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ADDENDUM NO. 1

REQUEST FOR QUOTATIONS (RFQ) NO.: 1220-050-2015-013
TITLE: ARTISTIC USE OF CITY SPACE
ADDENDUM ISSUE DATE: JUNE 10, 2015
CLOSING DATE: PREFER TO RECEIVE QUOTATIONS ON OR BEFORE JUNE 11, 2015

INFORMATION FOR APPLICANTS

This Addendum is issued to provide additional information and clarifications to the RFEOI-SOQ for the above named project, to the extent referenced and shall become a part thereof. No consideration will be allowed for extras due to the applicant not being familiar with this addendum. This Addendum No. 1 contains eleven (11) pages in total.

Q.1. Is the City able to provide a copy of the existing building floor plans for the site?

A.1. Please see attached report. The data and information in the attached report is for information purposes only and should not be considered to be the City's final plans for the site.

Q.2. Is it permissible to take pictures and video of the space during the Building Tour and Information Meeting?

A.2. Yes, this is permissible.

Q.3. Is the City able to provide building specifications (total square footage, height of the building, zoning regulations, outdoor space (courtyards, number of parking spots, fields, park space), and concerns with the existing structure) prior to the Building Tour and Information Meeting?

A.3. There are ten (10) parking spots, no courtyards or park space. Please see attached report for additional information. The data and information in the attached report is for information purposes only and should not be considered to be the City's final plans for the site.

All Addenda will become part of the RFQ Documents.



Surrey Arts Workshop

10660 City Parkway Surrey

Prepared for the City of Surrey
By CHERNOFF THOMPSON ARCHITECTS
September 24, 2014

Executive Summary

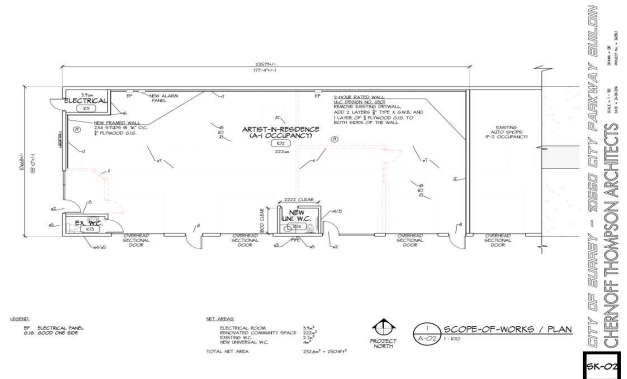
This report was to prepare a scope of work and Budget for an upgrade to 10660 City Parkway, Surrey for use as an Arts workshop.

Scope of Work – Summary

- Required code upgrades, including washrooms, sprinklers and fire separator.
- Opening the space into a single room
- Drywall and painting

See detailed scope in document.

Drawings & Photos



Uncertainty / Risks

- Structure – can walls be removed?
- Fire separation – how to upgrade existing wall
- Sprinklers – extent
- Possible unanticipated hazardous materials

The project budget attempts to allow for these.

10660 City Parkway, Surrey, B.C.

The City-owned one-storey building at 10660 City Parkway currently houses multiple Auto Repair shops and is classified as a Group F, Division 2 occupancy. Construction is concrete slab-on-grade with concrete block exterior walls, wood-stud framed, drywall clad interior walls, and a membrane roof on wood decking supported by open web steel joists (with a continuous row of skylights down the centre of each tenant space typical). Heating is via a combination of wall-mounted electric baseboard units and gas-fired, suspended heaters. Each tenant space also has a wall-mounted electrical panel, all served by a common electrical room with exterior access door at the north-west corner of the building.

The two west-most shops are currently vacant and it is proposed that they be renovated to provide one space of approximately 2,500 square feet for an "Artist-in-Residence Studio" to be used for stage set construction, theatre production practice, and/or visual art production space. This will create an additional major occupancy Group A, Division 1 which will require the installation of a sprinkler system and a fire alarm system for the entire building, and an upgrade to the partition wall between the reclassified A-1 space and the remaining F-2 (Auto Shop) areas to provide a 2-hour fire rated major occupancy separation. Combustible construction is permitted as the building will remain one-storey.

