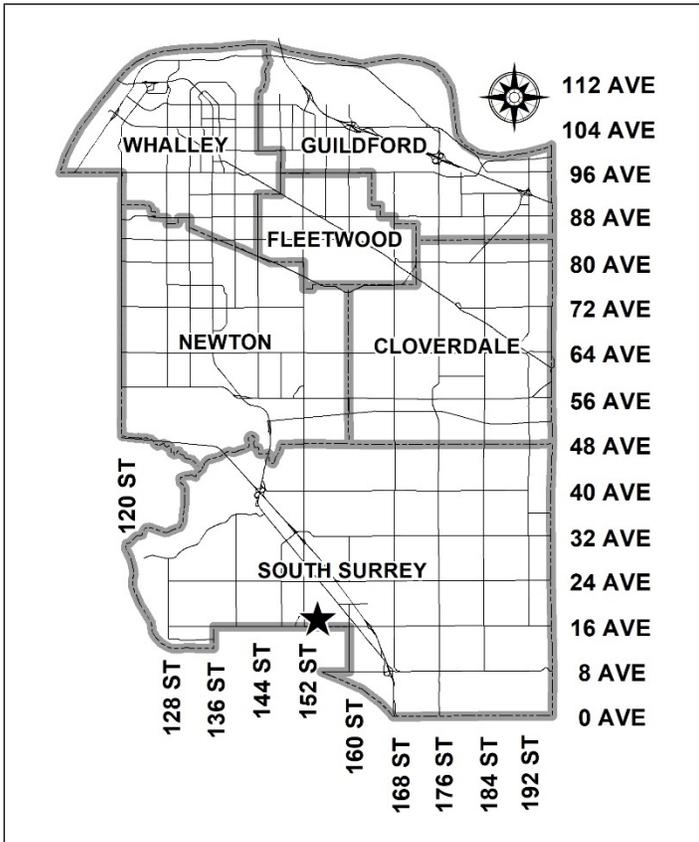


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0104-00
 Planning Report Date: March 11, 2024



PROPOSAL:

- **Rezoning** from RF to CD (Based on RM-70)
- **Development Permit**

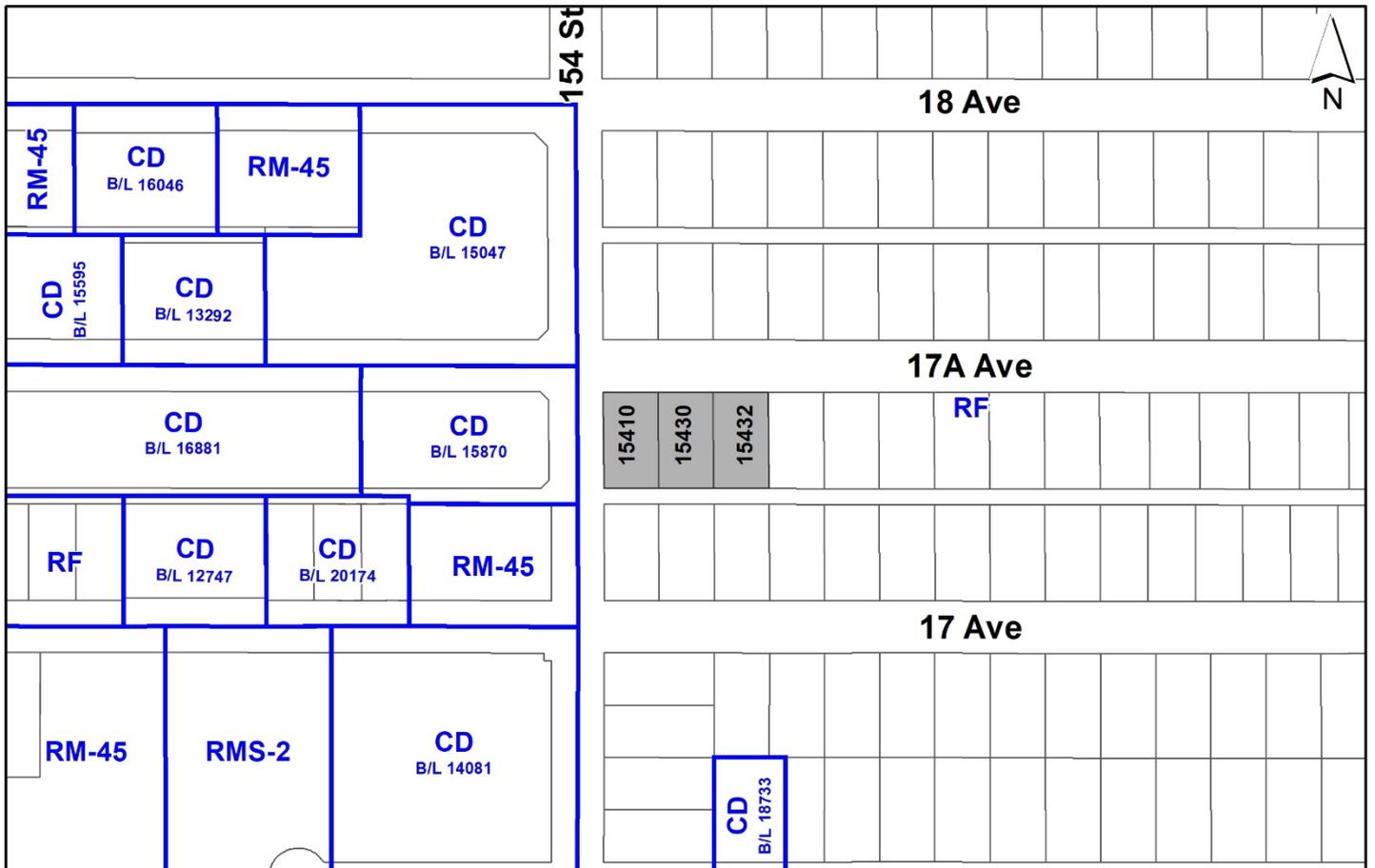
to permit the development of a 6 storey, 76 unit apartment building.

LOCATION: 15432 17A Avenue
 15430 17A Avenue
 15410 17A Avenue

ZONING: RF

OCP DESIGNATION: Multiple Residential

NCP DESIGNATION: Low Rise Residential



RECOMMENDATION SUMMARY

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for First, Second and Third Reading.
- Approval to draft Development Permit for Form and Character, and Sensitive Ecosystems.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None

RATIONALE OF RECOMMENDATION

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposal complies with the Low-Rise Residential designation in the Semiahmoo Town Centre Plan (TCP)
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not required for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The proposed density and building form are appropriate for this part of Semiahmoo Town Centre.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" (based on "Multiple Residential 70 Zone (RM-70)").
2. Council authorize staff to draft Development Permit No. 7923-0104-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) registration of a Section 219 Restrictive Covenant requiring fire sprinklers to NFPA standards and to release and indemnify the City from liability;
 - (i) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager, Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 and Tier 2 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department; and
 - (j) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department.

SITE CONTEXT & BACKGROUND

| Direction | Existing Use | TCP Designation | Existing Zone |
|----------------------------|---------------------------|-----------------------|---------------------|
| Subject Site | Single Family Residential | Low-Rise Residential | RF |
| North (Across 17A Avenue): | Single Family Residential | Low-Rise Residential | RF |
| East: | Single Family Residential | Townhouse Residential | RF |
| South: | Single Family Residential | Low-Rise Residential | RF |
| West (Across 154 Street): | Townhouses | Low-Rise Residential | CD (Based on RM-45) |

Context & Background

- The subject site consists of three single family lots with a combined area of 2,352 square metres (0.26 hectares), located within the Semiahmoo Town Centre Plan.
- The three parcels are zoned "Single Family Residential Zone" (RF) and are designated Multiple Residential in the Official Community Plan (OCP) and Low-Rise Residential in the Semiahmoo Town Centre Plan.
- The subject site is abutted to the east by a single-family dwelling. Across 17A Avenue to the north are single family residential dwellings and across 154 Street to the west is a townhouse development. To the south is a lane and single-family residential dwellings.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing a rezoning from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" based on "Multiple Residential 70 Zone (RM-70)"; and a Form and Character Development Permit to construct a 6-storey apartment building containing 76 units.

| | Proposed |
|--------------------------------|--|
| Lot Area | |
| Gross Site Area: | 2,352 square metres |
| Road Dedication: | 81 square metres |
| Net Site Area: | 2,271 square metres |
| Number of Lots: | 3 |
| Building Height: | 5 storeys (with a partial 6th storey for indoor amenity space) |
| Floor Area Ratio (FAR): | 2.36 (gross); 2.45 (net) |
| Residential Units: | |
| Studio: | 3 |
| 1-Bedroom: | 50 |

| | Proposed |
|------------|----------|
| 2-Bedroom: | 12 |
| 3-Bedroom: | 11 |
| Total: | 76 |

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District has advised that there will be approximately 10 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

- 7 Elementary students at Jessie Lee Elementary School
- 3 Secondary students at Earl Marriott School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2026.

Parks, Recreation & Culture: The closest active park is Bakerview and is 130 metres away, and the closest natural area is Jessie Lee Park and is 800 metres away. Future parkland is proposed within 600 metres of the subject site as part of the Semiahmoo Town Centre Plan (TCP) .

Surrey Fire Department: No concerns.

Advisory Design Panel: At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City’s Advisory Design Panel (ADP) which permits multi-family proposals that are 6-storeys or less to proceed to Council for By-law introduction, without review and/or comment from the ADP, provided that the proposal is generally supported by City staff.

The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.

Transportation Considerations

- The applicant will be required to provide the following road improvements to service the subject proposal:
 - Dedication and construction of the east side of 154 Street to the City's collector road standard;
 - Construction of the south side of 17A Avenue to the City's local road standard; and
 - Construction of the lane along the south frontage of the subject site.
- The subject site is anticipated to generate approximately one vehicle every two minutes, based on industry standard rates. A site-specific transportation impact analysis ("TIA") was not required as the proposal is below the City's requirement threshold and an area-wide TIA has been conducted as part of the Semiahmoo Town Centre Plan to evaluate the comprehensive traffic impacts for the Plan area.
- Access to the subject site is proposed via the lane along the south side.
- The applicant is proposing to provide a total of 122 parking spaces on site, exceeding the Zoning Bylaw requirement of 118 parking spaces.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the Urban designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The subject site complies with the Multiple Residential designation in the Official Community Plan.

Themes/Policies:

- The proposed development complies with the following themes and policies in the OCP (staff comments are in italics):
 - A1.1 – Support compact and efficient land development that is consistent with the Metro Vancouver Regional Growth Strategy (RGS) (2011).

(The proposed development complies with the RGS designation.)

- A4.2 – Encourage the full and efficient build-out of existing planned urban areas in order to provide housing options.

(The proposed development will provide apartment living options in the Semiahmoo Town Centre Plan area.)

- B2.14 – Encourage underground parking and provide landscaped open spaces and pedestrian environments in place of surface parking.

(The required residential parking for the proposed apartment units is proposed to be underground.)

- C1.2 – Encourage the development of more compact and efficient land uses and servicing systems, emphasizing infill and intensification in order to use existing infrastructure systems efficiently and to minimize the costs of new utility infrastructure.

(The proposed development is of a sufficient density to utilize existing infrastructure efficiently and is located on an infill site.)

Secondary Plans

Land Use Designation

- The proposal complies with the Low-Rise Residential designation in the Stage 1 Semiahmoo Town Centre Plan (TCP). The proposal also complies with the Semiahmoo Town Centre Low-Rise Residential (6 storey) designation for this site.
- The TCP allows density to be considered on a gross site basis. The proposed gross FAR is 2.36 which is slightly higher than the site's Low-Rise Residential designation in the Semiahmoo Town Centre Plan, which allows a density up to 2.0 FAR on gross density. The density can be slightly increased when additional Community Amenity Contributions under Schedule G in the Zoning Bylaw are provided, provided the project is within the designation's Development Parameters.

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate an apartment building on the subject site. The proposed CD By-law identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone, and the proposed CD By-law is illustrated in the following table:

| Zoning | RM-70 Zone (Part 24) | Proposed CD Zone |
|-----------------------------------|---|--|
| Floor Area Ratio: | 1.50 | 2.45 |
| Lot Coverage: | 33% | 46% |
| Yards and Setbacks | 7.5m for the principal building. An underground parking facility is not to be located within 2.0m of the front lot line. | South 7.5 metres East 4.5 metres West 4.5 metres North 4.5 metres |
| Principal Building Height: | 50.0 metres | 19.4 metres |
| Amenity Space | | |
| Indoor Amenity: | 3.0 sq.m. per unit | 228 square metres |
| Outdoor Amenity: | 3.0 sq.m. per unit | 230 square metres |
| Parking (Part 5) | | Proposed |
| Residential: | | 106 |
| Residential Visitor: | | 16 |
| Total: | | 122 |

- The CD Zone proposes a floor area ratio (FAR) of 2.45 net relative to the 1.5 FAR permitted under the RM-70 Zone. The proposed gross FAR is 2.36 which is slightly higher than the site's Low-Rise Residential designation in the Semiahmoo Town Centre Plan, which allows a density up to 2.0 FAR on gross density. The density can be slightly increased when additional Community Amenity Contributions under Schedule G in the Zoning Bylaw are provided, provided the project is within the designation's Development Parameters.
- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The proposed 48% lot coverage for the site is appropriate for the proposed 5-storey building with a partial 6th storey.
- The proposed 4.5-metre north setback (17A Avenue) and the 4.5-metre west setback (154 Street) is reflective of current urban design standards that creates a more urban pedestrian environment and enhances surveillance of the public realm along streets. The proposed south setback is 6.5 metres and the east setback is 4.5-metres. The properties to the south are also designated Low-Rise Residential in the TCP and are anticipated to redevelop in a similar fashion as the subject site.
- The CD Zone proposes a lower building height of 19.4 metres relative to the building height of 50.0 metres permitted by the RM-70 Zone. The proposed building height reflects the applicant's proposal for a 5-storey building, which includes a partial 6th storey for the indoor amenity space.
- The applicant is proposing to provide 106 resident parking spaces and 16 visitor parking spaces, for a total of 122 residential parking spaces, which exceeds the Zoning By-law requirement of 118 residential parking spaces. All resident parking and resident visitor parking are provided underground. The residential parkade will be secured by an overhead gate.

- The parking count includes 3 accessible residential parking spaces. The applicant is also providing bike parking spaces for each apartment unit and the required 6 visitor bike parking spaces for a total of 98 bike spaces.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Adoption of the rezoning. The current rate is \$4,272 per unit.
- The proposed development will also be subject to the Tier 2 Capital Plan Project CACs for the amount of density greater than the Secondary Plan designation of 2.0 FAR (gross). The proposed density is 2.36 FAR (gross).

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 (now \$1,068) per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on February 23, 2024 and the Development Proposal Signs were installed on June 6, 2023. Staff received 1 response from a neighbouring resident as follows (*staff comments in italics*):

An adjacent resident/property owner inquired whether they could consolidate their property with the subject site.

(Staff advised to discuss with the applicant, however, noted that consolidation was not a requirement of the Semiahmoo Town Centre Plan and consolidation of the subject properties with the inquirer's land is not proposed.)

DEVELOPMENT PERMIT

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character. The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant is proposing a 5-storey apartment building containing 76 units, consisting of 3 studio units, 50 one-bedroom units, 12 two-bedroom units, and 11 three-bedroom units.
- The site plan proposes a south setback of 6.5 metres. The building is brought closer to the streets (17 Avenue and 154 Street) with 4.5 metre setbacks to animate the streets and provide visual surveillance of the public realm. The ground floor units have an exterior door to the sidewalk (and an interior door to the internal hallway), providing direct access and promotes interaction with the public realm.
- The primary residential entrance is on the western side of the building, where there is a lobby area, and also a mail pick-up area. The design incorporates CPTED principles, including landscape design that allows clear and unobstructed views, visible and well-lit walkways and entries, and glazed doors in stairwell and parkade lobbies.
- The applicant is proposing to provide two levels of underground parking, which will provide for the required resident and visitor parking. The parkade will be accessed from the rear lane at the southeast corner of the building. No at-grade parking is proposed.
- The design of the building is contemporary. The building is well-articulated with a palette of materials and colours, which provides for visual interest on the facades. The upper level amenity area is recessed, which has the effect of reducing the massing, allowing for a more sensitive interface with the surrounding properties and streets.
- High quality materials and careful detailing are used to achieve a high quality building treatment. The proposed exterior materials include brick (brown), hardie-panel siding (white, beige, tan), and spandrel glass (brown).

Signage

- The applicant is proposing to have a small sign identifying the building name on an aluminum panel with channel letter on architectural concrete near the main lobby.

Landscaping

- The landscaping includes a mix of trees, shrubs, and ground cover. The landscaping concept will provide a safe pedestrian environment, attractive landscaping features, and a combination of plantings that will provide visual interest throughout the year.

- A plaza area with seating and a visitor bike rack is proposed near the front lobby. A path with ground lighting is proposed around the building, along the west and south property lines.
- A small pedestrian plaza is proposed at the intersection of 17A Avenue and 154 Street. A bench and a bike rack are proposed near this plaza space.

