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The applicant has worked with staff to enhance elevations at the building's corners, to screen loading bays visible from 34A Avenue, and for tree retention with meandering sidewalk/curb bulge on the southeast portion of the site. The applicant has also narrowed down the driveway to accommodate additional replacement trees on the site.
- The general site design consists of one large industrial building, with a 7.5 metre landscape buffer along the north frontage, and 6 metres landscape along the east frontage. The south setback is proposed at 0 metres through variance, and the west setback is proposed at 19.5 metres, which exceeds the minimum 7.5 metres. A publicly accessible open space plaza is featured at the northeast corner of the site.
- The longitudinal length of the building along 194 Street is comfortably visually scaled down with a rhythm of indented bays that bring about a comfortable proportion. To reflect the curving 34A Avenue roadway, the building facade is serrated to give a cascading effect for visual interest. The building is proposed to be of concrete tilt-up panels in shades of grey and blue, which have ample street oriented glazing along the lower and upper storeys along 194 Street and on the upper storey along the 34A Avenue frontage. .
- The building is proposed with a high albedo roofing material with at least 0.75 Solar Reflectance Index (SRI) to minimize the urban heat island effect, meeting the Climate Adaptation Strategy policy.
- Vehicular access is proposed on 194 Street, and truck and employee access is proposed on 34A Avenue. The loading area will be screened from public view by the building and landscaping on 34A Avenue.
- One upper storey sign is proposed on the 194 Street frontage, in individual channel letters, complying with the Sign By-law.

### Landscaping

- The proposed landscaping consists of 7.5 metre wide landscape buffers along 34A Avenue and a 6.0 metre wide landscape buffer along 194 Street.
- On the north portion of the site, the landscaping is proposed adjacent to the building, and on the east, there is parking proposed between the building and the landscape buffer. A publicly accessible open space plaza is proposed at the northeast portion of the site. A group of Douglas Fir trees is being retained at the southeast portion of the site, with a meandering sidewalk and a curb bulge to accommodate the tree protection zone.
- The new trees on the site will consist of a variety of trees including Katsura Tree, Sunburst Locust, Flame Amur Maple, Bigleaf Maple, Douglas Fir, Western Red Cedar and a variety of shrubs and grasses.

### Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include minor changes to landscaping, changes in colour scheme and additional details for signage.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

### **TREES**

- Reed Moss, ISA Certified Arborist of KD Planning and Design Ltd, prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
n/a	0	0	0
<b>Coniferous Trees</b>			
Western Red Cedar	18	18	0
Douglas Fir	163	155	8
Western Hemlock	1	1	0
Dawn Redwood	1	1	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>183</b>	<b>175</b>	<b>8</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>			
		<b>62</b>	

<b>Total Retained and Replacement Trees</b>	<b>70</b>
<b>Contribution to the Green City Program</b>	<b>\$158,400</b>

- The Arborist Assessment states that there is a total of 183 mature trees on the site, with no Alder and Cottonwood trees. It was determined that 8 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The proposed alignment of the sidewalk on 194 Street was altered in order to maximize tree preservation on the site. This will require a curb bulge and supervision by an arborist during construction.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 350 replacement trees on the site. Since only 62 replacement trees can be accommodated on the site, the deficit of 288 replacement trees will require a cash-in-lieu payment of 158,400, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Katsura Tree, Sunburst Locust, Flame Amur Maple, Bigleaf Maple, Douglas Fir, Western Red Cedar and a variety of shrubs and grasses.
- In summary, a total of 70 trees are proposed to be retained or replaced on the site with a contribution of \$158,400 to the Green City Program.

## INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey and Tree Preservation
Appendix IV.	Development Variance Permit No. 7921-0059-00

*approved by Shawn Low*

Rémi Dubé  
Acting General Manager  
Planning and Development

LFM/cm

PROPOSED COMMERCIAL BUILDING FOR:  
**BOTHWELL-ACCURATE**

**CAMPBELL 3373**

3373 194TH STREET, SURREY, BC  
LOT C SECTION 27 TOWNSHIP 7 PLAN NWP12016 NWD PART SW 1/4.



ARCHITECTURAL DRAWING LIST		
COVER SHEET		A-0
SITE PLAN		A-1
BASE PLAN		A-1.1
SITE DETAILS		A-1.2
MAIN FLOOR PLAN		A-2
UPPER FLOOR PLAN		A-2.1
ROOF PLAN		A-3
COLORLED ELEVATIONS		A-4
SECTIONS		A-5



**CONTEXT PLAN**  
SCALE: NTA

**CHIP BARRETT ARCHITECT**  
ARCHITECTS  
2625A ALLIANCE STREET, ARDROT FORD, B.C., V2B 3J9  
TEL: (604) 607-0885 EMAIL: CHIP@CHIPBARRETTARCHITECTS.COM  
IN ASSOCIATION WITH  
**D.FORCE DESIGN INC.**  
2625A ALLIANCE STREET, ARDROT FORD, B.C., V2B 3J9  
TEL: (604) 607-0885 EMAIL: DORIS@D.FORCEDESIGN.COM

This drawing is an integral part of the contract documents and shall be read in conjunction with the other documents. It is the responsibility of the user to ensure that the drawing is used in accordance with the contract documents. The user shall not be held responsible for any errors or omissions in this drawing or for any consequences arising from its use.

25	
24	
23	
22	
21	
20	
19	
18	
17	
16	
15	
14	
13	
12	
11	
10	
9	
8	
7	
6	
5	
4	
3	
2	
1	
NO	
DATE	
DESCRIPTION	
PROJECT MANAGER / CONTRACTORS	

**ORION CONSTRUCTION**  
ORION CONSTRUCTION  
104 - 3900 191 STREET,  
SURREY BC, V2V 0Y6  
PHONE: (604) 362-2994

PROJECT  
PROPOSED INDUSTRIAL WAREHOUSE  
**BOTHWELL  
ACCURATE**  
CAMPBELL 3373

ADDRESS: 3373 194TH STREET, SURREY BC

DRAWING

**COVER SHEET**

SEAL	JOB NO.	DRAWN
	10089	VCF
	DESIGNED	
	CHECKED	C.B.
	PLANT DATE	JUN 29, 21









Diagram illustrating the roll test setup for a curb. The diagram shows a cross-section of the curb and the underlying layers. The layers are labeled: EXTRUDED CONC. CURB, ROLL TEST ASPHALT @ CURB LOG, and ASPHALT. The dimensions are labeled:  $h$  (height of the curb),  $d$  (diameter of the curb log), and  $r$  (radius of the curb).

**ELEVATION VIEW (Top):**

- Overall width: 8'-0"
- Overall height: 8'-0"
- Left side: 4'-0" AT WALL ENTRANCE, 4'-0" AT LITTO
- Right side: 4'-0" AT LITTO, 4'-0" AT WALL ENTRANCE
- Top: 4'-0" AT WALL ENTRANCE, 4'-0" AT LITTO
- Bottom: 4'-0" AT WALL ENTRANCE, 4'-0" AT LITTO
- Internal dimensions: 6'-0" (width), 6'-0" (height)
- Material callouts:
  - WALLS: W/ALUMINUM GLAZING
  - GLAZING: 1/2" GLASS
  - INDICATOR: 2.0-3.0 (IN)
  - LESSON: 1/2" GLASS TO 1/4" (IN)

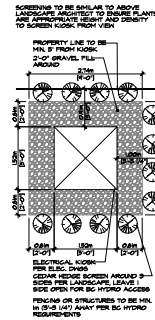
**SECTION VIEW (Bottom):**

- Overall width: 8'-0"
- Overall height: 8'-0"
- Left side: 4'-0" AT WALL ENTRANCE, 4'-0" AT LITTO
- Right side: 4'-0" AT LITTO, 4'-0" AT WALL ENTRANCE
- Top: 4'-0" AT WALL ENTRANCE, 4'-0" AT LITTO
- Bottom: 4'-0" AT WALL ENTRANCE, 4'-0" AT LITTO
- Internal dimensions: 6'-0" (width), 6'-0" (height)
- Material callouts:
  - WALLS: W/ALUMINUM GLAZING
  - GLAZING: 1/2" GLASS
  - INDICATOR: 2.0-3.0 (IN)
  - LESSON: 1/2" GLASS TO 1/4" (IN)

