



PURCHASING SECTION
13450 – 104 Avenue, Surrey, B.C. V3T 1V8
Tel: 604-590-7274 Fax: 604-599-0956
E-mail: purchasing@surrey.ca

ADDENDUM NO. 1

**REQUEST FOR EXPRESSIONS OF
INTEREST AND STATEMENTS OF
QUALIFICATIONS (RFEI/SOQ):** 1220-050-2015-012
TITLE: COVERED PRACTICE FACILITY

ADDENDUM ISSUE DATE: APRIL 28, 2015

CLOSING DATE: PREFER TO RECEIVE QUOTATIONS ON OR
BEFORE MAY 6, 2015.

INFORMATION FOR RESPONDENTS

This Addendum is issued to provide additional information to the RFEI for the above named project, to the extent referenced and shall become a part thereof. No consideration will be allowed for extras due to the respondent not being familiar with this addendum. This Addendum No. 1 contains five (5) pages in total.

**1) RFEI INFORMATION MEETING - APRIL 23, 2015, 1:00pm
MEETING NOTES**

Introduction:

TU provided introductory comments, outlined the intent of the RFEI, noted that it was a public process that was advertised. Following receipt of submissions, staff will evaluate the responses and report to Council as community benefits and aesthetics are important considerations. The city is contributing a high-value parcel of land.

Sites:

A. South Surrey Athletic Park (SSAP)

TU projected an aerial view image of the site next to Softball City. It was noted that the SSAP is a very busy site, contains many and various sports facilities, where traffic and parking are a challenge. The location is adjacent to an Urban Forest (protected by Bylaw). The lease between the City and Softball City is due to be renegotiated and there may be an opportunity to use the washrooms on the Softball City Site but this is not a certainty. Permitting will include a requirement to include the provision of washrooms in the project. The location of sanitary, storm, water, power, and gas were shown and the limitations were noted. Construction on this site cannot commence until following the Softball World Championships in August 2016.

B. Newton Athletic Park (NAP)

TU mentioned that the City has made significant investments in NAP in the last several years and many sports facilities now exist in the park. The suggested site for a Covered Practice Facility is in the space between Field #3 and the Hydro power lines on the west side of NAP. It was noted that BC Hydro is increasingly concerned about constructing parking within their rights-of-way, and they may or may not approve parking at this location. The location of sanitary, storm, water, power, and gas were shown and the limitations were noted. It was later noted that BC Hydro will review plans and may limit approach of a building beyond the ROW edge.

Future Agreements:

BE provided an outline of the various agreements and procedures that would be required, including:

- The evaluation of submissions received and a report to Council to proceed if deemed appropriate;
- the preparation of a Memorandum of Understanding between the City and the preferred Respondent to ensure that there are no significant misunderstandings regarding roles, responsibilities and requirements;
- the need for a Partnering; and
- the future requirement to enter into an extensive Lease Agreement that will clearly state the term, the conditions, the ownership, the insurance and liability responsibilities associated with the project.

Permit Issues:

BE noted that fabric structures are becoming increasingly difficult to pass through the permitting process. Respondents will need to make sure that they have retained the services of a Code Compliance Consultant who is familiar with fabric structure permitting issues. Some recent projects have chosen to provide sprinklers as the most cost-effective approach to resolve the permitting issue.

General:

TU noted that recent, similar projects have proven to be very complex projects. Staff from many City Departments have a role to play, including:

- Parks and Recreation – Liaison and reporting role to Council and Committee
- Engineering – Land Development, Servicing, etc
- Planning & Development – Development Permit, possible Subdivision, and rezoning, and Council reporting
- Building Division – Permits, inspections
- Legal and Realty – Agreements and Leases

Fees and Charges are levied by each Department according to their role in the Project and the Development Approval process.

QUESTIONS FROM THOSE IN ATTENDANCE

- 2) Do we have a Preference for Fabric or some other material?

Answer: No, but aesthetics are an important consideration with whatever type of structure is proposed.