Indoor Amenity Space

- The Zoning By-law requires that 228 square metres of both indoor and outdoor amenity space be provided for the residential units in the proposed building, based on the requirement of 3 square metres per dwelling unit.
- The proposed 230 square metres of indoor amenity slightly exceeds the minimum required under the Zoning By-law. The indoor amenity space is proposed on the roof as a partial sixth level and contains a gym area, a washroom, and a lounge area with kitchen facilities. The lounge area opens directly onto the rooftop outdoor amenity space.

Outdoor Amenity Space

- The applicant is proposing a total of 351 square metres of outdoor amenity space, which exceeds the area required under the Zoning By-Law. The outdoor amenity area is located adjacent to the upper level indoor amenity area, and also on the roof level. The outdoor amenity area contains outdoor seating, and a children's play area.
- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. This includes a review prior to final adoption to ensure coordination across design disciplines.
- The applicant has been provided a list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- John Monk, ISA Certified Arborist prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

| Tree Species | Existing | Remove | Retain |
|--|----------|--------|--------|
| Deciduous Trees (excluding Alder and Cottonwood Trees) | | | |
| Flowering Plum | 5 | 5 | 0 |
| Coniferous Trees | | | |
| Deodar Cedar | 1 | 1 | 0 |
| Western Red Cedar | 2 | 2 | 0 |
| Douglas Fir | 1 | 1 | 0 |

| | | | |
|--|------------|----------|----------|
| Total | 9 | 9 | 0 |
| <hr/> | | | |
| Total Replacement Trees Proposed (excluding Boulevard Street Trees) | 40 | | |
| Total Retained and Replacement Trees Proposed | 40 | | |
| Estimated Contribution to the Green City Program | \$0 | | |

- There are a total of 9 trees on the subject property. There are no Alder or Cottonwood trees on the site. The applicant proposes to retain no trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Additionally, the Tree Preservation Summary (Appendix IV) notes that there are an additional 7 offsite trees on an adjacent property at 15448 17A Avenue. These trees are proposed to be removed and replaced under a separate tree cutting permit.
- For those trees that cannot be retained, the applicant will be required to plant a 2 to 1 replacement ratio for the trees. This will require a proposed total of 18 replacement trees on the site. The applicant has proposed 40 replacement trees that can be accommodated on the site, which exceeds the replacement requirement.
- The new trees on the site will consist of a variety of trees including Maple, Forest Pansey Redbud, Autumn Gold Maidenhair, Serbian Spruce, and Japanese Snowbell.
- In summary, a total of 40 trees are proposed to be replaced. The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

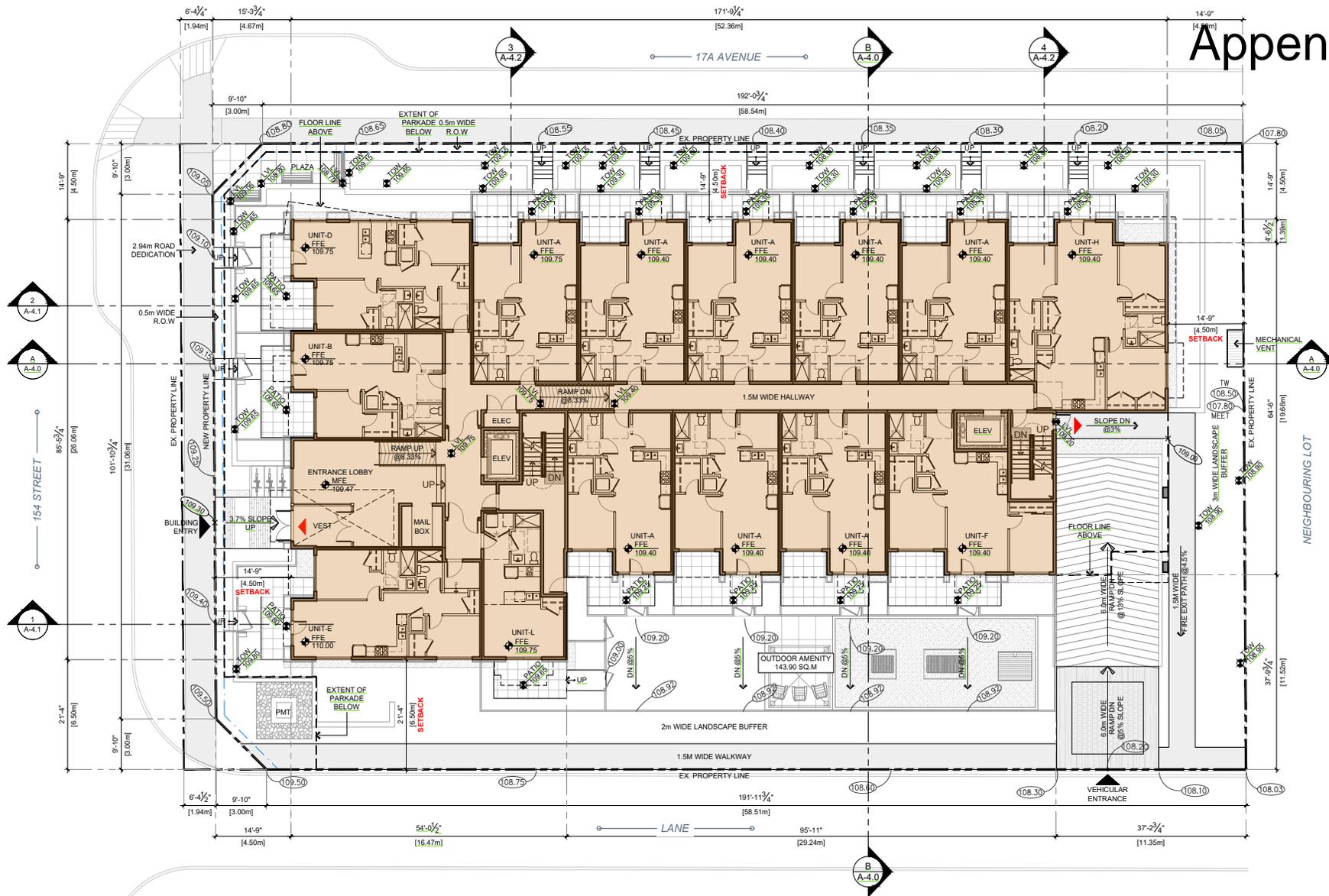
- Appendix I. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Preservation

approved by Shawn Low

Don Luymes
 General Manager
 Planning and Development

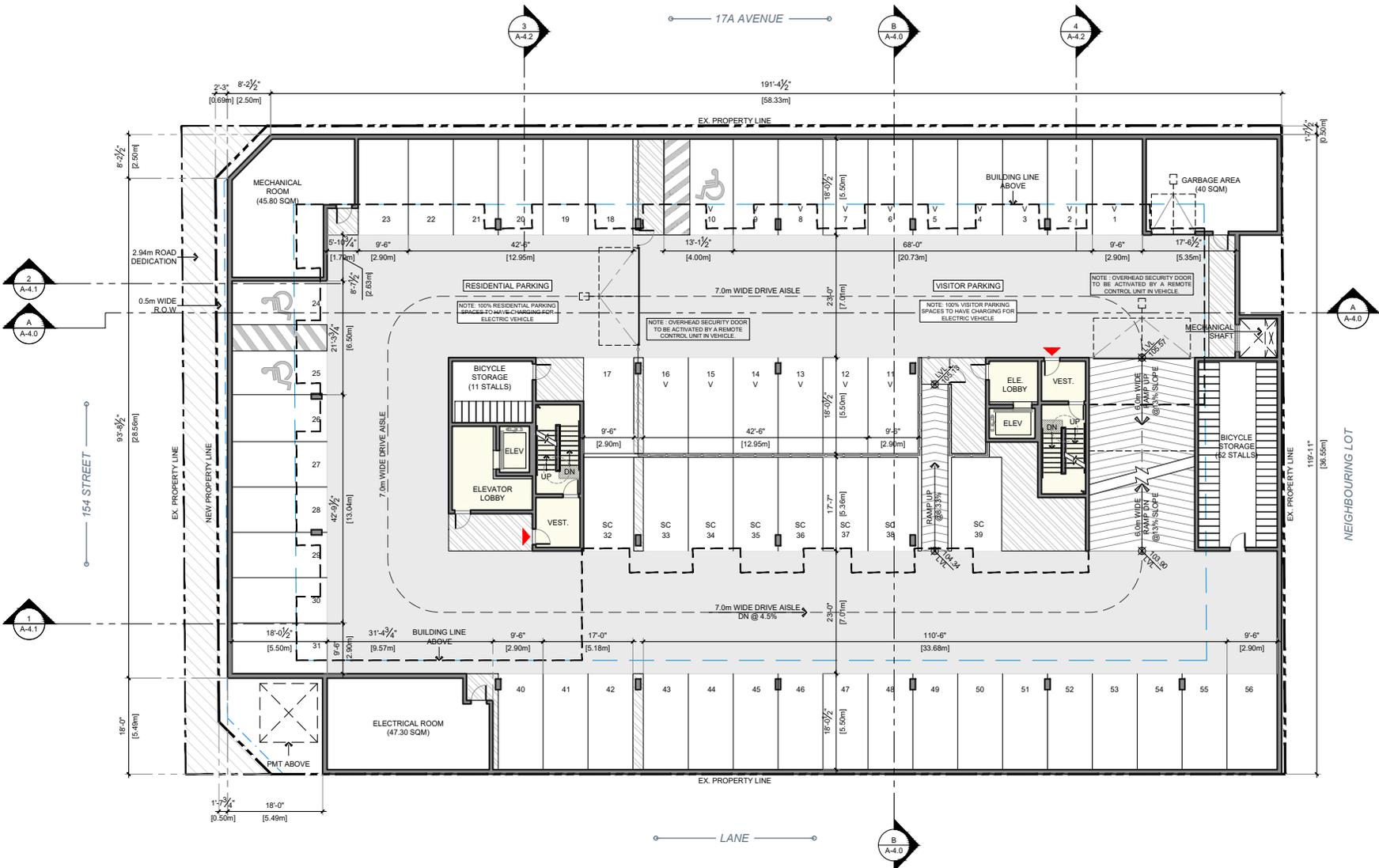


Appendix I

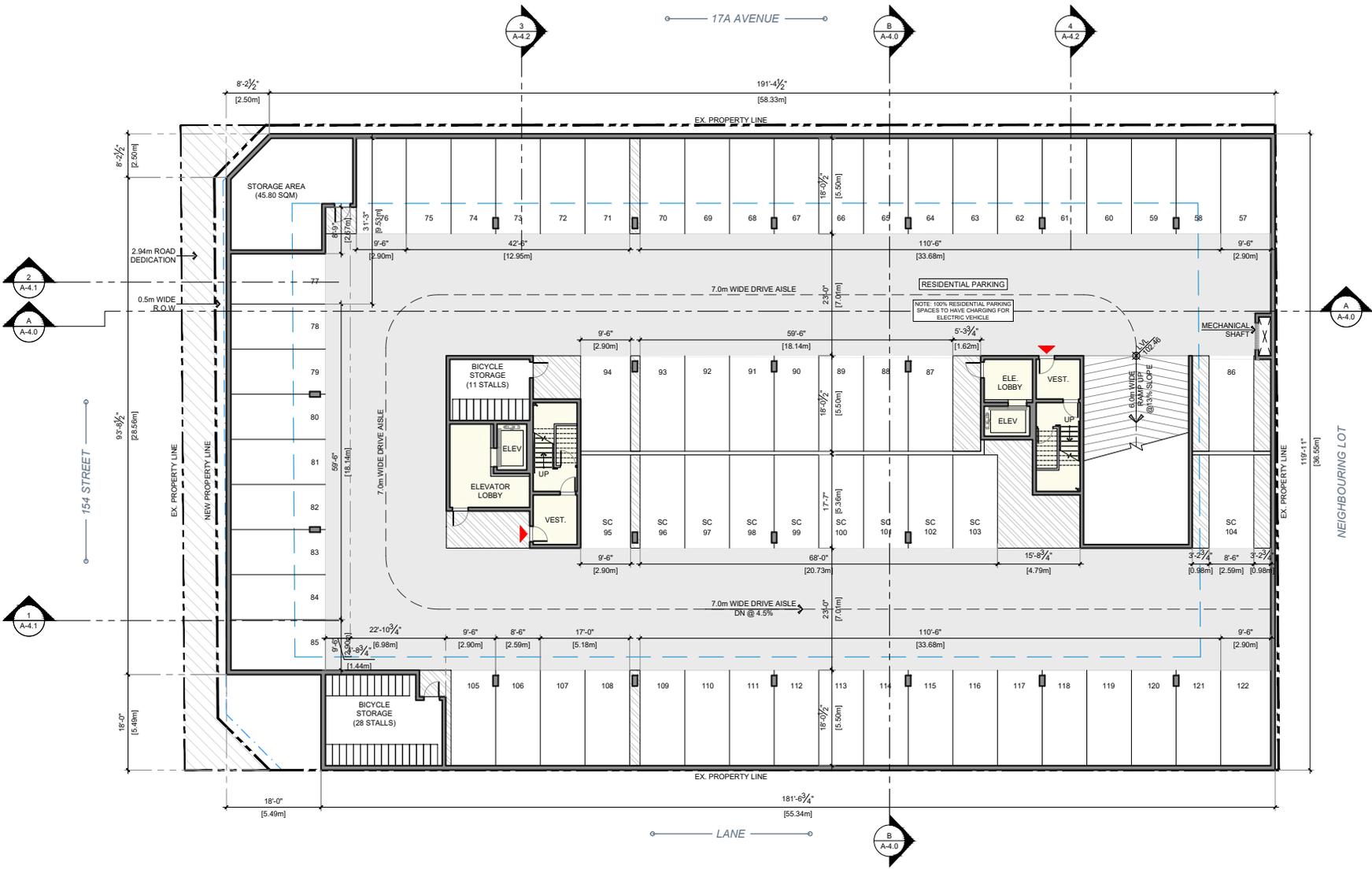


December 15, 2023





December 15, 2023



December 15, 2023



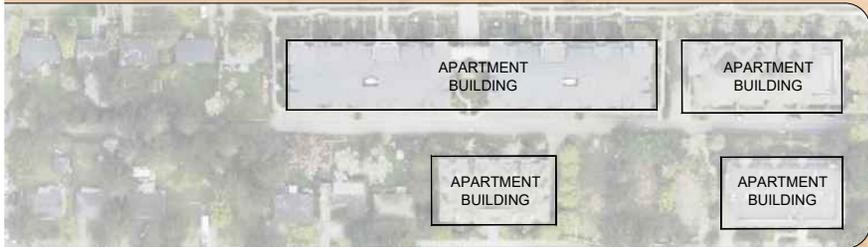
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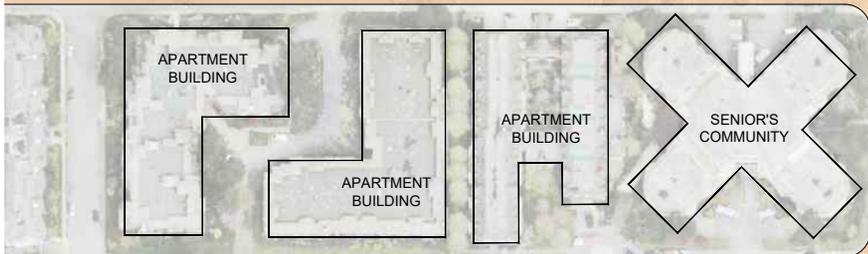
← 17A AVENUE →

