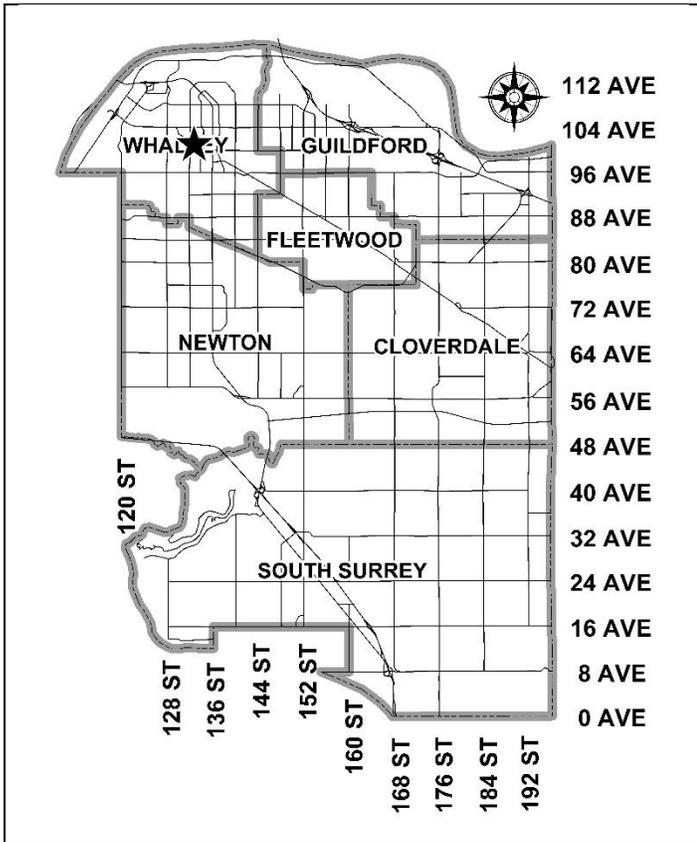


City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7921-0090-01

Planning Report Date: February 12, 2024



PROPOSAL:

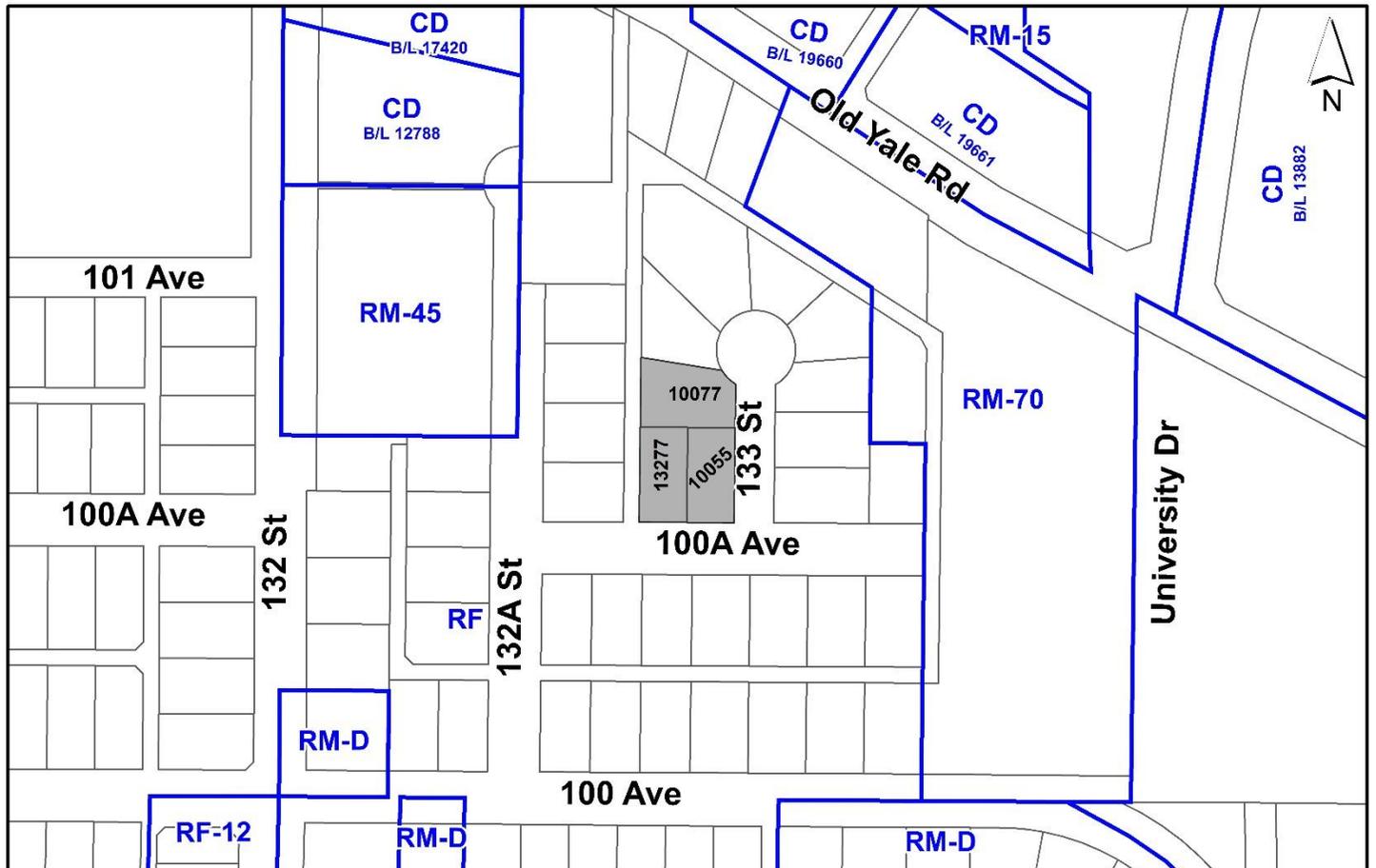
- **Development Variance Permit**
to vary the off-street parking requirements for a proposed 6-storey apartment building.

LOCATION: 10077 133 Street
13277 100A Avenue
10055 133 Street

ZONING: RF

OCP DESIGNATION: Multiple Residential

CCP DESIGNATION: Low to Mid Rise Residential



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to reduce off-street parking requirements for multiple unit residential dwellings in City Centre to reduce the required parking for a proposed 6-storey apartment building on the site.

RATIONALE OF RECOMMENDATION

- In accordance with changes to the Local Government Act, Section 525, under Bill 47 (2023) a local government must not require an applicant within a transit-oriented area to provide off-street parking spaces for the residential use of the land, other than accessible spaces. The legislation gives local governments until June 30, 2024 to update their zoning bylaws to remove the minimum residential parking requirements.
- On December 12, 2022, Council granted Third Reading to rezoning Bylaw No. 20791 to permit the development of a 6-storey apartment building on the subject site. The parking proposed as part of the subject application was 0.9 parking spaces per dwelling unit and 0.1 parking spaces per dwelling unit for visitors, in compliance with the off-street parking requirements of the Zoning Bylaw for multiple unit residential dwellings in City Centre.
- The applicant is proposing to reduce their off-street parking, in accordance with Bill 47.
- The proposed reductions will result in a total parking requirement for the subject 6-storey apartment building of 37 resident parking spaces and 5 visitor parking spaces. The applicant has undertaken a market analysis and contends that the proposed parking supply will be adequate to serve future residents and visitors of the proposed 6-storey apartment building on the site.
- A Development Variance Permit is required to permit the parking reduction prior to the forthcoming amendments to the Zoning Bylaw.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7921-0090-01 (Appendix I) to reduce the minimum number of off-street parking spaces for multiple unit residential dwellings in City Centre from 0.9 parking spaces per dwelling unit to 0.37 parking spaces per dwelling unit, and from 0.1 visitor parking spaces per dwelling unit to 0.05 visitor parking spaces per dwelling unit on the subject site to proceed to Public Notification.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	City Centre Plan Designation	Existing Zone
Subject Site	Single family lots	Low to Mid Rise Residential	RF
North:	Existing single family lots under Application No. 7919-0096-00 for a 6-storey apartment (Third Reading).	Low to Mid Rise Residential	RF
East (Across 133 Street):	Existing single family lots including lots under Application No. 7923-0185-00 for a 6-storey apartment (pre-Council).	Low to Mid Rise Residential	RF
South (Across 100A Avenue):	Existing single family lots.	Low to Mid Rise Residential	RF
West (Across lane):	Existing single family lots.	Low to Mid Rise Residential	RF

Context & Background

- The subject site is a 2,202-square metre site, consisting of 3 properties, located to the west of 133 Street, east of 132A Steet and north of 100A Avenue in the West Village District of Surrey City Centre.
- The subject site is designated Multiple Residential in the Official Community Plan (OCP), “Low to Mid Rise Residential” in the City Centre Plan and is zoned “Single Family Residential Zone (RF)”.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Development Variance Permit No. 7921-0090-01
- Appendix II. November 14, 2022 Planning Report No. 7921-0090-00
- Appendix III. January 15, 2024 Planning Report No. 7921-0090-00

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

LM/ar

APPENDIX I
CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0090-01

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-070-648

Lot 21 Section 27 Block 5 North Range 2 West New Westminster District Plan 20923

10077 133 Street

Parcel Identifier: 004-040-767

Lot 22 Section 27 Block 5 North Range 2 West New Westminster District Plan 20923

13277 100A Avenue

Parcel Identifier: 009-525-246

Lot 23 Section 27 Block 5 North Range 2 West New Westminster District Plan 20923

10055 133 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Table D.1 of Part 5 “Off-Street Parking and Loading/Unloading”, to reduce the minimum number of off-street parking spaces for multiple unit residential dwellings in City Centre from 0.9 parking spaces per dwelling unit to 0.37 parking spaces per dwelling unit, and from 0.1 visitor parking spaces per dwelling unit to 0.05 visitor parking spaces per dwelling unit.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

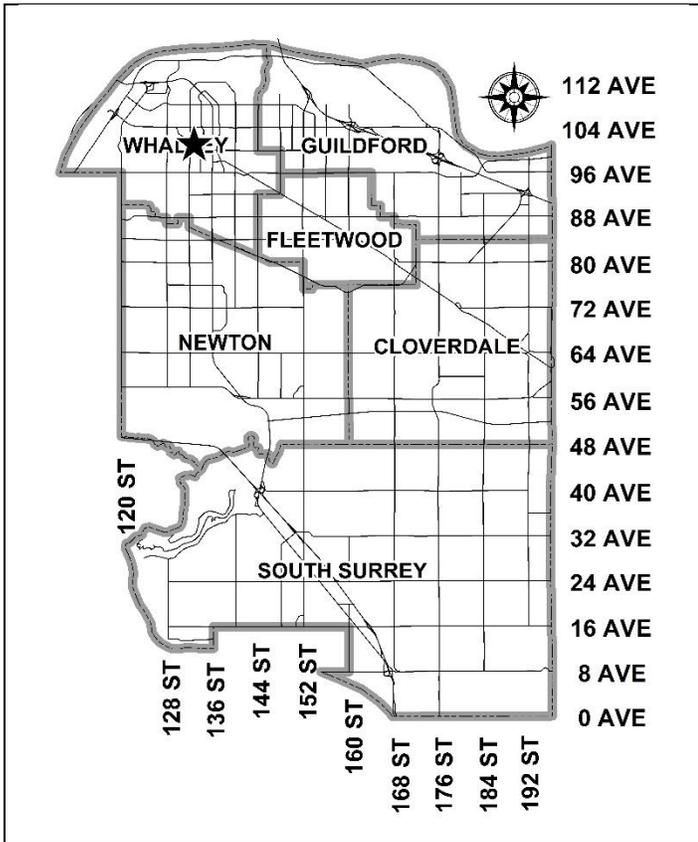
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

APPENDIX II

City of Surrey
PLANNING & DEVELOPMENT REPORT
 Application No.: 7921-0090-00
 Planning Report Date: November 14, 2022



PROPOSAL:

- Rezoning from RF to CD
- Development Permit

to permit the development of a 6-storey residential apartment building.

LOCATION:

10077 - 133 Street
 13277 - 100A Avenue
 10055 - 133 Street
 Portions of road

ZONING:

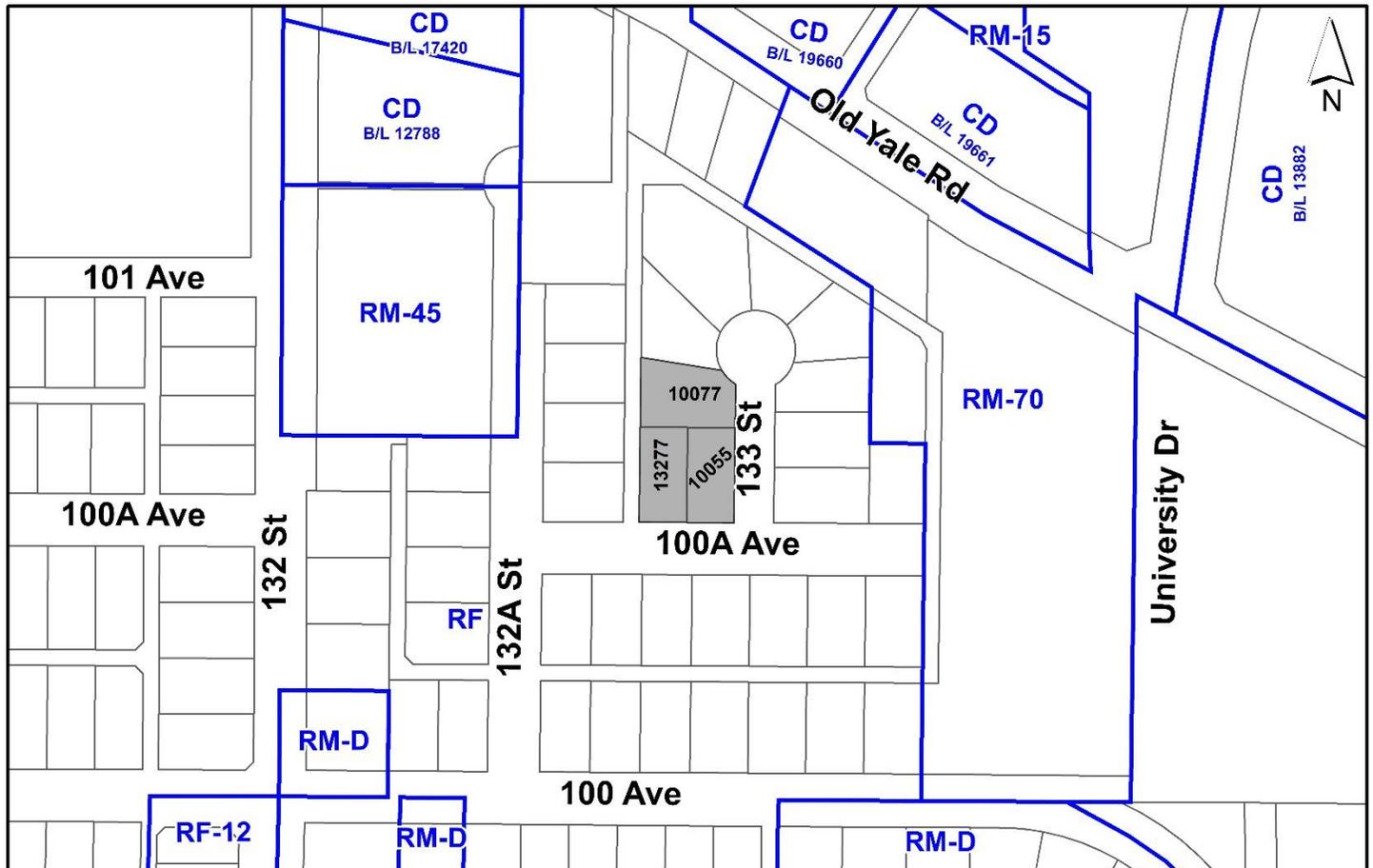
RF

OCP DESIGNATION:

Multiple Residential

CITY CENTRE PLAN DESIGNATION:

Low to Mid Rise Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the "Multiple Residential" designation in the Official Community Plan (OCP).
- The proposal complies with the "Low to Mid Rise Residential" designation in the City Centre Plan.
- The proposed density and 6-storey building form are appropriate for this part of Surrey City Centre and serves as an appropriate transition between the higher density core to the north and the existing single family to the south.
- The proposed buildings have an attractive design with unique form and massing, high-quality architectural design features, with a high-quality durable material palette appropriate for the City Centre.
- The site is within walking distance (850 metres) from the Surrey Central SkyTrain station. The proposed development conforms to the goal of achieving high-rise, high density development around the SkyTrain Stations.
- The proposed setbacks and built form achieve a more urban, pedestrian streetscape in compliance with the Surrey City Centre Plan and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site and portions of road allowance identified as Blocks A and B on the Survey Plan (Appendix I), from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7921-0090-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) completion of the road closure and acquisition of the existing north/south lane (Block A) and a portion of the 133 Street cul-de-sac (Block B);
 - (i) registration of a right-of-way for public rights-of-passage for the public plaza area; and
 - (j) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	City Centre Plan Designation	Existing Zone
Subject Site	Single family lots	Low to Mid Rise Residential	RF
North:	Existing single family lots under Application No. 7919-0096-00 for a 6-storey apartment (Third Reading).	Low to Mid Rise Residential	RF
East (Across 133 Street):	Existing single family lots.	Low to Mid Rise Residential	RF
South (Across 100A Avenue):	Existing single family lots.	Low to Mid Rise Residential	RF
West (Across lane):	Existing single family lots.	Low to Mid Rise Residential	RF

Context & Background

- The subject site is a 2,202 square metre site, consisting of 3 properties, located to the west of 133 Street, east of 132A Street and north of 100A Avenue in the West Village District of Surrey City Centre.
- The subject site is designated Multiple Residential in the Official Community Plan (OCP), “Low to Mid Rise Residential” in the City Centre Plan and is zoned “Single Family Residential Zone (RF)”.
- The existing single family dwellings currently have access from 100A Avenue and 133 Street.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of a 6-storey apartment building with 100 units, the applicant is proposing the following:
 - Rezoning the site from RF to CD (based on RM-70);
 - Consolidation of the existing 3 lots and portions of the existing lane and 133 Street cul-de-sac into 1 residential lot; and
 - Detailed Development Permit for Form and Character.

- The following table provides specific details on the proposal:

	Proposed
Lot Area	
Gross Site Area:	2,365 square metres
Road Dedication:	134 square metres
Net Site Area:	2,233 square metres
Number of Lots:	1
Building Height:	6 storeys / 22 metres
Floor Area Ratio (FAR):	2.50 (gross) and 2.65 (net)
Floor Area	
Residential:	5,914 square metres
Commercial:	
Total:	5,914 square metres
Residential Units:	
Studio:	18
1-Bedroom:	30
1-Bedroom + Den:	36
2-Bedroom:	16
Total:	100

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 40 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

18 Elementary students at Old Yale Elementary School
14 Secondary students at Kwantlen Park Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2025.

Parks, Recreation & Culture:	No concerns.
Surrey Fire Department:	The Fire Department has no concerns with the proposed development application. However, there are some items which will be required to be addressed as part of the Building Permit application.
Advisory Design Panel:	The proposal was considered at the ADP meeting on September 1, 2022, and was supported. The applicant has resolved all of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.
BC Hydro:	No concerns.

Transportation Considerations

Road Network & Infrastructure

- The applicant will be providing the following improvements:
 - Dedication and construction of the west side of 133 Street along the site frontage to the City Centre local road standard with sidewalk, boulevard with trees and lighting, curb, and pavement widening to accommodate two-way traffic and on-street parking; and
 - Dedication and construction of the north side of 100A Avenue along the site frontage to the City Centre local road standard with sidewalk, boulevard with trees and lighting, curb, and pavement widening to accommodate two-way traffic and on-street parking.
- As part of the subject application, the applicant proposes to close and acquire portions of the existing lane on the west side of the subject site and a portion of the 133 Street cul-de-sac (see Survey Block Plan in Appendix I), in order to incorporate these portions of road with the subject site. The gross area of the subject site increases from approximately 2,202 square metres to 2,366 square metres in size, after the closure and acquisition of these portions of road. The proposed closures of these portions of road will allow for a more efficient site plan and underground parking layout as part of the proposal. Staff can support the proposed closures as these portions of road are surplus to the City's needs and this is in keeping with the road network as identified in the City Centre Plan.

Traffic Impacts

- The proposed development is anticipated to generate approximately 56 vehicle trips in the peak hour (approximately one vehicle per minute), according to industry standard rates. A site-specific traffic impact assessment was not required as the proposal is consistent with City Centre Plan and is below the City's threshold for triggering a traffic impact assessment.

Access

- Access to the subject site is proposed via 100A Avenue.

Parking

- The applicant is proposing to provide 100 spaces on-site, which meets the minimum Zoning Bylaw requirements.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is compliant with the Urban Centres (Surrey Metro Centre) Land Use Designation of Metro Vancouver's Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management
 - Accommodating Higher Density: Direct residential development into approved Secondary Plan areas at densities sufficient to encourage commercial development and transit services expansion.
 - Efficient New Neighbourhoods: Plan and develop new neighbourhoods with an emphasis on compact forms of development.
 - Centres, Corridors and Neighbourhoods:
 - Healthy Neighbourhood: Plan and design urban neighbourhoods with sufficient densities to support a higher-quality transit system that is accessible to most residents.
 - Urban Design: Ensure a new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.
 - Ecosystems
 - Energy, Emissions and Climate Resiliency: Design a community that is energy-efficient, reduces carbon emissions and adapts to a changing environment through a design that meets typical sustainable development criteria.

Secondary Plans

Land Use Designation

- The proposal complies with the Low to Mid Rise Residential designation in the City Centre Plan.

Themes/Objectives

- The proposed development is consistent with the following guiding principles in the City Centre Plan:
 - Encourage Housing Diversity: by providing a variety of housing forms and a range of unit sizes and types.
 - Create Vibrant Urban Spaces: with high quality architectural aesthetics and amenities such as plazas to encourage people to interact with the public realm.

CD By-law

- The applicant proposes to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate the proposed 6-storey residential building on the subject site. The proposed CD Bylaw for the proposed development site identifies the uses, densities and setbacks proposed. The CD Bylaw will have provisions based on the "Multiple Residential 70 Zone (RM-70)".

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Unit Density:	N/A	N/A
Floor Area Ratio:	1.50	2.65
Lot Coverage:	33%	53%
Yards and Setbacks	7.5 metres	East: 4.5 metres West: 3.0 metres South: 4.5 metres North: 3.0 metres
Principal Building Height:	50 metres	22 metres
Permitted Uses:	Multiple unit residential buildings, ground-oriented multiple unit residential buildings and child care centres	Multiple unit residential buildings and ground-oriented multiple unit residential buildings
Amenity Space:		
Indoor Amenity:	300 square metres	The proposed 155 square metres [+ \$120,000 CIL] meets the Zoning Bylaw requirement.
Outdoor Amenity:	300 square metres	The proposed 346 square metres exceeds the Zoning Bylaw requirement.
Parking (Part 5)		Required
Number of Stalls		Proposed (Block II)
Residential:	90	90
Residential Visitor:	10	10
Total:	100	100
Accessible:	2	3
Bicycle Spaces		
Residential Secure Parking:	120	121
Residential Visitor:	6	6

- The proposed CD Bylaw is based upon the "Multiple Residential 70 Zone (RM-70)" with modifications to the permitted land-uses, density, lot coverage, minimum building setbacks and off-street parking requirements.
- The permitted land use is intended to accommodate the proposed 6-storey apartment building.
- If calculated based on gross site area, the floor area ratio (FAR) is 2.50 which complies with the maximum permitted 2.50 FAR for "Multiple Residential" designated properties in the OCP, in select areas, and the Low to Mid Rise Residential designation in the City Centre Plan. If calculated on the net site area, the FAR is 2.65. As a result, the FAR for the net site area has been increased from 1.50 under the RM-70 Zone to a maximum of 2.65 (net) in the CD Bylaw.
- The maximum lot coverage has been increased from 33% in the RM-70 Zone to a maximum of 53% in the CD Bylaw to accommodate the proposed built form.

- The proposal to reduce the minimum building setback requirement along the street frontages for the proposed apartment building is supported given it will allow for a more urban, pedestrian-oriented streetscape.
- The RM-70 Zone requires that no parking facilities be constructed within 2.0 metres of the front lot line or a lot line along a flanking street. The proposed underground parkade will be located 0.0 metre from all street frontages. As a result, the CD Bylaw will include provisions that will allow for the underground parking facility to extend to within 0.0 metre of the lot line along all street frontages.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit Issuance. The current rate is \$2,000 per new unit.
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the densities in the Low to Mid Rise Residential designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on June 15, 2022, and the Development Proposal Signs were installed on June 28, 2022. Staff did not receive any responses from the neighbouring residents.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the City Centre Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the City Centre Plan.
- The applicant has worked with staff to:
 - ensure appropriate lot and lane consolidation to provide sufficient development opportunities for the future lots in this block;
 - design an acceptable response to the sloping site;
 - ensure an appropriate scale, interface and edge treatments, as well as further refine the overall building massing in order to ensure an attractive streetscape and reflect an urban public realm;
 - enhance and develop the southeast corner expression of the building with a publicly accessible open space at grade.
- The proposed building is a 6-storey, wood frame residential building, consisting of two street frontages.
- The proposed building is L-shaped, with the southwest segment of the building reducing to three storeys atop the parkade entrance ramp. Indoor and outdoor amenities are provided on the upper-level 3 rooftop.
- The proposed building façade is articulated by the interplay of frames and the use of brick to create a townhouse expression for the street-facing facades. The ground-floor units are oriented toward the street with front door access and usable semi-private outdoor space.
- The building orientation ensures that units will provide greater observation of the public realm with active rooms facing toward the street and pedestrian walkways to reduce CPTED concerns.
- The unit mix is proposed to consist of 18 studio, 66 one-bedroom and 16 two-bedroom units.

Landscaping

- The ground floor residential interface along the street frontages consist of landscaped front yards separated from the public realm by planter boxes, providing a sense of privacy while still maintaining "eyes on the street".
- See the Outdoor Amenity section below regarding landscaping for the outdoor amenity areas located on the ground level and level 3.

Indoor Amenity

- The Zoning Bylaw requires the applicant to provide a minimum of 3 square metres per unit. The Zoning Bylaw also prescribes the minimum indoor amenity space requirement that must be provided on site with a cash-in-lieu option to address the remaining requirement.
- Based upon the City's Zoning Bylaw requirement, the proposed development must provide 300 square metres of indoor amenity space to serve the residents of the proposed 100-unit apartment building. Of this 300-square metre requirement, a minimum of 74 square metres of indoor amenity space must be provided on site, and the remaining indoor amenity space requirement can be addressed through cash-in-lieu.
- The applicant proposes 155 square metres of indoor amenity space, which exceeds the minimum on site requirements of 74 square metres but is less than the 300 square metre total indoor amenity space requirement for the project.
- The applicant has agreed to provide a monetary contribution of \$120,000 (based on \$2,500 per unit, if completed by December 31, 2022) to address the remaining shortfall in the required indoor amenity space, in accordance with Council Policy No. O-48, as amended. Cash-in-lieu contributions for indoor amenity space are increased on an annual basis and must be paid at the rate in effect at the time of Final Adoption.
- The applicant is proposing a fitness studio on the ground floor and a lounge on the fourth floor, directly adjacent to the outdoor amenity areas.

Outdoor Amenity

- Based upon the City's Zoning Bylaw requirement of 3 square metres per dwelling unit, the proposed development must provide a total of 300 square metres of outdoor amenity space to serve the residents of the proposed 100 units.
- The applicant is proposing 346 square metres of outdoor amenity, exceeding the minimum requirement.
- The applicant is proposing a large outdoor amenity accessed at grade from the indoor amenity space and from the stairwell. The at-grade amenity consists of a variety of seating options, urban farming boxes, and a children's play area.
- The outdoor amenity area on the 4th floor rooftop will consist of casual seating.
- The soft landscaping proposed throughout the amenity areas consist of resilient, low-maintenance plantings which are tolerant of urban conditions.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - refinement to the materials, elevation details, and further design development to the proposed balcony and frames; and
 - further clarification and design refinement of the site edges, including the public plaza, and the west property line.

TREES

- Lucian Serban, ISA Certified Arborist of McElhanney Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	4	4	0
Plum	1	1	0
Coniferous Trees			
Western Red Cedar	1	1	0
Total	6	6	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		14	
Total Retained and Replacement Trees		14	
Contribution to the Green City Program		N/A	

- The Arborist Assessment states that there are a total of 6 mature trees on the site. There are no Alder and Cottonwood trees on the site. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 12 replacement trees on the site. The applicant is proposing 14 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 100A Avenue and 133 Street. This will be determined by the Engineering Department during the servicing design review process.

- In summary, a total of 14 trees are proposed to be retained or replaced on the site with a no contribution of to the Green City Program required.