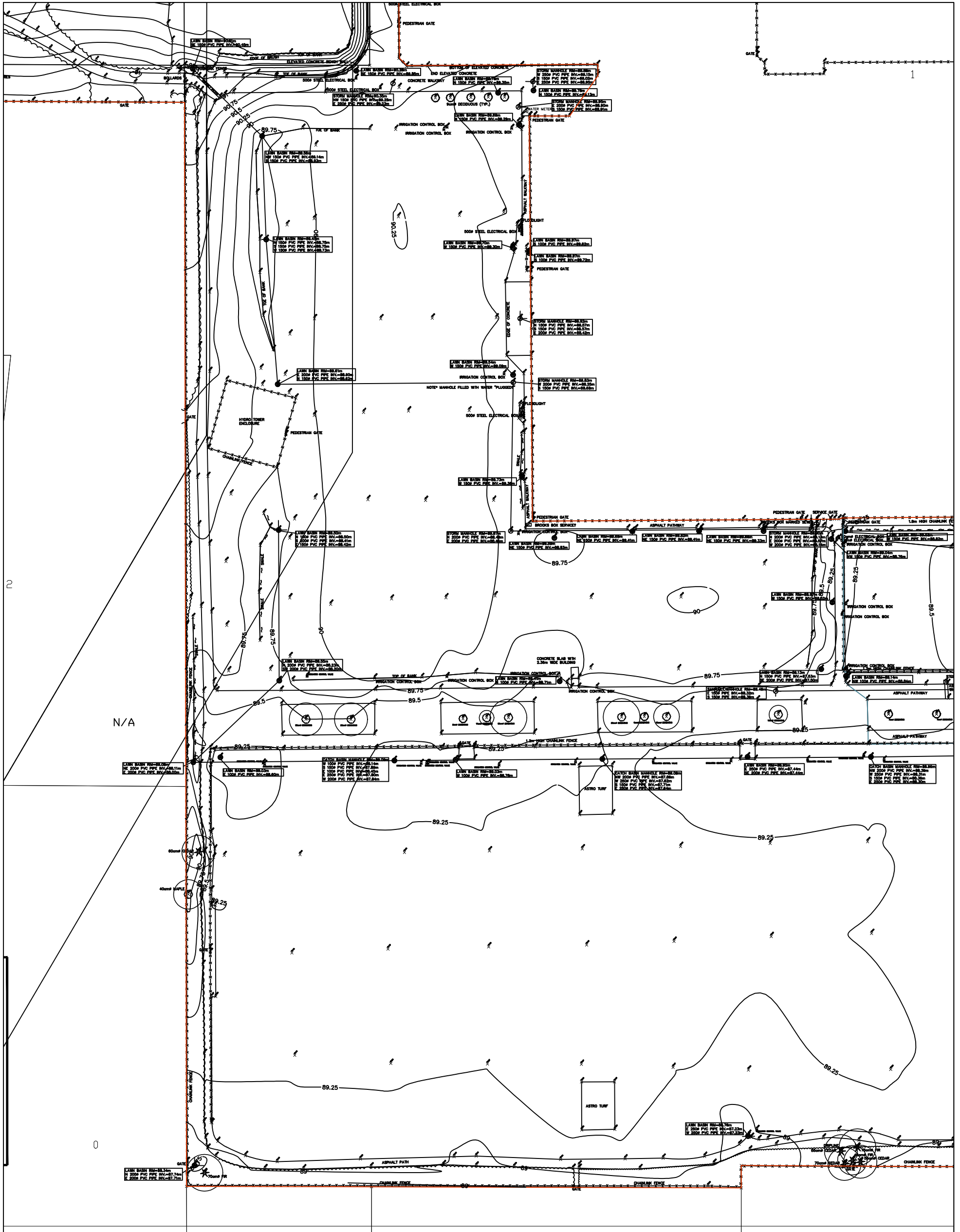
- 3) Is access required to the 2 manholes near Softball City?

Answer: We (the City) believe these are 'pullboxes' associated with the installation of lighting on the Softball City site. We are attempting to determine whether access is or will be needed in the future. Respondents should assume that these 2 manholes should NOT be covered up, buried or built upon. The RFEOI Response should indicate the spatial relationship between these 2 manholes and the Covered Practice Facility.

- 4) Can a responding team be comprised of several parties/firms?
Answer: Yes but the business relationship should be clearly stated in the response.
- 5) Have the required setbacks from the Urban Forest edge been determined?
Answer: We know that Fire Department does want some separation but the setback will be confirmed at the Building Permit stage.
- 6) Are there any space limitations at the SSAP site other than the 30 M width between the softball fence and the edge of the urban forest?
Answer: Nothing that substantially limits the length of the building.
- 7) Can the City provide the site survey drawings in pdf format?
Answer: Yes. They are included as part of this addendum.
- 8) Are there setback requirements along the BC Hydro ROW at NAP?
Answer: BC Hydro will review plans and may limit approach of a building beyond the ROW edge.
- 9) Have there been any specific comments about the project from the Building Division?
Answer: Nothing other than has been stated in the RFEOI.

END OF ADDENDUM

All Addenda will become part of the RFEOI/SOQ Documents.