← 17A AVENUE →



← 17 AVENUE →

← 17 AVENUE →



← 16A AVENUE →

← 16A AVENUE →

December 15, 2023

| | | | | | |
|----------------------------------|-------------------|--|-------|--------|------|
| LOT INFO | ADDRESS | 15410,15430,15432 17A Avenue, Surrey, BC | | | |
| | LEGAL DESCRIPTION | LOT 65 BLOCK 3 SECTION 14 TOWNSHIP 1 PLAN NWP14068 NWD PART SW 1/4, LOT 64 SECTION 14 TOWNSHIP 1 PLAN NWP14068 NWD PART SW 1/4, LOT 63 SECTION 14 TOWNSHIP 1 PLAN NWP14068 NWD | | | |
| | SITE AREA | (Sqft) | (Sqm) | (Acre) | (Ha) |
| | LOT AREA | 25,317 | 2,352 | 0.58 | 0.24 |
| ROAD DEDICATION ALONG 154 STREET | | 871 | 81 | 0.02 | 0.01 |
| NET AREA (AFTER DEDICATION) | | 24,446 | 2,271 | 0.56 | 0.23 |

| | | | |
|-------------------------------|-----------------------|-----------|---------------------|
| ZONING | ZONING | CURRENT | PROPOSED |
| | | RF | CD (Based on RM-70) |
| | FAR (ON GROSS) | PERMITTED | PROPOSED |
| | | 2.00 | 2.36 |
| | SETBACKS | PROPOSED | |
| | NORTH (ALONG 17A AVE) | 4.5m | |
| SOUTH (ALONG LANE) | 6.5m | | |
| EAST (ALONG NEIGHBOURING LOT) | 4.5m | | |
| WEST (ALONG 154 STREET) | 4.5m | | |
| BLDG HEIGHT | PERMITTED | PROPOSED | |
| | 5 STOREY | 5 STOREY | |

| | | | | | | |
|---|-------------------------------------|-------------|--------------|----------------|-----------|------------|
| PROPOSED FLOOR AREA SUMMARY | SITE COVERAGE | (Sqft) | (Sqm) | (%age) | REMARKS | |
| | PROPOSED | 11472 | 1,066 | 45.31% | | |
| | FAR CALCULATION (ON LOT GROSS AREA) | | | | | |
| | | RESIDENTIAL | CIRCULATIONS | INDOOR AMENITY | BUILDABLE | EFFICIENCY |
| | | (Sqft) | (Sqft) | (Sqft) | (Sqft) | |
| | MAIN FLOOR | 9,286 | 2,186 | - | 11,472 | 81% |
| | SECOND FLOOR | 10,387 | 1,500 | - | 11,887 | 87% |
| | THIRD FLOOR | 10,652 | 1,500 | - | 12,152 | 88% |
| | FOURTH FLOOR | 10,652 | 1,490 | - | 12,142 | 88% |
| | FIFTH FLOOR | 10,652 | 1,490 | - | 12,142 | 88% |
| ROOF LV(L INDOOR AMENITY) | | | 2,484 | | | |
| TOTAL AREA (Excluding Indoor Amenity and Outdoor Amenity) | | | | | 59,795 | |

| | | | | | | |
|---------------|------------------------|------------|-------------|-------------|-----------------|-------------------|
| UNIT SCHEDULE | UNIT COUNT | | | | | |
| | TYPE | NO. OF BR. | AREA (Sqft) | TOTAL UNITS | Storage @ Units | TOTAL AREA (Sqft) |
| | UNIT-A | 1BR +DEN | 630 | 8 | | 5,040 |
| | UNIT-A1 | 1BR +DEN | 630 | 15 | | 9,450 |
| | UNIT-A2 | 1BR +DEN | 630 | 15 | | 9,450 |
| | UNIT-B | 1BR +DEN | 594 | 1 | | 594 |
| | UNIT-B1 | 1BR +DEN | 594 | 7 | | 4,158 |
| | UNIT-C | 1BR | 636 | 4 | | 2,544 |
| | UNIT-D | 2BR | 727 | 1 | | 727 |
| | UNIT-D1 | 2BR | 727 | 3 | | 2,181 |
| | UNIT-D2 | 2BR | 767 | 1 | | 767 |
| | UNIT-E (NOT ADAPTABLE) | 2BR | 762 | 1 | | 762 |
| | UNIT-E1 | 2BR | 762 | 1 | | 762 |
| | UNIT-E2 | 2BR +DEN | 883 | 1 | | 883 |
| | UNIT-F | 2BR | 768 | 1 | | 768 |
| | UNIT-G | 2BR +DEN | 858 | 2 | | 1,716 |
| | UNIT-H | 3BR | 1,066 | 1 | | 1,066 |
| | UNIT-H1 | 3BR | 933 | 1 | | 933 |
| | UNIT-I | 3BR | 875 | 4 | | 3,500 |
| | UNIT-J | 3BR | 972 | 3 | | 2,916 |
| UNIT-K | 3BR | 1,026 | 2 | | 2,052 | |
| UNIT-L | STUDIO | 402 | 1 | | 402 | |
| UNIT-L1 | STUDIO | 478 | 2 | | 956 | |
| UNIT-M | 2BR +DEN | 891 | 1 | | 891 | |
| TOTAL | | | | 76 | | 50,671 |

| | | | | | | |
|---------------|--------------|--------|---------------|---------------|-------|-------|
| UNIT SCHEDULE | UNIT COUNT | | | | | |
| | FLOOR | STUDIO | 1BR & 1BR+DEN | 2BR & 2BR+DEN | 3 BR | TOTAL |
| | MAIN FLOOR | 1 | 9 | 3 | 1 | 14 |
| | SECOND FLOOR | 1 | 9 | 3 | 2 | 15 |
| | THIRD FLOOR | 1 | 11 | 2 | 2 | 16 |
| | FOURTH FLOOR | 1 | 11 | 2 | 2 | 16 |
| | FIFTH FLOOR | 0 | 10 | 2 | 3 | 15 |
| TOTAL | | 4 | 50 | 12 | 10 | 76 |
| PERCENTAGE | | 5.3% | 65.8% | 15.8% | 13.2% | |

| | | | | | |
|--------------------|--------------------------------|----------------------------|-----------------|-----------------|------------------------------|
| OFF STREET PARKING | PARKING REQUIREMENTS BREAKDOWN | | | | |
| | RESIDENTIAL | NO. OF UNITS | REQUIRED / UNIT | REQUIRED STALLS | PROVIDED (@ Parkade Lvl 1&2) |
| | STUDIO, 1 BR, 1 BR+DEN | 54 | 1.3 | 70 | 72 |
| | 2 BR & 3 BR | 22 | 1.5 | 33 | 34 |
| | VISITOR'S | 76 | 0.2 | 15 | 16 |
| | TOTAL | | | 118 | 122 |
| | ACCESSIBLE CARS | 2% OF TOTAL PARKING STALLS | | | 2 |
| SMALL CARS | | | | | 18 |
| BICYCLE PARKING | 76 | 1.2 /UNIT + 6 VISITOR'S | 97.2 | | 98 |

| | | | | |
|------------------------------|----------------------|-------|--------|-------------------------------|
| AMENITY CALCULATIONS | AMENITIES | | | |
| | INDOOR AMENITY | Sq.m. | Sq.ft. | REMARKS |
| | REQUIRED | 228 | 2,454 | 3.0 Sq.m. or 32.2 Sq.ft/ UNIT |
| | PROPOSED (@ROOF LVL) | 230 | 2,472 | |
| | OUTDOOR AMENITY | Sq.m. | Sq.ft. | REMARKS |
| | REQUIRED | 228 | 2,454 | 3.0 Sq.m. or 32.2 Sq.ft/ UNIT |
| PROPOSED (@GRADE & ROOF LVL) | 351 | 3,782 | | |



STREETSCAPE FROM 17A AVENUE TOWARDS SUBJECT LOT



STREETSCAPE FROM 154 STREET TOWARDS SUBJECT LOT

December 15, 2023



SHADOW DIAGRAM @ EQUINOX (MARCH) 10 am



SHADOW DIAGRAM @ EQUINOX (MARCH) 12 pm



SHADOW DIAGRAM @ EQUINOX (MARCH) 2 pm



SHADOW DIAGRAM @ EQUINOX (SEPTEMBER) 10 am



SHADOW DIAGRAM @ EQUINOX (SEPTEMBER) 12 pm



SHADOW DIAGRAM @ EQUINOX (SEPTEMBER) 2 pm



The upper 3 storey character is balanced with the lower 2 storey character with box like elements around windows which create a sense of repetition and blends well with the overall neighbourhood character with the use of subtle colors.



Vertical panels were provided to create dynamism and accentuate vertical components in North and West facades.



Two storey elements are used to connect the building with the street and to create rhythm to the horizontal north facade.



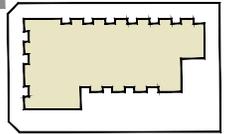
The main entrance of the building is enhanced with curtain wall and a canopy that connects with other elements of the building. Full curtain wall on entrance has been provided to create connectivity to the street and gives a sense of permeability.



Facia Aluminum glass balconies help creating a clean design to the building.



Key Plan

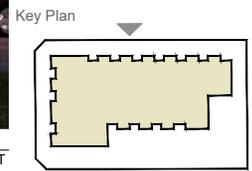


① PERSPECTIVE ALONG 154 STREET & 17A AVENUE INTERSECTION FROM NORTH-WEST TOWARDS DEVELOPMENT





① PERSPECTIVE ALONG 17A AVENUE
FROM NORTH TOWARDS DEVELOPMENT

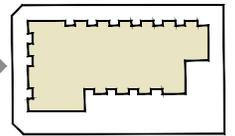


Key Plan

①



Key Plan



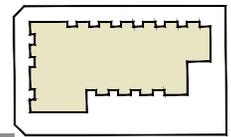
① PERSPECTIVE ALONG 154 STREET FROM WEST TOWARDS DEVELOPMENT





① PERSPECTIVE ALONG 154 STREET & LANE
FROM SOUTH-WEST TOWARDS DEVELOPMENT

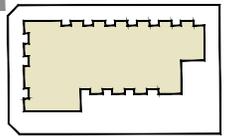
Key Plan





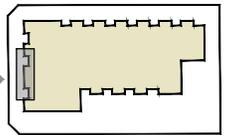
① PART PERSPECTIVE ALONG 154 STREET & 17A AVE INTERSECTION FROM NORTH-WEST TOWARDS DEVELOPMENT

Key Plan





Key Plan

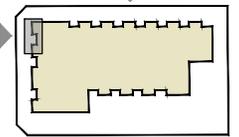


① PART PERSPECTIVE ALONG 154 STREET FROM WEST TOWARDS DEVELOPMENT





Key Plan

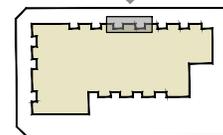


① PART PERSPECTIVE ALONG 154 STREET FROM WEST TOWARDS DEVELOPMENT





Key Plan



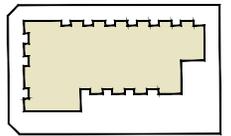
① PART PERSPECTIVE ALONG 17A AVENUE FROM NORTH TOWARDS DEVELOPMENT





① PART PERSPECTIVE ALONG 17A AVENUE
FROM NORTH-WEST TOWARDS DEVELOPMENT

Key Plan



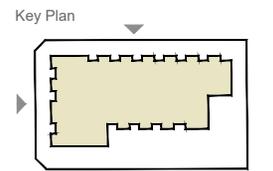
①



1 NORTH ELEVATION (17A AVENUE)
SCALE: NTS



2 WEST ELEVATION (154 STREET)
SCALE: NTS



1

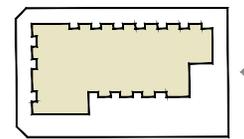


1 SOUTH ELEVATION (LANE)
SCALE: NTS



2 EAST ELEVATION (NEIGHBOURING LOT)
SCALE: NTS

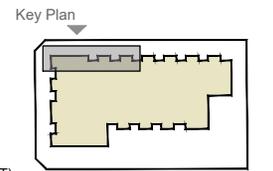
Key Plan



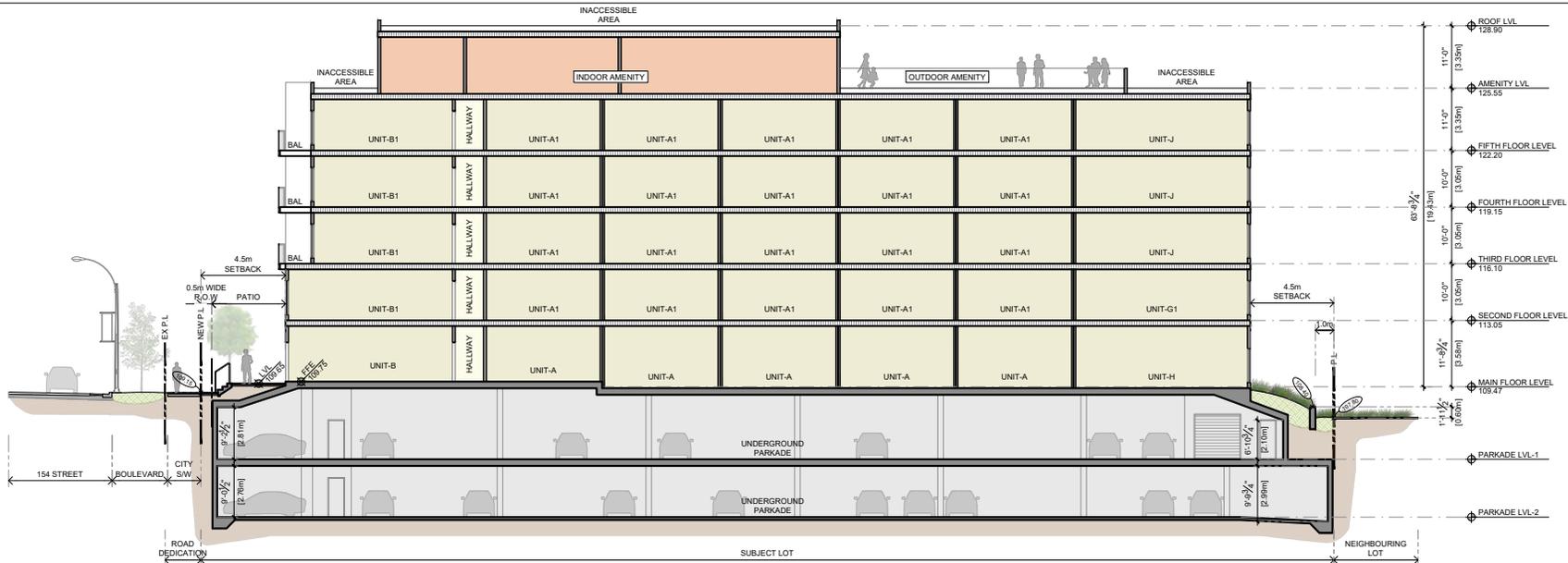
Material Legend

| Type | Description | Reference Image | Color | Material |
|------|---|-----------------|---|----------|
| A1 | Stick-built curtain wall system <ul style="list-style-type: none"> • Mason panels with IGU • Outside-glass • Clear reflective laminated glass • Spandrel panel with shadow box • Product: Kawneer 1800 Curtain Wall System or similar | | Aluminium Color Benjamin Moore- Graphite 1803 Spandrel Glass Opal Coat Medium Gray #3-0586 | |
| A2 | Fiber Cement Panel cladding system & trim <ul style="list-style-type: none"> • Product: Safepanel Large • Panel Size: 3050 x 1350 mm • Panel Thickness: 12 mm | | Color Amber 753 | |
| A3 | Fiber Cement Panel cladding system & trim <ul style="list-style-type: none"> • Product: Safepanel Large • Panel Size: 3050 x 1350 mm • Panel Thickness: 12 mm | | Color Terra 754 | |
| A4 | Fiber Cement Panel cladding system & reveals <ul style="list-style-type: none"> • Product: James Hardie Panel(Smooth) • Panel Size: 48" X 96" (Max) • Panel Thickness: 0.312" | | Color Arctic White | |
| A5 | Fiber Cement Panel cladding system & reveals <ul style="list-style-type: none"> • Product: James Hardie Panel(Smooth) • Panel Size: 48" X 96" (Max) • Panel Thickness: 0.312" | | Color Benjamin Moore- Gray Shower 2125-30 | |

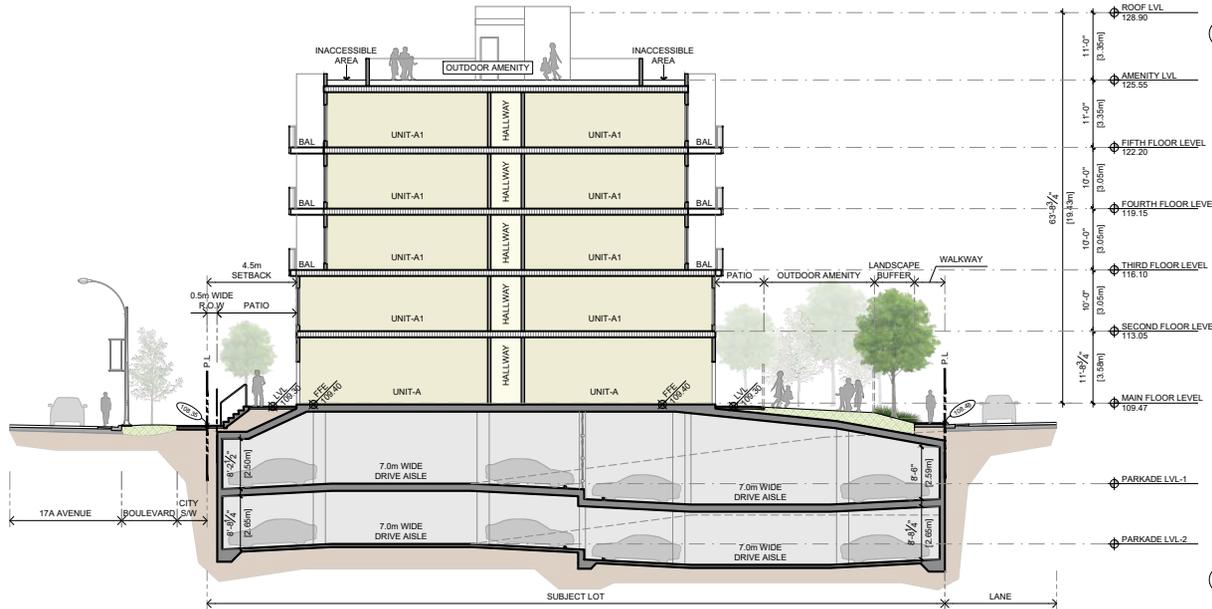
| Type | Description | Reference Image | Color | Material |
|------|---|-----------------|---|----------|
| A6 | Facets Beams <ul style="list-style-type: none"> • Product: James Hardie(trim: Bead (Smooth) • Panel Size: 12" • Panel Thickness: 3/4" | | Color Benjamin Moore- Midnight Dream 2129-30 | |
| A7 | Aluminium Glass Guardrail <ul style="list-style-type: none"> • Powder Coated • Safety Glass • Spandrel Glass | | Aluminium Color Benjamin Moore- Graphite 1803 Spandrel Opal Coat Medium Gray #3-0586 | |
| A8 | Aluminium Picket Guardrail <ul style="list-style-type: none"> • Powder Coated | | Color Benjamin Moore- Graphite 1803 | |
| A9 | Vinyl Window <ul style="list-style-type: none"> • Painted • Clear reflective Laminated Glass | | Color Benjamin Moore- Graphite 1803 | |
| A10 | WEATHER PROTECTION CANOPY <ul style="list-style-type: none"> • Painted structural steel support • Bent Steel plate • Clear laminated glass • Painted steel A | | Color Benjamin Moore- Graphite 1803 | |



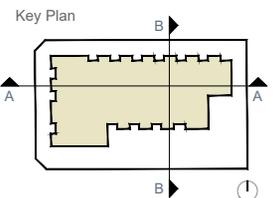
1 NORTH ELEVATION(PART)
Scale: N.T.S.