Description of Proposed Renovations:

Exterior

- e1. Provide wood cladding (closure) at north end of fascia along west side of building; style and colour to match existing.
- e2. Replace louvred (jalousie) window panels at transom above west and south entrance doors with operable double-glazed awning window units.
- e3. Remove abandoned chain link fence support post adjacent to south wall.
- e4. Remove and discard surface mounted exterior signs at south wall (near west corner) complete with related wiring.
- e5. Seal all voids in exterior block walls (typical at pipe and wiring penetrations).
- e6. Repaint existing wood fascia, concrete block, metal overhead vehicle doors (3 total), and metal doors/pressed steel frames (3 total); colour and finish to match existing.
- e7. Replace all skylight glazing with new, single pane, georgian wired opaque glass (to match previous). Renew seals at existing frames as required.

Interior

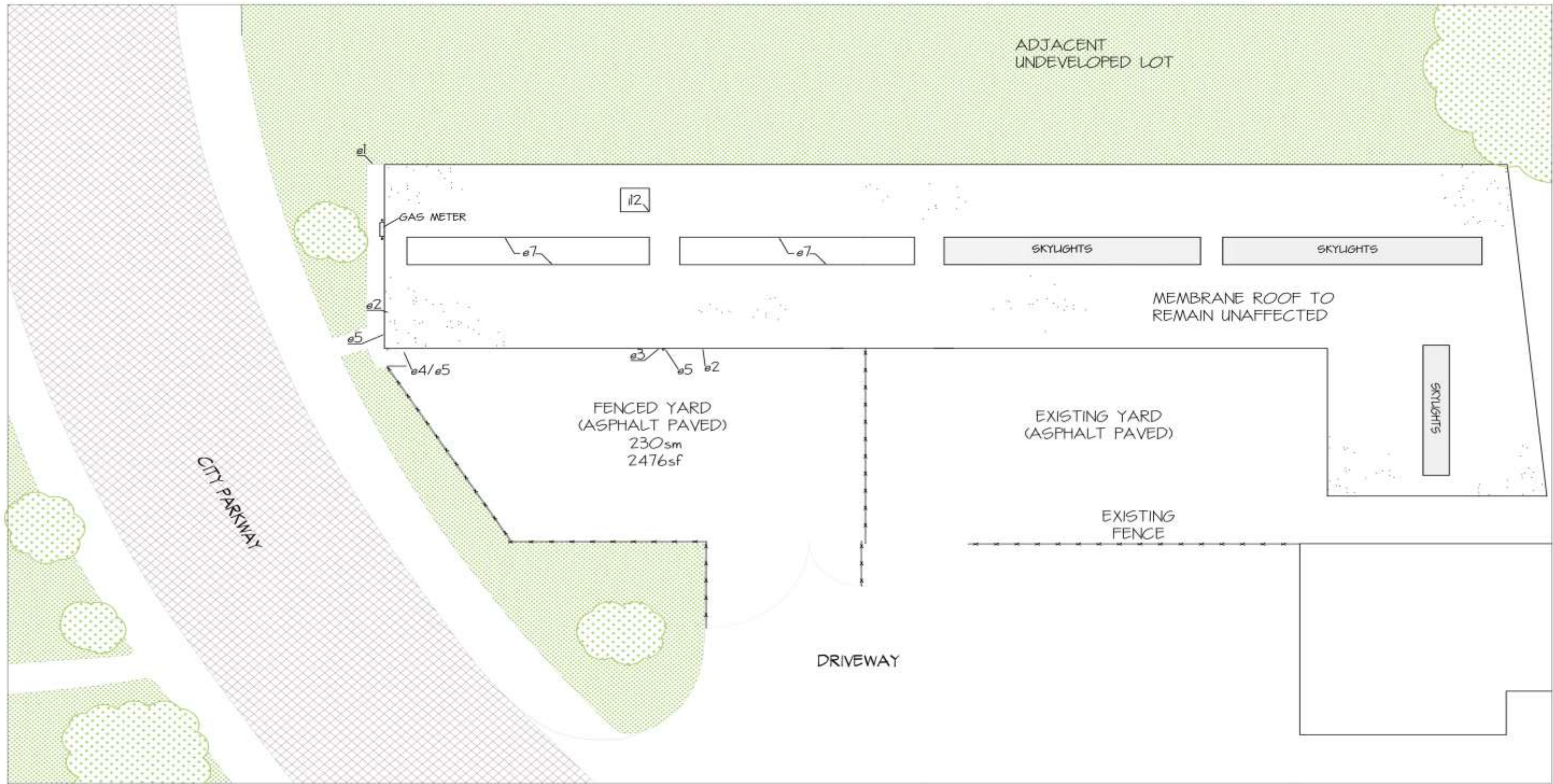
- i1. Demolish and remove existing stud-framed drywall clad interior walls and ceilings at office areas in Shop #1 and Shop #2 and at the partition wall between the two shops (to create one contiguous space); remove/discard abandoned wiring, conduit, thermostats, alarm boxes, baseboard heaters, lights, and interior doors and windows.
- i2. Remove the existing drywall both sides of the wood-framed partition wall between former Shop #2 and Shop #3 (to remain), and install two layers of 5/8" type "x" drywall both sides in compliance with ULC Design No. U301 to provide a 2-hour fire rated assembly (continuous from floor to underside of roof