CITY ENERGY

- The subject site is located within Service Area B, as defined in the "City Centre District Energy System Bylaw" (see Appendix VI for location). The District Energy System consists of three primary components:
 - community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
 - distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system and is used to meter the amount of energy used.
- All new developments within Service Area B with a build-out floor area ratio (FAR) between 1.0 and 2.5 will be required to incorporate hydronic thermal energy systems to allow for future connection to the City's District Energy (DE) system but will not be required to utilize hydronic systems for space heating within individual residential units. Hydronic systems will be required for all other space heating and hot water heating in the building.
- It should be noted that heat generation equipment (e.g., boilers) will need to be provided by the developer until such time as the development can be connected to the DE system.
- It should also be noted that the project is required to be compatible for a future connection to the City's DE System.
- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System Bylaw".

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey and Tree Preservation
- Appendix V. ADP Comments and Response
- Appendix VI. District Energy Map

approved by Ron Gill

Jeff Arason
Acting General Manager
Planning and Development

LM/cm

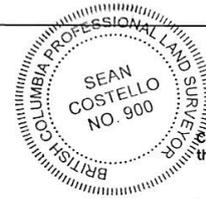
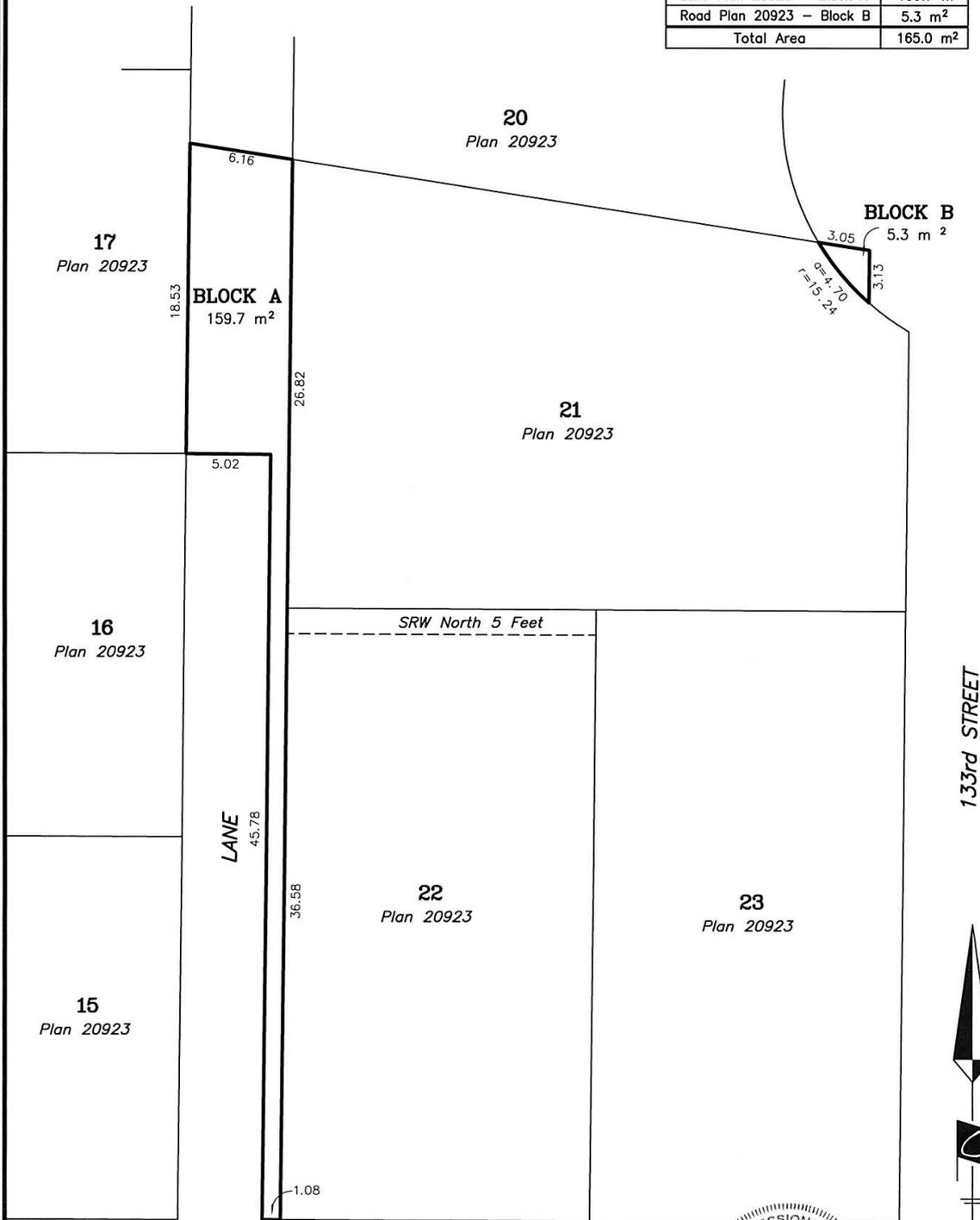
**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING
 BYLAW NO. _____ OF SECTIONS OF ROAD DEDICATED ON PLAN 20923
 SECTION 27 BLOCK 5 NORTH RANGE 2 EAST NEW WESTMINSTER DISTRICT**

City of Surrey B.C.G.S. 92G.007



SCALE - 1 : 250
 All distances are in metres

BOOK OF REFERENCE	
DESCRIPTION	AREA
Lane Plan 20923 - Block A	159.7 m ²
Road Plan 20923 - Block B	5.3 m ²
Total Area	165.0 m²



Cameron Land Surveying Ltd.
 B.C. Land Surveyors
 Unit 234 - 18525-53rd Avenue
 Surrey, B.C. V3S 7A4
 Phone: 604-597-3777
 File: 7317-ZONING

Certified correct to survey dated
 this 26th day of October, 2022.

Sean Costello, B.C.L.S.



VIEW LOOKING FROM SOUTH-WEST

VIEW LOOKING FROM SOUTH-WEST



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www.integra-arch.com
Telephone: 604 688 4220

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[PROJECT TEAM]



[ARCHITECT SEAL]



Zenterra Developments

[PROJECT]

**100A AVE & 133 ST
SURREY, BC**

[TITLE]
**Context - Aerial
Perspective**

[PROJECT]
20522

[SCALE]

[DATE]
Tuesday, November 1, 2022

[ISSUE]
ISSUE 5.0: ADP Response

[DRAWING]



1 EASTERN EDGE OF SITE



2 SOUTHERN EDGE OF SITE



4 WESTERN EDGE OF SITE ACCESS LANE



5 ADJACENT LANEWAY



6 ADJACENT CONTEXT 100 AVE



3 ADJACENT CONTEXT 133 ST



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[PROJECT TEAM]



[ARCHITECT SEAL]



Zenterra Developments

[PROJECT]

100A AVE & 133 ST
SURREY, BC

[TITLE]

Context - Street
View Photos

20522 [PROJECT]

[SCALE]

Tuesday, November 1, 2022 [DATE]

[ISSUE]

ISSUE 5.0: ADP Response

[DRAWING]

A-0.202

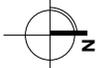


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(PROJECT TEAM)



(ARCHITECT SEAL)



Zenterra Developments

(PROJECT)

100A AVE & 133 ST
 SURREY, BC

(TITLE)

**Site Plan -
 Ultimate Road
 condition**

20522 (PROJECT)

1:250 (SCALE)

Tuesday, November 1, 2022 (DATE)

(ISSUE)

ISSUE 5.0: ADP Response

(DRAWING)

1.203

Material and Colour Legend

Colour	Product (to match)	Finish (to match)	Location	
CLADDING				
1.1	Gray	Interstate Brick (D/L or similar)	X	Exterior walls
1.2	Night Gray	Lap Siding w/ 4" Exposure (James Hardie or similar)	X	Exterior walls
1.3	Arctic White	Lap Siding w/ 4" Exposure (James Hardie or similar)	X	Exterior walls
1.4	Arctic White	Fiber Cement Panel (James Hardie or similar)	X	Exterior walls
1.5	Night Gray	Fiber Cement Panel (James Hardie or similar)	X	Exterior walls
1.6	Cedar	Cementitious Board - Cedar Soffit (Akura or similar)	X	Exterior walls
1.7	Gray	Cast in place Fibre Concrete	X	Exterior walls
SOFFIT				
2.1	Cedar	Cementitious Board - Cedar Soffit (Akura or similar)	1.5	Feature Soffit
TRIMS/FLASHINGS				
3.1	Charcoal	Combed Face Wood / Flashing	5.1	Flashings
3.2	Charcoal	Charcoal Powder coated Aluminum Matt	5.1	Flashings

ROOFS/DECKS				
4.1	Charcoal	Charcoal Powder coated Aluminum Matt	1.5	Roofs / Overhangs / Flashings
WINDOWS/GLAZING				
5.1	Black	Vinyl Windows	X	Prefinished vinyl windows
5.2	Black	Flashing	X	Charcoal ratings w/ clear glazing
FEATURE WOOD				
6.1	Cedar	Feature Wood Beam	Cedar Solid Stain	Exposed wood structure to entry
6.2	Charcoal	Painted Wood	5.1	Exterior Columns
MISCELLANEOUS				
7.1	Charcoal	Painted Wood	X	Molding feature Roof / Soffit



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(PROJECT TEAM)



(ARCHITECT SEAL)



Zenterra Developments

(PROJECT)

100A AVE & 133 ST
 SURREY, BC

(TITLE)

Building Elevation - South

20522 (PROJECT)

1:250 (SCALE)

Tuesday, November 1, 2022 (DATE)

(ISSUE)

ISSUE 5.0: ADP Response

(DRAWING)

A-3-400



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[PROJECT TEAM]



[ARCHITECT SEAL]



Zenterra Developments

[PROJECT]

100A AVE & 133 ST
SURREY, BC

Building Context Elevations

20522 [PROJECT]

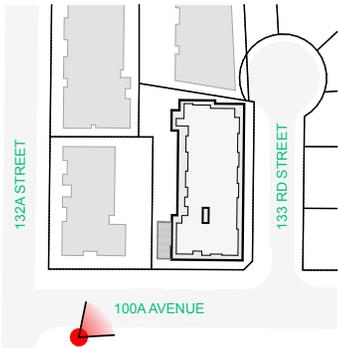
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Tuesday, November 1, 2022 [DATE]

ISSUE 5.0: ADP Response [ISSUE]

[DRAWING]

A-3-500



KEY PLAN



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[PROJECT TEAM]



[ARCHITECT SEAL]



Zenterra Developments

[PROJECT]

**100A AVE & 133 ST
 SURREY, BC**

[TITLE]

**Perspective from
 South West**

20522 [PROJECT]

Not To Scale [SCALE]

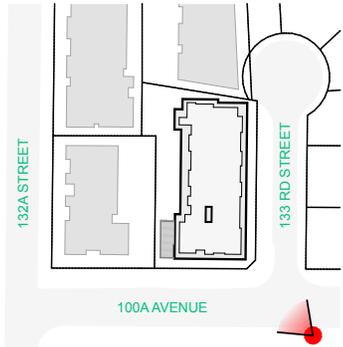
Tuesday, November 1, 2022 [DATE]

[ISSUE]

ISSUE 5.0: ADP Response

[DRAWING]

A-5.200



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[ARCHITECT SEAL]



Zenterra Developments

[PROJECT]

**100A AVE & 133 ST
 SURREY, BC**

[TITLE]

**Perspective from
 South East**

20522 [PROJECT]

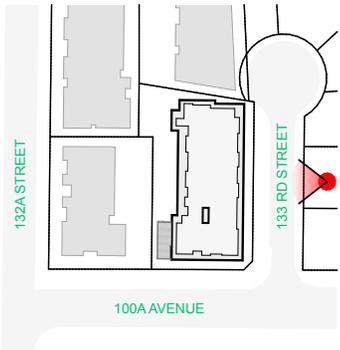
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Tuesday, November 1, 2022 [DATE]

ISSUE 5.0: ADP Response [ISSUE]

[DRAWING]

A-5.400



KEY PLAN



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[PROJECT TEAM]



[ARCHITECT SEAL]



Zenterra Developments

[PROJECT]

100A AVE & 133 ST
 SURREY, BC

[TITLE]

**Perspective from
 East**

20522 [PROJECT]

Not To Scale [SCALE]

Tuesday, November 1, 2022 [DATE]

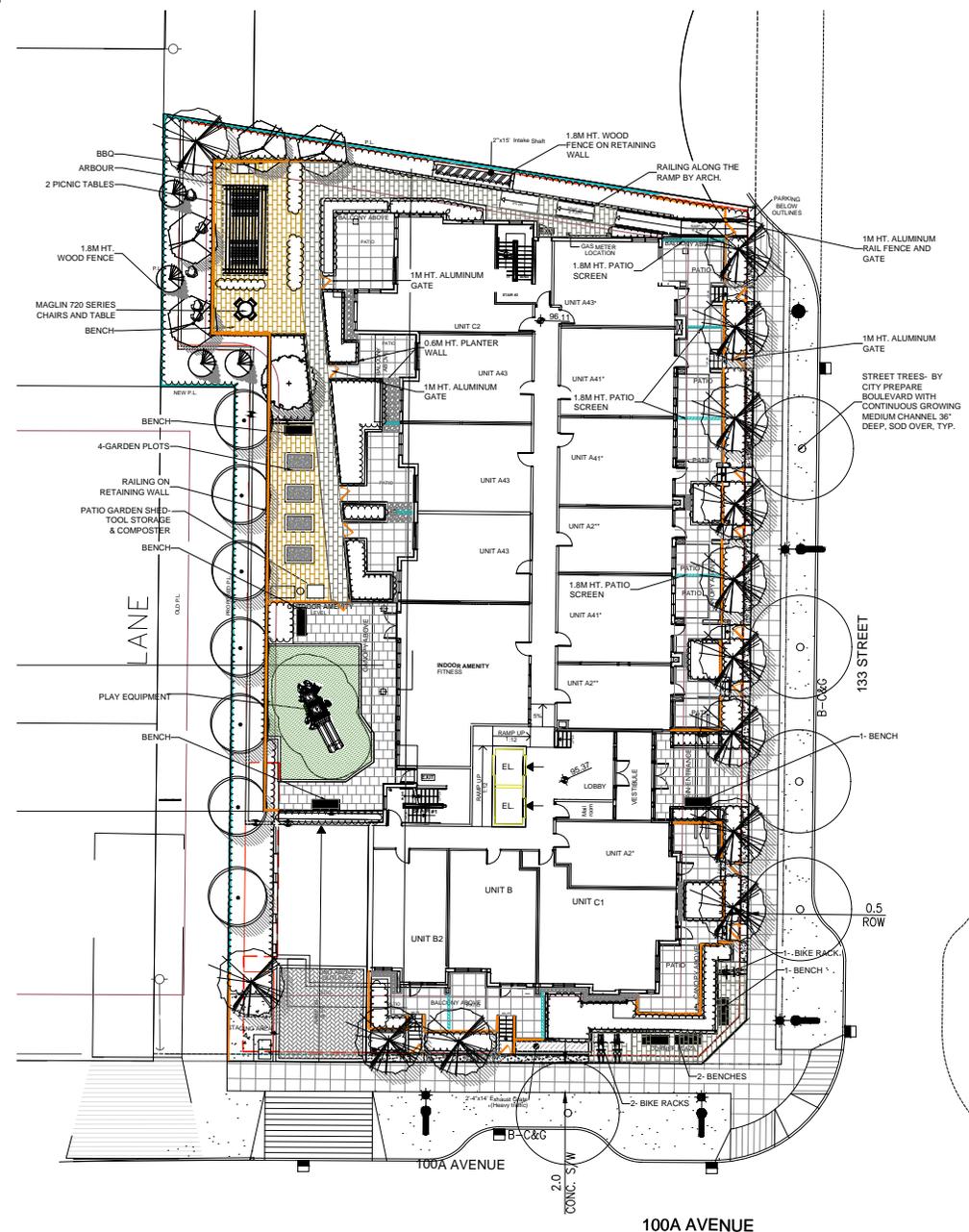
[ISSUE]