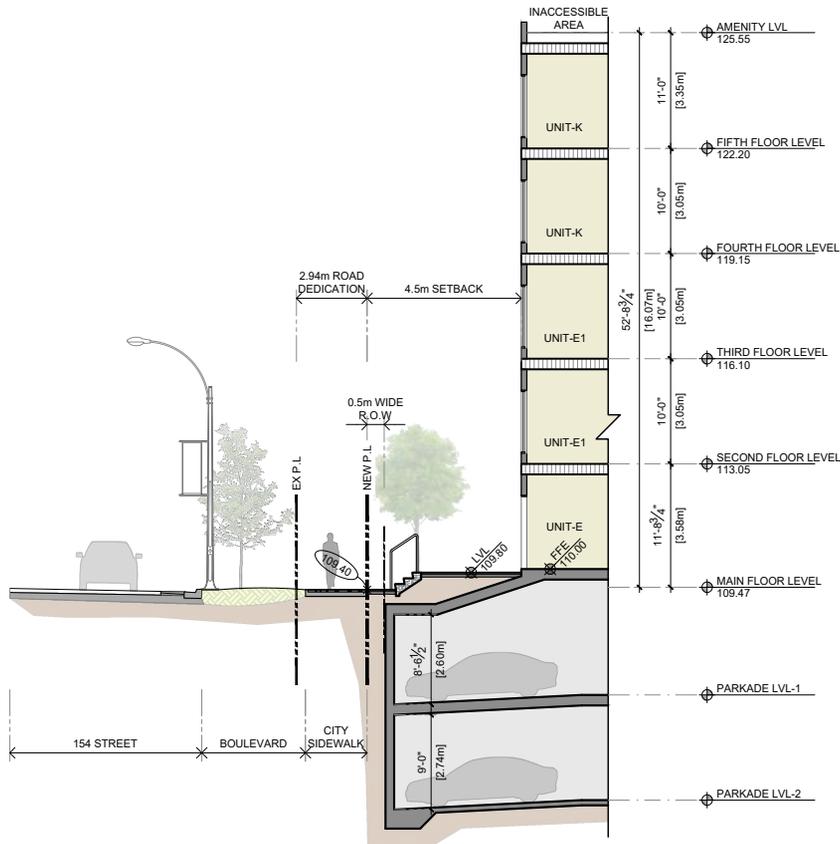


1 SECTION AA
Scale: N.T.S

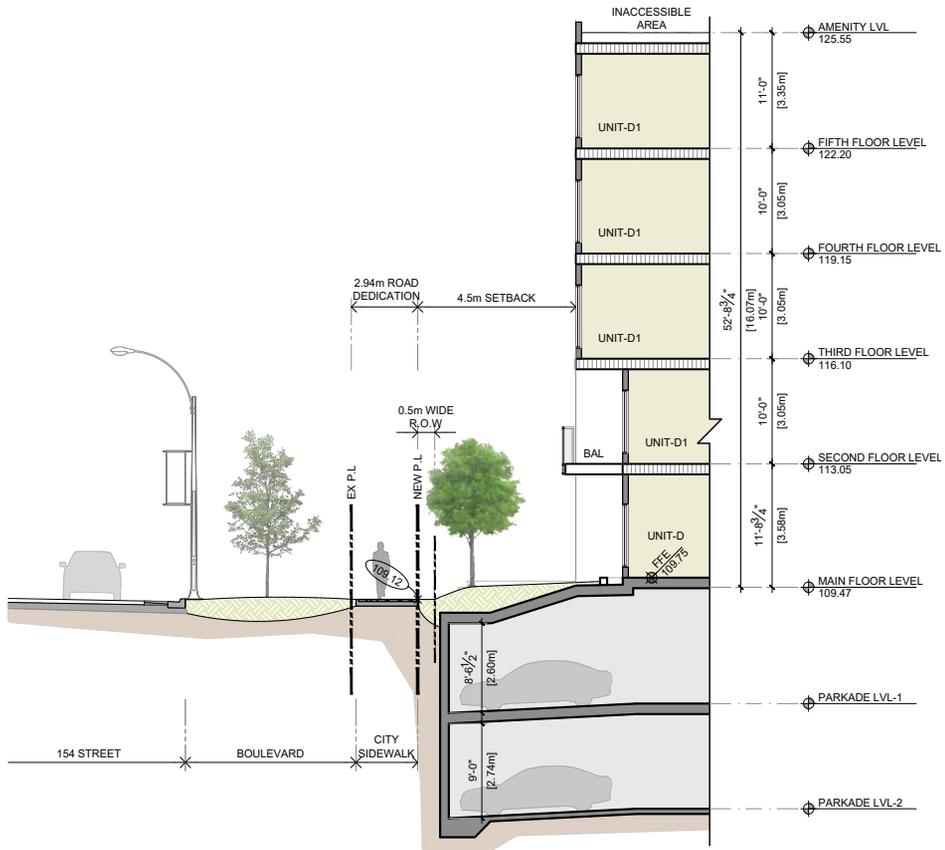


2 SECTION BB
Scale: N.T.S

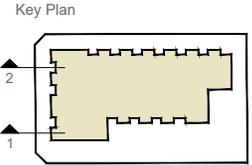


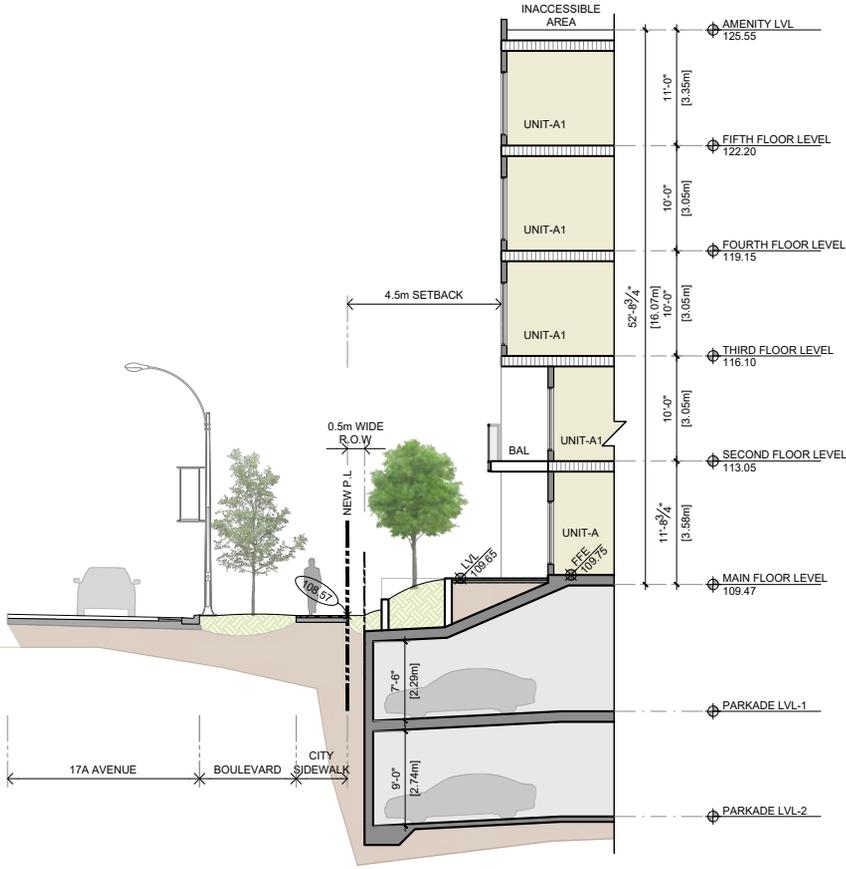


1 SECTION 1
Scale: N.T.S

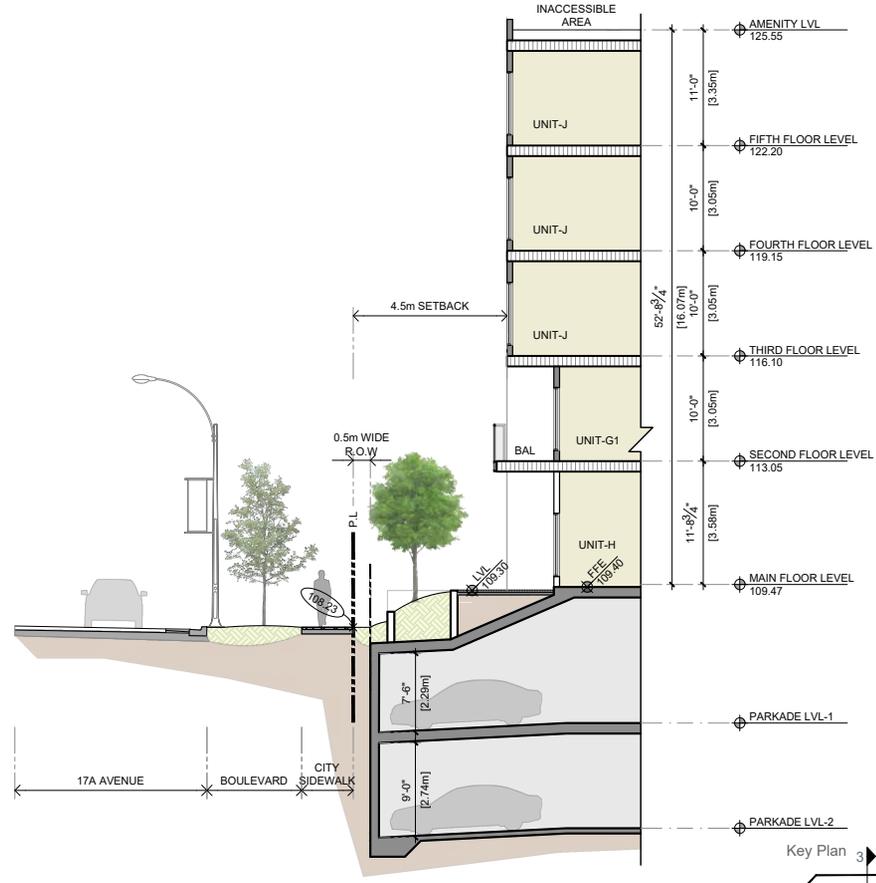


2 SECTION 2
Scale: N.T.S

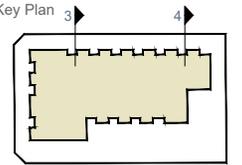




1 SECTION 3
Scale: N.T.S



2 SECTION 4
Scale: N.T.S



MULTIFAMILY RESIDENTIAL DEVELOPMENT

15410, 15430, and 15432 17A Avenue
Surrey, BC

REVISED PER CITY DEVELOPMENT PERMIT COMMENTS December 13, 2023

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, SPECIFICATIONS, AND CORRESPONDENCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER LANDSCAPE MATERIALS ARE TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

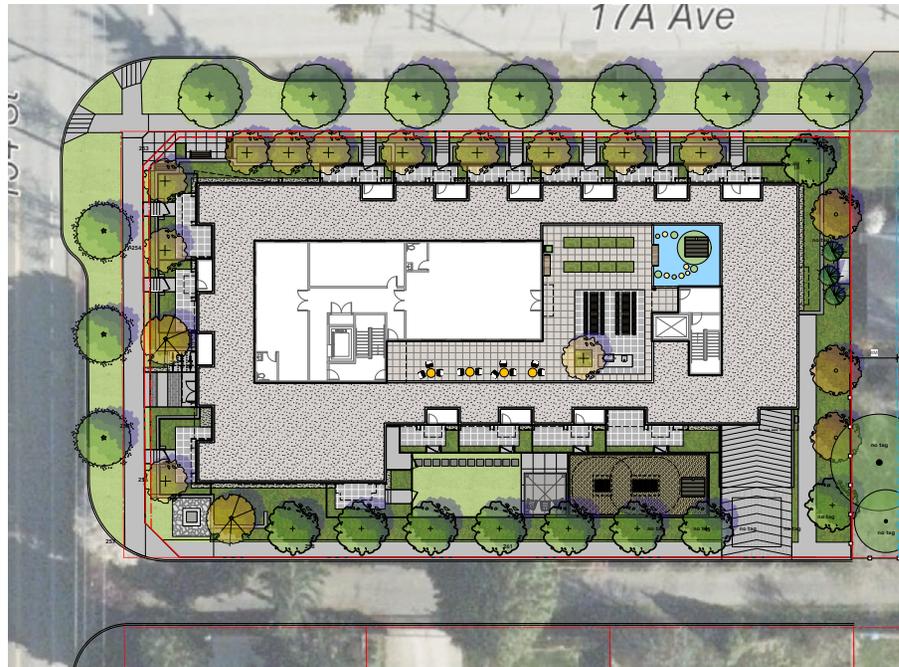
ALL PUBLIC REALM DETAILS, AND FINAL SELECTION / APPROVAL OF ALL STREET TREES TO BE APPROVED BY THE CITY OF SURREY ARBORIST.

ALL LANDSCAPING AND LANDSCAPE MATERIAL SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARDS, LATEST EDITION.

GUARDRAILS AND PRIVACY SCREENS INCLUDED ON LANDSCAPE PLANS ARE INDICATIVE OF POTENTIAL EXTENT ONLY AND NOT INTENDED TO REPRESENT A LANDSCAPE PLAN REQUIREMENT; REFER TO ARCHITECTURAL PLANS IN ALL CASES.

LANDSCAPE DRAWING INDEX

| | |
|------|------------------------------------|
| L0.0 | COVER SHEET |
| L0.1 | TREE MANAGEMENT PLAN |
| L1.0 | OVERALL LANDSCAPE CONCEPT |
| L1.1 | LANDSCAPE CONCEPT - LEVEL 1 |
| L1.2 | LANDSCAPE CONCEPT - ROOF |
| L1.3 | ROOF AMENITY - ENLARGEMENT |
| L1.4 | LANDSCAPE GRADING PLAN |
| L1.5 | LANDSCAPE LIGHTING PLAN - GROUND |
| L1.6 | LANDSCAPE LIGHTING PLAN - ROOF |
| L2.0 | PLANTING PRECEDENTS AND PLANT LIST |
| L2.1 | PLANTING PLAN - GROUND |
| L2.2 | PLANTING PLAN - ROOF |
| L2.3 | SOIL DEPTH PLAN |
| L5.0 | MATERIAL PALETTE |
| L5.1 | DETAILS |
| L5.2 | DETAILS |
| L5.3 | DETAILS |
| L5.4 | DETAILS |



David Stoyko
Landscape Architect

2686 6TH AVENUE EAST
VANCOUVER BC V6M 1R3
P:604.720.0048

JEDI STOYKO LANDSCAPE ARCHITECTURE DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ANY ELEMENT AT THE PROJECT SITE, INCLUDING UTILITIES AND/OR CONCEALED STRUCTURES, OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM OTHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

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| 5 | REVISED PER CITY DP COMMENTS 23-10-30 |
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| 3 | REVISED PER CITY DP COMMENTS 23-03-16 |
| 2 | ISSUED FOR DEVELOPMENT PERMIT 23-03-01 |
| 1 | ISSUED FOR REVIEW 23-02-21 |
| REVISIONS | |

MULTI FAMILY RESIDENTIAL DEVELOPMENT

15410, 15430, and 15432 17A Ave.
Surrey, British Columbia

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| Scale: | 1:200 |
| Drawn: | DS |
| Reviewed: | DS |
| Project No. | 23-003 |

COVER PAGE

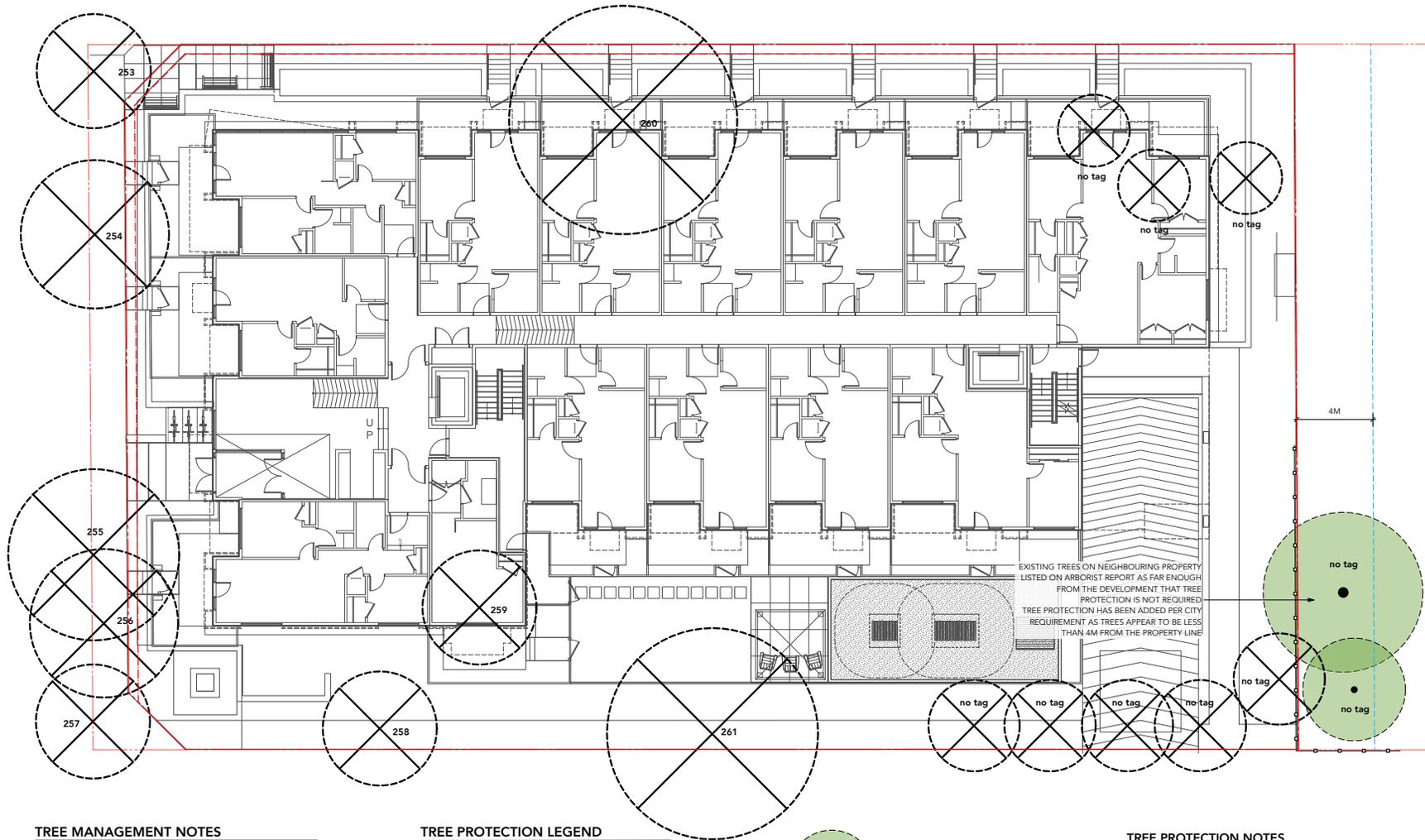


L0.0

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TREE MANAGEMENT NOTES

TREE LOCATIONS ARE BASED ON THE ARBORIST REPORTS BY OUTLOOK ARBORIST SERVICES, JOHN MONK.

TREE MANAGEMENT SUMMARY

| | |
|-----------------------------------|------|
| ON-SITE TREES RETAINED | 0 |
| OFF-SITE TREES RETAINED | 2 |
| ON-SITE TREES TO BE REMOVED | 17 |
| PROPOSED DECIDUOUS TREE (On-site) | 36 |
| (Off-site street tree) | (28) |
| | (19) |
| PROPOSED EVERGREEN TREE | 3 |

TREE PROTECTION LEGEND



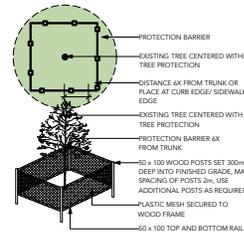
SYMBOL DESCRIPTION

TREE TO BE RETAINED
PER ARBORIST REPORT

TREE TO BE REMOVED
PER ARBORIST REPORT

TREE PROTECTION FENCING
TREE PROTECTION FENCING TO BE INSTALLED PER CITY OF VANCOUVER STANDARDS AND INSPECTED BY ARBORIST PRIOR TO CONSTRUCTION ACTIVITY

TREE TAG
PER ARBORIST REPORT



TREE PROTECTION NOTES

- DO NOT REMOVE OR RELOCATE ANY TREE, EXCEPT AS INDICATED ON PLANS.
- INSTALL TREE PROTECTION BARRIERS AROUND ALL TREES TO BE PRESERVED. REMOVE ALL TREE PROTECTION BARRIERS AFTER CONSTRUCTION.
- CONSULTANT TO PROVIDE WRITTEN INSPECTION AND APPROVAL OF ALL BARRIERS BEFORE CONSTRUCTION BEGINS.
- LANDSCAPE ARCHITECT OR PROJECT ARBORIST TO BE ON-SITE FOR WORK WITHIN TREE PROTECTION ZONES OR EXISTING TREE ROOTS.
- ALL TREE PROTECTION FENCING MUST REMAIN IN PLACE AND IN GOOD ORDER THROUGHOUT THE CONSTRUCTION PROCESS. ANY ALTERATION OF THE FENCES MUST BE PRE-APPROVED BY THE ARBORIST.
- ANY DAMAGE TO EXISTING TREES SHALL BE REPAIRED TO THE SATISFACTION ON THE CONSULTANT AT CONTRACTOR EXPENSE.

MULTI FAMILY RESIDENTIAL DEVELOPMENT

15410, 15430, and 15432 17A Ave.
Surrey, British Columbia

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TREE MANAGEMENT PLAN



David Stoyko
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**OVERALL LANDSCAPE
CONCEPT**



JUDY STOYKO LANDSCAPE ARCHITECTURE DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ANY ELEMENT AT THE PROJECT SITE, INCLUDING UTILITIES AND/OR CONCEALED STRUCTURES, OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM OTHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

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**MULTI FAMILY
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DEVELOPMENT**

15410, 15430, and 15432 17A Ave.
Surrey, British Columbia

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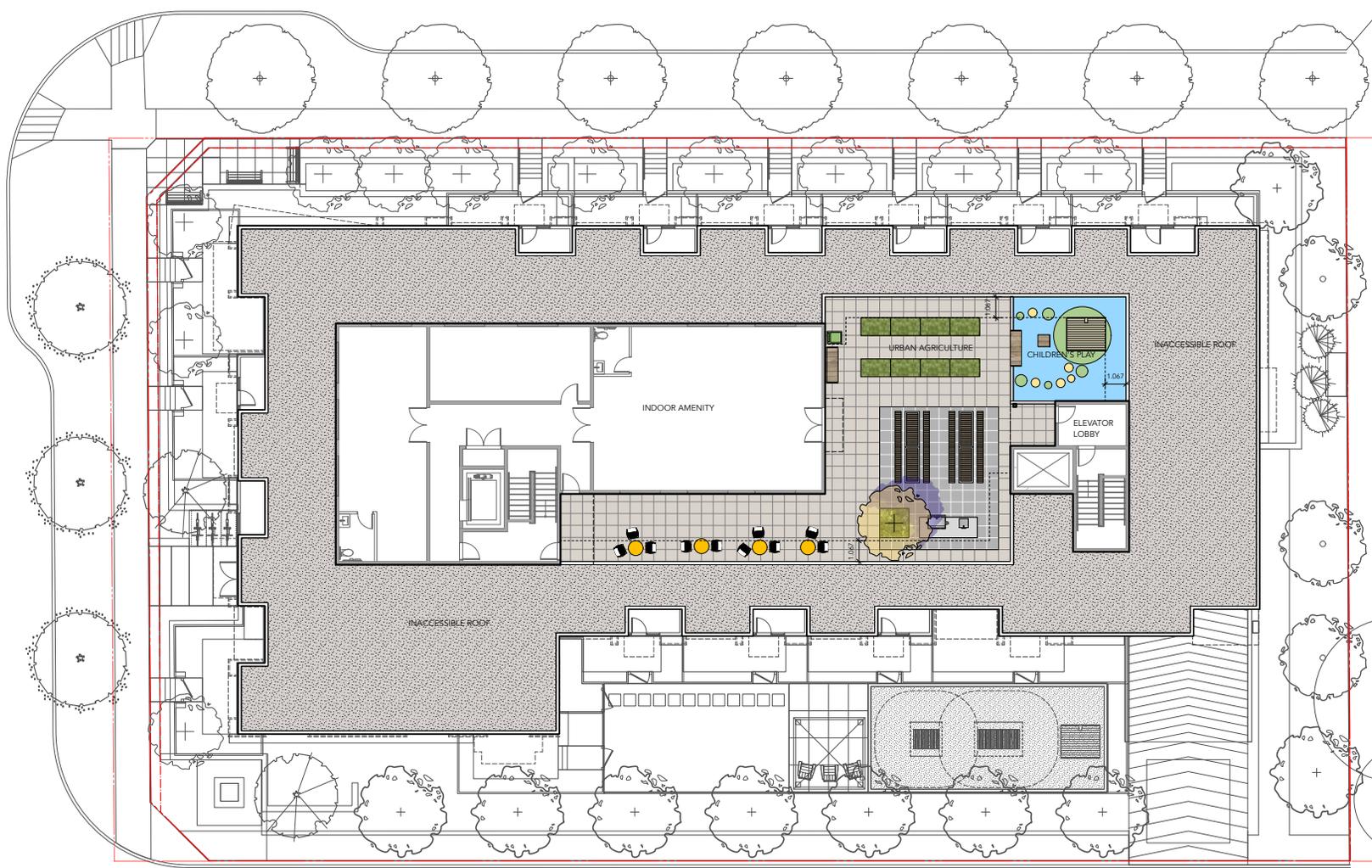
**LANDSCAPE
CONCEPT LEVEL 1**



JUDY STOYKO LANDSCAPE ARCHITECTURE DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ANY ELEMENT AT THE PROJECT SITE, INCLUDING UTILITIES AND/OR CONCEALED STRUCTURES, OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM OTHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

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Surrey, British Columbia

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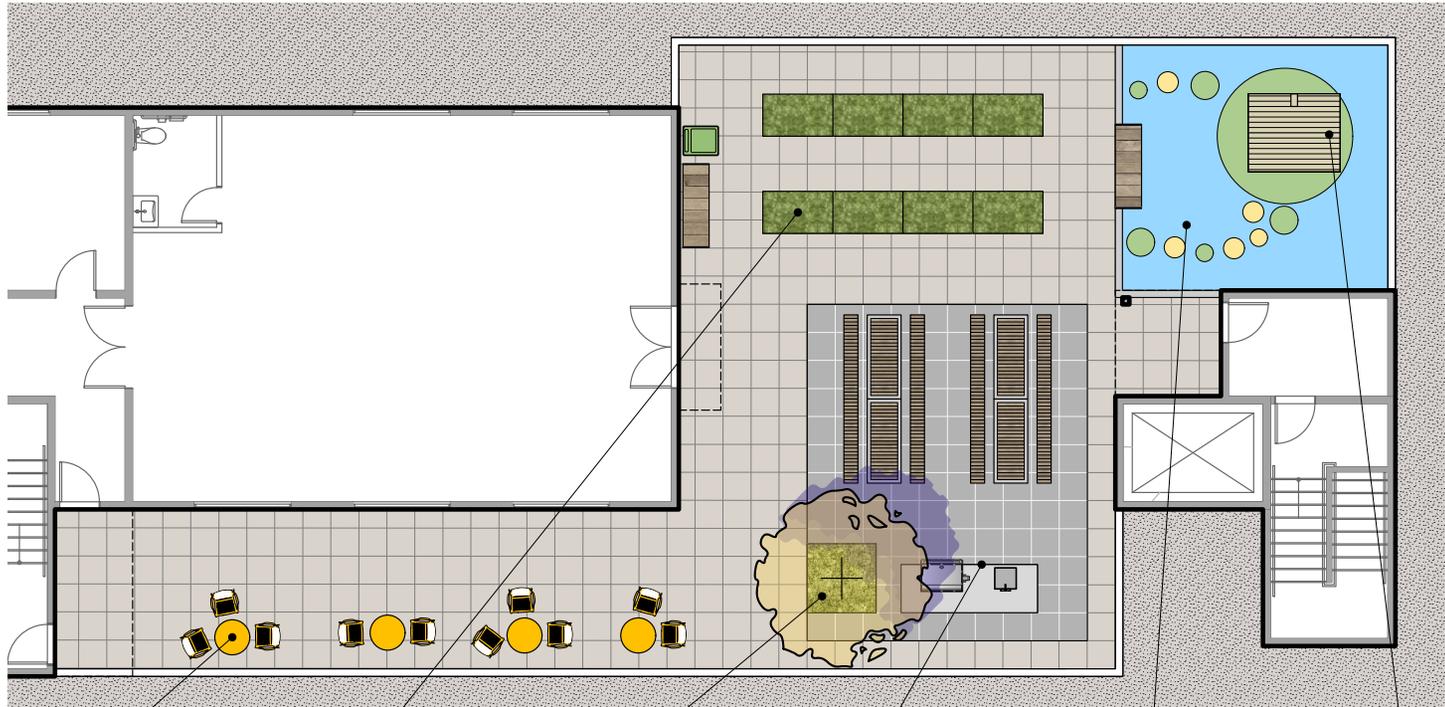
LANDSCAPE
CONCEPT ROOF
LEVEL



JUDY STOYKO LANDSCAPE ARCHITECTURE DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ANY ELEMENT AT THE PROJECT SITE, INCLUDING UTILITIES AND/OR CONCEALED STRUCTURES, OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM OTHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

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FLEXIBLE SEATING



URBAN AGRICULTURE



FEATURE TREE



BBQ AND EATING SPACE



CHILDREN'S PLAY



PLAY HOUSE

**MULTI FAMILY
RESIDENTIAL
DEVELOPMENT**

15410, 15430, and 15432 17A Ave.
Surrey, British Columbia

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| Scale: | 1:50 |
| Drawn: | DS |
| Reviewed: | DS |
| Project No. | 23-003 |

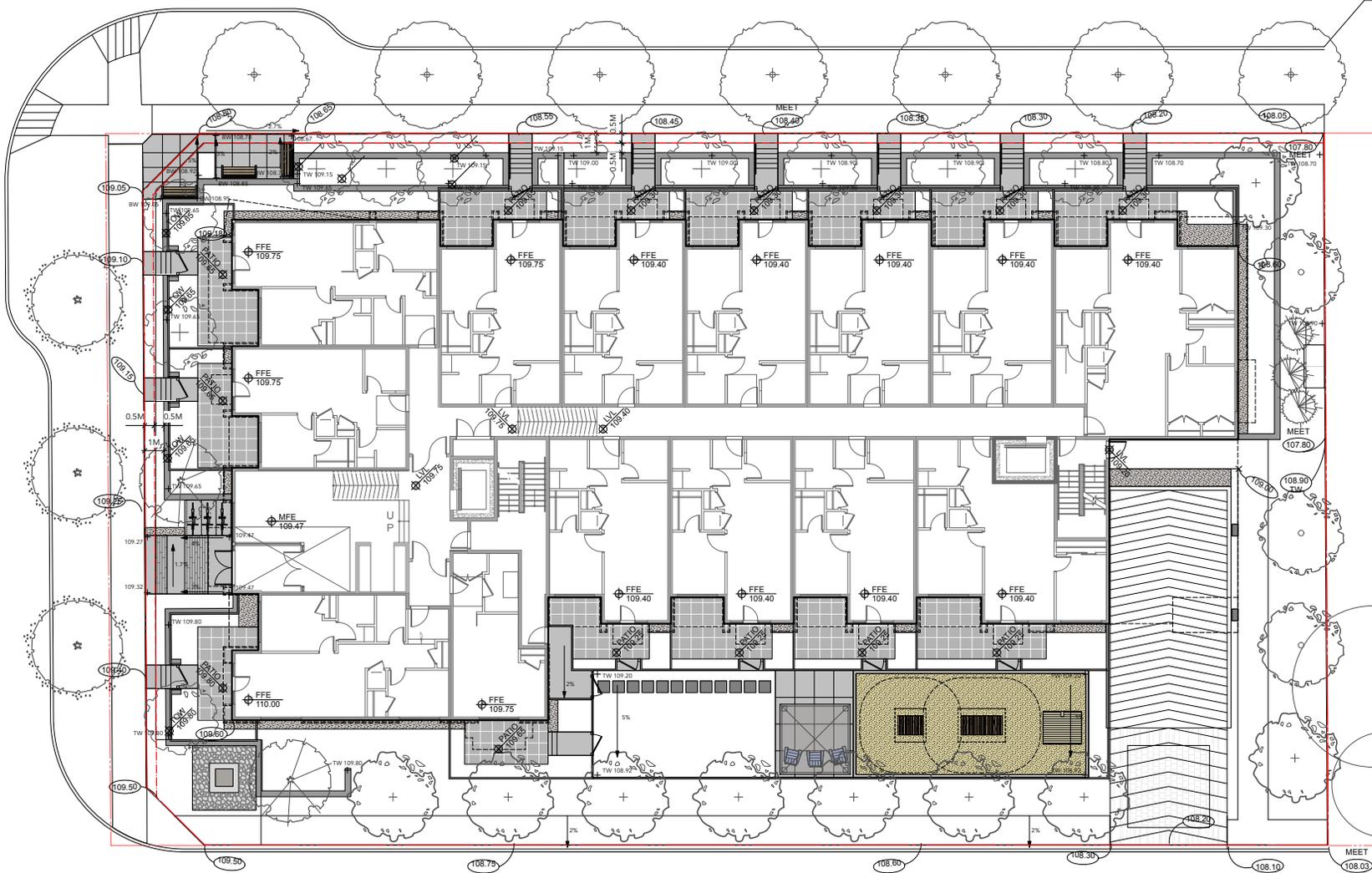
**ROOF LEVEL DETAIL
PLAN**



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15410, 15430, and 15432 17A Ave.
Surrey, British Columbia