structure above). Also install an additional layer of 3/4" plywood (good one side) over the drywall boarding on both sites of the upgraded partition wall.

- i3. Restore/replace toilet and wall hung sink (complete with faucets) in existing Shop #1 washroom. Provide new drywall at the two interior framed walls and ceiling complete with new wall-mounted mirror over the sink, wall-mounted electric baseboard heater, and surface mounted light fixtures at the ceiling. Provide new interior wood door complete with hardware. Clean exposed concrete floor and provide paint finish to floor, walls and ceiling.
- i4. Demolish existing washroom at Shop #2; retain plumbing rough-ins and extend as required to serve new disabled accessible toilet room (refer to i5).
- i5. Construct a new universal (disabled accessible) toilet room at the washroom location in former Shop #2 complete with all fixtures and accessories, including plumbing fixtures, grab bars, washroom accessories and wall-mounted electric baseboard heater.
- i6. Remove drywall cladding at shop side of Electrical Room (north-west corner of the building) and provide new 3/4" plywood cladding (good one side) over existing stud framing. Provide signage that this is an electrical room and no user attachments to wall are permitted.
- i7. Construct a new interior frame wall continuous along the north and west block walls with 3/4" plywood (good one side) as the exposed finish. Encase existing electrical panels, switches and receptacles in this wall, maintaining visibility/access.
- i8. Remove all bolts, blocking, piping, chains, attachment loops and other shop-related installations at the concrete floor and repair/fill all depressions to provide a smooth, level surface throughout. Clean and reseal exposed concrete slab.
- i9. Make good existing suspended gas-fired heaters (two total) and provide one new wall-mounted thermostat mid-way between them to control both units.
- i10. Remove and replace all existing overhead light fixtures complete with related wiring with new linear, fluorescent fixtures and wiring (run west – to – east on support framing in alignment with the underside of the roof joists and clear of the overhead door tracks).
- i11. Provide Code-compliant exit signs over the two existing metal doors in pressed steel frames at the west exterior wall complete with emergency egress hardware on the same doors.
- i12. Remove exhaust fan enclosure at ceiling of Shop #1 (near north-east corner) and provide an insulated, sheet metal closure flush with the wood roof deck and a continuous insect screen at opening in the exterior gooseneck at the roof above.
- i13. Clean and provide paint finish to open web steel joists, wood roof deck and related structural components exposed to view.