**NOTES:**

1. WALLS SHALL BE 1/2" THICK AND HAVE A FLUTE OF 1/4" TO 1/2" IN DIAMETER.
2. WALLS SHALL BE 1/2" THICK AND HAVE A FLUTE OF 1/4" TO 1/2" IN DIAMETER.
3. WALLS SHALL BE 1/2" THICK AND HAVE A FLUTE OF 1/4" TO 1/2" IN DIAMETER.
4. WALLS SHALL BE 1/2" THICK AND HAVE A FLUTE OF 1/4" TO 1/2" IN DIAMETER.
5. WALLS SHALL BE 1/2" THICK AND HAVE A FLUTE OF 1/4" TO 1/2" IN DIAMETER.
6. WALLS SHALL BE 1/2" THICK AND HAVE A FLUTE OF 1/4" TO 1/2" IN DIAMETER.
7. WALLS SHALL BE 1/2" THICK AND HAVE A FLUTE OF 1/4" TO 1/2" IN DIAMETER.
8. WALLS SHALL BE 1/2" THICK AND HAVE A FLUTE OF 1/4" TO 1/2" IN DIAMETER.
9. WALLS SHALL BE 1/2" THICK AND HAVE A FLUTE OF 1/4" TO 1/2" IN DIAMETER.
10. WALLS SHALL BE 1/2" THICK AND HAVE A FLUTE OF 1/4" TO 1/2" IN DIAMETER.

NO LONGER APPLICABLE



PAINTED METAL BIKE RACKS TO CITY STANDARDS

0.24m (9 7/8")

T.O. BIKE RACK

0.24m (9 7/8")

SIDEWALK LEVEL

**SIDE VIEW**

**PLAN**

[illegible]

GENERAL ENCLOSURE NOTES:  
TYPICAL SLAB & FENCE

- 1) FOOTING TO BE DESIGNED BY OTHERS TO SUIT LOCAL SOIL CONDITIONS.
- 2) ENSURE MINIMUM INSIDE DIMENSIONS ARE MAINTAINED PER I HYDRO STANDARDS

This drawing is an instrument of service is the property of CH2 Barnett Architects and may not be reproduced without written permission and unless the reproduction carries its name. All designs and other information shown on this drawing shall not be used on other projects, for purposes to the project, or for completion of the project by others without written permission of CH2 Barnett Architects.

3	JUN.29.21	REISSUED FOR DP
2	MAR.12.21	ISSUED FOR DP
1	MAR.10.21	CLIENT REVIEW
NO	DATE	DESCRIPTION

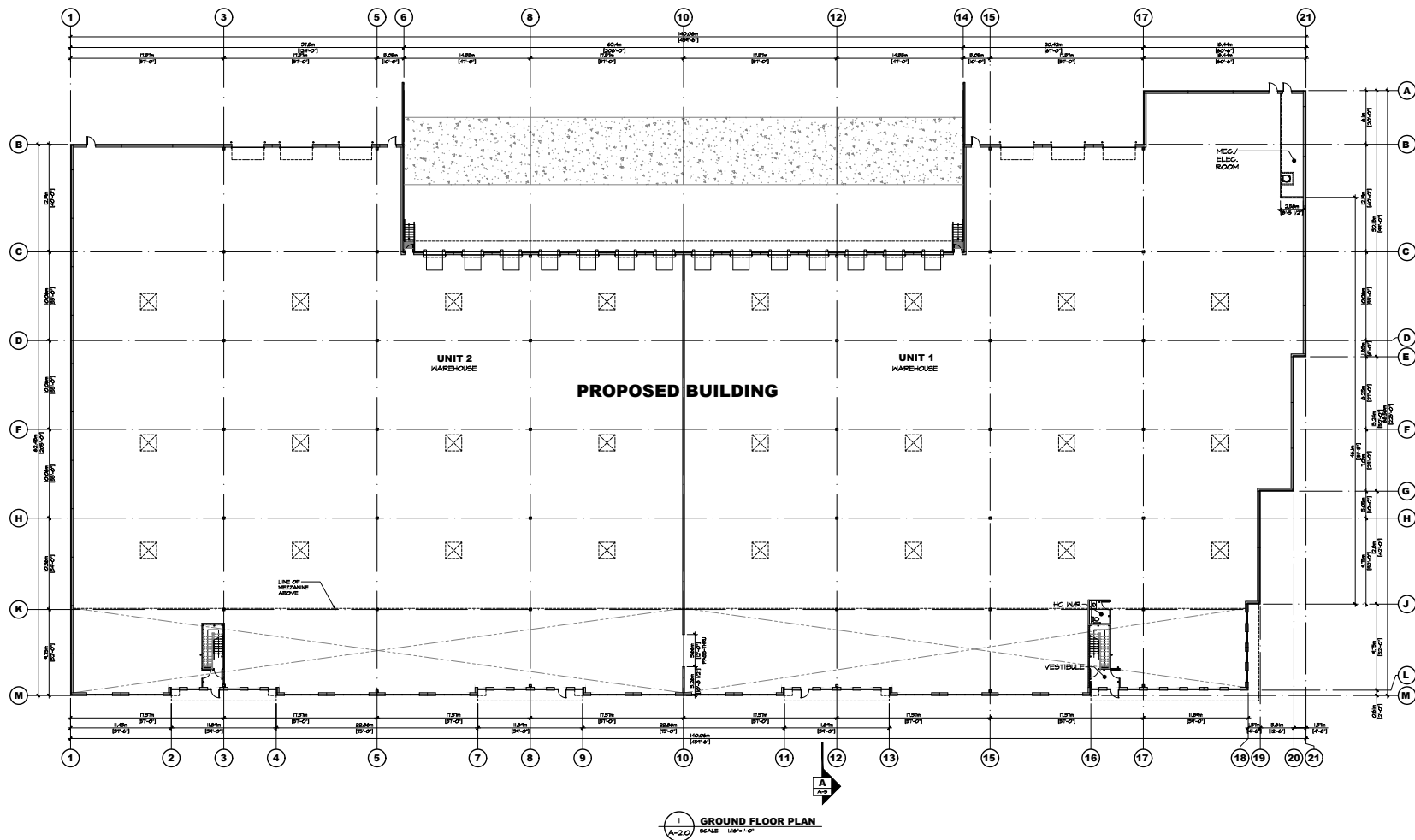
ORION CONSTRUCTION  
104 - 3950 191 STREET,  
SURREY BC, V3Z 0Y6  
PHONE: (604) 362-2994

ADDRESS: 3373 194TH STREET, SURREY BC

DRAWING

SEA	JOB NO.	DRAWN
-----	---------	-------

PROJECT - DRAWING NUMBER		REV.
<b>A-1-2</b>		<b>3</b>



GROUND FLOOR PLAN  
SCALE: 1/8"=1'-0"

CHIP BARRETT ARCHITECT  
40 - 1823 DUNDAS STREET WEST, SUITE 100  
TORONTO, ONTARIO M6H 1B4

D.J. FORGE DESIGN INC.  
2005 ALAN LANE, SUITE 309  
SCARBOROUGH, ONTARIO M1B 4Y6

The drawings are the property of the firm and are to be used only for the project and site specified. They are not to be reproduced, copied, or used for any other project without the written consent of the firm. The firm assumes no responsibility for the accuracy or completeness of the information provided by the client or for the results of the design.