ISSUE 5.0: ADP Response

[DRAWING]

A-5.500

SEAL:



PLANT SCHEDULE- TREES				PMG PROJECT NUMBER: 20-147
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
	13	ACER PALMATUM	JAPANESE MAPLE	6CM CAL: 2M HT: B&B
	4	CORNUS KOUSA 'SATOMI'	PINK KOUSA DOGWOOD	6CM CAL: 1.8M STD: B&B
	7	FAGUS SYLVATICA 'DAWYCK GOLD'	DAWYCK GOLD BEECH	6CM CAL: B&B
	1	MAGNOLIA KOBUS STELLATA 'PINK STAR'	PINK STAR MAGNOLIA (LIGHT PINK)	6CM CAL: 1.8M STD: B&B
	4	PICEA OMORIKA 'BRUN'S'	BRUN'S SERBIAN SPRUCE	3M HT: B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE:
* PROVIDE DESIGNED BUILD HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM TO I.A.B.C. STANDARDS TO ALL SOFT LANDSCAPE AREAS.
SHOP DRAWINGS TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



NO.	DATE	REVISION DESCRIPTION	DR.
8	22.OCT.28	REVISION AS PER CITY COMMENTS	DD
7	22.OCT.13	NEW SITE PLANT CITY COMMENTS	DD
6	22.AUG.30	NEW MAIN DESIGN	WH
5	22.MAY.12	NEW MAIN FLOOR S&B DESIGN	DD
4	22.JAN.30	NEW CIVIL PLANS ARCH. COMMENTS	DD
3	21.OCT.20	NEW SITE PLANNING BUILDING SECTIONS	DD
2	21.OCT.17	COMMENTS	DD
1	21.OCT.06	NEW SITE PLAN	JH

NO. DATE REVISION DESCRIPTION DR.



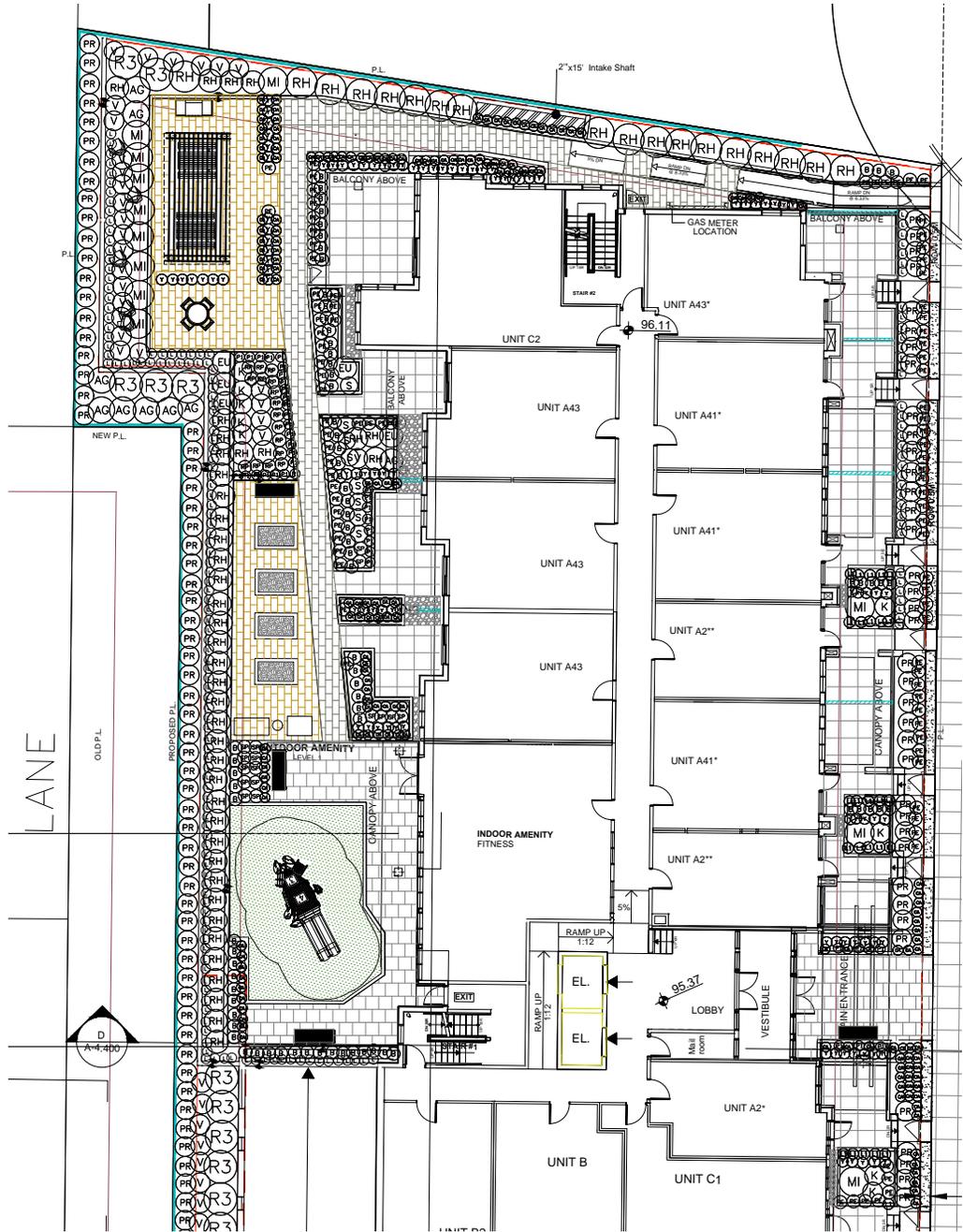
PROJECT:
6-STORY RESIDENTIAL DEVELOPMENT
100A AVENUE AND 133 STREET, SURREY

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 21.FEB.09 DRAWING NUMBER:
SCALE: 1:150
DRAWN: JH
DESIGN: JH
CHKD: PC

L1
OF 10

SEAL:



PLANT SCHEDULE				PMG PROJECT NUMBER: 20-147
KEY	CITY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SPRUB	9	ABELIA GRANDIFLORA	GLOSSY ABELIA	43 POT: 50CM
	81	ABELIA MICROPHYLLA 'WINTER GEM'	LITTLE LEAF BOX	43 POT: 40CM
	5	ELONIA ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	43 POT: 50CM
	13	KALMA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	43 POT: 50CM
	120	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	0.9m H:
	66	RHOODODENDRON 'MS. PURNIVAL'	RHOODODENDRON, ROSE PINK, MAY	43 POT: 50CM
	12	RHOODODENDRON 'NOVA ZEMELA'	RHOODODENDRON, RED	43 POT: 50CM
	16	SPIRAEA JAPONICA 'GOLDMOUND'	DWARF GOLDMOUND SPIREA	42 POT: 50CM
	119	TAXUS X MEDIA 'HICKSF'	HICK'S YEW	1.0M
	41	VIBURNUM DAVIDII	DAVID'S VIBURNUM	43 POT: 50CM
	214	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	41 POT
	14	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP SILVER GRASS	42 POT
	114	PENNESETUM ALDOPECUROIDES 'HAEMELV'	DWARF FOUNTAIN GRASS	41 POT
PERENNIAL	38	ERIGERON PINK JEWELL	FLERABANE	15CM POT
	8	ERYTHRAEA 'BONNIES MAUVE'	SHRUBBY WALKFLOWER, PURPLE	15CM POT
	16	LAVENDULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER, COMPACT	15CM POT
	26	SEDUM TELEPHUM 'HERBSTFREUDE'	AUTUMN JOY STONECROP	15CM POT
	181	LONICERA PILEATA	PRIVET HONEYBUCKLE	41 POT: 35CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NO.	DATE	REVISION DESCRIPTION	DR.
8	22.OCT.28	REVISION AS PER CITY COMMENTS	DD
7	22.OCT.13	NEW SITE PLAN CITY COMMENTS	DD
6	22.AUG.20	NEW MAIN DESIGN	WH
5	22.MAY.12	NEW MAIN FLOOR SAS DESIGN	DD
4	22.JAN.12	NEW CIVIL PLANS ARCH. COMMENTS	DD
3	21.OCT.22	NEW SITE PLANNING WORKSHEET	DD
2	21.OCT.17	COMMENTS	DD
1	21.OCT.06	NEW SITE PLAN	JH

CLIENT:



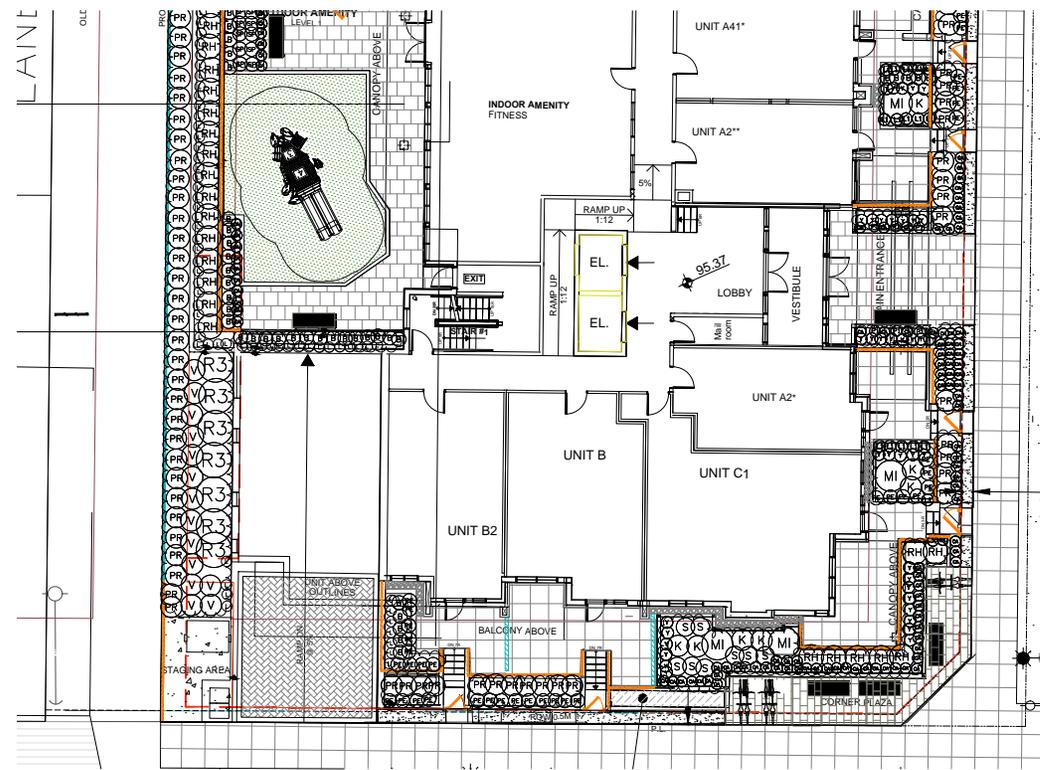
PROJECT:
6-STORY RESIDENTIAL DEVELOPMENT
100A AVENUE AND 133 STREET, SURREY

DRAWING TITLE:
SHRUB PLAN 1

DATE: 21.FEB.09 DRAWING NUMBER:
SCALE: 1:500
DRAWN: JH
DESIGN: JH
CHKD: PC

L2
OF 10

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
8	22.OCT.28	REVISION AS PER CITY COMMENTS	DD
7	22.OCT.13	NEW SITE PLAN/ CITY COMMENTS	DD
6	22.AUG.20	NEW MAIN DESIGN	WH
5	22.MAY.12	NEW MAIN FLOOR SAS DESIGN	DD
4	22.JAN.12	NEW CIVIL PLANS ARCH. COMMENTS	DD
3	21.OCT.22	NEW SITE PLANS BUILDING SECTIONS	DD
2	21.OCT.17	COMMENTS	DD
1	21.OCT.06	NEW SITE PLAN	JH

CLIENT:
ZENTERRA

PROJECT:
6-STORY RESIDENTIAL DEVELOPMENT
100A AVENUE AND 133 STREET, SURREY

DRAWING TITLE:
SHRUB PLAN 2

DATE: 21.FEB.09 DRAWING NUMBER:
SCALE: 1:300
DRAWN: JH
DESIGN: JH
CHKD: PC

L3
OF 10

SEAL:



MAGLIN BIKE RACK- MBR500



MAGLIN 720 PICNIC TABLE



MAGLIN BENCH-SCB1600



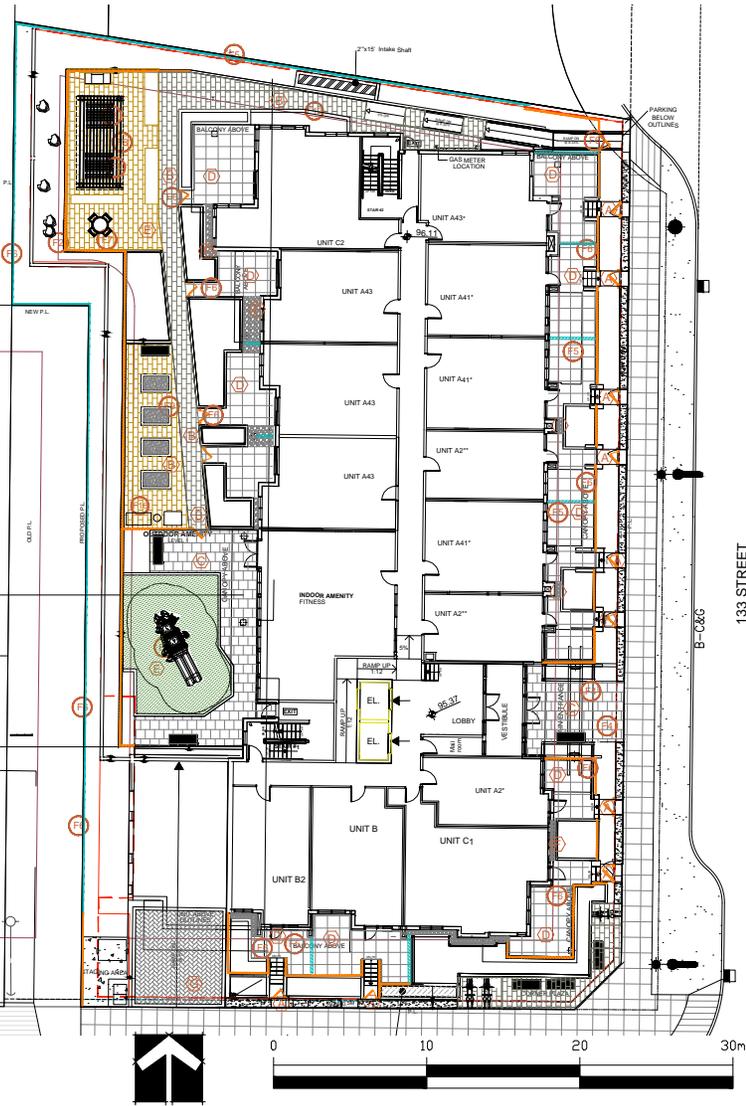
MAGLIN TABLE WITH FOUR CHAIRS
_FRC1700-MSF-M1