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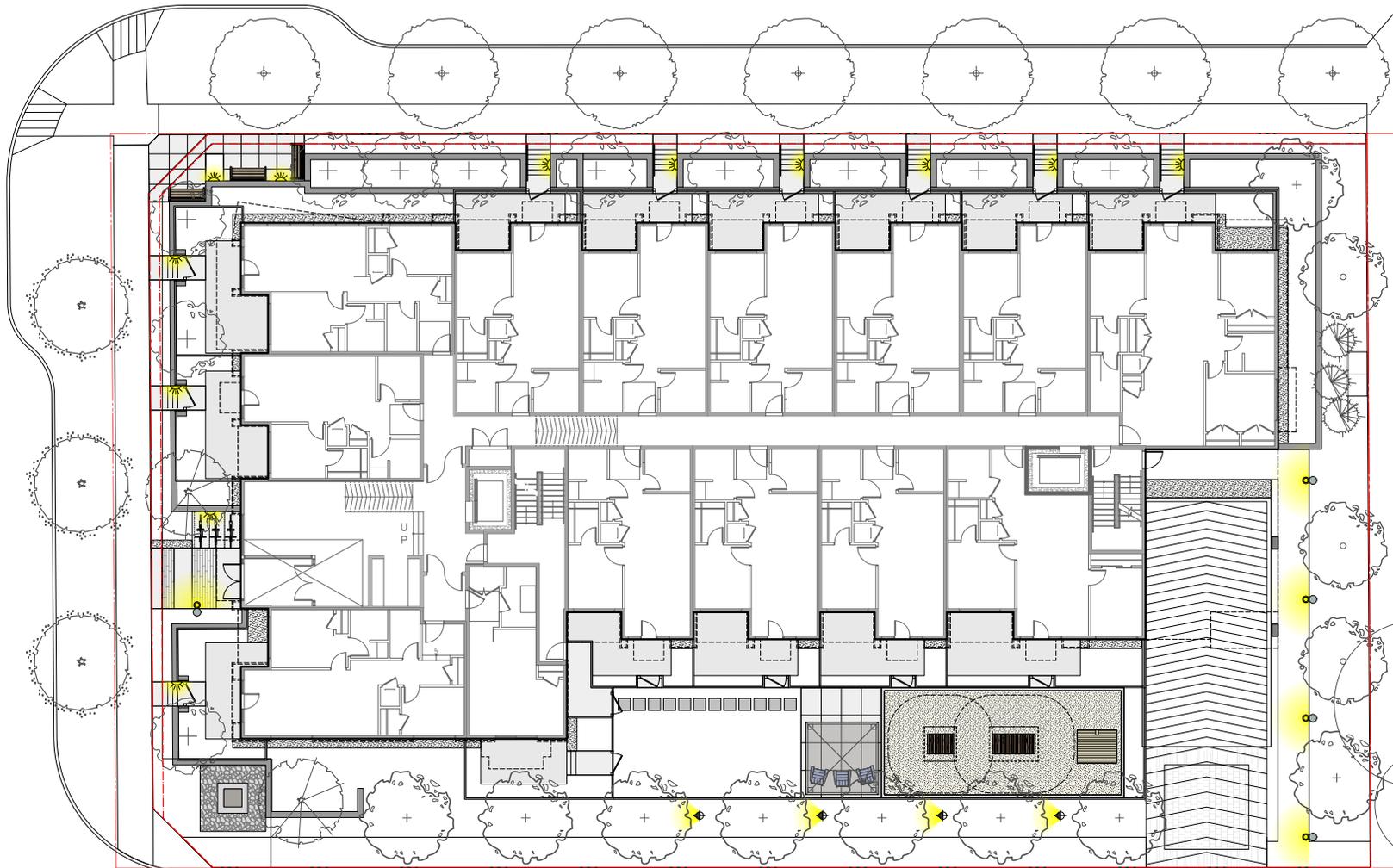
LANDSCAPE
GRADING PLAN



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LIGHTING LEGEND

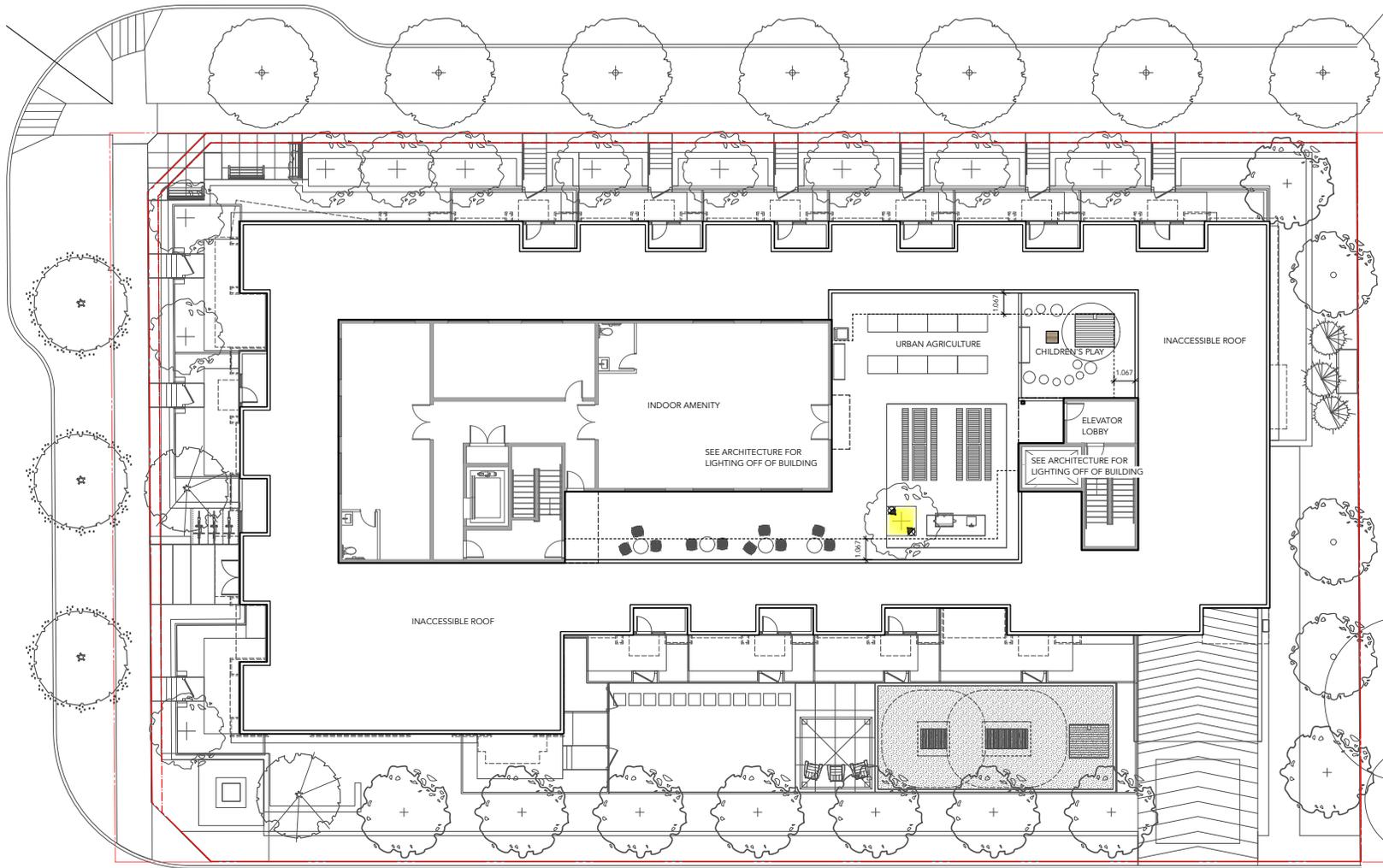
| SYMBOL | DESCRIPTION |
|--------|------------------------|
| | WALL / STEP LIGHT |
| | LED UPLIGHT - SHIELDED |
| | LED BOLLARD LIGHT |



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LIGHTING LEGEND

| SYMBOL | DESCRIPTION |
|--------|------------------------|
| | WALL / STEP LIGHT |
| | LED UPLIGHT - SHIELDED |
| | LED BOLLARD LIGHT |



NATIVE AND ADAPTIVE PLANTS



VINE MAPLE



DEER FERN



RED CURRANT



BEACH STRAWBERRY

EVERGREEN TEXTURES AND SHADE PLANTS



SWEET BOX



RHODODENDRON



SKIMMIA



REDWOOD SPURGE

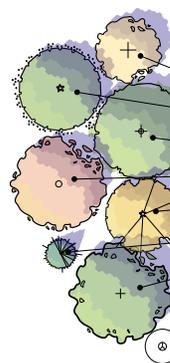


EMERALD CARPET

DURABLE GROUNDCOVERS

PLANT LIST

| QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | NOTES |
|--|-----------------------------------|-----------------------------------|---------------|----------|-------|
| TREES | | | | | |
| 12 | Acer circinatum | Vine Maple | 5cm cal., B&B | as shown | |
| 3 | Acer griseum | Paperbark Maple | 6cm cal., B&B | as shown | |
| 7 | Acer rubrum 'Scarlet Sentinel' | Scarlet Sentinel Red Maple | 7cm cal., B&B | as shown | |
| 3 | Cercis canadensis 'Forest Pansey' | Forest Pansey Redbud | 5cm cal., B&B | as shown | |
| 2 | Ginkgo biloba 'Autumn Gold' | Autumn Gold Maidenhair Tree | 6cm cal., B&B | as shown | |
| 3 | Picea omorika | Serbian Spruce | 3.5m ht., B&B | as shown | |
| 9 | Styrax japonicus | Japanese Snowbell | 6cm cal., B&B | as shown | |
| SHRUBS, GROUNDCOVERS & PERENNIALS | | | | | |
| SUN FEATURE PLANTS | | | | | |
| 3 | Hamelis x intermedia | Witch Hazel | 2.5m ht., B&B | as shown | |
| 18 | Mahonia aquifolium | Oregon grape | #3 pot | 4' o.c. | |
| 5 | Rubus spectabilis | Salmonberry | #3 pot | 4' o.c. | |
| SHADE FEATURE PLANTS | | | | | |
| 4 | Camellia x vernalis 'Yuletide' | Camellia 'Yuletide' | #5 pot | 7' o.c. | |
| 14 | Cornus stolonifera | Red Osier Dogwood | #5 pot | 4' o.c. | |
| 5 | Philadelphus lewisii | Lewis' mock-orange | #5 pot | 4' o.c. | |
| 5 | Ribes sanguineum | Flowering Currant | #5 pot | 4' o.c. | |
| SUN SCREENING PLANTS | | | | | |
| 19 | Vaccinium ovatum 'Thunderbird' | Thunderbird Evergreen Huckleberry | #5 pot | 4' o.c. | |
| 7 | Rubus parviflorus | Western Thimbleberry | #3 pot | 4' o.c. | |
| 95 | Pieris japonica 'Forest Flame' | Forest Flame Pieris | #5 pot | 36" o.c. | |
| 8 | Spiraea bumalda 'Goldflame' | Goldflame Spiraea | #2 pot | 36" o.c. | |
| SUN LOW PLANTS | | | | | |
| 87 | Cornus sericea 'Kelsey' | Kelsey Dwarf Dogwood | #2 pot | 30" o.c. | |
| 87 | Fothergilla gardenii | Dwarf Fothergilla | #1 pot | 24" o.c. | |
| 8 | Helleborus argutifolius | Corsican Hellebore | #1 pot | 24" o.c. | |
| 76 | Arctostaphylos uva-ursi | Kinnikinnick | 4"(10cm) pot | 15" o.c. | |
| 44 | Fragaria chiloensis | Beach Strawberry | 4"(10cm) pot | 18" o.c. | |
| 170 | Rubus caticinoides | Emerald Carpet | 4"(10cm) pot | 18" o.c. | |
| SHADE SCREENING PLANTS | | | | | |
| 28 | Rhododendron 'Yaku Prince' | Yaku Prince Rhododendron | #5 pot | 36" o.c. | |
| 14 | Rhododendron 'Ken Janeck' | Ken Janeck Rhododendron | #5 pot | 36" o.c. | |
| 60 | Skimmia japonica | Japanese Skimmia | #5 pot | 36" o.c. | |
| 26 | Symphoricarpos albus | Snowberry | #2 pot | 36" o.c. | |
| 4 | Gaultheria shallon | Salal | #2 pot | 36" o.c. | |
| SHADE LOW PLANTS | | | | | |
| 66 | Sarcococca hookeriana 'Humilis' | Himalayan Sweet Box | #2 pot | 24" o.c. | |
| 21 | Mahonia nervosa | Dwarf Oregon-grape | #2 pot | 36" o.c. | |
| 16 | Polystichum munstium | Western Sword Fern | #1 pot | 36" o.c. | |
| 16 | Blechnum spicant | Deer Fern | #1 pot | 24" o.c. | |
| 26 | Dicentra formosa | Western Bleeding Heart | #1 pot | 18" o.c. | |
| 39 | Oxalis crassipes | Redwood Spurge | 4"(10cm) pot | 15" o.c. | |
| LAWN | | | | | |
| 430 | Square Meter | Sod | | | |



DROUGHT TOLERANT PLANTS
 POLLINATOR FRIENDLY PLANTS
 SEASONAL INTEREST PLANTS
 EVERGREEN PLANTS
 FOOD RESOURCE PLANTS
 NATIVE PLANTS
 HABITAT VALUE PLANTS

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REVISIONS

MULTI FAMILY
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DEVELOPMENT

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Surrey, British Columbia

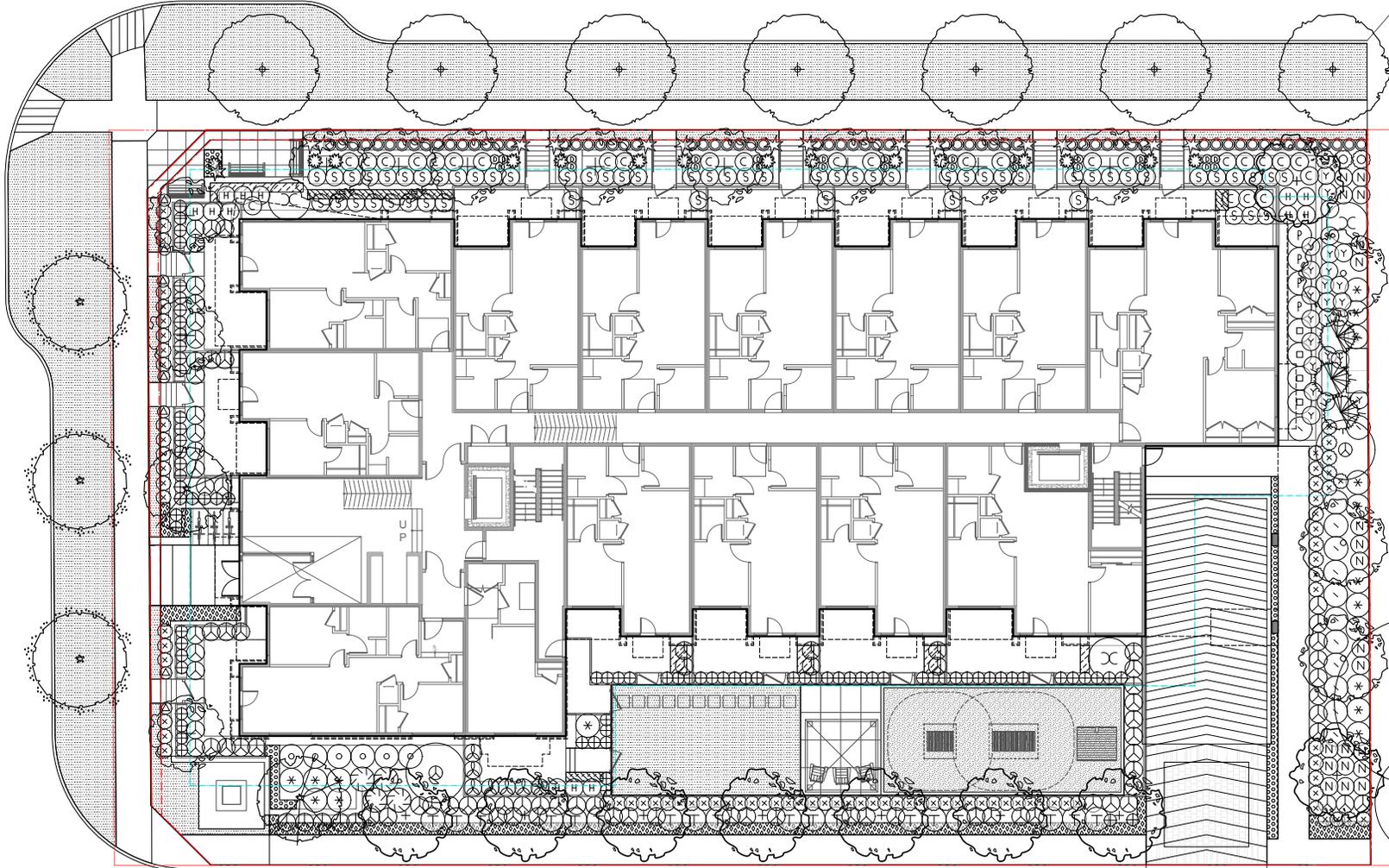
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| Scale: | N/A |
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PLANT MATERIAL
PALETTE

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PLANTING PLAN -
GROUND LEVEL

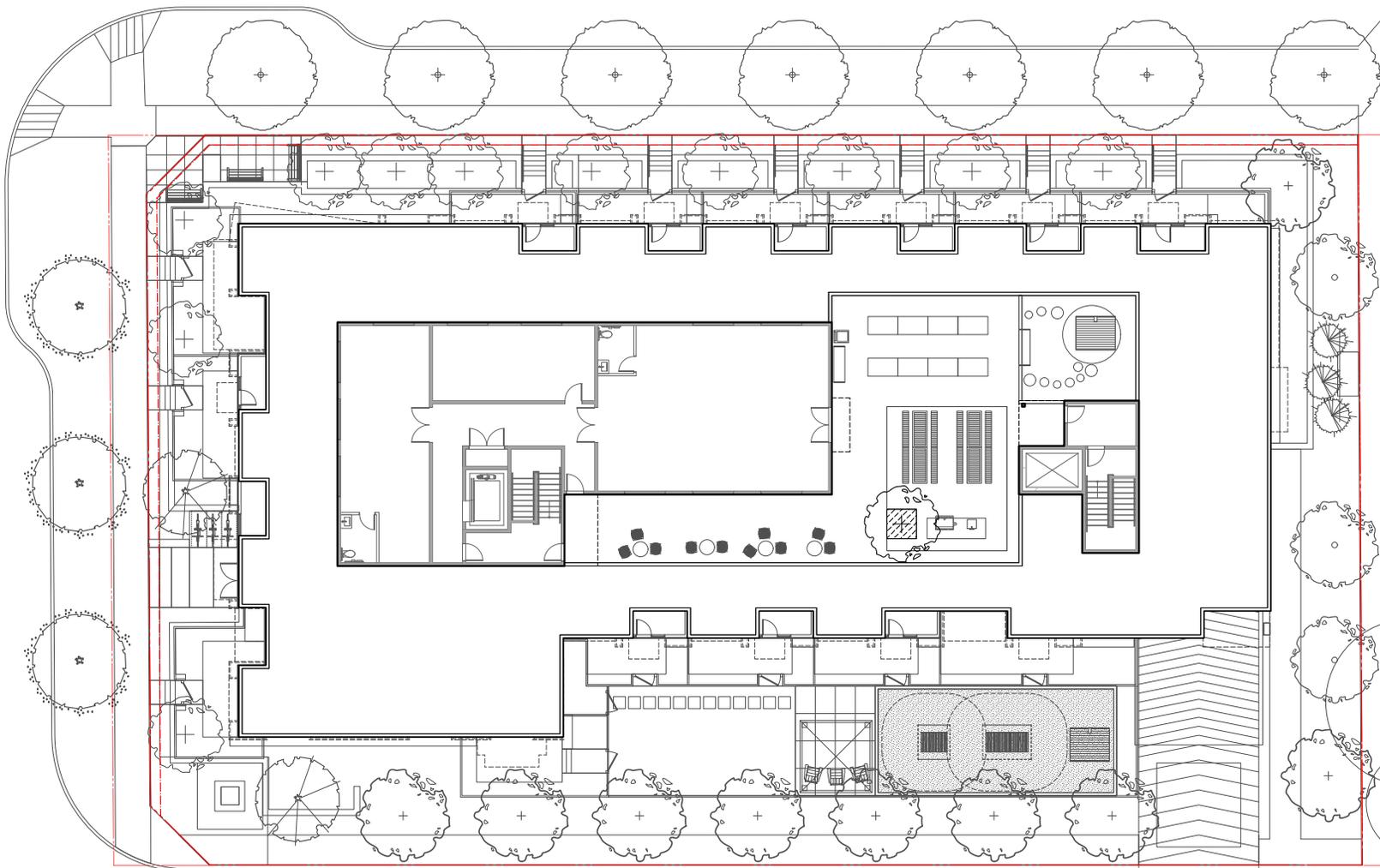
David Stoyko
Landscape Architect

2686 6TH AVENUE EAST
VANCOUVER BC V6M 1R3
P: 604.720.0248

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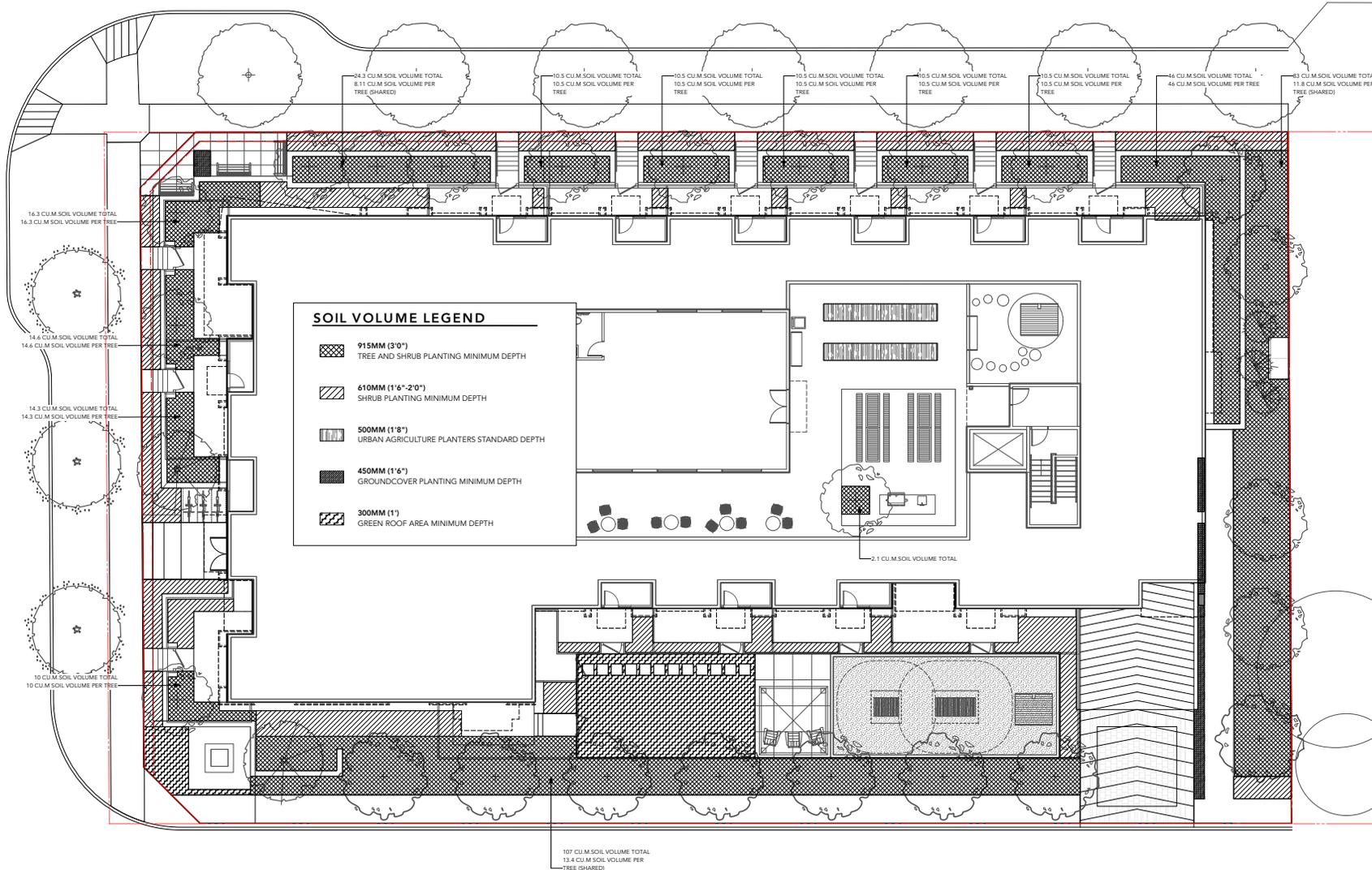
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PLANTING PLAN -
ROOF LEVEL

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SOIL LEVEL PLAN

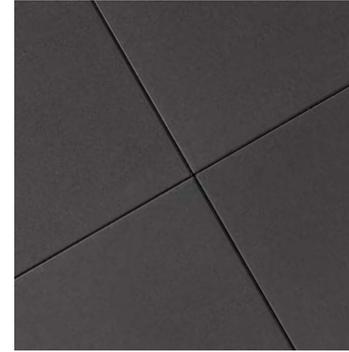
MATERIAL PALETTE



BROOM FINISHED CONCRETE



PAVING FOR PATIOS - 18 X 18 MANHATTAN SLABS,
NORTHERN SHADOW COLOUR, BY NEWSTONE GROUP



PAVING FOR ROOF PATIO - 18 X 18 MANHATTAN SLABS,
CHARCOAL COLOUR, BY NEWSTONE GROUP



STANDARD SERIES CONCRETE UNIT PAVERS BY NEWSTONE GROUP



POURED RUBBER SURFACE



URBAN AGRICULTURE PLOTS



CHAIRS & TABLES BY MILIEU URBAN FURNITURE



BIKE RACKS BY MAGLIN



URBAN FORM PICNIC TABLE BY WISHBONE

David Stoyko Landscape Architect

2686 6TH AVENUE EAST
VANCOUVER BC V6M 1R3
P. 604.720.0048

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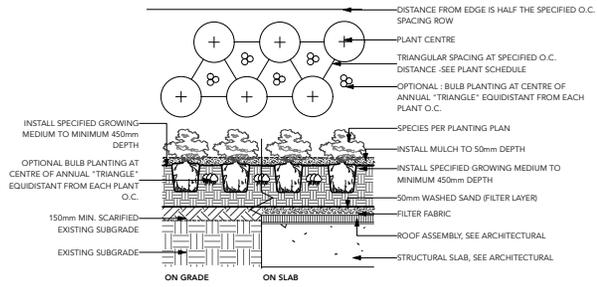
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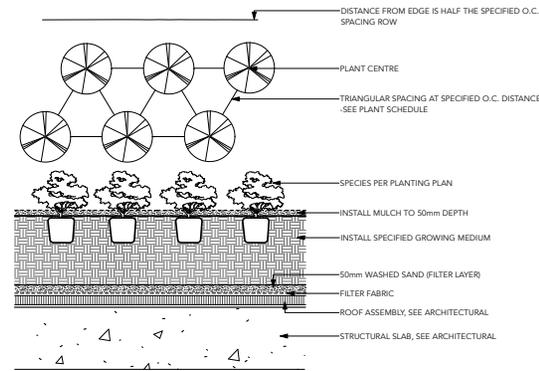
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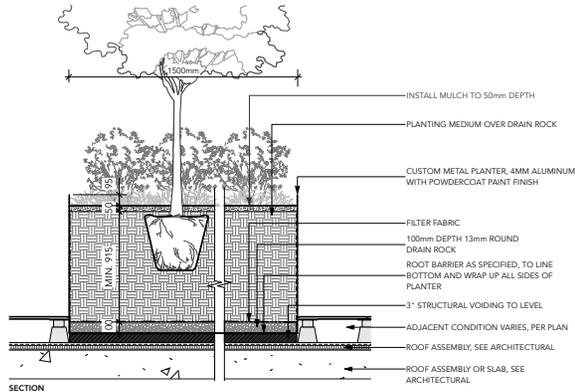
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1 SHRUB AND GROUNDCOVER PLANTING (TYPICAL)
Scale: 1:25



3 TYPICAL PLANTING ON SLAB
Scale: 1:20



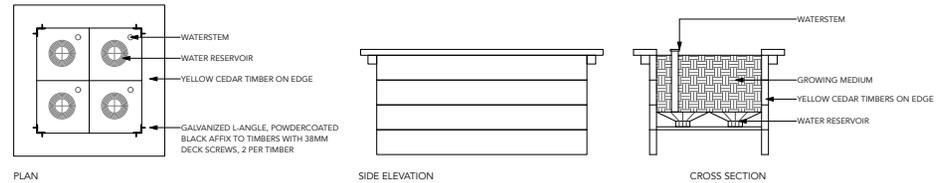
2 TYPICAL ON SLAB / ROOF PLANTER
Scale: 1:20



Shown in Redwood Recycled Plastic Lumber and Textured Silver Frame

5 JEM LOUNGE CHAIR
Scale: NTS

MODEL NUMBER JLC-34
TEXTURED SILVER COLOUR METAL
SAND COLOUR COMPOSITE TIMBERS
BY WISHBONE SITE FURNISHINGS

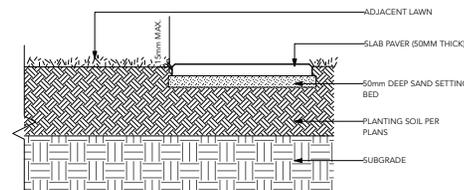


4 HEIRLOOM SELF-WATERING URBAN AGRICULTURE PLANTER BY LIFESPACE
Scale: 1:20

COLOR: CHARCOAL



MANHATTAN PAVING SLABS
SIZE : 24" X 24" X 2"
(610MM X 610MM X50MM)
COLOUR : CHARCOAL
PATTERN: GRID
SUPPLIED BY NEWSTONE GROUP



6 STEPPING SLAB IN LAWN
Scale: 1:10

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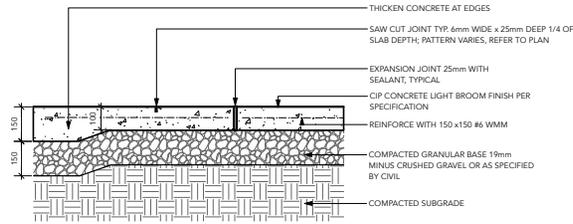
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| Scale: | AS SHOWN |
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| Project No. | 23-003 |

DETAILS -
SOFTSCAPE

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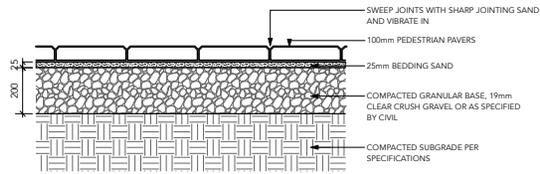
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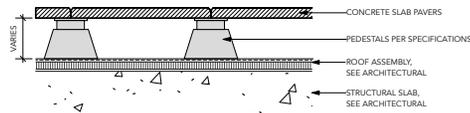
NOTES:
1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCREELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

1 CIP CONCRETE ON GRADE
Scale: 1:10

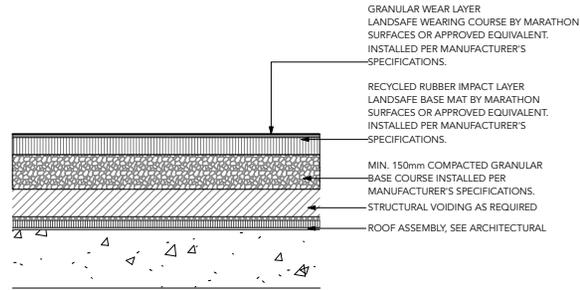


NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

2 PEDESTRIAN UNIT PAVERS ON GRADE (TYPICAL)
Scale: 1:10

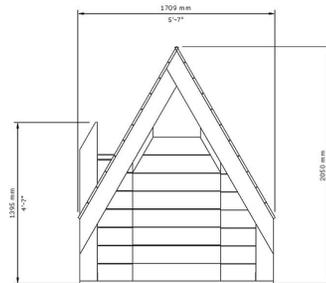
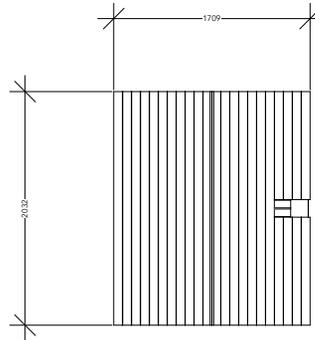


3 PATIO PAVERS ON SLAB
Scale: 1:10



NOTES:
1. FALL SURFACING TO CONFORM TO REQUIRED CSA SAFETY STANDARDS.
2. THICKNESS OF SURFACING LAYERS TO BE DETERMINED BY CRITICAL FALL HEIGHT.

4 RUBBERIZED PLAY FALL SURFACING
Scale: 1:10



5 SMALL KIDS PLAY HUT
Scale: 1:20



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| 12 | | |
| 11 | | |
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| 9 | | |
| 8 | | |
| 7 | | |
| 6 | REVISED PER CITY DP COMMENTS | 23-12-13 |
| 5 | REVISED PER CITY DP COMMENTS | 23-10-30 |
| 4 | REVISED PER CITY DP COMMENTS | 23-07-28 |
| 3 | REVISED PER CITY DP COMMENTS | 23-03-16 |
| 2 | ISSUED FOR DEVELOPMENT PERMIT | 23-03-01 |
| 1 | ISSUED FOR REVIEW | 23-02-21 |
| REVISIONS | | |

**MULTI FAMILY
RESIDENTIAL
DEVELOPMENT**

15410, 15430, and 15432 17A Ave.
Surrey, British Columbia

| | |
|-------------|----------|
| Scale: | AS SHOWN |
| Drawn: | DS |
| Reviewed: | DS |
| Project No. | 23-003 |

DETAILS -
HARDSCAPE

JUDY STOYKO LANDSCAPE ARCHITECTURE DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ANY ELEMENT AT THE PROJECT SITE, INCLUDING UTILITIES AND/OR CONCEALED STRUCTURES, OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM OTHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

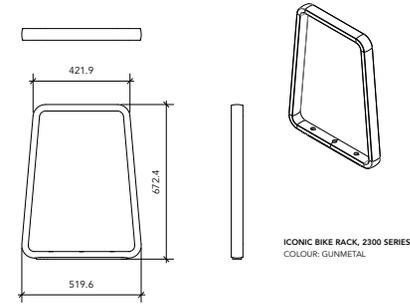
THESE DRAWINGS HAVE BEEN PREPARED FOR THE CLIENT FOR THIS PROJECT AND SHOULD NOT BE USED OTHERWISE WITHOUT PERMISSION.

DO NOT SCALE OFF OF THESE DRAWINGS. NO RESPONSIBILITY CAN BE TAKEN WITH ANY ERRORS BY MEASURING OFF OF THESE DRAWINGS.



1 HUTCH BACKLESS BENCH FOR ROOF AMENITY SEATING
Scale: NTS

MODEL NUMBER HB-6 (6FT)
TEXTURED SILVER COLOUR METAL
SAND COLOUR COMPOSITE TIMBERS
BY WISHBONE SITE FURNISHINGS

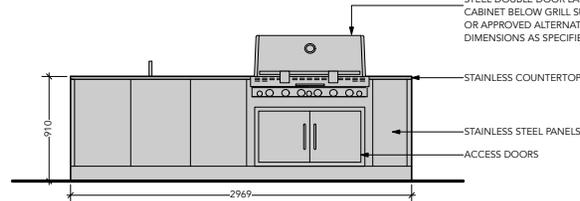


3 BIKE RACK BY MAGLIN
Scale: NTS

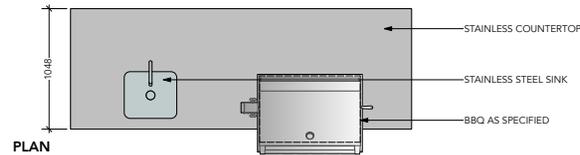
ICONIC BIKE RACK, 2300 SERIES
COLOUR: GUNMETAL

CUSTOM BBQ ISLAND PROVIDED AND INSTALLED BY SHERWOOD OUTDOOR KITCHENS CONTACT: 778-855-4372 OR APPROVED ALTERNATE

BUILT-IN BBQ GRILL: NAPOLEON LEX 605 BUILT-IN NATURAL GAS GRILL WITH SEARING BURNER & INFRARED REAR BURNER, WITH NAPOLEON STAINLESS STEEL DOUBLE DOOR LARGE (W959MM X H514MM) (PART #N370-0503) CABINET BELOW GRILL SURFACE - GAS CONNECTION; OR APPROVED ALTERNATE; DIMENSIONS AS SPECIFIED BY MANUFACTURER



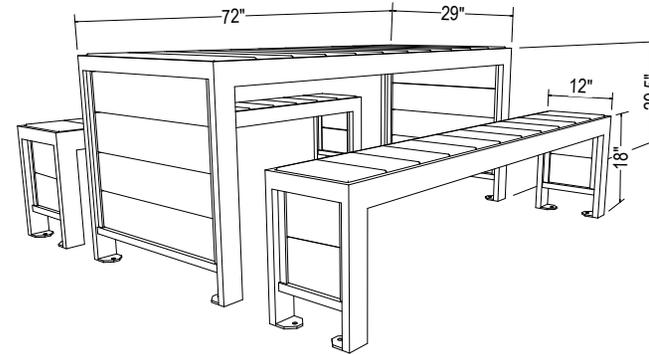
ELEVATION



PLAN

- NOTE:
1. MANUAL SHUT OFF VALVE TO BE PROVIDED FOR GAS BARBEQUE CONNECTION.
 2. BARBEQUE GRILL TO BE INSTALLED AS PER MANUFACTURES INSTRUCTION.
 3. REFER TO MECHANICAL DRAWINGS FOR GAS CONNECTIONS
 4. CONTRACTOR AND STRUCTURAL TO PROVIDE SHOP DRAWINGS FOR LANDSCAPE CONSULTANT REVIEW AND APPROVAL PRIOR TO FABRICATION OF CUSTOM COUNTER AND BARBEQUE ELEMENTS.

2 BBQ & COUNTER
Scale: 1:20



4 URBAN FORM PICNIC TABLE
Scale: NTS

MODEL NUMBER UFPT-6
TEXTURED SILVER COLOUR METAL
SAND COLOUR COMPOSITE TIMBERS
BY WISHBONE SITE FURNISHINGS



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| Drawn: | DS |
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DETAILS - FURNISHINGS

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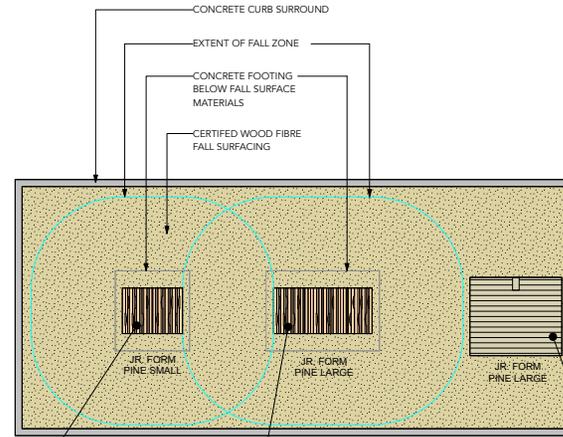
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1 RUTHERFORD BENCH FOR CORNER PLAZA
Scale: NTS

MODEL NUMBER RAL-6 (6FT)
BLACK POWDER COLOUR METAL
SAND COLOUR COMPOSITE TIMBERS
BY WISHBONE SITE FURNISHINGS



JUNIOR PINE CLIMBER SMALL BY EARTHSCAPE
NATURAL WOOD WITH PREDESIGNED CONIFER STAINED SIDING



JUNIOR PINE CLIMBER LARGE BY EARTHSCAPE
NATURAL WOOD WITH PREDESIGNED CONIFER STAINED SIDING



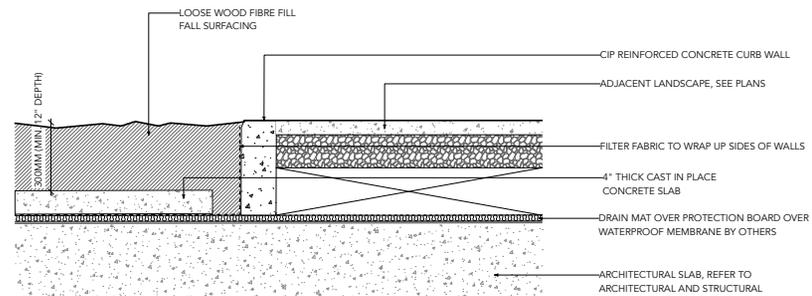
ALPINE PLAY HUT BY EARTHSCAPE
NATURAL WOOD WITH MOSS GREEN (66) STAINED ROOF
NO FALL ZONE REQUIRED

3 AMENITY PLAY AREA STRUCTURES
Scale: 1:50



2 CEDAR FOREST PRODUCTS WOOD HIP GAZEBO SHELTER
Scale: NTS

CEDAR STRUCTURE WITH METAL POSTS
SHINGLE ROOF
MODEL WH1212 (12' X 12' SIZE)
STANDARD MODEL (OR PRE-APPROVED ALTERNATE)



4 FALL SURFACING ON-SLAB
Scale: 1:10

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| Project No. | 23-003 |

**DETAILS -
FURNISHINGS**

TO: **Director, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Process Manager, Engineering Department**

DATE: **March 05, 2024** PROJECT FILE: **7823-0104-00**

RE: **Engineering Requirements
Location: 15410 17A Avenue**

OCP AMENDMENT

The applicant is required to complete a sanitary sewer capacity analysis downstream of the subject application due to the proposed Land Use Plan amendment which will result in increased population and subsequent sanitary demand. The applicant will be required to resolve any downstream capacity constraints.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.942 m on 154 Street.
- Dedicate required corner cuts.
- Register 0.5 m SRW on 154 Street and 17A Avenue.

Works and Services

- Construct east side of 154 Street and south side of 17A Avenue.
- Construct Lane and construct 7.3 m concrete letdown to lane.
- Provide stormwater control plan for the 17A Avenue storm main using ultimate land uses.
- Construct ultimate storm sewer on 17A Avenue, from 154 Street to 156 Street.
- Construct storm sewer on the Lane.
- Provide onsite sustainable drainage works to meet the Semiahmoo Town Centre Plan and the Fergus Creek Integrated Stormwater Management Plan requirements.
- Construct water main along 17A Avenue.
- Construct sanitary sewer along 17A Avenue, from 154 Street.
- Construct adequately-sized metered water service connection with backflow preventer, and sanitary and storm service connections to service the proposed development.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to the Development Permit except for the requirements listed above.



Daniel Sohn, P.Eng.
Development Process Manager
IK1

NOTE: Detailed Land Development Engineering Review available on file

Department: **Planning and Demographics**
Date: **February 27, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **24 0104 00**

The proposed development of **76** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

| | |
|---|----|
| School-aged children population projection | 12 |
|---|----|

| | |
|---|-----------|
| Projected Number of Students From This Development In: | |
| Elementary School = | 7 |
| Secondary School = | 3 |
| Total Students = | 10 |

| | |
|--|------|
| Current Enrolment and Capacities: | |
| Jessie Lee Elementary | |
| Enrolment | 401 |
| Operating Capacity | 411 |
| # of Portables | 1 |
| Earl Marriott Secondary | |
| Enrolment | 1398 |
| Operating Capacity | 1500 |
| # of Portables | 4 |

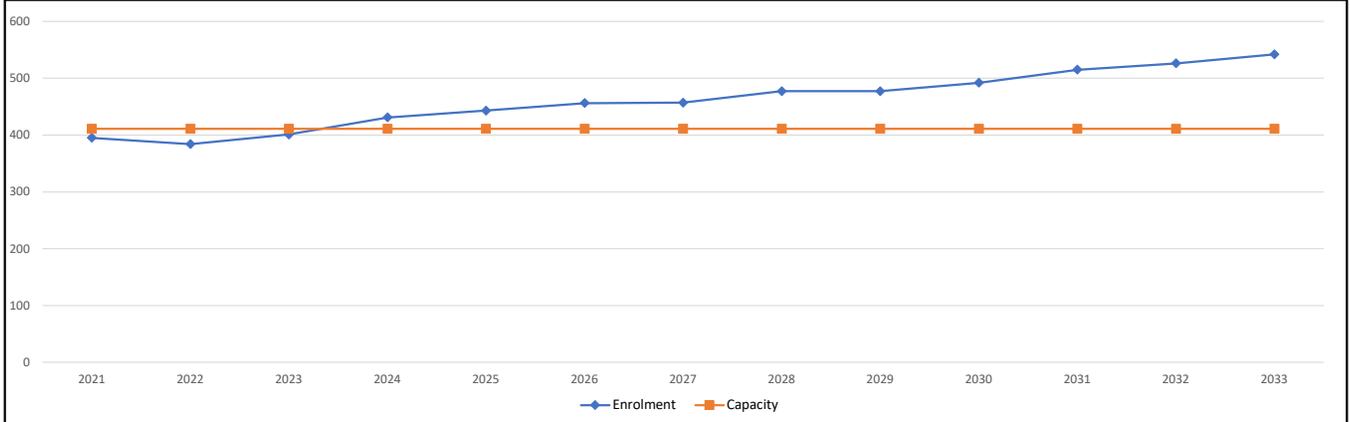
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

Actual enrollment at Jessie Lee Elementary has grown modestly the past five years which also has one portable. The 10-year projections support continuing growth at a similar modest pace. Currently there are no capital expansion requests for Jessie Lee Elementary.

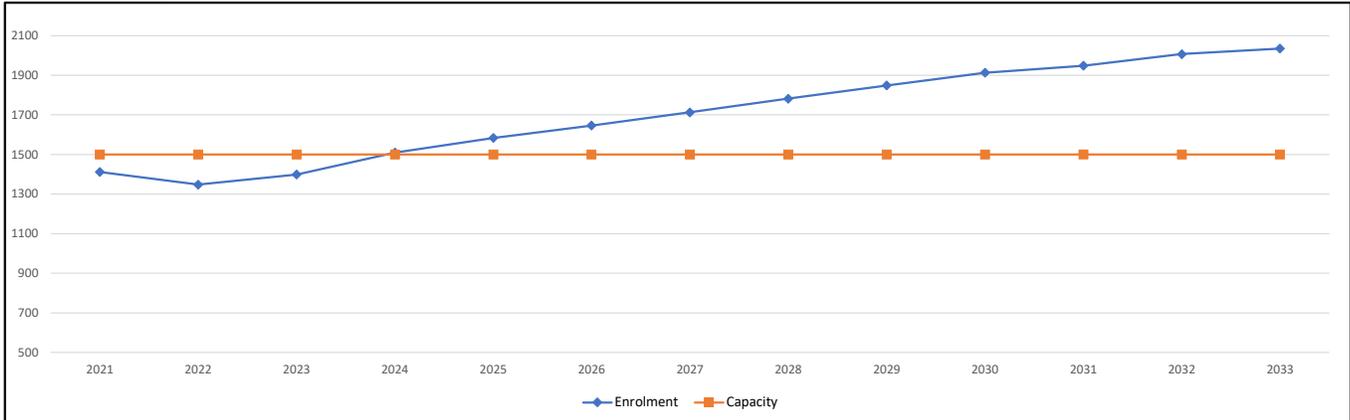
Earl Marriott Secondary experience some relief with the opening of Grandview Secondary. However, enrolment growth at Earl Marriott Secondary is expected to continue. As part of the District's 2024/2025 Five Year Capital Plan, the district has requested a 500 capacity addition at Earl Marriott. The Ministry of Education and Child Care has not approved funding for this project.

Jessie Lee Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Earl Marriott Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

Tree Preservation Summary

Surrey Project No: 7923-0104-00

Address: 15410, 15430 & 15432 17A Avenue

Registered Arborist: John Monk

| On-Site Trees | Number of Trees |
|--|-----------------|
| Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas) | 9 |
| Protected Trees to be Removed | 9 |
| Protected Trees to be Retained (excluding trees within proposed open space or riparian areas) | 0 |
| Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio _____ X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 9 </u> X two (2) = 0 | 18 |
| Replacement Trees Proposed | 40 |
| Replacement Trees in Deficit | 0 |
| Protected Trees to be Retained in Proposed [Open Space / Riparian Areas] | |

| Off-Site Trees | Number of Trees |
|--|-----------------|
| Protected Off-Site Trees to be Removed | 7 |
| Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio _____ X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 7 </u> X two (2) = 0 | 14 |
| Replacement Trees Proposed | 0 |
| Replacement Trees in Deficit | 0 |

Summary, report and plan prepared and submitted by:

John Monk

 (Signature of Arborist)

December 14th, 2023

 Date