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		

ORION CONSTRUCTION  
104 - 3950 191 STREET,  
SURREY BC, V3Z 0Y6  
PHONE: (604) 362-2964

PROJECT:  
PROPOSED INDUSTRIAL WAREHOUSE  
**BOTHWELL ACCURATE**  
CAMPBELL 3373

ADDRESS: 3373 194TH STREET, SURREY BC

DRAWING

GROUND FLOOR PLAN

SEAL	JOB NO. 19-008	DRAWN JA
DESIGNED	CHECKED C.B.	
PLOT DATE JUN 29, 21		

PROJECT - DRAWING NUMBER

A-2 4





**D.FORCE** DESIGN INC.  
625A ALLIANCE STREET, ABBOTSFORD, B.C. V2S 3J1

TEL (804) 607-5655 EMAIL DARC@DFORCE.CA



25		
24		
23		
22		
21		
20		
19		
18		
17		
16		
15		
14		
13		
12		
11		
10		
9		
8		
7		
6		
5		

3	JUN.29.21	REISSUED FOR DP
2	MAR.12.21	ISSUED FOR DP
1	MAR.10.21	CLIENT REVIEW
MO	DATE	DESCRIPTION

PROJECT MANAGERS / CONTRACTORS:

 **ORION**  
CONSTRUCTION

ORION CONSTRUCTION  
104 - 3950 191 STREET,  
SURREY BC, V3Z 0Y6  
PHONE: (604) 362-2994

**PROJECT:**

**BOTHWELL  
ACCURATE**

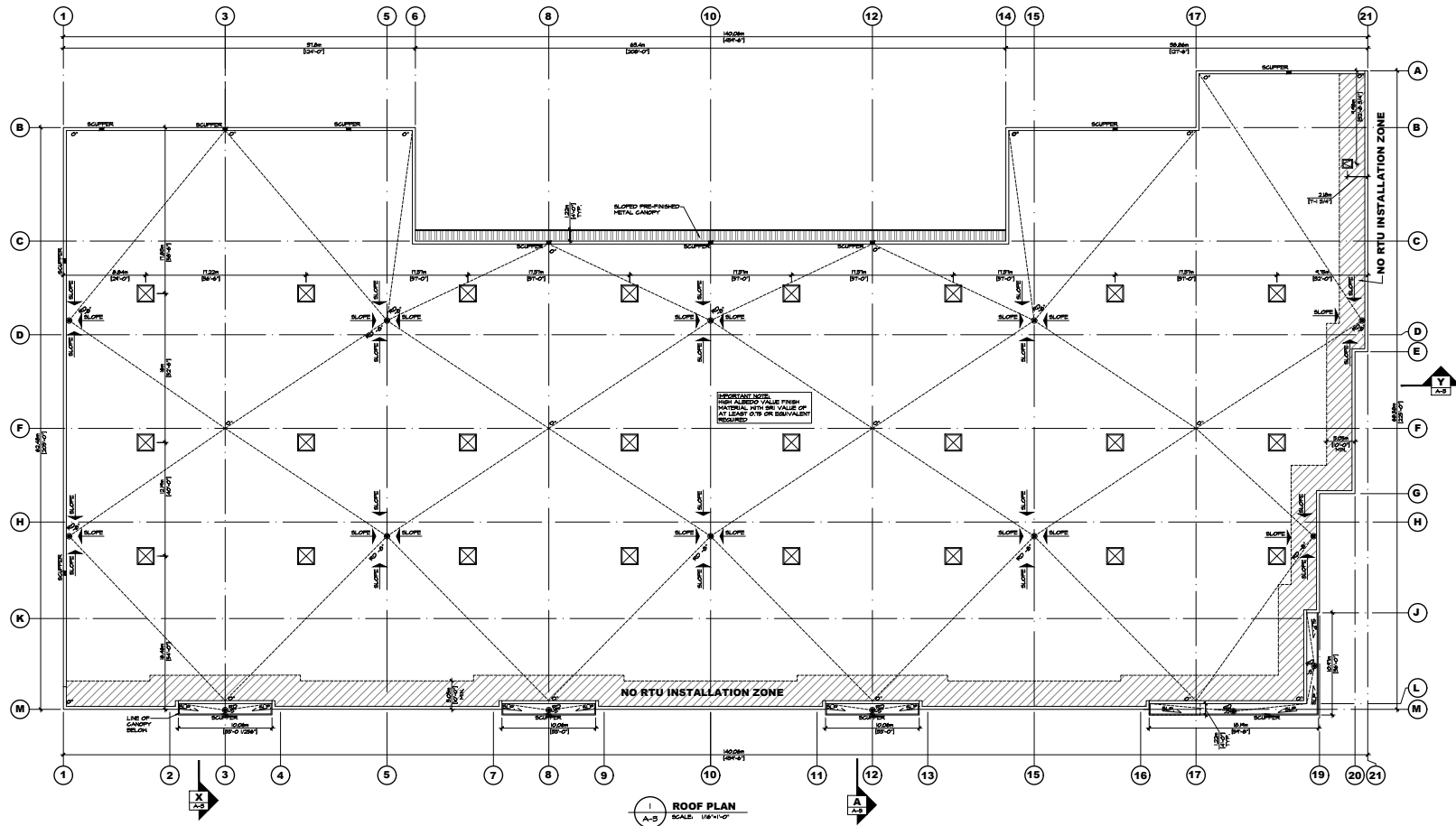
CAMPBELL 3373

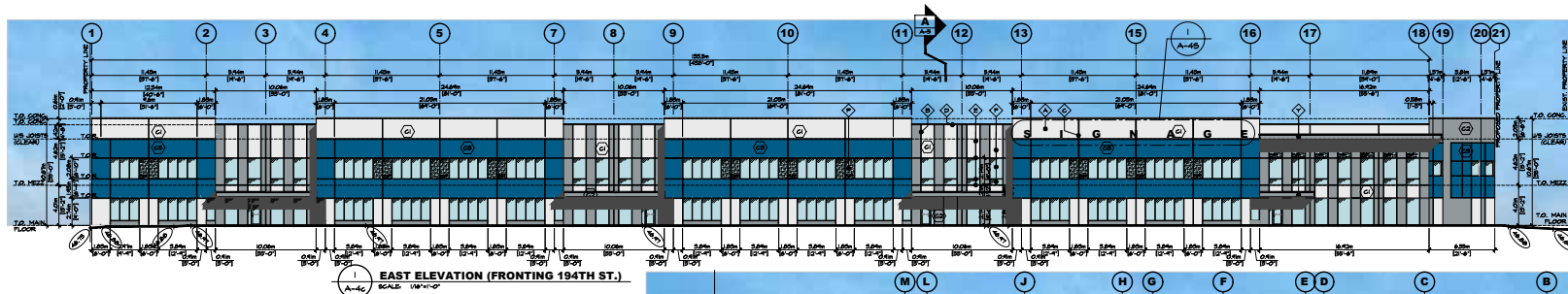
ADDRESS: 3373 194TH STREET, SURREY BC

## SECOND FLOOR PLAN

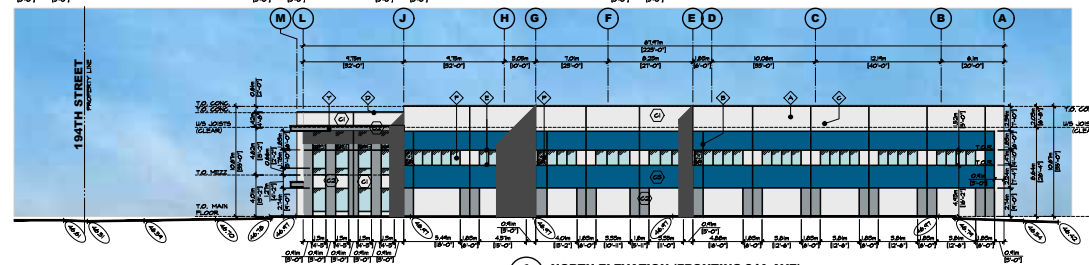
SEAL	JOB NO. 19-085	DRAWN JA
	DESIGNED	
	CHECKED C.B.	
	PLOT DATE JUN. 29.21	