OLT -PATIO GARDEN SHED 6X3'



ARBOR



GREEN THEORY DESIGN
PARTITION SERIES PLANTER
5L X2'W X2'H1



JAMBETTE PLAY EQUIPMENT-J3-17287-A_3D1

MATERIAL LEGEND		
KEY	SYMBOL	DESCRIPTION
(A)	[Symbol]	CONCRETE PAVEMENT COLOUR: NATURAL
(B)	[Symbol]	BARKMAN BROADWAY 300X150X65MM PATTERN: RUNNING BOND COLOUR: NATURAL AND ASH
(C)	[Symbol]	BARKMAN BROADWAY 300X300X65MM PATTERN: RUNNING BOND COLOUR: NATURAL
(D)	[Symbol]	24" SQUARE HYDRAPRESSED CONCRETE SLABS, COLOUR: NATURAL
(E)	[Symbol]	2X2' RUBBER TILES, COLOR GREEN
(F)	[Symbol]	GRAVEL
(G)	[Symbol]	BARKMAN BROADWAY 100MM AMBER COLOUR HERRINGBONR PATTERN
(H)	[Symbol]	BARKMAN BRIDGEWOOD COLOUR: WEATHERED GRAY

SITE FURNITURE LEGEND		
KEY	SYMBOL	DESCRIPTION
(F1)	[Symbol]	MAGLIN ML720 BENCH
(F2)	[Symbol]	LOCAL GRANITE BOULDERS
(F3)	[Symbol]	MAGLIN 720 PICNIC TABLE
(F4)	[Symbol]	MAGLIN BIKE RACK FOR 2 BIKES EACH
(F5)	[Symbol]	1.8 HT. WOOD FENCE 1.8 HT. PATIO SCREEN BY ARCHITECT
(F6)	[Symbol]	1M HT. ALUMINIUM RAIL FENCE AND GATE
(F7)	[Symbol]	MAGLIN 720 CHAIR & LOW TABLE
(F8)	[Symbol]	ARBOR
(F9)	[Symbol]	GARDEN PLOT
(F10)	[Symbol]	OLT -PATIO GARDEN SHED 6X3'
(F11)	[Symbol]	HAUSER OUTDOOR LOUNGE SEATING WITH FIRE PIT
(F12)	[Symbol]	FIBERGLASS PLANTER

8	22.OCT.28	REVISION AS PER CITY COMMENTS	DD
7	22.OCT.13	NEW SITE PLAN/ CITY COMMENTS	DD
6	22.AUG.20	NEW MAIN FLOOR	WH
5	22.MAY.12	NEW MAIN FLOOR SLAB DESIGN	DD
4	22.JAN.12	NEW CIVIL PLANS ARCH. COMMENTS	DD
3	21.OCT.22	NEW SITE PLAN/ BUILDING SECTIONS	DD
2	21.OCT.17	COMMENTS	DD
1	21.OCT.06	NEW SITE PLAN	JH
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:



PROJECT:

6-STORY RESIDENTIAL DEVELOPMENT
100A AVENUE AND 133 STREET, SURREY

DRAWING TITLE:

MATERIAL PLAN

DATE: 21.FEB.09 DRAWING NUMBER:
SCALE: 1:150
DRAWN: JH
DESIGN: JH
CHKD: PC

L5
OF 10

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
8	22.OCT.28	REVISION AS PER CITY COMMENTS	DD
7	22.OCT.13	NEW SITE PLAN CITY COMMENTS	DD
6	22.AUG.30	NEW SAN DESIGN	YH
5	22.MAY.12	NEW MAIN FLOOR SAN DESIGN	DD
4	22.JAN.30	NEW CIVIL PLANS ARCH. COMMENTS	DD
3	21.OCT.20	NEW SITE PLANNING BUILDING MARKINGS	DD
2	21.OCT.17	COMMENTS	DD
1	21.OCT.06	NEW SITE PLAN	JH

CLIENT:



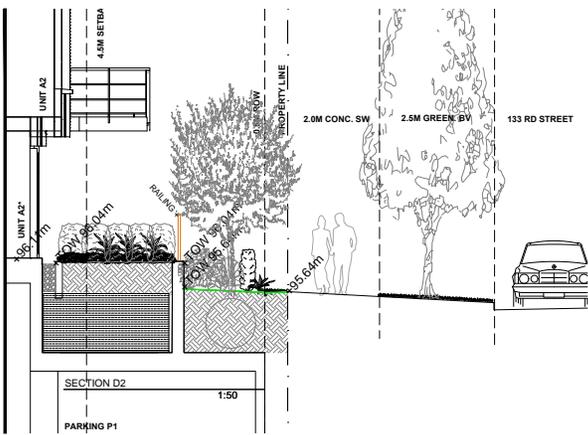
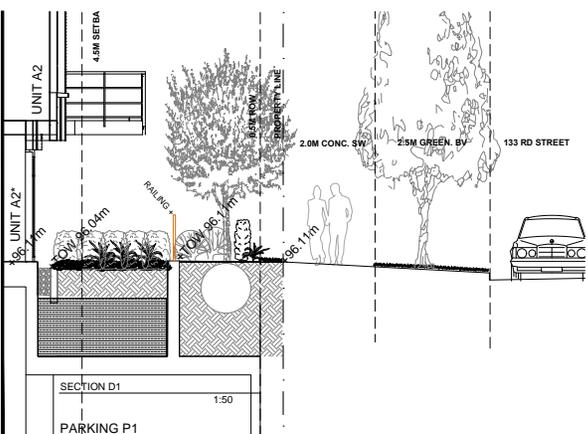
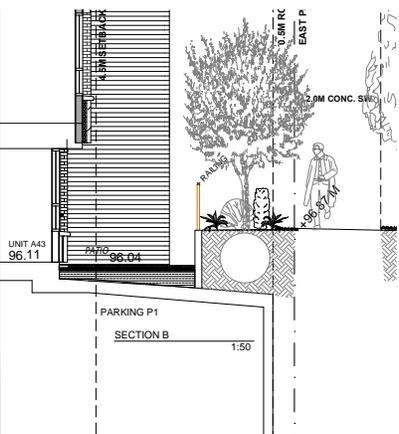
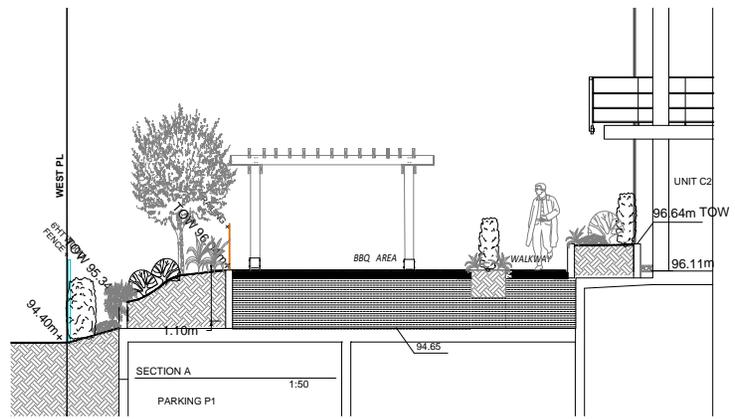
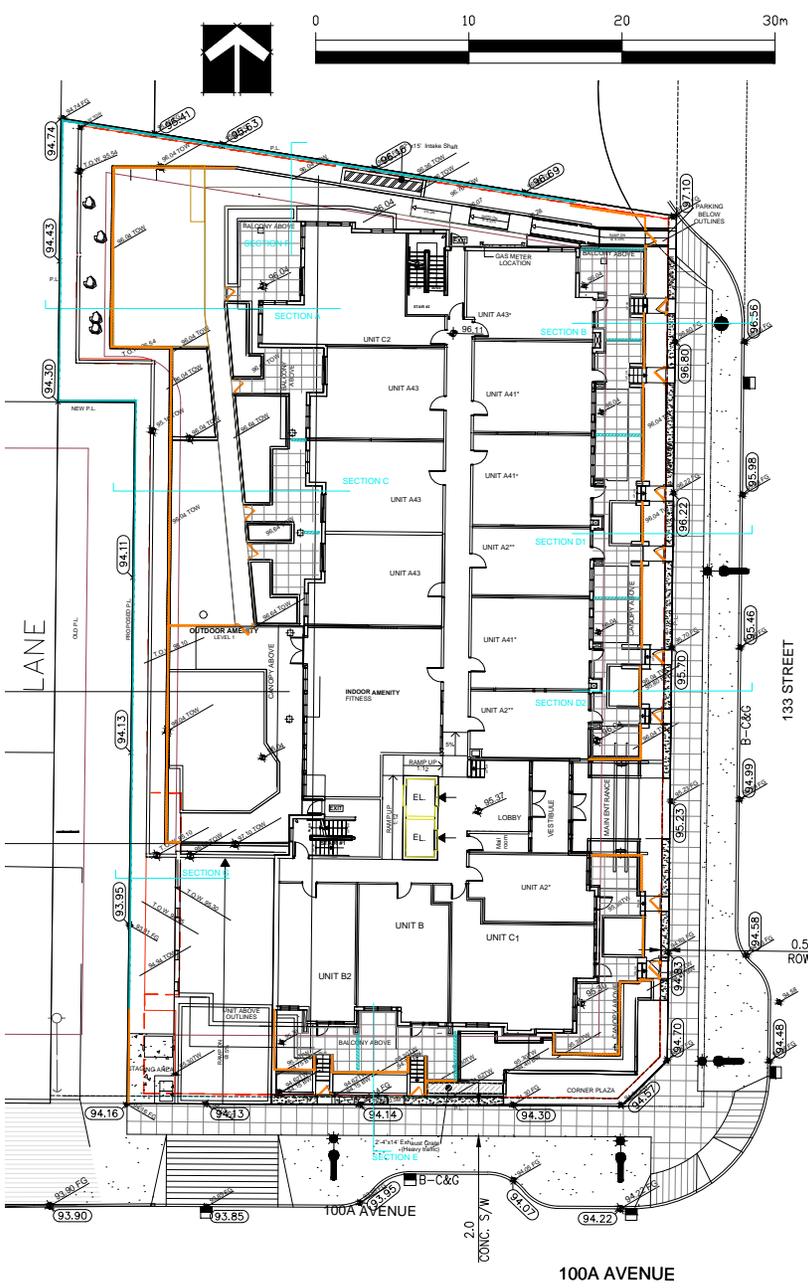
PROJECT:
6-STORY RESIDENTIAL DEVELOPMENT
100A AVENUE AND 133 STREET, SURREY

DRAWING TITLE:
GRADING PLAN LANDSCAPE SECTIONS

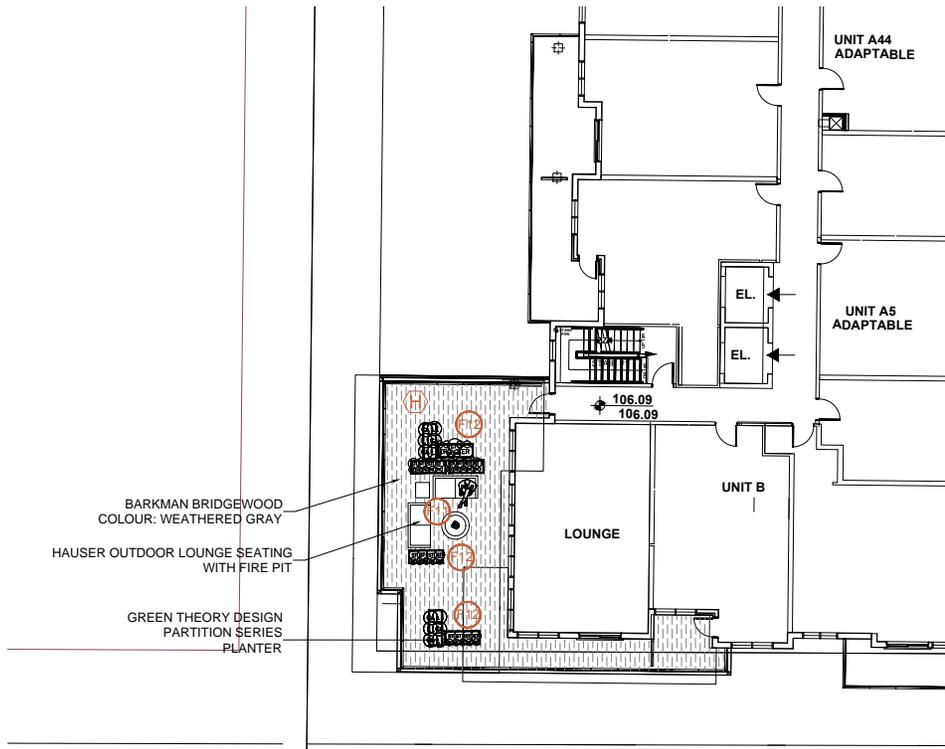
DATE: 21.FEB.09 DRAWING NUMBER:
SCALE: 1:150
DRAWN: JH
DESIGN: JH
CHKD: PC

L6

OF 10



SEAL:



BARKMAN BRIDGEWOOD
COLOUR: WEATHERED GRAY

HAUSER OUTDOOR LOUNGE SEATING
WITH FIRE PIT

GREEN THEORY DESIGN
PARTITION SERIES
PLANTER



PLANT SCHEDULE-ROOFTOP

PMG PROJECT NUMBER: 20-147

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
(H)	3	EUONYMOUS GREEN SPIRE	UPRIGHT EUONYMOUS	#2 POT
GRASS				
(A)	16	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
(A)	6	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
PERENNIAL				
(H)	26	HEMEROCALLIS 'WHITE TEMPTION'	DAYLILY, WHITE	#1 POT; 20CM
(L)	6	LAVENDULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER; COMPACT	15CM POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NO.	DATE	REVISION DESCRIPTION	DR.
8	22.OCT.28	REVISION AS PER CITY COMMENTS	DD
7	22.OCT.13	NEW SITE PLANT CITY COMMENTS	DD
6	22.AUG.20	NEW MAIN DESIGN	WH
5	22.MAY.12	NEW MAIN FLOOR SAS DESIGN	DD
4	22.JAN.31	NEW CIVIL PLANS ARCH. COMMENTS	DD
3	21.OCT.22	NEW SITE PLANNING BUSINESS DIRECTIONS	DD
2	21.OCT.17	COMMENTS	DD
1	21.OCT.06	NEW SITE PLAN	JH

CLIENT:



PROJECT:

6-STORY RESIDENTIAL DEVELOPMENT
100A AVEUE AND 133 STREET,
SURREY

DRAWING TITLE:
ROOF DECK LANDSCAPE PLAN

DATE: 21.FEB.09 DRAWING NUMBER:
SCALE: 1:100
DRAWN: JH
DESIGN: JH
CHKD: PC

L8

OF 10

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **November 01, 2022** PROJECT FILE: **7821-0090-00**

RE: **Engineering Requirements
Location: 10055/10077 - 133 Street & 13277 - 100A Avenue**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 2.380 m towards 133 Street.
- Dedicate required corner cut.
- Register 0.5 m statutory right-of-way along all road frontages.