SK 01 Site Roof Plan

Sk 02 Scope of Work Plan

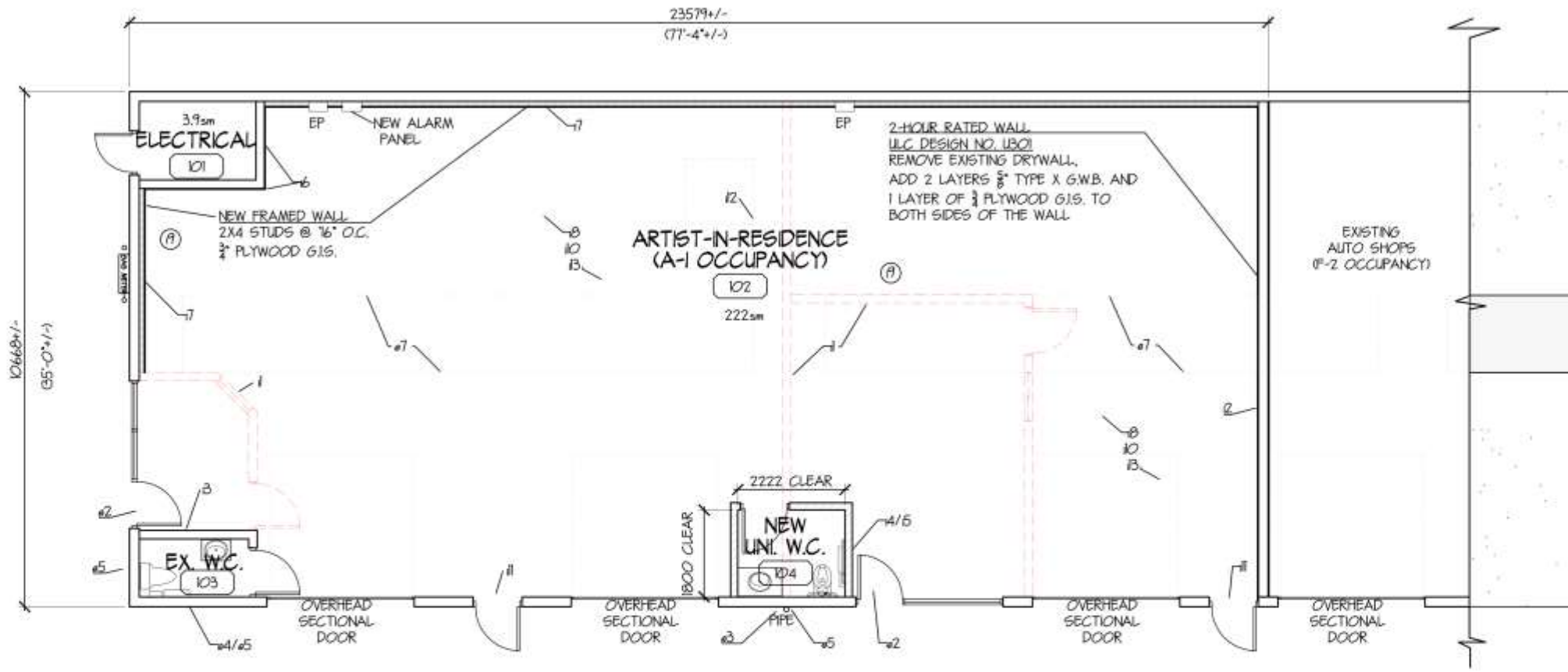


1 SITE/ROOF PLAN
A-01 1:200

SK-01

CITY OF SURREY - 10660 CITY PARKWAY BUILDING
CHERNOFF THOMPSON ARCHITECTS

SCALE = 1 : 200
DATE = 24-09-2014
DRAWN = BR
PROJECT No. = 34056.1



LEGEND:

EP ELECTRICAL PANEL
G.I.S. GOOD ONE SIDE

NET AREA:

ELECTRICAL ROOM	3.9m ²
RENOVATED COMMUNITY SPACE	222m ²
EXISTING W.C.	2.7m ²
NEW UNIVERSAL W.C.	4m ²
TOTAL NET AREA	232.6m² = 2504ft²



1 SCOPE-OF-WORKS / PLAN
A-02 1:100

CITY OF SURREY - 10660 CITY PARKWAY BUILDING
 CHERNOFF THOMPSON ARCHITECTS
 SK-02

DRAWN - ER
 PROJECT NO. = 34561
 SCALE = 1:100
 DATE = 24-09-2024

Photos

The following photos show the current state of the building.



Front View



Windows to replace



Side view



Interior



Washroom to retain / upgrade



Interior



Interior



Washroom to expand



Interior