**A-2.1**

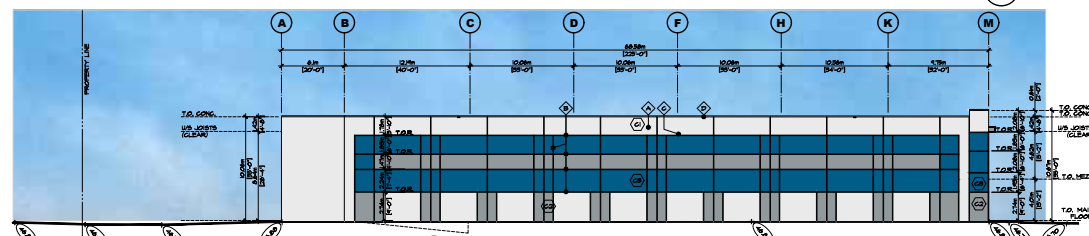




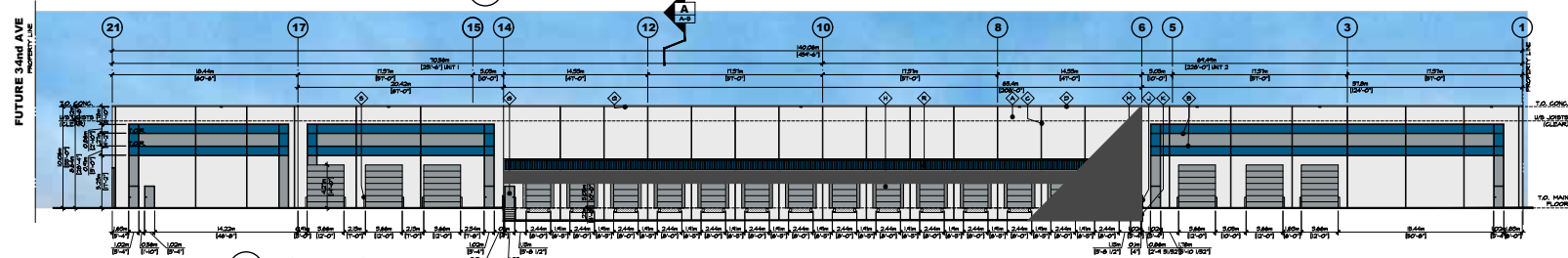
**1 EAST ELEVATION (FRONTING 194TH ST.)**  
SCALE: 1/8"=1'-0"



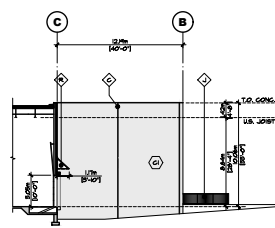
**2 NORTH ELEVATION (FRONTING 34A AVE)**  
SCALE: 1/8"=1'-0"



**3 SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**4 WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**5 TYPICAL ELEVATION @ GRID 6 & GRID 14 OPP.**  
SCALE: 1/8"=1'-0"

**PROJECT COLOURS**

- MAIN FIELD COLOUR 1: CADET (SH 6148)
- FIELD ACCENT COLOUR 1: JAY BLUE (SH 6171)
- FIELD ACCENT COLOUR 2: [Symbol]

- EXTERIOR GUARDRAILS: ALUMINUM EXPANDED METAL MESH
- ALUMINUM EXPANDED METAL MESH: TYPICAL GLAZING
- SPANDREL GLAZING COLOUR: GREY
- TYPICAL METAL CAP FLASHING: [Symbol]

- ARCADIE WHITE (SH 1000)
- CADET (SH 6148)
- JAY BLUE (SH 6171)

**LEGEND:**

- PROPOSED GRADE (PER CIVIL ENGINEER)

**MATERIAL LEGEND**

- CONCRETE TILT-UP WALL TYPE - PAINTED
- REVEAL IN CONCRETE - PAINTED
- PANEL JOINT
- PRE-FINISHED METAL CAP FLASHING
- STONEFRONT FRAMES - CLEAR ANODIZED ALUMINUM
- STONEFRONT GLAZING - CLEAR
- STEEL HANDICAPS - PAINTED
- STEEL SECTIONAL OVERHEAD DOORS - PAINTED
- STEEL GUARDRAILS - PAINTED
- CONCRETE RETAINING WALLS - NATURAL, FINISH UNPAINTED TYPE
- LIGHT FINISH - SEE ELECTRICAL DRAWING
- CONCRETE STAIR W/ STEEL PIPE GUARDRAIL
- 3/4" RECESS IN CONCRETE
- SPANDREL GLAZING (OBSCURE TO MATCH VISION GLASS)
- SCUPPER
- METAL GLAD CANOPY
- STEEL BOLLARD - PAINTED
- CONCRETE CURB UNDER PAINTED
- ASH GLAZED STEEL CANOPY
- NO LONGER APPLICABLE
- CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
- CURTAIN WALL GLAZING - CLEAR
- C-CHANNEL STEEL FRAMED CANOPY, PAINTED

NOTES:  
- NOT ALL MATERIALS ARE APPLICABLE  
- SPANDREL GLAZING

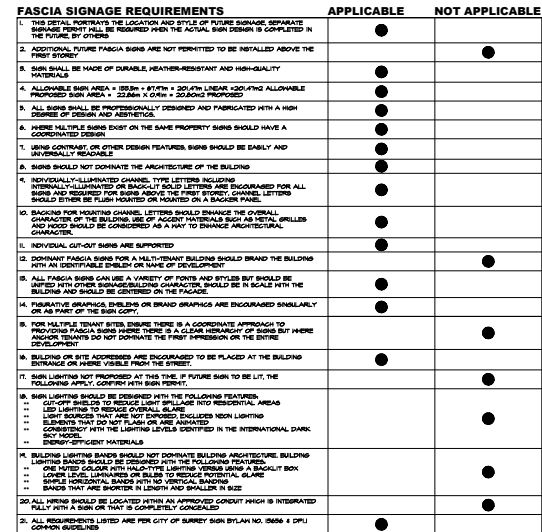
**CHIP BARRETT ARCHITECT**  
140 - 10033 104TH STREET, SURREY, B.C. V4N 1V4  
IN ASSOCIATION WITH  
**D.EDGE DESIGN INC.**  
2005 - 104TH STREET, SURREY, B.C. V4N 1V4  
TEL: (604) 807-3555 FAX: (604) 807-3556

The drawings are prepared in accordance with the provisions of the Building Act and the Building Regulations of the Province of British Columbia. The drawings are not to be used for any other purpose without the written consent of the architect.

NO.	DATE	DESCRIPTION
1	JUL 28/21	ISSUED FOR PERMIT
2	AUG 12/21	ISSUED FOR PERMIT
3	MAR 12/21	ISSUED FOR PERMIT
4	MAR 12/21	CLIENT REVIEW
5	MAR 12/21	CLIENT REVIEW
6	MAR 12/21	CLIENT REVIEW
7	MAR 12/21	CLIENT REVIEW
8	MAR 12/21	CLIENT REVIEW
9	MAR 12/21	CLIENT REVIEW
10	MAR 12/21	CLIENT REVIEW
11	MAR 12/21	CLIENT REVIEW
12	MAR 12/21	CLIENT REVIEW
13	MAR 12/21	CLIENT REVIEW
14	MAR 12/21	CLIENT REVIEW
15	MAR 12/21	CLIENT REVIEW
16	MAR 12/21	CLIENT REVIEW
17	MAR 12/21	CLIENT REVIEW
18	MAR 12/21	CLIENT REVIEW
19	MAR 12/21	CLIENT REVIEW
20	MAR 12/21	CLIENT REVIEW
21	MAR 12/21	CLIENT REVIEW

**ORION CONSTRUCTION**  
ORION CONSTRUCTION  
104 - 3950 191 STREET,  
SURREY, B.C. V3Z 0Y6  
PHONE: (604) 362-2964  
PROJECT:  
PROPOSED INDUSTRIAL WAREHOUSE  
**BOTHWELL ACCURATE**  
CAMPBELL 3373  
ADDRESS: 3373 194TH STREET, SURREY, B.C.  
DRAWING

COLOURED ELEVATIONS	
DESIGNED	C.B.
CHECKED	C.B.
DATE	JUL 28/21
PROJECT - DRAWING NUMBER	A-4c
REV.	5




DATE	DESCRIPTION
------	-------------

ORION CONSTRUCTION  
104 - 3950 191 STREET,  
SURREY BC, V3Z 0Y6  
PHONE: (604) 362-2994

PROJECT:  
PROPOSED INDUSTRIAL WAREHOUSE

**BOTHWELL  
ACCURATE**

CAMPBELL 3373

ADDRESS: 3373 194TH STREET, SURREY BC

### SIGNAGE DETAIL

REAL	JOB NO.	DRAWN
------	---------	-------

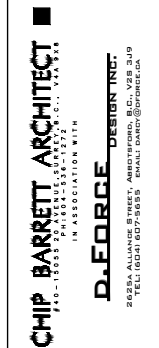
	TRPG	VGP
DESIGNED		

DATE	11/11/2011
CHECKED	

PLOT DATE 08/06/20

PROJECT - DRAWING NUMBER	REVISION
100-100	1

A-4S



This drawing is an instrument of service is the property of CH2 BHARRETT Architects and may not be reproduced without written permission and unless the reproduction carries its name. All designs and other information shown on this drawing shall not be used on other projects, for purposes to the project, or for completion of the project by others without written permission of CH2 BHARRETT Architects.