Works and Services

- Construct the west side of 133 Street.
- Construct the north side of 100A Avenue.
- Implement the recommendations of the geotechnical report.
- Construct water main on 133 Street, 100A Avenue, and off-site as needed.
- Construct sanitary main on 133 Street and 100A Avenue.
- Construct storm main on 133 Street and 100A Avenue, as needed.
- Complete sanitary and drainage catchment analysis to determine existing capacities. Resolve downstream constraints, as identified.
- Provide water, storm and sanitary service connections to service the development, and abandon all existing connections.
- Register applicable legal documents as determined through detailed design.
- Pay amenity charge for undergrounding the existing overhead electrical and telecommunication infrastructure and applicable latecomer charges

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Jeff Pang, P.Eng.
Development Services Manager

HB4

APPENDIX III



June 14, 2022

Planning

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Old Yale Road catchment serves the central business district of Surrey. The timing of future high rise development in this area, with good market conditions could impact the enrolment growth upwards from the projections below. As of September 2021, the elementary was operating at 99% capacity. The school requires 2 portables to manage this growth. This catchment is being monitored over the next several years as the projected growth in the area has yet to arrive as projected last year. As part of the 2022/23 Capital Plan, the District is requesting a 10-classroom addition. No capital funding has been approved at this time.

As of September 2021, Kwantlen Park Secondary is currently operating at 122% with 13 portables on site used for enrolling classes. In March 2020, the Ministry of Education supported a 300-capacity addition to move from capital plan request to preparation of a feasibility study.

THE IMPACT ON SCHOOLS

APPLICATION #: 21 0090 00

SUMMARY

The proposed 100 lowrise units are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

Elementary Students:	18
Secondary Students:	14

September 2021 Enrolment/School Capacity

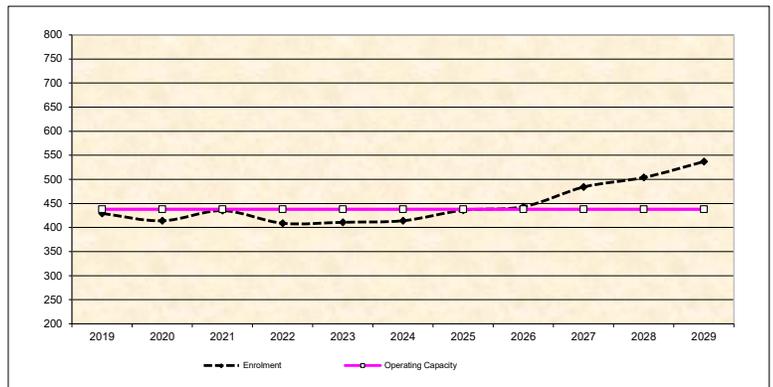
Old Yale Road Elementary	
Enrolment (K/1-7):	47 K + 388
Operating Capacity (K/1-7)	19 K + 419
Kwantlen Park Secondary	
Enrolment (8-12):	1462
Capacity (8-12):	1200

Projected population of school-age children for this development:	40
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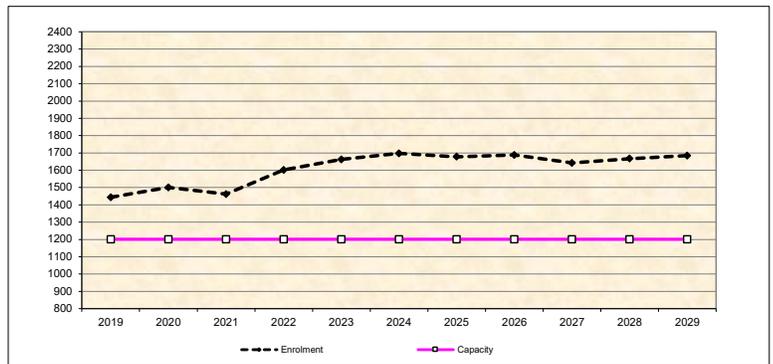
Population: The projected population of children aged 0-19 Impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

Old Yale Road Elementary



Kwantlen Park Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

APPENDIX IV

TREE IMPACT MITIGATION

Tree Protection Barrier: The areas, surrounding the trees to be retained, should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the tree protection zones. The barrier fencing to be erected must be a minimum of 1200mm in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with plywood, or flexible snow fencing. The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction) and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.

Excavation: We recommend that no excavation occur within tree protection zones of trees that are to be retained. Any excavation that is necessary, within the working space setback of trees to be retained must be completed under the direction of the project arborist. If it is found, at the time of excavation, that the excavation cannot be completed without severing roots that are critical to the trees health or stability it may be necessary to remove additional trees.

Demolition: If tree removal is proposed to be undertaken in conjunction with demolition operations, tree removal permits may be necessary. Note that some municipalities may not approve tree removal at this phase. If the municipality requires the requirement for barrier fencing installations prior to demolition (subject to onsite arborist supervision during demolition operations) a Letter of Undertaking may be required by the municipality.

Material storage: Areas must be designated for material storage and staging during the construction process. Ideally these areas will be located outside of the tree protection areas that will be isolated by barrier fencing. Should it be necessary to store material temporarily within any of the tree protection areas, the project arborist must be consulted.

Mulch layer or plywood over heavy traffic areas: Should it be necessary to access tree protection areas during the construction phase of the project, and heavy foot traffic or vehicular encroachment is required, we recommend that a layer of wood chip horticultural mulch or plywood be installed to reduce compaction. This project arborist must be consulted prior to removing or moving the protection barrier for this purpose.

Pruning:
Once tree clearing has taken place we recommend that trees to be retained be pruned to remove deadwood, and address any structural flaws.
We recommend that any pruning of bylaw-protected trees be performed to ANSI A300 standards and Best Management Practices.

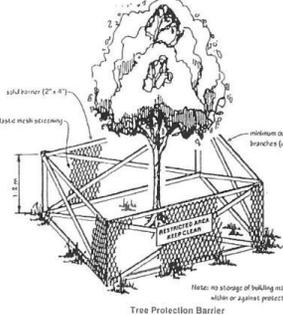
Stump removal: We recommend that, if stumps require removal, they are removed under arborist supervision, or ground using a stump grinder to avoid disturbing root systems of trees in close proximity, that are shown on the tree management drawing to be retained.

Windthrow: Where forest edge trees are proposed to be removed, we recommend that trees that may experience an increase in wind exposure, be re-examined, once tree clearing has taken place, to ensure that they are structurally stable, and suitable for retention as leading edge trees. Paved areas over critical root zones of trees to be retained: Where paved areas cannot avoid encroachment within critical root zones of trees to be retained, construction techniques, such as floating permeable paving, may be required. (specifications can be provided by the project arborist, in consultation with the design consultant).

Landscaping: Any proposed landscaping within the critical root zones of trees to be retained must be reviewed with the project arborist.

Arborist's Role: It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
- Locating the barrier fencing;
- Reviewing the report with the project foreman or site supervisor.
- Locating work zones and machine access corridors where required.
- Supervising excavation for any areas within the critical root zones of trees to be retained including any proposed retaining wall footings and review any proposed fill areas near trees to be retained.

ation Bylaw, 2006 No. 1610
chedule "C"



Tree Protection Distance Table

Trunk Diameter (cm)	Minimum Protection Radius (distance from trunk in metres)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5.4
100	6.0

KEY PLAN GENERAL NOTES:

- ALL WORKS AND SERVICES SHALL CONFORM TO CITY OF SURREY'S CURRENT 2018 DESIGN CRITERIA MANUAL, 2018 SUPPLEMENTARY MASTER MUNICIPAL CONSTRUCTION DOCUMENTS AND 2018 SUPPLEMENTARY DETAIL DRAWINGS, UNLESS NOTED OTHERWISE.
- ALL ELEVATIONS AND INVERTS ARE GEODETIC AND REFER TO CITY OF SURREY'S BENCHMARK MONUMENTS. REFER TO THE LEGAL SURVEYOR'S PLANS FOR DETAILS REGARDING THE BENCH MARK INFORMATION. REPORT ANY DISCREPANCIES TO ENGINEER.
- ALL DIMENSIONS SHOWN AND LABELED ARE METRIC, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM ALL EXISTING ELEVATIONS, INVERTS, DIMENSIONS AND OFFSETS PRIOR TO CONSTRUCTION AND ORDERING MATERIALS.
- PRIOR TO CONSTRUCTION AND ORDERING MATERIALS, THE CONTRACTOR SHALL CONFIRM (AND IF REQUIRED) CORRECT ALL EXISTING UNDERGROUND MUNICIPAL UTILITIES AND SHALLOW PRIVATE UTILITY WORKS AND SERVICES AND CONFIRM THEIR LOCATIONS, MATERIALS, DEPTHS, SIZES AND MATERIALS TYPES. PREPARE AND REPORT ANY CONFLICTS OR DISCREPANCIES TO THE ENGINEER. LOCATIONS, OFFSETS, SIZES AND MATERIALS TYPES PRESENTED ON THE DRAWINGS ARE ASSUMED FROM AS-BUILT DRAWINGS PROVIDED TO THE ENGINEER BY THE CITY OF SURREY AND THE PRIVATE UTILITY COMPANIES AND HAVE NOT BEEN INDEPENDENTLY VERIFIED TO DATE.
- CONTRACTOR TO PREPARE A TRAFFIC MANAGEMENT PLAN ACCEPTABLE TO THE CITY OF SURREY FOR ALL WORKS AND SERVICES ALONG COLLECTOR AND ARTERIAL CLASSIFIED ROADWAYS.
- ALL PROPOSED SHALLOW PRIVATE UTILITY MAINS AND SERVICE CONNECTIONS (HYDRO, TELEPHONE, CABLE AND GAS) SHALL BE LOCATED UNDERGROUND, REFER TO HYDRO, TELUS, SHAW CABLE AND FORTIS BC DESIGN DRAWINGS FOR LOCATIONS, DETAILS AND SPECIFICATIONS.
- CONTRACTOR TO CONTACT THE CITY OF SURREY AND THE ENGINEER'S SITE SUPERVISOR A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS WITHIN THE CITY ROAD ALLOWANCES AND RIGHTS-OF-WAYS. CONTRACTOR'S RESPONSIBILITY TO ENSURE AN ACTIVE HIGHWAY USE PERMIT IS IN PLACE.
- ANY REVISIONS TO THESE DRAWINGS AFTER COMMENCING CONSTRUCTION IN THE FIELD SHALL BE REVIEWED BY CENTRAS ENGINEERING LTD. WHO SHALL THEN REVIEW ANY REVISIONS WITH THE CITY OF SURREY FOR APPROVAL PRIOR TO ORDERING MATERIALS OR CONSTRUCTING THESE REVISIONS.
- CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF CIVIL DRAWINGS MARKED UP IN RED TO REFLECT THE AS-CONSTRUCTED VALUES OF ALL UNDERGROUND SERVICES (INCLUDING SHALLOW PRIVATE UTILITY DRAWINGS) AND FINISHED ROADWAYS SURFACE ELEVATIONS. THE REDLINE SET OF CIVIL DRAWINGS TO BE MAINTAINED ON SITE FOR THE CIVIL ENGINEER TO REVIEW AT ALL TIMES. UPON SUBSTANTIAL CONSTRUCTION COMPLETION, THE CONTRACTOR SHALL SUBMIT A COMPLETE REDLINE MARKED UP SET OF AS-CONSTRUCTED CIVIL DRAWINGS TO CENTRAS ENGINEERING LTD. FOR REVIEW.