PROJECT NO. **6140-20/N** DRAWING TITLE **Newton Athletic Park - Potential Practice Facility**


NOTES

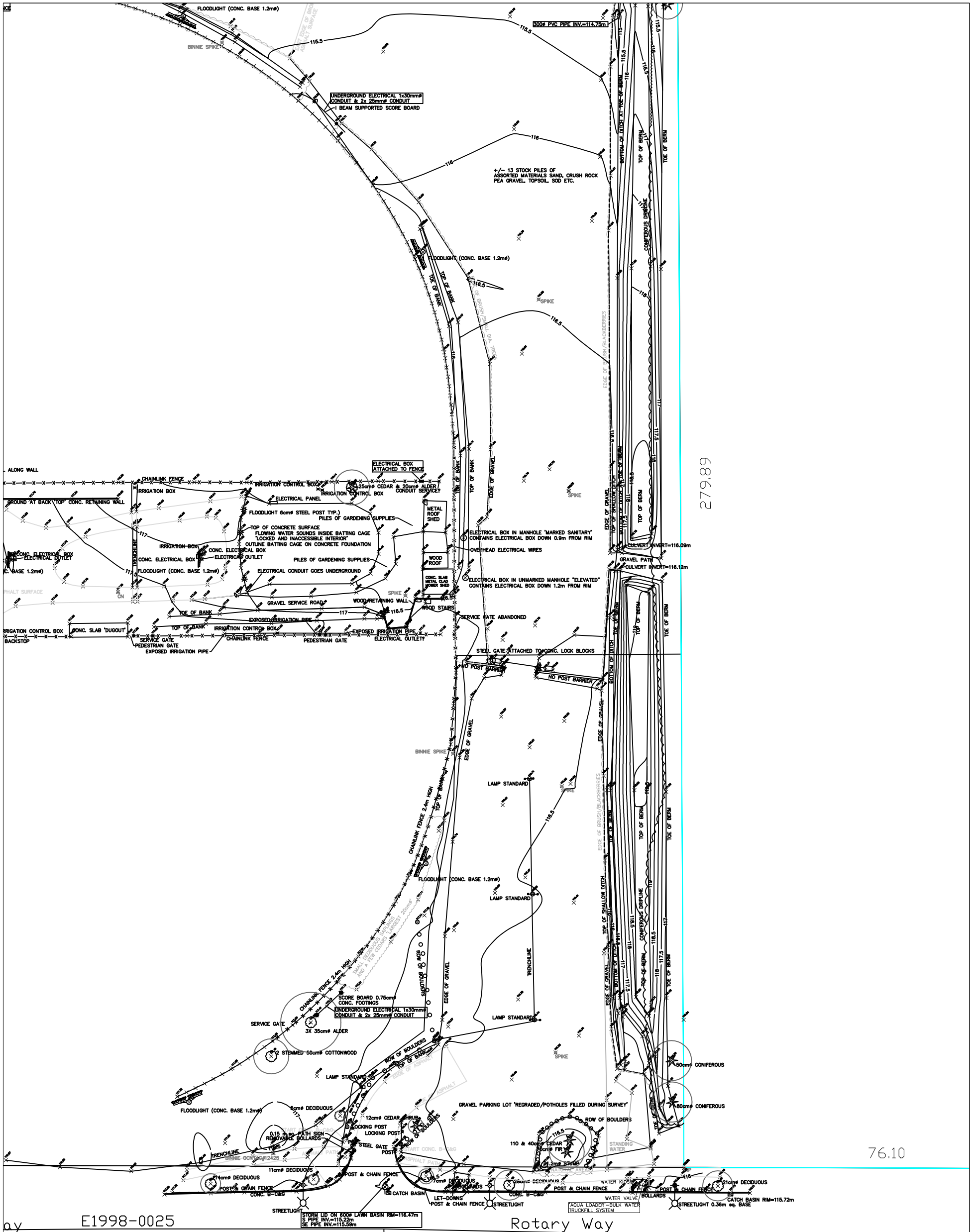
PROJECT **Covered Practice Facility**

LOCATION: **7395 128 Street**

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CITY BEFORE PROCEEDING.

ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

 <p>14245 - 56th Avenue Surrey, British Columbia V3X 3A2</p> <p>P 604.501.5050 F 604.598.5781 http://www.surrey.ca</p>	CONSULTANTS	REVISIONS-DRAWING ISSUE	DRAWN	NORTH	SEAL	SCALE	DRAWING NUMBER			
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PROJECT NO. **6140-20/S** DRAWING TITLE **South Surrey Athletic Park - Potential Practice Facility**

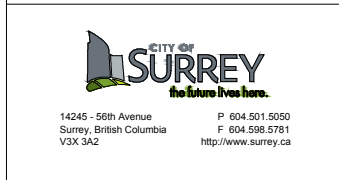
NOTES

PROJECT **Covered Practice Facility**

LOCATION: **14600 15875 -20 Avenue**

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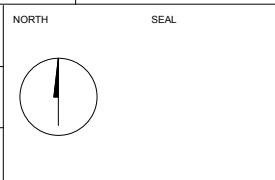
CONSULTANTS

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