20		
24		
23		
22		
21		
20		
19		
18		
17		
16		
15		
14		
13		
12		
11		
10		
9		
8		
7		
6		
5		
4		
3		
2	JUN 29 21	REISSUED FOR DP
1	MAR 12 21	ISSUED FOR DP

NO	DATE	DESCRIPTION
PROJECT MANAGERS / CONTRACTORS:		



**ORION**  
CONSTRUCTION

ORION CONSTRUCTION  
104 - 3950 191 STREET,  
SURREY BC, V3Z 0Y6  
PHONE: (604) 362-2994

PROJECT:  
PROPOSED INDUSTRIAL WAREHOUSE

**BOTTLENECK  
ACCURATE**  
CAMPBELL 3373

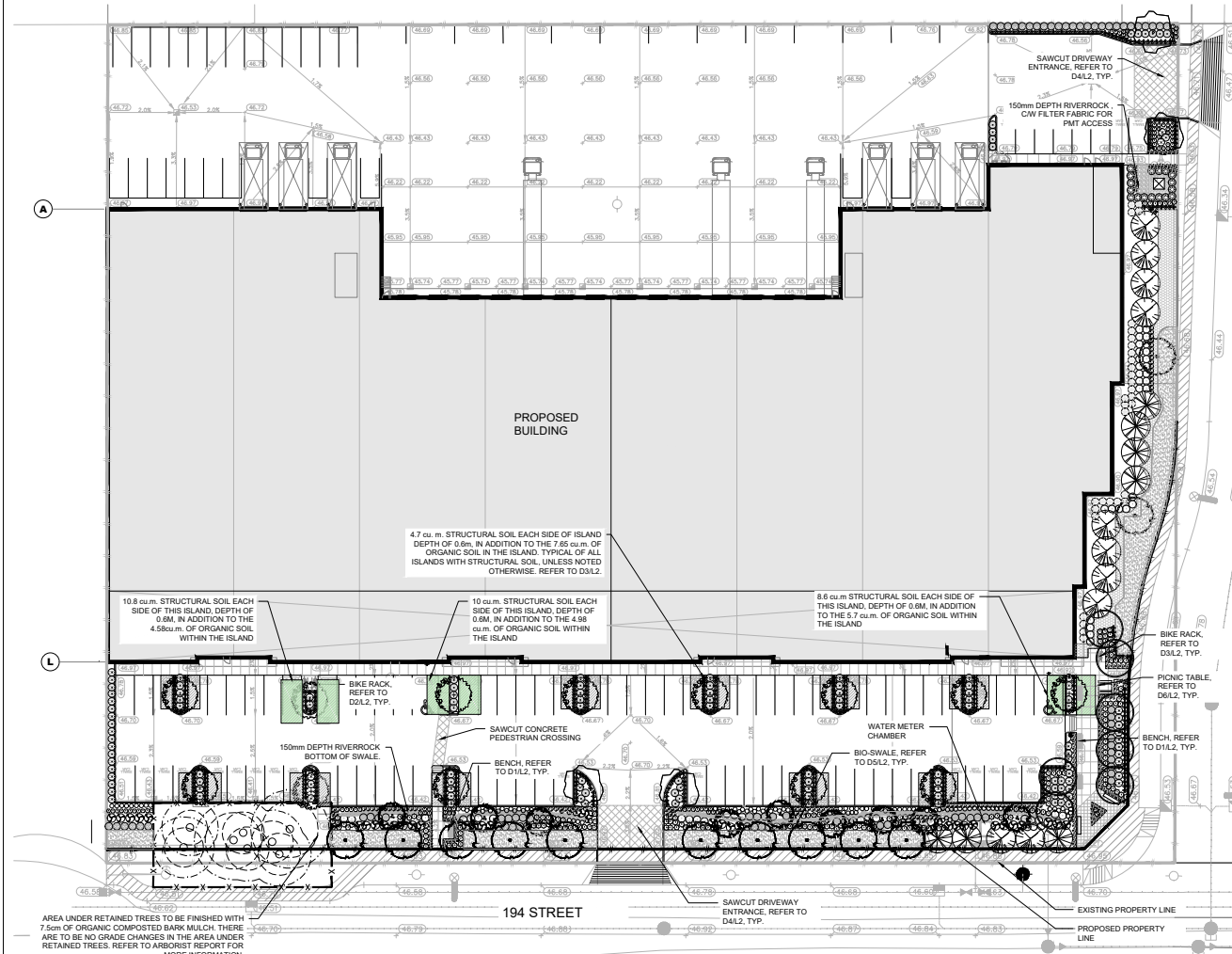
ADDRESS: 3373 194TH STREET, SURREY BC

DRAWING

## SECTIONS

SEAL	JOB NO. 19-085	DRAWN VA & JA
	DESIGNED	
	CHECKED C.B.	
	PLOT DATE JUN.29.21	

PROJECT - DRAWING NUMBER	REV.
<b>A-5</b>	<b>2</b>



- PLANTING NOTES**
1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
  2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
  3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
  4. **TREE PROTECTION**, PER THE MUNICIPAL DETAIL IF REQUIRED.
  5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
  6. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUM IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  7. ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
  8. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, NURSERY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
  9. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE THINNING FOR EACH SPECIES.

- GENERAL NOTES**
1. EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
  2. CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
  3. CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
  4. CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
  5. OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
  6. PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
  7. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
  8. THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

- SODDING NOTES**
1. SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOD, WITH STRONG PERMANENT ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
    - 40% BLEND OF 10 VARIETIES OF KENTUCKY BLUEGRASS
    - 40% GREENING FINE FESCUE
    - 20% PERENNIAL RYEGRASSUSE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE.
  2. AREAS TO BE SODDED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
  3. PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
  4. DELIVER SOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 48 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOD FROM DRYING, AND WATER SOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOD WILL BE REJECTED.
  5. LAY SOD DURING GROWING SEASON. LAY SOD IN ROWS, PERPENDICULAR TO SLOPE AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
  6. WATER SOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

- IRRIGATION NOTES**
1. IRRIGATION TO BE PROVIDED FOR ALL "SOFT LANDSCAPE AREAS" SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
  2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE STUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
  3. THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
  4. ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
  5. USE POP-UP SPRINKLER HEADS.
  6. DO NOT SPRAY WATER ONTO TREE TRUNKS.