SHADING LEGEND:

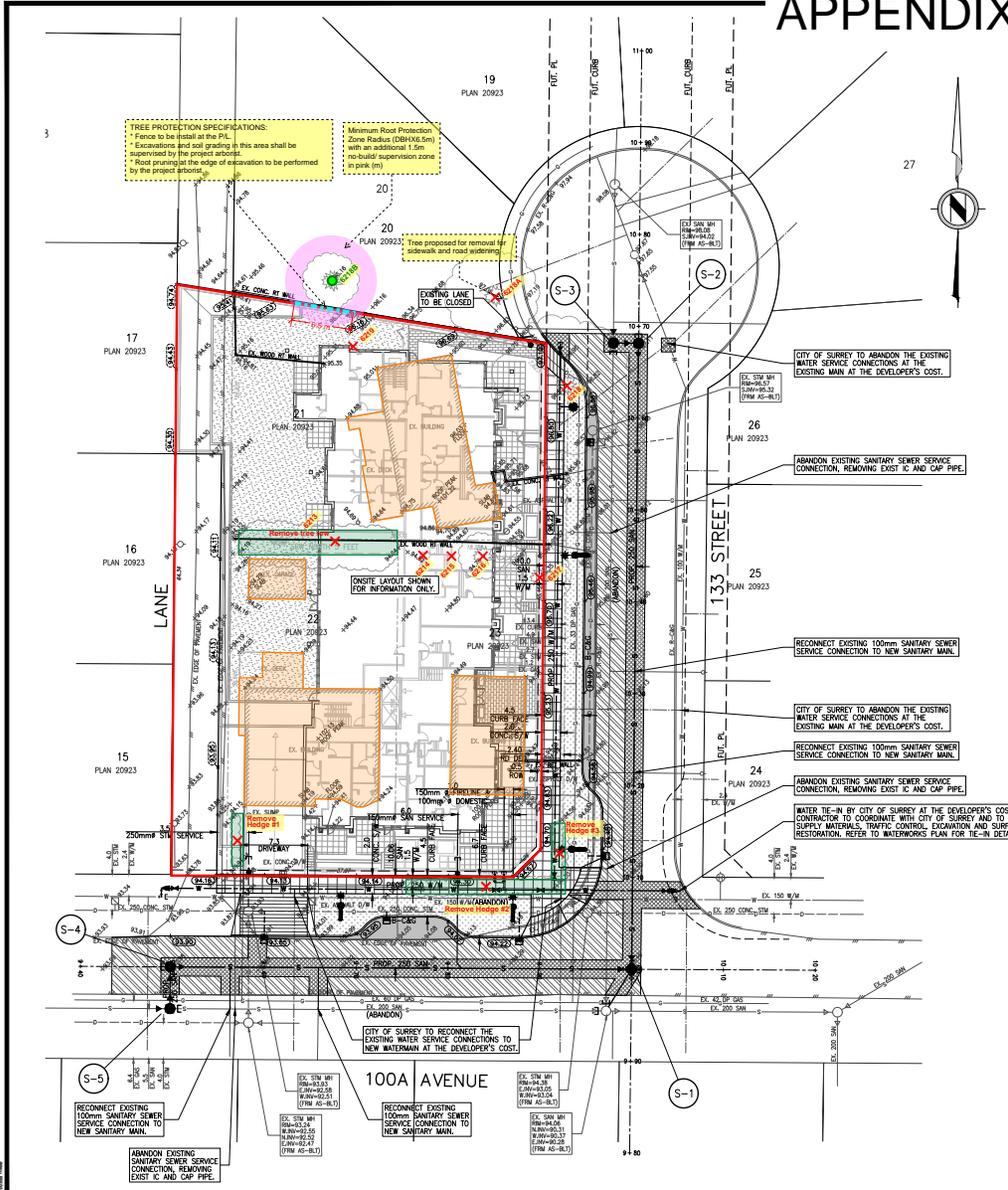
- NEW ASPHALT PAVEMENT AS PER GEOTECHNICAL ENGINEER RECOMMENDATIONS (BY DEVELOPER'S CONTRACTOR).
- PAVEMENT RESTORATION TO CITY OF SURREY STANDARD DETAIL DRAWING SSD-0.2 TO SSD-0.5.
- PAVEMENT CUT AND REINSTATEMENT TO CITY OF SURREY STANDARD DETAIL DRAWING SSD-0.2 TO SSD-0.5.
- MINIMUM 400mm IMPACT ABSORBENT TPO/SLOD AND 500 TO SURREY STANDARD.

McElhanney TREE MANAGEMENT PLAN

January 24, 2022

Tree Resource Legend

- Bylaw protected tree to be retained
- Retain tree ID (tag)
- Remove tree ID (tag)
- Critical root zone (CRZ) for retained trees
- Tree protection fence
- Root pruning interface
- Existing structures to be demolished
- Hedge
- Property line



LEGAL DESCRIPTION
LOTS 21, 22 & 23, ALL OF SEC 27, BLK 5 N, RANGE 2 W, NMD PLAN 20923

REV.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			
6			

BY SEALING AND SIGNING THIS DRAWING, I CERTIFY THAT THE INFORMATION CONTAINED IN THESE DRAWINGS ACCURATELY REFLECTS THE CURRENT DESIGN. ADDITIONAL CHANGE ORDERS AND MATERIAL DESIGN CHANGES MADE DURING CONSTRUCTION AND FIELD REVIEWED BY ME, OR MY REPRESENTATIVE, AND THAT THE AS-CONSTRUCTED WORKS SUBSTANTIALLY COMPLY WITH THE ORIGINAL DESIGN INTENT. HOWEVER, I DO NOT ACCEPT THE RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE AS-CONSTRUCTED INFORMATION SUPPLIED BY OTHERS CONTAINED IN THESE DRAWINGS.

CONSULTANT

CROYDON BUSINESS CENTRE
#216-2630 CROYDON DRIVE, SURREY, BC V3S 4T3
PH: 604-782-6927 EMAIL: info@centras.co

CLIENT
ZENTERRA DEVELOPMENTS LTD.
#216-2630 CROYDON DRIVE
SURREY, BC V3Z 0T3

TITLE
KEY PLAN
100A AVE & 133 ST
PLAN VIEW

SCALE: HOR. 1:250
VERT. 1:25

DATE (YYYY/MM/DD)
2020.03.02

CONTRACTOR PROJECT NO.
20004

DRAWING TYPE
KEY PLAN

SURVEY PROJECT NUMBER
0000-0000-00

DESIGNED SO
DRAWN SO
REVIEWED SO

DWG. NO.
03

REV. NO.
-

DESIGN ALL PRINTS BEARING PREVIOUS NUMBER

Present:

Panel Members: Steve Watt, Architect AIBC, Integra Architecture
R. Drew, Chair Yiwen Ruan, PMG Landscape Architects
E. Kearns Jessie Arora, Architect AIBC, DF Architecture Inc.
M. Heeney Zubin Billimoria, DF Architecture Inc.
S. MacRae Meredith Mitchell, M2 Landscape Architecture
M. Cheung Jaswinder Gabri, Architect AIBC, Flat Architecture
M. Patterson Caelan Griffiths, PMG Landscape Architects

Guests:

Staff Present:

A. McLean, City Architect
S. Maleknia, Urban Design Planner
V. Goldgrub, Urban Design Planner
L. Blake, Assistant City Clerk

A. RECEIPT OF MINUTES

It was Moved by M. Heeney
Seconded by R. Drew
That the minutes of the Advisory Design
Panel meeting of August 18, 2022 be received.
Carried

B. NEW SUBMISSIONS

1. Time: 3:05 p.m.

File No.: 7921-0090-00
New or Resubmit: New
Last Submission Date: N/A
Description: Rezoning from RF to CD (based on RM-70) and a
Development Permit to allow construction of a 6-storey
apartment building with a total of 100 units, and an
overall gross FAR of 2.5.
Address: 10055 and 10077 – 133 Street; 13277 – 100A Avenue
Developer: Derek Fenton, Zenterra City Centre Ltd.
Architect: Steve Watt, Architect AIBC, Integra Architecture
Landscape Architect: Yiwen Ruan, PMG Landscape Architects
Planner: Leita Martin
Urban Design Planner: Sam Maleknia

The Urban Design Planner advised that the proposal generally complies with the intent of the City Centre Plan and that staff generally support the form, expression, and public realm.

The Panel was asked to comment on the overall architectural expression, balcony expression, the use of materials, overall landscape concept, one more thing and public realm interfaces.

The Project Architect presented an overview of the site planning, streetscapes, building concept, and 3D Views.

The Landscape Architect presented an overview of the general concept for the Landscape design.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by M. Heeney
Seconded by M. Patterson
That the Advisory Design Panel (ADP)
SUPPORT the project and recommends that the applicant address the following
issues to the satisfaction of the Planning & Development Department.

Recommend that the landscaping submission return to staff for further
development.

Carried

Key Points

- Consider relocating the waste recycling staging area to the west side of the parking ramp, and increase the patio size for the adjacent unit. *Integra Architecture Response: Garbage & Recycling staging area has been relocated West of the parking ramp and the patio sizes for the street-fronting units increased in size.*
- Shift the location of the gas meter. *Integra Architecture Response: Garbage Gas meter has been relocated to the North elevation [subject to Fortis approval].*
- Consider relocating the parkade ramp and associated massing above to the north edge of the site to improve sunlight access for the outdoor amenity. *Integra Architecture Response: As discussed with City Staff, we are not relocating the parking access. As the building floor elevations are fixed due to Code restrictions, relocating the ramp to the NE [the highest point of the site], would displace at least two units. One would replace the existing parking access, and another would have to go where the current 4th floor outdoor deck area is, therefore worsening the daylight access to the courtyard. Currently, a three-storey form is shading the courtyard from due South sunlight – this is similar to a large single-family home in scale. Integra have provided shadow analysis already indicating the proposed build-out of the block which indicates good solar penetration. Another version of the shadow study showing a two-storey wing has been provided [requested by City staff for comparison]. This shadow study indicates limited improvement to the solar access and it should be noted that the project would have to surrender density to achieve this outcome, which is not viable for the project. Note also that the communal outdoor space has been moved North [switched with the children's play area] to access more sunlight. Natural light penetration of the courtyard is maximised based on the proposed building form & massing.*
- Consider reducing the number of materials and colors. *Integra Architecture*

Response: As discussed with staff, the number of materials is not an issue. We propose three “tones” – Grey, white & light wood. The material choices fall into these tonal categories. Grey includes cementitious panel, brick and trims. White includes cementitious lap siding. Light Wood includes the feature frame elements, roof and soffits.

- Consider reconfiguring the balconies on the south elevation and making it appear less horizontal and heavy. *Integra Architecture Response: Balconies have been reconfigured and a frame element introduced to reinforce the architectural expression of the building at this prominent corner.*
- Consider locating the play area southward closer to the centre of the site. *Integra Architecture Response: The play area has been switched with the communal seating area to be closer to the indoor amenity room and located with more overlook.*
- Consider adding more green buffer between the patio and the southeast corner plaza. *Integra Architecture Response: The corner plaza has been reduced and reconfigured to improve the corner unit patio and to provide a green buffer.*
- Consider relocating the bike racks and adding some seating at the entry. *Integra Architecture Response: Bike racks have been relocated to the corner plaza area and adjacent the building entry. Bench seating has been added outside of the lobby.*
- Review the grading along the west edge of the site to determine if additional soil depth can be achieved and more trees planted. *Integra Architecture Response: The West edge has been reviewed and trees introduced – refer to Landscape drawings.*
- Consider accessible design measures to improve the lobby experience. *Integra Architecture Response: Glazing between the ramp and the amenity room has been introduced to improve the lobby experience.*

Site

- The site is generally well handled.
- Review the site edges on the north and west sides. Consider the privacy of the at grade units. *Integra Architecture Response: The NE at-grade unit is the only unit in this stack that has the bedroom on the end wall. We have reduced the North window to a high-level transom window and have introduced a privacy screen between the patio and the pathway. There is no room for further planting.*
- Consider maximizing the natural light to the courtyard. *Integra Architecture Response: As discussed with City Staff, we are not relocating the parking access. As the building floor elevations are fixed due to Code restrictions, relocating the ramp to the NE [the highest point of the site], would displace at least two units. One would replace the existing parking access, and another would have to go where the current 4th floor outdoor deck area is, therefore worsening the daylight access to the courtyard. Currently, a three-storey form is shading the courtyard from due South sunlight – this is similar to a large single-family home in scale. Integra have provided shadow analysis already indicating the proposed build-out of the block which indicates good solar penetration. Another version of the shadow study showing a two-storey wing has been provided [requested by City staff for comparison]. This shadow study indicates limited improvement to the*

solar access and it should be noted that the project would have to surrender density to achieve this outcome, which is not viable for the project. Note also that the communal outdoor space has been moved North [switched with the children's play area] to access more sunlight. Natural light penetration of the courtyard is maximised based on the proposed building form & massing.

Form and Character

- Consider further celebrating the southeast corner feature and relocating the entry there. *Integra Architecture Response: As discussed with City Staff, there is no requirement to relocate the entry to the corner.*
- Review the layout for the northeast end unit at grade, as it has a bedroom window that looks out onto the walkway. *Integra Architecture Response: The NE at-grade unit is the only unit in this stack that has the bedroom on the end wall. We have reduced the North window to a high-level transom window and have introduced a privacy screen between the patio and the pathway. Additional planting has been provided.*
- Encourage further review and design development of the lobby. Review the mail room location, ped ramp, and stairs. *Integra Architecture Response: Glazing between the ramp and the amenity room has been introduced to improve the lobby experience. Bike racks have been relocated exterior to the lobby and a bench introduced. Further design development will occur as the project goes forward.*
- While the overall massing is strong, review the northeast elevation. This could help reconcile the grade difference. *Integra Architecture Response: The frame element at the NE corner has been removed. The grading between the street and the exit door has been resolved/coordinated.*
- The south elevation is well resolved, dramatic and well proportioned. On the northeast elevation, consider a similar treatment for the pop-outs as on the southwest elevation, such as boxing it out and bookending it. *Integra Architecture Response: The frame element at the NE corner has been removed in favour of simple balconies. This is not a "true" corner so we believe the design did not need to be bookended in this location. Simple expression is more successful. See revised renderings in the accompanying drawings.*
- Suggest updating elevations to reflect the reality with trims and boxed out elements. *Integra Architecture Response: Trims have been added. See revised renderings in the accompanying drawings.*
- Consider the elevation along 100A Avenue consider and how the three materials on that façade come together. *Integra Architecture Response: This has been reviewed and the issue for us was the proximity of the windows to the wood-effect clad frame element. This has been resolved, with more space around the windows.*
- Suggest removing the column in the balcony corners on 100A Avenue and 133 Street to create a stronger gesture or consider shifting the column in the southeast corner northward so it aligns with the expression of the building, or consider slimming it down so it does not compete with the lightness of the balconies. *Integra Architecture Response: The column has been reviewed and relocated and restricted to two floors. Above this, cantilevered balconies are proposed within the corner-wrapping frame element.*

- Review alternative ways to complete the frame and make it more important on the 133 Street elevation. *Integra Architecture Response: The frame element at the NE corner has been removed in favour of simple balconies. This is not a “true” corner so we believe the design did not need to be bookended in this location. Simple expression is more successful. See attached rendering. A frame element wraps the corner of 100A and 133 Street in this revision, which is more important, visually.*
- Reconsider the heaviness of the roof and encourage reviewing how heavy the appearance of the roof has to be to achieve design goals. *Integra Architecture Response: The roof has been reviewed and revised/simplified. See revised renderings in the accompanying drawings.*

Landscape

- The roof deck is a great feature.
- Recommend switching the door opening direction onto the patios to allow for better access. *Integra Architecture Response: The corner plaza has been reduced and reconfigured to improve the corner unit patio and to provide a green buffer. Door swing has been revised.*
- There is a grading relationship that needs to be further reviewed and resolved along the northeast corner of the site where walkway has to transition between 97.1 at the sidewalk and 96.1 at the building corridor exit. *Integra Architecture Response: The grading between the street and the exit door has been resolved/coordinated. Refer to Architectural Site Plan.*
- The planting seems a bit light with respect to number of trees on the west side. Consider opportunities to provide more trees to help buffer sunlight exposure through the summer months. This may require relooking at the grading along this west side to provide more soil volumes. *Integra Architecture Response: The West edge has been reviewed and trees introduced – refer to Landscape drawings [site plans and sections A, G & C]*

CPTED

- No specific issues were identified.