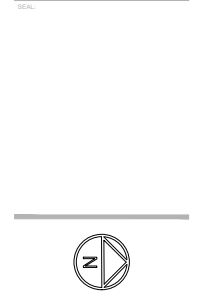
**BIO-SWALE SOIL SPECIFICATION:**

COARSE GRAVEL:	0-1%
ALL GRAVEL:	0-2%
SAND:	70-80%
Larger than 0.05mm:	
Smaller than 2mm:	5-15%
SILT:	
Larger than 0.02mm:	
Smaller than 0.05mm:	10-20%
CLAY:	
Smaller than 0.002mm:	MAX 25%
CLAY AND SILT COMBINED:	15%
ORGANIC CONTENT (by weight):	15%
Organic not to be derived from food waste:	
ACIDITY (pH):	6.0-6.5



- LEGEND**
- TURF GRASS
  - CONCRETE SIDEWALK PAVING
  - SAW-CUT CONCRETE
  - BIKE RACK
  - BENCH
  - TREE PROTECTION FENCING
  - EXISTING TREES TO BE RETAINED

- REVISIONS**
- |     |              |                          |
|-----|--------------|--------------------------|
| NO. | DATE (MM/DD) | DESCRIPTION              |
| 1   | 06/07/2021   | ISSUED FOR CITY COMMENTS |
| 2   | 20/06/2021   | RE-ISSUED FOR DP         |
| 3   | 12/09/2021   | ISSUED FOR DP            |
- NO. DATE (MM/DD) DESCRIPTION
- ISSUES & REVISIONS:



**PROJECT NAME:**  
CAMPBELL 3373

**PROJECT ADDRESS:**  
3373 194TH STREET,  
SURREY, BC

**DRAWING TITLE:**  
LANDSCAPE PLAN,  
AND NOTES

**SCALE:**  
1:300

**DRAWN:**  
RM

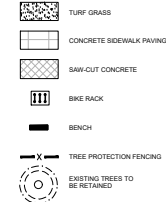
**CHECKED:**  
JT

**PROJECT NO.:**  
2101134

**DRAWING NO.:**  
L1

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT

LEGEND



PLANT LIST - ENTIRE SITE						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	4	<i>Cercidiphyllum japonicum</i>	Katsura Tree	6cm Cal.	As Shown	W.B.
	13	<i>Tilia cordata</i> var. <i>intermedia</i> 'Surburdt'	Surburdt Lonicera	6cm Cal.	As Shown	W.B.
	10	<i>Acer glabrum</i> 'Flame'	Flame Arrow Maple	6cm Cal.	As Shown	W.B. Multi-Stem
	7	<i>Prunus x yedoensis</i> 'Akebono'	Akebono Yoshino Cherry	6cm Cal.	As Shown	W.B.
	13	<i>Fraxinus americana</i> 'Autumn Purple'	White Ash	6cm Cal.	As Shown	W.B.
CONIFEROUS TREES						
	7	<i>Pseudotsuga menziesii</i>	Douglas Fir	3m Ht.	As Shown	W.B.
	10	<i>Thuja plicata</i>	Western Red Cedar	3m Ht.	As Shown	W.B.
SHRUBS						
	188	<i>Lonicera villosa</i>	Bushy Honeysuckle	30cm Ht.	0.75m	#2 Pot
	31	<i>Ranunculus repens</i>	Buttercup	40cm Ht.	1m	#3 Pot
	78	<i>Calluna vulgaris</i> 'Spring Tangle'	Heather	30cm Ht.	0.75m	#2 Pot
	37	<i>Cornus sericea</i>	Red Osier Dogwood	60cm Ht.	0.8m	#3 Pot
	57	<i>Malva sylvestris</i>	Climbing Oregon Grape	50cm Ht.	1m	#3 Pot
	17	<i>Rosa woodsii</i>	Wood's Rose	30cm Ht.	1m	#2 Pot
	34	<i>Myrica pensylvanica</i>	Bayberry	50cm Ht.	1m	#3 Pot
	17	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Cedar	1.5m Ht.	1m	0.8 m
	127	<i>Viburnum davidii</i>	David's Viburnum	30cm Ht.	0.8m	#2 pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	371	<i>Wolffia lagotis</i> var. <i>subulata</i> 'Goldstar'	Black Eyed Susan	1 Gallon		Potted
	108	<i>Panicum virgatum</i> 'Prairie Winds'	Cheyanne Sky Switch Grass	1 Gallon		Potted
	96	<i>Liriope muscari</i>	Big Blue Lilyturf	1 Gallon		Potted
	129	<i>Nassella tenuissima</i>	Mexican Feathergrass	1 Gallon		Potted
	230	<i>Polydichon moultonii</i>	Western Seaside Fern	1 Gallon		Potted

PROPOSED  
BUILDING

1 06/07/2021 ISSUED FOR CITY COMMENTS  
2 20/09/2021 RE-ISSUED FOR DP  
3 12/09/2021 ISSUED FOR DP  
NO. DATE: (YYYY) DESCRIPTION  
(ISSUES & REVISIONS)  
SCALE



PROJECT NAME:

CAMPBELL 3373

PROJECT ADDRESS:

3373 194TH STREET,  
SURREY, BC

DRAWING TITLE:

LANDSCAPE PLAN  
ENLARGEMENT

SCALE:

1:200

DESIGN:

RM

CHECKED:

JT

PROJECT NO:

2101134

DRAWING NO:

L1.1

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



# MLB870-W 870 SERIES

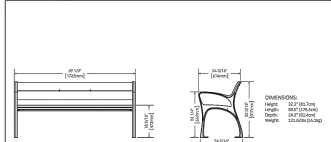


**MATERIALS:** Bench made from solid cast aluminum. The seat employs a vinyl skin.

**FINISH:** All steel components are protected with a Coat not smearing. The High Powdercoat system provides a durable finish and an inert surface.

**INSTALLATION:** The bench is delivered pre-assembled. (Notes 01-09 are provided in each foot for mounting to base).

**TO UNPACK:** Steel MLB870-W  
Chair  
Powdercoat Gray



**COLOR: BLACK POWDER COAT.**

**QUANTITY: 3**

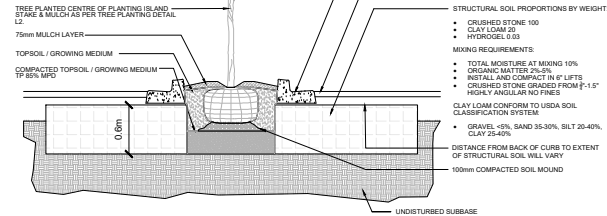
**MAGLIN**  
10000 100th Ave. S. #1000  
Burnsville, MN 55337  
Tel: 612-891-1000  
Fax: 612-891-1001  
www.maglin.com

**MANUFACTURER: ULINE**  
**MODEL NUMBER: H-6572**  
**COLOR: ORION BLUE**

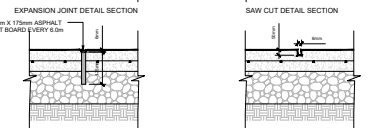
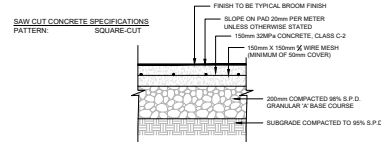
**QUANTITY: 3**



**D2 BIKE RACK** N.T.S.



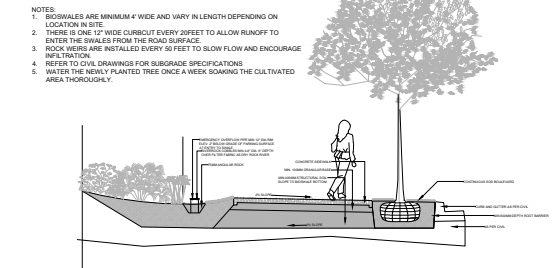
**D3 STRUCTURAL SOIL** N.T.S.



**NOTES:**

1. CONCRETE TO BE 50MPa CLASS C-2 AT 28 DAYS WITH 5-8% AIR ENTRAINED.
2. CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK.
3. EXPANSION JOINTS TO BE LOCATED AT EVERY 6.0m AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS.
4. SAW-CUT JOINTS TO BE LOCATED AT INTERVALS OF 0.6m.
5. CONCRETE TO BE SPRAYED WITH WHITE PIGMENT CURING COMPOUND.
6. ALL DIMENSIONS ARE IN MILLIMETRES.

**D4 SAW-CUT CONCRETE** N.T.S.



**D5 BIO-SWALE** N.T.S.

## MLPT210-S-W 210 SERIES



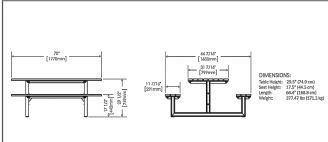
**MATERIALS:** Table frames made from 2\"/>

**FINISH:** All steel components are protected with a Coat not smearing. The High Powdercoat system provides a durable finish and an inert surface.

**INSTALLATION:** The MLPT210 Series Picnic Table surface must be installed as detailed pre-assembled.

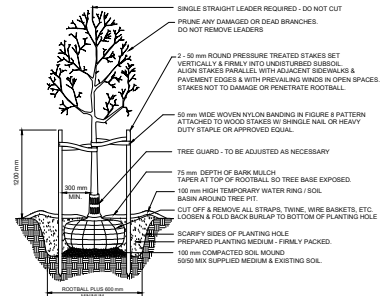
**TO UNPACK:** Steel MLPT210-S-W  
Table  
Powdercoat Gray

**OPTIONS:** (Specify below 005)  
Weather-resistant (WCR)

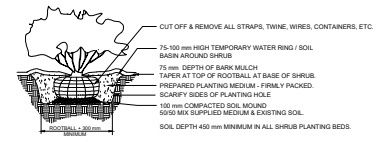


**MAGLIN**  
10000 100th Ave. S. #1000  
Burnsville, MN 55337  
Tel: 612-891-1000  
Fax: 612-891-1001  
www.maglin.com

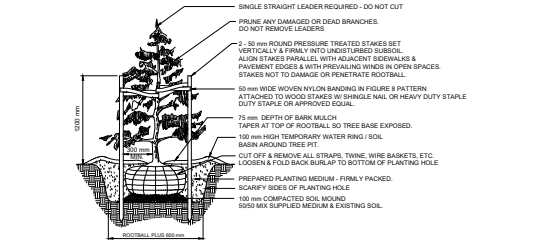
**D6 PICNIC TABLE** N.T.S.



**DECIDUOUS TREE** N.T.S.



**SHRUB AND PERENNIAL PLANTING DETAIL** N.T.S.



**CONIFEROUS TREE** N.T.S.





## INTER-OFFICE MEMO

---

TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **June 30<sup>th</sup>, 2021 (Revision 1)** PROJECT FILE: **7821-0059-00**  
**May 19, 2021 (Superseded)**

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 3373 194 Street**

**REZONE*****Property and Right-of-Way Requirements***

- Dedicate approximately 1.942 m along 194 Street;
- Dedicate varying width along 34A Avenue;
- Dedicate required corner cuts;
- Register 0.5 m statutory right-of-way (SROW) along 194 Street and 34A Avenue; and
- Secure off-site SROW for 34A Avenue and 194 Street intersection alignment. Additional dedication may be required if SROW is not secured.

***Works and Services***

- Construct the west side of 194 Street;
- Construct the south side of 34A Avenue;
- Construct a storm, sanitary and water main along 194 Street;
- Provide a storm, sanitary and water service connection to each lot. Abandon all existing service connections no longer required; and
- Register restrictive covenant (RC) for the installation and maintenance of on-site mitigation features and water quality/sediment control system as required through detailed design.

A Servicing Agreement is required prior to Rezone. A processing fee of \$7,785.75 is required.

**DEVELOPMENT PERMIT/ DEVELOPMENT VARIANCE PERMIT**

There are no engineering requirements relative to issuance of the Development Permit or Development Variance Permit beyond those referenced above.

Jeff Pang, P.Eng.  
Development Engineer  
SC

NOTE: Detailed Land Development Engineering Review available on file

## Tree Preservation Summary

**Surrey Project No:**

**Address:** 3373 194 Street, Surrey BC

**Registered Arborist: Reed Moss #PN-8960A**

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	183
<b>Protected Trees to be Removed</b>	175
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	8
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u>0</u> _____ X one (1) = 0  - All other Trees Requiring 2 to 1 Replacement Ratio <u>175</u> _____ X two (2) = 350	<b>350</b>
<b>Replacement Trees Proposed</b>	62
<b>Replacement Trees in Deficit</b>	<b>288</b>
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	0

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b> (17 off-site trees on adjacent southern property not included as they are proposed for removal under DP application file #19-0128 which has received 3 <sup>rd</sup> reading)	22
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u>0</u> _____ X one (1) = 0  - All other Trees Requiring 2 to 1 Replacement Ratio <u>22</u> _____ X two (2) = 44	<b>44</b>
<b>Replacement Trees Proposed</b>	0
<b>Replacement Trees in Deficit</b>	22

Summary, report and plan prepared and submitted by:



July 6, 2021

(Signature of Arborist)

Date

- LEGEND**
- EXISTING TREE TO BE REMOVED
  - EXISTING TREE TO BE RETAINED
  - TREE PROTECTION FENCING
  - TREE TAG
  - CRITICAL ROOT ZONE
  - TREE PROTECTION ZONE 1.5m OFFSET FROM CRITICAL ROOT ZONE CANOPY

1	06/07/21	ISSUED FOR PERMIT
2	26/06/21	ISSUED FOR PERMIT
3	11/03/21	ISSUED FOR PERMIT
4	11/03/21	ISSUED FOR REVIEW
NO.	DATE (YYYY)	DESCRIPTION

ISSUES & REVISIONS:

SEAL:  
Assessment Done Feb. 09, 2021  
By Reed Moss I.S.A. #PN-8960A and  
Jessica Thiessen BCALA



PROJECT NAME:  
**CAMPBELL 3373**

PROJECT ADDRESS:  
**3373 194 STREET,  
SURREY, BC**

DRAWING TITLE:  
**OVERALL TREE  
MANAGEMENT PLAN**

SCALE: 1:250  
DRAWN: RM  
CHECKED: JT  
PROJECT NO: 2101134

DRAWING NO: **T1**

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT

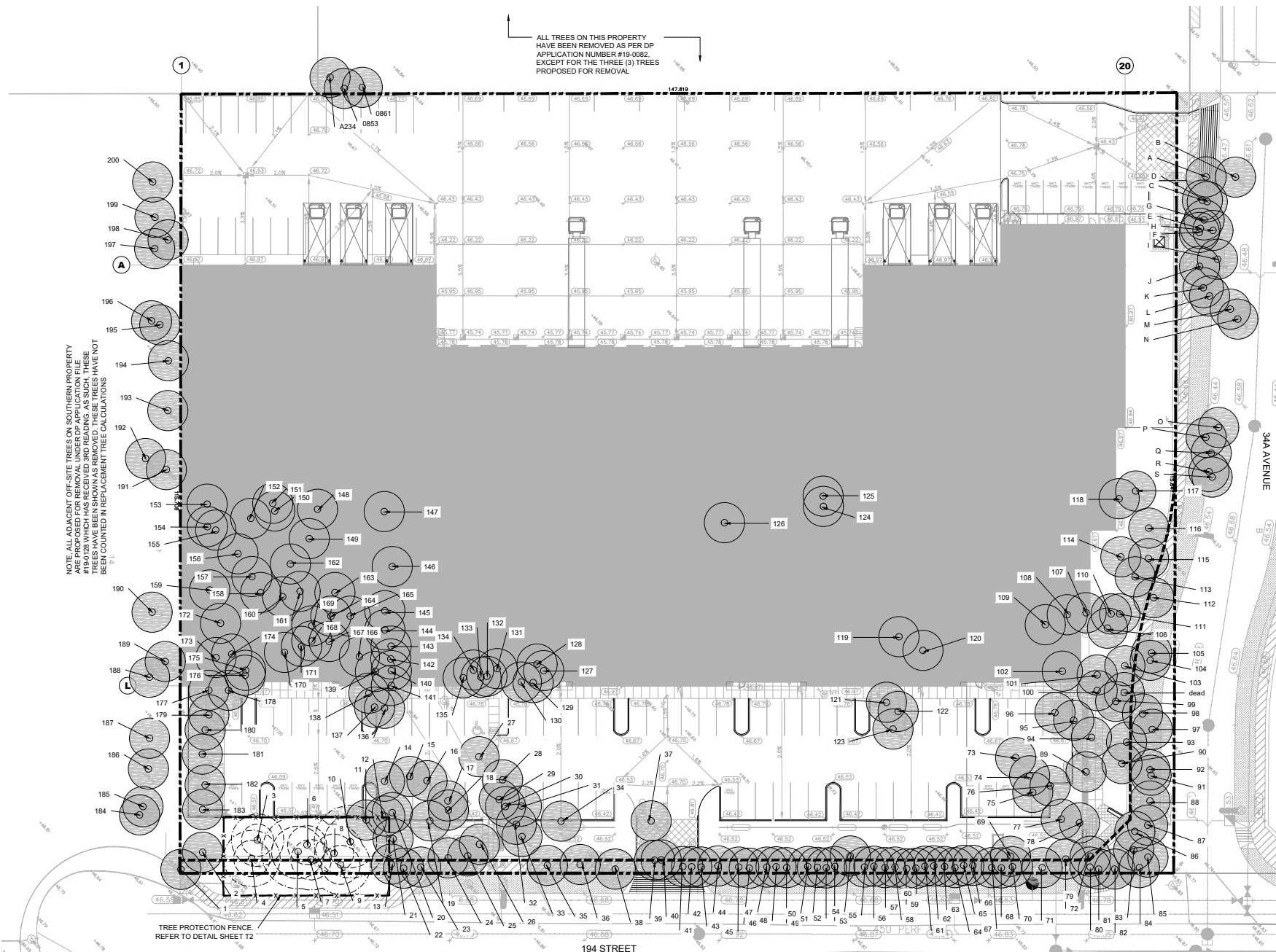
ALL TREES ON THIS PROPERTY  
HAVE BEEN REMOVED AS PER DP  
APPLICATION NUMBER #19-0002  
EXCEPT FOR THE THREE (3) TREES  
PROPOSED FOR REMOVAL

NOTE: ALL ADJACENT OFF-SITE TREES ON SOUTHERN PROPERTY  
ARE PROPOSED FOR REMOVAL UNDER DP APPLICATION FILE  
#19-0002. THESE TREES HAVE BEEN SHOWN AS REMOVED. THESE TREES HAVE NOT  
BEEN COUNTED IN REPLACEMENT TREE CALCULATIONS

TREE PROTECTION FENCE  
REFER TO DETAIL SHEET T2

194 STREET

304 AVENUE



NOTE: ALL ADJACENT OFF-SITE TREES ON SOUTHERN PROPERTY ARE PROPOSED FOR REMOVAL UNDER DP APPLICATION FILE #190128 WHICH HAS RECEIVED 3RD READING AS SUCH, THESE TREES WILL BE REMOVED AND REPLACED. TREES THAT HAVE NOT BEEN COUNTED IN REPLACEMENT TREE CALCULATIONS

ALL TREES ON THIS PROPERTY HAVE BEEN REMOVED AS PER DP APPLICATION NUMBER #19-0082, EXCEPT FOR THE THREE (3) TREES PROPOSED FOR REMOVAL

4	06/07/21	ISSUED FOR PERMIT
3	26/06/21	ISSUED FOR PERMIT
2	11/03/21	ISSUED FOR PERMIT
1	11/03/21	ISSUED FOR REVIEW
NO.	DATE (YYYY)	DESCRIPTION
ISSUES & REVISIONS:		

SEAL:  
Assessment Done Feb. 09, 2021  
By Reed Moss I.S.A. #PN-8960A and  
Jessica Thiessen BCSLA



PROJECT NAME:

CAMPBELL 3373

PROJECT ADDRESS:

3373 194 STREET,  
SURREY, BC

DRAWING TITLE:

DETAILS, AND NOTES

SCALE:

DRAWN: RM

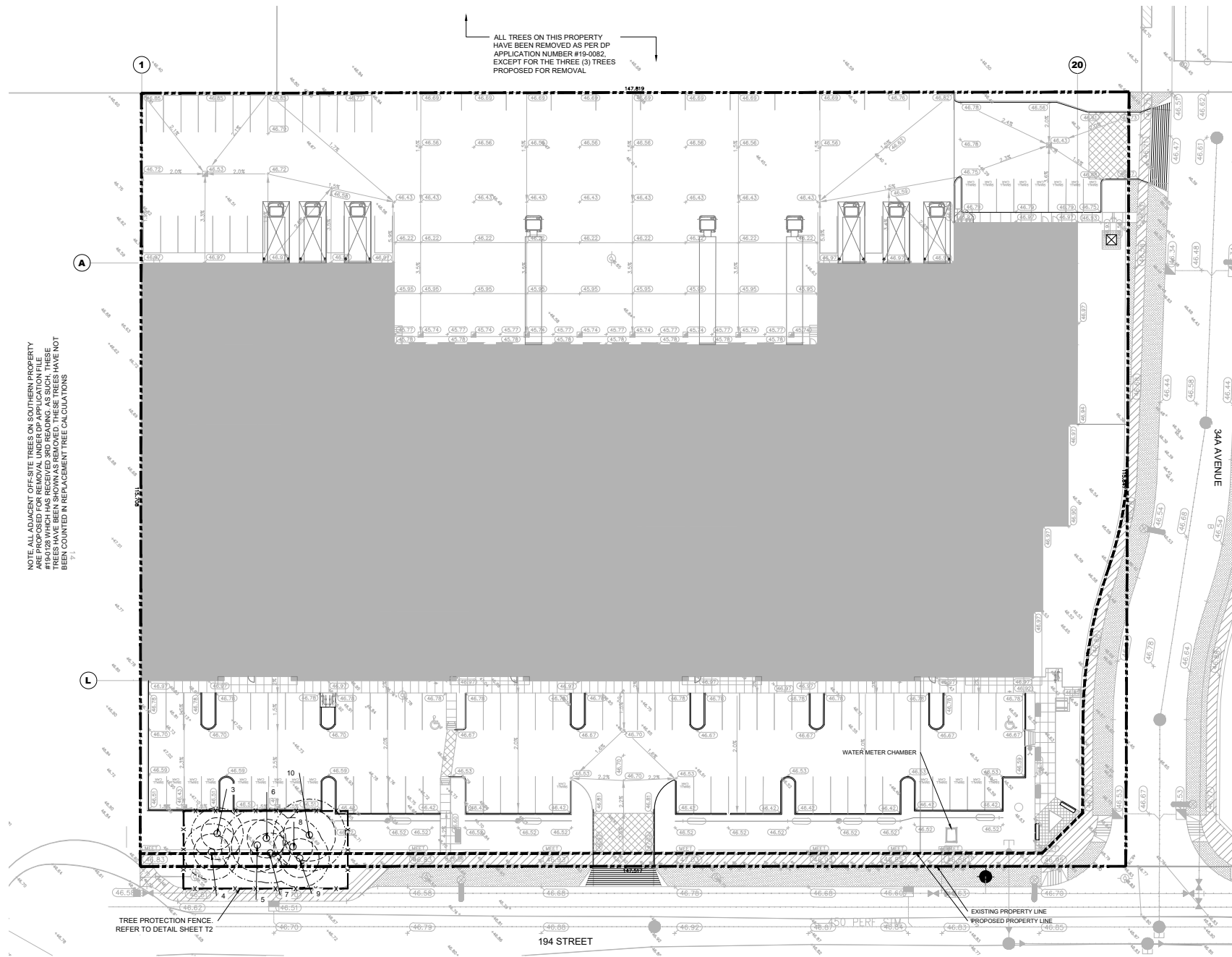
CHECKED: JT

PROJECT NO: 2101134

DRAWING NO:

**T1.1**

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0059-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-643-354  
Lot "C" Section 27 Township 7 New Westminster District Plan 12016  
3373 -- 194 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Subsection F. Yards and Setbacks of Part 47A Business Park 1 Zone, the minimum rear setback is reduced from 7.5 metres to 0.0 metres.
4. This development variance permit applies to only the portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20   .  
ISSUED THIS      DAY OF      , 20   .

---

Mayor – Doug McCallum

---

City Clerk – Jennifer Ficocelli