Sustainability

- No specific issues were identified.

Accessibility

- Accessibility comments are noted under Key Points.

C. OTHER BUSINESS

This section had no items to consider.

D. NEXT MEETING

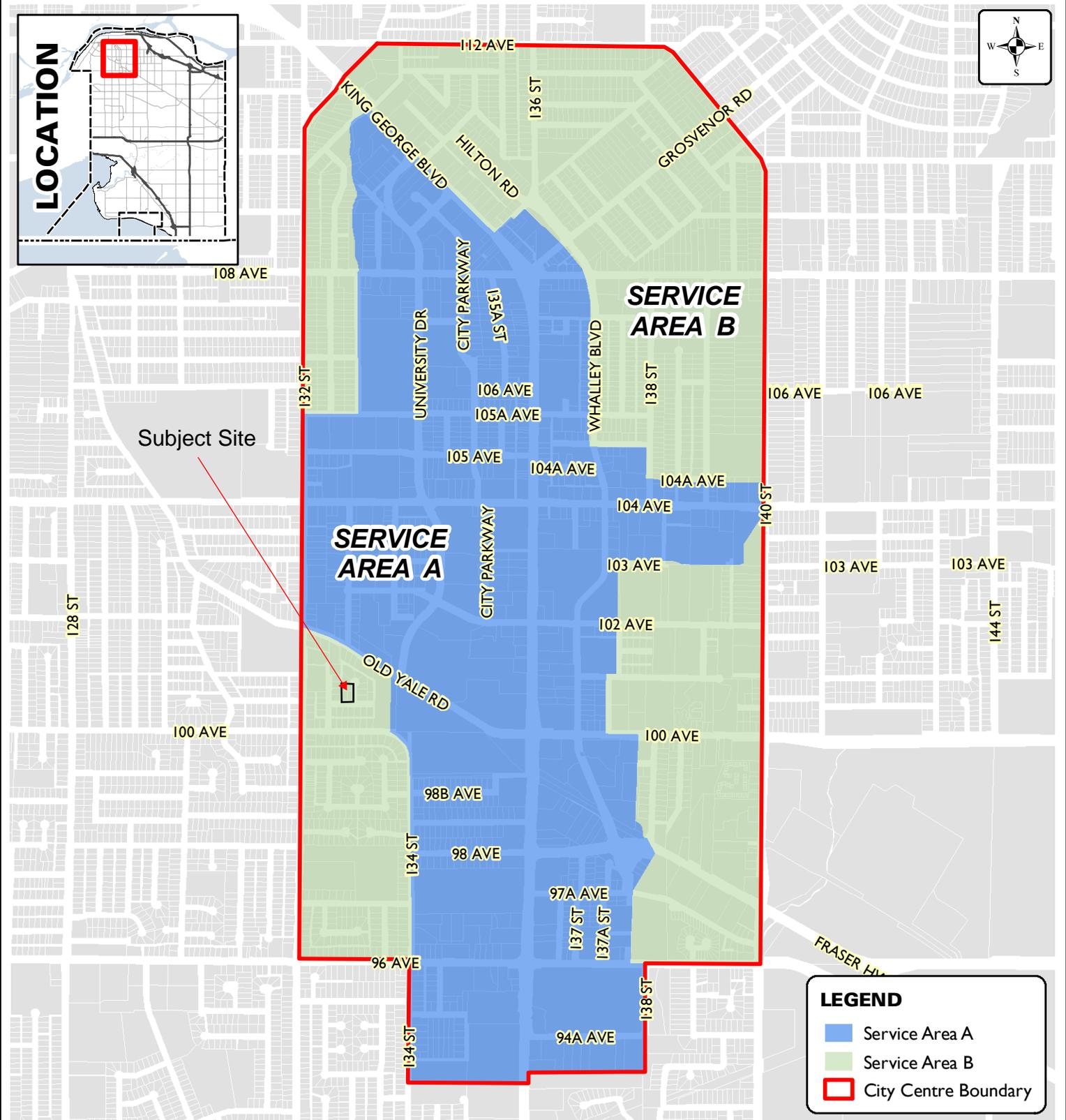
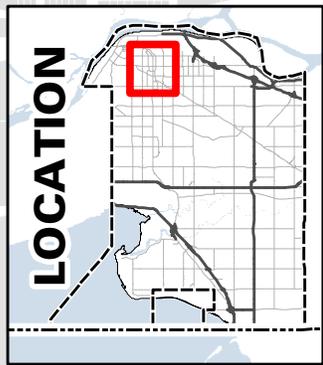
The next Advisory Design Panel is scheduled for Thursday, September 8, 2022.

E. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 7:15 p.m.

Jennifer Ficocelli, City Clerk

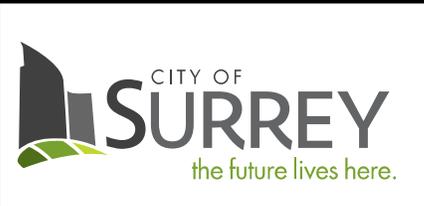
R. Drew, Chairperson



LEGEND

- Service Area A
- Service Area B
- City Centre Boundary

Produced by GIS Section: May 31, 2012, CS/AW8



**DISTRICT ENERGY SERVICE AREA
(SERVICE AREA A & SERVICE AREA B)**

**ENGINEERING
DEPARTMENT**

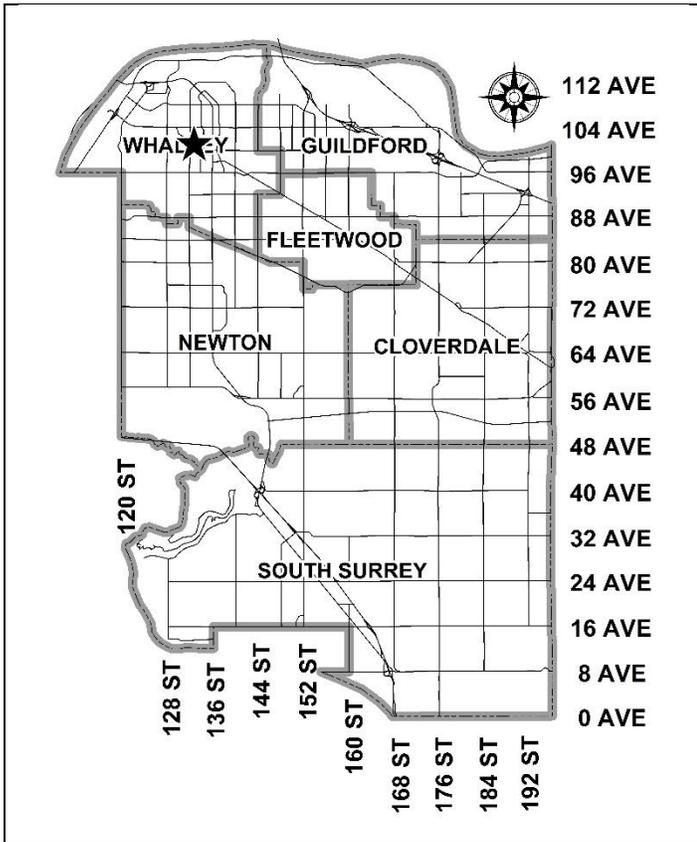
The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.

APPENDIX III

City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7921-0090-00

Planning Report Date: January 15, 2024



PROPOSAL:

- **Development Variance Permit**

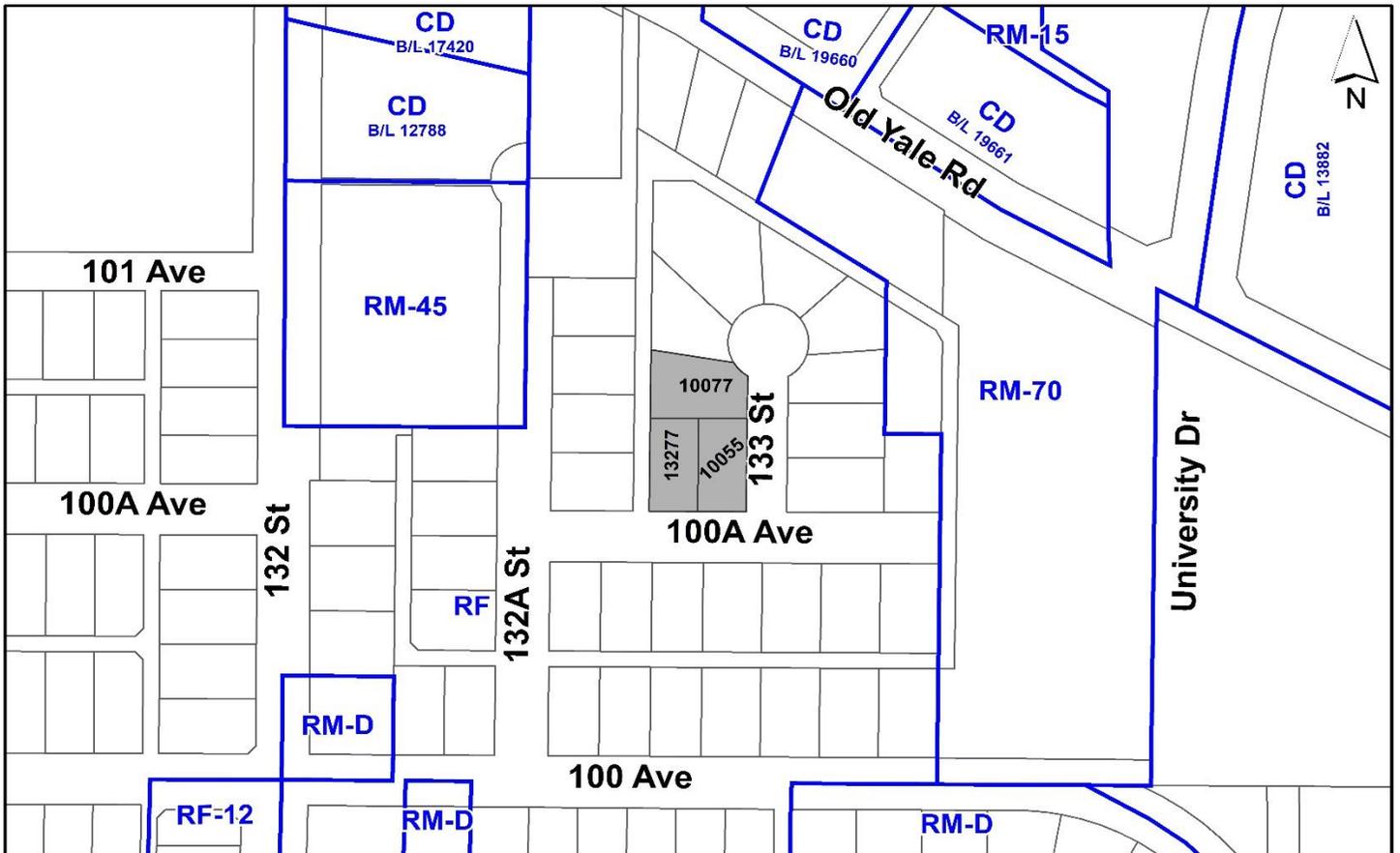
to vary the definition of "bond" in the Surrey Subdivision and Development Bylaw to include the use of a Surety Bond for the servicing agreement associated with the proposed multi-family development on the site.

LOCATION: 10077 133 Street
 13277 100A Avenue
 10055 133 Street

ZONING: RF

OCP DESIGNATION: Multiple Residential

CITY CENTRE PLAN DESIGNATION: Low to Mid Rise Residential



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to vary the definition of "bond" in the Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended, to include the use of a Surety Bond for Servicing Agreement No. 7821-0090-00.

RATIONALE OF RECOMMENDATION

- A pilot program was introduced in 2016 for the use of Surety Bonds as an alternate form of security for Servicing Agreements. A Surety Bond is a three-party agreement between the City, the Developer, and the Surety Bond Company, which obligates the Surety to pay the City if the Developer defaults in completing the off-site engineering servicing works for the land development project in the pilot program.
- The Engineering Department supports the variance to include the use of a Surety Bond for Servicing Agreement No. 7821-0090-00.
- On December 12, 2022, Council granted Third Reading to rezoning Bylaw No. 20791 to permit the development of a 6-storey apartment building on the subject site. Council also authorized staff to draft the corresponding Development Permit No. 7921-0090-00 for the project on November 14, 2022. The subject variance will allow for the use of a Surety Bond for the servicing agreement for this project.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7921-0090-00 (Appendix I) to vary the definition of "Bond" in the Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended, to include the use of Surety Bond for Servicing Agreement No. 7821-0090-00, to proceed to Public Notification.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	City Centre Plan Designation	Existing Zone
Subject Site	Single family lots	Low to Mid Rise Residential	RF
North:	Existing single family lots under Application No. 7919-0096-00 for a 6-storey apartment (Third Reading).	Low to Mid Rise Residential	RF
East (Across 133 Street):	Existing single family lots including lots under Application No. 7923-0185-00 for a 6-storey apartment (pre-Council).	Low to Mid Rise Residential	RF
South (Across 100A Avenue):	Existing single family lots.	Low to Mid Rise Residential	RF
West (Across lane):	Existing single family lots.	Low to Mid Rise Residential	RF

Context & Background

- The subject site is a 2,202-square metre site, consisting of 3 properties, located to the west of 133 Street, east of 132A Street and north of 100A Avenue in the West Village District of Surrey City Centre.
- The subject site is designated Multiple Residential in the Official Community Plan (OCP), "Low to Mid Rise Residential" in the City Centre Plan and is zoned "Single Family Residential Zone (RF)".
- On December 12, 2022, Council granted Third Reading to rezoning Bylaw No. 20791 to permit the development of a 6-storey apartment building on the subject site. Council also authorized staff to draft the corresponding Development Permit No. 7921-0090-00 for the project on November 14, 2022.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Development Variance Permit No. 7921-0090-00
Appendix II. November 14, 2022 Planning Report No. 7921-0090-00

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

LM/ar

APPENDIX I
CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0090-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-070-648

Lot 21 Section 27 Block 5 North Range 2 West New Westminster District Plan 20923
10077 - 133 Street

Parcel Identifier: 004-040-767

Lot 22 Section 27 Block 5 North Range 2 West New Westminster District Plan 20923
13277 - 100A Avenue

Parcel Identifier: 009-525-246

Lot 23 Section 27 Block 5 North Range 2 West New Westminster District Plan 20923
10055 - 133 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Subdivision and Development By-law, 1986, No. 8830, as amended is varied as follows:
- (a) In Part 1 – Interpretation – Definitions, "Bond" means cash, an irrevocable Letter of Credit, or a Surety Bond in favour of the City.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli