

Livestreamed via the City's website www.surrey.ca

A. ADOPTIONS

1. Adoption of the Agenda

Council is requested to pass a motion to adopt the agenda.

2. Adoption of the Minutes

a. Special Council – April 2, 2024

Minutes to be adopted.

b. Special Council – April 8, 2024

Minutes to be adopted.

c. Council-in-Committee – April 8, 2024

Minutes to be adopted.

d. Regular Council - Land Use – April 8, 2024

Minutes to be adopted.

e. Regular Council - Public Hearing – April 8, 2024

Minutes to be adopted.

B. DELEGATIONS - PUBLIC HEARING

- 1. Planning Report - Application No. 7921-0272-00
"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024,
No. 21208"
"Surrey Comprehensive Development Zone 202 (CD 202), Bylaw, 2024, No. 21209"
Planning Report—Application No. 7921-0272-00**

CIVIC ADDRESS: 18756 No. 10 (56 Avenue) Highway
(18778 No. 10 (56 Avenue) Highway)

APPLICANT: Owner: 653699 B.C. Ltd. (Director Information: H. Johal, M. Johal)
Agent: Ankenman Associates Architects Inc. (Emily Kearns)

PURPOSE: The applicant is seeking to amend the Official Community Plan (OCP) Figure 3: General Land Use Designations to redesignate the site from Suburban to Multiple Residential. The proposal also includes rezoning the same site from Neighbourhood Commercial Zone to Comprehensive Development Zone in order to develop a 5-storey mixed-use building, with a total of 74 dwelling units and 1,458 square metres of commercial/retail space.

2. **Planning Report - Application No. 7921-0170-00**
"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21206"
"Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21207"

CIVIC ADDRESS: 10162 and 10188 - 172 Street

APPLICANT: Owner: 1334718 B.C. Ltd. (Director Information: M. Natt)
Agent: CitiWest Consulting Ltd. (Roger Jawanda)

PURPOSE: The applicant is requesting to amend the Official Community Plan (OCP) Figure 3: General Land Use Designations for the subject site from Suburban to Urban. The proposal also includes rezoning the same site from One-Acre Residential Zone to Single Family Residential Zone in order to subdivide into 13 residential lots.

In addition, the proposal includes a Development Variance Permit to reduce the minimum lot width from 15 metres to 14.5 metres for proposed Lots 2-4 and 10-12.

3. **Planning Report - Application No. 7923-0134-00**
"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21203"
"Surrey Comprehensive Development Zone 198 (CD 198), Bylaw, 2024, No. 21204"

CIVIC ADDRESS: 16453 - 18 Avenue

APPLICANT: Owner: 1441172 B.C. Ltd. (Director Information: H. Dhillon, D. Dhillon, I. Nagra, G. Sandhu, A. Villing)
Agent: Flat Architecture Inc. (Rajinder Warraich)

PURPOSE: The applicant is requesting to amend the Official Community Plan (OCP) Figure 3: General Land Use Designations from Mixed Employment to Multiple Residential for a portion of the subject site and amend OCP Figure 42: Major Employment Areas by removing the Mixed Employment designation for the same portion of the site and to amend OCP Table 7A: Land Use Designation Exceptions to allow a FAR of 2.5 on the subject site within the Multiple Residential land use designation. The proposal also includes rezoning the entire site from One-Acre Residential Zone to Comprehensive Development Zone in order to develop a 6 storey mixed-use building.

**4. Planning Report - Application No. 7920-0040-00
"Surrey Comprehensive Development Zone 197 (CD 197), Bylaw, 2024, No. 21200"**

CIVIC ADDRESS: 19585 - 32 Avenue

APPLICANT: Owner: 1242852 B.C. Ltd. (Director Information: N. Singh, M. Wahla)
Agent: Architecture Panel Inc. (Ruchir Dhall)

PURPOSE: The applicant is requesting to rezone the subject site from General Agriculture Zone to Comprehensive Development Zone in order to develop a two-storey 3,092 square-metre commercial building on the subject site.

**5. Planning Report - Application No. 7924-0020-00
Liquor Notice for Royal Canadian Legion Branch #240**

CIVIC ADDRESS: 2643 - 128 Street

APPLICANT: Owner: Crescent (Pacific No. 240) Branch of the Royal Canadian Legion
Agent: Crescent (Pacific No. 240) Branch of the Royal Canadian Legion (C. Schoch)

PURPOSE: The applicant is requesting to allow for a conversion of an existing licensed establishment from liquor primary club to a liquor primary license in order to provide liquor service to a wider range of patrons, including the general public.

6. **Darts Hill Neighbourhood Concept Plan Amendments – Corporate Report No. 2024-R058**
"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21215"

PURPOSE: To align Official Community Plan (OCP) with amended land use designations of the Darts Hills Neighbourhood Concept Plan.

C. COMMITTEE REPORTS

1. **Finance Committee – April 22, 2024**

The following recommendations will be in order for consideration should the Finance Committee approve the recommendations at its meeting held on April 22, 2024.

Note: See Item H.17 Bylaws in the H Section.

Item No. Foo2 2024 Five-Year (2024-2028) Financial Plan – General Operating File: 1705-05

Item No. Foo3 2024 Five-Year (2024-2028) Financial Plan – Capital Program File: 1705-05

Item No. Foo4 City Grants for 2024 File: 1850-20

2. **Livability and Social Equity Committee – November 15, 2023**

Minutes to be received.

3. **Arts and Culture Advisory Committee – February 20, 2024**

Minutes to be received.

4. **Environment and Climate Change Committee – February 21, 2024**

Minutes to be received.

D. BOARD/COMMISSION REPORTS

1. Surrey Heritage Advisory Commission – February 14, 2024

Minutes to be received.

2. Surrey Heritage Advisory Commission - March 13, 2024

(a) Minutes to be received.

(b) Recommendations to be adopted.

3. Surrey Heritage Advisory Commission – April 15, 2024 Recommendations

Council is requested to consider the following recommendations of the April 15, 2024, Surrey Heritage Advisory Commission meeting in advance of receiving the minutes:

(a) Rothwell House (2598 O’Hara Lane) – Application for Financial Assistance for Painting

(b) Rothwell House (2598 O’Hara Lane) – Application for Financial Assistance for Roof Repair

E. MAYOR’S REPORT

1. Proclamations

File: 0630-02

(a) Annual Day of Mourning for Workers Killed and Injured on the Job – April 28, 2024

(b) Emergency Preparedness Week – May 5 – 11, 2024

(c) International Celiac Awareness Month – May 2024

F. COUNCILLORS’ REPORTS

This section has no items to consider.

G. CORPORATE REPORTS

The following Corporate Reports to be considered:

Item No. R070 **E-Comm 9-1-1 – Nomination to the Board of Directors and Representative for the Annual General Meeting - 2024 to 2025 Term**
File: 0540-20

Item No. R071 **Award of Contract No.1220-020-2023-003**
Guildford Recreation Centre Flat Roofs Replacement (Phase 2)
File: 0710-60

Item No. R072 **Updated Governance and Funding Model for Tourism in Surrey**
File: 6750-01

Item No. R073 **Focus Newton Action Plan**
File: 0350-01

Item No. R074 **Update on the Bear Creek Park Improvements**
File: 1721-011/11

Item No. R075 **Crescent Beach Parking and Walking Enhancements Update**
File: 5460-90 (Gen)

H. BYLAWS AND PERMITS

BUSINESS ARISING OUT OF THE PUBLIC HEARING

1. Planning Report - Application No. 7921-0272-00
18756 No. 10 (56 Avenue) Highway (18778 No. 10 (56 Avenue) Highway)

Owner: 653699 B.C. Ltd. (Director Information: H. Johal, M. Johal)
Agent: Ankenman Associates Architects Inc. (Emily Kearns)

"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21208"

To amend OCP Figure 3: General Land Use Designations for the subject site from Suburban to Multiple Residential.

Third Reading

"Surrey Comprehensive Development Zone 202 (CD 202), Bylaw, 2024, No. 21209"
C-5 to CD – to develop a 5-storey mixed-use building, with a total 74 dwelling units and 1,458 sq. m. of commercial/retail space.

Third Reading

2. Planning Report - Application No. 7921-0170-00
10162 and 10188 - 172 Street

Owner: 1334718 B.C. Ltd. (Director Information: M. Natt)
Agent: CitiWest Consulting Ltd. (Roger Jawanda)

"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21206"
To amend OCP Figure 3: General Land Use Designations for the subject site from Suburban to Urban.

Third Reading

"Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21207"
RA to RF – to subdivide into 13 residential lots.

Third Reading

Development Variance Permit No. 7921-0170-00
To reduce the minimum lot width from 15 metres to 14.5 metres for proposed Lots 2-4 and 10-12.

That Council support Development Variance Permit No. 7921-0170-00 and consider issuance of the Permit upon final adoption of the associated Bylaws.

3. Planning Report - Application No. 7923-0134-00
16453 - 18 Avenue

Owner: 1441172 B.C. Ltd. (Director Information: H. Dhillon, D. Dhillon, I. Nagra, G. Sandhu, A. Villing)
Agent: Flat Architecture Inc. (Rajinder Warraich)

"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21203"

To amend OCP Figure 3: General Land Use Designations from Mixed Employment to Multiple Residential for a portion of the subject site, to amend OCP Figure 42: Major Employment Areas by removing the Mixed Employment designation for the same portion of subject site and to amend OCP Table 7a: Land Use Designation Exceptions to allow a FAR of 2.5 on the subject site within the "Multiple Residential" designation.

Third Reading

"Surrey Comprehensive Development Zone 198 (CD 198), Bylaw, 2024, No. 21204"
RA to CD – to develop a 6-storey mixed-use building.

Third Reading

4. Planning Report - Application No. 7920-0040-00
19585 - 32 Avenue

Owner: 1242852 B.C. Ltd. (Director Information: N. Singh, M. Wahla)
Agent: Architecture Panel Inc. (Ruchir Dhall)

"Surrey Comprehensive Development Zone 197 (CD 197), Bylaw, 2024, No. 21200"
A-1 to CD – to develop a two-storey 3,092-square-metre commercial building.

Third Reading

5. Planning Report - Application No. 7924-0020-00
2643 - 128 Street

Owner: Crescent (Pacific No. 240) Branch of the Royal Canadian Legion
Agent: Crescent (Pacific No. 240) Branch of the Royal Canadian Legion (C. Schoch)

Liquor Notice for Royal Canadian Legion Branch #240
To allow for a conversion of an existing licensed establishment from liquor primary club to a liquor primary license in order to provide liquor service to a wider range of patrons, including the general public.

At the April 8, 2024 Regular Council - Land Use Meeting, Council authorized the proposed New Liquor Primary License Application under Development Application No. 7924-0020-00 to proceed to Public Hearing to solicit neighbourhood feedback regarding the proposal.

- * See memorandum dated April 16, 2024.

If, after Public Hearing Council is in support of the proposed Liquor Application, it is in order for Council to pass the following resolution:

"After taking into account the following criteria outlined in the attached Planning Report dated April 8, 2024:

- (a) The impact of noise on the community if the application is approved;**
 - (b) The location of the establishment;**
 - (c) The person capacity and hours of liquor service of the establishment;**
 - (d) The proximity of the establishment to other social or recreational facilities and public buildings;**
 - (e) The number and market focus or clientele of liquor-primary license establishments within a reasonable distance of the proposed location;**
- and**

After holding a Public Hearing on April 22, 2024, in accordance with City policy, to gather views of area resident and business with respect to the proposed Liquor Primary License at the Royal Canadian Legion Branch #240; and

After hearing any individuals who made a presentation to Council at the Public Hearing and after reviewing any correspondence submitted in response to the Public Hearing notice,

Surrey City Council recommends the issuance of the license subject to the following conditions:

- 1. The applicant has entered into a Good Neighbour Agreement with the City; and**
- 2. The hours of operation for the Liquor Primary License Endorsement are from 11:00 am to 1:00 am from Monday to Saturday and 11:00 am to midnight on Sunday."**

6. Darts Hill Neighbourhood Concept Plan Amendments - Corporate Report No. 2024-R058

Council direction received April 8, 2024

* See memorandum dated April 5, 2024.

"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21215"

To align OCP with amended land use designations of the Darts Hills Neighbourhood Concept Plan, as described in Corporate Report R058.

Third Reading

Final Adoption

REZONING BYLAW – NO PUBLIC HEARING

7. Planning Report – Application No. 7923-0020-00
14040, 14048, 14058 and 14064 - 100A Avenue

Owners: B. Johal, J. Johal, Mortise (100a) Titleco Ltd. (Director Information: B. Johal)
Agent: Mortise Construction Ltd. (Travjit Johal)

No correspondence was received prior to the printing of the agenda.

"Surrey Comprehensive Development Zone 195 (CD 195), Bylaw, 2024, No. 21201"
RF to CD – to develop a 6-storey apartment building, containing approximately
120 dwelling units over 2 levels of underground parking, on a consolidated site in
Guildford.

First reading

Second reading

Third reading

8. Planning Report – Application No. 7922-0073-00
13773, 13753 and 13733 – 108 Avenue; 13758 and 13764 Larner Road

Owners: City of Surrey, Larner Developments Ltd. (Director Information: M. Redekop,
P. Warkentin)
Agent: Flat Architecture Inc. (Rajinder Warraich)

No correspondence was received prior to the printing of the agenda.

"Surrey Comprehensive Development Zone 199 (CD 199), Bylaw, 2024, No. 21198"
RF and PA-1 to CD – to develop a 6-storey residential apartment building.

First reading

Second reading

Third reading

9. Planning Report – Application No. 7923-0012-00
6280 and 6292 – 192 Street

Owner: BMG Projects Cloverdale Inc. (Director Information: M. Chatha, B. Mann)
Agent: BMG Projects Cloverdale Inc. (Milan Mann)

One piece of correspondence expressing concerns was received prior to the
printing of this agenda.

"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21210"

To amend OCP Figure 3: General Land Use Designations for the subject site from Urban to Multiple Residential and to amend OCP Table 7a: Land Use Designations Exceptions by permitting a density of up to 2.40 FAR.

First reading

Second reading

Third reading

"Surrey Comprehensive Development Zone 201 (CD 201), Bylaw, 2024, No. 21211"

RF to CD – to develop a 6-storey apartment building with approximately 157 dwelling units and underground parking on a consolidated site.

First reading

Second reading

Third reading

PERMITS

10. Planning Report – Application No. 7923-0295-00
4311 King George Boulevard

Owner: Mud Bay Nurseries Ltd. (Director Information: J. Vanderzalm, L. Vanderzalm)
Agent: Freedom Mobile C/O Cypress Land Services Inc. (Tawny Verigin)

No correspondence was received prior to the printing of the agenda.

Development Variance Permit No. 7923-0295-00

To increase the maximum height of a free-standing telecommunications antenna system from 12 metres to 41 metres in order to provide increased service to the surrounding area.

That Council authorize the issuance of Development Variance Permit No. 7923-0295-00.

11. Planning Report – Application No. 7923-0022-00
12129 - 100 Avenue

Owners: J. Mann, L. Kaur, A. Mann
Agent: Mainland Engineering Design Corp. (Avnash Banwait)

No correspondence was received prior to the printing of the agenda.

Development Variance Permit No. 7923-0022-00
To reduce the minimum lot depth from 28 metres to 25 metres for proposed Lot 2 and to reduce the minimum front yard setback from 7.5 metres to 4.5 metres to the principal building face for Lots 1 and 2 in order to subdivide into two single family lots.

That Council support Development Variance Permit No. 7923-0022-00 and consider issuance of the Permit upon final approval of the associated Development Permit.

12. Planning Report – Application No. 7923-0045-00
17854 - 96 Avenue

Owner: 1127022 B.C. Ltd. (Director Information: M. Virk)
Agent: CitiWest Consulting Ltd. (Roger Jawanda)

No correspondence was received prior to the printing of the agenda.

Temporary Use Permit No. 7923-0045-00
To permit the temporary use of the site for truck parking for a period not to exceed three years.

That Council support Temporary Use Permit No. 7923-0045-00 and consider issuance of the Permit once all outstanding conditions have been met.

13. Planning Report – Application No. 7924-0042-00
13307 King George Boulevard

Owner: 1333828 B.C. Ltd. (Director Information: N. Bains, K. Dhamrai, A. Mann)
Agent: Oviedo Properties Ltd. (Kanwar Dhamrait)

- * See memorandum dated April 16, 2024.

No correspondence was received prior to the printing of the agenda.

Temporary Use Permit No. 7924-0042-00

To permit the development of a temporary real estate sales centre for a duration not to exceed 3 years and to permit temporary on-site real estate development marketing signage for a mixed-use-high-rise development.

That Council authorize the issuance of Temporary Use Permit No. 7924-0042-00.

Development Variance Permit No. 7924-0042-00

To increase the maximum number of temporary on-site real estate development/construction signs from 2 to 8; to increase the maximum allowable sign area for hoarding signs from 14 square metres to a maximum of 103 square metres; to increase the maximum allowable sign area for a fascia signs from 14 square metres to a maximum of 39 square metres and to increase the maximum allowable sign area from 14 square metres to a maximum of 23 square metres and the maximum sign height from 4.5m to 5.6m for free standing signs.

That Council authorize the issuance of Development Variance Permit No. 7924-0042-00.

14. Planning Report – Application No. 7924-0057-00
7855 King George Boulevard

Owner: S. Panesar
Agent: H. Sandhu

One piece of correspondence expressing support was received prior to the printing of this agenda.

Temporary Use Permit No. 7924-0057-00

To permit the operation of an auto services business on a historic auto services garage site.

That Council support Temporary Use Permit No. 7924-0057-00 and consider issuance of the Permit once all outstanding conditions have been met.

FINAL ADOPTIONS

15. Housekeeping Amendments to Fee-Setting and Municipal Ticket Information Utilization Bylaws

"Surrey Fee-Setting By-law, 2001, No. 14577, Amendment Bylaw, 2024, No. 21212"
3900-20-21212

To amend Schedule D to incorporate new erosion and sediment control application and authorization fees.

Council direction received April 8, 2024
Corporate Report Item No. 2024-R062

Final Adoption

"Surrey Municipal Ticket Information Utilization By-law, 1994, No. 12508,
Amendment Bylaw, 2024, No. 21213"

3900-20-21213

To amend the designated by-law enforcement officers and by law fines related to erosion and sediment control.

Council direction received April 8, 2024
Corporate Report Item No. 2024-R062

Final Adoption

"Surrey Bylaw Notice Enforcement Bylaw, 2016, No. 18691, Amendment Bylaw, 2024,
No. 21214"

3900-20-21214

To amend Schedule A regarding the contraventions and penalties related to erosion and sediment control.

Council direction received April 8, 2024
Corporate Report Item No. 2024-R062

Final Adoption

INTRODUCTIONS

16. 2024 Five-Year (2024-2028) Financial Plan

Note: These Bylaws will be in order for consideration should Council approve the recommendations from Finance Committee meeting by Council on the April 22, 2024 regarding Corporate Report No. Foo2 and Foo3.

"Surrey 2024 – 2028 Consolidated Financial Plan Bylaw, 2024, No. 21216"

3900-20-21216

To provide for the adoption of the Surrey 2024 – 2028 Consolidated Financial Plan

First reading

Second reading

Third reading

"Surrey 2024 – 2028 General Operating Financial Plan Bylaw, 2024, No. 21217"

3900-20-21217

To provide for the adoption of the Surrey 2024 – 2028 General Operating Financial Plan.

First reading

Second reading

Third reading

"Surrey 2024 – 2028 Roads & Traffic Safety Operating Financial Plan Bylaw, 2024, No. 21218"

3900-20-21218

To provide for the adoption of the Surrey 2024 – 2028 Roads & Traffic Safety Operating Financial Plan.

First reading

Second reading

Third reading

"Surrey 2024 – 2028 Capital Financial Plan Bylaw, 2024, No. 21219"

3900-20-21219

To provide for the adoption of the Surrey 2024 – 2028 Capital Financial Plan.

First reading

Second reading

Third reading

"Surrey Building Bylaw, 2012, No. 17850, Amendment Bylaw, 2024, No. 21220"

3900-20-21220

To amend Schedule A to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

First reading

Second reading

Third reading

"Business License By-law, 1999, No. 13680, Amendment Bylaw, 2024, No. 21221"

3900-20-20221

To amend Schedule A and Section 22 to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

First reading

Second reading

Third reading

"Surrey Animal Responsibility Bylaw, 2017, No. 19105, Amendment Bylaw, 2024, No. 21222"

3900-20-20222

To amend Schedule B and C to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

First reading

Second reading

Third reading

"Surrey Electrical Safety By-law, 2004, No. 15596, Amendment Bylaw, 2024, No. 21223"

3900-20-21223

To amend Schedule B to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

First reading

Second reading

Third reading

"Surrey Fee-Setting By-law, 2001, No. 14577, Amendment Bylaw, 2024, No. 21224"

3900-20-21224

To amend Schedule A, B, C, D, E, F, G, H, I, J, K, L and N to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

First reading

Second reading

Third reading

"Surrey Fire Service By-law, 1990, No. 10771, Amendment Bylaw, 2024, No. 21225"
3900-20-21225
To amend Sections 30, 34, 36 to incorporate a fee increase as approved in the
2024 - 2028 Financial Plan.

First reading

Second reading

Third reading

"Highway and Traffic By-law, 1997, No. 13007, Amendment Bylaw, 2024, No. 21226"
3900-20-21226
To amend Schedule B to incorporate a fee increase as approved in the 2024 - 2028
Financial Plan.

First reading

Second reading

Third reading

"Development Application Fees Bylaw, 2016, No. 18641, Amendment Bylaw, 2024, No. 21227"
3900-20-21227
To amend Schedule B to incorporate a fee increase as approved in the 2024 - 2028
Financial Plan.

First reading

Second reading

Third reading

"Surrey Plumbing By-law, 1981, No. 6569, Amendment Bylaw, 2024, No. 21228"
3900-20-21228
To amend Section 9 and 10 to incorporate a fee increase as approved in the 2024 -
2028 Financial Plan.

First reading

Second reading

Third reading

"Surrey Subdivision and Development By-law, 1986, No. 8830, Amendment Bylaw, 2024, No. 21229"

3900-20-21229

To amend Schedule B to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

First reading

Second reading

Third reading

"Surrey Tree Protection Bylaw, 2006, No. 16100, Amendment Bylaw, 2024, No. 21230"

3900-20-21230

To amend Section 36, 37, 38, 39, 40 and 71 to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

First reading

Second reading

Third reading

"Surrey Fireworks Regulation By-law, 1974, No. 4200, Amendment Bylaw, 2024, No. 21231"

3900-20-21231

To amend Section 6 to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

First reading

Second reading

Third reading

"Surrey Secondary Suite Service Fee By-law, 2011, No. 17356, Amendment Bylaw, 2024, No. 21232"

3900-20-21232

To amend Section 3 to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

First reading

Second reading

Third reading

"Surrey Vehicles for Hire By-law, 1999, No. 13610 Amendment By-law, 2024, No. 21233"
3900-20-21233
To amend Schedule G to incorporate a fee increase as approved in the 2024 - 2028
Financial Plan.

First reading

Second reading

Third reading

"Surrey Mobile Homes and Trailer Regulation and Control By-law, 1980, No. 6142,
Amendment Bylaw, 2024, No. 21234"
3900-20-21234
To amend Schedule G to incorporate a fee increase as approved in the 2024 - 2028
Financial Plan.

First reading

Second reading

Third reading

"2024 Revenue Anticipation Bylaw, 2024, No. 21235"
3900-20-21235
Pursuant to Section 177 of the *Community Charter*, this annual revenue
anticipation bylaw permits the City to incur an operating overdraft as may be
necessary to optimize the City's overall return on its investment portfolio.

First reading

Second reading

Third reading

"Surrey Parks, Recreation and Culture Fee-Setting By-law, 2004, No. 15391,
Amendment Bylaw, 2024, No. 21236"
3900-20-21236
To amend Schedule A to incorporate a fee increase as approved in the 2024 - 2028
Financial Plan.

First reading

Second reading

Third reading

"Surrey General Rates Levy Bylaw, 2024, No. 21237"

3900-20-21237

To levy rates for general City purposes and special services for the 2024 tax year in the City of Surrey.

First reading

Second reading

Third reading

"Surrey Special Rates Levy Bylaw, 2024, No. 21238"

3900-20-21238

To levy rates in the City of Surrey to provide for the cost of special services therein for the year 2024.

First reading

Second reading

Third reading

"Roads and Traffic Safety Levy Bylaw, 2024, No. 21239"

3900-20-21239

To levy rates in the City of Surrey to provide for roads and traffic safety for the year 2024.

First reading

Second reading

Third reading

"MVRD Tax Requisition Bylaw, 2024, No. 21240"

3900-20-21240

To levy rates in the City of Surrey to provide for the amounts requested by the Metro Vancouver Regional District for the year 2024.

First reading

Second reading

Third reading

I. CLERK’S REPORT

This section has no items to consider.

J. NOTICE OF MOTION

This section has no items to consider.

K. OTHER BUSINESS

1. Priority Access for Surrey Residents to City of Surrey Recreation Programs
File: 8000-30

At the April 8, 2024 Regular Council - Public Hearing meeting, Councillor Bains put forward the following notice of motion:

"That Council direct staff to:

- a. Create a plan that ensures Surrey residents have priority access to City recreation programs for at least two weeks before they are available to residents from other cities; and
- b. Report back to Council detailing the plan and timeline for implementation, with the goal of executing it swiftly."

L. ADJOURNMENT

Council to pass a motion to adjourn the Regular Council – Public Hearing meeting.

CITY OF SURREY

ADOPTIONS

ADOPTION OF THE AGENDA

CITY OF SURREY

ADOPTION OF MINUTES

Present:

Chairperson - Mayor Locke
Councillor Annis
Councillor Bains
Councillor Bose
Councillor Elford
Councillor Hepner
Councillor Kooner
Councillor Nagra
Councillor Stutt

Absent:**Staff Present:**

City Manager
City Clerk
General Manager, Finance
City Solicitor
Assistant City Solicitor

Guests:

C. Dennis, Dennis James Aitken LLP
B. Duong, Hunter Litigation Chambers

A. MOTION TO HOLD A MEETING IN A CLOSED SESSION

It was Moved by Councillor Bose
Seconded by Councillor Kooner
That Council close the meeting to the public
pursuant to Section 90 (1)(g), (i), (k), (m) and Section 90(2)(b) of the *Community Charter*,
which states:

- "(1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:
- (g) litigation or potential litigation affecting the municipality;
 - (i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose;
 - (k) negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interest of the municipality if they were held in public;
 - (m) a matter that, under another enactment, is such that the public may be excluded from the meeting.
- (2) A part of a council meeting must be closed to the public if the subject matter being considered relates to one or more of the following:
- (b) the consideration of information received and held in confidence relating to negotiations between the municipality and a provincial government or the federal government or both, or between a provincial government or the federal government or both and a third party."

RES.R24-510

Carried

B. ADJOURNMENT

It was

meeting be adjourned.
RES.R24-511

Moved by Councillor Bose
Seconded by Councillor Kooner
That the April 2, 2024 Special Council

Carried

The Special Council adjourned at 4:01 p.m.

Certified correct:

Jennifer Ficocelli, City Clerk

Mayor Brenda Locke

In Person:

Chairperson - Mayor Locke
Councillor Annis
Councillor Bains
Councillor Bose
Councillor Elford
Councillor Kooner
Councillor Nagra
Councillor Stutt

Electronic:

Councillor Hepner

Staff Present:

City Manager
City Clerk
City Solicitor
General Manager, Finance
General Manager, Planning and Development
General Manager, Social Infrastructure &
Community Investments

Guests:

C. Dennis, Dennis James Aitken LLP
B. Duong, Hunter Litigation Chambers

A. MOTION TO HOLD A MEETING IN A CLOSED SESSION

It was Moved by Councillor Annis
Seconded by Councillor Bose
That Council close the meeting to the public
pursuant to Section 90 (1)(a), (g), (i), (k), (m) and Section 90(2)(b) of the *Community Charter*, which states:

- "(1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:
- (a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality;
 - (g) litigation or potential litigation affecting the municipality;
 - (i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose;
 - (k) negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interest of the municipality if they were held in public;
 - (m) a matter that, under another enactment, is such that the public may be excluded from the meeting.

(2) A part of a council meeting must be closed to the public if the subject matter being considered relates to one or more of the following:

(b) the consideration of information received and held in confidence relating to negotiations between the municipality and a provincial government or the federal government or both, or between a provincial government or the federal government or both and a third party."

RES.R24-512

Carried

B. ADJOURNMENT

It was

Moved by Councillor Annis
Seconded by Councillor Bose
That the April 8, 2024 Special Council

meeting be adjourned.

RES.R24-513

Carried

The Special Council adjourned at 2:03 p.m.

Certified correct:

Jennifer Ficocelli, City Clerk

Mayor Brenda Locke

Present:

Chairperson - Mayor Locke
Councillor Annis
Councillor Bains
Councillor Bose
Councillor Elford
Councillor Kooner
Councillor Nagra
Councillor Stutt

Absent:

Councillor Hepner

Staff Present:

City Manager
Deputy City Clerk
General Manager, Social Infrastructure & Community Investments
General Manager, Engineering
General Manager, Parks, Recreation and Culture
General Manager, Planning & Development
City Solicitor
Chief Development Approvals Officer
Director, Development Planning
Land Development Engineer

A. DELEGATIONS**1. Stephanie Beck, Executive Director and Grant Turnbull, Board Chair
Peace Arch Hospital Foundation**

The delegation provided a presentation to update Mayor and Council on strategic projects at Peace Arch Hospital (PAH) which serves both South Surrey and White Rock and highlighted the following information:

- PAH stands as one of twelve acute-care hospitals within the Fraser Health Authority, originally inaugurated in 1954 as the first hospital in Surrey. With 481 beds, including 234 for complex care residential needs, and a workforce exceeding 1800 staff, PAH plays a vital role in healthcare provision. The PAH Foundation, established in 1988, has been instrumental in advancing the hospital's infrastructure and medical imaging technology through annual fundraising efforts that have amassed \$210 million since its inception. Committed to enhancing both the hospital campus and community well-being, the Foundation's mission revolves around fundraising, advocacy, and support initiatives. Their vision aspires to spearhead efforts towards achieving the healthiest community conceivable, with a structured focus on both the hospital campus and the broader community.
- PAH has recently inaugurated a new eye care center and is facilitating enhanced pediatric access through a rapid care clinic, offering urgent consultations for youth in need. In collaboration with Fraser Health, PAH is actively engaged in addressing the escalating medical imaging needs of the community, demonstrating a commitment to providing comprehensive healthcare solutions through strategic partnerships and service expansions.

- In 2012, PAH's board made a strategic decision to prioritize preventative healthcare measures and upstream programs aimed at bolstering the mental, emotional, and physical well-being of the community. Partnering with Sport for Life, a nationwide sport development organization, PAH initiated the Move for Life program, specifically designed to enhance physical literacy within the community. Remarkably, PAH stands as the sole hospital foundation in Canada that concentrates on preventative and upstream healthcare opportunities, exemplifying a pioneering approach to fostering holistic community health and well-being through proactive initiatives.

2. **Charlotte Mitha, Executive Vice-President, Operations**
Maureen Daschuk, Executive Vice-President, Integrated Planning
BC Hydro

The delegation provided a presentation to update Mayor and Council on BC Hydro's Electrification Plan and Capital Plan for the City of Surrey and highlighted the following information:

- 20% of British Columbia's energy is being sourced from clean electricity and a significant 80% still depends on fossil fuels. To combat climate change, the provincial government's Clean BC plan aims to slash emissions by 40% by 2030, with a key strategy being the transition to cleaner electricity generated by BC Hydro. This shift toward renewable energy presents consumers with an opportunity to contribute to emissions reduction efforts while aligning with the province's sustainability goals.
- In response to rising energy demands, BC Hydro currently operates 30 hydroelectric plants and is in the process of constructing Site C along the Peace River in northern British Columbia. Reservoir filling for Site C is scheduled to commence later this year, with all six generative units slated to be operational by the end of 2025. This new facility is expected to boost electricity production by 8%, with the capacity to power approximately 500 thousand homes or support the operation of 1.7 million electric vehicles, thus addressing the growing need for sustainable energy sources in the region.
- BC Hydro has recently unveiled plans for a competitive call for power aimed at increasing the availability of electricity in British Columbia. This initiative will add 3000 gigawatt hours of clean renewable energy, equivalent to 5% of the total supply and sufficient to power 270 thousand homes. Through this competitive call, BC Hydro seeks to secure the best possible prices while also prioritizing meaningful economic reconciliation with First Nations communities. Additionally, BC Hydro announced a \$36 billion capital plan, with approximately \$21 billion allocated for maintaining current assets, \$10 billion earmarked for electrification initiatives to help reduce greenhouse gas emissions, and \$5 billion designated for new housing and building power infrastructure. Notably, Surrey will see significant investment with \$600 million allocated towards growth in areas like Surrey Centre, Clayton, and Campbell Heights, which is part of a larger effort to enhance infrastructure, create jobs, and foster economic development opportunities in the region.

B. ADJOURNMENT

It was

Moved by Councillor Elford

Seconded by Councillor Bose

That the Council-in-Committee meeting be

adjourned.

Carried

The Council-in-Committee adjourned at 5:33 p.m.

Stephanie Nichols, Deputy City Clerk

Mayor Brenda Locke, Chairperson

Present:

Chairperson - Mayor Locke
Councillor Annis
Councillor Bains
Councillor Bose
Councillor Elford
Councillor Kooner
Councillor Nagra
Councillor Stutt

Absent:

Councillor Hepner

Staff Present:

City Manager
Deputy City Clerk
General Manager, Social Infrastructure & Community
Investments
General Manager, Engineering
General Manager, Parks, Recreation & Culture
General Manager, Planning & Development
City Solicitor
Director, Development Planning
Manager, Development Planning
Land Development Engineer

A. ADOPTION OF THE AGENDA

It was

Moved by Councillor Kooner
Seconded by Councillor Stutt
That:

1. The agenda of the April 8, 2024, Regular Council Land Use meeting be amended by removing Item C.9: 7924-0032-00 under Land Use Applications; and
2. The agenda be adopted as amended.

RES.R24-514

Carried

B. CLERKS REPORT**2024 Council Meeting Schedule**

It was

Moved by Councillor Kooner
Seconded by Councillor Bose
That Council direct staff to make

arrangements for the May 6, 2024 and May 27, 2024 Regular Council – Land Use meetings, Regular Council – Public Hearing meetings and any scheduled Public Hearings to be held in person for Council and the public.

RES.R24-515

Carried

C. PLANNING REPORTS

1. **Planning Report – Application No. 7923-0295-00****4311 King George Boulevard**

Owner: Mud Bay Nurseries Ltd.

Director Information: J. Vanderzalm, L. VanderzalmNo Officer Information Filed as at September 10, 2023.

Agent: Freedom Mobile C/O Cypress Land Services Inc. (Tawny Verigin)

Development Variance Permit*to increase the maximum height of a free-standing telecommunications antenna system from 12 metres to 41 metres.*

It was

Moved by Councillor Kooner

Seconded by Councillor Bose

That Council approve Development Variance

Permit No.7923-0295-00, to vary Part 4 General Provisions of the Zoning By-law to increase the maximum height of a free standing antenna system tower from 12 metres to 41 metres, to proceed to Public Notification.

RES.R24-516

Carried2. **Planning Report – Application No. 7922-0073-00****13733, 13753 and 13773 - 108 Avenue; 13758 and 13764 Larner Road**

Owners: City of Surrey, Larner Developments Ltd.

Director Information: M. Redekop, P. WarkentinOfficer Information as at July 2, 2023: M. Redekop (President),
P. Warkentin (Secretary)

Agent: Flat Architecture Inc. (Rajinder Warraich)

Rezoning from RF and PA-1 to CD**Development Permit***to permit the development of a 6-storey residential apartment building.*

It was

Moved by Councillor Stutt

Seconded by Councillor Bains

That:

1. Council endorse the Public Notification to proceed for Bylaw No. 21198 to rezone the subject site from "Single Family Residential Zone (RF)" and "Assembly Hall 1 Zone (PA-1)" to "Comprehensive Development Zone (CD)".
2. Council authorize staff to draft Development Permit No. 7922-0073-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;

- (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
- (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
- (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
- (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
- (f) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
- (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
- (h) acquisition of a portion of 13773 - 108 Avenue;
- (i) submission of an acoustical report for the units adjacent to 108 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
- (j) registration of a right-of-way for public rights-of-passage for the public plaza area; and
- (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager, Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development.

RES.R24-517

Carried

3. **Planning Report – Application No. 7923-0022-00
12129 - 100 Avenue**
Owners: J. Mann, L. Kaur, A. Mann
Agent: Mainland Engineering Design Corp. (Avnash Banwait)
Development Permit / Development Variance Permit
to allow subdivision into 2 single family lots.

It was

Moved by Councillor Kooner
 Seconded by Councillor Stutt
 That:

1. Council authorize staff to draft Development Permit No. 7923-0022-00 Sensitive Ecosystems (Green Infrastructure Areas), generally in accordance with the attached drawings (Appendix IV), and the finalized Ecosystem Development Plan.
2. Council approve Development Variance Permit No. 7923-0022-00, varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum lot depth of the RF Zone from 28 metres to 25 metres for proposed Lot 2; and
 - (b) to reduce the minimum front yard setback of the RF Zone from 7.5 metres to 4.5 metres to the principal building face for Lots 1 and 2.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a finalized Ecosystem Development Plan to the satisfaction of City staff; and
 - (e) registration of a combined Statutory Right-of-Way / Section 219 Restrictive Covenant over the designated Green Infrastructure Area for both "No Build" and conveyance access.

RES.R24-518

Carried

4. **Planning Report – Application No. 7924-0020-00**
2643 - 128 Street
 Owner: Crescent (Pacific No. 240) Branch of the Royal Canadian Legion
 Agent: Crescent (Pacific No. 240) Branch of the Royal Canadian Legion (C. Schoch)
New Liquor Primary License
to allow for conversion of an existing licensed establishment from liquor primary club to a liquor primary license.

It was Moved by Councillor Kooner
 Seconded by Councillor Stutt
 That:

1. a date for a Public Information Meeting in the form of a Public Hearing be set to solicit opinions from area residents regarding the proposed liquor primary license.
2. if supported after the Public Information Meeting, it is recommended that Council pass a resolution to the Liquor and Cannabis Regulation Branch (LCRB) recommending issuance of the license.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) The applicant enter into a Good Neighbour Agreement with the City, in order to assist in mitigating any potential nuisance impacts the Liquor Primary License may have on the surrounding neighbourhood.

RES.R24-519 Carried

It was Moved by Councillor Kooner
 Seconded by Councillor Stutt
 That Public Input in the form of an
 electronic Public Hearing be held on Monday April 22, 2024, at 7:00 p.m.
Carried

RES.R24-520

5. **Planning Report – Application No. 7922-0291-00
 3316 - 168 Street**
 Owners: M. Tiwana, R Tiwana
 Agent: R. Tiwana
Non-adhering residential use under Section 20.1 of the ALC Act
to temporarily allow the retention of an existing dwelling during the construction of a new single family dwelling.

It was Moved by Councillor Bains
 Seconded by Councillor Kooner
 That Council authorize the referral of the
 application to the Agricultural Land Commission (ALC) for consideration of a
 non-adhering residential use to temporarily allow the retention of an existing
 dwelling during the construction of the new single family dwelling.
Carried

RES.R24-521

6. **Planning Report – Application No. 7920-0040-00**

19585 - 32 Avenue

Owner: 1242852 B.C. Ltd.

Director Information: N. Singh, M. Wahla

Officer Information as at March 2, 2023: M. Wahla (President, Secretary)

Agent: Architecture Panel Inc. (Ruchir Dhall)

LAP Amendment from "Open Space Corridor/Buffer" and "Business Park" to "Commercial"

Rezoning from A-1 to CD (based on C-8)

Development Permit

to permit the development of a two-storey 3,092-square-metre commercial building.

It was

Moved by Councillor Bains

Seconded by Councillor Kooner

That:

1. a Bylaw be introduced to rezone the subject site from "General Agriculture Zone (A-1)" to "Comprehensive Development Zone (CD)" based on "Community Commercial Zone (C-8)", and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7920-0040-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) submission of a finalized Geotechnical Report to the satisfaction of City staff;
 - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and

- (i) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager, Parks, Recreation and Culture.

- 4. Council pass a resolution to amend the Campbell Heights Local Area Plan (LAP) to redesignate the land from "Open Space Corridor/Buffer" and "Business Park" to "Commercial" when the project is considered for final adoption.

RES.R24-522 Carried

It was Moved by Councillor Stutt
 Seconded by Councillor Bains
 That "Surrey Comprehensive Development Zone 197 (CD 197), Bylaw, 2024, No. 21200" pass its first reading.

RES.R24-523 Carried

The said Bylaw was then read for the second time.

It was Moved by Councillor Annis
 Seconded by Councillor Stutt
 That "Surrey Comprehensive Development Zone 197 (CD 197), Bylaw, 2024, No. 21200" pass its second reading.

RES.R24-524 Carried

It was then Moved by Councillor Bains
 Seconded by Councillor Kooner
 That the Public Hearing on "Surrey Comprehensive Development Zone 197 (CD 197), Bylaw, 2024, No. 21200" be held electronically on April 22, 2024, at 7:00 p.m.

RES.R24-525 Carried

- 7. **Planning Report – Application No. 7923-0020-00
 14040, 14048, 14058 and 14064 - 100A Avenue**
 Owners: B. Johal, J. Johal,
 Mortise (100a) Titleco Ltd.
Director Information: B. Johal
No Officer Information Filed.
 Agent: Mortise Construction Ltd. (Travjit Johal)
**NCP Amendment from "Low Rise Transition Residential" to "Low to Mid Rise Residential" for a portion of subject site under the Guildford Plan.
 Rezoning from RF to CD (based on RM-70).
 Development Permit**
to permit the development of a 6-storey apartment building, containing approximately 120 dwelling units over 2 levels of underground parking, on a consolidated site in Guildford.

It was

Moved by Councillor Kooner
Seconded by Councillor Stutt
That:

1. Council endorse the Public Notification to proceed for Bylaw No. 21201 to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)".
2. Council authorize staff to draft Development Permit No. 7923-0020-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Community-Specific Capital Projects Community Amenity Contributions (CACs) in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (g) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
 - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (i) registration of a volumetric statutory right-of-way, for public rights of passage, over the proposed semi-public corner plaza at the north-west portion of the subject site; and

- (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager, Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development.

- 4. Council pass a resolution to amend the Guildford Plan to redesignate a portion of the land from "Low Rise Transition Residential" to "Low to Mid Rise Residential", as illustrated in Appendix V, when the project is considered for Final Adoption.

RES.R24-526

Carried

**8. Planning Report – Application No. 7924-0042-00
13307 King George Boulevard**

Owner: 1333828 B.C. Ltd.

Director Information: N. Bains, K. Dhamrai, A. Mann
No Officer Information Filed as at November 18, 2023.

Agent: Oviedo Properties Ltd. (Kanwar Dhamrait)

Temporary Use Permit

Development Variance Permit

to permit the development of a temporary real estate sales centre for a duration not to exceed 3 years and to permit temporary on-site real estate development marketing signage for a mixed-use high-rise development.

It was

Moved by Councillor Bains
Seconded by Councillor Kooner
That:

- 1. Council approve Temporary Use Permit No. 7924-0042-00, to proceed to Public Notification.
- 2. Council approve Development Variance Permit No. 7924-0042-00, varying the Sign By-law as described in Appendix VI, to proceed to Public Notification.
- 3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the Planning and Development Department;

- (d) submission of \$5,000.00 security to ensure the building is removed and the site is brought into compliance with the Zoning By-law following the expiration of the Temporary Use Permit; and
- (e) amendment of the existing Highway License Agreement to permit the proposed signs to be situated on City land south of the subject site.

RES.R24-527

Carried

**9. Planning Report – Application No. 7924-0032-00
16611, 16651 and 16681 - 20 Avenue**

Owner: Marathon Homes Sunnyside Ltd.

Director Information: G. Gill, J. Gill

No Officer Information Filed as at October 1, 2023.

Agent: Marathon Homes Sunnyside Ltd. (Gurjot Gill)

NCP Amendment from "Cluster Residential 6-10 upa" and "Low Density Residential 6-10 upa" to "Multiple Residential 15-25 upa".

NCP Amendment to eliminate flex road and drainage corridor.

Rezoning from RA and RF-12 to RM-30 and RF-10

Development Permit / Development Variance Permit

to permit the development of 194 townhouse units and two single family lots.

This item was removed from the agenda.

**10. Planning Report – Application No. 7923-0045-00
17854 - 96 Avenue**

Owner: 1127022 B.C. Ltd.

Director Information: M. Virk

Officer Information as at July 17, 2023: M. Virk (President, Secretary)

Agent: CitiWest Consulting Ltd. (Roger Jawanda)

Temporary Use Permit

to permit the temporary use of the site for truck parking for a period not to exceed 3 years.

It was

Moved by Councillor Bains

Seconded by Councillor Kooner

That:

1. Council approve Temporary Use Permit No. 7923-0045-00, to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) completion of road upgrades as required to ensure adequate pavement width for truck traffic along 96 Avenue out to Golden Ears Way;

- (c) input from the Ministry of Transportation & Infrastructure;
- (d) input from TransLink;
- (e) submission of a finalized landscaping and fencing plan and landscaping and fencing cost estimate to the specifications and satisfaction of the Planning and Development Department;
- (f) installation and subsequent inspection and approval of all required landscape screening and fencing works along the south of the property, to the satisfaction of the General Manager, Planning & Development;
- (g) submission of financial securities to ensure that landscaping and fencing is maintained over the course of the Temporary Use Permit, to the satisfaction of the General Manager, Planning & Development;
- (h) the applicant to undertake the necessary work and obtain permits, as required, for the proposed use of the residential building on the site for office space and washroom facility purposes; and
- (i) a Sensitive Ecosystem Development Permit (SEDP) application to be submitted and subsequently issued for the watercourse (yellow-coded ditch) along the northern property line.

RES.R24-528

Carried**11. Planning Report – Application No. 7923-0134-00****16453 - 18 Avenue**

Owner: 1441172 B.C. Ltd.

Director Information: H. Dhillon, D. Dhillon, I. Nagra, G. Sandhu, A. VillingNo Officer Information Filed.

Agent: Flat Architecture Inc. (Rajinder Warraich)

OCP Amendment for a portion of the site from "Mixed Employment" to "Multiple Residential".**OCP Amendment to allow an FAR of 2.5 for the site within the "Multiple Residential" land use designation.****OCP Amendment to amend Figure 42: Major Employment Areas by removing the Mixed Employment designation for the subject site.****NCP Amendment to introduce a new land use designation: "Mixed Use 4-6 Storeys".****NCP Amendment from "Multiple Residential 30-45 upa", "20m Drainage Corridor" and "Road" to "Mixed Use 4-6 Storeys" and "10m Drainage Corridor", and to remove the land consolidation requirement.****LAP Amendment from "Buffers" to "Mixed Commercial Residential".****Rezoning from RA to CD (based on RM-70)****Housing Agreement****Development Permit***to permit the development of a 6-storey mixed-use building.*

It was

Moved by Councillor Kooner
Seconded by Councillor Bains
That:

1. a Bylaw be introduced to amend the Official Community Plan (OCP) Figure 3: General Land Use Designations for a portion of the subject site from "Mixed Employment" to "Multiple Residential", and a date for Public Hearing be set.
2. a Bylaw be introduced to amend the OCP, Table 7a: Land Use Designation Exceptions within the "Multiple Residential" designation by adding site specific permission for the subject site to permit a density of up to 2.5 FAR (net calculation), and a date for Public Hearing be set.
3. a Bylaw be introduced to amend OCP Figure 42: Major Employment Areas by removing the Mixed Employment designation for the subject site, and a date for Public Hearing be set.
4. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the OCP, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
5. a Bylaw be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
6. a Bylaw be introduced to enter into a Housing Agreement and be given First, Second and Third Reading, to allow the property owner and the City of Surrey to enter into a Housing Agreement to secure the rental apartment units for a period of 60 years.
7. Council authorize staff to draft Development Permit No. 7923-0134-00 generally in accordance with the attached drawings (Appendix I), and the finalized Ecosystem Development Plan and geotechnical report.
8. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) approval from BC Hydro;

- (e) approval from Fisheries and Oceans Canada;
- (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
- (g) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
- (h) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
- (i) submission of a finalized Ecosystem Development Plan to the satisfaction of City staff;
- (j) submission of a finalized Geotechnical Report to the satisfaction of City staff;
- (k) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
- (l) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
- (m) registration of a Section 219 Restrictive Covenant to ensure that the site is developed according to the recommendations contained in the finalized geotechnical report;
- (n) registration of an access easement to provide fire access to the property at 16485 - 18 Avenue;
- (o) registration of an access easement to provide access to the property at 1852 - 164 Street;
- (p) the applicant provide proportionate compensation for civil works and parks related costs, including for road, drainage corridor and Grandview Ridge Trail related land and construction costs, to the satisfaction of the Planning & Development, Engineering and Parks, Recreation and Culture Departments;
- (q) registration of a Section 219 Restrictive Covenant to ensure that, if the rental use is discontinued in the future, the City's needs with respect to Community Amenity Contributions (CAC), including Affordable Housing, Capital Projects and Tier 2 Capital Plan Project CACs, will be adequately met, to the satisfaction of the General Manager, Planning & Development Department;
- (r) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the

satisfaction of the General Manager, Parks, Recreation and Culture;
and

- (s) Submission and acceptance of a Drainage Technical Memo to address how the drainage objectives of the NCP will be achieved.

9. Council pass a resolution to amend the Sunnyside Heights Neighbourhood Concept Plan (NCP) to introduce a new land use designation: "Mixed Use 4-6 Storeys", and to redesignate the land from "Multiple Residential 30-45 upa", "Road" and "20m Drainage Corridor" to "Mixed Use 4-6 Storeys" and "10m Drainage Corridor", and to eliminate the land consolidation requirement, when the project is considered for final adoption.

10. Council pass a resolution to amend the Highway 99 Corridor Local Area Plan (LAP) to redesignate the land from "Buffers" to "Mixed Commercial Residential" when the project is considered for final adoption.

RES.R24-529 Carried

It was Moved by Councillor Bains
Seconded by Councillor Kooner
That "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21203" pass its first reading.

RES.R24-530 Carried

The said Bylaw was then read for the second time.

It was Moved by Councillor Bose
Seconded by Councillor Stutt
That "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21203" pass its second reading.

RES.R24-531 Carried

It was then Moved by Councillor Bains
Seconded by Councillor Stutt
That the Public Hearing on "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21203" be held electronically on April 22, 2024, at 7:00 p.m.

RES.R24-532 Carried

It was Moved by Councillor Kooner
Seconded by Councillor Bains
That "Surrey Comprehensive Development Zone 198 (CD 198), Bylaw, 2024, No. 21204" pass its first reading.

RES.R24-533 Carried

It was Moved by Councillor Stutt
Seconded by Councillor Bains
That:

1. Council approve Temporary Use Permit No. 7924-0057-00, to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements are addressed to the satisfaction of the General Manager, Engineering.

RES.R24-539

Carried

With Councillors Elford and Nagra opposed.

**13. Planning Report – Application No. 7921-0170-00
10162 and 10188 - 172 Street**

Owner: 1334718 B.C. Ltd.

Director Information: M. NattNo Officer Information Filed as at November 24, 2023.

Agent: CitiWest Consulting Ltd. (Roger Jawanda)

OCP Amendment from "Suburban" to "Urban"**Rezoning from RA to RF****Development Variance Permit***to allow subdivision into 13 residential lots.*

It was Moved by Councillor Kooner
Seconded by Councillor Stutt
That:

1. a Bylaw be introduced to amend the Official Community Plan (OCP) Figure 3: General Land Use Designations for the subject site from "Suburban" to "Urban", and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the OCP, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a Bylaw be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)", and a date be set for Public Hearing.
4. Council approve Development Variance Permit No. 7921-0170-00, varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum lot width of the RF Zone from 15 metres to 14.5 metres for proposed Lots 2 – 4 and 10 – 12.

5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) input from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (f) the applicant adequately address the City’s needs with respect to the City’s Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services; and
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department.

RES.R24-540

Carried

It was

Moved by Councillor Kooner
Seconded by Councillor Stutt
That "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21206" pass its first reading.

RES.R24-541

Carried

The said Bylaw was then read for the second time.

It was

Moved by Councillor Stutt
Seconded by Councillor Kooner
That "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21206" pass its second reading.

RES.R24-542

Carried

It was then

Moved by Councillor Kooner
Seconded by Councillor Stutt
That the Public Hearing on "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21206" be held electronically on April 22, 2024, at 7:00 p.m.

RES.R24-543

Carried

RES.R24-544 It was Moved by Councillor Kooner
Seconded by Councillor Stutt
That "Surrey Zoning By-law, 1993, No. 12000,
Amendment Bylaw, 2024, No. 21207" pass its first reading.
Carried

The said Bylaw was then read for the second time.

RES.R24-545 It was Moved by Councillor Kooner
Seconded by Councillor Bains
That "Surrey Zoning By-law, 1993, No. 12000,
Amendment Bylaw, 2024, No. 21207" pass its second reading.
Carried

RES.R24-546 It was then Moved by Councillor Stutt
Seconded by Councillor Kooner
That the Public Hearing on "Surrey Zoning
By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21207" be held electronically
on April 22, 2024, at 7:00 p.m.
Carried

- 14. Planning Report – Application No. 7921-0272-00
18756 No. 10 (56 Avenue) Highway (18778 No. 10 (56 Avenue) Highway)**
Owner: 653699 B.C. Ltd.
Director Information: H. Johal, M. Johal
Officer Information as at August 29, 2023: H. Johal (President)
Agent: Ankenman Associates Architects Inc. (Emily Kearns)
OCP Amendment from "Suburban" to "Multiple Residential"
Rezoning from C-5 to CD
Development Permit
*to permit the development of a 5-storey mixed-use building, with a total 74 dwelling
units and 1,458 sq.m. of commercial/retail space.*

It was Moved by Councillor Stutt
Seconded by Councillor Kooner
That:

1. a Bylaw be introduced to amend the Official Community Plan (OCP) Figure 3: General Land Use Designations for the subject site from "Suburban" to "Multiple Residential", and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the OCP, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.

3. a Bylaw be introduced to rezone the subject site from "Neighbourhood Commercial Zone (C-5)" to "Comprehensive Development Zone (CD)", and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7921-0272-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) approval from the Ministry of Transportation & Infrastructure;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (g) registration of a right-of-way for public rights-of-passage for the area between the breezeway, building face and the street edges;
 - (h) submission of an acoustical report for the units adjacent to Highway No. 10 and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
 - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager, Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development.

RES.R24-547

Carried

RES.R24-548 It was Moved by Councillor Kooner
Seconded by Councillor Stutt
That "Surrey Official Community Plan Bylaw,
2013, No. 18020, Amendment Bylaw, 2024, No. 21208" pass its first reading.
Carried

The said Bylaw was then read for the second time.

RES.R24-549 It was Moved by Councillor Kooner
Seconded by Councillor Stutt
That "Surrey Official Community Plan Bylaw,
2013, No. 18020, Amendment Bylaw, 2024, No. 21208" pass its second reading.
Carried

RES.R24-550 It was then Moved by Councillor Bains
Seconded by Councillor Kooner
That the Public Hearing on "Surrey Official
Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21208" be
held electronically on April 22, 2024, at 7:00 p.m.
Carried

RES.R24-551 It was Moved by Councillor Kooner
Seconded by Councillor Stutt
That "Surrey Comprehensive Development
Zone 202 (CD 202), Bylaw, 2024, No. 21209" pass its first reading.
Carried

The said Bylaw was then read for the second time.

RES.R24-552 It was Moved by Councillor Kooner
Seconded by Councillor Bains
That "Surrey Comprehensive Development
Zone 202 (CD 202), Bylaw, 2024, No. 21209" pass its second reading.
Carried

RES.R24-553 It was then Moved by Councillor Stutt
Seconded by Councillor Kooner
That the Public Hearing on "Surrey
Comprehensive Development Zone 202 (CD 202), Bylaw, 2024, No. 21209" be held
electronically on April 22, 2024, at 7:00 p.m.
Carried

- 15. **Planning Report – Application No. 7923-0343-00**
16810 - 16 Avenue (1582 – 168 Street)
 Owners: H. Sahota, H. Sahota
 Agent: Sanderson + Welsh Planning Ltd. (Michael D. Sanderson)
Non-farm use for Placement of Fill under Section 20(2) of the ALC Act.
to permit the establishment of a garden/nursery centre and relocation of on-site arable soils.

It was Moved by Councillor Kooner
 Seconded by Councillor Bains
 That Council authorize referral of the
 application to the Agricultural Land Commission for consideration of a non-farm
 use for the Placement of Fill under Section 20(2) of the ALC Act.

RES.R24-554 Carried

D. ADDITIONAL PLANNING COMMENTS

This section had no items to consider.

E. ITEMS REFERRED BACK

- 1. **Planning Report – Application No. 7923-0012-00**
6280 and 6292 – 192 Street
 Owner: BMG Projects Cloverdale Inc.
Director Information: M. Chatha, B. Mann
Officer Information as at April 7, 2023: M. Chatha (Secretary),
 B. Mann (President)
 Agent: BMG Projects Cloverdale Inc. (Milan Mann)
OCP Amendment from "Urban" to "Multiple Residential"
OCP Text Amendment to allow a higher density in the "Multiple Residential"
designation.
Rezoning from RF to CD (based on RM-70)
Development Permit
to permit the development of a 6-storey apartment building with approximately 157 dwelling units and underground parking on a consolidated site.

* See memorandum dated March 14, 2024.

It was Moved by Councillor Kooner
 Seconded by Councillor Stutt
 That Council:

- 1. File Official Community Plan (OCP) Amendment Bylaw No. 21193 to
 redesignate the subject site from "Urban" to "Multiple Residential"
 (Resolution Nos. R24-437, R24-438 and R24-439).

- 2. File Rezoning Bylaw No. 21194 rezoning the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" (based on RM-70) (Resolution Nos. R24-440, R24-441 and R24-442).
- 3. Endorse the Public Notification to proceed for Official Community Plan (OCP) Bylaw No. 21210 to:
 - (a) amend the OCP Figure 3: General Land Use Designations for the subject site from "Urban" to "Multiple Residential"; and
 - (b) amend Table 7a: Land Use Designation Exceptions within the "Multiple Residential" designation by adding site specific permission for the subject site to permit a density of up to 2.40 FAR (net density calculation).
- 4. Endorse the Public Notification to proceed for Bylaw No. 21211 to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" (based on RM-70).

RES.R24-555

Carried

It was

Moved by Councillor Bains
 Seconded by Councillor Kooner
 That "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21193" and "Surrey Comprehensive Development Zone 191 (CD 191), Bylaw, 2024, No. 21194" be filed.

RES.R24-556

Carried

F. CORPORATE REPORTS

This section had no items to consider.

G. CORRESPONDENCE

This section had no items to consider.

H. NOTICE OF MOTION

This section had no items to consider.

I. BYLAWS AND PERMITS

BYLAWS WITH PERMITS

- 1. Planning Report – Application No. 7918-0425-00
10472, 10482, 10492 – 140 Street

Owner: 1125522 B.C. Ltd. (Director Information: A. Rahimtula)
Agent: Mortise Construction Ltd. (Arvin Brar)

"Surrey Zoning Bylaw, 1993, No. 12000, Amendment Bylaw, 2020, No. 20061"
RF to CD - to develop a 6-storey apartment building consisting of 106 dwelling
units and convey an open space lot to the City.

Council direction received July 11, 2023

It was Moved by Councillor Kooner
Seconded by Councillor Stutt
That "Surrey Zoning Bylaw, 1993, No. 12000,
Amendment Bylaw, 2020, No. 20061" be finally adopted.

RES.R24-557

Carried

Development Permit No. 7918-0425-00
To issue Development Permit for Form and Character and Sensitive Ecosystems.

Council authorized to draft April 6, 2020

It was Moved by Councillor Kooner
Seconded by Councillor Stutt
That Council authorize the issuance of
Development Permit No. 7918-0425-00.

RES.R24-558

Carried

- 2. Planning Report – Application No. 7922-0116-00
9671 – 161A Street

Owner: 1332166 B.C. Ltd. (Director Information: T. Garcha, V. Mehta)
Agent: Unibuild Construction Management Ltd. (Vikas Mehta)

"Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2023, No. 20928"
RA to RF-13 – to subdivide into four single family lots and one lot to be conveyed
to the City for conservation purposes.

Council direction received April 17, 2023

Development Variance Permit No. 7920-0321-01
To reduce the minimum number of on-site parking spaces by 7% (124 spaces to 116 spaces) and to allow parking spaces in front of loading bays for units that have a surplus of usable loading bays in order to permit the development of a multi-tenant industrial building.

Supported by Council September 11, 2023

It was Moved by Councillor Kooner
Seconded by Councillor Bains
That Council authorize the issuance of

Development Variance Permit No. 7920-0321-01.
RES.R24-563 Carried

Development Permit No. 7920-0321-00
To issue Development Permit for Form and Character

Council authorized to draft July 24, 2023

It was Moved by Councillor Stutt
Seconded by Councillor Kooner
That Council authorize the issuance of

Development Permit No. 7920-0321-00.
RES.R24-564 Carried

- 4. Planning Report – Application No. 7919-0371-00
8293 King George Boulevard; 8345 - 135A Street

Owner: George Eighty3 Properties Ltd. (Director Information: B. Sandhu)
Agent: Matthew Cheng Architect Inc. (Matthew Cheng)

"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2021, No. 20547"

To amend the OCP Figure 3: General Land Use Designations from Urban to Multiple Residential and Table 7a: Land Use Designation Exceptions by adding a site specific permission for properties located at 8293 King George Boulevard and 8345 - 135A Street to permit a density up to 2.21 FAR.

Council direction received December 20, 2021

It was Moved by Councillor Bains
Seconded by Councillor Kooner
That "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2021, No. 20547" be finally adopted.

RES.R24-565 Carried

RES.R24-575

It was Moved by Councillor Kooner
Seconded by Councillor Bains
That Council amend the East Clayton
Neighbourhood Concept Plan (NCP) Extension North of 72 Avenue to redesignate
portions of the site from "6 10 u.p.a. (Low Density)" and "10-15 u.p.a. Special
Residential" to "10-15 u.p.a. (Medium Density)."
Carried

RES.R24-576

It was Moved by Councillor Kooner
Seconded by Councillor Stutt
That "Surrey Zoning Bylaw, 1993, No. 12000,
Amendment Bylaw, 2014, No. 18162" be finally adopted.
Carried

Development Variance Permit No. 7913-0156-00
To reduce setbacks in order to incorporate detached double car garages on
proposed lots 1, 5, 6, 7 and 8.

Supported by Council February 24, 2014

RES.R24-577

It was Moved by Councillor Bains
Seconded by Councillor Kooner
That Council authorize the issuance of
Development Variance Permit No. 7913-0156-00.
Carried

PERMITS - APPROVALS

8. Planning Report – Application No. 7919-0336-00
10863, 10885 - 125 Street

Owner: Johal Holdings Ltd. (Director Information: S. Johal)
Agent: Boughton Law Corporation (Wally Oppal)

Temporary Use Permit No. 7919-0336-00
To allow the continuation of outdoor storage of lumber materials on the site, for a
period not to exceed three years.

Supported by Council July 13, 2020

RES.R24-578

It was Moved by Councillor Bains
Seconded by Councillor Kooner
That Council authorize the issuance of
Temporary Use Permit No. 7919-0336-00.
Carried

9. Planning Report – Application No. 7921-0338-00
17801 – 64 Avenue

Owner: North Cloverdale Strata Developments Ltd.
(Director Information: A. Green, A. Tecklenborg, G. Tecklenborg)
Agent: Teck Construction (Teri Hudson)

Development Variance Permit No. 7921-0338-00
To reduce the east and west side yard setback requirements from 7.5 metres to 0.0 metres to permit the development of two multi-tenant buildings for warehouse and office uses.

Supported by Council April 17, 2023

It was Moved by Councillor Bains
Seconded by Councillor Kooner
That Council authorize the issuance of

Development Variance Permit No. 7921-0338-00.
RES.R24-579 Carried

Development Permit No. 7921-0338-00
To issue Development Permit for Form and Character.

Council authorized to draft April 3, 2023

It was Moved by Councillor Kooner
Seconded by Councillor Bains
That Council authorize the issuance of

Development Permit No. 7921-0338-00.
RES.R24-580 Carried

10. Planning Report – Application No. 7921-0297-00
14685 – 88 Avenue

Owner: C. En, Y. En
Agent: Day Cong Tran

Development Variance Permit No. 7921-0297-00
To reduce the minimum streamside setback for a Class A Stream from 15 metres to 5 metres as measured from top-of-bank, in order to construct a single family dwelling on the existing lot.

Supported by Council June 13, 2022

RES.R24-581 It was Moved by Councillor Stutt
Seconded by Councillor Bains
That Council authorize the issuance of
Development Variance Permit No. 7921-0297-00.
Carried

Development Permit No. 7921-0297-00
To issue Development Permit for Hazard Lands and Sensitive Ecosystems.
Council authorized to draft May 30, 2022

RES.R24-582 It was Moved by Councillor Kooner
Seconded by Councillor Stutt
That Council authorize the issuance of
Development Permit No. 7921-0297-00.
Carried

ii. Planning Report – Application No. 7922-0284-00
5674 – 192 Street

Owner: 0975417 B.C. Ltd. (Director Information: G. Gupta)
Agent: Orion Construction Ltd. (Hemant Chauhan)

Development Variance Permit No. 7922-0284-00
To reduce the minimum required off-street parking from 31 spaces to 24 spaces;
and to reduce the south side yard setback from 7.5 metres to 6 metres in order to
develop an industrial warehouse building.

Supported by Council January 15, 2024

RES.R24-583 It was Moved by Councillor Kooner
Seconded by Councillor Bains
That Council authorize the issuance of
Development Variance Permit No. 7922-0284-00.
Carried

Development Permit No. 7922-0284-00
To issue Development Permit for Form and Character.

Council authorized to draft December 18, 2023

RES.R24-584 It was Moved by Councillor Bains
Seconded by Councillor Kooner
That Council authorize the issuance of
Development Permit No. 7922-0284-00.
Carried

12. Planning Report – Application No. 7921-0092-00
19060 – 54 Avenue; 5353 – 192 Street

Owner: CC 192/54 Industrial Ltd. (Director Information: W. Fisher, E. Ilkay)
Agent: Orion Construction (P. Bangma)

Development Variance Permit No. 7921-0092-00
To increase the maximum permitted lot coverage from 60% to 63% for a proposed industrial building in order to permit the development of two, one-storey (with mezzanine) multi-tenant industrial buildings.

Supported by Council May 1, 2023

It was
Moved by Councillor Stutt
Seconded by Councillor Bains
That Council authorize the issuance of

Development Variance Permit No. 7921-0092-00.
RES.R24-585 Carried

Development Permit No. 7921-0092-00
To issue Development Permit for Form and Character.

Council authorized to draft April 17, 2023

It was
Moved by Councillor Bains
Seconded by Councillor Kooner
That Council authorize the issuance of

Development Permit No. 7921-0092-00.
RES.R24-586 Carried

13. Planning Report – Application No. 7921-0227-00
17670 James Hill Drive

Owner: 0794275 B.C. Ltd. (Director Information: R. Berezan)
Agent: Berezan Management (BC) Ltd. (Ray Spence)

Development Variance Permit No. 7921-0227-00
To reduce the minimum off-street parking requirements from 422 to 294 parking stalls for the proposed industrial building in order to permit the development of a 40,250-square metre, one-storey (with mezzanine) multi-tenant industrial building in Cloverdale Town Centre.

Supported by Council May 15, 2023

Present:

Chairperson - Mayor Locke
Councillor Annis – joined at 7:05 pm
Councillor Bains
Councillor Bose
Councillor Elford – joined at 7:05 pm
Councillor Kooner
Councillor Nagra
Councillor Stutt

Absent:

Councillor Hepner

Staff Present:

City Manager
City Clerk
General Manager, Corporate Services
General Manager, Engineering
General Manager, Finance
General Manager, Parks, Recreation & Culture
General Manager, Planning & Development
General Manager, Social Infrastructure & Community Investments
City Solicitor
Deputy Fire Chief
Director, Development Planning
Manager, Development Planning

A. ADOPTIONS**1. Adoption of the Agenda**

It was

Moved by Councillor Kooner
Seconded by Councillor Bains
That:

1. The agenda of the April 8, 2024 Regular Council Public Hearing meeting be amended as follows:
 - a. Remove Item C.1.(b) 2024-2025 Fees & Charges – Admissions, Passes and Rentals under Committee Reports;
2. The agenda be adopted as amended.

RES.R24-590

Carried

2. Adoption of the Minutes**a. Special Council – March 11, 2024**

It was

Moved by Councillor Stutt
Seconded by Councillor Kooner
That the minutes of the Special Council meeting held on March 11, 2024, be adopted.

RES.R24-591

Carried

Councillors Annis and Elford joined the meeting at 7:05 p.m.

D. Jack, Surrey Environmental Partners: The delegation expressed support for the proposal citing trees, outdoor amenity area, lush planting, and habitat for flora and fauna.

K. Moffat, South Surrey: The delegation expressed concerns for the proposal citing noise, character of neighborhood, traffic, and density.

Written submissions were received as follows:

- J. Kalenuik expressing support for the proposal.
- C. Oyhenart expressing support for the proposal.
- A. Liang expressing support for the proposal.
- P. Sahi expressing support for the proposal.
- W. Buono and S. Buono expressing support for the proposal.
- M. van den Boogaard expressing support for the proposal.
- R. Leonard expressing support for the proposal.
- A. Dorchester and T. Dorchester expressing support for the proposal.
- D. Watson expressing support for the proposal.
- L. Bellini expressing support for the proposal.
- L. Bellini expressing support for the proposal.
- J. Hammond expressing support for the proposal.
- H. Bitter expressing support for the proposal.
- K. White expressing support for the proposal.
- M. Pottinger expressing support for the proposal.
- B. Smyth expressing support for the proposal.
- L. Kalenuik expressing support for the proposal.
- G. Sobolik and H. Sobolik expressing support for the proposal citing retirement living.
- N. Hildebrand expressing support for the proposal citing housing options.
- P. Gilley expressing support for the proposal.
- N. Langfield expressing support for the proposal.
- R. Froese expressing support for the proposal citing affordable living.
- M. Y expressing support for the proposal.
- J. Schmok expressing support for the proposal.
- J. Schmok expressing support for the proposal.
- C. Kool expressing support for the proposal.
- J. McCormick expressing support for the proposal.
- R. Landale expressing opposition for the proposal citing trees.
- A. Wong expressing opposition for the proposal citing density, access, noise, pollution, traffic, transit, environment, and tree.
- S. Olson expressing concerns for the proposal citing parking.
- S. Beechinor- Carter expressing concerns for the proposal citing what development will go into existing property and parking.

2. **Planning Report – Application No. 7923-0217-00**
"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21190"
"Surrey Comprehensive Development Zone 189 (CD 189), Bylaw, 2024, No. 21191"

CIVIC ADDRESS: 2828 and 2868 Croydon Drive

APPLICANT: Owner: N. Porter, 1285327 B.C. Ltd.
(Director Information: B. Hanson, C. Westgard)
Agent: KCC Architecture and Design Ltd. (Karla Castellanos)

PURPOSE: The applicant is requesting to amend the Official Community Plan (OCP) Table 7a: Land Use Designation Exceptions by permitting a density of up to 1.89 FAR for a portion of the subject site. The proposal also includes rezoning the same portion of the site from One-Acre Residential Zone to Comprehensive Development Zone in order to develop a 5,437 square metre multi-storey business park building.

The Notice of the Public Hearing was read by the City Clerk.

D. Jack, Surrey Environmental Partners: The delegation spoke to trees, riparian setback, biodiversity conservation strategy, parkland, green roof, and wildlife habitat.

Written submissions were received as follows:

- S. Wall expressing support to the proposal.
- R. Landale expressing opposition to the proposal citing trees.

3. **Inflationary Update and Clarity on Application of Community Amenity Contributions – Corporate Report No. 2024-R046**
"Surrey Official Community Plan Bylaw, 2013, No. 18020, Bylaw, 2024, No. 21183"
"Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21184"

PURPOSE: To provide clarity for Community Amenity Contributions (CAC) within Secondary Plan areas of the Official Community Plan maps for Figures 4 and Figure 63 and to increase the Secondary Plan and Infill Area Amenity Contribution, Affordable Housing, Capital Project, and Community Specific Capital Project Community Amenity Contributions rates by 4.3%, based on Vancouver's Annual Consumer Price Index (CPI) for inflation.

The Notice of the Public Hearing was read by the City Clerk.

There were no persons present to speak to the proposed Bylaw.

Written submissions were received as follows:

- R. Landale expressing opposition to the proposal citing trees.

**4. Provincial Housing Legislation – Corporate Report No. 2024-R044
"Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2024, No. 21187"**

PURPOSE: To align Secondary Plan Areas for City Centre and Fleetwood Plan with proposed plan boundary extensions for the purpose of collecting Community Amenity Contributions (CACs).

The Notice of the Public Hearing was read by the City Clerk.

A. Appel, Clayton: The delegation expressed opposition to the proposal citing character of neighborhood, density, safety, and building heights in Clayton.

Written submissions were received as follows:

- R. Landale expressing opposition to the proposal citing trees.

C. COMMITTEE REPORTS

1. Parks, Recreation and Sport Tourism Committee – February 7, 2024

(a) It was Moved by Councillor Kooner
 Seconded by Councillor Bains
 That the minutes of the Parks, Recreation and Sport Tourism Committee meeting held on February 7, 2024, be received.

RES.R24-595

Carried

(b) 2024-2025 Fees & Charges – Admissions, Passes and Rentals

This item was out of order.

2. Agricultural and Food Policy Committee – February 13, 2024

It was Moved by Councillor Kooner
 Seconded by Councillor Bains
 That the minutes of the Agricultural and Food Policy Committee meeting held on February 13, 2024, be received.

RES.R24-596

Carried

- The Mayor was a keynote speaker at the Major Projects Forum hosted by the Greater Vancouver Board of Trade, focusing on "Building for Record Growth," where opportunities for Surrey's economic development were emphasized. Government support, especially in infrastructure, was highlighted as essential for accommodating the city's growth.
- Surrey celebrated the opening day of baseball leagues such as Newton Canadian Baseball and the Surrey Canadian Baseball Association, reflecting the city's sports spirit. With youth leagues such as South Surrey White Rock Minor Softball Association and Whalley Little League starting their seasons, the community unites to support young athletes, marking the beginning of spring and vibrant youth engagement in sports.
- During spring break, Newton hosted the Surrey FC Mayor's Cup, one of BC's largest soccer tournaments attracting teams from Canada and the US. A longstanding spring tradition, the tournament brought together a diverse array of teams, highlighting Surrey's role as a hub for youth sports.
- The Mayor congratulated the BC U-16 ringette team, including a player from Surrey, competing at the Nationals in New Brunswick this week. In addition to vying for the national title, the team will participate in pin trading, featuring special City of Surrey pins, showing support for the talented athletes representing BC.
- The Mayor acknowledged the dedicated volunteers, coaches, referees, and supportive parents who dedicate their time and energy to youth sports leagues, fostering sportsmanship, teamwork, and personal development among participants.
- April in Surrey is marked by the vibrant Vaisakhi parade, the largest outside of India, drawing hundreds of thousands to celebrate Sikh culture. April is also Sikh Heritage Month, honoring the significant contributions of Sikh Canadians to Surrey and BC, and shaping the city's rich cultural landscape.
- Ugly Potato Day, initiated by the Heppell family, offers imperfect produce for free to the public, curbing food waste and raising donations for local food banks. This community event has grown significantly in popularity over the years, fostering community engagement and support for a worthy cause.

1. Proclamations

File: 0630-02

Councillor Bose read the following proclamations:

- (a) Dr. B.R. Ambedkar Day of Equality - April 14, 2024
- (b) Emergency Service Dispatchers and 911 Awareness Week - April 14 - 20, 2024

It was
Moved by Councillor Kooner
Seconded by Councillor Elford
That Council:

1. Receive Corporate Report R055 for information; and
2. Endorse the policy framework and application process for regulating cannabis retail stores, attached as Appendix "I" and as generally described in the report.

RES.R24-600 Carried

**Item No. R056 Establishment of the Development Inquiry Assistant
File: 1855-03 (Housing Accelerator Fund)**

The General Manager, Planning & Development, and General Manager, Corporate Services submitted a report to inform Council of the April 9, 2024 launch of the Development Inquiry Assistant, an Artificial Intelligence-powered chatbot aimed at empowering citizens with instant and accurate answers to their questions about permitting requirements and development opportunities.

It was
Moved by Councillor Bains
Seconded by Councillor Kooner
That Council receive Corporate Report R056

for information.
RES.R24-601 Carried

**Item No. R057 City of Surrey’s Accessibility Action Plan - 2024
File: 0550-20**

The General Manager, Parks, Recreation & Culture submitted a report to obtain Council endorsement of the Accessibility Action Plan in accordance with the *Accessible British Columbia Act*.

It was
Moved by Councillor Kooner
Seconded by Councillor Stutt
That Council:

1. Receive Corporate Report R057 for information; and
2. Endorse the City’s Accessibility Action Plan attached as Appendix "I".

RES.R24-602 Carried

4. Authorize the General Manager, Parks, Recreation & Culture, to execute Contract No. 1220-040-2024-015.

RES.R24-604

Carried

**Item No. Ro60 Council Initiatives Funding Request – Run Surrey Run
File: 1850-20**

The General Manager, Finance submitted a report to Council regarding a request from Balsar Community Foundation for the City to provide a funding contribution for their annual Run Surrey Run event to be held at Holland Park on Sunday, September 8, 2024.

It was

Moved by Councillor Kooner
Seconded by Councillor Bains
That Council:

1. Receive Corporate Report Ro60 for information; and
2. Approve a sponsorship of \$20,000 from the Council Initiatives Fund towards the annual Run Surrey Run event to be held on Sunday, September 8, 2024.

RES.R24-605

Carried

**Item No. Ro61 Metro Vancouver Regional Context Statement Amendment
Applications
File: 6880-01**

The General Manager, Planning & Development submitted a report to seek resolutions from Council to authorize staff to submit Regional Context Statement amendment applications to the Metro Vancouver Board for Development Application Nos. 7914-0213-00 and 7923-0090-00.

It was

Moved by Councillor Bains
Seconded by Councillor Kooner
That Council:

1. Pass two individual resolutions to authorize staff to submit a Regional Context Statement amendment application to Metro Vancouver for:
 - a. Development Application No. 7914-0213-00, in accordance with Council granting Third Reading to *Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw No. 19344*, on September 11, 2017, as shown in Appendix "I";
 - and
 - b. Development Application No. 7923-0090-00, in accordance with Council granting third reading to *Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw No. 21170*, on February 26, 2024, as shown in Appendix "II";

2. For Development Application No. 7914-0213-00, authorize the City Clerk to bring forward *Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 19344* for final adoption, subject to the Metro Vancouver Board approving Surrey's amended Regional Context Statement and approving the Regional Growth Strategy amendments; and
3. For Development Application No. 7923-0090-00, authorize the City Clerk to bring forward *Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21170* for final adoption, subject to the Metro Vancouver Board approving Surrey's amended Regional Context Statement and approving the Regional Growth Strategy amendments.

RES.R24-606

Carried

Item No. Ro62 Housekeeping Amendments to Fee-Setting and Municipal Ticket Information Utilization Bylaws
File: 4520-08

Note: See Bylaws 21212, 21213 and 21214 in the H-Section.

The General Manager, Engineering submitted a report to Council to bring forward amendments to the Fee-Setting Bylaw, Municipal Ticket Information (MTI Bylaw), and Enforcement Bylaw in light of the new *Erosion and Sediment Control Bylaw, 2024, No. 21181* (ESC Bylaw) that was approved by Council at the Regular Council Meeting – Public Hearing of March 11, 2024. The proposed amendments aim to update and align these Bylaws with the new ESC Bylaw.

It was

Moved by Councillor Kooner
 Seconded by Councillor Stutt
 That Council:

1. Receive Corporate Report Ro62 for information;
2. Authorize the City Clerk to bring forward for First, Second and Third Reading amendments to the *Surrey Fee-Setting By-law, 2001, No. 14577* (the "Fee-Setting Bylaw"), as outlined in Appendix "I";
3. Authorize the City Clerk to bring forward for First, Second and Third Reading amendments to the *Surrey Municipal Ticket Information Utilization By-law, 1994, No. 12508* (the "MTI Bylaw"), as outlined in the Appendix "II";
4. Authorize the City Clerk to bring forward for First, Second and Third Reading amendments to the *Surrey Bylaw Notice Enforcement Bylaw, 2016, No. 18691* (the "Enforcement Bylaw"), as outlined in Appendix "III"; and
5. Authorize the City Clerk to bring forward the amended Fee-Setting Bylaw, MTI Bylaw and Enforcement Bylaw for Final Adoption, as required.

RES.R24-607

Carried

3. Direct staff to install commemorative street name signs on 177B Street between 62 Avenue and 64 Avenue as "Will Senger Way".

RES.R24-609

Carried

**Item No. Ro65 Surrey Extreme Weather Action Plan – Summer 2024 Update
File: 4710-01**

The General Manager, Social Infrastructure and Community Investments, General Manager, Parks, Recreation & Culture, General Manager, Corporate Services, Fire Chief, Emergency Planning Coordinator, Chief Librarian submitted a report to update Council on the City's preparations for potential extreme weather events and to provide the confirmed extreme heat and smoke relief location for Summer 2024.

It was

Moved by Councillor Kooner
Seconded by Councillor Bains
That Council receive Corporate Report Ro65

for information.

RES.R24-610

Carried

**Item No. Ro66 Short-Term Rentals in Surrey
File: 4815-01**

The General Manager, Planning & Development submitted a report to obtain Council approval of a proposed short-term rental accommodation policy in Surrey and, if approved, to authorize staff to bring forward the necessary bylaw amendments.

It was

Moved by Councillor Kooner
Seconded by Councillor Stutt
That Council:

1. Receive Corporate Report Ro66 as information;
2. Endorse the proposed draft policy for Short-Term Rentals, as attached in Appendix "I" and described in the report; and
3. Authorize the City Clerk to bring forward the necessary amendment bylaws for the *Surrey Zoning By-law, 1993, No. 12000; Business License By-law, 1999, No. 13680; Surrey Bylaw Notice Enforcement Bylaw, 2016, No. 18691; and Surrey Municipal Ticket Information Utilization By-law, 1994, No. 12508*, for the required readings and to set a date for the related public hearing.

RES.R24-611

Carried

2. Set the expenditure authorization limit for Contract No. 1723-015-11 at \$3,150,000.00 (including contingencies and GST); and
 3. Authorize the General Manager, Engineering to execute Contract No. 1723-015-11.
- RES.R24-613 Carried

Item No. Ro69 Acquisition of 9278 – 151A Street as part of a Site Assembly for the Future Relocation of Firehall No. 6
File: 0910-40/104

The General Manager, Engineering, and Fire Chief, Fire Services submitted a report to seek Council's approval to purchase the property located at 9278 – 151A Street, as illustrated on the map attached to the report as Appendix "I", for the future relocation of Firehall No. 6, which is currently located at 9039 & 9049 – 152 Street, as illustrated on the map attached to the report as Appendix "II".

It was Moved by Councillor Bains
Seconded by Councillor Kooner
That Council:

1. Receive Corporate Report Ro69 for information; and
 2. Approve the purchase of 9278 – 151A Street (PID: 004-435-559) in pursuit of a site assembly to facilitate the relocation of Firehall No. 6.
- RES.R24-614 Carried

H. BYLAWS AND PERMITS

BUSINESS ARISING OUT OF THE PUBLIC HEARING

1. Planning Report – Application No. 7923-0096-00
1651 to 1679 – 128 Street

Owner: Cressey Ocean Park Holdings Ltd. (Director Information: N. Cressey, S. Cressey)
Agent: Cressey (Ocean Park) Development Ltd. (Nathan Gurvich)

"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21188"
To amend OCP Table 7a: Land Use Designation Exceptions by permitting a density of up to 1.7 FAR.

- It was Moved by Councillor Kooner
Seconded by Councillor Bains
That "Surrey Official Community Plan Bylaw,
2013, No. 18020, Amendment Bylaw, 2024, No. 21188" pass its third reading.
- RES.R24-615 Carried

"Surrey Development Cost Charge Bylaw, 2024, No. 21174"

3900-20-21174

A new regulatory bylaw to impose development cost charges to assist the City in paying the capital cost of providing sewage, water, drainage and highway facilities as well as park land acquisition and improvements, for new subdivisions and the construction or alteration of buildings. This bylaw will also repeal Bylaw No. 20865.

* See memorandum dated March 28, 2024.

It was Moved by Councillor Kooner
Seconded by Councillor Bains
That Council rescind third reading of Bylaw
No. 21174, granted by resolution RES. R24-411, at the February 26, 2024 Regular
Council – Public Hearing meeting.

RES.R24-639 Carried

It was Moved by Councillor Kooner
Seconded by Councillor Bains
That Council amend Bylaw No. 21174 to
include West Clayton area specific until all the reserves have been depleted and that
projects in the West Clayton area are constructed and adding a new Schedule G.

RES.R24-640 Carried

It was Moved by Councillor Kooner
Seconded by Councillor Stutt
That "Surrey Development Cost Charge
Bylaw, 2024, No. 21174" pass its third reading, as amended.

RES.R24-641 Carried

INTRODUCTIONS

- 13. Housekeeping Amendments to Fee-Setting and Municipal Ticket Information Utilization Bylaws

Earlier in the meeting, Council approved the recommendations of Corporate Report No. Ro62. Bylaw Nos. 21212, 21213 and 21214 are therefore in order for consideration.

"Surrey Fee-Setting By-law, 2001, No. 14577, Amendment Bylaw, 2024, No. 21212"

3900-20-21212

To amend Schedule D to incorporate new erosion and sediment control application and authorization fees.

I. CLERK'S REPORT

1. Delegation Requests

(a) New Westminster & District Labour Council

File: 0500-20-10

Requesting to appear at a Council-in-Committee meeting to provide a presentation regarding the CLC's 2024 theme Safe Work Now! and to provide an update on workers' health and safety issues, WorkSafe BC regulatory reviews and changes that have impacted BC's workplace accident and fatality rates.

It was Moved by Councillor Kooner
Seconded by Councillor Stutt
That New Westminster & District Labour
Council be heard as a delegation at Council-in-Committee.

RES.R24-651

Carried

(b) Justin Carmichael, Public Affairs Officer, and Trevor Boudreau, Director, Government Relations YVR Vancouver Airport Authority

File: 0500-20-10

Requesting to appear at a Council-in-Committee meeting to provide an update on YVR's commitment to reaching Net Zero by 2030, efforts to make YVR an accessible airport for everyone, and their impact on the regional economy.

It was Moved by Councillor Stutt
Seconded by Councillor Kooner
That Justin Carmichael, Public Affairs Officer,
and Trevor Boudreau, Director, Government Relations, YVR Vancouver
Airport Authority be heard as a delegation at Council-in-Committee.

RES.R24-652

Carried

(c) Anmol Swaich, Community Organizer, and Gina Egilson, Board Member Surrey Union of Drug Users

File: 0500-20-10

Requesting to appear at a Council-in-Committee meeting to provide a presentation to discuss opportunities for community collaboration, specifically to develop a service hub in Surrey, which would include a supervised consumption site, a medicalized detox center, and transitional housing.

J. NOTICE OF MOTION

- 1. Priority Access for Surrey Residents to City of Surrey Recreation Programs**
File: 8000-30

Councillor Bains put forward the following notice of motion to be considered at the next Regular Council – Public Hearing Meeting:

"That Council direct staff to:

- a. Create a plan that ensures Surrey residents have priority access to City recreation programs for at least two weeks before they are available to residents from other cities; and
- b. Report back to Council detailing the plan and timeline for implementation, with the goal of executing it swiftly."

A. ADOPTIONS (CONTINUED)

- 1. Adoption of the Agenda**

An addendum agenda including Item H.14 regarding introduction of Bylaw No. 21215 was distributed to Council prior to the start of the meeting.

It was Moved by Councillor Kooner
Seconded by Councillor Bains
That:

- 1. The agenda of the April 8, 2024 Regular Council Public Hearing meeting be further amended by adding Item H.14 Bylaw No. 21215 under Bylaws and Permits; and
- 2. The agenda be adopted as amended.

RES.R24-656 Carried

H. BYLAWS AND PERMITS (CONTINUED)

INTRODUCTIONS

14. Darts Hill Neighbourhood Concept Plan Amendments

Earlier in the meeting, Council approved the recommendations of Corporate Report No. R058. Bylaw No. 21215 is therefore in order for consideration.

"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21215"

3900-20-21215

To align OCP with amended land use designations of the Darts Hills Neighbourhood Concept Plan.

L. ADJOURNMENT

It was

Moved by Councillor Bose
Seconded by Councillor Kooner
That the April 8, 2024 Regular Council -

Public Hearing meeting be adjourned.

RES.R24-661

Carried

The Regular Council - Public Hearing meeting adjourned at 9:00 p.m.

Certified correct:

Jennifer Ficocelli, City Clerk

Mayor Brenda Locke

CITY OF SURREY

DELEGATIONS

NOTICE OF PUBLIC HEARING

Surrey City Council will hold an **electronic** Public Hearing

View the livestream at surrey.ca or at City Hall
13450 — 104 Avenue

MEETING DATE

MONDAY
APRIL 22, 2024

STARTING AT 7PM

PUBLIC HEARING



"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21208"

"Surrey Comprehensive Development Zone 202 (CD 202), Bylaw, 2024, No. 21209"

Planning Report—Application No. 7921-0272-00

Location: 18756 No. 10 (56 Avenue) Highway
(18778 No. 10 (56 Avenue) Highway)

Purpose of Bylaws: The applicant is seeking to amend the Official Community Plan (OCP) Figure 3: General Land Use Designations to redesignate the site shown shaded in grey on the location map from Suburban to Multiple Residential. The proposal also includes rezoning the same site from Neighbourhood Commercial Zone to Comprehensive Development Zone in order to develop a 5-storey mixed-use building, with a total of 74 dwelling units and 1,458 square metres of commercial/retail space.

IMPORTANT – PUBLIC HEARING NOTICE – OWNER/OCCUPANT



Office of the City Clerk
13450 – 104 Avenue,
Surrey, BC V3T 1V8
Canada

QUESTIONS FOR THE PLANNER:

Email planning staff at planningdevelopment@surrey.ca if you have any questions regarding this application. For information about the application visit surrey.ca.

City Hall is open Monday to Friday 8:30am-4:30pm except statutory holidays.

COMMENTS TO COUNCIL:

Webform: surrey.ca

Email: clerks@surrey.ca

Mail: Office of the City Clerk at the address above

Fax: 604-501-7578

Written submissions will be made public on the City's website and distributed to Council. Submissions must be received by 12:00 noon on the day of the Public Hearing.

REGISTER TO SPEAK AT THE PUBLIC HEARING:

Follow the registration process at surrey.ca/city-government/councilmeetings/attending-and-participating-public-hearings.



Speakers are provided 3 minutes to make comments to Council regarding the bylaws being considered at a Public Hearing.

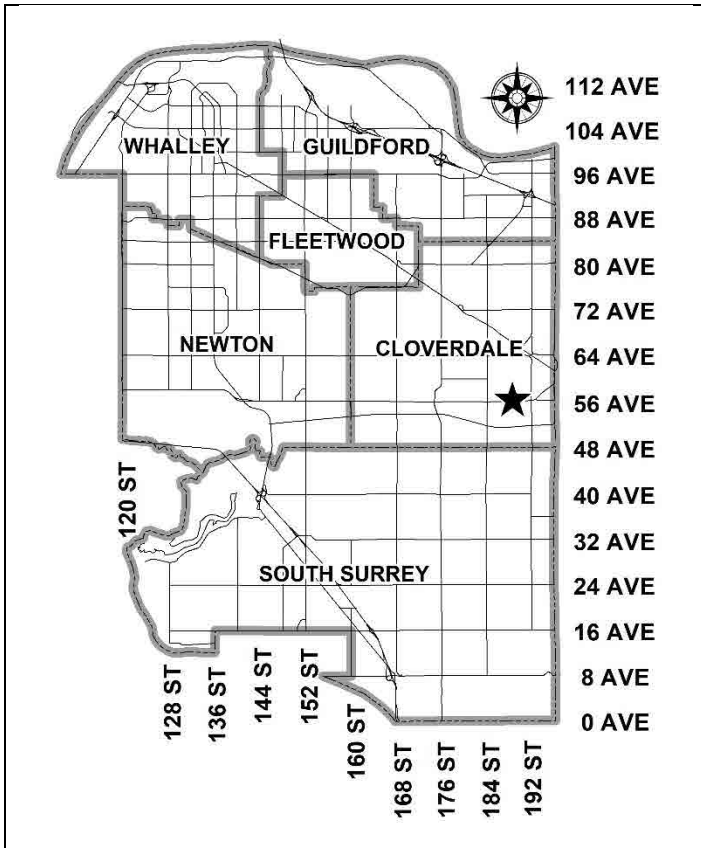
WATCH THE PUBLIC HEARING:

View the livestream at surrey.ca or at City Hall, 13450 — 104 Avenue

**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7921-0272-00

Planning Report Date: April 8, 2024



PROPOSAL:

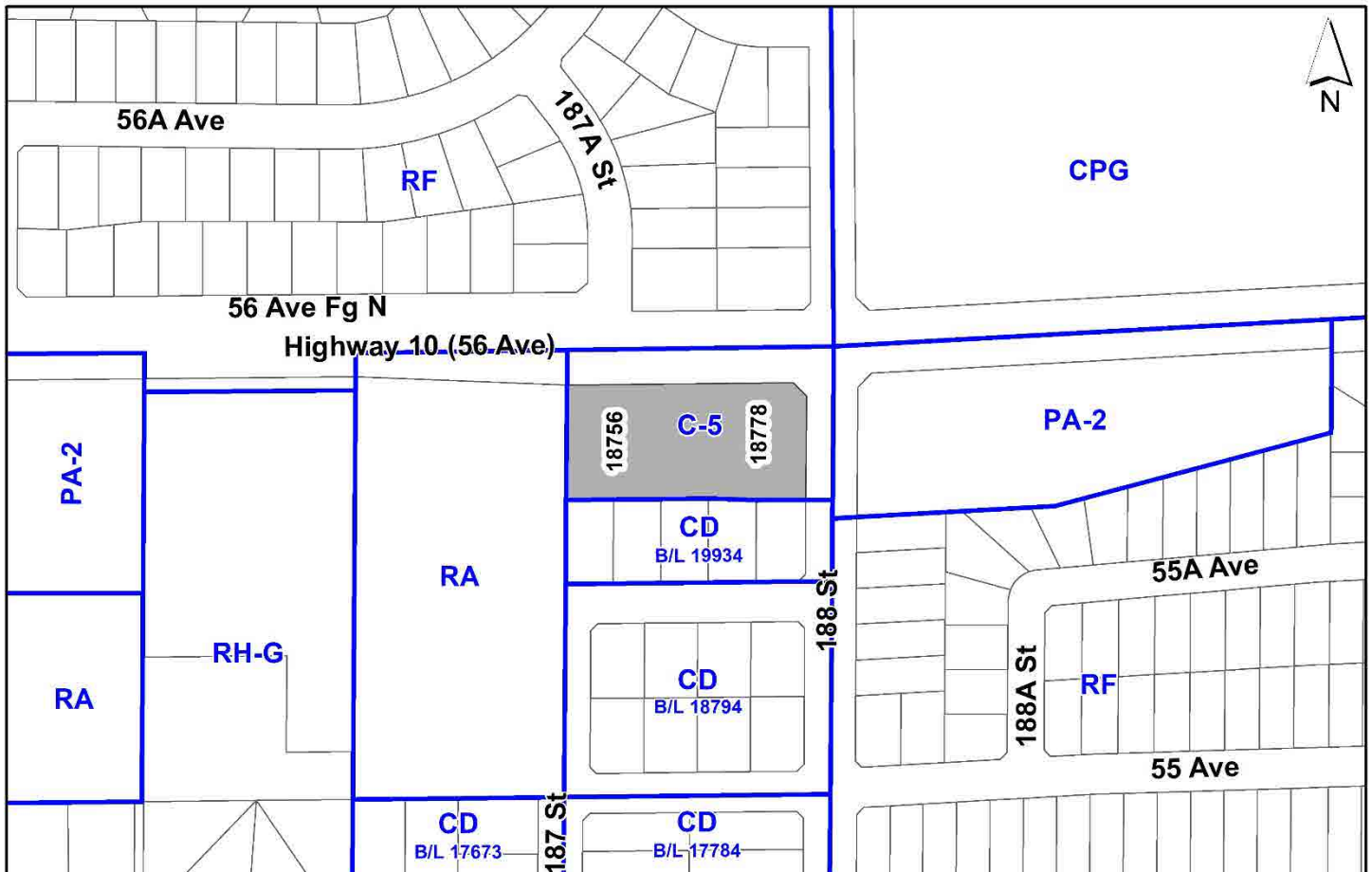
- **OCP Amendment** from Suburban to Multiple Residential
- **Rezoning** from C-5 to CD
- **Development Permit**

to permit the development of a 5-storey mixed-use building, with a total 74 dwelling units and 1,458 sq.m. of commercial/retail space.

LOCATION: 18756 No. 10 (56 Avenue) Highway
 (18778 No.10 (56 Avenue) Highway)

ZONING: C-5

OCP DESIGNATION: Suburban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) “Figure 3: General Land Use Designations” from Suburban to Multiple Residential.

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver *Regional Growth Strategy* (RGS).
- The proposed density and building form (4 – 5 storeys) are appropriate for this part of Cloverdale and the development will provide convenient commercial services for the residential area around Highway No. 10 and 188 Street.
- The construction of the new Surrey Hospital approximately 1.5 kilometers to the west is expected to increase the demand for additional housing in the Cloverdale area.
- The proposed development is located in proximity to a bus route along Highway No. 10 that connects Newton/Cloverdale to Langley.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.
- The proposed mixed-use building provides a compatible residential design character to the surrounding neighbourhood, includes high quality materials, and is designed to taper in height to provide a transitional interface to single family homes to the south.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP Figure 3: General Land Use Designations for the subject site from Suburban to Multiple Residential and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "Neighbourhood Commercial Zone (C-5)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7921-0272-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) approval from the Ministry of Transportation & Infrastructure;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (g) registration of a right-of-way for public rights-of-passage for the area between the breezeway, building face and the street edges;
 - (h) submission of an acoustical report for the units adjacent to Highway No. 10 and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
 - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy

and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant lot.	Suburban	C-5
North (Across Highway No. 10):	Single family dwellings.	Urban	RF
East (Across 188 Street):	Church.	Suburban	PA-2
South:	Recently created vacant single family lots.	Suburban	CD (Bylaw No. 19934)
West:	Single family dwelling and farm business.	Suburban	RA

Context & Background

- The subject lot is 5,553 square metres in area and is designated Suburban in the OCP. The subject site was rezoned from One-Acre Residential Zone (RA) to Neighbourhood Commercial Zone (C-5) in 2020.
- In 2020, the applicant received a Development Permit for a pair of 2-storey commercial/office buildings that has since expired. The applicant has submitted a new application to include a residential component in the development.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the construction of a 4- to maximum 5-storey mixed-use (residential with ground floor commercial) building, containing 74 dwelling units and 1,458-sq.m. of commercial/retail space with underground parking, the following is required:
 - **OCP Amendment** from Suburban to Multiple Residential;
 - **Rezoning** from C-5 to CD (based on C-5 and RM-45); and
 - **Development Permit** for both Form and Character.

	Proposed
Lot Area	
Gross Site Area:	5,555 square metres
Road Dedication:	Nil
Undevelopable Area:	Nil
Net Site Area:	5,555 square metres

	Proposed
Number of Lots:	1
Building Height:	16.8 metres
Unit Density:	54 UPA (net)
Floor Area Ratio (FAR):	1.26 FAR
Floor Area	
Residential:	5,536 square metres
Commercial:	1,458 square metres
Total:	6,994 square metres
Residential Units:	
Studio:	
1-Bedroom:	48
2-Bedroom:	20
3-Bedroom:	6
Total:	

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 12 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

7 Elementary students at Sunrise Ridge Elementary School
3 Secondary students at Clayton Heights Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by 2026.

Parks, Recreation & Culture:

Parks has no concerns with the project.

The closest active park is Sunrise Ridge Park, which also includes a natural area and is 460 metres away.

Ministry of Transportation & Infrastructure (MOTI):

MOTI comments are pending. Under the previous application 7916-0441-00, MOTI indicated support for the location of the vehicle access to the site, which has not changed under the current proposal. The applicant has agreed to address any additional comments prior to Final Adoption.

Advisory Design Panel: At the Regular Council – Public Hearing on October 20, 2023, Council passed a motion that allows multi-family proposals that are 6-storeys or less to proceed to Council for by-law introduction without first proceeding to the Advisory Design Panel (ADP) for review and/or comment, provided that the proposal is generally supported by City staff.

The proposed development on the subject site is generally supported by staff and the applicant has agreed to resolve any outstanding items identified to date and through any post-Council design review process to the satisfaction of the Planning and Development Department prior to consideration of Final Approval of the associated Development Permit for Form and Character.

Transportation Considerations

- The subject site is located at the southwest corner of Highway No. 10 and 188 Street which has bus service that connects Newton/Cloverdale to Langley via Highway No. 10.
- All previous road dedications were completed as part of the previous subdivision on site (Development Application No. 7916-0441-00).
- Access for the site will be from 188 Street at the southern extent of the site.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

School Capacity Considerations

- The School District has advised that, as of March 2023, Sunrise Ridge Elementary School is operating at 127% capacity.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposed development complies with the “General Urban” designation of the subject site under the Metro Vancouver *Regional Growth Strategy – Metro 2050* (RGS).

Official Community Plan

Land Use Designation

- The applicant is proposing an amendment to the Official Community Plan (OCP) “Figure 3: General Land Use Designations” from Suburban to Multiple Residential.

Amendment Rationale

- The proposed amendment to Multiple Residential will allow mixed-use residential development including local, neighbourhood serving commercial, and community uses.
- The requested OCP Amendment has merit as it will permit the development of a mixed-use development along Highway No. 10 and provide amenities for residents within walking distance.
- With the construction of the new hospital approximately 1.5 kilometers to the west of the subject site, there is an anticipated need for additional housing, including apartments.
- Existing transit (Bus Route 342) exists along Highway No. 10 that connects Newton/Cloverdale with Langley.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed residential density greater than the OCP designation, as outlined in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per sq. ft. flat rate for the residential floor area above the existing Official Community Plan designation in order to satisfy the proposed amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption

Public Consultation for Proposed OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

OCP Themes/Policies

- Growth Management
 - Healthy Neighbourhoods: B.4.1 Develop complete, accessible and walkable green neighbourhoods through the planning and development of new neighbourhoods and through sensitive redevelopment within existing neighbourhoods (OCP Policy A3.1).

(The subject site is located between Cloverdale and Langley in an area which does not have any commercial centres. The proposed ground level commercial units will service a large residential area and will provide options for residents to avoid driving to other locations for their commercial needs.

Due to construction of the new Surrey hospital (1.5 kilometers to the west) there is an anticipated need for additional housing in the area)

- Healthy Neighbourhoods B4.19: Develop mini-parks and mini-plazas as outdoor gathering spaces in urban neighbourhoods. Design and locate these public places to front directly onto public streets and be clearly visible from adjacent residences.

(The proposed development includes a plaza within the breezeway area that will act as a node and gathering place for the surrounding residential neighbourhood.)

- Sensitive Infill A3.7: Encourage local neighbourhood commercial centres and associated local gathering places to appropriately locate within existing neighbourhoods in order to increase walking and cycling options and contribute to neighbourhood character.

(The proposed commercial area is at the intersection of Highway No. 10 and 188 Street which is approximately the mid-point between Cloverdale and Langley. This area is anticipated to begin intensifying in the coming years as the new Surrey hospital is completed.)

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate the proposed 5-storey mixed-use development on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Neighbourhood Commercial Zone (C-5)" and the "Multiple Residential 45 Zone (RM-45)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the C-5 Zone, RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-45 Zone (Part 23)	C-5 Zone (Part 35)	Proposed CD Zone
Unit Density:	111 uph (45 upa)	N/A	137 uph (55 upa)
Floor Area Ratio:	1.3	0.5	1.3
Lot Coverage:	45%	50%	33%
Yards and Setbacks	7.5 metres from all lot lines.	7.5 metres from all lot lines.	North: 4.1 m. East: 6.1 m. South: 11.5 m. West: 10.4 m.
Principal Building Height:	15.0 metres	9.0 metres	16.8 metres (max.)
Permitted Uses:	<ul style="list-style-type: none"> • Multiple unit residential buildings. • Ground-oriented multiple unit residential buildings. • Child care centres. 	<ul style="list-style-type: none"> • Neighbourhood scale commercial uses (listed in detail in Section B of the C-5 Zone). • Indoor recreational facilities. • Community services. • Child care centres. 	<ul style="list-style-type: none"> • Multiple unit residential buildings. • All uses permitted under Section B. of the C-5 Zone except neighbourhood pub child care centres and a caretaker unit.

Amenity Space			
Indoor Amenity:	3.0 sq.m. per dwelling unit (222 sq.m. in total)	N/A	The proposed 231 m ² meets the Zoning By-law requirement.
Outdoor Amenity:	3.0 sq.m. per dwelling unit (222 sq.m. in total)	N/A	The proposed 237 m ² meets the Zoning By-law requirement.
Parking (Part 5)		Required	Proposed
Number of Stalls			
Commercial:		44 spaces	45 spaces
Residential:		101 spaces	102 spaces
Residential Visitor:		15 spaces	15 spaces
Total:		160 spaces	161 spaces
Bicycle Spaces			
Residential Secure Parking:		89 residential spaces	91 residential spaces
Residential Visitor:		7 visitor spaces	20 visitor spaces

- The proposed CD Bylaw is based upon the RM-45 Zone and C-5 Zone with modifications to the permitted uses, density, minimum building setbacks, maximum building height, and the location of the underground parkade in relation to the lot lines.
- The proposed 5-storey apartment building on the subject site will have a floor area ratio (FAR) of 1.3, which is permitted in the “Multiple Residential “ designation in the OCP. The applicant is proposing 137 units per hectare, which is an increase from the 111 units per hectare permitted in the RM-45 Zone but is appropriate for this location and form of development.
- The inclusion of commercial uses is permitted within the OCP and appropriate for this location.
- The proposed setback reductions will allow for better connectivity to the street, providing a more pedestrian-friendly urban landscape (see Form and Character Development Permit Requirements section for details).

On-site Parking and Bicycle Storage:

- The proposed development includes a total of 161 parking spaces, consisting of 44 commercial parking spaces, 36 at grade and 8 underground), 102 residential parking spaces and 15 parking spaces for visitors. In addition, the applicant will provide four (4) accessible parking spaces.
- The majority of parking spaces are provided in a single underground level of parking.
- In addition, the applicant is providing 111 bicycle parking spaces.
- All parking complies with the requirements of the Zoning Bylaw.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City’s Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report

was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update was approved in April 2023, under Corporate Report No.R037;2023.

- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit Issuance. The current rate is \$4,272, with rates anticipated to increase further in April 2024.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the current OCP designation (Suburban), at the rate in effect at the time of final adoption of the Rezoning Bylaw. The current rate for Cloverdale is \$57.48 per sq. m of residential floor area.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new unit to support the development of new affordable housing, with rates anticipated to increase in April 2024. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on March 16, 2024, and the Development Proposal Signs were installed on March 19, 2024. Staff received 1 response from a resident (*staff comments in italics*):
 - A resident is concerned about the privacy due to the height of the proposed apartment building.

(The building has been designed to taper in height from north to south to provide a transitional interface to single family homes. The applicant also proposes a row of oversized trees along the southern property line which will augment the existing buffer that has been planted on the lots to the south.)

- The subject development application was sent to the Cloverdale Community Association. No comments were received at the time of this report's completion.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant has worked with staff to ensure the grading and building massing provides an appropriate transition to neighbouring single-family dwellings to the south.

Building Design

- The applicant is proposing to construct a 5-storey mixed use apartment building consisting of 74 dwelling units and 1,458 square metres of commercial space. The residential units will have underground parking while the commercial units will have a mix of underground and surface parking.
- From Highway No. 10, the building appears as a 4-storey building as the top floor is stepped back 1.5 metres. The site naturally slopes from north to south, with the single-family homes to the south being 4 metres lower. To lessen this contrast of height, the southeast wing has been pulled back at the fifth floor to provide a transitional interface.
- The commercial ground floor is proposed to be clad with grey brick and substantial glazing.
- The residential floors are primarily white with red segments highlighting the residential entry, with the pedestrian breezeway modulating the length of the building. The stepped back top floor is clad in light grey cementitious paneling.
- The building is sited along the main streets (Highway No. 10 and 188 Street), with substantial commercial glazing at street level and a breezeway along Highway No. 10 to aid in the pedestrian experience.
- The site slopes substantially to the south. The 188 Street frontage requires special attention to accommodate the grade change; the applicant has used an internal set of stairs in the lobby and exterior stairs and retaining walls along the frontage.
- The proposed breezeway is approximately 10 metres wide and has an outdoor seating area for a future commercial unit and bike parking. The breezeway is connected to the lobby of the residential building. Lighter coloured building materials are proposed in the breezeway to make the area brighter and feel safer.
- The proposed building is an "L" shaped building located at the north and east portion of the site. The location of the building will screen the commercial surface parking from the streets. There is a landscape buffer along the south PL to screen the parking lot from the single-family residential properties.

- Each of the commercial units has space allocated for fascia signage above the units. Specific signage details will be subject to a review at the time of a Sign Permit application.

Access

- A single driveway access is provided from 188 Street along the southern extent of the property. Upon entry to the site the drive-aisle splits with an access to both the underground parking ramp and surface parking area.

Landscaping

- The applicant proposes substantial tree cover around the perimeter of the site and along both sides of the driveway entrance from 188 Street. The parking lot also has 7 trees proposed to break up the parking spaces.
- Two rows of trees are proposed along both Highway No. 10 and 188 Street, with one row of trees being street trees and one row being on-site trees.

Southern Landscape Buffer

- As a condition of the previous rezoning and subdivision (Development Application No. 7916-0441-00) a 5-metre wide buffer was planned. Approximately 3.4 metres to 4.4 metres of the buffer was to be located on the residential lots to the south (and secured by Restrictive Covenant) with 1.6 metres to 0.6 metres of the buffer located on the subject site. To offset privacy concerns from the neighbouring properties, the applicant will plant oversized trees along the southern property line.

Indoor Amenity

- The proposed indoor amenity area is located on the fourth floor in the northeast corner of the building and consists of seating and lounge areas. The indoor amenity area is located within 2 separate rooms that are separated by a hallway.
- The applicant is proposing 231 square metres of indoor amenity space exceeding Zoning bylaw requirements.

Outdoor Amenity

- The outdoor amenity area is located adjacent to the indoor amenity area on the fourth floor. The applicant is proposing 237 square metres of outdoor amenity space exceeding Zoning bylaw requirements.
- The outdoor amenity area includes a number of seating areas for different sized groups. The outdoor amenity area will have panoramic views towards the south.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - All Commercial Retail Units must be a functional height of 4.3 metres, City can consider raising the height of the building to ensure successful CRUs;
 - More details and photographs regarding building materials are needed;
 - The applicant is to ensure that the trim's colour matches; and
 - The applicant is to provide a colour palette that reflects the nearby Cloverdale character, using photos and precedents buildings to support colour choices.
- The applicant has been provided a list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Glenn Murray, ISA Certified Arborist of Froggers Creek Tree Consultants Ltd. prepared an Arborist Assessment for the subject property. The Arborist has confirmed that no mature trees are present on the subject site, but 7 off-site trees are on the neighbouring site to the west.
- The proposed site planning will retain all 7 offsite trees to the west. The applicant is proposing to plant 42 trees on-site.
- The new trees on the site will consist of a variety of trees including serviceberry, beech, sweet gum, ironwood, spruce and zelkova.
- In summary, a total of 42 trees are proposed to be planted on the site.
- The proposed tree planting will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix V. OCP Redesignation Map

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

Appendix I



AA MIXED-USE DEV.
 Ankenman Associates Architects Inc.
 12321 Beecher St., Crescent Beach, BC V4A 3A7 504.536.1600
© copyright Ankenman Associates Architects Inc. All rights reserved.

18756, 18778 56 AVENUE, SURREY B.C.
 Development For 653699 BC LTD.

RENDERING
 2101

REV	DATE	DESCRIPTION	BY
	MAR. 8, 2024	CITY FILE #214072 RESPONSE TO 65-2734 LID COMMENTS	DK
	JAN. 26, 2024	ISSUED FOR DP	DK

SCALE:
 MARCH 8, 2024

A0.1



1 3D BACKYARD VIEW OF MASS MODEL
A0.2 SCALE



3 3D STREET View OF MASS MODEL
A0.2 SCALE



4 3D BACKYARD VIEW OF MASS MODEL 2
A0.2 SCALE



2 3D View OF BREEZEWAY
A0.2 SCALE

MAR. 8, 2024	CITY FILE #140272	DK
	RESPONSE TO R2-2734	
JAN. 26, 2024	LD COMMENTS	DK
REV	DATE	DESCRIPTION
		BY

SCALE:
MARCH 8, 2024



1 NORTH-EAST PERSPECTIVE
A0.3 SCALE:



2 SOUTH-EAST PERSPECTIVE
A0.3 SCALE:



3 NORTH-WEST PERSPECTIVE
A0.3 SCALE:



4 SOUTH-WEST PERSPECTIVE
A0.3 SCALE:

MAR. 8, 2024	CITY FILE #214072	DK
JAN. 26, 2024	RESPONSE TO 65-2754	DK
REV	DATE	DESCRIPTION

SCALE:
MARCH 8, 2024



CONTEXT MAP IMAGE



CONTEXT MAP LEGEND



1. SINGLE FAMILY RESIDENTIAL NORTH OF PROJECT SITE



4. SINGLE FAMILY RESIDENTIAL SE OF PROJECT SITE



2. GOLF COURSE & PUB NE OF PROJECT SITE



5. SINGLE FAMILY RESIDENTIAL SOUTH OF PROJECT SITE

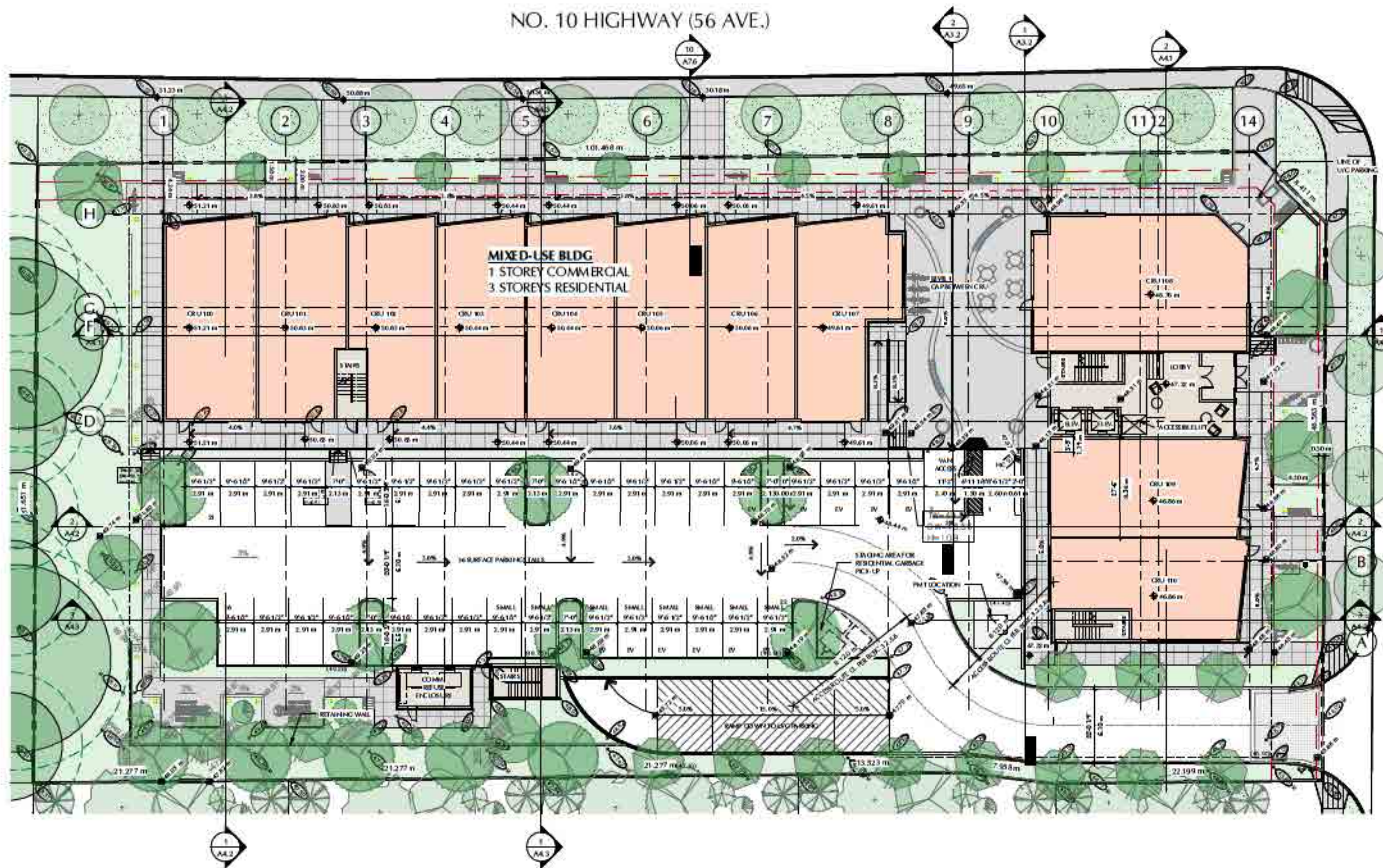


3. CHURCH EAST OF PROJECT SITE



6. SINGLE FAMILY RESIDENTIAL NW OF PROJECT SITE

MAR. 8, 2024	CITY FILE #14072	DK
JAN. 26, 2024	RESPONSE TO 65-2734	DK
REV	DATE	DESCRIPTION



1 SITE PLAN
A1.1
SCALE: 1/16" = 1'-0"

SITE SYNOPSIS

ZONING C5 / CD
SITE AREA 5,553.32 M² (59,775.46 F)
 1.3722 ACRES 0.5553 Ha
SITE COVERAGE
 MAX. ALLOWABLE 50.0% (2,776.66 M²)
 PROVIDED
 1,810.77 M² / 5,553.32 M² = **32.61%**

PROPOSED SETBACKS (SEE A1.2 SETBACK BASE PLAN)

FLOOR AREA (NOT INCL. INDOOR AMENITY)

LEVEL 1 1,603 SM (17,259 SF)
 LEVEL 1.5 398 SM (4,282 SF)
 LEVEL 2 1,810 SM (19,491 SF)
 LEVEL 3 1,810 SM (19,491 SF)
 LEVEL 4 1,373 SM (14,779 SF)
TOTAL 6,994 SM (75,302 SF)

FLOOR AREA RATIO

6,994 / 5,553 = **1.26**

DENSITY

74 UNITS* / 1.3722 ACRES = **53.93 UPA**
PLANTS PER FLOOR: 11.55 + 12.26 + 13.26 + 14.97

ADAPTABLE UNITS

11% OF 74 UNITS = 8 ADAPTABLE UNITS
 LOCATED AT SOUTHEAST CORNER OF LEVEL 1,5,2&3

MAX. BLDG HEIGHT PROVIDED (VARY FROM AVERAGE FINISHED GRADE)
 T/O PARAPET EL. 64.92M
 AVERAGE FINISHED GRADE EL. 49.14M
 MAX. BLDG HEIGHT 15.78 M

PARKING REQUIRED

COMMERCIAL:
 1,458.80 / 100 x 3.0 = 43.8 STALLS

(SMALL CARS = 11% OF TOTAL = 3 STALLS MAX)

RESIDENTIAL:
 1 BED = 48 x 1.3 = 62.4 STALLS
 2&3 BED = 26 x 1.5 = 39.0 STALLS
 101.4 STALLS

VISITOR:

74 x 0.2 = 14.8 STALLS

(SMALL CARS = 11% OF TOTAL = 3 STALLS MAX)

TOTAL 160 STALLS

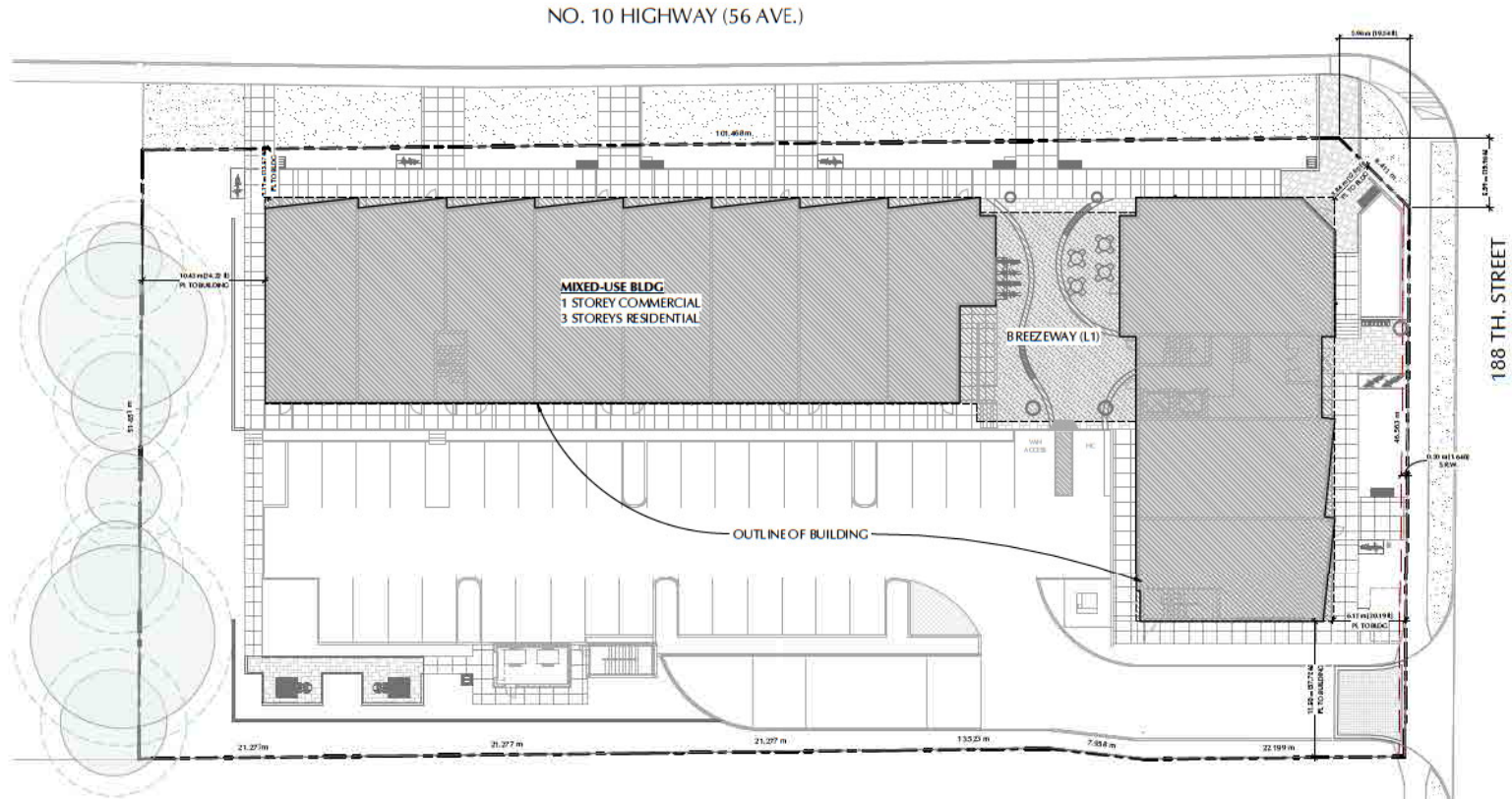
ACCESSIBLE = 2% OF TOTAL = 3.2 STALLS

AMENITY

INDOOR 0.4	REQUIRED 74 UNITS x 3 = 222 SM	PROVIDED 231.79 SM
OUTDOOR 0.4	REQUIRED 74 UNITS x 3 = 222 SM	PROVIDED 237.80 SM

188 TH. STREET

MAR. 8, 2024	CITY FILE #114072	DK
JUN. 26, 2024	RESPONSE TO 65-2754	DK
	U/G COMMENTS	
	ISSUED FOR DP	
REV	DATE	DESCRIPTION

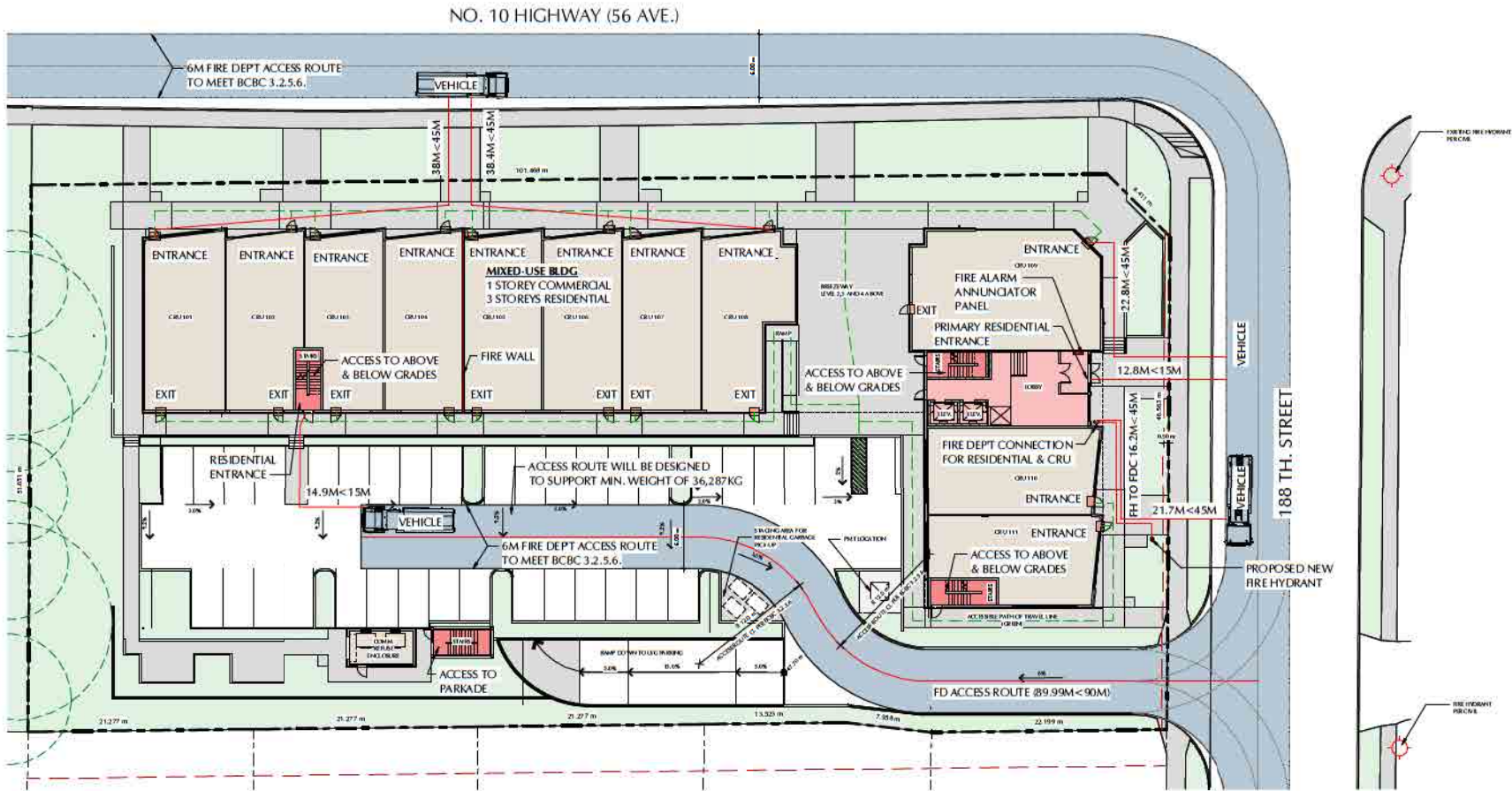


1 BASE PLAN
A1.2 SCALE: 1/16" = 1'-0"

SETBACK	
	BUILDING
NORTH	4.14M (13.57FT)
EAST	6.15M (20.19FT)
SOUTH	11.50M (37.72FT)
WEST	10.43M (34.22FT)
CORNER CUT	3.84M (12.60FT)

MAR. 8, 2024	CITY FILE #214072	DK
	RESPONSE TO 65-2734	
JAN. 26, 2024	ISSUED FOR DP	DK
REV	DATE	DESCRIPTION
		BY

SCALE: 1/16" = 1'-0"
 MARCH 8, 2024

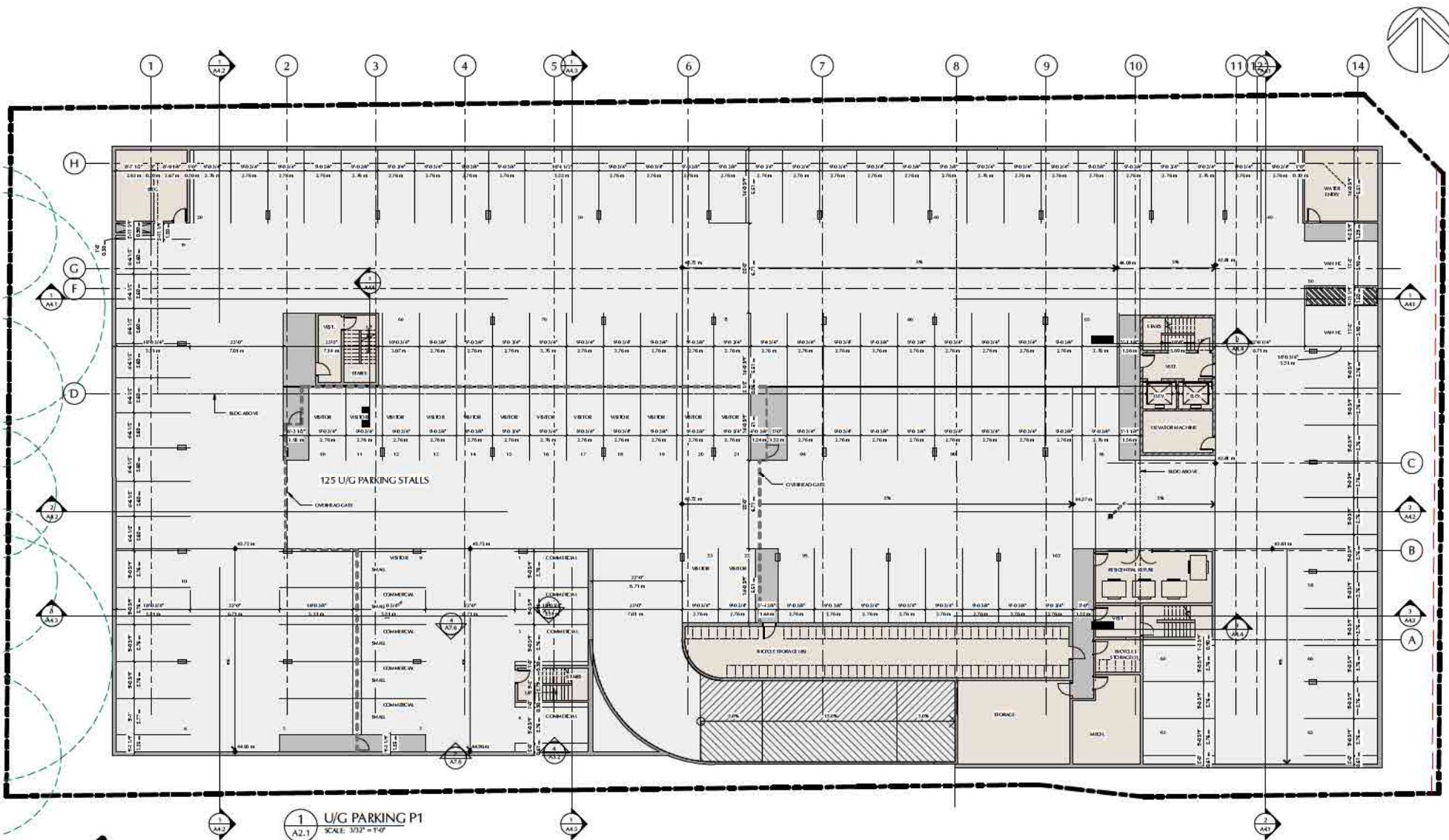


1 FIRE DEPT SITE PLAN
A1.3 SCALE: 1/16" = 1'-0"



MAR. 8, 2024	CITY FILE #214072	DK
JAN. 26, 2024	RESPONSE TO 65-2754	DK
	LD COMMENTS	DK
	ISSUED FOR DP	DK
	DESCRIPTION	BY

SCALE: 1/16" = 1'-0"
MARCH 8, 2024



MIXED-USE DEV.

Ankenman Associates Architects Inc.
 12321 Beecher St., Crescent Beach, BC V4A 3A7 504.536.1600
 © copyright Ankenman Associates Architects Inc. All rights reserved.

18756, 18778 56 AVENUE, SURREY B.C.

Development For 653699 BC LTD.

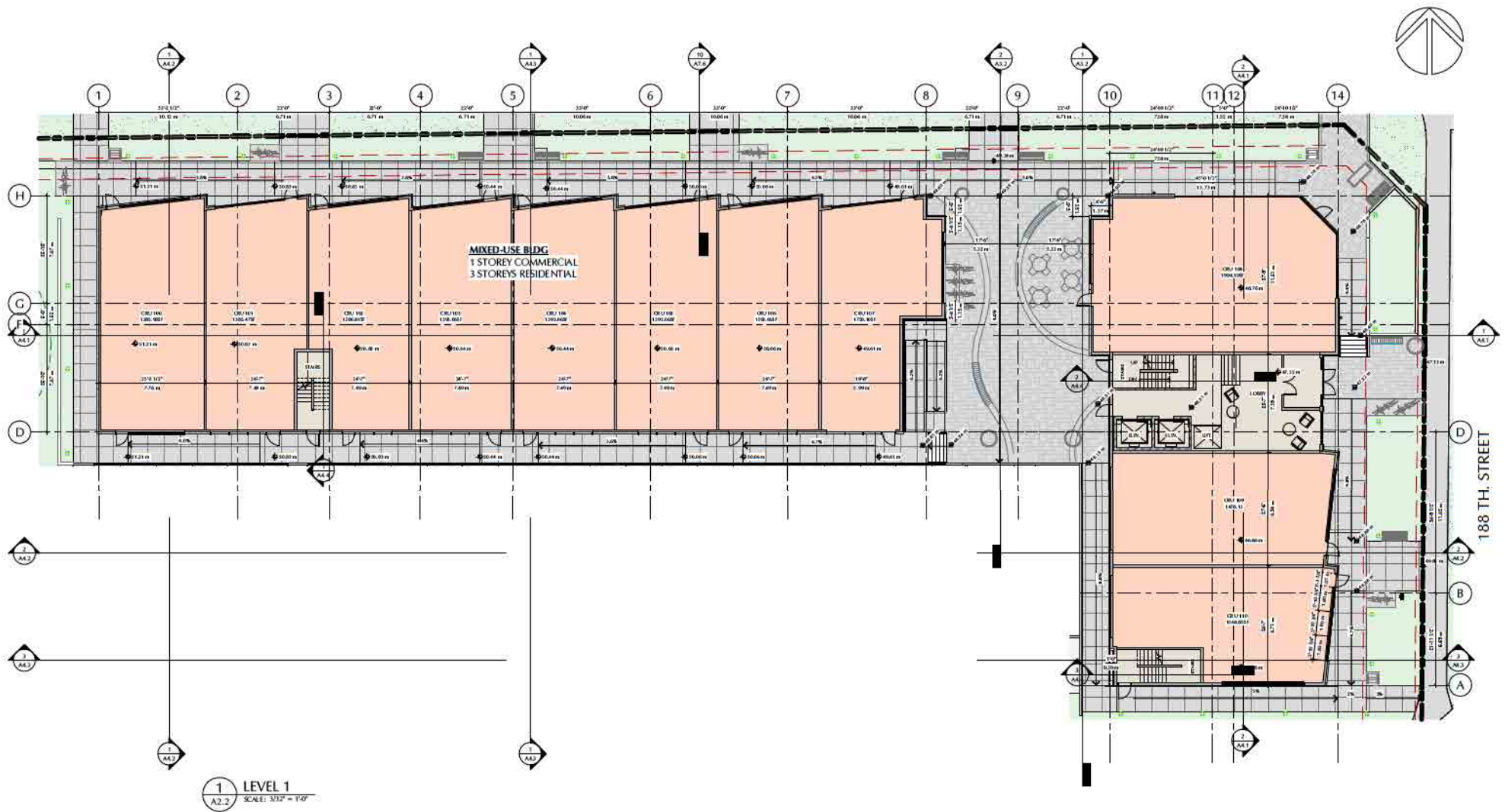
U/G PARKING

2101

MAR. 8, 2024	CITY FILE #214072	DK
JUN. 26, 2024	RESPONSE TO 65-2754	DK
	LD COMMENTS	
	ISSUED FOR DP	
	DESCRIPTION	

SCALE: 3/32" = 1'-0"
 MARCH 8, 2024

A2.1



AA MIXED-USE DEV.
 Ankenman Associates Architects Inc.
 12321 Beecher St., Crescent Beach, BC V4A 3A7 504.536.1600
 © copyright Ankenman Associates Architects Inc. All rights reserved.

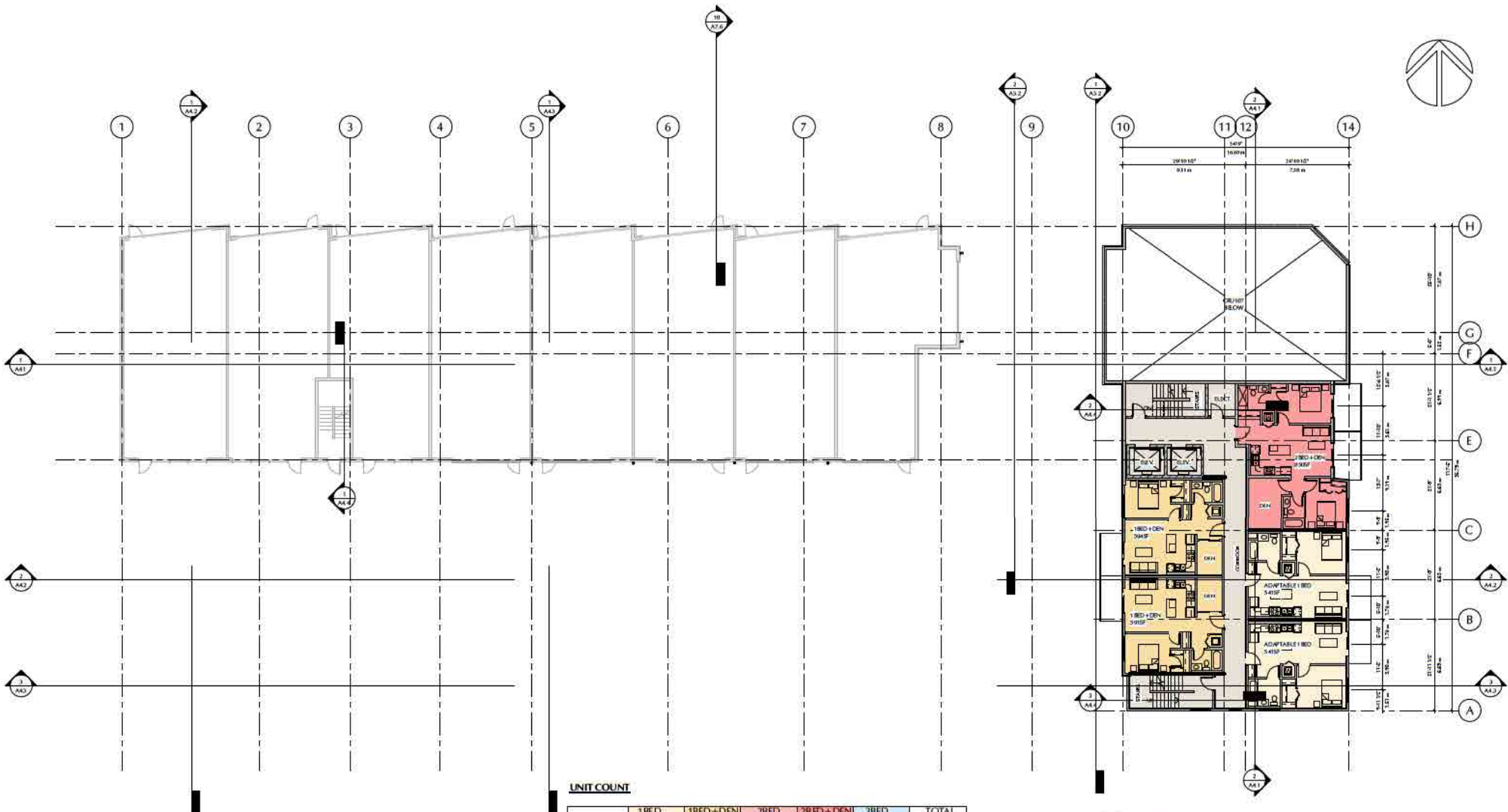
18756, 18778 56 AVENUE, SURREY B.C.
 Development For 653699 BC LTD.

L1 FLOOR PLAN
 2101

MAR. 8, 2024	CITY FILE #214072	DK
JUN. 26, 2024	RESPONSE TO 65-2754	DK
REV	DATE	DESCRIPTION

SCALE: 3/32" = 1'-0"
 MARCH 8, 2024

A2.2



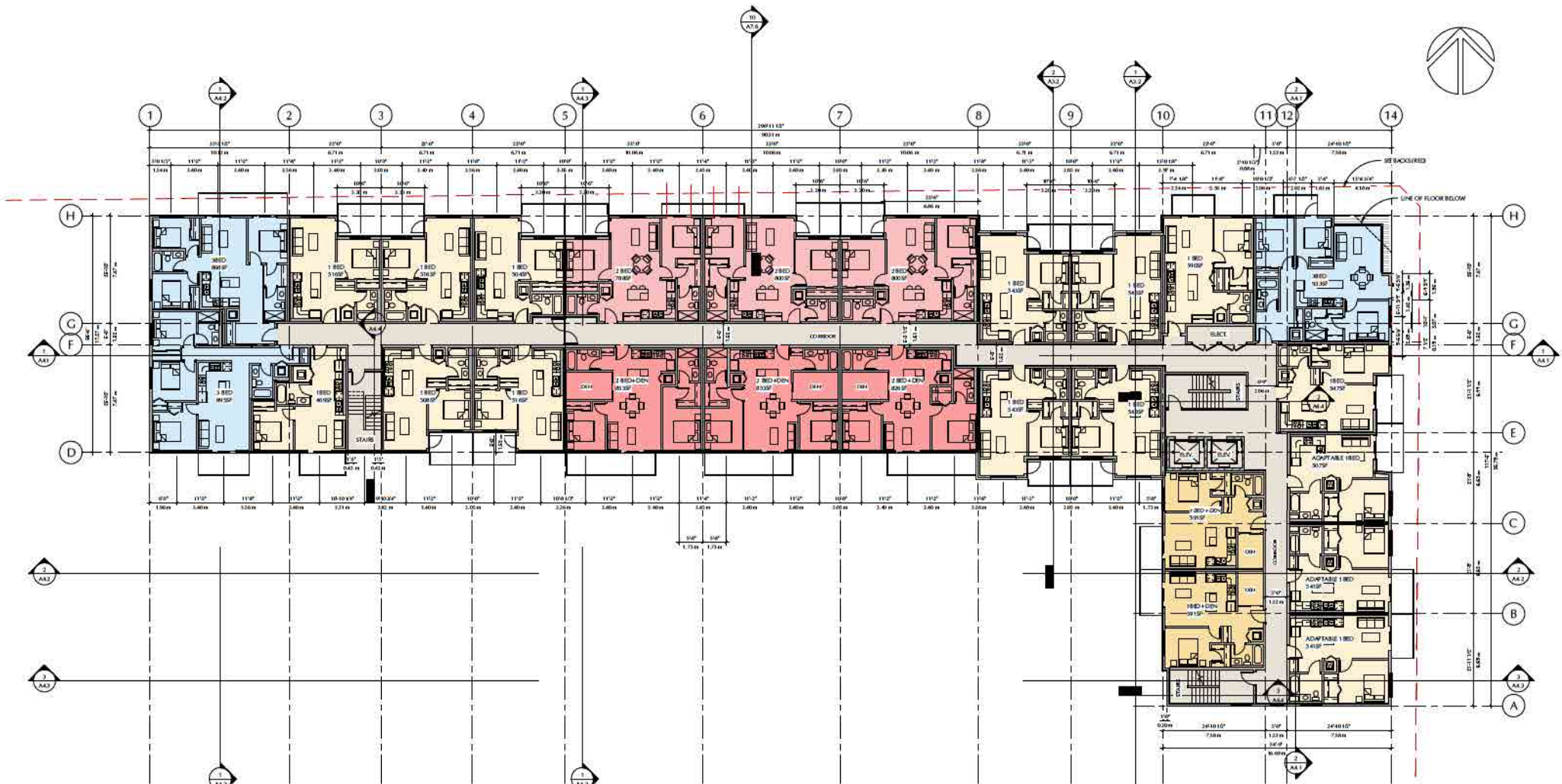
UNIT COUNT

	1BED (#28-510SF)	1BED+DEN (568-585SF)	2BED (643-799SF)	2BED+DEN (852SF)	3BED (868-916SF)	TOTAL
LEVEL 1.5	2	2	0	1	0	5
LEVEL 2	15	2	3	3	3	26
LEVEL 3	15	2	3	3	3	26
LEVEL 4	10	0	7	0	0	17
TOTAL UNIT	34	14	11	8	7	74

1 LEVEL 1.5
A2.3 SCALE: 3/8" = 1'-0"

MAR. 8, 2024	CITY FILE #2140272	DK
JAN. 26, 2024	RESPONSE TO 65-2704	DK
REV	DATE	DESCRIPTION
		ISSUED FOR DP
		BY

SCALE: As indicated
 MARCH 8, 2024



1 LEVEL 2
A2.4 SCALE: 3/32" = 1'-0"

UNIT COUNT

	1BED (428-530SF)	1BED+DEN (568-585SF)	2BED (643-799SF)	2BED+DEN (852SF)	3BED (868-916SF)	TOTAL
LEVEL 1.5	2	2	0	1	0	5
LEVEL 2	15	2	3	3	3	26
LEVEL 3	15	2	3	3	3	26
LEVEL 4	10	0	7	0	0	17
TOTAL UNIT	34	14	11	8	7	74

AN MIXED-USE DEV.
 Ankenman Associates Architects Inc.
 12321 Beecher St., Crescent Beach, BC V4A 3A7 504.536.1600
 © copyright Ankenman Associates Architects Inc. All rights reserved.

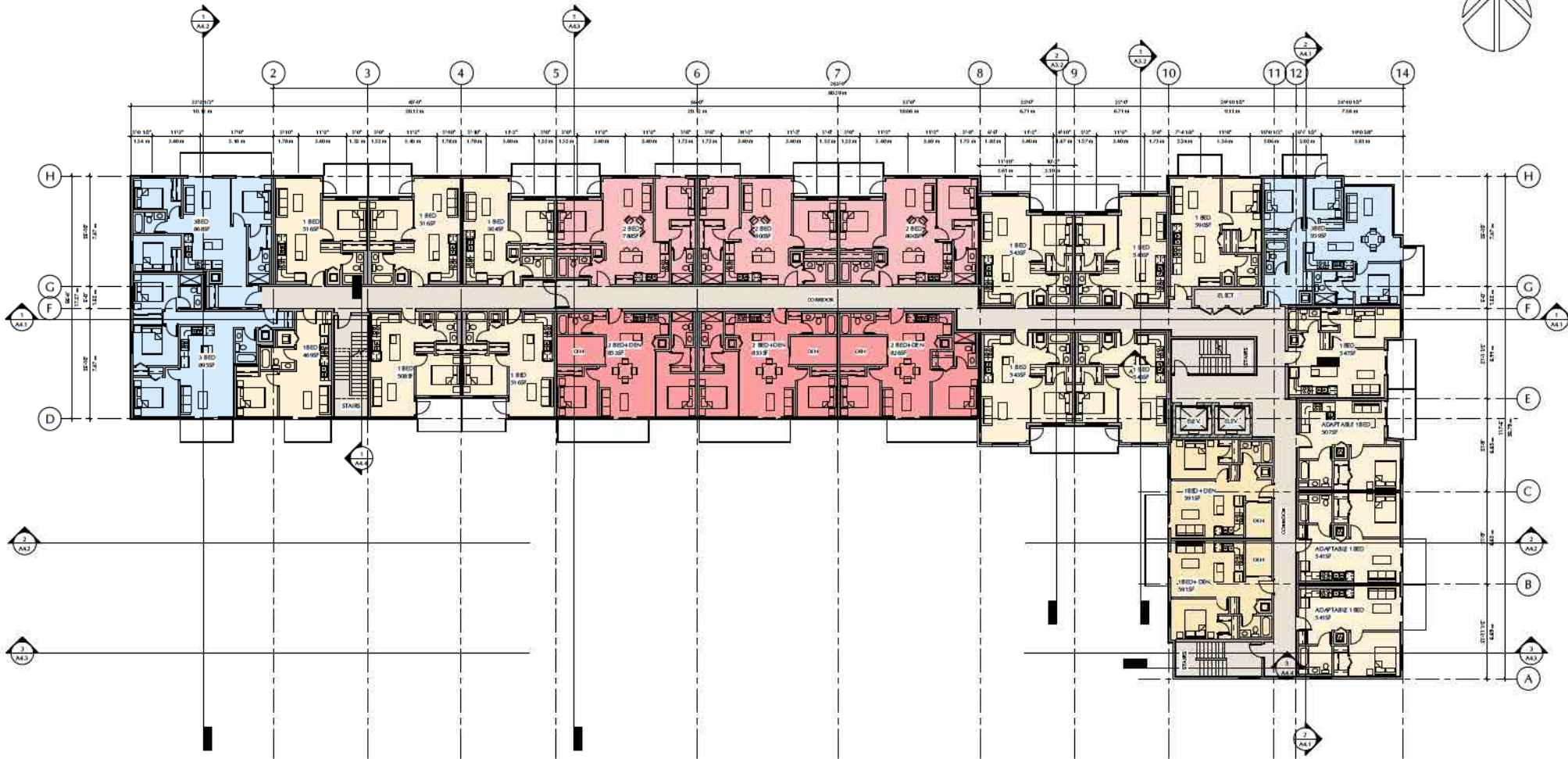
18756, 18778 56 AVENUE, SURREY B.C.
 Development For 653699 BC LTD.

L2 FLOOR PLAN
 2101

MAR. 8, 2024	CITY FILE #14072	DK
JUN. 26, 2024	RESPONSE TO R2-2704	DK
	LED COMMENTS	DK
	ISSUED FOR DP	DK
	DATE	DESCRIPTION

SCALE: As indicated
 MARCH 8, 2024

A2.4



1 LEVEL 3
A2.5 SCALE: 3/32" = 1'-0"

UNIT COUNT

	1BED (428-530SF)	1BED+DEN (568-585SF)	2BED (643-799SF)	2BED+DEN (852SF)	3BED (868-916SF)	TOTAL
LEVEL 1.5	2	2	0	1	0	5
LEVEL 2	15	2	3	3	3	26
LEVEL 3	15	2	3	3	3	26
LEVEL 4	10	0	7	0	0	17
TOTAL UNIT	34	14	11	8	7	74

AA MIXED-USE DEV.
 Ankenman Associates Architects Inc.
 12321 Beecher St., Crescent Beach, BC V4A 3A7 504.536.1600
 © copyright Ankenman Associates Architects Inc. All rights reserved.

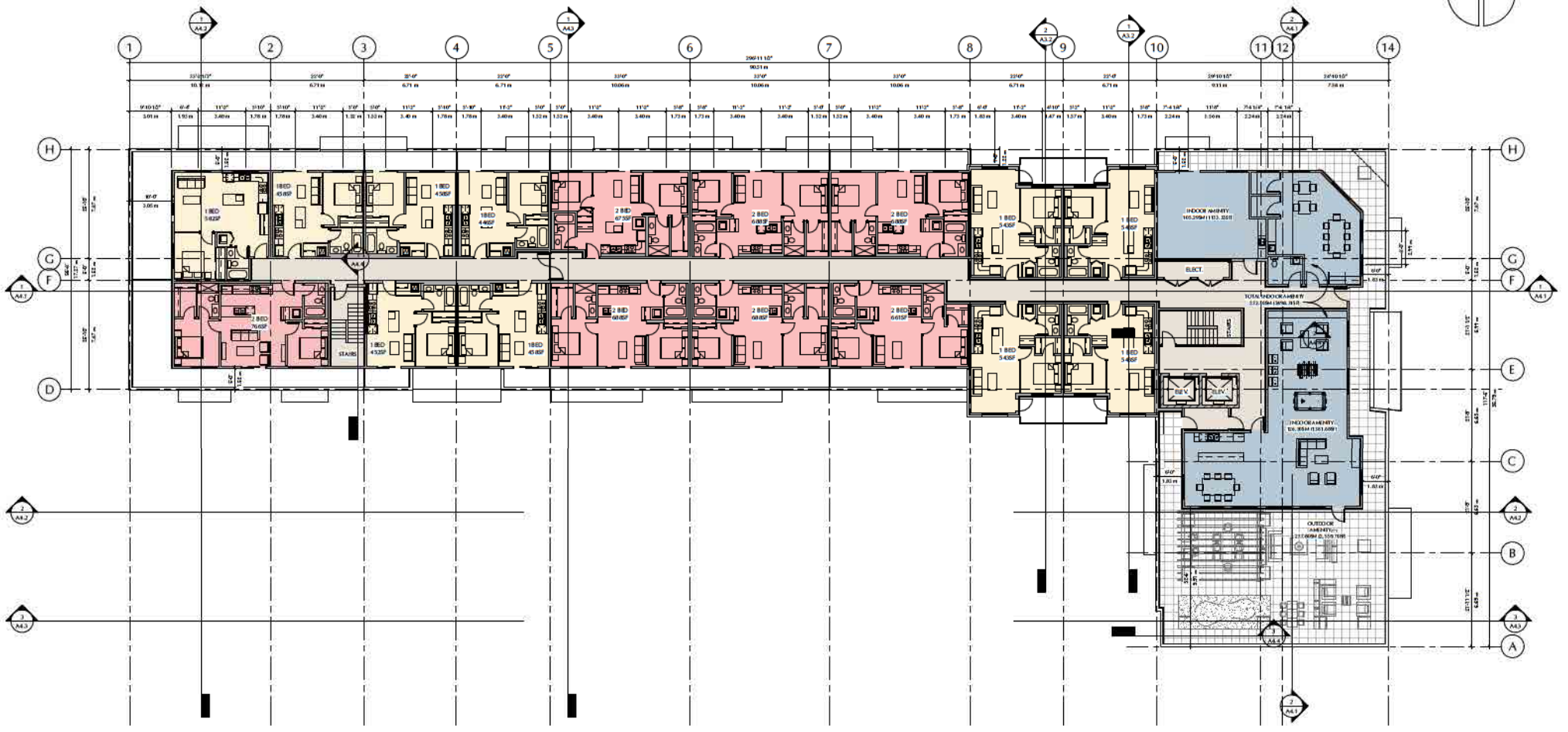
18756, 18778 56 AVENUE, SURREY B.C.
 Development For 653699 BC LTD.

L3 FLOOR PLAN
 2101

MAR. 8, 2024	CITY FILE #214072	DK
JAN. 26, 2024	RESPONSE TO 65-2754	DK
REV DATE	ISSUED FOR DP	DK
	DESCRIPTION	BY

SCALE: As indicated
 MARCH 8, 2024

A2.5



1 LEVEL 4
A2.6 SCALE 3/32" = 1'-0"

UNIT COUNT

	1BED (428-530SF)	1BED+DEN (568-585SF)	2BED (643-799SF)	2BED+DEN (852SF)	3BED (868-916SF)	TOTAL
LEVEL 1.5	2	2	0	1	0	5
LEVEL 2	15	2	3	3	3	26
LEVEL 3	15	2	3	3	3	26
LEVEL 4	10	0	7	0	0	17
TOTAL UNIT	34	14	11	8	7	74

AA MIXED-USE DEV.
 Ankenman Associates Architects Inc.
 12321 Beecher St., Crescent Beach, BC V4A 3A7 504.536.1600
 © copyright Ankenman Associates Architects Inc. All rights reserved.

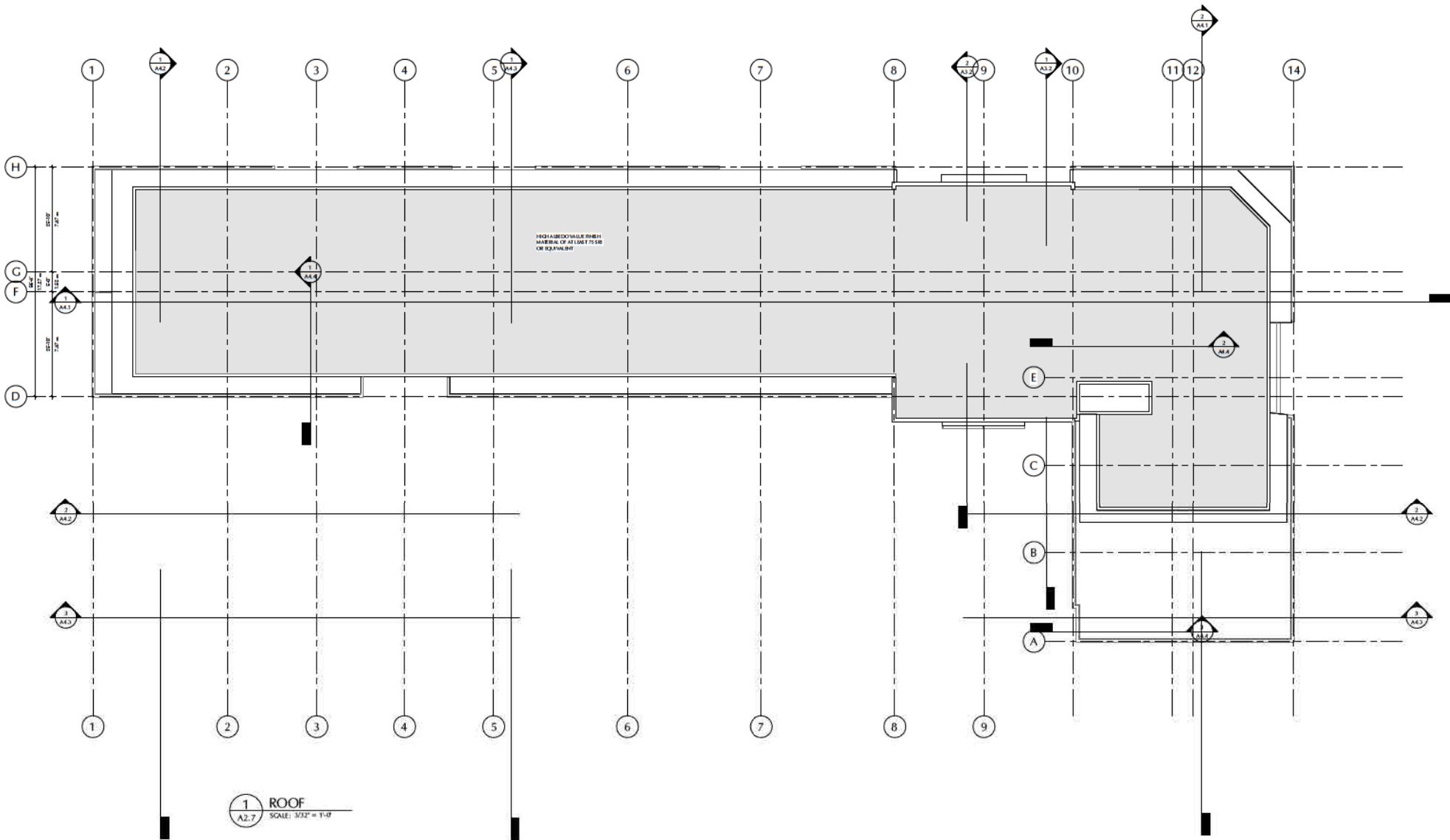
18756, 18778 56 AVENUE, SURREY B.C.
 Development For 653699 BC LTD.

L4 FLOOR PLAN
 2101

MAR. 8, 2024	CITY FILE #214072	DK
	RESPONSE TO 65-2754	
JUN. 26, 2024	LD COMMENTS	DK
REV DATE	ISSUED FOR DP	DK
	DESCRIPTION	BY

SCALE: As indicated
 MARCH 8, 2024

A2.6



MIXED-USE DEV.

Ankenman Associates Architects Inc.
 12321 Beecher St., Crescent Beach, BC V4A 3A7 504.536.1600
 © copyright Ankenman Associates Architects Inc. All rights reserved.

18756, 18778 56 AVENUE, SURREY B.C.

Development For 653699 BC LTD.

ROOF PLAN

2101

MAR. 8, 2024	CITY FILE #214072	DK
JAN. 26, 2024	RESPONSE TO 65-2754	DK
	LED COMMENTS	DK
	ISSUED FOR DP	DK
	DESCRIPTION	BY

SCALE: 3/32" = 1'-0"
 MARCH 8, 2024

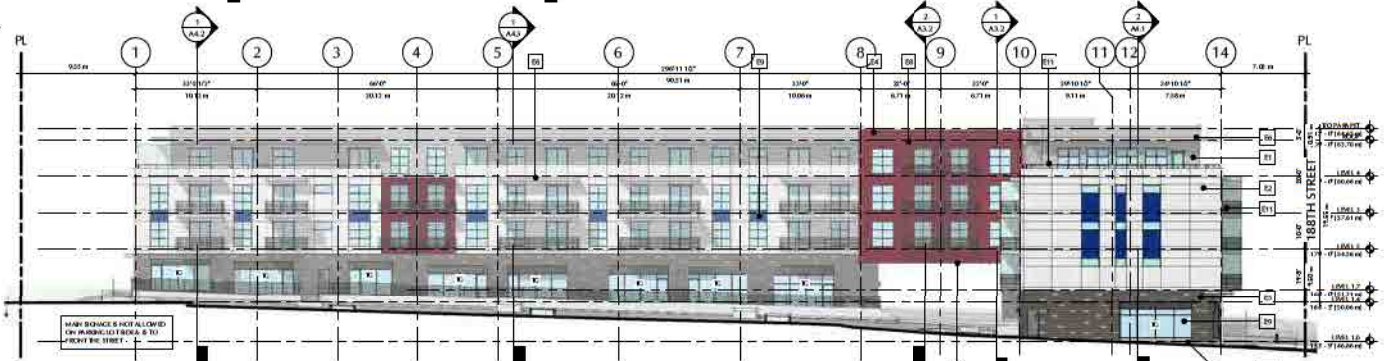
A2.7



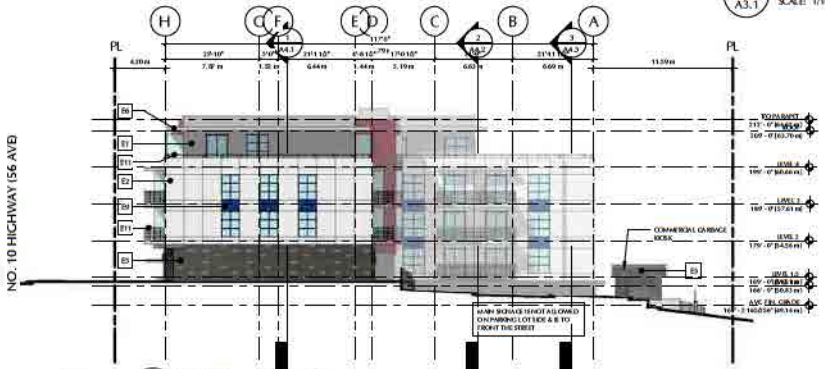
1 NORTH ELEVATION (NO. 10 HIGHWAY - 56 AVE.)
SCALE: 1/16" = 1'-0"

MATERIAL LEGEND	
11	INTERIOR: CARBONIZED CLADDING/PANELS ON TRIMS + INTERIORS COLOR: RED GRAY
12	INTERIOR: CARBONIZED CLADDING/PANELS ON TRIMS + INTERIORS COLOR: WHITE
13	INTERIOR: CARBONIZED CLADDING/PANELS ON TRIMS + INTERIORS COLOR: RED
14	INTERIOR: CARBONIZED CLADDING/PANELS ON TRIMS + INTERIORS COLOR: RED
15	INTERIOR: BRICK COLOR: CLAY
16	INTERIOR: PAINTED FACIA + SILL COLOR: RED GRAY
17	INTERIOR: PAINTED FACIA + SILL COLOR: RED GRAY
18	INTERIOR: PAINTED FACIA + SILL COLOR: RED
19	INTERIOR: SPATIALLY SPECIFIC LUMINA CURTAIN WALL SYSTEM ON DOOR CLADDING COLOR: BRICK, BRICK, RED + BLUE SHIMMERED GLASS, CLEAR TINTED WITH A HONEYCOMB OF HIGH REFLECTIVE HOLES
20	INTERIOR: LUMINA CURTAIN WALL SYSTEM COLOR: BRICK, BRICK
21	INTERIOR: BRICK, BRICK, BRICK, BRICK COLOR: BRICK, BRICK
22	INTERIOR: PAINTED FACIA, SPATIALLY SPECIFIC LUMINA CURTAIN WALL SYSTEM ON DOOR CLADDING COLOR: BRICK, BRICK, BRICK, BRICK
23	INTERIOR: PAINTED FACIA COLOR: WHITE

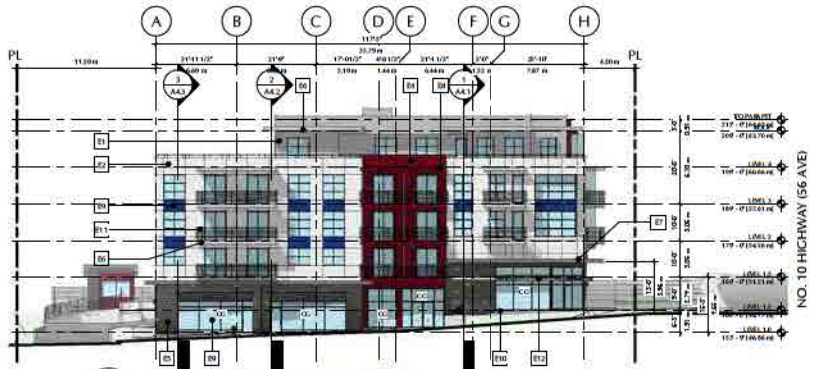
CLADDING LEGEND	
E	BRICK/CLAY CLADDING
CC	CLADDING



3 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



4 WEST ELEVATION
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION (188 TH STREET)
SCALE: 1/16" = 1'-0"

AA MIXED-USE DEV.
Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 504.536.1600
© copyright Ankenman Associates Architects Inc. All rights reserved.

18756, 18778 56 AVENUE, SURREY B.C.
Development For 653699 BC LTD.

ELEVATIONS
2101

MAR. 8, 2024	CITY FILE #2140272	DK
JUN. 26, 2024	RESPONSE TO #21-2704	DK
REV	ISSUED FOR DP	DK
DATE	DESCRIPTION	BY

SCALE: 1/16" = 1'-0"
MARCH 8, 2024

A3.1



E1 MATERIAL: CEMENTITIOUS CLADDING PANELS
C/W TRIMS + FASTENERS
COLOUR: LIGHT GRAY



E2 MATERIAL: CEMENTITIOUS CLADDING PANELS
C/W TRIMS + FASTENERS
COLOUR: WHITE



E3 MATERIAL: CEMENTITIOUS CLADDING PANELS
C/W TRIMS + FASTENERS
COLOUR: BLUE



E4 MATERIAL: ARCHITECTURAL ALUMINUM
EXTERIOR WALL CLADDING PANEL
COLOUR: RED



E5 MATERIAL: BRICK
COLOUR: CHARCOAL (80%) & MEDIUM GRAY (20%)
BLENDED BRICK



E6 MATERIAL: PAINTED FASCIA + SOFFIT
COLOUR: LIGHT GRAY



E7 MATERIAL: PAINTED FASCIA + SOFFIT
COLOUR: MEDIUM GRAY



E8 MATERIAL: PAINTED FASCIA + SOFFIT
COLOUR: RED



E9 MATERIAL: THERMALLY BROKEN ALUMINUM CURTAIN WALL
SYSTEM C/W DOUBLE GLAZING
COLOUR: FRAME/SPANDREL: BLACK + BLUE WHERE NOTED
GLAZING: CLEAR/TRANSPARENT AND FREE OF
FILM SCREENING OR SIGNS



E10 MATERIAL: UPSTAND C/W ANTI-GRAFFITI COATING



E11 MATERIAL: METAL RAILING W/ GLASS BACKING
COLOUR: RAILING: BLACK
GLAZING: CLEAR



E12 MATERIAL: PAINTED STEEL CHANNEL SIGNBAND C/W
INDIVIDUAL INTERNALLY ILLUMINATED
CHANNEL LETTERS OR LOGO CENTER MOUNTED
ON WIRING RACEWAY
COLOUR: MEDIUM GRAY



E13 MATERIAL: SOFFIT
COLOUR: WHITE



MIXED-USE DEV.

Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 504.536.1600
© copyright Ankenman Associates Architects Inc. All rights reserved.

18756, 18778 56 AVENUE, SURREY B.C.

Development For 653699 BC LTD.

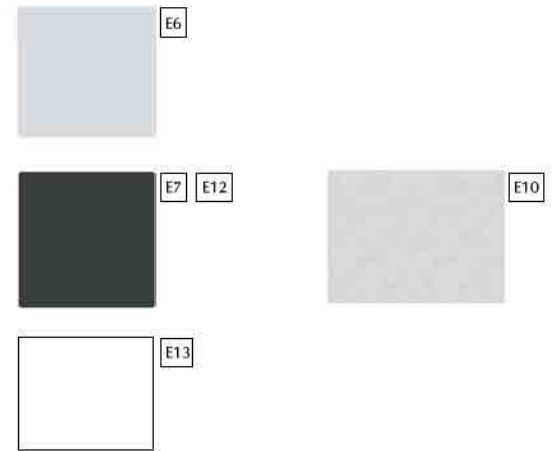
COLOUR BOARD

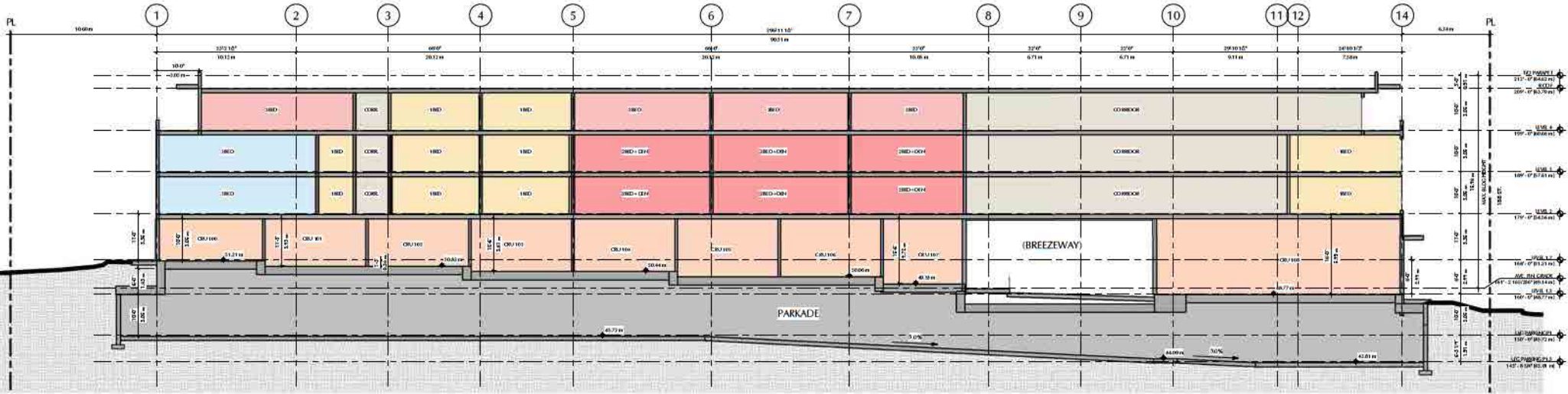
REV	DATE	DESCRIPTION	BY

2101

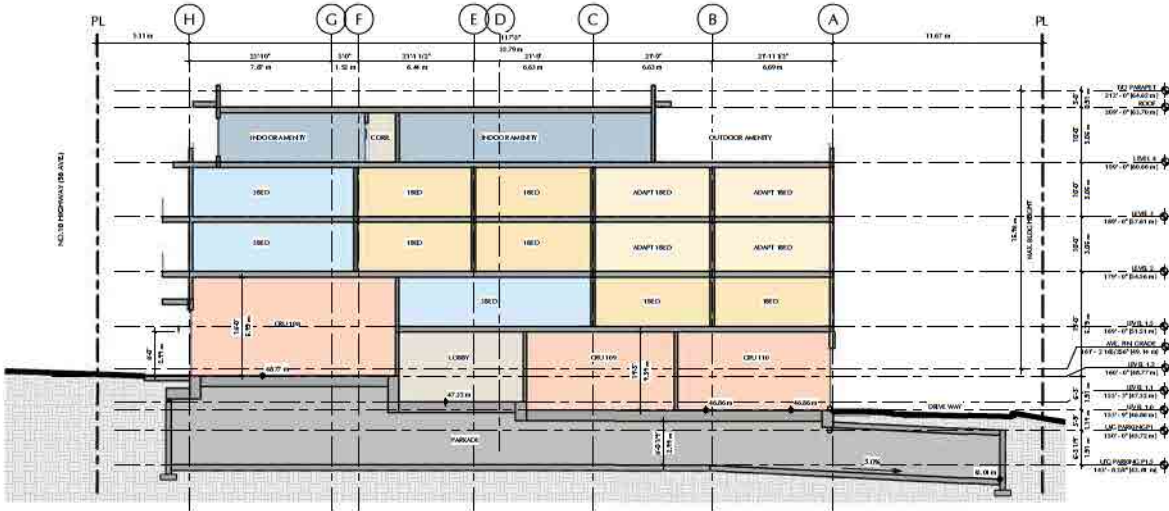
SCALE: 1/2" = 1'-0"
MARCH 8, 2024

A3.3

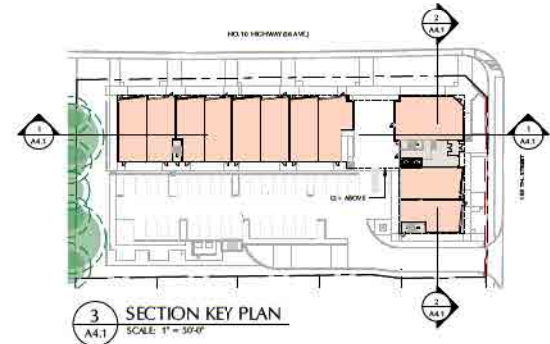




1 BLDG SECTION 1
A4.1 SCALE: 3/32" = 1'-0"



2 BLDG SECTION 2
A4.1 SCALE: 3/32" = 1'-0"



3 SECTION KEY PLAN
A4.1 SCALE: 1" = 50'-0"

AA MIXED-USE DEV.
Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 504.536.1600
© copyright Ankenman Associates Architects Inc. All rights reserved.

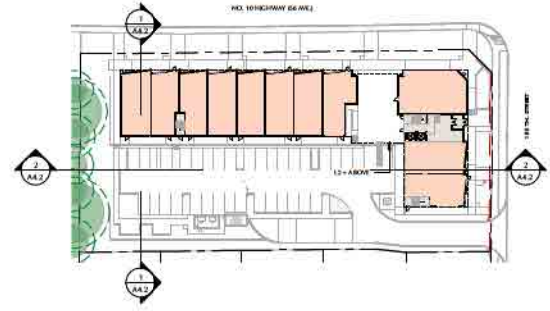
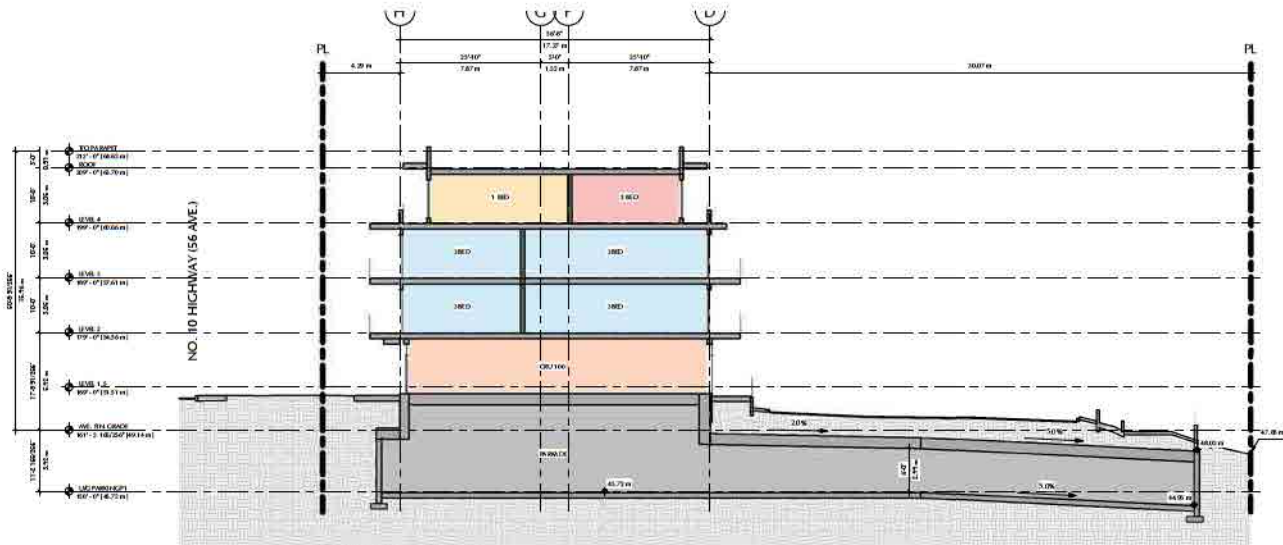
18756, 18778 56 AVENUE, SURREY B.C.
Development For 653699 BC LTD.

SECTIONS
2101

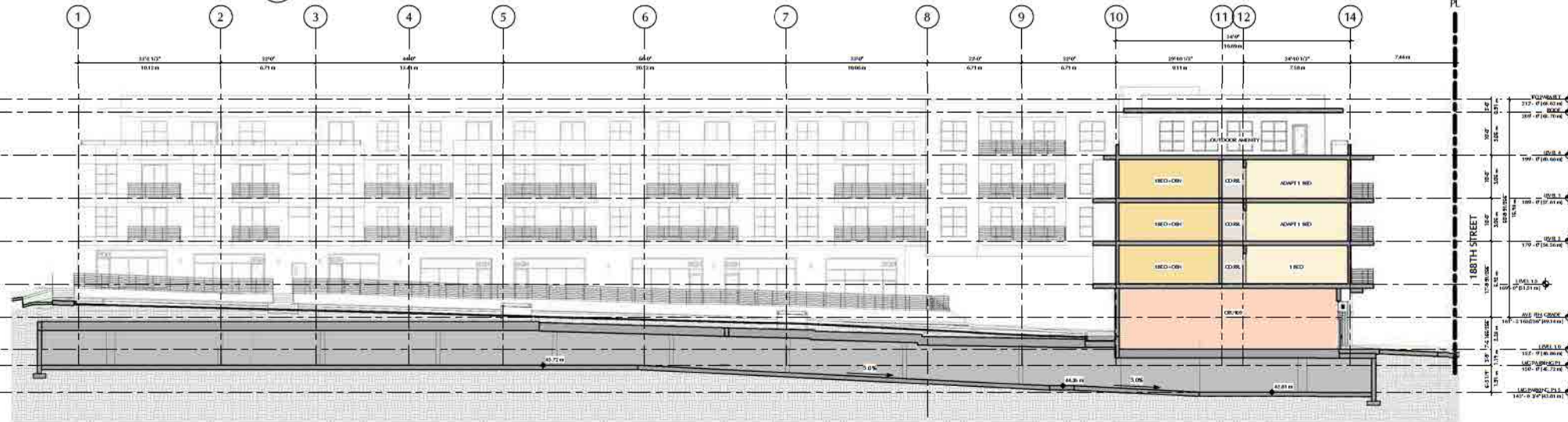
MAR. 8, 2024	CITY FILE #214072	DK
JAN. 26, 2024	RESPONSE TO R2-2704	DK
REV	DATE	DESCRIPTION

SCALE: As indicated
MARCH 8, 2024

A4.1



3 SECTION KEY PLAN
SCALE: 1" = 30'-0"



AA MIXED-USE DEV.
Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 504.536.1600
© copyright Ankenman Associates Architects Inc. All rights reserved.

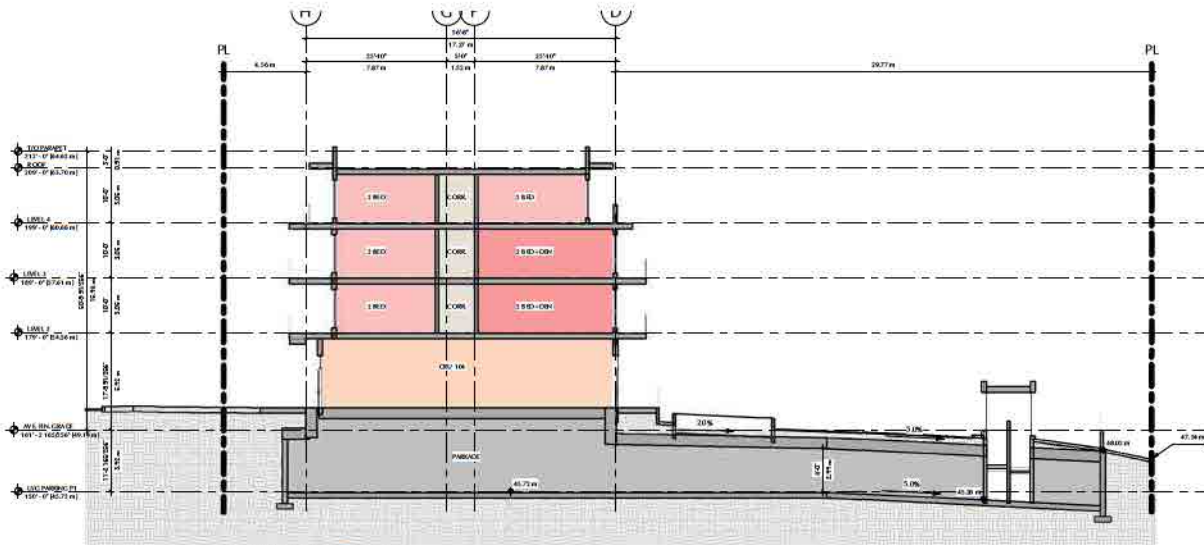
18756, 18778 56 AVENUE, SURREY B.C.
Development For 653699 BC LTD.

SECTIONS
2101

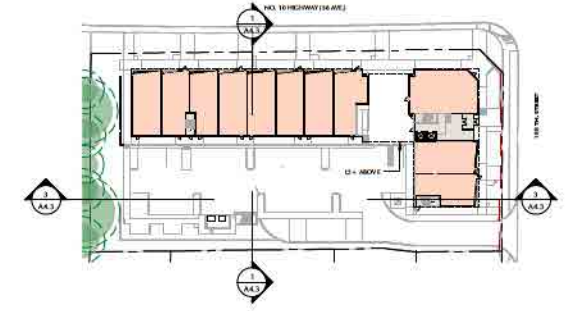
MAR. 8, 2024	CITY FILE #214072	DK
JAN. 26, 2024	RESPONSE TO R2-2704	DK
	ISSUED FOR DP	DK
	DESCRIPTION	BY

SCALE: As indicated
MARCH 8, 2024

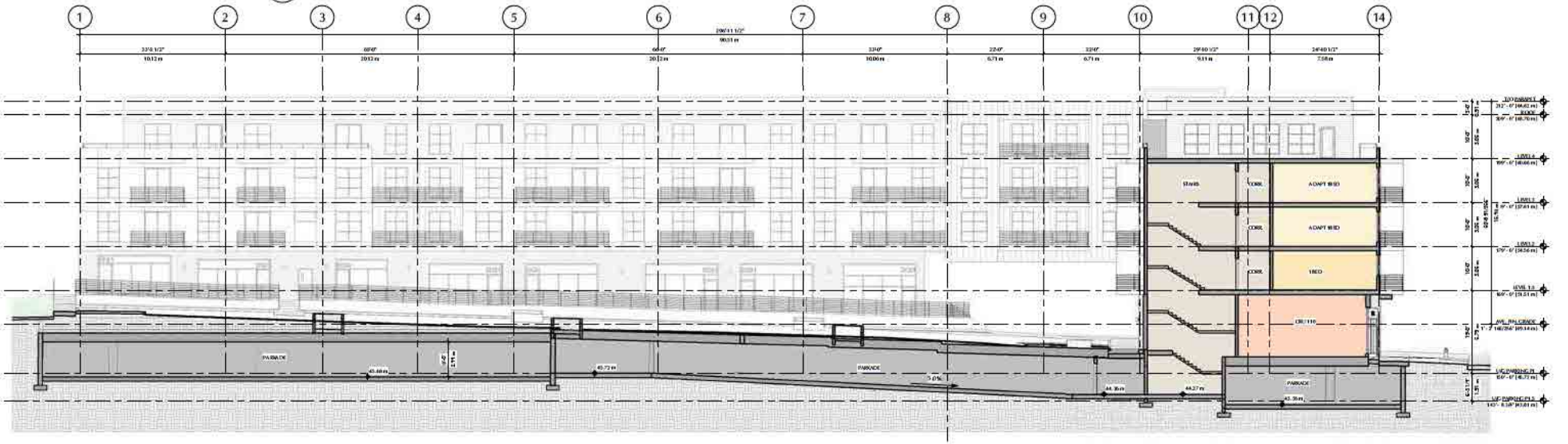
A4.2



1 BLDG SECTION 5
SCALE: 3/32" = 1'-0"



2 SECTION KEY PLAN
SCALE: 1" = 30'-0"



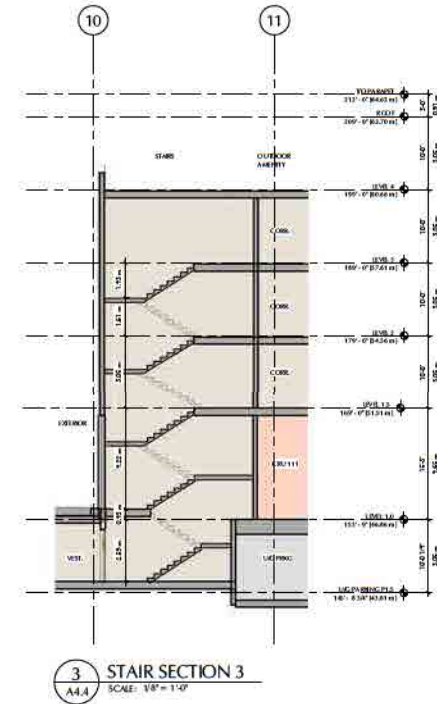
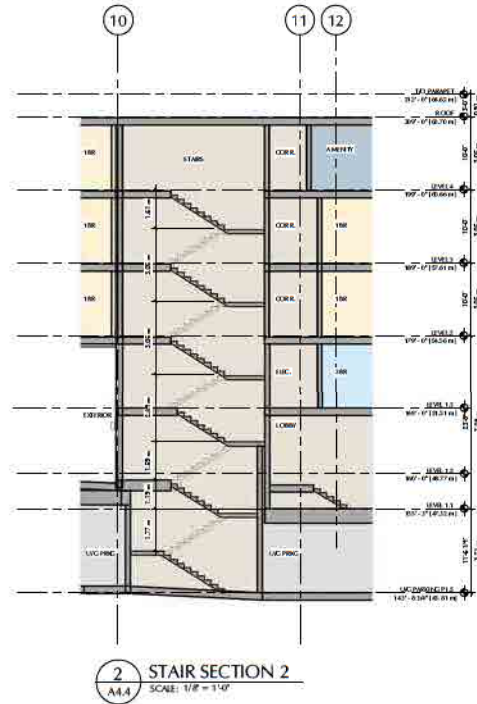
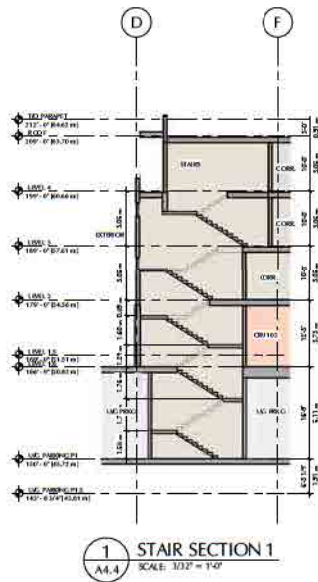
3 BLDG SECTION 6
SCALE: 3/32" = 1'-0"

AA MIXED-USE DEV.
Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 504.536.1600
© copyright Ankenman Associates Architects Inc. All rights reserved.

18756, 18778 56 AVENUE, SURREY B.C.
Development For 653699 BC LTD.

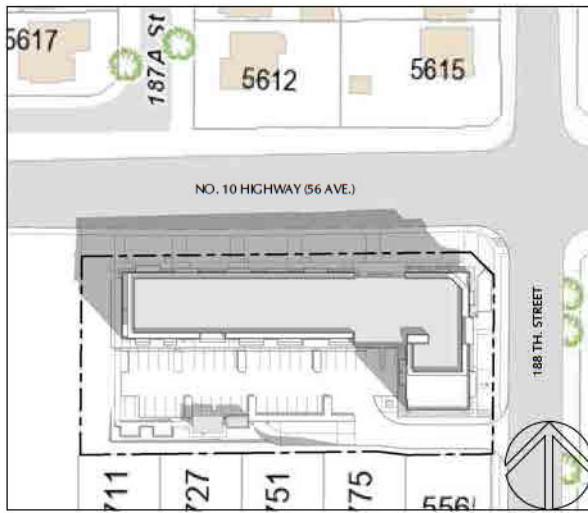
SECTIONS		CITY FILE #214072	
2101	SCALE: As indicated	MAR. 8, 2024	RESPONSE TO R2-2754
	MARCH 8, 2024	JAN. 26, 2024	ISSUED FOR DP
		REV	DATE
			DESCRIPTION
			BY

A4.3



MAR. 8, 2024	CITY FILE #214072	DK
JUN. 26, 2024	RESPONSE TO R2-2734	DK
REV	ISSUED FOR DP	DK
DATE	DESCRIPTION	BY

SCALE: As indicated
MARCH 8, 2024



SPRING EQUINOX - MARCH 21ST 10AM



SPRING EQUINOX - MARCH 21ST 12PM



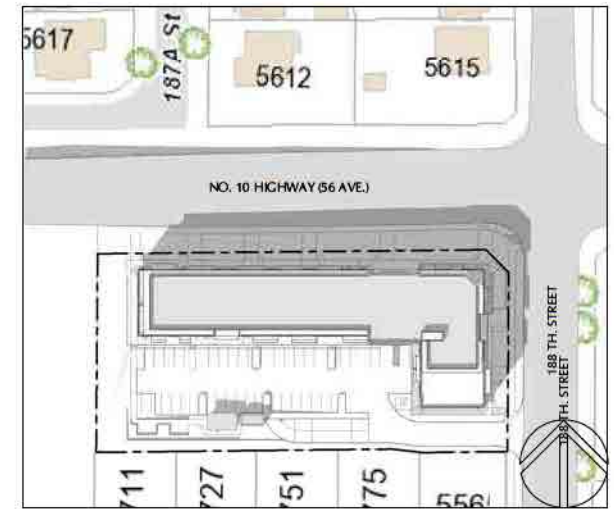
SPRING EQUINOX - MARCH 21ST 2PM



FALL EQUINOX - SEPT 21ST 10AM



FALL EQUINOX - SEPT 21ST 12PM



FALL EQUINOX - SEPT 21ST 2PM



MIXED-USE DEV.

Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 504.536.1600
© copyright Ankenman Associates Architects Inc. All rights reserved.

18756, 18778 56 AVENUE, SURREY B.C.

Development For 653699 BC LTD.

SHADOW STUDY

2101

MAR. 8, 2024	CITY FILE #214072	DK
JUN. 26, 2024	RESPONSE TO 60-2734	DK
	LD COMMENTS	DK
	ISSUED FOR DP	DK
	DESCRIPTION	BY

SCALE: 1" = 50'-0"
MARCH 8, 2024

A7.1



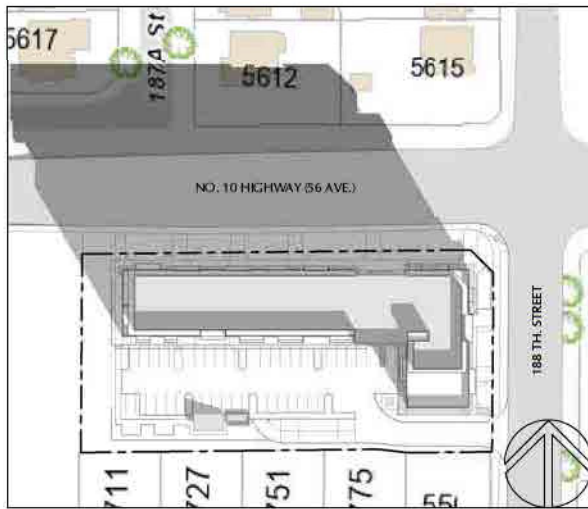
SUMMER SOLSTICE - JUNE 21ST 10AM



SUMMER SOLSTICE - JUNE 21ST 12PM



SUMMER SOLSTICE - JUNE 21ST 2PM



WINTER SOLSTICE - DEC 21ST 10AM



WINTER SOLSTICE - DEC 21ST 12PM



WINTER SOLSTICE - DEC 21ST 2PM



MIXED-USE DEV.

Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 504.536.1600
© copyright Ankenman Associates Architects Inc. All rights reserved.

18756, 18778 56 AVENUE, SURREY B.C.

Development For 653699 BC LTD.

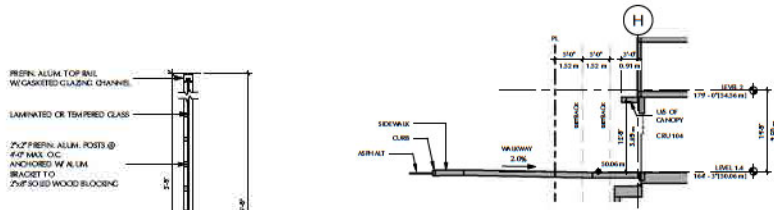
SHADOW STUDY

2101

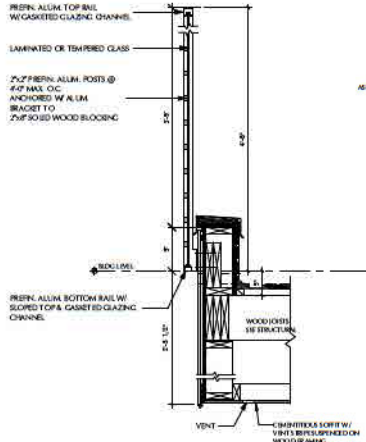
MAR. 8, 2024	CITY FILE #14072	DK
JUN. 26, 2024	RESPONSE TO 65-2734	DK
	LD COMMENTS	DK
	ISSUED FOR DP	DK
	DESCRIPTION	BY

SCALE: 1" = 50'-0"
MARCH 8, 2024

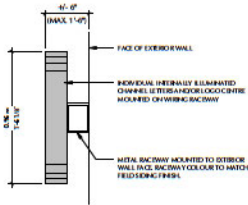
A7.2



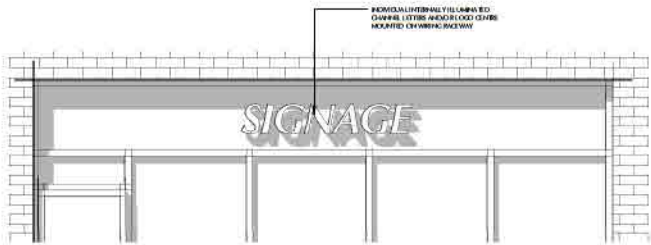
10 SECTION - COMMERCIAL INTERFACE
SCALE: 1/32" = 1'-0"



1 BALCONY GUARDRAIL
SCALE: 1" = 1'-0"



2 SIGNBAND DETAIL
SCALE: 1 1/2" = 1'-0"



3 FACADE SIGNAGE
SCALE: 1/2" = 1'-0"



5 GARBAGE ENCLOSURE - SIDE
SCALE: 1/4" = 1'-0"



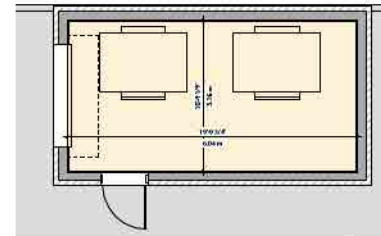
4 GARBAGE ENCLOSURE - FRONT
SCALE: 1/4" = 1'-0"



6 GARBAGE ENCLOSURE - SIDE2
SCALE: 1/4" = 1'-0"



7 GARBAGE ENCLOSURE - BACK
SCALE: 1/4" = 1'-0"



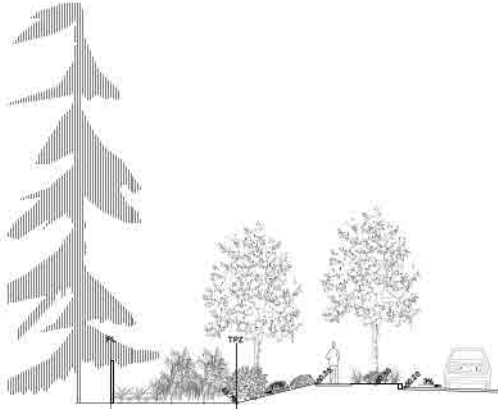
8 GARBAGE ENCLOSURE - PLAN
SCALE: 1/4" = 1'-0"



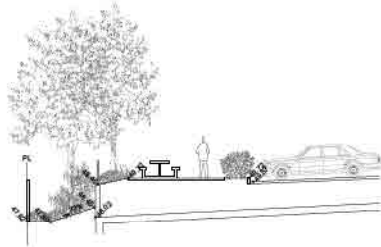
9 GARBAGE ENCLOSURE - 3D VIEW
SCALE:

MAR. 8, 2024	CITY FILE #2140272	DK
JAN. 26, 2024	RESPONSE TO 65-2754	DK
REV	DATE	DESCRIPTION
		BY

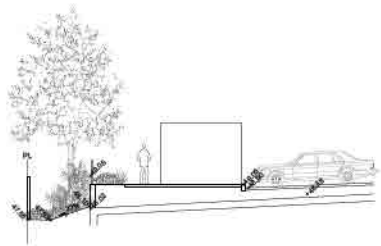
SCALE: As indicated
MARCH 8, 2024



A



B



C

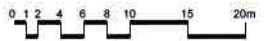
SITE SECTIONS



SCALE: 1:100

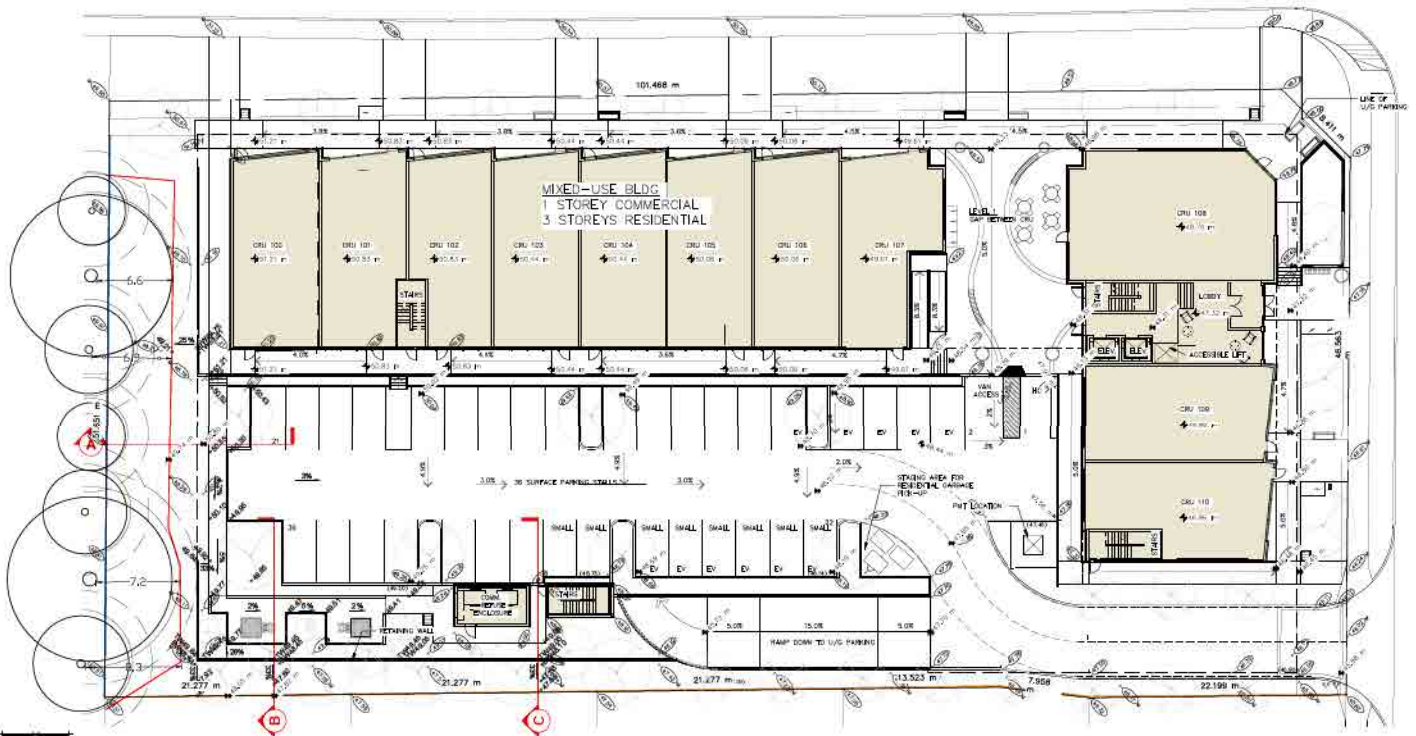


SITE GRADING PLAN



SCALE: 1:200

NO. 10 HIGHWAY (56 AVE.)
300 IN AVENUE / HWY 10



188 TH. STREET
10000 10000



©Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
1	24 MAR 20	REVISED SITE PLAN	PHL
2	14 APR 20	NEW 9% RAMP / ADJUSTABLE	CD
3	23 SEP 20	REVISED SITE PLAN	CD
4	24 NOV 20	REVISED SITE PLAN	CD
5	22 MAR 21	REVISED FOR NEW SITE PLAN	CD
6	30 OCT 20	REVISED PLAN	CD
7	13 NOV 20	REVISED FOR NEW SITE PLAN	CD
8	18 NOV 20	REVISED FOR NEW SITE PLAN	CD
9	16 OCT 21	REVISED FOR NEW SITE PLAN	CD
10	16 MAR 22	REVISED FOR NEW SITE PLAN	CD

PROJECT:

MIXED-USE DEVELOPMENT
18756, 18778 - 56TH AVENUE
SURREY, BC

SCALE:

DRAWING TITLE:

LANDSCAPE GRADING PLAN

DATE: 17 DEC 22
SCALE: AS NOTED
DRAWN: CW
DESIGN: CW
CHECKED: POM

DRAWING NUMBER:

L2

OF 11

PMG PROJECT NUMBER:

18-002

18-00-11.29

NO. 10 HIGHWAY (56 AVE.)
56TH AVENUE / HWY 10

TREES TO BE REMOVED, REFER TO ARBORIST REPORT FOR DETAILS

NO BLDG ZONE, TYP. REFER TO ARBORIST REPORT FOR DETAILS

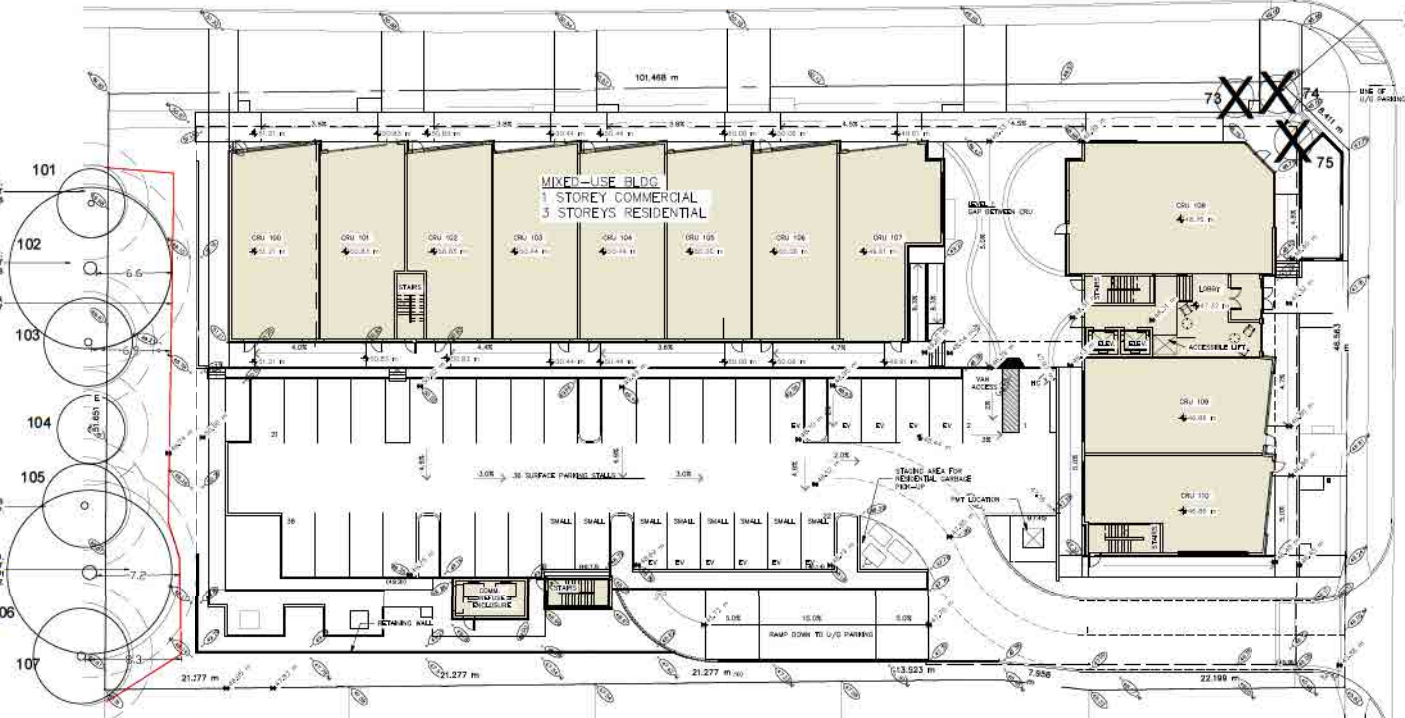
TREE PROTECTION ZONE, TYP. REFER TO ARBORIST REPORT FOR DETAILS

TREE PROTECTION FENCING, REFER TO DETAIL 1.17

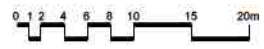
EXISTING ADJACENT TREES TO BE RETAINED, TYP.

ALL WORK IN THESE AREAS, INCLUDING PLANTING TO BE DONE BY PMG UNDER CLOSEST SUPERVISION OF PROJECT ARBORIST. ONLY #1 POT SIZE PLANTS TO BE PLANTED IN THESE AREAS.

ADJACENT TREES TO BE REMOVED, REFER TO ADJACENT PROPERTY ARBORIST REPORT FOR DETAILS



188 TH STREET
100TH STREET



pmg
LANDSCAPE ARCHITECTS

Suite C100 - 4185 581 Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 | f: 604 294-0022

CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
1	24 MAR 20	REV. SITE PLAN FOR SITE PLAN	DBL
2	14 APR 20	REV. SITE PLAN FOR APPROVAL	DBL
3	23 SEP 20	REV. SITE PLAN FOR SITE PLAN	DBL
4	24 NOV 20	REV. SITE PLAN FOR APPROVAL	DBL
5	22 MAR 21	REV. AS PER NEW SITE PLAN APPROVAL	DBL
6	30 OCT 20	REV. SITE PLAN APPROVAL	DBL
7	17 MAR 21	REV. AS PER NEW APPROVAL FOR SITE PLAN	DBL
8	28 MAR 21	REV. AS PER APPROVAL	DBL
9	30 OCT 20	REV. AS PER APPROVAL FOR SITE PLAN	DBL
10	16 APR 21	REV. AS PER APPROVAL FOR SITE PLAN	DBL
11	16 APR 21	REV. AS PER APPROVAL FOR SITE PLAN	DBL
12	16 APR 21	REV. AS PER APPROVAL FOR SITE PLAN	DBL
13	16 APR 21	REV. AS PER APPROVAL FOR SITE PLAN	DBL
14	16 APR 21	REV. AS PER APPROVAL FOR SITE PLAN	DBL
15	16 APR 21	REV. AS PER APPROVAL FOR SITE PLAN	DBL
16	16 APR 21	REV. AS PER APPROVAL FOR SITE PLAN	DBL
17	16 APR 21	REV. AS PER APPROVAL FOR SITE PLAN	DBL
18	16 APR 21	REV. AS PER APPROVAL FOR SITE PLAN	DBL
19	16 APR 21	REV. AS PER APPROVAL FOR SITE PLAN	DBL
20	16 APR 21	REV. AS PER APPROVAL FOR SITE PLAN	DBL

PROJECT:

MIXED-USE DEVELOPMENT
18756, 18778 - 56TH AVENUE
SURREY, BC

SCALE:

DRAWING TITLE:

TREE MANAGEMENT PLAN

DATE: 17 DEC 22

SCALE: 1:200

DRAWN: CW

DESIGN: CW

CHECKED: POM

DRAWING NUMBER:

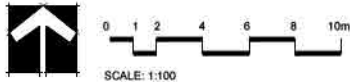
L3

OF 11

PMG PROJECT NUMBER:

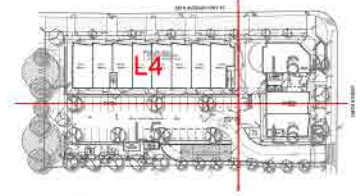
18-002

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.



PLANT SCHEDULE				PIRG PROJECT NUMBER: 18-002					
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB	40	ABUTILON STRAUCHIGER	KA BOCCOPEE BELLIA	#1 POT, 30CM	GRASS	47	CALAMAGROSTE ACUTIFLORA OVENOVIF	FEATHER REED GRASS	#1 POT
	85	ABUTILON UNDO COMPACTA	COMPACT STRAWBERRY BUSH	#2 POT, 30CM		299	CAREX OSHIMENSE 'EMERBIT'	EVEREST JAPANESE SEDGE	#1 POT
	36	CORNUS SANGUINEA 'WINTER FIRE'	BLOODWING DOGWOOD	#2 POT, 30CM		110	DESCHAMPSIA CESPIFOEA 'GOLDTAP'	GOLD TAU TUFTED HAIR GRASS	#1 POT
	72	CORNUS SANGUINEA 'WINTER FIRE' - TPZ	BLOODWING DOGWOOD	#1 POT, 30CM, TPZ ONLY		84	FESTUCA DUMOSISSIMA 'SIBIRYU BLUE'	SIBIRYU BLUE FESCUE	#1 POT
	5	CORNUS SERICEA 'LAVINIA'	YELLOWWAX DOGWOOD	#2 POT, 30CM		102	HAKONECHLOA MACRA	JAPANESE FOREST GRASS	#1 POT
	46	CORNUS SERICEA 'LAVINIA' - TPZ	YELLOWWAX DOGWOOD	#1 POT, 30CM, TPZ ONLY		84	STIPA TENASSIMA	MEXICAN FEATHER GRASS	#1 POT
	198	CORNUS SERICEA 'YELLOW'	SNOW BELLEY DOGWOOD	#1 POT, 30CM	RESEDA	82	ASTER x FRIKARTI 'MONCH'	FRENCH ASTER	15CM POT
	80	LYCORNATA 'SILVERHAME'	HOLLY COMPACT	#1 POT, 30CM		286	BERGONIA 'BRESINGHAM WHITE'	'BRESINGHAM WHITE' BERGONIA	15CM POT
	325	LOINCERA PLATA	FRONT KNOCKOUT	#2 POT, 30CM		103	COROPHIS VESTICOLLATA 'MIDNIGHT'	THUNDER COROPHIS 'YELLOW'	15CM POT
	42	MARIONNA 'WINTER GUM'	HYBRID MARIONNA	#1 POT, 30CM		40	RUBROCKIA F. SULLIVANTI 'GOLDSTURM'	RUBROCKIA	#1 POT
	40	MARIONNA 'WINTER GUM' - TPZ	HYBRID MARIONNA	#1 POT, 30CM, TPZ ONLY	OC	470	ARCTOSTAPHYLOS (VA-LURE)	KIMMOCROCK	#1 POT, 30CM
	84	RHOXODENDRON 'MARY FLEMING'	RHOXODENDRON PINK TO CREAM	#3 POT, 30CM		125	BLECHNUM SPICATUM	DEER Fern	#1 POT, 30CM
	86	ROSA 'NOBLE'	CARPET ROSE PINK	#2 POT, 40CM		306	POLYSTICHUM MUNITUM	WESTERN SWARTZ Fern	#1 POT, 30CM
	46	SPIRAEA 'SUMALDA 'GOLDLAME'	GOLD LAME SPIREA	#2 POT, 40CM					
	82	TRAJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	2M HT, 60CM					
	13	VELURIUM TRICE SPREAD BOULET'	DAWNS' VELURIUM	#1 POT, 30CM					

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CRA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHERS, NET MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MINOR PLANT MATERIALS, AVAILABLE FOR OPTIONAL SUBSTITUTION BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-GOLDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



KEY PLAN
NTS



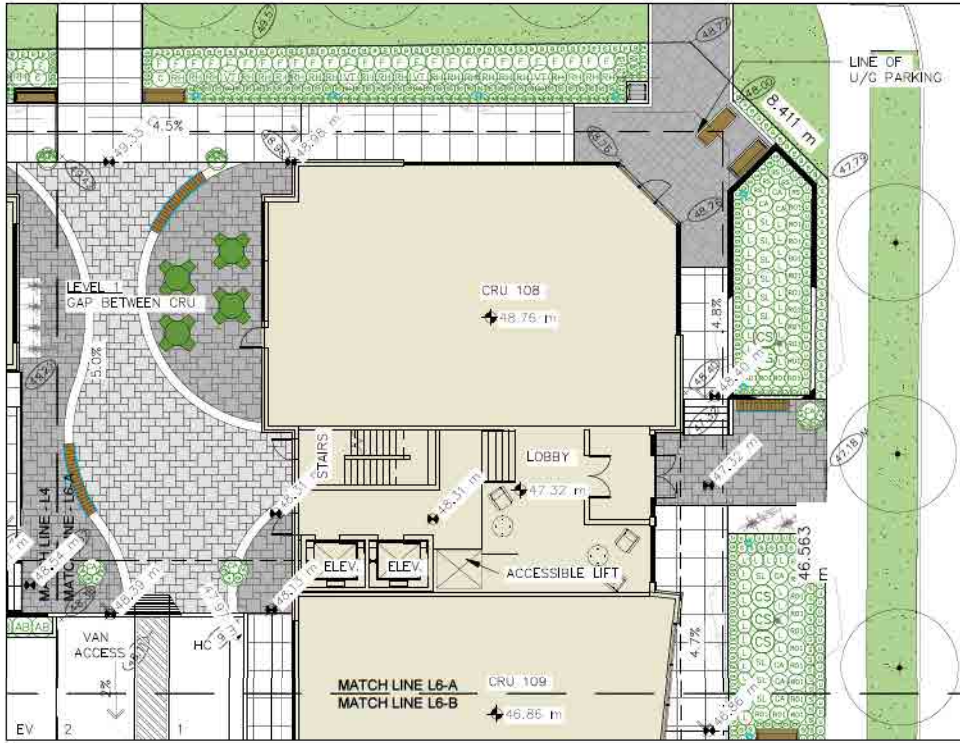
Client: _____
Project: _____
Scale: _____
Drawing Title: _____
Date: 17.06.22
Scale: 1:100
Drawn: CW
Design: CW
Ch'D: POM
Drawing Number: _____
PIRG PROJECT NUMBER: 18-002

MIXED-USE DEVELOPMENT
18756, 18778 - 56TH AVENUE
SURREY, BC

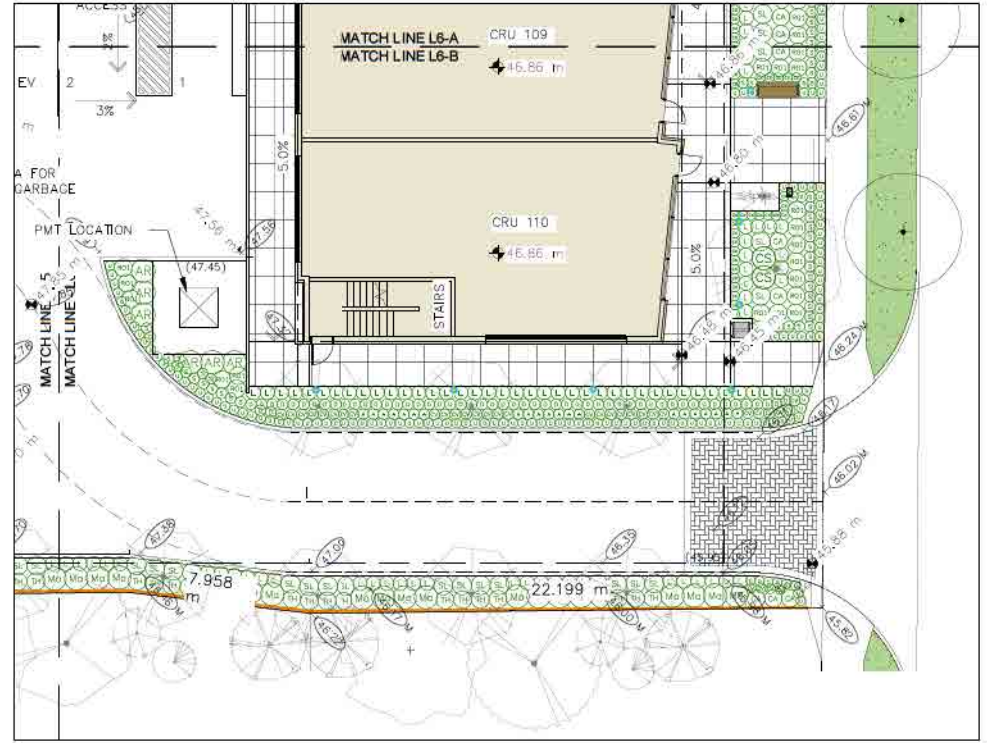
© Copyright Reserved. This drawing and file is the property of PIRG Landscape Architects and may not be reproduced or used for other projects without their permission.

NO.	DATE	REVISION DESCRIPTION	DR.
1	14.06.20	REV. PER PIRG SITE PLAN	OML
2	14.06.20	NEW SITE PLAN / ADDITIONAL	CL
3	13.06.22	REV. PER PIRG SITE PLAN	CL
4	24.06.22	REV. PER PIRG SITE PLAN	CL
5	12.06.22	REV. AS PER NEW SITE PLAN	CL
6	12.06.22	REV. AS PER NEW SITE PLAN	CL
7	12.06.22	REV. AS PER NEW SITE PLAN	CL
8	12.06.22	REV. AS PER NEW SITE PLAN	CL
9	12.06.22	REV. AS PER NEW SITE PLAN	CL
10	12.06.22	REV. AS PER NEW SITE PLAN	CL
11	12.06.22	REV. AS PER NEW SITE PLAN	CL
12	12.06.22	REV. AS PER NEW SITE PLAN	CL
13	12.06.22	REV. AS PER NEW SITE PLAN	CL
14	12.06.22	REV. AS PER NEW SITE PLAN	CL
15	12.06.22	REV. AS PER NEW SITE PLAN	CL
16	12.06.22	REV. AS PER NEW SITE PLAN	CL
17	12.06.22	REV. AS PER NEW SITE PLAN	CL
18	12.06.22	REV. AS PER NEW SITE PLAN	CL
19	12.06.22	REV. AS PER NEW SITE PLAN	CL
20	12.06.22	REV. AS PER NEW SITE PLAN	CL

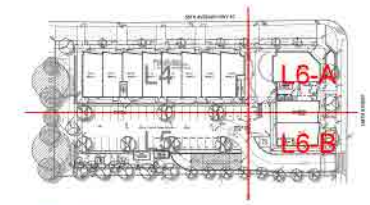
L4 OF 11
PIRG PROJECT NUMBER: 18-002



L6-A

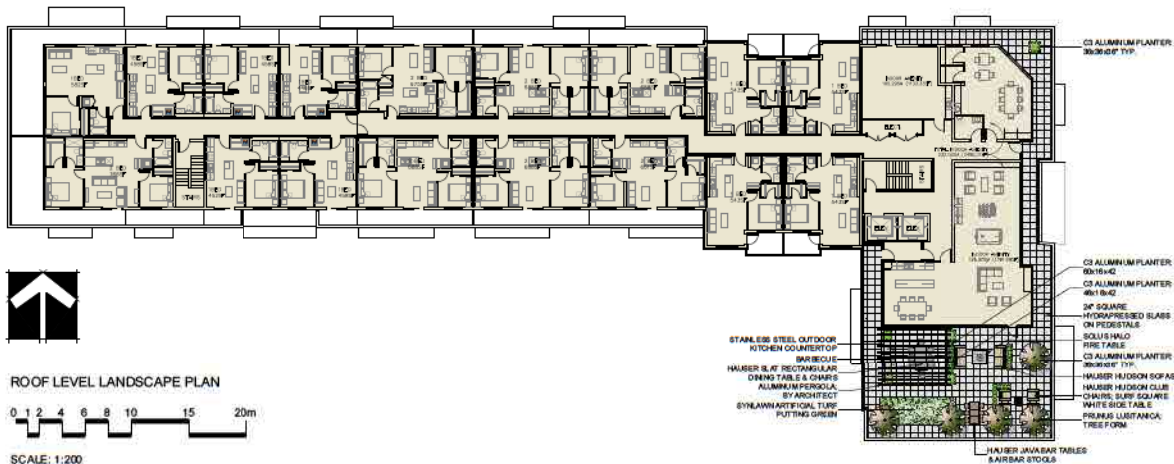


L6-B

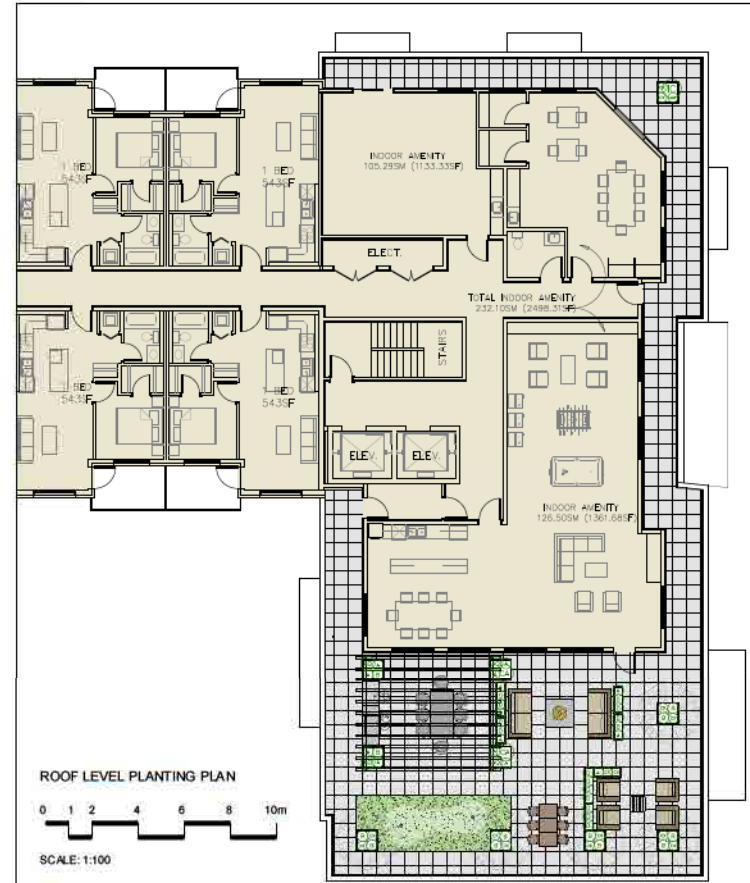


KEY PLAN
NTS

NO.	DATE	REVISION DESCRIPTION	DR.
1	24 MAR 20	REV. PER PLAN SET PLAN	OPR
2	24 MAR 20	REV. PER PLAN SET PLAN	OPR
3	24 MAR 20	REV. PER PLAN SET PLAN	OPR
4	24 MAR 20	REV. PER PLAN SET PLAN	OPR
5	31 OCT 20	REV. SITE PLANNING	OPR
6	23 NOV 20	REV. AS PER PLAN SET PLAN	OPR
7	23 NOV 20	REV. AS PER PLAN SET PLAN	OPR
8	23 NOV 20	REV. AS PER PLAN SET PLAN	OPR
9	23 NOV 20	REV. AS PER PLAN SET PLAN	OPR
10	23 NOV 20	REV. AS PER PLAN SET PLAN	OPR



ROOF LEVEL LANDSCAPE PLAN
SCALE: 1:200



PLANT SCHEDULE - LEVEL 4

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB	1	SILV CRISTATA GREEN THUMB	HOLLY COMFORT	#1 POT, 90CM
SHRUB	5	PRIMUS LUBTANGA	PORTUGUESE LAUREL	2M HIG, ON-STANDARD
GRASS	2	CALAMAGROSTIS ACUTIFLORA OVERDAM	FEATHER REED GRASS	#1 POT
GRASS	15	CAREX OBOVATUS EVEREST	EVEREST JAPANESE SEDGE	#1 POT
GRASS	15	DESCHAMPSIA CESPITOSA GOLDTAP	GOLDTAP TUFTED HAIR GRASS	#1 POT
VINE	4	AMERIA QUINATA	FINE-LEAF ANEMIA	#0 POT, 12CM STAKED
PERENNIAL	15	ASTER F. FINKHARTI MONDAY	FINKHART ASTER	15CM POT
PERENNIAL	12	BIRGENIA BRESCHAM WHITE	BIRGENIA WHITE BERGENIA	15CM POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE SOIL INDICATOR STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. 60 CM PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DERIVED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASERVALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO SOIL INDICATOR STANDARD AND CANADIAN LANDSCAPE STANDARD. * IDENTIFY THE CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED SOIL INDICATOR STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * 100-GAL NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

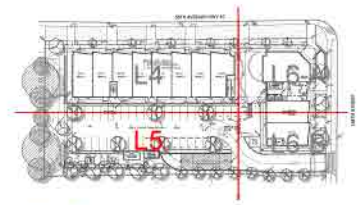
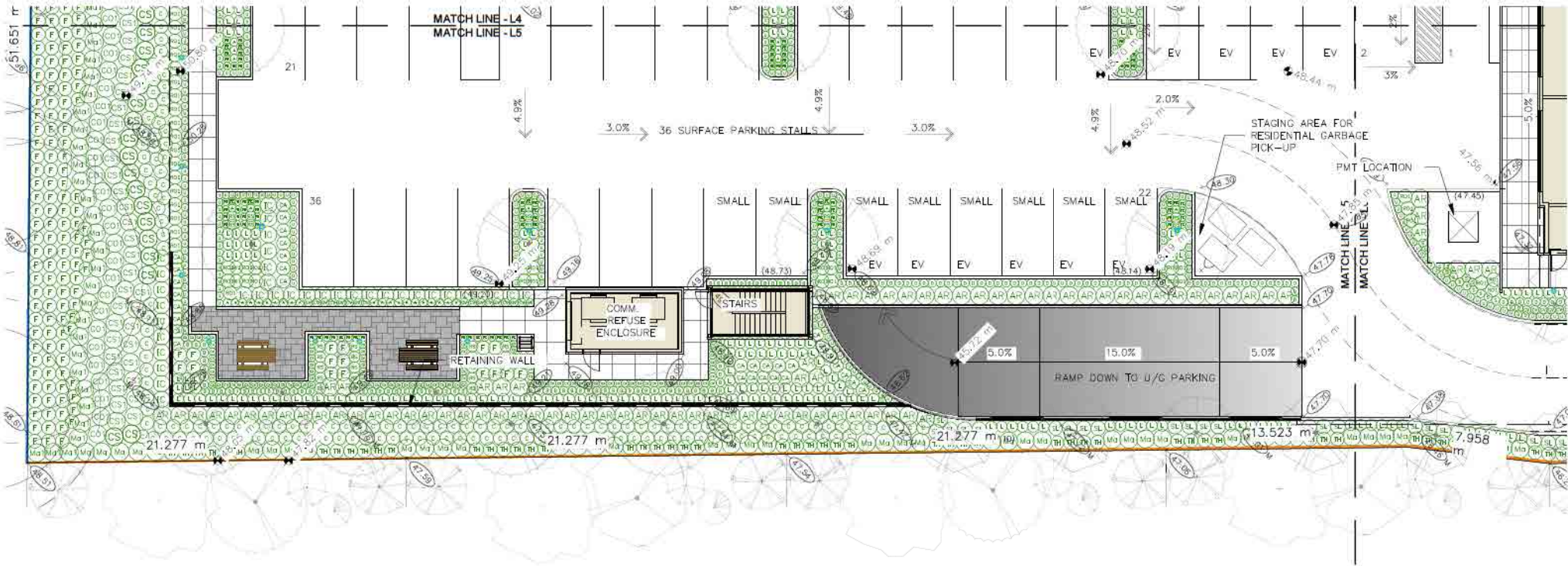


NO.	DATE	REVISION DESCRIPTION	DR.
1	24 MAR 20	REV. PERFORM SITE PLAN	QPL
2	24 MAR 20	REV. SITE PLAN / ADDITIONAL	Q
3	30 MAR 20	REV. PERFORM SITE PLAN	Q
4	26 APR 20	REV. PERFORM SITE PLAN	Q
5	22 MAR 20	REV. AS PER NEW SITE PLAN	Q
6	22 MAR 20	REV. SITE PLAN	Q
7	22 MAR 20	REV. PERFORM SITE PLAN	Q
8	22 MAR 20	REV. PERFORM SITE PLAN	Q
9	22 MAR 20	REV. PERFORM SITE PLAN	Q
10	22 MAR 20	REV. PERFORM SITE PLAN	Q

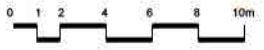
PROJECT: **MIXED-USE DEVELOPMENT**
18756, 18778 - 56TH AVENUE
SURREY, BC

SCALE: 1:100
DRAWING TITLE: **LEVEL 4 ROOF LANDSCAPE PLAN**
DATE: 17 DEC 22
SCALE: AS NOTED
DRAWN: CW
DESIGN: CW
CHECKED: POM
DRAWING NUMBER: **L7**
PROJECT NUMBER: 18-002

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.



KEY PLAN
NTS



SCALE: 1:100



pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4155 581 Street
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 | f: 604 294-0022

CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
1	24 MAR 20	REV. PER PLAN SET PLAN	OPB
2	24 MAR 20	NEW 9% TO ROAD / ADDRESS VELA	CL
3	24 MAR 20	REV. PER PLAN SET PLAN	CL
4	24 MAR 20	REV. PER PLAN SET PLAN	CL
5	31 OCT 20	REV. SITE PLANNING	CL
6	31 OCT 20	REV. AS PER PLAN SET PLAN	CL
7	30 NOV 20	REV. SIGN PLAN	CL
8	30 OCT 20	REV. SIGN PLAN	CL
9	30 OCT 20	REV. SIGN PLAN	CL
10	30 OCT 20	REV. SIGN PLAN	CL

PROJECT:

MIXED-USE DEVELOPMENT
18756, 18778 - 56TH AVENUE
SURREY, BC

SCALE:

DRAWING TITLE:

SHRUB PLAN

DATE: 17 DEC 22

SCALE: 1:100

DRAWN: CW

DESIGN: CW

CHECKED: POM

DRAWING NUMBER:

L5

OF 11

PMD PROJECT NUMBER:

18-002

1800-11.29

ITEM	QUANTITY	UNIT
WOOD POST		
2x6 TOP RAIL		
2x6 POST		
2x4 NAILER		
1x6 BOARD		
2x4 PICK BOARD		

NOTE: ALL TREES REGULARLY OR NOT ARE PROTECTED BY THIS FENCE UNLESS OTHERWISE INDICATED.

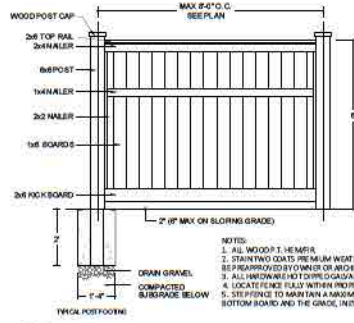
TREE	MINIMUM PROTECTION FENCE HEIGHT
1	1.8m
2	1.8m
3	1.8m
4	1.8m
5	1.8m
6	1.8m
7	1.8m
8	1.8m
9	1.8m
10	1.8m
11	1.8m
12	1.8m
13	1.8m
14	1.8m
15	1.8m
16	1.8m
17	1.8m
18	1.8m
19	1.8m
20	1.8m

PLANTING SCREENING: SEE 20 CONSTRUCTION WITH CROSSBRACING AND TOP END SECTIONAL VIEW.

REINFORCED FOR TREE RINGS: SEE LIGHTING SECTION, 100% S.P.E. WITH DAMPPROOFING.

1.3m MIN.

NO STORAGE OF HAZARDOUS MATERIALS OR FLAMMABLE PROTECTIVE DEVICES.

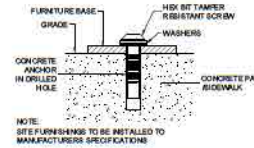
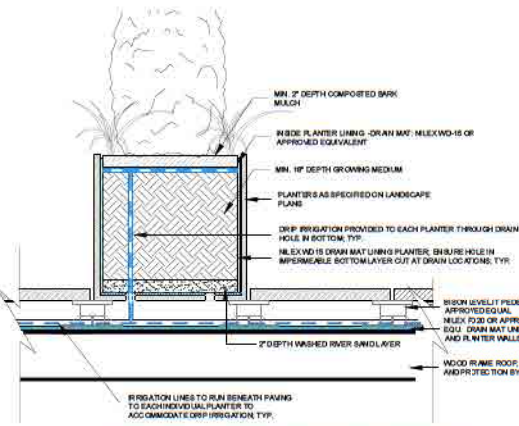


NOTES:

- ALL WOOD T. 1.8M P.F.
- STAIN TWO COATS PREMIUM WEATHER-PROOFING STAIN. COLOUR TO BE REAPPROVED BY OWNER OR ARCHITECT.
- ALL HOLLOWED OUT TOP COUSINGS SAND HEAVY GRADE.
- LOCATE FENCE FULLY WITHIN PROPERTY LINE.
- STEP FENCE TO MAINTAIN A MINIMUM GAP OF 8" BETWEEN THE BOTTOM BOARD AND THE GROUND, IN ALL INSTANCES.

1 TREE PROTECTION FENCE

2 1.8m HT. SOLID WOOD FENCE



4 SITE FURNITURE MOUNTING

PROPOSED HARDSCAPE



PROPOSED SITE FURNISHINGS



PROPOSED SHRUBS



PROPOSED GRASSES AND PERENNIALS



PROPOSED GROUNDCOVERS



PROPOSED TREES

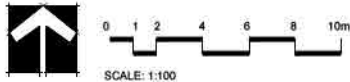


pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 581 Creek Drive
Burnaby, British Columbia, V5C 6G8
p: 604 294-0011 | f: 604 294-0022

NO.	DATE	REVISION DESCRIPTION	DR.
1	24 MAR 24	REV. PER PERM SITE PLAN	DBL
2	24 MAR 24	REV. SITE PLAN / ADDITIONAL	DBL
3	23 APR 24	REV. PER PERM SITE PLAN	DBL
4	23 APR 24	REV. PER PERM SITE PLAN	DBL
5	23 APR 24	REV. PER PERM SITE PLAN	DBL
6	23 APR 24	REV. PER PERM SITE PLAN	DBL
7	23 APR 24	REV. PER PERM SITE PLAN	DBL
8	23 APR 24	REV. PER PERM SITE PLAN	DBL
9	23 APR 24	REV. PER PERM SITE PLAN	DBL
10	23 APR 24	REV. PER PERM SITE PLAN	DBL
11	23 APR 24	REV. PER PERM SITE PLAN	DBL
12	23 APR 24	REV. PER PERM SITE PLAN	DBL
13	23 APR 24	REV. PER PERM SITE PLAN	DBL
14	23 APR 24	REV. PER PERM SITE PLAN	DBL
15	23 APR 24	REV. PER PERM SITE PLAN	DBL
16	23 APR 24	REV. PER PERM SITE PLAN	DBL
17	23 APR 24	REV. PER PERM SITE PLAN	DBL
18	23 APR 24	REV. PER PERM SITE PLAN	DBL
19	23 APR 24	REV. PER PERM SITE PLAN	DBL
20	23 APR 24	REV. PER PERM SITE PLAN	DBL

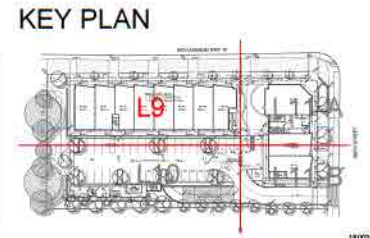
PROJECT: MIXED-USE DEVELOPMENT
18756, 18778 - 56TH AVENUE
SURREY, BC

SCALE: AS NOTED
DRAWING TITLE: LANDSCAPE DETAILS
DATE: 17 DEC 22
DRAWN: CW
DESIGN: CW
CHK'D: POM
DRAWING NUMBER: L8
PMO PROJECT NUMBER: 18-002



PLANT SCHEDULE				PIRG PROJECT NUMBER: 18-002					
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB	40	ABUTILA GRANDIFLORA 'VALEDCOPE'	KA BOCCOPE BELLA	#1 POT, 80CM	GRASS	47	CALAMAGROSTIS ACUTIFLORA OVERDOME	FEATHER REED GRASS	#1 POT
	85	ARBITUS UNEDO COMPACTA	COMPACT STRAWBERRY BUSH	#1 POT, 80CM		259	CAREX OSHIMENSE 'VERBET'	EVEREST JAPANESE BEDGE	#1 POT
	36	CORNUS SANDLINEA 'WONNERT FIRE'	BLOODWING DOGWOOD	#2 POT, 90CM		110	DESCHAMPSIA CESPIROGA 'SOLDITALY'	GOLD TAU TUFTED HAIR GRASS	#1 POT
	72	CORNUS SANDLINEA 'WONNERT FIRE' - TPZ	BLOODWING DOGWOOD	#1 POT, 30CM, TPZ ONLY		84	FESTUCA DUMOSISSIMA 'SUNSHYU BLUE'	SUNSHYU BLUE BEDGE	#1 POT
	5	CORNUS SERICEA 'LAVANAMEA'	YELLOWWING DOGWOOD	#1 POT, 90CM		182	HAKONECHLOA MACROSPORA	JAPANESE FOREST GRASS	#1 POT
	40	CORNUS SERICEA 'LAVANAMEA' - TPZ	YELLOWWING DOGWOOD	#1 POT, 30CM, TPZ ONLY		84	STIPA TENASSISIMA	MEDICAL FEATHER GRASS	#1 POT
	198	CORNUS SERICEA 'YELLOW'	ORANGE RELIEF DOGWOOD	#1 POT, 30CM	PERENNIAL	82	ASTER x FRIKHARTI 'MONCHF'	FRENCH ASTER	15CM POT
	16	LIX ORENATA 'SIRENTAIME'	HOLLY COMPACT	#1 POT, 90CM		286	BERGONIA 'BRESLINGHAM WHITE'	'BRESLINGHAM WHITE' BERBERIS	15CM POT
	323	LONICERA PLATANA	FRUIT HONEYBUCKLE	#2 POT, 90CM		163	COROPHIS VESTICOLLATA 'MICROBEMF'	THUNDERBOLT COROPHIS 'YELLOW'	15CM POT
	40	MANKONA 'AQUILA' 'M' 'WHITE' 'GLUM'	HYDRANGEA	#1 POT, 90CM		40	RUDBECKIA F. SULLIVANTII 'GOLDSTURM'	RUDBECKIA	#1 POT
	40	MANKONA 'MEDIA' 'WHITE' 'SUM' - 'TPZ'	HYDRANGEA	#1 POT, 30CM, TPZ ONLY	PERENNIAL	470	ARISTOTAPHYLOS (LAVANURE)	KIMBARK	#1 POT, 30CM
	84	RHOCHODENDRON 'MARY LEMING'	RHOCHODENDRON PINK TO CREAM	#1 POT, 90CM		125	BLECHNUM SPICATUM	DEER FERN	#1 POT, 30CM
	86	ROSA 'NOVAE'	CARESET ROSE PINK	#2 POT, 40CM		326	POLYSTICHUM MUNITUM	WESTERN SWAMP FERN	#1 POT, 30CM
	40	SPIRAEA X SUMALDA 'SOLORAWI'	EMERALD GREEN CEDAR	2M HT, 80CM					
	80	THUJA OCCIDENTALIS 'SMARMADE'	EMERALD GREEN CEDAR	2M HT, 80CM					
	13	VIBURNUM TRICOLOR 'SUNSHINE'	ORANGE VIBURNUM	#1 POT, 90CM					

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARDS AND CANADIAN LANDSCAPE STANDARDS, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHERS, IF APPLICABLE. * SEARCH AND REVIEW MAKE PLANT MATERIALS AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. * AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. * SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARDS AND CANADIAN LANDSCAPE STANDARDS - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL, INCLUDING MULCH, MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * B-GOLDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



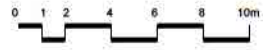
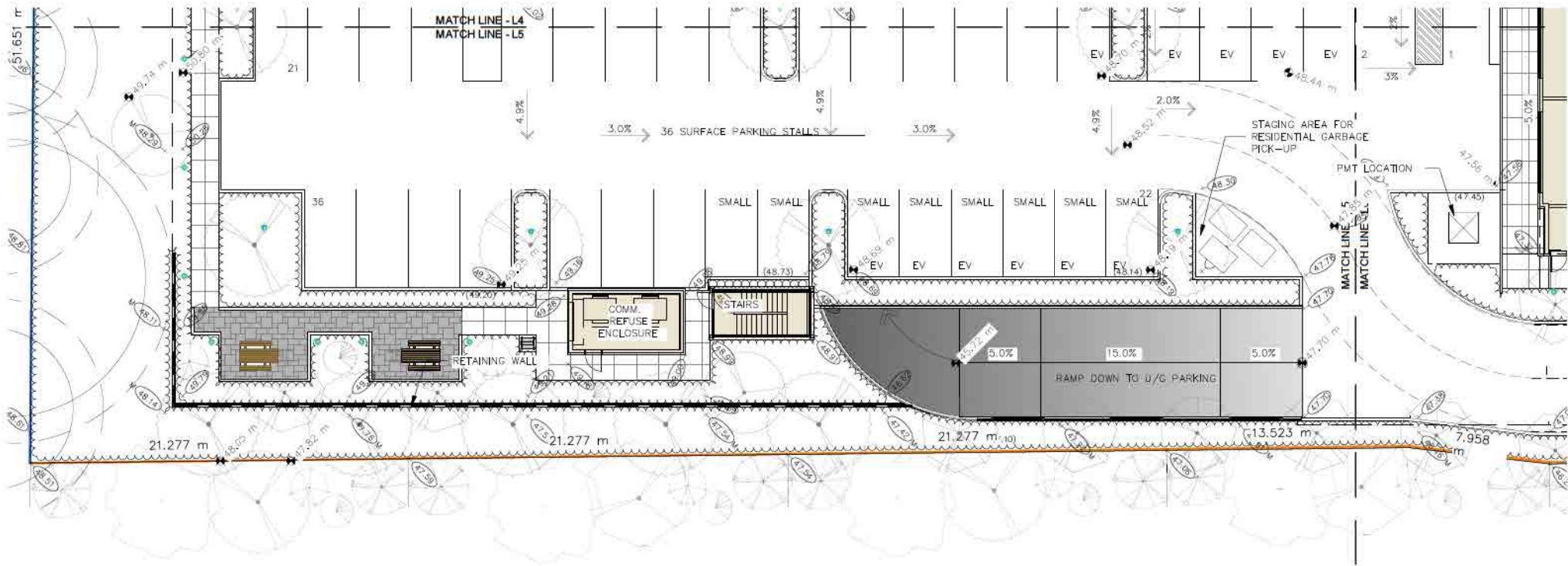
pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 5th Street
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 | f: 604 294-0022

CLIENT	PROJECT	SCALE	DRAWING TITLE
	MIXED-USE DEVELOPMENT		LIGHTING PLAN
	18756, 18778 - 56TH AVENUE		
	SURREY, BC		

NO.	DATE	REVISION DESCRIPTION	DR
1	12.08.20	ISSUE FOR PERMITS	QML
2	12.08.20	ISSUE FOR PERMITS	QML
3	12.08.20	ISSUE FOR PERMITS	QML
4	12.08.20	ISSUE FOR PERMITS	QML
5	12.08.20	ISSUE FOR PERMITS	QML
6	12.08.20	ISSUE FOR PERMITS	QML
7	12.08.20	ISSUE FOR PERMITS	QML
8	12.08.20	ISSUE FOR PERMITS	QML
9	12.08.20	ISSUE FOR PERMITS	QML
10	12.08.20	ISSUE FOR PERMITS	QML
11	12.08.20	ISSUE FOR PERMITS	QML
12	12.08.20	ISSUE FOR PERMITS	QML
13	12.08.20	ISSUE FOR PERMITS	QML
14	12.08.20	ISSUE FOR PERMITS	QML
15	12.08.20	ISSUE FOR PERMITS	QML
16	12.08.20	ISSUE FOR PERMITS	QML
17	12.08.20	ISSUE FOR PERMITS	QML
18	12.08.20	ISSUE FOR PERMITS	QML
19	12.08.20	ISSUE FOR PERMITS	QML
20	12.08.20	ISSUE FOR PERMITS	QML

DATE: 17 DEC 22
SCALE: L100
DRAWN: CW
DESIGN: CW
CHK'D: KCM
DRAWING NUMBER: **L9**
PIRG PROJECT NUMBER: 18-002

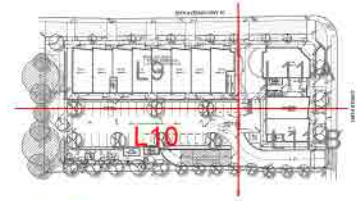
© Copyright reserved. This drawing and design is the property of PIRG Landscape Architects and may not be reproduced or used for other projects without their permission.



SCALE: 1:100



LANDSCAPE LIGHTING LEGEND



KEY PLAN
NTS



Suite C100 - 4185 581 Creek Drive
Burnaby, British Columbia, V5C 6G8
p: 604 294-0011 | f: 604 294-0022

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
1	24 MAR 20	REV. PER PLAN SET PLAN	OWL
2	24 MAR 20	NEW 9'6" SIGN / ADDRESS WALL	OW
3	24 MAR 20	REV. PER PLAN SET PLAN	OW
4	24 MAR 20	REV. PER PLAN SET PLAN	OW
5	24 MAR 20	REV. PER PLAN SET PLAN	OW
6	24 MAR 20	REV. PER PLAN SET PLAN	OW
7	24 MAR 20	REV. PER PLAN SET PLAN	OW
8	24 MAR 20	REV. PER PLAN SET PLAN	OW
9	24 MAR 20	REV. PER PLAN SET PLAN	OW
10	24 MAR 20	REV. PER PLAN SET PLAN	OW
11	24 MAR 20	REV. PER PLAN SET PLAN	OW
12	24 MAR 20	REV. PER PLAN SET PLAN	OW
13	24 MAR 20	REV. PER PLAN SET PLAN	OW
14	24 MAR 20	REV. PER PLAN SET PLAN	OW
15	24 MAR 20	REV. PER PLAN SET PLAN	OW
16	24 MAR 20	REV. PER PLAN SET PLAN	OW
17	24 MAR 20	REV. PER PLAN SET PLAN	OW
18	24 MAR 20	REV. PER PLAN SET PLAN	OW
19	24 MAR 20	REV. PER PLAN SET PLAN	OW
20	24 MAR 20	REV. PER PLAN SET PLAN	OW
21	24 MAR 20	REV. PER PLAN SET PLAN	OW
22	24 MAR 20	REV. PER PLAN SET PLAN	OW
23	24 MAR 20	REV. PER PLAN SET PLAN	OW
24	24 MAR 20	REV. PER PLAN SET PLAN	OW
25	24 MAR 20	REV. PER PLAN SET PLAN	OW
26	24 MAR 20	REV. PER PLAN SET PLAN	OW
27	24 MAR 20	REV. PER PLAN SET PLAN	OW
28	24 MAR 20	REV. PER PLAN SET PLAN	OW
29	24 MAR 20	REV. PER PLAN SET PLAN	OW
30	24 MAR 20	REV. PER PLAN SET PLAN	OW
31	24 MAR 20	REV. PER PLAN SET PLAN	OW
32	24 MAR 20	REV. PER PLAN SET PLAN	OW
33	24 MAR 20	REV. PER PLAN SET PLAN	OW
34	24 MAR 20	REV. PER PLAN SET PLAN	OW
35	24 MAR 20	REV. PER PLAN SET PLAN	OW
36	24 MAR 20	REV. PER PLAN SET PLAN	OW
37	24 MAR 20	REV. PER PLAN SET PLAN	OW
38	24 MAR 20	REV. PER PLAN SET PLAN	OW
39	24 MAR 20	REV. PER PLAN SET PLAN	OW
40	24 MAR 20	REV. PER PLAN SET PLAN	OW
41	24 MAR 20	REV. PER PLAN SET PLAN	OW
42	24 MAR 20	REV. PER PLAN SET PLAN	OW
43	24 MAR 20	REV. PER PLAN SET PLAN	OW
44	24 MAR 20	REV. PER PLAN SET PLAN	OW
45	24 MAR 20	REV. PER PLAN SET PLAN	OW
46	24 MAR 20	REV. PER PLAN SET PLAN	OW
47	24 MAR 20	REV. PER PLAN SET PLAN	OW
48	24 MAR 20	REV. PER PLAN SET PLAN	OW
49	24 MAR 20	REV. PER PLAN SET PLAN	OW
50	24 MAR 20	REV. PER PLAN SET PLAN	OW
51	24 MAR 20	REV. PER PLAN SET PLAN	OW
52	24 MAR 20	REV. PER PLAN SET PLAN	OW
53	24 MAR 20	REV. PER PLAN SET PLAN	OW
54	24 MAR 20	REV. PER PLAN SET PLAN	OW
55	24 MAR 20	REV. PER PLAN SET PLAN	OW
56	24 MAR 20	REV. PER PLAN SET PLAN	OW
57	24 MAR 20	REV. PER PLAN SET PLAN	OW
58	24 MAR 20	REV. PER PLAN SET PLAN	OW
59	24 MAR 20	REV. PER PLAN SET PLAN	OW
60	24 MAR 20	REV. PER PLAN SET PLAN	OW
61	24 MAR 20	REV. PER PLAN SET PLAN	OW
62	24 MAR 20	REV. PER PLAN SET PLAN	OW
63	24 MAR 20	REV. PER PLAN SET PLAN	OW
64	24 MAR 20	REV. PER PLAN SET PLAN	OW
65	24 MAR 20	REV. PER PLAN SET PLAN	OW
66	24 MAR 20	REV. PER PLAN SET PLAN	OW
67	24 MAR 20	REV. PER PLAN SET PLAN	OW
68	24 MAR 20	REV. PER PLAN SET PLAN	OW
69	24 MAR 20	REV. PER PLAN SET PLAN	OW
70	24 MAR 20	REV. PER PLAN SET PLAN	OW
71	24 MAR 20	REV. PER PLAN SET PLAN	OW
72	24 MAR 20	REV. PER PLAN SET PLAN	OW
73	24 MAR 20	REV. PER PLAN SET PLAN	OW
74	24 MAR 20	REV. PER PLAN SET PLAN	OW
75	24 MAR 20	REV. PER PLAN SET PLAN	OW
76	24 MAR 20	REV. PER PLAN SET PLAN	OW
77	24 MAR 20	REV. PER PLAN SET PLAN	OW
78	24 MAR 20	REV. PER PLAN SET PLAN	OW
79	24 MAR 20	REV. PER PLAN SET PLAN	OW
80	24 MAR 20	REV. PER PLAN SET PLAN	OW
81	24 MAR 20	REV. PER PLAN SET PLAN	OW
82	24 MAR 20	REV. PER PLAN SET PLAN	OW
83	24 MAR 20	REV. PER PLAN SET PLAN	OW
84	24 MAR 20	REV. PER PLAN SET PLAN	OW
85	24 MAR 20	REV. PER PLAN SET PLAN	OW
86	24 MAR 20	REV. PER PLAN SET PLAN	OW
87	24 MAR 20	REV. PER PLAN SET PLAN	OW
88	24 MAR 20	REV. PER PLAN SET PLAN	OW
89	24 MAR 20	REV. PER PLAN SET PLAN	OW
90	24 MAR 20	REV. PER PLAN SET PLAN	OW
91	24 MAR 20	REV. PER PLAN SET PLAN	OW
92	24 MAR 20	REV. PER PLAN SET PLAN	OW
93	24 MAR 20	REV. PER PLAN SET PLAN	OW
94	24 MAR 20	REV. PER PLAN SET PLAN	OW
95	24 MAR 20	REV. PER PLAN SET PLAN	OW
96	24 MAR 20	REV. PER PLAN SET PLAN	OW
97	24 MAR 20	REV. PER PLAN SET PLAN	OW
98	24 MAR 20	REV. PER PLAN SET PLAN	OW
99	24 MAR 20	REV. PER PLAN SET PLAN	OW
100	24 MAR 20	REV. PER PLAN SET PLAN	OW

PROJECT:

MIXED-USE DEVELOPMENT
18756, 18778 - 56TH AVENUE
SURREY, BC

SCALE:

DRAWING TITLE:

LIGHTING PLAN

DATE: 17 DEC 23

SCALE: 1:100

DRAWN: OW

DESIGN: OW

CHK'D: PCM

DRAWING NUMBER:

L10

OF 11

PMG PROJECT NUMBER:

18-002

Appendix II

TO: **Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Review Manager, Engineering Department**

DATE: **April 02, 2024**

PROJECT FILE: **7821-0272-00**

RE: **Engineering Requirements
Location: 18756 No 10 (56 Ave) Hwy**

OCP AMENDMENT/NCP AMENDMENT/ALR EXCLUSION

There are no engineering requirements relative to the OCP Amendment.

REZONE/SUBDIVISION

Works and Services

- Construct 200mm watermain along 56 Avenue.
- Provide adequately sized water, storm and sanitary service connection to each lot.
- Construct on-site stormwater mitigation as per the Cloverdale McLellan Creek ISMP.
- Register restrictive covenants for on-site stormwater mitigation features.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Janelle Frank, P.Eng.
Development Review Manager

RH

Department: **Planning and Demographics**
Date: **March 4, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **21 0272 00**

The proposed development of **74** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	12
---	----

Projected Number of Students From This Development In:	
Elementary School =	7
Secondary School =	3
Total Students =	10

Current Enrolment and Capacities:	
Sunrise Ridge Elementary	
Enrolment	355
Operating Capacity	286
# of Portables	3
Clayton Heights Secondary	
Enrolment	1304
Operating Capacity	1000
# of Portables	10

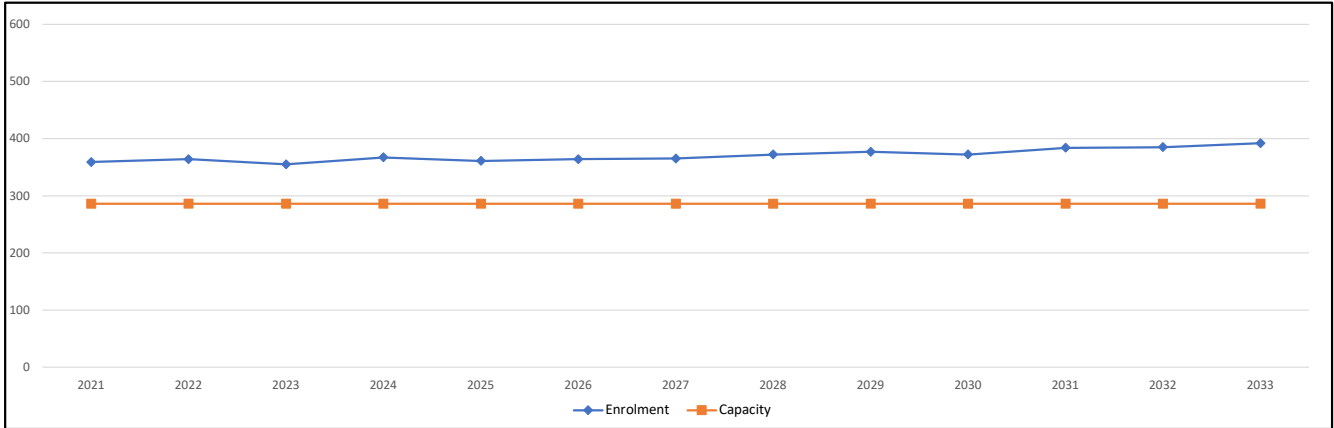
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

Sunrise Ridge elementary is currently operating at 127% capacity. Though development in the catchment is minimal, the birth rate has been slowly climbing over the last 10 years as more young couples are moving to this catchment. The 10 year enrolment projections are showing that the operating capacity for the school will rise to 143% by 2029. As of September 2022, Sunrise Ridge Elementary required 3 portables for enrolling classrooms. There are no current plans to construct new enrolling space to the school; the school will be monitored over the coming year. All future growth to this school will be captured by portables at this time.

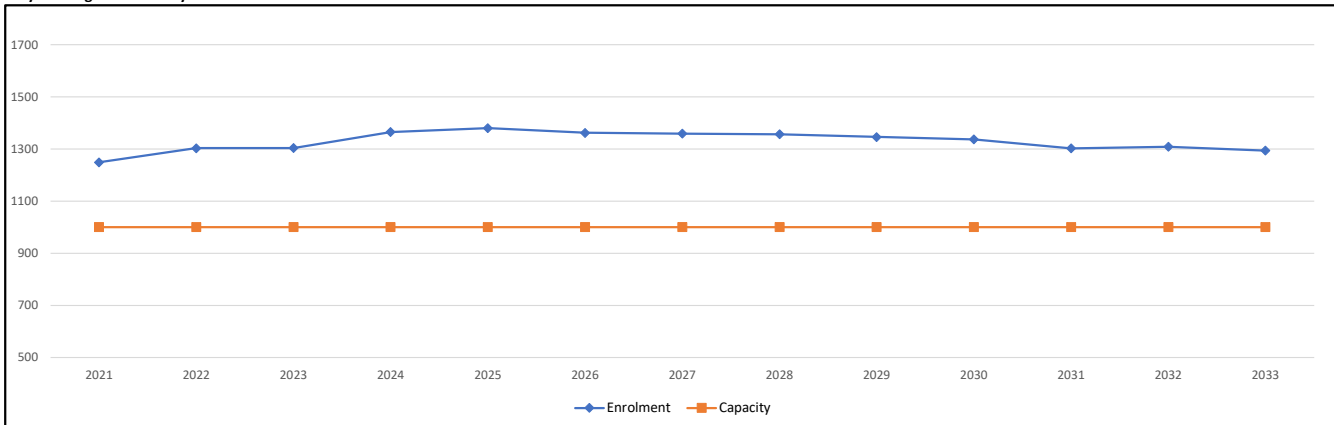
E'cole Salish Secondary opened in September 2018. This school has been built to relieve enrolment pressure at both Lord Tweedsmuir and Clayton Heights Secondary. The Ministry of Education supported the District to prepare a feasibility study for a 500 capacity addition for Clayton Heights Secondary. No funding has been approved to move the project into design and construction.

Sunrise Ridge Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Clayton Heights Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population : The projected population of children aged 0-17 impacted by the development.
Enrolment : The number of students projected to attend the Surrey School District ONLY.

NO. 10 HIGHWAY (56 AVE.)

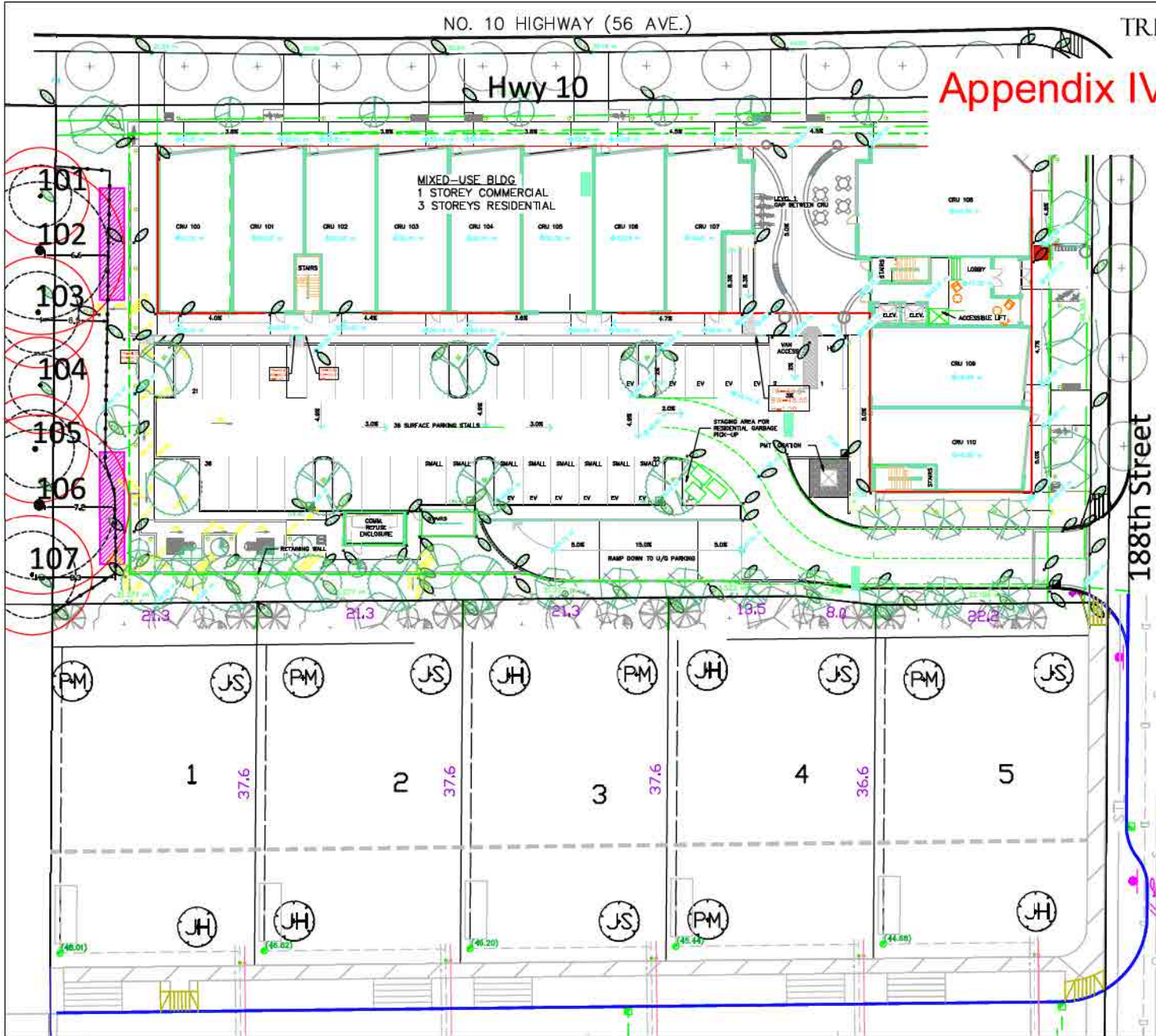
TREE RETENTION & REPLACEMENT

APPENDIX 3

Hwy 10

Appendix IV

FIT 10 METRES



TREE INVENTORY

#	Type	AP
101	Douglas Fir	F
102	Bigleaf Maple	F
103	Douglas Fir	F
104	Douglas Fir	F
105	Douglas Fir	F
106	Lombardy Poplar	F
107	Apple	F

DBH=trunk diameter, TPZ=

TREE PROTECTION

Minimum Radial Dist

#	Type	D
101	Douglas Fir	5
102	Bigleaf Maple	60
103	Douglas Fir	6
104	Douglas Fir	5
105	Douglas Fir	6
106	Lombardy Poplar	12
107	Apple	40

REPLACEMENT TREES

QTY	Type	Size
5	Paperbark Maple	6cm
5	Japanese Hornbeam	6cm
5	Japanese Snowbell	6cm

NOTES:
PLANTS IN THE PLANT LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE CANADA GUIDE SPECIFICATIONS FOR NURSERY STOCK AND THE BONTA STANDARD FOR CONTAINER GROWN PLANTS.

ALL LANDSCAPING AND LANDSCAPE MATERIALS CONFORM TO THE LATEST EDITION OF THE BONTA/BCSLA "LANDSCAPE STANDARDS".

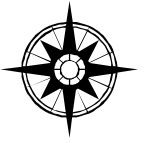
SITE LAYOUT INFORMATION AND TREE SURVEY DATA PER SUPPLIED DRAWING

REFER TO ATTACHED TREE PROTECTION REPORT FOR INFORMATION CONCERNING TREE SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.

ALL MEASUREMENTS ARE METRIC

7763 McGr Telephone:

776 THE DRAWING RETENTION, PROTECTION IN RELATION



Appendix V

URB

Amendment from
"Suburban" to "Multiple Residential"

56 Ave Fg Rd N

187A St

Highway-10 (56 Ave)

SUB

55A Ave

188 St

URB

187 St



CITY OF SURREY

BYLAW NO. 21208

A bylaw to amend the provisions of Surrey Official
Community Plan Bylaw, 2013, No. 18020, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Official Community Plan Bylaw, 2013, No. 18020, as amended, is hereby further amended by modifying "Figure 3, General Land Use Designations" of the Land Uses and Densities Section by changing the land use designation for the area shown shaded on the plan labeled Schedule A, attached hereto as follows:

FROM: SUBURBAN (SUB)

TO: MULTIPLE RESIDENTIAL (MR)

PID: 031-282-776

Lot 6 North West Quarter Section 4 Township 8 NWD Plan EPP104641

(18756 No. 10 (56 Avenue) Highway)

2. This Bylaw shall be cited for all purposes as "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21208".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PUBLIC HEARING HELD thereon on the th day of , 20__.

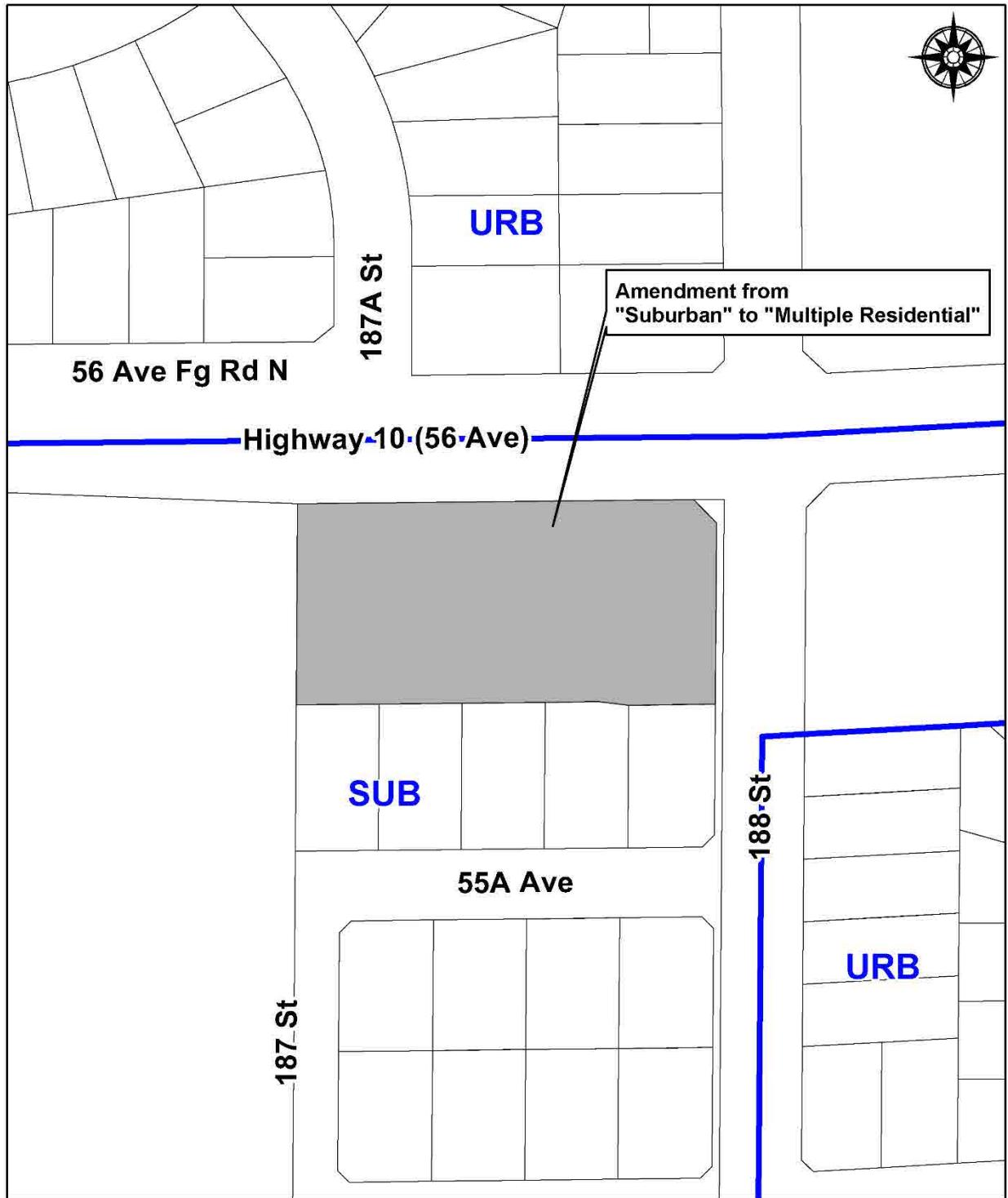
PASSED THIRD READING on the th day of , 20__.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20__.

_____MAYOR

_____CLERK

SCHEDULE A



OCP Amendment 21-0272-00

Amendment from "Suburban" to "Multiple Residential"



CITY OF SURREY

BYLAW NO. 21209

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 202 (CD 202), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
FROM: NEIGHBOURHOOD COMMERCIAL ZONE (C-5)
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 202" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 202	18756 No. 10 (56 Avenue) Highway	Lot 6, Plan EPP104641	21209	N/A"

2. This Bylaw shall be cited for all purposes as "Surrey Comprehensive Development Zone 202 (CD 202), Bylaw, 2024, No. 21209".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PUBLIC HEARING HELD thereon on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE on the day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 202 (CD 202)

This Comprehensive Development Zone 202 (CD 202) as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
18756 No. 10 (56 Avenue) Highway	Lot 6 North West Quarter Section 4 Township 8 NWD Plan EPP104641	031-282-776

(collectively the "Lands")

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density*, medium rise, *multiple unit residential buildings* and related *amenity spaces* and commercial and office uses, which are to be developed in accordance with a *comprehensive design*.

B. Permitted Uses

Lands, buildings and structures shall only be used for the following uses, or a combination thereof:

Principal Uses:

1. *Multiple unit residential buildings and ground-oriented multiple unit residential buildings.*

Accessory Uses:

2. *Retail stores excluding adult entertainment stores, auction houses and secondhand stores and pawnshops;*
3. *Personal service uses excluding body rub parlours;*
4. *General service uses excluding funeral parlours, drive-through banks and vehicle rentals;*
5. *Eating establishments excluding drive-through restaurants;*
6. *Office uses excluding social escort services, methadone clinics and marijuana dispensaries;*
7. *Cultural uses;*
8. *Indoor recreational facilities;*
9. *Community services; and*
10. *Child care centres, regulated by the Community Care and Assisted Living Act, as amended, and the Child Care Licensing Regulation, as amended.*

C. Lot Area

Not applicable to this Zone.

D. Density

1. Maximum Density:

Maximum *density* shall be as follows:

- (a) 1 *dwelling unit*; and
- (b) The lesser of *floor area ratio* of 0.1 or *building area* of 300 sq. m.

2. Permitted Density Increases:

If amenity contributions are provided in accordance with Schedule G, *density* may be increased as follows:

- (a) Maximum 137 *dwelling units* per hectare; and
- (b) Maximum *floor area ratio* of 1.30, excluding:
 - i. The indoor *amenity space* requirement (pursuant to Section J.1. of this Zone); and
 - ii. Up to a maximum of 170 sq. m of the *secure bicycle parking area* requirement (pursuant to Section H.5. of this Zone).

3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D. of this Zone, and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Sub-section D.2. of this Zone.

E. Lot Coverage

1. The maximum *lot coverage* for all *buildings* and *structures* shall be 33%.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E. of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1. of this Zone.

F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	North Yard	South Yard	West Yard	East Yard
<i>Principal Building</i>	4.1 m	11.5 m	10.4 m	6.1 m
<i>Accessory Buildings and Structures</i>	4.1 m	5.0 m	10.4 m	6.1 m

- 1 Notwithstanding Section A.3.(d) of Part 5, Off-Street Parking and Loading/Unloading, *parking – underground* may be located up to 0.0 m of any *lot line*.
- 2 Notwithstanding Section A.26.(b) of Part 4, General Provisions, stairs with more than three risers may encroach into the *setbacks*.
- 3 Notwithstanding Section F. of this Zone, the north and east *yard setbacks* may be reduced to 3.8 m for the *principal building* as measured to the corner cut at the intersection of two *highways*.
- 4 Notwithstanding Section F. of this Zone, the minimum *setbacks* of *principal buildings* and *accessory buildings and structures* for interior *lot lines* for *lots* created by an air space subdivision may be 0.0 m.

G. Height of Buildings

1. Principal Buildings:
Principal building height shall not exceed 16.8 m.
2. Accessory Buildings:
Accessory building height shall not exceed 4.5 m.
3. Structures:
Structure height shall not exceed 4.5 m.

H. Off-Street Parking and Loading/Unloading

1. Parking Calculations:
Refer to Table D.1. of Part 5 Off-Street Parking and Loading/Unloading.
2. Tandem Parking:
Tandem parking is not permitted.
3. Underground Parking:
All required resident *parking spaces* shall be provided as *parking - underground*.
4. Parking Areas:
 - (a) Parking within the required *setbacks* is not permitted; and
 - (b) Parking is not permitted in front of the main entrance of a *non-ground-oriented multiple unit residential building*, except for the purpose of short-term drop-off or pick-up and for accessible parking.

5. Bicycle Parking:
A secure bicycle parking area shall be provided in a separate bicycle room located within a building, whether located at or above finished grade, with convenient access to the outside of the building.

I. Landscaping and Screening

1. General Landscaping:
- (a) All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained;
 - (b) Along the developed portions of the *lot* which abut a *highway*, a continuous *landscaping* strip a minimum of 1.5 m wide shall be provided within the *lot*; and
 - (c) *Highway* boulevards abutting a *lot* shall be seeded or sodded with grass, except at *driveways*.
2. Refuse:
Garbage containers and *passive recycling containers* shall be completely screened by a minimum of a 2.5 m high *building*, solid decorative fence, *landscaping* screen or combination thereof.

J. Special Regulations

1. Amenity Spaces:
Amenity space, subject to Section B.6. of Part 4, General Provisions, shall be provided on the *lot* as follows:
- (a) Outdoor *amenity space* in the amount of:
 - i. 3.0 sq. m per *dwelling unit*; and
 - ii. 1.0 sq. m per *lock-off suite*; and
 - iii. 4.0 sq. m per *micro unit*;
 - (b) Outdoor *amenity space* shall not be located within the required *setbacks*; and
 - (c) Indoor *amenity space* in the amount of:
 - i. 3.0 sq. m per *dwelling unit*; and
 - ii. 1.0 sq. m per *lock-off suite*; and
 - iii. 4.0 sq. m per *micro unit*.
 - (d) Indoor *amenity space* devoted to a *child care centre* shall be a maximum of 1.5 sq. m per *dwelling unit*.
2. Child Care Centres:
Child care centres shall be located on the *lot* such that these centres:
- (a) Have direct access to an *open space* and play area within the *lot*; and
 - (b) Do not exceed a total of 3.0 sq. m per *dwelling unit*.
- (c) Balconies:
Balconies are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 sq. m per *dwelling unit*, whichever is greater.

K. Subdivision

1. Minimum Lot Sizes:
Lots created through subdivision, except strata *lots*, shall conform to the following minimum standards:
- (a) *Lot Area*: Minimum 5,500 sq. m;
 - (b) *Lot Width*: Minimum 50 m; and
 - (c) *Lot Depth*: Minimum 100 m.
2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

L. Other Regulations

Additional land use regulations may apply as follows:

1. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of the Zoning Bylaw and in accordance with the servicing requirements for the RM-45 Zone and C-5 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
2. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2021, No. 20291, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-45 Zone for the residential portion and the C-5 Zone for the commercial portion.
3. Development permits, pursuant to the *OCP*.
4. Trees and vegetation, pursuant to Surrey Tree Preservation Bylaw, as amended.
5. Sign regulations, pursuant to Surrey Sign By-law, as amended.

NOTICE OF PUBLIC HEARING

Surrey City Council will hold an **electronic** Public Hearing

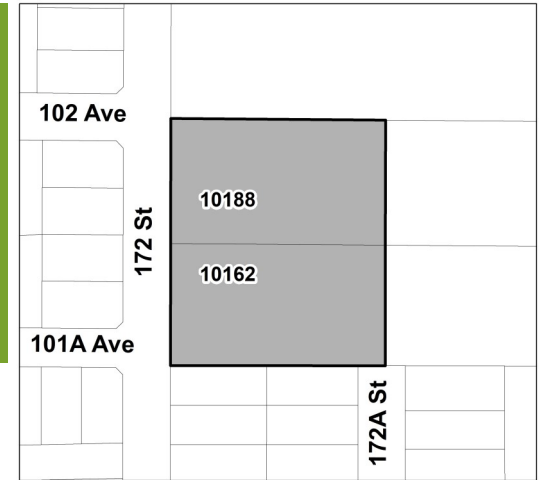
View the livestream at surrey.ca or at City Hall
13450 — 104 Avenue

MEETING DATE

MONDAY
APRIL 22, 2024

STARTING AT 7PM

PUBLIC HEARING



"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21206"

"Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21207"

Planning Report - Application No. 7921-0170-00

Location: 10162 and 10188 – 172 Street

Purpose of Bylaws and Development Variance Permit : The applicant is requesting to amend the Official Community Plan Figure 3: General Land Use Designations from Suburban to Urban for the site shown shaded in grey on the location map. The proposal also includes rezoning the same site from One-Acre Residential Zone to Single Family Residential Zone in order to subdivide into 13 residential lots.

In addition, the proposal includes a Development Variance Permit to reduce the minimum lot width from 15 metres to 14.5 metres for proposed Lots 2-4 and 10-12.

IMPORTANT – PUBLIC HEARING NOTICE – OWNER/OCCUPANT



Office of the City Clerk
13450 – 104 Avenue,
Surrey, BC V3T 1V8
Canada

QUESTIONS FOR THE PLANNER:

Email planning staff at planningdevelopment@surrey.ca if you have any questions regarding this application. For information about the application visit surrey.ca.

City Hall is open Monday to Friday 8:30am-4:30pm except statutory holidays.

COMMENTS TO COUNCIL:

Webform: surrey.ca

Email: clerks@surrey.ca

Mail: Office of the City Clerk at the address above

Fax: 604-501-7578

Written submissions will be made public on the City's website and distributed to Council. Submissions must be received by 12:00 noon on the day of the Public Hearing.

REGISTER TO SPEAK AT THE PUBLIC HEARING:

Follow the registration process at surrey.ca/city-government/councilmeetings/attending-and-participating-public-hearings.



Speakers are provided 3 minutes to make comments to Council regarding the bylaws being considered at a Public Hearing.

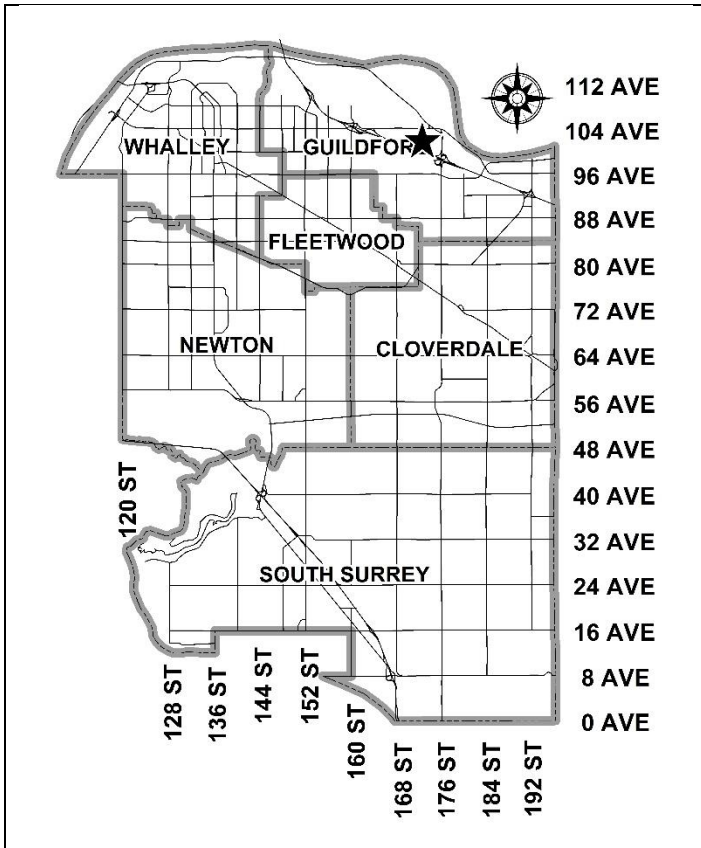
WATCH THE PUBLIC HEARING:

View the livestream at surrey.ca or at City Hall, 13450 — 104 Avenue

**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7921-0170-00

Planning Report Date: April 8, 2024



PROPOSAL:

- **OCP Amendment** from Suburban to Urban
- **Rezoning** from RA to RF
- **Development Variance Permit**

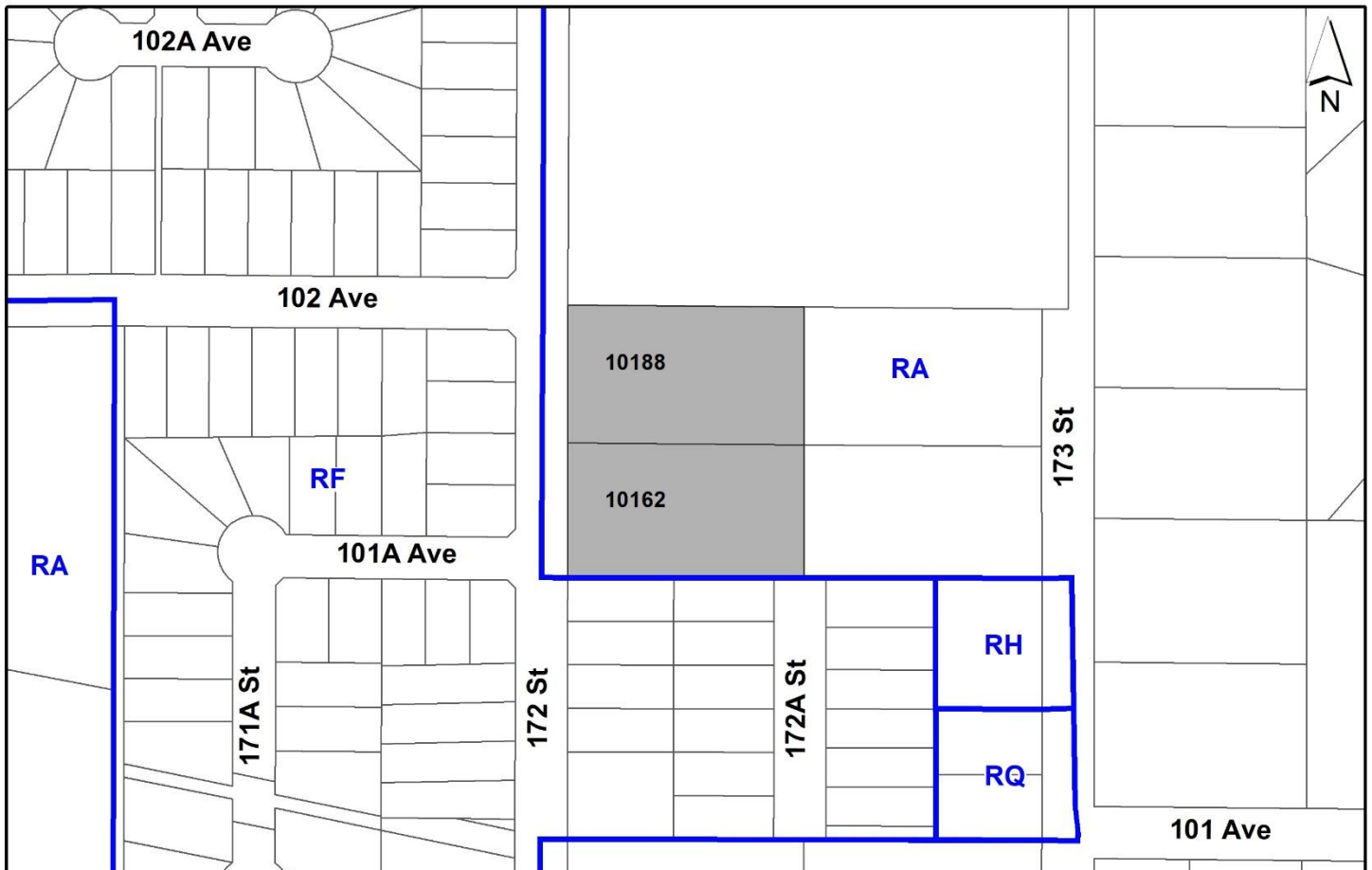
to allow subdivision into 13 residential lots.

LOCATION: 10162 and 10188 - 172 Street

ZONING: RA

OCP DESIGNATION: Suburban

LAP DESIGNATION: Single Family Residential 4-6 UPA



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) for the site from Suburban to Urban.
- Proposing a variance to reduce the minimum lot width of the RF Zone from 15 metres to 14.5 metres for 6 of the proposed 13 lots (Lots 2 to 4 and 10 to 12).

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed Urban OCP designation for the subject site is consistent with the intended land uses in the Abbey Ridge Local Area Plan (LAP). OCP Amendments necessary to facilitate the land uses and densities outlined in the Abbey Ridge LAP, which was endorsed by Council on February 6, 2017, were anticipated to be undertaken through individual development applications.
- The proposal complies with the "Single Family Residential 4-6 UPA" designation in the Abbey Ridge LAP.
- The proposed width variance for six lots is less than 4% (14.5 metres from 15 metres) and will ensure that functional floor plans, maximizing both floor area ratio (FAR) and lot coverage, while also ensuring useable rear yard space, can be achieved for future house construction on the lots. The width reduction will not impact the streetscape and all lots meet the minimum lot area requirements of the RF Zone.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP Figure 3: General Land Use Designations for the subject site from Suburban to Urban and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)" and a date be set for Public Hearing.
4. Council approve Development Variance Permit No. 7921-0170-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum lot width of the RF Zone from 15 metres to 14.5 metres for proposed Lots 2 – 4 and 10 – 12.
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) input from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (f) the applicant adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services; and
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Two single family acreages.	Single Family Residential 4-6 UPA	RA
North (across future 102 Ave):	Acreage parcel.	Single Family Residential 4-6 UPA, Suburban Residential 2-4 UPA, Future Neighbourhood Park and Tree Study Area "A"	RA
East (across future 172A Street):	Acreages with two proposed single family development applications (Development Application Nos. 7921-0243-00 and 7921-0282-00).	Single Family Residential 4-6 UPA and Suburban Residential 2-4 UPA	RA
South:	Single family dwellings and recently created single family lots.	Single Family Residential 4-6 UPA	RF
West (across 172 Street):	Single family dwellings.	Urban in OCP	RF

Context & Background

- The subject site is comprised of two lots located at 10162 and 10188 – 172 Street. The two lots have a combined area of 9,504 square metres. The site is currently zoned One-Acre Residential Zone (RA) and designated Suburban in the Official Community Plan (OCP). The properties are designated Single Family Residential 4-6 UPA (units per acre) in the Abbey Ridge Local Area Plan (LAP).

DEVELOPMENT PROPOSAL**Planning Considerations**

- The applicant proposes an OCP amendment from Suburban to Urban and a rezoning from RA to RF to allow for a 13-lot subdivision. A Development Variance Permit is required to relax the minimum lot width for 6 of the lots from 15 metres to 14.5 metres.

	Proposed
Lot Area	
Gross Site Area:	9,504m ²
Road Dedication:	1,969m ²
Undevelopable Area:	
Net Site Area:	7,535m ²

	Proposed
Number of Lots:	13
Gross Density:	13.67 lots/Ha
Net Density:	17.25 lots/Ha
Range of Lot Sizes	560 to 612 square metres
Range of Lot Widths	14.5 - 16.8 metres *
Range of Lot Depths	40.84 metres

*variance required to relax the lot width from 15 to 14.5 metres for 6 of the lots.

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 12 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

6 Elementary students at Bothwell Elementary School
4 Secondary students at Fraser Heights Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by July 2025.

Parks, Recreation & Culture: The Parks, Recreation and Culture Department has no objection to the project.

The closest active park is Bothwell Elementary School Park and is 350 metres away, and includes a natural area.

Ministry of Transportation & Infrastructure (MOTI): Preliminary approval of the rezoning is granted by MOTI for one (1) year.

Transportation Considerations

- The applicant proposes to provide access to the proposed lots via 172 Street, 102 Avenue, and a new 172A Street.

- The applicant is required to provide the following road improvements to service the subject proposal:
 - Construction of the east side of 172 Street to the City's local road standard;
 - Dedication and construction of the west side of 172A Street to the City's local road standard; and
 - Dedication and construction of the south side of 102 Avenue to the City's local road standard.
- The subject site is approximately 1.3 kilometres from the 337 bus route which has all day frequent service and connects to the Guildford Mall exchange.
- Bike routes are located along 104 Avenue, approximately 400 metres to the north and Barnston Drive, approximately 350 metres to the south.

Natural Area Considerations

- The applicant engaged a Qualified Environmental Professional (QEP) to complete a watercourse analysis for the Class C watercourse/ditch along the entire 172 Street frontage. The QEP has confirmed that the watercourse is a green-coded ditch and is proposed to be infilled. Streamside protection measures are therefore not required.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated as "General Urban" in the Metro Vancouver regional Growth Strategy (RGS). The proposal complies with this designation which is intended for residential neighbourhoods and centres.

Official Community Plan

Land Use Designation

- The proposal does not comply with the current Suburban designation of the subject site in the Official Community Plan; therefore, the applicant is seeking an OCP Amendment to redesignate a portion of the subject site from Suburban to Urban.

Amendment Rationale

- The proposed Urban OCP designation is consistent with the proposed land use in the Abbey Ridge LAP.
- The proposed development is supported by the following policies of the Official Community Plan:
 - Growth Management

- Growth Priorities: Comprehensively-planned new neighbourhoods within approved Secondary Plan areas.
- Centres, Corridors and Neighbourhoods:
 - Healthy Neighbourhood: Design housing units to front directly onto public streets in order to facilitate a safe, welcoming, public streetscape and public realm.
 - Healthy Neighbourhood: Protect and retain significant trees, forest stands and other natural features within new and existing neighbourhoods.
 - Urban Design: Ensure a new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.
- Ecosystems
 - Energy, Emissions and Climate Resiliency: Design a community that is energy-efficient, reduces carbon emissions and adapts to a changing environment through a design that meets typical sustainable development criteria.
- As described in Corporate Report No. R243; 2015, it is anticipated that individual OCP Amendment applications will be brought forward, where applicable, with the companion rezoning applications, in the Abbey Ridge LAP area.

Public Notification for Proposed OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Secondary Plans

Land Use Designation

- The proposal complies with the "Single Family Residential 4-6 UPA" designation in the Abbey Ridge Local Area Plan, which is intended to support larger residential lots.
- The proposal density is 13.67 lots/hectare (5.5 UPA) which complies with the designation.

Zoning By-law

- The applicant proposes to rezone the subject site from "One-Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Single Family Residential Zone (RF)", and parking requirements.

RF Zone (Part 16)	Permitted and/or Required	Proposed
Unit Density:	14.8 dwelling units per hectare	13.67 lots/ha gross
Yards and Setbacks		
Front Yard:	7.5 m.	7.5 m.
Side Yard:	1.8 m.	1.8 m.
Side Yard Flanking:	3.6 m.	3.6 m.
Rear:	7.5 m.	7.5 m.
Lot Size		
Lot Size:	560 square metres	560 square metres
Lot Width:	15 metres	14.5 metres*
Lot Depth:	28 metres	34.31 metres
Parking (Part 5)		
Number of Spaces	Required	Proposed
	3 per lot	4 per lot - confirm

*variance requested for Lots 2 – 4 and 10 – 12

Lot Width Variance

- The applicant is requesting the following variances:
 - to reduce the minimum lot width of the RF Zone from 15 metres to 14.5 metres for proposed Lots 2 – 4 and 10 – 12.
- The proposed variances will permit the construction of an appropriately sized dwelling on each of the proposed lots under the RF Zone.
- All lots requiring the variance are internal to the subdivision and will have minimal impact on neighbouring lots.
- All of the proposed lots are larger than the minimum 560 square metre requirements of the RF Zone.
- Staff support the requested variances to proceed for consideration.

Lot Grading and Building Scheme

- The applicant retained Tejeshwar Singh of Simplex Consultants Ltd. as the Design Consultant. The Design Consultant conducted a character study of the surrounding homes and based on the findings of the study, proposed a set of building design guidelines (Appendix VII).
- Styles recommended for this site include craftsman style.
- A preliminary lot grading plan, submitted by CitiWest Consulting Ltd., and dated May 2023, has been reviewed by staff and found to be generally acceptable. The applicant does propose in-ground basements. The feasibility of in-ground basements will be confirmed once the City's Engineering Department has reviewed and accepted the applicant's final engineering drawings.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,136 per lot.
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the densities in the Secondary Plan designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The applicant will be required to contribute \$1,068 per new lot to support the development of new affordable housing.

PUBLIC ENGAGEMENT (No comments received yet)

- Pre-notification letters were sent on August 4, 2023, and the Development Proposal Signs were installed on August 25, 2023. Staff received no responses from neighbours.
- The subject development application was sent to the Fraser Heights Community Association and no comments were received.

TREES

- Adrian Szabunio, ISA Certified Arborist of Woodridge Tree Consulting Arborists Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	14	14	0
Cottonwood	0	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	1	0	1
Dogwood	1	0	1
Bigleaf Maple	5	0	5
Apple	1	0	1
Japanese Maple	1	0	1
Coniferous Trees			
Douglas Fir	3	0	3
Western Red Cedar	2	0	2
Total (excluding Alder and Cottonwood Trees)	14	0	14
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		45	
Total Retained and Replacement Trees		45	
Contribution to the Green City Program		N/A	

- The Arborist Assessment states that there are a total of 14 mature trees on the site, excluding Alder and Cottonwood trees. Fourteen (14) existing trees, approximately 50% of the total trees on the site, are Alder trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 42 replacement trees on the site. The applicant is proposing 45 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 172 Street and 172A Street as well as 102 Avenue. This will be determined by the Engineering Department during the servicing design review process.
- In summary, a total of 45 trees are proposed to be replaced on the site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Proposed Subdivision Layout,
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey and Tree Preservation
- Appendix V. OCP Redesignation Map
- Appendix VI. Development Variance Permit No. 7921-0170-00
- Appendix VII. Summary of Building Scheme

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

JKS/ar

TO: **Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **August 31, 2023** PROJECT FILE: **7821-0170-00**

RE: **Engineering Requirements
Location: 10188 172 St**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 11.5m for 102 Avenue.
- Dedicate 11.5 m along 172A Street OR dedicate 10.0 m with 1.5 m offsite SRW.
- Dedicate 3.0m x 3.0m corner cuts at the two intersections.
- Register 0.5m SRW along development frontages.

Works and Services

- Construct east half of 172 Street.
- Construct south half of 102 Avenue.
- Construct west half of 172A Avenue.
- Extend water, storm and sanitary mains along entire development frontages.
- Register RC for onsite storm water mitigation features.
- Provide concrete driveway access to each lot.



Jeff Pang, P.Eng.
Development Services Manager
RH

Department: **Planning and Demographics**
Date: **July 25, 2023**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **21 0170 00**

The proposed development of **13** Single Family with Suite units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	12
---	-----------

Projected Number of Students From This Development In:	
Elementary School =	6
Secondary School =	4
Total Students =	10

Current Enrolment and Capacities:	
Bothwell Elementary	
Enrolment	276
Operating Capacity	294
# of Portables	1
Fraser Heights Secondary	
Enrolment	1535
Operating Capacity	1200
# of Portables	8

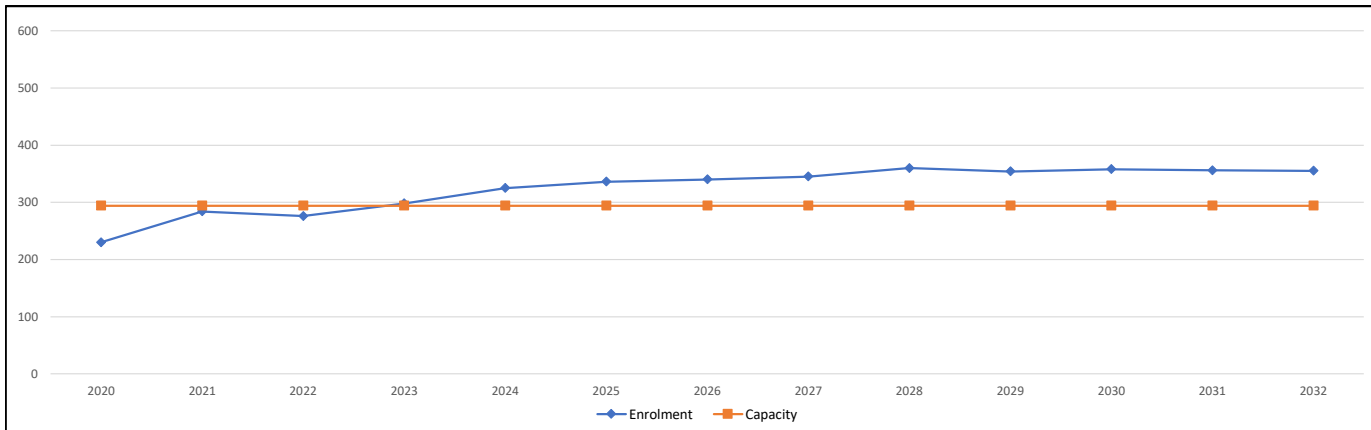
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

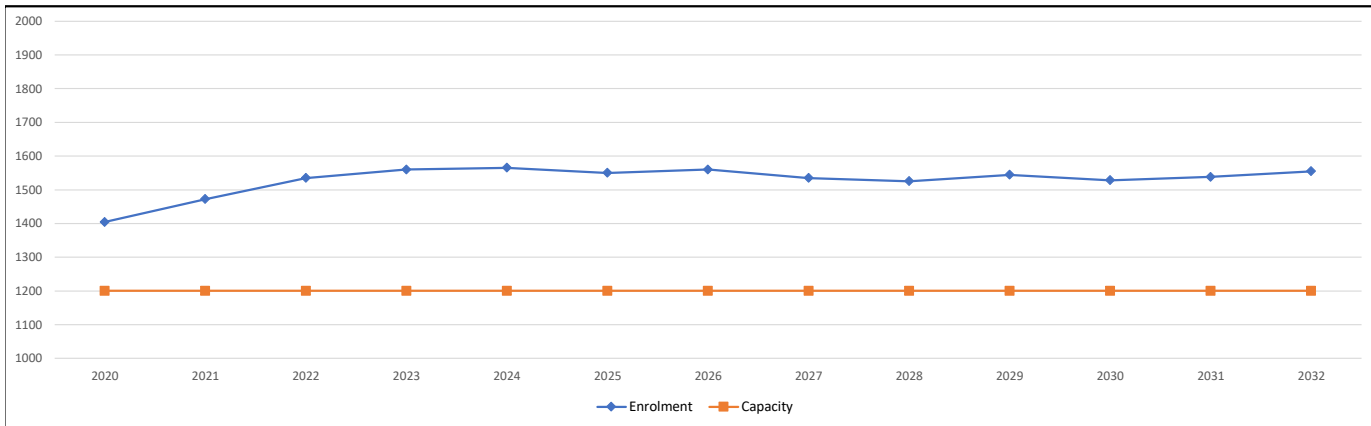
Bothwell Elementary 10 year enrolment projections show a growth trend that can be attributed to the increased density being considered along the bluff to the east of Highway 17 (South Fraser Perimeter Road). With Highway 17 dissecting the Bothwell catchment, as part of the District's 2024/2025 Capital Plan submission to the Ministry, the District is requesting to purchase a new site in the new Abbey Ridge area in the next 3-5 years: followed by, building a new elementary school after 2030. There has been no Ministry funding approval for these project. Until then, enrolment growth at Bothwell elementary will be accommodated by portables.

Fraser Heights Secondary is the only secondary school that serve the communities located on the north side of Highway 1. The school is currently operating at 128% capacity. The school's 10 year projections show enrolment to continue at this level and potentially grow as the Bothwell and Abbey Ridge communities start to build. As a result, the District has requested as part of their 2024/2025 Capital Plan submission to the Ministry a 500 capacity addition for the school, targeted to open in 2029. There has been no Ministry funding approval for this project.

Bothwell Elementary



Fraser Heights Secondary



Population : The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

Appendix IV

Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	14, excluding 5 dead	14 & 5 dead	0
Cottonwood	0	-	-
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry Tree	1	1	0
Satomi Dogwood	1	1	0
Bigleaf Maple	5	5	0
Apple Tree	1	1	0
Japanese Maple	1	1	0
Coniferous Trees			
Douglas Fir	3	3	0
Western Red Cedar	2	2	0
Total (excluding Alder and Cottonwood Trees)		14	0
Additional [Estimated] Trees in the proposed [Open Space / Riparian Area] -planner/arborist to choose]		-	-
Total Replacement Trees Proposed (excluding Boulevard Street Trees)	45		
Total Retained and Replacement Trees	45		
Contribution to the Green City Program	-		

Tree Preservation Summary

Surrey Project No:

Address: 10162 & 10188 172 Street, Surrey

Registered Arborist: Woodridge Tree Consulting Arborists Ltd., Adrian Szabunio PR 5079A

On-Site Trees	Number of Trees	Off-Site Trees	Number of Trees
Protected Trees Identified *	28, excluding 5 dead	Protected Trees Identified	59
Protected Trees to be Removed	28, excluding 5 dead	Protected Trees to be Removed	19
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0	Protected Trees to be Retained	40
Total Replacement Trees Required:		Total Replacement Trees Required:	
<ul style="list-style-type: none"> - Alder & Cottonwoods to be removed (1:1) 14 X one (1) = 14 - All other species to be removed (2:1) 14 X two (2) = 28 	42	<ul style="list-style-type: none"> - Alder & Cottonwoods to be removed (1:1) 0 X one (1) = 0 - All other species to be removed (2:1) 19 X two (2) = 38 	38
Replacement Trees Proposed	45	Replacement Trees Proposed	0
Replacement Trees in Deficit	0	Replacement Trees in Deficit	38
Protected Trees to be Retained in Proposed Open Space or Riparian Areas	0		
*on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas			

Summary, report and plan prepared and submitted by:

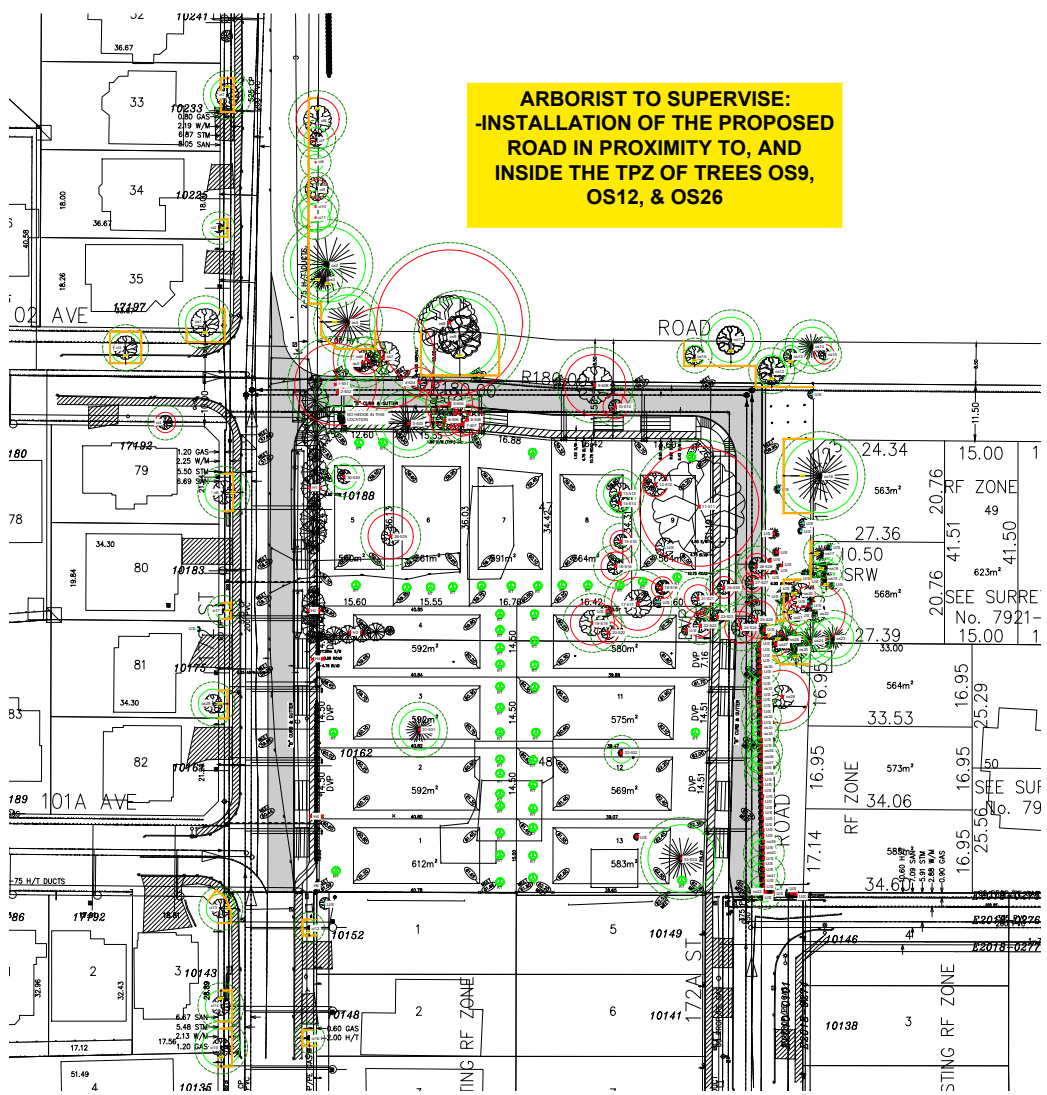


(Signature of Arborist)

May 31, 2023

Date

**ARBORIST TO SUPERVISE:
-INSTALLATION OF THE PROPOSED
ROAD IN PROXIMITY TO, AND
INSIDE THE TPZ OF TREES OS9,
OS12, & OS26**



Replacement Trees

The Protection System 2006, No. 1010
Replacement trees to be planted at a minimum of 10% of the existing canopy. The number of replacement trees required is determined as follows:
 • 100% replacement for trees with a DBH of 100mm or greater.
 • 50% replacement for trees with a DBH of 75mm or greater.
 • 25% replacement for trees with a DBH of 50mm or greater.
 All other replacement trees must be replaced by trees of the same or greater size.

TYPE AND SIZE OF REPLACEMENT TREE
Replacement trees must be:
 • Native to the region.
 • Suitable for the site conditions.
 • Suitable for the proposed use of the site.
 • Suitable for the proposed use of the site.
 • Suitable for the proposed use of the site.

LOCATION OF REPLACEMENT TREES:
 • To be planted in the same or similar location as the original tree.
 • To be planted in the same or similar location as the original tree.
 • To be planted in the same or similar location as the original tree.

SECURITY MEASURES:
 • To be installed to protect the trees from damage.
 • To be installed to protect the trees from damage.
 • To be installed to protect the trees from damage.

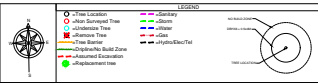
TREE SELECTION GUIDELINES:
 1. Select trees that are:
 • Native to the region.
 • Suitable for the site conditions.
 • Suitable for the proposed use of the site.
 • Suitable for the proposed use of the site.

TREE PLANTING GUIDELINES:
 • To be planted in the same or similar location as the original tree.
 • To be planted in the same or similar location as the original tree.
 • To be planted in the same or similar location as the original tree.

Recommended Replacement Trees

TREES LESS THAN 10 METERS TALL	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100

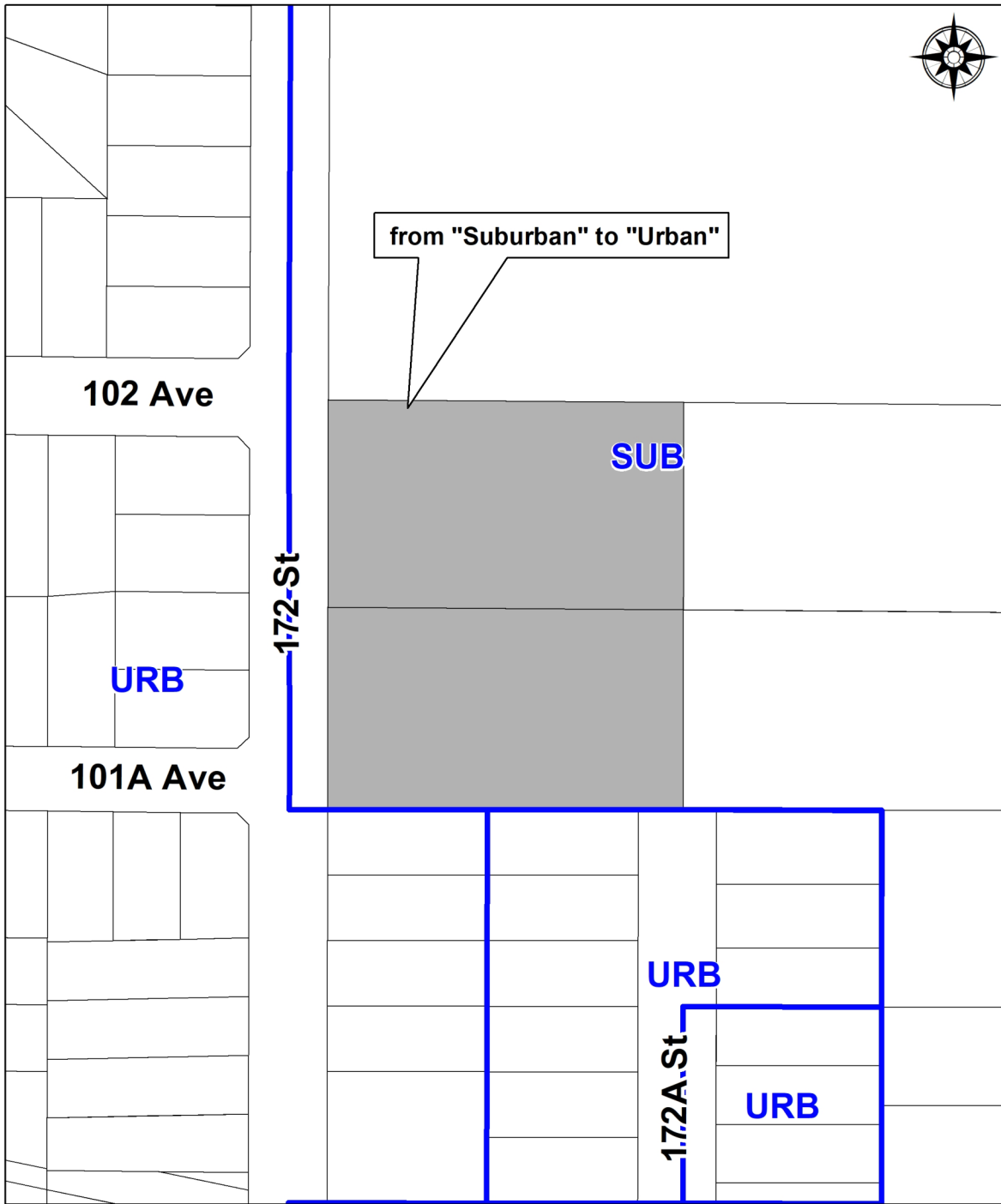
Notes:
 - NON SURVEYED TREE LOCATIONS ARE APPROXIMATE
 - RED TPZ INDICATES POOR RETENTION SUITABILITY. ALL OTHERS ARE GOOD OR MODERATE
 - US TAG DENOTES UNDERSIZE, LESS THAN 30CM DBH. TREE
 - ALL TREE TPZ DISTANCES ARE IN METERS



NOTES:
 - NON SURVEYED TREE LOCATIONS ARE APPROXIMATE
 - RED TPZ INDICATES POOR RETENTION SUITABILITY. ALL OTHERS ARE GOOD OR MODERATE
 - US TAG DENOTES UNDERSIZE, LESS THAN 30CM DBH. TREE
 - ALL TREE TPZ DISTANCES ARE IN METERS

TREE PLAN FOR CONSTRUCTION AT
 10162 & 10171 172 Street,
 Surrey
 DATE: 04.10.2023
 DRAWN BY: AS

WOODRIDGE TREE CONSULTANTS LTD



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0170-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-257-239
 Lot 47 Section 6 Township 9 New Westminster District Plan 54648
 10188 172 Street

Parcel Identifier: 005-257-255
 Lot 48 Section 6 Township 9 New Westminster District Plan 54648
 10162 172 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) Section K.2(b) of Part 16, Single Family Residential Zone (RF) to reduce the minimum lot width of the RF Zone from 15 metres to 14.5 metres for proposed Lots 2 – 4 and 10 – 12.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

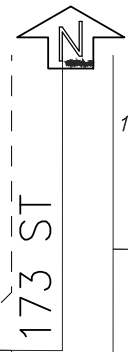
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

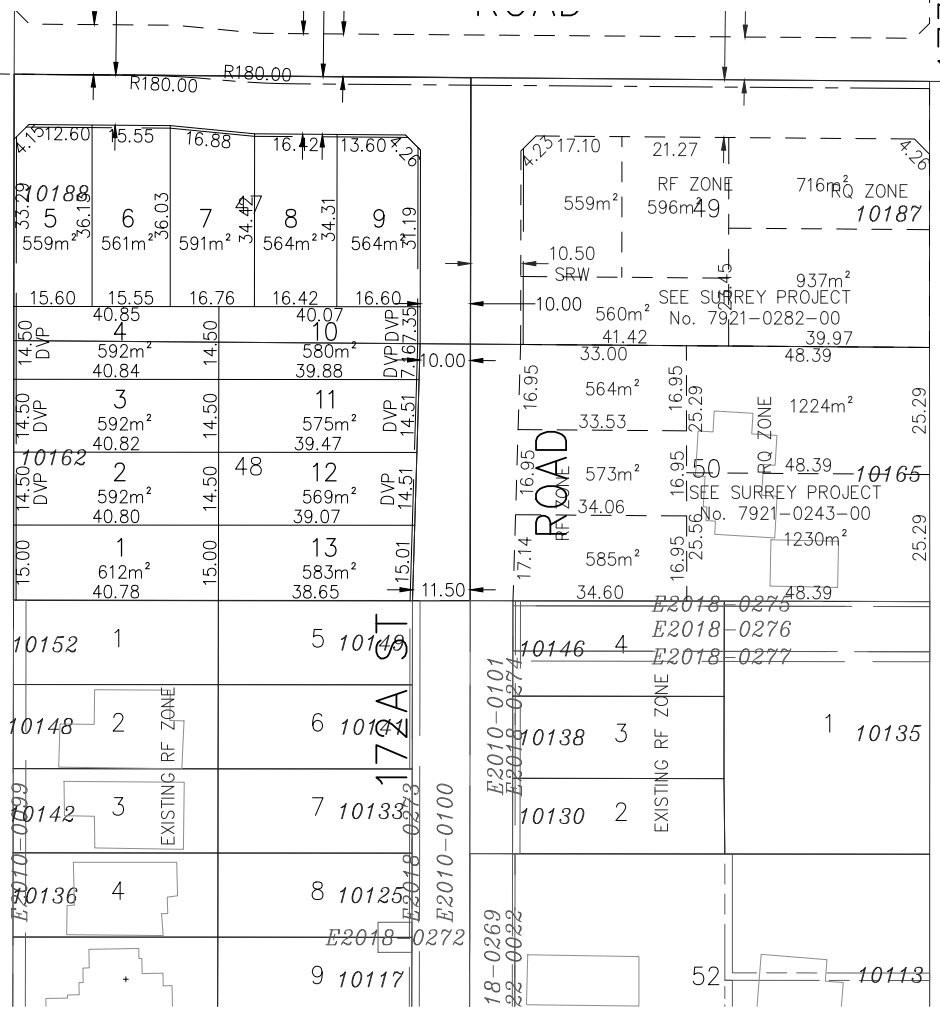
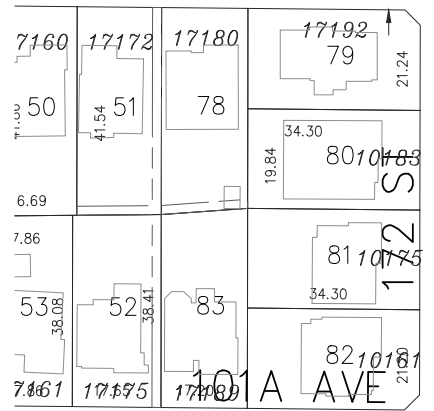
BENCHMARK & CONTROL
 ALL ELEV. ARE GEODETIC AND REFER TO MON. NO.
 ELEV.
 LEGAL DESCRIPTION OF PROPERTY
 LOTS 47 & 48, SEC 6, TWP 9, NWD, PLAN 54648



Schedule A

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

(a) Section K.2(b) of Part 16, Single Family Residential Zone (RF) to reduce the minimum lot width of the RF Zone from 15 metres to 14.5 metres for proposed Lots 2 - 4 and 10 -



11
11
11
11

- NOTES:**
- ALL DIMENSIONS ARE APPROXIMATE ONLY BASED ON MASTER PLANS.
 - LAYOUT IS PRELIMINARY AND SUBJECT TO APPROVALS AND SURVEYS.
 - EXISTING HOUSES TO BE REMOVED.
 - DEVELOPMENT VARIANCE PERMIT REQUIRED ON LOTS 2, 3, 4, 10, 11 AND 12 FOR LOT WIDTH FROM 15.0m TO 14.5m.
 - DENSITY CALCULATION:
 PROPOSED = 13 LOTS = 13.678 LOTS/ha
 0.9504 ha
 PERMITTED = 14.0 LOTS/ha

CitiWest Consulting Ltd.
 No.101-9030 KING GEORGE BLVD., SURREY, BC. V3V 7Y3
 TELEPHONE 604-591-2213 FAX 604-591-5518
 E-MAIL: office@citiwest.com
 EGBC Permit to Practice #1001824



1334718 BC LTD.
 9028 ROBERTSON DRIVE, SURREY, BC V3V 6E5 PH: 604-657-7270

PRELIMINARY LOT LAYOUT

SUBDIVISION AT 10162/10188 - 172 STREET, SURREY, BC

Scale: 1:1000	Mun. Proj No. 7921-0170-00	Dwg. No.
Drawn: TWD	Mun. Dwg. No.	A
Designed: RJ	Job No. 22-4748	Of
P.L.	Date JAN /23	Revision
Approved:		destroy all prints bearing previous number

No.	Date	Revision	Dr.	Ch.

This drawing and design is the property of CITIWEST CONSULTING LTD. and cannot be used, reused or reprinted without the written consent of said company.

BUILDING GUIDELINES SUMMARY

Surrey Project #: 7921-0170-00
Project Location: 10162 & 10188 172 Street, Surrey, BC
Design Consultant: Simplex Consultants Ltd., (Tejeshwar Singh, b.t.arch, ASCT, CRD, at.aibc)

This building scheme draft is proposed for the above noted project and has been filed with the City Clerk. Below is the Residential Character Study and the Design Guidelines summary which highlights the important features and forms the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

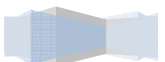
The area surrounding the subject property consists of a majority of modest homes that are approximately 5 years old; along with some homes that are approximately 15 years old. The style of homes in the area are more traditional and craftsman.

Homes in the neighborhood include the following:

The homes surrounding the property which are approximately 5 years old are traditional style of homes with mid-scale massing characteristics. All the homes range from 5000sf up to 6000sf homes. These homes have various roof pitches from 6:12 up to 16:12 slope roofs with one to two street facing feature projections. Roof surfaces are either "shake profile" concrete tiles or cedar shingles and the cladding is primarily hardi, vinyl or stucco with stone or brick.

1.2 Features of the Existing and Surrounding Dwelling Homes Significant to the Proposed Building Scheme:

- 1) Context styles of homes for the proposed building scheme are traditional craftsman.
- 2) All context homes are 2 or 3 storey homes.
- 3) Front entrances are 1.5 storey in height.
- 4) Massing: Old homes are mostly west coast modern context.
- 5) Exterior cladding: variation of wall cladding materials allows for a wide range of selection for cladding.
- 6) Roof surface: variation of roofing materials allows for a wide range of selection for roofing.



7) Roof pitch is a minimum 8:12 for the newer context homes.

Dwelling Types/Locations: 2 or 3 storey split levels.

Exterior Treatment /Materials: Context homes are clad in hardi siding or vinyl siding, and have a stone or brick accent veneer.

Roof Pitch and Materials: A variety of roofing products have been used, and a variety could be permitted.

Window/Door Details: Rectangle or arched.

Streetscape: The neighborhood is fairly new with a similar character within each dwelling. Homes include craftsman style 2 and 3 storey homes that meet modern massing design, modern trim and detailing standards, and modern roofing and construction materials standards. Landscapes range from "modest old urban" to "moderate modern urban".

2. Proposed Design Guidelines

2.1 Proposed Design Solutions:

Dwelling Types/Location: 2 storey or 3 storey split levels.

Interfacing Treatment with existing dwellings Strong relationship with neighboring "context homes" including new homes will be of a similar home type and size. Similar massing characteristics, roof types, roof pitches, roofing materials, and siding materials.

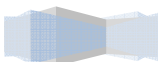
Restrictions on Dwellings No basement entry homes.

Exterior Materials: Stucco, Hardiplank, Vinyl, Brick, and Stone.

Colours: "Natural" colours such as browns, greens, clays, and other earth-tones, and "Neutral" colors such as grey, white, and cream are permitted. "Primary" colors in subdued tones such as navy blue, or forest green can be considered as approved by the consultant. Colours such as pink, rose, peach, salmon are not permitted.

Roof Pitch: Minimum roof pitch must be 4:12 and maximum of 16:12.

Roof Materials: Shake profile concrete roof tiles, or shake profile asphalt



shingles, or a shake profile metal roof with a raised ridge caps are permitted in Grey, Brown, or Black.

In-ground basements: Permitted subject to determination that service invert locations are sufficiently below grade. Basements will appear underground from the front with maximum height of 9'0".

Landscaping: Landscaping: Moderate modern urban standard: Tree planting as specified on Tree Replacement Plan plus minimum 40 shrubs of a minimum 3 gallon pot size. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, stamped concrete, or "broom" or "brush-finished" concrete.

Tree Planting Deposit: **\$1,000** (to developer)
- 50% will be refunded after inspection by developer
- Remaining 50% one year after completion of construction

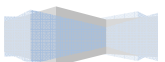
Compliance Deposit: **\$5,000** (to developer)

Summary prepared and submitted by: Simplex Consultants Ltd.

Date: November 29, 2021

Reviewed and Approved by: Tejeshwar Singh, b.t.arch, ASCT, CRD, at.aibc

Date: November 29, 2021



CITY OF SURREY

BYLAW NO. 21206

A bylaw to amend the provisions of Surrey Official
Community Plan Bylaw, 2013, No. 18020, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Official Community Plan Bylaw, 2013, No. 18020, as amended, is hereby further amended by modifying "Figure 3, General Land Use Designations" of the Land Uses and Densities Section by changing the land use designation for the area shown shaded on the plan labeled Schedule A, attached hereto as follows:

FROM: SUBURBAN (SUB)
TO: URBAN (URB)

Parcel Identifier: 005-257-255
Lot 48 Section 6 Township 9 New Westminster District Plan 54648
(10162 – 172 Street)

Parcel Identifier: 005-257-239
Lot 47 Section 6 Township 9 New Westminster District Plan 54648
(10188 – 172 Street)

2. This Bylaw shall be cited for all purposes as "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21206".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PUBLIC HEARING HELD thereon on the th day of , 20 .

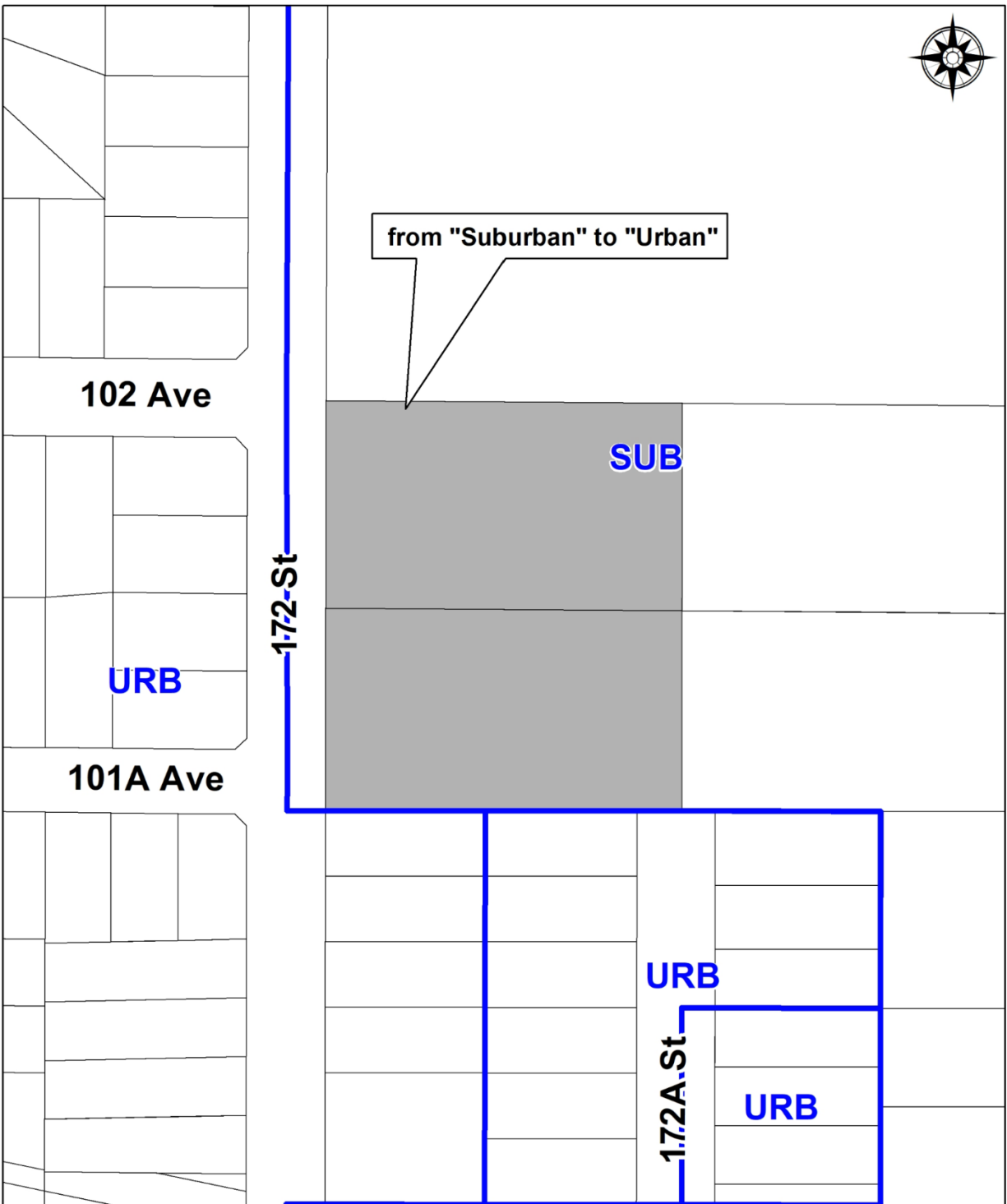
PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

SCHEDULE A



OCP Amendment 21-0170-00
from "Suburban" to "Urban"



CITY OF SURREY

BYLAW NO. 21207

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)
TO: SINGLE FAMILY RESIDENTIAL ZONE (RF)

PID: 005-257-255
Lot 48 Section 6 Township 9 New Westminster District Plan 54648
(10162 – 172 Street)

PID: 005-257-239
Lot 47 Section 6 Township 9 New Westminster District Plan 54648
(10188 – 172 Street)

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21207".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PUBLIC HEARING HELD thereon on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE
on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the
Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

NOTICE OF PUBLIC HEARING

Surrey City Council will hold an **electronic** Public Hearing

View the livestream at surrey.ca or at City Hall
13450 — 104 Avenue

MEETING DATE

MONDAY
APRIL 22, 2024

STARTING AT 7PM

PUBLIC HEARING



"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21203"

"Surrey Comprehensive Development Zone 198 (CD 198), Bylaw, 2024, No. 21204"

Planning Report—Application No. 7923-0134-00

Location: 16453 - 18 Avenue

Purpose of Bylaws: The applicant is requesting to amend the Official Community Plan (OCP) Figure 3: General Land Use Designations from Mixed Employment to Multiple Residential for a portion of the site shown hatched on the location map and amend OCP Figure 42: Major Employment Areas by removing the Mixed Employment designation for the same portion of the site and to amend OCP Table 7A: Land Use Designation Exceptions to allow a FAR of 2.5 on the subject site within the Multiple Residential land use designation. The proposal also includes rezoning the entire site shown shaded in grey on the location map from One-Acre Residential Zone to Comprehensive Development Zone in order to develop a 6 storey mixed-use building.

IMPORTANT – PUBLIC HEARING NOTICE – OWNER/OCCUPANT



Office of the City Clerk
13450 – 104 Avenue,
Surrey, BC V3T 1V8
Canada

QUESTIONS FOR THE PLANNER:

Email planning staff at planningdevelopment@surrey.ca if you have any questions regarding this application. For information about the application visit surrey.ca.

City Hall is open Monday to Friday 8:30am-4:30pm except statutory holidays.

COMMENTS TO COUNCIL:

Webform: surrey.ca

Email: clerks@surrey.ca

Mail: Office of the City Clerk at the address above

Fax: 604-501-7578

Written submissions will be made public on the City's website and distributed to Council. Submissions must be received by 12:00 noon on the day of the Public Hearing.

REGISTER TO SPEAK AT THE PUBLIC HEARING:

Follow the registration process at surrey.ca/city-government/councilmeetings/attending-and-participating-public-hearings.



Speakers are provided 3 minutes to make comments to Council regarding the bylaws being considered at a Public Hearing.

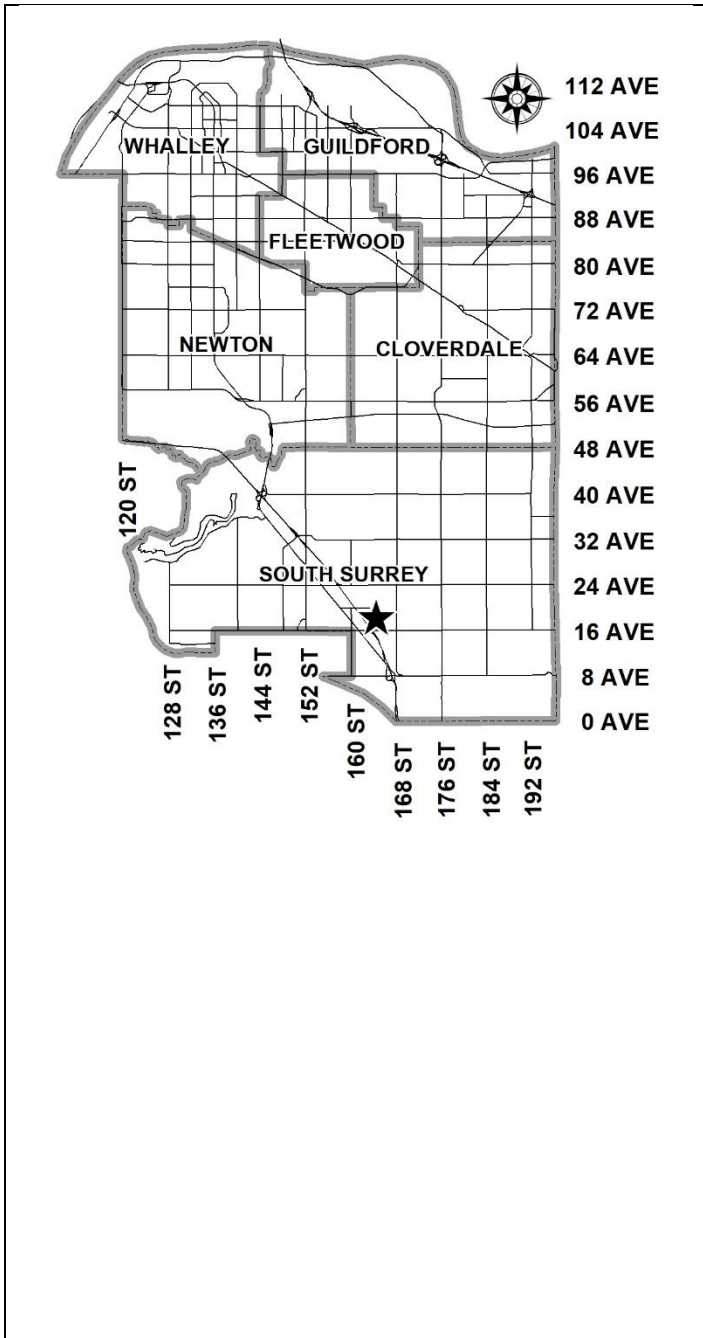
WATCH THE PUBLIC HEARING:

View the livestream at surrey.ca or at City Hall, 13450 —104 Avenue

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0134-00

Planning Report Date: April 8, 2024



PROPOSAL:

- **OCP Amendment** for a portion of the site from Mixed Employment to Multiple Residential
- **OCP Amendment** to allow an FAR of 2.5 for the site within the Multiple Residential land use designation
- **OCP Amendment** to amend Figure 42: Major Employment Areas by removing the Mixed Employment designation for the subject site
- **NCP Amendment** to introduce a new land use designation: Mixed Use 4-6 Storeys
- **NCP Amendment** from Multiple Residential 30-45 upa, 20m Drainage Corridor and Road to Mixed Use 4-6 Storeys and 10m Drainage Corridor, and to remove the land consolidation requirement
- **LAP Amendment** from Buffers to Mixed Commercial Residential
- **Rezoning** from RA to CD (based on RM-70)
- **Housing Agreement**
- **Development Permit**

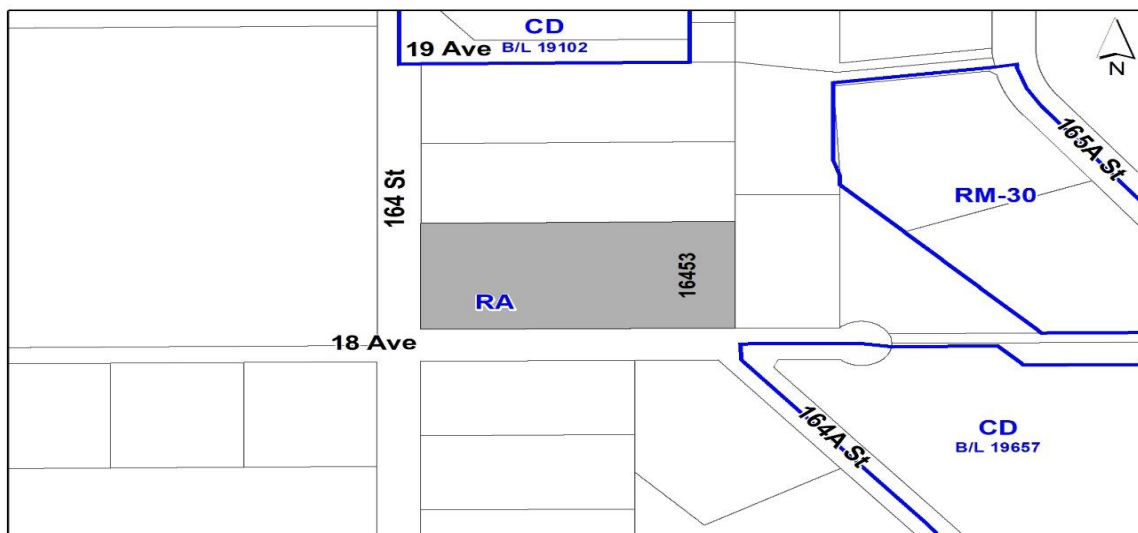
to permit the development of a 6 storey mixed-use building

LOCATION: 16453 18 Avenue

ZONING: RA

OCP DESIGNATION: Multiple Residential & Mixed Employment

NCP/LAP DESIGNATIONS: Multiple Residential 30-45 upa, Drainage Corridors, Road and Buffers



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Hazard Lands, Sensitive Ecosystems, and Form and Character.
- By-law Introduction, First, Second and Third Reading for a Housing Agreement.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing an amendment to the Official Community Plan (OCP) to allow an FAR of 2.5 on the subject site within the Multiple Residential land use designation.
- The applicant is proposing a amendment to the OCP to redesignate the portion of the site that is designated “Mixed Employment” to “Multiple Residential (Appendix VIII).
- The applicant is proposing an Neighbourhood Concept Plan (NCP) amendment to introduce a new land use designations: “Mixed Use Residential 4-6 Storeys”, and to amend the land use designation on the site from "Multiple Residential 30-45 upa" to "Mixed Use Residential 4-6 Storeys", for changes to the local road network and to reduce the drainage corridor width from 20 metres to 10 metres, and to eliminate the land consolidation requirement.

RATIONALE OF RECOMMENDATION

- The proposal meets the intent of the Multiple Residential designation in the Official Community Plan (OCP), but with increased floor area permitted should the amendment be supported.
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Green Infrastructure Areas).
- The proposal generally complies with the Development Permit requirements in the OCP for Hazard Lands (Steep Slopes).
- The proposal partially complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

- Over the past 14 years since the Sunnyside Heights NCP was approved, the development trend and market affordability has moved away from a lower unit density / larger unit size apartment housing product toward a denser and smaller unit type of multi-family development. The proposed 6-storey mixed-use building is consistent with the intent of the NCP designation, but an amendment is required to permit a higher unit density than 45 units per acre. The proposed new designation, “Mixed Use 4-6 Storeys” is more appropriate than increasing the permitted unit density under the current designation as it allows more flexibility in achieving the desired housing form of a low-rise apartment building.
- The proposed 65 market rental apartment units will enhance the housing variety in the community and will help achieve the policies and objectives identified in the OCP and the Affordable Housing Strategy.
- 59% of the site is encumbered by a BC Hydro right-of-way (ROW) and is considered “undevelopable” under the Zoning By-law. If this area were to be included for calculating floor area ratio (FAR), the proposed FAR would be 0.83.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP Figure 3: General Land Use Designations for a portion of the subject site from Mixed Employment to Multiple Residential and a date for Public Hearing be set.
2. A Bylaw be introduced to amend the OCP, 'Table 7a: Land Use Designation Exceptions' to allow an FAR of 2.5 on the subject site within the Multiple Residential land use designation and a date for Public Hearing be set.

"Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
Bylaw #	Multiple Residential	16453 18 Avenue 006-532-128 Lot 36 Section 13 Township 1 New Westminster District Plan 42726	Density permitted up to 2.5 FAR (net calculation)

3. A By-law be introduced to amend OCP Figure 42: Major Employment Areas by removing the Mixed Employment designation for the subject site and a date for Public Hearing be set.
4. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
5. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
6. A By-law be introduced to enter into a Housing Agreement and be given First, Second and Third Reading, to allow the property owner and the City of Surrey to enter into a Housing Agreement to secure the rental apartment units for a period of 60 years.
7. Council authorize staff to draft Development Permit No. 7923-0134-00 generally in accordance with the attached drawings (Appendix I) and the finalized Ecosystem Development Plan and geotechnical report.
8. Council instruct staff to resolve the following issues prior to final adoption:

- (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
- (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
- (c) approval from the Ministry of Transportation & Infrastructure;
- (d) approval from BC Hydro;
- (e) approval from Fisheries and Oceans Canada;
- (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
- (g) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
- (h) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
- (i) submission of a finalized Ecosystem Development Plan to the satisfaction of City staff;
- (j) submission of a finalized Geotechnical Report to the satisfaction of City staff;
- (k) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
- (l) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
- (m) registration of a Section 219 Restrictive Covenant to ensure that the site is developed according to the recommendations contained in the finalized geotechnical report;
- (n) registration of an access easement to provide fire access to the property at 16485 18 Avenue;
- (o) registration of an access easement to provide access to the property at 1852 164 Street;
- (p) the applicant provide proportionate compensation for civil works and parks related costs, including for road, drainage corridor and Grandview Ridge Trail related land and construction costs, to the satisfaction of the Planning & Development, Engineering and Parks, Recreation and Culture Departments;
- (q) registration of a Section 219 Restrictive Covenant to ensure that, if the rental use is discontinued in the future, the City's needs with respect to Community Amenity Contributions (CAC), including Affordable Housing, Capital Projects and Tier 2

Capital Plan Project CACs, will be adequately met, to the satisfaction of the General Manager, Planning & Development Department;

- (r) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
 - (s) Submission and acceptance of a Drainage Technical Memo to address how the drainage objectives of the NCP will be achieved.
9. Council pass a resolution to amend the Sunnyside Heights Neighbourhood Concept Plan (NCP) to introduce a new land use designation: Mixed Use 4-6 Storeys, and to redesignate the land from Multiple Residential 30-45 upa, Road and 20m Drainage Corridor to Mixed Use 4-6 Storeys and 10m Drainage Corridor, and to eliminate the land consolidation requirement, when the project is considered for final adoption.
 10. Council pass a resolution to amend the Highway 99 Corridor Local Area Plan (LAP) to redesignate the land from Buffers to Mixed Commercial Residential when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Single Family	Multiple Residential 30-45 upa, Drainage Corridor and Road in the Sunnyside Heights NCP and Buffers in the Highway 99 Corridor Plan	RA
North:	Single Family	Multiple Residential 30-45 upa, Drainage Corridor and Road in the Sunnyside Heights NCP and Buffers in the Highway 99 Corridor Plan	RA

Direction	Existing Use	NCP Designation	Existing Zone
East:	Existing single family, at Third Reading under Development Application No. 7920-0110-00, for the development of an 86-unit 4-storey apartment building	Multiple Residential 30-45 upa, Drainage Corridor and Grandview Ridge Trail	RA
South (Across 18 Avenue):	Single Family and Park	Buffers and Business Park	RA
West (Across 164 Street):	Vacant land under Development Application No. 22-0326, for the development of a retail warehouse building	Business Park / Light Industrial	RA

Context & Background

- The subject site is 0.97 hectare in size and consists of one (1) single family acreage lot. It is designated “Multiple Residential” in the Official Community Plan (OCP), and “Multiple Residential (30-45 upa)”, “Drainage Corridor”, and “Road” in the Sunnyside Heights Neighbourhood Concept Plan (NCP).
- The western portion of the site is located in the Highway 99 Corridor Local Area Plan (LAP). The portion within the LAP is encumbered by the BC Hydro ROW and is proposed to be used for surface parking. It is designated “Buffers” in the LAP, and an LAP amendment is required to amend the portion of the site within the LAP to Mixed Commercial Residential.
- The “Multiple Residential (30-45 upa)” land use designation in the NCP allows for a range of housing types, from townhouses to apartment style buildings in a variety of designs. Low-rise apartment buildings were envisioned in the NCP on the western side of the plan area, adjacent to the Commercial and Business Park uses in the Highway 99 Corridor Plan.
- The NCP identified a number of land consolidation areas in order to avoid creating remnant parcels that could not develop efficiently on their own (Appendix VII). The subject site is identified in a land consolidation area, which includes five (5) other adjacent parcels, including:
 - 16515 18 Avenue, to the east of the subject site;
 - 16485 18 Avenue, to the east of the subject site, under Development Application No. 7920-0110-00, which is at Third Reading;
 - 1852 164 Street, to the north of the subject site; and
 - 1870 164 Street and 1891 165A Street, to the north of the subject site, under Development Application No. 7918-0153-00, which is at the initial review stage.

- The NCP identifies a 20 metre wide Drainage Corridor bisecting the site.
- The proposed “Mixed Use 4-6 Storeys” designation in the NCP was introduced with Development Application No. 7916-0225-00. This application is currently at Third Reading. Whichever application proceeds to Final Adoption first would introduce the new designation to the Sunnyside Heights NCP.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing the following:
 - An OCP amendment to redesignate a portion of the site from “Mixed Employment” to “Multiple Residential”, to allow an FAR of 2.5 on the subject site within the Multiple Residential land use designation, and to amend Figure 42: Major Employment Areas by removing the Mixed Employment designation for the subject site;
 - An NCP amendment to introduce a new land use designation: “Mixed Use 4-6 Storeys”, and to redesignate the portion of the site designated “Multiple Residential (30-45 upa)” and “20m Drainage Corridor” to “Mixed Use 4-6 Storeys” and “10m Drainage Corridor”, to eliminate the road in the NCP bisecting the site, and to eliminate the land consolidation requirement;
 - An LAP amendment to redesignate the portion of the site designated “Buffers” in the LAP to “Mixed Commercial Residential”;
 - To rezone the site from “One-Acre Residential Zone (RA)” to “Comprehensive Development Zone (CD)” (based on “Multiple Residential 70 Zone (RM-70)”);
 - A Form and Character Development Permit to allow for the development of a mixed-use building with approximately 2,644.2 square metres of commercial floorspace and 65 rental apartment housing units in a 6-storey building;
 - A Hazard Lands Development for steep slopes; and
 - A Sensitive Ecosystem Development Permit for streamside protection.

	Proposed
Lot Area	
Gross Site Area:	9,679.66 m ²
Road Dedication:	484.75 m ²
Undevelopable Area:	5,727.61 m ²
Drainage Corridor:	856.17 m ²
Net Site Area:	2,608.16 m ²

Proposed	
Number of Lots:	1
Building Height:	21.5 m
Unit Density:	69 upa
Floor Area Ratio (FAR):	2.50 FAR
Floor Area	
Residential:	3,887.2 m ²
Commercial:	2,644.2 m ²
Total:	6,531.4 m ²
Residential Units:	
Studio:	7 units
1-Bedroom:	38 units
2-Bedroom:	12 units
3-Bedroom:	8 units
Total:	65 units

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 8 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

- 5 Elementary students at Edgewood/Ta'talu Elementary School
- 2 Secondary students at Earl Marriott Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by February 2027.

Parks, Recreation & Culture:	<p>No concerns.</p> <p>The closest active park with amenities including an open grassy area and a temporary playground is 125G Neighbourhood Park which is 550 metres away. Parkland will be added to 125G – Neighbourhood Park as part of the Sunnyside Heights NCP. There is no park with natural area within a reasonable walking distance from the site. Future active parkland, the Grandview Ridge Trail, is proposed within 50 metres of the subject site as part of the Sunnyside Heights Neighbourhood Concept Plan (NCP) .</p>
Ministry of Transportation & Infrastructure (MOTI):	<p>Preliminary Approval is granted for the rezoning for one year pursuant to section 52(3)(a) of the <i>Transportation Act</i>.</p>
BC Hydro:	<p>Further review and approval from BC Hydro will be required prior to Final Adoption of the associated By-laws. The applicant has confirmed that the proposal meets all of BC Hydro’s guidelines and requirements, for items including parking and a playground within the BC Hydro ROW area, and the west side building setback. The applicant has acknowledged that changes may be required to their proposal in response to any requirements that are identified by BC Hydro.</p>
Surrey Fire Department:	<p>No concerns.</p>
Advisory Design Panel:	<p>At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City’s Advisory Design Panel (ADP) which allows multi-family proposals that are 6-storeys or less, and supported by City staff, to proceed to Council for By-law introduction, without review and/or comment from the ADP.</p> <p>The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.</p>

Transportation Considerations

- The applicant is required to provide the following improvements to service the subject proposal:
 - Dedication and construction of the east side of 164 Street; and
 - Construction of the north side of 18 Avenue.
- The subject site is anticipated to generate approximately one to two vehicles per minute in the peak hour, based on industry standard rates. As the number of trips is below the City’s requirement threshold, a site-specific transportation impact analysis (“TIA”) was not required.

- Access to the site is proposed from 18 Avenue.
- The nearest transit route is Bus Route No. 531 White Rock Centre/Willowbrook, which runs along 24 Avenue approximately 1.2 kilometres from the subject site.
- The subject site is located adjacent to the Pioneer Greenway, a planned multi-use facility which will follow 164 Street. It is in close proximity to the Grandview Ridge Trail (GRT) aligned approximately 50m to the northeast, a planned multi-use pathway that will connect Sunnyside Heights to the commercial node at 24 Avenue and 160 Street (Grandview Corners).
- A total of 168 parking stalls are required to be provided on site, based on the Zoning Bylaw requirements. The applicant is proposing to provide a total of 168 parking stalls, meeting the Zoning Bylaw requirements.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated “General Urban” in the Regional Growth Strategy (RGS) and the proposal complies with this designation.

Official Community Plan

Land Use Designation

- The subject site is located within two (2) secondary plan areas, the Sunnyside Heights NCP and the Highway 99 Corridor LAP. The portion within the Highway 99 Corridor LAP area is designated “Mixed Employment” and the portion within the Sunnyside Heights NCP area is designated “Multiple Residential”.
- The portion designated “Mixed Employment” requires an NCP amendment to “Multiple Residential” (Appendix VIII).
- An OCP amendment for increased density within the Multiple Residential designation from 1.5 FAR to 2.5 FAR is also required.

Amendment Rationale

- A large portion of the subject site is undevelopable, as it is encumbered by a BC Hydro ROW. Under the Zoning Bylaw, utility right-of-way lands are considered “undevelopable” and therefore must be excluded from the site area used to calculate density. Therefore, while the proposed density under the Zoning Bylaw exceeds what is permitted in the Multiple Residential designation, if the BC Hydro ROW lands were included in the net site area, the

proposed density would be 0.83, which is below the maximum 1.5 FAR permitted in the Multiple Residential land use designation.

- Although the density noted above is for clarification only, the requirement to exclude utility right-of-ways from site area for calculating density is an administrative decision, whereas the public will experience the site's proposed density inclusive of the BC Hydro Right-of-Way areas.
- The proposed residential units are all market rental residential, which will provide rental residential units in the neighbourhood.
- The portion of the site designated "Mixed Employment" is encumbered by the BC Hydro ROW. The subject site is split-designated and the OCP redesignation for a portion of the site is for housekeeping purposes, as it should not have been split designated.
- The proposed use, density, and building form are appropriate for this part of the Sunnyside Heights Neighbourhood Concept Plan.
- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- A4 Efficient New Neighbourhoods (General): Plan and develop new neighbourhoods with an emphasis on compact forms of development that effectively utilize land, public infrastructure, and City resources; enhance neighbourhood quality; and reduce development pressures on agricultural and environmentally sensitive lands. Encourage the full and efficient build-out of existing planned urban areas in order to achieve planned capacities, use infrastructure efficiently, provide housing options, and provide amenities to residents.

The proposed development will increase the variety of housing types within this part of the Sunnyside Heights plan area.

- Affordable Housing: Encourage and support the development of new purpose-built rental apartments (OCP Policy F.3.14).

All of the apartment units are proposed to be market rental apartments secured with a 60 year Housing Agreement.

Secondary Plans

Land Use Designation

- The following amendments are proposed to the Sunnyside Heights Neighbourhood Concept Plan (NCP):
 - Introduce a new land use designation: Mixed Use 4-6 Storeys;
 - Eliminate the diagonal road alignment shown on the subject site;
 - Reduce the Drainage Corridor width from 20 metres to 10 metres;

- Redesignate the portion of the site designated “Multiple Residential 30-45 upa” to “Mixed Use 4-6 Storeys”; and
- Remove the land consolidation requirement so that the site can develop independently.

Amendment Rationale

Rationale for Land-Use Redesignation:

- The Sunnyside Heights NCP was approved by Council in 2010. The “Multiple Residential 30-45 upa” designation was intended to provide for a range of housing types, from townhouses to apartment style buildings in a variety of forms. Low-rise apartment buildings were envisioned in the NCP on the western side of the plan area, adjacent to the Commercial and Business Park uses in the Highway 99 Corridor Plan.
- Land within the NCP area with the “Multiple Residential 30-45 upa” designation that have already developed were constructed as higher density townhouse sites, not low-rise apartment sites.
- Over the past 14 years since the NCP was approved, the development trend and market affordability has moved away from a lower unit density / larger unit size apartment housing product toward a smaller unit type of multi-family development. The proposed multiple residential development is consistent with the intent of the NCP designation, but an amendment is required to permit a higher unit density than 45 units per acre.
- The proposed new designation, “Mixed Use Residential 4-6 Storeys”, rather than a Multiple Residential designation with a permitted unit density, is more appropriate than increasing the permitted unit density under the current designation, as it allows more flexibility in achieving the desired housing form of a low-rise apartment building.
- The proposed addition of the mixed use component reflects the lot’s location adjacent to future Mixed Employment uses in the Highway 99 Corridor, and will provide the immediate neighbourhood with commercial, office and childcare space within walking distance, without having to travel 1.5 kilometres to Grandview Corners. In addition, it reflects the fact that a large portion of the site is encumbered by a BC Hydro ROW, making it suitable for commercial uses with some surface parking within the ROW area.
- The proposed building provides a unit mix of studio, 1-, 2-, 3-bedroom units, and all are proposed to be market rental units secured with a 60-year term housing agreement. This will assist in increasing and diversifying the housing choice in the neighbourhood.

Rationale for Elimination of the Road Alignment:

- This unconstructed road alignment in the NCP runs along the BC Hydro Corridor and was shown outside of the Hydro ROW area. The road and drainage corridor requirements would have placed a large constraint on the site and significantly reduced its developability.
- The decision to remove the road alignment was made in coordination with Land Development Engineering and Transportation Engineering staff, in a review of the land within

this land consolidation area. Given the lands within the consolidation area are serviced by 164 Street, 18 Avenue and 19 Avenue, this road was determined to be unnecessary.

Rationale for Reduction of the Drainage Corridor:

- Drainage Engineering has reviewed the subject proposal and have indicated that the proposed 10 metre wide drainage corridor is acceptable in principle based on other similar applications along the BC Hydro ROW.
- A drainage technical memo is required to address how the objectives of the NCP will be achieved. This is a condition of Final Adoption.

CD By-law

- The applicant is proposing a Comprehensive Development Zone (CD) to accommodate the proposed mixed-use development on the site.
- The proposed CD By-law identifies appropriate uses, densities, and setbacks. The CD By-law will have provisions based on the "Neighbourhood Commercial Zone (C-5)" and the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the C-5 Zone, RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	C-5 Zone (Part 35)	RM-70 Zone (Part 24)	Proposed CD Zone
Permitted Uses	<p>Principle Uses</p> <ol style="list-style-type: none"> 1. Retail stores excluding adult entertainment store, secondhand stores and pawnshops. 2. Personal service uses limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops. 3. General service uses excluding funeral parlours and drive-through banks. 4. Eating establishments excluding drive-through restaurants. 5. Neighbourhood pubs. 6. Office uses excluding social escort services and methadone clinics. 7. Indoor recreational facilities. 8. Community services. 9. Child care centres. <p>Accessory Uses:</p> <ol style="list-style-type: none"> 10. One caretaker unit per lot. 	<p>Principal Uses:</p> <ol style="list-style-type: none"> 1. Multi-unit residential buildings and ground-oriented multiple unit residential buildings. <p>Accessory Uses:</p> <ol style="list-style-type: none"> 2. Child care centres. 	<p>Principal Use:</p> <ol style="list-style-type: none"> 1. Multi-unit residential buildings. <p>Accessory Uses:</p> <ol style="list-style-type: none"> 2. Retail stores. 3. Personal services uses. 4. Office uses. 5. General services uses excluding funeral parlours, drive-through banks and vehicle rentals. 6. Indoor recreational facilities, excluding a gymnasium. 7. Community services. 8. Child care centres. 9. Eating establishments excluding drive-through restaurants.
Floor Area Ratio:	0.50	1.50	2.50
Lot Coverage:	50%	33%	65%
Yards and Setbacks	7.5 m	7.5m for the principal building.	South – 4.0 m North – 7.0 m East – 7.0 m West – 3.0 m
Principal Building Height:	9.0 m	50.0 m	22.0 m

Amenity Space			
Indoor Amenity:	n/a	3 m ² per unit	3 m ² per unit. The proposed 159.5 m ² plus CIL meets the Zoning By-law requirement.
Outdoor Amenity:	n/a	3 m ² per unit	3 m ² per unit. The proposed 237 m ² meets the Zoning By-law requirement.
Parking (Part 5)		Required	Proposed
Number of Stalls			
Commercial:		89	89
Residential:		72	72
Residential Visitor:		7	7
Total:		168	168
Bicycle Spaces			
Residential Secure Parking:		78	78
Residential Visitor:		6	6

- The accessory commercial uses proposed in the CD Zone largely reflect the uses of the C-5 Zone with the main difference being that the neighbourhood pub use is not proposed in the CD Zone. The accessory commercial uses are permitted on the ground and second floors, reflecting the applicant's proposal to have second floor office space.
- The CD Zone proposes a higher floor area ratio (FAR) at 2.5 relative to the 1.50 FAR permitted under the RM-70 Zone. This FAR is higher because approximately 59% of the site is undevelopable given the BC Hydro ROW. If the portion of the site under the BC Hydro ROW was included for the purposes of calculating density, it would be 0.83 FAR.
- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The proposed 65% lot coverage for the site reflects the proposed building.
- The building is proposed at a setback of 7.1 metres along the east and north sides, in an attempt to achieve an adequate separation between buildings on each of these edges, while also recognizing the site limitations due to the BC Hydro ROW. The 4.0 metre south yard setback to 18 Avenue is appropriate to create a more urban pedestrian environment and enhance surveillance of the public realm along the street. The 4.0 metre setback on the west side is the setback to the drainage corridor; the setback to 164 Street is significantly larger at approximately 77 metres.
- The CD Zone proposes a lower building height at 22.0 metres relative to the 50 metre building height of permitted by the RM-70 Zone. The proposed building height reflects the 6-storey proposal.

- The applicant is proposing to provide 74 resident parking spaces and 7 visitor parking spaces, for a total of 79 residential parking spaces, which satisfies the Zoning By-law requirements. In addition, the applicant is providing 89 commercial parking spaces, which satisfies the Zoning By-law requirements. The parking count includes 2 accessible residential parking spaces. The commercial parking is provided as surface parking, under the BC Hydro ROW, and the residential parking is underground.
- The applicant is also providing bike parking spaces for each apartment unit and the required 6 visitor bike parking spaces.

Housing Agreement

- Section 483 of the Local Government Act authorizes local governments to enter into Housing Agreements for terms and conditions agreed to by the owner and the local government regarding the occupancy of dwelling units.
- The attached Housing Agreement (Appendix IX) will be adopted by By-law and registered as a Notice on Title. The agreement will restrict the 65 proposed apartment units in the building to a rental tenure for a minimum period of 60 years from the date when an Occupancy Permit is issued for the building.
- The City may from time to time require that the owner of the building provide written proof of compliance with the Housing Agreement.
- The Housing Agreement By-law will be brought forward concurrently with Final Adoption, once all of the outstanding conditions associated with the Development Permit are fulfilled.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will not be subject to the Tier 1 or Tier 2 Capital Plan Project CACs, as the proposal includes 100% market rental residential units. A Restrictive Covenant will be registered making CAC payable if there is a future change in tenure.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 (now \$1,068) per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.

- As a rental project, the subject proposal is exempt from the provision of this policy. The applicant will be required to register a Section 219 Restrictive Covenant, making the fees payable if there is a future change in tenure, to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.
- The Public Art contribution will be required only for the commercial portion of the site and will be applicable to the residential portion only if there is a future change in tenure from the market rental residential units.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on January 30, 2024, and the Development Proposal Signs were installed on February 12, 2024. Staff received one response from a neighbouring resident, who had questions about upgrades to 164 Street and parking in the neighbourhood.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class B (yellow-coded) ditch along 164 Street.
- The Class B ditch on the east side of 164 Street is proposed to be infilled at the direction of Land Development Engineering. The entire 164 Street ditch will be infilled (approximately 160 linear metres). Approximately 60 linear metres of the total 160 linear metres is located along the 164 Street frontage of the subject site.
- Infilling of the Class B ditch on 164 Street requires a Fisheries and Oceans Canada request for review to confirm that no Harmful Alteration, Disruption or Destruction (HADD) or compensation for loss of fish habitat is needed prior to the issuance of the SEDP.
- An Ecosystem Development Plan, prepared by Remi Masson, *R.P. Bio.*, of Redcedar Environmental Consulting and dated February 22, 2024 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Hazard Lands (Steep Slope) Development Permit Requirement

- The subject property falls within the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP, given that the site is within 30 metres from the top of a slope/or 10 metres from the base of a slope in excess of 20%. The Hazard Land (Steep Slope) Development Permit is required to protect developments from hazardous conditions.
- Topography of the site slopes down to the west/southwest at an overall slope gradient of approximately 20H:1V or flatter.
- A geotechnical report, prepared by Stuart Hrysio, *P. Eng.*, of Braun Geotechnical Ltd. and dated January 22, 2024, was peer reviewed by Goran Awny, *P. Eng.*, of Pacific Geotechnical and found to be generally acceptable by the peer reviewer. The finalized geotechnical report will be incorporated into the Development Permit.
- The consultant has determined that the development is feasible provided that the recommendations in their report are incorporated into the overall design of the site, including following the excavation and shoring recommendations, using structural fill, and foundation design recommendations.
- Registration of a Section 219 Restrictive Covenant that requires the owner to develop the site in accordance with the conditions in the geotechnical report is required as a condition of final adoption.
- At Building Permit stage, the Building Division will require Letters of Assurance from a geotechnical engineer to ensure that the building plans comply with the recommendations in the approved geotechnical report.

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Sunnyside Heights Neighbourhood Concept Plan (NCP).
- The proposed development partially complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Sunnyside Heights Neighbourhood Concept Plan (NCP).
- The applicant has worked with staff to provide a building design that works with the limitations of the site taking into consideration the BC Hydro ROW and drainage corridor, and addresses the lack of consolidation by addressing the wider context and access by providing a concept plan for neighbouring properties.
- The proposed building is triangular in shape, and fronts onto 18 Avenue. The building has 6 storeys; the ground level of the building has Commercial Retail Units (CRUs) on the west side and a childcare centre at the northeast corner of the building. The second level is mostly office space with some childcare space, including outdoor play area on the second level balcony. Levels three to six contain the rental residential units.

- The separation distance between the proposed building on the subject site, and the 4-storey building proposed to the east, which is at Third Reading under Development Application No. 7920-0110-00, is 12 metres at the lower levels. The OCP DP1 Form and Character guidelines indicate a minimum building separation of 20 metres. The applicant has agreed to address this issue by amending the plans to include a step back at the upper levels in a revised submission.
- Building materials include fibre cement board, brick cladding, and aluminum glass panels with black hand rails.

Landscaping

- The landscaping includes a mix of trees, shrubs and ground cover. The landscaping concept will provide a safe pedestrian environment, attractive landscaping features, and a combination of plantings that will provide visual interest throughout the year.
- The landscaping within the BC Hydro ROW area has been designed to meet BC Hydro guidelines.
- A playground structure is also proposed within the BC Hydro ROW. The Landscape Architect will ensure that the playground and plantings within BC Hydro's ROW will align with the BC Hydro guidelines.

Indoor Amenity

- There are two (2) indoor amenity areas proposed. On the third floor is a yoga room, office and multi-purpose room with a kitchen and bathroom. On the sixth floor is a gym. Both indoor amenity spaces connect directly with outdoor amenity space.
- The indoor amenity is proposed to be 158 square metres in size. The Zoning Bylaw requires 3 square metres of indoor amenity space per dwelling unit, which equals 195 square metres; however, the Zoning Bylaw also permits a reduction to the indoor amenity physical space requirement to a minimum of 74 square metres for mid-rise (3 to 6 storeys) buildings, as long as cash-in-lieu is provided to make up the difference. The applicant will be required to provide cash-in-lieu as a condition of Final Adoption.

Outdoor Amenity

- There are two (2) outdoor amenity spaces proposed, which are directly connected to the indoor amenity spaces. The third floor outdoor amenity space has a BBQ and sink, picnic table and a lounge seating area with a fire pit. The sixth floor proposes another lounge seating area and fire pit, garden boxes and a tool storage shed.
- The outdoor amenity space is 238 square metres in size, which exceeds the 195 square metre requirement in the Zoning Bylaw (based on 3 square metres per dwelling unit).

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include amendments to improve the building separation between the proposed building for the subject site, and the one proposed for the property to the east under Development Application No. 7920-0110-00.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Francis Klimo, ISA Certified Arborist of Klimo & Associates prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	20	20	0
Cottonwood	1	1	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	1	1	0
Silver Birch	1	1	0
Paper Birch	1	1	0
Coniferous Trees			
Douglas Fir	5	5	0
Western Redcedar	2	2	0
Grand Fir	1	1	0
Colorado Spruce	1	1	0
Total (excluding Alder and Cottonwood Trees)	12	12	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		59	
Total Retained and Replacement Trees		59	
Estimated Contribution to the Green City Program		N/A	

- The Arborist Assessment states that there are a total of 12 mature trees on the site, excluding Alder and Cottonwood trees. 21 existing trees, approximately 39% of the total trees on the site, are Alder and Cottonwood trees.

- The applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood, and a 2 to 1 replacement ratio for all other trees. This will require a total of 44 replacement trees on the site. The applicant is proposing 59 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 18 Avenue and 164 Street. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Vine Maple, Columnar European Hornbeam, Ace of Hearts Redbud, Eddies White Wonder Dogwood, Lavalley Hawthorn, Crimson Spire Oak and Red Cascade Mountain Ash.
- In summary, a total of 59 trees are proposed to be replaced on the site and no contribution to the Green City Program is required.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Preservation and Tree Plan
Appendix V.	Sunnyside Heights NCP Plan
Appendix VI.	Highway 99 Corridor LAP Plan
Appendix VII.	Sunnyside Heights NCP Land Consolidation Areas
Appendix VIII.	OCP Redesignation Maps
Appendix IX.	Proposed Housing Agreement By-law and Housing Agreement

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

6 STORY MIX USE BUILDING



A - 000	COVER PAGE
A - 001	DATA SHEET
A - 002	CONTEXT PHOTOS
A - 003	CONTEXT PLAN
A - 004	DESIGN RATIONAL
A - 005	PRECEDENT IMAGES
A - 006	STREET SCAPE
A - 007	SHADOW STUDY
A - 008	MATERIAL BOARD
A - 009	SINAGE DETAILED
A - 100	BASE PLAN
A-100A	BC HYDRO ROW PLAN
A - 101	SITE PLAN
A - 102	FIRE PLAN
A - P.1	PARKING - 1
A - P.2	PARKING - 2
A - 201	FLOOR PLANS - LEVEL 1
A - 202	FLOOR PLANS - LEVEL 2
A - 203	FLOOR PLANS - LEVEL 3
A - 204	FLOOR PLANS - LEVEL 4,5
A - 205	FLOOR PLANS - LEVEL 6
A - 206	FLOOR PLANS - ROOF PLAN
A - 301	ELEVATIONS -SOUTHWEST
A - 302	ELEVATIONS - EAST
A - 303	ELEVATIONS - NORTH
A - 304	ELEVATIONS -SOUTH/Partial
A - 305	VIEW-1
A - 306	VIEW-2
A - 307	VIEW-3
A - 401	SECTIONS - A-A'
A - 402	SECTIONS - B,C
A - 403	SECTION DETAILED

CLIENT: Harman Dhillon
 16453 18 st. SURREY BC V3Z 9N2
CONTACT :
 T:- 604 763 4279
 E:- harman@genaris.ca

ARCHITECTURAL:
FLAT ARCHITECTURE INC.
 6321 KING GEORGE BLVD.
 SURREY, BC. V3X 1G1
CONTACT: RAJINDER WARRAICH
 T : 604 503 4484
 rajinder@flatarchitecture.ca

SURVEYOR:
ELEVATE LAND SURVEYING
 #18249 98 Ave Surrey, BC V4N 5A9
CONTACT:
 T : 604-385-5571
 E : Info@elevatelandsurveying.com

CIVIL:
GSDM.
 GurSimer Design and Management Inc.
CONTACT: Nirvair Bagri
 T : 778-895-6358
 E : nirvair@gs-dm.com

ARBORIST:
MIKE FADUM AND ASSOCIATES LTD.
 UNIT 105-8277 129 SURREY BC,
 V3W 0A6
CONTACT:MIKE FADUM
 T : 778 593 C300
MFADUM@FADUM.CA

LANDSCAPE ARCHITECT:
PMG LANDSCAPE ARCHITECTS LTD.
 C100 - 4185 STILL CREEK DR,
 BURNABY, B.C. V5C 6G9
CONTACT: Rebecca
 T : 604 294 0011 EXT. 116
rebecca@pmglandscape.com



Unit 209- 6321 King George Blvd
 Surrey BC, V3X 1G1
www.flatarchitecture.ca
contact@flatarchitecture.ca
 Ph: 604-503-4484

SITE STATISTICS - PROPOSED RENTAL BUILDING				
CIVIC ADDRESS:	16453 18 AVE Surrey BC			
LEGAL DESCRIPTION	LL0T 36 SECTION 33 TOWNSHIP 1 PLAN NW943776 NWD Part 5E 1/4			
ZONING	RA to CD, Based on RM 45			
	OCP	Mixed Employment/MULTI RESIDENTIAL		
	NCP	MULTI RESIDENTIAL 30-45 U.P.A SUNNYSIDE Height		
GROSS SITE AREA:	104,191.00 Sq.Ft.	9,679.66 Sq.m.	Acres	
ROAD DEDICATION	5,217.80 Sq.Ft.	484.75 Sq.m.	2.39	
UNDEVELOPMENTAL AREA	61,651.50 Sq.Ft.	5,727.61 Sq.m.	1.42	
DRAINAGE CORRIDOR:	9,215.70 Sq.Ft.	856.17 Sq.m.	0.21	
NET AREA:	28,106.00 Sq.Ft.	2,611.13 Sq.m.	0.55	
ZONING		REQUIRED	PROVIDED	NO. OF STORY
	BUILDING HEIGHT	15M	21.54M	5
SETBACK	SETBACKS	PROVIDED		
	FRONT (SOUTH) 18TH ave	4.00 M		
	NORTH (REAR)	7.10 M		
	EAST (SIDE)	7.10 M		
	WEST (SIDE)	4.00 M		
LOT COVERAGE	ALLOWED	45%		
	PROPOSED	65%		
DENSITY:	PROPOSED FSR	2.50		
	UPA AS/NCP	45 UPA / ACRE		
	PROPOSED UPA AS/NCP	69 UPA / ACRE		
BUILDING FLOOR AREA:	LEVELS	ft2	M2	
DAYCARE	1,2	6,052.00 Sq.Ft.	562.25 Sq.m.	
Commercial	1	9,506.00 Sq.Ft.	883.14 Sq.m.	
Office	1	12,903.88 Sq.Ft.	1,198.81 Sq.m.	
Residential	3	30,169.34 Sq.Ft.	2,804.76 Sq.m.	
Residential	4	11,409.03 Sq.Ft.	1,059.93 Sq.m.	
Residential	5	11,409.03 Sq.Ft.	1,059.93 Sq.m.	
Residential	6	8,854.10 Sq.Ft.	822.57 Sq.m.	
TOTAL AREA		70,303.38 Sq.Ft.	6,531.40 Sq.Ft.	
INDOOR AMENITY:	REQUIRED	PROVIDED		
Indoor Amenity on 3rd,6th floor	65 X 3= 195 M2	1,704.50 Sq.Ft.	158.35 Sq.m.	
OUTDOOR AMENITY:	REQUIRED	PROVIDED		
Outdoor Amenity on 3rd,6th floor	65 X 3= 195 M2	2,358.00 Sq.Ft.	237.65 Sq.m.	
PARKING CALCULATION		REQUIRED (MIN.)	PROVIDED	
RESIDENTIAL	APARTMENT 1 BR & STUDIO	43X1.1	= 47.3 SPACES	= 48.0 SPACES
	APARTMENT 2 BR, 3BR, TH	22X1.1	= 24.2 SPACES	= 24.0 SPACES
CRU / MEDICAL USE	3.5/100 M2		= 25.2 SPACES	= 25.0 SPACES
OFFICE / MEDICAL USE	3.5/100 M2		= 42.0 SPACES	= 42.0 SPACES
DAYCARE	100 KIDS /9 TEACHERS	100X.15+9X.75=6.75 SPACES	= 22.0 SPACES	= 22.0 SPACES
VISITOR	APARTMENT	1% OF TOTAL UNIT	= 6.5 SPACES	= 7.0 SPACES
	Total parking stalls		= 167.2 SPACES	= 168.0 SPACES
H/C PARKING:	If required Parking spaces are between 50 & 100, then 1 Parking space is required			
	If required Parking spaces are between 100 & 200, then 2 Parking spcs are required			
BICYCLE PARKING:	CLASS A	CLASS B		
	REQUIRED ::	1.2 STALLS PER RES UNIT = 78 stalls		
	PROVIDED	78 STALLS		

UNIT MIX SCHEDULE						
LEVELS	1 BD	1 BD+DEN	2 BD	3 BD	STUDIO	TOTAL UNITS PER FLOOR
LVL 1	0	0	0	0	0	0
LVL 2	0	0	0	0	0	0
LVL 3	9	0	3	2	2	16
LVL 4	10	1	3	2	2	18
LVL 5	10	1	3	2	2	18
LVL 6	7	0	3	2	1	13
TOTAL	36 UNITS	2 UNITS	12 UNITS	8 UNITS	7 UNITS	65 UNITS

UNIT SCHEDULE				
TYPES	ON LEVELS	AREA(SQ.FT)	AREA(SQ.M)	TOTAL UNITS
A1(1B)	3,4,5,6	500	46.46840149	24
A2(1B)	4,5,6	434	40.33457249	3
A3(1B)	3,4,5	480	44.60966543	3
A4(1B)	3,4,5	422	39.21933086	3
A5(1B)	3,4,5	541	50.27881041	3
B1(1B+D)	4,5	550	51.11524164	2
C1(2B)	3,4,5,6	681	63.28996283	4
C2(2B)	3,4,5,6	612	56.87732342	4
C3(2B)	3,4,5,6	601	55.85501859	4
D1(3B)	3,4,5,6	831	77.23048327	4
D2(3B)	3,4,5,6	768	71.37546468	4
E1(STUDIO)	3,4,5,6	338	31.41263941	4
E2(STUDIO)	3,4,5	281	26.11524164	3
				65

COMMERCIAL UNIT SCHEDULE				
TYPES	ON LEVELS	AREA(SQ.FT)	AREA(SQ.M)	TOTAL UNITS
C.R.U-100	1	969.11	90.06598513	1
C.R.U-101	1	905.6	84.16356877	1
C.R.U-102	1	892.07	82.90613383	1
C.R.U-103	1	892.07	82.90613383	1
C.R.U-104	1	870.71	80.92100372	1
C.R.U-105	1	762.19	70.83550186	1
C.R.U-106	1	890.61	82.7704461	1
C.R.U-107	1	1458.27	135.5269517	1
C.R.U-201	2	905.59	84.16263941	1
C.R.U-202	2	892.05	82.90427509	1
C.R.U-203	2	892.03	82.90241636	1
C.R.U-204	2	853.96	79.36431227	1
C.R.U-205	2	798.85	74.24256506	1
C.R.U-206	2	1437.11	133.5604089	1
C.R.U-207	2	933.48	86.75464684	1
C.R.U-208	2	100.21	9.313197026	1
C.R.U-209	2	1488.1	138.2992565	1
C.R.U-210	2	927.04	86.15613383	1
C.R.U-211	2	1206.84	112.1598513	1
TOTAL C.R.U				19



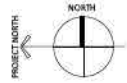
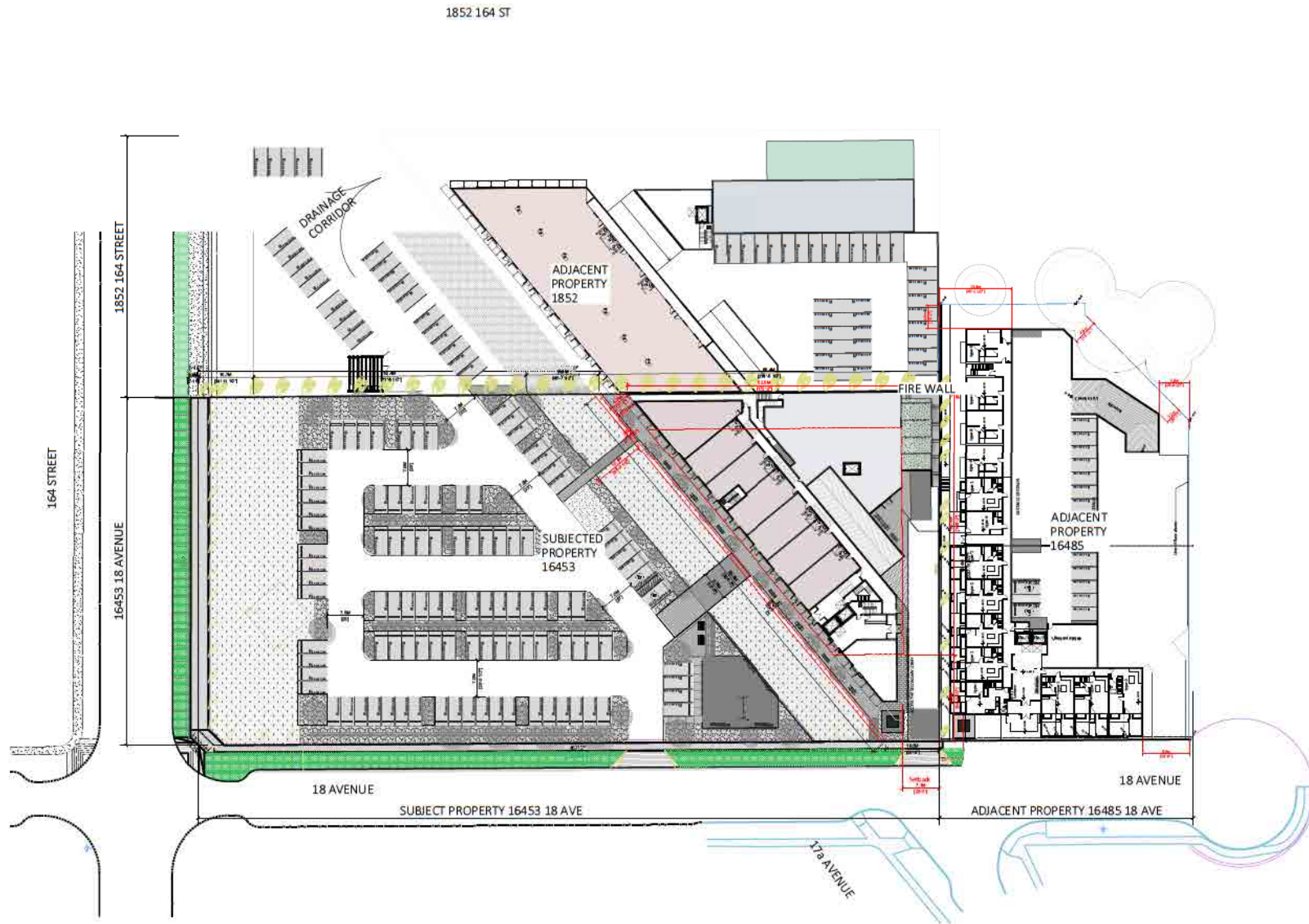
Unit 209- 8321 King George Blvd
Surrey BC, V3X 1G1
www.flatarchitecture.ca
contact@flatarchitecture.ca
Ph: 604-603-4484

PROJECT INFO:
MIX-USE RENTAL BUILDING AT
16453 18 AVE SURREY BC
CLIENT:
GENARIS PROPERTIES

DATE
28-Oct-23
PROJECT NO:
22-218
SCALE:
1/64"=1'
DRAWN BY:
BS

DATA SHEET

A-001



SITE PLAN
1/8"=1'

PROJECT INFO:
MIX-USE RENTAL BUILDING AT
16453 18 AVE SURREY BC

CLIENT:
GENARIS PROPERTYS

DATE:
28-Oct-23

PROJECT NO.:
22-218

SCALE: N.T.S. **DRAWN BY:** BS

REV.	DESCRIPTION	DATE

CONTEXT PLAN



ATELIÉ HOUSE, ARUJÁ, BRAZIL



Precedent Images

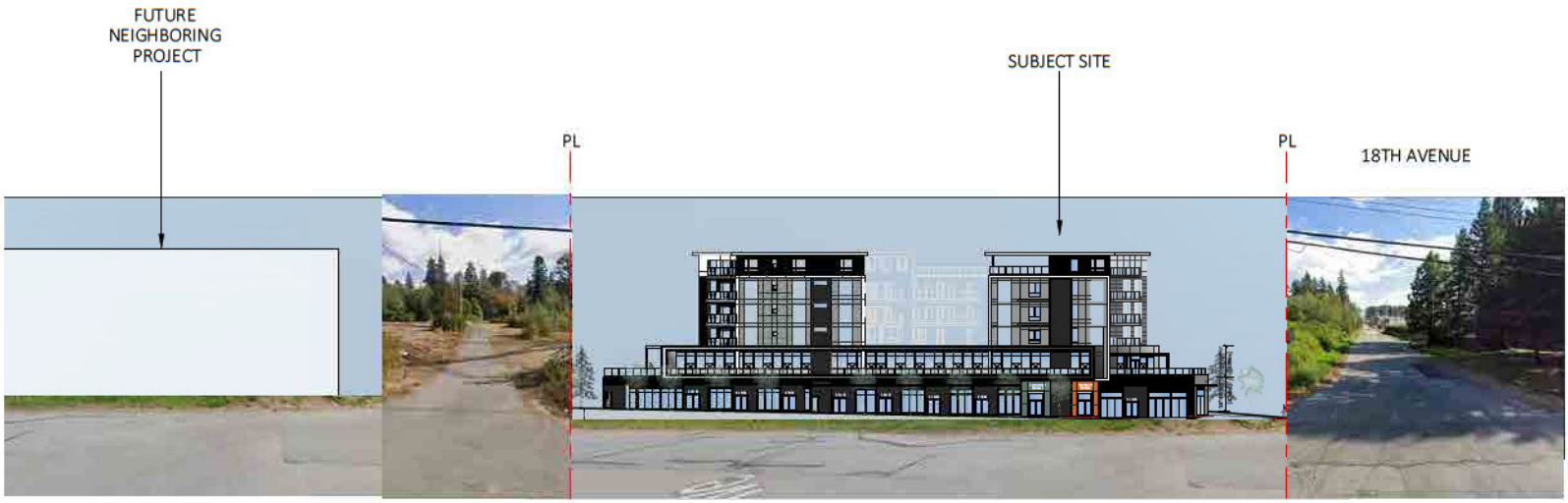
Inspirational images are used to develop the design concept are used from pinterest. These images reflect the form, materials, creator and functionality of the proposed building.



Darcons
Delicias City, Mexico.



REV	DESCRIPTION	DATE



FLAI
ARCHITECTURE

Unit 209- 8321 King George Blvd
Surrey BC, V3X 1G1
www.flaiarchitecture.ca
contact@flaiarchitecture.ca
Ph: 604-603-4484

PROJECT INFO:
MIX-USE RENTAL BUILDING AT
16453 18 AVE SURREY BC
CLIENT:
GENARIS PROPERTYS

DATE
28-Oct-23

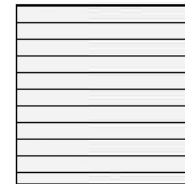
PROJECT NO:
22-218

SCALE: DRAWN BY:
N.T.S BS

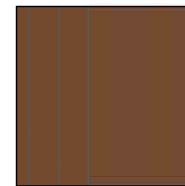
REV	DESCRIPTION	DATE

STREET SCAPE

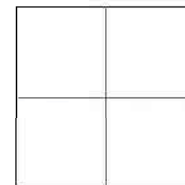
A-006



1



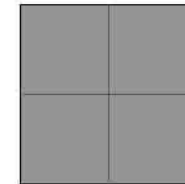
3



5



7



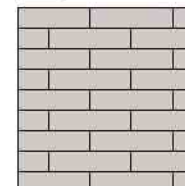
2



4



6



8

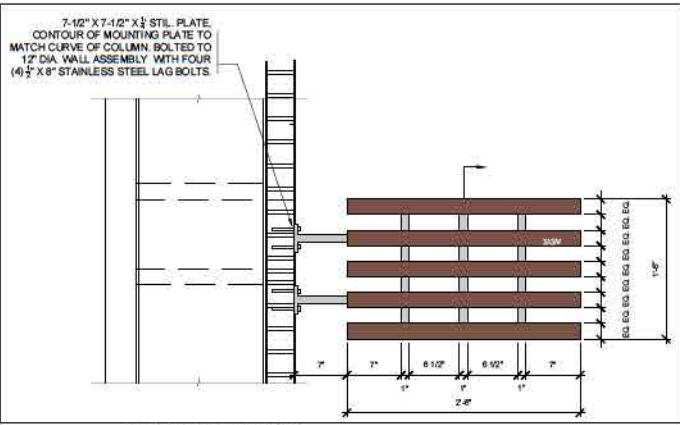
1	Eterior ensit ire Cement sidin CR C.C. It ra
2	EERIRIG ENSI IRE CEEN R C ES RIS C RIE R SRR CR IG
3	EERIRIG ENSI EE R C ES RIS C RIE R SRR CR CEERINIS
4	EERIRIG ENSI EE R C ES RIS C RIE R SRR CR edim ar Gra
5	EERIRIG ENSI IRE CEEN R C ES RIS C RIE R SRR CR IE
6	EERIRIG ENSI IRE CEEN R C ES RIS C RIE R SRR CR ar GR
7	INI GSS N RI CRC
8	RIC QNG R RISCRIE cGARR SCN

1 SIE N
164'x7'

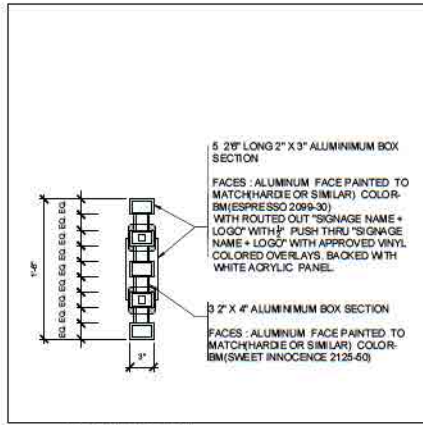
REV	DESCRIPTION	DATE

MATERIAL BOARD

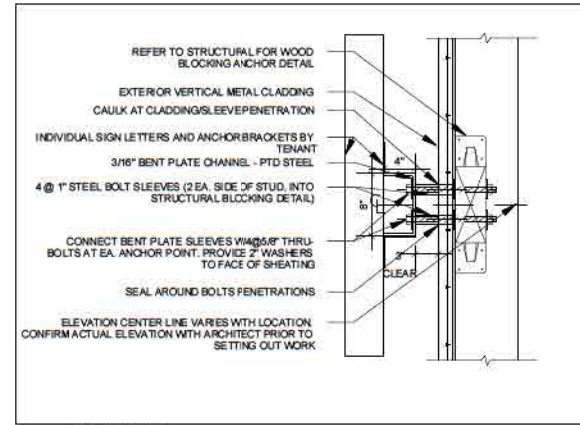
REV	DESCRIPTION	DATE



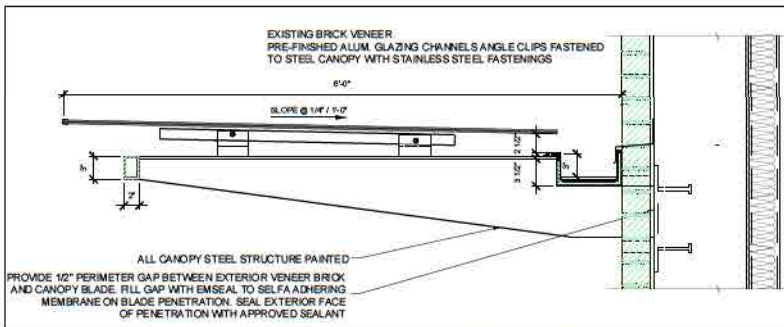
1 A.000 3/4"=1'
ELEVATION SINAGE



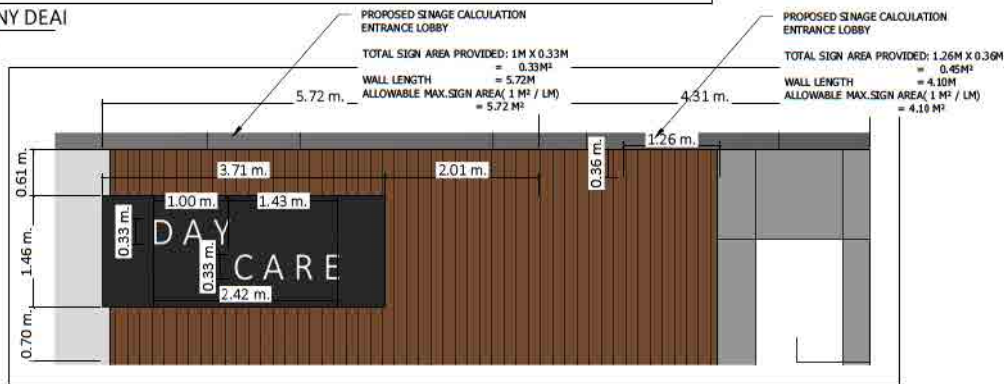
1 A.000 3/4"=1'
SECTION



1 A.000 3/4"=1'
CANOPY DETAIL



4 A.000 3/4"=1'
CANOPY DETAIL



5 A.000 3/4"=1'
SINAGE DETAIL



6 A.000 3/4"=1'
SINAGE DETAIL



FLAI
ARCHITECTURE

Unit 209- 8321 King George Blvd
Surrey BC, V3X 1G1
www.flaiarchitecture.ca
contact@flaiarchitecture.ca
Ph: 604-603-4484

PROJECT INFO:
MIX-USE RENTAL BUILDING AT
16453 18 AVE SURREY BC

CLIENT:
GENARIS PROPERTIES

DATE
23-Feb-24

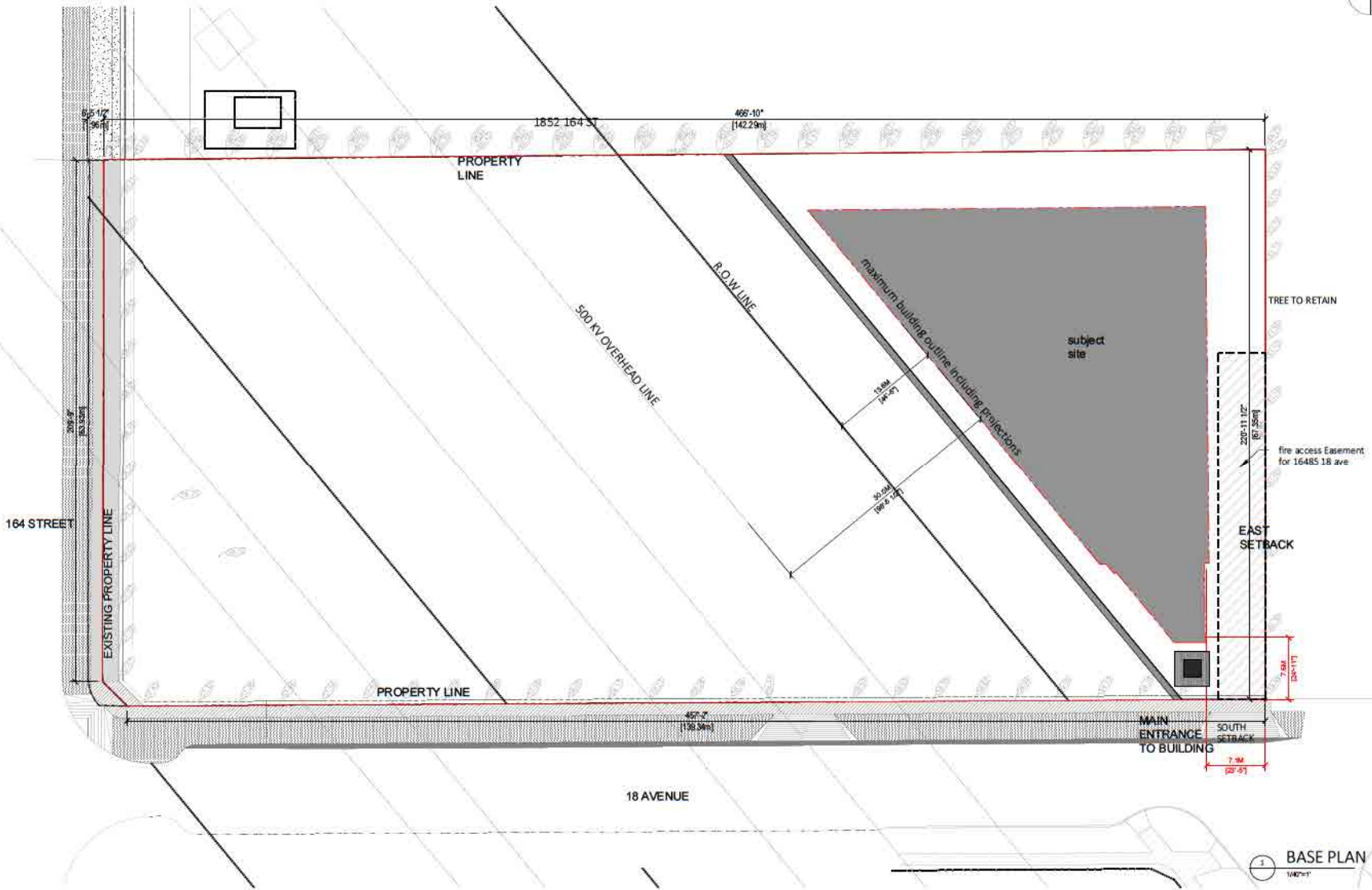
PROJECT NO:
22-218

SCALE: DRAWN BY:
1/40"=1'-0" BS

NO.	DESCRIPTION	DATE

BC HYDRO ROW PLAN

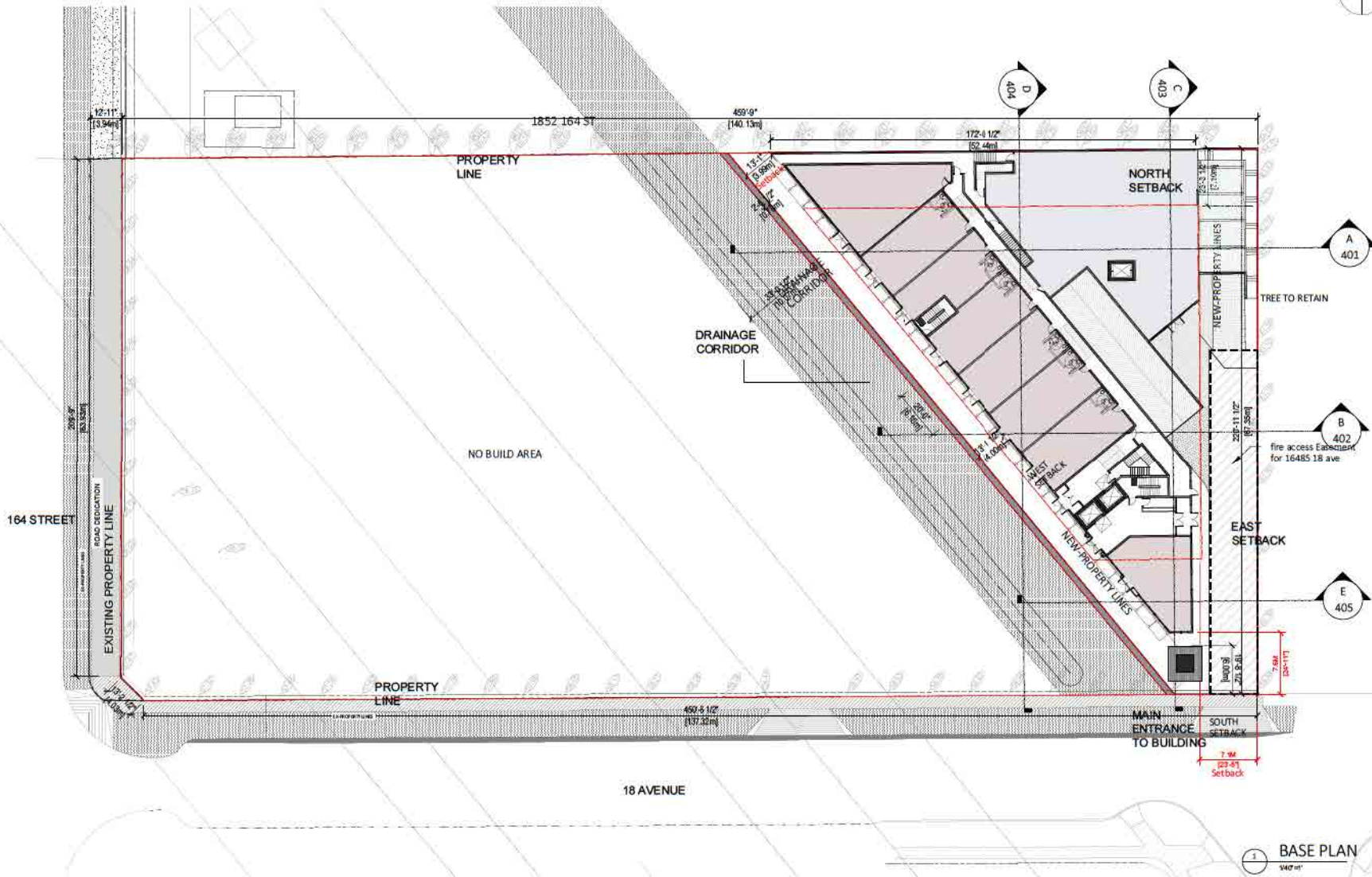
A-100.A



1 BASE PLAN
1/40"=1'



REV	DESCRIPTION	DATE



1 BASE PLAN
1/40"=1'



FLAI
ARCHITECTURE

Unit 208- 6321 King George Blvd
Surrey BC, V3K 1G1
www.flaiarchitecture.ca
contact@flaiarchitecture.ca
Ph 604-603-4464

PROJECT INFO:
MIX-USE RENTAL BUILDING AT
16453 18 AVE SURREY BC
CLIENT:
GENARIS PROPERTIES

DATE
6-Nov-23

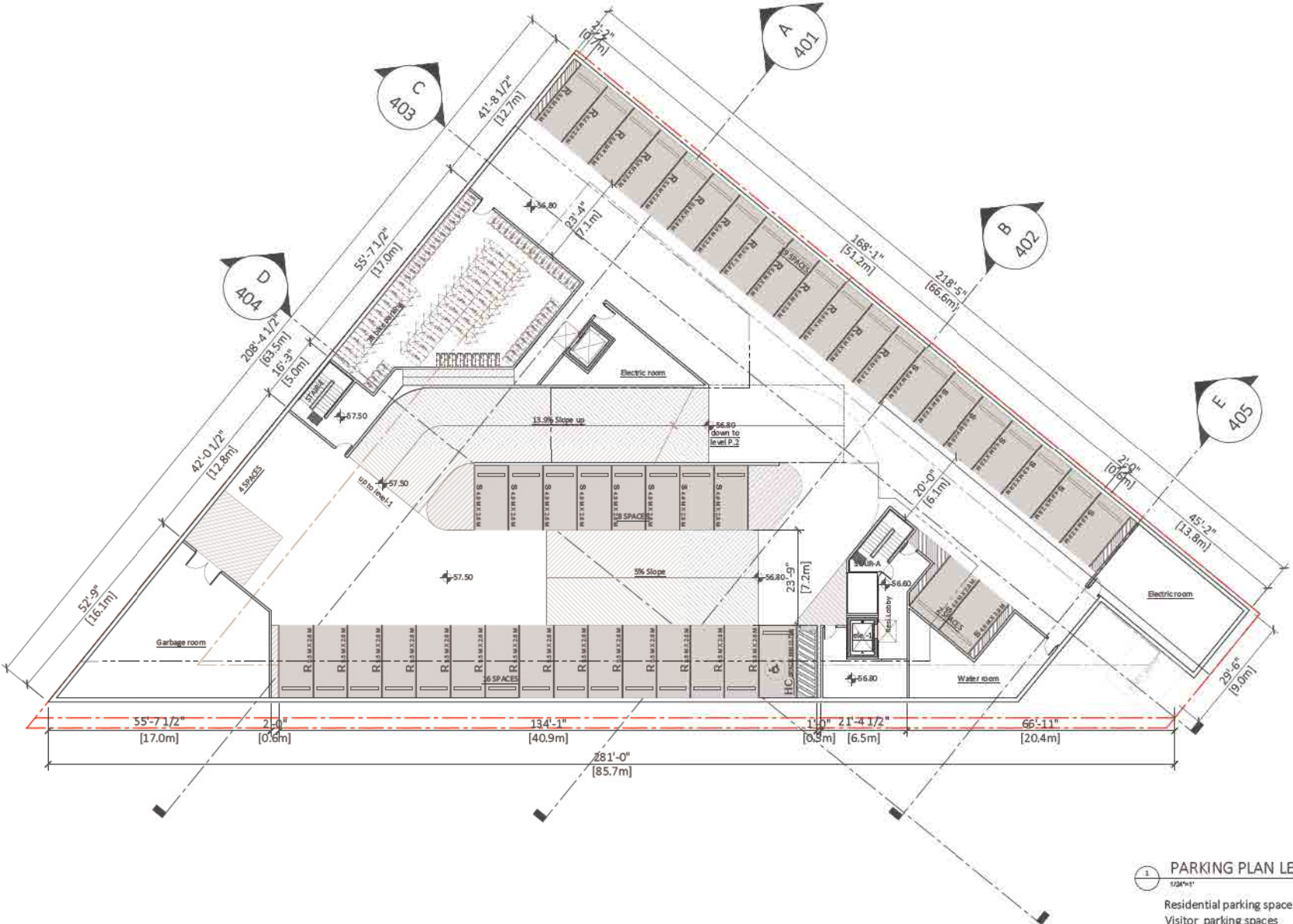
PROJECT NO.
22-218

SCALE: 1/24"=1'
DRAWN BY:
BS

REV	DESCRIPTION	BY	DATE

PARKING LVL-1
FLOOR PLAN

AP-201



1 PARKING PLAN LEVEL -P.1
1/24"=1'
Residential parking spaces 39
Visitor parking spaces 14
total no. of parking spaces 53
No. of bike parking spaces 78



FLAJI
ARCHITECTURE

Unit 208- 6321 King George Blvd
Surrey BC, V3K 1G1
www.flajiarchitecture.ca
contact@flajiarchitecture.ca
Ph: 604-603-4464

PROJECT INFO:
MIX-USE RENTAL BUILDING AT
16453 18 AVE SURREY BC

CLIENT:
GENARIS PROPERTIES

DATE:
28-Oct-23

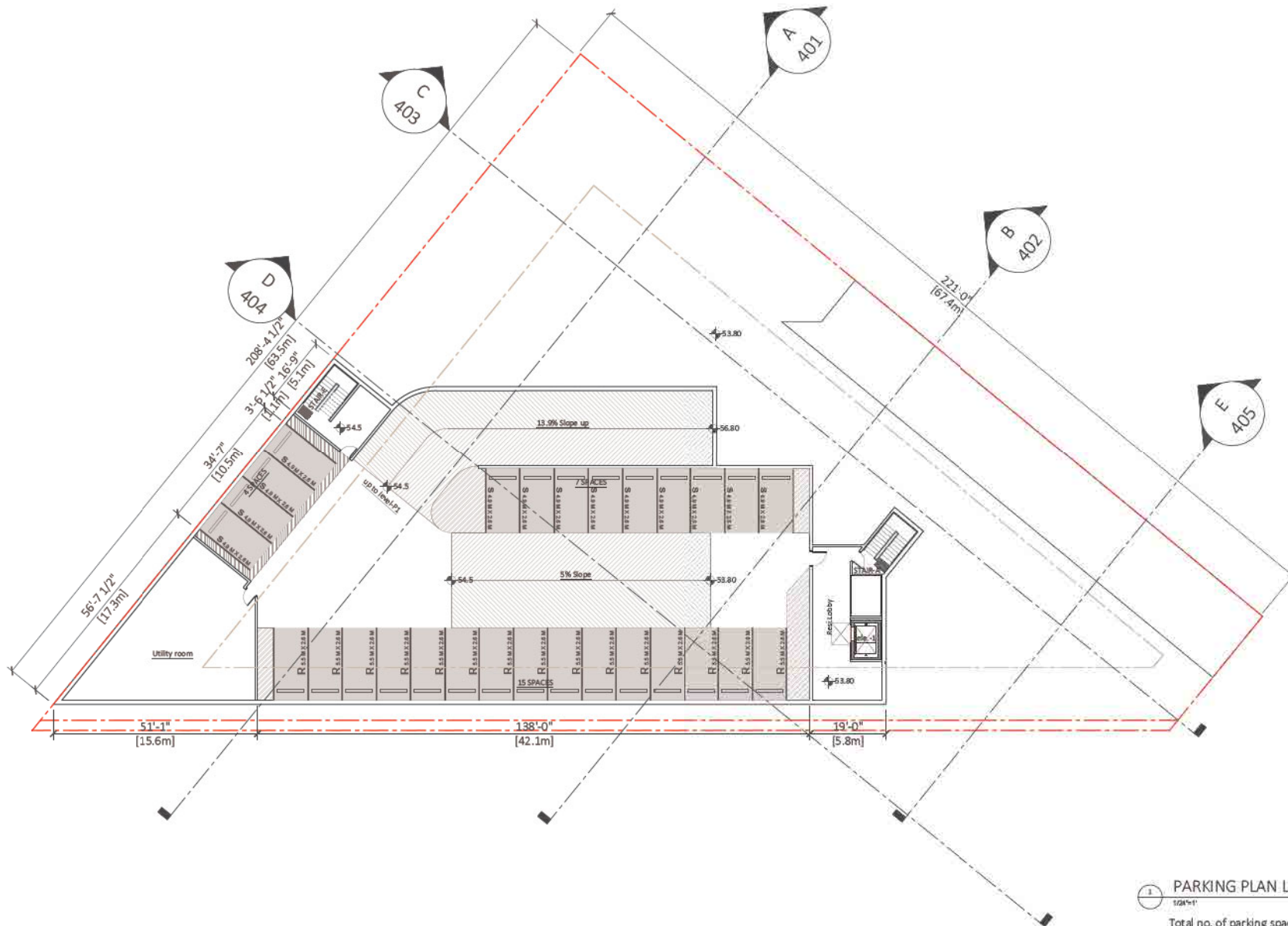
PROJECT NO:
22-218

SCALE: 1/24"=1'
DRAWN BY:
BS

REV	DESCRIPTION	BY	DATE

PARKING-1
FLOOR PLAN

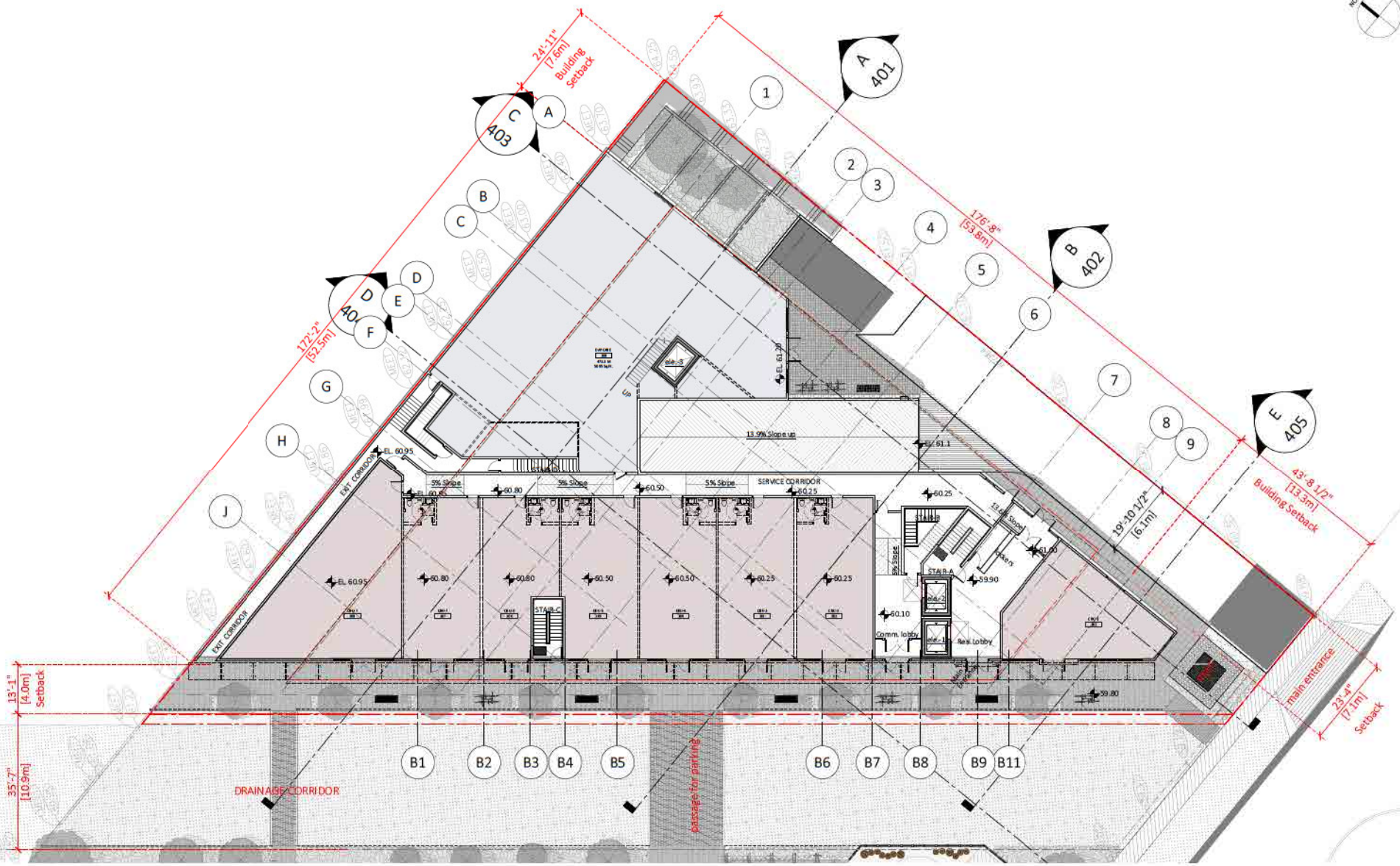
AP-201



PARKING PLAN LEVEL -P.2
1/24"=1'
Total no. of parking spaces 37

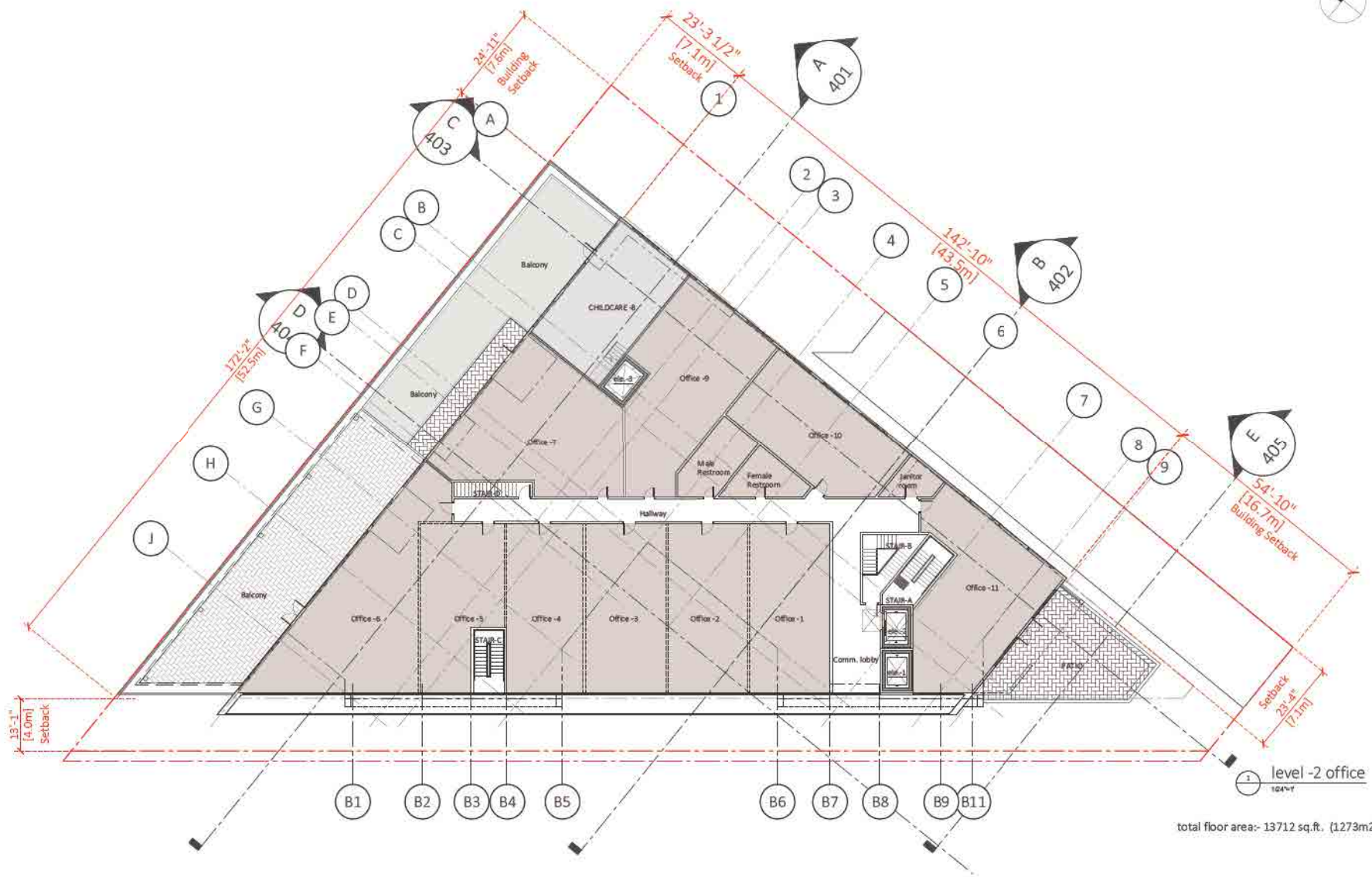


REV	DESCRIPTION	DATE



1 FLOOR PLAN LEVEL -1
1/24"=1'

total floor area: -14749 sq.ft. (1370.22 m2)

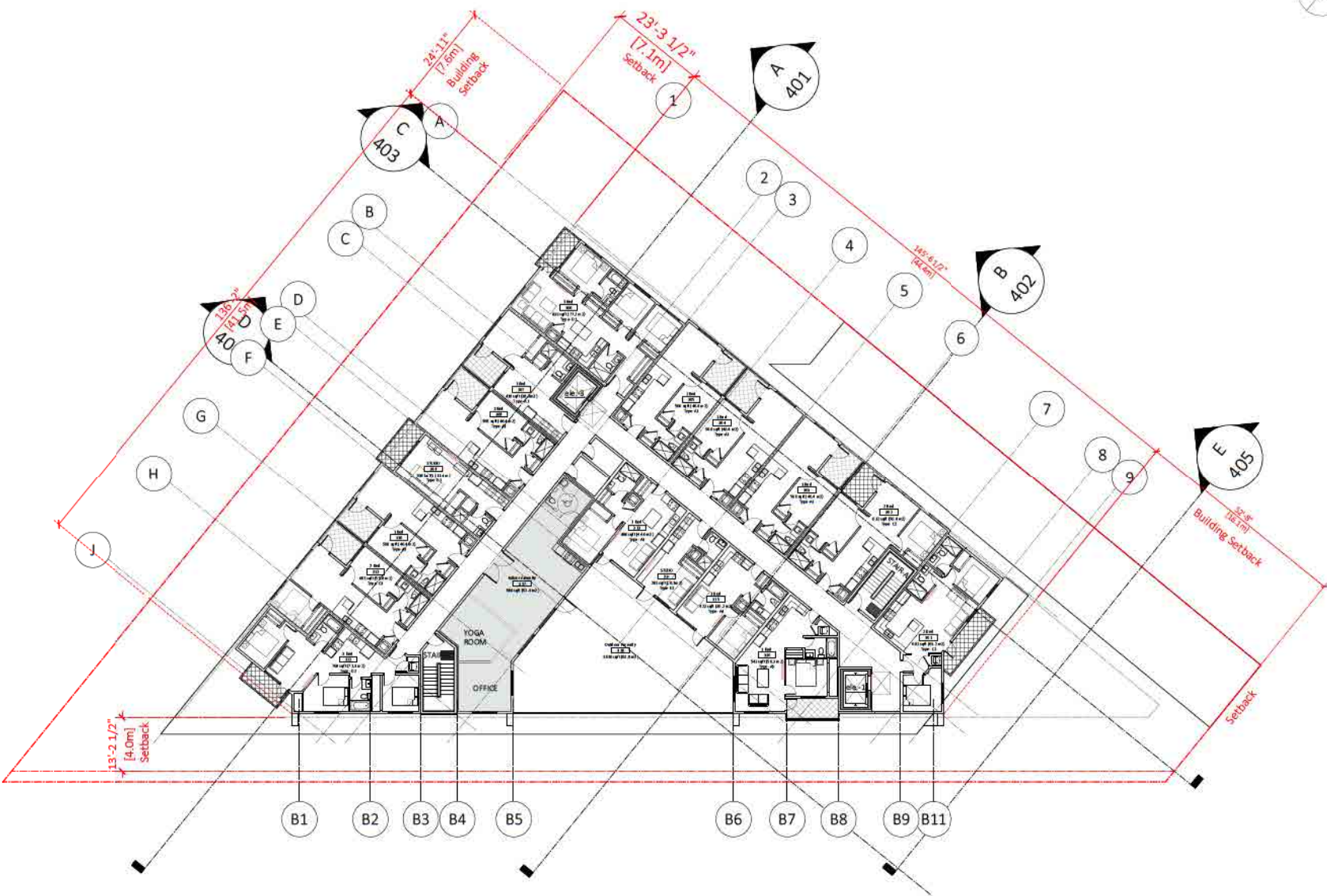


total floor area:- 13712 sq.ft. (1273m2)

REV	DESCRIPTION	DATE



REV.	DESCRIPTION	DATE

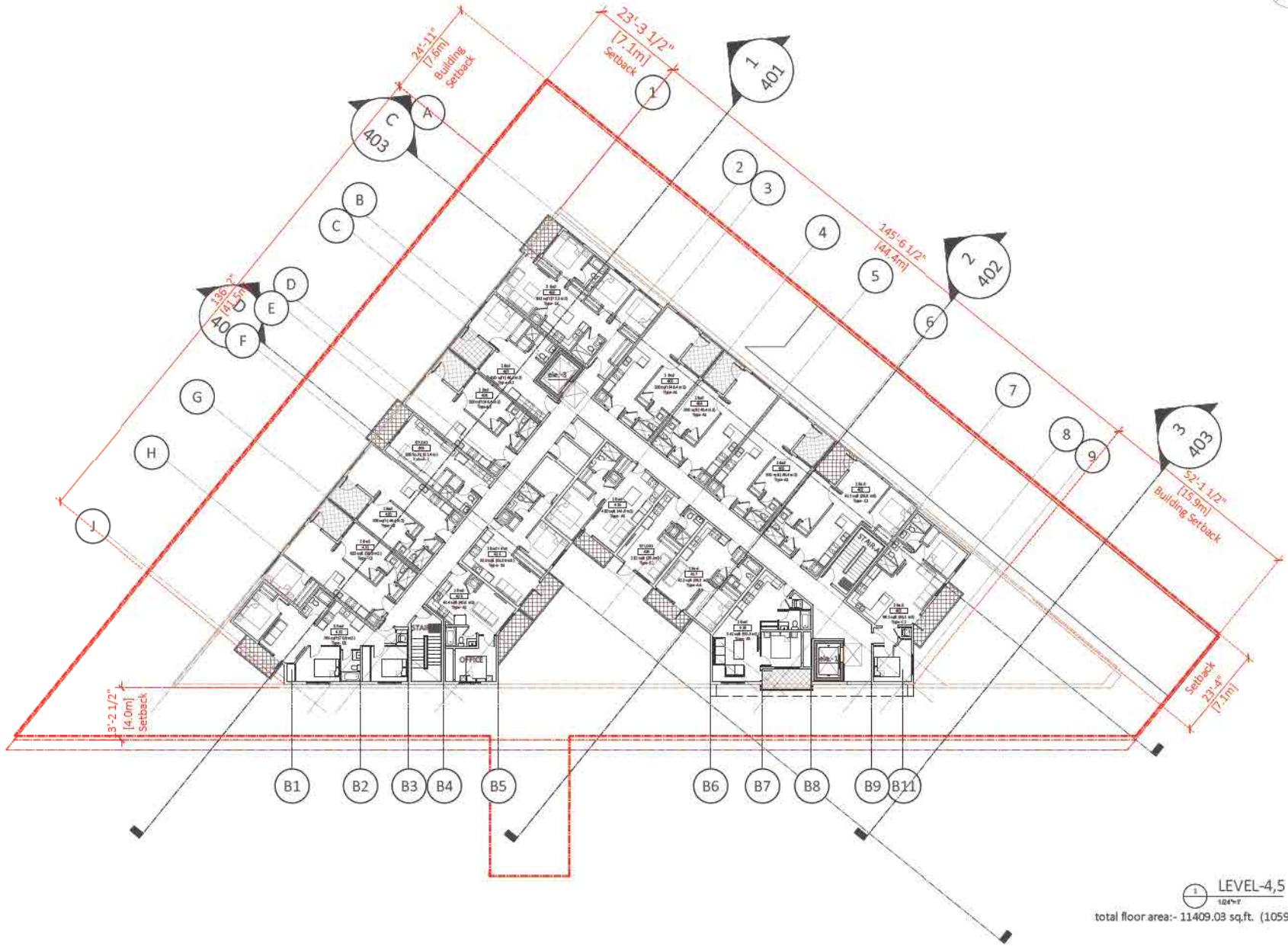


LEVEL-3
1/24"=1'

total floor area:- 10169.34 sq.ft. (944.76m2)



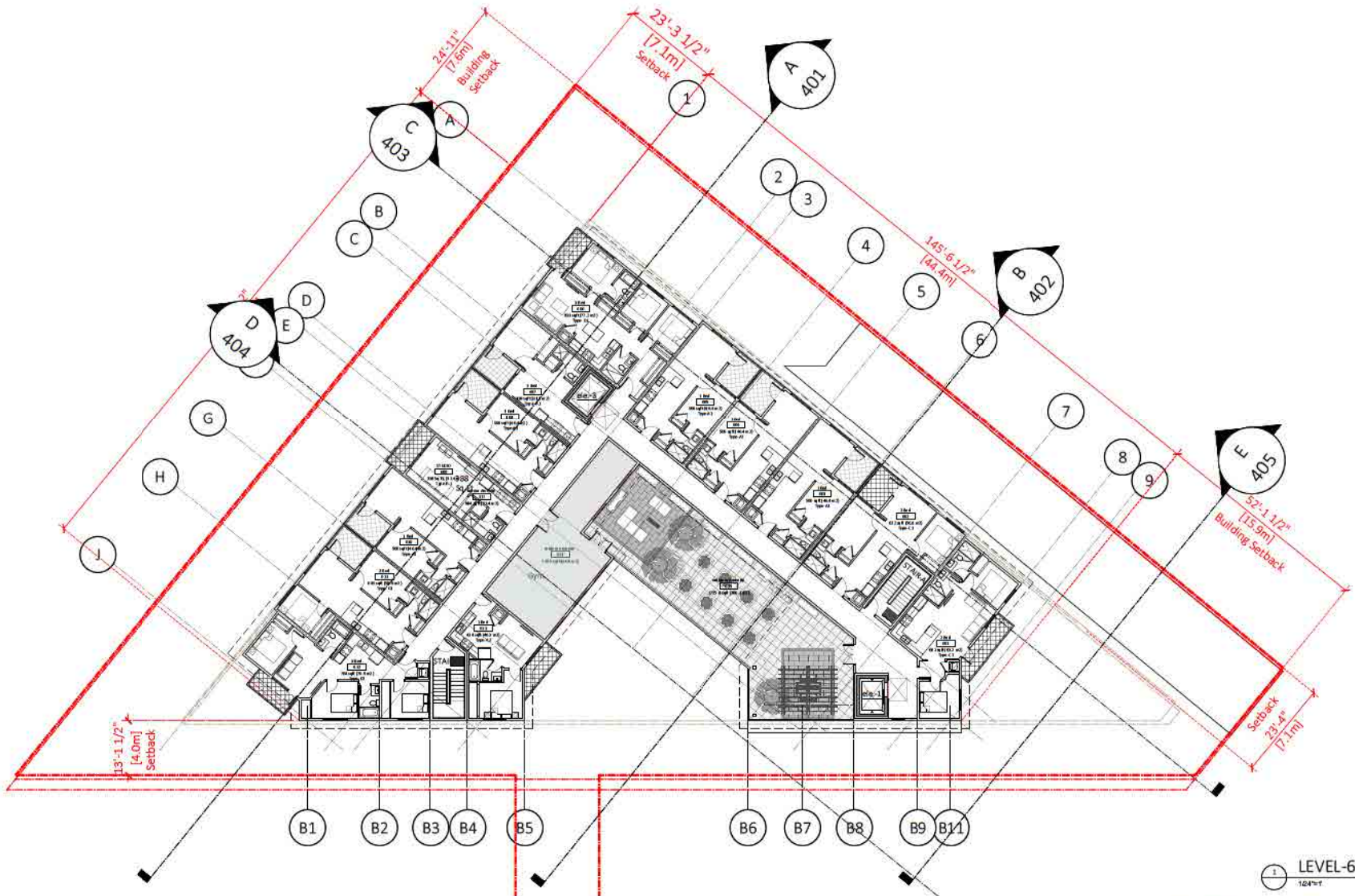
REV	DESCRIPTION	BY	DATE



LEVEL-4,5
1:24"=1'
total floor area:- 11409.03 sq.ft. (1059.93 m2)



REV.	DESCRIPTION	DATE



LEVEL-6
1/24"=1'

total floor area:- 8854.1 sq. ft. (822.6 m²)



FLAJ
ARCHITECTURE

Unit 209- 8321 King George Blvd
Surrey BC, V3K 1G1
www.flajarchitecture.ca
contact@flajarchitecture.ca
Ph: 604-503-4484

PROJECT INFO:
MIX-USE RENTAL BUILDING AT
18453 18 AVE SURREY BC

CLIENT:
GENARIS PROPERTIES

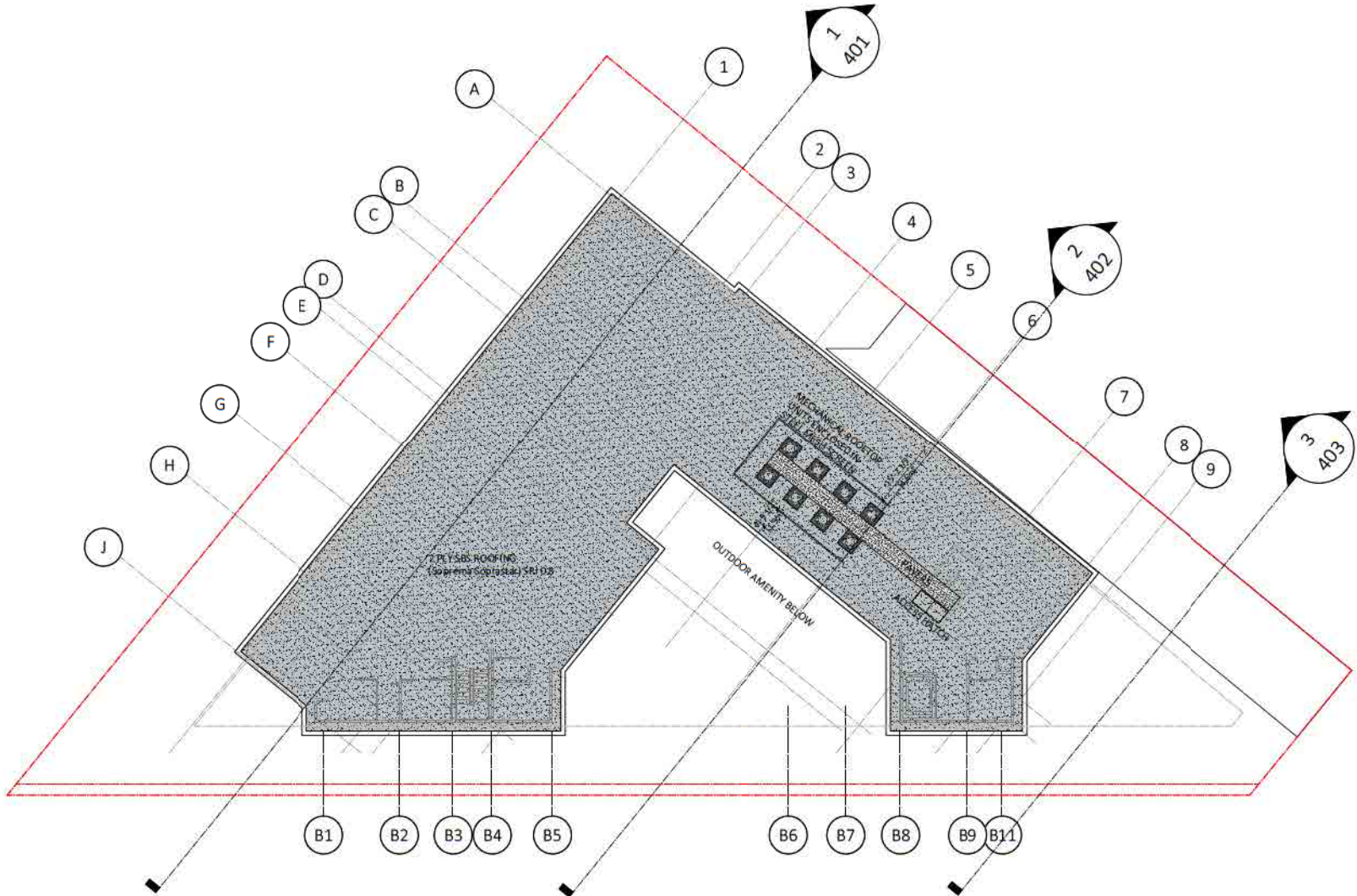
DATE
1-Dec-23

PROJECT NO:
22-218

SCALE: 1/24"=1'
DRAWN BY: BS

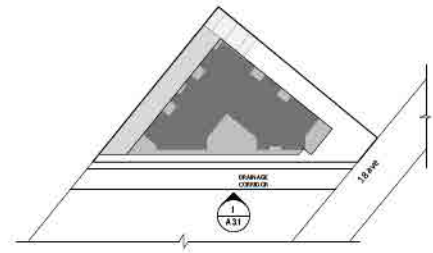
REV	DESCRIPTION	DATE

LEVEL-6
ROOF PLAN



1 Roof Level
1/24"=1'

A-206



1 SOUTH/WEST Elevation (18 AVENUE)
1/20"=1'

PROJECT INFO:
MIX-USE RENTAL BUILDING AT
18453 18 AVE SURREY BC
CLIENT:
GENARIS PROPERTIES

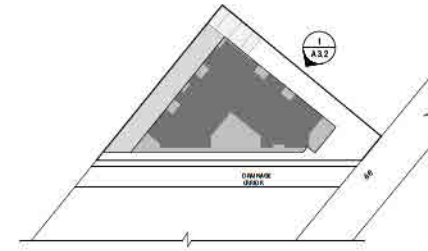
DATE
19-Feb-24

PROJECT NO:
22-218

SCALE: DRAWN BY:
1/20"=1' BS

REV	DESCRIPTION	BY	DATE

SOUTH-WEST
ELEVATION



FLAJ
ARCHITECTURE

Unit 209- 8321 King George Blvd
Surrey BC, V3X 1G1
www.flajarchitecture.ca
contact@flajarchitecture.ca
Ph: 604-603-4484

PROJECT INFO:
MIX-USE RENTAL BUILDING AT
16453 18 AVE SURREY BC
CLIENT:
GENARIS PROPERTIES

DATE
19-Feb-24

PROJECT NO:
22-218

SCALE: 1/16"=1'
DRAWN BY:
BS

REV	DESCRIPTION	DATE

EAST
ELEVATION

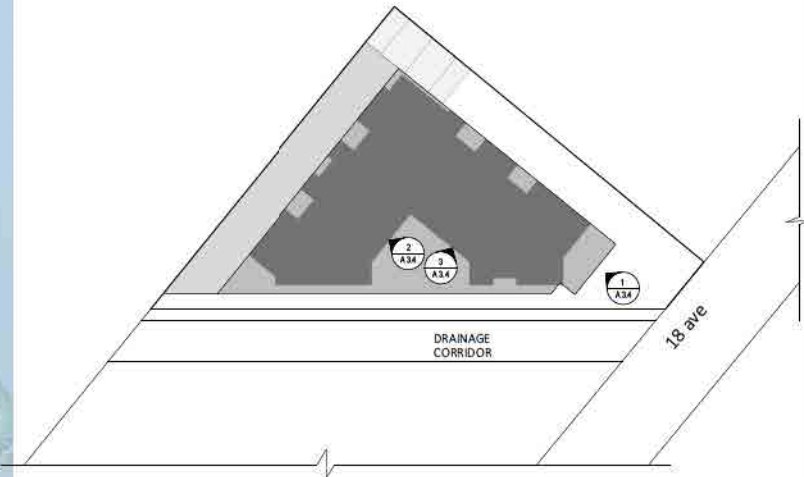
A-302



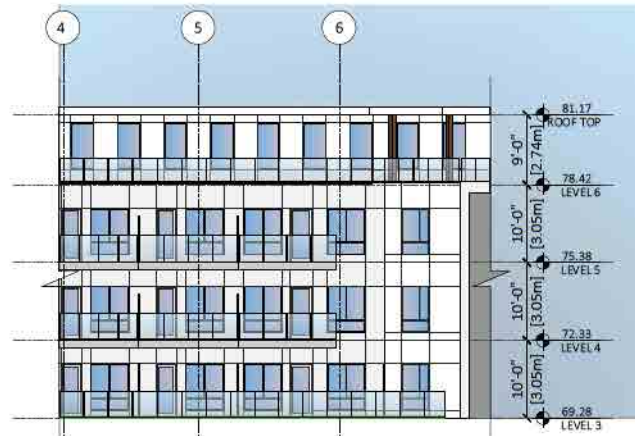
East Elevation
1/16"=1'



1 South Elevation (18 AVENUE)
1/8"=1'

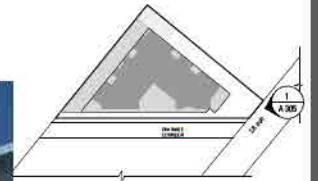


2 North Elevation
1/8"=1'



3 East Elevation
1/8"=1'

REV	DESCRIPTION	DATE



Unit 209- 8321 King George Blvd
 Surrey BC, V3K 1G1
 www.flajichitecture.ca
 contact@flajichitecture.ca
 Ph: 604-603-4484

PROJECT INFO:
 MIX-USE RENTAL BUILDING AT
 18453 18 AVE SURREY BC
 CLIENT:
 GENARIS PROPERTIES

DATE
 19-Feb-24

PROJECT NO:
 22-218

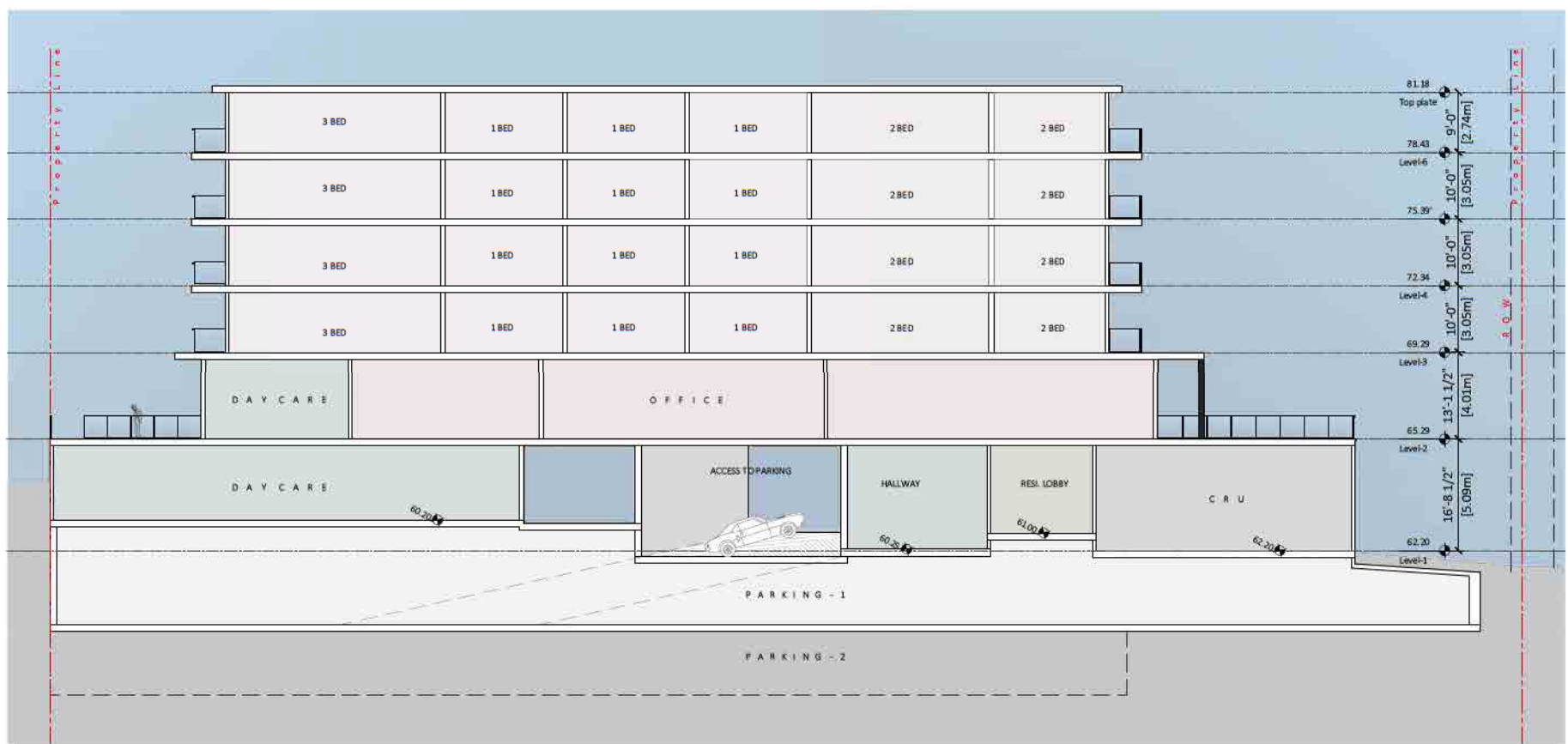
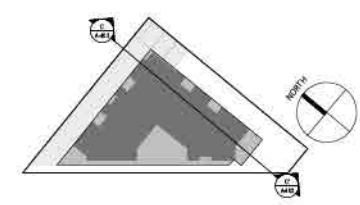
SCALE:
 1/16"=1'

DRAWN BY:
 BS

REV	DESCRIPTION	DATE

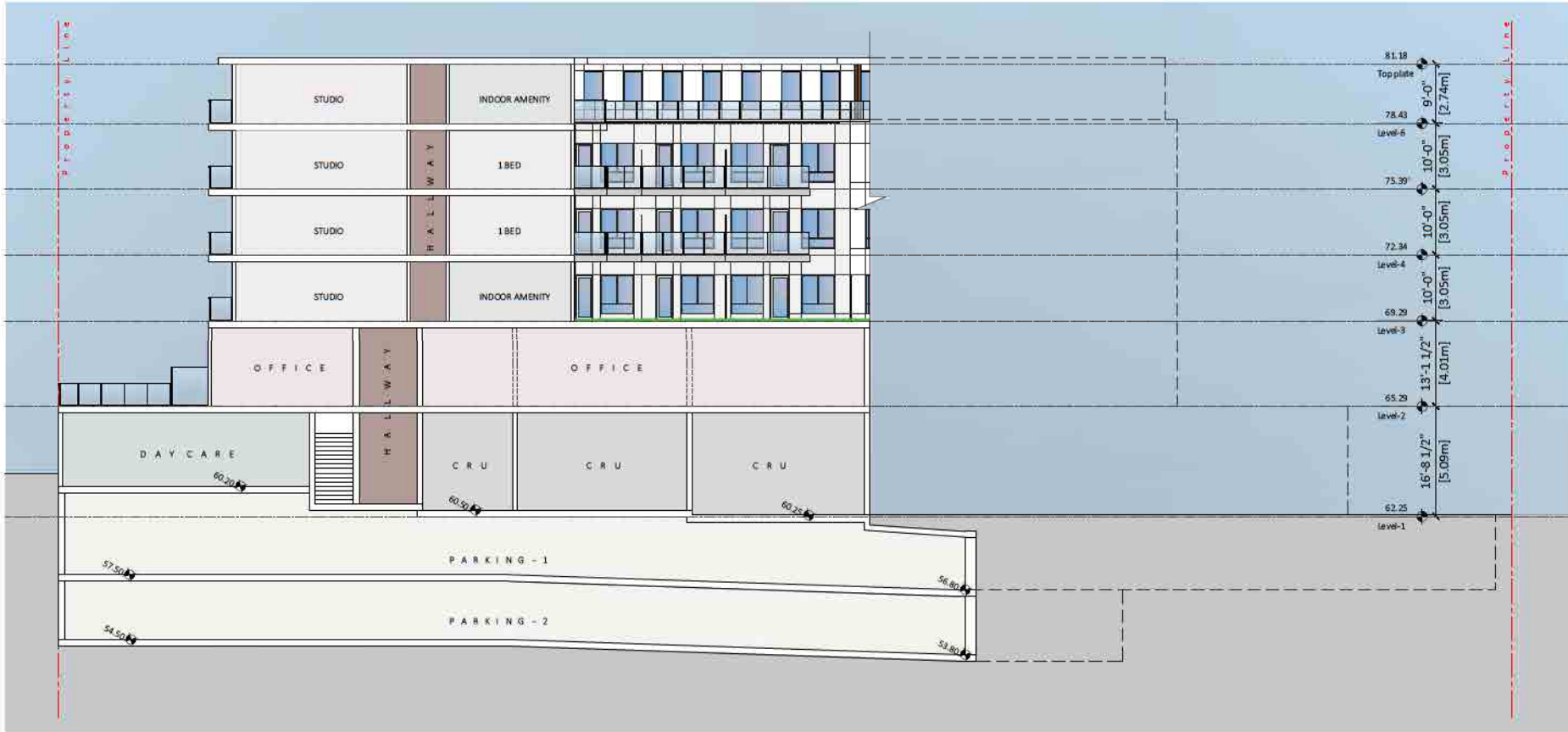
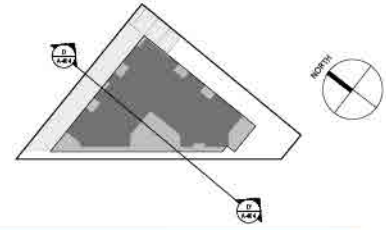
3D
 VIEW-1

A-305



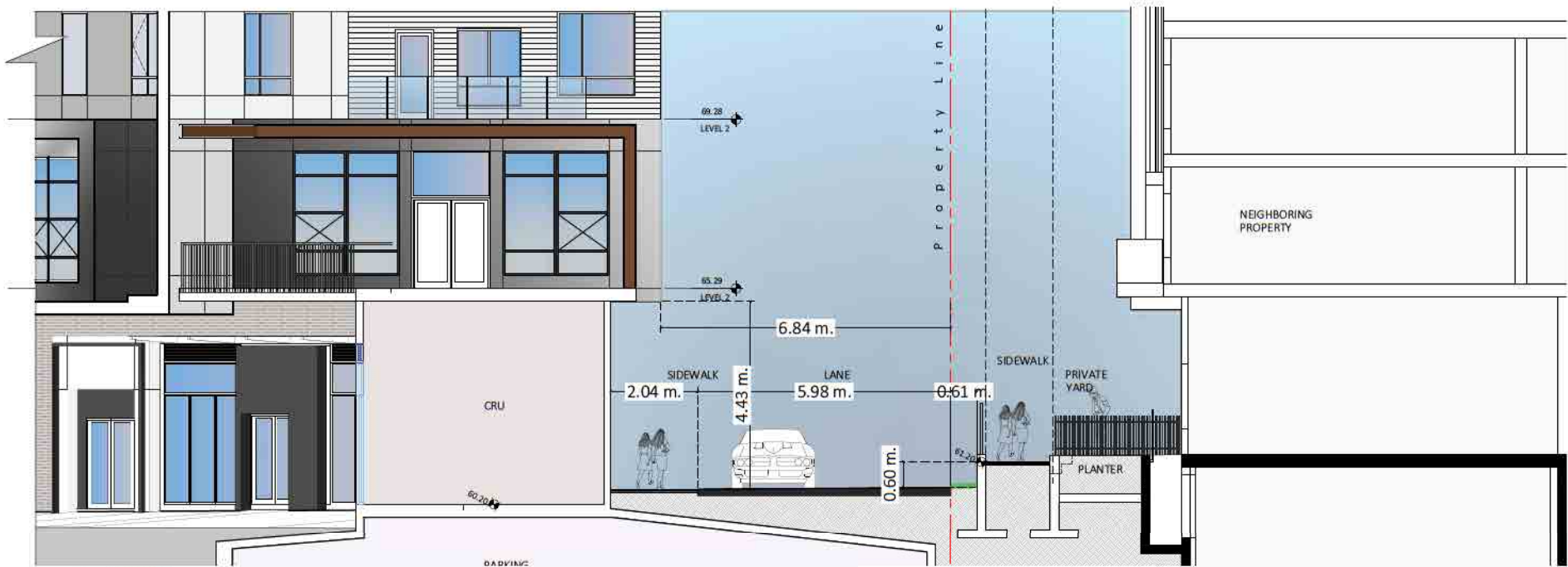
1
10 Section-C-C'
1/8"=1'

REV	DESCRIPTION	DATE

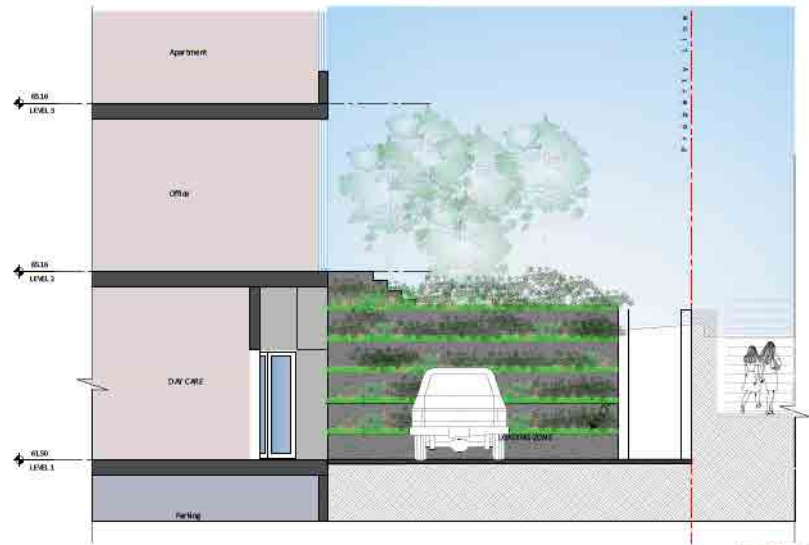


Section-D-D'
1/16" = 1'-0"

REV	DESCRIPTION	DATE



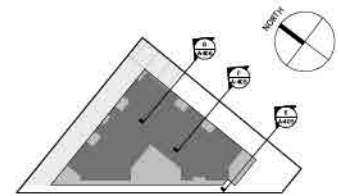
1
100 Section-E
SW-T



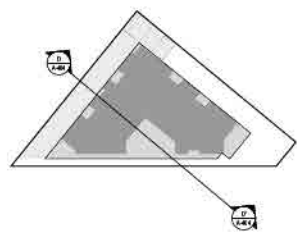
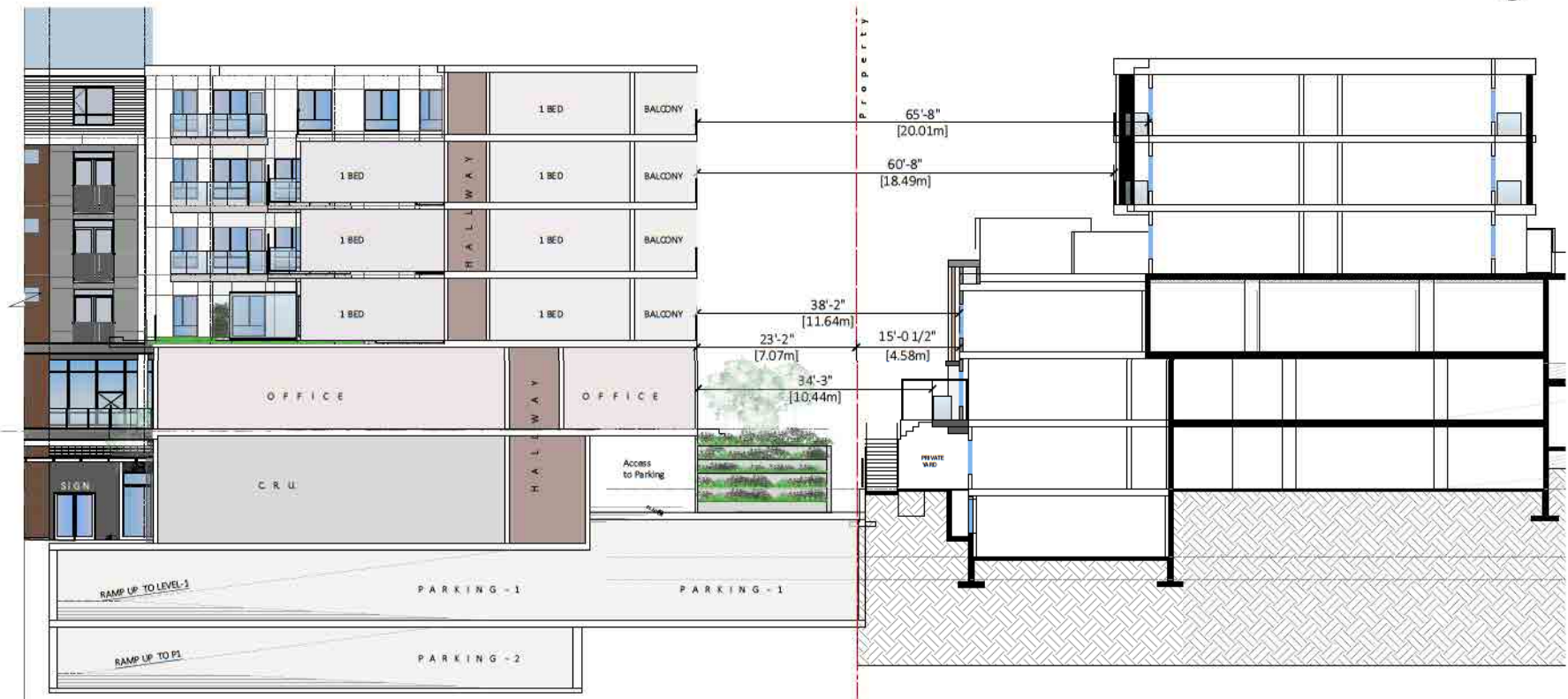
1
100 Section-F
SW-T



1
100 Section-G
SW-T



REV	DESCRIPTION	DATE



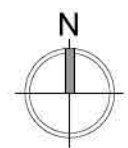
Section-D-D'
1/16"=1'

REV	DESCRIPTION	DATE

©Copyright reserved. This drawing and design is the property of pmg Landscape Architects and may not be reproduced or used for other projects without their permission.

pmg
LANDSCAPE ARCHITECTS
 Suite C100 - 4185 9th Creek Drive
 Burnaby, British Columbia, V5C 6S9
 p: 604.294-0011 • f: 604.294-0222

SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
1	24.05.23	REVISED CITY/COUNCIL	SA
2	24.05.23	ADDITIONAL COORDINATION	SA
3	24.05.23	CITY/COUNCIL	SA
4	24.05.23	REVISED PLAN	SA
5	24.05.23	ADP SUBMISSION	SA

CLIENT:

PROJECT:

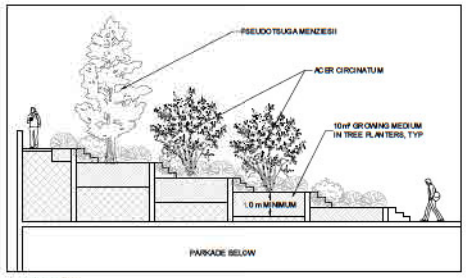
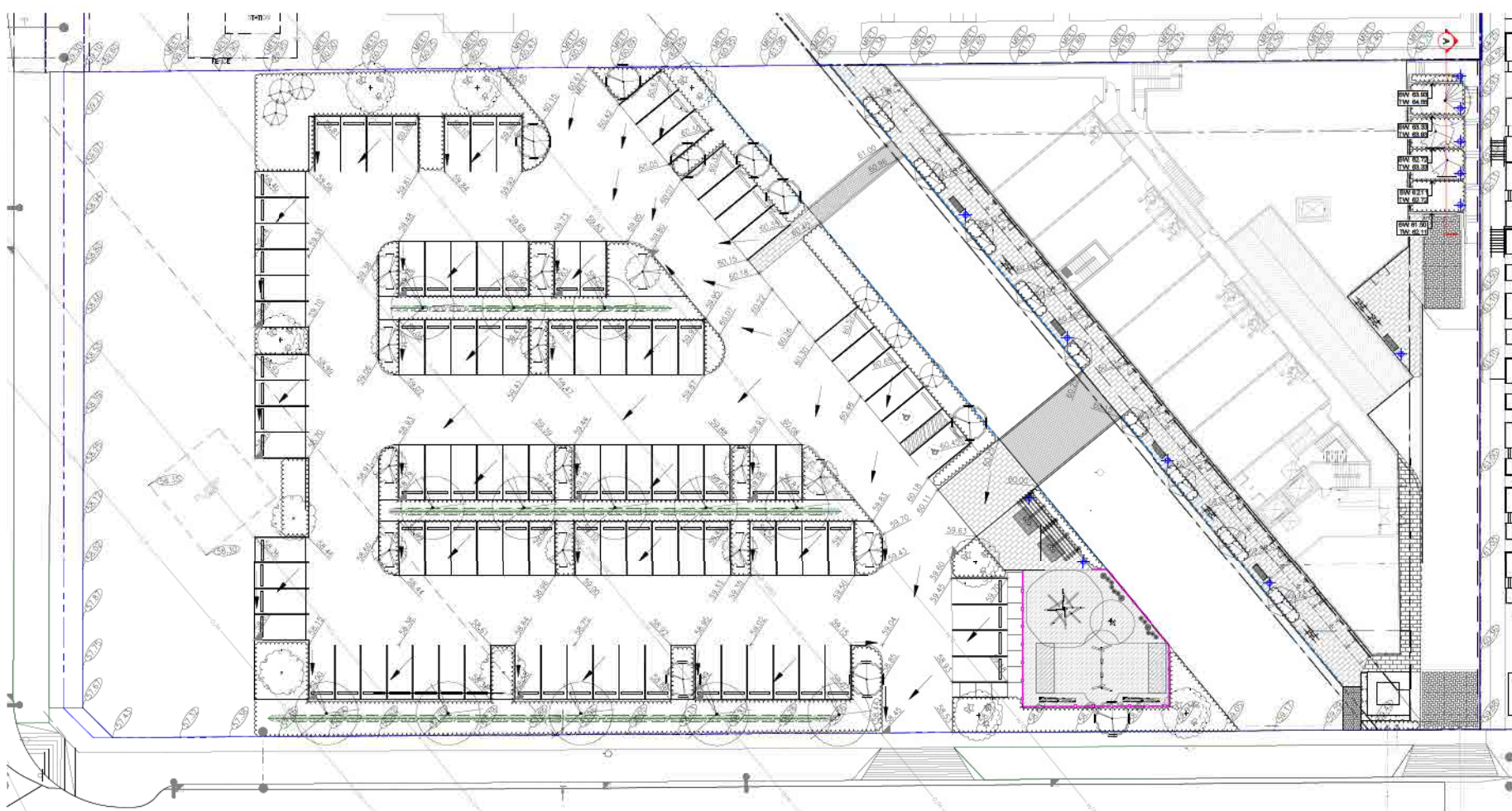
MIXED-USE RENTAL BUILDING
 16453 18 AVE
 SURREY, BC

DRAWING TITLE:
GRADING AND FENCING PLAN

DATE: 2023 MAR 09 DRAWING NUMBER:
 SCALE: 1/8" = 1'-0"
 DRAWN: SA
 DESIGN: SA
 CHECKED: BK

L6
 OF 7

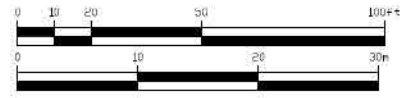
2224-72P PMG PROJECT NUMBER: 22-234



SECTION A
 1/8" = 1'-0"

FENCING LEGEND

- 40mm METAL RAIL FENCE
- 1.0m RAIL FENCE AT PLAY AREA



INTER-OFFICE MEMO

**TO: Director, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Review Manager, Engineering Department

DATE: April 2, 2024 **PROJECT FILE: 7823-0134-00**

**RE: Engineering Requirements
Location: 16453 18 Ave**

OCP AMENDMENT/NCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment/NCP Amendment except for the requirements listed below.

The applicant is required to complete a sanitary sewer capacity analysis downstream of the subject application due to the proposed Land use plan amendment which will result in increased population and subsequent sanitary demand. The applicant will be required to resolve any downstream pipe capacity constraints.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 3.942m to achieve ultimate 14.0m from centreline along 164 Street.
- Dedicate 10.0 m drainage corridor.
- Dedicate a 3.0m x 3.0m corner cut at 164 Street and 18 Avenue.
- Register 0.5m SRW along all development frontages.
- Register shared access easement along eastern property line.

Works and Services

- Construct east side of 164 Street to collector road standards.
- Construct north side of 18 Avenue.
- Construct concrete letdown to 18 Avenue.
- Construct 10.0 m drainage corridor along BC Hydro right-of-way.
- Construct storm, water and sanitary main along 18 Avenue and 164 Street.
- Provide storm, water and sanitary service connections to proposed lot.
- Provide and register restrictive covenant for on-site stormwater mitigation features.

Janelle Frank, P.Eng.
Development Review Manager

RH

NOTE: Detailed Land Development Engineering Review available on file

Department: **Planning and Demographics**
 Date: **January 26, 2024**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23 0134 00**

The proposed development of **65** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	8
---	---

Projected Number of Students From This Development In:	
Elementary School =	5
Secondary School =	2
Total Students =	7

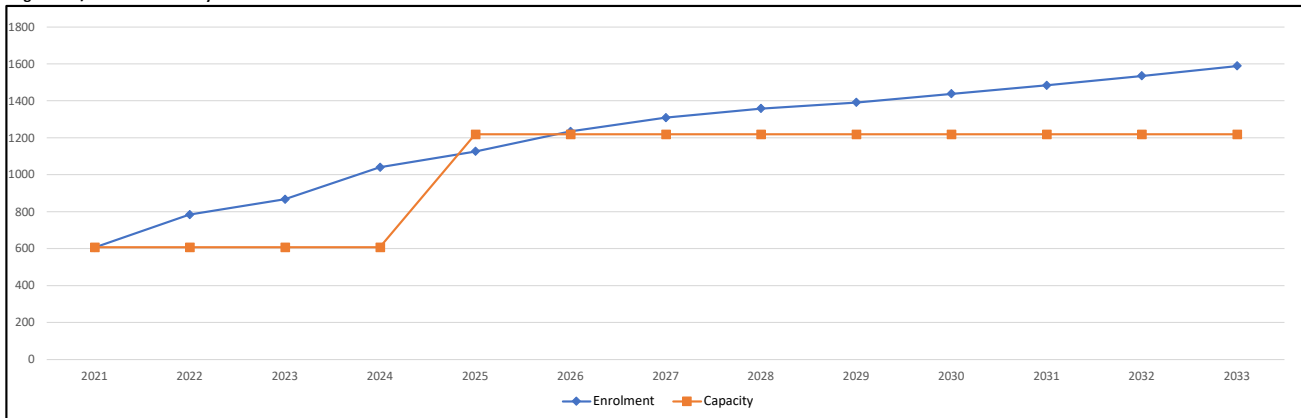
Current Enrolment and Capacities:	
Edgewood /Ta'talu Elementary	
Enrolment	867
Operating Capacity	607
# of Portables	13
Earl Marriott Secondary	
Enrolment	1398
Operating Capacity	1500
# of Portables	4

Summary of Impact and Commentary
 The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

The area around south Surrey has seen significant development in recent years and this development will continue based on the City's NCP. Given the development in the area, the new Edgewood Elementary opened in January 2021 but as of September 2023, the school has 13 portables on site. To support further enrolment growth in this area, a new 27- classroom Ta'talu Elementary school, located below 20th Avenue, is targeted to open January 2025. Until then, the district will rely on portables to make up the seat shortfall and possible boundary changes. Once Ta'talu opens, it will feed to Earl Marriott Secondary school.

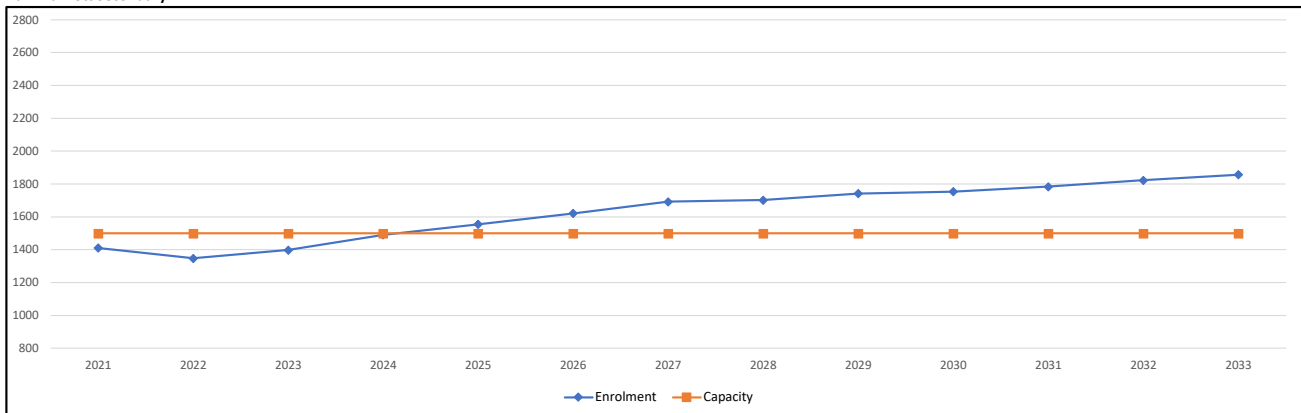
To relieve the pressure at Earl Marriot, a new 1500 capacity high school, Grandview Heights Secondary, located on 26th Ave next to the existing Pacific Heights Elementary opened September 2021. New Boundaries approved in March 2019 are now in place.

Edgewood /Ta'talu Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Earl Marriott Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

9.0 TREE PRESERVATION SUMMARY

Surrey Project No: N/A

Address: 16453 18 Ave, Surrey, B.C., V3S 9N2

Registered Arborist: Francis Klimo

On-Site Trees	Number of Trees
Protected Trees Identified <i>(on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas and non-bylaw protected trees)</i>	33
Protected Trees to be Removed	28
Protected Trees to be Retained. <i>(excluding trees within proposed open space or riparian areas)</i>	4
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 17 X one (1) = 17	17
All other Trees Requiring 2 to 1 Replacement Ratio 11 X two (2) = 22	22
Replacement Trees Proposed	59
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	N/A

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	3
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1 X one (1) = 1	1
All other Trees Requiring 2 to 1 Replacement Ratio 2 X two (2) = 2	2
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

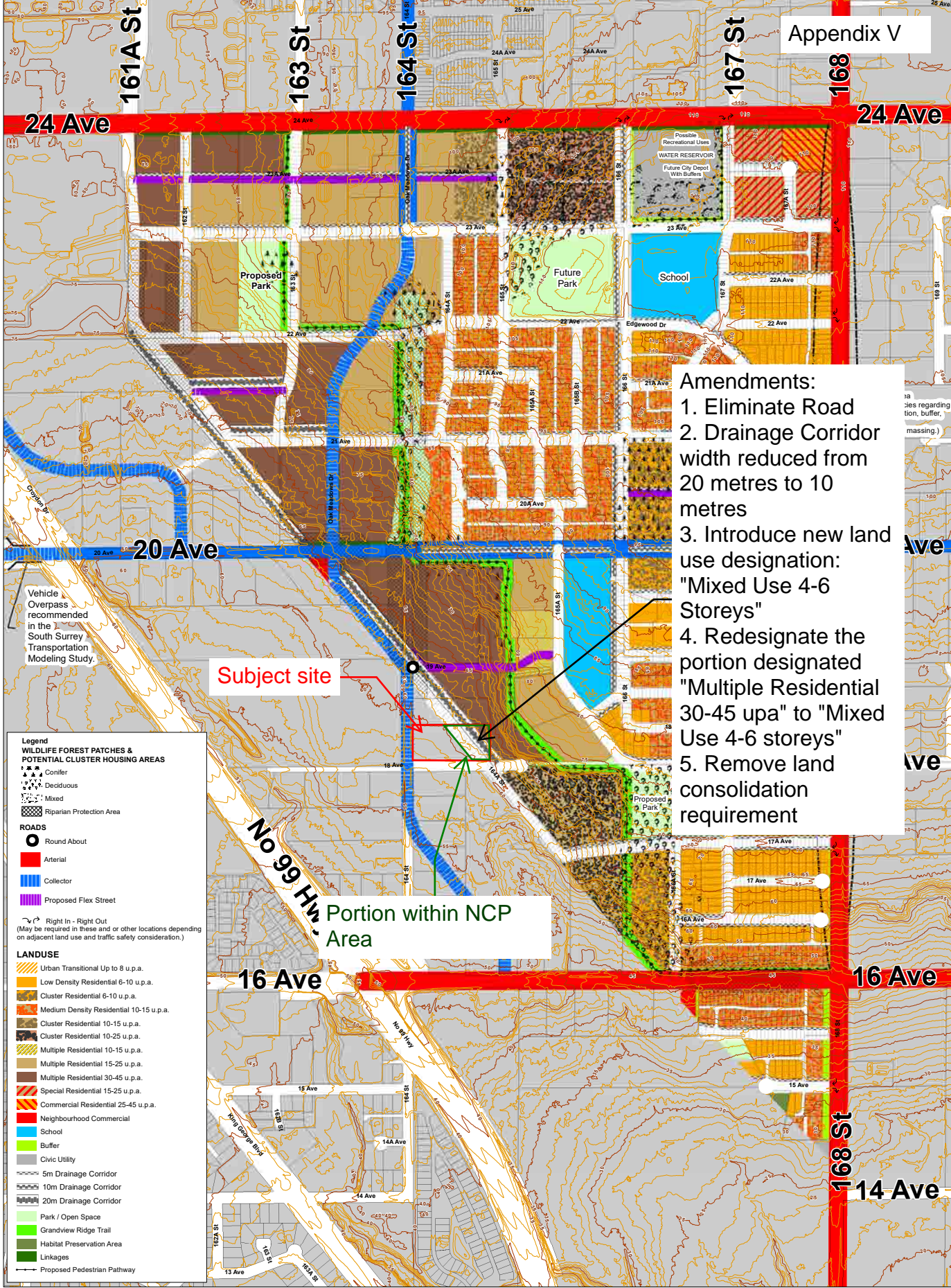
Summary, report and plan prepared and submitted by:

Francis Klimo

March 21, 2023

(Signature of Arborist)

Date



- Amendments:**
1. Eliminate Road
 2. Drainage Corridor width reduced from 20 metres to 10 metres
 3. Introduce new land use designation: "Mixed Use 4-6 Storeys"
 4. Redesignate the portion designated "Multiple Residential 30-45 upa" to "Mixed Use 4-6 storeys"
 5. Remove land consolidation requirement

Subject site

Portion within NCP Area

Legend

WILDLIFE FOREST PATCHES & POTENTIAL CLUSTER HOUSING AREAS

- Conifer
- Deciduous
- Mixed
- Riparian Protection Area

ROADS

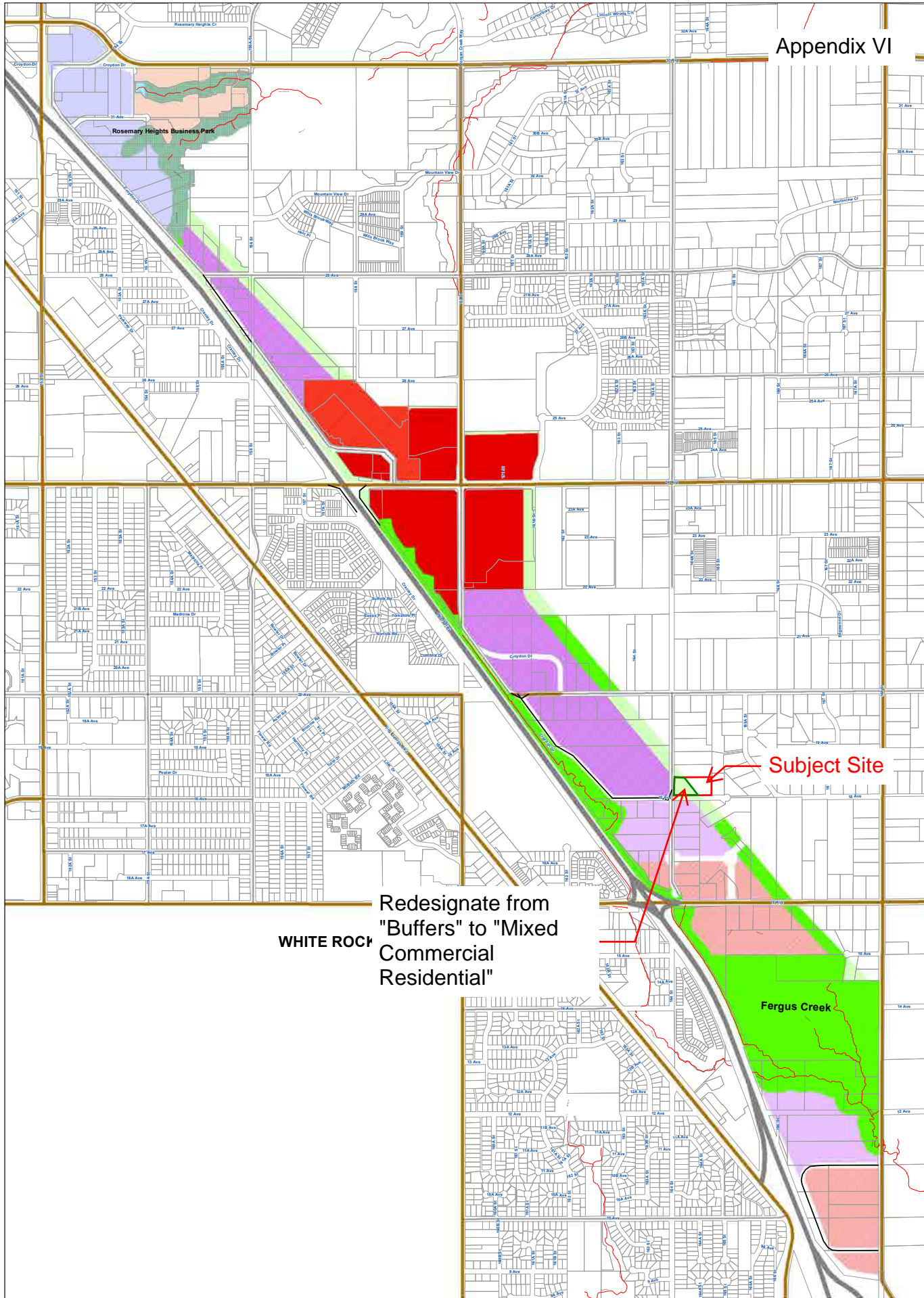
- Round About
- Arterial
- Collector
- Proposed Flex Street
- Right In - Right Out (May be required in these and/or other locations depending on adjacent land use and traffic safety consideration.)

LANDUSE

- Urban Transitional Up to 8 u.p.a.
- Low Density Residential 6-10 u.p.a.
- Cluster Residential 6-10 u.p.a.
- Medium Density Residential 10-15 u.p.a.
- Cluster Residential 10-15 u.p.a.
- Cluster Residential 10-25 u.p.a.
- Multiple Residential 10-15 u.p.a.
- Multiple Residential 15-25 u.p.a.
- Multiple Residential 30-45 u.p.a.
- Special Residential 15-25 u.p.a.
- Commercial Residential 25-45 u.p.a.
- Neighbourhood Commercial
- School
- Buffer
- Civic Utility
- 5m Drainage Corridor
- 10m Drainage Corridor
- 20m Drainage Corridor
- Park / Open Space
- Grandview Ridge Trail
- Habitat Preservation Area
- Linkages
- Proposed Pedestrian Pathway

Grandview Heights NCP Area #2 (Sunnyside Heights)
 City of Surrey Planning & Development Department

Stage 1 Approved By Council: July 26, 2007
 Stage 2 Approved By Council Nov. 15, 2010
 Last Amended 25 March 2024



Redesignate from
"Buffers" to "Mixed
Commercial
Residential"

Subject Site

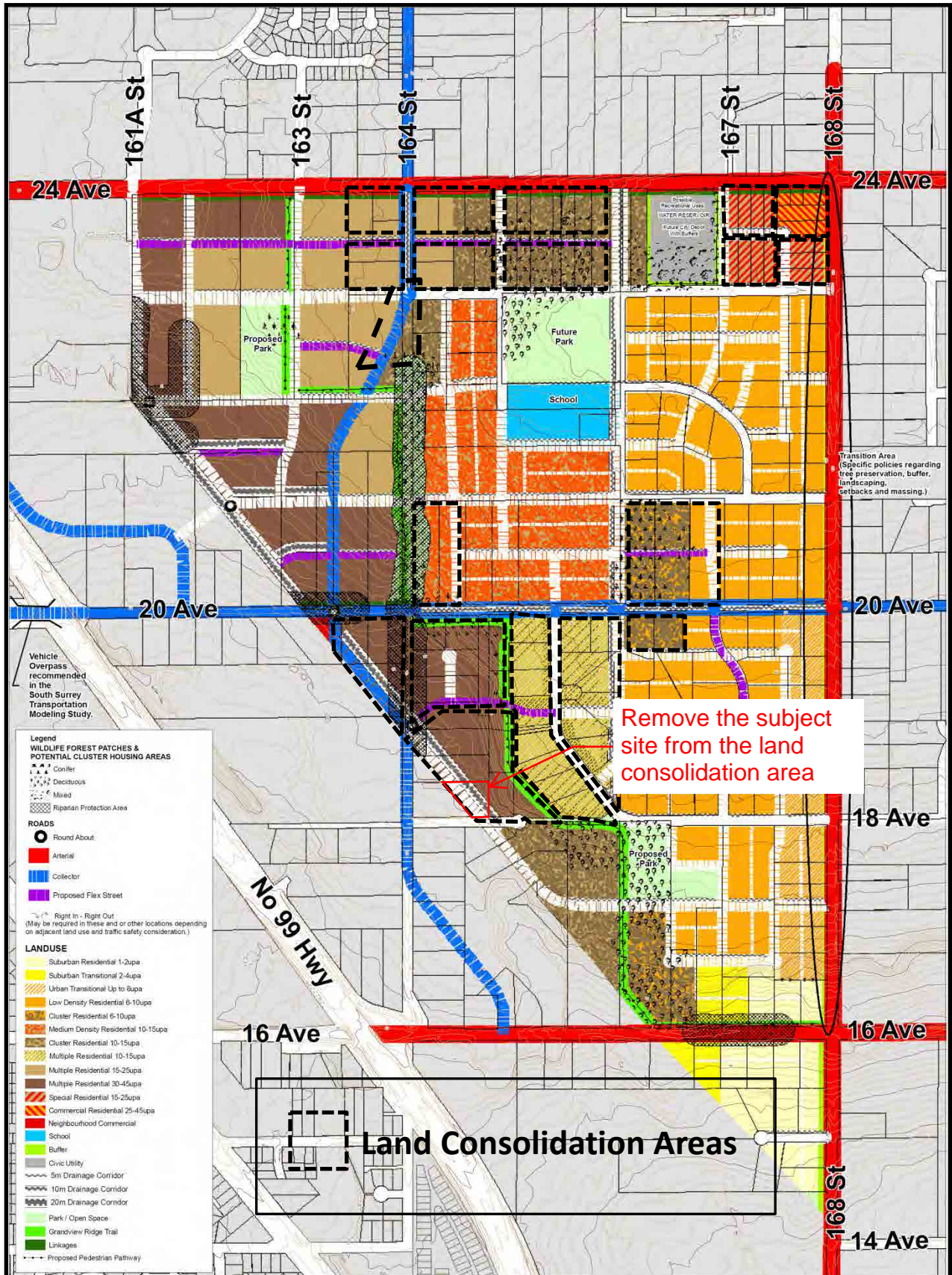
HIGHWAY # 99 CORRIDOR Stage 1
LAND USE CONCEPT PLAN
City of Surrey Planning & Development Department

- MIXED COMMERCIAL RESIDENTIAL LAND USES
- COMMERCIAL
- COMMERCIAL/BUSINESS PARK
- BUSINESS PARK
- BUSINESS PARK LIGHT INDUSTRIAL
- BUFFERS
- HABITAT PRESERVATION AREA
- CREEKS (CLASS A FISH BEARING)
- HIGHWAYS
- ARTERIAL ROADS
- COLLECTOR ROADS
- PROPOSED ROADS



Approved By Council on December 8, 2003
Revised 31 March 2016

Figure 2.3 Land Consolidation Areas



Oak Meadows Dr

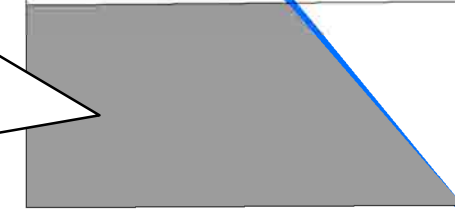
165A St

RM

19 Ave

URB

FROM
"MIXED
EMPLOYMENT"
TO
"MULTIPLE
RESIDENTIAL"



18 Ave

Croydon Dr

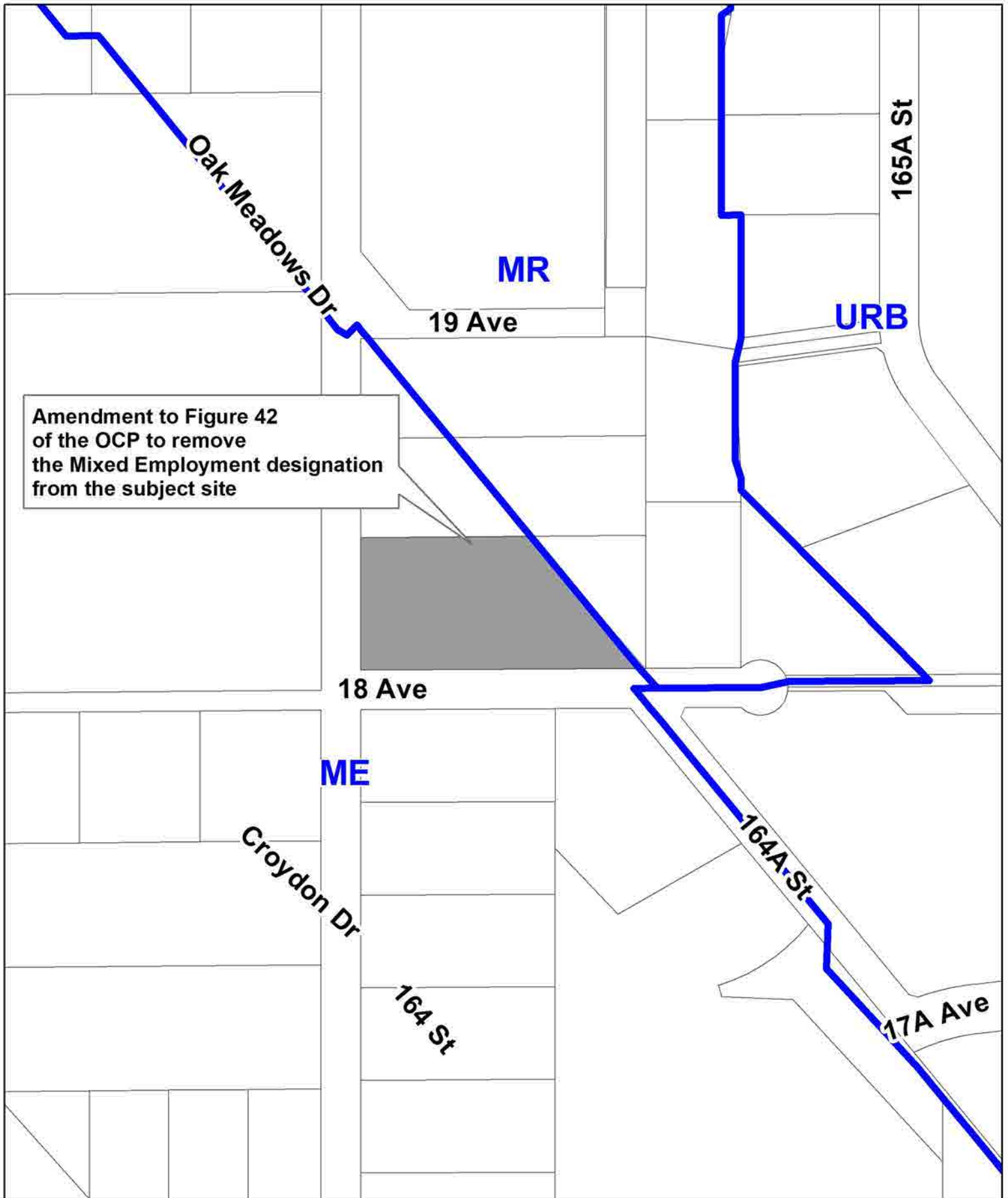
ME

164A St

164 St

17A Ave





CITY OF SURREY
HOUSING AGREEMENT
Mixed-Use

THIS HOUSING AGREEMENT made the 02 day of April, 2024.

BETWEEN:

CITY OF SURREY, a municipal corporation having its offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the “**City**”)

OF THE FIRST PART

AND:

1441472 BC LTD, a corporation having its offices at 206 – 15272 Croydon Dr, Surrey, B.C. V3S 0Z5

(the “**Owner**”)

OF THE SECOND PART

WHEREAS:

- A. The Owner is the legal and beneficial owner of those certain lands and premises located in the City of Surrey, in the Province of British Columbia, legally described as:

Parcel Identifier: 006-532-128
LOT 36, SECTION 13, TOWNSHIP 1, NEW WESTMINSTER LAND
DISTRICT, PLAN 42726

(the “**Lands**”);

- B. The Owner proposes to use the Lands for the development of a mixed-used development to be comprised of 65 rental units within one 6-storey building (the “**Development**”);
- C. The Owner has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Owner (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

1. **DEFINED TERMS**

- 1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:
- (a) “**Agreement**” means this housing agreement and any amendments to or modifications of the same;
 - (b) “**City**” means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
 - (c) “**City Personnel**” means all of the City’s elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
 - (d) “**Claims and Expenses**” means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
 - (e) “**Development**” means as defined in Recital B;
 - (f) “**Dwelling Unit**” means each of the 65 dwelling units to be constructed within the Development;
 - (g) “**Lands**” means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act* and a subdivision pursuant to the *Strata Property Act* of British Columbia);
 - (h) “**Owner**” means the person named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands and, without limitation, if the Lands are subdivided by way of a strata plan under the *Strata Property Act* of British Columbia, then “Owner” includes the strata corporation thereby created;
 - (i) “**Rental Units**” means 65 Dwelling Units which must be made available by the Owner to the general public at arms’ length for use as residential rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and any regulations pursuant thereto; and
 - (j) “**Term**” means 60 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

2. RESTRICTION ON OCCUPANCY OF DWELLING UNITS

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement.
- 2.2 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.3 All of the Rental Units must be owned by the same Owner(s).
- 2.4 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.

3. LIABILITY

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfilment of the covenants contained in this Agreement or otherwise.

4. NOTICE

- 4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

(a) As to the City:

City of Surrey
13450 – 104 Avenue
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

(b) As to the Owner:

Owner Name 1441472 BC LTD

Owner Address 206 – 15272 Croydon Dr, Surrey, BC V3S 0Z5

Attention: Harman Dhillon

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered and not mailed.

5. GENERAL

5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.

5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City without the consent of the Owner.

5.3 **City's Other Rights Unaffected.** Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Local Government Act* and the *Community Charter*, as amended from time to time and the rights, powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.

5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge, agree and declare that this Agreement is entered into for the sole purpose of benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.

- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.
- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.
- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on a solicitor-client basis.
- 5.10 **Subdivision/Consolidation.** If the Lands are subdivided or consolidated at any time hereafter either under the provisions of the *Land Title Act* or under the *Strata Property Act*, then upon the deposit of a plan of subdivision, strata plan, consolidation plan or similar plan or application as the case may be the rights, benefits, burdens, obligations, and covenants contained in this Agreement will continue to charge each of the new parcels, lots, or other subdivided or consolidated parcels and areas so created.
- 5.11 **Subdivision by Strata Plan.** If the Lands, or any portion thereof, are subdivided by a strata plan, this Agreement will charge title to the strata lots and the common property comprising such strata plan and:
- (a) this Agreement will be registered against each individual strata lot and noted on the common property sheet;
 - (b) the strata corporation or the strata corporations created will perform and observe the Owner's covenants in this Agreement, solely at the expense of the strata lot owners; and
 - (c) the liability of each strata lot owner for the performance and observance of the Owner's covenants herein will be in proportion to the unit entitlement of his, her or its strata lot as established by the strata plan.

- 5.12 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.13 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.
- 5.14 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.15 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent of this Agreement.
- 5.16 **Counterparts.** This Agreement may be executed in any number of counterparts and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument, provided that any party delivering this Agreement via facsimile or e-mail will deliver to the other party any originally executed copy of this Agreement forthwith upon request by the other party.

5.17 **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.


IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

CITY OF SURREY

By: _____
Authorized Signatory
Brenda Locke,
Mayor
City of Surrey

By: _____
Authorized Signatory
Jennifer Ficocelli,
City Clerk
City of Surrey

1441472 BC LTD

By:  _____
Authorized Signatory
Name: Harmunpreet Dhillon
Title: Director

CITY OF SURREY

BYLAW NO. 21203

A bylaw to amend the provisions of Surrey Official
Community Plan Bylaw, 2013, No. 18020, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Official Community Plan Bylaw, 2013, No. 18020, as amended, is amended as follows:
 - a. "Figure 3, General Land Use Designations" of the Land Uses and Densities Section is amended by changing the land use designation for the area shown shaded in grey on the plan labeled Schedule A, attached hereto as follows:

FROM: MIXED EMPLOYMENT (ME)

TO: MULTIPLE RESIDENTIAL (MR)

Portion of PID: 006-532-128
Lot 36 Section 13 Township 1 New Westminster District Plan 42726

(Portion of 16453 – 18 Avenue)

- b. "Table 7A: Land Use Designation Exceptions" is amended to include 16453 – 18 Avenue, as shown below:

Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
"Bylaw # 21203	Multiple Residential	16453 – 18 Avenue PID: 006-532-128 Lot 36 Section 13 Township 1 New Westminster District Plan 42726	Density permitted up to 2.5 FAR (net calculation)"

- c. "Figure 42: Major Employment Areas" of the Land Uses and Densities Section is amended by removing the Mixed Employment designation for the area shown shaded in grey on the plan labeled Schedule B, attached to this Bylaw.

2. This Bylaw shall be cited for all purposes as "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21203".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PUBLIC HEARING HELD thereon on the th day of , 20__.

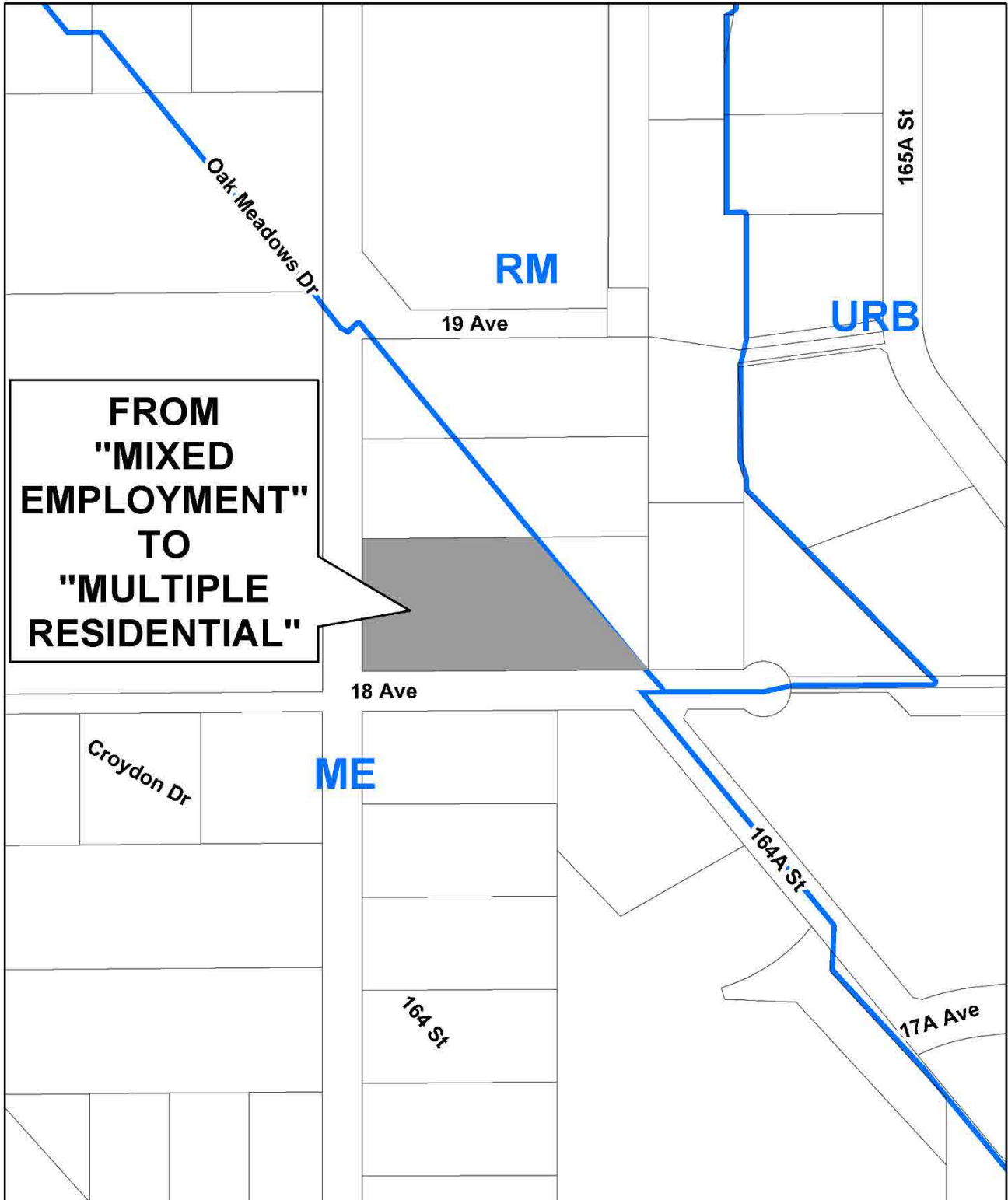
PASSED THIRD READING on the th day of , 20__.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20__.

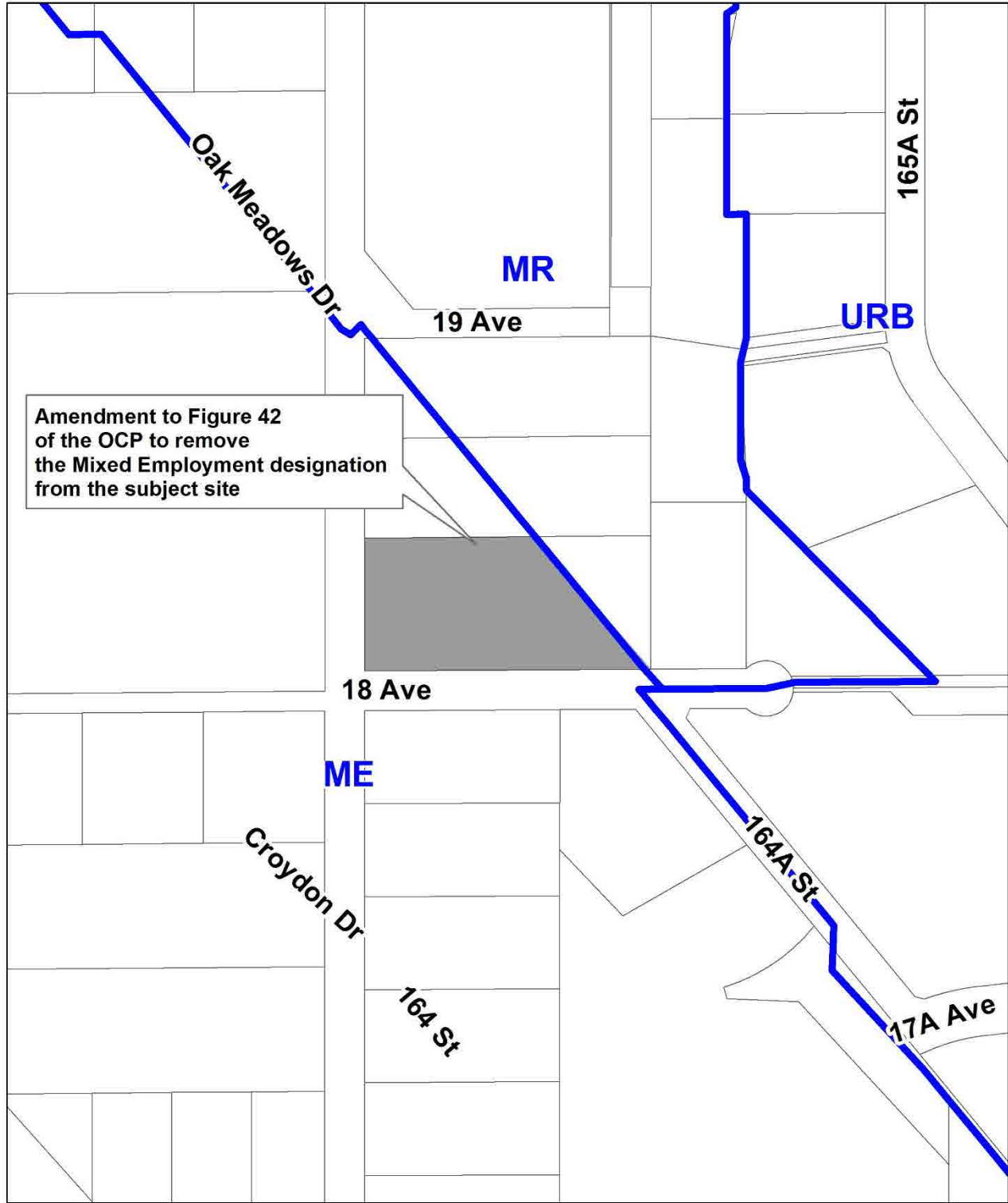
_____MAYOR

_____CLERK

SCHEDULE A



SCHEDULE B



OCP Amendment 23-0134-00

Amendment to Figure 42 of the OCP to remove the Mixed Employment designation from the subject site



CITY OF SURREY

BYLAW NO. 21204

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 198 (CD 198), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
FROM: ONE-ACRE RESIDENTIAL ZONE (RA)
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 198" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 198	16453 - 18 Avenue	Lot 36, Plan 42726	21204	N/A"

2. This Bylaw shall be cited for all purposes as "Surrey Comprehensive Development Zone 198 (CD 198), Bylaw, 2024, No. 21204".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PUBLIC HEARING HELD thereon on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE on the day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 198 (CD 198)

This Comprehensive Development Zone 198 (CD 198) as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Description	PID
16453 – 18 Avenue	Lot 36 Section 13 Township 1 NWD Plan 42726	006-532-128

(collectively the "Lands")

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *multiple unit residential buildings* and related *amenity spaces*, and neighbourhood commercial uses, which are to be developed in accordance with a *comprehensive design* where *density* bonus is provided.

B. Permitted Uses

Lands, buildings and *structures* shall only be used for the following uses, or a combination thereof:

Principal Uses:

Multiple unit residential buildings, provided that no residential uses are located on the ground floor.

Accessory Uses:

1. The following uses are permitted, provided that they are restricted to the first and second floors of a *multiple unit residential building*:
 - (a) *Retail stores*;
 - (b) *Personal services uses*;
 - (c) *Office uses*;
 - (d) *General services uses* excluding funeral parlours, *drive-through banks* and *vehicle rentals*;
 - (e) *Indoor recreational facilities*, excluding a gymnasium;
 - (f) *Community service*; and
 - (g) *Child care centres*, regulated by the Community Care and Assisted Living Act, as amended, and the Child Care Licensing Regulation, as amended.
2. *Eating establishments* excluding *drive-through restaurants*, provided that they are restricted to the ground floor of a *multiple unit residential building* and the maximum *gross floor area* of each individual business does not exceed 150 sq. m.

C. Lot Area

Not applicable to this Zone.

D. Density

1. Maximum Density:

Maximum *density* shall be as follows:

- (a) 1 *dwelling unit*; and
- (b) The lesser of *floor area ratio* of 0.1 or *building area* of 300 sq. m.

2. Permitted Density Increases:

- (a) Maximum *floor area ratio* of 2.5, excluding:
 - i. The indoor *amenity space* requirement (pursuant to Section J.1. of this Zone).

3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D. of this Zone, and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Sub-section D.2. of this Zone.

E. Lot Coverage

1. The maximum *lot coverage* for all *buildings* and *structures* shall be 65%.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E. of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1. of this Zone.

F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	South Yard	North Yard	East Yard	West Yard
<i>Principal and Accessory Buildings and Structures</i> ¹	4.0 m	7.0 m	7.0 m	4.0 m

1 Notwithstanding Section A.3.(d) of Part 5, Off-Street Parking and Loading/Unloading, *parking – underground* may be located up to 0.5 m of any *lot line*.

2 Notwithstanding the table above, canopies may encroach into the *setbacks*.

3 Notwithstanding Section A.26.(b) of Part 4, General Provisions, stairs with more than three risers may encroach into the *setbacks*.

4 Notwithstanding Section F. of this Zone, the minimum *setbacks* of *principal buildings* and *accessory buildings and structures* for interior *lot lines* for *lots* created by an air space subdivision may be 0.0 m.

G. Height of Buildings

1. Principal Buildings:
Principal building height shall not exceed 22.0 m.
2. Accessory Buildings:
Excluding indoor *amenity space buildings*, *accessory building height* shall not exceed 4.5 m.

H. Off-Street Parking and Loading/Unloading

1. Parking Calculations:
Refer to Table D.1. of Part 5 Off-Street Parking and Loading/Unloading.
2. Tandem Parking:
Tandem parking is not permitted.
3. Underground Parking:
All required resident *parking spaces* shall be provided as *parking – underground*, excluding visitor *parking spaces* which can be provided as surface *parking*.
4. Parking Areas:
 - (a) Parking within the required *setbacks* is not permitted; and
 - (b) Parking is not permitted in front of the main entrance of a non-ground-oriented *multiple unit residential building*, except for the purpose of short-term drop-off or pick-up and for accessible parking.
5. Bicycle Parking:
A *secure bicycle parking area* shall be provided in a separate bicycle room located within the underground parkade, with convenient access to the outside of the *building*.

I. Landscaping and Screening

1. General Landscaping:

- (a) All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained;
- (b) Along the developed portions of the *lot* which abut a *highway*, a continuous *landscaping* strip a minimum of 1.5 m wide shall be provided within the *lot*; and
- (c) *Highway* boulevards abutting a *lot* shall be seeded or sodded with grass, except at *driveways*.

2. Refuse:

Garbage containers and *passive recycling containers* shall be located within the *parking - underground* or within a *building*.

J. Special Regulations

1. Amenity Spaces:

Amenity space, subject to Section B.6. of Part 4, General Provisions, shall be provided on the *lot* as follows:

- (a) Outdoor *amenity space* in the amount of 3.0 sq. m per *dwelling unit*;
- (b) Outdoor *amenity space* shall not be located within the required *setbacks*;
- (c) Indoor *amenity space* in the amount of 3.0 sq. m per *dwelling unit*; and
- (d) Indoor *amenity space* devoted to a *child care centre* shall be a maximum of 1.5 sq. m per *dwelling unit*.

2. Child Care Centres:

Child care centres shall be located on the *lot* such that these centres have access to an *open space* and play area within the *lot*.

3. Balconies:

Balconies are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 sq. m per *dwelling unit*, whichever is greater.

K. Subdivision

1. Minimum Lot Sizes:

Lots created through subdivision, except *strata lots*, shall conform to the following minimum standards:

- (a) *Lot Area*: Minimum 2,000 sq. m;
- (b) *Lot Width*: Minimum 30 m; and
- (c) *Lot Depth*: Minimum 30 m.

2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

L. Other Regulations

Additional land use regulations may apply as follows:

1. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of the Zoning Bylaw and in accordance with the servicing requirements for the RM-70 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
2. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2021, No. 20291, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 Zone for the residential portion and the C-5 Zone for the commercial portion.
3. Development permits, pursuant to the *OCP*.
4. Trees and vegetation, pursuant to Surrey Tree Preservation Bylaw, as amended.
5. Sign regulations, pursuant to Surrey Sign By-law, as amended.

NOTICE OF PUBLIC HEARING

Surrey City Council will hold an **electronic** Public Hearing

View the livestream at surrey.ca or at City Hall
13450 —104 Avenue

MEETING DATE

MONDAY
APRIL 22, 2024

STARTING AT 7PM

PUBLIC HEARING



"Surrey Comprehensive Development Zone 197 (CD 197), Bylaw, 2024, No. 21200"

Planning Report—Application No. 7920-0040-00

Location: 19585 - 32 Avenue

Purpose of Bylaw: The applicant is requesting to rezone the site shown shaded in grey on the location map from General Agriculture Zone to Comprehensive Development Zone in order to develop a two-storey 3,092 square-metre commercial building on the subject site.

IMPORTANT – PUBLIC HEARING NOTICE – OWNER/OCCUPANT



Office of the City Clerk
13450 – 104 Avenue,
Surrey, BC V3T 1V8
Canada

QUESTIONS FOR THE PLANNER:

Email planning staff at planningdevelopment@surrey.ca if you have any questions regarding this application. For information about the application visit surrey.ca.

City Hall is open Monday to Friday 8:30am-4:30pm except statutory holidays.

COMMENTS TO COUNCIL:

Webform: surrey.ca

Email: clerks@surrey.ca

Mail: Office of the City Clerk at the address above

Fax: 604-501-7578

Written submissions will be made public on the City's website and distributed to Council. Submissions must be received by 12:00 noon on the day of the Public Hearing.

REGISTER TO SPEAK AT THE PUBLIC HEARING:

Follow the registration process at surrey.ca/city-government/councilmeetings/attending-and-participating-public-hearings.



Speakers are provided 3 minutes to make comments to Council regarding the bylaws being considered at a Public Hearing.

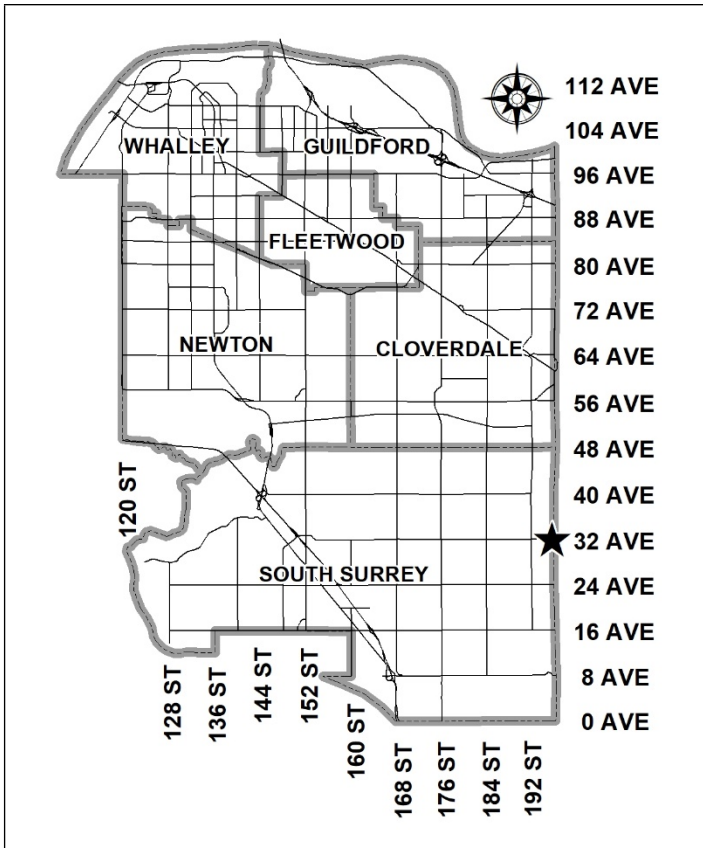
WATCH THE PUBLIC HEARING:

View the livestream at surrey.ca or at City Hall, 13450 —104 Avenue

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7920-0040-00

Planning Report Date: April 08, 2024



PROPOSAL:

- **LAP Amendment** from Open Space Corridor/Buffer and Business Park to Commercial
- **Rezoning** from A-1 to CD (based on C-8)
- **Development Permit**

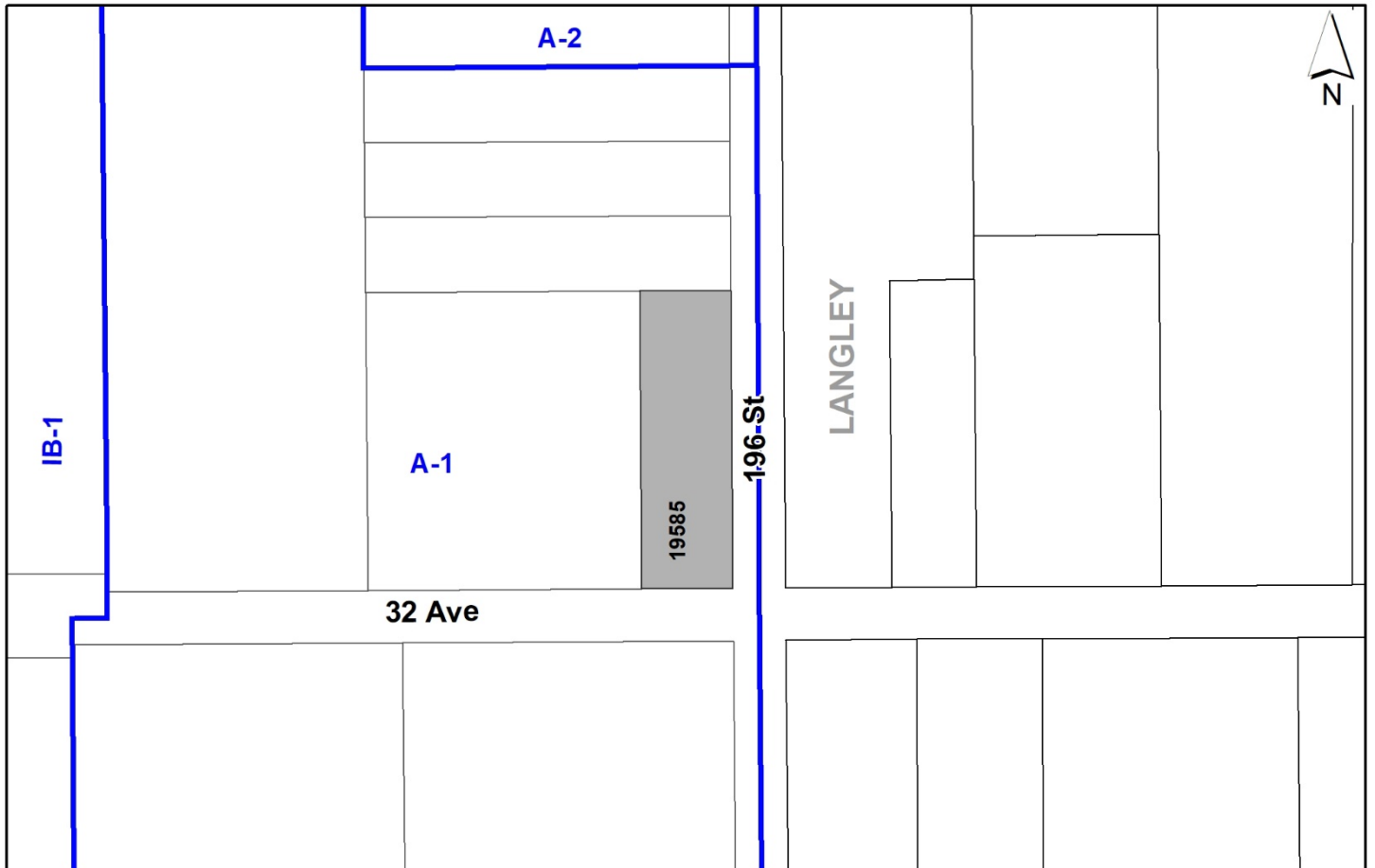
to permit the development of a two-storey 3,092-square-metre commercial building.

LOCATION: 19585 32 Avenue

ZONING: A-1

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Open Space Corridor/Buffer and Business Park



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Campbell Heights Local Area Plan (LAP) from Open Space Corridor/Buffer and Business Park to Commercial.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal does not comply with the Open Space Corridor/Buffer and Business Park designation in the Campbell Heights Local Area Plan (LAP).
- The proposal complies with the Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Campbell Heights.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Campbell Heights Local Area Plan (LAP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed sign is high quality and is of an appropriate size and scale for the development.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "General Agriculture Zone (A-1)" to "Comprehensive Development Zone (CD)" based on "Community Commercial Zone (C-8)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7920-0040-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) submission of a finalized Geotechnical Report to the satisfaction of City staff;
 - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
 - (i) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.
4. Council pass a resolution to amend the Campbell Heights Local Area Plan (LAP) to redesignate the land from Open Space Corridor/Buffer and Business Park to Commercial when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Single family residential	Open Space Corridor/Buffer and Business Park	A-1
North:	Single family residential	Open Space Corridor/Buffer and Business Park	A-1
East (Across 196 Street):	Single family residential	Township of Langley	n/a
South (Across 32 Avenue):	Vacant, forested site	Open Space Corridor/Buffer and Business Park	A-1
West:	Single family residential	Open Space Corridor/Buffer and Business Park	A-1

Context & Background

- The subject site consists of one lot with a gross site area of 4,045.7 square metres, is zoned "General Agriculture Zone (A-1)", and designated Mixed Employment in the Official Community Plan (OCP), and Open Space Corridor/Buffer and Business Park in the Campbell Heights Land Use Plan.
- The site is currently occupied by a single family dwelling and storage buildings, and it is fairly flat.
- The site is designated Open Space Corridor/Buffer and Business Park in the Campbell Heights Local Area Plan (LAP), however, it also has an alternative land use identified in the Plan, given that the site is shown as being 88% Buffer in the plan, and would be difficult to develop without a parcel consolidation. The alternative land use for this address identified in the LAP is Live/Work (residential). There are no other lands in Campbell Heights designated for Live/Work, and no further description of this use in the Plan.
- The Campbell Heights Local Area Plan (LAP) is from 2000, and since then there have been several other City plans and policies adopted that discourage residential uses within employment lands. The main documents are: Official Community Plan, City of Surrey Employment Lands Strategy and Metro 2050 (Regional Growth Strategy). All of these plans discourage converting employment lands into residential uses, and such a proposal would require OCP and RGS amendments.
- The site is not large enough for a business park development on its own, and a business park use would require a buffer along 196 Street to limit offsite impacts, as there are residential uses on the east side of 196 Street, in the Township of Langley. The applicant proposes a small scale commercial development, which would support both the residential uses to the east and the business park to the west, north and south, without the need for OCP and RGS amendments, as the commercial uses are compatible with the Mixed Employment and Employment designations.
- The proposal does require an LAP amendment, to amend the Campbell Heights Local Area Plan (LAP) to redesignate the land from Open Space Corridor/Buffer and Business Park to Commercial.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing a two-storey commercial building, with ground floor commercial units with a mezzanine, and offices above. Functionally, the proposed building is separated into two portions that are connected by a breezeway at the second level.
- The proposed Comprehensive Development (CD) Zone will be based on the “Community Commercial (C-8) Zone”.
- The proposed development will have 3,092 square metres of floor area, with a Floor Area Ratio of 0.87.
- The proposal includes a large pedestrian plaza at the corner of 196 Street and 32 Avenue, and a breezeway (enclosed pedestrian bridge) to facilitate pedestrian movements on the site.
- Most of the parking is provided in one level of underground parking with some surface parking located behind the building and away from public view from the street.

	Proposed
Lot Area	
Gross Site Area:	4,045.78 square metres
Road Dedication:	475.26 square metres
Net Site Area:	3,570.52 square metres
Number of Lots:	1
Building Height:	13 metres
Unit Density:	n/a
Floor Area Ratio (FAR):	0.87
Floor Area	
Commercial:	3,092 square metres
Total:	3,092 square metres

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	Latimer Park is the closest active park and contains amenities including walking trails and natural area. The park is 1,845 metres walking distance from the development.
Surrey Fire Department:	No concerns.

Advisory Design Panel: The proposal was considered at the ADP meeting on November 09, 2023 and was conditionally supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report.

Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

Transportation Considerations

Road Network and Infrastructure

- The applicant will be providing the following road improvements to service the subject proposal:
 - 1.942 metres of dedication along the east side of the subject site for 196 Street;
 - 4.942 metres of dedication along the south side of the subject site for 32 Avenue; and
 - A 5 metres by 5 metres corner cut at the intersection 196 Street and 32 Avenue (southeast corner of the site).

Access and Parking

- The proposal will be accessed at the north side of the property off 196 Street to the east. A drive aisle to the rear of the building will provide access to 13 surface parking stalls and the underground parkade.
- A total of 84 parking spaces are proposed to be provided on site, meeting the Zoning Bylaw requirements.

Transit and Cycling

- The closest bus route to the site is #531 on 192 Street, 800 metres west.
- There is a planned multi-use pathway along the north side of 32 Avenue, fronting the site.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The site complies with the Employment designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The site complies with the Mixed Employment designation in the Official Community Plan.

Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

(The proposed development is oriented towards 196 Street and 32 Avenue with expansive two-level spandrel glazing at the corner).

- B6.9 – Create opportunities for interactive and enjoyable public plazas by using furniture, banners, signs, interactive public art, heritage interpretation, paving patterns, vibrant colours and other "placemaking" design elements.

(The proposed development includes a plaza at the southeast corner of the site, with benches and an amenity space).

- C2.38 – Ensure the loading and on-site access of goods delivery vehicles is considered in conjunction with overall urban development site design.

(Site access and loading bays have been located/designed to allow for the buildings to be used as screening from the public realm. The loading area is screened by the building on 196 Street and by landscaping along 32 Avenue).

Secondary Plans

Land Use Designation

- The proposal includes an amendment to the Campbell Heights Local Area Plan (LAP) to redesignate the land from Open Space Corridor/Buffer and Business Park to Commercial.

Amendment Rationale

- The site is designated Open Space Corridor/Buffer and Business Park in the Campbell Heights Local Area Plan (LAP), however, it also has an alternative land use identified in the Plan, given that 88% of the site is shown as Buffer in the LAP, and would be difficult to develop without a parcel consolidation. The alternative land use for this address is Live/Work. There are no other lands in Campbell Heights designated for Live/Work (residential), and no further details about it in the plan.
- The Campbell Heights LAP is from 2000, and since then there have been several other City plans and policies adopted that discourage residential uses in employment lands. The main documents are: Official Community Plan, City of Surrey Employment Lands Strategy and Metro 2050 (Regional Growth Strategy). All of these plans recommend against converting employment lands into residential uses, and such a proposal would require OCP and RGS amendments.

- The site is not large enough for a business park development on its own, and a business park use would require a buffer, as there are residential uses on the east side of 196 Street, in the Township of Langley. The applicant proposes a small scale commercial development, which would support both the residential uses to the east and the business park to the west, north and south, without the need for OCP and RGS amendments, as the commercial uses are compatible with the Mixed Employment and Employment designations.
- The proposal does require an LAP amendment, to amend the Campbell Heights Local Area Plan (LAP) to redesignate the land from Open Space Corridor/Buffer and Business Park to Commercial.

Themes/Objectives

- 6.5.1.4 – Design Guidelines: Business Park – The use of glass and high quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

(The proposed development incorporates expansive two-level spandrel glass at the intersection and along the 196 Street and 32 Avenue frontages. There is also added articulation and visual anchoring of the building at the southeast corner of the site).

- 6.5.1.4 – Design Guidelines: Business Park – Variations in massing and changes in height and horizontal planes are encouraged.

(The proposed development incorporates building anchoring and articulation at the intersection of 196 Street and 32 Avenue).

- 6.5.1.4 – Design Guidelines: Business Park – The exterior of buildings should be coordinated in the design on all elevations with regard to colour, materials, architectural form, and detailing to achieve design harmony and continuity.

(The proposed building is architecturally coordinated with a modern appearance that promotes harmony by using consistent cladding materials, glazing, and landscaping).

CD By-law

- The applicant proposes to rezone the subject site from "General Agriculture Zone (A-1)" to "Comprehensive Development Zone (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed commercial development on the subject site. The proposed CD By-law for the development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Community Commercial Zone (C-8)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the C-8 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	C-8 Zone (Part 36)	Proposed CD Zone
Unit Density:	n/a	n/a
Floor Area Ratio:	0.80	0.87
Lot Coverage:	50%	50%
Yards and Setbacks	7.5 metres	7.5 metres N, W, S 4 metres East (196 Street)
Principal Building Height:	12 metres	13 metres
Permitted Uses:	<p>Principal Uses:</p> <ol style="list-style-type: none"> 1. Retail stores excluding the following: (a) Adult entertainment stores; and (b) Secondhand stores and pawnshops. 2. Personal service uses excluding body rub parlours. 3. General service uses excluding funeral parlours and drive-through banks. 4. Beverage container return centres provided that the use is confined to an enclosed building or a part of an enclosed building and is pursuant to Section D.3 of this Zone. 5. Eating establishments excluding drive-through restaurants. 6. Neighbourhood pubs, regulated under the Liquor Control and Licensing Act, as amended. 7. Liquor store. 8. Office uses excluding the following: (a) Social escort services; (b) Methadone clinics; and (c) Marijuana dispensaries. 9. Parking facilities. 10. Automotive service uses of vehicles less than 5,000 kg G.V.W., provided that such use is associated with a retail store (Section B.1 of this Zone). 11. Indoor recreational facilities. 12. Entertainment uses excluding arcades and adult entertainment stores. 13. Assembly halls. 14. Community services. 	<p>Principal Uses:</p> <ol style="list-style-type: none"> 1. Retail stores excluding the following: (a) Adult entertainment stores; and (b) Secondhand stores and pawnshops. 2. Personal service uses excluding body rub parlours. 3. General service uses excluding funeral parlours and drive-through banks. 4. Eating establishments excluding drive-through restaurants. 5. Neighbourhood pubs, regulated under the Liquor Control and Licensing Act, as amended. 6. Liquor store. 7. Office uses excluding the following: (a) Social escort services; (b) Methadone clinics; and (c) Marijuana dispensaries. 8. Indoor recreational facilities. 9. Entertainment uses excluding arcades and adult entertainment stores. 10. Community services. 11. Child care centres; regulated under the Community Care and Assisted Living Act, as amended, and the Child Care Licensing Regulation, as amended. 12. Cultural Uses. <p>Accessory Uses:</p> <ol style="list-style-type: none"> 13. One caretaker unit per lot.

	15. Child care centres; regulated under the Community Care and Assisted Living Act, as amended, and the Child Care Licensing Regulation, as amended. 16. Cultural Uses. Accessory Uses: 17. One caretaker unit per lot.	
Parking (Part 5)	Required	Proposed
Number of Stalls		
Commercial:	84	84
Total:	84	84

- The CD Zone is based on C-8, with differences in FAR, setbacks, uses and building height.
 - FAR on C-8 Zone is 0.8, but given the road dedications for the corner site, the net FAR on this site is 0.87.
 - Typical setbacks for C-8 Zone is 7.5 metres on all lot lines. For this site, 7.5 metres is achieved on the north, west and south, but on the east, along 196 Street, the setback was reduced to 4 metres to achieve a more urban interface along the main commercial frontage on 196 Street.
 - The building height is proposed to be increased from 12 metres to 13 metres to provide sufficient height for mezzanines on the retail units on the ground floor.
 - Most of the C-8 uses are permitted, with a few removed, due to parking limitations and/or the appropriateness of the use given the context of the site, including:
 - Beverage container return centres;
 - Parking facilities;
 - Automotive service uses of vehicles less than 5,000 kg G.V.W., provided that such use is associated with a retail store (Section B.1 of this Zone); and
 - Assembly halls.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City’s needs with respect to public art, in accordance with the City’s Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on March 13, 2023, and the Development Proposal Signs were installed on August 30, 2023. Staff received questions for clarification from staff at the Township of Langley, with no concerns being noted.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The applicant has worked with staff to minimize surface parking, design the underground parking to avoid impacts to the water table, enhance pedestrian circulation, and enhance the public plaza and street interfaces.
- Minor outstanding items and coordination between drawings are required prior to Final Approval, like ensuring proposed landscape and grading are coordinated through the service agreement.
- The applicant is proposing retail uses on the ground floor, and offices above. The retail is proposed with double height, to maximize exposure, and to allow for a mezzanine space for those units.
- The building is designed to maximize active frontages along both 196 Street and 32 Avenue, with a large public plaza at the southeast corner.
- A small area of surface parking is proposed behind the building which is well screened from public view. A connection from the west of the site, where the surface parking is located, to the east of the site, is proposed through a breezeway, that breaks up the building massing, and provides weather protection for visitors.
- A free-standing sign is proposed at the entrance plaza, close to the breezeway. This sign is proposed in steel and acrylic to match the contemporary quality of the building. This sign complies with the minimum 2 metres setback from the property line. For the fascia signs, they are proposed in channel letters along both the 196 Street façade and the 32 Avenue façade.

Landscaping

- The landscaping is comprised of a 3-metre wide planted landscape buffer along the western and northern portions of the site. Along the south and east, there is a more urban interface, with planters along 196 Street, and a large plaza at the corner and along 32 Avenue, which includes some seating areas.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include enhancing the landscape and coordinating servicing infrastructure with the public realm.

- The applicant will be required to resolve any remaining urban design or landscaping issues and Advisory Design Panel comments prior to consideration of Final Approval of the Development Permit should the application be supported by Council.

TREES

- Francis Klimo, ISA Certified Arborist of Klimo & Associates prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Northern Red Oak	4	3	1
Paper Birch	1	1	0
Chestnut	4	4	0
Coniferous Trees¹			
Sitka Spruce	1	1	0
Douglas Fir	2	2	0
Western Red Cedar	30	30	0
Total (excluding Alder and Cottonwood Trees)	42	41	1
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		36	
Total Retained and Replacement Trees Proposed		37	
Estimated Contribution to the Green City Program		\$18,400	

- The Arborist Assessment states that there are a total of 42 mature trees on the site, with no Alder and Cottonwood trees. The applicant proposes to retain 1 tree as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a proposed total of 82 replacement trees on the site. Since 36 replacement trees can be accommodated on the site, the proposed deficit of 46 replacement trees will require an estimated cash-in-lieu payment of \$18,400, representing \$400 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Vine Maple, Bloodgood Japanese Maple, Oshio-Beni Japanese Maple, Serbian Spruce, White Spruce, Scarlet Oak, Green Giant Arborvitae, Scotch Pine, Bowhall Red Maple, and Dawyckii Beech.

- In summary, a total of 37 trees are proposed to be retained or replaced on the site with an estimated contribution of \$18,400 to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix IV.	LAP Redesignation Map
Appendix V.	ADP Comments and Response

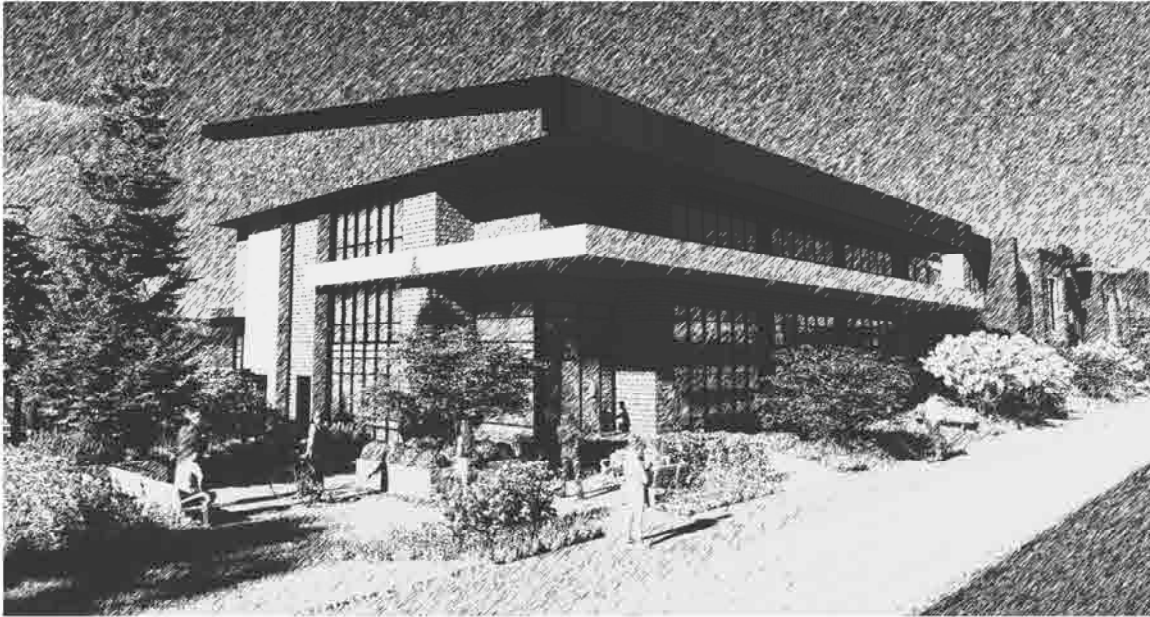
approved by Shawn Low

Don Luymes
General Manager
Planning and Development

LFM/ar

PROPOSED RETAIL & OFFICE DEVELOPMENT

19585 32 AVENUE, SURREY, BC V3S 0L5



ADP PACKAGE - INDEX

Issue Date	Thursday, November 9, 2023
Client Address	19585 32 Avenue, Surrey, BC V3S 0L5
File No.	[20-0040]
Format	CD
Activities	Retail & Office Development
Landscape Artist	Luciana Moraes

CONTACT LIST

ARCHITECT	Architecture Panel Inc.	Unit 206, 1493 Foster Street White Rock, BC, Canada	Ruchi Dhall	(604) 385 3600
LANDSCAPE ARCHITECT	Architecture Panel Inc.	Unit 206, 1493 Foster Street White Rock, BC, Canada	Ruchi Dhall	(604) 385 3600
DESK CONSULTANT	Guram Design & Mgmt		Nivzar Begri	(778) 895 6358
LAND SURVEYOR	South Fraser Land Surveying	Unit 202, 18292 60 Ave., Surrey, BC V3S 3M2	Gene Paul Nikole	(604) 599 1896
PROJECT OWNER	1242852 BC Ltd			
ENGINEER	Klino & Associates	112-4300 Fraser Way Burnaby, BC V5J 5J9	Francis Klino	(604) 354 5502
MP	City of Surrey			

DRAWING INDEX - DOCUMENTATION

ARCHITECTURAL DRAWING INDEX

COVER	A0.01	COVER SHEET
	A0.02	PROJECT STATISTICS
	A0.03	PRECEDENT IMAGES
	A0.04	SITE CONTEXT
	A0.05	STREETSCAPE
	A0.06	DESIGN RATIONALE
	A0.07	SHADOW STUDY 1
	A0.08	SHADOW STUDY 2
PLAN	A1.01	SURVEY PLAN
	A1.02	CIVIL PLAN
	A1.03	BASE PLAN
	A1.04	SITE PLAN
FLOOR	A2.01	BARRCADE PLAN
	A2.02	MAIN FLOOR PLAN
	A2.03	MEZZANINE PLAN
	A2.04	SECOND FLOOR PLAN
	A2.05	ROOF PLAN
ELEVATIONS	A3.01	ELEVATIONS-EAST & WEST
	A3.02	ELEVATIONS-NORTH & SOUTH
SECTION	A4.01	BUILDING SECTIONS
RENDERINGS	A5.01	RENDERS
	A5.02	RENDERS

LANDSCAPE ARCHITECTURAL DRAWING INDEX

LANDSCAPE PLAN	L01	KEY PLAN
	L02	CONCEPT PLAN
	L03	HARDSCAPE PLAN
	L04	PLANTING PLAN
	L05	DETAILS
	L06	TREE MANAGEMENT PLAN



ARCHITECTURE PANEL INC.

(ARCHITECTURE) | (LANDSCAPE ARCHITECTURE) | (URBAN DESIGN)

Unit 206, 1493 Foster Street, White Rock, BC V4B 1K5 |
ruchi@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
© Architecture Panel Inc. All rights reserved.

Project:
**Proposed Retail & Office
Development**

Owner:
1242852 BC Ltd.

Sheet Title:
COVER SHEET

Total Sheets:
28

Sheet No.
A0.01

Contractors

Consultants

Drawn By
BF

Checked By
SD

Author
City of Surrey

Documentation
Council Approval

Reviewed By
RD

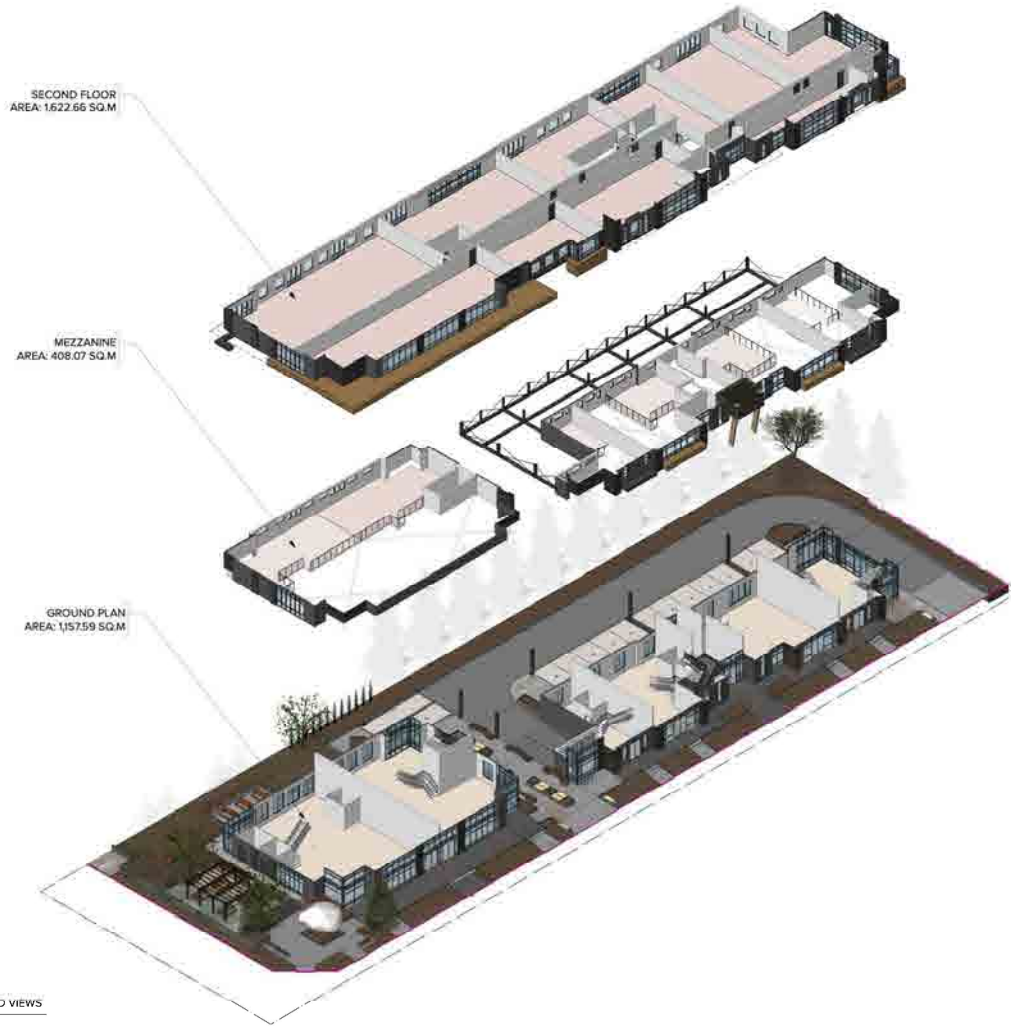
Status
Council Approval



No	Date	Issue Notes
C	2023-02-28	DP Resubmission
E	2023-05-19	DP Resubmission
F	2023-08-28	DP Resubmission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Resubmission
K	2024-03-28	Council Approval

Scale

PROJECT STATISTICS



1 EXPLODED VIEWS
Scale: NTS

PROJECT DATA

AREA CALCULATION	PERMISSIBLE	PROPOSED	
ZONING PROPOSED		CD	
BUILDING HEIGHT		12.64 m	
SITE		4045.775 sq m	
DEDICATIONS		475.258 sq m	
NET SITE AREA		3570.516 sq m	
CRU AREA - MAIN FLOOR (RETAIL)		1128.09 sq m	
MEZZANINE (OFFICES)		369.88 sq m	
OFFICES		1594.51 sq m	
TOTAL BUILT-UP AREA		3092.47 sq m	
LOT COVERAGE - BUILDING	50%	45.036%	
FAR (NET SITE AREA)	1	0.87	
BUILDING SETBACKS	REQUIRED	PROPOSED	
NORTH (REAR YARD)	24.6ft (7.5m)	32.8ft (10m)	
SOUTH (FRONT YARD)	24.6ft (7.5m)	37.89ft (11.55m)	
WEST (SIDE YARD)	24.6ft (7.5m)	26.57ft(8.1m)	
EAST (STREET SIDE YARD)	24.6ft (7.5m)	13.12ft(4m)	
PARKING	REQUIRED	PROPOSED	
NUMBER OF COMMERCIAL PARKING SPOTS - 3 PER 100 SQ.M	33.84	34	
NUMBER OF OFFICES PARKING SPOTS - 2.5 PER 100 SQ.M	49.11	50	
TOTAL NUMBER OF PARKING SPOTS	82.95	84	
NUMBER OF BIKE PARKING SPOTS	NA	15	
PARKING REPORT			
	# OF SPACES	SPACE LENGTH	SPACE WIDTH
REGULAR CAR PARKING	16	5.5m (18.05ft)	2.9m (9.51ft)
REGULAR CAR PARKING	33	5.5m (18.05ft)	2.75m (9.02ft)
REGULAR CAR PARKING	35	5.5m (18.05ft)	2.6m (8.53ft)
ACCESSIBLE PARKING - CAR (2% OF TOTAL REQUIRED)	1	5.5m (18.05ft)	2.5m (8.20ft)
ACCESSIBLE PARKING - VAN (50% OF TOTAL ACCESSIBLE REQUIRED)	2	5.5m (18.05ft)	3.4m (11.15ft)
SMALL CAR (5% OF TOTAL REQUIRED)	1	4.9m (16.08ft)	2.6m (8.52ft)
	84		
GROSS AREA CALCULATION (EXCLUDING PARKING)			
LEVEL	AREA (sq m)	AREA (sq ft)	
MAIN FLOOR LEVEL	1128.09 sq m	12,142.54 sq ft	
MEZZANINE	369.88 sq m	3,981.35 sq ft	
SECOND FLOOR LEVEL	1594.51 sq m	17,283.35 sq ft	
GROSS AREA	3,092.47 sq m	33,287.04 sq m	



ARCHITECTURE PANEL INC.
 (ARCHITECTURE) | (LANDSCAPE ARCHITECTURE) | (URBAN DESIGN)
 Unit 206, 1493 Foster Street, White Rock, BC | 604-783-3450 |
 info@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
 © Architecture Panel Inc. All rights reserved.

Project:
Proposed Retail & Office Development

Owner:
1242852 BC Ltd.

Sheet Title:
PROJECT STATISTICS

Total Sheets 28	Sheet No. A0.02	Contractors	Consultants
Drawn By BF	Checked By SD	AHJ City of Surrey	Documentation Council Approval
Reviewed By RD	Status Council Approval		

No	Date	Issue Notes
B	2023-01-16	Plan Application
C	2023-03-28	DP Re-submission
E	2023-05-19	DP Re-submission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Re-submission
K	2024-03-28	Council Approval





This is an application for Commercial & Retail development located adjacent to this property on **19547 32 Ave.** It is designed by us, and we are intended to keep a similar design language without breaking the continuity of it.



This is an example of an existing commercial building located in 3950 191 St, Surrey. We are using a similar design language by having a rhythm of blocks of different colors and materials



Commercial & Retail development located in 3993 Henning dr, Burnaby



Commercial & Retail development located in 3237 190 St, Surrey



This is a restaurants development located in 2711 192 St, Surrey



ARCHITECTURE PANEL INC.

(ARCHITECTURE) | (LANDSCAPE ARCHITECTURE) | (URBAN DESIGN)

Unit 206, 1433 Foster Street, White Rock, BC | 8047837450 |
nash@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
© Architecture Panel Inc. All rights reserved.

Project:
Proposed Retail & Office Development

Owner:
1242852 BC Ltd.

Sheet Title:
PRECEDENT IMAGES

Total Sheets:
28

Sheet No:
A0.03

Contractors:

Consultants:

Drawn By:
BF

Checked By:
SD

AHJ:
City of Surrey

Document:
Council Approval

Reviewed By:
RD

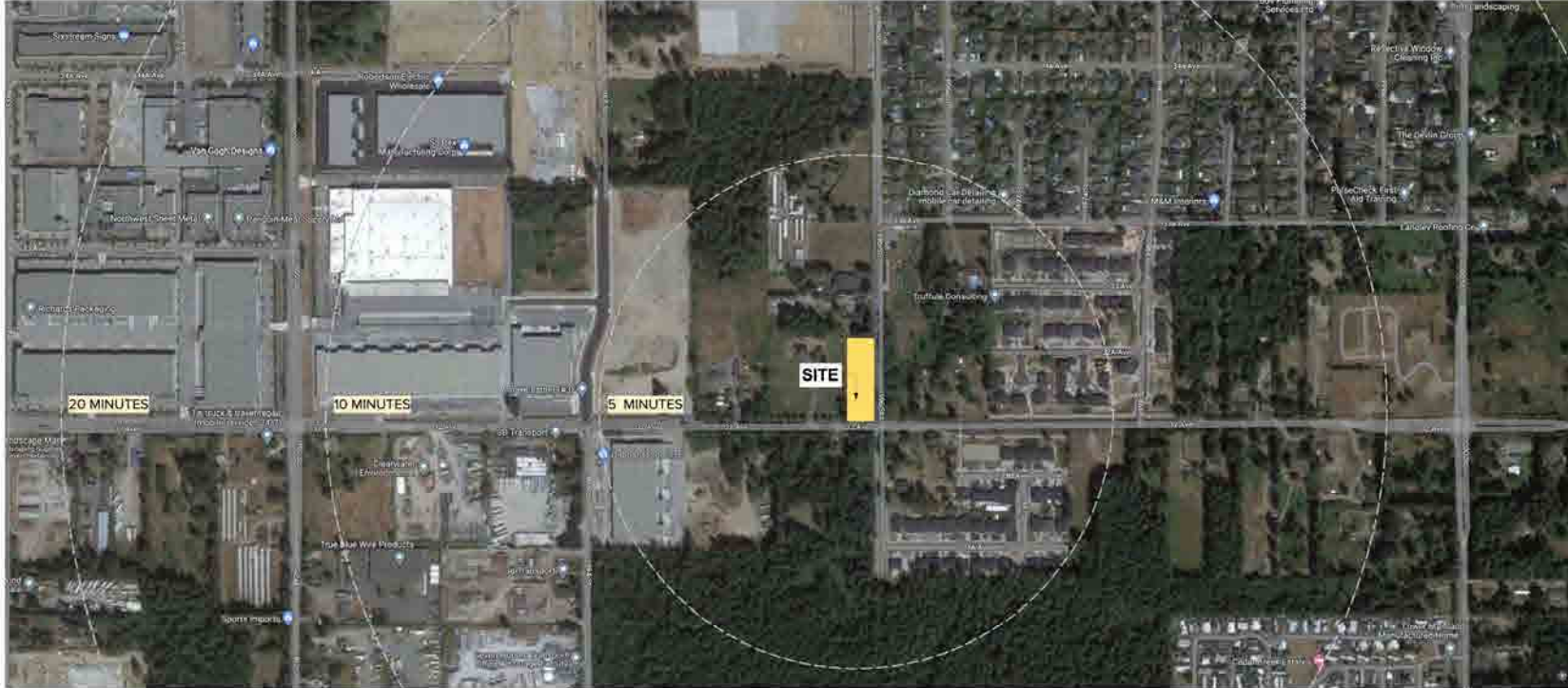
Status:
Council Approval



No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-03-28	DP Re-submission
E	2023-05-19	DP Re-submission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Re-submission
K	2024-03-28	Council Approval

Scale:

SITE CONTEXT



CONTEXT

This is a proposed Commercial & Retail development located on a prominent corridor along 32 Ave and 156 Street. The development is proposed close to the expanding and existing residential developments towards the east of the property and industrial developments to the west of the property making it an ideal spot for a retail and commercial unit.

There are bus stops on 32 Ave located right in front of the proposed development with regular services to White Rock (westbound) and to Langley (eastbound).

This project will serve to the need for additional commercial and retail units for the surrounding housing communities. The project will add seven retail units and approximately 2,000 sqm of office spaces to the ever growing neighborhood.

1 SITE CONTEXT
Scale: NTS



ARCHITECTURE PANEL INC.
 (ARCHITECTURE) | (LANDSCAPE ARCHITECTURE) | (URBAN DESIGN)
 Unit 206, 1433 Foster Street, White Rock, BC V4B 4R3 | 604-783-1450 |
 nash@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern. © Architecture Panel Inc. All rights reserved.

Project: **Proposed Retail & Office Development**
 Owner: **1242852 BC Ltd.**
 Sheet Title: **SITE CONTEXT**

Total Sheets: 28	Sheet No: A0.04	Contractors:	Consultants:
Drawn By: BF	Checked By: SD	AHJ: City of Surrey	Documents: Council Approval
Reviewed By: RD	Status: Council Approval		

No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-03-28	DP Re-submission
E	2023-05-19	DP Re-submission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Re-submission
K	2024-03-28	Council Approval



SITE CONTEXT



8 KEY PLAN
Scale: NTS



7 VIEW OF SITE FROM 196 ST LOOKING WEST
Scale: NTS



1 VIEW TO SITE LOOKING NORTH EAST
Scale: NTS



2 VIEW TO 196 ST LOOKING NORTH
Scale: NTS



5 VIEW OF 32 AVE LOOKING WEST
Scale: NTS



3 VIEW TO 32 AVE LOOKING EAST
Scale: NTS



4 VIEW OF 196 ST LOOKING NORTH
Scale: NTS



6 VIEW OF 196 ST LOOKING SOUTH
Scale: NTS



ARCHITECTURE PANEL INC.

(ARCHITECTURE) | (LANDSCAPE ARCHITECTURE) | (URBAN DESIGN)
Unit 206, 1433 Foster Street, White Rock, BC | 8047831450 |
info@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
© Architecture Panel Inc. All rights reserved.

Project: Proposed Retail & Office Development

Owner:
1242852 BC Ltd.

Sheet Title:
STREETSCAPE

Total Sheets:
28

Sheet No.
A0.05

Contractors:

Consultants:

Drawn By:
BF

Checked By:
SD

AHJ:
City of Surrey

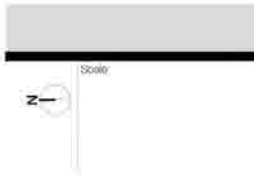
Documents:
Council Approval

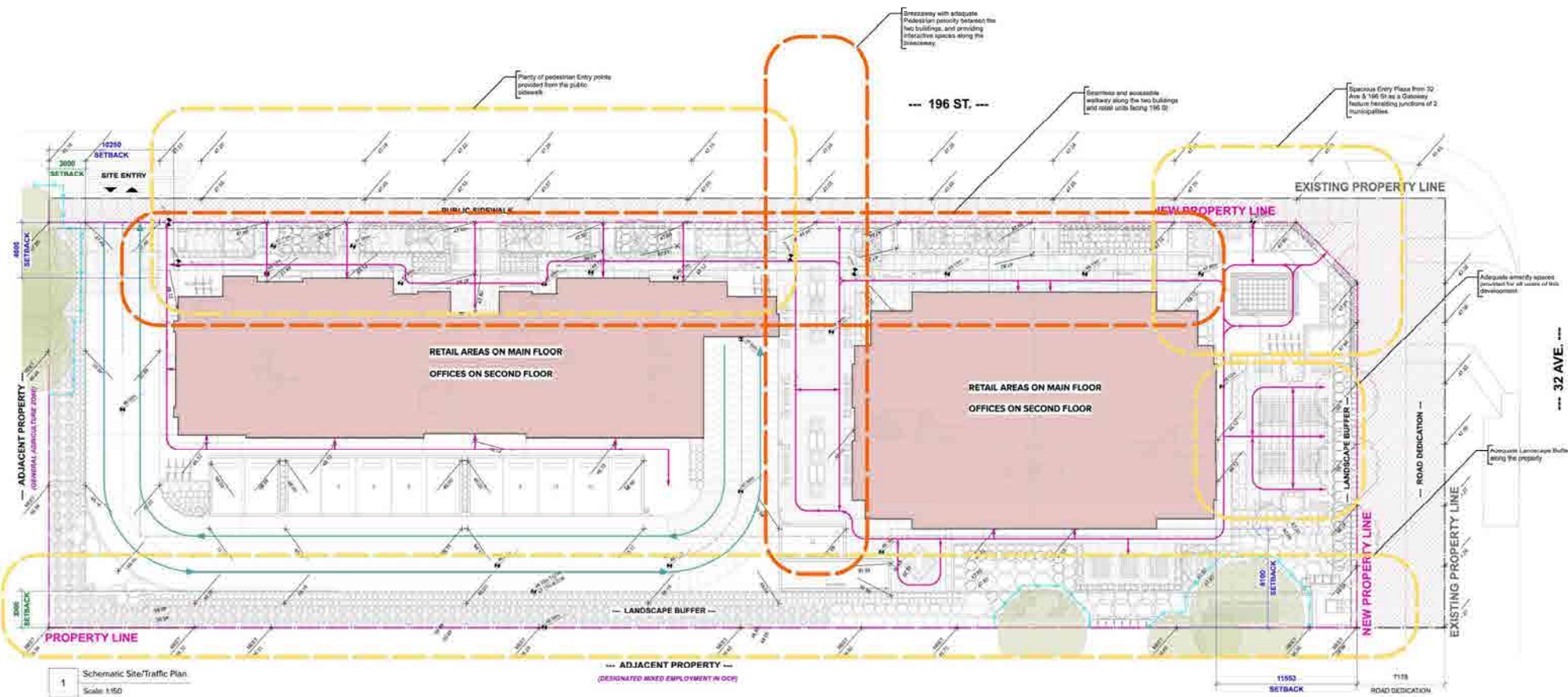
Reviewed By:
RD

Status:
Council Approval



No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-03-28	DP Re-submission
E	2023-05-19	DP Re-submission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Re-submission
K	2024-03-28	Council Approval





1 Schematic Site/Traffic Plan
Scale: 1:50

LEGEND

ROAD DEDICATION	EXISTING PROPERTY LINE	PROPOSED GRADES
BUILDING FOOTPRINT	NEW PROPERTY LINE	CIVIL GRADES
GENERAL DESIGN MOVES	VEHICULAR TRAFFIC	EXISTING TREE TO RETAIN
SPECIFIC DESIGN MOVES	PEDESTRIAN TRAFFIC	

DESIGN RATIONALE

The proposed project is a retail and offices development that is located in the City of Surrey with access from 196 St. and facing both 32 Ave and 196 St. The project aims to boost the economy of the area by having retail and office uses. The development is 2 stories high with an underground parking. The 1st level is comprised of retail units and is divided to buildings that are combined on the 2nd floor. Surface parking is provided with access to the underground parking to accommodate for all users of the development. The 2nd floor is comprised of spacious office spaces.

Seamless access to retail units and building is provided along the front side facing 196 St with entry of pedestrian entry points from the public sidewalk. Several plazas and amenity spaces are provided for all users of the development. The breezeway on the 1st level between the buildings offers an easy access, smooth circulation, and interactive spaces.

The design expression is intended to better fit the OCP and LAP guidelines by providing large single windows, curtain glassings, grey colors to match neighbouring developments, providing variations of massing and heights, providing continuity of canopies, fins and porails for shading, and also providing taller trees along the front side for natural shading.

We have worked closely not just with the surrounding commercial developments as well as striven to ensure premium character and feel while developing the architectural expression. A village feel was worked on with the units portraying individuality assembled in a collective scale.



ARCHITECTURE PANEL INC.
 (ARCHITECTURE) | (LANDSCAPE ARCHITECTURE) | (URBAN DESIGN)
 Unit 206, 1433 Foster Street, White Rock, BC V4B 1K5 | 604-783-1550 |
 nash@architectpanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
 © Architecture Panel Inc. All rights reserved.

Project:
Proposed Retail & Office Development

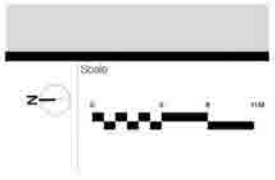
Owner:
1242852 BC Ltd.

Sheet Title:
DESIGN RATIONALE

Total Sheets	28	Sheet No.	A0.06
Drawn By	BF	Checked By	SD
Reviewed By	RD	Status	Council Approval

Contractors		Consultants	
City of Surrey		Council Approval	

No	Date	Issue Notes
B	2023-01-16	Plan Application
C	2023-03-28	DP Re-submission
E	2023-05-19	DP Re-submission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Re-submission
K	2024-03-28	Council Approval





21 MARCH 10:00 am



21 MARCH 12:00 pm



21 MARCH 2:00 pm



21 JUNE 10:00 am



21 JUNE 12:00 pm



21 JUNE 2:00 pm

1 SHADOW STUDY - APRIL/JULY
Scale: NTS



ARCHITECTURE PANEL INC.

ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

Unit 206, 1433 Foster Street, White Rock, BC V4B 4R3 | 604-783-3550 |
nash@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern. © Architecture Panel Inc. All rights reserved.

Project:
**Proposed Retail & Office
Development**

Owner:
1242852 BC Ltd.

Sheet Title:
SHADOW STUDY 1

Total Sheets:
28

Sheet No.
A0.07

Contractors:

Consultants:

Drawn By:
BF

Checked By:
SD

AHJ:
City of Surrey

Documents:
Council Approval

Reviewed By:
RD

Status:
Council Approval



No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-03-28	DP Re-submission
E	2023-05-19	DP Re-submission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Re-submission
K	2024-03-28	Council Approval





22 SEPTEMBER 10:00 am



22 SEPTEMBER 12:00 pm



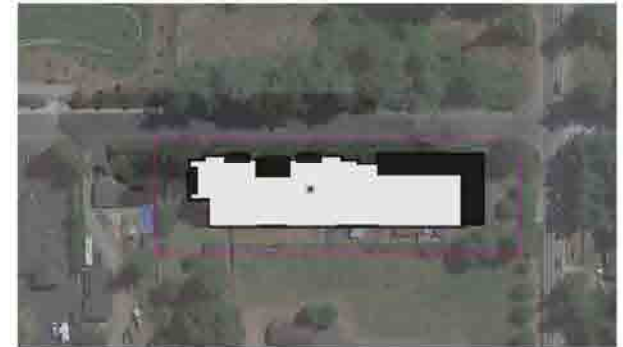
22 SEPTEMBER 2:00 pm



21 DECEMBER 10:00 am



21 DECEMBER 12:00 pm



21 DECEMBER 2:00 pm

1 SHADOW STUDY - OCTOBER/JANUARY
Scale: NTS



ARCHITECTURE PANEL INC.

ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

Unit 206, 1453 Foster Street, White Rock, BC V4B 4R3 | 604-783-1450 |
nash@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern. © Architecture Panel Inc. All rights reserved.

Project:
**Proposed Retail & Office
Development**

Owner:
1242852 BC Ltd.

Sheet Title:
SHADOW STUDY 2

Total Sheets:
28

Sheet No.
A0.08

Contractors:

Consultants:

Drawn By:
BF

Checked By:
SD

AHJ:
City of Surrey

Documents:
Council Approval

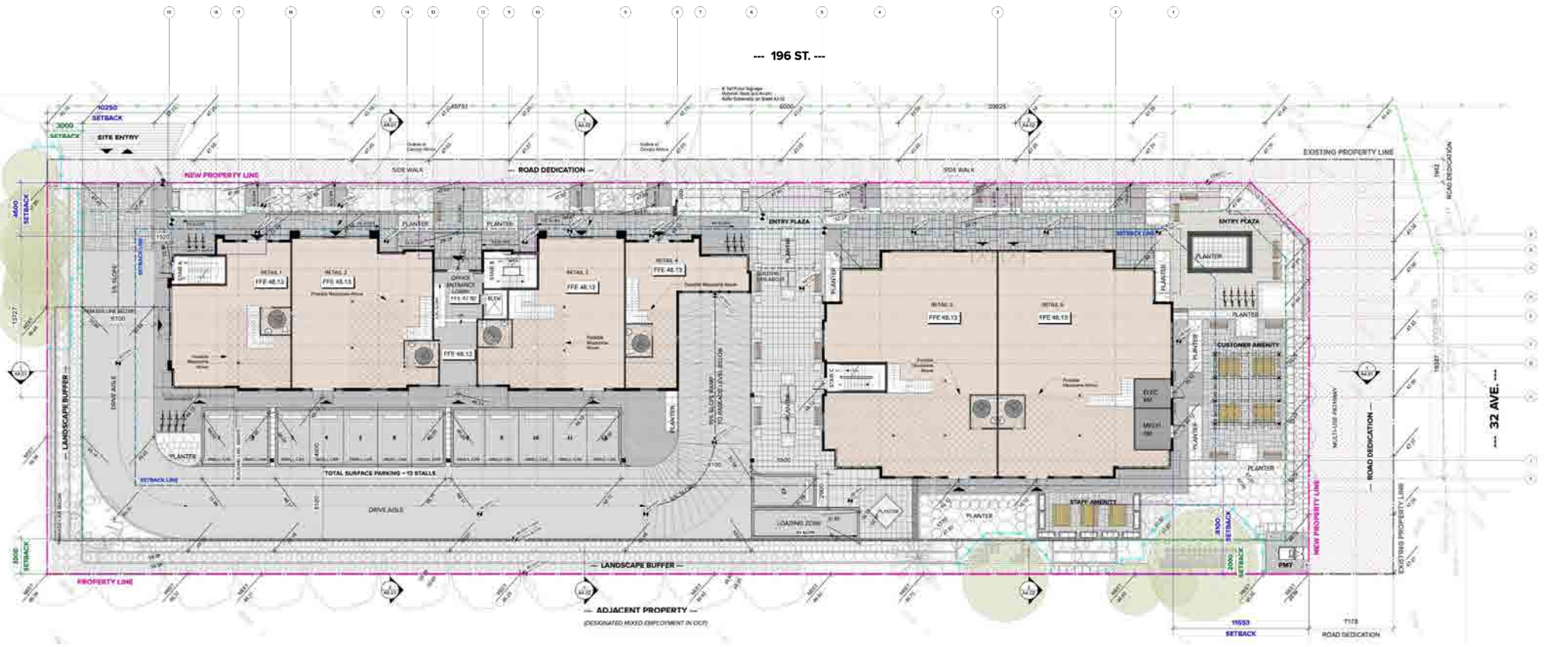
Reviewed By:
RD

Status:
Council Approval



No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-03-28	DP Resubmission
E	2023-05-19	DP Resubmission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Resubmission
K	2024-03-28	Council Approval





1 Site Plan
Scale: 1:150

LEGEND

ROAD DEDICATION	EXISTING PROPERTY LINE	EXISTING TREE TO RETAIN
VEHICULAR CIRCULATION	NEW PROPERTY LINE	Proposed Elevation
RETAIL	ES&H ROW	CIVIL GRADE
PARKADE LINE BELOW	LANDSCAPE BUFFER	
TREE PROTECTION FENCE	SETBACK LINE	



ARCHITECTURE PANEL INC.
 ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN
 Unit 206, 1493 Foster Street, White Rock, BC | 604-783-4501
 info@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other data on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
 © Architecture Panel Inc. All rights reserved.

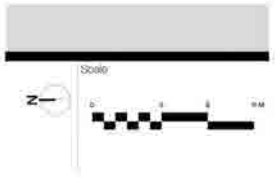
Project:
Proposed Retail & Office Development

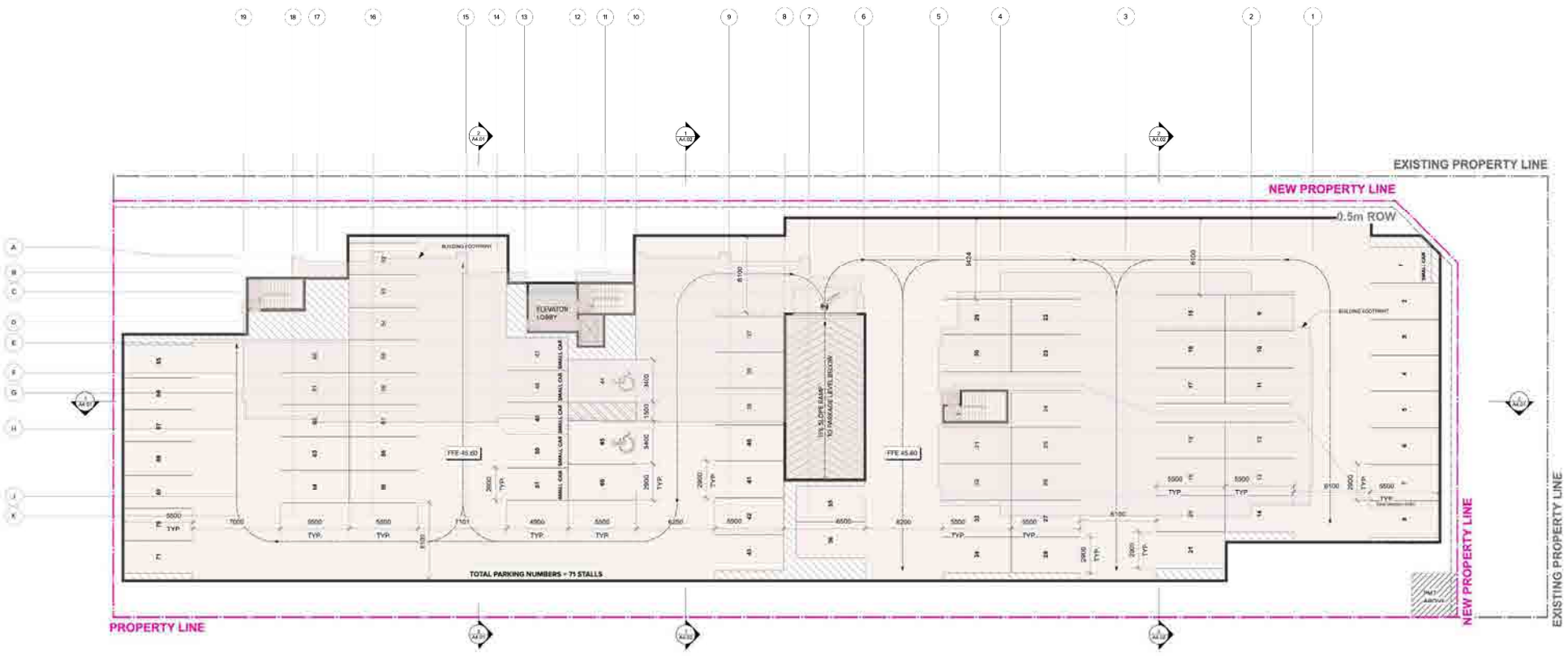
Owner:
1242852 BC Ltd.

Sheet Title:
SITE PLAN

Total Sheets 28	Sheet No. A1.04	Contractors	Consultants
Drawn By BF	Checked By SD	City of Surrey	Document Council Approval
Reviewed By RD	Status Council Approval		

No	Date	Issue Notes
C	2023-02-28	DP Resubmission
D	2023-05-09	Coordination
E	2023-05-19	DP Resubmission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Resubmission
K	2024-03-28	Council Approval





f Parkade Plan
Scale: 1:50

LEGEND

- BUILDING ABOVE
- LOBBY/CIRCULATION
- PARKING



ARCHITECTURE PANEL INC.
 (ARCHITECTURE) | (LANDSCAPE ARCHITECTURE) | (URBAN DESIGN)
 Unit 206, 1433 Foster Street, White Rock, BC V4B 4R3 M50 |
 nash@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect's/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern. © Architecture Panel Inc. All rights reserved.

Project:
Proposed Retail & Office Development

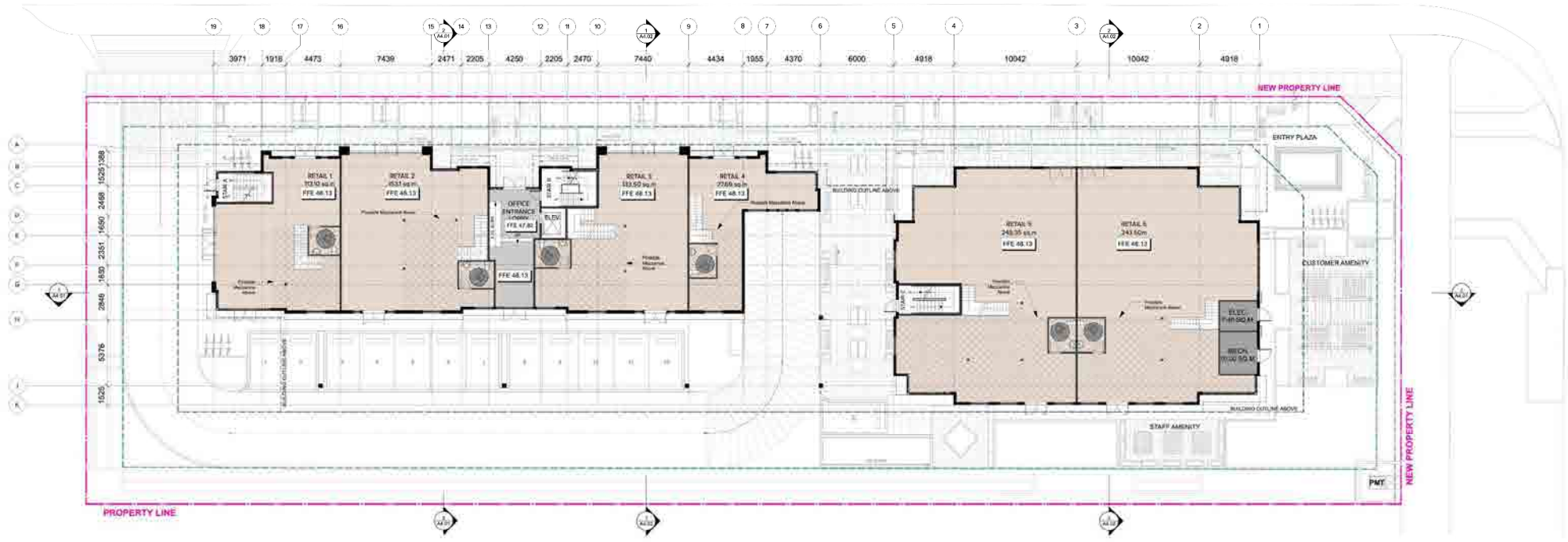
Owner:
1242852 BC Ltd.

Sheet Title:
PARKADE PLAN

Total Sheets 28	Sheet No. A2.01	Contractors	Consultants
Drawn By BF	Checked By SD	City of Surrey	Document Title Council Approval
Reviewed By RD	Status Council Approval		

No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-03-28	DP Re-submission
E	2023-05-19	DP Re-submission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Re-submission
K	2024-03-28	Council Approval

Scale: 1:50



1 Main Floor Plan
Scale: 1:150



ARCHITECTURE PANEL INC.
 (ARCHITECTURE) | (LANDSCAPE ARCHITECTURE) | (URBAN DESIGN)
 Unit 206, 1433 Foster Street, White Rock, BC V4B 1K3
 nash@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
 © Architecture Panel Inc. All rights reserved.

Project:
Proposed Retail & Office Development

Owner:
1242852 BC Ltd.

Sheet Title:
MAIN FLOOR PLAN

Total Sheets:
28

Drawn By:
BF

Reviewed By:
RD

Sheet No.
A2.02

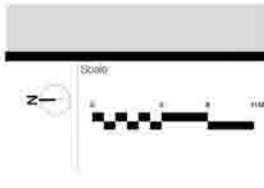
Checked By:
SD

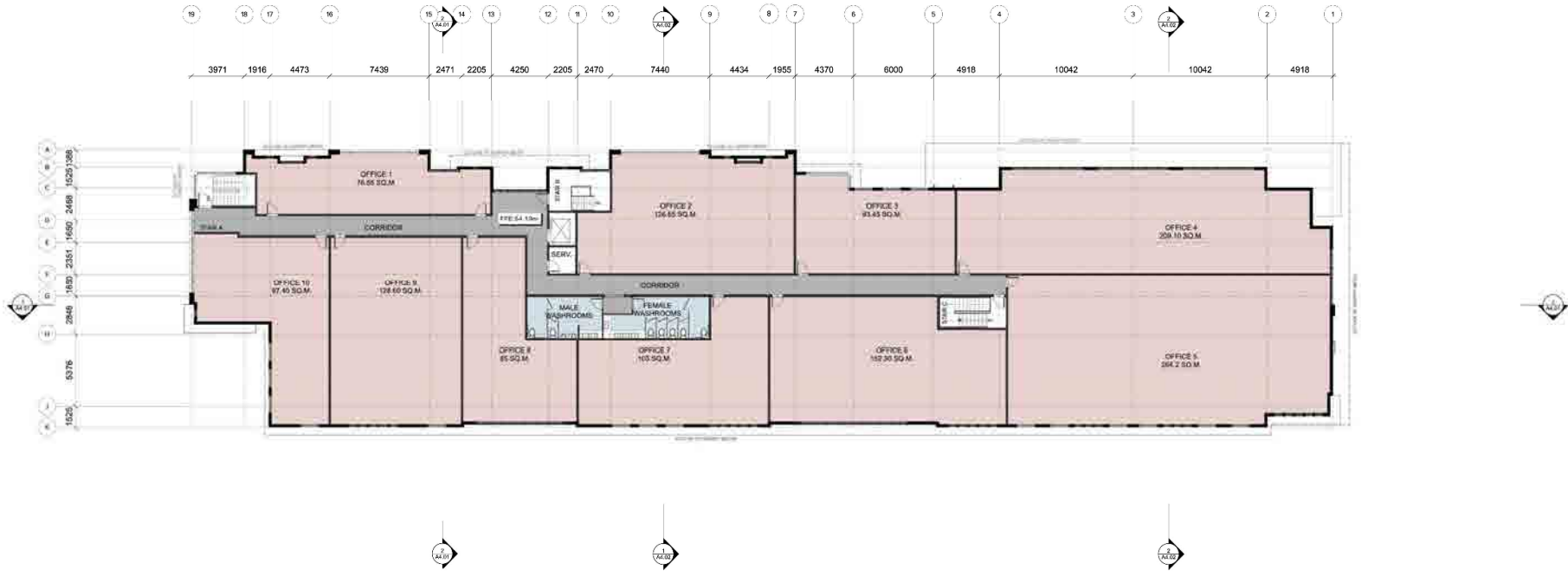
Status:
Council Approval

Contractors:
**AHJ
 City of Surrey**

Consultants:
**DocuSign
 Council Approval**

No	Date	Issue Notes
B	2023-01-16	Plan Application
C	2023-03-28	DP Re-submission
E	2023-05-19	DP Re-submission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Re-submission
K	2024-03-28	Council Approval





1 Second Floor Plan
Scale: 1:150



ARCHITECTURE PANEL INC.
 (ARCHITECTURE) | (LANDSCAPE ARCHITECTURE) | (URBAN DESIGN)
 Unit 206, 1433 Foster Street, White Rock, BC V4B 4R3 | 604-783-1450 |
 info@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern. © Architecture Panel Inc. All rights reserved.

Project:
Proposed Retail & Office Development

Owner:
1242852 BC Ltd.

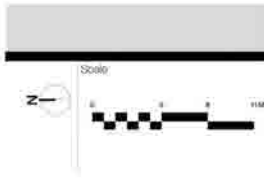
Sheet Title:
SECOND FLOOR PLAN

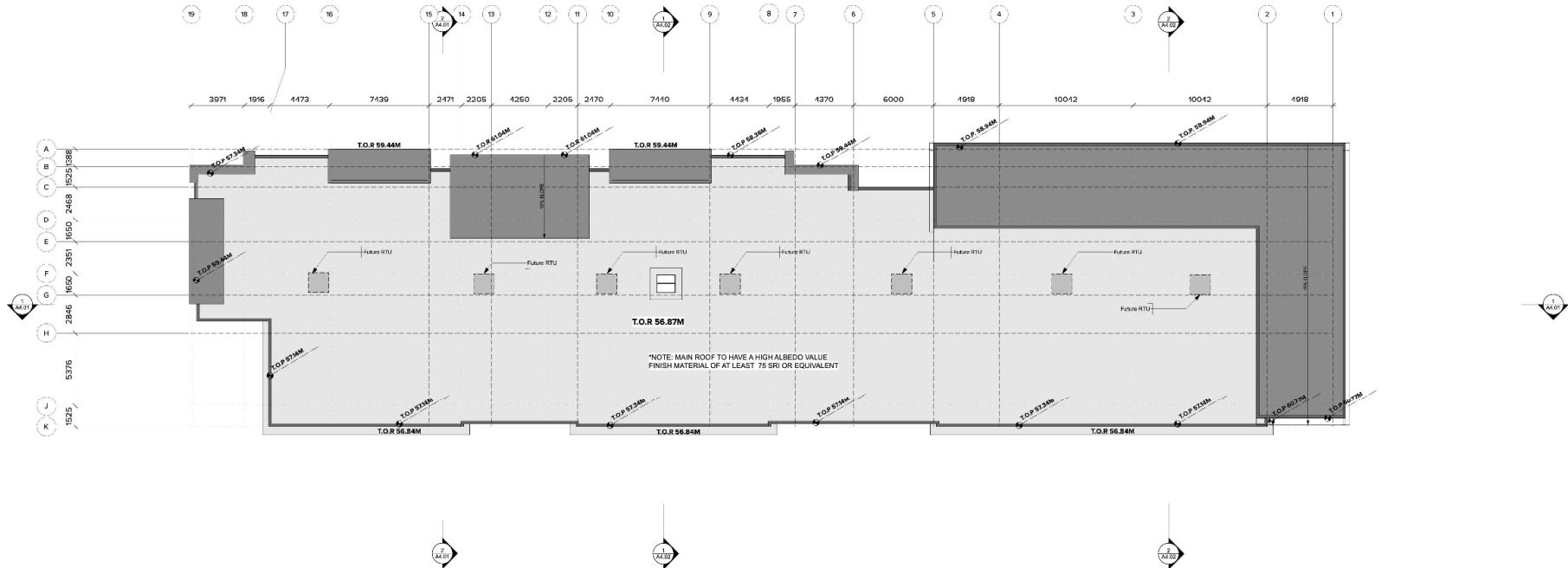
Total Sheets 28	Sheet No. A2.04	Contractors	Consultants
Drawn By BF	Checked By SD	AHJ City of Surrey	Document Title Council Approval
Reviewed By RD	Status Council Approval		

Contractors: AHJ City of Surrey

Consultants: Document Title Council Approval

No	Date	Issue Notes
B	2023-01-16	Plan Application
C	2023-03-28	DP Resubmission
E	2023-05-19	DP Resubmission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Resubmission
K	2024-03-28	Council Approval





1 Roof Plan
Scale: 1:150

LEGEND

TOP OF ROOF

TOP OF PARAPET



ARCHITECTURE PANEL INC.
 (ARCHITECTURE) | (LANDSCAPE ARCHITECTURE) | (URBAN DESIGN)
 Unit 206, 1493 Foster Street, White Rock, BC | 604-783-1450 |
 info@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
 © Architecture Panel Inc. All rights reserved.

Project:
Proposed Retail & Office Development

Owner:
1242852 BC Ltd.

Sheet Title:
ROOF PLAN

Total Sheets 28	Sheet No. A2.05	Contractors	Consultants
Drawn By BF	Checked By SD	Architect City of Surrey	Document Title Council Approval
Reviewed By RD	Status Council Approval		

City of Surrey
 Council Approval

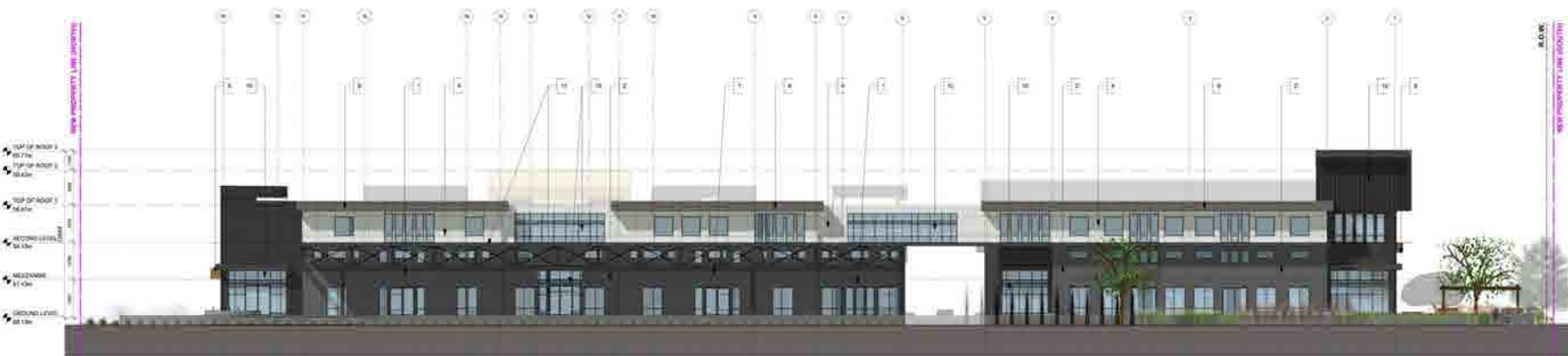
No	Date	Issue Notes
B1	2023-01-16	Plan Application
C	2023-03-28	DP Re-submission
E	2023-05-19	DP Re-submission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Re-submission
K	2024-03-28	Council Approval

Scale



1 EAST ELEVATION (196 ST)
Scale: 1:50

- Material Legend:**
1. Fibre cement 8" Lap Siding - Smooth
Color: Estate Gray
 2. Fibre cement 8" Lap Siding - Smooth
Color: Night Gray
 3. Fibre cement 6" Lap Siding - Beaded Smooth & Primed For Paint
Color: Pwrtl Gray
 4. Fibre cement Panels Primed For Paint w/ colour matched Reveals
Color: Brandy Cream OC-4 (Benjamin Moore)
 5. High Grade Extruded Aluminium Panels
Color: Moonstone
 6. High Grade Extruded Aluminium Panels
Color: Moonstone
 7. Fibre cement Panels w/ colour matched Reveals
Color: Onyx 2133-10 (Benjamin Moore)
 8. Fibre cement Panels w/ colour matched Reveals
Color: Silhouette AF-655 (Benjamin Moore)
 9. Fibre cement Panels w/ colour matched Reveals
Color: Kingsport Gray HC-86 (Benjamin Moore)
 10. Curtain Glazing w/ Spandrel Panels
Black powder coated Aluminium frame
 11. Steel Column & Bracing
Color: Black
 12. Standing Seam Metal Siding
Color: Dark Gray
 13. Aluminum Composite Material
Color: Sidewalk Gray 2133-00 (Benjamin Moore)



2 WEST ELEVATION
Scale: 1:50

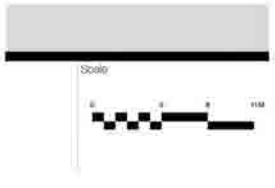


ARCHITECTURE PANEL INC.
ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN
Unit 206, 1433 Foster Street, White Rock, BC | 6047833650 |
nash@architectpanel.com
These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
© Architecture Panel Inc. All rights reserved.

Project:
Proposed Retail & Office Development
Owner:
1242852 BC Ltd.
Sheet Title:
ELEVATIONS-EAST & WEST

Total Sheets 28	Sheet No. A3.01	Contractors	Consultants
Drawn By BF	Checked By SD	AHJ City of Surrey	Documentation Council Approval
Reviewed By RD	Status Council Approval		

No	Date	Issue Notes
C	2023-02-28	DP Resubmission
E	2023-05-19	DP Resubmission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Resubmission
J	2024-03-25	Council Approval
K	2024-03-28	Council Approval





1 NORTH ELEVATION
Scale: 1/50



2 SOUTH ELEVATION (22 AVE)
Scale: 1/50



1 8' LAP SIDING - SMOOTH
Fibre Cement
Color: Estate Gray



2 8' LAP SIDING - SMOOTH
Fibre Cement
Color: Night Gray



3 6' LAP SIDING - BEADED SMOOTH & PRIMED FOR PAINT
James Hardie
Color: Pearl Gray



4 FIBRE CEMENT PANELS PRIMED FOR PAINT
Color: Brandy Dream OC-4
Benjamin Moore



5 HIGH-GRADE EXTRUDED ALUMINUM PANELS
Color: Light Natural Walnut



6 HIGH-GRADE EXTRUDED ALUMINUM PANELS
Color: Moonstone



7 FIBRE CEMENT PANELS
Color: Onyx 2133-10
Benjamin Moore



8 FIBRE CEMENT PANELS
Color: Silhouette AF-655
Benjamin Moore



11 CURTAIN GLAZING
Block powder coated Aluminium frame



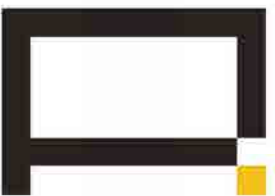
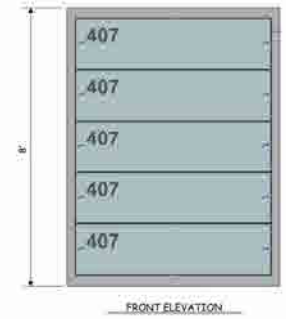
13 ALUMINUM COMPOSITE MATERIAL
Color: Sidewalk Gray 2133-60

Material Legend:

1. Fibre cement 8' Lap Siding - Smooth
Color: Estate Gray
2. Fibre cement 8' Lap Siding - Smooth
Color: Night Gray
3. Fibre cement 6' Lap Siding - Beaded Smooth & Primed For Paint
Color: Pearl Gray
4. Fibre cement Panels Primed For Paint w/ colour matched Reveals
Color: Brandy Cream OC-4 (Benjamin Moore)
5. High-Grade Extruded Aluminium Panels
Color: Table Walnut
6. High-Grade Extruded Aluminium Panels
Color: Moonstone
7. Fibre cement Panels w/ colour matched Reveals
Color: Onyx 2133-10 (Benjamin Moore)
8. Fibre cement Panels w/ colour matched Reveals
Color: Silhouette AF-655 (Benjamin Moore)
9. Fibre cement Panels w/ colour matched Reveals
Color: Kingsport Gray HC-85 (Benjamin Moore)
10. Curtain Glazing w/ Spandrel Panels
Black powder coated Aluminium frame
11. Steel Column & Bracing
Color: Black
12. Standing Seam Metal Siding
Color: Dark Gray
13. Aluminum Composite Material
Color: Sidewalk Gray 2133-60 (Benjamin Moore)



4 SCHEMATIC PYLON SIGN
Scale: Actual Size



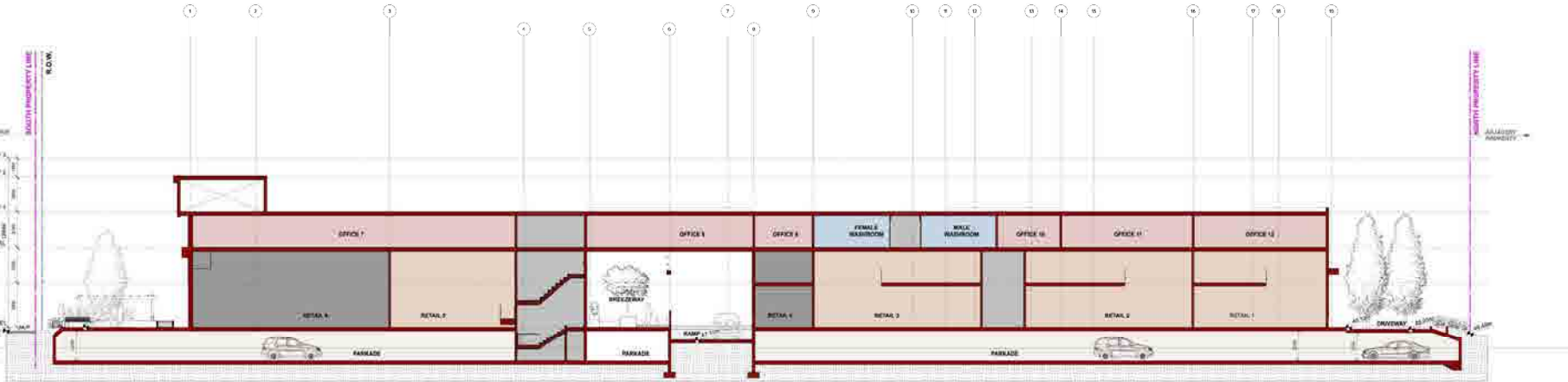
ARCHITECTURE PANEL INC.
ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN
Unit 206, 1493 Foster Street, White Rock, BC | 604/7831450
info@architecturepanel.com
These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
© Architecture Panel Inc. All rights reserved.

Project
Proposed Retail & Office Development
Owner
1242852 BC Ltd.
Sheet Title
ELEVATIONS-NORTH & SOUTH

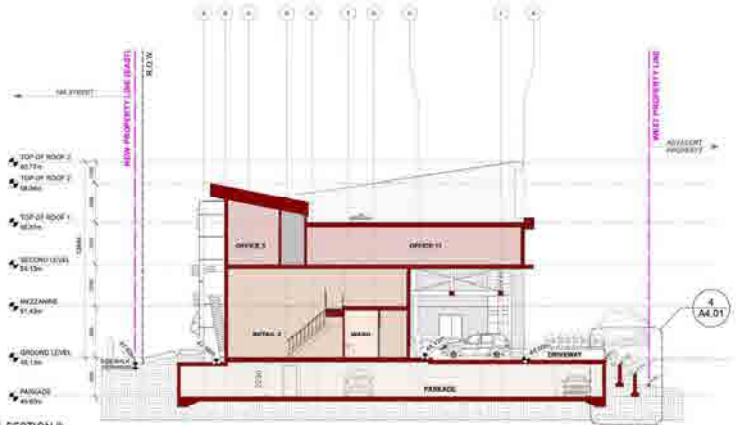
Total Sheets 28	Sheet No. A3.02	Contractors	Consultants
Drawn By BF	Checked By SD	City of Surrey	Documents Council Approval
Reviewed By RD	Status Council Approval		

No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-02-28	DP Resubmission
E	2023-05-19	DP Resubmission
G	2023-10-10	City Review
H	2023-10-26	ADP Submission
I	2024-02-20	DP Resubmission
K	2024-03-26	Council Approval

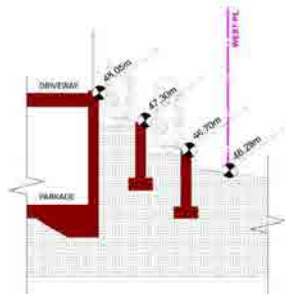




1 SECTION 1
Scale: 1/50



2 SECTION 2
Scale: 1/50



4 PLANTER SECTION
Scale: 1/50



3 KEY PLAN
Scale: NTS

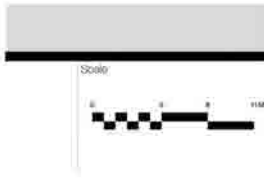


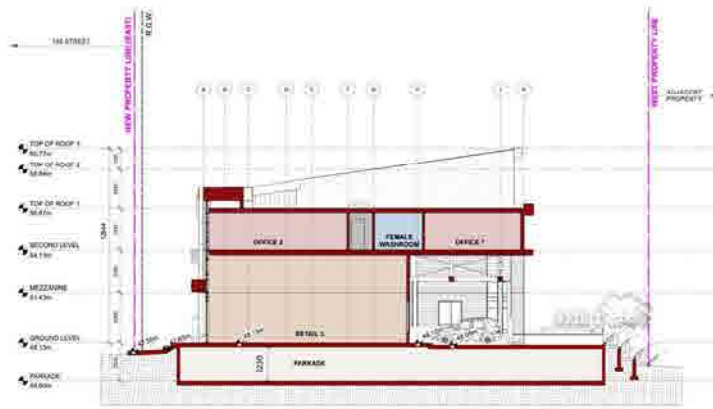
ARCHITECTURE PANEL INC.
 (ARCHITECTURE) | (LANDSCAPE ARCHITECTURE) | (URBAN DESIGN)
 Unit 206, 1493 Foster Street, White Rock, BC | 6047831450 |
 nuch@architecturepanel.com
 These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
 ©Architecture Panel Inc. All rights reserved.

Project:
Proposed Retail & Office Development
 Owner:
1242852 BC Ltd.
 Sheet Title:
BUILDING SECTIONS

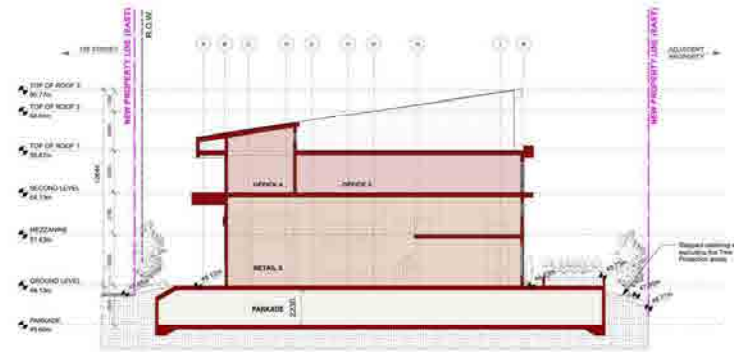
Total Sheets 28	Sheet No. A4.01	Contractors	Consultants
Drawn By BF	Checked By SD	Arch City of Surrey	Document Council Approval
Reviewed By RD	Status Council Approval		

No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-03-28	DP Re-submission
E	2023-05-19	DP Re-submission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Re-submission
K	2024-03-28	Council Approval





1 SECTION 3
Scale: 1/50



2 SECTION 4
Scale: 1/50



3 KEY PLAN
Scale: NTS



ARCHITECTURE PANEL INC.

(ARCHITECTURE) | (LANDSCAPE ARCHITECTURE) | (URBAN DESIGN)
Unit 206, 1493 Foster Street, White Rock, BC | 6047831450 |
nuchi@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensional govern.
© Architecture Panel Inc. All rights reserved.

Project:
Proposed Retail & Office Development

Owner:
1242852 BC Ltd.

Sheet Title:
BUILDING SECTIONS

Total Sheets:
28

Sheet No.
A4.02

Contractors

Consultants

Drawn By
BF

Checked By
SD

AHJ
City of Surrey

Document:
Council Approval

Reviewed By
RD

Status:
Council Approval



No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-03-28	DP Re-submission
E	2023-05-19	DP Re-submission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Re-submission
K	2024-03-28	Council Approval

Scale





1 VIEW OF CORNER PLAZA LOOKING NORTH WEST
Scale: NTS



2 VIEW OF BUILDING MAIN ENTRANCE FROM 196 ST.
Scale: NTS



3 VIEW OF ENTRY PLAZA FROM 196 ST LOOKING WEST
Scale: NTS



4 VIEW OF VEHICULAR ENTRY FROM 196 ST LOOKING SOUTH WEST
Scale: NTS



ARCHITECTURE PANEL INC.

(ARCHITECTURE) | (LANDSCAPE ARCHITECTURE) | (URBAN DESIGN)
Unit 206, 1433 Foster Street, White Rock, BC | 8047837450 |
nash@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern. © Architecture Panel Inc. All rights reserved.

Project:
**Proposed Retail & Office
Development**

Owner:
1242852 BC Ltd.

Sheet Title:
RENDERS

Total Sheets:
28

Sheet No.
A5.01

Contractors:

Consultants:

Drawn By:
BF

Checked By:
SD

AHJ:
City of Surrey

Document:
Council Approval

Reviewed By:
RD

Status:
Council Approval



No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-03-28	DP Re-submission
E	2023-05-19	DP Re-submission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-01	DP Re-submission
K	2024-03-28	Council Approval

Scale:



1 VIEW OF ENTRY PLAZA FROM 196 ST LOOKING NORTH WEST
Scale: NTS



2 VIEW OF REAR SIDE SURFACE PARKING LOOKING SOUTH EAST
Scale: NTS



3 VIEW OF SOUTH SIDE AMENITY AREA
Scale: NTS



ARCHITECTURE PANEL INC.

ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

Unit 206, 1433 Foster Street, White Rock, BC V4B 4R3 | 604-783-1450 |
nash@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern. © Architecture Panel Inc. All rights reserved.

Project:
**Proposed Retail & Office
Development**

Owner:
1242852 BC Ltd.

Sheet Title:
RENDERS

Total Sheets:
28

Sheet No.
A5.02

Contractors:

Consultants:

Drawn By:
BF

Checked By:
SD

AHJ:
City of Surrey

Documents:
Council Approval

Reviewed By:
RD

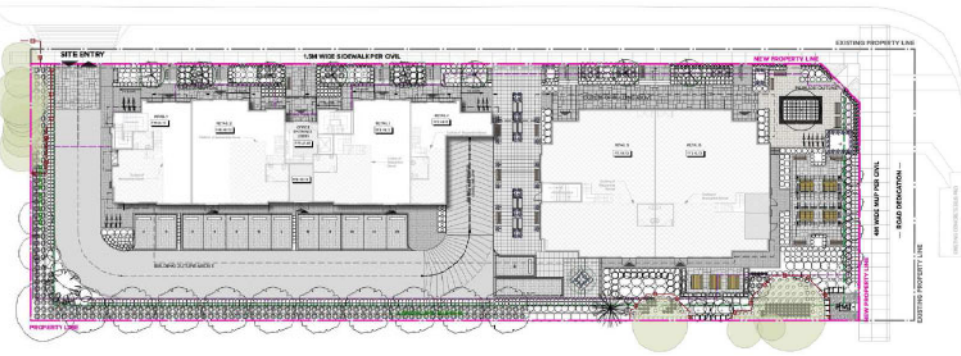
Status:
Council Approval



No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-03-28	DP Resubmission
E	2023-05-19	DP Resubmission
G	2023-10-10	City Review
H	2023-10-25	ADP Submission
I	2024-02-20	DP Resubmission
K	2024-03-28	Council Approval

Scale:

--- 196 ST. ---



1 Key Plan
Scale: 1:300

--- 32 AVE. ---



Hemerocallis 'Lemon Yellow'



Hibiscus Syriacus



Calliandra bodinieri 'Profusion'



Vaccinium ovatum 'Thunderbird'



Polystichum poylepharum



Ribes sanguineum



Acer rubrum



Acer palmatum 'Oshio-Beni'



Picea glauca

NOTE: SEE L03 FOR PAVING AND FURNISHING LEGEND

NOTE: SEE L04 & L05 FOR LIST OF TREES AND SHRUBS

DESIGN RATIONALE AND SUMMARY

This is a proposed Commercial & Retail development located on a prominent corridor along 32 Ave and 196 Street. It is a contemporary building with flanking green strips lining the retail units. The southern setback being quite wide, offers a reasonable width for planting of a couple of trees with ample soil volume within the proposed new property line and has plenty of seating opportunities for the public as well as users of the development. The trees of choice have been ornamental Acer palmatum and 'Oshio Beni' to add colour and texture as the foreground elements to the rather well-crafted modern building. The hardscape has been conceptualized to be a blend of permeable pavers and hydropressed slabs to differentiate pedestrian movement for building entries, dining areas and a central breezeway.

To the south of the property along 32 Ave, we have proposed an entry plaza with a couple of planters with a dash of ornamental shade planting under proposed small trees and a central island for a tree and plenty of seating and bike racks. The paving for this entry plaza is red permeable pavers to provide a contrast from the hardscape proposed throughout the site. The breezeway is finished with hydra pressed slab and is shaded by offices on the upper floor and has ample seating and planters with ornamental planting. On the Main floor level, the back entrance is treated with distinctive pattern of paving as compared to the path leading to parking stalls that is treated with natural colour permeable pavers outdoor dining area has been provided for the guests and staff separately. The East side of the site is treated with visually appealing breaks of planting and seating opportunities and bike racks, stepped planters. All areas have been designed to have maximum visibility and encourage elimination of any hidden or dark pockets for crime prevention.

The different areas of the site are clearly defined for their intended use. Moreover, sensitive use of native shrubs along with hedge for the privacy help the site to seamlessly blend with the neighborhood.

GENERAL NOTES

All materials and workmanship to CLS Standards, latest edition. Soil depths and subgrade preparation, soil quality and plant sizes to meet or exceed that standard.

Plant sizes in this list are specified according to the BC Landscape Standard's latest edition. Container sizes are specified as per 'CNTA Standards'. Both plant size and container size are the minimum acceptable sizes. The installers are advised to search and review, make plant material available to the Landscape Architect for optional review at the source of supply. Areas of search to include Lower Mainland and Fraser Valley. 'Substitutions' must obtain written approval from the Landscape Architect prior to making any substitutions to specified material. Unapproved substitutions will be rejected. Allow a minimum of five working days prior to delivery for request to substitute. Substitutions are subject to the Landscape Standard.

All plant material must be provided from the certified 'Disease Free' nursery. All plant material must conform to the latest edition of the 'BC Landscape Standard'. Provide certification upon request. All landscaping and landscape materials to conform to the latest edition of the CLS standards.

Min. growing medium depths over prepared subgrade shall be:

Lawn areas	300mm
Ground Cover Areas	450mm
Shrub Areas	450mm
Tree Fits	300mm (around root balls)

Growing medium shall have physical and chemical properties as described in the standards for 'Ground' areas, except for the areas over structures where the medium shall conform to the requirements for level 1 applications. Processing and mixing of the growing medium shall be done off-site using a mechanized screening process. Proposed growing medium shall be tested by a recognized laboratory. The contractor shall guarantee that the soil submitted for testing is a sample representative of the soil to be used at the site.

On-Site or imported soils shall satisfy the requirements of the standards for growing medium. Soils shall be virtually free from subsoil, wood (including woody plant parts, weed or reproductive parts of the weeds, plant pathogenic organisms, toxic material, stones over 30mm, and foreign objects.

All planting beds shall receive min. 50mm bark mulch. The contractor shall maintain clean working conditions, remove all refuse and debris and present the site in a safe and clean condition upon completion of all works. Plant species and varieties may not be substituted without the approval of the Landscape architect. All plant material to be warranted for one year from date of substantial completion. All wood fences to be cedar, with one coat of clear penetrating preservative.

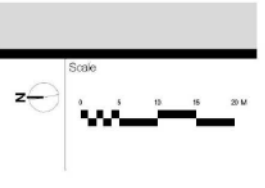


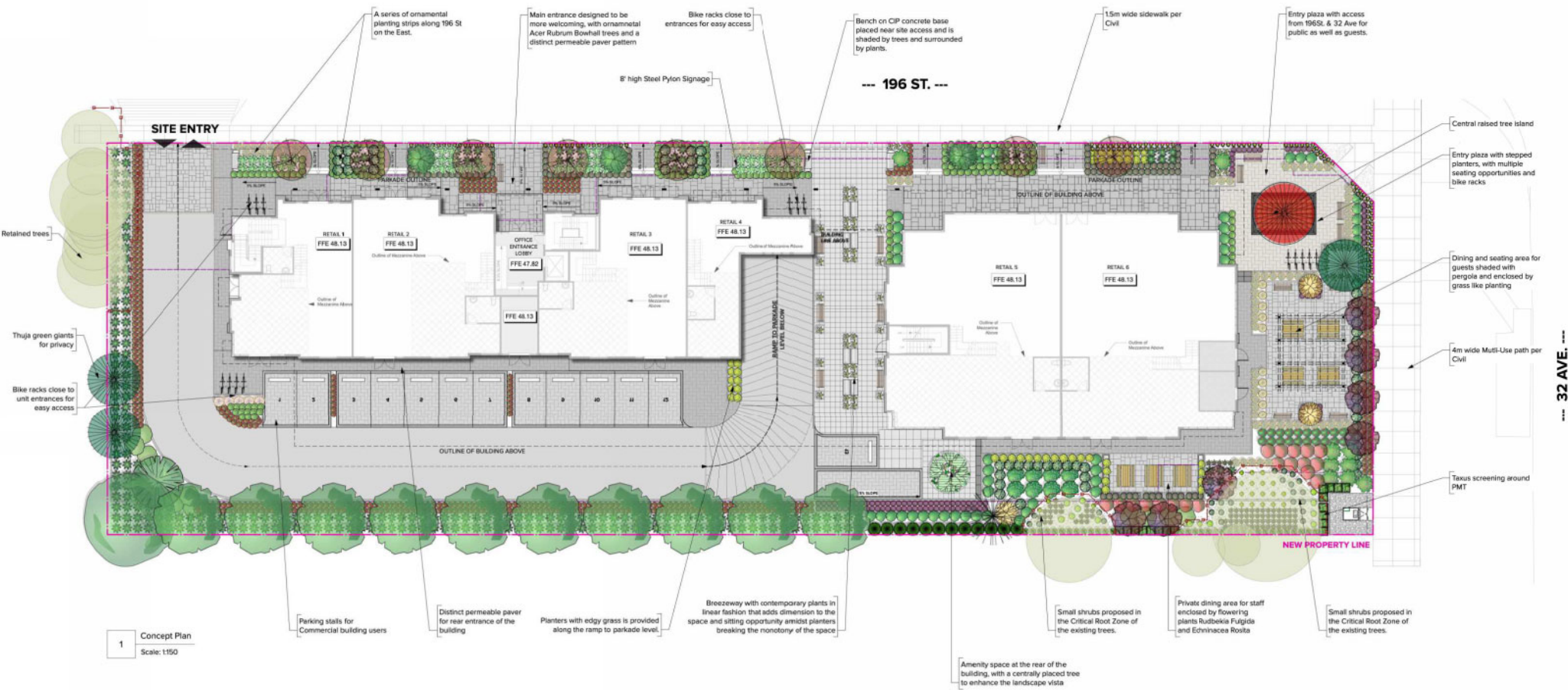
ARCHITECTURE PANEL INC.
ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN
Unit 306, 1493 Foster Street, White Rock, BC | (604) 8314501
nchl@architecturepanel.com
These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
© Architecture Panel Inc. All rights reserved.

Project
Proposed Commercial & Retail Development
Owner
1242852 BC Ltd.
Sheet Title
KEY PLAN

Total Sheets 7	Sheet No. L01	Contractors	Consultants
Drawn By SS/BB	Checked By SD	AHJ City of Surrey	Documents Council Approval
Reviewed By RD	Status Council Approval		

No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-02-28	DP Resubmission
D	2023-05-16	DP Resubmission
E	2023-08-25	DP Resubmission
F	2023-10-18	ADP Submission
G	2024-02-20	DP Resubmission
H	2024-03-26	Council Approval





1 Concept Plan
Scale: 1:150



ARCHITECTURE PANEL INC.
 ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN
 Unit 206, 1493 Foster Street, White Rock, BC | 6047831450 |
 rch@architecturepanel.com

These Drawings and the design are and all items remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
 © Architecture Panel Inc. All rights reserved.

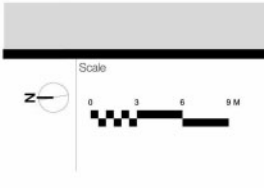
Project
Proposed Commercial & Retail Development

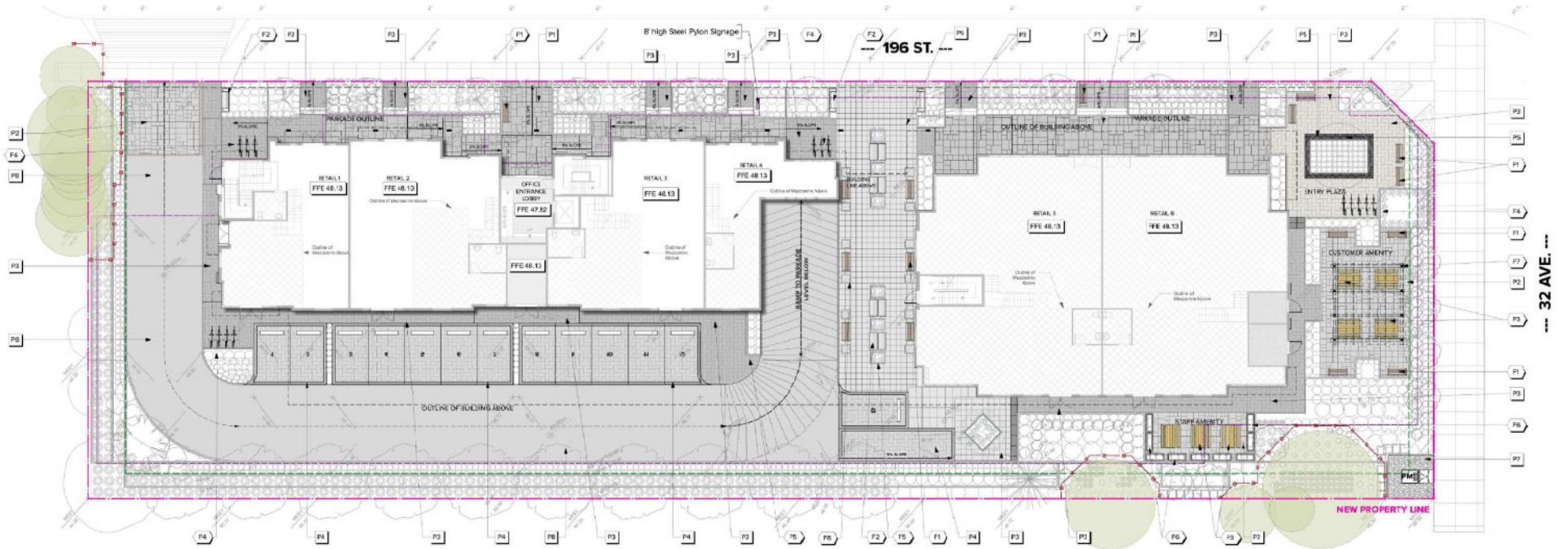
Owner
1242852 BC Ltd.

Sheet Title
CONCEPT PLAN

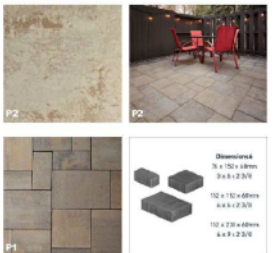
Total Sheets 7	Sheet No. L02	Contractors	Consultants
Drawn By SS/BB	Checked By SD	AHJ City of Surrey	Documents Council Approval
Reviewed By RD	Status Council Approval		

No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-02-28	DP Resubmission
D	2023-05-16	DP Resubmission
E	2023-08-26	DP Resubmission
F	2023-10-18	ADP Resubmission
G	2024-02-20	DP Resubmission
H	2024-03-26	Council Approval





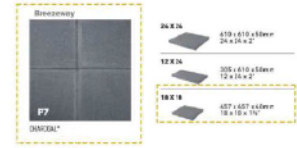
1 HARDSCAPE PLAN
Scale: 1:150



2 Belgard Dimensions pavers (P1 & P2)
Scale: NTS



3 Belgard Classic Standard Series (P5, P6)
Scale: NTS



4 Belgard Texada Hydra Pressed Slabs (P7)
Scale: NTS

Paver Legend

- P1 Belgard Dimensions pavers
Color: Victorian
See L03/2
- P2 Belgard Dimensions pavers
Color: Sepia
See L03/2
- P3 Belgard Classic Standard Series Paving
Color: Natural
See L03/3
- P4 Belgard Classic Standard Series Paving with border
Color: Shadow
Border Color: Charcoal
See 4/LD3
- P5 Belgard Classic Standard Series Paving
Color: Charcoal
See 4/LD3
- P6 Belgard Texada Hydra Pressed Slabs 18" X 18"
Color: Charcoal
See 5/LD3
- P7 Gravel
- P8 Asphalt

Furnishing Legend

- F1 Equipac Bench
See Detail 1/L05
- F2 Bench on CIP concrete base
See Detail 2/L05
- F3 Equipac Picnic Table
See Detail 3/L05
- F4 Bike Rack
See Detail 4/L05
- F5 CIP Sand Blasted Concrete Planter
Natural Color
- F6 Greenville Planters
See Detail 5/L05
- F7 Pigeola Above
See Detail 6/L05

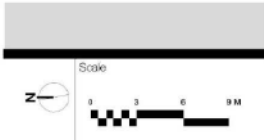


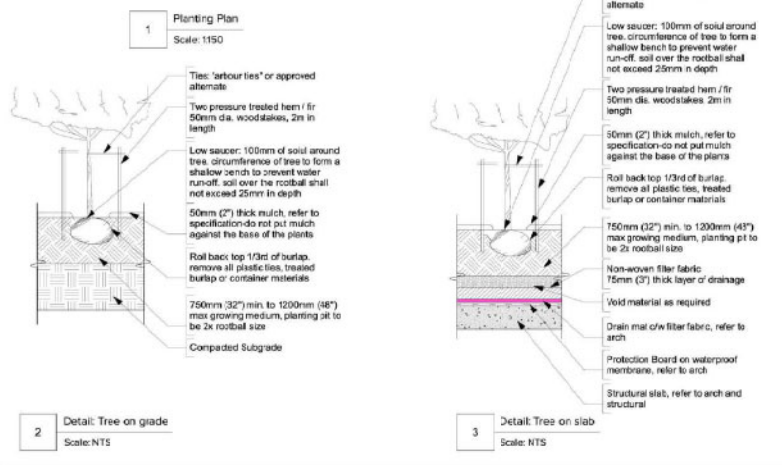
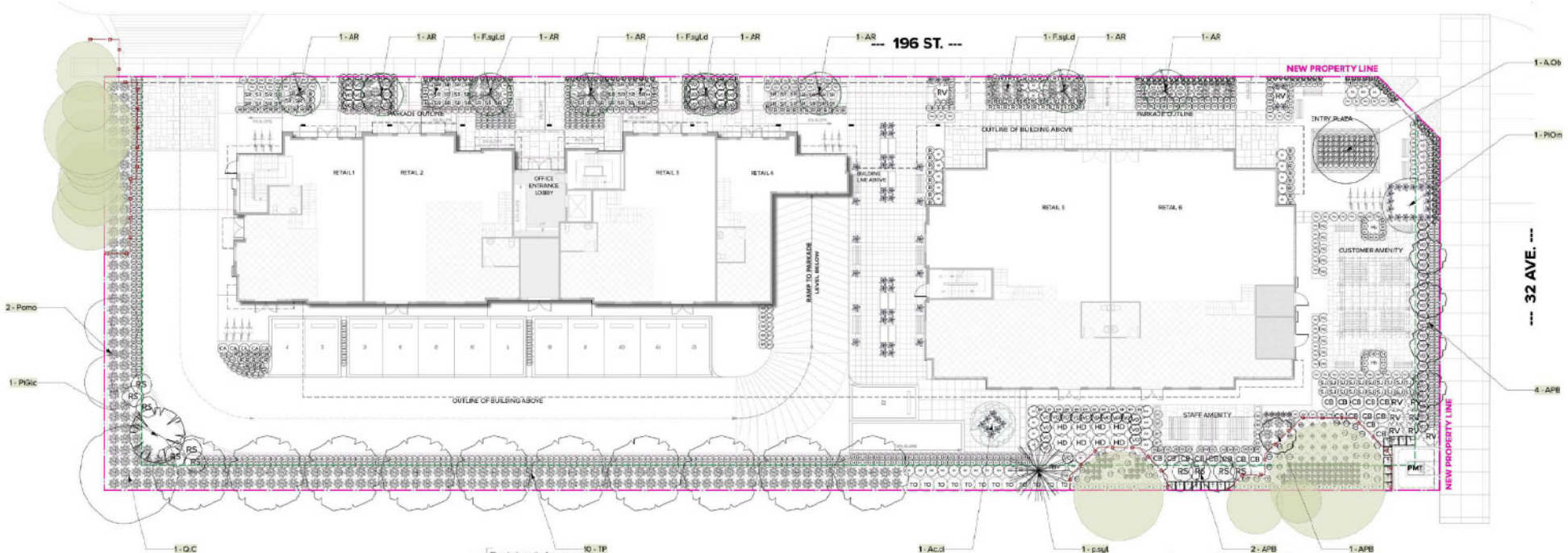
ARCHITECTURE PANEL INC.
ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN
Unit 206, 1493 Foster Street, White Rock, BC | (604) 8314501
nachi@architecturepanel.com
These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
© Architecture Panel Inc. All rights reserved.

Project
Proposed Commercial & Retail Development
Owner
1242852 BC Ltd.
Sheet Title
HARDSCAPE PLAN

Total Sheets 7	Sheet No. L03	Contractors	Consultants
Drawn By SS/BB	Checked By SD	AHJ City of Surrey	Documents Council Approval
Reviewed By RD	Status Council Approval		

No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-02-28	DP Resubmission
D	2023-05-16	DP Resubmission
E	2023-08-25	DP Resubmission
F	2023-10-18	ADP Submission
G	2024-02-20	DP Resubmission
H	2024-03-28	Council Approval





ID	Quantity	Latin Name	Common Name	Scheduled Size
H	108	Heuchera vars	Coral bells	#1 pot
RR-1	47	Rosa rugosa 'Hensel'	Hansa rose	#2 pot
TC	12	Thuja occidentalis 'Smaragd'	Emerald Cedar	1.5 m. ht.
PA1	103	Pennisetum alopecuroides 'Hemlin'	Hemlin Dwarf Fountain Grass	#2 pot
PC	10	Pennisetum orientale	Oriental Fountain Grass	#3 pot
PT	66	Pachyandra terminalis	Japanese Spurge	#1 pot
AL1	497	Actinophylos uvastur Vancouver Jade'	Vancouver Jade Kinnikinnik	#1 pot
VO	55	Vaccinium ovatum 'Thunderbird'	evergreen huckleberry	#3 pot
RS	10	Ribes sanguineum 'King Edward VII'	King Edward VII Flowering Currant	#3 pot
SJ	22	Skimmia japonica	Japanese Skimmia	#2 pot
HA	69	Hosta x 'Blue Angel'	Blue Angel Plantain Lily	#1 pot
HL	132	Hemerocallis x 'Lemon Yellow' or vars	Lemon Yellow Daylily	#1 pot
R	158	Rosa Nutkana	Nootka Rose	#2 pot
PM	266	Polystichum munitum	swordfern	#3 pot
CA	5	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	#2 pot
RV	9	Rhododendron Vulcan	Red Rhododendron	#2 pot
T	12	Taxus sp	Yew, hedge variety	1.5 m. ht.
HLt	3	Hibiscus syriacus 'Lucy'	Lucy Rose Of Sharon	1.5 m. ht.
RF	44	Rudbeckia fulgida var. flgida	Orange Coneflower	#1 pot
ER	104	Echinacea 'Rosta'	Purple coneflower 'Rosta (dwarf)	#1 pot
SR	56	Sarcococca nuscifolia	Fragrant Sarcococca	#3 pot
CB	19	Calliandra bodinieri 'Profusion'	Profusion Beautyberry	#3 pot
H	8	Holodiscus discolor	oceanspray	#3 pot
P	5	Polystichum polyblepharum	Tassel Fern	#1 pot

Proposed Trees Main Floor

ID	Quantity	Latin Name	Common Name	Scheduled Size
Ac.ci	1	Acer circinatum	Vine maple	3.0m ht.
APB	7	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	6 cm. Cal.
A.Oh	1	Acer palmatum 'Osio-Beri'	Osio-Beri Japanese Maple	3m ht. 5 cm cal. m
PI.Om	1	Picea glauca	Serbian Spruce	3 m
PI.Gk	1	Picea glauca	White Spruce	3 m
Q.C	1	Quercus coccoloba	Scarlet Oak	8 cm cal.
TP	10	Thuja x gilvica 'Green Giant'	Green Giant Arborvitae	10m ht.
psyl	1	Pinus sylvestris	Scotch Pine	3.0 m. ht.
AR	6	Acer rubrum 'Bowhall'	Bowhall red maple	6 cm. cal.
Fs.Jd	3	Fagus sylvatica 'Dawyckii'	Dawyckii Beech	7 cm. cal.
Pomo	2	Picea omorika	Serbian Spruce	7cm cal.

ARCHITECTURE PANEL INC.
 ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN
 Unit 206, 1493 Foster Street, White Rock, BC | (604) 783-4501
 nchi@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other data on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
 © Architecture Panel Inc. All rights reserved.

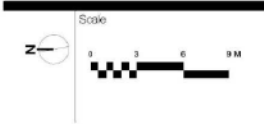
Project
Proposed Commercial & Retail Development

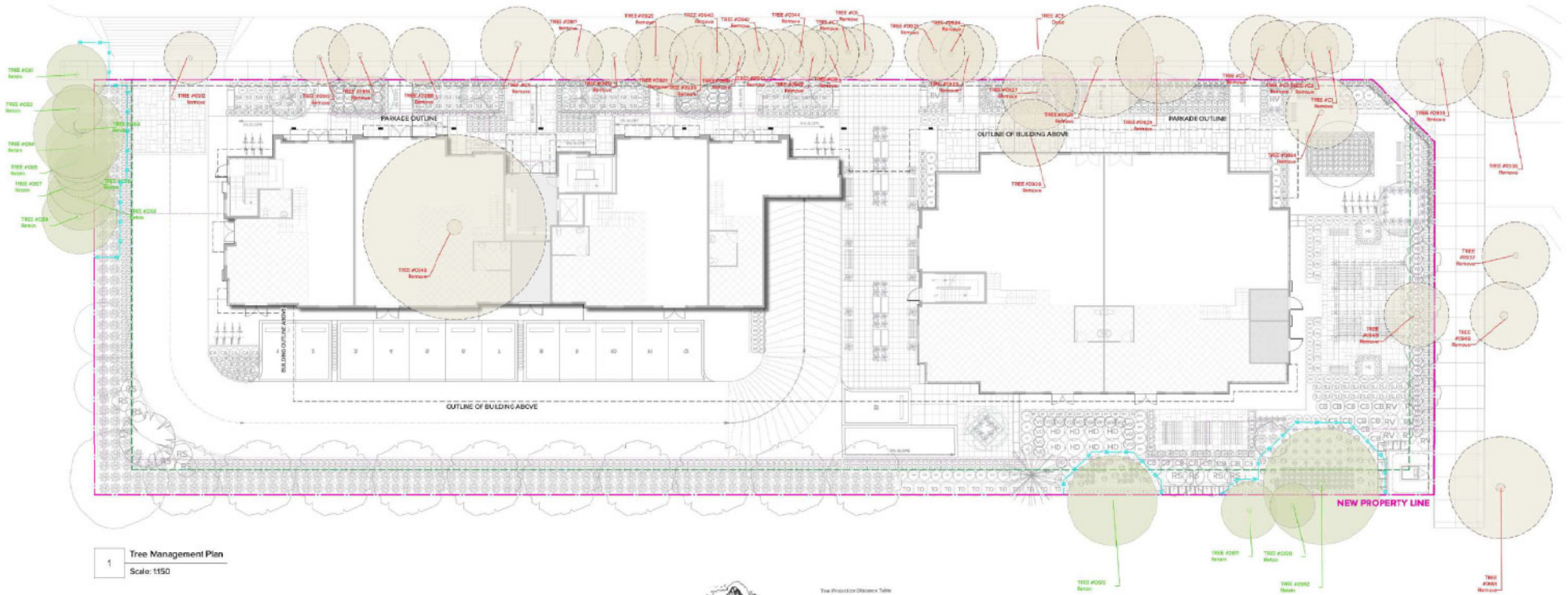
Owner
1242852 BC Ltd.

Sheet Title
PLANTING PLAN

Total Sheets 7	Sheet No. L04	Contractors	Consultants
Drawn By SS/BB	Checked By SD	AHJ City of Surrey	Documents Council Approval
Reviewed By RD	Status Council Approval		

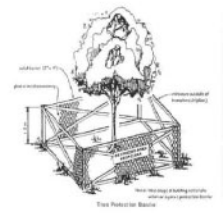
No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-02-28	DP Resubmission
D	2023-05-16	DP Resubmission
E	2023-08-25	DP Resubmission
F	2023-10-18	ADP Submission
G	2024-02-20	DP Resubmission
H	2024-03-28	Council Approval





1 Tree Management Plan
Scale: 1:150

TREE MANAGEMENT LEGEND



The Protection Distance Table

Stem Diameter (DBH)	Minimum Protection Radius (Distance from Stake to Stake)
20	15
25	15
30	15
35	20
40	20
45	25
50	25
55	30
60	30
65	35
70	40
75	40
80	45
85	50
90	50
100	55

HEIGHT MEASURED FROM DBH

2 CITY OF SURREY TREE PROTECTION BARRIER DETAIL
Scale: NTS

Proposed Shrubs in Tree Protection Zone

ID	Quantity	Latin Name	Common Name	Scheduled Size
VC-1	25	<i>Vaccinium ovatum</i> "Thunderbird"	Thunderbird Evergreen Huckleberry	#1 pot
P	26	<i>Polystichum polyblepharum</i>	Tassel Fern	#1 pot
CT-1	13	<i>ColiSYS tenaxia</i> "Aztec Pearl"	Aztec Pearl Mock Orange	#1 pot
SR-1	21	<i>Sambucus acerosa</i>	Lemony Lace® Elicberry	#1 pot
T	37	<i>Taxus sp</i>	Yew hedge variety	#1 pot

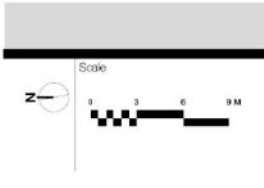


ARCHITECTURE PANEL INC.
ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN
Unit 206, 1493 Foster Street, White Rock, BC | (604) 9343450
nchi@architecturepanel.com
These Drawings and the design are and all inures remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
© Architecture Panel Inc. All rights reserved.

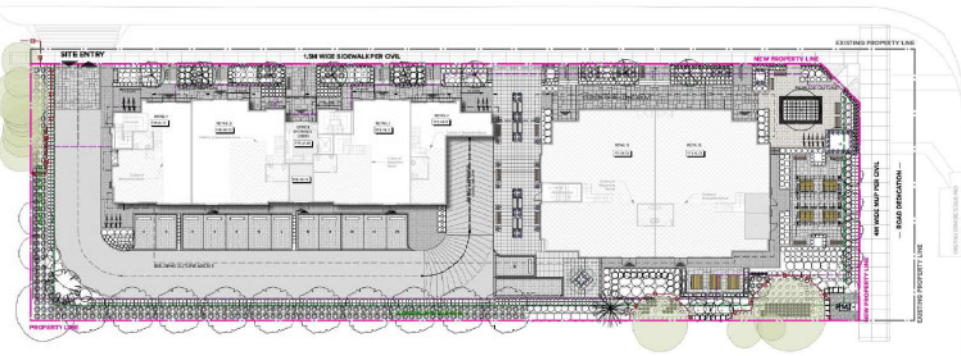
Project
Proposed Commercial & Retail Development
Owner
1242852 BC Ltd.
Sheet Title
TREE MANAGEMENT PLAN

Total Sheets 7	Sheet No. L06	Contractors	Consultants
Drawn By SS/BB	Checked By SD	AH-J City of Surrey	Documents Council Approval
Reviewed By RD	Status Council Approval		

No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-02-28	DP Resubmission
D	2023-05-16	DP Resubmission
E	2023-08-25	DP Resubmission
F	2023-10-18	ADP Submission
G	2024-02-20	DP Resubmission
H	2024-03-28	Council Approval



--- 196 ST. ---



1 Key Plan
Scale: 1:300

DESIGN RATIONALE AND SUMMARY

This is a proposed Commercial & Retail development located on a prominent corridor along 32 Ave and 196 Street. It is a contemporary building with flanking green strips lining the retail units. The southern setback being quite wide, offers a reasonable width for planting of a couple of trees with ample soil volume within the proposed new property line and has plenty of seating opportunities for the public as well as users of the development. The trees of choice have been ornamental Acer Palmatum and 'Oshio Beni' to add colour and texture as the foreground elements to the rather well-crafted modern building. The hardscape has been conceptualized to be a blend of permeable pavers and hydropressed slabs to differentiate pedestrian movement for building entries, dining areas and a central breezeway.

To the south of the property along 32 Ave, we have proposed an entry plaza with a couple of planters with a dash of ornamental shade planting under proposed small trees and a central island for a tree and plenty of seating and bike racks. The paving for this entry plaza is red permeable pavers to provide a contrast from the hardscape proposed throughout the site. The breezeway is finished with hydra pressed slab and is shaded by offices on the upper floor and has ample seating and planters with ornamental planting. On the Main floor level, the back entrance is treated with distinctive pattern of paving as compared to the path leading to parking stalls that is treated with natural colour permeable pavers outdoor dining area has been provided for the guests and staff separately. The East side of the site is treated with visually appealing breaks of planting and seating opportunities and bike racks, stepped planters. All areas have been designed to have maximum visibility and encourage elimination of any hidden or dark pockets for crime prevention.

The different areas of the site are clearly defined for their intended use. Moreover, sensitive use of native shrubs along with hedge for the privacy help the site to seamlessly blend with the neighborhood.



Hemerocallis 'Lemon Yellow'



Hibiscus Syriacus



Calliandra Bodinieri 'Profusion'



Vaccinium Ovatum 'Thunderbird'



Polystichum Poylepharum



Ribes Sanguineum



Acer Rubrum



Acer palmatum Oshio-Beni



Picea Glauca

--- 32 AVE. ---

NOTE: SEE L03 FOR PAVING AND FURNISHING LEGEND

NOTE: SEE L04 & L05 FOR LIST OF TREES AND SHRUBS

GENERAL NOTES

All materials and workmanship to CLS Standards, latest edition. Soil depths and subgrade preparation, soil quality and plant sizes to meet or exceed that standard.

Plant sizes in this list are specified according to the BC Landscape Standard's latest edition. Container sizes are specified as per 'CNTA Standards'. Both plant size and container size are the minimum acceptable sizes. The installers are advised to search and review, make plant material available to the Landscape Architect for optional review at the source of supply. Areas of search to include Lower Mainland and Fraser Valley. 'Substitutions' must obtain written approval from the Landscape Architect prior to making any substitutions to specified material. Unapproved substitutions will be rejected. Allow a minimum of five working days prior to delivery for request to substitute. Substitutions are subject to the Landscape Standard.

All plant material must be provided from the certified 'Disease Free' nursery. All plant material must conform to the latest edition of the 'BC Landscape Standard'. Provide certification upon request. All landscaping and landscape materials to conform to the latest edition of the CLS standards.

Min. growing medium depths over prepared subgrade shall be:

Lawn Areas	300mm
Ground Cover Areas	450mm
Shrub Areas	450mm
Tree Fits	300mm (around root balls)

Growing medium shall have physical and chemical properties as described in the standards for 'Ground' areas, except for the areas over structures where the medium shall conform to the requirements for level 1 applications. Processing and mixing of the growing medium shall be done off-site using a mechanized screening process. Proposed growing medium shall be tested by a recognized laboratory. The contractor shall guarantee that the soil submitted for testing is a sample representative of the soil to be used at the site.

On-Site or imported soils shall satisfy the requirements of the standards for growing medium. Soils shall be virtually free from subsoil, wood (including woody plant parts, weed or reproductive parts of the weeds, plant pathogenic organisms, toxic material, stones over 30mm, and foreign objects.

All planting beds shall receive min. 50mm bark mulch. The contractor shall maintain clean working conditions, remove all refuse and debris and present the site in a safe and clean condition upon completion of all works. Plant species and varieties may not be substituted without the approval of the Landscape Architect. All plant material to be warranted for one year from date of substantial completion. All wood fences to be cedar, with one coat of clear penetrating preservative.



ARCHITECTURE PANEL INC.

ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

Unit: 306, 1493 Foster Street, White Rock, BC | (604) 8314501
nchl@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
© Architecture Panel Inc. All rights reserved.

Project
Proposed Commercial & Retail Development

Owner
1242852 BC Ltd.

Sheet Title
KEY PLAN

Total Sheets
7

Sheet No.
L01

Contractors

Consultants

Drawn By
SS/BB

Checked By
SD

AHJ
City of Surrey

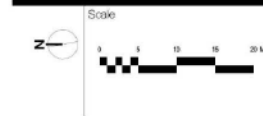
Documents
Council Approval

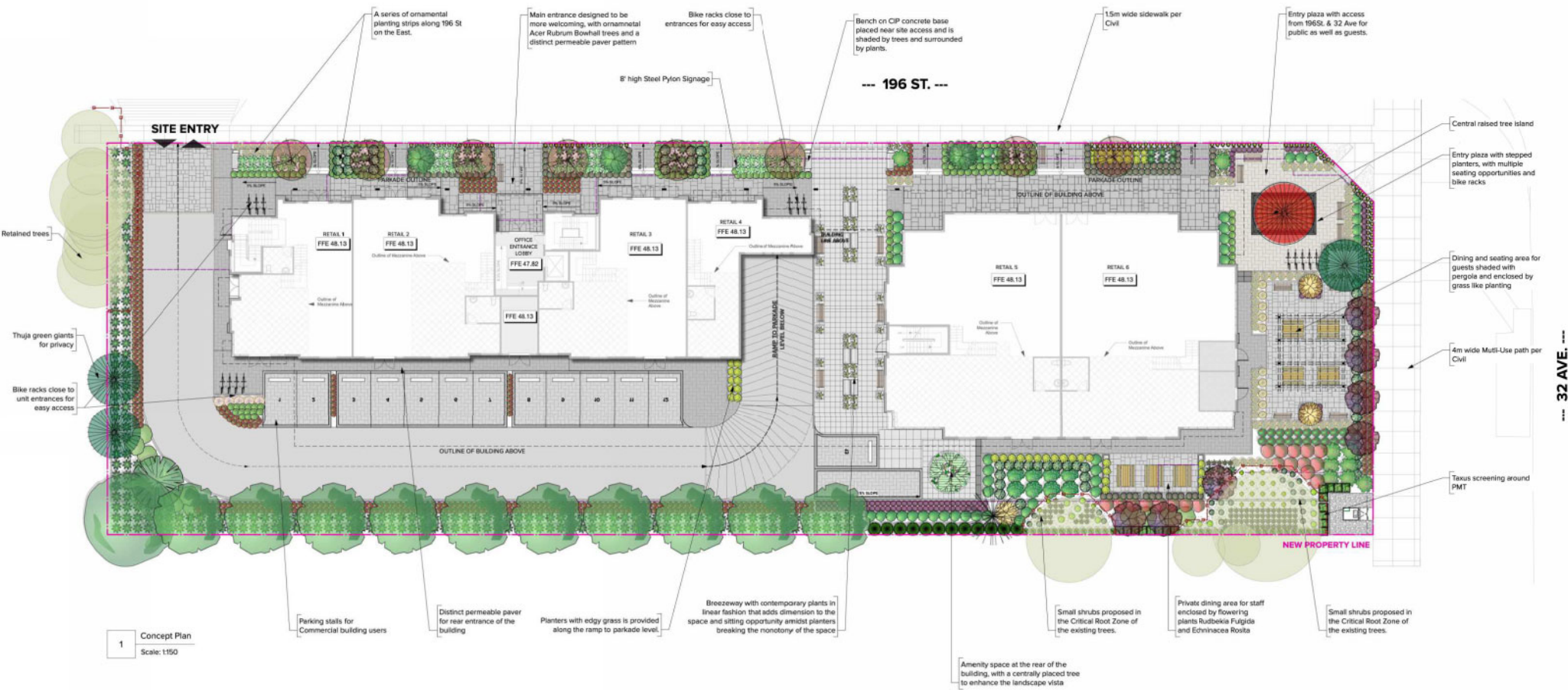
Reviewed By
RD

Status
Council Approval



No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-02-28	DP Resubmission
D	2023-05-16	DP Resubmission
E	2023-08-25	DP Resubmission
F	2023-10-18	ADP Submission
G	2024-02-20	DP Resubmission
H	2024-03-26	Council Approval





1 Concept Plan
Scale: 1:150



ARCHITECTURE PANEL INC.
 ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN
 Unit 206, 1493 Foster Street, White Rock, BC | 6047831450 |
 rch@architecturepanel.com

These Drawings and the design are and all items remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
 © Architecture Panel Inc. All rights reserved.

Project
Proposed Commercial & Retail Development

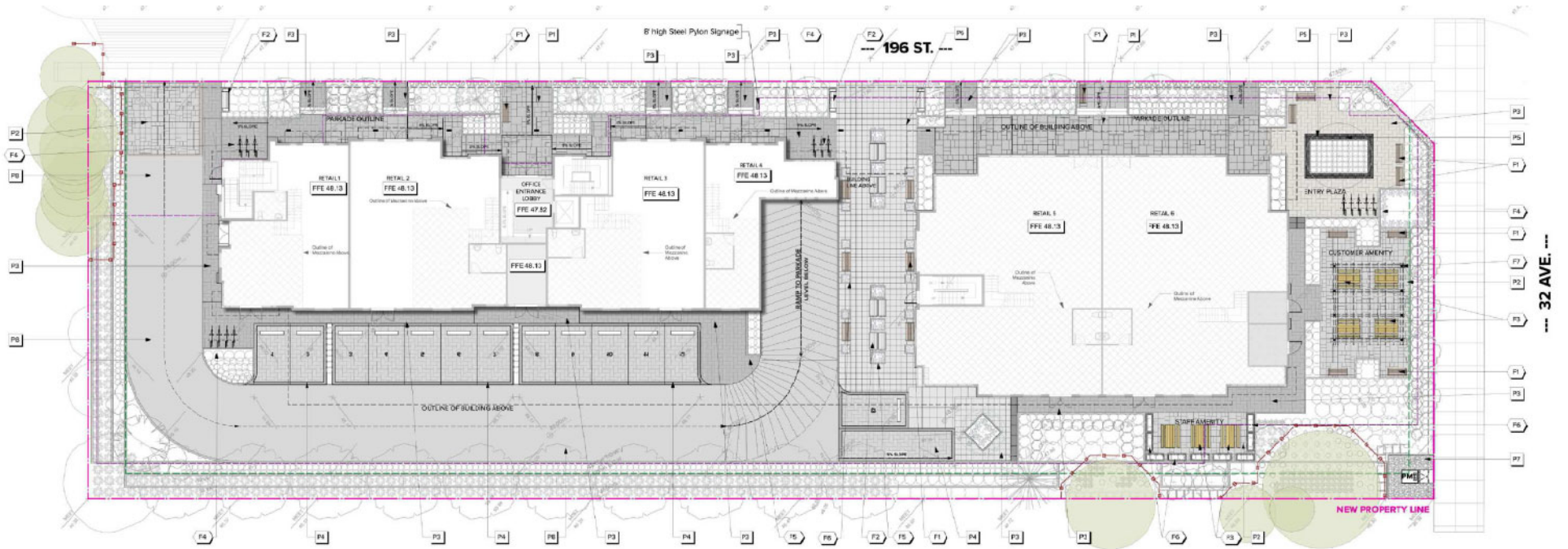
Owner
1242852 BC Ltd.

Sheet Title
CONCEPT PLAN

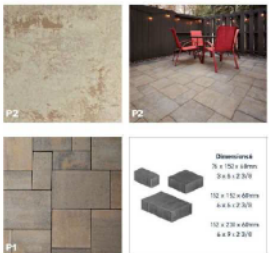
Total Sheets 7	Sheet No. L02	Contractors	Consultants
Drawn By SS/BB	Checked By SD	AHJ City of Surrey	Documents Council Approval
Reviewed By RD	Status Council Approval		

No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-02-28	DP Resubmission
D	2023-05-16	DP Resubmission
E	2023-08-26	DP Resubmission
F	2023-10-18	ADP Resubmission
G	2024-02-20	DP Resubmission
H	2024-03-26	Council Approval





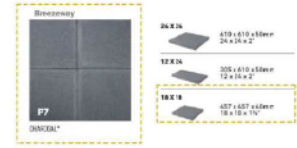
1 HARDSCAPE PLAN
Scale: 1:150



2 Belgard Dimensions pavers (P1 & P2)
Scale: NTS



3 Belgard Classic Standard Series (P5, P6)
Scale: NTS



4 Belgard Texada Hydra Pressed Slabs (P7)
Scale: NTS

Paver Legend

- P1 Belgard Dimensions pavers
Color: Victorian
See L03/2
- P2 Belgard Dimensions pavers
Color: Sepia
See L03/2
- P3 Belgard Classic Standard Series Paving
Color: Natural
See L03/3
- P4 Belgard Classic Standard Series Paving with border
Color: Shadow
Border Color: Charcoal
See 4/LD3
- P5 Belgard Classic Standard Series Paving
Color: Charcoal
See 4/LD3
- P6 Belgard Texada Hydra Pressed Slabs 18" X 18"
Color: Charcoal
See 5/LD3
- P7 Gravel
- P8 Asphalt

Furnishing Legend

- F1 Equipac Bench
See Detail 1/L05
- F2 Bench on CIP concrete base
See Detail 2/L05
- F3 Equipac Picnic Table
See Detail 3/L05
- F4 Bike Rack
See Detail 4/L05
- F5 CIP Sand Blasted Concrete Planter
Natural Color
- F6 Greenville Planters
See Detail 5/L05
- F7 Pergola Above
See Detail 6/L05

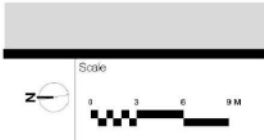


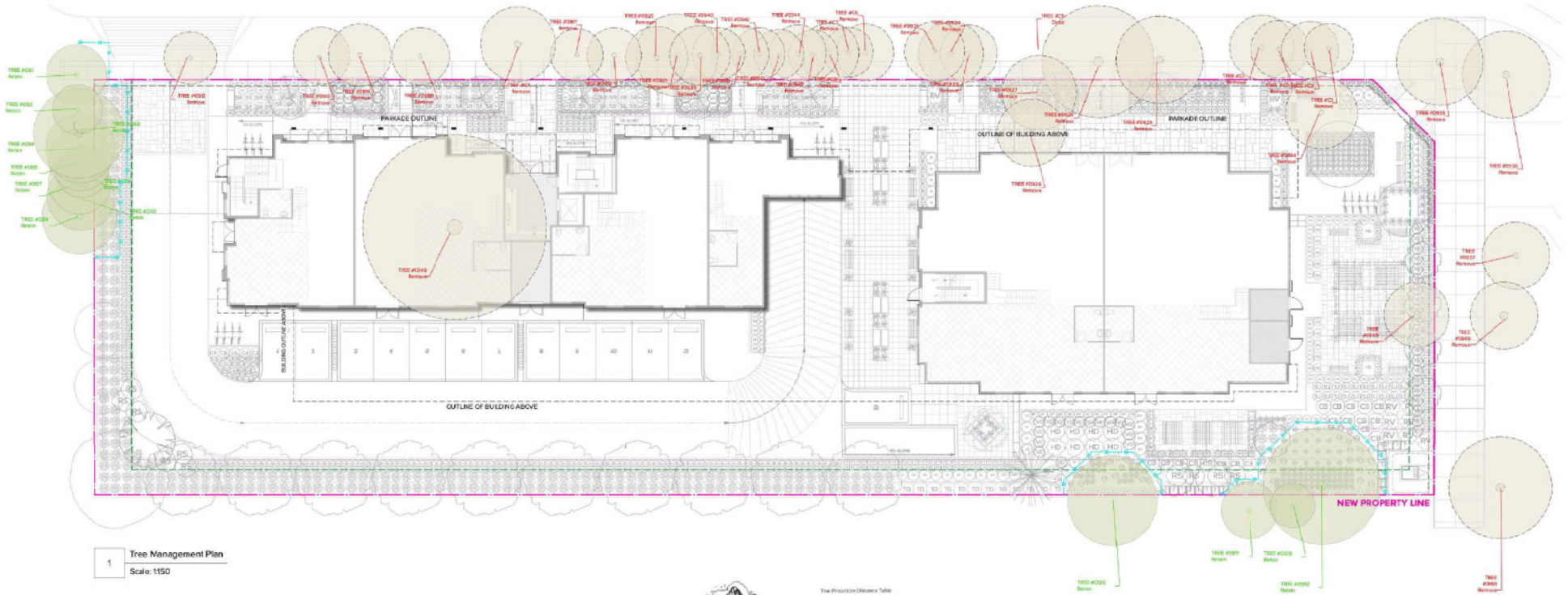
ARCHITECTURE PANEL INC.
ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN
Unit 206, 1493 Foster Street, White Rock, BC | (604) 8314501
nachi@architecturepanel.com
These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
© Architecture Panel Inc. All rights reserved.

Project
Proposed Commercial & Retail Development
Owner
1242852 BC Ltd.
Sheet Title
HARDSCAPE PLAN

Total Sheets 7	Sheet No. L03	Contractors	Consultants
Drawn By SS/BB	Checked By SD	AHJ City of Surrey	Documents Council Approval
Reviewed By RD	Status Council Approval		

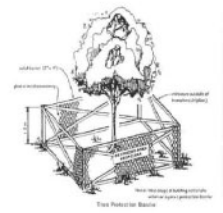
No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-02-28	DP Resubmission
D	2023-05-16	DP Resubmission
E	2023-08-25	DP Resubmission
F	2023-10-18	ADP Submission
G	2024-02-20	DP Resubmission
H	2024-03-28	Council Approval





1 Tree Management Plan
Scale: 1:150

TREE MANAGEMENT LEGEND



The Protection Distance Table

Stem Diameter (mm)	Minimum Protection Radius (m)	Minimum Tree Protection Zone (m)
20	1.5	1.5
25	1.5	1.5
30	1.5	1.5
35	1.5	1.5
40	1.5	1.5
45	1.5	1.5
50	1.5	1.5
55	1.5	1.5
60	1.5	1.5
65	1.5	1.5
70	1.5	1.5
75	1.5	1.5
80	1.5	1.5
85	1.5	1.5
90	1.5	1.5
95	1.5	1.5
100	1.5	1.5

2 CITY OF SURREY TREE PROTECTION BARRIER DETAIL
Scale: NTS

Proposed Shrubs in Tree Protection Zone

ID	Quantity	Latin Name	Common Name	Scheduled Size
VC-1	25	<i>Vaccinium ovatum</i> "Thunderbird"	Thunderbird Evergreen Huckleberry	#1 pot
P	26	<i>Polystichum polyblepharum</i>	Tassel Fern	#1 pot
CT1	13	<i>ColiSYS tenaxia</i> "Aztec Pearl"	Aztec Pearl Mock Orange	#1 pot
SR1	21	<i>Sambucus acerosa</i>	Lemony Lace® Elicberry	#1 pot
T	37	<i>Taxus sp</i>	Yew hedge variety	#1 pot

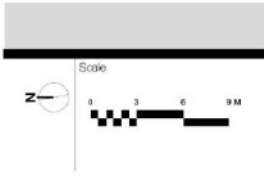


ARCHITECTURE PANEL INC.
ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN
Unit 206, 1493 Foster Street, White Rock, BC | (604) 9343450
nchi@architecturepanel.com
These Drawings and the design are and all inures remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's/Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Architect/Landscape Architect. Any changes made without the Architect's/Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern.
© Architecture Panel Inc. All rights reserved.

Project
Proposed Commercial & Retail Development
Owner
1242852 BC Ltd.
Sheet Title
TREE MANAGEMENT PLAN

Total Sheets 7	Sheet No. L06	Contractors	Consultants
Drawn By SS/BB	Checked By SD	AHJ City of Surrey	Documents Council Approval
Reviewed By RD	Status Council Approval		

No	Date	Issue Notes
B	2023-01-16	Pre-Application
C	2023-02-28	DP Resubmission
D	2023-05-16	DP Resubmission
E	2023-08-25	DP Resubmission
F	2023-10-18	ADP Submission
G	2024-02-20	DP Resubmission
H	2024-03-28	Council Approval



INTER-OFFICE MEMO

TO: Director, Area Planning & Development
- South Surrey Division
Planning and Development Department

FROM: Development Process Manager, Engineering Department

DATE: March 27, 2024 **PROJECT FILE:** 7820-0040-00

RE: Engineering Requirements (Commercial/Industrial)
Location: 19585 32 Ave

REZONE

Property and Right-of-Way Requirements

- Dedicate 4.942 m towards 32 Avenue.
- Dedicate 1.942 m towards 196 Street.
- Dedicate 5.0 m x 5.0 m corner cut at 196 Street and 32 Avenue.
- Register 0.50 m statutory right-of-way along all road frontages.

Works and Services

- Construct multi-use pathway along the north side of 32 Avenue.
- Construct the west side of 196 Street.
- Construct water mains along 32 Avenue and 196 Street.
- Construct storm mains necessary to service the development and road runoff.
- Construct sanitary main along 32 Avenue.
- Provide cash-in-lieu to construct sanitary main along 196 Street.
- Complete sanitary and storm catchment analysis and resolve downstream constraints.
- Construct storm, sanitary and water service connections to service the development.
- Provide on-site stormwater mitigation and water quality features.
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT

There are no engineering requirements relative to the issuance of the Development Permit.



Daniel Sohn, P.Eng.
Development Process Manager
BD

NOTE: Detailed Land Development Engineering Review available on file

8.0 TREE PRESERVATION SUMMARY

Surrey Project No: N/A

Address: 19585 32 Ave, Surrey, B.C., V3S 0L5

Registered Arborist: Francis Klimo

On-Site Trees	Number of Trees
Protected Trees Identified <i>(on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas and non-bylaw protected trees)</i>	42
Protected Trees to be Removed	41
Protected Trees to be Retained <i>(Excluding trees within proposed open space or riparian areas)</i>	1
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0	0
All other Trees Requiring 2 to 1 Replacement Ratio 41 X two (2) = 82	82
Replacement Trees Proposed	0
Replacement Trees in Deficit	82
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	N/A

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0	0
All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

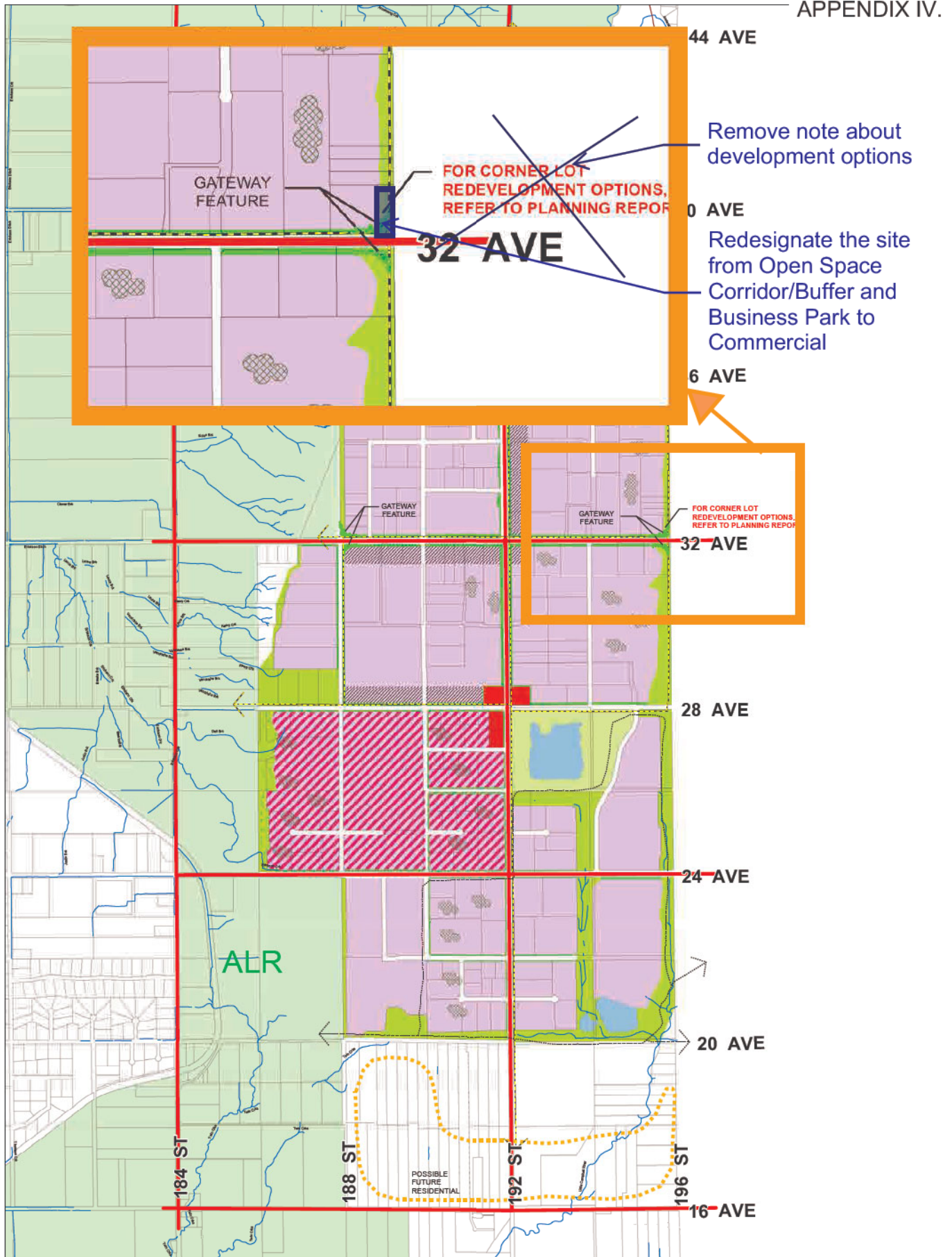
Summary, report and plan prepared and submitted by:



May 10, 2023

(Signature of Arborist)

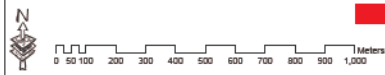
Date



CAMPBELL HEIGHTS LAND USE PLAN
 City of Surrey Planning & Development Department

Legend

- Campbell Heights Local Area Plan
- Business Park (Office)
- Business Park
- Technology Park or Business Park
- Business Park or Live/Work in Cluster Housing Form
- Commercial
- Campbell Heights Local Area Plan, City Park
- Open Space Corridors/Buffers
- Landscaping Strips
- Stormwater Management Facilities
- Creeks and Rivers
- ALR Boundary
- Tree Preservation Opportunities
- Multi-Use Trail (Walking, Cycling and Horseback Riding)
- Walking and Cycling Pathways
- Arterial Roads



Approved by Council December 11, 2000
 Amended 13 March 2024

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

ADP Minutes - 09 Nov 2023

3. 5:25 p.m.

File No.: 20-0040

New or Resubmit: New

Last Submission Date: N/A

Description: Rezoning from A-1 to CD based on C-5, with height of 11.3m, east 4.0m, FAR at 0.87, and a Development Permit to allow for the construction of 3,092 sq. m. of commercial space.

Address: 19585 32 Avenue

Developer: Nirvair Bagri

Architect: Ruchir Dhall, Architecture Panel Inc

Landscape Architect: Ruchir Dhall, Architecture Panel Inc

Planner: Luci Moraes

Urban Design Planner: Vanessa Goldgrub

The Urban Design Planner reviewed the area context and advised that staff generally support the project.

The Panel was asked to comment on the overall site planning, pedestrian and vehicular movement, architectural expression, overall landscape concept, and public realm interfaces.

The Project Architect presented an overview of the site planning, streetscapes, building concept, and 3D Views.

The Landscape Architect presented an overview of the general concept for the Landscape design.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by R. Amies

Seconded by N. Couttie

That the Advisory Design Panel (ADP) is in CONDITIONAL SUPPORT of the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department and, at the discretion of Planning staff, resubmit the project to the ADP for review.

Carried

Opposed by N. Funk

Key Points

- Consider additional design development on east elevation to respond better to residential lots to the east.

API: Material and interface design changes undertaken significantly. Choice of the highlight materials amended to have warmer colour and feel to closely mimic the residential quality on the East elevation to contextually sit appropriately with the residential development to the EAST. (See Sheet A3.01)

- Consider more pedestrian-scaled entries to lobbies.

API: An intimate treatment is proposed by introducing a canopy with warmer Glulam members to the Main entrance. This has been also carefully constructed to impart a more appropriately scaled entrance to an otherwise grander entry feature. (See Sheet A3.01, A5.01)

- Consider simplification of massing for cohesiveness of all elevations.

API: The geometry of the canopies have been significantly simplified to move away from the 'L' shaped format and simplify the expression. (See Sheet A3.01, A5.01)

- Further review planting under canopy for irrigation requirements.

API: Significantly reduced planting under canopy which has been substituted with other programming like the benches. The reduced planting elements are designed to make irrigation requirements remarkably low. (See Sheet A1.04, L04)

Site

- No specific issues were identified.

Form and Character

- Consider including more sun shading or protection on the west façade to avoid overheating office spaces and to increase energy consumption.

API: We consulted the Mechanical and the energy consultants and were advised of the high performance envelope and reduced fenestrations for a good performance. The building as proposed is said to be conforming appropriately to the requisite Step code requirements and therefore doesn't need additional shading on the West.

- Consider a design development to pick up some residential cues without attempting to be “residential”; perhaps through the arrangement of the “frames”, the pattern of window mullions, or the use of some residential materials such as wood longboard instead of coloured longboard.

API: As described previously, the Building Expression is revised to appear more residential, intimate and warmer. Some of the design moves are a) coloured longboard replaced with wood longboard. b) Geometry of the canopy expression simplified to be more contextually relevant in the residential setting. (See Sheet A3.01, A5.01)

- Suggest simplification of massing and window treatment for more cohesiveness on the elevations and between the two buildings.

API: See description of the simplification mentioned above. We feel that the multi-tenant use of the Northern block and the relatively reduced numbers of users in the Southern block paired with its corner expression now justifies the retooled expression. (See Sheet A3.01, A5.01)

- Consider potential exiting/travel distance issue with underground parkade stalls at the far south-west as this may alter the form and character of the building if an additional exit staircase is required.

API: An exit pathway created between the parking spots to provide permissible travel distance from the South-West stall. Parkade area increased. (See Sheet A2.01)

- Consider adding or improving canopy coverage at entrances doors for improved weather protection.

API: Achieved by adding additional canopy to make the entrance interface more intimate and well-scaled. (See Sheet A3.01)

- Consider revising main entrance and canopy.

API: A canopy is added to the main entrance. See above. (See Sheet A3.01, A5.01)

- Consider developing a more similar language between the building volumes.

API: As described above, the similarity of the buildings appears to be as close as functionally possible with its tenant user numbers and their respective scale and contextual appropriateness. (See Sheet A3.01, A5.01)

Landscape

- Great overall tree retention
- Consider tree species selection together with tenant signage plan so commercial frontages are not obscured.

API: Columnar trees - Acer Rubrum Bowhall and Fagus Sylvatica Dawyck Purple are proposed along the frontage for better visibility. (See Sheet L04, A5.01)

- Reconsider the placement of new plant materials and root zones of existing trees.

API: Small shrubs (Pot #1) are proposed in the Tree Root Protection Zone. (See Sheet L04)

CPTED

- No specific issues were identified.

Sustainability

- Appreciate that energy modelling to future climate data (2050 – 2080) has been included to anticipate shock events (hot and cold), and to inform fenestration layouts, natural ventilation, and passive cooling strategies on different facades.

API: Yes, the energy modeler has assured including future climate files to the model to anticipate the shock data as requested.

- Consider establishing specific targets for project performance goals which exceed BC Step Code minimums for aspects like insulation values and/or air tightness.

API: As advised earlier, the step code requirements are on track to be fulfilled as agreed by the owners.

- Consider including slag or fly ash into the structural concrete to reduce embodied carbon due to cement content.

API: We investigated the possibility to include the fly ash in the structural concrete and had meetings with experts on the matter. It was discovered that the source of such additives are located rather far from our geographical region and the logistics do not lend very favourably to have them in a project of this scale and size.

- Appreciate inclusion of rainwater harvesting for re-use as irrigation or amenity onsite.

API: The hydro-geological profile of this site as reviewed with the consultants and the CoS are rather shallow (the water table). This could cause the absorption and drainage rather challenging. However, the owners have conveyed that should the geological conditions allow, they will stave towards rain-water harvesting among the

possible options come the building permit stage having obtained any favourable data.

- Consider addition of end of trip facilities for bike users within the base building.

API: It is not anticipated that much of the bicycle traffic in the worker profile is going to have larger number using long routes requiring the end-of-trip facilities.

- Consider identifying specific sustainability certifications to enhance access to broad range of future tenants while committing to high performance goals.

API: The owners are committed to working towards the minimum step code requirements and will therefore need to work with high performance envelopes and other fenestration performance to cater to this.

Accessibility

- No specific issues were identified.

CITY OF SURREY

BYLAW NO. 21200

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 197 (CD 197), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
 FROM: GENERAL AGRICULTURE ZONE (A-1)
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 197" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 197"	19585 - 32 Avenue	Lot 2, Plan 12715	21200	N/A"

- 2. This Bylaw shall be cited for all purposes as "Surrey Comprehensive Development Zone 197 (CD 197), Bylaw, 2024, No. 21200".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PUBLIC HEARING HELD thereon on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 197 (CD 197)

In this Comprehensive Development Zone 197 (CD 197), **Part 36, Community Commercial Zone (C-8) Zone**, as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
19585 – 32 Avenue	Lot 2 Section 27 Township 7 NWD Plan 12715	001-223-364

(collectively the "Lands")

except as follows:

1. Permitted Uses

Delete Section "B. Permitted Uses" and replace it with a new Section "B. Permitted Uses" as follows:

"B. Permitted Uses

Lands, buildings and structures shall only be used for the following uses, or a combination thereof:

Principal Uses:

1. *Retail stores* excluding the following:
 - (a) *Adult entertainment stores*; and
 - (b) *Secondhand stores and pawnshops*.
2. *Personal service uses* excluding *body rub parlours*.
3. *General service uses* excluding funeral parlours and *drive-through banks*.
4. *Eating establishments* excluding *drive-through restaurants*.
5. *Neighbourhood pubs*, regulated under the Liquor Control and Licensing Act, as amended.
6. *Liquor store*.
7. *Office uses* excluding the following:
 - (a) *Social escort services*;
 - (b) *Methadone clinics*; and
 - (c) *Marijuana dispensaries*.
8. *Indoor recreational facilities*.
9. *Entertainment uses* excluding *arcades* and *adult entertainment stores*.
10. *Community services*.
11. *Child care centres*; regulated under the Community Care and Assisted Living Act, as amended, and the Child Care Licensing Regulation, as amended.
12. *Cultural Uses*.

Accessory Uses:

13. *One caretaker unit per lot*.

2. Density

Delete Section "D. Density" and replace it with a new Section "D. Density" as follows:

"D. Density

1. Maximum Density:
Maximum *density* shall be as follows:
 - (a) 1 *dwelling unit*; and
 - (b) The lesser of *floor area ratio* of 0.1 or *building area* of 300 sq. m.
2. Permitted Density Increases:
If amenity contributions are provided in accordance with Schedule G, maximum *density* may be increased to a *floor area ratio* of 0.87.

3. Yards and Setbacks

Delete Section "F. Yards and Setbacks" and replace it with a new Section "F. Yards and Setbacks" as follows:

"F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	<i>Front Yard (South)</i>	<i>Rear Yard (North)</i>	<i>Side Yard (West)</i>	<i>Street Side Yard (East)</i>
<i>Principal and Accessory Buildings and Structures¹</i>	7.5 m ¹	7.5 m ¹	7.5 m ¹	4 m ¹

¹ Notwithstanding Section A.3.(d) of Part 5, Off-Street Parking and Loading/Unloading, *parking - underground* may be located up to 0.5 m of any *lot line*.

4. Height of Buildings

Delete Section "G. Height of Buildings" and replace it with a new Section "G. Height of Buildings" as follows:

"G. Height of Buildings

1. Principal Buildings:
Principal building height shall not exceed 13 m.
2. Accessory Buildings:
Accessory building height shall not exceed 4.5 m.
3. Structures:
Structure height shall not exceed 4.5 m."

NOTICE OF PUBLIC HEARING

Surrey City Council will hold an **electronic** Public Hearing

View the livestream at surrey.ca or at City Hall
13450 —104 Avenue

MEETING DATE

MONDAY
APRIL 22, 2024

STARTING AT 7PM

PUBLIC HEARING



Liquor Notice for Royal Canadian Legion Branch #240

Planning Report—Application No. 7924-0020-00

Location: 2643 - 128 Street

Purpose of Liquor Primary License: The applicant is requesting to allow for a conversion of an existing licensed establishment from liquor primary club to a liquor primary license in order to provide liquor service to a wider range of patrons, including the general public.

IMPORTANT – PUBLIC HEARING NOTICE – OWNER/OCCUPANT



Office of the City Clerk
13450 – 104 Avenue,
Surrey, BC V3T 1V8
Canada

QUESTIONS FOR THE PLANNER:

Email planning staff at planningdevelopment@surrey.ca if you have any questions regarding this application. For information about the application visit surrey.ca.

City Hall is open Monday to Friday 8:30am-4:30pm except statutory holidays.

COMMENTS TO COUNCIL:

Webform: surrey.ca

Email: clerks@surrey.ca

Mail: Office of the City Clerk at the address above

Fax: 604-501-7578

Written submissions will be made public on the City's website and distributed to Council. Submissions must be received by 12:00 noon on the day of the Public Hearing.

REGISTER TO SPEAK AT THE PUBLIC HEARING:

Follow the registration process at surrey.ca/city-government/councilmeetings/attending-and-participating-public-hearings.

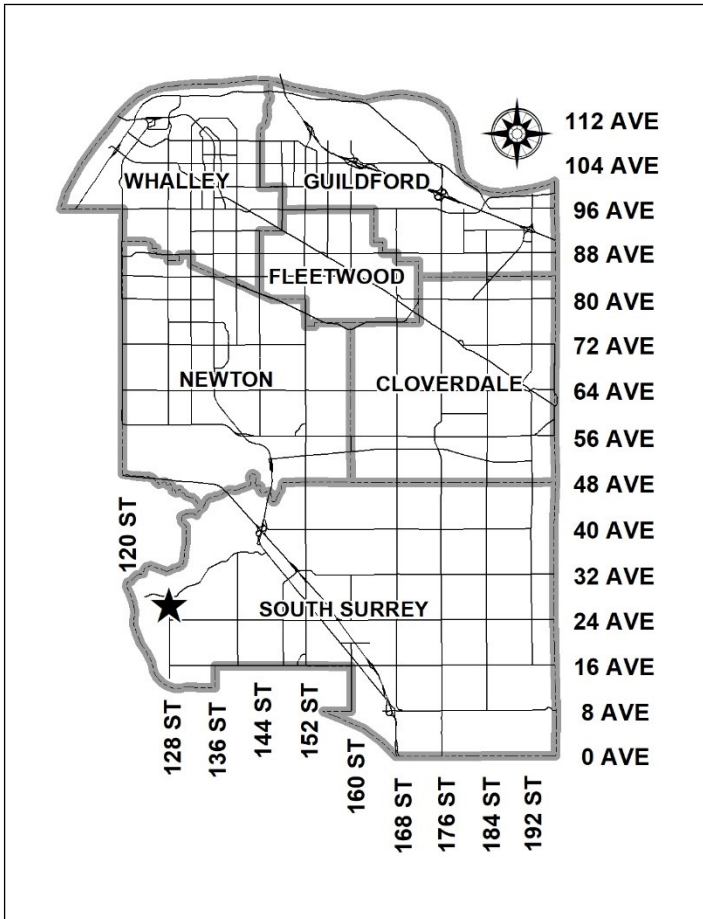


Speakers are provided 3 minutes to make comments to Council regarding the bylaws being considered at a Public Hearing.

WATCH THE PUBLIC HEARING:

View the livestream at surrey.ca or at City Hall, 13450 — 104 Avenue

City of Surrey
PLANNING & DEVELOPMENT REPORT
Application No.: 7924-0020-00
Planning Report Date: April 8, 2024



PROPOSAL:

New Liquor Primary License

to allow for conversion of an existing licensed establishment from liquor primary club to a liquor primary license

LOCATION:

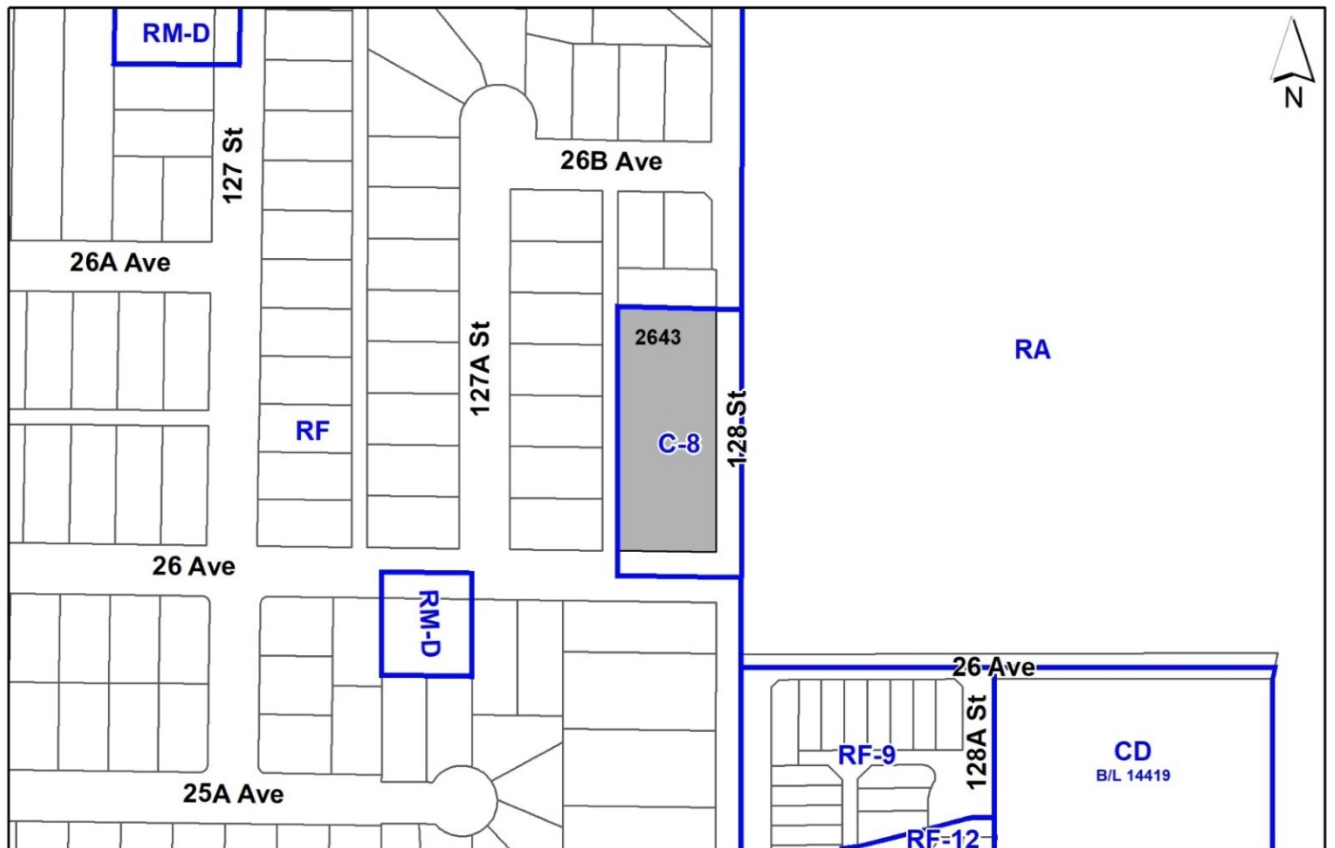
2643 128 Street

ZONING:

C-8

OCP DESIGNATION:

Urban



RECOMMENDATION SUMMARY

- A date for a Public Information Meeting in the form of a Public Hearing to solicit public opinions on the proposed liquor primary license.
- If supported after the Public Information Meeting, it is recommended that Council pass a resolution directing staff to forward a resolution to the Liquor and Cannabis Regulation Branch (LCRB) recommending issuance of the license.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- A Liquor Primary License is required for businesses that want to offer liquor service as an additional service to patrons or have a liquor focused area (eg. Bars and pubs).
- The intent of the proposal is to convert the Royal Canadian Legion's existing Liquor Primary Club License to a Liquor Primary License, which will allow the Legion to provide liquor service to a wider range of patrons, including the general public.
- The Royal Canadian Legion Branch #240 has been operating in the South Surrey area since 1954 and at this location since 1975. It has held a Liquor Primary Club License in good standing with the Province since 1954.
- There will be no changes to the existing hours of operation, which are compliant with Council's policy on hours of operation for Liquor Primary Licensed establishments.
- The RCMP and the City's By-laws and Licensing Services Division have no concerns with the proposal.
- Staff have received no comments in response to the development proposal sign or pre-notification letter which were mailed out to adjacent property owners.
- The applicant will enter into a Good Neighbour Agreement to assist in mitigating any nuisance impacts the new liquor license may have on the surrounding neighbourhood.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A date for a Public Information Meeting in the form of a Public Hearing be set to solicit opinions from area residents regarding the proposed liquor primary license.
2. If supported after the Public Information Meeting, it is recommended that Council pass a resolution to the Liquor and Cannabis Regulation Branch (LCRB) recommending issuance of the license.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) The applicant enter into a Good Neighbour Agreement with the City, in order to assist in mitigating any potential nuisance impacts the Liquor Primary License may have on the surrounding neighbourhood.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Royal Canadian Legion Branch #240	Urban	C-8
North:	Single family residential	Urban	RF
East (Across 128 St):	Crescent Park	Conservation and Recreation	RA
South (Across 26 Ave):	Single family residential	Urban	RF
West:	Single family residential	Urban	RF

Context & Background

- The subject property is an existing Legion Branch located north of 26 Avenue and west of 128 Street and Crescent Park. It is designated “Urban” in the Official Community Plan and zoned “Community Commercial (C-8) Zone. The location of the subject establishment is shown in Appendix I.
- The Legion’s main purpose is to serve as a gathering place for local veterans, which includes the serving of meals prepared on site. It also offers a wide variety of community-based events such as fundraisers, group gatherings, corporate meetings, ceremonies and sporting events.

- Under the current Liquor Primary Club License, the Legion is limited to serving liquor to members of the Legion, who pay an annual fee to be a club member. The proposed license would allow liquor sales to the general public.
- A similar proposal for Royal Canadian Legion Branch #008 (2290 152 Street) was presented at the December 07, 2020 Regular Council – Land Use Meeting (Development Application 720-0183-00) and endorsed by Council on December 21, 2020.

Referrals

Engineering: The Engineering Department has no objection to the project.

Parks, Recreation & Culture: No Concerns.

Surrey RCMP: No Concerns.

Surrey Fire Department: No Concerns.

Surrey Bylaws & Licensing Services: No Concerns.

Parkland Considerations

- The closest active park is Crescent Park which is 14 meters away, across 128 Street to the east. The Park contains active amenities, such as a playground, softball diamonds, a cricket pitch and pickleball courts. Active amenities are separated from the subject property by natural/forested areas.

POLICY & BY-LAW CONSIDERATIONS

Liquor Control and Regulation Branch (LRCB) Requirements

- The Liquor Control and Regulation Branch (LRCB) has established procedures for Liquor Primary Club Licenses including restricting the sale of liquor to only club members and their guests. Any proposal that is a permanent change to the license must be endorsed by the local government. Since the applicant is proposing to transition from a Liquor Primary Club License to Liquor Primary License, local government endorsement is required.

Liquor Licensing Approval Procedure

- The Liquor and Cannabis Regulation Branch (LCRB) requires that the applicant secure local government endorsement before a liquor primary application can be considered for approval by the LCRB.

- New Liquor Primary Licenses are processed in a similar manner to that of a rezoning application. In accordance with City Policy No. O-8, a Development Proposal sign is required to be erected on the site and a Public Information Meeting in the form of a Public Hearing is required to seek public input on the proposal.
- Staff also send pre-notification letters and public hearing notification letters to all property owners within 100 metres of the subject site for new Liquor Primary License applications. .
- The LCRB requires that Council comment on how the site satisfies a specified list of criteria to ensure that adequate consideration has been given to the application by the local government. The analysis of the criteria for this site is provided as follows:

Evaluation

Potential for Noise Impact

- The subject site, located at 2643 128 Street, is bounded to the north, west and south by single-family residential properties. It is anticipated that there will be minimal impact on the surrounding area resulting from the proposed Liquor Primary License, as the principal use is a community assembly hall and liquor is already served to Legion Club members.

Impact to the Community

- It is expected that, if the Liquor Primary License application is approved, there will be little community impact given that the Legion already has a Liquor Primary Club License.
- Staff did not receive any comments on the proposal in response to the Development Proposal Sign that was erected on the site or the Pre-Notification letters that were mailed to the surrounding property owners.
- The RCMP and the City's By-laws and Licensing Services Department have no concerns with the proposal.
- Should the proposal be supported by Council, the applicant would be required to enter into a Good Neighbour Agreement that will help to prevent potential nuisances, including noise, litter and untidiness.

Location of the establishment

- The City's locational guidelines for Liquor Primary establishments are as follows:
 - Select a site close to a residential area, but not surrounded by a residential area;
 - Select a site that is adjacent to or in a local commercial node;
 - Do not select a site on a provincial highway; and
 - Locate further than 400 metres (1,310 ft.) from a school, children's park, or playground.

- The subject site is located on an arterial road (128 Street) bounded on three sides by single-family residential properties. The primary use of the Legion is as a community hall, as such the Legion acts more as an assembly hall rather than a neighbourhood pub.
- The subject site is located approximately 300 metres from a playground located in Crescent Park across 128 Street. The playground and other active park amenities such as sports fields are separated from the Legion by forested areas. The Parks, Recreation and Culture Division raised no concerns on the proposal.

Person Capacity and hours of Liquor Service

- The City's policy, on maximum hours of operation for liquor primary establishments (Corporate Report No.L003) stipulates the following hours:
 - Sunday through Thursday 11:00 am – 1:00 am
 - Friday and Saturday 11:00 am – 2:00 am
- The Legion's current closing hours of 1:00 am Monday through Saturday, and 12:00 am on Sundays, are in keeping with the policy established by Council for liquor primary establishments.
- The establishment will maintain a maximum occupant load of 190 persons.

Proximity of the Establishment to Social or Recreational Facilities and Public Buildings

- As noted above, the subject site is located across the street from Crescent Park, which contains a playground and other active amenities such as sports fields. These amenities are separated from the subject site by forested areas.
- Crescent Park Elementary School is located 230 metres (754 ft.) from the subject site.
- Legion Branch No. 240 has operated as a Liquor Primary Club License since 1954 and at the subject site since 1975. No concerns have been raised in that time.

The number and market focus or clientele of liquor primary licensed establishments within a reasonable distance of the proposed location

- According to the locational criteria established by the City, a new liquor primary license should not be located within 1.6 kilometres (1 mile) of an existing liquor primary license.
 - There are no existing liquor primary licenses located within 1.6 kilometres of the subject site.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on March 11, 2024 and the Development Proposal Sign was installed on February 26, 2024. Staff received no responses from neighbouring residents regarding this proposal.

CONCLUSION

- The proposed Liquor Primary License is in keeping with Council policy for Liquor Primary establishments and the proponent will enter into a Good Neighbour Agreement to help control potential nuisance impacts beyond the requirements of the Liquor Control and Licensing Act.
- City Staff have no concerns with the proposed Liquor Primary License for the Royal Canadian Legion Branch #240.

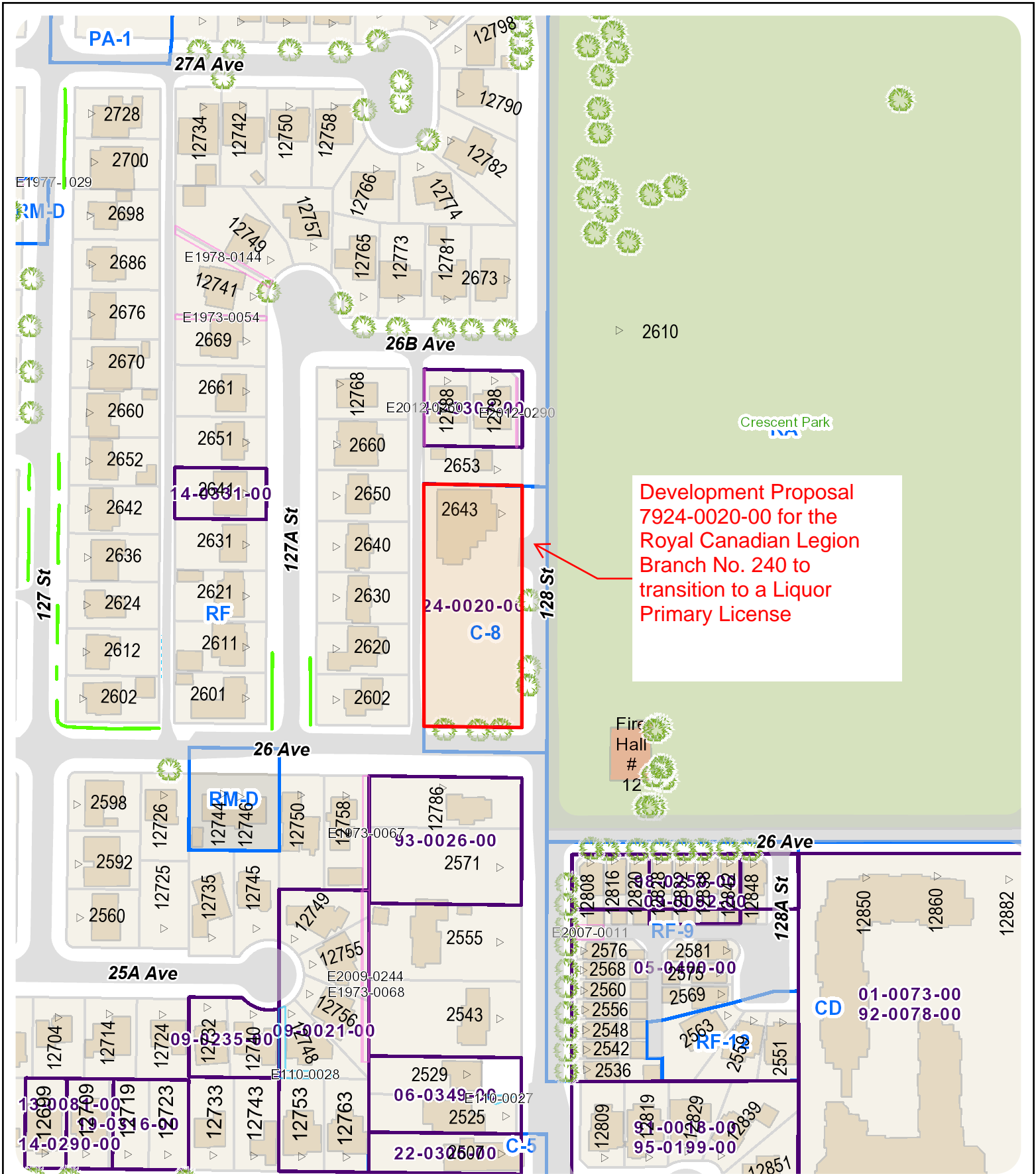
INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Location Map

approved by Shawn Low

Don Luymes
General Manager
Planning and Development



Development Proposal
7924-0020-00 for the
Royal Canadian Legion
Branch No. 240 to
transition to a Liquor
Primary License

Liquor Primary License Application

Scale: 1:2,000

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca



NOTICE OF PUBLIC HEARING

Surrey City Council will hold an **electronic** Public Hearing

View the livestream at surrey.ca or at City Hall
13450 —104 Avenue

MEETING DATE

MONDAY
APRIL 22, 2024

STARTING AT 7PM
PUBLIC HEARING



"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21215"

Purpose of Bylaw: To align OCP with amended land use designations of the Darts Hills Neighbourhood Concept Plan, as described in Corporate Report R058.

IMPORTANT – PUBLIC HEARING NOTICE – OWNER/OCCUPANT



Office of the City Clerk
13450 – 104 Avenue,
Surrey, BC V3T 1V8
Canada

QUESTIONS FOR THE PLANNER:

Email planning staff at planningdevelopment@surrey.ca if you have any questions regarding this application. For information about the application visit surrey.ca.

City Hall is open Monday to Friday 8:30am-4:30pm except statutory holidays.

COMMENTS TO COUNCIL:

Webform: surrey.ca

Email: clerks@surrey.ca

Mail: Office of the City Clerk at the address above

Fax: 604-501-7578

Written submissions will be made public on the City's website and distributed to Council. Submissions must be received by 12:00 noon on the day of the Public Hearing.

REGISTER TO SPEAK AT THE PUBLIC HEARING:

Follow the registration process at surrey.ca/city-government/councilmeetings/attending-and-participating-public-hearings.



Speakers are provided 3 minutes to make comments to Council regarding the bylaws being considered at a Public Hearing.

WATCH THE PUBLIC HEARING:

View the livestream at surrey.ca or at City Hall, 13450 —104 Avenue

NO: R058

COUNCIL DATE: April 8, 2024

REGULAR COUNCIL

TO: **Mayor & Council** DATE: **April 4, 2024**

FROM: **General Manager, Parks, Recreation & Culture** FILE: **6520-20**
General Manager, Planning & Development (Darts Hill)

SUBJECT: **Darts Hill Neighbourhood Concept Plan Amendments**

RECOMMENDATION

The Parks, Recreation & Culture Department and Planning & Development Department recommend that Council:

1. Receive this report for information;
2. Endorse an amendment to the Darts Hill Neighbourhood Concept Plan to change land uses from parkland to townhouse, as illustrated in Appendix “I” and as generally described in this report;
3. Direct staff to make all necessary changes to the Darts Hill Neighbourhood Concept Plan to adjust for the Park Designation change identified in this report; and
4. Authorize staff to bring forward bylaw amendments to Surrey Official Community Plan Bylaw, 2014, No. 18020, as documented in Appendix “II”, in order to align related figures and land use designations within the Darts Hill Neighbourhood Concept Plan with those in the Official Community Plan, and authorize the City Clerk to introduce the necessary Official Community Plan amending bylaws for the required readings and to set a date for the related public hearing.

INTENT

The intent of this report is to seek endorsement for an update to a portion of the Darts Hill Neighbourhood Concept Plan (“NCP”) and the Official Community Plan (“OCP”).

BACKGROUND

The Darts Hill NCP was adopted in May 2021. It covers 130 hectares (321 acres) of the Grandview Heights community, which is generally bounded by the Agricultural Land Reserve (“ALR”) to the south, 168 Street to the west, 20 Avenue to the north, and Redwood Park to the east. As part of the implementation of the Darts Hill NCP, periodic amendments to land uses are required to guide ongoing development.

DISCUSSION

Staff are proposing to designate 1734 and 1750 - 168 Street from 'Proposed Park' to 'Medium Density Townhouse' as this parkland is no longer needed to achieve the parkland needs in the Darts Hill NCP.

On November 28, 2022 (since the adoption of the NCP), Council conditionally approved Development Application 7921-0174-00, which removes the need for the NCP-proposed detention pond on nearby 'Proposed Park' designated land (1675 - 170 Street). This detention pond relocation will increase the amount of land available for park specific amenities for the expansion of Darts Hill Garden Park once the property is acquired by the City.

In the context of Bill 44, the *Housing Statutes (Residential Development) Amendment Act, 2023*, the City is reviewing many NCPs to ensure that parkland acquisition funds can be appropriately targeted in areas that will see an increase in family-oriented housing. This further increased density in neighbourhoods necessitates a review of future parkland recognizing that neighbourhood park space with active amenities will be even more desired by residents. In relation to Dart's Hill, city staff have heard from area residents about the importance of neighbourhood parks in the plan area.

Residents in the NCP will continue to be served by existing Darts Hill Garden Park and its proposed expansion to the east, and the four new neighbourhood parks proposed in the plan area. These neighbourhood parks will be planned and designed in the coming years with input from residents through a public engagement process. The plan for Darts Hill Garden Park will need to be revised to reflect this change in land use, and the Surrey OCP also needs to be amended to align related figures and land use designations within the Darts Hill NCP with those in the OCP. The required NCP changes includes updates to all maps that show those parcels of land, including (but not limited to) the Growth Concept Map, Active Parkland Map, Natural Lighting Area Transition Map, Active Parkland Frontage Map, Walkshed Analysis Map, Parks and Open Space Concept Map, Parks Sites Map, and Parks Pathways Map.

CONCLUSION

As part of its implementation, the Darts Hill NCP is periodically amended to ensure it remains relevant to guide ongoing development. Staff are proposing to redesignate 1734 and 1750 - 168 Street from 'Proposed Park' to 'Medium Density Townhouse' and to update the OCP to align with this change.

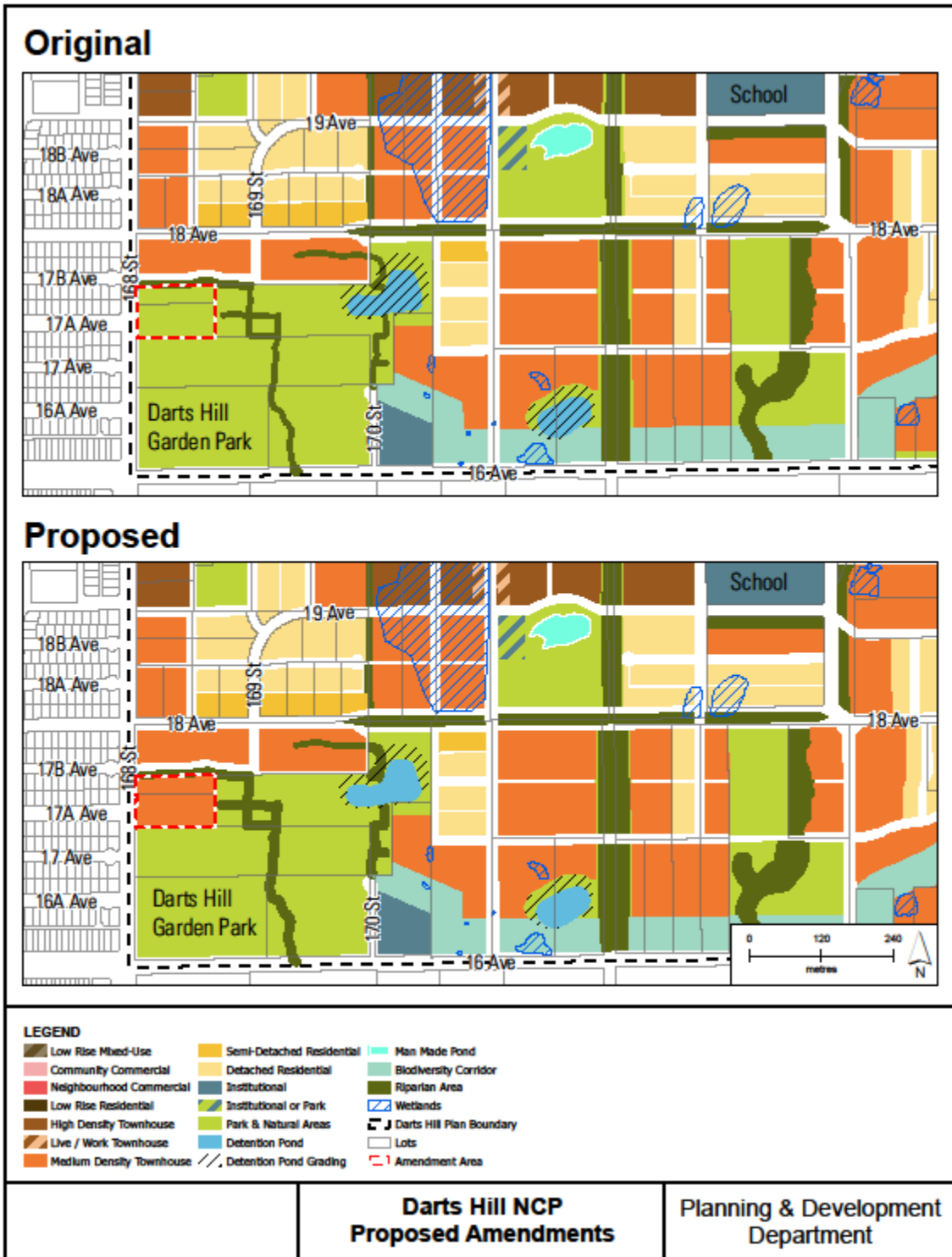
Laurie Cavan
General Manager
Parks, Recreation & Culture

Don Luymes
General Manager
Planning & Development

Appendix "I" Darts Hill NCP – Proposed Amendment

Appendix "II" *Surrey Official Community Plan Bylaw* – Proposed Amendment

Darts Hill NCP – Proposed Amendment



APPENDIX “II”

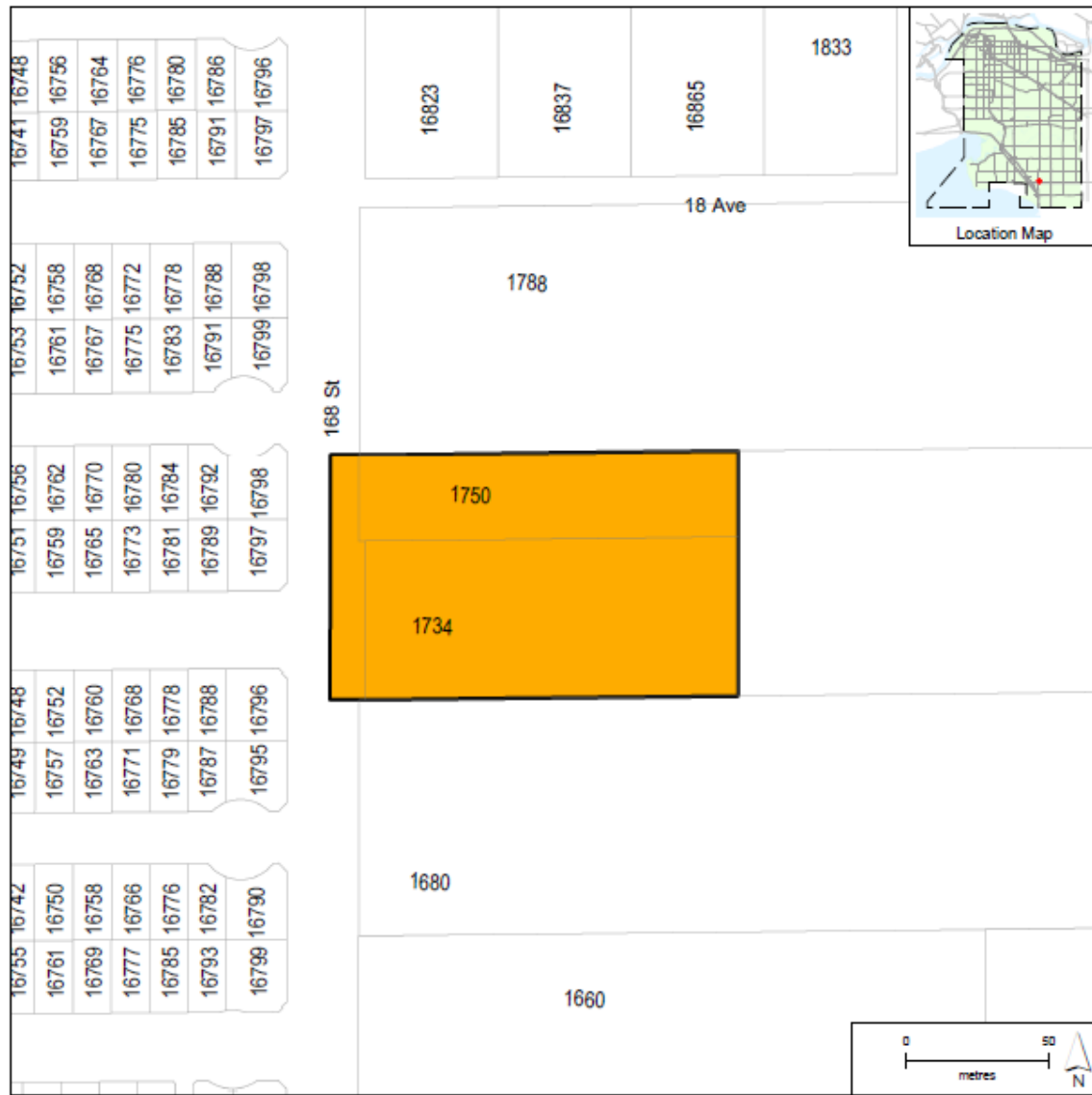
Surrey Official Community Plan Bylaw, 2013, No. 18020

The following proposed amendments to Surrey Official Community Plan Bylaw, 2013, No. 18020, as amended:


Land Uses and Densities Section

1. Page 35, Land Uses and Densities, “Figure 3: General Land Use Designations” by redesignating properties in the Darts Hill NCP area from “Conservation and Recreation” to “Urban” as illustrated in Attachment “A”.

Amendments to Figure 3: General Land Use Designations



LEGEND

 From Conservation and Recreation (CR) to Urban (URB)



Proposed Darts Hill
OCP Amendment

Planning & Development
Department

CITY OF SURREY

BYLAW NO. 21215

A bylaw to amend the provisions of Surrey Official
Community Plan Bylaw, 2013, No. 18020, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

- I. Surrey Official Community Plan Bylaw, 2013, No. 18020, as amended, is hereby further amended as follows:
 - a. "Figure 3: General Land Use Designations" is amended by changing the land use designation for the following lands, as shown outlined in Schedule A to this Bylaw:

FROM: CONSERVATION AND RECREATION (CR)
TO: URBAN (URB)

	Parcel Identifier	Legal Description	Civic Address
1	011-234-415	Parcel "A" (Explanatory Plan 12763) Lot 2 Section 18 Township 7 New Westminster District Plan 7509	1750 – 168 Street
2	017-515-181	Lot 1 Section 18 Township 7 New Westminster District Plan LMP1957	1734 – 168 Street

- 2. This Bylaw shall be cited for all purposes as "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21215".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

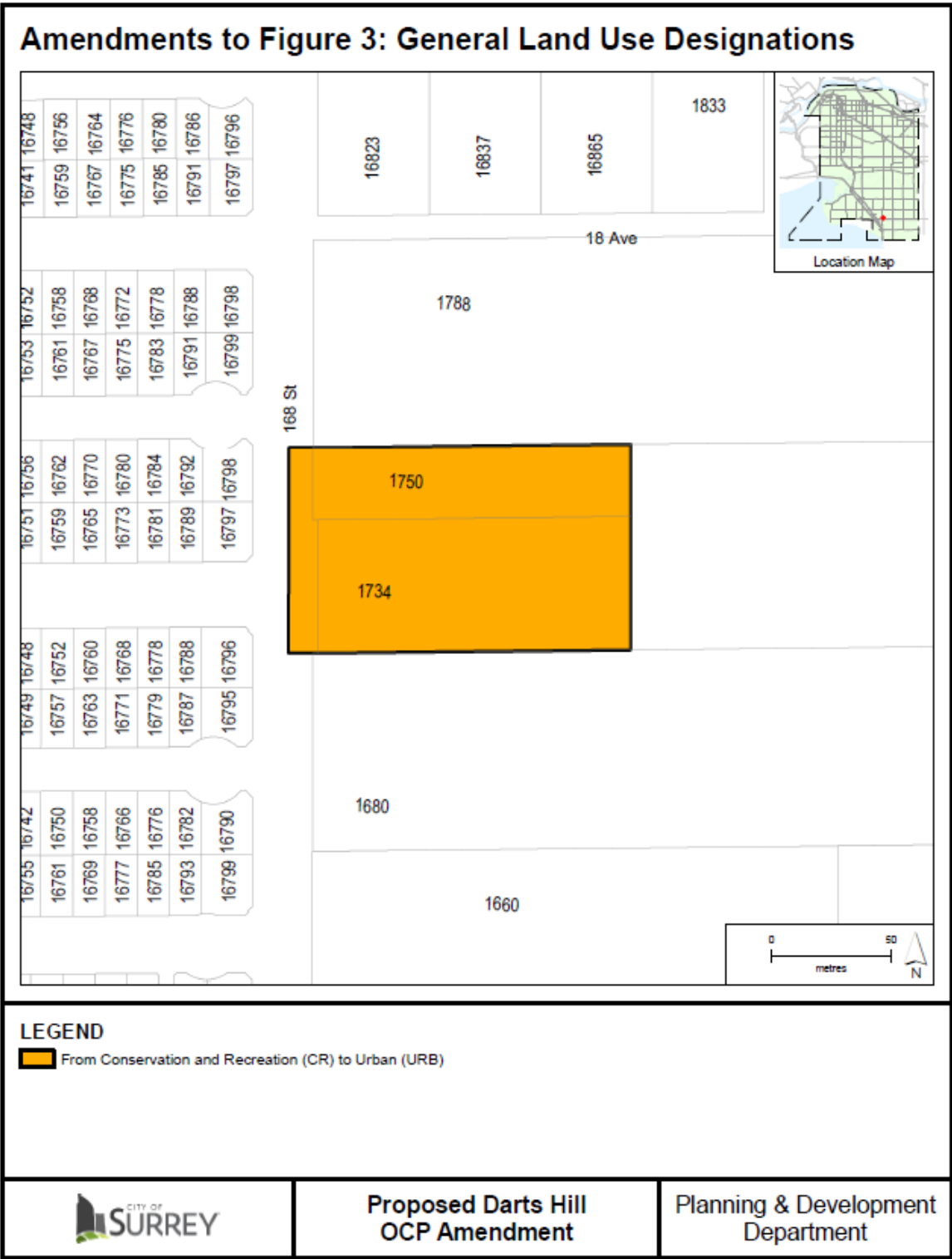
PUBLIC HEARING HELD thereon on the day of , 2024.

PASSED THIRD READING on the day of , 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 2024.

_____MAYOR

_____CLERK



CITY OF SURREY

COMMITTEE REPORTS



NO: Foo2

COUNCIL DATE: April 22, 2024

FINANCE COMMITTEE

TO: **Mayor & Council**

DATE: **April 08, 2024**

FROM: **City Manager and
General Manager, Finance**

FILE: **1705-05**

SUBJECT: **2024 Five-Year (2024-2028) Financial Plan – General Operating**

1.0 RECOMMENDATION

It is recommended that the Finance Committee recommend Council:

1. Approve the recommendations made in Sections 3.0 – 8.0 and as generally outlined in this report; and
2. Direct staff to prepare the 2024 Five-Year (2024–2028) General Operating and Roads & Traffic Operating Financial Plan incorporating these recommendations and consistent with Appendix “I” and “II” of this report.

2.0 BACKGROUND

Five-Year (2023–2027) Financial Plan

Council approved the 2023 Five-Year (2023–2027) Financial Plan in April 2023, which included direction for the years 2023 to 2027. The proposed 2024 Five-Year (2024–2028) General Operating and Roads & Traffic Operating Financial Plan has been formulated based on direction from Mayor and Council, reflecting City strategies, resource requirements to maintain service delivery and feedback on community priorities obtained during the City’s budget engagement process. Details of the key assumptions, directions and priorities are discussed in the following sections of this report.

3.0 DISCUSSION

The proposed 2024 Five-Year (2024–2028) General Operating Financial Plan has been developed based on direction provided by Council, and is predicated on the following four key drivers:

1. **6.0%** General Property Tax increase (equating to approximately \$152 for the average assessed single-family dwelling) to provide funding for:
 - a. General inflationary pressures;
 - b. New resources for Police Services, Fire Services, and Bylaw Services, further details are provided in Section 3.1; and

- c. New resources and operating funding for City Wide Operations (non-public safety), further details provided in Section 3.2 of this report.
2. **1.0%** Roads & Traffic levy increase (equating to approximately \$25 for the average assessed single-family dwelling) to support on-going operating, maintenance, and capital improvements in relation to the City's transportation infrastructure;
3. Secondary Suite Fee increase equating to approximately \$155 per suite for applicable dwellings to predominately offset increased cost pressures on City services, including infrastructure and maintenance related costs, protective services, and recreation services, incurred as a result of additional demand for services and use of municipal property generated by secondary suites; and
4. Generally, User Fee increases up to 3.5% to partially offset the cost increases associated with providing City services.

Council has identified several key priority areas for the City as discussed in the following sections. New funding requirements needed to meet these priority areas are further discussed in Section 4.0 in this report.

3.1 Public Safety

Public Safety continues to be a key priority for Mayor and Council and is accordingly reflected in the proposed 2024 Five-Year (2024-2028) General Operating Financial Plan.

Public Safety is comprised of Police Services (delivered in 2024 by the Royal Canadian Mounted Police ("RCMP") Contract, Surrey Police Service ("SPS"), and City Police Support Services), Fire Services and Bylaw Services.

i) Policing

On December 12, 2022, Council resolved to retain the RCMP as Surrey's Police of Jurisdiction ("POJ") and forwarded a plan to the British Columbia ("BC") Minister of Public Safety and Solicitor General ("Minister") for endorsement. In July 2023, the Minister directed that the transition to the Surrey Police Service continue and appointed a strategic implementation advisor to aid all parties on the transition to the SPS. At the time, the Province stated that it was prepared to provide the City with \$150.0M to help offset the additional costs associated with the transition to the SPS.

In October 2023, the City filed a petition with the Supreme Court of British Columbia ("Court") for a judicial review of the Minister's order to continue the transition to the SPS (the "Petition"). The matter remains before the Court at this time.

Any potential financial support received from senior levels of government towards policing in Surrey will be incorporated by staff as part of future proposed five-year financial plans.

The proposed five-year Police Services Net Operating budget, as presented in the table below, shows the cost components associated with policing operations within the City for the years 2024-2028.

Table 1: 2024–2028 Proposed Police Services Net Operating Budget

SUMMARY	2024 BUDGET	2025 PLAN	2026 PLAN	2027 PLAN	2028 PLAN
A) City Police Support Service	\$ 28,380	\$ 30,387	\$ 32,501	\$ 34,729	\$ 36,712
B) Police Services	221,575	221,575	221,575	221,575	221,575
TOTAL	\$ 249,955	\$ 251,962	\$ 254,076	\$ 256,304	\$ 258,287

The proposed 2024 Police Services Operating budget is comprised of the following three components:

a) *City Police Support Services:*

The proposed 2024 Five-Year (2024-2028) General Operating Financial Plan is predicated on City Police Support Services staff remaining as employees of the City and continuing to provide administrative support to the Police of Jurisdiction. The budget includes status quo salary and related operational cost increases for City Police Support Services in 2024. To maintain high standards of service in emergency 911 and non-emergency call taking and dispatch, the proposed 2024 Operating Budget includes an addition of five staff in 2024 for City Police Support Services.

As part of the 2023 Five-Year (2023–2027) Financial Plan, Council approved an increase of an additional 25 sworn members per year, every year from 2023 to 2027 (with an additional increase of one member in 2024, totalling 26 sworn members). To maintain a level of administrative service commensurate with the increased members, the addition of four administrative staff each year during the same time period is also included in the proposed 2024-2028 Financial Plan.

b) *Police Services*

As stated above, and in line with Council direction, funding for 26 additional sworn members has been included in the 2024 proposed budget, bringing authorized sworn member strength up to 785.

2024 provisional budget submissions were received from both RCMP and SPS. Due to the pending state of the Court's decision on the City's Petition and the subsequent impact to the Minister's direction to continue the police transition, a delineation of funding between the RCMP and SPS cannot and has not been provided.

The 2024 proposed Police Services budget reflects the recent state of the police transition, with a decision pending on the City's Petition. Based on the actual sworn member levels and operating cost requirements for both the RCMP and SPS at the end of 2023, a Police Services funding envelope of \$221.6M is proposed for 2024. This amount will provide funding to ensure adequate and effective policing in Surrey as the current combined sworn member strength, which forms the basis of this budget, exceeds the City's authorized 2024 strength of 785 when incorporating both SPS and RCMP sworn members.

The City is committed to ensuring sufficient funding for Police Operations in 2024 as demonstrated by the proposed total funding envelope of \$250.0M, inclusive of \$28.4M

for City Police Support Services. This represents the most significant funding investment in ongoing Policing Operations in the City's history.

Additional details on the financial requirements related to Policing for the proposed 2024 Five-Year (2024-2028) General Operating Financial Plan are provided in Section 4.0 of this report.

ii) Fire Services

To address increasing population density as well as the overall response workload in South Surrey, the proposed budget includes equivalent funding for 20 new positions. Fire Operations will receive an increase of 18 firefighter positions in 2024. This increase will allow for an added two-person rescue truck as an additional dedicated resource for the increased demand in the southern areas of Surrey. Two additional positions for fire prevention regulatory compliance activities, to keep pace with City growth and to support technical communications and supply chain needs, are also included within the funded 2024 positions.

Surrey Firefighters are covered under the terms of the Surrey International Association of Fire Fighters ("IAFF") Collective Agreement. In December 2023, a two-year collective agreement was approved and adopted covering the period from January 1, 2023 to December 31, 2024. The 2024 Fire Services budget reflects the impact to salaries and benefits as a result of this new agreement.

Additional details on the financial requirements related to Fire Services for the proposed 2024 Five-Year (2024-2028) General Operating Financial Plan are provided in Section 4.0 of this report.

iii) Bylaw Services

The Bylaw Services team has continued to expand its range of services over the past several years, as demonstrated through the addition of a bike patrol program and responding to an increase in calls for service throughout the City related to homelessness. The regular call load for enforcement and investigation continues to increase year-over-year. Bylaw Services provides seven days a week service with a significant presence in the community. It also provides service to the community by operating the 365-day-a-year Surrey Animal Resource Centre.

As part of the 2023 Five-Year (2023-2027) Financial Plan, Council approved an increase of 10 additional Bylaw Enforcement officers per year, every year from 2023 to 2027. This annual investment of resources will enable Bylaw Services to continue providing a high quality of service to the community while addressing increasing demand driven by increased population growth.

The proposed 2024 budget includes funding for these 10 additional positions, in line with operational requirements and Council direction.

Additional details on the financial requirements related to Bylaw Services for the proposed 2024 Five-Year (2024-2028) General Operating Financial Plan are provided in Section 4.0 of this report.

3.2 City-Wide Staffing and Operating Costs (Non-Public Safety)

The proposed budget incorporates necessary funding for on-going staffing and operating costs that will allow the City to continue to provide the efficient and effective delivery of services to our residents. These on-going cost increases in 2024 are primarily related to information technology licensing costs, liability insurance costs, maintenance of existing parks inventory, corporate security costs, facility upgrades costs, hydro, natural gas and fuel costs, and other contractual cost escalations.

In addition to the on-going costs discussed above, new staffing and operating cost requests have been submitted by department heads for 2024. These requests reflect City departments' commitment to the continuation of high levels of service to residents and businesses and are also reflective of the significant growth the City has experienced and will continue to experience in future years. The proposed budget includes a significant investment in resources, and additional operating cost funding across various City departments, as demonstrated in the examples presented below:

New Staffing Request Examples:

- *Assistant City Solicitor – Illegal Construction and Enforcement*

The City's Illegal Construction Enforcement Team ("ICET") was implemented to enforce bylaws and target residential construction that is done without permits, inspections, or compliance with safety standards. Since 2022, the City has successfully taken legal action against six property owners who illegally constructed buildings without permits, and in many cases, occupied the structures without permits and violated the BC Building Code. In all of the court cases, the building structures were ordered demolished.

The new Assistant City Solicitor would aid ICET's ongoing efforts to ensure adherence with bylaws, building safety codes, and zoning regulations and also pursue compliance through the courts when necessary.

- *Environmental Technician – Arboriculture ("Arborist")*

The number of tree cutting permit applications, building permit applications, and Tree Protection Bylaw offences has increased in recent years. Arborists take the lead role in the processing and issuing of tree cutting permits, reviewing single family building permit applications for tree protection, removal, and replacement, and are also responsible for following up with potential bylaw offences.

The additional Arborist would increase the Planning & Development department's capacity to support building permit issuance, efficient processing of tree cutting permits, and timely response to bylaw offences.

- *Human Resources Advisor*

The Human Resources ("HR") division has requested a new HR Advisor position. The addition of this resource is necessary to prepare for collective bargaining that will be occurring later this year and into the next, support the City's continuing growth, maintain service excellence, and assist in meeting the division's strategic initiatives. The HR Advisor plays an essential role in providing comprehensive HR support and guidance to both

employees and management while ensuring compliance with labour laws, union agreements, and collective bargaining agreements.

- *Indigenous Relations Lead*

The City has created a new Social Infrastructure & Community Investments department to support the development of a strong, vibrant, and healthy urban community by providing the social and economic infrastructure that builds on relationships with indigenous partners, other levels of government, businesses, and non-profit partners to deliver strategic initiatives, programs, services, and facilities to our citizens. To support this work, the Indigenous Relations Lead would collaborate broadly to develop protocols, partnership opportunities, programs, and necessary agreements to enhance equity and allow our Indigenous citizens and their families to thrive.

- *Mobile Services Librarian*

To meet Surrey Libraries' strategic objective of improving access to library services, a new Mobile Services Librarian would take the usual work of in-branch Public Service Librarians out into the field to underserved communities around Surrey. The new Librarian would deliver collections, services, and programs to Surrey residents who do not have easy access to branches, or who face barriers in accessing library services. The mobile service would create more equitable access to library services, programs, and resources for residents and increase social well being and a sense of belonging among members of the community.

- *Payroll Technician*

The number of City employees served by the Payroll section of the Finance department has grown in recent years. Service demands placed on Payroll and the complexity of work have increased due to new corporate initiatives, modification of labour agreements, updates to benefits programs, and changes to employment legislation. The new Payroll Technician would provide support to the existing team to continue providing a high level of service through accurate and timely payroll processing.

New Operating Request Examples:

- *Facilities Maintenance – Cloverdale Fairgrounds*

Cloverdale Fairgrounds facilities have been operated by the City since 2021 with significant resources applied to maintain the property and buildings to City standards. Additional funding is being requested for preventative maintenance for facilities and systems, repairs, cleaning, parking lot maintenance, and lighting replacements. The funding would be used to ensure that all buildings and systems are operating to their full capacity, mitigate risk, and avoid unscheduled shutdowns. The funding would also be used to provide annual support services to the Coverdale Rodeo.

- *Parks, Recreation & Culture – Special Events*

The Special Events and Filming section provides free, safe, healthy, fun, and family-friendly events to the public. The City's major events welcome over 200,000 people from the community annually. Additional funding is required to ensure the level of security, tenting, event supplies, fencing, waste bins, and portable washrooms keep pace with the increasing

scale and scope of events. The funding will be used to deliver high quality events and ensure the health and safety of staff, volunteers, and attendees.

- *Parks, Recreation & Culture – Parks Urban Forestry*

The Parks division develops many new park sites each year, providing sports fields, washrooms, playgrounds, multi-purpose pathways and other park amenities for Surrey’s rapidly growing population. In addition, land development activities, civic beautification efforts and urban forestry programs add significant amounts of additional landscaping and new trees to streets and parks each year. Additional funding is being requested to perform management for this growing inventory of Parks assets, such as, park maintenance, inspections, risk abatement, litter control, and maintenance of structures (e.g., boardwalks, bridges, vehicle control devices, signage).

Other Requests:

- *Contribution to Capital*

In March 2023, the City received a \$89.9M Growing Communities Fund (“GCF”) grant from the Province of BC for use in the delivery of infrastructure and amenity projects necessary to enable community growth. GCF funding was allocated across multiple capital projects throughout the 2023 Five-Year (2023-2027) Financial Plan – Capital Program. As a result, the 2023 Five-Year (2023-2027) General Operating Financial Plan reflected a reduced Contribution to Capital as GCF grant funding was utilized in its place.

In 2024, the Contribution to Capital is being restored as GCF funding has been fully allocated to capital projects. The increased 2024 Contribution to Capital also addresses additional funding requirements resulting from Council’s direction to include 13 new capital projects within the proposed 2024 Five-Year (2024-2028) Financial Plan – Capital Program as further described in Corporate Report No. Foo3; 2024 Five-Year (2024-2028) Financial Plan – Capital Program.

Inflationary pressures resulting in cost increases for construction related supplies and materials along with wages and compensation for construction workers and consultants, have continued to impact capital project costs. The proposed budget for Contribution to Capital also reflects funding to offset these inflationary pressures.

- *Housing Accelerator Fund*

The Canada Mortgage and Housing Corporation’s (“CMHC”) Housing Accelerator Fund (“HAF”) provides incentives to local governments by encouraging initiatives aimed at increasing the housing supply. The HAF will help improve the development approval process through the City’s action plan, implemented over the next three years, designed to facilitate the delivery of housing in the short and long term, increase access to affordable

housing, and support the development of complete communities that are sustainable and inclusive.

The City was awarded a \$95.6M HAF grant, to be provided in equal installments over a four-year period from 2023 to 2026. The proposed budget includes \$23.9M in HAF expenditure allocations for the second year of the program, with an accompanying and offsetting amount of HAF grant funding included as well, representing the 2024 grant installment.

- *Debt Servicing*

The proposed 2024 General Operating budget incorporates necessary new funding for the debt servicing on internal borrowing related to the Newton Community Centre (“NCC”). The total new internal borrowing required for NCC is \$229.6M, with the related debt servicing being \$18.8M per year; this will bring the total NCC funding envelope to \$310.6M. Further information on this capital project is provided in Corporate Report No. Foo3; 2024 Five-Year (2024-2028) Financial Plan – Capital Program.

- *Surrey City Development Corporation (“SCDC”)*

A Council resolution in 2020 had directed staff to dissolve SCDC. In April 2023, the current Council moved forward with re-operationalizing SCDC through the approval of Directors on the Board of SCDC and the appointment of a President and Chief Operating Officer (“CEO”). SCDC, a wholly owned subsidiary of the City, is a value-added real estate development company whose mandate is to develop City-owned surplus lands in ways that advance the City into a more modern and complete community and advance the City’s economic, social, physical and community objectives.

In 2024 and beyond, SCDC will focus on delivering impactful “City Building” projects which will help shape and accelerate Surrey’s growth in very positive and meaningful ways. Over the next five years, SCDC will be making significant investments on behalf of the City while undertaking these large-scale projects. The proposed budget includes City funding for SCDC’s 2024 operating costs, which will be provided to the corporation in the furtherance of their mandate and strategic objectives.

- *Surrey Anti-Gang Family Empowerment Program (“SAFE”)*

Funded by a five-year (2019-2023) \$7.5M grant from Public Safety Canada, the Surrey Anti-Gang Family Empowerment Program represents an innovative, best practice approach to preventing and addressing youth gang involvement. Led by the City of Surrey, this program is keeping children and youth out of gang life through a collaborative model that involves 10 multisectoral partners delivering 11 individual programs under one service umbrella. Some programs deliver cultural support to groups at higher risk and others deliver services in targeted neighbourhoods. SAFE is now widely seen as a blueprint for municipally driven youth gang prevention projects.

SAFE’s five-year federal funding expired at the end of 2023. The proposed budget includes City funding to sustain SAFE and keep pace with service demands as a result of Surrey’s growing youth population. The funding will be in place through the end of 2027 and will build upon the years of progress made through SAFE and ensure critical programming can be offered in the years ahead.

- *Focus Newton*

The City has launched Focus Newton, an initiative to enhance, beautify and engage with the Newton community. Through this program, the City will develop an action plan that encompasses short-term (one-year) and medium-term (three-year) beautification and enhancement objectives.

The proposed budget includes funding for the action plan which, through collaboration with stakeholders, will rejuvenate, beautify, and enhance the Newton community and improve daily life for residents and businesses.

Further details of the funding impact of the aforementioned proposed on-going and additional staffing and operational cost resources related to the proposed 2024 Five-Year (2024-2028) General Operating Financial Plan are provided in [Section 4.0](#) and [Section 5.0](#), respectively, of this report.

3.3 Capital Program and Related Operating Costs

The proposed 2024 Five-Year (2024-2028) General Operating Financial Plan incorporates general operating funding to support the Capital Program. Detailed information on the Capital Program will be presented under Corporate Report No. Foo3; 2024 Five-Year (2024-2028) Financial Plan – Capital Program.

4.0 NEW FUNDING REQUIREMENTS

This section of the report summarizes new funding requirements needed, based on Council direction, in relation to City priorities.

The section is segregated into Public Safety Requirements and Other Corporate Requirements.

4.1 Public Safety Funding Requirements:

i) Policing

City Police Support Service:

Change in net operations for City Police Support Service	\$1.37M	
New Operational Communications Centre staff, five positions	0.57M	
New administrative support staff, four positions	0.31M	
Change in one-time severance and wind down costs of SPS	<u>(89.50)M</u>	
Total City Police Support Service Requirements		\$(87.25)M

Police Services:

New officers, 26 positions	5.54M	
Change in net operations for Police Services	<u>2.06M</u>	
Total Police Services Requirements		\$7.60M

Total New Policing Funding Requirements **\$(79.65)M**

ii) Fire Service

Labour increases (IAFF contract increase)	8.40M	
New Fire personnel, 20 positions	3.48M	
Operating and other costs	0.51M	
Other labour adjustments	<u>0.91M</u>	
Total New Fire Service Funding Requirements		\$13.30M

iii) Bylaw Services

New officers, 10 positions	1.20M	
Other labour adjustments	0.66M	
Operating and other costs	<u>0.22M</u>	
Total New Bylaws Funding Requirements		\$2.08M

Total New Public Safety Funding Required for 2024	\$(64.27)M
--	-------------------

4.2 Other Corporate Funding Requirements:

Change in Contribution to Capital	\$30.61M
Housing Accelerator Fund Grant Allocations (Year 2 of 4)	23.91M
Increase in debt servicing costs (Newton Community Centre)	18.80M
Labour adjustments, excluding Public Safety	14.38M
New resources & operating costs, excluding Public Safety	4.80M
Departmental inflationary & contractual increases	1.83M
SCDC Operating Costs	1.50M
Safe Program	1.50M
Focus Newton	1.00M
Net change in Corporate Expenditures and Operating transfers	<u>20.86M</u>

Total New Corporate Funding Required for 2024	\$119.19M
--	------------------

Total New Public Safety & Corporate Funding Required for 2024	\$54.92M
--	-----------------

5.0 NEW FUNDING AVAILABLE

The following are forecasted revenue increases that are expected to be available to offset the anticipated new funding required in 2024.

The 2023 Five-Year (2023–2027) Financial Plan included budgeted internal borrowing proceeds of \$38.87M for Policing while the 2024 Financial Plan does not incorporate any additional internal borrowing for Policing, thus resulting in a year-over-year reduction to 2024 funding available as presented below.

General Property Tax increase	\$28.73M
Housing Accelerator Fund Grant (Year 2 of 4)	23.91M
Increase in corporate Investment Income	13.27M
Property tax and Secondary Suite revenue due to anticipated growth	7.52M
Net departmental revenue increases	7.20M
Secondary Suite Fee rate increase	5.78M
Net increase to other corporate revenues	3.06M
Local Government Climate Action Program funding	2.27M
Other taxation revenue adjustments	2.05M
Year-over-year change in Policing internal borrowing	<u>(38.87)M</u>

Total New Funding Available for 2024	\$54.92M
---	-----------------

6.0 SUMMARY OF PROPOSED 2024 GENERAL OPERATING FINANCIAL PLAN

Total New Public Safety & Corporate Funding Required for 2024	\$54.92M
Total New Funding Available for 2024	<u>(54.92)M</u>
Net Difference	\$0.00M

Surplus/(Deficit)	nil
--------------------------	------------

7.0 ASSUMPTIONS APPLIED FOR THE 2024 GENERAL OPERATING FINANCIAL PLAN

The proposed 2024 General Operating Financial Plan has been drafted by applying the following key assumptions:

1. A property tax increase of approximately \$152 for the average assessed single-family dwelling. This will directly fund additional public safety resources in Policing, Fire Services, Bylaw Services, and other general operating needs, including on-going and additional staffing and operating costs. The additional funding will allow the City to maintain current service levels, expand services and address priorities related to public safety and other City services;
2. Generally, User Fee increases up to 3.5% to partially offset the cost increases associated with providing City services; and
3. A Secondary Suite Fee increase of approximately \$155 per suite for applicable dwellings. This will partially offset increased cost pressures on City services, including infrastructure related costs, protective services, and recreation services, incurred as a result of additional demand for services and use of municipal property generated by secondary suites.

8.0 2024 ROADS & TRAFFIC SAFETY LEVY

A Roads & Traffic Safety Levy was established in 2008 to ensure that a stable, sustainable funding source was available to meet the growing traffic and safety needs of the City. This levy addresses the maintenance of roads, as well as traffic calming measures, crosswalks, sidewalks, and measures to reduce congestion throughout the City. This utility is partly supported by a levy that is based on the assessed value of individual properties in each property class and is also funded by a contribution from the General Operating Fund.

As reflected in Appendix "II", the Roads & Traffic Safety Levy is proposed to be increased in 2024 by approximately \$25 for the average assessed single-family dwelling, in alignment with the results of the feedback received through the 2024 budget engagement process.

The increase in this levy will be applied towards congestion relief, particularly arterial widening and roundabouts, increased signal and streetlight maintenance, and increased litter pickup on streets throughout the City. Similar adjustments to the Roads & Traffic Safety Levy are incorporated for each remaining year in the proposed Five-Year Plan to ensure adequate funding is available to meet the City's transportation needs over time.

9.0 CONCLUSION

Based on the discussion and information provided in this report, it is recommended that the Finance Committee recommend Council:

1. Approve the recommendations made in Sections 3.0 – 8.0 and as generally outlined in this report; and
2. Direct staff to prepare the 2024 Five-Year (2024-2028) General Operating and Roads & Traffic Operating Financial Plan incorporating these recommendations and consistent with Appendix “I” and “II” of this report.



Kam Grewal, CPA, CMA
General Manager, Finance



Robert Costanzo
City Manager

Appendix “I”: Proposed 2024-2028 Financial Plan – General Operating

Appendix “II”: Proposed 2024-2028 Financial Plan – Roads & Traffic Operating

**2024 - 2028 FINANCIAL PLAN
GENERAL OPERATING - FINANCIAL SUMMARY**

(in thousands)

REVENUE SUMMARY	2024 BUDGET	2025 PLAN	2026 PLAN	2027 PLAN	2028 PLAN
Taxation	\$ 543,134	\$ 574,354	\$ 607,716	\$ 643,373	\$ 681,487
Sale of Goods and Services					
Departmental Fees & Charges	54,993	56,630	58,316	60,051	61,840
Secondary Suite Infrastructure Fees	33,369	34,704	36,091	37,535	39,037
Other Corporate Fees & Charges	4,812	5,574	5,778	5,985	6,193
Sale of Goods and Services	93,174	96,908	100,185	103,571	107,070
Investment Income	70,608	63,227	51,508	41,547	38,080
Transfers from Other Governments					
Departmental Government Transfers	8,326	8,332	8,338	8,344	8,350
Corporate Government Transfers	49,399	29,094	29,127	5,250	5,284
Transfers from Other Governments	57,725	37,426	37,465	13,594	13,634
Other Revenues					
Departmental Other Revenues	41,910	43,164	44,456	45,786	47,156
Corporate Other Revenues	20,925	20,977	21,030	21,084	21,139
Other Revenues	62,835	64,141	65,486	66,870	68,295
TOTAL REVENUE	\$ 827,476	\$ 836,056	\$ 862,360	\$ 868,955	\$ 908,566
EXPENDITURE SUMMARY					
Departmental Expenditures	\$ 663,377	\$ 672,980	\$ 702,077	\$ 730,968	\$ 754,237
General Government - Council Initiatives	260	260	260	260	260
Fiscal Services & Debt Interest	9,352	9,355	11,123	12,891	13,731
Municipal Debt Principal	9,492	9,492	9,492	10,185	10,496
TOTAL EXPENDITURES	\$ 682,481	\$ 692,087	\$ 722,952	\$ 754,304	\$ 778,724
TRANSFERS SUMMARY					
Transfers To/(From) Capital Sources	91,714	84,910	72,716	74,423	74,614
Transfers To/(From) Operating Sources	53,281	59,059	66,692	40,228	55,228
TOTAL TRANSFERS	\$ 144,995	\$ 143,969	\$ 139,408	\$ 114,651	\$ 129,842
NET GENERAL OPERATING	\$ -	\$ -	\$ -	\$ -	\$ -

2024 - 2028 FINANCIAL PLAN
GENERAL OPERATING - REVENUE SUMMARY
(in thousands)

REVENUE SUMMARY	2024 BUDGET	2025 PLAN	2026 PLAN	2027 PLAN	2028 PLAN
<i>CORPORATE REVENUES</i>					
General Property Tax Levy	\$ 438,860	\$ 471,874	\$ 502,357	\$ 534,966	\$ 569,850
Property/Folio Growth (City's Portion)	4,389	4,719	5,024	5,350	5,699
Property Tax Rate Increase/(Decrease)	28,725	25,864	27,685	29,634	31,722
Provision for Adjustments	(100)	(100)	(100)	(100)	(100)
	471,874	502,357	534,966	569,850	607,171
Grants in Lieu	20,025	20,252	20,490	20,743	21,011
Capital Parcel Tax	51,235	51,745	52,260	52,780	53,305
Taxation	543,134	574,354	607,716	643,373	681,487
Secondary Suite Infrastructure Fee	33,369	34,704	36,091	37,535	39,037
Other Corporate Fees & Charges	4,812	5,574	5,778	5,985	6,193
Corporate Sale of Goods and Services	38,181	40,278	41,869	43,520	45,230
Corporate Developer Contributions	-	-	-	-	-
Corporate Investment Income	70,608	63,227	51,508	41,547	38,080
Provincial Casino Revenue Sharing	3,273	3,306	3,339	3,372	3,406
Local Govt. Climate Action Program	3,443	-	-	-	-
Other Corporate Government Transfers	42,683	25,788	25,788	1,878	1,878
Corporate Government Transfers	49,399	29,094	29,127	5,250	5,284
Corporate Lease Revenue	13,925	13,977	14,030	14,084	14,139
Penalties & Interest	7,000	7,000	7,000	7,000	7,000
Corporate Other Revenues	20,925	20,977	21,030	21,084	21,139
Total Corporate Revenues	722,247	727,930	751,250	754,774	791,220
<i>DEPARTMENTAL REVENUES</i>					
<i>General Government</i>					
Corporate Services	227	234	241	248	255
Finance	1,513	1,555	1,598	1,642	1,688
	1,740	1,789	1,839	1,890	1,943
<i>Public Safety</i>					
Bylaws	10,899	11,226	11,563	11,910	12,268
Fire	5,015	5,165	5,319	5,478	5,642
Police	8,438	8,480	8,523	8,567	8,613
	24,352	24,871	25,405	25,955	26,523
<i>Other</i>					
Engineering Services	10,566	10,883	11,209	11,545	11,891
Parks, Recreation & Culture	37,249	38,366	39,517	40,701	41,921
Planning & Development	29,847	30,742	31,665	32,615	33,593
Surrey Public Library	1,475	1,475	1,475	1,475	1,475
	79,137	81,466	83,866	86,336	88,880
Total Departmental Revenues	105,229	108,126	111,110	114,181	117,346
TOTAL REVENUE	\$ 827,476	\$ 836,056	\$ 862,360	\$ 868,955	\$ 908,566

2024 - 2028 FINANCIAL PLAN
GENERAL OPERATING - EXPENDITURE AND TRANSFERS SUMMARY

(in thousands)

EXPENDITURE SUMMARY	2024 BUDGET	2025 PLAN	2026 PLAN	2027 PLAN	2028 PLAN
<i>General Government</i>					
Mayor, Council & Grants	\$ 3,898	\$ 4,047	\$ 4,207	\$ 4,378	\$ 4,563
City Manager's Department	10,551	11,158	11,808	12,505	13,253
Corporate Services	55,997	58,749	62,660	64,767	68,020
Finance	12,600	13,324	14,091	14,906	15,770
Social Infrastructure & Community Investments	8,998	9,606	10,260	10,962	10,030
	92,044	96,884	103,026	107,518	111,636
<i>Public Safety</i>					
Bylaws	12,699	14,532	16,494	18,593	19,411
Fire	91,390	99,194	108,000	117,589	123,155
Police	258,393	260,442	262,599	264,871	266,900
	362,482	374,168	387,093	401,053	409,466
<i>Other</i>					
Engineering Services	11,542	12,428	13,371	14,372	15,436
Parks, Recreation & Culture	120,161	126,222	133,166	139,822	146,570
Planning & Development	26,648	28,019	29,460	30,976	32,572
Surrey Public Library	24,059	25,198	26,395	27,651	28,971
Corporate Operating	26,441	10,061	9,566	9,576	9,586
	208,851	201,928	211,958	222,397	233,135
Departmental Expenditures	663,377	672,980	702,077	730,968	754,237
Council Initiative Fund	260	260	260	260	260
Fiscal Charges	100	103	106	109	112
Interest Paid on Tax Overpayments	25	25	25	25	25
External Borrowing	9,227	9,227	10,992	12,757	13,594
Fiscal Services & Debt Interest	9,352	9,355	11,123	12,891	13,731
Municipal Debt Principal	9,492	9,492	9,492	10,185	10,496
TOTAL EXPENDITURE	\$ 682,481	\$ 692,087	\$ 722,952	\$ 754,304	\$ 778,724
TRANSFERS SUMMARY					
General Capital Contribution	40,052	33,065	20,688	22,212	22,219
Provincial Casino Revenue Sharing	3,273	3,306	3,339	3,372	3,406
Tree Replacement Contribution	4,065	4,215	4,365	4,515	4,665
Internal Borrowing	33,800	33,800	33,800	33,800	33,800
Other Transfers To/(From) Capital	10,524	10,524	10,524	10,524	10,524
Transfers To/(From) Capital Sources	91,714	84,910	72,716	74,423	74,614
Roads & Traffic Safety Contribution	8,425	5,838	3,070	-	-
Local Govt. Climate Action Program	3,443	-	-	-	-
Other Transfers To/(From) Operating	41,413	53,221	63,622	40,228	55,228
Transfers To/(From) Operating Sources	53,281	59,059	66,692	40,228	55,228
TOTAL TRANSFERS	\$ 144,995	\$ 143,969	\$ 139,408	\$ 114,651	\$ 129,842

2024 - 2028 FINANCIAL PLAN
ROADS & TRAFFIC - FINANCIAL SUMMARY
(in thousands)

REVENUE SUMMARY	2024 BUDGET	2025 PLAN	2026 PLAN	2027 PLAN	2028 PLAN
Roads & Traffic Safety Levy	\$ 40,283	\$ 46,052	\$ 52,257	\$ 58,724	\$ 59,311
Grants in Lieu	1,622	1,638	1,654	1,670	1,686
Special Assessment	272	288	305	324	343
Taxation	42,177	47,978	54,216	60,718	61,340
Sale of Goods and Services	1,057	1,085	1,106	1,135	1,165
Developer Contributions	850	850	850	850	850
Transfers from Other Governments	7,388	7,500	7,650	7,803	7,959
Other Revenue	2,505	2,659	2,769	3,171	3,379
TOTAL REVENUE	\$ 53,977	\$ 60,072	\$ 66,591	\$ 73,677	\$ 74,693
EXPENDITURE SUMMARY					
Salaries and Benefits	\$ 6,850	\$ 6,986	\$ 7,126	\$ 7,268	\$ 7,413
Operating Costs	22,530	22,979	23,435	23,901	24,377
Internal Services Used	14,137	14,231	14,536	14,793	15,083
Internal Services Recovered	(979)	(1,010)	(1,027)	(1,045)	(1,063)
External Recoveries	(455)	(465)	(474)	(483)	(492)
TOTAL EXPENDITURE	\$ 42,083	\$ 42,721	\$ 43,596	\$ 44,434	\$ 45,318
TRANSFERS SUMMARY					
Transfers To/(From) Capital Sources	\$ 21,770	\$ 24,513	\$ 27,254	\$ 30,498	\$ 30,700
Transfers To/(From) Operating Sources	(9,876)	(7,162)	(4,259)	(1,255)	(1,325)
TOTAL TRANSFERS	\$ 11,894	\$ 17,351	\$ 22,995	\$ 29,243	\$ 29,375
NET ROADS & TRAFFIC	\$ -	\$ -	\$ -	\$ -	\$ -

NO: Foo3

COUNCIL DATE: April 22, 2024

FINANCE COMMITTEE

TO: **Mayor & Council**

DATE: **April 08, 2024**

FROM: **City Manager and
General Manager, Finance**

FILE: **1705-05**

SUBJECT: **2024 Five-Year (2024-2028) Financial Plan – Capital Program**

1.0 RECOMMENDATION

It is recommended that the Finance Committee recommend Council:

1. Approve the Capital Program as outlined in Section 2.0 of this report; and
2. Direct staff to prepare the 2024 Five-Year (2024-2028) Capital Financial Plan incorporating the Capital Program as outlined in this report.

2.0 DISCUSSION

The General Capital Program is composed of the following two elements:

- 1) *On-going General Capital Program* to maintain and/or enhance the City's current inventory of infrastructure; and
- 2) *Major General Capital Program*, which includes a series of new capital projects that will be constructed over the next few years to support our residents and businesses into the future.

2.1 Available Funding for the General Capital Program

The proposed 2024-2028 General Capital Program represents the most significant financial commitment in the City's history; with over \$715.9M allocated over the next five years.

Table 1 indicates the funding sources that are expected to be available in each of the next five years to support the General Capital Program.

Table 1: 2024–2028 Proposed Funding Sources General Capital Program

PROPOSED FUNDING SOURCES GENERAL CAPITAL PROGRAM (in thousands of dollars)	2024	2025	2026	2027	2028	Total
Contribution from General Operating	\$ 40,052	\$ 33,065	\$ 20,688	\$ 22,212	\$ 22,219	\$ 138,236
Growing Communities Fund Reserve	32,647	-	-	-	-	32,647
Parkland Acquisition & DCC Reserves	31,500	32,250	32,500	32,500	32,500	161,250
Other City Reserves	13,304	13,570	18,688	12,205	12,205	69,972
Community Amenity Contribution Reserve	11,000	12,000	12,000	12,000	11,000	58,000
Proceeds from Gaming Revenue	3,273	3,306	3,339	3,372	3,406	16,696
Green City Program	1,500	1,500	1,500	1,500	1,500	7,500
External Contributions (Grants)	1,000	1,000	-	-	-	2,000
Internal Borrowing	-	229,600	-	-	-	229,600
TOTAL PROPOSED FUNDING SOURCES GENERAL CAPITAL PROGRAM	\$ 134,276	\$ 326,291	\$ 88,715	\$ 83,789	\$ 82,830	\$ 715,901

2.2 On-going General Capital Program Funding Sources and Requirements

The On-going General Capital Program is required to sustain existing assets through major maintenance initiatives such as building envelope upgrades, roof repairs, and minor facility upgrades such as flooring and washroom improvements. Small park enhancements are undertaken as well.

The On-Going General Capital Program also provides funding for various new equipment requirements across City departments; new inventory of digital and traditional books for our City Libraries and significant funding for our City’s future Information Technology requirements in relation to hardware and software additions and enhancements.

The City’s Parkland Acquisition Program, funded primarily through the Parkland Development Cost Charge (“DCC”) and Parkland Acquisition Reserves, is another key component of the On-Going General Capital Program.

Overall, the On-Going General Capital Program is funded by City Reserves, contributions from General Operating, Green City Program, and Community Amenity Contributions.

Table 2 and Table 3 present the On-going General Capital Program’s funding sources and the On-Going General Capital requirements over the next five years, respectively.

Table 2: 2024–2028 Proposed Funding Sources - On-Going General Capital Program

PROPOSED FUNDING SOURCES - ON-GOING GENERAL CAPITAL (in thousands of dollars)	2024	2025	2026	2027	2028	Total
Parkland Acquisition & DCC Reserves	\$ 31,500	\$ 32,250	\$ 32,500	\$ 32,500	\$ 32,500	\$ 161,250
Contribution from General Operating	12,358	9,089	11,832	11,504	20,566	65,349
Other City Reserves	12,164	12,170	16,708	12,205	12,205	65,452
Green City Program	1,500	1,500	1,500	1,500	1,500	7,500
Community Amenity Contribution Reserve	-	2,979	-	-	-	2,979
TOTAL PROPOSED FUNDING SOURCES - ON-GOING GENERAL CAPITAL	\$ 57,522	\$ 57,988	\$ 62,540	\$ 57,709	\$ 66,771	\$ 302,530

Table 3: 2024–2028 On-Going General Capital Requirements

ON-GOING GENERAL CAPITAL REQUIREMENTS (in thousands of dollars)	2024	2025	2026	2027	2028	Total
Parkland Acquisition Program	\$ 31,712	\$ 32,467	\$ 32,717	\$ 32,717	\$ 32,717	\$ 162,330
Information Technology Equipment & Projects	5,750	6,000	6,000	6,000	6,000	29,750
Park Development Program	4,928	4,953	4,953	4,953	4,953	24,740
Fleet Vehicles & Equipment	4,710	4,960	5,210	5,210	5,210	25,300
Facilities Maintenance & Renovations	4,000	4,000	4,000	4,000	4,000	20,000
Sundry & Contingency	2,178	2,093	1,857	1,529	10,591	18,248
Library Books	2,100	2,100	2,100	2,100	2,100	10,500
Fire Equipment	944	465	4,753	250	250	6,662
Parks, Recreation & Culture Equipment	600	600	600	600	600	3,000
Corporate Security	500	250	250	250	250	1,500
Corporate Equipment	100	100	100	100	100	500
TOTAL ON-GOING GENERAL CAPITAL REQUIREMENTS	\$ 57,522	\$ 57,988	\$ 62,540	\$ 57,709	\$ 66,771	\$ 302,530

Examples of the initiatives that will be addressed over the next five years include Guildford Recreation Centre Flat Roof replacement, Surrey Sport & Leisure Complex HVAC upgrade, Fleetwood Recreation and Library glazing replacement, Parking Lot repairs, Bear Creek Skatepark upgrades, Bridgeview Tennis Courts resurfacing, South Surrey Athletic Park Skatepark upgrades, playground expansion at McIntyre Park and William Beagle Park and access control system upgrades at various civic facilities.

2.3 Major General Capital Funding Sources and Requirements

The Major General Capital Program includes various significant capital projects such as recreational facilities, lacrosse boxes, arenas, sport fields, parks construction and upgrades, and arts & cultural amenities. The proposed Major General Capital Program represents a total funding allocation of \$413.4M over five years, supporting 37 distinct projects.

The Major General Capital Program is funded by Community Amenity Contributions, contributions from General Operating, City and Growing Communities Fund Reserves, Gaming Revenues, Internal Borrowing and External Contributions (Grants).

Table 4 presents the Major General Capital Program's funding sources.

Table 4: 2024–2028 Proposed Funding Sources–Major General Capital

PROPOSED FUNDING SOURCES - MAJOR GENERAL CAPITAL (in thousands of dollars)	2024	2025	2026	2027	2028	Total
Growing Communities Fund Reserve	\$ 32,647	\$ -	\$ -	\$ -	\$ -	\$ 32,647
Contribution from General Operating	27,694	23,976	8,856	10,708	1,653	72,887
Community Amenity Contribution Reserve	11,000	9,021	12,000	12,000	11,000	55,021
Proceeds from Gaming Revenue	3,273	3,306	3,339	3,372	3,406	16,696
Other City Reserves	1,140	1,400	1,980	-	-	4,520
External Contributions (Grants)	1,000	1,000	-	-	-	2,000
Internal Borrowing	-	229,600	-	-	-	229,600
TOTAL PROPOSED FUNDING SOURCES - MAJOR GENERAL CAPITAL	\$ 76,754	\$ 268,303	\$ 26,175	\$ 26,080	\$ 16,059	\$ 413,371

Table 5 presents Major General Capital Projects over the next five years. Items identified in red text indicate 13 newly added proposed projects, totalling \$32.4M.

Table 5: 2024 – 2028 Major General Capital Requirements

PROPOSED MAJOR GENERAL CAPITAL PROJECTS (in thousands of dollars)	2024	2025	2026	2027	2028	Total
2.3.1 Cloverdale Sport & Ice Complex (Total \$131.6M)	37,000					\$ 37,000
2.3.2 City Centre Sports Complex -Phase 1 (Total \$65M) & Phase 2 Design 2026	5,647	4,753	500			10,900
2.3.3 Tamanawis Park - Third Field Hockey Turf Field and Changerooms (Total \$5.7M)	4,700					4,700
2.3.4 Cloverdale Athletic Park -New Artificial Turf Field and Parking Lot	4,000	7,300				11,300
2.3.5 Covered Multi-Sport (Lacrosse Box) at South Surrey Athletic Park	3,500					3,500
2.3.6 North Surrey Recreation Centre Demolition	3,500					3,500
2.3.7 Softball City Parking Lot and Sportfield Light Improvements	3,100					3,100
2.3.8 Truck Parking Improvements	2,000					2,000
2.3.9 Archives/1912 Hall Renovation	2,000	3,000				5,000
2.3.10 Nicomekl Riverfront Park (Total \$25.5M)	1,600	3,500	4,200	2,500	2,600	14,400
2.3.11 Focus Newton	1,400					1,400
2.3.12 Sunnyside Cemetery Development - Phase 1	1,000					1,000
2.3.13 Surrey Sport and Leisure Complex - Chiller Replacement	1,000					1,000
2.3.14 Truck Bay Expansions Fire Hall # 11 & # 15	1,000	2,000	1,000			4,000
2.3.15 Artificial Turf Replacement Hjorth Road Park West Field	900					900
2.3.16 1000 Steps Renovation	807					807
2.3.17 New Park Washrooms	750	750	750	750	750	3,750
2.3.18 Surrey Sports Hall of Fame	700					700
2.3.19 Unwin Community Park - Master Plan and Phase 1	600	4,200				4,800
2.3.20 Sullivan Heights Park Conversion of Cricket Pitch to Natural Grass	550					550
2.3.21 Park Improvements	500	500	500	500	500	2,500
2.3.22 Indoor Video Display at South Surrey Arena	400					400
2.3.23 Sunnyside Park Ball Diamond Improvements	100	3,600				3,700
2.3.24 Newton Community Centre (Total \$310.6M)		229,600				229,600
2.3.25 Fleetwood Firehall # 6 Relocation (\$14.3M)		3,500	10,500			14,000
2.3.26 Disc Golf at Port Mann Park		2,300				2,300
2.3.27 North Surrey Track Resurfacing		2,300				2,300
2.3.28 Robertson Drive Park - Sport Court and Pathway Improvements		1,000				1,000
2.3.29 Covered Multi-Sport (Lacrosse Box) in Newton			4,625			4,625
2.3.30 Grandview Heights Community Park - Phase 1			3,100			3,100
2.3.31 Sport Facility Site Development			1,000			1,000
2.3.32 Surrey Sports & Leisure Complex - Roof Replacement				7,500		7,500
2.3.33 North Surrey Community Park Improvements				5,330		5,330
2.3.34 Newton Youth Park				3,850		3,850
2.3.35 Interactive Art Museum - City Centre (Total \$60.0M)				2,800	12,200	15,000
2.3.36 Cloverdale Athletic Park - Covered Multi-Sport Facility				2,100		2,100
2.3.37 Hadden House Upgrades				750		750
TOTAL PROPOSED MAJOR GENERAL CAPITAL PROJECTS	\$ 76,754	\$ 268,303	\$ 26,175	\$ 26,080	\$ 16,059	\$ 413,371

The following descriptions provide details on the capital projects included in the proposed 2024-2028 Major General Capital Program.

2.3.1 Cloverdale Sport & Ice Complex (\$131.6M)

The original design of the facility included a new twin sheet arena in the Cloverdale area. Due to additional demand for ice sports, this facility will now have an additional third sheet of ice to meet the community's needs for ice hockey, figure skating, public lessons, skating sessions and dry-floor summer use for sports such as lacrosse and ball hockey. The new facility will include landscaping with outdoor amenities and a parking lot to serve the new arena.

2.3.2 City Centre Sports Complex – Phase 1 (Total \$65.0M) & Phase 2 (\$0.50M)

To meet the current and future needs of the growing neighbourhood and surrounding Whalley town centre, this state-of-the-art facility expansion will include an expanded range of recreation, sports, arts and culture programming, new indoor and outdoor amenities, and enhanced learning and social opportunities. To help design a welcoming recreation, culture and sports hub that responds to the needs of all ages, abilities, and backgrounds, the City sought feedback from residents and stakeholders, including current users and community groups, on which programs, features and amenities are important to them.

2.3.3 Tamanawis Park – Third Field Hockey Turf Field and Changerooms (\$5.7M)

This project is for the design and construction of a third artificial turf field, with changerooms and spectator seating, at Tamanawis Park. These investments will further enhance Tamanawis Park as a destination facility for field hockey tournaments.

2.3.4 Cloverdale Athletic Park – New Artificial Turf Field and Parking Lot (\$11.3M)

This project is for the development of new artificial turf field space and related amenities in Cloverdale Athletic Park. The project also includes new parking amenities to serve the needs of this busy community park.

2.3.5 Covered Multi-Sport (Lacrosse Box) at South Surrey Athletic Park (\$3.5M)

This project is for the design and construction of a covered multi-sport facility that will serve numerous outdoor sport groups (such as lacrosse and ball hockey) and drop-in park visitors. The facility will provide weather protection and lighting to support year-round use and bleachers for spectator viewing.

2.3.6 North Surrey Recreation Centre Demolition (\$3.5M)

The North Surrey Recreation Centre has been decommissioned and the site is to be redeveloped by the Surrey City Development Corporation (“SCDC”) with an office development in the future. To prepare the site for future development by SCDC, the existing North Surrey Recreation Centre is to be demolished. Demolition is scheduled to commence by Fall 2024 and completed by the end of the year.

2.3.7 Softball City Parking Lot and Sportfield Light Improvements (\$3.1M)

This project is for the paving of the existing gravel parking area to the north of Softball City, including parking lot lighting to improve visitor safety, and tree planting to enhance canopy cover over the pavement. The project also includes upgrading the sports field lighting system throughout Softball City to energy efficient LED fixtures.

2.3.8 Truck Parking Improvements (\$2.0M)

This project is to support the development of truck parking facilities at four locations within the City. It is estimated that this investment will create an additional 150 truck parking stalls within these properties which will be run by an independent truck parking operator.

2.3.9 Archives/1912 Hall Renovation (\$5.0M)

This funding will support structural upgrades and enhancements to this important civic heritage building, extending its use as a cultural venue. Funding will also support the growth of the City’s archival and heritage collections and services.

2.3.10 Nicomekl Riverfront Park (Total \$25.5M)

The City is planning a complete park system along the south bank of the Nicomekl River to create a conservation-oriented riverfront park that integrates ecological improvements, public access, new amenities, public art, First Nations culture, heritage, and infrastructure with natural spaces and habitat corridors. The project is significant for its connection to the City's Coastal Flood Adaptation Strategy and securing of grant funding through the Government of Canada's Disaster Mitigation Adaptation Fund. Phase 1 construction is anticipated to start in 2024 and complete in late 2025 with Phases 2 and 3 design and construction to follow.

2.3.11 Focus Newton (\$1.4M)

The projects, identified through Focus Newton, include increasing garbage cans on roads and around libraries, implementing walking and cycling safety enhancements, improving major facilities and features in libraries (such as updating public seating and study areas, updating early years toys and youth games), and security supplies for the Surrey Mobilization and Resiliency Table ("SMART") program. The program will also focus on expanding horticulture and beautification projects throughout Newton.

2.3.12 Sunnyside Cemetery Development – Phase 1 (\$1.0M)

This project will expand interment capacity at Sunnyside Lawn Cemetery and includes detailed design, site clearing, earthworks, drainage, and site servicing.

2.3.13 Surrey Sport & Leisure Complex – Chiller Replacement (\$1.0M)

This project is for replacing aging equipment to maintain the safe and efficient operation of the refrigeration plant. The current chiller was installed in 2010 and services both Arena 1 and 2. The current chiller has reached the end of its lifespan. The recommended lifespan of the new chiller is 40 years.

2.3.14 Truck Bay Expansion Fire Hall #11 & #15 (\$4.0M)

To facilitate the apparatus deployment associated with the approved five-year growth plan, four fire hall truck bays need to be expanded to fit the added apparatus. The \$4.0M of funding represents upgrades to two of the four identified fire halls as an immediate more cost-effective solution that takes into consideration age and condition of the chosen halls.

2.3.15 Artificial Turf Replacement Hjorth Road Park West Field (\$0.90M)

This project is for the lifecycle replacement of the artificial turf surface on the west field at Hjorth Road Park.

2.3.16 1001 Steps Renovation (\$0.81M)

The 1001 Steps is an extensive and heavily used wooden stairway system located in the 12600 block of 15A Avenue in South Surrey that provides access to the beach.

This project will replace the stair system with new concrete footings and upgraded, longer-lasting galvanized steel components.

2.3.17 New Park Washrooms (\$3.8M)

This project will provide new washrooms in large-scale neighbourhood parks as a continued investment in improving facilities where there is clear evidence of long-term, increased park usage.

2.3.18 Surrey Sports Hall of Fame (\$0.70M)

Funding to support the establishment of a virtual Sports Hall of Fame featuring a dynamic online experience, augmented with select in-person opportunities at some civic facilities. The Sports Hall of Fame will share experiences and achievements of sport in Surrey.

2.3.19 Unwin Community Park – Master Plan and Phase 1 (\$4.8M)

The City has acquired the last property to expand this community park within the rapidly growing community of Newton. A range of new amenities will be required to meet that growth and changing demographics, including accessible washrooms to meet the requirements of the Jumpstart playground and walking amenities such as trails and paths. Additional future new amenities in the park will require additional funding.

2.3.20 Sullivan Heights Park Conversion of Cricket Pitch to Natural Grass (\$0.55M)

This project is for the conversion of the existing artificial turf pitch into a natural grass pitch of sufficient size to contain six turfgrass pitches. Work includes installation of specialized montmorillonite clay that provides the firm surface necessary for high level play and additional work to upgrade the sprinkler system to create separate watering zones for the new clay pitch surface and surrounding turfgrass areas.

2.3.21 Park Improvements (\$2.5M)

This project supports the ongoing repair and renovation of existing amenities in parks and the development of new smaller amenities in parks.

2.3.22 Indoor Video Display at South Surrey Arena (\$0.40M)

This funding will provide a new digital LED display at the South Surrey Arena. The new system will enhance fan engagement and create new advertising opportunities for the City and user groups including the Surrey Eagles Junior Hockey Team.

2.3.23 Sunnyside Park Ball Diamond Improvements (\$3.7M)

This project is for the renovation and upgrade of the four ball diamonds in the western portion of the park. The project includes replacing the existing diamonds

with new irrigated turfgrass and includes field lighting on one diamond to support evening play.

2.3.24 Newton Community Centre (Total \$310.6M)

The new Newton Community Centre (“NCC”) will be a vibrant, inclusive, and accessible facility that will enhance recreation, culture, and library services to the growing Newton community. With a budget of \$310.6M, this state-of-the-art facility will be the largest community centre in the City at approximately 190,000 square feet (17,650 square metres). The NCC will be located on the east side of King George Boulevard, south of the existing Newton Arena and next to the Newton Seniors Centre, and near local transit services. Construction is scheduled to start in 2025 and be completed in 2028.

The NCC will include a 50-metre swimming pool, leisure pool, hot tub, and sauna amenities comparable to those available at the Grandview Heights Aquatic Centre. The NCC will also include two full sized gymnasiums, fitness centre, mat-room, multi-purpose rooms, child-care, and dedicated arts spaces to support a range of cultural programming.

The NCC includes a new 45,000 square feet (4,180 square metres) library, which is approximately three times the size of the existing Newton Branch. The library will feature the latest resources, technology, and flexible spaces for the community to gather, connect and learn. It will include an early learning play area, dedicated youth spaces, quiet and collaborative study areas, and a large collection to meet the needs of the City’s diverse community.

The new total funding envelope for NCC is \$310.6M and is inclusive and contingent on \$229.6M of new required internal borrowing.

2.3.25 Fleetwood Fire Hall #6 Relocation (Total \$14.3M)

This funding will go towards the construction of a relocated Fire Hall #6 to accommodate the anticipated growth in Fleetwood, along the Surrey-Langley Skytrain line.

2.3.26 Disc Golf at Port Mann Park (\$2.3M)

This project is for the design and construction of a disc golf course and supporting amenities at Port Mann Park. This project is Phase 1 of the long-term development of this park site.

2.3.27 North Surrey Track Resurfacing (\$2.3M)

The rubberized track oval at North Surrey Secondary School is used daily by track and field user groups, the adjacent high school, and the community for walking and other fitness pursuits. The track facility is operated and maintained by the City through a joint-use operating agreement with Surrey School District #36 and requires life-cycle replacement.

2.3.28 Robertson Drive Park – Sport Court and Pathway Improvements (\$1.0M)

This project envisions a new sport court built to current standards, with the ability to house basketball, ball hockey and other court sports. A new serviced washroom is also included in the project. Additional pathway improvements will also enhance the walkability within the park.

2.3.29 Covered Multi-Sport (Lacrosse Box) in Newton (\$4.6M)

This project is for the design and construction of a covered multi-sport facility that will serve numerous outdoor sport groups (such as basketball, lacrosse, and ball hockey) and drop in park visitors. The facility will provide weather protection and lighting to support year-round use and bleachers for spectator viewing. The project also includes washroom upgrades to support increased use at Unwin Park.

2.3.30 Grandview Heights Community Park – Phase 1 (\$3.1M)

This project will initiate the design and Phase 1 development of a community park for the rapidly growing population of Grandview Heights. The park will be located directly adjacent to the new Grandview Heights Secondary School and Grandview Heights Aquatic Facility. Additional future new amenities in the park will require additional funding.

2.3.31 Sport Facility Site Development (\$1.0M)

This project is for the construction of supporting infrastructure to align with the development of future sports facilities in the City.

2.3.32 Surrey Sport & Leisure Complex – Roof Replacement (\$7.5M)

This project consists of installation of a new roof at Surrey Sport & Leisure Complex. The existing roof is approximately 28 years old, is in poor condition and has reached the end of its service life.

2.3.33 North Surrey Community Park Improvements (\$5.3M)

North Surrey Community Park is a significant Community Park in the Guildford town centre. Adjacent to North Surrey Secondary School, it currently houses three softball fields, two soccer fields, a parking lot, and small washroom building. This project is for the design and development of amenities in a recently acquired area of parkland along 96 Avenue that will become integrated into North Surrey Community Park.

2.3.34 Newton Youth Park (\$3.9M)

This project envisions a new skate park at a park site in the central area of Newton to serve the youth population in this area.

2.3.35 Interactive Art Museum – City Centre (Total \$60.0M)

This project will create a destination cultural facility in Surrey and a major attraction in City Centre. The Interactive Art Museum (“iAM”) will feature creative spaces for contemporary art learning, such as art exhibition halls, TechLab and maker spaces, open studios for artists in residence, events rooms, a performance hall, and outdoor space for creative temporary projects. This 60,000 square feet concept is aligned with federal funding program priorities. Partnership in a mixed development project could accelerate the iAM. It is estimated that this high-calibre facility would cost \$60.0M in total. \$15.0M in initial funding is being allocated across 2027 and 2028 to begin work on this concept.

2.3.36 Cloverdale Athletic Park – Covered Multi-Sport Facility (\$2.1M)

This project is for the design and construction of a covered multi-sport facility that will serve numerous outdoor sport groups (such as basketball, lacrosse, and ball hockey) and drop in park visitors. The facility will provide weather protection and lighting to support year-round use and bleachers for spectator viewing.

2.3.37 Hadden House Upgrades (\$0.75M)

The Billy Hadden House is a City-owned heritage home located within the boundaries of the future Nicomekl Riverfront Park. This funding will support upgrades required to enable broader community use of the facility within the park.

2.4 Proposed 2024 Capital Program for Engineering Capital Infrastructure

Capital funding is available from DCCs, contributions from Utilities Operating, the Greater Vancouver Transit Authority (“TransLink”), contributions from the federal and provincial governments, and developer contributions. Table 6 outlines the Engineering Utilities Capital Infrastructure Requirements in each of the next five years.

Table 6: 2024–2028 Proposed Engineering Utilities Capital Infrastructure Requirements

PROPOSED ENGINEERING UTILITIES CAPITAL INFRASTRUCTURE REQUIREMENTS (in thousands of dollars)	2024	2025	2026	2027	2028	Total
Roads & Transportation	\$ 85,245	\$ 80,919	\$ 84,426	\$ 73,005	\$ 89,324	\$ 412,919
Drainage	45,885	57,392	70,649	47,290	50,444	271,660
Surrey City Energy	34,625	23,165	3,700	1,356	10,220	73,066
Sewer	13,332	19,123	29,482	32,132	30,744	124,813
Water	12,646	17,875	14,519	14,291	15,702	75,033
Parking	173	173	173	173	173	865
TOTAL PROPOSED ENGINEERING CAPITAL INFRASTRUCTURE	\$ 191,906	\$ 198,647	\$ 202,949	\$ 168,247	\$ 196,607	\$ 958,356

An overview of the entire Capital Program is attached as Appendix “I” to this report.

CONCLUSION

Based on the discussion and information provided in this report, it is recommended that the Finance Committee recommend Council:

1. Approve the Capital Program as outlined in Section 2.0 of this report; and
2. Direct Staff to prepare the 2024 Five-Year (2024-2028) Capital Financial Plan as outlined in this report.



Kam Grewal, CPA, CMA
General Manager, Finance



Rob Costanzo
City Manager

Attachments:

Appendix "I": 2024 Five-Year (2024-2028) Capital Financial Plan

**2024 - 2028 CAPITAL FINANCIAL PLAN
EXECUTIVE SUMMARY**

(in thousands)

CONTRIBUTION SUMMARY	2024	2025	2026	2027	2028	5 YEAR PROGRAM
Discretionary Contributions						
Community Amenity Contribution Reserve	\$ 11,000	\$ 12,000	\$ 12,000	\$ 12,000	\$ 11,000	\$ 58,000
Contribution from Operating	130,287	125,591	110,043	81,843	97,182	544,946
Other Appropriations - Green City	1,500	1,500	1,500	1,500	1,500	7,500
Other Reserve Funds	11,824	11,265	15,803	11,300	11,300	61,492
	<u>154,611</u>	<u>150,356</u>	<u>139,346</u>	<u>106,643</u>	<u>120,982</u>	<u>671,938</u>
Non-Discretionary Contributions						
DCC Reserve Funds	83,009	90,719	106,926	109,913	111,049	501,616
NCP Reserve Funds	800	1,600	2,180	200	200	4,980
Other Statutory Reserve Funds	10,500	10,750	11,000	11,000	11,000	54,250
	<u>94,309</u>	<u>103,069</u>	<u>120,106</u>	<u>121,113</u>	<u>122,249</u>	<u>560,846</u>
Other Contributions						
External Sources	77,262	41,914	32,212	24,280	36,206	211,874
Other Sources	-	229,600	-	-	-	229,600
	<u>77,262</u>	<u>271,514</u>	<u>32,212</u>	<u>24,280</u>	<u>36,206</u>	<u>441,474</u>
Unidentified - Budget Authority (not funded)	50,000	50,000	50,000	50,000	50,000	250,000
Total Current Year's Contributions	<u>376,182</u>	<u>574,939</u>	<u>341,664</u>	<u>302,036</u>	<u>329,437</u>	<u>1,924,258</u>
	\$ 376,182	\$ 574,939	\$ 341,664	\$ 302,036	\$ 329,437	\$ 1,924,258

EXPENDITURE SUMMARY

Capital Renewal & Maintenance						
Buildings	\$ 4,000	\$ 4,000	\$ 4,000	\$ 4,000	\$ 4,000	\$ 20,000
Equipment	14,704	14,475	19,013	14,510	14,510	77,212
Other Capital Improvements	196,834	203,601	207,902	173,200	201,560	983,097
Land Acquisition	31,712	32,467	32,717	32,717	32,717	162,330
Sundry & Contingency	2,178	2,093	1,857	1,529	10,591	18,248
	<u>249,428</u>	<u>256,636</u>	<u>265,489</u>	<u>225,956</u>	<u>263,378</u>	<u>1,260,887</u>
Ranked Projects						
Buildings	52,147	242,853	12,000	10,300	12,200	329,500
Other Capital Improvements	24,607	25,450	14,175	15,780	3,859	83,871
	<u>76,754</u>	<u>268,303</u>	<u>26,175</u>	<u>26,080</u>	<u>16,059</u>	<u>413,371</u>
Unidentified - Budget Authority (not funded)	50,000	50,000	50,000	50,000	50,000	250,000
Total Current Year's Expenditures	<u>376,182</u>	<u>574,939</u>	<u>341,664</u>	<u>302,036</u>	<u>329,437</u>	<u>1,924,258</u>
	\$ 376,182	\$ 574,939	\$ 341,664	\$ 302,036	\$ 329,437	\$ 1,924,258

2024 - 2028 CAPITAL FINANCIAL PLAN CONTRIBUTION (FUNDING) SUMMARY

(in thousands)

CONTRIBUTION SUMMARY	2024	2025	2026	2027	2028	5 YEAR PROGRAM
Discretionary Contributions						
Community Amenity Contribution Reserve						
CAC & Bonus Density Contributions	\$ 11,000	\$ 12,000	\$ 12,000	\$ 12,000	\$ 11,000	\$ 58,000
	11,000	12,000	12,000	12,000	11,000	58,000
Contributions from Operating						
Drainage	21,349	25,935	42,998	23,362	24,593	138,237
General	43,325	36,372	24,027	25,584	25,625	154,933
Parking	173	173	173	173	173	865
Roads & Transportation	13,887	16,709	18,274	15,124	17,533	81,527
Sewer	9,129	9,267	10,206	10,557	11,175	50,334
Surrey City Energy	34,625	23,165	3,700	1,356	10,220	73,066
Water	7,799	13,970	10,665	5,687	7,863	45,984
	130,287	125,591	110,043	81,843	97,182	544,946
Operating Appropriated Surplus						
Other Appropriations - Green City	1,500	1,500	1,500	1,500	1,500	7,500
	1,500	1,500	1,500	1,500	1,500	7,500
Other Reserve Funds						
Artificial Turf Replacement	540	-	-	-	-	540
Environmental Stewardship	240	240	240	240	240	1,200
Vehicles & Equipment	11,044	11,025	15,563	11,060	11,060	59,752
	11,824	11,265	15,803	11,300	11,300	61,492
	154,611	150,356	139,346	106,643	120,982	671,938
Non-Discretionary Contributions						
<i>City-Wide DCC Reserve Funds</i>						
Arterial Roads	37,725	32,936	30,873	32,539	34,328	168,401
Drainage	5,750	7,354	12,435	11,186	13,304	50,029
Major Collector Roads	6,120	4,771	8,591	4,112	4,112	27,706
Parkland	21,000	21,500	21,500	21,500	21,500	107,000
Parkland Development	800	825	825	825	825	4,100
Sewer	3,497	6,106	15,526	17,825	15,819	58,773
Water	4,847	3,905	3,854	8,451	7,413	28,470
<i>Area Specific DCC Reserve Funds</i>						
Anniedale Tynehead	112	2,519	2,519	2,519	2,519	10,188
Campbell Heights	402	1,306	1,306	1,306	1,306	5,626
Darts Hill	124	1,390	1,390	1,390	1,390	5,684
City Centre	1,909	4,545	4,545	4,545	4,545	20,089
Hwy 99 Corridor	17	17	17	170	443	664
Redwood Heights	6	2,452	2,452	2,452	2,452	9,814
West Clayton	700	1,093	1,093	1,093	1,093	5,072
	83,009	90,719	106,926	109,913	111,049	501,616
NCP Reserve Funds						
Fire	100	100	100	100	100	500
Library	100	100	100	100	100	500
Parks	600	1,400	1,980	-	-	3,980
	800	1,600	2,180	200	200	4,980
Other Statutory Reserve Funds						
Parkland Acquisition	10,500	10,750	11,000	11,000	11,000	54,250
	10,500	10,750	11,000	11,000	11,000	54,250
	94,309	103,069	120,106	121,113	122,249	560,846
Other Contributions						
External Sources						
Federal/Provincial Contribution	24,207	23,052	12,821	9,561	7,955	77,596
Growing Communities Fund	32,647	-	-	-	-	32,647
TransLink	20,408	18,862	19,391	14,719	28,251	101,631
	77,262	41,914	32,212	24,280	36,206	211,874
Other Sources						
Internal Borrowing	-	229,600	-	-	-	229,600
	-	229,600	-	-	-	229,600
	77,262	271,514	32,212	24,280	36,206	441,474
Unidentified - Budget Authority (not funded)	50,000	50,000	50,000	50,000	50,000	250,000
	\$ 376,182	\$ 574,939	\$ 341,664	\$ 302,036	\$ 329,437	\$ 1,924,258

**2024 - 2028 CAPITAL FINANCIAL PLAN
EXPENDITURE SUMMARY**

(in thousands)

EXPENDITURE SUMMARY	2024	2025	2026	2027	2028	5 YEAR PROGRAM
Capital Renewal & Maintenance						
Buildings						
Facilities Maintenance & Renovations	\$ 4,000	\$ 4,000	\$ 4,000	\$ 4,000	\$ 4,000	\$ 20,000
	4,000	4,000	4,000	4,000	4,000	20,000
Equipment						
General Corporate	13,160	13,410	13,660	13,660	13,660	67,550
Parks, Recreation & Culture	600	600	600	600	600	3,000
Protective Services	944	465	4,753	250	250	6,662
	14,704	14,475	19,013	14,510	14,510	77,212
Land Acquisition						
Parkland Acquisition	31,712	32,467	32,717	32,717	32,717	162,330
	31,712	32,467	32,717	32,717	32,717	162,330
Other Capital Improvements						
Drainage	45,885	57,392	70,649	47,290	50,444	271,660
Parking	173	173	173	173	173	865
Parks, Recreation & Culture	4,928	4,954	4,953	4,953	4,953	24,741
Roads & Transportation	85,245	80,919	84,426	73,005	89,324	412,919
Sewer	13,332	19,123	29,482	32,132	30,744	124,813
Surrey City Energy	34,625	23,165	3,700	1,356	10,220	73,066
Water	12,646	17,875	14,519	14,291	15,702	75,033
	196,834	203,601	207,902	173,200	201,560	983,097
Sundry & Contingency						
	2,178	2,093	1,857	1,529	10,591	18,248
	2,178	2,093	1,857	1,529	10,591	18,248
	249,428	256,636	265,489	225,956	263,378	1,260,887
Ranked Projects						
Buildings						
Archives/1912 Hall Renovation	2,000	3,000	-	-	-	5,000
City Centre Sports Complex - Phase 1 (Phase 2 Design 2026)	5,647	4,753	500	-	-	10,900
Cloverdale Sport & Ice Complex	37,000	-	-	-	-	37,000
Fleetwood Firehall #6 Relocation	-	3,500	10,500	-	-	14,000
Interactive Art Museum - City Centre	-	-	-	2,800	12,200	15,000
Newton Community Centre	-	229,600	-	-	-	229,600
North Surrey Recreation Centre Demolition	3,500	-	-	-	-	3,500
Surrey Sport and Leisure Complex - Chiller Replacement	1,000	-	-	-	-	1,000
Surrey Sport and Leisure Complex - Roof Replacement	-	-	-	7,500	-	7,500
Truck Bay Expansion Fire Hall #11 & #15	1,000	2,000	1,000	-	-	4,000
Truck Parking Improvements	2,000	-	-	-	-	2,000
	52,147	242,853	12,000	10,300	12,200	329,500
Other Capital Improvements						
1001 Steps Renovation	807	-	-	-	-	807
Artificial Turf Replacement Hjorth Road Park West Field	900	-	-	-	-	900
Cloverdale Athletic Park - Covered Multisport Facility	-	-	-	2,100	-	2,100
Cloverdale Athletic Park- New Artificial Turf Field and Parking Lot	4,000	7,300	-	-	-	11,300
Covered Multi-Sport (Lacrosse Box) at South Surrey Athletic Park	3,500	-	-	-	-	3,500
Covered Multi-Sport (Lacrosse Box) in Newton	-	-	4,625	-	-	4,625
Disc Golf at Port Mann Park	-	2,300	-	-	-	2,300
Focus Newton	1,400	-	-	-	-	1,400
Grandview Heights Community Park - Phase 1	-	-	3,100	-	-	3,100
Hadden House Upgrades	-	-	-	750	-	750
Indoor Video Display at South Surrey Arena	400	-	-	-	-	400
New Park Washrooms	750	750	750	750	750	3,750
Newton Youth Park	-	-	-	3,850	-	3,850
Nicomekl Riverfront Park	1,600	3,500	4,200	2,500	2,609	14,409
North Surrey Community Park Improvements	-	-	-	5,330	-	5,330
North Surrey Track Resurfacing	-	2,300	-	-	-	2,300
Park Improvements	500	500	500	500	500	2,500
Robertson Drive - Sports Court Pathway Improvements	-	1,000	-	-	-	1,000
Sullivan Heights Park - Conversion of Cricket Pitch to Natural Grass	550	-	-	-	-	550
Sunnyside Cemetery Development- Phase 1	1,000	-	-	-	-	1,000
Sunnyside Park Ball Diamond Improvements	100	3,600	-	-	-	3,700
Surrey Sports Hall of Fame	700	-	-	-	-	700
Softball City Parking Lot and Sportfield Light Improvements	3,100	-	-	-	-	3,100
Sport Facility Site Development	-	-	1,000	-	-	1,000
Tamanawis Park - Third Field Hockey Turf Field and Changeroom	4,700	-	-	-	-	4,700
Unwin Community Park	600	4,200	-	-	-	4,800
	24,607	25,450	14,175	15,780	3,859	83,871
	76,754	268,303	26,175	26,080	16,059	413,371
Unidentified - Budget Authority (not funded)						
	50,000	50,000	50,000	50,000	50,000	250,000
	\$ 376,182	\$ 574,939	\$ 341,664	\$ 302,036	\$ 329,437	\$ 1,924,258



CORPORATE REPORT

NO: F004

COUNCIL DATE: April 22, 2024

FINANCE COMMITTEETO: **Mayor & Council**DATE: **April 17, 2024**FROM: **General Manager, Finance**FILE: **1850-20**SUBJECT: **City Grants for 2024**

RECOMMENDATION

It is recommended that the Finance Committee recommend that Council:

1. Approve the proposed 2024 City Grants as recommended by the Grants Evaluation Committee and as documented in Appendices "I", "II", and "III" attached to this report; and
2. Receive for information, a list of Council approved long-term lease-in-kind arrangements between the City and community organizations, as included in Appendix "IV" of this report.

BACKGROUND

Each year, Council provides support to local non-profit and community-based organizations through the City Grants Program. These include on-going grants in the categories of Leases and Property Taxes, Business & Tourism Grants, Crime Prevention & Youth Services Grants, Community Grants, and one-time grants in the categories of Community Promotion, Cultural and Recreational, and Health and Social Services.

DISCUSSION**2024 Application Process**

Not-for-profit community groups were invited to submit applications for the 2024 City Grants Program by September 30, 2023. The City Grants Program is advertised on the City's website and social media channels to notify the public about the application deadline.

2024 City Grants Evaluation Process

A cross-departmental Grants Evaluation Committee comprised of representatives from Finance, Legislative Services, Parks, Recreation & Culture, and Social Infrastructure and Community Investments reviews the grant applications using the Policy on Municipal Grants and the Guidelines for Grant Priorities, attached as Appendix "V" to this report.

The Grants Evaluation Committee met on November 28, 2023, to discuss the merits of each applicant and reach consensus on funding recommendations. Based on the program funds available, the Evaluation Committee recommend awarding City Grants which have been aggregated into the following categories:

- Ongoing Leases and Property Taxes;
- Ongoing Business & Tourism;
- Ongoing Crime Prevention & Youth Services;
- Ongoing Community; and
- One-time Grants

On-going Annual Leases and Property Taxes

The on-going annual leases component of the City Grants budget refers to City-owned land and/or space that is being used by not-for-profit organizations and for which the lease payments are forgiven annually. The non-profit organizations are required to apply annually for such grants in lieu of rent.

An allocation for property taxes is included in the City Grants budget for not-for-profit organizations that would have qualified for a Permissive Property Tax Exemption but did not meet the deadline for such exemptions. Grants that are provided from this allocation are restricted to the municipal portion of the not-for-profit organization's property taxes. The non-profit organizations are required to apply annually for such grants in lieu of property taxes.

On-going Business & Tourism

The Business & Tourism component of the City Grants program includes the Cloverdale District Chamber of Commerce, South Surrey & White Rock Chamber of Commerce, and Surrey Tourism and Convention Association. The two Chambers of Commerce play an important role in encouraging businesses to locate in Surrey and this grant supports their ongoing efforts. The Surrey Tourism and Convention Association is the City's designated destination marketing organization, with a mandate to market and promote the entire City through marketing initiatives and programs.

On-going Crime Prevention & Youth Services

The Crime Prevention component of the City Grants program supports the City's Crime Reduction Strategy and includes Surrey Crime Prevention Society ("SCPS"), Metro Vancouver Crime Stoppers, and the Lookout Housing & Health Society ("Lookout").

SCPS volunteers support their following programs in the City of Surrey: Community Safety tours, Community Enhancement Program, Citizen's Community Safety Watch, Community Safety Mentorship Program and Traffic Safety.

Metro Vancouver Crime Stoppers ("Crime Stoppers") is a non-profit society that receives anonymous tip information about criminal activity and provides it to law enforcement agencies, which helps to reduce investigation time and expenses. Furthermore, Crime Stoppers works with police to help with unsolved crimes in the community.

Lookout's Surrey Street Youth Services ("SSYS") program assists youth who are alienated from caregivers and are unable to meet their basic needs for food, shelter, health, and safety. SSYS

works in partnership with other Surrey based youth agencies helping to reduce youth poverty and youth homelessness by connecting individuals to services. Lookout provides outreach, in-house and referral services for at risk Surrey youth living in poverty.

On-going Community

Lower Fraser Valley Exhibition Association (the “Association”)

The Association organizes and hosts the Cloverdale Rodeo and Exhibition, which is staged on the Fairgrounds during the Victoria Day weekend in May of each year. The event attracts thousands of visitors to the City annually and assists the local economy on an annual basis. It also brings positive recognition to the City of Surrey from across the province as well as nationally and internationally. Staff have evaluated the Association’s request and is satisfied that the Cloverdale Rodeo and Exhibition is an important event in relation to the image and economy of Surrey and therefore, staff are supportive of Council approving a grant of \$300,000 to the Association.

Cloverdale Curling Club

The Cloverdale Curling Club (the “Club”) provides recreational and social opportunities for Surrey residents through learn to curl programs, leagues, and other community events. The Club also provides curling opportunities for several hundred elementary and secondary students each year, as well as seniors. Under the existing operating agreement (2021-2025), the City will provide an annual base payment of \$70,358 per year plus consumer price index (“CPI”) annual increase to a maximum of 2% to the Club.

Community Enhancement Partnership Program Grants

The Community Enhancement Partnership (“CEP”) Program supports community engagement and beautification projects. The CEP Program has an on-going intake through an open application process. This Program provides grants to residents and organizations under two separate categories: Small Project Grants and Activity and Celebration Grants.

Community Events Policing Grants

The Community Events Policing Grant program reduces the burden of policing costs borne by community groups for events, parades, and festivals with free admission for the general public. This Grant program has an on-going intake through the City’s Festival & Event Support Team application process.

Sport Tourism Grants

The City accepts applications for Sport Tourism grants on an ongoing basis. The Sport Tourism Grant Program is designed to support community groups and aid with covering facility rental and marketing costs associated with sporting events.

Arts Council of Surrey

The purpose of the Arts Council of Surrey is to promote and foster arts and cultural services in Surrey. Over time, the Arts Council has initiated, developed, and sponsored groups that have become self-sustainable.

Volunteer Cancer Drivers Society

Volunteer Cancer Drivers Society organizes a volunteer driver program for cancer patients in the Metro Vancouver area which transports cancer patients for treatment, diagnosis, and follow-up care each month.

Honey Hooser Scholarship and Peace Arch Weavers and Spinners Guild

The City has established the Honey Hooser Scholarship to be awarded each year to a graduating post secondary arts student, a student with an interest in arts and crafts graduating from a secondary school in Surrey, or a disabled person with an interest in arts and crafts. The interest may be broad and include the study of the visual, graphic, or performing arts, or the development of the tools to facilitate these arts. The purpose of this scholarship is to benefit the community by encouraging persons having an interest in arts and crafts to pursue studies in these areas. The City also provides an annual grant to the Peace Arch Weavers & Spinners Guild, an organization promoting the art of weaving and spinning.

Special Recognition and Dry Grads

The budget for the City Grants Program includes an allocation to a Special Recognition Fund. This is intended to be used to recognize individuals or groups who achieve extraordinary accomplishments as determined by City Council. In this regard, individuals and groups/teams occasionally request financial assistance when they qualify for or are invited to attend a competition at a higher level such as a provincial, national, or world championship event. The budget also includes an allocation in support of Dry Grad celebrations at Surrey secondary schools.

One-Time Grants

The One-time Grants Program is designed to support all other local non-profit groups or organizations. Appendix "II" contains a listing of all proposed one-time grant applications for 2024.

Appendix "III" contains a listing of all one-time grant requests not recommended by the Grants Evaluation Committee. Organizations that apply for funding under the City Grants Program most often propose valuable and worthwhile projects; however, funding cannot always be allocated as requested because either the project does not meet the criteria of the Grants Policy, or the scope of the project exceeds the funding capabilities of the Grants Budget. In such circumstances, Council has the option to consider alternative funding sources such as the Council Initiatives Fund.

Long Term Lease-In-Kind

Appendix “IV” includes a list of City owned land and/or space leased to community organizations. The list includes the names of the organizations, the annual market value of the in-kind leases and the addresses of the leased properties. Over the years, Council has approved long-term in-kind lease arrangements for these properties. As such, Council approval on an annual basis is not required.

CONCLUSION

Based on the above discussion, the Finance Committee recommend Council approve the 2024 City Grants as recommended by the Grants Evaluation Committee and as documented in Appendices “I”, “II” and “III” attached to this report.



Kam Grewal, CPA, CMA
General Manager, Finance

- Appendix “I”: 2024 Proposed City Grants (On-going)
- Appendix “II”: 2024 Proposed City Grants (One-time)
- Appendix “III”: 2024 Proposed City Grants (Not Recommended)
- Appendix “IV”: Long Term Lease In-Kind
- Appendix “V”: Policy on City Grants No. D-26

Appendix "I"



2024 FINANCIAL PLAN PROPOSED CITY GRANTS

Name of the Organization	Grant Category	2023 Approved Amounts	2024 Proposed Amounts	Comments, Actions or Recommendations
1. Fraser Valley Heritage Railway Society	Lease-in-kind	112,000	188,424	5554 176 Street
2. Surrey Sailing Club	Lease-in-kind	24,000	24,000	3140 McBride Avenue
3. Surrey Heritage Society	Lease-in-kind	57,000	101,700	6022 Highway 15
4. Panorama Ridge Riding Club	Lease-in-kind	30,500	30,500	5381 125A Street
5. Lower Mainland German Shepherd Dog Club	Lease-in-kind	6,000	6,000	19461 36 Avenue
6. Action BMX Association	Lease-in-kind	12,000	12,000	12624 75 Avenue
7. Crescent Beach Swim Club	Lease-in-kind	625	625	Foot of McBride Avenue
8. Lower Fraser Valley Exhibition Association	Lease-in-kind	74,088	74,088	6060 176 Street & 17835 62 Avenue
9. Semiahmoo Potters Society	Lease-in-kind	-	9,630	2585 132 Street
10. Unallocated Property Taxes	Property Taxes	5,000	5,000	Unallocated
A. Total Leases and Property Taxes		321,200	452,000	
11. Cloverdale District Chamber of Commerce	Business & Tourism	10,000	10,000	Same as last year
12. South Surrey/White Rock Chamber of Commerce	Business & Tourism	10,000	10,000	Same as last year
13. Surrey Tourism & Convention Association	Business & Tourism	10,000	10,000	Same as last year
B. Total On-going Business & Tourism		30,000	30,000	
14. Surrey Crime Prevention Society	Crime Prevention	300,000	300,000	Same as last year
15. Crime Stoppers	Crime Prevention	55,000	55,000	Same as last year
16. Lookout Housing and Health Society	Crime Prevention & Youth Services	44,000	44,000	Same as last year
C. Total On-going Crime Prevention		399,000	399,000	
17. Lower Fraser Valley Exhibition Association	Community	-	300,000	2023 Rodeo support allocated from Parks, Recreation & Culture Budget
18. Cloverdale Curling Club	Community	74,000	74,664	As per operating agreement
19. Community Enhancement Partnership Program	Community	45,000	45,000	Same as last year
20. Community Events Policing	Community	125,000	125,000	Same as last year
21. Sports Tourism	Community	50,000	50,000	Same as last year
22. Arts Council of Surrey	Community	5,000	5,000	Same as last year
23. Volunteer Cancer Drivers Society	Community	5,000	5,000	Same as last year
24. Honey Hooser Scholarship & Peace Arch Weavers and Spinners Guild	Community	1,000	1,000	Same as last year
25. Unallocated Special Recognition	Community	5,000	5,000	Unallocated
26. Unallocated Dry Grad Events	Community	4,500	4,500	\$250 per applying school
D. Total On-going Community		314,500	615,000	
Total Lease-in-kind and On-going Grants		1,085,000	1,496,000	
27. One-time Grants	One-time	79,650	93,450	See Appendix II for details
28. Unallocated One-time Grants	Unallocated	33,350	19,550	Unallocated
E. One-Time Grants		113,000	113,000	
Total City Grants		\$ 1,178,000	\$ 1,609,000	

Appendix "II"



2024 FINANCIAL PLAN PROPOSED CITY GRANTS (ONE-TIME)

Non-profit Organization	Grant Type	Request	2024 Proposed Amount	Recommendations and Comments
1. Age Strong Unity Wellness Society	Health & Social	Funding toward the purchase of fitness equipment for cost-free fitness classes and health promotion camps for elderly Surrey residents.	2,000	Venue rental and exercise equipment
2. Athletics for Kids Financial Assistance (B.C.) Society	Health & Social	Funding toward the cost of registration fees enabling children of low income families to participate in organized sports.	2,500	Promotion/marketing costs
3. BC/Yukon Command of the Royal Canadian Legion	Culture & Rec	Funding toward offering training and resources to Legion Branches in Surrey to ensure their sustainability into the future and improving the lives of veterans.	3,500	Training session expenses
4. Better Cause Society	Health & Social	Funding toward the Houses 2 Homes Program to provide used furniture and appliances to those in need.	3,000	Vehicle fuel and maintenance
5. Big Brothers of Greater Vancouver	Health & Social	Funding toward multi-channel advertising of the Surrey Program Awareness Project aimed to recruit "big brother" volunteers.	2,500	Program costs
6. Big Sisters of BC Lower Mainland	Health & Social	Funding toward Study Buddy, Big Sisters, and Go Girls! Mentoring programs.	2,500	Program costs
7. Boys & Girls Club of South Coast BC	Health & Social	Funding toward the purchase of three new desktop computers for the Teen/Preteen Lounge at the Surrey Boys and Girls Club	2,500	Desktop computers
8. Bright Beginnings Foundation Fund	Health & Social	Funding toward the Bright Beginnings Foundation Fund Bursary for educational supplies required by three current post secondary students from low income families in Surrey.	500	Supplies for fundraising event
9. City Dream Centre Society	Health & Social	Funding toward Hygiene Packs for grade 6 and 7 students in 16 high needs schools in Surrey.	2,500	Hygiene Pack supplies
10. Cloverdale Tritons Community Swim Club	Culture & Rec	Funding toward offsetting the cost of pool rental fees and towards the replacement of backstroke flags and the purchase water polo nets.	500	Program supplies
11. Community First Foundation dba Backpack Buddies	Health & Social	Backpack Buddies program provides healthy weekend meals and food to school age children living in poverty.	3,000	Food supplies
12. Crisis Intervention and Suicide Prevention Centre of BC	Health & Social	Funding toward the Youth Crisis and Suicide Prevention Project which provides 24/7 support for youth and young adults, plus early intervention and school/community workshops.	3,000	Program supplies
13. Digital Egg Inc.	Culture & Rec	Funding toward the BC Halal Food Festival which showcases halal food to the community.	3,500	Event costs
14. Downtown Surrey Business Improvement Association	Community Promotion	Movies Under the Stars events at Holland Park (August 3, 10 and 17, 2024)	3,000	Event costs
15. Folk Star Arts Academy	Health & Social	Funding toward interactive workshops for youth to create awareness and teach strategies for using social media in safe, responsible ways and combating cyber bullying.	500	Program supplies
16. Great Zimbabwe Cultural Society of British Columbia	Community Promotion	Funding toward adult business skills courses held in culturally supported environments in different languages of origin.	1,750	Trainer fees



**2024 FINANCIAL PLAN
PROPOSED CITY GRANTS (ONE-TIME)**

Non-profit Organization	Grant Type	Request	2024 Proposed Amount	Recommendations and Comments
17. Greater Vancouver Law Students' Legal Advice Society	Health & Social	Support toward the Law Students' Legal Advice Program summer in-person clinic staffed by a law student.	2,500	Legal advice program
18. Kurdish Canadian Society	Health & Social	Support toward a delivery driver and gas for deliveries of emergency food boxes for those in need.	2,500	Food supplies
19. Leave Out Violence (LOVE) Society BC	Health & Social	Skills for a Successful Future program builds critical skills to help at-risk, multi-barrier youth build their capacity for economic self reliance and sustainable livelihoods.	3,000	Program supplies
20. Mamas For Mamas Vancouver	Health & Social	Funding towards the 'At Risk Program' which serves caregivers and families struggling to access basic essentials.	2,000	Program supplies
21. Moving Forward Family Services	Health & Social	Support toward salary of a qualified counsellor who will supervise interns offering counseling to residents of Surrey dealing with trauma.	2,000	Program supplies
22. Pacific Community Resources Society	Health & Social	Funding towards "Foundry Surrey" centre for youth to access mental health and substance abuse supports, various social services, resources and supports for over well-being.	3,000	Furniture and equipment
23. Pacific Post Partum Support Society	Health & Social	Free telephone and text support lines program that provides counselling and information for women suffering from post partum depression or anxiety, their caregivers and family members.	2,500	Program costs
24. PLEA Community Services Society of BC	Health & Social	Taking Care of Ourselves, Taking Care of Others (TCO2) workshops for children and youth which provide training in protection from sexual exploitation and sex trafficking.	2,000	Program supplies
25. PLEA Community Services Society of BC	Health & Social	Funding toward the KidStart 6-12 one-to-one volunteer mentoring program that targets at-risk children.	1,000	Program supplies
26. Quest Outreach Society	Health & Social	Funding toward the "Food Recovery & Redistribution Program" to collect and redistribute quality surplus food from food donors to individuals and families facing financial barriers.	3,000	Food Supplies
27. Rick's Heart Foundation	Culture & Rec	Funding toward seven summer music events at seven seniors' care homes in Surrey.	2,000	Event costs
28. Semiahmoo Family Place	Health & Social	Funding toward the "Family Place", a drop-in parent participation program for young families to engage with activities and seek out supportive resources in a welcoming, stigma-free environment	1,500	Program supplies
29. Semiahmoo Peninsula Marine Rescue Society	Health & Social	Support toward operating expenses of the vessels and equipment for marine search and rescue needs in South Surrey.	1,200	Vessel maintenance and SAR equipment
30. She Connects	Health & Social	Support towards a virtual mentorship program for high school aged girls to guide and support them through complex social situations, overcome obstacles and empower them to reach their full potential.	500	Event costs and program marketing
31. Soroptimist International of Surrey/Delta & Soroptimist International of White Rock	Health & Social	Funding towards the "Dream It, Be It Girls Conference" to support girls in achieving their education and career goals.	1,000	Event costs
32. Sources Community Resources	Health & Social	Funding towards "Seeds of Change Surrey" to support food recovery programs in communities most impacted food insecurity.	3,000	Event costs



**2024 FINANCIAL PLAN
PROPOSED CITY GRANTS (ONE-TIME)**

Non-profit Organization	Grant Type	Request	2024 Proposed Amount	Recommendations and Comments
33. SuperChefs Cookery Society	Health & Social	Cookery programs to improve the health and wellness of a larger population of children in Surrey.	2,500	Food supplies
34. Surrey Christmas Bureau Society	Health & Social	Support for the grocery voucher program used by people in need of assistance from the Christmas Bureau Society.	3,000	Grocery vouchers
35. Surrey Hospice Society	Health & Social	Funding toward the rent of the Atrium at Surrey City Hall May 12, 2024 for the "Mother's Day High Tea for Hospice" fundraising event.	2,500	Venue rental
36. TEDx Surrey	Community Promotion	Funding toward TEDx Surrey "Where We Are Heading" event January 20, 2024, venue rental and advertising.	2,000	Venue rental
37. Voices of Muslim Women Foundation	Health & Social	Funding toward "Ringleaders Conference" featuring prospective career, professional training and education paths, workshops and networking opportunities for young women.	2,000	Venue rental
38. Washington Kids Foundation	Culture & Rec	Funding toward program for youth with the desire to produce original music at Co.LAB Studio by removing obstacles and providing a safe, stimulating environment and trauma counselling.	3,000	Program supplies & equipment
39. Whalley Community Association / Downtown Surrey BIA	Community Promotion	Surrey Fest Downtown community festival to be held June 15, 2024.	3,500	Event costs
40. You Wear it Well...Just for Grads Society	Health & Social	Funding towards clothing/shoes, graduation attire inventory and change rooms for the "Boutique Day" event for at-risk students	2,500	Clothing & equipment
41. Young Women's Christian Association	Health & Social	Funding towards the "YWCA Guide to High School" gender-inclusive youth education program that supports youth in making healthy and positive social, emotional and education transitions to high school.	3,000	Program supplies
			93,450	

Appendix "III"



2024 FINANCIAL PLAN PROPOSED CITY GRANTS NOT RECOMMENDED

Non-profit Organization	Grant Type	Request	Request Amount	2024 Proposed Amount	Recommendations and Comments
1. Balsar Community Foundation	Culture & Rec	Funding towards the "RunSurreyRun" community health event to promote health and fitness.	75,000	0	Outside the scope of City Grants - Deferred to Council Initiatives Funding
2. Dil Diyan Gallan Community Services	Health & Social	Funding towards evidence based monthly workshops to support mental health and understand mental illness.	10,000	0	Insufficient organizational support - Deferred to Council Initiatives Funding
3. Link Multi-Culture Immigrant Overseas Service Centre Society	Culture & Rec	Funding towards the "Surrey Cultural Harmony Initiative" two day event to promote cultural diversity, integration and unity by way of cultural festivals, workshops, exchanges, language classes and community dialogues.	33,500	0	Insufficient organizational support
4. Sikh Youth Sports Society	Culture & Rec	Funding towards the "Sikh Youth Sports Festival" featuring traditional sports competitions and community promotion	10,000	0	Deferred to Community Events Policing Grant Program
5. South Fraser Pregnancy Options	Health & Social	Funding towards reaching new donors and measuring the contributions of itemized care packages of lower-income families and people new to Canada in need of assistance.	15,000	0	Insufficient organizational support
6. Twins Cancer Fundraising Inc	Health & Social	Funding towards the "Gone Country 2024" music festival in Cloverdale to raise funds to support local residents with cancer.	30,000	0	Outside the scope of Community Grants - Deferred to Council Initiatives Funding
7. Vision2Reality Foundation	Health & Social	Funding towards sponsoring a monthly online business event for newcomers to B.C. to teach simple skills of starting a self-employed or an incorporated business.	2,500	0	Limited community benefit
8. West Coast Kings Field Hockey	Culture & Rec	Funding towards the "Canada Cup Field Hockey Tournament" featuring international competition.	10,000	0	Deferred to Sports Tourism Grant Program
9. White Rock South Surrey Newcomers Club	Health & Social	Funding towards a holiday party in December for members of this community group to offset rising costs of hosting the party.	750	0	Deferred to Community Enhancement Grant Program
			186,750	0	

Appendix “IV”



2024 FINANCIAL PLAN LONG-TERM LEASE IN-KIND

Name of the Organization	Description	2024 Market Value of Lease	Property Address
1. Arts Council of Surrey	Lease in-kind	204,750	13530 -72 Avenue
2. Association of Neighbourhood Houses of BC	Lease in-kind	44,625	6220 - 184 Street
3. Association of Neighbourhood Houses of BC	Lease in-kind	318,500	16824 - 32 Avenue
4. Cloverdale Curling Club	Lease in-kind	499,433	6142 - 176 Street
5. Cloverdale Horseshoe Club	Lease in-kind	131,250	17886- 64 Avenue
6. Laurus Coaching Solutions (Tennis Centre)	Lease in-kind	559,860	5891 -144 Street
7. Mud Bay Yacht Club	Lease in-kind	204,750	13723 Crescent Road
8. Options Services to the Communities Society	Lease in-kind	787,500	9815 - 140 Street
9. Pacific Community Resource Society	Lease in-kind	64,400	13102-112A Avenue
10. Phoenix Drug/ Alcohol Recovery	Lease in-kind	27,825	10029 - 140 Street
11. Port Kells Boxing Club	Lease in-kind	22,050	18918 -88 Avenue
12. REC For Kids Society	Lease in-kind	31,500	13379 - 68 Avenue
13. Semiahmoo Sea Scouts	Lease in-kind	26,250	13723 Crescent Road
14. South Fraser Search & Rescue Society	Lease in-kind	44,100	5756 -142 Street
15. Surrey Emergency Program Amateur Radio Society	Lease in-kind	7,875	5756 -142 Street
16. Surrey Lawn Bowling	Lease in-kind	74,025	18513- 70 Avenue
17. YMCA	Lease in-kind	189,464	13450 -104 Avenue
		\$ 3,238,157	

No. D-26 (1)

POLICY ON CITY GRANTS

1. That two categories of grants be established:
 - Category A - ongoing grants from year-to-year.
 - Category B - all other grants generally for one-time requests.
2. That a Global Grants Budget be placed in the Annual Financial Plan.
3. That total grants not exceed the Global Grants Budget.
4. That grants be intended for specific programs, capital projects, or special events.
5. That all applications for grants must be received at the office of the City Clerk not later than 4:30 p.m., September 30th of each year, or if City Hall is closed on that day, on the next day on which City Hall is open. Grant applications received after that time will not be considered for funding unless the requirement for funding was not reasonably foreseeable prior to September 30th, and unless the requirement for funding is critical to the survival of the organization's programs, capital project, or special event.
6. That grants not be provided to groups for travel, except for groups travelling under the Sister City Program.
7. That a Grant Fund in the amount of \$5,000 be established as a Special Recognition Fund, for groups which have achieved extraordinary accomplishments as determined by Council throughout the year.
8. That organizations providing services that are the responsibility of other levels of government, will not normally be eligible for grants unless the consequences of not funding the grant would result in a significant disadvantage to Surrey which would outweigh the cost of the grant itself. (Example: An organization would lose significant funding from other benefactors without Surrey's participation by way of a nominal grant).
9. That grants not be provided to cover deficits or on-going operating costs.
10. Criteria for Grant Eligibility:
 - (a) The organization must meet the requirements of Sections 8, 24 and 25 of the *Community Charter*.
 - (b) The organization shall have an active governing body composed of volunteers. Its main responsibility shall be program and policy development, and fund-raising. The governing body must be held responsible for the effectiveness of services provided and for financial accountability for funds received from all sources.

No. D-26 (2)

POLICY ON CITY GRANTS (cont'd)

- (c) All organizations shall have the following or similar clauses in their constitution and by-laws:
 - i. Paid staff members cannot be voting members of the Board of Directors (or the governing body).
 - ii. No director shall be remunerated for being or acting as a director, but directors may be reimbursed for all expenses necessary and reasonably incurred while carrying out their duties as authorized by the organization.
- (d) The organization shall show evidence that it has fully explored all other viable sources of financial support.
- (e) The organization must extend its service to the general public in Surrey, and must not exclude anyone by reason of race, religion, or ethnic background.
- (f) The organization must not act as a general fund-raiser for, or make grants to, various other groups or organizations.
- (g) The organization must agree to submit an evaluation of the use of the Surrey grant at the end of the program/project/event, or by September 30th, whichever occurs sooner.
- (h) The organization must not view the grant as an automatic ongoing source of funding.

GUIDELINES FOR GRANT PRIORITIES

The following factors will be used to determine priorities for allocating grants to eligible applicants:

1. The need addressed by the program/project/event, and its value to the community:
 - To what degree will the grant promote the well-being of Surrey residents?
 - How many residents will benefit?
 - Why is it important that it be done this year?
 - How severe are the consequences to Surrey residents of not providing a grant?
 - Is there overall community support?
2. The absence of duplication of, or competition with, an existing City program/service/event, and the use of existing community services or facilities to carry out the program/service/event.

No. 26-D (3)

GUIDELINES FOR GRANT PRIORITIES (cont'd.)

3. The cost of the program/project/event:
 - What is the total cost?
 - What is the per capita cost (residents served)?
 - What are the sources of funding, and what percentage would Surrey be contributing?
 - Have all possible sources of funding been pursued?
 - What are the overall financial conditions of the organization, and will the lack of Surrey funding result in cancellation of the program/project/event?
 - Is this a one-time request for funds, or will ongoing support be required?
 - If ongoing support will be required, for how long and to what degree?
4. The appropriateness, effectiveness, and quality of delivery of the program/project/event:
 - How well will it be organized?
 - How many volunteers and volunteer hours will be involved?
 - Will there be coordination with other organizations, which might be interested or affected?
 - Has the organization previously demonstrated success with a similar undertaking?
5. The quality of the organization's previous and current administration and management, and the length of time and the degree to which the organization has provided previous service to the community:
 - Who are the officers or elected officials of the organization?
 - Is the organization well-known to Surrey residents for their service?
 - What is their history of service to Surrey?
 - What are the future plans and goals of the organization?
 - Has the organization previously received funds from Surrey, and did they submit an evaluation for the use of those funds?

No. 26-D (4)

PROCEDURE FOR PROCESSING GRANT REQUESTS

1. Applicants must submit a grant application to the City Clerk on the prescribed form, by September 30th in order to be considered for a grant for the following year.
2. A Grants Evaluation Committee, consisting of a staff representative from Finance, Parks Recreation and Culture and Corporate Services, will review all grant applications to ensure completeness and to ensure grant eligibility as specified by policy.
3. New grant requests shall be listed under the following categories:
 - Taxes
 - Community Promotion
 - Environmental
 - Cultural and Recreational
 - Health and Social Services
4. The Grants Evaluation Committee will (after consultation as they deem necessary with the grant applicants, with City General Managers or their staff, with other Surrey Committees or Commissions, or with community groups) submit to the Finance Committee of Council, a list of all grant applications along with recommended grant amounts. The total of the recommended grants shall not exceed the total grants budget funding available, and a minimum of \$10,000 of the grants budget shall remain unallocated for critical, unanticipated grant requests received after September 30th.
5. The Finance Committee of Council will review the recommendations of the Grants Evaluation Committee, and may request additional information or request to hear delegations. The Finance Committee will then submit a list of recommended grant amounts to Council for their review and for the necessary approval. The approved grants shall be subject to final confirmation by Council after all appeals have been dealt with.
6. The City Clerk shall notify all applicants, by regular mail, of Council's initial decision, and shall advise them of the Appeal Procedure. Applicants shall be advised that grant amounts are subject to final confirmation by Council after all appeals have been dealt with.
7. The Grants Evaluation Committee shall be responsible for ensuring that all organizations, which receive a grant, submit an evaluation report on the use of the grant funds.

No. 26-D (5)

PROCEDURE FOR GRANT APPEALS

Appeals of Council's decisions will be considered only in instances where additional grant funds are required to prevent unforeseen circumstances which could result in employee lay-offs or threaten the financial well-being or survival of the organization, or where significant new information will be presented which was not available during the grants review process.

Organizations must notify the City Clerk in writing, within 14 days from the date that the grant notifications were mailed, that they wish to appeal Council's decision. The grant applicants must give a clear explanation of why they feel they qualify for an appeal. The appeal request will be presented to Council for a decision on whether the appeal will be considered, and the applicant shall be notified accordingly.

If the appeal is not successful, that organization may not reapply for funding of the same service in the same funding year.

PROCEDURE FOR PROCESSING LATE GRANT APPLICATIONS

Grant applications received after the September 30th deadline will be referred to the Grants Evaluation Committee for the following action:

- (a) If the requirement for grant funds was not reasonably foreseeable prior to September 30th, and if the requirement for immediate funding is critical to the survival of the organization or the event, then the Grants Evaluation Committee may refer the application to Council along with a recommended grant amount.
- (b) If the Grants Evaluation Committee believes that the grant application does not qualify for consideration under (a), then the Committee shall advise the grant applicant in writing that they do not qualify for consideration, but that they may reapply by the September 30th deadline for the following year. The applicant shall be advised that they may appeal this action of the Committee by requesting the City Clerk in writing to refer their application directly to Council, and by explaining why they should receive special late consideration for a grant. The appeal will be forwarded to Council for consideration, along with a recommendation from the Grants Evaluation Committee.

PROCEDURE FOR SETTING A GLOBAL GRANTS BUDGET

Prior to September 30th of each year, the Grants Evaluation Committee shall review the present year's budget, consult with larger ongoing grant recipients as necessary, and then submit a recommended Global Grants Budget to the City Manager. The City Manager shall review the recommendation, and include a Global Grants Budget amount in the preparation of the Annual Financial Plan.

Present:

Councillor Kooner, Chair
Councillor Stutt, Vice Chair
C. Izsak
J. Cuenca
J. Gosal
M. Mubanda
M. Rooney
N. Atwal

Absent:**Staff Present:**

T. Waterhouse, General Manager, Community Services
A. Murphy, Acting Manager, Housing and Social Development
S. Wu, Manager, Economic Development
C. Breton, Social Planner, Housing & Social Development
S. Lee, Administrative Assistant

Guests:

M. Oger, Morgane Oger Foundation
J. Marchbank, Simon Fraser University, Surrey Pride, and Youth 4 A Change
A. Zbar, Medical Health Officer, Fraser Health

A. ADOPTIONS**1. Adoption of the Agenda**

It was Moved by J. Gosal
Seconded by M. Rooney
That the agenda of the Livability and Social
Equity Committee meeting held on November 15, 2023, be adopted.
Carried

2. Adoption of the Minutes – October 18, 2023

It was Moved by C. Izsak
Seconded by J. Gosal
That the minutes of the Livability and Social
Equity Committee meeting held on October 18, 2023, be adopted.
Carried

B. DELEGATION**1. Morgane Oger, Morgane Oger Foundation**

The delegation provided a presentation on restraining hate signage in Surrey. The following information was highlighted:

- The presentation was a joint effort of Surrey Pride Society, Sher Vancouver, Youth 4 A Change, and Morgane Oger Foundation. It is supported by Surrey Teacher's Association, Diversecity, and Trans Alliance Society.

- The BC Human Rights Code Section 7 states that it is forbidden to advertise intent to discriminate or advise others to do the same on explicitly prohibited grounds. Discrimination includes ethnicity, place of origin, sexual orientation, gender identity, and disability. BC Human Rights Code is a provincial statute; municipalities are obligated to uphold provincial statutes. The City has the authority to limit signage content but requires the passing of a bylaw.
- Reported hate crimes have increased by 72% from 2019 to 2021. A 2020 study showed that hate propaganda caused a surge of violent acts against a specific group of people. Incendiary remarks from high profile individuals also fuel hate crimes. The study advocated for government to counteract hate speech by promoting the idea of speaking to the issue but not to the identity of the group.
- The delegation suggested that the City of Surrey Sign Bylaw be amended to prohibit hate speech. In Surrey, law enforcement is currently unable to take down discriminatory signage due to lack of right to act. The BC Human Rights Code permits a criminal charge be laid against hate signage; however, it is a process that can take two years and requires a large amount of evidence. An updated sign bylaw will enable bylaws officers to remove hate signs immediately. To address concerns regarding discriminatory signage, the delegation suggested that the Committee recommend Council to update the City of Surrey Sign Bylaw by requiring compliance with the BC Human Rights Code for all signs displayed in Surrey and to encourage the mayors of other municipalities in Metro Vancouver to do the same.

In response to questions from the Committee, the delegation provided the following information:

- Human Rights Commission publishes guidelines of prohibited discrimination that defines what is hate.

The Committee noted the following comments:

- There are legal issues that the City needs to further research before making recommendations to Council.

It was

Moved by M. Rooney

Seconded by M. Mubanda

That the Livability and Social Equity

Committee receive this presentation for information and that staff provide a report on current bylaws and options for the City.

Carried

J. Cuenca joined the meeting at 6:24 p.m.

C. STAFF PRESENTATIONS

1. Manager, Economic Development, City of Surrey

Staff provided a presentation on social equity and the City's economic strategy. The following information was highlighted:

- Economic Development created the first economic strategy in 2017 with seven main themes, aiming to be the second downtown core in Metro Vancouver and a metropolitan center. In 2023, the aim had shifted for Surrey to become the most modern and livable city, a nexus of commerce, and a nationally recognized center of innovation. The finalized economic growth strategy is expected to be sent to Council for approval in the first quarter of 2024.
- After community engagement with international corporations, more than 90 organizations, and over 1,300 individuals, a new updated plan is being created with the following four strategic objectives to better align with the new goals - investment readiness and attraction, employment lands optimization, future economy and innovation, talent and workforce development, and local business vibrancy, and distinct and competitive communities.
- Firstly, investment readiness and attraction is divided into four major components - livability, foreign investment, infrastructure, and marketing. Companies have expressed the desire for a livable city where their employees work and live in the same city. Foreign investment is often the major funding source in facilities such as hotels, convention centres, and arts and culture buildings. Having these facilities in the city not only increases investment readiness, but factors such as livability, power, transportation, and healthcare infrastructures maintain and attract businesses. Secondly, employment lands optimization included concepts of efficient, innovative land use, and streamlined and transparent permitting processes. Surrey currently does not have enough office and industrial space to accommodate more manufacturers which are essential economic drivers.
- Thirdly, future economy and innovation, talent, and workforce development is a theme focused on retaining a local workforce since Surrey is the regional workforce hub. The City should play a significant role in building partnerships by leveraging existing relationships with various organizations, businesses, and institutions. It was also advised to purposefully innovate, using innovation to address local challenges, actively promote Surrey's innovation both nationally and internationally, and recognizing the need to enhance the city's profile beyond the lower mainland. And fourthly, the concept of local business vibrancy, and distinct and competitive communities means that each Surrey town center is developed according to their unique characteristics. The developments will emphasize attracting different types of talent. Surrey has a diverse small business base, industry associations, and social groups that can benefit from increased connection between groups.

- Overarching themes from the open community engagement are immigration and refugee support, housing and homelessness, access to work opportunities and amenities, and access to healthcare. Skill training for newcomers to the city is vital in attracting talent and helping the growing population to become competitive. Housing affordability is important to retain workers in the city as there is a trend to work near where they live. As Surrey is quite large, some businesses in more remote areas struggle to employ staff. Surrey is home to the second largest group of pharmacists, and there is effort to attract more to create a group of healthcare practitioners with understanding of diverse cultural backgrounds. Surrey has many partners focused on increasing social equity and resident inclusion. The City is looking for opportunities to strengthen partnerships to grow a culture of equity, diversity, and inclusion.

In response to questions from the Committee, staff provided the following information:

- If the required investment amount is over 50 million dollars, it will very likely be a direct foreign investment. The team is working on having foreign companies strategically invest in Surrey. Local investments are often involved with foreign businesses which increase the portion of foreign investment in the city.
- Currently there is an outflow of talent to other municipalities that is reducing the ratio of job to resident worker. The trend is people wanting to work where they live; however, increasing population is outpacing local job creation speed. Since investments of over 50 million dollars create 100 to 200 jobs per investment, it is important to seek these investments as volume of jobs and the investments will begin to balance the ratio.
- Foreign direct investment is important for improving infrastructure and arts or culture space. The focus should not only be on high tech industry but also on manufacturing and trades.

The Committee noted the following comments:

- The City can work with local business associations to become a job hub and enable applicants to connect with businesses that need talent.
- Campbell Height is lacking in hydro and transportation infrastructure. Translink is planning to have a bus rapid transport route that will go to South Surrey in two to three years.

2. **Social Planner, Housing and Social Development Division,
Community Services Department, City of Surrey**

Staff provided a presentation on the 2023 Metro Vancouver Homeless Count. The following information was highlighted:

- The Homeless Count is a population count that occurs every three years in Metro Vancouver since 2002. It is a 24-hour snapshot of the minimum homeless population. The count is useful in identifying trends and to obtain a demographic profile. It is considered an under-count of the population as it only accounts for people encountered within the 24-hour period and does not account for women, teens, or others that remain in precarious locations or couch surfing. The 2023 count was conducted by the Homelessness Services Association on March 7 and 8 this year. It was found that 4,821 individuals were homeless in Metro Vancouver, an increase of 32% compared to 2020. All regions in Metro Vancouver saw an increase in the homeless population compared to the 2020 count, with the highest increases being in communities outside of Vancouver.
- Surrey had 1,060 homeless people in the 2023 count, a 65% increase from 2020. Within the population, 62% were sheltered, 10% were in extreme weather response shelters, and 28% were unsheltered. Comparing to the greater Vancouver region, Surrey experienced the highest increase in the number of homeless. Demographics of Surrey's homeless population is 8% are under the age of 25, 69% between 25 to 54 years old, and 23% are over 55 years old. In Surrey, the data for first time experiencing homelessness is 42% under the age of 25 when they first experienced homelessness, 49% between 25 to 54 years old, and 10% above 55 years old. This emphasizes the importance of preventing homelessness with the younger demographic. 31% of the surveyed homeless population had experienced government care (in foster care as a child or youth).
- As for gender identification, 64% were male, 33% were female, and 3% were identified as another gender identity. However, this does not paint an accurate picture as there are likely females who are not counted or among the "hidden homeless". 30% of respondents were identified as Indigenous. Surrey's total census Indigenous population is only 2%, which is another significant group of people experiencing homelessness. In respect to years spent in Surrey, 90% of respondents have been in Surrey for more than one year, 78% of those 90% for more than five years, and 37% of those 90% have always lived in Surrey.
- In terms of health concerns, 70% of the surveyed population reported substance use issues and 61% reported more than one health concerns, including mental health issues. As for reasons for loss of housing, 44% stated not enough income, 35% said substance use issues, and 21% reported mental health issues. In response to the homelessness issue, 365 new shelters and supportive housing units have opened in Surrey since 2020. The units include 57 apartment units for women and children, 15 of which are for young Indigenous females. Of the 153 new shelter beds, 60 beds are for women and children.

- The City is developing a new Homelessness Prevention and Response Plan which will be completed in quarter one of 2024. Two new modular housing projects are currently under development. A 30-unit supportive housing project for youth will be completed in spring 2024 and a 60-unit co-ed supportive housing project will be completed in late 2024 or early 2025.

In response to questions from the Committee, staff provided the following information:

- The Homeless Count is only done once every three years because engaging with the homeless community without them seeing changes in living situation is disheartening. The period is chosen for balancing data gathering and respecting the experience of street entrenched residents. There are also resource considerations. The count is funded by federal government with many volunteers and resources involved.
- In the survey, there is a question on transgender identity which resulted in the 3% gender identity response. In Surrey, there is currently no trans-specific housing.
- The modular housing project that will open in quarter one of 2024 will be for youth up to about 25 years. Many of its residents are expected to be young people that are transitioning out of government care. The project will be staffed 24/7 and provide the young residents with the supports they need to thrive.
- Council is advocating across different levels of government for funding to address homelessness. Current funding programs for housing are on a project-by-project basis.

The Committee noted the following comments:

- There is rising homelessness everywhere and not just Surrey. More housing for transgender people is needed in Surrey as there is no specific housing for them.
- Surrey does not have any permanent encampments common in some other municipalities which makes it more difficult to track the unhoused population.
- More housing units in which the rent is geared to income reduce the homeless count as 44% respondents cited insufficient income as the reason why they are homeless.
- When the rehoming project began for the homeless population that was encamped at 135A Street from 2016 to 2018, there was 100% resistance due to lack of trust in the project. As people saw temporary modular housing being built and trust was built via consistent outreach, the general attitude changed. In the week that 250 housing units became available, individuals were matched to each unit by BC Housing. The relationship that the outreach team built with homeless encampment population allowed for 100% acceptance of being rehomed.

J. Cuenca left the meeting at 7:26pm.

D. OTHER BUSINESS

1. Verbal Update on a Proposed Presentation by Healthy Communities, Parks, Recreation, and Culture Staff on the City’s New Accessibility Action Plan

At the October 18, 2023 Livability and Social Equity Committee meeting, the Committee directed staff to report back at the next meeting on a presentation plan regarding the accessibility policy in Surrey.

Staff reported that the Parks, Recreation, and Culture Department is developing an accessibility action plan to identify, remove, and prevent barriers around Surrey environment and services. The plan is expected to be completed in the first quarter of 2024.

It was	Moved by C. Izsak Seconded by M. Rooney That staff from Parks, Recreation, and Culture Department be invited to provide a presentation on the City’s new Accessibility Action Plan at a future Livability and Social Equity Committee meeting.
	<u>Carried</u>

2. Verbal Update on the Surrey Healthier Communities Partnership

Dr. Ariella Zbar, Medical Health Officer, Fraser Health provided the following updates on the Surrey Healthier Communities Partnership (HCP):

- HCP is arranging a strategic planning process for the committee. The purposes of the process are to refresh membership and terms of reference, and to review or refresh the purpose and mandate of the HCP.
- HCP established a child and youth mental health working group focussed on prevention and promotion. HCP recognizes the importance to have high quality mental health care in conjunction with prevention measures. Prevention measures can be placed in pre-natal support, parenting support, high quality childcare, and transitioning out of government care infrastructure. HCP is planning on expanding existing mental health initiatives and scaling them up to increase outreach.

In response to questions from the Committee, Dr. Zbar provided the following information:

- HCP would be interested in connecting with groups doing work related to autism.

- HCP is currently working with Surrey Schools to find a term that does not associate mental health and mental illness negatively for kids. Surrey School District created separate videos for secondary and elementary students that use appropriate terms for each developmental stage to reduce stigma associated with mental health.
- In primary care, there is a childhood screening that looks at literacy and mental health, but standardization is difficult for children under 12 as they are still premature in development. Vulnerable groups are prioritized since resources are very limited in children screening and enhanced education.

E. NEXT MEETING

The next meeting of the Livability and Social Equity Committee is scheduled for Wednesday, January 17, 2023.

F. ADJOURNMENT

It was

Moved by Councillor Stutt
Seconded by J. Gosal
That the Livability and Social Equity

Committee meeting be adjourned.

Carried

The Livability and Social Equity Committee adjourned at 7:52 p.m.

Jennifer Ficocelli, City Clerk

Councillor Kooner, Chairperson



INTER-OFFICE MEMO

TO: Mayor and Council

FROM: City Clerk and Director of Legislative Services

DATE: April 22, 2024

FILE: 0550-20-01

**RE: Regular Council – Public Hearing Agenda Item C. 3
Arts and Culture Advisory Committee Minutes – February 20, 2024**

Please be advised that the February 20, 2024, Arts and Culture Advisory Committee (ACAC) minutes listed on the Regular Council – Public Hearing agenda under Item C.3 are provided to Council for receipt.

The minutes provided in the agenda package include a recommendation index on the last page of the minutes. This page was included in error and is not in order for Council consideration as the Committee provided direction to staff directly. There are no recommendations that require consideration by Council from the February 20, 2024, ACAC meeting.

Jennifer Ficocelli
City Clerk and Director of Legislative Services

Present:

Councillor Kooner, Chairperson
Councillor Stutt, Vice-Chair
C. Girardi
H. Madsen
K. Cheung
M. Cheema

Absent:

R. Pandher
C. Henry

Staff Present:

L. Cavan, General Manager, Parks, Culture & Recreation
R. Gallagher, Manager, Culture
A. Rajah, Manager Surrey Art Gallery
S. Chand, Administrative Assistant

A. ADOPTIONS**1. Adoption of the Agenda**

It was Moved by C. Girardi
Seconded by H. Madsen
That the agenda of the Arts and Culture
Advisory Committee meeting of February 20, 2024, be adopted as presented.
Carried

2. Adoption of the Minutes

It was Moved by C. Girardi
Seconded by K. Cheung
That the minutes of the Arts and Culture
Advisory Committee meeting of January 16, 2024 be adopted.
Carried

B. STAFF PRESENTATIONS**1. UrbanScreen**

Alison Rajah, Manager Surrey Art Gallery

Staff provided a PowerPoint presentation on the history of the UrbanScreen and plans to move it to Surrey Civic Plaza. Highlights included:

- UrbanScreen was launched by the City of Surrey in 2010 as an innovative public art venue at Chuck Bailey Recreation Centre.
- The UrbanScreen is programmed by Surrey Art Gallery
- Examples of previous UrbanScreen projects were shown to the Committee;
- Brief overview of the proposal for UrbanScreen at Surrey Civic Plaza. It was noted that an award of contract report was expected to go to the February 27, 2024, City Council meeting.

Staff provided further information on the next steps for the upcoming project, which involves testing in the fall of 2024 and a full year of programming beginning in 2025. Discussion continued regarding project phases and the importance of providing opportunities for artists and the vibrancy the project will bring to City Centre. Further updates will be provided at a future meeting.

A. Rajah left at 6:19 pm

2. **Public Art Update**

Ryan Gallagher, Manager of Culture

Staff provided a PowerPoint presentation highlighting various public art projects recently completed, underway and upcoming, including:

- Recently completed private development public art project: “Becoming” by Suchi Reddy, located at University Dr & 104 Ave. Same artist will create designs to cover the five utility boxes close by to ensure connection between the public artwork;
- Staff highlighted some new upcoming civic public art projects, including:
 - A mural opportunity on the north façade of Surrey Nature Centre;
 - Additional public art street banners to be included along City Parkway to help add vibrancy to the streetscape, between 102 Avenue and 104 Avenue;
 - An opportunity to enhance the bridge infrastructure on 84 Avenue.
- Overview of the recommended design for the 2024 Public Art Street Banners by artists Puneet Datewas and Andrew Talbot;
- Update on preliminary public art plan for private development by Urban Craft at Whalley Boulevard and Central Avenue. Opportunity for this project is to enhance large metal façade fronting Whalley Boulevard. Motion to accept the Urban Craft Preliminary Public Art Plan as presented.

It was

Moved by H. Madsen
Seconded by K. Cheung
That the Arts & Culture Advisory

Committee recommends that the General Manager of Parks, Recreation and Culture prepare a Corporate Report to Council recommending staff undertake a contract with the Artists, Puneet Datewas and Andrew Talbot to design the 2024 Public Art Street Banners.

Carried

AND;

It was

Moved by K. Cheung
Seconded by C. Girardi
That the Arts and Culture Advisory

Committee accept the Urban Craft Preliminary Public Art as presented

Carried

C. REPORT**1. Community Garden Mural Proposal**

Ryan Gallagher, Manager of Culture

Staff provided an overview of the Mural Proposal “Community Gardens” report that was circulated to the committee. A detailed rendering of the proposed mural was shared which gave the committee members a visual representation of the sunflowers that would be painted by the artist, Carla Maskall. Additionally, staff provided background information on mural guidelines.

It was

Moved by H. Madsen

Seconded by C. Girardi

That the Arts & Culture Advisory

Committee recommends that the General Manager of Parks, Recreation and Culture prepare a Corporate Report to Council recommending approval of the mural titled “Community Gardens” at 12310 Beecher Street.

Carried

D. INFORMATION ITEMS**1. Verbal Updates**

The Staff Liaisons provided verbal updates on upcoming cultural events and programming in Surrey, including:

- Museum of Surrey: Lunar New Year Celebration event; and popular Lego Exhibit;
- New community art display was installed at Cloverdale Recreation Centre, celebrating Black History Month;
- Brief update on the development of future entertainment districts in City Centre and Cloverdale noted by the mayor at recent State of the City Address: <https://www.surrey.ca/news-events/news/mayor-brenda-lockes-first-state-of-city-address>

E. OTHER BUSINESS

This section has no items.

F. NEXT MEETING

The next meeting of the Arts and Culture Advisory Committee is scheduled for Tuesday, April 16, 2024.

G ADJOURNMENT

It was

Moved by K. Cheung
Seconded by C. Girardi
That the Arts and Culture Advisory

Committee meeting be adjourned at 6:43 pm.

Carried

Jennifer Ficocelli, City Clerk

Councillor Kooner, Chairperson

**ARTS AND CULTURE ADVISORY COMMITTEE
RECOMMENDATION INDEX
February 20, 2024**

That Council:

1. Approve the recommendations of the report Community Garden Mural Proposal (Appendix I);
and
2. Direct staff undertake a contract with the Artists, Puneet Datewas and Andrew Talbot to design the 2024 Public Art Street Banners.



COMMITTEE REPORT

TO: **Arts and Culture Advisory Committee**

FROM: **Community Enhancement Manager**

DATE: **February 7, 2024**

FILE: **0330 - 01**

RE: **Mural Proposal: “Community Gardens” Mural at 12310 Beecher Street**

RECOMMENDATION

The Parks, Recreation and Culture Department recommends that the Arts and Culture Advisory Committee:

1. Receive this report for information; and,
2. Direct staff prepare a report for Council to recommend approval of the mural titled “Community Gardens” as described in this memo.

INTENT

The purpose of this report is to provide the Arts and Culture Advisory Committee with information about the City’s process for reviewing mural proposals, and to seek the Committee’s recommendation to Council for approval of the mural design detailed in this memo.

BACKGROUND

The Property Owner of 12310 Beecher Street (Sunflower Organics & Deli Inc.) is proposing a new mural. The approximate location of the mural is indicated in Appendix “I”.

POLICY CONSIDERATIONS

Surrey’s signage bylaw anticipates murals, and provides direction regarding how mural proposals are to be reviewed and approved for installation on private and public property.

The City’s definition of a mural is:

“Mural means any piece of artwork, including a painting, fresco, frieze, photograph, picture, image, illustration or graphic presentation, applied directly or by an electronic or digital means on and partially or fully covering a wall, ceiling or other permanent or non-permanent surface.”

The Arts and Culture Advisory Committee receives and reviews proposals as part of its responsibility for public art, and provides advice to Council regarding the approval of designs and installation of murals, as required by the signage bylaw:

“(5) No owner of a lot or premises shall erect, allow or cause to be erected a mural unless such mural has received approval from Council or from any Committee appointed by Council to approve such mural.”

DISCUSSION

The Community Gardens mural is meant to celebrate the local Dunsmuir gardens and the visual beauty a community garden provides. The mural is designed and will be implemented by local artist Carla Maskall. Appendix “II” provides more information about the artist and the artwork.

The mural will be located on a blank north-east facing wall of 12310 Beecher Street that will be visible to travellers into Crescent Beach via Crescent Road/Beecher Street.

The mural will be completed in exterior latex paint, with an anti-graffiti coating. The approximate size of the mural will be 500 square feet. A rendering of the proposed mural is included in Appendix “III”.

The proposed mural designs comply with the criteria for design and implementation found in Surrey’s Mural and Wall Art Guidelines (see Appendix “IV”).

CONCLUSION

The Parks, Recreation & Culture Department recommends that the Arts and Culture Advisory Committee recommend approval of the “Community Gardens” mural and direct staff to prepare a report to Mayor and Council.

Yalda Asadian
Community Enhancement Manager
Parks, Recreation & Culture

Appendix “I”: Mural Location
Appendix “II”: About the Artist and Artwork
Appendix “III”: Mural Renderings
Appendix “IV”: Wall Art and Mural Guidelines

APPENDIX "I"

Mural Location

Location A

12310 Beecher Street

North East wall of building



About the Artist and Artwork

Carla Maskall is an accomplished artist working in a number of mediums including painting, illustration and murals. Her work portrays an underlying theme of environmental awareness and conservation and endeavours to slow down the viewer to bring attention to the fragile beauty of the environment that surrounds us every day that often gets taken for granted.

Regarding the Community Gardens mural, Carla has stated: “I have been painting plein air and photographing Dunsmuir gardens for the past 25 years. The flowers in this particular mural are Surrey’s own sunflowers from the Dunsmuir gardens. I am passionate about nature and believe that community gardens need to be fostered and promoted in our communities as they offer food security, affordable produce, a healthy environment, give sense of community and increase our overall health and activity”.

APPENDIX "III"

Mural Rendering



WALL ART AND MURALS GUIDELINES

This procedure helps guide community proponents through the planning and approval process for wall art and murals on private property.

Introduction

Wall art including painted and vinyl murals are recognized as an effective strategy to engage communities, enliven streetscapes and contribute positive and aesthetic messages within the public realm. Wall art can also generate creative opportunities for groups of artists, residents, businesses, and others to collaborate on projects whose process of production, design and presence contribute a positive sense of place and create an experience of community and belonging.

These Guidelines anticipate applications for both temporary and permanent wall art on both City and private property.

- **Temporary Projects** are planned to be installed for less than twelve (12) months and are designed to be removable. Examples include painted wooden boards affixed to a wall, or a vinyl wrap applied to a surface.
- **Permanent Projects** have a planned life-expectancy longer than one year and are not designed to be removable. Example includes paint applied directly to a wall surface.

The City Signage By-law

(13656 amended 01/13/14) states:

DEFINITIONS: 4. (1) In this By-law: “Mural means any piece of artwork, including a painting, fresco, frieze, photograph, picture, image, illustration or graphic presentation, applied directly or by an electronic or digital means on and partially or fully covering a wall, ceiling or other permanent or non-permanent surface.”

APPLICATION: 5. (5) No owner of a lot or premises shall erect, allow or cause to be erected a mural unless such mural has received approval from Council or from any Committee appointed by Council to approve such mural.”

General Design Criteria

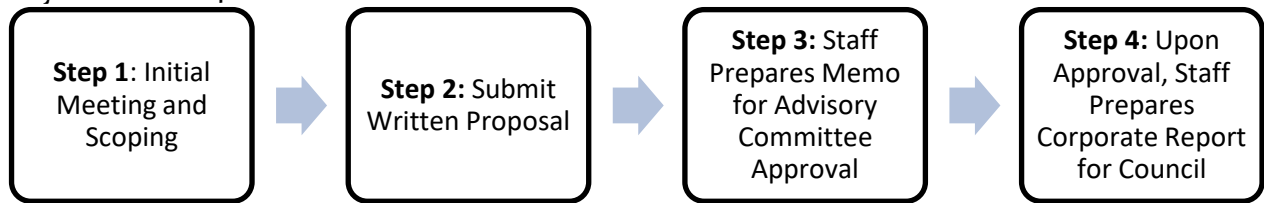
The following will be used by the designated advisory committee to review and provide advice to Council:

1. Content is aesthetically pleasing, will contribute positively to a neighbourhood, is original, and does not infringe on the copyright of others including cultural rights, and takes into consideration other nearby public artworks, urban design and community context;
2. Content is non-partisan, non-racial, non-denominational, non-sexist, and non-political, and in keeping with Human Rights Act principles;

3. Wall art will not be used or serve as any form of commercial advertising or public information or solicitation of any kind;
4. Content is appropriate for child audiences and if deemed sensitive is not permitted; (e.g. content depicting alcohol, drugs, tobacco or violence is not permitted)
5. Content does not include logos or organizational brands or identities; and
6. The theme of the mural is respectful of the greater context of the community, including historic and socio-cultural contexts.

Application and Approval Process

Depending on the scope and complexity of the proposed project, the approval process can take anywhere from 4-6 months.



Step 1: Initial Meeting and Scoping

4-6 months from intended implementation

The project proponent contacts Surrey's Community Enhancement Planner to discuss the intention to create a proposal for a temporary wall art project.

The Planner will provide a briefing to relevant internal staff including Public Art staff.

The Planner will provide the proponent feedback from Public Art Staff and any other relevant internal stakeholders. This feedback will be to help the proponent craft a successful proposal to the Parks, Recreation and Culture Committee.

If the proponent wishes to do a call for artists, Appendix A includes advice from Public Art Staff on how to run a public competition.

Step 2: Submit Written Proposal

2-4 months from intended implementation

Based on feedback proponent is to submit a written proposal. This proposal will be reviewed and used to draft a Memo outlining the project for the designated advisory committee. A final version of the design needs to be included for review.

Appendix B: includes an outline of the information required in a written proposal.

Step 3: Memo to Designated Advisory Committee to Council Responsible for Public Art

2 months from intended implementation.

Staff will prepare a memo outlining the project and seeking a recommendation to approve the project will be submitted to the designated advisory committee. The designated advisory committee will review the submission and provide their recommendation to Council.

Depending on the scope of the proposal the proponent may be asked to attend as a delegate.

Step 4: Corporate Report to Mayor and Council

Upon the recommendation of the Designated advisory committee, staff will draft a Corporate Report to Council that the designated advisory committee recommends the approval of the proponent's project proposal.

This Corporate Report will be approved at the next available Council meeting.

Upon approval from Mayor and Council, the project may proceed. Approval will be provided in writing to the proponent.

Present:

Councillor Bose, Vice-Chair
D. Jack
M. Lamont
K. Purton
S. Sajda
D. Smith

Absent:

Mayor Locke, Chairperson

Staff Present:

N. Aven, Director Parks Recreation & Culture
Y. Yohannes, Director of Engineering Operations
L. Lensink, Climate Policy Advisor
S. Meng, Administrative Assistant

Councillor Bose assumed the role of the Chair.

A. ADOPTIONS

1. Adoption of the Agenda

It was Moved by S. Sajda
Seconded by K. Purton
That the agenda of the Environment and
Climate Change Committee meeting of February 21, 2024, be adopted.
Carried

2. Adoption of the Minutes

(a) January 10, 2024 Environment and Climate Change Committee

It was Moved by M. Lamont
Seconded by S. Sajda
That the minutes of the Environment and
Climate Change Committee meeting of January 10, 2024, be adopted.
Carried

D. Jack and D. Smith joined the meeting at 5:16 p.m.

B. DELEGATIONS

1. Safe Cities Network

Sunil Singal, Climate Campaigner, Stand.earth and Larry Barzelai, Family Physician, Chair of BC Canadian Association of Physicians for the Environment (CAPE)

The delegation provided a presentation regarding the reasons for adopting a strong Zero Carbon Step Code policy for new buildings. The following information was highlighted:

- The BC government introduced a new provincial standard in May 2023 as part of Clean BC, allowing local governments to restrict carbon emissions from new buildings. This standard includes two distinct codes: the Energy Step Code, which focuses on energy use by examining insulation thickness and air tightness, and the Zero Carbon Step Code, which targets greenhouse gas emissions specifically for new construction. It is important to note that these are separate codes with independent regulations.
- The Zero Carbon Step Code consists of four levels, each with increasing requirements for reducing building emissions. These levels range from measuring emissions without reduction to full electrification. It is anticipated that the provincial government will mandate local governments to adopt one of these levels, starting at the end of the current year, with the highest level mandated by 2030.
- At least 22 local governments, including two regional districts, one First Nation, and the UBC campus, have adopted the Zero Carbon Step Code policy. Roughly a dozen more across BC are considering adoption, with at least five expected to do so soon. Many of these have opted for the highest level, with Burnaby and other Lower Mainland municipalities leading the way, implementing it for large buildings this year and smaller buildings next year.
- Implementing the Zero Carbon Step Code at the highest level in Surrey, one of BC's fastest-growing cities, could significantly reduce emissions and align well with the city's climate change action strategy. Buildings are a major emission source in Surrey, accounting for 42% of total emissions, primarily from burning natural gas. Action #4 of Surrey's strategy focuses on healthy zero-carbon buildings, aiming to avoid carbon pollution and enhance energy efficiency from the outset of construction. The Zero Carbon Step Code enables this by promoting all-electric buildings, which not only reduces emissions but also saves taxpayers money in the long term due to the efficiency of electric appliances.
- The province is considering implementing a retrofit code and high-efficiency equipment standards, which would require buildings with inefficient gas furnaces and boilers to be retrofitted later. Addressing this issue upfront would prevent costly retrofit programs in the future and align with efforts to reduce methane emissions, a major obstacle to meeting BC's carbon targets. Despite government approvals of fossil fuel projects, there is a societal need to transition away from methane and natural gas toward healthier alternatives.

- The World Health Organization and the United Nations emphasize methane as a significant contributor to pollution, potentially more detrimental to carbon targets than carbon dioxide. Methane poses health risks, contributing to air pollution-related deaths in Canada and leading to various diseases. Studies indicate increased asthma rates in homes using natural gas, and gas stoves emit harmful substances comparable to indoor smoking. With climate events like extreme temperatures and wildfires intensifying, there is a pressing need for Canada to lead in reducing fossil fuel consumption and transitioning to electrification. Addressing environmental concerns is crucial for the well-being of future generations, as evidenced by the pessimism among young people about their future due to current environmental practices. Implementing step codes, particularly adopting the highest standards, is a step towards improving health outcomes in BC and globally, though more actions are needed to mitigate environmental impact.

In response to questions from the Committee, the following information was provided:

- The concerns regarding cost associated with the Energy Step Code do not apply to the Zero Carbon Step Code, as it focuses solely on greenhouse gas emission reduction. Modeling data suggests that the additional cost for builders would be no more than 1.5%, with potential long-term savings due to electrification. Retrofits to comply with high efficiency standards for gas-based systems can be expensive, ranging from \$10,000 to \$20,000. Burnaby and New West have already assessed industry readiness and received positive feedback, indicating industry preparedness for adoption. Most municipalities north of the Fraser River have already adopted the highest level of the Zero Carbon Step Code by the first quarter of the following year. Therefore, there are minimal barriers to implementing the Zero Carbon Step Code now.
- Currently, the City is entering into the consultation process with the industry and is projected to adopt the Zero Carbon Step Code policy later this year. The building department has gone through several staff changes and is planning to recruit staff to take on this process as a priority.
- A significant challenge in promoting sustainable energy practices is the powerful lobby of fossil fuel companies, such as Fortis, which have significant resources and influence. This lobby has actively engaged with policymakers, presenting multiple deputations at Vancouver City Hall and potentially hindering efforts to transition away from fossil fuels due to their vested interests in maintaining the status quo.
- Implementing the zero carbon policy for new buildings is crucial, especially with the upcoming provincial policy to increase housing density. Acting promptly will prevent future retrofitting expenses mandated by the province, reducing costs for taxpayers and cities. The province's commitment to offering subsidies or rebates for heat pumps further supports this initiative.

- Regarding renewable natural gas (RNG), it is important to note that while Fortis has advocated for its use in buildings, achieving 100% RNG usage is currently not feasible, as it can only produce about 6% renewable gas at present. While RNG has potential for decarbonizing industries like cement production, its health implications suggest it may not be suitable for widespread building use. Therefore, it is essential to recognize its limitations and focus on utilizing RNG where it can have the most significant impact, rather than relying solely on it for building decarbonization.
- Despite recent reports of record drought levels prompting increased electricity imports, BC Hydro has historically exported more electricity than imported, with exports exceeding imports in the past five years. BC Hydro maintains surplus capacity until at least 2029, with plans for further diversification through initiatives such as "Call to Power," which includes projects like river, windmill, and solar energy. This diversification effort aims to ensure sufficient power generation, with upcoming projects including wind and solar initiatives, starting with Mission.

The Committee provided the following comments:

- The BC Building Code was amended on December 1st, 2020, introducing the solar hot water ready regulation. While 49 out of 161 jurisdictions in BC have adopted this regulation, Surrey is not among them. Embracing solar readiness in new buildings could be a positive step forward for Surrey in promoting sustainable energy practices.
- There is skepticism regarding BC Hydro's estimates of future energy demand, especially considering the increasing need for energy due to technological advancements and computerization. Concerns exist about the dependency on energy sourced from the north, where glaciers are located, without sufficient data or evidence supporting these projections.
- Vice Chair made a statement that the committee agrees with the need to support the implementation of the step code policy, particularly aiming for level 3, with reservations about the feasibility of levels 4 and 5 in the near future.

It was

Moved by S. Sajda

Seconded by M. Lamont

That the Environment and Climate Change

Committee support the adoption of the Zero Carbon Step Code policy.

Carried

C. NEW BUSINESS

1. Climate Change Action Strategy Near-Term Priorities

Larisa Lensink, Climate Policy Advisor

The Climate Policy Advisor provided a presentation regarding the overview of Transportation and Buildings Quick-Start actions from the Climate Change Action Strategy. The following information was highlighted:

- The Climate Change Action Strategy (CCAS) prioritizes sustainable transportation solutions, aiming for easily accessible networks of sidewalks, bike paths, and frequent transit by 2050 to reduce reliance on cars and supporting the transition to zero-emission vehicles. The Safe Zero-Carbon Transportation component has two primary goals: prioritizing walking and public transit over personal vehicles and transitioning to zero-emission vehicles, supported by various necessary shifts.
- The CCAS includes 37 Quick-Start actions to be initiated within the first two years of strategy adoption, forming the near-term priorities of CCAS implementation.
- T1.1: This action recognizes that funding for sustainable transportation relies on a variety of sources, including contributions from other levels of government and private development. This action is an ongoing effort, as a regular part of the Transportation Planning team's workplan involves exploring new funding streams, and this is expected to continue throughout 2024.
- T1.3: This action is based on the idea that a "complete street" is safe and comfortable for all users in all weather conditions. This means integrating protected cycling and pedestrian infrastructure with green infrastructure like trees and rain gardens. This action involves piloting this concept on a few key corridors to test and showcase the approach. Staff are actively working to identify suitable locations. Progress is expected within the next year pending site selection and funding.
- T1.5: This action is similar to the "complete streets" action but is focused specifically on enhancing pedestrian infrastructure and spaces within each town center. This work is being led by the Transportation Planning team and is dependent on funding sources.
- T2.1: Finalizing the strategic cycling network for North Surrey town centers will coincide with the completion of the Surrey Transportation Plan, expected to progress in the next year. This work has been scoped and informed by engagement on the Surrey Transportation Plan.
- T5.1: Planning for the e-bike share pilot program in Surrey City Centre and Guildford has been completed and the program is set to launch in 2024.
- T5.2: This action aims to provide safe and convenient bike parking at city facilities. This will involve exploring opportunities at each facility and considering optimal placement, design, and accessibility. This work is likely not to advance quickly until the work to develop a facilities energy transition plan is further along.
- T6.3: The action involves expanding current EV-ready requirements in the Zoning Bylaw beyond residential uses to include additional uses such as commercial or office space, facilitating workplace and opportunity charging. This initiative, currently in the planning stage, is dependent on additional staffing resources.

- The 2050 vision for the Healthy Zero-Carbon Buildings component is for all buildings to be healthy, energy efficient, zero-carbon and resilient to the impacts of climate change. There are two goals within this component, relating to new and existing buildings, supported by a number of shifts.
- B1.1: The Zero Carbon Step Code is the main tool that enables local governments to set emissions limits for new buildings. Staff are actively exploring an approach to Zero Carbon Step Code adoption in Surrey. Preliminary analysis has been conducted, and the next steps involve engaging with industry and the public to understand the implications for development and affordability. This input will inform the recommended approach to be presented to Council.
- B2.1: The City has retained a consultant to examine potential barriers to high performance, low carbon buildings in the City's building design guidance for new construction. Workshops with staff and the development industry have been conducted to gather insights, and recommendations are being developed. Upon completion, updates to building design guidance and relevant bylaws will be considered.
- B2.2: The Sustainable Development Checklist is submitted with development applications and is intended to encourage more sustainable land use and building design measures. This action involves evaluating the current process and developing a new tool to encourage green building features. Progress on this work is likely to follow some of the more urgent Building-related actions.
- B4.1: This action recognizes that the Building Division needs dedicated resources to effectively implement Energy Step Code and potential Zero Carbon Step Code requirements. The first step is hiring additional staff who can lead a review of current data collection and compliance processes. Planning for this work has started and is expected to progress this year.
- B4.2: The next step following the review of the Green Building program involves enhancing processes to integrate and track energy and greenhouse gas (GHG) data for building permits. However, this initiative is anticipated to begin only after the completion of the 4.1 review.
- B5.2: There is one Quick-Start Action related to existing buildings to develop a data-based decision support tool to support retrofit program and policy development. The tool is in advanced stages of development, with updates to refine it by incorporating real data and improving data sources planned for this year.

In response to questions from the Committee, the following information was provided:

- Rain garden is a type of green infrastructure that collects stormwater and enables improved infiltration into the soil.
- The "complete street retrofits" pilot initiative aims to boost active transportation by testing innovative combinations of protected cycling and walking infrastructure with green infrastructure elements. By showcasing benefits in a shorter timeframe, it seeks to pave the way for potential expansion into larger, long-term programs.
- CCAS has been adopted by Council, including a number of interim targets, and is complementary to other Council-adopted plans.

- Director of Engineering Operations stated extensive outreach efforts have been undertaken throughout the city to gather feedback from residents regarding their expectations for Active Transportation infrastructure, with presentations from the Transportation group emphasizing the importance of citizen input.
- The Transportation Planning team is looking at good candidates for pedestrian green street conversions in terms of high demand areas for pedestrians and opportunity to incorporate green infrastructure elements to improve comfort and resiliency of those spaces.
- The City has consistently tracked operational emissions stemming from vehicles and buildings over time, not embodied carbon of materials used and their life cycle impacts. The next step involves shifting towards a cradle-to-grave approach to address this aspect more comprehensively.
- The transition from the Sustainability Dashboard to the Climate Action Tracker is underway to better align with CCAS implementation, featuring different data tracking components. Data availability remains a challenge, although efforts are ongoing to access new sources such as the updated transportation data recently released by the Province.
- The Climate Action Tracker is intended to be the primary platform for reporting on progress, with plans to utilize it for annual reports to Council.

The Committee provided the following comments:

- A committee member mentioned that the original part of Clayton served as a trial for infiltration, which lack curbs and gutters but have swales along the roads, and infiltration is effective due to natural water flow. Despite irrigation usage, good infiltration occurs, highlighting the need for the City to explore different infiltration methods more extensively.
- A committee member raised concerns around not getting enough rain into the soil throughout the city.
- A committee member stated that maintaining infiltration is crucial for sustaining irrigation water and ensuring the health of fish populations in the Serpentine, Nicomekl, and Little Campbell rivers, all of which are groundwater-fed.
- A committee member stated that car-free streets are observed to significantly boost pedestrian traffic and benefit local businesses despite initial concerns, as surveys reveal a diverse mix of cyclists, drivers, and pedestrians frequenting these areas.
- A committee member stated the Newton car free days had parking as an issue, indicating that the event was not achieving its intended purpose.

2. DCCs for Parkland and BCS Acquisition

Neal Aven, Director, Parks

The Director, Parks, provided a presentation regarding the background and overview of the City's current Parkland and BCS Acquisition Development Cost Charge. The following information was highlighted:

- Development Cost Charges (DCCs) are financial contributions from the development community used to expand and upgrade transportation and utility infrastructure, as well as to acquire and develop new Parkland to support growth. DCCs are also mandated by regional authorities such as Metro Vancouver and TransLink and are charged to new residential developments, including single-family homes, multifamily homes, and commercial/industrial developments. They are paid at the time of subdivision or building permit stage depending on the type of development. DCCs specifically contribute to Parkland and BCS land acquisition and development, including amenities like sports fields and playgrounds.
- DCC rates in Surrey are updated annually to reflect the updated cost of lands identified in the parkland acquisition program and are adjusted relative to new growth projections. These rates include citywide charges as well as area-specific charges for neighborhoods like Redwood Heights and Campbell Heights. Factors impacting DCC rates include land value, population growth rate, housing type, and a municipal assist factor, with the current city contribution rate set at 1%.
- In 2021, a citywide parkland acquisition DCC rate was introduced to fund the acquisition of lands for the Green Infrastructure Network (GIN), identified in the Biodiversity Conservation Strategy (BCS). GIN consists of interconnected open spaces that provide natural benefits for wildlife, protect against climate change impacts, and contribute to a sustainable and livable city. The BCS component is being phased in over five years, aiming to acquire approximately 1000 acres of GIN land estimated to cost a billion dollars over a 50-year timeframe. This equates to around \$20 million per year, with the collection intended specifically for land acquisition purposes, continuing the work of the previous committee iteration.
- Timing poses a challenge in collecting funds for Parkland and BCS land acquisition, with the current collection rate being low due to the timing of developer contributions. However, as development progresses, the funds allocated for Parkland and BCS are expected to increase gradually.
- In 2023, a DCC increase for parkland was implemented over a 10-year period to address rising costs and accommodate the expansion of the parkland program. This reflects ongoing efforts to keep pace with market trends. Expenditures include parkland development for building sports fields, parkland acquisition, which fluctuates annually based on available properties, with a total of \$24 million received from DCC in 2022, including BCS allocations.

In response to questions from the Committee, the following information was provided:

- DCC funds in local government are specifically allocated for building playgrounds, sports fields, and play equipment. Additionally, there exist best practices guides for DCCs to ensure effective utilization of these funds.
- Director of Engineering Operations stated the 1% the city contributes to DCC rates is set by the municipality. The province has some assist factor throughout the years.
- The introduction of the BCS component for DCCs aims to acquire approximately 1000 acres of Green Infrastructure Network (GIN) land, prioritizing areas where the GIN is identified.
- The OCP and Parks, Recreation & Culture Strategic Plan (2018-2027) set a target of 4.2 hectares of parkland per 1000 residents. However, due to rising population and the scarcity and cost of land, it may become increasingly challenging to meet this target in the future.
- While achieving the 4.2-hectare per thousand residents target may become challenging due to fluctuating development trends, ensuring proximity to parks within half a kilometer for every resident remains a priority to facilitate access to green spaces.
- The annual collections for BCS land acquisition is targeted at approximately \$20 million, increasing annually from 20% to 100% for the next 5 years. As Year 4 approaches, the DCC bylaw is being updated to facilitate the collection of these funds. Although developers pay DCC at the time of building permit, analysis reveals that specific BCS funds collected have not been utilized immediately for land acquisition due to incremental collection and lag time.
- Director of Engineering Operations stated that DCC funds are collected at the time of building permit issuance, yet there exists a lag period leading up to the permit stage. This lag refers to the delay in fund collection, typically including a one-year grace period after the implementation of the DCC bylaw, during which funds are collected for developments falling within the bylaw's jurisdiction.
- Before the 2021 BCS initiative, the city's Parkland program already required the allocation of Parkland through DCCs, some of which included BCS corridors. While this did not explicitly mandate BCS funding for BCS lands, it aimed to acknowledge the need for diverse Parkland that accommodates various recreational activities, emphasizing the importance of future efforts in this direction.
- DCC fees are calculated based on the square footage of town houses or apartments. Staff will annually review property listings to estimate market values using a broad appraisal process.
- Director of Engineering Operations stated that DCC increases require approval from the province, extending to the DCC bylaw. The portion of DCCs for townhouses or single-family dwellings varies based on the specific area and may reach up to 5%.

- The Charles Richardson Nature Preserve, located at 88th Ave and 168th St, encompasses parkland managed by the city, including urban forest areas and BCS corridors. While the city owns a portion of the GIN corridor, it also manages environmentally significant land beyond this corridor for parkland use, which includes natural and recreational values. There is no indication of double counting, as all such areas are classified and managed as parkland.
- Director of Engineering Operations stated that the BCS DCC funds are protected and use for that purpose of BCS land acquisition only.

The Committee provided the following comments:

- A committee member stated that transparency and accountability should occur and efforts should be made to prevent double counting of lands by separating parkland acquisition funds from BCS lands.
- A committee member stated that it took seven years from the establishment of the BCS policy in 2014 for the city to develop funding mechanisms, with significant lag time potentially resulting in a minimum of \$100 million collected by 2021. There was an assurance of transparent accounting for BCS land acquisition funds, including annual budget reports detailing expected and actual funds collected, but this accountability measure was subsequently removed.
- A committee member stated that there have been discussions about potential funding solutions to address the significant lag in land acquisition, with the Township of Langley's example of a successful environmental levy serving as inspiration. This levy, supported by 65 to 75% of residents, could serve as a model for Surrey. One suggestion involves implementing an optional environmental levy for land acquisition, where residents contribute \$5 each annually.
- A committee member stated that Surrey Environmental Partners advocates for expanding the use of the Green City Fund to include the acquisition of biodiversity conservation lands, especially focusing on smaller units or sites.

K. Purton left the meeting at 6:42 p.m.

K. Purton rejoined the meeting at 6:44 p.m.

D. OTHER BUSINESS

1. Amend Meeting Schedule

It was

Moved by M. Lamont

Seconded by S. Sajda

That the 2024 Meeting Schedule for the Environment and Climate Change Committee be amended to change next scheduled meeting date on April 10, 2024 to April 17, 2024 at 5:00pm.

Carried

Opposed by K. Purton

2. Roundtable

A roundtable discussion ensued as follows:

- The Chair request staff to ask Director Project Delivery to present on the 72nd Avenue Extension between 152 Street and 176 Street and to provide a 5 minute update on park protections on Bear Creek Park at the Environment and Climate Change Committee.
- A committee member raised concerns brought up in the past regarding food security, water conservation, and backyard gardening and suggest initiatives like providing garbage, recycling, and green waste containers to all residents, as well as making rain barrels available citywide.

It was

Moved by D. Smith

Seconded by S. Sajda

That the Environment and Climate Change

Committee request the Manager of Engineering to provide a report to the committee on the feasibility of voluntary rain barrel program.

Carried

E. NEXT MEETING

The next meeting of the Environment and Climate Change Committee is scheduled for 5:00pm on April 17, 2024.

F. ADJOURNMENT

It was

Moved by M. Lamont

Seconded by K. Purton

That the Environment and Climate Change

Committee meeting be adjourned.

Carried

The Environment and Climate Change Committee meeting adjourned at 7:21 pm.

Jennifer Ficocelli, City Clerk

Councillor Mike Bose, Vice-Chair

CITY OF SURREY

BOARD/ COMMISSION
REPORTS



Present:

Councillor Stutt, Chair
M. Himler
F. Lou
P. Priddy
J. Ring

Absent:**Staff Present:**

K. Hardie, Manager, Heritage Services
K. Baglo, Heritage Planner
L. Blake, Assistant City Clerk

HOUSEKEEPING

1. Introductions

A roundtable of introduction was had.

2. Election of 2024 Vice-Chair

It was

Vice-Chair for the 2024 year.

Moved by Commissioner Hilmer
Seconded by Commissioner Priddy
That Commissioner Lou be appointed as

Carried

A. ADOPTIONS

1. Adoption of the Agenda

It was

Moved by Commissioner Lou
Seconded by Commissioner Priddy
That:

1. The agenda of the Surrey Heritage Advisory Commission meeting held on February 14, 2024, be amended to add:

- Item G.1: Reconsideration of the Cloverdale Rodeo and Exhibition Association Request For Commemorative Street Naming on 177B Street;
- Item G.2: International Women's Day; and

2. The agenda be adopted as amended.

Carried

2. Adoption of November 7, 2023 Minutes

It was Moved by Commissioner Priddy
Seconded by Commissioner Hilmer
That:

1. The minutes of the Surrey Heritage Advisory Commission meeting held on November 7, 2023 be amended by removing the words "Due to past differences" on page six; and
2. The minutes be adopted as amended.
Carried

B. DELEGATIONS**1. Susanne Tabata, CEO and Linda Kawamoto Reid
Japanese Canadian Legacies Society**

The delegation provided a presentation regarding a province-wide funding initiative. The following information was highlighted:

- The Japanese Canadian Legacies Society is supporting local communities with developing heritage projects at 30 sites of significance for the history of Japanese Canadians in BC. The \$10 million Heritage Sites program is part of a \$100 million historical BC Redress package that was negotiated through the provincial government. Funding will be distributed as part of a six-pillar framework: monuments, education, seniors health and wellness, community and culture, heritage restoration, and anti-racism.
- The Society's initiatives are connected to the forced uprooting, dispossession and internment of Japanese Canadians during World War II. The Japanese Canadian community is small but mighty and has a strong national presence. For its size and population, Surrey is underserved in its recognition of Japanese Canadians.
- For its heritage work, the Society is meeting with regional governments and heritage societies across the province to share the origin story of Japanese Canadians. A top grant of \$400,000 is intended to build something of significance and value to the community. The deadline to submit a proposal is March 1, 2024.

2. Kelsey Baglo, Heritage Planner

The Heritage Planner provide an overview of the heritage planning and highlighted the following information:

- Planning & Development has moved to values-based heritage conservation and considers heritage to be whatever a community, past or present, values and would like to pass onto the future, regardless of age or vintage. Heritage can have many different values, including aesthetic, cultural, social, spiritual and scientific. This approach also helps diversify heritage.
- The Heritage Inventory is a list of properties and features that potentially have heritage significance but require further evaluation. Properties listed on the Heritage Inventory must be assessed by a heritage professional to determine if addition to the Heritage Register is warranted.
- The Heritage Register is a list of properties that are considered by Council to have heritage value or character.
- Permanent heritage protection measures include Heritage Revitalization Agreement (HRA) By-law, Heritage Designation By-law and Heritage Conservation Covenant.
- Heritage buildings can be retained through adaptive reuse, such as converting heritage buildings into commercial units. Examples of adaptive reuse in Surrey include the Baron von Mackensen House and Boothroyd House.
- A Heritage Alteration Permit is a permit that allows for the alteration to a heritage protected building that is not permitted within the applicable bylaw.
- Heritage grants are available to owners of protected heritage properties. Each property is eligible for \$5,000 per year, and can accumulate a maximum of \$15,000. Grants can be utilized for up to 50% of the work and can be used for the relocation of a heritage home, structural improvements, reinforcement, maintenance, fire protection or security.

C. OUTSTANDING BUSINESS

This section had no items.

D. NEW BUSINESS**1. PLANNING & DEVELOPMENT****(a) Wright House at 15265 16 Avenue
Proposed Rezoning, Development Permit and Heritage
Revitalization Agreement (HRA)
Addition to the Heritage Register**

The Heritage Planner summarized the report dated December 19, 2023 regarding a proposed rezoning, Development Permit and Heritage Revitalization Agreement Bylaw (HRA) that has been received for the Wright House located at 15265 16 Avenue. The following information was highlighted:

- The Wright House is valued for its orientation towards 16 Avenue, side gabled roof with open soffits, exposed rafter ends, pointed tail barge boards, front and back porch, wooden cove lap siding and corner boards, multi-pane upper sash, double hung and single glaze wood frame windows and internal brick chimney and pot belly stove.
- The development proposal is for a 20-storey apartment building with 181 units and ground floor commercial space. The Wright House is proposed to be retained as a commercial unit and would retain its orientation towards 16 Avenue.
- The Wright House is currently on the Heritage Inventory and was found to have intangible heritage value. The City Architect suggested that the house also possesses heritage value as it helps tell the story of what Semiahmoo Town Centre used to look like and would help to diversify the building types on the Heritage Register.

In response to questions from the Commission, the Heritage Planner provided the following information:

- The specific commercial use of the Wright House has not yet been determined.
- There is currently a tenant living in the house.
- A replica of a heritage property is generally not sought unless the original structure is damaged or demolished.

The Commission noted the following comments:

- There are many examples of this type of architecture throughout the city and this does not appear to be a special example. The home's features do not appear to be features that must be preserved.

- Many of these homes have had tenants living in them for a long period of time. There does not appear to be much information in the history of this house of specific people living there.
- Effort could be better spent on other heritage programs.
- Housing is a critical need in the city and can take precedence over other items such as heritage retention.

It was

Moved by Commissioner Lou

Seconded by Commissioner Ring

That the Surrey Heritage Advisory Commission receive the report dated December 19, 2023 regarding a proposed rezoning, Development Permit and Heritage Revitalization Agreement Bylaw (HRA) for the Wright House located at 15265 16 Avenue as information.

Carried

The Chair recognized Kevin Shoemaker, the Architect on behalf of the project, who noted the following information:

- The applicant was requested by the City to retain the house.
- If retained, the house could be an interesting anomaly in an urban centre and provide an interruption to the streetscape.
- The house is currently not on a foundation and is not in good condition. As the house will need to be brought down to the studs, it would be more cost effective to create a replica due to the seismic and building code requirements.

Staff advised that the Wright House would be removed from the Heritage Inventory.

**(b) Heritage Alteration Permit
James Creighton House (10668 125B Street)**

The Heritage Planner summarized the report dated December 21, 2023 regarding a revised Heritage Alteration Permit application that has been received for the James Creighton House located at 10668 125B Street. The following information was highlighted:

- The James Creighton House is protected by a Heritage Designation Bylaw and required to comply with the Heritage Property Standards of Maintenance Bylaw ("the Bylaw").

- The house has fallen into a state of disrepair and the property owner was advised of the necessary steps to bring the property into compliance with the Bylaw. A new owner recently purchased the property and is pursuing an existing development application for the property. The new owner has also submitted a revised Heritage Alteration Permit (HAP) that is required to bring the property into compliance with the Bylaw.
- Given the new ownership, timeframe for completion of items listed in the HAP will be extended by two years.

It was Moved by Commissioner Priddy
 Seconded by Commissioner Hilmer
 That Surrey Heritage Advisory Commission
 (SHAC) receive the report dated December 21, 2023 regarding a revised
 Heritage Alteration Permit application for the James Creighton House
 located at 10668 125B Street as information.

Carried

(c) Heritage Plaque Program

The Heritage Planner advised that the plaque layout has been finalized and has gone into production.

In response to a question from the Commission, the Heritage Planner advised that approximately 16 plaques will be produced.

(d) Heritage Grant Post Cards

The Heritage Planner advised that heritage grant post cards are sent out annually to owners of protected heritage properties to remind them of the financial assistance grants that are available, as well as permissive property tax exemptions.

It was Moved by Commissioner Priddy
 Seconded by Commissioner Ring
 That the Surrey Heritage Advisory
 Commission allocate up to \$300 from the Unrestricted Reserve for heritage
 grant post cards.

Carried

2. **PARKS, RECREATION & CULTURE**

(a) **Intent to Apply for Project Funding and Project Proposal
Japanese Canadian Legacies Society**

The Manager, Heritage Services, and Lorene Oikawa, a partner on the application, provided the following report regarding the project proposal and intent to apply for project funding from the Japanese Canadian Legacies Society:

- The project is an opportunity to share the experiences of Japanese Canadians in Surrey who were uprooted, interned and dispossessed during World War II. The project will be led by Heritage Services and include collaboration with the parks and public art departments. Lorene Oikawa will also provide guidance throughout the project process.
- The proposal consists of three components:
 - A commemorative plaza at R.A. Nicholson park;
 - A permanent display in Strawberry Hill Hall; and
 - A heritage feature at Inouye Park.
- The project is estimated to take three years to complete and will include regular community feedback and guidance throughout the process.

In response to questions from the Commission, the Manager, Heritage Services, provided the following information:

- There will be pre-scheduled community engagement events.
- Staff are not aware of a community association specific to the Strawberry Hill neighbourhood.
- Strawberry Hill Hall was built in 1909 as the Farmers Institute, then used by the Lions Club and was available for rent to the public.
- It is anticipated that the features for the proposal will be created by one artist to ensure continuity.

It was Moved by Commissioner Priddy
 Seconded by Commissioner Hilmer
 That the Surrey Heritage Advisory Commission
 receive the verbal report regarding the intent to apply for project funding and
 project proposal for the Japanese Canadian Legacies Society as information.

Carried

It was Moved by Commissioner Lou
 Seconded by Commissioner Priddy
 That the Surrey Heritage Advisory
 Commission endorse the application to apply for funding from the
 Japanese Canadian Legacies Society for a commemorative plaza at
 R.A. Nicholson park, permanent display in Strawberry Hill Hall, and
 heritage feature at Inouye Park as presented at the February 14, 2024
 meeting. Carried

(b) Brother-in-Arms Military Memorial Considerations

The Manager, Heritage Services, summarized the on-table report dated January 11, 2024 regarding a "Brothers-in-Arms" military memorial in Veterans Square as presented by Steven Purewal, Managing Director, Indus Media Foundation at the November 7, 2023 meeting. The memorial is intended to remember the shared accomplishments of the Canadian and Indian armies during World War II. The Commission had directed staff to report back regarding the proposal. The following information was highlighted:

- Veterans Square is a purpose-built civic plaza that includes the Municipal Cenotaph and public art *Kneeling in Remembrance* by André Gautier, the names of Surrey residents who died in World Wars I and II, a large civic clock and the public artwork *The Rivers That Connect Us* by k'wy'i'y'e Spring Salmon Studio. Veterans Square hosts the Surrey Remembers ceremony annually on November 11, as well as other museum, heritage and community events.
- As per Surrey Heritage Advisory Commission Establishment By-law, 1997, No. 13282, the Commission is mandated to:
 - Creating and maintaining a Surrey Heritage Register;
 - Identifying Surrey heritage properties and features for possible designation as a City heritage site;
 - Creating and maintaining significant Surrey heritage features or heritage properties through the installation of markers, plaques and cairns;
 - Supporting awareness of and appreciation of Surrey heritage through varied information formats and media; and
 - Supporting Surrey heritage activities and programs undertaken by the City and community in the areas of environmental, built, and cultural preservation and interpretation.

- While the proposal as presented at the November 7 SHAC meeting may not specifically align with the Commission's mandate, there are elements of the proposal that the Commission could support through other opportunities, such as:
 - Inclusive Remembrance Day ceremonies: Staff will continue to encourage leadership to hold events inclusive to all. Additional remembrance ceremonies could also be held at Veterans Square.
 - Update the existing cenotaph storyboard at Veteran's Square: Storyboards contextualize and elaborate on historical facts. There is an opportunity to expand upon this storyboard to further share that the site is a gathering place for Surrey residents and veterans from diverse backgrounds.
 - Public art opportunities: Through the Arts & Culture Advisory Committee, public art staff can work towards an artist call(s) for public art that speaks to Punjabi cultural heritage in Surrey. Community engagement and a community selection panel would be a key part of such a process.
 - Identify more heritage opportunities: staff can engage with communities for a process to gather information and identify opportunities to help SHAC add more to the Community Heritage Register and the storyboard inventory, and to propose commemorative street or park names that will reflect Punjabi cultural heritage in Surrey.
 - Ongoing programming at City-owned museum and heritage facilities: Through the SHAC-designated chair at the Heritage Services Community Advisory Board, provide input and guidance on expanding upcoming programs and initiatives.

The Commission noted that it is important to keep its mandate in mind and focus on Surrey-based stories. The Commission also noted that staff have identified new opportunities that can build upon the work the City is already doing.

It was Moved by Commissioner Priddy
 Seconded by Commissioner Lou
 That the Surrey Heritage Advisory
 Commission receive the on-table report dated January 11, 2024 regarding a
 "Brothers-in-Arms" military memorial for information.

Carried

It was Moved by Commissioner Priddy
Seconded by Commissioner Lou
That the Surrey Heritage Advisory
Commission direct staff to respond to the Brothers-in-Arms proposal in
accordance with the mandate of the Commission and the considerations
identified in the report dated January 11, 2024 regarding a
"Brothers-in-Arms" military memorial.

Carried

It was Moved by Commissioner Hilmer
Seconded by Commissioner Ring
That the Surrey Heritage Advisory
Commission recommend that Council allocate up to \$15,000 from the
Unrestricted Reserve to engage communities and advance the
opportunities identified in the report dated January 11, 2024 regarding a
"Brothers-in-Arms" military memorial.

Carried

It was Moved by Commissioner Priddy
Seconded by Commissioner Hilmer
That the Surrey Heritage Advisory
Commission direct staff to consult with the British Columbia/Yukon Royal
Canadian Legion and Cloverdale branch of the Royal Canadian Legion on
the proposals as outlined in the report dated January 11, 2024 regarding a
"Brothers-in-Arms" military memorial.

Carried

(c) Civic Distinction Awards Program 2024

The Manager, Heritage Services, summarized the report dated February 6, 2024 regarding the 2024 Civic Distinction Awards Program and highlighted the following information:

- The Civic Distinction Awards Program recognizes business and community leaders who have made a major contribution in their fields.
- There are two heritage awards to be considered: heritage education and awareness and heritage preservation.
- A working group of staff and a Commission representative will review nominations. Nominations will be brought to the Commission to make a recommendation to Council. The awards will be presented at a formal award ceremony to be held on November 14, 2024.

It was Moved by Commissioner Priddy
Seconded by Commissioner Ring
That the Surrey Heritage Advisory
Commission receive the report dated February 6, 2024 regarding the
2024 Civic Distinction Awards Program for information.
Carried

It was Moved by Commissioner Priddy
Seconded by Commissioner Ring
That the Surrey Heritage Advisory
Commission appoint Commissioner Hilmer to serve on the adjudication
committee for the heritage awards as part of the 2024 Civic Distinction
Awards Program.
Carried

(d) Black History Month

The Manager, Heritage Services, summarized the report dated February 3, 2024 regarding Black History Month and highlighted the following information:

- The 2024 theme for Black History Month is "Black Excellence: A Heritage to Celebrate, a Future to Build".
- Residence can participate in programming including:
 - *Making Histories: An Exhibition of Black Artists*, created by four local Black artists, and will be open until April 3 at the Cloverdale Recreation Centre.
 - Surrey Libraries has created a special reading list for Black History Month.
 - Heritage Surrey will include various posts regarding Black History Month on its social media channels.

The Commission noted that Black History Month was also proclaimed at the February 12, 2024 Regular Council – Public Hearing meeting.

It was Moved by Commissioner Ring
Seconded by Commissioner Hilmer
That the Surrey Heritage Advisory
Commission receive the report dated February 3, 2024 regarding Black
History Month for information.
Carried

(e) **Heritage Week and Heritage BC Conference**

The Manager, Heritage Services, provided the following report regarding Heritage Week and the Heritage BC Conference:

- Heritage Week will be held from February 19 – 25, 2024. The theme is "Layer by Layer". In celebration of Heritage Week, Stewart Farm will host free drop-in events on February 19.
- The Heritage BC Conference will be held from May 1 – 3, 2024 in Nelson, and early bird registration closes on March 1. The conference theme is "Prioritizing People".

3. **ENGINEERING**

This section had no items to consider.

4. **LEGISLATIVE SERVICES**

This section has no items to consider.

5. **PLANNING & DEVELOPMENT and PARKS, RECREATION & CULTURE**

(a) **HAC Task List**

File: 6800-01

The Heritage Planner provided the following Task List updates:

Charles Feedham House

The Heritage Revitalization Agreement (HRA) Bylaw amendment to allow for a second dwelling on the property has received final adoption. This item will be removed from the Task List.

Mooring House and Cottage

The application for a rezoning, subdivision and Heritage Revitalization Agreement (HRA) Bylaw has received final adoption. This item will be removed from the Task List.

E. **CORRESPONDENCE**

This section had no items to consider.

F. INFORMATION ITEMS

This section has no items to consider.

G. OTHER BUSINESS**1. Reconsideration of the Cloverdale Rodeo and Exhibition Association Request For Commemorative Street Naming on 177B Street**

Councillor Stutt spoke to the Cloverdale Rodeo and Exhibition Association request that was discussed at the November 7, 2023 meeting. The Association has requested that a commemorative street name be added to 177B Street in honor of Will Senger, who was a longtime participant and volunteer for the Cloverdale Rodeo and has a long history associated with the rodeo grounds. Mr. Senger passed away in 2017. At the November 7 meeting, the Commission recommended that Council allocate up to \$7,500 from the Unrestricted Reserve to install a storyboard that includes acknowledgement of Will Senger's community contributions on the Rodeo Grounds. Council approved the recommendation at the November 20, 2023 Regular Council – Public Hearing meeting.

Councillor Stutt requested that the Commission reconsider recommending a commemorative street name for 177B Street in honor of Will Senger, in addition to the storyboard that was previously approved.

It was
Commission request that staff report back regarding a commemorative street name for 177B Street in recognition of Will Senger.

Moved by Commissioner Priddy
Seconded by Commissioner Hilmer
That the Surrey Heritage Advisory
Carried

2. International Women's Day

Commissioner Priddy advised that March 8 is International Women's Day. The 2024 theme is "Inspire Inclusion".

H. FINANCIALS**1. Financial Summary as at November 30, 2023**

No updates were provided.

I. NEXT MEETING

The next meeting of the Surrey Heritage Advisory Commission (SHAC) is scheduled for 5:00 p.m. on **March 13, 2024** in **2E Committee Room B**.

J. MOTION TO HOLD A MEETING IN A CLOSED SESSION

It was
Commission close the meeting to the public pursuant to Section 90 (1) (a) of the *Community Charter*, which states:

Moved by Commissioner Lou
Seconded by Commissioner Hilmer
That the Surrey Heritage Advisory

“(1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:

- (a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality.

Carried

K. ADJOURNMENT

It was
Commission meeting do now adjourn.

Moved by Commissioner Lou
Seconded by Commissioner Ring
That the Surrey Heritage Advisory

Carried

The Surrey Heritage Advisory Commission adjourned at 7:07 p.m.

Jennifer Ficocelli, City Clerk

Councillor Stutt, Chairperson

**SURREY HERITAGE ADVISORY COMMISSION
RECOMMENDATION INDEX
Wednesday, March 13, 2024**

1. Heritage Plaque Program Phase 3 - Potential Heritage Plaques for City-Owned Buildings at Stewart Farm

That Council:

1. Receive the report dated February 29, 2024, regarding a new phase of the plaque program, for the six (6) protected Stewart Farm buildings that do not have heritage plaques as information (Appendix I); and
2. Allocate up to \$8,000 from the Unrestricted Reserve for Future Expenditure for the cost of heritage plaque production and installation for up to six City-owned protected heritage buildings at Stewart Farm.

Council approved the following recommendation at the April 8, 2024 Regular Council – Public Hearing meeting and is not requested to consider this recommendation when adopting the minutes:

1. Wixalbrown House, 13667 Grosvenor Road – Demolition Permit Application

That Council:

1. Receive the report dated February 8, 2024, regarding a Demolition Permit application for the Wixalbrown House located at 13667 Grosvenor Road as information (Appendix I); and
2. Direct staff not to proceed with temporary or permanent protection measures for the Wixalbrown House located at 13667 Grosvenor Road.
3. Direct staff to remove the Wixalbrown House located at 13667 Grosvenor Road from the Heritage Register.



Surrey Heritage Advisory Commission - Minutes

2E - Community Room B
City Hall
13450 - 104 Avenue
Surrey, B.C.
WEDNESDAY, MARCH 13, 2024
Time: 5:00 p.m.

Present:

Councillor Stutt, Chair
M. Himler
F. Lou
J. Ring

Absent:

P. Priddy

Staff Present:

K. Hardie, Manager, Heritage Services
K. Baglo, Heritage Planner
L. Blake, Assistant City Clerk

A. ADOPTIONS

1. Adoption of the Agenda

It was Moved by Commissioner Himler
Seconded by Commissioner Lou
That:

1. The agenda of the Surrey Heritage Advisory Commission meeting held on March 13, 2024, be amended to add:
 - a. Item G.1: Update regarding Surrey Pet Cemetery; and
2. The agenda be adopted as amended.

Carried

2. Adoption of February 14, 2024 Minutes

It was Moved by Commissioner Ring
Seconded by Commissioner Himler
That the minutes of the Surrey Heritage
Advisory Commission meeting held on February 14, 2024 be adopted.
Carried

B. DELEGATIONS

This section had no items to consider.

C. OUTSTANDING BUSINESS

This section had no items to consider.

D. NEW BUSINESS**1. PLANNING & DEVELOPMENT****(a) Wixalbrown House, 13667 Grosvenor Road – Demolition Permit Application**

The Heritage Planner summarized the report dated February 28, 2024 regarding a Demolition Permit application that has been received for the Wixalbrown House located at 13667 Grosvenor Road. The following information was highlighted:

- In 2019, a development application was submitted for the property that did not propose the retention of the Wixalbrown house. In 2020, the development application was withdrawn and a demolition permit application was submitted for the house. The demolition permit application was brought to the Commission for feedback and to make a recommendation to Council. While the Commission did not provide a recommendation regarding the demolition permit, a staff report was forwarded to Council and Council approved withholding the demolition permit until the building permit was issued. The house was also added to the Heritage Register.
- In January 2023, there were two fire incidents at the property. Council directed staff to continue to withhold the demolition permit. Surrey Fire Services has expressed concerns regarding fire and life safety.
- The house has fallen into a state of disrepair, and it appears most of the character defining elements are in poor to fair condition and would likely need to be replaced. Therefore, the intent behind withholding the permit to try and retain the house no longer applies to the house.

In response to a question from the Commission, the Heritage Planner advised that the property has had the same owner since the original development application was submitted in 2019. A Building Permit has not yet been submitted for the property.

The Commission expressed concerns for public safety and noted that the situation would likely be different if the house was currently lived in. Further, since the house would likely need to be replicated at this point, withholding the demolition permit until other permits are issued does not accomplish the goal of retention of the Wixalbrown House.

It was Moved by Commissioner Himler
 Seconded by Commissioner
 That the Surrey Heritage Advisory Commission:

1. Receive the report dated February 8, 2024, regarding a Demolition Permit application for the Wixalbrown House located at 13667 Grosvenor Road as information; and
2. Recommend that staff do not proceed with temporary or permanent protection measures for the Wixalbrown House located at 13667 Grosvenor Road.
3. Recommend that Council remove the Wixalbrown House located at 13667 Grosvenor Road from the Heritage Register.

Carried

(b) Semiahmoo Trail - Proposed Heritage Alteration Permit

The Heritage Planner summarized the report dated March 5, 2024 regarding a proposed Heritage Alteration Permit for the construction of the realigned Semiahmoo Trail along 151A Street. The following information was highlighted:

- There is a segment of the Semiahmoo Trail the is not in alignment with the rest of the trial due to an extension to the trail made in the 1980s. This portion of the trail runs through a townhouse complex and does not meet the City's Semiahmoo Trail Design Guidelines.
- The realignment of the trial was identified in the Semiahmoo Town Centre Plan. Development Application No. 7922-0305-00 included an amendment to Heritage Designation Bylaw, 2004, No. 15280 to realign this portion of the trail. The Development Application was approved by Council at the January 29, 2024 Regular Council – Public Hearing meeting.
- A Heritage Alteration Permit (HAP) is required to construct the realignment of the trail. This portion of the trail will include a publicly accessible plaza, landscaping, three signs identifying the trail, a bench in tribute to the history of the trail. Since the trail will function as a sidewalk in this location, it will be unable to fully meet the Semiahmoo Trail Design Guidelines as it will be paved for safety and accessibility, and will meander in order to retain existing trees.

It was Moved by Commissioner Lou
 Seconded by Commissioner Ring
 That the Surrey Heritage Advisory Commission
 receive the report dated March 5, 2024, regarding a proposed Heritage
 Alteration Permit for the realigned Semiahmoo Trail along 151A Street as
 information.

Carried

(c) **Heritage Plaque Program Phase 3 - Potential Heritage Plaques for City-Owned Buildings at Stewart Farm**

The Heritage Planner summarized the report dated February 29, 2024, regarding a new phase of the plaque program, for the six (6) protected Stewart Farm buildings that do not have heritage plaques. The following information was highlighted:

- Phase one of the Heritage Plaque program was for City-owned heritage buildings. Two of the eight heritage buildings at Stewart Farm were included as part of phase one.
- The six heritage buildings proposed to be included as part of phase three are:
 - Stewart Farm - Bunk House
 - Stewart Farm - Garage
 - Stewart Farm - Machine Shed
 - Stewart Farm - Root Cellar
 - Stewart Farm - Threshing Machine Shed
 - Stewart Farm - Woodshed
- Providing plaques for the remaining six heritage buildings will help better identify and provide insight into their heritage value.

It was Moved by Commissioner Ring
 Seconded by Commissioner Himler
 That the Surrey Heritage Advisory
 Commission receive the report dated February 29, 2024, regarding a new phase of the plaque program, for the six (6) protected Stewart Farm buildings that do not have heritage plaques as information; and
Carried

It was Moved by Commissioner Lou
 Seconded by Commissioner Ring
 That the Surrey Heritage Advisory
 Commission recommend that Council allocate up to \$8,000 from the Unrestricted Reserve for Future Expenditure for the cost of heritage plaque production and installation for up to six City-owned protected heritage buildings at Stewart Farm.
Carried

(d) Clayton United Church (7027 184 Street) – Demolition Permit Application

The Heritage Planner summarized the report dated March 6, 2024, regarding a Demolition Permit application that has been received for the Clayton United Church located at 7027 184 Street. The following information was highlighted:

- The church is also known as the Surrey Little Theatre and is valued for its role as a church and theatre. It is located on a small property in the West Clayton Neighbourhood Concept Plan and the in-progress Clayton Corridor Plan, which calls for consolidation of a group of properties, including the church, to allow for potential development.
- There is currently a development application in progress to the west that could impact the church. Staff have requested that the applicant provide a concept plan for how the site could build out..
- The site is close to a future SkyTrain station and will require a road dedication, which will likely require the relocation of the church. The site is also in a Tier One Transit Oriented Area and Bill 47 would apply to the site, which could permit a 5 FAR and up to 20 storeys; however, no development application or building permit has been submitted for the site at this time.

In response to a question from the Commission, the Heritage Planner provided the following information:

- The church is privately owned.
- It appears that the windows and some siding has been replaced. Overall, the church looks to be in fair condition.
- The West Clayton Neighbourhood Concept Plan has outlined some proposed relocation plans for the church, and the Urban Design team has been working on the road layout.

The Commission expressed concerns that the church could fall into a state of repair, but hopefully there will be an opportunity to retain the building before a building permit is issued for the site.

It was

Moved by Commissioner Lou

Seconded by Commissioner Himler

That the Surrey Heritage Advisory Commission

receive the report dated March 6, 2024, regarding a Demolition Permit application for the Clayton United Church located at 7027 184 Street as information.

Carried

It was Moved by Commissioner Lou
Seconded by Commissioner Ring
That the Surrey Heritage Advisory Commission
recommend that the General Manager, Planning and Development withhold
the demolition permit until building permit and other approvals are ready for
issuance for the Clayton United Church located at 7027 184 Street; and
Carried

2. PARKS, RECREATION & CULTURE

This section had no items to consider.

3. ENGINEERING

This section had no items to consider.

4. LEGISLATIVE SERVICES

This section has no items to consider.

5. PLANNING & DEVELOPMENT and PARKS, RECREATION & CULTURE

(a) HAC Task List
File: 6800-01

The Heritage Planner provided the following update regarding the Task List:

Semiahmoo Trail

The Semiahmoo Trail Heritage Alteration Permit was been approved by Council at the January 29, 2024 Regular Council – Public Hearing meeting and will be removed from the Task List.

E. CORRESPONDENCE

This section had no items to consider.

F. INFORMATION ITEMS

This section had no items to consider.

G. OTHER BUSINESS**1. Update Regarding the Pet Cemetery located at 7777 147A Street**

The Heritage Planner advised that several inquiries have been received requesting that a pet cemetery located 7777 147A Street be designated as a heritage site. Staff have advised that it is not the City's practice to designate a property without the property owner's consent.

H. FINANCIALS**1. Financial Summary as at December 31, 2023**

No updates were provided.

I. NEXT MEETING

The next meeting of the Surrey Heritage Advisory Commission (SHAC) is scheduled for 5:00 p.m. on **April 10, 2024** in **2E Committee Room B**.

J. ADJOURNMENT

It was

Moved by Commissioner Himler
Seconded by Commissioner Ring
That the Surrey Heritage Advisory

Commission meeting do now adjourn.

Carried

The Surrey Heritage Advisory Commission adjourned at 5:31 p.m.

Jennifer Ficocelli, City Clerk

Councillor Stutt, Chairperson



INTER-OFFICE MEMO

TO: Chair, Heritage Advisory Commission

FROM: Heritage Planner, Community Planning

DATE: February 29, 2024

FILE: 6800-08

RE: Heritage Plaque Program Phase 3 - Potential Heritage Plaques for City-Owned Buildings at Stewart Farm.

RECOMMENDATIONS

The Surrey Heritage Advisory Commission (SHAC) is requested to:

1. Receive this report as information;
2. Review the attached list of protected heritage properties recommended for plaque production and provide feedback to staff; and
3. If the Commission desires, allocate up to \$8,000 from the Unrestricted Reserve for Future Expenditure for the cost of heritage plaque production and installation for up to 6 City-owned protected heritage buildings at Stewart Farm.

PURPOSE

The purpose of this report is to bring forward for the Commission's consideration a new phase of the plaque program, for the six (6) protected Stewart Farm buildings that do not have heritage plaques.

BACKGROUND

At the April 18, 2012 SHAC meeting, the Commission requested that staff provide a report regarding which heritage properties would warrant the installation of heritage plaques in the future. At the May 30, 2012 meeting, the Commission decided to focus initial plaquing efforts on protected heritage properties (i.e., heritage properties that are subject to heritage designation by-laws, heritage revitalization agreements, and/or heritage conservation covenants).

The Commission reviewed a list of protected heritage properties (both privately and publicly owned) that would be eligible for new plaques. Replicas were not considered eligible. The Commission decided that the installation of plaques should occur in the following order:

- City-owned properties;
- Privately-owned institutional properties and privately-owned commercial properties
- Privately-owned residential properties

During Phase 1 of the plaque program, seven (7) City-owned heritage properties had plaques installed. Two of these buildings were located on the Stewart Farm site, including the Stewart Farmhouse and the Stewart Farm Pole Barn. The other six (6) protected heritage buildings at Stewart Farm were not included in Phase 1 of the plaque program.

DISCUSSION

Eight (8) heritage buildings on the Stewart Farm site are protected by Heritage Designation Bylaw, 1984, No. 7823. Only two (2) of the eight (8) protected heritage buildings at Stewart Farm have heritage plaques. The other six (6) heritage buildings do not have heritage plaques. The installation of heritage plaques on the remaining six (6) heritage buildings is recommended to accurately identify and convey information to the public about which buildings on the site are protected and provide a high-level information to the public about the building's heritage value.

The buildings proposed for Phase 3 of the plaque program include:

- Stewart Farm - Bunk House
- Stewart Farm - Garage
- Stewart Farm - Machine Shed
- Stewart Farm - Root Cellar
- Stewart Farm - Threshing Machine Shed
- Stewart Farm - Woodshed

A quote was requested for phase 3 of the plaque program but it was not received in time for the agenda deadline. Based on the invoice from Phase 2 of the plaque program, it is estimated that the plaques cost approximately \$1000 per plaque, plus \$40 per plaque for shipping. An additional \$500 should be allocated to fund installation. Should the Commission wish to move forward with this project, up to \$8,000 should be allocated to fund the six (6) remaining plaques for the protected heritage buildings at Stewart Farm.

CONCLUSION AND RECOMMENDATIONS

In 2016, seven (7) heritage plaques were installed on City-Owned protected heritage properties. Two (2) of the eight (8) protected heritage buildings at the Stewart Farm site were included in this phase of the plaque program. To convey accurate information to the public about the heritage status of the buildings on the Stewart Farm site, it is recommended that the remaining six (6) heritage buildings have heritage plaques installed.

Kelsey Baglo, Heritage Planner
Community Planning

Attachments:

Appendix I Photos of Existing Stewart Farm Heritage Plaques

APPENDIX I
Photos of Existing Stewart Farm Heritage Plaques



Council is requested to consider the following recommendations prior to the adoption of the April 15, 2024 meeting minutes:

1. Rothwell House (2598 O'Hara Lane) – Application for Financial Assistance for Painting

That Council:

1. Receive the report dated March 26, 2024, regarding a financial assistance application that has been received for the Rothwell House located at 2598 O'Hara Lane as information (Appendix I);
2. Approve financial assistance in the amount of \$4,600.00 which represents 50% of the value of the works as per the quote provided by Peter Pieniazek DBA Preferred Renovations, and
3. Direct staff to advise the applicant that payment of financial assistance shall only be made following inspection by appropriate City staff to ensure that the works have been undertaken in accordance with the original terms of the application.

2. Rothwell House (2598 O'Hara Lane) – Application for Financial Assistance for Roof Repair

That Council:

1. Receive the report dated March 28, 2024, regarding a financial assistance application for roof repair that has been received for the Rothwell House located at 2598 O'Hara Lane as information (Appendix II);
2. Approve financial assistance in the amount of \$3,655.00 which represents 50% of the value of the works as per the quote provided by South-West Restoration, and
3. Direct staff to advise the applicant that payment of financial assistance shall only be made following inspection by appropriate City staff to ensure that the works have been undertaken in accordance with the original terms of the application.

Present:

Councillor Stutt, Chair
M. Himler
F. Lou
P. Priddy
J. Ring

Absent:**Staff Present:**

K. Hardie, Manager, Heritage Services
K. Baglo, Heritage Planner
B. Haney, Transportation Planner
L. Blake, Assistant City Clerk

D. NEW BUSINESS**1. PLANNING & DEVELOPMENT****(b) Rothwell House (2598 O'Hara Lane) – Application for Financial Assistance for Painting**

The Heritage Planner summarized the report dated March 26, 2024, regarding a financial assistance application for painting that has been received for the Rothwell House located at 2598 O'Hara Lane.

It was Moved by Commissioner Priddy
Seconded by Commissioner Lou
That the Surrey Heritage Advisory
Commission (SHAC):

1. Receive the report dated March 26, 2024, regarding a financial assistance application that has been received for the Rothwell House located at 2598 O'Hara Lane as information;
2. Recommend that Council approve financial assistance in the amount of \$4,600.00 which represents 50% of the value of the works as per the quote provided by Peter Pieniazek DBA Preferred Renovations, and
3. Recommend that staff advise the applicant that payment of financial assistance shall only be made following inspection by appropriate City staff to ensure that the works have been undertaken in accordance with the original terms of the application.

Carried



INTER-OFFICE MEMO

TO: **Chair, Heritage Advisory Commission**

FROM: **Heritage Planner, Community Planning**

DATE: **March 26, 2024** FILE: **6800-14**

RE: **Rothwell House (2598 O'Hara Lane) – Application for Financial Assistance for Painting.**

RECOMMENDATIONS

It is recommended that the Surrey Heritage Advisory Commission (SHAC):

1. Receive this report as information;
2. Recommend that Council approve financial assistance in the amount of **\$4,600.00** which represents 50% of the value of the works as per the quote provided by **Peter Pieniazek DBA Preferred Renovations**, and;
3. Recommend that staff advise the applicant that payment of financial assistance shall only be made following inspection by appropriate City staff to ensure that the works have been undertaken in accordance with the original terms of the application.

PURPOSE

The purpose of this memo is to inform the SHAC that an application for financial assistance was submitted for Rothwell House (2598 O'Hara Lane) to paint the building.

BACKGROUND

Historic Value

The Rothwell House takes its name from its third owner, who likely built the house or for whom the house was built. The House is one of the earliest waterfront cottages built in Crescent Beach and is valued for its association with the early development of Crescent Beach as a vacation community.

The key elements that define the character of the Rothwell House include:

- An original lot forming part of the first phase of the Crescent Beach seaside community;
- The typical cottage style of building in the Crescent Beach area;
- The view to the beach and ocean;
- The massing of the dwelling, in particular, its relationship to the public walkway along Crescent Beach;
- The front porch, establishing a strong beach-fronting character;
- The building form, with its sloping roofs and wood cladding; and

- The wrap-around veranda enclosed for additional habitable space.

Building Preservation Program

The Building Preservation Program provides grants to owners of privately-owned protected heritage properties for stabilization, maintenance, or restoration of the heritage building. The grant is limited to 50% of the cost of the work, for up to \$5,000 in a calendar year. An owner may also apply for any unclaimed amounts from the previous two years, to a maximum of \$15,000 in three years. Applications are to include three quotations for the work based on similar criteria. Fewer than three quotations may be considered at the discretion of the SHAC. The owner of a protected heritage building may apply for three years' financial assistance (\$15,000) in the first year, and in advance of conducting repairs or restoration, for costs associated with the relocation of a heritage building to a protected heritage site. Upon receiving a \$15,000 grant for relocation, owners will not be eligible to apply for further financial assistance for three years. Completed work is not eligible for the grant.

DISCUSSION

The owner of the Rothwell House has submitted an application to paint the House, in accordance with HRA By-law 2005, No. 15657. The applicant is proposing to paint the building in the existing colour scheme.

An application for financial assistance along with three quotation was submitted to the City (Appendix II). The three quotations are as follows:

White Rock Painting	\$24,727.50
Pro Works Painting	\$15,290.00
Peter Pieniazek DBA Preferred Renovations	\$9,200.00

The applicant's preferred supplier is Peter Pieniazek. There is currently \$15,000 available in the Reserve for Heritage Site Improvements for Rothwell House.

CONCLUSION AND RECOMMENDATIONS

The owner of the Rothwell House has submitted an application for financial assistance through the Building Preservation Program to paint the building in the existing colour scheme.

Kelsey Baglo, Heritage Planner
Community Planning

Attachments:

Appendix I	Photos of the Rothwell House
Appendix II	Rothwell House - Application for Financial Assistance to Paint

APPENDIX I
Photos of the Rothwell House



APPENDIX II
Rothwell House - Application for Financial Assistance to Paint

BUILDING PRESERVATION PROGRAM

Application for Financial Assistance

This grant program assists with exterior stabilization, maintenance, restoration and relocation of designated heritage buildings and buildings that are subject to heritage revitalization agreements (HRA). There is no limit to the number of applications that may be submitted in any given year. If successful, funding per project is limited to 50% of the eligible project costs, not to exceed eligibility requirements as outlined in By-Law No. 15099, Sections 10 and 10.1.

PLEASE PRINT CLEARLY

Name of Applicant(s): CHRISTIE MCCONKEY

Mailing Address: 2598 O'HARA LANE

City: SURREY Postal Code: V4A 3E3

Contact Person(s): CHRISTIE MCCONKEY

Telephone: [REDACTED] Email: [REDACTED]

Name of Heritage Building: THE ROTHWELL HOUSE

HRA and/or Designation By-law Number: SECTION 225 subsection 2 (clause b) i

Date of Commencement: LATE SPRING 2024

Date of Anticipated Completion: SUMMER 2024

1. This project is for:

- Structural work, seismic upgrading, foundations, perimeter and storm drains, chimneys and masonry work, fascias, gutters and downspouts, roofs
- Exterior rehabilitation and repairs of the building's historic character (exterior cladding, woodwork and trim, doors and windows, including storm windows)
- Exterior preparation and painting
- Reconstruction of missing significant architectural elements
- Designated interior features
- Other: _____

2. Provide a clear, brief statement of the purpose of the project.

MAINTAIN EXTERIOR APPEARANCE &
PRESERVE.

3. Provide an itemized list of all work to be undertaken by this project.

Replacement of wood slats + boards on
upper deck
Preparation of siding + wood for painting
Painting of exterior siding + trim.

4. Please attach three quotations to undertake the list of work itemized in #3. Ensure that all quotations are based on identical requirements. Applications that include fewer than three quotations may be considered at the discretion of the Heritage Advisory Commission. Applications for material costs only may be submitted for consideration.

Quotation #1 from: WHITE ROCK Painting Cost: \$24,727.50

Quotation #2 from: PRO WORKS Cost: 15,290.00

Quotation #3 from: Peter Pieniazek Cost: 9,200.00

Please indicate your preferred supplier: #3 Peter Pieniazek
DBA Preferred Renovations

5. Project Cost Summary		Approved	Pending
Applicant's contribution	\$ <u>4600</u> (<u>50</u> %)	_____	_____
Heritage Legacy Fund of BC	\$ _____ (_____ %)	_____	_____
Request from City of Surrey	\$ <u>4600</u> (<u>50</u> %)	_____	_____
Total Cost of the Project	\$ <u>9200</u> (<u>100</u> %)	_____	_____

The applicant is advised not to begin the project prior to confirmation of funding. **Work already completed or in progress may not qualify for assistance.** Please note that no payment shall be made more than one year after the date of approval of the financial assistance application by Council. Applicants will be responsible for the payment of all project costs to the approved supplier(s). The applicant will provide detailed, legible, and verifiable receipts confirming supplier payments when requesting reimbursement of costs from the City. Change of preferred supplier(s) is not permitted without prior written approval of the City. Failure to provide adequate proof of payment or use of non-authorized suppliers may result in non-reimbursement of costs incurred.

If funds are granted, the City of Surrey reserves the right to inspect the work and to promote the project through photographic documentation and through media announcements.

Authorized Signing Officer

Signature

Date

Return to:
Surrey Heritage Advisory Commission
c/o Legislative Services, 13450-104 Avenue V3T 1V8

Present:

Councillor Stutt, Chair
M. Himler
F. Lou
P. Priddy
J. Ring

Absent:**Staff Present:**

K. Hardie, Manager, Heritage Services
K. Baglo, Heritage Planner
B. Haney, Transportation Planner
L. Blake, Assistant City Clerk

D. NEW BUSINESS**1. PLANNING & DEVELOPMENT****(c) Rothwell House (2598 O'Hara Lane) – Application for Financial Assistance for Roof Repair**

The Heritage Planner summarized the report dated March 28, 2024, regarding a financial assistance application for roof repair that has been received for the Rothwell House located at 2598 O'Hara Lane.

It was
Commission (SHAC):

Moved by Commissioner Lou
Seconded by Commissioner Ring
That the Surrey Heritage Advisory

1. Receive the report dated March 28, 2024, regarding a financial assistance application for roof repair that has been received for the Rothwell House located at 2598 O'Hara Lane as information;
2. Recommend that Council approve financial assistance in the amount of \$3,655.00 which represents 50% of the value of the works as per the quote provided by South-West Restoration, and
3. Recommend that staff advise the applicant that payment of financial assistance shall only be made following inspection by appropriate City staff to ensure that the works have been undertaken in accordance with the original terms of the application.

Carried

INTER-OFFICE MEMO

TO: **Chair, Heritage Advisory Commission**

FROM: **Heritage Planner, Community Planning**

DATE: **March 28, 2024**

FILE: **6800-14**

RE: **Rothwell House (2598 O'Hara Lane) – Application for Financial Assistance for Roof Repair.**

RECOMMENDATIONS

It is recommended that the Surrey Heritage Advisory Commission (SHAC):

1. Receive this report as information;
2. Recommend that Council approve financial assistance in the amount of **\$3,655.00** which represents 50% of the value of the works as per the quote provided by **South-West Restoration**, and;
3. Recommend that staff advise the applicant that payment of financial assistance shall only be made following inspection by appropriate City staff to ensure that the works have been undertaken in accordance with the original terms of the application.

PURPOSE

The purpose of this memo is to inform the SHAC that an application for financial assistance was submitted for Rothwell House (2598 O'Hara Lane) to repair the roof.

BACKGROUND

Historic Value

The Rothwell House takes its name from its third owner, who likely built the house or for whom the house was built. The House is one of the earliest waterfront cottages built in Crescent Beach and is valued for its association with the early development of Crescent Beach as a vacation community.

The key elements that define the character of the Rothwell House include:

- An original lot forming part of the first phase of the Crescent Beach seaside community;
- The typical cottage style of building in the Crescent Beach area;
- The view to the beach and ocean;
- The massing of the dwelling, in particular, its relationship to the public walkway along Crescent Beach;
- The front porch, establishing a strong beach-fronting character;
- The building form, with its sloping roofs and wood cladding; and

- The wrap-around veranda enclosed for additional habitable space.

Building Preservation Program

The Building Preservation Program provides grants to owners of privately-owned protected heritage properties for stabilization, maintenance, or restoration of the heritage building. The grant is limited to 50% of the cost of the work, for up to \$5,000 in a calendar year. An owner may also apply for any unclaimed amounts from the previous two years, to a maximum of \$15,000 in three years. Applications are to include three quotations for the work based on similar criteria. Fewer than three quotations may be considered at the discretion of the SHAC. The owner of a protected heritage building may apply for three years’ financial assistance (\$15,000) in the first year, and in advance of conducting repairs or restoration, for costs associated with the relocation of a heritage building to a protected heritage site. Upon receiving a \$15,000 grant for relocation, owners will not be eligible to apply for further financial assistance for three years. Completed work is not eligible for the grant.

DISCUSSION

The owner of the Rothwell House has submitted an application to repair the existing roof, in accordance with HRA By-law 2005, No. 15657.

An application for financial assistance, along with three quotations, was submitted to the City (Appendix II). The applicant’s preferred supplier is South-West Restoration. The three quotations are as follows:

TBH Roofing	\$6,825.00
Lions Art Roofing	\$11,130.00
South-West Restoration	\$7310.00

The applicant is requesting \$3,655.00 which represents 50% of the value of the works as per the quote provided by South-West Restoration. There is currently \$15,000 available in the Reserve for Heritage Site Improvements for Rothwell House.

CONCLUSION AND RECOMMENDATIONS

The owner of the Rothwell House has submitted an application for financial assistance through the Building Preservation Program to repair the existing roof. SHAC is recommended to recommend that Council approve financial assistance in the amount of \$3,655.00 which represents 50% of the value of the works as per the quote provided by South-West Restoration.

Kelsey Baglo, Heritage Planner
Community Planning

Attachments:

- Appendix I Photo of the Rothwell House
- Appendix II Rothwell House - Application for Financial Assistance for Roof Repair

APPENDIX I
Photo of Rothwell House



APPENDIX II

“Rothwell House - Application for Financial Assistance for Roof Repair



SURREY HERITAGE ADVISORY COMMISSION

BUILDING PRESERVATION PROGRAM
Application for Financial Assistance

This grant program assists with exterior stabilization, maintenance, restoration and relocation of designated heritage buildings and buildings that are subject to heritage revitalization agreements (HRA). There is no limit to the number of applications that may be submitted in any given year. If successful, funding per project is limited to 50% of the eligible project costs, not to exceed eligibility requirements as outlined in By-Law No. 15099, Sections 10 and 10.1.

PLEASE PRINT CLEARLY

Name of Applicant(s): CHRISTIE MCCONKEY "ROTHWELL HOUSE"
Mailing Address: 2598 O'HARA LANE
City: SURREY Postal Code: V4A 3E3
Contact Person(s): CHRISTIE MCCONKEY
Telephone: [REDACTED] Email: [REDACTED]

Name of Heritage Building: ROTHWELL HOUSE
HRA and/or Designation By-law Number: SECTION 225 Subsection 2 Clause b i i
Date of Commencement: LATE SPRING 2024
Date of Anticipated Completion: SUMMER 2024

1. This project is for:

- Structural work, seismic upgrading, foundations, perimeter and storm drains, chimneys and masonry work, fascias, gutters and downspouts, roofs
- Exterior rehabilitation and repairs of the building's historic character (exterior cladding, woodwork and trim, doors and windows, including storm windows)
- Exterior preparation and painting
- Reconstruction of missing significant architectural elements
- Designated interior features
- Other: _____

2. Provide a clear, brief statement of the purpose of the project.

Repair ROOF, CLEAN + RESTORE
TO MAINTAIN EXISTING ROOF

3. Provide an itemized list of all work to be undertaken by this project.

CLEAN CEDAR ROOF
APPLY TIMBER PRO ROOF TREATMENT

4. Please attach three quotations to undertake the list of work itemized in #3. Ensure that all quotations are based on identical requirements. Applications that include fewer than three quotations may be considered at the discretion of the Heritage Advisory Commission. Applications for material costs only may be submitted for consideration.

Quotation #1 from: TBH ROOFING Cost: \$16825.00

Quotation #2 from: LION'S ART ROOFING Cost: \$11,130.00

Quotation #3 from: SOUTH-WEST RESTORATION Cost: \$7310.00

Please indicate your preferred supplier: #3 SOUTHWEST

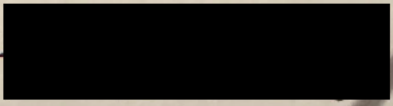
5. Project Cost Summary

		Approved	Pending
Applicant's contribution	\$ 3655.00 (50 %)		
Heritage Legacy Fund of BC	\$ (%)		
Request from City of Surrey	\$ 3655.00 (50 %)		
Total Cost of the Project	\$ (%)		

The applicant is advised not to begin the project prior to confirmation of funding. **Work already completed or in progress may not qualify for assistance.** Please note that no payment shall be made more than one year after the date of approval of the financial assistance application by Council. Applicants will be responsible for the payment of all project costs to the approved supplier(s). The applicant will provide detailed, legible, and verifiable receipts confirming supplier payments when requesting reimbursement of costs from the City. Change of preferred supplier(s) is not permitted without prior written approval of the City. Failure to provide adequate proof of payment or use of non-authorized suppliers may result in non-reimbursement of costs incurred.

If funds are granted, the City of Surrey reserves the right to inspect the work and to promote the project through photographic documentation and through media announcements.

CHRISTIE McConkey
Authorized Signing Officer



March 25, 2011
Date

Return to:
Surrey Heritage Advisory Commission
c/o Legislative Services, 13450-104 Avenue V3T 1V8
h:\shac\corresp\2011\oct 2011 shac application for financial assistance.doc
Thu 9/21/21 10:46 AM

CITY OF SURREY

MAYOR'S REPORT



E



Proclamation

Annual Day of Mourning for Workers Killed and Injured on the Job

April 28, 2023

WHEREAS every year, more than 1,000 Canadian workers are killed on the job; and

WHEREAS thousands more are permanently disabled; and

WHEREAS hundreds of thousands are injured; and

WHEREAS thousands of others die from cancer, lung disease, and other ailments caused by exposure to toxic substances at their workplaces; and

WHEREAS April 28th of each year has been chosen by the Canadian Labour Congress as:

- a Day of Mourning for these victims of workplace accidents and disease;
- a day to remember the maximum sacrifice they have been forced to make in order to earn a living;
- a day to renew approaches to governments for tougher occupational health and safety standards, and more effective compensation; and
- a day to rededicate ourselves to the goal of making Canada's workplaces safer;

NOW, THEREFORE, BE IT RESOLVED that I, Brenda Locke, do hereby declare April 28, 2023, as a "Day of Mourning" in the City of Surrey, in recognition of workers killed, injured or disabled on the job.

Mayor Brenda Locke
City of Surrey



Proclamation

Emergency Preparedness Week

May 5 – 11, 2024

WHEREAS Emergency Preparedness Week is designed to increase public awareness of the risks, planning and preparations that are necessary to be ready for any type of emergency or disaster; and

WHEREAS Emergency Preparedness Week is an opportunity to encourage residents to take concrete action to be better prepared to protect themselves, their families and communities during emergencies; and

WHEREAS The City of Surrey encourages all citizens to:

- Have a Family Emergency Plan in place,
- Be prepared with emergency supplies to cope on your own, for at least 72 hours,
- Sign up for Alertable to receive alerts during critical events,
- Recognize the hazards in our area such as floods, winter storms, power outages, hazardous materials, earthquakes, etc.; and

WHEREAS The City of Surrey acknowledges the critical role volunteers provide during a disaster response; and

WHEREAS Safety of our community is the responsibility of each and every one of us; we must prepare now and learn how to plan for a resilient response; and

NOW, THEREFORE, BE IT RESOLVED that I, Brenda Locke, do hereby proclaim May 5-11, 2024 as “Emergency Preparedness Week” in the City of Surrey.

Mayor Brenda Locke
City of Surrey



Proclamation

International Celiac Awareness Month

May 2024

WHEREAS Celiac Disease is often misunderstood as a gluten allergy, but it is actually an autoimmune disease, closely linked with diabetes and thyroid disease; and

WHEREAS the Canadian Celiac Association wants to support those that have Celiac Disease find the resources they need; and

WHEREAS International Celiac Awareness Month raises awareness that Celiac Disease is not a rare disease, as approximately 1% of the population have Celiac Disease and 80% of those individuals are undiagnosed; and

WHEREAS there are many faces of those living with Celiac Disease who are looking to be recognized in the medical community.

NOW, THEREFORE, BE IT RESOLVED that I, Brenda Locke, do hereby proclaim May 2024 as “International Celiac Awareness Month” in the City of Surrey.

Mayor Brenda Locke
City of Surrey

CITY OF SURREY

COUNCILLORS' REPORTS



CITY OF SURREY

CORPORATE REPORTS



NO: R070

COUNCIL DATE: April 22, 2024

REGULAR COUNCIL

TO: Mayor & Council **DATE: April 17, 2024**

FROM: General Manager, Corporate Services **FILE: 0540-20**

SUBJECT: E-Comm 9-1-1 – Nomination to the Board of Directors and Representative for the Annual General Meeting - 2024 to 2025 Term

RECOMMENDATION

The Corporate Services Department recommends that Council:

1. Approve Terry Waterhouse, General Manager, Social Infrastructure and Community Investments, as a designate for election to the E-Comm Board of Directors (the "Board");
2. Endorse the individual chosen by the Township of Langley as a designate for election to the Board;
3. Designate Terry Waterhouse, General Manager, Social Infrastructure and Community Investments, as the City of Surrey's representative to the 2024 Annual General Meeting ("AGM") and generally for any required business prior to the 2025 AGM of the Shareholders of E-Comm; and
4. Authorize the City Clerk to forward a copy of the resolution to E-Comm, the City of Langley, City of White Rock and the Township of Langley.

INTENT

The purpose of this report is to request Council's approval to designate a City of Surrey representative for election to the Board, endorse the individual chosen by the Township of Langley as a designate for election to the Board and designate a City of Surrey representative to the 2024 AGM of the Shareholders of E-Comm, and to represent the City generally for any required business prior to the 2025 AGM.

BACKGROUND

E-Comm is the largest emergency communications centre in British Columbia with the largest multi-jurisdictional radio network of its kind in the province. In addition, E-Comm owns and operates one of the largest multi-agency public safety radio networks in North America and is the first point of contact for 9-1-1 callers in Metro Vancouver as well as other regional districts and communities across the province. E-Comm receives approximately 2 million 9-1-1 calls each year, comprising 99% of the province's annual 9-1-1 call volume.

The City of Surrey, White Rock, Langley and the Township of Langley are in the same "Class A" E-Comm shareholders grouping (the "Grouping"). Pursuant to the E-Comm Members Agreement, the four municipalities in the Grouping are entitled to designate two individuals for election to the Board. The seat rotation is outlined in Corporate Report No. R079; 2019 - E-Comm 9-1-1: Board of Directors Seat Rotation and Designate for Election and Designate to the 2019 Annual General Meeting (Appendix "I"). As per the Grouping's decision, the two Board seats have been designated based on approximate population representation. Accordingly, one seat is dedicated to the City of Surrey with the remaining three municipalities sharing the second seat on a rotational basis. The General Manager, Social Infrastructure and Community Investments has represented the City on the E-Comm Board of Directors and at the AGM of the Shareholders of E-Comm for the past seven years.

DISCUSSION

In a letter from E-Comm dated March 27, 2024 (attached to this report as Appendix "II"), it is requested that the name of the mutually agreed nominees to the Board be submitted to E-Comm by May 1, 2024. It is recommended that Council approve Terry Waterhouse, General Manager, Social Infrastructure and Community Investments, as a designate for election to the Board for the 2024/2025 term. It is further recommended that the City advise E-Comm that the City of Surrey will endorse the other designate for election to the Board as selected by the Council of the Township of Langley and approved by the City of Langley and the City of White Rock.

In addition to the above, the Corporate Secretary of E-Comm has advised that the City of Surrey is responsible for designating one individual to attend the AGM of the E-Comm Shareholders for the purpose of voting the City's shares. The primary order of business at the AGM is the election of the E-Comm Board and it is recommended that Terry Waterhouse, General Manager, Social Infrastructure and Community Investments represent the City at the AGM. Mr. Waterhouse will also represent the City for any required business, including attendance at any special meetings called until the next AGM in 2025.

LEGAL SERVICES REVIEW

This report has been reviewed by Legal Services.

CONCLUSION

It is recommended that Council pass a resolution to approve Terry Waterhouse, General Manager, Social Infrastructure and Community Investments, as a designate for election to the Board, endorse the individual chosen by the Township of Langley as a designate for election to the Board, designate Terry Waterhouse, General Manager, Social Infrastructure and Community Investments, as the City of Surrey's representative to the 2024 AGM and any required business prior to the 2025 AGM of the Shareholders of E-Comm; and that the resolution be sent to E-Comm, the City of Langley, the City of White Rock and the Township of Langley.

Joey Brar
General Manager, Corporate Services

Appendix "I": Corporate Report No. R079; 2019 - E-Comm 9-1-1: Board of Directors Seat Rotation and Designate for Election and Designate to the 2019 Annual General Meeting
Appendix "II": Letter dated March 27, 2024 from E-Comm

G. CORPORATE REPORTS

The Corporate Reports, under date of May 13, 2019, were considered and dealt with as follows:

Item No. Ro79 E-Comm 9-1-1: Board of Directors Seat Rotation and Designate for Election and Designate to the 2019 Annual General Meeting
File: 7150-20 (E-Comm)

The General Manager, Corporate Services submitted a report to request Council's approval of the proposed seat rotation for the E-Comm Board, designate a City of Surrey representative for election to the Board, endorse the individual chosen by the City of Langley as a designate for election to the Board and designate a City of Surrey representative to the 2019 AGM to the Shareholders of E-Comm.

It was

Moved by Councillor Guerra
Seconded by Councillor Patton
That Council:

1. Approve the following rotation of the two shared E-Comm 9-1-1 ("E-Comm") Board of Director seats beginning with the 2019 E-Comm Annual General Meeting and continuing forward:
 - City of Surrey – one dedicated, continuing Board of Director seat;
 - City of Langley – two-year term (beginning the 2019 Annual General meeting);
 - City of White Rock – two-year term (beginning the 2021 Annual General meeting); and
 - Township of Langley – four-year term (beginning the 2023 Annual General meeting).
2. Approve Terry Waterhouse, General Manager, Policing Transition, as a designate for election to the E-Comm Board of Directors ("Board");
3. Endorse the individual chosen by the City of Langley as a designate for election to the Board;
4. Designate Terry Waterhouse, General Manager, Policing Transition, as the City of Surrey's representative to the 2019 Annual General Meeting ("AGM") of the Shareholders of E-Comm; and

REGULAR COUNCIL – PUBLIC HEARING MINUTES

MONDAY, MAY 13, 2019

5. Authorize the City Clerk to forward a copy of the resolution to E-Comm, the City of Langley, City of White Rock and the Township of Langley.
- RES.R19-890 Carried

CORPORATE REPORT

NO: R079

COUNCIL DATE: May 13, 2019

REGULAR COUNCIL

TO: Mayor & Council

DATE: May 8, 2019

FROM: General Manager, Corporate Services

FILE: 7150-20 (E-Comm)

SUBJECT: E-Comm 9-1-1: Board of Directors Seat Rotation and Designate for Election and Designate to the 2019 Annual General Meeting

RECOMMENDATION

The Corporate Services Department recommends that Council:

1. Approve the following rotation of the two shared E-Comm 9-1-1 ("E-Comm") Board of Director seats beginning with the 2019 E-Comm Annual General Meeting and continuing forward:
 - City of Surrey – one dedicated, continuing Board of Director seat;
 - City of Langley – two-year term (beginning the 2019 Annual General meeting);
 - City of White Rock – two-year term (beginning the 2021 Annual General meeting); and
 - Township of Langley – four-year term (beginning the 2023 Annual General meeting).
2. Approve Terry Waterhouse, General Manager, Policing Transition, as a designate for election to the E-Comm Board of Directors ("Board");
3. Endorse the individual chosen by the City of Langley as a designate for election to the Board;
4. Designate Terry Waterhouse, General Manager, Policing Transition, as the City of Surrey's representative to the 2019 Annual General Meeting ("AGM") of the Shareholders of E-Comm; and
5. Authorize the City Clerk to forward a copy of the resolution to E-Comm, the City of Langley, City of White Rock and the Township of Langley.

INTENT

The purpose of this report is to request Council's approval of the proposed seat rotation for the E-Comm Board, designate a City of Surrey representative for election to the Board, endorse the individual chosen by the City of Langley as a designate for election to the Board and designate a City of Surrey representative to the 2019 AGM to the Shareholders of E-Comm.

BACKGROUND

E-Comm is the largest emergency communications centre in BC. E-Comm owns and operates one of the largest multi-agency public safety radio networks in North America and is the first point of contact for 9-1-1 callers in Metro Vancouver and 25 other regional districts and communities across BC. E-Comm is the largest multi-jurisdictional radio network of its kind in BC and is responsible for approximately 1.6 million 9-1-1 calls a year, which is 99% of the province's 9-1-1 call volume.

The City of Surrey, the City of White Rock and the Township of Langley have been in the same "Class A" E-Comm shareholders grouping (the "Grouping") since 1998. Since 1999, the City of Surrey has exclusively occupied one of the two Board seats, while the Township of Langley and the City of White Rock alternated the second seat from year to year.

In 2018, the City of Langley also became a Class A shareholder and joined the Grouping. Pursuant to the E-Comm Members Agreement, the four municipalities in the Grouping are entitled to designate two individuals for election to the Board. At that time, the Grouping determined that the City of Surrey would retain one seat on the Board and would endorse the individual chosen by the City of White Rock, the City of Langley and the Township of Langley to occupy the second seat.

DISCUSSION

In early 2019, the four municipalities in the Grouping determined that the sharing of the two allotted Board seats would be most equitable based on approximate population representation. A schedule has been set out that dedicates one seat to the City of Surrey with the remaining three municipalities sharing the second seat on a rotational basis beginning at the 2019 Annual General meeting ("AGM") scheduled for June 20, 2019.

The schedule for the shared seat is as follows:

- City of Langley – two-year term (beginning at the 2019 AGM);
- City of White Rock – two-year term (beginning at the 2021 AGM); and
- Township of Langley – four-year term (beginning at the 2023 AGM).

In a letter from E-Comm dated March 29, 2019 (attached to this report as Appendix "I"), it is requested that the name of the mutually agreed nominees to the Board be submitted to E-Comm by May 17, 2019. It is recommended that Council approve Terry Waterhouse, General Manager, Policing Transition, as a designate for election to the Board for the 2019/2020 term. It is further recommended that the City advise E-Comm that the City of Surrey will endorse the other designate for election to the Board as selected by the Council of the City of Langley and approved by the City of White Rock and the Township of Langley.

In addition to the above, the Corporate Secretary of E-Comm has advised that the City of Surrey is responsible for designating one individual to attend the AGM of the E-Comm Shareholders for the purpose of voting the City's shares. The primary order of business at the AGM is the election of the E-Comm Board and it is recommended that Terry Waterhouse, General Manager, Policing Transition represent the City at the AGM.

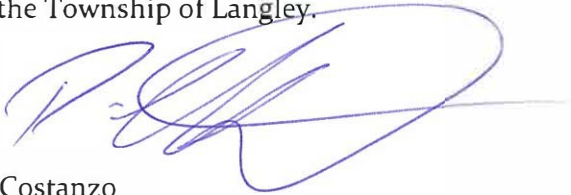
SUSTAINABILITY CONSIDERATIONS

The work of this report supports the objectives of the City's Sustainability Charter 2.0. In particular, this work relates to the Sustainability Charter 2.0 theme of Public Safety. Specifically, the proposed seat rotation supports the following Desired Outcomes ("DO"):

- Community Safety and Emergency Services Do2: Police and fire services provide timely and reliable responses across the City; and
- Community Safety and Emergency Services Do5: Surrey is recognized and perceived as a leader in establishing and maintaining collaborative partnerships for community safety and well-being.

CONCLUSION

It is recommended that Council pass a resolution to confirm the arrangement for sharing two seats on the E-Comm Board of Directors, approve Terry Waterhouse, General Manager, Policing Transition, as a designate for election to the Board, endorse the individual chosen by the City of Langley as a designate for election to the Board, designate Terry Waterhouse, General Manager, Policing Transition, as the City of Surrey's representative to the 2019 AGM of the Shareholders of E-Comm; and that the resolution be sent to E-Comm, the City of Langley, the City of White Rock and the Township of Langley.



Rob Costanzo
General Manager, Corporate Services

*Appendix available upon request

Appendix "I": Letter dated March 29, 2019 from E-Comm

VIA EMAIL – c/o clerks@surrey.ca

March 27, 2024

Mayor Brenda Locke and Council
 City of Surrey
 13450 104 Avenue
 Surrey, BC V3T 1V8

Dear Mayor Locke and Council,

RE: E-Comm Board of Directors Designate — 2024-2025 Term

The Annual General Meeting (the “Meeting”) of the shareholders (the “Members”) of E-Comm *Emergency Communications for British Columbia Inc.* (“E-Comm”) will be held on Thursday, June 20, 2024 and, at that time, the Board of Directors (the “Board”) will be elected by the Members for the 2024-2025 term.

Selection of Nominee for 2024-2025 Term

The Members’ Agreement sets out how the Board of Directors will be elected. For your reference, we attach a copy of section 4.2 of the Members’ Agreement, headed “Designation and Election of Directors” as Schedule “A” of this letter.

Your organization falls into the Designated Grouping that is described in subsection 4.2.1.5. Under Section 4.2.1.5, your Designated Group of Members is entitled to nominate two mutually agreed upon individuals for election to the Board of Directors of E-Comm. At present, your grouping is comprised of these municipalities:

	Class A	Class B
City of Langley	1	-
Township of Langley	2	1
City of Surrey	2	1
City of White Rock	2	-

Nominee Request

Terry Waterhouse, City of Surrey and Councillor Tim Baillie, Township of Langley represent your municipality on the E-Comm Board of Directors.

In 2023 alone, the E-Comm Board of Directors saw 10 of the 18 nominated Directors turnover (twice in one jurisdiction) affecting the Board’s ability to govern the organization effectively. Given the significant transformation underway at E-Comm and the considerable learning curve that new Directors experience before feeling fully engaged and able to contribute, the re-nomination of Terry Waterhouse and Councillor Baillie will provide the organization with consistency as we continue to move E-Comm forward.

Because your Designated Grouping must mutually agree upon your nominee, **we respectfully request that the City of Surrey confer with the other members of your grouping to confirm the re-nomination of Terry Waterhouse and Councillor Baillie for the coming term.**

Alternate Nominees

In the event that the City of Surrey does not re-nominate the current Director, it is requested that the nominee possess the experience, skills, and attributes to effectively serve the best interests of all Members and our other stakeholders. The nominee does not need to be an elected official and can be city staff or another individual



connected to your municipality. E-Comm is specifically looking to fill the gaps identified in the most recent Board of Directors Skills Matrix, which highlighted the need for Directors with the following expertise:

- Financial Literacy and Audit
- Information Technology
- Risk and Compliance
- Stakeholder Relations

We note too, E-Comm's objectives to broaden the participation of individuals from underrepresented and marginalized backgrounds, identities and lived experiences. We are working towards ensuring diversity of thought, perspective, and lived experience at the board level.

Next steps

We kindly request that you reply to us with written confirmation by Wednesday, May 1, 2024, of your nominee's name and contact information to the E-Comm Board for the 2024-2025 term.

FAQ

We have included an FAQ document which provides additional information regarding the nomination of Directors to the E-Comm Board as Schedule "B".

AGM Voting Representative

Please note that nominating a director is a separate process from designating a representative to vote your share(s) at the Annual General Meeting (the "AGM") in June. As such, we will contact you again in mid-May with the Notice of AGM and request that you designate one individual to attend the Annual General Meeting of the Shareholders to vote the City of Abbotsford share(s). If you prefer, you can designate your nominee to vote your share(s), which is quite common amongst Shareholders.

If you have any questions, do not hesitate to get in touch with me using the contact information below.

Sincerely,



Li-Jeen Broshko, KC
Corporate Secretary

c | 604-375-0333
e | LBroshko@ecomm911.ca

cc Terry Waterhouse, City of Surrey
Councillor Tim Baillie, Township of Langley
Jennifer Ficocelli, City of Surrey, City Clerk

Agency established for the purposes of holding a Class A Share in place of that Special User becomes a Member.

4. BOARD OF DIRECTORS

4.1 BOARD OF DIRECTORS

The Company shall have a Board comprised of not less than three nor more than twenty-five directors, with the actual number of directors as determined by the Class A Members as provided below.

4.2 DESIGNATION AND ELECTION OF DIRECTORS

4.2.1 The Members shall be entitled to designate directors as hereinafter provided:

4.2.1.1 one individual designated by the BCEHS;

4.2.1.2 one individual designated by Vancouver;

4.2.1.3 one individual designated by the Vancouver Police Board;

4.2.1.4 one individual designated by the following group:

(a) each Police Board which directly holds a Class A Share or Class B Share, other than Vancouver Police Board and Delta Police Board; and

(b) each Police Board which has a Class A Share or Class B Share in respect of Police Services held by its respective municipality, other than Vancouver Police Board and Delta Police Board;

4.2.1.5 such number of individuals as are set forth below, to be designated by the following designated group of Class A Members or Class B Members (each group being called a "Designated Group of Members"), if one or more of the Municipalities within a Designated Group of Members is a Class A Member or a Class B Member, as hereinafter set forth:

No. of Individuals which may be Designated	Designated Group of Members
1	West Vancouver, North Vancouver City, North Vancouver District and Lions Bay
1 or 2	2 individuals if Burnaby, together with any one or more of New Westminster, Coquitlam, Port Moody, Port Coquitlam, Anmore and Belcarra are a Member; provided however that if Burnaby is not a

Member, any one or more of New Westminister, Coquitlam, Port Moody, Port Coquitlam, Anmore and Belcarra which is a Member can designate 1 individual to be a director

- 1 Richmond
- 2 Surrey, White Rock, Langley City and Langley District
- 1 Delta and the Delta Police Board
- 1 Maple Ridge, Pitt Meadows and Mission
- 1 Abbotsford, Chilliwack and Fraser Valley Regional District
- 1 Squamish, Lillooet and Sechelt;

and

- 4.2.1.6 One individual designated by all other Members holding Class A Shares and Metro Vancouver, other than as set forth in Sections 4.2.1.1 to 4.2.1.5, inclusive.
- 4.2.2 The RCMP, and in replacement therefor upon the Government Agency referred to in Section 3.7.1 becoming a Class A Member, that Government Agency, shall be entitled to designate one individual to act as director.
- 4.2.3 If provided in a Special User Agreement entered into pursuant to Section 3.7.2 or if otherwise authorized by the Board under Section 4.11.3, each Special User, and in replacement therefor upon the Government Agency for that Special User referred to in Section 3.7.2 becoming a Class A Member, that Government Agency, shall be entitled to designate one individual to act as director.
- 4.2.4 The group comprised of: the Capital Regional District and those Vancouver Island police agencies, including any RCMP detachment, to which the Company provides police dispatching services shall be entitled to designate one individual to act as director.
- 4.2.5 The Provincial government, acting through the Ministry of Public Safety and Solicitor General, whether it holds a Class A Share or not, shall be entitled to designate two individuals to act as directors.
- 4.2.6 Subject as hereinafter provided, the directors designated pursuant to Sections 4.2.1, 4.2.2, 4.2.3 and 4.2.4 shall designate five additional persons, independent from the Members, to be directors the Company (the "Independent Directors"), who have an interest or expertise in the Purpose or the Company Services to be provided by the Company.

- 4.2.7 The Members agree to vote their Class A Shares for the election as directors of the persons designated pursuant to Sections 4.2.1, 4.2.2, 4.2.3, 4.2.4, 4.2.5 and 4.2.6.
- 4.2.8 For the purposes of Section 4.2.1.5, upon anyone or more Municipalities within a Designated Group of Members becoming a Class A Member or a Class B Member, such Municipality or Municipalities will be entitled to designate the individual to be a director for the purposes of Section 4.2.1.5. As additional Municipalities within that Designated Group of Members become Class A Members or Class B Members, as the case may be, such additional Municipalities shall be deemed to have agreed to the individual as designated and elected a director for that Designated Group of Members and no changes will be required to be made with respect to any such individual, unless such individual shall cease to be a director in any other manner such as resignation, until the next following annual general meeting or annual consent resolution. Prior to any annual general meeting or annual consent resolution of the Class A Members, a Designated Group of Members shall agree on the individual to be designated by them for the purpose of Section 4.2.1.5 within a time period sufficient for that individual's name to be placed before the Class A Members, as determined by the Board.

4.3 VACANCIES ON BOARD

Any vacancies on the Board created by an individual designated under Section 4.2.1, 4.2.2, 4.2.3, 4.2.4 or 4.2.5 shall be filled by an individual designated by the Member or Members who designated the individual who is no longer a director, the Special User who designated the individual who is no longer a director, or the Provincial government, as the case may be, and any vacancies in any Independent Directors shall be filled by the remaining directors in accordance with Section 4.2.6.

4.4 NO RESTRICTIONS ON AFFILIATION TO MEMBERS

Directors designated pursuant to Section 4.2.1 may be appointed or elected officials from a Member or may be persons from the general public with no affiliation to a Member.

4.5 REMUNERATION FOR DIRECTORS

Directors shall be entitled to fees for acting as a director of the Company, as determined in an Authorized Operating Budget. All directors may be paid reasonable expenses incurred when acting as directors.

4.6 QUORUM AT DIRECTORS MEETINGS

The quorum for all meetings of the Board shall consist of a majority of the directors. Meetings of the Board shall be held in accordance with the Articles of the Company and this Agreement.

4.7 EXECUTIVE MEMBER OF THE BOARD

Board of Directors: Common Questions & Background

Q. How should the nominating resolution of our council/board read?

- A. Exact wording is at the discretion of your organization; however council/board motions should include the name of the nominee, specification of the E-Comm of Directors (the "Board") term (e.g. 2024-2025) and reference to election at the Annual General Meeting of E-Comm shareholders (the "Members").

For example "THAT (enter municipality/board/organization) nominate (name) to serve as the nominee of (municipality/board/organization) to the Board for the 2024-2025 term, such Board to be elected by the Members at the June 20, 2024 Annual General Meeting."

Q. What is the role of the Board ?

- A. The Board is responsible for stewardship of the entire E-Comm organization – it provides strategic oversight of the business and affairs of the company. The Directors are also the most senior representatives of the organization to the public and our stakeholders. To conduct its work efficiently, the Board has three standing committees: Finance, Governance and Public Affairs, and People and Culture (the "Committees").

Q. Who elects the Board?

- A. The Members elect the Board at the Annual General Meeting (the "AGM") of the Company. A members' agreement among the Members (the "Members' Agreement") sets out who may select nominees to the Board. Nominating entities are expected to select their nominee and advise the Corporate Secretary of the name of their nominee by May 1, 2024 – the candidate is then put forward for election by the Members-at-large at the AGM in June 2024.

Q. What time commitment is required of Directors?

- A: The Board typically holds five regular meetings each year, during business days, typically for four hours. The meeting schedule is published well in advance. The Committees also meet five times each year, during the business day, for approximately two hours each meeting.
- Two additional sessions occur annually: a Board orientation session for new Directors (typically half-day) and a strategic planning session (typically 1-2 full-days).

As a best governance practice, the Board does expect a high attendance rate from its Directors.

Q. Why is the Directors term only one year? Can we nominate someone for more than one term?

- A. E-Comm's Articles specify a term of one year. Nominating entities may advise the Corporate Secretary in writing if they wish their nominee's name to stand for election for a specific number of terms (e.g. four). However, the Corporate Secretary must confirm in writing each year that the standing nomination remains intact, however there will be no further action for the nominating entity unless they wish to make a change from their previous direction.

E-Comm Board of Directors: Common Questions & Background

In the case of nominating entities that are part of a grouping, the Corporate Secretary must receive written confirmation from each nominating entity of the standing nomination, including specification of number of terms. The direction must be consistent among all members of the grouping; otherwise all members of the grouping must be contacted each year asking for confirmation of the nomination.

Q. If my organization/municipality is part of a grouping, do we have to agree on the nominee?

A. The Members' Agreement specifies that each designated group of members shall agree on their individual nominee. Consultation on a mutually-agreeable nominee should be undertaken prior to advising the Corporate Secretary of the name of the nominee.

Q. What is the difference between nominating a Board Director and sending someone to the AGM?

A. The individual board nominees, once elected at the AGM, will serve on the Board throughout the coming year, attending various board and committee meetings, and participating in the supervision of the organization's affairs. Your organization's representative at the AGM is simply the person who attends the AGM that day on behalf of your organization, and votes your share on any resolutions or votes which occur at the AGM that day. That person's role and duties cease after the AGM has adjourned.

Q. Why do you contact us in March when the Board is not appointed by Members until June?

A. We provide sufficient notice of the process to allow for conferring with other Members of Member groupings, council and or other motions that may be required.

Q. What do Directors receive for remuneration?

A. Meeting rates are \$397 per meeting (for Directors who are not full-time employees of a Member, the Provincial Government or special user), twice that amount for meetings longer than four hours in duration. Board meetings are generally less than four hours.

Q. Who do I contact with questions?

A. Li-Jeen Broshko, KC, Corporate Secretary, 604-375-0333

E-Comm Board of Directors: Common Questions & Background

About the Annual General Meeting

Q. What is an AGM?

A. A general meeting of all the Members is required to occur at least once annually under the *Business Corporations Act* (BC), which regulates E-Comm’s corporate governance.

Q. What happens at an AGM?

A. The compulsory items on the agenda are the election of directors, the appointment (or reappointment) of the auditors, and the presentation of previous year’s financial statements. Usually, a number of additional items are also placed on the agenda, such as a general report from the directors, or presentations on new initiatives. Special business items could also be dealt with (such as changing the Corporate Articles), but Members would receive notice of any special business with the notice of meeting.

Q. Who should attend AGM?

A. A representative of the Member should attend the AGM to vote on the matters listed above including electing the Board.

Q. What are Members entitled to vote on?

A. Holders of Class A shares have one vote per share on all matters requiring a vote at the AGM, including any items of special business. Class B shares are generally non-voting, except for matters which involve certain fundamental changes – these are listed and specified in the Articles.

Q. What is the voting process at the AGM?

A. Votes are conducted by a simple show of hands (voting cards) unless a Member demands at the meeting that a formal ballot or “poll” vote occur on a particular resolution.

Q. What if no one can attend, can we proxy our vote?

A. Yes. A Member can appoint a proxyholder (in writing) to attend and vote on the Member’s behalf at the AGM. The proxyholder need not be a Member themselves.

Proxies must be in writing, must specify the name of the Member, the identity of the proxyholder, and reference the AGM in question. They must be signed by an authorized signatory of the Member. Proxies must be pre-registered with E-Comm at least 3 business days prior to the AGM.

Q. How will my shares be voted if I return a proxy?

A. Proxies usually grant the proxyholder the ability to vote on all matters at the meeting, in their discretion. If a Member wishes, it can restrict that discretionary power by stating in the proxy form that its shares

E-Comm Board of Directors: Common Questions & Background

must be voted in a certain manner on specified resolutions or votes which it anticipates will be before the meeting. Such language, if included, needs to be clear and unambiguous.

Q. Can a proxy be revoked?

A. Once granted, proxies can also be revoked, but written revocation signed by the Member must be given to E-Comm at least one business day prior to the AGM.

Q. Who chairs the AGM?

A. E-Comm's Articles specify that the chair of the Board will also chair the AGM.

Q. How important is it that we send someone?

A. As a Member we strongly urge in-person attendance to ensure shares are represented.

Q. What if I have a question about the AGM?

A. Contact Li-Jeen Broshko, KC, Corporate Secretary, 604-375-0333

NO: R071

COUNCIL DATE: April 22, 2024

REGULAR COUNCIL

TO: **Mayor & Council**

DATE: **April 17, 2024**

FROM: **General Manager, Corporate Services**

FILE: **0710-60**

SUBJECT: **Award of Contract No.1220-020-2023-003
Guildford Recreation Centre Flat Roofs Replacement (Phase 2)**

RECOMMENDATION

The Corporate Services Department recommends that Council:

1. Award additional work (Phase 2) under Contract No. 1220-020-2023-003 (Phase 1 Corporate Report No. R109; 2023, attached as Appendix "I") to Flynn Canada Ltd for \$835,075.50 (including all applicable taxes);
2. Set the expenditure authorization limit for Phase 2 of Contract No. 1220-020-2023-003 to \$1,002,090.00 (including applicable taxes and contingency); and
3. Authorize the General Manager, Corporate Services to execute Phase 2 of Contract No. 1220-020-2023-003.

INTENT

The purpose of this report is to obtain Council's approval to award additional work under the contract related to replacement of Guildford Recreation Centre Flat Roofs Phase 2 ("the Project") to Flynn Canada Ltd.

BACKGROUND

Guildford Recreation Centre's existing roof was installed in 1997 and is now at the end of its service life and needs to be replaced.

On May 19, 2023, an Invitation to Tenders No. 1220-020-2023-003 ("the ITT") was issued for the Guildford Recreation Centre Roof Replacement project. The ITT was advertised on the City website, and posted on the BC Bid Website, with a closing date of June 16, 2023. The ITT included a separate price requested for the replacement of the flat roof areas. The price for the flat roofs (Phase 2) quoted by Flynn Canada Ltd. was \$889,560.00, inclusive of taxes. Due to a change in the warranty terms of the Phase 2 roof replacement project, the price is reduced to \$835,075.50 inclusive of taxes.

Flynn is currently onsite in the process of finalizing Phase 1 of the roof replacement project which was awarded to Flynn by Council on July 6, 2023.

Phase 2 project work consists of the removal and disposal of the existing 2-ply SBS bitumen membrane roof system and the supply and installation of a new 2-ply asphalt and synthetic rubber (“SBS”) roof system, including all new insulation, roof drains, and metal flashing.

Phase 2 of the roof replacement project is expected to start on or before May 6, 2024, and will be completed by August 2024, dependent on weather conditions.

FUNDING

Funding for this contract is available in the approved Financial Plan.

LEGAL SERVICES REVIEW

This report has been reviewed by Legal Services.

CONCLUSION

The Guildford Roof Replacement project represents an important capital upgrade to a key City facility. Flynn Canada Ltd.’s past and current performance on similar work has been satisfactory. Corporate Services recommend that Flynn Canada Ltd. be awarded Contract No. 1220-020-2023-003.

Joey Brar
General Manager, Corporate Services

Appendix “I”: Corporate Report No. R109; 2023 Award of Contract No. 1220-020-2023-003 Guildford Recreation Centre Roof Replacement

NO: R109

COUNCIL DATE: July 10, 2023

REGULAR COUNCIL

TO: Mayor & Council

DATE: July 6, 2023

FROM: General Manager, Planning & Development

FILE: 0710-60
(Guildford Recreation Centre)

SUBJECT: Award of Contract No. 1220-020-2023-003
Guildford Recreation Centre Roof Replacement

RECOMMENDATION

The Planning & Development Department recommends that Council:

1. Award Contract No. 1220-020-2023-003 to Flynn Canada Ltd. for \$1,375,000.00 including applicable taxes;
2. Set the expenditure authorization limit for Contract No. 1220-020-2023-003 to \$1,513,000.00 including applicable taxes and contingency; and
3. Authorize the General Manager, Planning & Development to execute Contract No. 1220-020-2023-003.

INTENT

The intent of this report is to obtain Council approval to award a contract related to the roof replacement for Guildford Recreation Centre ("the Project") to Flynn Canada Ltd.

DISCUSSION

Scope of Work

The work consists of the removal and disposal of the existing thermoplastic polyolefin ("TPO") roof system and the supply and installation of a new 2-ply asphalt and synthetic rubber ("SBS") roof system, including all new insulation, roof drains, metal flashing, as well as enhanced snow retention systems and roof anchors, as identified in the drawings and specifications.

Request for Quotations Results

On May 19, 2023, an Invitation To Tenders ("ITT" No. 1220-020-2023-003) was issued for the Project. The ITT was advertised on the City website, and posted on the BC Bid Website, with a closing date of June 16, 2023. Five submissions were received, as below.

<i>Contractor</i>	<i>Tendered Amount with GST</i>	<i>Adjusted Amount</i>
1. Flynn Canada Ltd.	\$1,456,287.00	\$1,375,337.25
2. Bothwell-Accurate Company BC Ltd.	\$1,488,217.50	\$1,399,860.00
3. Transwest Roofing Ltd.	\$1,581,720.00	No change
4. Cascade Roofing & Exteriors Inc.	\$1,664,281.50	No change
5. Cambie Roofing Contractors Ltd.	\$1,924,650.00	No change

Evaluation

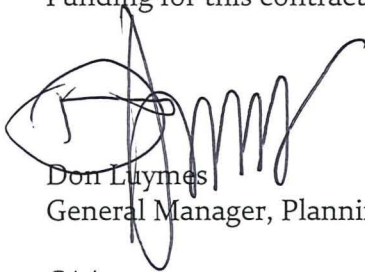
The submissions were reviewed for accuracy and completeness. Flynn Canada Ltd. has provided the lowest quotation price and represents the best value to the City. 'Adjusted Amount' indicates the City accepted an alternate warranty price. Flynn Canada Ltd.'s past performance on similar work has been satisfactory. They have no outstanding legal claims against the City. It is recommended that Flynn Canada Ltd. be awarded Contract No. 1220-020-2023-003.

Project Scope

The contract work is expected to start in September 2023, and be completed by January 2024.

FUNDING

Funding for this contract is available in the approved 2023 Capital Budget.



Don Luymes
General Manager, Planning & Development

CA/ss

NO: R072

COUNCIL DATE: April 22, 2024

REGULAR COUNCIL

TO: **Mayor & Council** DATE: **April 15, 2024**

FROM: **General Manager, Social Infrastructure & Community Investments** FILE: **6750-01**
General Manager, Parks, Recreation & Culture
General Manager, Finance

SUBJECT: **Updated Governance and Funding Model for Tourism in Surrey**

RECOMMENDATION

The Social Infrastructure & Community Investments Department, the Parks, Recreation & Culture Department and the Finance Department recommend that Council:

1. Receive this report for information;
2. Endorse the conditions for renewal for the Municipal and Regional District Tax, as described in this report; and
3. Endorse the new revenue distribution model, as described in this report.

INTENT

The purpose of this report is to provide Council with information on the Municipal and Regional District Tax ("MRDT") and to seek Council endorsement of the renewal conditions and the amended MRDT distribution model which includes a 0.4% allocation to the City.

BACKGROUND

The MRDT was established in 1987 by the provincial government with the aim of bolstering funding for local tourism initiatives, programs, and projects. The tax is intended to help grow BC revenues, visitation and amplify BC's tourism marketing efforts. The MRDT program is jointly administered by the Ministry of Finance, Ministry of Tourism, Arts and Culture, and Destination BC.

The MRDT comprises of a levy of up to three percent on the sales of short-term accommodation within designated areas of British Columbia, including hotels, motels, resorts, bed and breakfasts, and on-line accommodation providers ("OAPs") such as Airbnb and VRBO.

The MRDT is remitted by accommodation providers to the Province. The Province subsequently provides the funds to the designated recipient of the MRDT, which in this case is the City of Surrey. The City then remits funds to Discover Surrey, the City's official Destination Marketing Organization ("DMO") which is responsible for promoting Surrey as a tourist destination, and to the Surrey Hotel and Motel Association (the "SHMA"), the industry association representing accommodation providers in Surrey. The roles and responsibilities of each organization are further described in Appendix "I".

In Surrey, the MRDT rate is 3% of the total purchase price of accommodation. Under Section 240 of the *Provincial Sales Tax Act*, the City is authorized as the designated recipient to receive the tax revenues collected by the Province and allocate these funds towards destination promotion initiatives. Presently, the distribution of the 3% MRDT revenue is allocated as follows:

- 2% is allocated to Discover Surrey for the implementation of tourism marketing strategies;
- 0.8% is designated to SHMA to boost hotel stays in Surrey;
- 0.2% is retained by the Province to support their destination development fund; and
- 0.0% is retained by the City.

While the City does not currently retain any of the MRDT funds for its own use, the City is still responsible to the Province for the appropriate and eligible use of the funds as the designated recipient. As such, the City is responsible for reviewing and approving Discover Surrey and the SHMA's strategic plans and financial statements before submitting them to the Province each year as part of its regulatory compliance requirements.

DISCUSSION

Since the current five-year MRDT agreement came into effect on May 1, 2020, annual MRDT revenues have increased significantly from \$1.4 million in 2021 to \$2.6 million in 2023. This increase in revenue is due to an increase in post-pandemic travel as well as a reduction in the number of hotels and available rooms in Surrey, increasing average room rates across the City. In addition, the OAP portion of the MRDT drastically grew during this period. This considerable increase in revenue has resulted in carryover surpluses of over \$800,000 as of the end of 2023, despite City staff encouraging Discover Surrey and the SHMA to identify strategic uses for the excess funds and draw down the significant surplus.

The City is committed to investing in tourism and to supporting the success of the MRDT program. With the current MRDT agreement concluding on May 31, 2025, Discover Surrey and the SHMA have approached the City seeking a renewal for an additional five years. (See Appendix "II"). Staff has identified the need to collaborate with Discover Surrey and SHMA to streamline the renewal process, enhance governance compliance, and incorporate the retention by the City of a small portion of the MRDT funds to support City-led initiatives to increase tourism in Surrey.

Since 2020, the MRDT revenue has rapidly increased, making Discover Surrey and the SHMA among the largest business organizations regulated by the City. As the designated recipient, the City is responsible for reporting compliance and appropriate utilization of MRDT funds in

accordance with permissible uses. With the projected increase in MRDT revenue in Surrey, the City is proposing various amendments to provide appropriate governance and oversight.

The provincial submission deadline for renewing the MRDT for a further five years is December 1, 2024, as described in Appendix “III”. In recent months, City staff have engaged in extensive consultations to establish the conditions of renewal with accommodation providers represented by the SHMA and the Board of Directors of Discover Surrey. Renewal conditions will mandate enhanced governance and introduce a new funding distribution model as described below.

Conditions of MRDT Renewal

The MRDT in Surrey is set out in the *Municipal and Regional District Tax Bylaw, 2019, No. 19858* (the “MRDT Bylaw”). Staff propose the following two MRDT Bylaw amendments as mandatory conditions of renewal. The details of the two amendments are further discussed in Appendix “IV.”

1. Amendment 1- Mandatory MRDT governance and compliance:

- Includes clarifying the MRDT renewal process with defined roles and responsibilities of the City, Discover Surrey and SHMA;
- Replacing the Council representative on the Discover Surrey Board with City staff to play an oversight, advisory and compliance role for the Board;
- Securing funding for a City of Surrey Tourism and Reporting Coordinator position for a five-year term to support the City with reporting compliance and stakeholder relations; and
- Requiring both the SHMA and Discover Surrey to submit a letter requesting the City to renew the MRDT Bylaw every five years.

2. Amendment 2- Support for sports tourism and major tourism development opportunity:

- Includes securing funding for a City of Surrey Sports Tourism Program Coordinator position for a five-year term; and
- Attracting major events and business conferences and conducting tourism economic assessments.

New MRDT Distribution Model

To facilitate the implementation of the two proposed MRDT Bylaw amendments, staff recommend establishing a revised funding distribution model in Surrey. Under the proposed model, the 3% MRDT will be allocated as follows:

- 1.8% to Discover Surrey;
- 0.6% to the SHMA;
- 0.4% to the City; and
- 0.2% to be retained by the Province.

Based on financial projections provided by the SHMA, the City anticipates receiving approximately \$1.7 million in MRDT revenue between 2025 and 2030 to support City-led tourism initiatives such as enhancing Sports Surrey programming, developing feasibility assessments for entertainment venues such as esports facilities, as well as attracting business events to Surrey.

On March 22, 2024, staff met and presented these conditions of renewal to accommodation providers represented by SHMA. Accommodation providers have agreed to the principles of the conditions, and they will be required to gather support for the renewal on or before July 31, 2024.

Should Council endorse these renewal conditions, they will be included as municipal requirements within the MRDT Bylaw during the renewal process. Staff anticipate bringing forward the proposed bylaw amendments for Council endorsement in October 2024.

Legal Services Review

Legal Services has reviewed this report.

CONCLUSION

The Social Infrastructure & Community Investments Department, the Parks, Recreation & Culture Department and the Finance Department seek Council endorsement of the conditions for renewal and new revenue distribution model of the MRDT revenue.

Terry Waterhouse
General Manager,
Social Infrastructure & Community Investments

Laurie Cavan
General Manager,
Parks, Recreation & Culture

Kam Grewal
CFO / General Manager,
Finance

Appendix "I": Roles and Responsibilities between the City of Surrey, Discover Surrey, and SHMA
Appendix "II": Discover Surrey and Surrey Hotel and Motel Association Letter Requests to Renew
Municipal and Regional District Tax

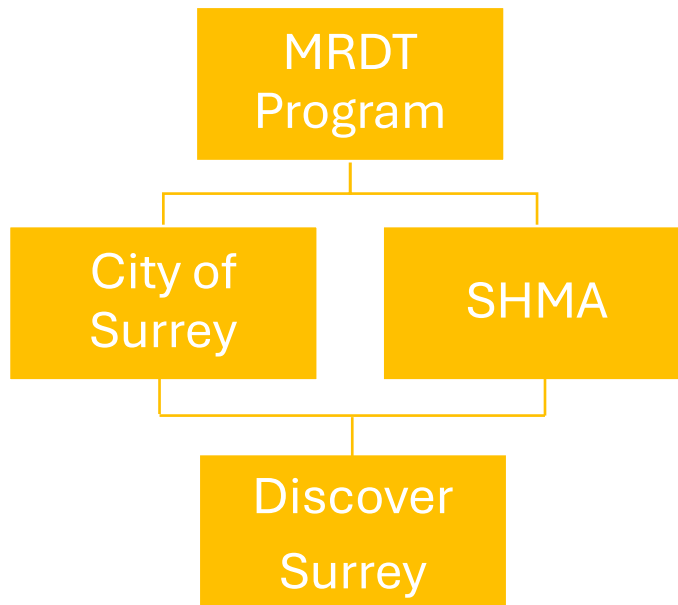
Appendix "III": Timeline of the Municipal and Regional District Tax Process

Appendix "IV": City of Surrey Municipal and Regional District Tax Renewal Conditions

Roles and Responsibilities between the City of Surrey, Discover Surrey, and Surrey Hotel and Motel Association

Province of BC

- Levies the tax in the City of Surrey as part of the PST collection
- **Provides MRDT funds to the designated recipient**
- Ensures reporting compliance and proper use of funds by designated recipient.



Designated Recipient

- **Establishes Tourism Bylaw**
- Civic Tourism priorities
- Ensures Tourism Partner governance compliance
- Destination development

Hotel Association

- Represents majority accommodation providers
- **Guarantees 50+1% support for MRDT and collect accommodation provider support signatures**

Destination Marketing Organization

- **City approved Destination Marketing Organization (5-year renewal term)**
- Executes Surrey's tourism marketing plan
- Destination Promotion



April 08, 2024

Mayor and Council
City of Surrey
13450 104 Avenue, Surrey, BC

Dear Mayor and Council,

Re: Surrey Hotel and Motel Association Confirmation as the Representative Entity for Local Accommodation Providers in Surrey.

The Surrey Hotel and Motel Association (SHMA) was formed in 2016 under the Province of BC Societies Act. The association represents the hotel and motel community as a unified voice to the City of Surrey, tourism partners, and external stakeholders. Representing all hotels and motels, the association's purpose is to increase the visibility of the hotel community, promote Surrey as a destination, and attract group stays and visitors to increase room nights in Surrey involving sporting events, arts and culture events, City events, and business conventions.

To become a member of the association, accommodation providers must hold a valid business license as a hotel or motel located in the municipality of Surrey, and are represented by an executive members of the hotel or motel to participate in member meetings and the upcoming MRDT renewal process. To ensure the majority representation of accommodation providers in Surrey, the association actively engages with the membership, and collaborates with the City of Surrey and Discover Surrey to review the accuracy of and updates the list of accommodation providers that collect Municipal and Regional District Tax ("MRDT") provided by the Ministry of Finance.

Membership engagement for the renewal has commenced and will continue throughout the entire renewal process. It is the intent by way of a resolution of the Board of Directors, that this letter confirms that the Surrey and Hotel Motel Association (SHMA) has the endorsement of its membership to represent the majority interest of local accommodation providers who are eligible to declare support for the MRDT within the City of Surrey.

The SHMA understands that for the purpose of the renewal of the MRDT in Surrey, the City of Surrey will be requiring the SHMA to administer the collection of support (attached) from its membership on or before July 31, 2024.

Thank you,

A handwritten signature in black ink, appearing to read "John Kearns", is written over a faint, larger version of the same signature.

John Kearns, Chair

Surrey and Hotel Motel Association

Timeline of Surrey’s Municipal and Regional District Tax Process

Date	Action Item
January 18, 2024	Discover Surrey initiates the 5-year Strategic Plan and One-Year Tactical Plan for renewal
February 23, 2024	City of Surrey begins negotiation with local accommodation providers/SHMA
March 22, 2024	Present the conditions of renewal to accommodation providers/SHMA
April 22, 2024	Bring forth MRDT Renewal Conditions to Council
June 30, 2024	Complete Memorandum of Understanding between City of Surrey, Discover Surrey, and Surrey Hotel and Motel Association
July 31, 2024	Complete the “Accommodation Sector in Support of Municipal and Regional District Tax Form”
August 26, 2024	Discover Surrey to submit 5-year strategic plan and application documents to the City of Surrey
October 7, 2024	Bring forth new Municipal and Regional District Tax bylaw to Council
October 21, 2024	Third reading of Municipal and Regional District Tax bylaw by Council
December 1, 2024	Renewal application submission to Destination BC



City of Surrey Municipal and Regional District Tax Renewal Conditions

The City of Surrey is the Designated Recipient of the provincial Municipal and Regional District Tax (“MRDT”) Program, which has a deadline of December 1, 2024 for submitting a renewal application. To facilitate this renewal, the City of Surrey is required to establish a new tourism bylaw that governs the tourism framework and interests.

As a condition of renewal, the City will be introducing the following changes to the MRDT program as well as enacting a new bylaw to clarify roles and responsibilities between the City, the Surrey Hotel & Motel Association (“SHMA”), and Discover Surrey as well as outlining mandatory governance and compliance measures. Additionally, to support Surrey Council’s vision to grow tourism opportunities in Surrey, the new bylaw will include a new MRDT distribution formula.

Proposed MRDT Funding Formula:

Province of BC	SHMA	Discover Surrey	City of Surrey (NEW)
0.2%	0.6%	1.8%	0.4%

Conditions of Renewal

Conditions	Description
Amendment 1: Mandatory MRDT Governance and Compliance Amendments	Clarifying MRDT Renewal Process The City will standardize roles and responsibilities of the City, the SHMA, and Discover Surrey as they pertains to the renewal of the MRDT.
	Discover Surrey & SHMA Board Governance & Compliance The City will require new members of both the SHMA and Discover Surrey Boards to receive governance training. The City will also be replacing the Council representative on the Discover Surrey Board with two non-voting staff representatives.
	Tourism and Reporting Coordinator The funding will allow the City to hire a coordinator to compile reporting information regularly from partners as well as coordinate activities amongst tourism stakeholders. <u>Note: Discover Surrey will remain responsible for developing and submitting annual financial reports and strategic plans to the City.</u>
Amendment 2: Support for Sports Tourism and Major Tourism Development Opportunities	Sports Tourism Program Coordinator The funding will allow the City to hire a sports tourism coordinator dedicated to identifying and attracting events that augment tourism in the city.
	Major Special Events and Business Conferences Fund The City will establish funding mechanisms to support the attraction of national and international events, signature City events and major business conferences and meetings with a focus on tourism shoulder seasons.
	Economic Feasibility Assessments for Tourism Amenities The City will conduct economic feasibility assessments for destination supporting assets and leverage this information to attract private capital investment.

NO: R073

COUNCIL DATE: April 22, 2024

REGULAR COUNCIL

TO: Mayor & Council **DATE: April 17, 2024**

FROM: General Manager, Parks, Recreation & Culture **FILE: 0350-01**
General Manager, Engineering
General Manager, Social Infrastructure & Community Investments
General Manager, Corporate Services
Chief Librarian, Surrey Libraries

SUBJECT: Focus Newton Action Plan

RECOMMENDATION

The Parks, Recreation & Culture Department, Engineering Department, Social Infrastructure & Community Investments Department, Corporate Services Department and Surrey Libraries recommend that Council:

1. Receive this report for information; and
2. Endorse the Focus Newton Action Plan, attached as Appendix "I".

INTENT

The purpose of this report is to provide Council with information related to the Focus Newton Task Force (the "Task Force") and seek Council endorsement of the resulting Focus Newton Action Plan (the "Action Plan").

BACKGROUND

On February 13, 2023, Council established the Task Force. The mandate of the Focus Newton Task Force was to collaborate with stakeholders and identify ways to rejuvenate, beautify, and enhance the Newton community in order to improve daily life for Newton's residents and business community. The Task Force was established to:

1. Identify existing conditions of the Newton community that require focussed attention including cleanliness, public safety, bylaw compliance, beautification, park amenities;
2. Prioritize opportunities to improve existing conditions in the Newton community; and
3. Develop and initiate action plans based on prioritized opportunities.

The Task Force was comprised of four members of Council; Councillor Bains, Councillor Elford, Councillor Kooner and Councillor Nagra and was supported City staff from across the organization.

DISCUSSION

Public Engagement Strategy and Results

Public engagement took place in April through July 2023. The goal of the public engagement was for residents to provide the City feedback on the priorities for enhancing Newton and consisted of an online survey and pop-up open houses at major community events. The public engagement was innovative, as it included opportunities to reach a wide range of community members who would not normally come to engagement open-houses. These pop-up open house events were followed by a key stakeholder session to review and receive feedback on the Action Plan.

In total, 2019 Newton residents provided feedback, and over 40,000 Newton residents were made aware of the project through a major communications campaign. Key feedback included:

- More landscaping and green spaces;
- Improved and expanded recreation facilities and park amenities;
- More family-friendly activities;
- Cleaner and safer spaces;
- Reduced congestion and enhanced pedestrian safety;
- Better active transportation infrastructure, for transit and cycling; and
- More outdoor spaces, cafes, and restaurant spaces to gather socially.

Full engagement results were compiled in the Focus Newton Community Engagement Summary Report, which is attached to this report as Appendix "II".

Focus Newton Action Plan

Upon completion of the public engagement phase, the Task Force directed staff to develop the Action Plan. The Action Plan identifies 5 key focus areas: Vibrant and Green; Clean and Safe; Programs and Events; Public Spaces and Amenities; and Active Transportation. Estimates for operational and capital budgets to support each specific action within the Action Plan are included for Council consideration during the 2024 budget process. Detailed actions are set out for each key focus area with the Action Plan.

Action Plan implementation will begin in 2024. An interdepartmental staff working group will be convened to implement and monitor progress of the Action Plan. An annual Focus Newton public engagement event will be held to provide the community updates on Action Plan implementation and continue to gather feedback and ideas.

CONCLUSION

Focus Newton is an innovative initiative to revitalize public spaces and public life in Newton. A robust public engagement strategy has informed the development of the Focus Newton Action Plan. Staff recommend that Council endorse the Focus Newton Action Plan.

Laurie Cavan
General Manager,
Parks, Recreation & Culture

Scott Neuman, P.Eng.
General Manager,
Engineering

Terry Waterhouse
General Manager,
Social Infrastructure & Community Investments

Joey Brar,
General Manager,
Corporate Services

Surinder Bhogal
Chief Librarian,
Surrey Libraries

Appendix "I": Focus Newton Action Plan
Appendix "II": Focus Newton Community Engagement Summary

[https://surreybc.sharepoint.com/sites/prcadmistration/corporate reports regular/2024/outcomes of focus newton.docx](https://surreybc.sharepoint.com/sites/prcadmistration/corporate%20reports%20regular/2024/outcomes%20of%20focus%20newton.docx)



FOCUS NEWTON

Action Plan

MARCH 2024

We acknowledge that Surrey is situated on the unceded traditional territory of the Coast Salish people, including the səmyámə (Semiahmoo), ǫʷɑ:ńłəń (Kwantlen) and ǫíćəý (Katzie) land based First Nations.





Contents

Statement from Mayor	4
Statement from Task Force Chair	4
About Focus Newton	5
About Newton	6
Community Engagement Summary	7
Who We Heard From	7
Focus Newton Action Plan	11
Guiding Principles	11
Vision	11
Focus 1: Vibrant and Green	12
Focus 2: Cleanliness and Safety	14
Focus 3: Programs and Events	15
Focus 4: Public Spaces and Amenities	16
Focus 5: Active Transportation	18
Implementing the Plan	19
Beyond Focus Newton	19

DRAFT

Statement from Mayor



I am proud to share the Focus Newton Action Plan on behalf of Council, outlining our strategy to enhance and beautify the unique and dynamic Newton community, Surrey's most populous area.

Initiated by Council, this is more than a set of initiatives; it's a commitment to shaping a vibrant, green, safe, and connected Newton over the next three years.

By investing in Newton, we are contributing to the vibrancy and overall well-being of the heart of our city. Focusing on key areas such as enhancing landscaping, increasing safety, fostering social connectedness, providing amenities, and improving active transportation, we aim to create a community where residents and businesses can thrive.

The Action Plan, developed with extensive community engagement, relies on the support of our residents, businesses, and community partners. As we start putting the plan into action, your ongoing involvement will be key to achieving our shared vision for a thriving Newton.

Mayor Brenda Locke
City of Surrey

Statement from Task Force Chair



The Focus Newton Action Plan is the result of collaborative efforts, community engagement, and a shared vision for revitalizing Newton.

We listened to the concerns of thousands of community members at open houses, outreach sessions, and as part of our survey. Guided by this feedback, the plan focuses on five key areas: making our spaces vibrant and green, keeping them clean and safe, organizing diverse events and programs, improving public spaces and amenities, and enhancing active transportation options. Each action is aligned with our guiding principles to meet Newton's specific needs.

I encourage you to review the Action Plan and actively participate in the initiatives that matter to you. Together, we can make a positive impact and create a neighbourhood that we are proud to call home.

This plan represents the hard work and voices of many. Thanks to Council, City staff, the Focus Newton Task Force, and all Newton residents. Your commitment speaks volumes, and I'm excited about the positive changes ahead for Newton.

Councillor Harry Bains
Chair of the Focus Newton Task Force

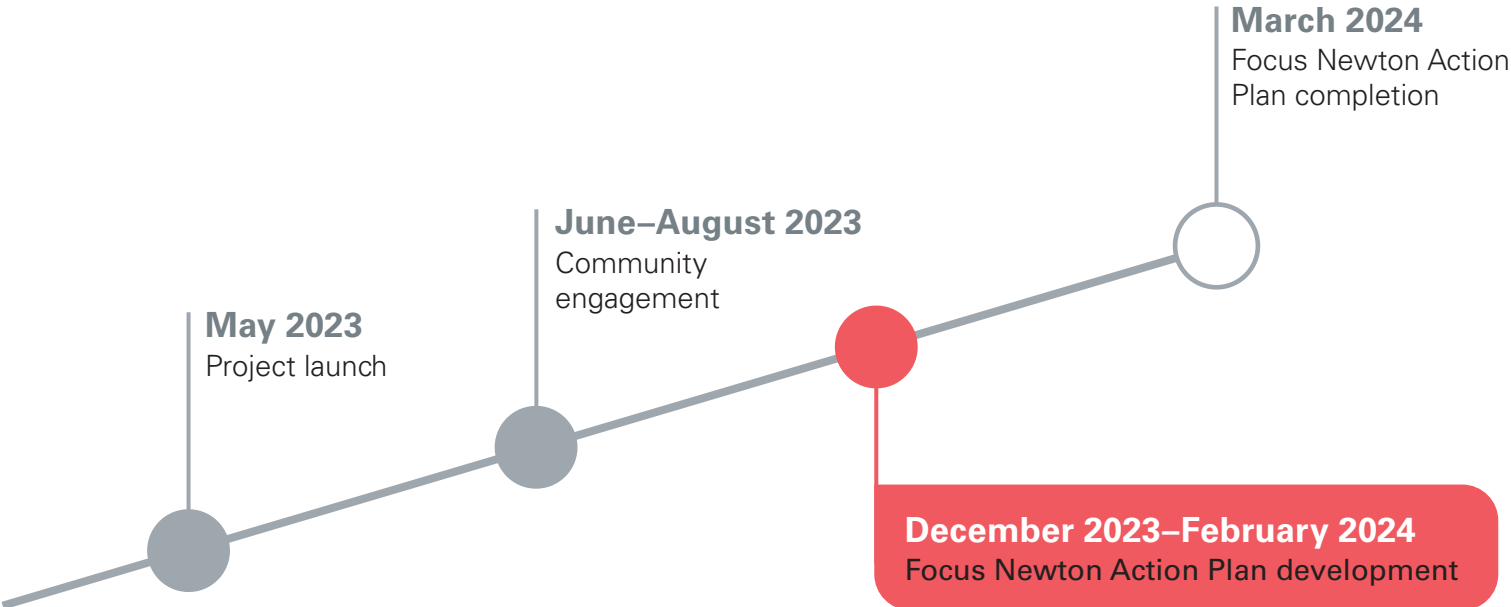


About Focus Newton

Newton is a growing community with strong neighbourhood connections and local pride. Through Focus Newton, the City of Surrey will invest in Newton’s future—to enhance, beautify and engage with Surrey’s most populated town centre.

Informed by input from the community, Focus Newton presents an Action Plan to guide the City over the next three years with the goal of beautifying and enhancing Newton. The Focus Newton Action Plan will serve as a roadmap to improving parks and open spaces, streets and sidewalks, and events and activities.

The Focus Newton project coincides with—and strengthens—a number of ongoing capital projects to meet the needs of the diverse and growing Newton community. The projects include a range of new facilities, park master plans and facility upgrades.



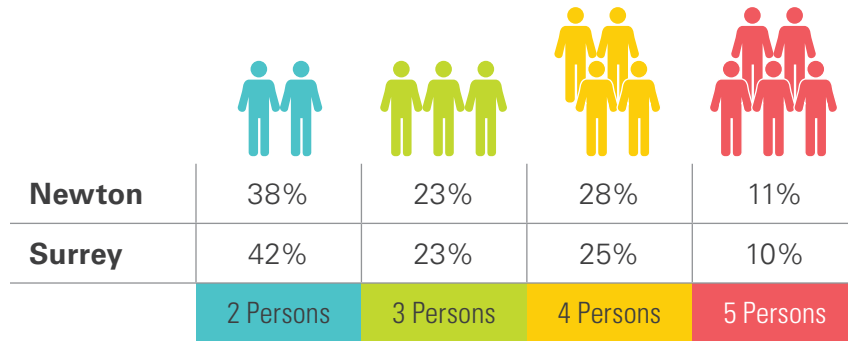
About Newton

Newton is Surrey's most populous community with 149,040 people according to the 2016 census. This comprises 29% of Surrey's total population. The community is growing steadily at an estimated 12% annually.

	Newton	Surrey
Area (hectares)	5,871	32,621
Population	149,040	517,885
Immigrant population	49%	43%
Renters	31%	29%
Unemployment rate	7%	7%
Take transit to work	13%	15%

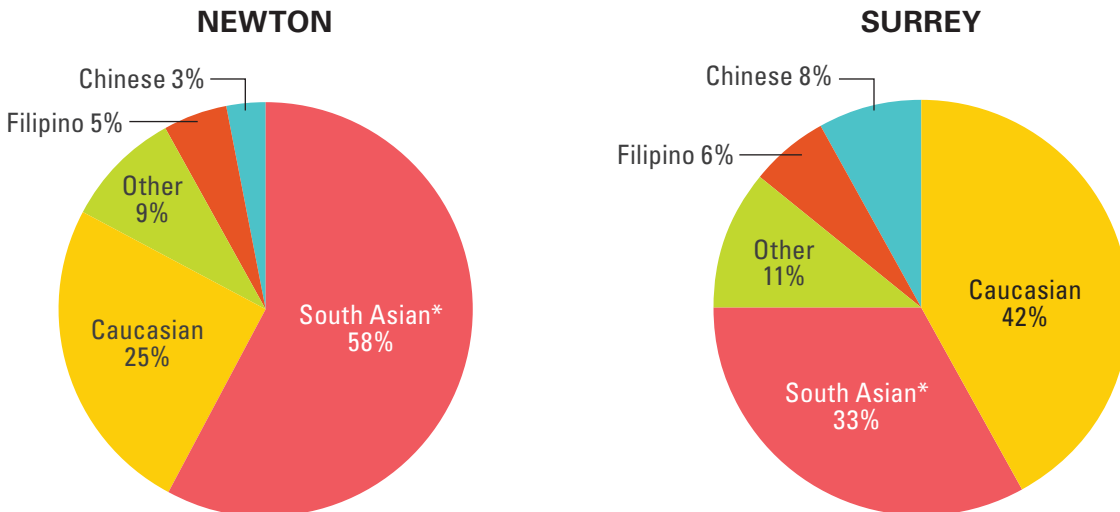
Family Size

The breakdown of family sizes in Newton in the 2016 Census was comparable to the breakdown for all of Surrey.



Top Four Ethnic Groups

The population of Newton has a lower percent of Caucasians than Surrey as a whole, as per the 2016 Census.



*South Asian include East India, Pakistani, Sri Lankan, etc.

Community Engagement Summary

Public engagement for Focus Newton included three community open house events, an online survey and a series of survey outreach sessions—all with the goal of hearing from diverse and representative Newton residents. This community input has helped to inform the focus areas and actions of the Action Plan.

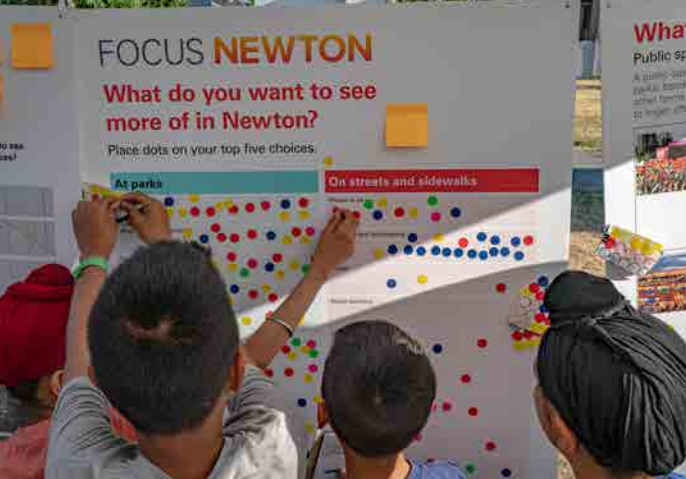
Who We Heard From

42,421
Informed Residents

visited the project website, received a postcard, or engaged through social media.

2,019
Engaged Residents

engaged residents attended a pop-up event, connected through phone or email, or completed the survey.



Engagement Summary

Many respondents expressed pride in Newton, particularly in the neighbourhood's parks, open spaces, neighbours, celebrations and events, and civic facilities. Overall, across the engagement activities, we heard strong support for:

- More landscaping and green spaces.
- Improved and expanded recreation facilities and park amenities.
- More family-friendly events and activities.
- Cleaner and safer spaces, that are regularly maintained.
- Reducing congestion and enhancing pedestrian safety.
- Better active transportation infrastructure, for transit and cycling.
- More outdoor spaces, cafes and restaurants in the neighbourhood to gather socially.

Respondents also noted a few local concerns. Over two thirds felt that Newton could be cleaner, with the top concerns being illegal dumping and general litter. Respondents also shared concern around homelessness and drug addiction in the Newton area, as well as the need for maintenance and care on both public and private property.

A full summary of the engagement results can be found at surrey.ca/focusnewton.



FOCUS **NEWTON**



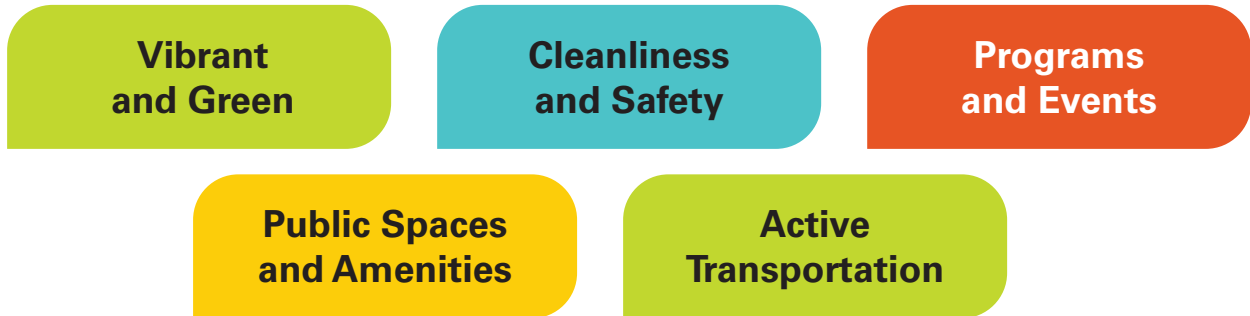
What is public space?
Public space is for everyone

FOCUS NEWTON
What do you want to see more of in Newton?
Public & community spaces

FOCUS NEWTON
Public & community spaces
What do you want to see more of in Newton?

Focus Newton Action Plan

The following section presents the Focus Newton vision and guiding principles, followed by the **five strategic focus areas**:



These action items are anticipated to be implemented over the next one to three years, unless otherwise indicated. Many of the actions include multiple pathways for implementation.

Vision

A rejuvenated and enhanced public space that celebrates Newton’s identity and uniqueness and fosters opportunities for people to connect with each other and take part in and contribute to a vibrant community life.

Guiding Principles

These guiding principles are key concepts that will help guide decision making when implementing the Focus Newton Action Plan to make sure that the outcomes meet the needs of the unique Newton community.

Vibrant Places

Welcoming, safe and clean spaces create vibrancy by encouraging residents to meet, gather and connect—for major events, community gatherings, and on a day-to-day basis.

Newton Identity

Shared spaces, activities and public art all provide opportunities to celebrate Newton with diverse cultures and groups represented.

Community Spirit

Local leaders and residents care deeply about Newton and contribute generously to making it a vibrant and inclusive place to live for people of all ages.

Small Steps, Big Impacts

Small changes have big impacts in supporting Newton to be more safe, active and beautiful—if they are centered around the unique needs of residents.

Focus 1: Vibrant and Green

Action 1.1

Enhance Landscaping and Greenery

Additional landscaping will improve key locations across Newton, including key parks, vibrant business areas, key transportation corridors and residential areas. Opportunities to engage community members in enhancing and stewarding natural areas will be expanded.

Related Strategies:

Climate Change Action Strategy (2023)

Parks, Recreation & Culture Strategy (2018)

DID YOU KNOW?

Loneliness decreases with each additional hour that people spend visiting green spaces.

Community spaces offer opportunities to bring people together. A multi-city European study in Barcelona, Kaunas, Doetinchem, and Stoke-on-Trent found that loneliness decreases with each additional hour that people spend visiting green spaces—places with street trees, parks, water and other natural features.

Happy Cities and Canada Healthy Communities Initiative, from the Power of Placemaking



Action 1.2

Create Art and Placemaking Opportunities

Implementing more art and placemaking throughout public spaces in Newton will contribute to interesting and vibrant public spaces. Opportunities for static installations such as murals, street banners, ground art, vinyl wrapping and sculptures will be explored, as well as performance and interactive art. Locations that benefit most from art and placemaking may include hubs for people including cultural and business districts, key park nodes and paths, transportation hubs and civic amenity areas.

Related Strategies:

Age Friendly City Strategy (2024)

Surrey Music Strategy (2023)

Public Art Master Plan (2020)

Parks, Recreation & Culture Strategy (2018)

DID YOU KNOW?

When people help shape places, they care more about them.

When people are involved in shaping community spaces—such as painting a mural or organizing block party—they are more likely to feel a sense of care for these places. People who feel a strong sense of belonging are healthier, more productive, more trusting and live longer. In Portland, Oregon, City staff supported low- to moderate-income residents in designing new placemaking amenities for streets in their community.

After these changes were made, 53% of residents rated their community as better than before, reporting stronger social ties, higher participation levels, an enhanced sense of place and more attractive environment.

Happy Cities and Canada Healthy Communities Initiative, from the Power of Placemaking

Action 1.3

Expand Seasonal and Decorative Lighting

Decorative lighting will help create warm spaces that are welcoming to everyone, no matter the season. Commercial streets, transit stops, parks and other high traffic community destinations across Newton will benefit from additional decorative lighting.

Focus 2: Cleanliness and Safety

Action 2.1

Increase Safety in Public Places

Safety and cleanliness are key parts of making public spaces comfortable and well-used. Piloting a program to pair outreach workers and bylaws officers will help keep Newton spaces vibrant, as well as support vulnerable populations.

DID YOU KNOW?

Placemaking attracts more people to streets and public spaces.

Lively environments can help people feel safer, by adding “eyes on the street.” Many studies show that public space transformations increase feelings of safety for women in particular.

A study of 31 parks in low-income neighbourhoods in New Orleans found that park attractiveness was significantly linked to the number of females using the park. Unclean and disorderly parks had 49% fewer female users, whereas attractive parks—with visually appealing landscaping and other amenities—had 146% more female users. In contrast, park attractiveness did not significantly impact male use.

Happy Cities and Canada Healthy Communities Initiative, from the Power of Placemaking

Action 2.2

Increase Cleaning and Litter Removal Services

The City is committed to increasing service levels to clean litter and remove illegally dumped items throughout Newton. This includes increasing the frequency and expanding the areas of litter collection to reflect the needs of the growing community. Large-scale cleanups will complement the City’s efforts, along with targeted enforcement.

Action 2.3

Encourage Resident Care Through Engagement and Education

The City will support residents in organizing community clean-ups by making additional resources available to groups and volunteers. The City will develop resources and opportunities for community members to make informed decisions around waste removal. This may include educational resources on waste removal or free sessions on community safety measures.

Related Strategies:

Climate Change Action Strategy (2023)



Focus 3: Programs and Events

Action 3.1

Increase Family-friendly Activities

Family-friendly activities and programs help make Newton more lively and animate public spaces. More free family-friendly activities will be organized in Newton. This will include summer programming at parks and recreation facilities and through new partnerships with local groups and organizations.

Related Strategies:

Surrey Libraries Strategic Plan (2024) Parks, Recreation & Culture Strategy (2018)

DID YOU KNOW?

Opportunities to meet others creates attachment to community

A national survey in the United States found that the leading factor in whether people feel a sense of attachment to their community is if they have community events and places to meet people.

Happy Cities and Canada Healthy Communities Initiative, from the Power of Placemaking

Action 3.2

Engage and Support International Students

Many international students call Surrey, and Newton in particular, home. The City can support and lead programs that cater to international students and help them develop deeper and beneficial ties to the community. Initial actions include outreach to share available recreation and library resources, as well as further engagement and coordination with community partners.

Related Strategies:

Surrey Libraries Strategic Plan (2024)

Action 3.3

Foster Social Connectedness Through Programs

The City is committed to developing new programs and strengthening existing resources, that encourage social connection between residents. Such resources may include English language programs and mobile library services. Programs that encourage social connections may also activate outdoor spaces, such as safe streets at schools that are designated for walking and cycling during key pick-up and drop-off times.

Related Strategies:

Accessibility Action Plan (2024)

Surrey Libraries Strategic Plan (2024)

Action 3.4

Support Community Leadership to Make Newton Vibrant

The City recognizes that the greatest impacts can occur through community-led initiatives. The City will support residents who are interested in improving Newton and who may have innovative ideas. Examples include promoting Surrey's grant programs and youth leadership opportunities.

Related Strategies:

Climate Change Action Strategy (2023) Surrey Music Strategy (2023)

Public Art Master Plan (2020)

Parks, Recreation & Culture Strategy (2018)

Focus 4: Public Spaces and Amenities

Action 4.1

Provide Places to Sit and Gather

To be functional and social, public spaces require comfortable places to sit together. A variety of seating options and locations throughout parks and activity hubs will help ensure that spaces are meeting residents' needs and providing the opportunity for social connections. Seating options may take the form of picnic tables, covered tables and benches.

Related Strategies:

Age Friendly City Strategy (2024) Accessibility Action Plan (2024)

Surrey Libraries Strategic Plan (2024)

Climate Change Action Strategy (2023)

Parks, Recreation & Culture Strategy (2018)



DID YOU KNOW?

People are attracted to vibrant, active spaces

Lively spaces increase casual social encounters, create opportunities to meet strangers, and build relationships with familiar faces. A Toronto Metropolitan University study found that people are:

- 50% more likely to spend time in places with art, play equipment, and seating.
- 63% more likely to feel positively towards these places.
- 77% more likely to tell other people to visit.

Power of Placemaking – Happy Cities/Canada Healthy Communities Initiative

Action 4.2

Provide Amenities to Support Public Spaces

Newton's public spaces and parks need to be welcoming for people of all backgrounds. The City will prioritize practical amenities to enhance comfort and access to public spaces. These include drinking fountains, washrooms and electric power (for programs and events) at key locations such as parks.

Related Strategies:

Age Friendly City Strategy (2024) Accessibility Action Plan (2024)

Surrey Libraries Strategic Plan (2024)

Climate Change Action Strategy (2023)

Parks, Recreation & Culture Strategy (2018)

Action 4.3

Improve Major Facilities

Newton's indoor public spaces are also important spaces for the community. The City has a number of ongoing capital projects and upgrades that will help enhance Newton's facilities. Additional improvements may include upgraded walking loops, small-scale renovations at Newton libraries and other civic facilities.

Related Strategies:

Climate Change Action Strategy (2023) Accessibility Action Plan (2024)

Parks, Recreation & Culture Strategy (2018)

Focus 5: Active Transportation

Action 5.1

Improve Wayfinding and Directional Signage

Quality of public space, comfort and access can be improved through wayfinding and signage, especially to improve experiences at key outdoor amenities such as greenways, major athletic fields and civic amenity hubs. Wayfinding may take the form of signage, kiosks, or other creative ground treatments and use of materials.

Related Strategies:

Age Friendly City Strategy (2024)

Parks, Recreation & Culture Strategy (2018)

Action 5.2

Enhance Walking and Cycling Routes

Walking and cycling must be a safe and healthy option for residents of all backgrounds and abilities to get around Newton. City investments can help enhance the comfort and safety of active modes of travel. This may include adding infrastructure improvements such as adding letdowns, new sidewalks, new curb bulges and pedestrian signals. Walking and cycling may be further enhanced by expanding the network of trails and paths in Newton parks.

Related Strategies:

Age Friendly City Strategy (2024)

Climate Change Action Strategy (2023)

Action 5.3

Strategic Long-Term Transportation Infrastructure

While the City may provide active transportation improvements in the short term, additional consideration needs to be given to long-term transportation infrastructure and planning to support the growing Newton population. This includes rapid transit options such as introducing Bus Rapid Transit and planning for future SkyTrain. These options, along with additional transportation strategy work, will help address congestion relief in Newton and across Surrey more broadly.

Related Strategies:

Accessibility Action Plan (2024)

Climate Change Action Strategy (2023)



Implementing the Plan

The actions in the Focus Newton Action Plan will be implemented within one to three years. The City will provide an annual update to indicate the progress of the action items. This annual update will summarize the status of each action and note any challenges, or changes, that have occurred.

There are a number of implications for the next steps of these actions. The City will consider:

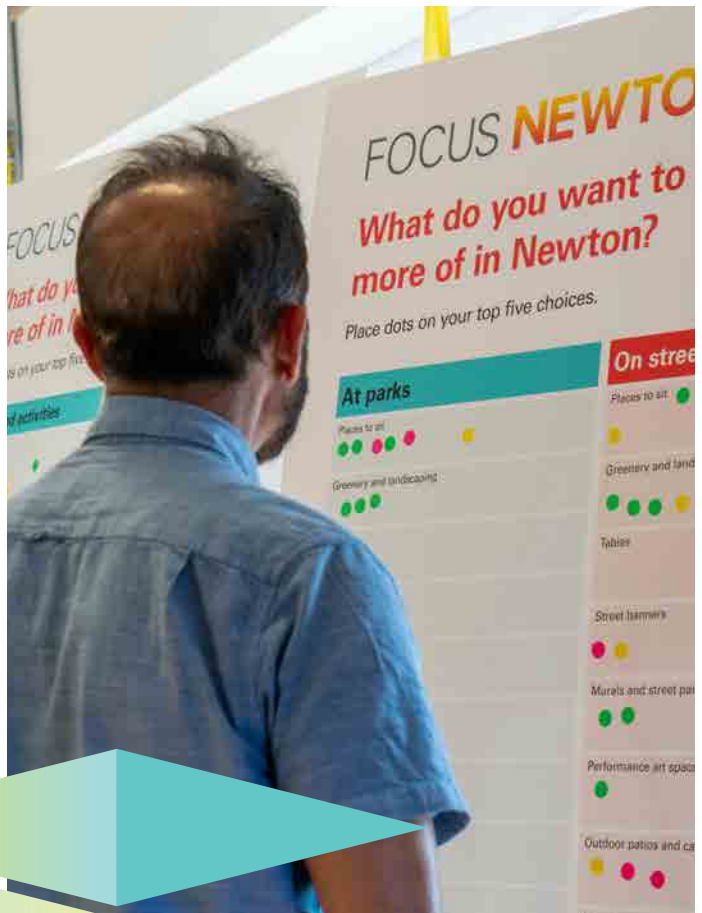
- **Strategic locations:** Being strategic with the location of each of the actions, in some cases clustering actions for greater impact and in other cases implementing actions within key areas of interest.
- **Building on capital projects:** The City can continue to build on ongoing and upcoming capital projects to implement the actions. There may be opportunities to consider enhancements to the capital projects, through these actions, that will help maximize the impact of both.
- **Community champions:** Key to the success of these actions and fostering overall commitment to Newton's future, it will be important to identify opportunities to invite individuals, groups and local leaders to be involved in implementing and stewarding these actions.

Beyond Focus Newton

Focus Newton also received feedback about longer term projects outside of the scope of the project – such as major transportation infrastructure, neighbourhood densification and growth, and significant new facilities. While actions to address these ideas are not included in the Focus Newton Action Plan, this feedback has been added into the relevant long term planning and strategic processes.

How to Stay Involved

For updates and more information, please visit surrey.ca/focusnewton.







Community Engagement Summary Report

OCTOBER 2023

FOCUS NEWTON



Newton is a growing community with strong neighbourhood connections and local pride. The City of Surrey has launched Focus Newton—an initiative to enhance, beautify, and engage with the Newton community.



Contents

Focusing on Newton	4
Newton in Context.	5
Major Projects in Newton	6
Who We Connected With.	7
Engagement Highlights	9
What We Heard Through Engagement.	10
Engagement Results Overview	11
Understanding Newton	12
Priority Improvements	15
Grant Program	18
Key Newton Locations	19
Next Steps.	19
How to Stay Involved.	20

Focusing on Newton

In February 2023 Mayor and Council initiated Focus Newton, an initiative to enhance, beautify and engage with the Newton community. In order to hear feedback from the community on where the City should focus its rejuvenation and enhancement efforts, a public engagement campaign was planned.

Public engagement for Focus Newton included community open house events, an online survey, and a series of survey outreach sessions—all with the goal of hearing from diverse and representative Newton residents. Informed by input from the community, the City of Surrey will develop a plan to guide actions over the next three years with the goal of beautifying and enhancing Newton.

Through Focus Newton, the City of Surrey will invest in Newton’s future—to improve and beautify Surrey’s most populated Town Centre.

- May 2023**
Project launch
- June-August 2023**
Community Engagement, surveys and open houses
- October 2023**
Community Engagement Summary Report
- December 2023**
Focus Newton Action Plan complete



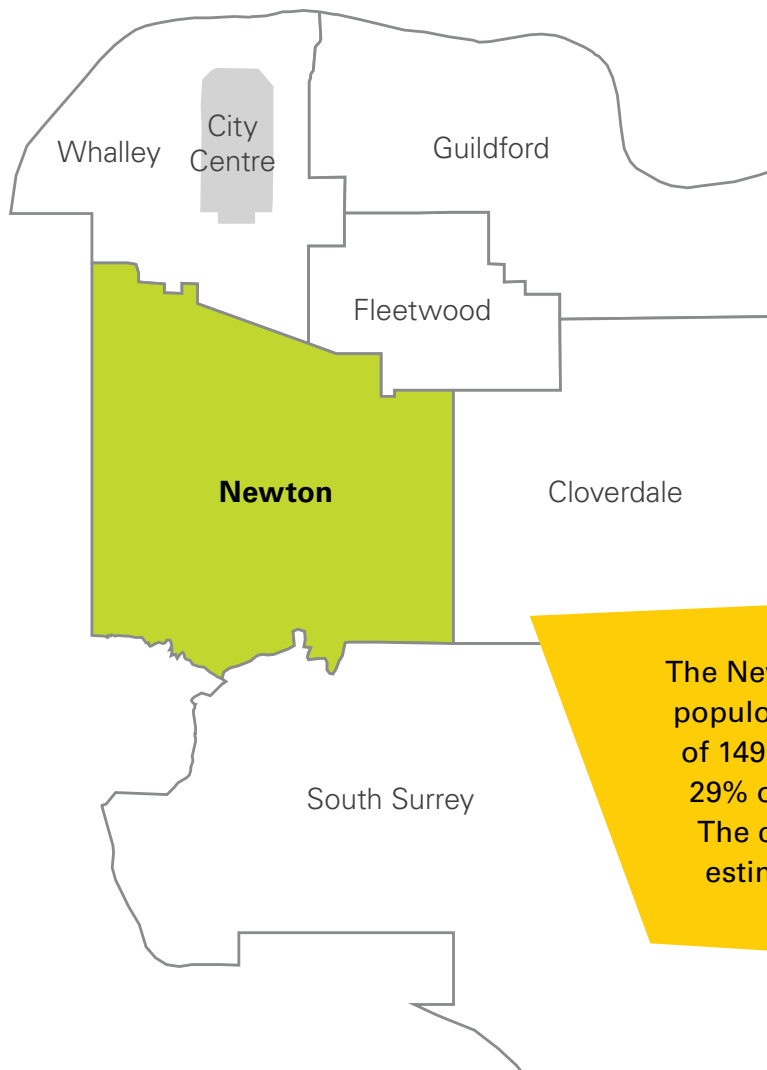
Newton in Context

The Newton area, like all other areas of Surrey and the Lower Mainland, is situated on the traditional territory of the Coast Salish people, including the Katzie, Kwantlen and Semiahmoo nations who have ancient and ongoing ties to this place.

This upland area of Surrey was once abundant with coniferous forest. As newcomer settlement began to take place in the late 19th century, logging and land clearing began to make room for farms, homes, and roads. Settlement increased considerably following the end of World War I. Settler farmers of the area were known as stump farmers, with homes, outbuildings, and crops built around and among the stumps which remained.

Numerous businesses opened in the vicinity of 72 Avenue and King George Boulevard, and gradually municipal services and amenities were established. Newton is still an economic centre in Surrey. Newton has Surrey's largest inventory of fully-serviced industrial and mixed employment lands, making it home to a variety of industrial sectors.

A culturally diverse community, Newton is home to the region's largest South Asian community and the heart of South Asian culture. Every year Newton hosts one of the largest Vaisakhi Parades outside of India, welcoming more than 500,000 people.



The Newton community is Surrey's most populous community, with a population of 149,040 people (accounting for 29% of Surrey's total population). The community is growing steadily, estimated at 12% annually.

2016 Census

Major Projects in Newton

The Focus Newton project coincides with several ongoing capital projects taking place to meet the growing needs of the Newton community.



Bear Creek Park Stadium

The City is building a new grandstand with seating for over 2,200 people, changerooms, public washrooms and an upgraded track.



Kabaddi Park

Two new rubberized volleyball courts and walking loop upgrades are now complete.



Newton Athletic Park

New synthetic turf fields and a walking track were recently completed. Additional upcoming amenities include a new field house and public washrooms.



Unwin Community Park Master Plan

A planning process for a new Master Plan for Unwin Park will commence in 2024.



Strawberry Hill Hall

The rebuilt Strawberry Hill Hall will provide multipurpose room space, cultural programming and 18 before and after school care spaces.



Whippletree Park

This new quarter-hectare neighbourhood park is located in South Newton near 62 Avenue and 128 Street.



Newton Community Centre

The Newton Community Centre will offer a state-of-the-art community hub for Newton residents of all ages to learn, exercise, and enjoy a fun and healthy environment. Recreation, childcare, culture, and library spaces will be advanced in the first phase of development. A master plan of the site has been developed that includes construction of a future aquatic facility.

Who We Connected With

42,421 Informed Residents

An informed resident is defined as an individual or group that has made at least one single visit to the project website, received a postcard, or engaged in the project through social media.

Ways residents were informed:

- 3,465** Website page views
- 37,491** Postcards mailed to Newton residents
- 136** Emails delivered to Newton residents
- 847** Newton-based CitySpeaks panel members invited
- 482** Social media engagements (through clicks, reactions, comments and shares)

2,019 Engaged Residents

An engaged resident is defined as an individual or group that has contributed to the project website, attended a pop-up event, connected through phone or email, or completed the survey (in person or online).

Ways residents were engaged:

- 1,314** Survey respondents
- 33** Mapping activity participants
- 681** Community event attendees

There were a variety of opportunities for people to get learn about Focus Newton and share their ideas. Three open houses, an online survey, and six survey outreach sessions were organized. The project was successful in reaching thousands of Newton residents.



Overview of Survey Demographics

As part of the online survey, demographic information was collected from the 1,314 respondents. However, it's important to note that this data does not account for the additional feedback provided by over 600 in-person participants at the three open house

Gender

- Female (51%)
- Male (48%)
- Non-binary and self-describing (1%)

Age

- 19 younger (3%)
- 20-29 (10%)
- 30-39 (19%)
- 40-49 (19%)
- 50-59 (17%)
- 60 or greater (30%)

Language

What language(s) do you speak?

English (94%)	Chinese languages (3.3%)
Punjabi (27%)	Tagalog (2.8%)
Hindi (15%)	Others combined (17%)
French (8.3%)	
Urdu (4.4%)	

Engagement Highlights



Open House at Newton Rec Centre

Drawing over 200 attendees, this open house offered interactive and informational boards, a mapping activity, lawn games, a library booth, a kids activity booth, a chalk talk wall and popcorn and refreshments.

Open House at T.E. Scott Community Picnic

With over 400 participants at this event, 150 participants provided feedback. This family-friendly neighbourhood picnic offered interactive and informational boards, a mapping activity, lawn games, a photo booth, a painting activity, a bouncy castle and food.

Open House at Miri Piri Tournament

With over 130 participants, this event offered interactive and informational boards, a mapping activity, lawn games, kids games and freezies and refreshments.

Survey and Outreach Sessions

In total, the survey received 1,314 online responses and ten printed responses. Six outreach sessions were held at sporting events, community events and business hubs.

What We Heard Through Engagement





Engagement Results Overview

Many people expressed pride in Newton and also shared their insights on how spaces in the community could be enhanced. Overall across the engagement activities, we heard strong support for:

- More landscaping and green spaces
- Improved and expanded recreation facilities and park amenities
- More family-friendly events and activities
- Cleaner and safer spaces, that are regularly maintained
- Improved streets to reduce congestion and enhance pedestrian safety
- Better active transportation infrastructure to prioritize transit and cycling
- More outdoor spaces, cafes, and restaurants in the neighbourhood where they can gather socially

Participants were asked to share what words came to mind when thinking about Newton. Positively, Newton was described often as “*diverse*” and “*busy*”. Unfortunately, “*dirty*” was a word that was also mentioned.

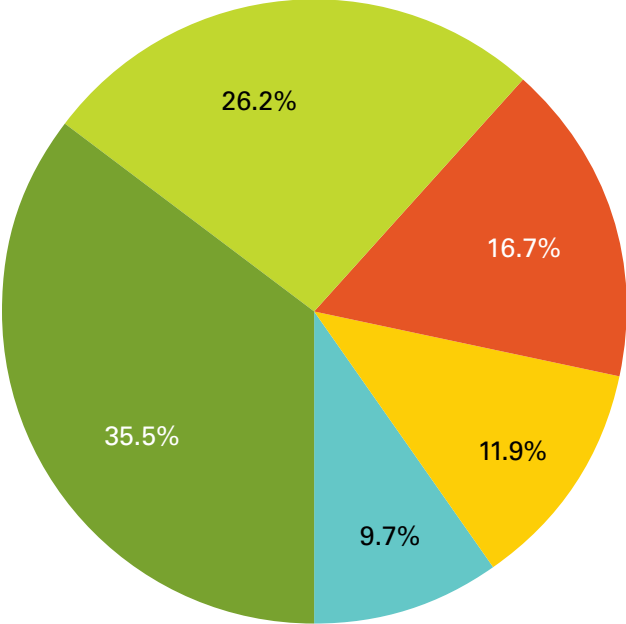
Understanding Newton

Finding Connection

Survey respondents shared that they find connection at the following locations. Less than 1% of total respondents noted that they don't feel connected within their communities.

- Park
- Place of worship
- Recreation centre
- Other*
- Library

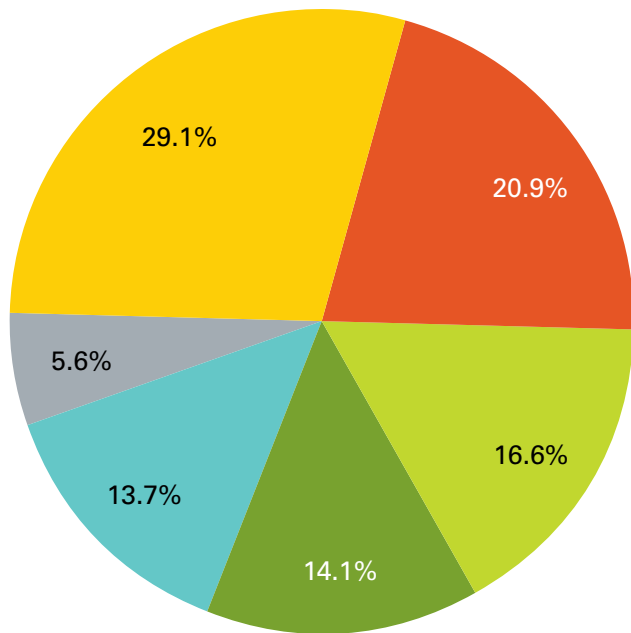
*Other responses included local cafes, neighbourhood events and public spaces.



Survey respondents were asked how they felt when spending time out and about in Newton—for example in public spaces or between errands. An almost even number felt a sense of belonging as those who did not. This indicates a need to improve public spaces to create a sense of belonging and connection for residents.

Neighbourhood Pride

Survey respondents shared that they are proud of the following features of their neighbourhood.

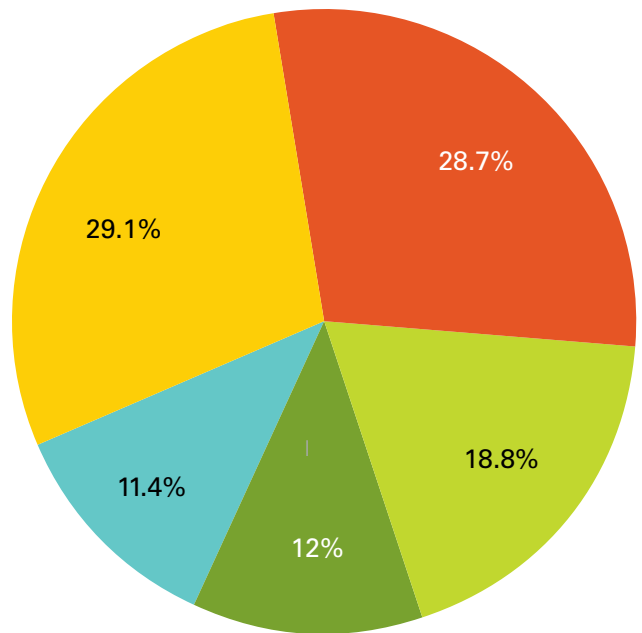


- Parks
- Open spaces
- Neighbours
- Celebrations and events
- Civic facilities
- Other*

*Other responses included local businesses, active transportation routes and places of worship.

Cleanliness and Care

A majority of respondents (over two thirds) do not feel that Newton is clean. When asked about the biggest cleanliness issues in Newton, people were most concerned about:



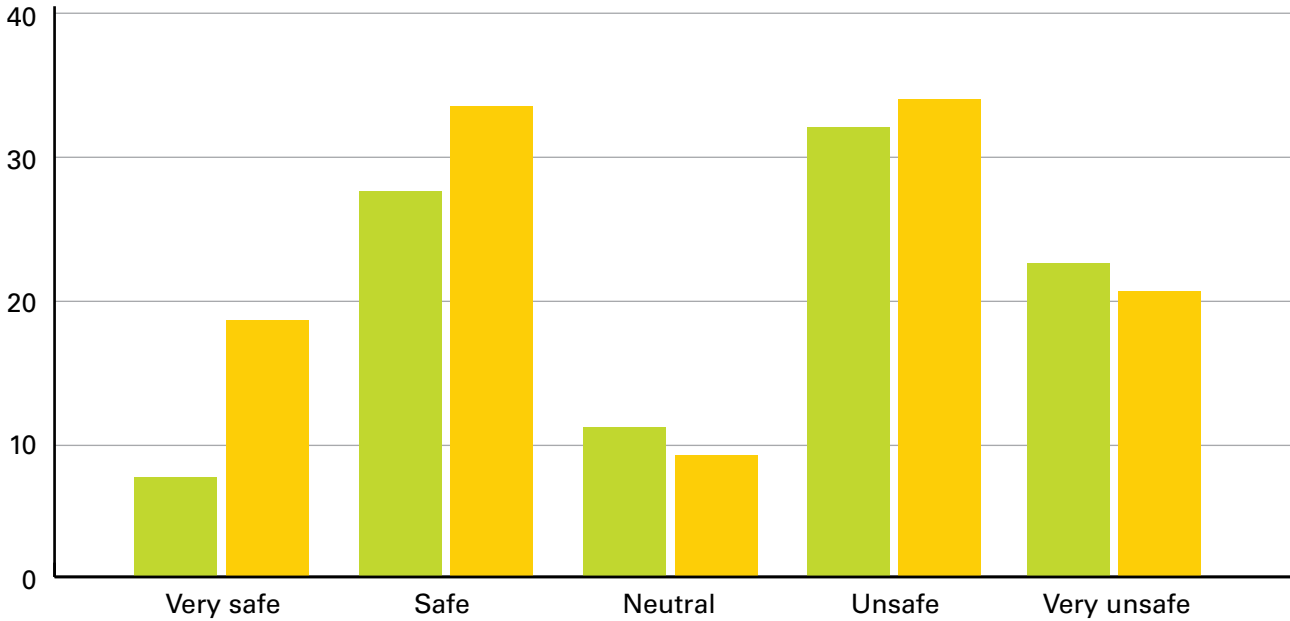
- Illegal dumping
- General litter on streets and sidewalks
- Unsightly private property
- Graffiti and tagging
- Destruction of property

Respondents also shared concern around homelessness and drug addiction in the Newton area, as well as the need for maintenance and care on both public and private property.

Feeling Safe

Overall, a similar number reported feeling unsafe as those who felt safe when walking alone in Newton. However, women, non-binary, and people who self-described their gender reported feeling less safe than the average male.

■ Women, non-binary and self-describing ■ Men

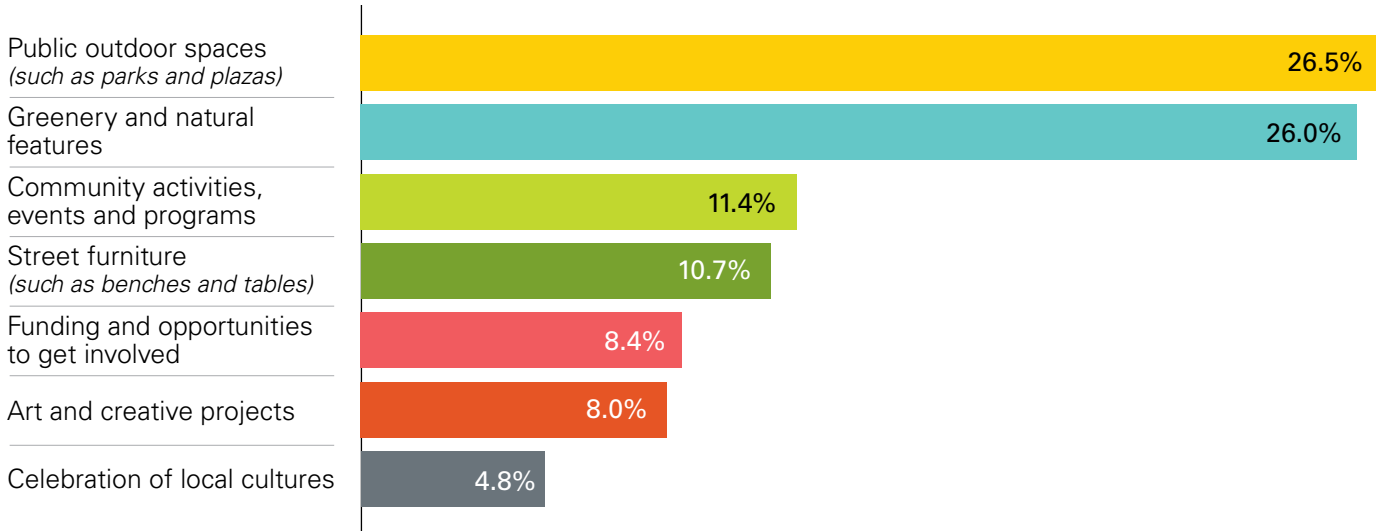




Priority Improvements

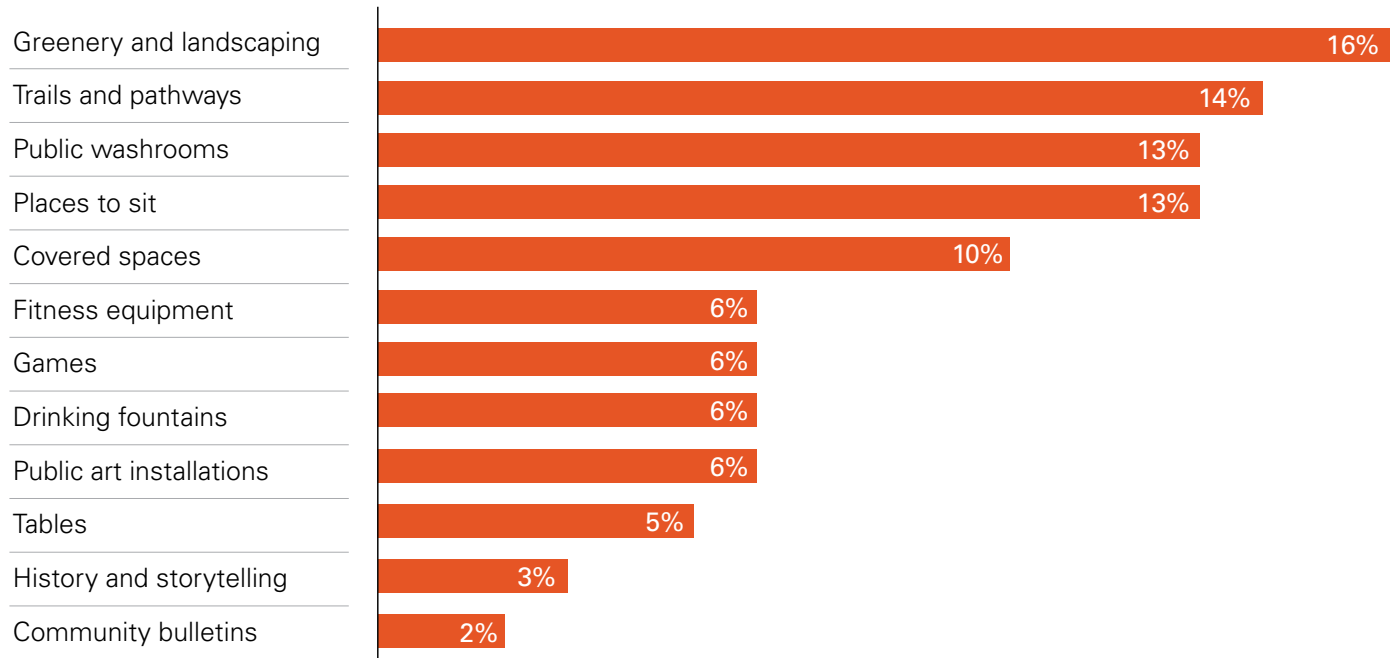
We wanted to find out the community's priorities in order to know which changes would have the most positive impact in Newton. In particular, we asked about improvements at parks and open spaces, on streets and sidewalks, and at events and activities. These findings are detailed on the following pages.

Survey respondents shared that they would like to see more:



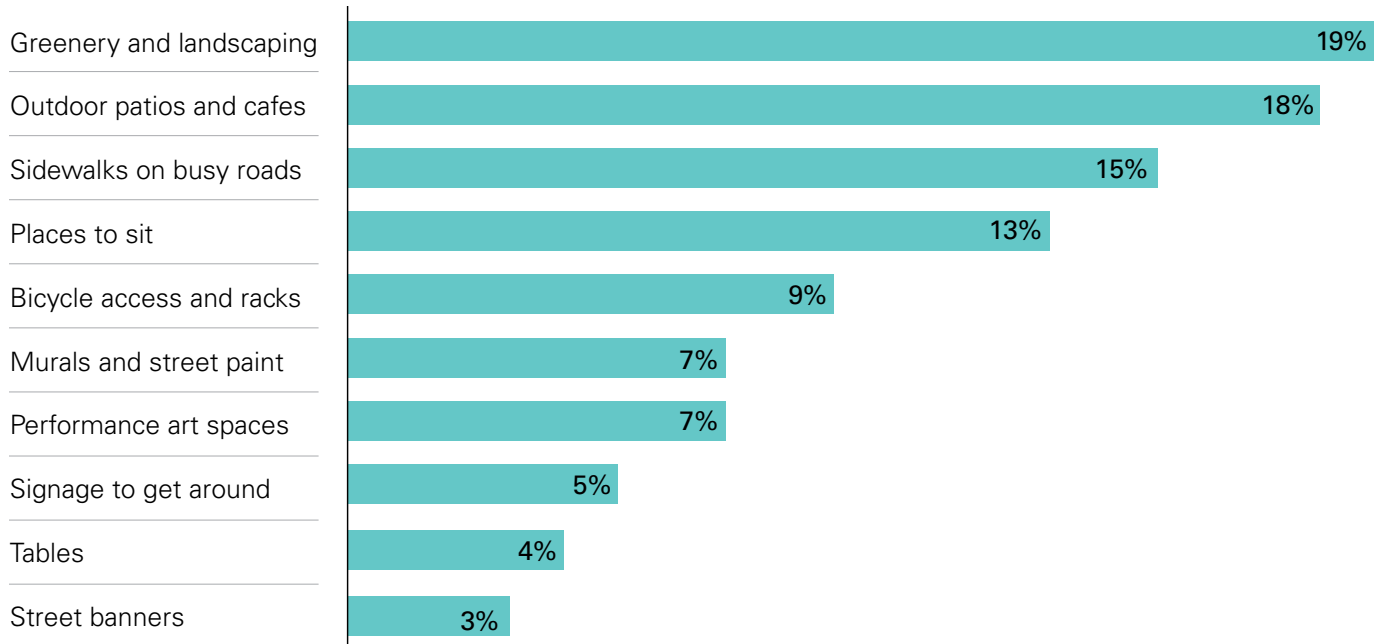
At Parks in Newton

Respondents shared what additions they would like to see at parks in Newton. Priorities identified include: greenery and landscaping, walking trails and pathways and various infrastructure to support a diverse range of people using parks. Parks were identified as important community spaces for families and friends to meet and gather. Other open ended survey responses shared the need for garbage cans and litter cleaning.



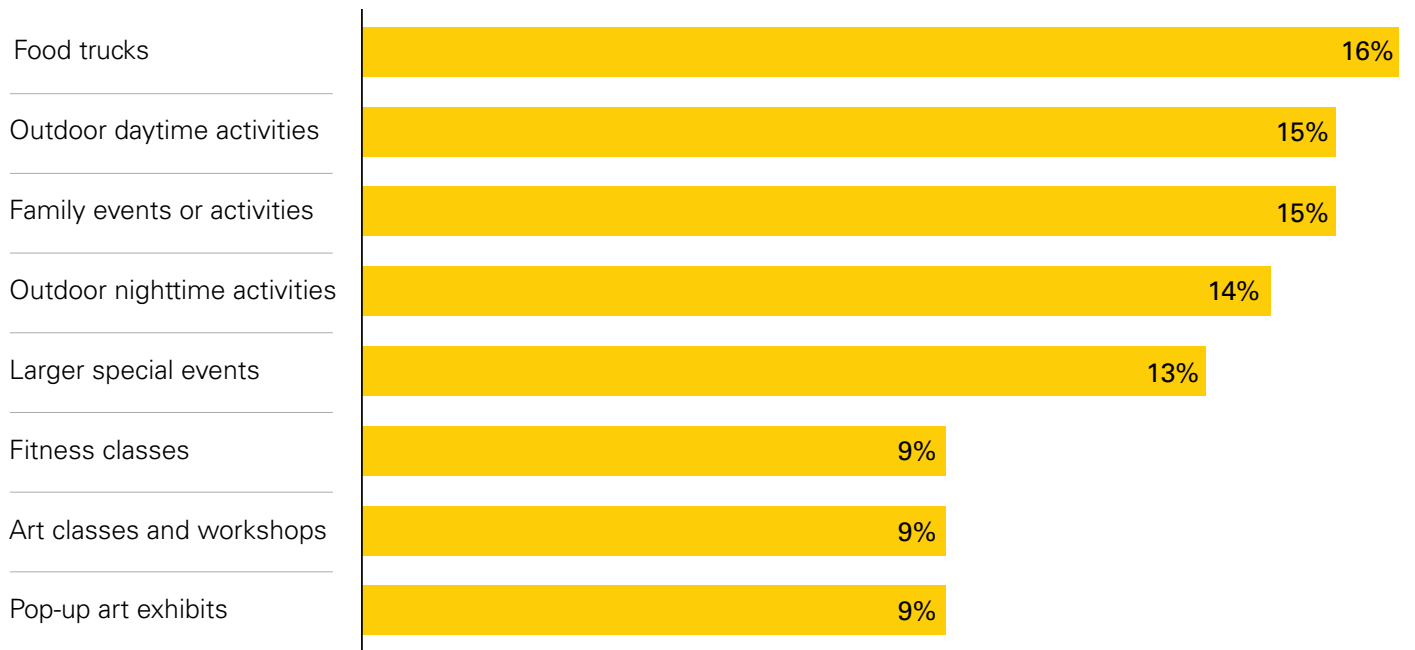
On Streets and Sidewalks in Newton

Respondents shared what improvements they would like to see along streets and sidewalks in Newton. Responses indicated a desire for vibrant public spaces with street-level activities, and the infrastructure to support that. Other open ended survey responses noted better lighting and larger pedestrian spaces, like plazas.



Events and Activities in Newton

Respondents shared what types of events and activities they'd like to attend in Newton. Other open ended survey responses expressed support for music, shows and festivals (for entertainment and local food). Respondents also noted cleanliness and safety.



Public Art

The types of art that respondents indicated they most wanted to see in public spaces included art that involves light or water, art on plaza and sidewalk surfaces, discoverable art along paths, Indigenous art, and street banners.

Youth Voice (under 19)

Youth (under 19) in Newton would like to see more: public outdoor spaces; art and creative projects; community activities, events and programs; and greenery and natural features.

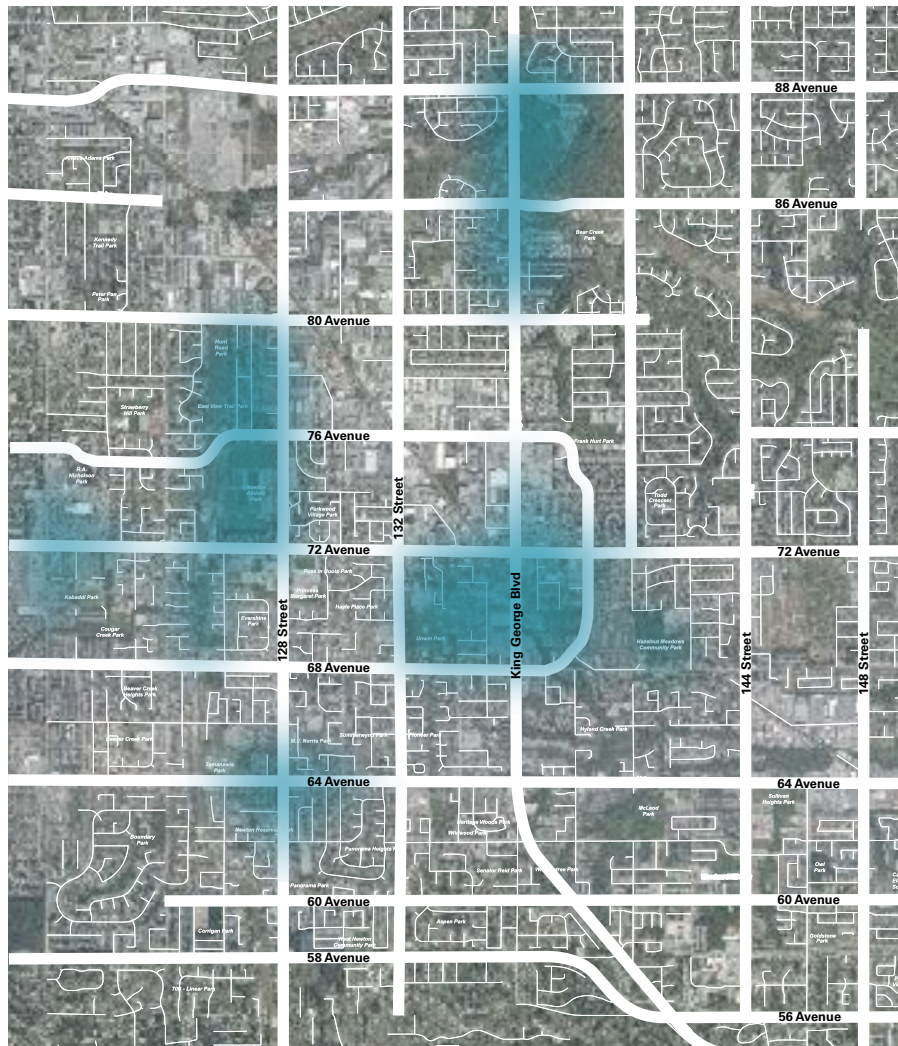
Grant Program

Survey respondents were asked if they would be interested in participating in a neighbourhood grant program to lead a creative, community oriented project. One third of respondents (33%) expressed interest in such a program.



Key Newton Locations

Survey respondents and open house participants identified the top locations in Newton where they love to spend time or that needed improvements. This feedback on important areas for Newton residents will be combined with other data sources (such as population density and land use designations) to help prioritize focus areas for the Action Plan.



Next Steps

Thank you to everyone who participated in the Focus Newton public engagement! Input from the community will help guide the Focus Newton Action Plan as it is developed in Fall 2023. The Action Plan will detail short and mid term priorities to help rejuvenate, beautify, and enhance Newton. The Action Plan will also explore the role of the City of Surrey in supporting the community and identify opportunities for residents who are eager to help enhance Newton.

The City of Surrey's Public Engagement Strategy is modeled after the International Association for Public Participation (IAP2) guidelines and best practices.



How to Stay Involved
For update and more info on the engagement that took place, please visit surrey.ca/focusnewton.

115780 / 2023

NO: R074

COUNCIL DATE: April 22, 2024

REGULAR COUNCIL

TO: **Mayor & Council**

DATE: **April 15, 2024**

FROM: **General Manager, Engineering
General Manager, Parks, Recreation &
Culture**

FILE: **1721-011/11**

SUBJECT: **Update on the Bear Creek Park Improvements**

RECOMMENDATION

The Engineering and Parks, Recreation & Culture Departments recommend that Council:

1. Receive this report for information; and
2. Endorse the next steps for improvements to Bear Creek Park as described in this report.

INTENT

The purpose of this report is to seek Council's endorsement for next steps of improvements to Bear Creek Park.

BACKGROUND

On April 17, 2023, Council approved Corporate Report No. R053; 2023 (attached as Appendix "I") for the City to develop a finalized list of potential improvements to Bear Creek Park. To date, as part of the 84 Avenue project, the City has invested \$2.7 million in environmental and park improvements, including parking, walking trails, landfill remediation, and removal of invasive plants in riparian areas. The City has an estimated \$836,000 in its remaining budget towards further park improvements and staff have developed a finalized list of potential park improvements for this remaining funding.

DISCUSSION

The table below summarizes the Bear Creek Park improvements developed by staff, which are also illustrated in Appendix "II". These proposed improvements were considered in detail with a sub-committee to the Environment and Climate Change Committee (the "ECCC"). The feedback received was to focus the funding available to protect the natural environment and maximize the ecological value of Bear Creek Park, and as a result, the potential improvements were prioritized as ranked in the table below.

The final prioritized list was endorsed by ECCC on November 15, 2023, as well as the Parks, Recreation & Sport Tourism Committee (the "PRSTC") on February 7, 2024.

Item #	Potential Improvements	Estimated Cost	Supported by ECCC and PRSTC	Ranking Priority
1	Constructed Wetland/Rearing Pond	\$836,000	Yes	1
2	Riparian Enhancements/Natural Restoration	\$270,000	Yes	2
3	Wildlife Exclusion Fencing	\$300,000	Yes	3
4	Bear Creek Bridge Public Art	\$250,000	No	
5	Park Covered Seating/Picnic Benches	\$100,000	No	
6	Community Garden	\$250,000	No	
7	Northern Loop Boardwalk	\$625,000	No	
8	Eastern Gravel Trail	\$250,000	No	
9	Eastern Pathway Extension (south side	\$450,000	No	
10	Southern Paved Pathway Loop (with culverts)	\$450,000	No	
11	Southern gravel trail extension	\$250,000	No	
	Total Cost (of all items listed above)	\$4,031,000		
	Available Budget	\$836,000		

Given the funding amount available for the Bear Creek Park Improvements, the creation of a wetland to serve as a rearing facility for juvenile fish passing along King Creek is likely the only project to be delivered.

Sidewalk and Trail Improvements

Over the past year, staff have received inquiries from both the public and Council regarding the need for safe pedestrian and cycling connections along both sides of 84 Avenue between King Creek and 140 Street, as generally illustrated in Appendix “II” (Items 8 and 9 in the above table).

To address the pedestrian and cycling safety concerns, staff will construct a concrete sidewalk along the south side and a gravel trail along the north side of 84 Avenue. The gravel trail on the north side is intended to be designed and constructed as close to the existing road edge as practical to minimize any impacts to the adjacent forested edge. The trail will improve connections with existing park paths in Bear Creek Park for park visitors.

Project Schedule and Next Steps

Wetland and Rearing Pond

As the construction of the wetland and rearing pond is located within sensitive environmental habitat along King Creek, Provincial and Federal regulatory agencies approval is necessary. Furthermore, the proposed wetland is located within BC Hydro’s right-of-way and will require their approval before the work may proceed to construction.

Subject to Council’s approval of this report, staff envision the following next steps.

Task	Schedule
Council Approval of this Corporate Report	April 22, 2024
Wetland/Rearing Pond Preliminary Design	April - June 2024
Environmental Regulatory Application Submission	July 2024 - Spring 2025
BC Hydro Approval	July 2024 - Spring 2025
Public Engagement and Presentations to ECCC and PRSTC (<i>subject to receiving regulatory approvals</i>)	Spring 2025
Construction Contract Award (<i>subject to Council approval</i>)	Late Spring 2025
Construction	Summer - Fall 2025

The sidewalk and trail improvements are scheduled to commence later this Spring and will be completed by the end of 2024.

FUNDING

Funding for the wetland and rearing pond is available within the approved 84 Avenue project budget. Funding for the sidewalk and gravel trail is available within the approved 2023 Parks, Recreation & Culture and 2024 Transportation Budget. Funding to support future Public Art enhancements is available through the Civic Public Art stream.

CONCLUSION

Based on the discussion in this report, it is recommended that Council endorse the next steps for improvements to Bear Creek Park.

Scott Neuman, P.Eng.
General Manager,
Engineering

Laurie Cavan
General Manager
Parks, Recreation & Culture

VJ/NA/cc

Appendix “I” – Corporate Report No. R053; 2023
Appendix “II” – Potential Bear Creek Park Improvements

NO: R053

COUNCIL DATE: April 17, 2023

REGULAR COUNCIL

TO: Mayor & Council

DATE: April 13, 2023

FROM: General Manager, Engineering
General Manager, Parks, Recreation & Culture

FILE: 6120-01

SUBJECT: Bear Creek Park Improvements

RECOMMENDATION

The Engineering and Parks, Recreation & Culture Departments recommend that Council:

1. Receive this report for information;
2. Endorse the next steps for improvements to Bear Creek Park, as discussed in this report; and
3. Forward a copy of this report to the Environment and Climate Change Committee for their information.

INTENT

The purpose of this report is to seek Council's endorsement for next steps of improvements to Bear Creek Park, including working with the Environment and Climate Change Committee ("ECCC") on identifying and prioritizing park improvements within the allocated funding.

BACKGROUND

On March 8, 2021, Council authorized staff to commence with engineering services for the field investigation, preliminary design and public engagement of 84 Avenue between King George Boulevard and 140 Street. As part of the project, the Engineering and Parks, Recreation & Culture Departments collaborated on potential park amenity improvements that could be delivered in conjunction with the 84 Avenue project. Park improvements envisioned by staff include:

- i. Environmental wetland;
- ii. Invasive species removal and replanting;
- iii. Parking expansion;
- iv. Walking trails and public seating
- v. Dog off-leash areas; and
- vi. Public art.

These originally envisioned park improvements are shown in the attached Appendix "I".

To date, as part of the 84 Avenue project, the City has invested \$2.7 million in environmental and park improvements, including parking, walking trails landfill remediation, and removal of invasive plants in riparian areas. The City has an estimated \$836,000 in remaining budget towards further park improvements, with approximately \$250,000 of this budget allocated towards extending the southern walking trail to the Senior Living Centre at 8233 – 140 Street. Staff are developing a finalized list of potential park improvements for the remaining funding.

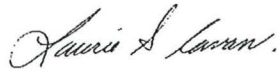
With the establishment of the ECCC in January 2023, as well as the receipt of ongoing feedback from the public, there is an opportunity for staff to utilize the ECCC to assist in developing the finalized list of potential improvements to Bear Creek Park, within the remaining funding.

CONCLUSION

Based on the above discussion, staff will develop a finalized list of park improvements, in conjunction with the ECCC, and implement the improvements to Bear Creek Park in Summer 2023.



Scott Neuman, P.Eng.
General Manager,
Engineering



Laurie Cavan
General Manager,
Parks, Recreation & Culture

JC/cc

Appendix "I" – Map of Proposed Bear Creek Park Improvements

Note: Appendix available upon request

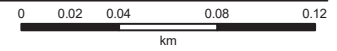
BEAR CREEK PARK IMPROVEMENTS

APPENDIX "II"



Scale: 1:2,000

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca



Map created on: 2023-07-18

NO: R075

COUNCIL DATE: April 22, 2024

REGULAR COUNCIL

TO: **Mayor & Council**

DATE: **April 18, 2024**

FROM: **General Manager, Engineering
General Manager, Parks, Recreation & Culture
General Manager, Corporate Services**

FILE: **5460-90 (Gen)**

SUBJECT: **Crescent Beach Parking and Walking Enhancements Update**

RECOMMENDATION

The Engineering, Parks, Recreation & Culture, and Corporate Services Departments recommend that Council:

1. Receive this report for information; and
2. Authorize staff to proceed with limited parking and walking enhancements in focused locations in Crescent Beach, as described in this report.

INTENT

The intent of this report is to provide Mayor and Council with updates on unauthorized signage and encroachments in Crescent Beach and feedback received through public consultation on proposed parking and walking enhancements, as well as to seek Council's approval of next steps.

BACKGROUND

On December 18, 2023, Council received Corporate Report No. R223; 2023, attached as Appendix "I", to which Council directed staff to educate Crescent Beach residents on applicable City Bylaws and to subsequently remove unauthorized signs and encumbrances in public road allowance, as well as develop conceptual plans for parking and walking enhancements in Crescent Beach and seek input from the community.

DISCUSSION

Unauthorized Obstructions and Signs

There are approximately 100 properties in Crescent Beach that have unauthorized impediments, such as "private parking" signs, boulders, and landscaping, in the public road allowance that restricts the City's ability to access utilities and maintain roads, as well as restricts the public's use of the road corridor for parking, walking, and cycling. Council directed staff to proceed with the removal of these unauthorized obstructions to alleviate these issues.

There are 45 properties in Crescent Beach with unauthorized “private parking” signs, which staff are issuing notices to residents to remove. Furthermore, there are 57 properties with unauthorized landscaping or structures (such as fences, gates, walls), which staff are currently seeking compliance with the respective owners to remove.

Parking and Walking Enhancements

Conceptual plans were developed for parking and walking enhancements on targeted streets closer to the beach where on-street parking and walking demands are generally higher, particularly where there is no sidewalk for pedestrians. The streets focused for parking and walking enhancements include segments of McBride Avenue, Sullivan Street, Target Street, and Alexandra Street. The concept plans were developed with consideration of the local neighbourhood character, archaeological impacts, impacts to private property, and cost of the proposed improvements. The concept plans developed included formalized parking on the targeted streets through a combination of angled and parallel parking on gravel surfaces, with the paved sidewalks adjacent to the parking areas and a boulevard to separate the parking and walking facilities, where space permits.

Public Engagement

The engagement efforts focused on educating residents regarding Bylaw requirements associated with obstructions and encroachments and seeking residents to remove unauthorized signage/obstructions. As well, staff presented plans for parking and walking enhancements on the targeted streets. Staff undertook engagement efforts using a broad-based approach involving:

- Presentation to the Crescent Beach Property Owner’s Association on January 10, 2024;
- Over 600 postcard mailout on road allowance education issued on January 29, 2024 to all properties within Crescent Beach community and broader area;
- Development of a dedicated Crescent Beach Parking and Safety Improvements webpage launched on March 13, 2024
- Public ‘Open-house’ with staff presentation to the 124 attendees on March 13, 2024; and
- Launch of a project survey which was available from March 13, 2024 to April 5, 2024.

The City issued a project survey, which provided facts regarding the parking supply in Crescent Beach, along with proposed improvements to parking and walking on the targeted streets. Feedback was sought and received on the proposed concept plans and included open-ended comment boxes for the public to provide input on the overall initiative to improve parking and walking in Crescent Beach.

Summary of Engagement Responses

The survey received over 150 responses, 90% of whom reside in Crescent Beach, while 10% of respondents were visitors to Crescent Beach. A summary of the survey responses received is provided in Appendix “II”. The survey responses generally align with the feedback received from residents at the public meeting.

Over the various forms of engagement, feedback from local residents was mixed and differentiated when considering modifications to parking versus the need for off-street sidewalks/pathways and accessibility improvements.

Parking Modifications

In regard to parking modifications, residents understood the challenges associated with encumbrances in the road allowance that inadvertently restrict parking and walking improvements. Residents also understood the need for formalized parking on isolated and specific road segments to improve traffic congestion; however, residents were not supportive of increasing overall parking spaces/supply broadly in the community because of concerns that increased parking will attract more visitors, traffic, and public nuisance (litter, noise, beach fires, damage to boulevard, inability to exit driveways, etc.) without a corresponding increase in Bylaw enforcement.

Through the various engagement discussions, local residents suggested the following:

1. Review of existing on-street parking signage (hours, orientation, setbacks, etc.), as it is unclear and inconsistent on a number of streets;
2. Increase way-finding signage to the Blackie Spit parking lots (including gravel overflow) so visitors maximize use of public parking over the use of on-street parking;
3. Consider restricting parking to two hours on Sullivan Street and Beecher Street fronting commercial properties to support local businesses;
4. Consider adding on-street and off-street parking at the vacant City Lot/Park at 12254 Beecher Street (McKenzie Road);
5. Consider restricting parking to three hours or introduce pay parking at Blackie Spit to encourage turnover of parking, acknowledging that this would result in “spill over” parking onto local streets, which residents did not desire unless there was a residential-permit system;
6. Introduce a community shuttle outside of Crescent Beach for visitors, which was previously considered by staff and deemed financially unviable based on a 2022 pilot project in Boundary Bay Park.

Walking Enhancements

In regard to walking and accessibility improvements, residents were generally supportive of off-street asphalt sidewalks/pathways on targeted roads with high combination of vehicle and pedestrian traffic, in order to allow residents opportunities to safely walk without co-mingling with traffic. In addition to improving public safety, this would alleviate traffic during peak hours and improve emergency response.

Suggestions by the public to improve walking and safety in Crescent Beach were on specific road segments, rather than broadly across the community, and included:

1. Completion of sidewalk connections for missing “gaps” along Sullivan Street, particularly west of Kidd Road bus stop and Alexandra tot-park area; and
2. New walkways on Wickson Road, Target Street and Alexandra Street as primary access locations to the beach.

Emergency Services

Staff consulted with Surrey Fire Service, who have expressed concerns over traffic congestion and pedestrian co-mingling on McBride Avenue (north) between Sullivan Street and Blackie Spit parking during peak hours (late evenings, weekends, and summer months). The traffic congestion is primarily as result of McBride Avenue being the sole entrance into Blackie Spit, combined with narrow road width that only accommodates two travel lanes with narrow gravel shoulders where parking is permitted on both sides and there are no sidewalks, which result in pedestrians using the roadway.

To mitigate this issue, parking could be reduced or eliminated on one-side of McBride Avenue and replaced with an off-street pathway for pedestrians. Staff have not solicited feedback from those fronting properties on this proposal and thus staff recommend distributing notices to fronting residents and piloting temporary “No Parking” signs and enforcement on one side of McBride Avenue (north) for Summer 2024 to address public safety, allowing pedestrians to utilize a gravel shoulder, while concurrently seeking feedback as to whether a permanent asphalt pathway should be implemented.

Recommended Parking and Walking Enhancements

Based on the feedback received from the community and discussions with emergency services, staff have developed a balanced approach to improving parking and walking on isolated roads, while not increasing overall parking supply and being cognizant of resident concerns with public nuisance issues in Crescent Beach. The proposed improvements, illustrated in Appendix “III”, are as follows:

1. Review, amendment and updates to existing on-street parking signage to ensure a consistent approach (whether angle or parallel parking is required), adequate sightlines and parking hours, which will include two-hour parking on portions of Sullivan Street and Beecher Street that are in proximity to commercial areas;
2. Increase way-finding signage to the Blackie Spit parking lots (including gravel overflow) at the entrance to Crescent Beach, as well as within Blackie Spit;
3. Minor modifications to the existing gravel overflow parking spaces in Blackie Spit to improve turning movements;
4. Adding on-street parking fronting the vacant City Lot/Park at 12254 Beecher Street (McKenzie Road);
5. Completing sidewalk connections for missing “gaps” along Sullivan Street, particularly west of Kidd Road bus stop and Alexandra tot-park area, to improve accessibility access to the beach area;
6. New accessible walkways on Wickson Road, Target Stret and Alexandra Steet;
7. Pilot temporary "No Parking" on one side of McBride Avenue (north) for Summer 2024; and
8. Develop concept plans for pathways along McBridage Avenue (north) and Kidd Road, between Sullivan Street and Gillery Road to improve walking and access to Crescent Beach and Alexandra tot-park.

Schedule / Timelines

Based on the recommended parking and walking enhancement, the schedule of next steps is:

1. April/May 2024 / Obstruction Removal: Engineering staff to continue removal of unauthorized obstructions and signs within the public road allowance to improve access to utilities and support the public’s use of the road corridor for parking and walking. Bylaw staff will continue to educate area residents of the applicable bylaws and regulations, and issue infraction notices as necessary.
2. May 2024 / Signage Improvements: Engineering staff to install parking signage along streets clarifying areas and times where the public is permitted to park on-street, along with enhancing way finding signage to the Blackie Spit parking lot.
3. June 2024 / Parking and Walking Enhancement: Proceed with parking and walking enhancements on focused areas to the beach and fronting the City-owned park property, which will add 25 on-street parking spaces and provide a continuous walkway from transit stops to and from the beach and parking lot.

4. Ongoing / On-street and Park Parking Supply Demand: Parks and Engineering staff to continue monitoring parking demand during peak periods in Crescent Beach, and the success of these works, to determine if any future work is necessary.

CONCLUSION

Removal of unauthorized obstructions within the public road allowance will support the public's and the City's use of the road allowance. A phased approach to Bylaw enforcement has been undertaken including public information and education efforts and is being followed up by targeted removal of obstructions. Furthermore, staff recommend proceeding with the plan for parking and walking enhancements for certain streets as developed based on public feedback.

Scott Neuman, P.Eng.
General Manager,
Engineering

Laurie Cavan
General Manager
Parks, Recreation & Culture

Joey Brar
General Manager, Corporate Services

VJ/cc

Appendix "I" – Corporate Report No. R223; 2023
Appendix "II"-Summary of Survey Responses
Appendix "III" – Recommended Parking and Walking Enhancements

NO: *R223*

COUNCIL DATE: *December 18, 2023*

REGULAR COUNCIL

TO: Mayor & Council

DATE: December 13, 2023

FROM: General Manager, Engineering
General Manager, Parks, Recreation & Culture
Acting General Manager, Corporate Services

FILE: 5460-90 (Gen)

SUBJECT: Crescent Beach Parking Update

RECOMMENDATION

The Engineering and Parks, Recreation & Culture Departments recommend that Council:

1. Receive this report for information;
2. Authorize staff to increase on-street parking spaces by educating Crescent Beach residents on applicable City Bylaws and to subsequently remove unauthorized obstructions and signs in public road allowance, as generally described in this report; and
3. Direct staff to develop a concept plan for parking and walking enhancements in Crescent Beach, as generally described in this report.

INTENT

The intent of this report is to provide Mayor and Council with updates on parking utilization in Crescent Beach and to seek direction to proceed with initiatives that will provide more equitable access to parking supply.

BACKGROUND

On June 5, 2023, Council received Corporate Report No. Ro87; 2023, attached as Appendix "I", which sought to have Council direct staff to:

1. Evaluate traffic calming;
2. Address illegal encroachment through bylaw enforcement; and
3. Not to implement "resident-only" parking.

The first two aspects were supported; however, the third was referred back to staff with a request for confirmation of parking occupancy through additional Summer 2023 occupancy surveys, review parking management for destination parks in other cities and assess potential for a shuttle from South Surrey Park and Ride.

DISCUSSION

Parking Supply

In 2022, staff conducted an extensive analysis of parking availability in Crescent Beach. The Blackie Spit parking lot has approximately 300 parking spaces while the on-street parking spaces has the potential for approximately 1,200 spaces for a combined total of approximately 1,500 parking spaces. The analysis also revealed that all but nine of the 374 houses have sufficient ability to park on their lots/driveways.

Through on-site observations, it was determined that 300 to 400 on-street parking spaces have obstructions, such as illegal “no parking” signs, boulders or unauthorized landscaping. These unauthorized obstructions discourage or physically restrict access to on-street parking, reducing the available on-street spaces from approximately 1,200 to 800, equating to over a one-third reduction in accessible parking.

A parking demand assessment was conducted in May and August 2022, as provided in Appendix “II”. Neighbourhood wide on-street parking occupancy was 32% on visits in May 2022 and 44% in August 2022; however, some individual streets experienced over 80% occupancy during an August weekend. These percentages are based on the reduced on-street parking supply (800 on-street), and a lower occupancy rate would have been realized if these unauthorized obstructions were rectified. The Blackie Spit parking lot was observed to have average occupancies of 37% and 61% during these months.

As requested by Council, a parking demand assessment was re-conducted in July and August 2023, as provided in Appendix “III”. The findings were generally consistent with those from 2022, with on-street parking occupancy observed at 39% in July 2023 and 36% in August 2023, with the same few individual streets near the beach having higher occupancy rates. Blackie Spit parking lot was to have average occupancies of 54% and 48% during these months.

Overall, the comprehensive parking surveys concluded that there is sufficient parking supply across the Crescent Beach community for both residents, commercial business patrons, and seasonal visitors from across the City. While individual streets close to the beach may experience higher parking occupancy during isolated, weekend evenings in August, the situation is not common across the broader community. In fact, there are 300 to 400 spaces occupied by unauthorized “private parking” signs, boulders, and landscaping which should be alleviated to increase overall parking supply. Based on these findings, the establishment of a “residential only” permit parking system for Crescent Beach is not warranted.

Public Transit Options

Crescent Beach is serviced by Transit, Bus #350 every 20-30 minutes from Semiahmoo and White Rock Centre. A 2022 shuttle service pilot in a similar area highlighted the cost inefficiency of the Boundary Bay Park route, suggesting that a park and ride service may not be a financially viable option for Crescent Beach.

Parking Management Strategies in Other Municipalities

Appendix “IV” outlines Parking Management Strategies at Destination Parks in other municipalities, encompassing residential permit parking, pay parking, and transit. Considering the highly seasonal and infrequent parking demand, both pay parking and residential-permit systems are deemed unwarranted for Crescent Beach.

Crescent Beach Parking and Walkway Enhancement Concept

The Crescent Beach road network is unique in that the majority of roadways do not incorporate sidewalks, curbs, and crosswalks. Resident and visitor parking extends into the public right-of-way. Pedestrian movement therefore occurs within the roadway (sometimes in conflict with traffic) and public parking space is less defined than in other Surrey neighbourhoods. Observations highlight heightened pedestrian and parking conflicts on streets like Beecher, Alexandra, and McBride during the summer, emphasizing the need for delineation and identification of trade-offs. A Parking and walkway enhancement concept will be developed following four key stages: Planning, Design, Consultation, and Construction, aimed at addressing these challenges and improving the overall accessibility and safety of Crescent Beach streets.

Next Steps

1. Q1 2024 / Educational Communication: This initial step involves an open house and information mail-out to residents regarding: bylaw requirements associated with obstructions and encroachments and seeking residents remove unauthorized signage/obstructions.
2. Q2 2024 / Parking and Walking Enhancements & Obstruction Removal: This phase will involve development of parking and walkway improvements on targeted streets, followed by public consultation. Bylaws and Engineering may also begin targeted removal of unauthorized obstructions and signs in the public road allowance.

CONCLUSION

Comprehensive parking surveys indicate that parking supply meets current demand for residents and visitors in Crescent Beach. Supply can be increased through the enforcement of City Bylaws to remove illegal obstructions and encroachments in public road allowance. A phased approach to Bylaw Enforcement is recommended, including public information and education followed by targeted actions to remove obstructions. Additional strategies to manage demand for parking at Crescent Beach include developing a Parking and Walkway Enhancement Concept for certain streets.



Scott Neuman, P.Eng.
General Manager,
Engineering



Laurie Cavan
General Manager,
Parks, Recreation & Culture



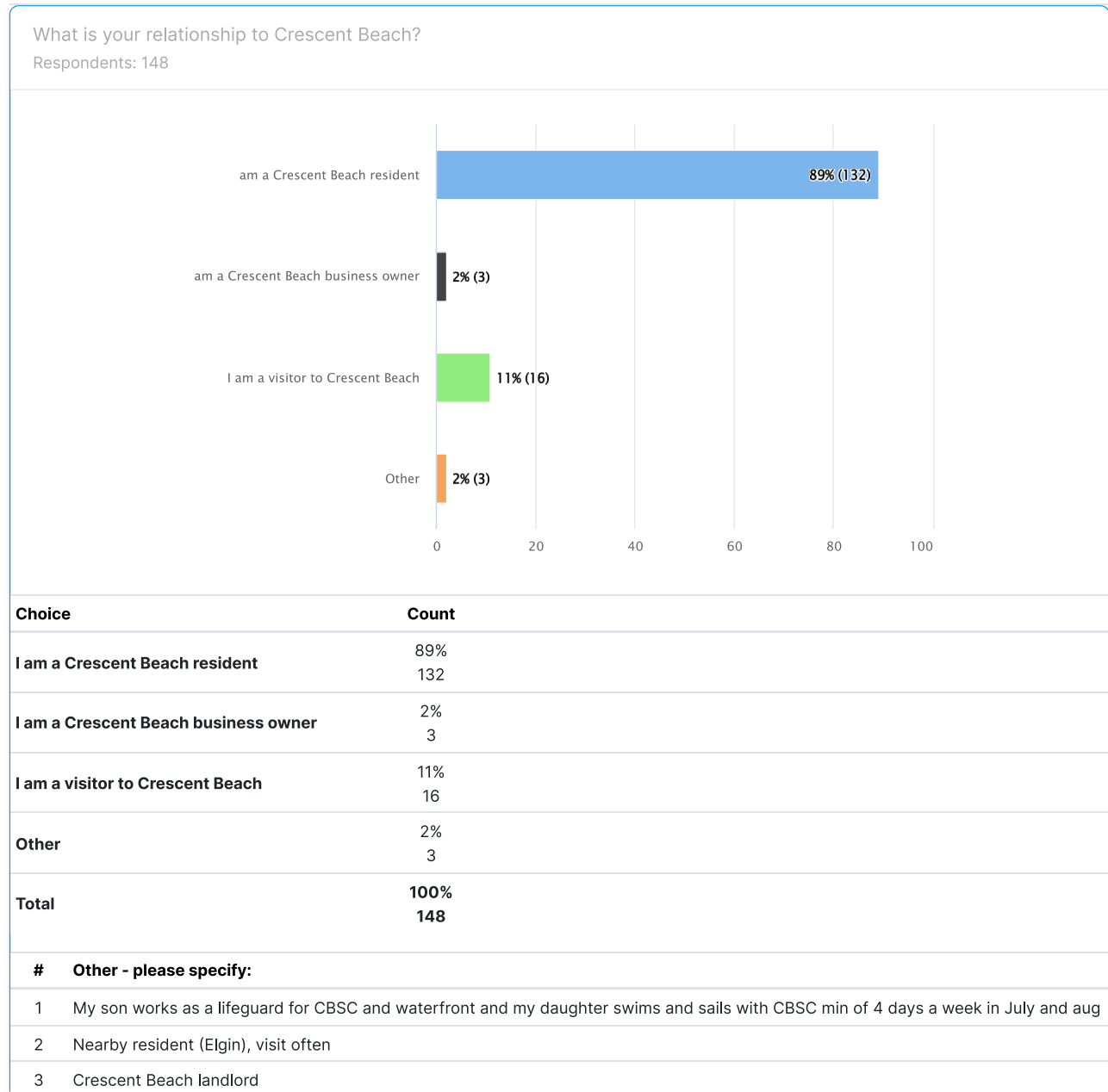
Joey Brar
Acting General Manager,
Corporate Services

RV/DH/cc

Appendix "I" – Corporate Report No. R087; 2023
Appendix "II" – Summer 2022 Parking Survey Results
Appendix "III" - Summer 2023 Parking Survey Results
Appendix "IV" - Parking Management Strategies in Other Municipalities

Note: Appendices available upon request

Crescent Beach Parking & Walking Enhancement Survey | Cumulative | Express Live Report



What other streets in Crescent Beach would benefit from parking and walking enhancements? (optional)
 Respondents: 69

#	What other streets in Crescent Beach would benefit from parking and walking enhancements? (optional)
1	These are the most important ones
2	A sidewalk extension down Sullivan Street would be amazing. Currently there is a small sidewalk that comes out of the Maple Ridge dyke access and in front of the bus stop at Maple Ridge/Sullivan Streets. It ends and we end up having to walk on the road with our strollers, kids etc. This is a busy road and it's uncomfortable to walk with young children.
3	Beecher St
4	Bayview. More parking outside of train tracks or up hill with shuttle. Residents can't leave when it is busy in summer. It shouldn't take an hour to get out of the beach.
5	None

6	Gilley, Maple, Bayview
7	None
8	Have you considered Maple Street?
9	None
10	Many cars don't seem to notice the stop sign on Sullivan and Dunsmuir and speed run through it without stopping. A light that would control traffic would improve the safety of pedestrians crossing here so that they can cut through Dunsmuir to the path that takes you to the beach and the Swim Club.
11	increasing the density of cars is not the best answer
12	Bayview
13	Maybe Bayview or Maple
14	None other
15	Up the hill - crescent beach is too congested
16	Parking along bay view? It gets to busy at beach in summer to drive into crescent beach
17	Dunsmuir, Gilley, Wickson
18	Sullivan from the railroad track to the Beach
19	Along the BCSA railway track entire length of Bayview would create additional 66 stalls , although the distance to the beach front would be about 3 to 4 minutes .
20	Most side streets , boats , trailers , parked sideways,
21	South end of McBride and Maple
22	McBride
23	Bayview
24	gardiner and agar street in particular due to summer events in the park by playground
25	Kidd road
26	Dunsmuir
27	None.We have too many cars now.
28	All of McBride
29	None
30	Wickson Road McBride entire section Sullivan and Beecher,(it looks like only part of McBride is included on the adjacent map) I think a paved walking path is better than gravel to accommodate strollers & wheelchairs On the photos included in this report it doesn't show where the walking path will be on Alexandra, Target, or Wickson? We also need a designated cycling path, beside walking path. The road is unsafe as car traffic is heavy and speeding is common. We need added speed bumps McBride
31	Gilley
32	Bayview
33	None. Your study's results show that the parking lot at Blackies Spit is never at full capacity. People should be directed to park there. There are appropriate walkways from the lot.
34	None- no parking enhancement is necessary. According to your data there is plenty of parking as the designated lot is never full. There are designated paths from this lot to the beach and Blackie spit area
35	Bayview Street - many residents encroach on city owned land. No sidewalks currently
36	None, I don't want more parking or walking enhancements...I want less cars in Crescent Beach. It's already gridlock. Less cars please. Walking along OHara Lane or the beach is just fine.
37	We need less cars in CB not more. Your parameters for parking times is not correct.
38	None. We are at capacity for cars in crescent beach. We need to reduce the number of cars coming into the beach by adding a free shuttle from the Surrey parking lot located beside Crescent Park Elementary School.
39	-Maple Street (from Mackenzie to Beecher) -walking surface is in poor condition and roadway is narrow. Additional parking could be created by widening the road adjacent to Herron Park. -Sullivan St consider extending sidewalk from Bus Stop at Beecher to Dunsmuir St. Walking area near road is narrow.
40	None
41	none
42	None. Proposal is very poorly thought out. Crescent Beach needs less traffic , not more. Safety an issue as there is too much totally unregulated traffic. Surrey City has a tremendous liability with emergency vehicles not having access plus children on bikes and on foot. Absolutely no oversight nor enforcement of bylaws.

43	Sullivan - entire length from Beecher Street. There's no place to walk and VERY dangerous walking along Sullivan from Beecher to Dunsmuir!
44	should we consider Wickson Road, leading to the pier?
45	Dunsmuir
46	All of Sullivan and all of McBride could use sidewalks. Any feeder street a block off of McBride could use more parking enhancements.
47	None
48	You were changing the parking to angle parking. Very dangerous situation on McBride and other main streets. The parking should be enhanced on streets like McKenzie. Less traffic easier to back out and turn around. Angle parking on main thoroughfares is a disaster.
49	Sullivan to the tracks. You need to be able to walk safely from bus stop all the way down Sullivan.
50	None
51	For Safety reasons: 1) Sullivan Street from Beecher to the Point. 2) McBride from Beecher to Blackies Spit(this will have to wait until underground work done from Sullivan/McBride intersection is done). 3)Play area between Sullivan and Agar needs control put on road(similar to painted markings for School). 4)Bayview needs addressing.
52	None
53	Every street requires walking improvement none require parking improvement
54	Dunsmuir St. walking improvements.
55	NONE
56	Bay View and Maple street , Many people park along the train tracks and around the traffic circle
57	Beecher
58	None !!
59	All streets in the designated beach area
60	The removal of all No Parking/Private Property/Resident Parking Only, etc. should occur on every street throughout the community to make it equitable for all residents and visitors searching for parking spaces.
61	No more parking. There's too many cars down here. Add a sidewalk on McBride and add speed bumps everywhere! Please! Bring people in with a shuttle.
62	Sunshine Alley: the Camp Alexandra side.
63	Wickson Rd & Dunsmuir Rd
64	Gilley, Gardiner, Agar
65	All of McBride between Beecher & Sullivan as well as Wickson Road
66	Sullivan
67	I think you are missing the point. The proximity of the streets that you have targeted are close to the beach and will naturally attract people looking for parking. It gets super congested along McBride. If you encouraged parking on the other streets that are 1 or 2 blocks off the beachfront you will spread out that congestion. Your plan bypasses the other blocks and encourages major traffic to try to find parking along McBride, Target, Sullivan and Alexandre. ran out of space for words..
68	Gilley, Gardiner, Agar
69	No additional parking but improve walkability and safety for everyone.

Are there any other factors that need to be considered that we may have missed? (optional)

Respondents: 79

Are there any other factors that need to be considered that we may have missed? (optional)

- | | |
|---|--|
| 1 | Pedestrian safety has actually never been a problem in the 50 years I have lived in the beach. I have never heard of a pedestrian being hit. |
| 2 | Ability of emergency vehicles (fire, ambulance, RCMP/Police, Surrey bylaw etc) to access the beach during peak hours and considering there are only two roads in that may be impeded by train traffic. You're making an assumption pedestrians will only use sidewalks where provided, which is unlikely. There is no REAL enforcement at the beach already - speed, parking, dogs, fires, trash/littering, environmentally sensitive area at Blackie Spit that should be trail only with people everywhere. |
| 3 | The fact that as residents we asked for help with congestion. We weren't looking to add additional public parking considering the amount/volume of outside visitors and the fact that our neighbourhood has become gridlocked in the summer. |
| 4 | Traffic control. Issuing fines for speeders. Which are most of the people who drive down Sullivan St. Talk about safety issues. This needs to be addressed. |
| 5 | Adding congestion to an already congested area. |
| 6 | Emergency access when beach is over capacity |

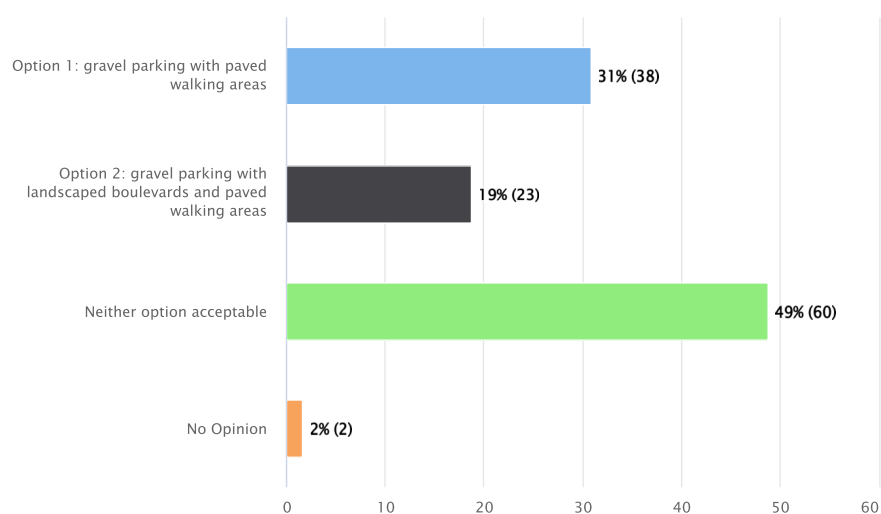
7	Yes. The ability for fire ambulance to get near the beach when necessary the amount of traffic into and out of the beach already creates huge traffic issues. I never plan to leave the beach between 2 and sundown if at all possible due to heavy traffic volume train issues. If there is a major accident I worry about the congestion. People ignoring signs and blocking driveways. Residents walking and riding bikes with increased traffic is a potential danger. Especially in the spring and summer mon
8	Walkability
9	We cannot handle any more cars there is gridlock speeding very unsafe to add more car accommodations
10	You have completely not accounted for the properties and the owner/residents parking. Many properties have to park as they do currently due to the history of development. Also you need to spend far more hours, days, weeks and months being in Crescent Beach to understand the issues that are faced by the owners/residents each days. Your tertiary study is completely faulty. Open your eyes and get out of your vehicles, maybe you'll learn something!
11	Hopefully additional parking and walking paths will include extra trash cans and trash pick up as well as city crews maintaining the surrounding area. Many residents clean up trash on the beach where crews don't go so it would be nice to not have to do additional pick up in the neighbourhood. Also, signage to remind folks of basic beach etiquette and that fires are not permitted. Finally, apologies for bad behaviour of entitled CB residents.
12	The impact of additional cars/traffic to the already over stressed neighbourhood. You don't patrol the parking Noosa it is so you are just making a bad situation worse
13	Many children cycle from Ocean Park to the Crescent Beach Swim Club for daily lessons in July and August. I think these children on their bicycles need to be accommodated in order to keep them safe. At the moment residents put up homemade signs to remind drivers to slow down and increase caution. We have all witnessed near misses.
14	Ingress and egress from Crescent Beach
15	We already have a situation of too many cars in Crescent Beach. Access is blocked during the summer to get in and out efficiently for daily living.. ie: appointments etc. Not to mention emergency access ie: fire, ambulance, etc. Adding more parking will only make this even more of a problem.
16	remember that you are planning for all of Surrey, not just CB residents who feel very protective of their paradise.
17	impacts to the Village Character and property values and overall greenness and air quality gas cars will be dominate electrics
18	The general dismay of the public - that they don't want more people in the summer. I like the crowd
19	Teaming up with bylaw, and trash and facilities .
20	Enforcement is missing here!!!
21	Yes summer is gridlock and something needs to give - if an emergency were to happen vehicles wouldn't be able to get in or out
22	They should start pay parking
23	Additional people on crowded days !
24	Not everyone in CB has parking on their property.
25	The most significant issue for the residents of Crescent Beach is the amount of traffic in the village during high season. The community requested that you create some owner designated parking with permits and the proposal we saw was to increase the number of parking spots that will dramatically increase are biggest issue - TRAFFIC. And, rather than consider our request, it is now opposite of what the residents desperately need. Also some pedestrian improvements in key spots
26	1- the village can't handle 300+ vehicles transporting an average of 3 persons , that would make 900 peoples , access to emergency vehicle is already a challenge 2- cleanliness is a serious issue , maintenance currently is horrible throughout the entire beach fronts , we (residents) continuously clean up overflowing garbage cans , general public areas also are a resident chore 3- providing additional parking spaces where there is only one way in and one way out is asking for serious law suits
27	Safety for children and walkers on roads to swim classes,etc.
28	Parking for residents. You can't take that away. Where will they park. They are the ones that help clean/protect the beach
29	Speeding and blowing thru stop signs and/or passing unsafely
30	Safety for children walking and biking to the Crescent Beach Swim Club. A traffic light at the top of the hill to speed cars up and out of CB
31	Safety
32	In the summer we have hundreds of kids 3 years and up who cycle to and from tge swim club specifically because of lack of parking for visitors (live in ocenpark) or are residents of crescent beach. Will the streets we narrower making cycling unsafe for children? Will there be bike lanes? Share the road signage?
33	The problems with traffic/too many people now.before you do any of this.
34	Pollution, sound pollution, litter, fires, beach visitors not respecting nature reserve areas, speed limits and proper driving (abiding by 4-way stops, proper right-lane driving, speed limits thst respect kids snd seniors)
35	No
36	Safety and well being of the residents of Crescent Beach.

37	Landscape and encroachment onto property. Although it is city Blvd. Residents typically take care of such property which the city does not keep up with ie target lane. Amble green Blvd is also a good example of city Blvd not being taken care of. High priced homes with high taxes being turned into a parking lot
38	The nuisance behavior (e.g., public urination etc.), garbage, by-law enforcement etc., that goes along with bringing in more people to the area. Nothing has been offered in terms of managing the current traffic volume at peak times, and the grid-lock that presents safety concerns for first responders and those requiring immediate emergency services.
39	At this time nothing seems to be addressing the issue of traffic gridlock at peak times, and emergency vehicle access. Increased traffic will also increase garbage and nuisance behaviours, increased by law enforcement and garbage pick up will be necessary.
40	A key factor is that every resident of Surrey and beyond should be able to access and enjoy Crescent Beach
41	(1) managing traffic that accumulates and affects entry and exit to the village (2) speeding issues of incoming volume of vehicles (3) Accommodation of trash that new volume will bring in. The current available bins are overflowing with existing visitors
42	Restrict cars please. A community shuttle service from Crescent Park elementary is a good idea. It restricts cars but allows day use for all guests.
43	Try coming to Cb on a sunny day or on a weekend at about 4 to 10/11pm and you will see the issue we residents are dealing with. We have cars parked in front of stop signs and fire hydrants (end of Gardiner onto McBride. Then we have people racing up our streets to beat the line at Stop signs. Going right through the stop signs with out stopping. Linda Annis has videos from a few of us at Gardiner and McBride/Target. Maybe you should look at those and see the grid lock?
44	Free shuttle
45	-preserving large conifer trees where possible. -bikes -consider use of O'Hara Lane for bicycle traffic to take bikes off of the beach promenade. Some electric bikes are operated too fast for the walkways.
46	Speed restricting ie. speed bumps
47	The area already has too much traffic that is unpatrolled. Visitors don't respect rules of the road and drive dangerously fast
48	There is total gridlock on all the streets in Crescent Beach many days/nights especially summer nights after sunset. Creating 400 more parking spots is irresponsible. There will be liability issues for the City when an Emergency vehicle is unable to enter/exit due to gridlock.
49	Walkways are a joke and will not be used. Need 3-4 hour paid parking with strict enforcement. People now park from 7 to 8 am until late evening meaning no other people can use the multiple parking spots their groups are occupying. Need enforcement +++ and paid time limit parking.
50	Traffic Speed Safety...more speed bumps and speed regulation. People fly down these streets at 30-40km OVER the posted limit
51	The volume of traffic coming to Crescent Beach, which has increased significantly in the last few years
52	Better signage for non residents regarding parking and consideration that this is a community, a neighbourhood and quiet times should be observed.
53	Your Engineers did not survey the traffic congestion past 7 PM in the summer nights. Whenever Car is down to watch the sunset at approximately 9 PM. The congestion makes it impossible to ask at the beach with idle time being one hour to reach the stop signs at 128 and Crescent Road. Your head engineer stated that they were only Surveying traffic patterns until six or 7 PM. Big mistake as once the sun goes down everybody tries to leave at once. This will be a nightmare with angled parking.
54	You need to reconsider all the angle parking. McBride is equivalent to the "main avenue" as leads to Target beach entrance and parking lot and swim, tennis and sailing club. To back out onto this road is very dangerous and extremely difficult to back out of driveways.
55	Traffic volume. Traffic speed. More By-Law Enforcement.
56	5) Advise that other than Angle parking which is in place--all new parking changes be Parallel parking. Why?? Roads are quite narrow and with trucks and long-bed trucks--often there is only one car able to pass easily.
57	safety for pedestrians
58	Too much traffic. Maybe think about a lot up the hill and having an electric shuttle down to the beach to protect the small feeling of CB
59	Increased crime and safety of local children. Ask most parents of kids aged 10-16 if they feel their kids are safe in crescent beach now with traffic and racial harassment? No most locals will tell you they don't allow their kids to come down to the beach now after dusk
60	ESG we are the city of parks. Reducing car traffic for carbon emissions. We must provide FREE access to the park within park hours for all RESPECTFUL users. provide suitable parking for residents our elderly fixed income restricted motion neighbour carried groceries from 2 blocks away as her home is older and does not have a driveway. She parks in ours when available but we had guests at the time. consider resident permit parking for homes built prior to on lot parking requirements.
61	The safety of the streets... if you increase the number of cars that can come into the area, then when these cars are leaving at the end of the day, it causes huge back ups and line ups of cars trying to leave on the only street that leaves Crescent Beach. We do not need more cars!
62	Safety for all the swim club kids walking and bike riding in the summer.
63	Definitely parking is not the premier issue it is safety and accessibility. More cars is not the answer it is the problem!
64	Adding more cars will not help the traffic getting out of here on nice sunny days and weekends , On beautiful summer days , I live on McKenzie at Adams Lane and the traffic is lined up past my driveway . STOPPED

65	This area is considered the most popular park in Surrey. It's a small and congested area that doesn't take much traffic to jam the streets up, you know this is a fact. You don't have any consistent control of the area during the busy season. Yet you still continue to push for more traffic here. Beach goers get frustrated and angry when traffic is jammed up. Not great for the families. Not great for the locals either. You did one push during the month of July last year, then you were gone.
66	How to stop the frequent gridlock on nice days. Emergency access during gridlock - in particular swimming emergencies at Beach and swimming pool involving especially children. Great concern to lifeguards during the summer.
67	What happened to the environmentally sensitive area for migrating birds at Blackie Spit?? McBride Ave used to be a quiet and safe neighbourhood street and now is a major thoroughfare !
68	Safety
69	Consideration of other aspects in a 'holistic way' such as communication with other departments in Surrey such as Parks, Traffic, Bylaws, policing, Fire, etc.
70	What about parking to be developed by the community gardens. Lots of people just park and then go for a walk the loop. These people don't need beach parking. In fact if you have come to the beach for a coffee and walk you don't necessarily want to be parked at the beach . This is especially true when Crescent Beach swim club is operating.
71	Only one road in and out
72	Traffic congestion trying to get out of Crescent Beach on a nice day.
73	drop off zones, handicap parking, designated walking routes from the tracks to the beach including the upgrading of cross paths to accommodate wheels such as strollers and walkers.
74	Safety around private properties, especially at the North end of McBride Ave near the black spit/park entrance. Importance of moving away from a car-centric access and promoting transit to ensure safety and reduce the carbon footprint.
75	More speed bumps needed on McBride to reduce speeding
76	Put in speed bumps in middle section of McBride
77	all other beach areas that I have visited do not encourage all traffic to be as close to beach as possible. I know you have stats that say there is not a traffic problem but you have to come down and see for yourself. It's a gong show with no bylaw enforcement.
78	Side roads not designated in the red highlighted area from the photo above provide just as much parking as the main artery roads if not more. They absolutely need to be considered as not just alternatives but part of the larger plan so that tearing up the current state of the original planned area isn't in vain when it comes to solving the problem.
79	Safety does not seem to be a consideration.

Which is your preferred road design option for targeted streets in Crescent Beach?

Respondents: 123



Choice	Count
Option 1: gravel parking with paved walking areas	31% 38
Option 2: gravel parking with landscaped boulevards and paved walking areas	19% 23
Neither option acceptable	49% 60

No Opinion	2%
	2
Total	100%
	123
#	Please tell us why and/or if you have other suggestions.
1	This will create another standstill spot as people wait for others to move, meaning frustrated drivers and endangered pedestrians trying to access the existing parking lot.
2	Roads are already too narrow. The beach is beyond capacity. The visitor numbers are not sustainable. Transit shuttle from crescent park area should be implemented
3	People blocking residential driveways. No bike path or walking path for residents and visitors
4	not enough space/area to add anything in a structured manner
5	Do not make anything to accommodate more cars
6	Surrey just spent time and money installing curbs and gardens etc. back to original after doing water improvements. Crazy to rip it all out and make the village into a giant unmanageable parking lot.
7	cityfication is a negative and will reduce the property values
8	Use Ohara Lane or the front beach walk
9	Mcbride is the main artery to the spit. Having lived on that street for years , I've witnessed grid lock numerous times. Having people park in front of my house, which by the way is awesome , can't back up or get out due to high traffic. Also it's narrow as it is. Adding parking will only cause more issues.
10	Why not put a path on the narrower east side of McBride to allow for more street parking instead of the west side and reducing parking?
11	The premise by which you are approaching the issue is in isolation of much more important issues in the community with respect to traffic and key pedestrian movement.
12	Asphalt paving is not conducive to the value of the neighborhood , house value is between 1.5m to 5m +
13	You are taking away resident parking. The road will be too congested
14	Angle paper king is dangerous on busy streets with grid lock traffic and small children getuping in and out of cars.
15	Walkways are essential for safety reasons. We do not need more traffic in our community.
16	I feel McBride is the only street needing a walkway. Gravel parking for other areas sufficient as these streets have far less traffic
17	Too many cars now.Can't have more.Train comes-nobody can leave.Bathrooms are full/garbage is full.
18	Pay and permit only parking
19	If this proposal goes ahead then I think the residents in the areas marked for change should be the ones to determine what they would like in front of their homes.
20	Provide a shuttle. Streets are packed as is in the summer and traffic congestion is a nightmare. There should be some sort of capacity limits.
21	You are tradding alot of green space for asphalt walkway and gravel is not visually appealing nor environmental. Adding more parking, just means alot more people/ traffic and garbage.
22	Streets are too narrow and traffic is too heavy. Having that much accessibility with only one main exit road creates havoc at prime traffic times. More vehicles willl create more problems leaving crescent.
23	It is fine the way it is
24	Neither are in keeping with the aesthetics of the Crescent Beach area. If there is sufficient parking, with walkways already in place in an underutilized parking lot, why is this necessary?
25	Both are unattractive and neither fits in with the look of the neighbourhood. It doesn't appear that much thought was given to creating an aesthetically appealing desgin.
26	The picture above is the mouth of the parking lot where we have swim club and sailing club. The amount of kids, bikes, cars, pedestrians is insane during class meets and sunset. If you add parking here it will be further gridlock. Plus a child will get run over if you have more cars backing in and out of parking spots here. Especially at the entrance of the parking lot. I've witnessed so many close calls as it is. Less cars please!!
27	Have pay parking in blackie Spit like white rock
28	Where will the residents park? CB has very different infrastructure.
29	We live on the corner of McBride and Gilley. We have 4 young children under 10 years old. Angled parking is incredibly dangerous for kids walking or biking by. Drivers can't see kids behind them. Parallel parking is safer on the south side of McBride. Adding the walkway and additional parking on the west side will make the road tight and hard for emergency vehicles to get through if needed.
30	Those ideas will severely restrict resident parking and allow for even more visitors- these ideas will have major backlash
31	Again this is a quiet community the area shouldn't be overrun with cara

32	Do not need walkways or more parking. Walkways a joke will not be used. Residents on these streets need and should be entitled to park in front of their homes.n
33	These options would decrease the parking available. Surrey should remove encroachments, provide a surface for walking (gravel or grass, paved walkway not necessary) and increase the signage to let the public know where they can park. More bylaw enforcement is needed. It is unfair for some residents to utilize public areas for their own use and putting the burden onto other residents to provide public parking in front of their houses.
34	You are proposing to add more parking spaces so that even more people can descend upon our small community. We don't need more parking. We need to reduce the number of vehicles that come to our community.
35	Angled parking and such a congested area will Cause many accidents
36	Shuttle bus in
37	Safety is not good on either. No angle parking. Prefer no road parking as it promotes illegal activists. I'd like to see additional locked parking to control after hours usage of the park.
38	I don't think that parallel parking on the west side of McBride will add any extra spaces. Right now residents park nose first so it will actually create less spots.
39	Again, less cars means less money spent on walkways. Pedestrians aren't the problem; cars are. Pedestrians don't delay emergency vehicles and are not a safety concern. More cars means more risks and more money spent. Every other beach community recognizes that cars are the problem. Don't accommodate more. If parking is difficult people will take a shuttle or car share and won't park and party at night.
40	By adding a paved walking area it only leaves parrelel parking which would be fewer parking spots than angle parking
41	Sidewalk should be on the other side of McBride
42	Please do not add more parking on McBride. The street sees enough traffic. Tell the Swim Club not to use the Park parking lot. They can use a shuttle service to get here OR walk. Should be for kids in the neighborhood anyways.
43	Esthetically this is not pleasing. The asphalt does not allow adequate drainage. The most important issue is that this McBride North corridor is extremely busy (as seen in the survey) and it is not safe to encourage more traffice and parking.
44	Get the trash problem sorted before you increase the parking
45	How will cars safely get out of the beach if there was an emergency. Like someone having a heart attack.

Where do you suggest these signs would be helpful? (optional)

Respondents: 72

Where do you suggest these signs would be helpful? (optional)

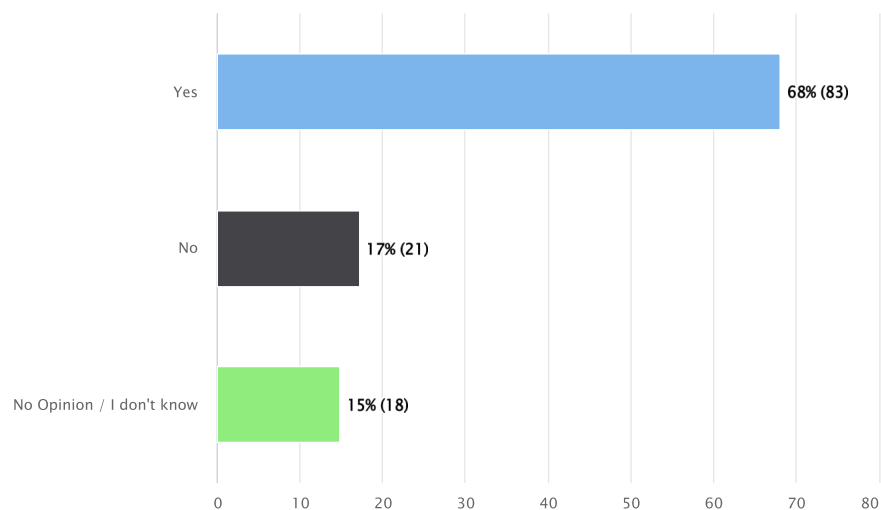
- | | |
|----|--|
| 1 | The signage with regards to all existing LEGAL parking throughout the beach is woefully unclear and undersigned. More signage is essential but MUST BE ENFORCED, particularly time sensitive in front of commercial spaces. |
| 2 | Good idea because a lot of people don't go to the parking lot. I have people (DAILY) who park in front of my house / on my grass that exit their vehicle to take their dog for a walk on the dyke. It happens at all hours of the day, every day, even in the winter. I know for a fact that there are NUMEROUS parking spaces available at Blackie Spit at this time but these people decide to park in front of our house/on the grass. I don't know why they wouldn't go to the actual parking lot to access dyke |
| 3 | just before you turn right onto Sullivan |
| 4 | Along Sullivan, Beecher and McBride. |
| 5 | Beecher, Sullivan , McBride, Bayview and beach entrance |
| 6 | dont believe any additional signage is required |
| 7 | As you come into CB on Beecher on Sullivan and on McBride |
| 8 | Yes a lot full sign at the entrance to Crescent Beach when the lot is full and more signage for no parking areas |
| 9 | Crescent Road near the large no fires allowed sign |
| 10 | Immediately before the rail crossing and approaching the intersections of Beecher and Sullivan and Sullivan and McBride. |
| 11 | Entrance to beach |
| 12 | have you factored in the sewer road construction on McBride which is supposed to happen this summer. |
| 13 | No idea |
| 14 | >veryone knows the different/ faster routes- Dunsmuir to A gar etc. |
| 15 | Mcbride |
| 16 | No signage required |
| 17 | Coming down crescent road |
| 18 | Along main roads |
| 19 | No where. Blackie spit is at the end of the main road McBride. We already have too many signs In the village |

20	Signage wont help when the parking lots are full.
21	At the railroad crossing, along Sullivan and along McBride. However, why would you consider this and not the "Locals Only" traffic sign to access Ohara Lane (North & South) off of the Beecher Street round about at the oceanside? The traffic that goes down that lane as a short cut is both dangerous and constant and Ohara Lane is not equipped. And given that its the only access to those homes, many times people need to unload into their homes and cars are passing through and creating conflicts
22	Sullivan and Beecher. Sullivan and McBride.
23	I don't support encouraging inside village parking , but would value external parking prior to BCSA railway tracks , in order to keep village open for access to emergency vehicles ,as a suggestion , along Bayview the entire length of the railway track would create 66 additional angle parking , I would call it as Parking space 1 with a way sign , additional parking at blacky spit , the idea would be to have none resident , understand the 1st approach of parking pattern
24	Crescent road
25	At beginning of beach entrance. And/ir main intersections
26	Sullivan/ McBride and Beecher
27	There is no room in the parking lot by 1000 -so what is the point of more signage.Don't follow the 30 km signs-more signs will be ignored.
28	Why bother, it's already over full.
29	Yes and charge for parking at blackie spit
30	Driveway access to parking in front of homes off McBride will intersect with the walkway will occur so you cannot have a planted boulevard. I think the designated walkway should be widened & divided to include a bike lane. This also makes angled parking on the other side of the road safer, cars won't be backing out into pedestrians or cyclists
31	All along Beecher as well as at the RR tracks.
32	No signs
33	First steet after railroad tracks
34	Yes
35	Signage should be directed to visitors coming into the beach area (before the railway crossing, and along Sullivan and McBride; and along Beecher and McBride)
36	Signs directing visitors to the Blackie Spit parking area should be at the entrance to the beach before the railway tracks, at the corner of Beecher and Sullivan, at Mc Bride and Sullivan and Mc Bride and Beecher.
37	As people come over the tracks
38	We need a parking lot is FULL sign in the morning...then No more cars. Parking is then available up at Crescent Park all day with shuttle service to the beach. Just like they do at all other beach communities
39	Blackie Spit is the first place to fill up with cars. Most people know this already.
40	Beecher, Sullivan and McBride
41	Beach entrance on Crescent Road
42	Now where
43	At Beecher and Sullivan and Beecher and McBride
44	I suggest you leave Crescent Beach and their residents alone. They pay huge taxes and your spending more money on stupid ideas is not appreciated. No more signs or whatever. Solve the problem , paid parking or 3-4 hours max. , acceptable enforcement. Resident parking stickers. Done. Then leave Crescent Beach alone. Give the revenue from the paid parking to your mayor to pay for our own police force.
45	Just after the train crossing on Beecher, on Sullivan and on Dunsmuir
46	AT the corner of Beecher and Sullivan and at the corner of Sullivan and McBride
47	The volume of traffic at peak times is a problem. Extra signage may not help.
48	I would suggest the signage be put at the intersection of McBride and Sullivan.
49	Only on the main streets, such as Sullivan and McBride.
50	On far side of tracks, on beach side of tracks, on Sullivan, on Dunsmuir, along McBride.
51	Before crossing the railway tracks Just past the entrance to the marina
52	There are parking signs at entrance to Sullivan and when you turn from Sullivan onto McBride--these could be changed with BlackieSpit parking specified on them
53	Lot capacity sign at the crescent road and 128th.
54	The parking lot is usually full or near full when people start parking on the streets.
55	Extra signage is not required.
56	anywhere along Beecher Street from the railway tracks down to the waterfront

57	No.Help the residents to get timely delivery of emergency services, to have room for a visitor to come to their home, to let the children play and walk in the street again without fear of speeding cars looking to park Don't spend money on sidewalks and signage - or a sign at 128th "Lot is Full. Pls. take shuttle at Cr. Park Elem." I called an ambulance twice in 2023 on weekends and thank the Good Lord it was raining or my husband would be dead! We welcome all but not cars - this is our home!
58	Yes , for the people that have not been here before . Before the tracks , at Sullivan and Beecher and Sullivan and McBride
59	As FEW as possible !
60	Sullivan & McBride
61	Blackie spit is already full early on nice days. Swim and sailing clubs have impossible parking - signage would not necessarily help, but if anywhere, before the railway crossing along with some sort of early warning sign when lot is full. Also signage at the top of the hill redirect people to park at Crescent park on 128th and walk down to the beach. Also encourage use of bus 350 from Crescent Park to beach. Can this bus be subsidized for free use to and from beach for the summer months?
62	Blackie Spit is supposed to be a stop-over for migrating birds and a sanctuary and thousands of people will ruin it
63	A sign before traffic crosses the railway tracks and again after the tracks before Sullivan and again at McBride and Sullivan.
64	At Sullivan and Beecher intersection, at Sullivan and McBride intersection
65	Prior to the railway tracks at entrance, at intersection of Sullivan & Beecher, McBride & Sullivan
66	The intersection of Sullivan & McBride.
67	Beecher and Sullivan , Sullivan and McBride, Beecher and McBride
68	Should have cycling pathway parallel to walking pathway. Should be hard surface
69	Entrance to Crescent Beach
70	Pay parking would be helpful
71	Sullivan and heavily on McBride towards Blackie Spit
72	In the direct vicinity of fire hydrants would be great as it would also prevent people from blocking the fire hydrants as they often do. Otherwise just when crossing the tracks at the intersection of Sullivan and Beecher, as well as on the corner of Sullivan and McBride near the Seahorse Grill. These are the main routes that people unfamiliar with where the side streets go, will travel.

Would you support time restricted parking in front of businesses in Crescent Beach to support more parking access for customers throughout the day?

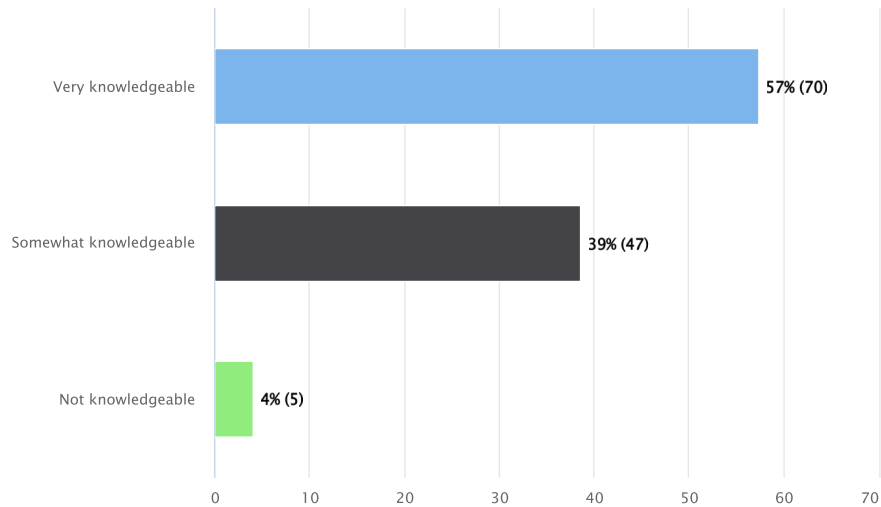
Respondents: 122



Choice	Count
Yes	68% 83
No	17% 21
No Opinion / I don't know	15% 18
Total	100% 122

Before this project, how would you rate your knowledge of road allowance and encroachments?

Respondents: 122



Choice	Count
Very knowledgeable	57% 70
Somewhat knowledgeable	39% 47
Not knowledgeable	4% 5
Total	100% 122

Any additional comments?

Respondents: 96

Any additional comments?

- 1 I am very happy to see Surrey take this initiative to allow more visitors to spend a few happy hours in the village i call home
- 2 Cosmos is not a good resource, in my opinion. If the city knows of encroachments, residents absolutely should not be required to obtain property surveys at their own cost.
- 3 Some points: -residents of CB asked the City for help with congestion and volume but instead of addressing this, the City decided to put together a presentation that they wanted to ADD an additional 300 - 400 spaces by removing signage, rocks, hedges, etc. from properties to allow for more parking. This feels more like an attack instead of help. Your comments section isn't long enough for me to add all my points. Why are you limiting characters in this space where we can add our comments?!
- 4 Maybe a one-way loop like the bus travels would make for a safer community.
- 5 I believe most people who are against improved parking are residents who have NOT provided private parking for themselves on THEIR property and just assume that the 'road allowance' is for their personal use. I also feel this survey was incredibly basic and the questions were far too general. I'm not at all sure this survey will help you in any way.
- 6 We own a home in CB and do NOT live on the streets that will be affected, however, our side street gets lots of traffic and getting out of CB, in the summer, is tough. We purchased our home in 2019 and had no idea about the traffic issues. The crescent Beach private swim club members also take up a lot of the public parking lot in Blackie spit. Perhaps these members need to figure out some sort of shuttle or drop off/pick up parking? I'm scared for my children with the current traffic.
- 7 In some cases, encroachments are making the street safer. A blanket approach is not going to work. The problem isn't parking access. The problem is too many cars can access the beach. Non residents should park on the other side of the tracks and walk in or shuttle in. Maybe just for summer months like dog access to front path.
- 8 Add speed bumps to reduce speeding cars.
- 9 Dont believe additional parking is required. All of the parks and picnic areas are already full during peak hours so really nowhere for additional beach goers to go during those times. Do agree that rocks, signs, etc that block parking spaces need t be removed. Ditto long term storage of boats, trailers, etc in front of properties.
- 10 I prioritize the safety of pedestrians over any parking issues. The lack of sidewalks and speeding vehicles is more concerning than lack of parking.

11	Why are we encouraging more cars to this very small eco sensitive area with one way in and out the rest of the world is doing away with motorways not very progressive thinking
12	Completely dissatisfied with Surrey's handling of Crescent Beach issues past and present.
13	With extra visitors I'd hope that the bylaw enforcement would be increased as well to ensure that the majority of folks that come here can enjoy a clean, safe visit and the residents can be appeased as well.
14	As I stated earlier the city does not patrol and ticket people enough as it is so adding more parking is going to exacerbate the situation. I like the idea of a more walkable beach but adding parking is not the answer. Pay parking at Blackie Spit should be done especially if you want to make it pay parking in front of businesses that makes no sense to have one but not the other. Finally the beachy feel of CB is what makes it so special that should be in the forefront of any and all decisions
15	Angle parking is dangerous so should not be implemented. Most visitors park with the front of their car nearest the homes. Visibility is severely limited by the vehicles on either side of them when they attempt to go home and often they're distracted by their own passengers completing conversations etc when they start to do this.
16	You should not be looking at Parking in isolation. Parking is affected by traffic and vice versa. With only 1 main entrance to the beach, and multiple delays due to trains. Traffic congestion is a Huge problem which directly affects Parking problems. Solving one problem in isolation will only make the other problem more accute, and the citizens more upset. I suggest patience and a broader approach to both problems.
17	Encroachments should be eliminated on all streets lot just target streets. Fair if encroachments are universally dealt with
18	surrey bylaws prohibit parking on grass road allowances - how are you going to factor this into your increase parking plan - need to change bylaw for CB area Surrey boulevard urban forest tree canopy group have made trees available to CB residents who have planted them on the road allowance. How are you going to deal with that? You should assume that many residents now will request trees for the road allowance in front their homes.
19	This proposal is a very small token solution to the very big problem Densification (with many more cars and sidewalks "cityfication") destroys cottage environment Access to the beach through the village with sidewalks and more parking lot spaces will kill the charm of the Village Walking/Parking Enhancements are need on the North Side of CB Overflow parking with gate needs to be developed by/over the drainage slew or in the area north of Dunsmore Farm
20	No. Thanks for the effort . I wonder how many disgruntled persons are Newbies and feel an unjust right to rule . They moved here but are annoyed at everything. i've been here 50 years. Good luck
21	If you are going to tell people to get rid of obstructions on their property that does not allow parking you better tell everyone and enforce it. There are many residents will not follow the rules and feel entitled. Many have extended their properties on to city property. By law enforcement sucks down here. It is not strict enough. Also paid parking at the beach is needed so everyone pays to stay at the beach. Nothing is free anymore!
22	why the need for more parking, when your own survey shows the current spaces are adequate. The village will be polluted with signs that are a visual distraction. The main issues are the volume of traffic, the need for more signage to the washrooms , daily pickup of garbage during peak season, enforcement of traffic rules. Possible of new washroom facilities at camp Alex, as this location is in the "middle " of the beach,central to the two existing washrooms. Absolutely no roundabout at Chevron
23	There should be a limit to cars coming into the community- we love visitors but the cars and gridlock is becoming dangerous- and better signage is need for children to cross main streets people drive through stop signs all the time
24	Crescent Beach is chaos in the summer. There is no security or cleanup for the amount of visitors
25	Adding additional parking along the main artery in the village is not the solution. Possibly widening the black spit parking lot at the back. There are numerous other options that would be far better than on McBride. But the biggest concern of everyone down here is the amount of people that come on hot busy days. Which is why you want to add more parking for those circumstances. However, the beach cannot accommodate any more people/cars. It is already gridlocked. That is the problem.
26	The people from the City that hosted the event were excellent and in a difficult situation as they were dealing with one issue in isolation of larger issues. The solution provided will now make the current issues even worse. This mandate is being brought by City Council with virtually no understanding of the situation. I suggest someone in the City takes on the issue in it's entirety. I'm available at any time to discuss Sid Landolt 604-644-1655
27	I am really opposed to measures which make access more difficult for visitors such as resident permit parking, pay parking etc. The greatest obstacle to traffic to and from the beach is the Crescent Rd./128th St. intersection. Above all make traffic and parking enforcement a priority! Please continue to respect the village character of Crescent Beach. Some improvements to parking can be achieved without spoiling the village ambiance.
28	The City plan to send letter of encroachment before listening to the resident of the village , Crescent Beach is a superb place to live and all resident welcome visitor , issuing citation or letter information to road allowances is not the way the City should approach . It is obvious whomever prepared the plan , participated to the plan , organize the plan is not a resident . Sunny day weekends are so chaotic , we live in the village for only 8 years , but visited the village for the past 35 .
29	City should provide additional signage in new parking and walking areas to advise visitors of bylaws as well as additional garbage pick up and maintenance in new areas
30	So working on roads during the high traffic and congestion time does not make sense..just adding to problems!
31	Bring in a bus in the summer. This is a lot of expense for 2 months of the year

32	Gridlock traffic after sunset for hours on main roads, particularly Sullivan where cars are trapped at the stop sign. Cars on Beecher pass them by on the way up the hill. Solution? Traffic light? Round about? Resident parking signs needed for residents without driveways. We have nowhere else to park when summer traffic fills our streets. Shuttle bus, or local bus from Crescent Park School parking lot. A sign at the top of 128 & Crescent Rd informs public the parking lot at Blackie Spit's full
33	We have a unique community that residents of Crescent Beach and residents of all of Surrey have access. But as Crescent Beach residents, we are small, we have children, we have seniors and others who are trying to live in a safe environment that does not include more cars, more traffic, more possibilities of accidents caused by over population. Whatever the solution, it should NOT include more parking for an excess of cars in our neighborhood. Thankyou
34	As a 50 year aresa I would hope 1:preserving the unique neighbourhood quality would be of utmost importance. Asphalt sidewalks are unsightly cheap choice considering average property values in the 'village' not to mention burning hot in summer and deteriorate quickly in crescent. and 2: It doesn't solve the issue of safety for cyclists - namely our children who use McBride to CBSC. Need a bike & pedestrian pathway on McBride
35	City signage needs to be increased but most importantly there are many examples at the beach where signage is no longer visible because it has been knocked down or trees are over grown
36	We need to know what will happen to houses that have either hedges or berms with shrubs within the city road allowance. Will they be removed or altered?
37	before anything is done please use what you have now to help us also enjoy the summer/beach.Why don't the bylaw officers do their job.Tickets are RARELY issued.And visitors know that.The spit-which is protected-is abused-and I see bylaws parked their-coffee break??doing nothing about it.Do that FIRST!!!Don't add more problems to an existing problem.I pay taxes!!!!Listen to those of us to live here.
38	Bylaws have not been effectively enforced for public that visits the community. I have witnessed officers ride past people very visibly breaking bylaw. Sometimes I see warnings, but never ticketing. Signage is clear and I feel priority should be made to protect the ecosystem and land before inviting more patronage. Locals clean up trash, people pile trash next to full garbage cans when they could and should pack it home again. Birds pick things apart, waterways and become a place to toss trash.
39	Bylaw enforcement with not only parking but illegal drinking is totally inadequate. It's about time that the NO PARKING signs that residents put up were removed. If they don't like the cars and traffic then move. We are resigned to it ourselves because we realize that after Covid everything has changed and Crescent Beach has become a destination with many, especially ones from North Surrey. The shame is the lack of respect these visitors have for the area and residents. It is what it is.
40	Increase police presence due to gang activity in Crescent Beach
41	Public washrooms are inadequate, should be added at Sullivan Point where the lifeguard tower is located. This building could also be used for lifeguard equipment. Garbage & recycling containers are inadequate, should be expanded and upgraded. Signage regarding safe & environmental practices should be reviewed. The current signage is confusing & inadequate, should be eye level, at the entrance to the community as well as all beach access points Better enforcement of parking laws & bylaws
42	If this proposal increases the number of people coming to the park then there needs to be an increase in policing, and maintenance of the park. You cannot have one without the others.
43	We don't need more parking. This is a small neighborhood that already deals with train crossings daily and allowing to increase parking capacity just makes this more of a hazard. A asphalt pathway is a nice idea but we don't need to create more parking...we need to limit the amount of traffic coming into the area. Start shuttling people from the King George overflow parking lot. It's never used.
44	While I could support increasing some parking by rearranging some areas, im not in support of add a black asphalt walkway down mcbride ave. The combination of gravel parking and walkway is going to change the look and feel of the beach area. Blackie spit is already bursting at seams with people with current parking...adding more people doesnt solve it. Limiting parking limits number of people/ garbage/ impact.
45	Why would you not have combined this with the water Maine road works over the past two summers?
46	As a resident, I fully support more access to the beach for non-residents. However, finding a spot for myself anywhere near my home is next to impossible some days in the summer. I have been forced to double park to unload groceries before moving my car to a spot several blocks away. That is frustrating.
47	No consideration has been given to traffic management, and has only focussed on parking. Your study indicates that the Blackie Spit lot is underutilized therefore signage should be a first step. The area cannot support any more cars given the absolute gridlock that happens at peak times, not to mention the garbage, public urination, and other nuisance behaviour that goes along with more and more people using the beach. To focus solely on parking is shortsighted.
48	This project has only focussed on parking as stated by your project staff at the recent open house. Addressing parking without looking at the other factors-emergency access, garbage, gridlock, nuisance behaviour is short-sighted. The data the city has provided doesn't even indicate a shortage of parking. Start with appropriate signage directing visitors to the underused parking lot then revisit the entire traffic issue again - starting with solutions to ease the peak time gridlock.
49	Thank you for addressing this problem!
50	To accommodate more vehicles coming in to Crescent Beach please share what the City plans are to ensure measures to control Traffic and Security issues prevalent to the area when visitors to the beach come tsuch as, speeding cars, littering and beach fires.
51	We don't need walking areas! We have OHara Lane. We need less cars, less traffic. Please reconsider a shuttle service for the public.
52	You need to give residence parking permits and limit the amount of cars coming down there. In the summer months it's so crazy that people almost get hit by all the cars parked everywhere and then access is blocked for emergency vehicles. There's just too many cars going down there.

53	Your study needs more information. Like I said you aren't around CB when you should be, please Talk to more residents especially those who will lose their resident parking.
54	Planning to start construction in the middle of the summer is probably the worst idea EVER! It is SO busy down here in the summer. It is already backed up getting in and out of the beach and if you add construction on top of that, it will be grid lock. Super dangerous if an emergency happens and people can't get in and out of the beach. We asked for safety and less cars and the city has proposed adding more cars and parking. Absolutely ridiculous. Add a free shuttle to reduce car traffic.
55	Concur that pay parking resident only parking are not needed at this time. Would like to know the current of the following proposed projects- Railway Overpass and Round About at Crescent Road and 128 St. Traffic management is at least as important as parking availability in reducing grid lock during good weather.
56	Not a great time to steer work if this is approved. CB could really use a higher police presence- obvious signs of gang activity- speeding cars, blacked out windows, public intoxication on the pier- our kids are feeling intimidated when in the area during the evenings. This is getting out of control. Let's not wait until there is a shooting to do something about this!
57	Surrey needs to set up an online registration for people during peak periods as Coquitlam does for its beach parks to limit the number of visitors. Crescent Beach Park includes a sensitive area for migrating and nesting birds. People disregard the signage regarding staying on the footpath during nesting periods and set up a picnic on the beach instead. I have NEVER seen any enforcement of this.
58	This whole project is not being well received. Listen to the residents, the taxpayers and the voters. If anyone has any hopes of being reelected scrap this whole waste of time and money. Leave Crescent Beach alone or put in paid time limited parking, strictly enforce it and give the homeowners and taxpayers resident stickers. Stop wasting our time and money. Do something useful that makes peoples lives better. Like help the food banks !!
59	We have issues with volume of traffic entering and exiting, with 1 hour line ups just to get out of Crescent Beach on busy days; how will City address if we're increasing parking volume/traffic? SPEED is an issue on all streets, we NEED more effective/larger speed bumps - many cars travel 40km sometimes 50km OVER posted speed limit. GARBAGE an issue - need more trash receptacles and collection. Need bylaw enforcement for illegal parking, GIVE TICKETS not just 'warnings'.
60	The gravel part of the Blackie Spit parking lot should be organized better, lots of vehicles do not park correctly leading to reduced spots available.
61	We have had grass up to the road in front of our house since our family bought the house in 1960. At busy times people park on the grass. I learned at our last meeting that this is against bylaws. We would be happy for the city to convert this grass area to gravel for parking. I note that, after the storm sewer work, residents were asked how they'd like the area in front of their house finished. Often grass was replaced. Odd, as this removed legal parking.
62	Removal of encroachments will provide more parking. Pedestrian safety is important, but there has not been any pedestrians hit by vehicles in my memory (60 years of Crescent Beach experience). The bigger problem is the inflow/outflow of traffic to and from the Crescent Beach at peak times, typically around sunset times. As a resident, I have experienced excessive wait times to enter and especially leave the beach area. The choke point is the 4 way stop sign at Crescent Road and 128th street.
63	There needs to be more traffic calming along McBride. The speed bumps don't do anything. People burn out of Crescent and along Sullivan almost every summer night. On a sunny day any time of year, it is hard for me to leave the beach to do any grocery shopping and it's hard to get back to my home! The volume of traffic coming in and leaving the beach is crazy! People drive up and down the streets looking for parking. People walking in the middle of the road, it is a wonder no one is hurt.
64	According to your own research, the absolute maximum number of parking spaces at Blackie Spit is 87% and for the rest of the time, the number is much lower. Therefore, there does not seem to be the need to add more parking spaces on McBride. What the City should consider is running a shuttle bus from Crescent Park Elementary School to Crescent Beach. We have been told that such a service would not be economically feasible, yet BC transit busses run through here day and night virtually empty.
65	You need to investigate before you progress. Ask residents to take videos of traffic congestion after eight or 9 PM at night you will see your plans are ridiculous. The beach cannot sustain another three or 400 cars or parking areas. The solution is paid parking and resident only parking
66	It is important to acknowledge an ever increasing population that will visit Crescent Beach. Looking to the future it seems ludicrous to focus on bringing down more cars rather than reducing cars so that the numbers of people can move around safely on foot, bike, wheelchair, walker, etc. Driving in Surrey is needed, yes. However, forward thinking would be to solve getting cars to the other side of the tracks and have people walk or shuttle down. Elementary school parking lot at 24th maybe.
67	Safety is my main concern. Enforcement of existing bylaws and stop signs .Signage indicating whether the parking lot is full.
68	The City must go to each individual property to discuss what is to be done there--so that the concerns of Safety and Common Sense prevail. 1)Parking is not the only problem--the number of cars entering the beach on Saturday, Sunday and holidays have increased markedly. Visitors need to be advised(at intersection 128 & Crescent Road) that parking is not available or very limited 2)Only one road into and out of beach area and also added train movement often mean that grid-lock develops.
69	I am pleased that the city is finally recognizing the fact that the road allowance is public, not private, property
70	I feel we need to address the after hours usage of the park, this leads to the following issues. Drunk driving, substance abuse, fires, violence and drag racing/burn outs. Increasing street parking will multiply the current issue. I would like the city to focus on walkability/handicap access to the beach and a lockable parking lot that reflects park hours. As a business owner I have a capacity for my facility indoor and outdoor. We need to set a safe capacity for the park before adding more.
71	Again, I think that by adding more cars parked in the village, it will impact the safety of people walking and bike riding throughout the neighbourhood. During the summer, there are many children riding their bikes to the beach and the local swim club. If there are more cars parked along McBride, it will make it much more dangerous for these bike riders. There may be plans for a walking path, but not for bikes.

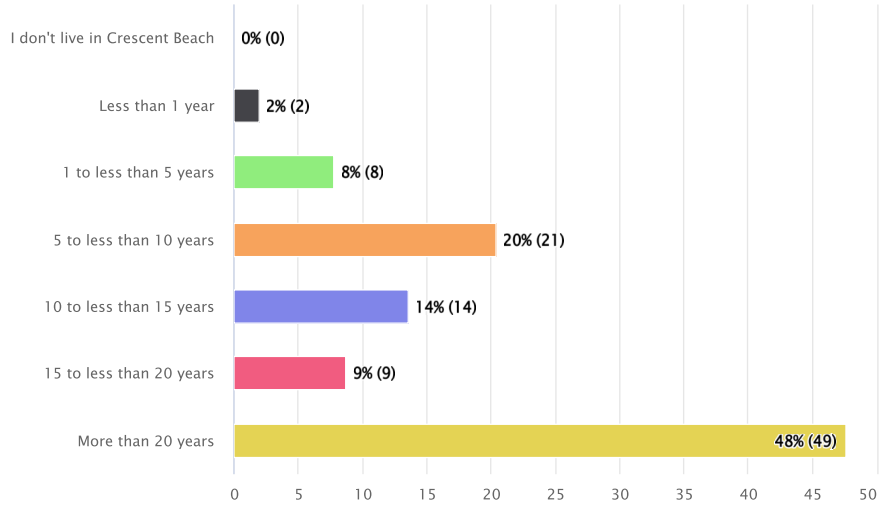
72	Some of our concerns are in the summer you could not get emergency vehicles down our street with cars parking on both sides. Also if we had to leave the beach it is often backed up into the beach on busy days and at sunset.
73	I have to say, having been both a property owner and a business owner in Crescent Beach for 30 years now, that I have found the majority of Crescent Beach residents are of the opinion that a big gate should be erected at the railway crossing to keep everyone except them out. Time to change that outlook.
74	Pay Parking would help businesses, stop night beach parties, limit traffic thereby increasing emergency vehicle access, help residents lead normal life allowing for visitors to their home. Boundary Bay is not CB, not nearly as popular. Pay parking would subsidize shuttle. Is responding fruitless when Schedule already includes implementation of City plan? Isn't this just a further waste of money? Every other beach community, including West Van now has pay parking, let's at least try it!
75	Adding more parking will not fix the traffic problems !!!!! A lot of people do not have driveways and there only option is to park on the Bouvard . That is why there are no parking signs as they have no other option for parking . I do not like adding parking but I am in favor of sidewalks . It is not safe to walk on the street with the masses of cars on it too. We need another way out of here , A one lane out on sandy trail or Surrey a new sewer line was ins up the hill at the end of Bay View .
76	Let's try to keep Crescent Beach as NATURAL as possible ! Wherever possible gravel should be used rather than concrete or blacktop. There also seems to be confusion as to when it's OK to park on the road surface.
77	It's great that people can come here and enjoy the area. But more people requires more policing and longer hours.
78	It would make more sense to begin work after the summer rush.
79	We love sharing the beach with all but as Surrey invite more people to pass through this very tiny neighbourhood, we don't see any consistent increase in bylaw enforcement or policing. There is litter, drinking, large gatherings, parking in front of fire hydrants, beach fires etc. Much of this occurring late at night. With one road in and out it is really scary down here on the warm sunny days. Locals can't get to work, (I used to be on call for the Operating Room). Accident waiting to happen.
80	This seaside community cannot handle such a vast increase in cars and visitors as we don't have enough space and garbage bins!
81	Community meeting and survey do not address the problem of chaos due to the large number of people at certain times of the year and day. The ability of the residents to live safely in the community where they live. Also there are no safe biking paths along Crescent Road and the beach proper for the community, perhaps that would limit the number of cars.
82	Thank you undertaking this project from a Surrey-wide perspective. We support your idea that removing obstacles to parking access and taking down the private No Parking signs throughout the community in order to create more accessibility for parking. One observation on your study was that you chose to use a Long Weekend, probably thinking it would be a busy time. No doubt it was busy but surprisingly we find that on some Long Weekends people, given an extra day to holiday, choose to travel so
83	Avoid working on the Walking/Parking enhancements in June, July and August when the village is most crowded. Improve traffic flow out of the beach - traffic circle at 128th and Crescent Rd. Allow angle and perpendicular parking where possible. More effective by-law and traffic enforcement.
84	Why disrupt things in the height of summer but start in September.
85	Sidewalks on McBride between Beecher and Sullivan not needed-Will take away parking spots. Keep angle parking. Gravel some grass areas on side streets. Have completely missed that we have a TRAFFIC MANAGEMENT problem! City advertises and encourages Metro Van. residents to come but don't provide enough police and bylaw officers for enforcement or enough services-garbage, fire protection, beach maintenance, washrooms. Encourage bus & provide shuttle. Patrol after 11pm-enforce. Need a park ranger.
86	Tell the Swim Club to shuttle their kids in and the Spit Parking lot will be empty in the summer.
87	Enforcing everybody back to the property line is NOT necessary. As long as a car can parallel park on the side of the street it should be acceptable. Beecher Street businesses would probably benefit from a 2-3 hour parking limit during summer.
88	Great work, thank you for looking into parking improvements. Safety is important.
89	By creating designated walking routes from the tracks to the beach, I feel that the walking path on Mc Bride should be on the east side of the street as this would involve fewer crossings for pedestrians walking to Blackie spit from areas east of McBride. Also people on the west side of McBride can safely use O'Hara Lane or the beach path. Also designate handicap parking on Target as well as more clearly indicate no parking by fire hydrants (signage isn't working)
90	We are also worried about the safety of the proposed one-directional parallel and diagonal parking in the North section of McBride Avenue. The already narrow road (currently not two lanes) can not safely accommodate the increased traffic entering and exiting the park. We suggest studying Gilley Street, Gardiner Street, and Agar Street as safer options to handle the additional car traffic aand encouraging beach access from Target Street and Sullivan Street.
91	A very small amount of residents have heard or the survey. How come?
92	We have a traffic problem with one way in/out & railroad. Let's try a free shuttle from Crescent Park elementary school parking lot in summer, weekends, STAT holidays. Charge for beach parking to pay for shuttle
93	As a resident, I highly suggest you fix the litter/trash & speeding problem before inviting more reckless people to come fuck up the beach
94	I know that it may seem I am bias but you really need to see the gong show on McBride on a sunny day. I have no issue with visitors to our beautiful neighborhood and welcome them but there has to be rules and ENFORCEMENT. It is well known that Surrey does not enforce traffic/parking bylaws and that needs to be part of the solution. I know that the residents are viewed as being entitled but it is where we live and we take pride in how our neighborhood is treated and would like some help.

95 Unfortunately any improvements to allow more parking down here will only make the traffic problem worse (which is the problem we want solved to be VERY clear) as it just means that people will be able to stay here longer. Sharing the community with others so everyone can enjoy it is one thing but this is further inconveniencing and can be taken as punishing the current residents simply because we live in a desirable area to visit. We really don't want this. If you do it anyway, get it right.

96 The speeding and people not considering the safety of the pedestrians is scary. Having more parking is going to make crescent beach unsafe and problematic when a medical emergency happens. this is a problem around Covid. And has been hard for people to get out of the beach in a safe and timely manner.

How long have you lived in Crescent Beach?

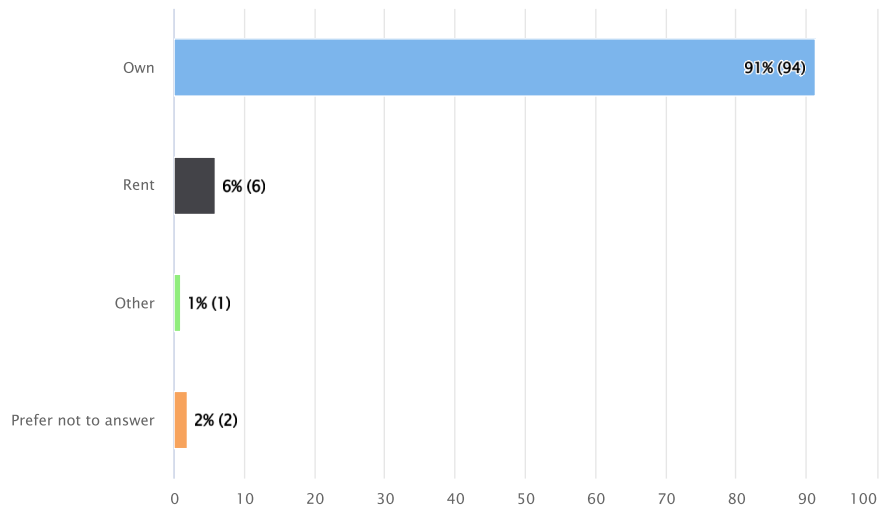
Respondents: 103



Choice	Count
I don't live in Crescent Beach	0%
	0
Less than 1 year	2%
	2
1 to less than 5 years	8%
	8
5 to less than 10 years	20%
	21
10 to less than 15 years	14%
	14
15 to less than 20 years	9%
	9
More than 20 years	48%
	49
Total	100%
	103

Do you own or rent the home in which you live in Crescent Beach?

Respondents: 103



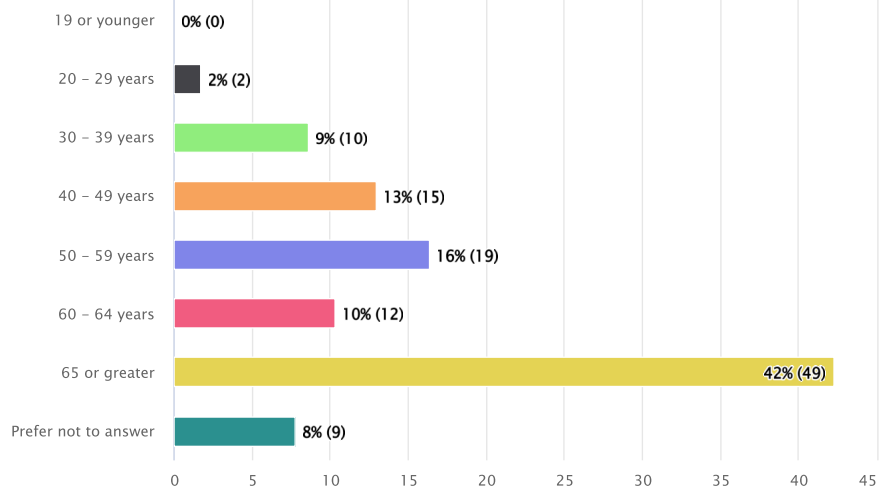
Choice	Count
Own	91% 94
Rent	6% 6
Other	1% 1
Prefer not to answer	2% 2
Total	100% 103

If "Other", please describe.

- 1 Family

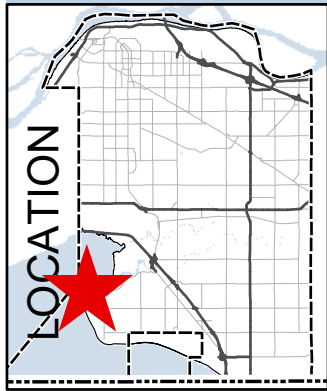
What is your age group?

Respondents: 116



Choice	Count
19 or younger	0% 0
20 - 29 years	2% 2

30 - 39 years	9% 10
40 - 49 years	13% 15
50 - 59 years	16% 19
60 - 64 years	10% 12
65 or greater	42% 49
Prefer not to answer	8% 9
Total	100% 116



3-Month Pilot,
No Parking
One-Side of Road

Gravel Overflow
Parking Lot

Blackie Spit
Parking Lot

Future Walkway
To Be Reviewed

Alexandra
Tot-Park Lot

Boundary Bay

LEGEND

- Walking Enhancements
- - - Future Walking Enhancements, If Required
- Parking & Walking Enhancements
- Existing Sidewalks
- Bus Stops
- Parks

Produced by GIS Section: 18-Apr-2024

Scale: 1:5,000 0 50 M



Parking and Walking Enhancement Plan

ENGINEERING
DEPARTMENT

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey.
This information is provided for information and convenience purposes only.
Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.

CITY OF SURREY

BYLAWS AND PERMITS



H - 1

ACTION REQUIRED: Third Reading

TYPE: OCP / Zoning Amendment / DP

PURPOSE: Bylaw No. 21208
To amend OCP Figure 3: General Land Use Designations for the subject site from Suburban to Multiple Residential.

Bylaw No. 21209
C-5 to CD – To develop a 5-storey mixed-use building, with a total 74 dwelling units and 1,458 sq.m . of commercial/retail space.

LOCATION: 18756 No. 10 (56 Avenue) Highway (18778 No. 10 (56 Avenue) Highway)

PROCESSING DATES:

Bylaw No. 21208
April 8, 2024 - 1st/2nd/Electronic PH: Carried RES.R24-548/549/550
Approved to Proceed: Planning Report No. 7921-0272-00

Bylaw No. 21209
April 8, 2024 - 1st/2nd/Electronic PH: Carried RES.R24-551/552/553
Approved to Proceed: Planning Report No. 7921-0272-00

DEVELOPMENT PERMIT

April 8, 2024 - Authorize to Draft: Carried RES.R24-547

CITY OF SURREY

BYLAW NO. 21208

A bylaw to amend the provisions of Surrey Official
Community Plan Bylaw, 2013, No. 18020, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Official Community Plan Bylaw, 2013, No. 18020, as amended, is hereby further amended by modifying "Figure 3, General Land Use Designations" of the Land Uses and Densities Section by changing the land use designation for the area shown shaded on the plan labeled Schedule A, attached hereto as follows:

FROM: SUBURBAN (SUB)

TO: MULTIPLE RESIDENTIAL (MR)

PID: 031-282-776

Lot 6 North West Quarter Section 4 Township 8 NWD Plan EPP104641

(18756 No. 10 (56 Avenue) Highway)

2. This Bylaw shall be cited for all purposes as "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21208".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PUBLIC HEARING HELD thereon on the th day of , 20__.

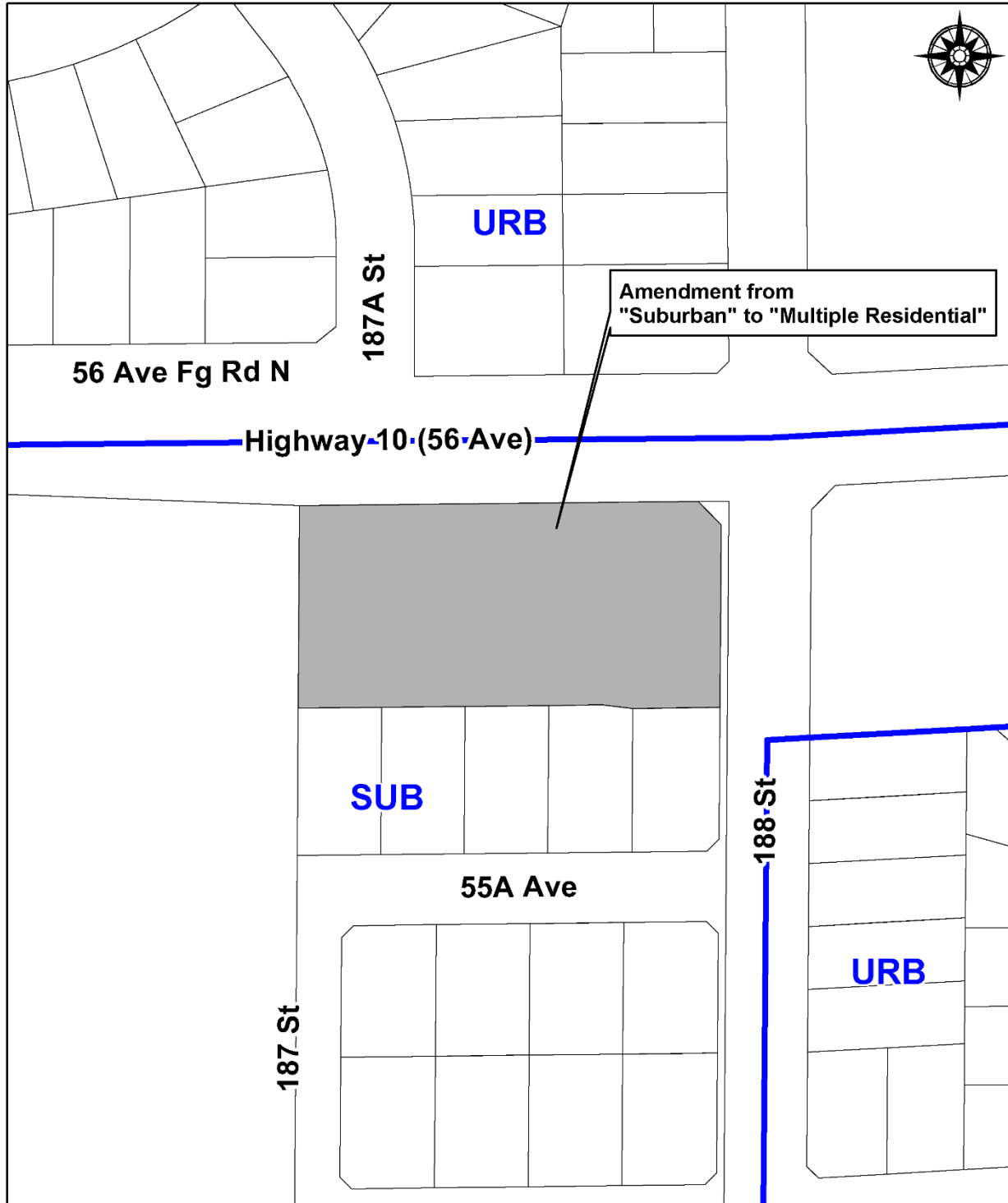
PASSED THIRD READING on the th day of , 20__.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20__.

_____MAYOR

_____CLERK

SCHEDULE A



OCP Amendment 21-0272-00

Amendment from "Suburban" to "Multiple Residential"



CITY OF SURREY

BYLAW NO. 21209

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 202 (CD 202), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
FROM: NEIGHBOURHOOD COMMERCIAL ZONE (C-5)
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 202" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 202	18756 No. 10 (56 Avenue) Highway	Lot 6, Plan EPP104641	21209	N/A"

2. This Bylaw shall be cited for all purposes as "Surrey Comprehensive Development Zone 202 (CD 202), Bylaw, 2024, No. 21209".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PUBLIC HEARING HELD thereon on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE on the day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 202 (CD 202)

This Comprehensive Development Zone 202 (CD 202) as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
18756 No. 10 (56 Avenue) Highway	Lot 6 North West Quarter Section 4 Township 8 NWD Plan EPP104641	031-282-776

(collectively the "Lands")

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density*, medium rise, *multiple unit residential buildings* and related *amenity spaces* and commercial and office uses, which are to be developed in accordance with a *comprehensive design*.

B. Permitted Uses

Lands, buildings and structures shall only be used for the following uses, or a combination thereof:

Principal Uses:

1. *Multiple unit residential buildings and ground-oriented multiple unit residential buildings.*

Accessory Uses:

2. *Retail stores* excluding *adult entertainment stores*, auction houses and *secondhand stores* and *pawnshops*;
3. *Personal service uses* excluding *body rub parlours*;
4. *General service uses* excluding funeral parlours, *drive-through banks* and *vehicle rentals*;
5. *Eating establishments* excluding *drive-through restaurants*;
6. Office uses excluding *social escort services*, *methadone clinics* and *marijuana dispensaries*;
7. *Cultural uses*;
8. *Indoor recreational facilities*;
9. *Community services*; and
10. *Child care centres*, regulated by the Community Care and Assisted Living Act, as amended, and the Child Care Licensing Regulation, as amended.

C. Lot Area

Not applicable to this Zone.

D. Density

1. Maximum Density:

Maximum *density* shall be as follows:

- (a) 1 *dwelling unit*; and
- (b) The lesser of *floor area ratio* of 0.1 or *building area* of 300 sq. m.

2. Permitted Density Increases:

If amenity contributions are provided in accordance with Schedule G, *density* may be increased as follows:

- (a) Maximum 137 *dwelling units* per hectare; and
- (b) Maximum *floor area ratio* of 1.30, excluding:
 - i. The indoor *amenity space* requirement (pursuant to Section J.1. of this Zone); and
 - ii. Up to a maximum of 170 sq. m of the *secure bicycle parking area* requirement (pursuant to Section H.5. of this Zone).

3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D. of this Zone, and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Sub-section D.2. of this Zone.

E. Lot Coverage

1. The maximum *lot coverage* for all *buildings* and *structures* shall be 33%.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E. of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1. of this Zone.

F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	North Yard	South Yard	West Yard	East Yard
<i>Principal Building</i>	4.1 m	11.5 m	10.4 m	6.1 m
<i>Accessory Buildings and Structures</i>	4.1 m	5.0 m	10.4 m	6.1 m

- 1 Notwithstanding Section A.3.(d) of Part 5, Off-Street Parking and Loading/Unloading, *parking – underground* may be located up to 0.0 m of any *lot line*.
- 2 Notwithstanding Section A.26.(b) of Part 4, General Provisions, stairs with more than three risers may encroach into the *setbacks*.
- 3 Notwithstanding Section F. of this Zone, the north and east *yard setbacks* may be reduced to 3.8 m for the *principal building* as measured to the corner cut at the intersection of two *highways*.
- 4 Notwithstanding Section F. of this Zone, the minimum *setbacks* of *principal buildings* and *accessory buildings and structures* for interior *lot lines* for *lots* created by an air space subdivision may be 0.0 m.

G. Height of Buildings

1. Principal Buildings:
Principal building height shall not exceed 16.8 m.
2. Accessory Buildings:
Accessory building height shall not exceed 4.5 m.
3. Structures:
Structure height shall not exceed 4.5 m.

H. Off-Street Parking and Loading/Unloading

1. Parking Calculations:
Refer to Table D.1. of Part 5 Off-Street Parking and Loading/Unloading.
2. Tandem Parking:
Tandem parking is not permitted.
3. Underground Parking:
All required resident *parking spaces* shall be provided as *parking - underground*.
4. Parking Areas:
 - (a) Parking within the required *setbacks* is not permitted; and
 - (b) Parking is not permitted in front of the main entrance of a *non-ground-oriented multiple unit residential building*, except for the purpose of short-term drop-off or pick-up and for accessible parking.

5. Bicycle Parking:
A secure bicycle parking area shall be provided in a separate bicycle room located within a building, whether located at or above finished grade, with convenient access to the outside of the building.

I. Landscaping and Screening

1. General Landscaping:
 - (a) All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained;
 - (b) Along the developed portions of the *lot* which abut a *highway*, a continuous *landscaping* strip a minimum of 1.5 m wide shall be provided within the *lot*; and
 - (c) *Highway* boulevards abutting a *lot* shall be seeded or sodded with grass, except at *driveways*.
2. Refuse:
Garbage containers and *passive recycling containers* shall be completely screened by a minimum of a 2.5 m high *building*, solid decorative fence, *landscaping* screen or combination thereof.

J. Special Regulations

1. Amenity Spaces:
Amenity space, subject to Section B.6. of Part 4, General Provisions, shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space* in the amount of:
 - i. 3.0 sq. m per *dwelling unit*; and
 - ii. 1.0 sq. m per *lock-off suite*; and
 - iii. 4.0 sq. m per *micro unit*;
 - (b) Outdoor *amenity space* shall not be located within the required *setbacks*; and
 - (c) Indoor *amenity space* in the amount of:
 - i. 3.0 sq. m per *dwelling unit*; and
 - ii. 1.0 sq. m per *lock-off suite*; and
 - iii. 4.0 sq. m per *micro unit*.
 - (d) Indoor *amenity space* devoted to a *child care centre* shall be a maximum of 1.5 sq. m per *dwelling unit*.
2. Child Care Centres:
Child care centres shall be located on the *lot* such that these centres:
 - (a) Have direct access to an *open space* and play area within the *lot*; and
 - (b) Do not exceed a total of 3.0 sq. m per *dwelling unit*.
- (c) Balconies:
Balconies are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 sq. m per *dwelling unit*, whichever is greater.

K. Subdivision

1. Minimum Lot Sizes:
Lots created through subdivision, except strata *lots*, shall conform to the following minimum standards:
 - (a) *Lot Area*: Minimum 5,500 sq. m;
 - (b) *Lot Width*: Minimum 50 m; and
 - (c) *Lot Depth*: Minimum 100 m.
2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

L. Other Regulations

Additional land use regulations may apply as follows:

1. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of the Zoning Bylaw and in accordance with the servicing requirements for the RM-45 Zone and C-5 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
2. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2021, No. 20291, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-45 Zone for the residential portion and the C-5 Zone for the commercial portion.
3. Development permits, pursuant to the *OCP*.
4. Trees and vegetation, pursuant to Surrey Tree Preservation Bylaw, as amended.
5. Sign regulations, pursuant to Surrey Sign By-law, as amended.

H - 2

ACTION REQUIRED: Third Reading & DVP Support

TYPE: OCP / Zoning Amendment / DVP

PURPOSE: Bylaw No. 21206
To amend OCP Figure 3: General Land Use Designations for the subject site from Suburban to Urban.

Bylaw No. 21207
RA to RF – to subdivide into 13 residential lots.

LOCATION: 10162 and 10188 - 172 Street

PROCESSING DATES:

Bylaw No. 21206
April 8, 2024 - 1st/2nd/Electronic PH: Carried RES.R24-541/542/543
Approved to Proceed: Planning Report No. 7921-0170-00

Bylaw No. 21207
April 8, 2024 - 1st/2nd/Electronic PH: Carried RES.R24-544/545/546
Approved to Proceed: Planning Report No. 7921-0170-00

DEVELOPMENT VARIANCE PERMIT

April 8, 2024 - Proceed to Public Notification: Carried RES.R24-540

CITY OF SURREY

BYLAW NO. 21206

A bylaw to amend the provisions of Surrey Official
Community Plan Bylaw, 2013, No. 18020, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Official Community Plan Bylaw, 2013, No. 18020, as amended, is hereby further amended by modifying "Figure 3, General Land Use Designations" of the Land Uses and Densities Section by changing the land use designation for the area shown shaded on the plan labeled Schedule A, attached hereto as follows:

FROM: SUBURBAN (SUB)
TO: URBAN (URB)

Parcel Identifier: 005-257-255
Lot 48 Section 6 Township 9 New Westminster District Plan 54648
(10162 – 172 Street)

Parcel Identifier: 005-257-239
Lot 47 Section 6 Township 9 New Westminster District Plan 54648
(10188 – 172 Street)

2. This Bylaw shall be cited for all purposes as "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21206".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PUBLIC HEARING HELD thereon on the th day of , 20 .

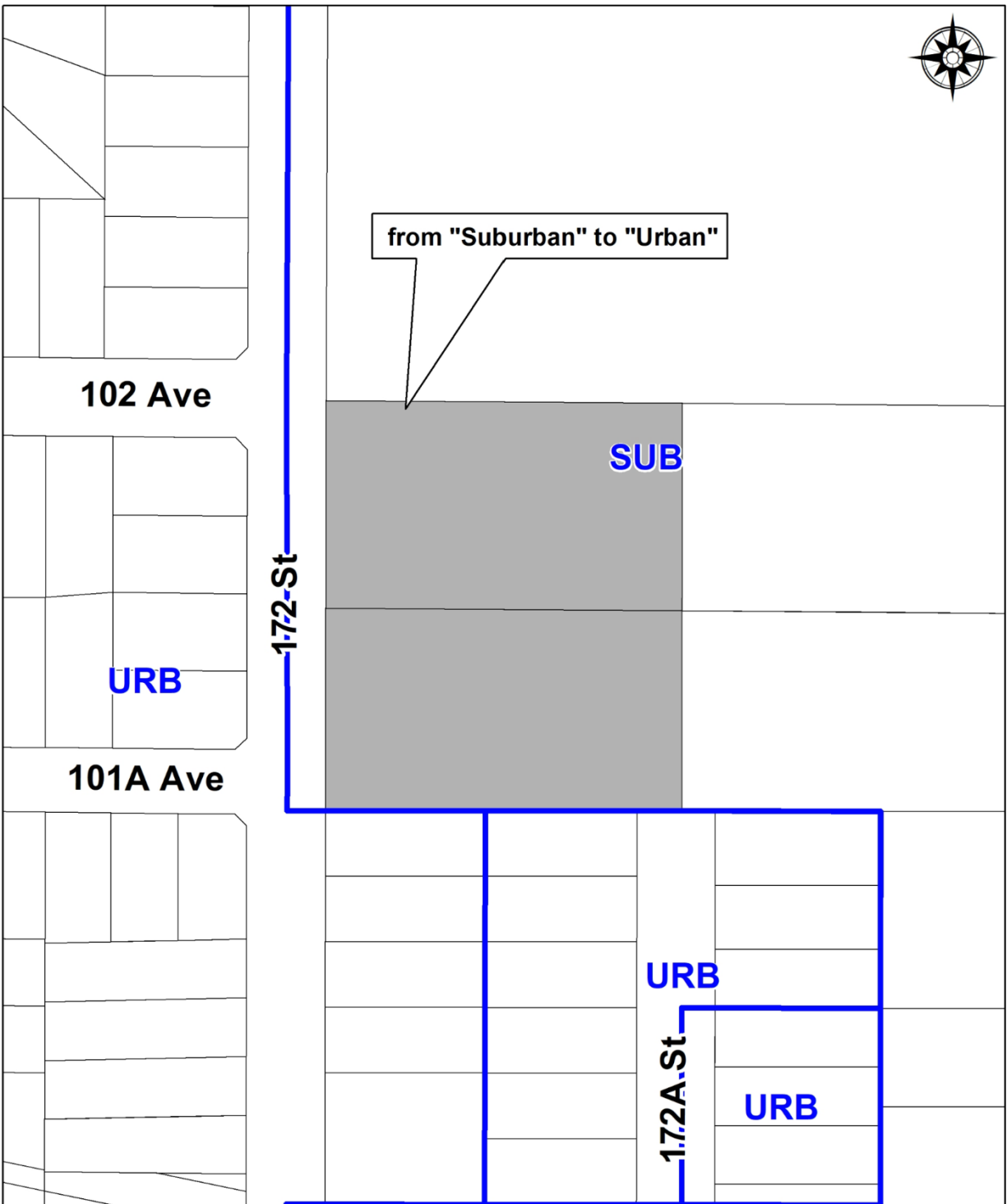
PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

SCHEDULE A



OCP Amendment 21-0170-00
from "Suburban" to "Urban"



CITY OF SURREY

BYLAW NO. 21207

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)
TO: SINGLE FAMILY RESIDENTIAL ZONE (RF)

PID: 005-257-255
Lot 48 Section 6 Township 9 New Westminster District Plan 54648
(10162 – 172 Street)

PID: 005-257-239
Lot 47 Section 6 Township 9 New Westminster District Plan 54648
(10188 – 172 Street)

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21207".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PUBLIC HEARING HELD thereon on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE
on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the
Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0170-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-257-239

Lot 47 Section 6 Township 9 New Westminster District Plan 54648

10188 172 Street

Parcel Identifier: 005-257-255

Lot 48 Section 6 Township 9 New Westminster District Plan 54648

10162 172 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) Section K.2(b) of Part 16, Single Family Residential Zone (RF) to reduce the minimum lot width of the RF Zone from 15 metres to 14.5 metres for proposed Lots 2 – 4 and 10 – 12.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

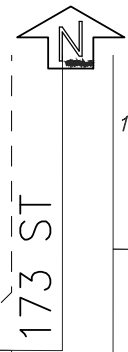
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

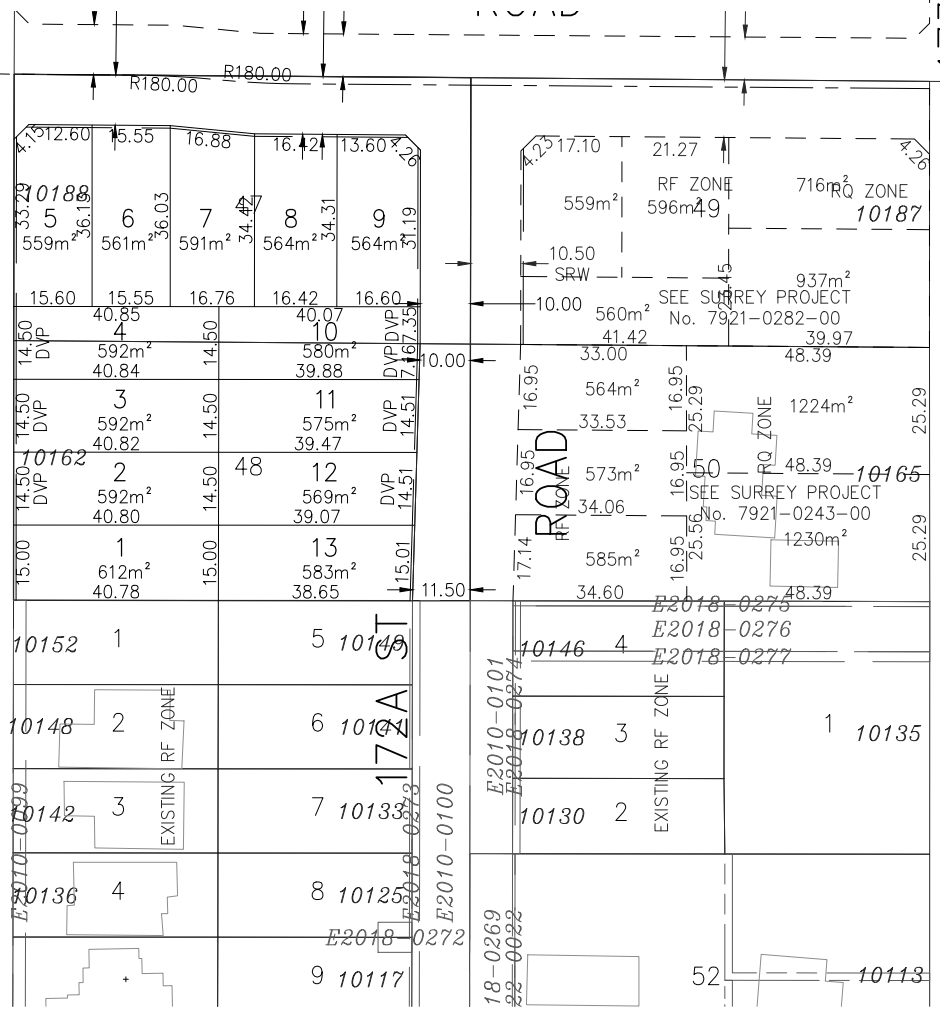
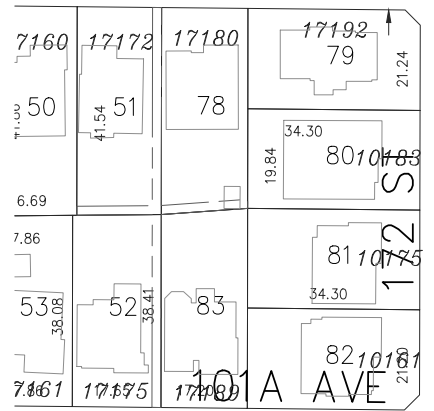
BENCHMARK & CONTROL
 ALL ELEV. ARE GEODETIC AND REFER TO MON. NO.
 ELEV.
 LEGAL DESCRIPTION OF PROPERTY
 LOTS 47 & 48, SEC 6, TWP 9, NWD, PLAN 54648



Schedule A

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

(a) Section K.2(b) of Part 16, Single Family Residential Zone (RF) to reduce the minimum lot width of the RF Zone from 15 metres to 14.5 metres for proposed Lots 2 - 4 and 10 -



H - 3

ACTION REQUIRED: Third Reading

TYPE: OCP / Zoning Amendment / Housing Agreement / DP

PURPOSE: Bylaw No. 21203
To amend OCP Figure 3: General Land Use Designations from Mixed Employment to Multiple Residential for a portion of the subject site, to amend OCP Figure 42: Major Employment Areas by removing the Mixed Employment designation for the same portion of subject site and to amend OCP Table 7a: Land Use Designation Exceptions to allow a FAR of 2.5 on the subject site within the "Multiple Residential" designation.

Bylaw No. 21204
RA to CD – to develop a 6-storey mixed-use building.

Bylaw No. 21205
To enter into a Housing Agreement to secure the rental apartment units for a period of 60 years.

LOCATION: 16453 - 18 Avenue

PROCESSING DATES:

Bylaw No. 21203
April 8, 2024 - 1st/2nd/Electronic PH: Carried RES.R24-530/531/532
Approved to Proceed: Planning Report No. 7923-0134-00

Bylaw No. 21204
April 8, 2024 - 1st/2nd/Electronic PH: Carried RES.R24-533/534/535
Approved to Proceed: Planning Report No. 7923-0134-00

Bylaw No. 21205
April 8, 2024 - 1st/2nd/3rd: Carried RES.R24-536/537/538
Approved to Proceed: Planning Report No. 7923-0134-00

DEVELOPMENT PERMIT

April 8, 2024 - Authorize to Draft: Carried RES.R24-529

CITY OF SURREY

BYLAW NO. 21203

A bylaw to amend the provisions of Surrey Official
Community Plan Bylaw, 2013, No. 18020, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Official Community Plan Bylaw, 2013, No. 18020, as amended, is amended as follows:
 - a. "Figure 3, General Land Use Designations" of the Land Uses and Densities Section is amended by changing the land use designation for the area shown shaded in grey on the plan labeled Schedule A, attached hereto as follows:

FROM: MIXED EMPLOYMENT (ME)

TO: MULTIPLE RESIDENTIAL (MR)

Portion of PID: 006-532-128
Lot 36 Section 13 Township 1 New Westminster District Plan 42726

(Portion of 16453 – 18 Avenue)

- b. "Table 7A: Land Use Designation Exceptions" is amended to include 16453 – 18 Avenue, as shown below:

Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
"Bylaw # 21203	Multiple Residential	16453 – 18 Avenue PID: 006-532-128 Lot 36 Section 13 Township 1 New Westminster District Plan 42726	Density permitted up to 2.5 FAR (net calculation)"

- c. "Figure 42: Major Employment Areas" of the Land Uses and Densities Section is amended by removing the Mixed Employment designation for the area shown shaded in grey on the plan labeled Schedule B, attached to this Bylaw.

2. This Bylaw shall be cited for all purposes as "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21203".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PUBLIC HEARING HELD thereon on the th day of , 20__.

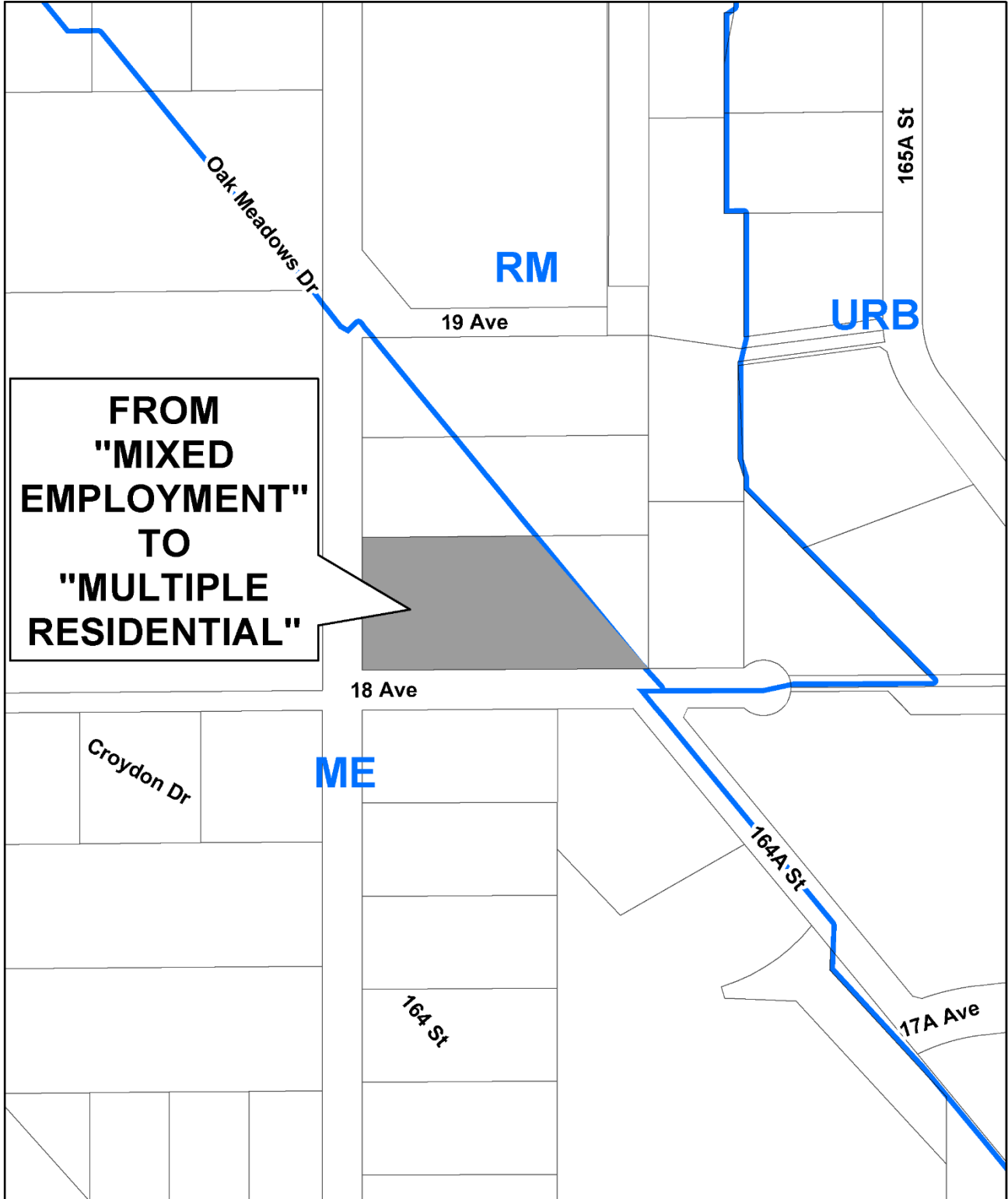
PASSED THIRD READING on the th day of , 20__.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20__.

_____MAYOR

_____CLERK

SCHEDULE A

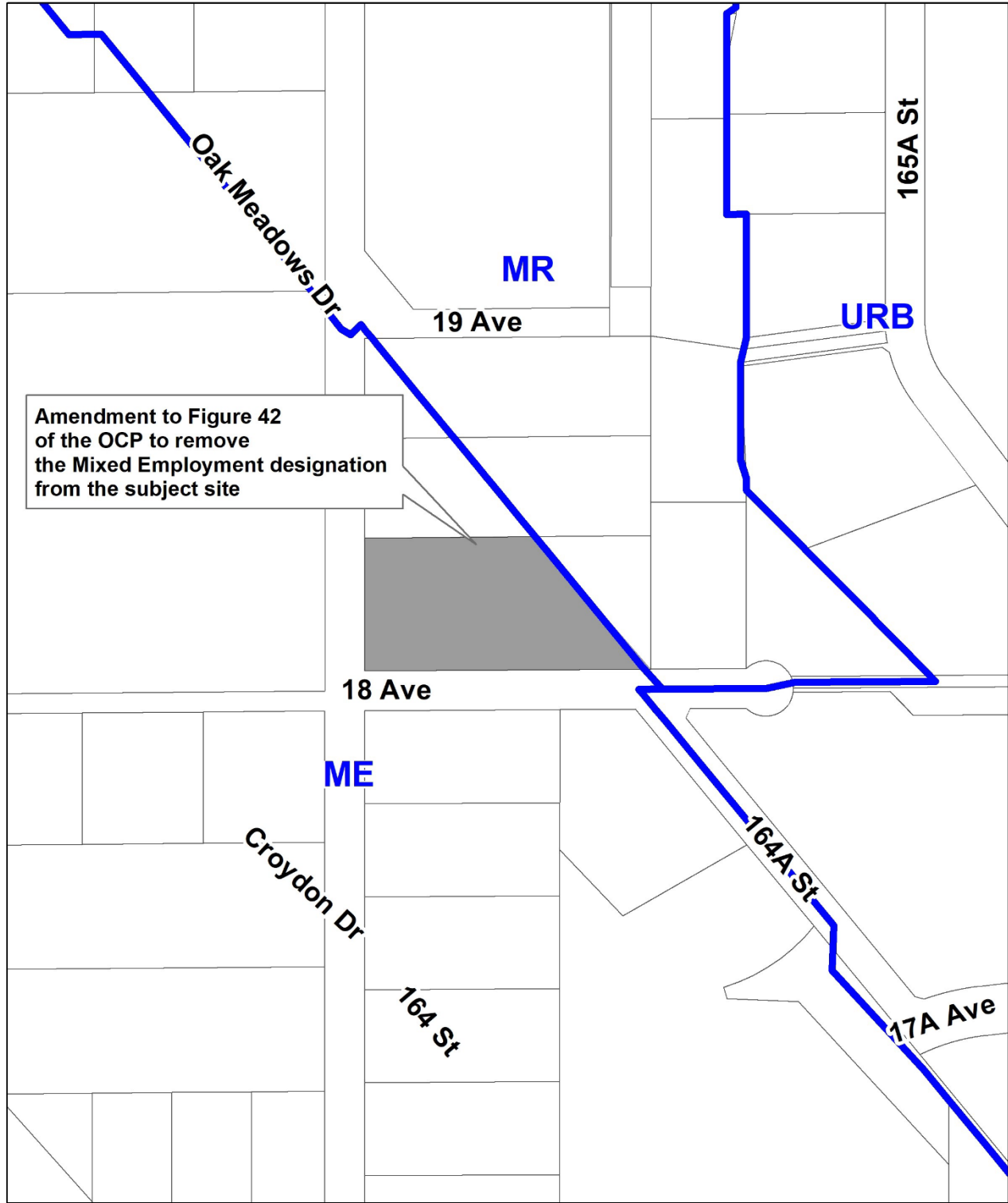


OCP Amendment 23-0134-00

Proposed amendment from "Mixed Employment" to "Multiple Residential"



SCHEDULE B



OCP Amendment 23-0134-00

Amendment to Figure 42 of the OCP to remove the Mixed Employment designation from the subject site



CITY OF SURREY

BYLAW NO. 21204

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 198 (CD 198), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
FROM: ONE-ACRE RESIDENTIAL ZONE (RA)
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 198" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 198	16453 - 18 Avenue	Lot 36, Plan 42726	21204	N/A"

2. This Bylaw shall be cited for all purposes as "Surrey Comprehensive Development Zone 198 (CD 198), Bylaw, 2024, No. 21204".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PUBLIC HEARING HELD thereon on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE on the day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 198 (CD 198)

This Comprehensive Development Zone 198 (CD 198) as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Description	PID
16453 – 18 Avenue	Lot 36 Section 13 Township 1 NWD Plan 42726	006-532-128

(collectively the "Lands")

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *multiple unit residential buildings* and related *amenity spaces*, and neighbourhood commercial uses, which are to be developed in accordance with a *comprehensive design* where *density* bonus is provided.

B. Permitted Uses

Lands, buildings and *structures* shall only be used for the following uses, or a combination thereof:

Principal Uses:

Multiple unit residential buildings, provided that no residential uses are located on the ground floor.

Accessory Uses:

1. The following uses are permitted, provided that they are restricted to the first and second floors of a *multiple unit residential building*:
 - (a) *Retail stores*;
 - (b) *Personal services uses*;
 - (c) *Office uses*;
 - (d) *General services uses* excluding funeral parlours, *drive-through banks* and *vehicle rentals*;
 - (e) *Indoor recreational facilities*, excluding a gymnasium;
 - (f) *Community service*; and
 - (g) *Child care centres*, regulated by the Community Care and Assisted Living Act, as amended, and the Child Care Licensing Regulation, as amended.
2. *Eating establishments* excluding *drive-through restaurants*, provided that they are restricted to the ground floor of a *multiple unit residential building* and the maximum *gross floor area* of each individual business does not exceed 150 sq. m.

C. Lot Area

Not applicable to this Zone.

D. Density

1. Maximum Density:

Maximum *density* shall be as follows:

- (a) 1 *dwelling unit*; and
- (b) The lesser of *floor area ratio* of 0.1 or *building area* of 300 sq. m.

2. Permitted Density Increases:

- (a) Maximum *floor area ratio* of 2.5, excluding:
 - i. The indoor *amenity space* requirement (pursuant to Section J.1. of this Zone).

3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D. of this Zone, and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Sub-section D.2. of this Zone.

E. Lot Coverage

1. The maximum *lot coverage* for all *buildings* and *structures* shall be 65%.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E. of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1. of this Zone.

F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	South Yard	North Yard	East Yard	West Yard
<i>Principal and Accessory Buildings and Structures</i> ¹	4.0 m	7.0 m	7.0 m	4.0 m

1 Notwithstanding Section A.3.(d) of Part 5, Off-Street Parking and Loading/Unloading, *parking – underground* may be located up to 0.5 m of any *lot line*.

2 Notwithstanding the table above, canopies may encroach into the *setbacks*.

3 Notwithstanding Section A.26.(b) of Part 4, General Provisions, stairs with more than three risers may encroach into the *setbacks*.

4 Notwithstanding Section F. of this Zone, the minimum *setbacks* of *principal buildings* and *accessory buildings and structures* for interior *lot lines* for *lots* created by an air space subdivision may be 0.0 m.

G. Height of Buildings

1. Principal Buildings:
Principal building height shall not exceed 22.0 m.
2. Accessory Buildings:
Excluding indoor *amenity space buildings*, *accessory building height* shall not exceed 4.5 m.

H. Off-Street Parking and Loading/Unloading

1. Parking Calculations:
Refer to Table D.1. of Part 5 Off-Street Parking and Loading/Unloading.
2. Tandem Parking:
Tandem parking is not permitted.
3. Underground Parking:
All required resident *parking spaces* shall be provided as *parking – underground*, excluding visitor *parking spaces* which can be provided as surface *parking*.
4. Parking Areas:
 - (a) Parking within the required *setbacks* is not permitted; and
 - (b) Parking is not permitted in front of the main entrance of a non-ground-oriented *multiple unit residential building*, except for the purpose of short-term drop-off or pick-up and for accessible parking.
5. Bicycle Parking:
A *secure bicycle parking area* shall be provided in a separate bicycle room located within the underground parkade, with convenient access to the outside of the *building*.

I. Landscaping and Screening

1. General Landscaping:

- (a) All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained;
- (b) Along the developed portions of the *lot* which abut a *highway*, a continuous *landscaping* strip a minimum of 1.5 m wide shall be provided within the *lot*; and
- (c) *Highway* boulevards abutting a *lot* shall be seeded or sodded with grass, except at *driveways*.

2. Refuse:

Garbage containers and *passive recycling containers* shall be located within the *parking - underground* or within a *building*.

J. Special Regulations

1. Amenity Spaces:

Amenity space, subject to Section B.6. of Part 4, General Provisions, shall be provided on the *lot* as follows:

- (a) Outdoor *amenity space* in the amount of 3.0 sq. m per *dwelling unit*;
- (b) Outdoor *amenity space* shall not be located within the required *setbacks*;
- (c) Indoor *amenity space* in the amount of 3.0 sq. m per *dwelling unit*; and
- (d) Indoor *amenity space* devoted to a *child care centre* shall be a maximum of 1.5 sq. m per *dwelling unit*.

2. Child Care Centres:

Child care centres shall be located on the *lot* such that these centres have access to an *open space* and play area within the *lot*.

3. Balconies:

Balconies are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 sq. m per *dwelling unit*, whichever is greater.

K. Subdivision

1. Minimum Lot Sizes:

Lots created through subdivision, except *strata lots*, shall conform to the following minimum standards:

- (a) *Lot Area*: Minimum 2,000 sq. m;
- (b) *Lot Width*: Minimum 30 m; and
- (c) *Lot Depth*: Minimum 30 m.

2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

L. Other Regulations

Additional land use regulations may apply as follows:

- 1. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of the Zoning Bylaw and in accordance with the servicing requirements for the RM-70 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
- 2. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2021, No. 20291, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 Zone for the residential portion and the C-5 Zone for the commercial portion.
- 3. Development permits, pursuant to the *OCP*.
- 4. Trees and vegetation, pursuant to Surrey Tree Preservation Bylaw, as amended.
- 5. Sign regulations, pursuant to Surrey Sign By-law, as amended.

H - 4

ACTION REQUIRED: Third Reading

TYPE: Zoning Amendment / DP

PURPOSE: Bylaw No. 21200
A-1 to CD – to develop a two-storey 3,092-square-metre commercial building.

LOCATION: 19585 - 32 Avenue

PROCESSING DATES:

Bylaw No. 21200
April 8, 2024 - 1st/2nd/Electronic PH: Carried RES.R24-523/524/525
Approved to Proceed: Planning Report No. 7920-0040-00

DEVELOPMENT PERMIT

April 8, 2024 - Authorize to Draft: Carried RES.R24-522

CITY OF SURREY

BYLAW NO. 21200

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 197 (CD 197), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
FROM: GENERAL AGRICULTURE ZONE (A-1)
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 197" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 197"	19585 - 32 Avenue	Lot 2, Plan 12715	21200	N/A"

2. This Bylaw shall be cited for all purposes as "Surrey Comprehensive Development Zone 197 (CD 197), Bylaw, 2024, No. 21200".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PUBLIC HEARING HELD thereon on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 197 (CD 197)

In this Comprehensive Development Zone 197 (CD 197), **Part 36, Community Commercial Zone (C-8) Zone**, as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
19585 – 32 Avenue	Lot 2 Section 27 Township 7 NWD Plan 12715	001-223-364

(collectively the "Lands")

except as follows:

1. Permitted Uses

Delete Section "B. Permitted Uses" and replace it with a new Section "B. Permitted Uses" as follows:

"B. Permitted Uses

Lands, buildings and structures shall only be used for the following uses, or a combination thereof:

Principal Uses:

1. *Retail stores* excluding the following:
 - (a) *Adult entertainment stores*; and
 - (b) *Secondhand stores and pawnshops*.
2. *Personal service uses* excluding *body rub parlours*.
3. *General service uses* excluding funeral parlours and *drive-through banks*.
4. *Eating establishments* excluding *drive-through restaurants*.
5. *Neighbourhood pubs*, regulated under the Liquor Control and Licensing Act, as amended.
6. *Liquor store*.
7. *Office uses* excluding the following:
 - (a) *Social escort services*;
 - (b) *Methadone clinics*; and
 - (c) *Marijuana dispensaries*.
8. *Indoor recreational facilities*.
9. *Entertainment uses* excluding *arcades* and *adult entertainment stores*.
10. *Community services*.
11. *Child care centres*; regulated under the Community Care and Assisted Living Act, as amended, and the Child Care Licensing Regulation, as amended.
12. *Cultural Uses*.

Accessory Uses:

13. *One caretaker unit per lot*.

2. Density

Delete Section "D. Density" and replace it with a new Section "D. Density" as follows:

"D. Density

1. Maximum Density:
Maximum *density* shall be as follows:
 - (a) 1 *dwelling unit*; and
 - (b) The lesser of *floor area ratio* of 0.1 or *building area* of 300 sq. m.
2. Permitted Density Increases:
If amenity contributions are provided in accordance with Schedule G, maximum *density* may be increased to a *floor area ratio* of 0.87.

3. Yards and Setbacks

Delete Section "F. Yards and Setbacks" and replace it with a new Section "F. Yards and Setbacks" as follows:

"F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	<i>Front Yard (South)</i>	<i>Rear Yard (North)</i>	<i>Side Yard (West)</i>	<i>Street Side Yard (East)</i>
<i>Principal and Accessory Buildings and Structures¹</i>	7.5 m ¹	7.5 m ¹	7.5 m ¹	4 m ¹

¹ Notwithstanding Section A.3.(d) of Part 5, Off-Street Parking and Loading/Unloading, *parking - underground* may be located up to 0.5 m of any *lot line*.

4. Height of Buildings

Delete Section "G. Height of Buildings" and replace it with a new Section "G. Height of Buildings" as follows:

"G. Height of Buildings

1. Principal Buildings:
Principal building height shall not exceed 13 m.
2. Accessory Buildings:
Accessory building height shall not exceed 4.5 m.
3. Structures:
Structure height shall not exceed 4.5 m."

H - 5

ACTION REQUIRED: Issuance subject to conditions

TYPE: Liquor License

PURPOSE: The applicant is requesting to allow for a conversion of an existing licensed establishment from liquor primary club to a liquor primary license in order to provide liquor service to a wider range of patrons, including the general public.

LOCATION: 2643 - 128 Street

PROCESSING DATES:

LIQUOR LICENSE

April 8, 2024

- Public Input in the form of an electronic PH: Carried RES.R24-520
Date be set for PH: Carried RES.R24-519

TO: **City Clerk, Legislative Services Division**

FROM: **Director of Development Planning
Planning & Development Department**

DATE: **April 16, 2024**

FILE: **7924-0020-00**

RE: **Development Application No. 7924-0020-00**

ADDRESS: 2643 128 St

OWNER: Royal Canadian Legion Crescent Branch No. 240

AGENT: C. Schoch
Crescent (Pacific No 240) Branch of the Royal Canadian Legion (RCL)
7921 120 Street, Delta V4C 8E7

PROPOSAL: Liquor License Application.

To permit a transition from Liquor Primary Club to a Liquor Primary License
for an existing licensed establishment

The Public Information Meeting in the form of a Public Hearing associated with the above-noted Liquor License Application for a Liquor Primary License for Royal Canadian Legion (RCL) Branch #240 was held on April 22, 2024. If, after the Public Information Meeting in the form of a Public Hearing Council is in support of the proposed Liquor License Application, it is in order for Council to pass the following resolution:

“After taking into account the following criteria outlined in the attached Planning Report dated April 8, 2024:

- (a) The impact of noise on the community if the application is approved; and
- (b) The location of the establishment;
- (c) The person capacity and hours of liquor service of the establishment;
- (d) The proximity of the establishment to other social or recreational facilities and public buildings; and
- (e) The number and market focus or clientele of liquor-primary license establishments within a reasonable distance of the proposed location; and

After holding a Public Hearing on April 22, 2024, in accordance with City policy, to gather views of area resident and business with respect to the proposed Liquor Primary License at the Royal Canadian Legion Branch #240; and

After hearing any individuals who made a presentation to Council at the Public Hearing and after reviewing any correspondence submitted in response to the Public Hearing notice,

Surrey City Council recommends the issuance of the license subject to the following conditions:

1. The applicant has entered into a Good Neighbour Agreement with the City,
2. The hours of operation for the Liquor Primary License Endorsement are from 11:00 am to 1:00 am from Monday to Saturday and 11:00am to midnight on Sunday

A handwritten signature in black ink, appearing to read 'Shawn Low', with a long horizontal flourish extending to the right.

Shawn Low, Director of Development Planning

**CITY OF SURREY
GOOD NEIGHBOUR
AGREEMENT**

BETWEEN:

ROYAL CANADIAN LEGION CRESCENT BRANCH NO. 240
2643 – 128 Street
Surrey, BC V4A3W6

(the "Owner")

AND:

CITY OF SURREY
13450 – 104 Avenue
Surrey, BC V3T 1V8

(the "City")

WHEREAS the Owner of the Liquor Primary Club at 2643 – 128 Street (the "Liquor Primary License Endorsement") and the City (collectively the "Parties"), recognize that all establishments with a Liquor Primary License Endorsement, enter into this agreement in addition to the requirements of the *Liquor Control and Licensing Act*, to control the conduct of their patrons;

AND WHEREAS the Owner wishes to demonstrate to the citizens of Surrey its desire to be a responsible corporate citizen;

AND WHEREAS the Parties wish to promote Surrey as a vibrant, safe and attractive community for the enjoyment of everyone, including residents, visitors, businesses and their workers.

NOW THEREFORE the Owner agrees with the City to enter into this Good Neighbour Agreement, the terms and conditions of which follow:

1. Noise and Disorder

- 1.1 The Owner undertakes to ensure that noise emissions from the Liquor Primary License Endorsement do not disturb surrounding residential developments and neighbourhoods, and do not violate Surrey Noise Control Bylaw, 1982, No. 7044, as amended.
- 1.2 The Owner shall train and assign staff to monitor the activity of patrons in areas outside of the Liquor Primary License Endorsement to promote the orderly dispersal of patrons, and to discourage patrons from engaging in behaviour that may disturb the peace, quiet and enjoyment of the neighbourhood.

- 1.3 The Owner undertakes to take commercially reasonable measures to ensure disturbances are prevented. The Owner must take reasonable measures to make sure the Liquor Primary License Endorsement is not operating contrary to the public interest and does not disturb people near the establishment. Examples of reasonable measures include installing adequate lighting outside the establishment and in the parking lot, supervising parking areas, making structural changes to allow indoor line-up areas, and posting signs at the exit doors asking the patrons not to disturb the neighbours.
- 1.4 In those instances where patrons are lining up on the public sidewalks the Owner shall ensure that the patrons are lined up in an orderly fashion allowing for the free flow of pedestrians along the sidewalk, not blocking laneways or driveways and not spilling onto the roadway.
- 1.5 In cases where the presence of employees does not facilitate an orderly dispersal of patrons, the Owner shall contact the RCMP to request assistance in dealing with any persons or crowds.

2. **Criminal Activity**

- 2.1 The Owner shall not tolerate any criminal activity within the Liquor Primary License Endorsement.
- 2.2 The Owner shall make commercially reasonable effort to scrutinize patrons as they enter the building to ensure that no items of contraband, including weapons and controlled substances, are brought onto the premises.

3. **Minors**

- 3.1 The Owner shall not serve alcohol to any person under the age of 19 years of age.
- 3.2 The Owner shall check two pieces of identification when verifying that a customer is at least 19 years of age, one piece of which must be picture identification and may be a driver's license, a government identification card or a passport.

4. **Sale and Consumption of Alcohol**

- 4.1 While it is recognized that there may be occasional price reductions or promotions for specific alcoholic beverages, the Owner shall offer no deep discounts (i.e., "cheap drinks") or across-the-board discounts.
- 4.2 When offering price reductions and promotions, the Owner shall be particularly mindful of its legal obligation to refuse service to persons who may, based on appearance or amount of alcohol consumed, be intoxicated.
- 4.3 The Owner shall not allow patrons to carry or consume open beverages in areas that are not licensed for such purposes, including areas outside of the Liquor Primary License Endorsement.

5. **Hours of Operation and Liquor Service**

- 5.1 The Owner shall not allow the service of alcohol to extend beyond 12:00 am Monday through Sunday and the service of liquor must at all times be done in accordance with the terms and conditions of the Liquor Control and Licensing Branch.

- 5.2 The Owner shall be permitted an extra 30 minutes to clear the Liquor Primary License Endorsement at the time of closing in order to facilitate the orderly dispersal of patrons.

6. **On-Duty Employees**

- 6.1 The Owner shall ensure that each on-duty employee of the Liquor Primary License Endorsement is clearly identified.
- 6.2 The Owner shall ensure that the on-duty manager of the Liquor Primary License Endorsement maintains a list showing the full identification of each on-duty employee, and shall make the list available to the Officer In Charge of the RCMP on request.

7. **Cleanliness**

- 7.1 The Owner shall assign staff to inspect the outside of the Liquor Primary License Endorsement to ensure that there is no litter, garbage, broken glass or other foreign objects.
- 7.2 The Owner shall undertake to remove, as soon as is practical, any graffiti from the building's exterior.

8. **Safety**

- 8.1 The Owner shall ensure the occupant load sign is visibly posted near the entrance to ensure overcrowding does not take place.

9. **Other Agencies and Programs**

- 9.1 The Owner agrees to work with the City and its departments, including the RCMP and Fire Department, to resolve any concerns that arise with respect to the operation of the Liquor Primary License Endorsement.
- 9.2 The Owner agrees to attend a formal meeting, as and when required by the City, with the City and the RCMP to discuss issues and concerns.
- 9.3 The Owner shall demonstrate complete support for the RCMP and its members.
- 9.4 When incidents occur which require RCMP involvement, the Owner shall ensure that all personnel of the Liquor Primary License Endorsement cooperate fully with RCMP members and do not impede or obstruct members in performing their duties.
- 9.5 If the Liquor Primary License Endorsement is located within a Business Improvement area, the Owner shall participate in any Business Improvement Area Watch Program, if such a program is created.
- 9.6 The Owner shall accommodate programs which aim to eliminate occurrences of drinking and driving.
- 9.7 The Owner shall make a free telephone available to patrons for the purpose of contacting a taxi or arranging other transportation from the Liquor Primary License Endorsement.
- 9.8 The Owner shall provide non-alcoholic beverages at prices which are below those set for alcoholic beverages.

10. **Amendment and Transferability**

- 10.1 Any proposed changes to the terms of this Good Neighbour Agreement shall be discussed and resolved among the Parties.
- 10.2 The Owner shall make the continuation of this Good Neighbour Agreement a condition of any sale, lease or transfer of all or part of the Liquor Primary License Endorsement.

11. Enforcement

- 11.1 Any failure on the part of the Owner to comply with the terms outlined herein may be brought to the attention of City Council and Council may suspend the owner's business license or impose additional terms and conditions.
- 11.2 Nothing contained or implied in this Good Neighbour Agreement shall prejudice or affect the City's rights and authorities in the exercise of its functions pursuant to the *Community Charter* and *Local Government Act*, as amended, and the rights and powers of the City and the RCMP under provincial and federal statutes and regulations, and City bylaws.

Executed the 17th day of April, 2024 in Surrey, British Columbia,

Royal Canadian Legion Crescent Branch No. 240

s. 22(1) Schoch
Signature per Authorized Signatory

s. 22(1) Schoch, RCL 240
Name (please print)

City of Surrey

Shawn Low
Shawn Low, Director of Development Planning

H - 6

ACTION REQUIRED: Third Reading and Final Adoption

TYPE: OCP Amendment

PURPOSE: To align OCP with amended land use designations of the Darts Hills Neighbourhood Concept Plan.

PROCESSING DATES:

Bylaw 21215

April 8, 2024 - 1st/2nd/Electronic PH: Carried RES.R24-657/658/659

CR2024-R058

April 8, 2024 - Carried RES.24-603

TO: **Mayor & Council**

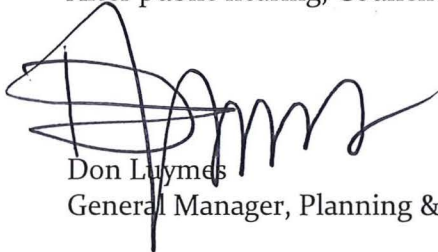
FROM: **General Manager, Planning & Development**

DATE: **April 5, 2024** FILE: **6520-20**
(Darts Hill OCP Amendment)

RE: **Surrey Official Community Plan Bylaw No. 18020, 2013, Amendment Bylaw,
No. 21215**

The above-mentioned bylaw referenced in the Darts Hill Neighbourhood Concept Plan Amendments report advancing to Council on April 8, 2024 (Corporate Report No. R058; 2024) may be introduced and given first and second readings, and then scheduled for electronic public hearing on April 22, 2024.

After public hearing, Council may consider the bylaws for third reading and final adoption.



Don Luymes
General Manager, Planning & Development

Attachment

MK/ss

CITY OF SURREY

BYLAW NO. 21215

A bylaw to amend the provisions of Surrey Official
Community Plan Bylaw, 2013, No. 18020, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

- I. Surrey Official Community Plan Bylaw, 2013, No. 18020, as amended, is hereby further amended as follows:
 - a. "Figure 3: General Land Use Designations" is amended by changing the land use designation for the following lands, as shown outlined in Schedule A to this Bylaw:

FROM: CONSERVATION AND RECREATION (CR)
TO: URBAN (URB)

	Parcel Identifier	Legal Description	Civic Address
1	011-234-415	Parcel "A" (Explanatory Plan 12763) Lot 2 Section 18 Township 7 New Westminster District Plan 7509	1750 – 168 Street
2	017-515-181	Lot 1 Section 18 Township 7 New Westminster District Plan LMP1957	1734 – 168 Street

- 2. This Bylaw shall be cited for all purposes as "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21215".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

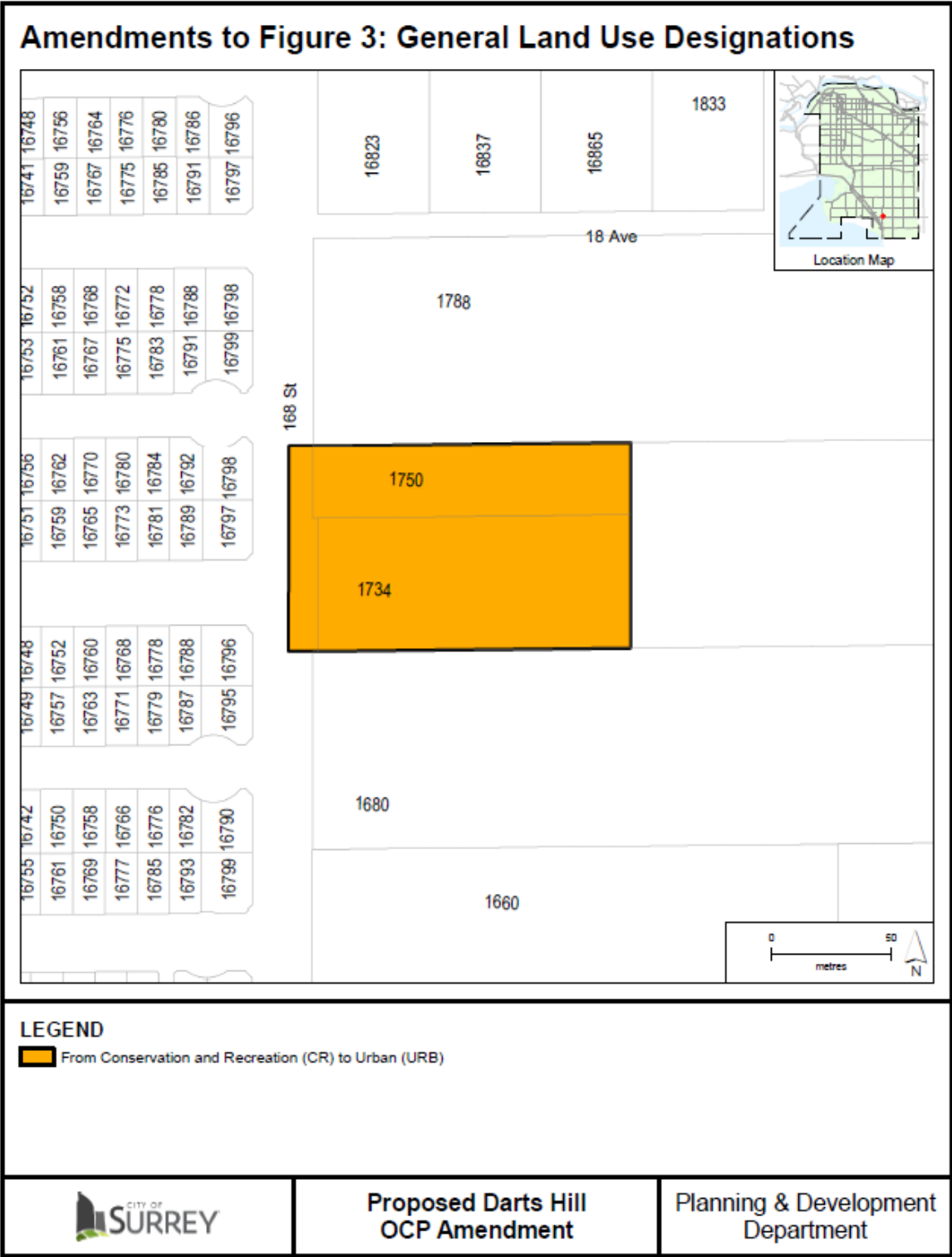
PUBLIC HEARING HELD thereon on the day of , 2024.

PASSED THIRD READING on the day of , 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 2024.

_____MAYOR

_____CLERK



H - 7

ACTION REQUIRED: 1st, 2nd and 3rd Readings

TYPE: Zoning Amendment / DP

PURPOSE: RF to CD – to develop a 6-storey apartment building, containing approximately 120 dwelling units over 2 levels of underground parking, on a consolidated site in Guildford.

LOCATION: 14040, 14048, 14058 and 14064 - 100A Avenue

PROCESSING DATES:

Bylaw No. 21201

April 8, 2024

-

Proceed to Public Notification: Carried RES.R24-526

Approved to Proceed: Planning Report No. 7923-0020-00

DEVELOPMENT PERMIT

April 8, 2024

-

Authorize to Draft: Carried RES.R24-526

NOTICE OF REZONING BYLAW

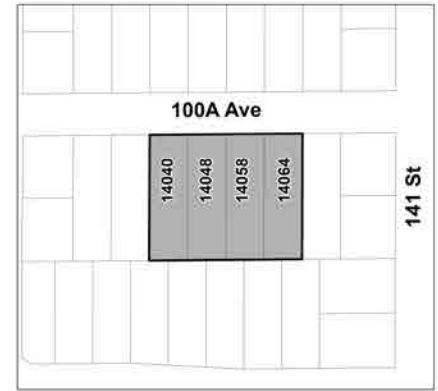
Surrey City Council will hold an **electronic** meeting

MONDAY, APRIL 22, 2024

STARTING AT 7PM

View the livestream at surrey.ca or at City Hall

13450 —104 Avenue



Notice is hereby given that the proposed rezoning bylaw "Surrey Comprehensive Development Zone 195 (CD 195), Bylaw, 2024, No. 21201" will be read for the first time by the City of Surrey Council at the Council Meeting on April 22, 2024, for the purposes of potential adoption.

In accordance with Section 464 of the *Local Government Act*, no public hearing is permitted for applications that are consistent with the Official Community Plan and are primarily residential.

Planning Report—Application No. 7923-0020-00

Location: 14040, 14048, 14058 and 14064 - 100A Avenue

Purpose of Bylaw: The applicant is requesting to rezone the site shown shaded in grey on the location map from Single Family Residential Zone to Comprehensive Development Zone in order to develop a 6-storey apartment building, containing approximately 120 dwelling units over 2 levels of underground parking, on a consolidated site in Guildford.

OWNER/OCCUPANT



Office of the City Clerk
13450 – 104 Avenue,
Surrey, BC V3T 1V8
Canada

QUESTIONS FOR THE PLANNER:

Email planning staff at planningdevelopment@surrey.ca if you have any questions regarding this application. For information about the application visit surrey.ca.

City Hall is open Monday to Friday 8:30am-4:30pm except statutory holidays.

COMMENTS TO COUNCIL:

Your comments on this application must be received in writing by 12:00 noon on Council day, for Council's consideration. There are no speaking opportunities.

Webform: surrey.ca

Email: clerks@surrey.ca

Mail: Office of the City Clerk at the address above

Fax: 604-501-7578

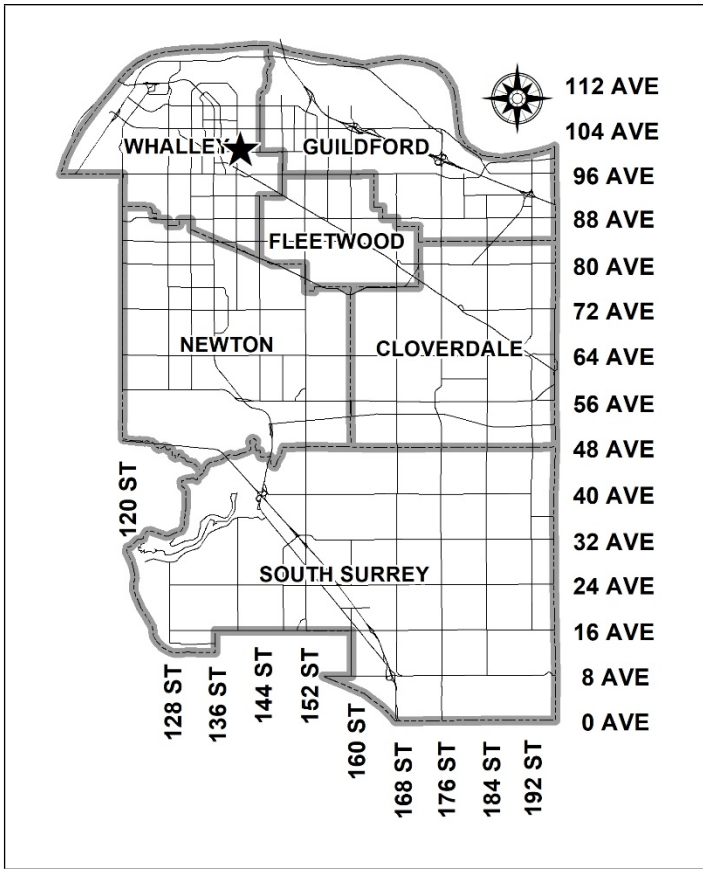
WATCH THE COUNCIL MEETING:

View the livestream at surrey.ca or at City Hall, 13450 —104 Avenue.

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0020-00

Planning Report Date: April 8, 2024



PROPOSAL:

- **NCP Amendment** from “Low Rise Transition Residential” to “Low to Mid Rise Residential” for a portion of subject site under the Guildford Plan.
- **Rezoning** from RF to CD (based on RM-70).
- **Development Permit**

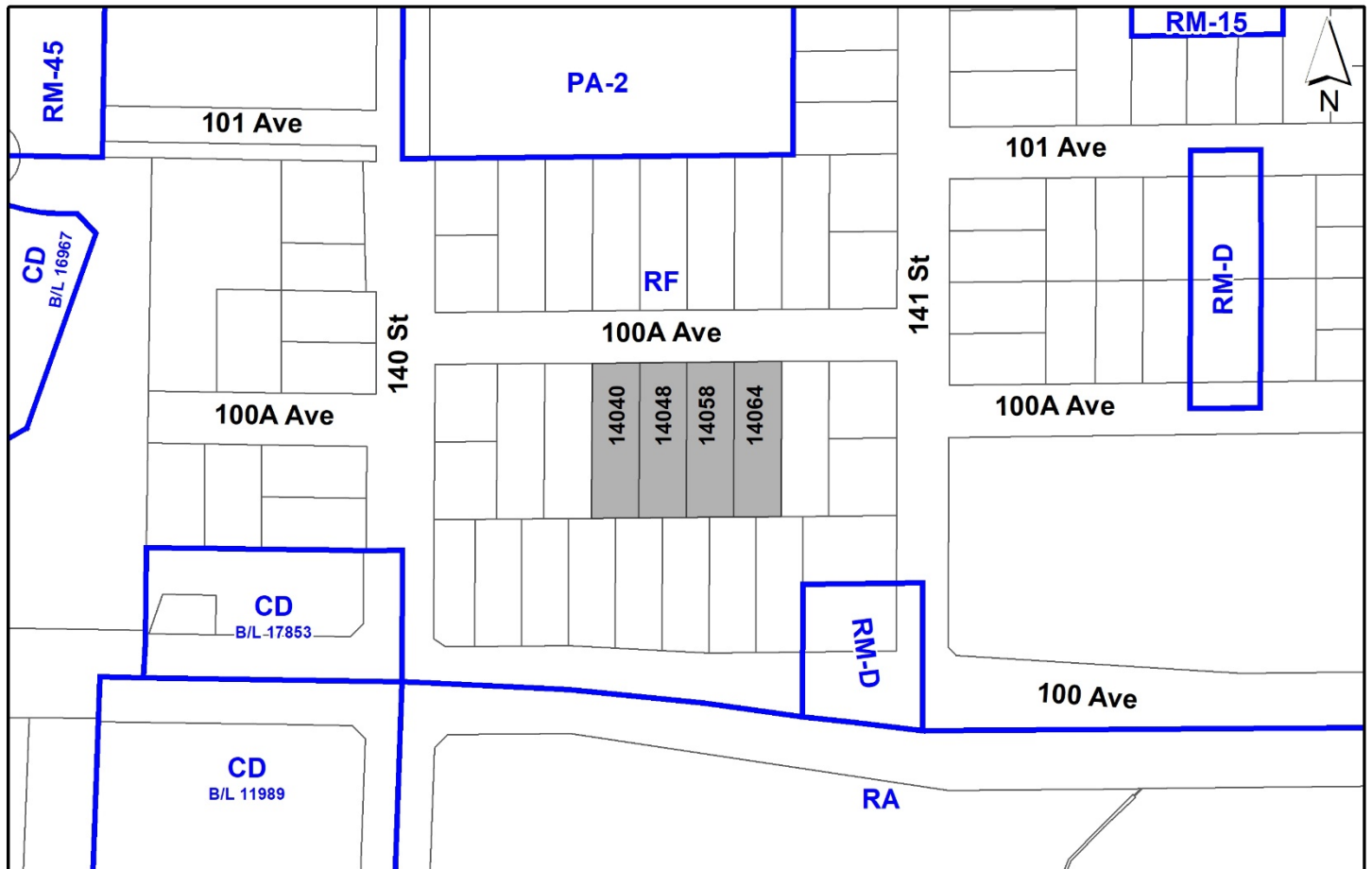
to permit the development of a 6-storey apartment building, containing approximately 120 dwelling units over two (2) levels of underground parking, on a consolidated site in Guildford.

LOCATION: 14040, 14048, 14058, and 14064 - 100A Avenue

ZONING: RF

OCP DESIGNATION: Multiple Residential

NCP DESIGNATION: Low Rise Transition Residential and Low to Mid Rise Residential



RECOMMENDATION SUMMARY

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for First, Second and Third Reading.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to amend the designation of a portion of the subject site from “Low Rise Transition Residential” to “Low to Mid Rise Residential” under the Guildford Plan.

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the *Metro 2050: Regional Growth Strategy* (RGS).
- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP), which supports densities of up to 2.5 FAR (Gross) on the subject site.
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not permitted for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- To accommodate the proposed development, an amendment to the Guildford Plan is required in order to redesignate a portion of the subject site (14048/14058/14064 – 100A Avenue) from “Low Rise Transition Residential” to “Low to Mid Rise Residential”.
- The applicant will provide a density bonus amenity contribution, consistent with the Tier 2 Community-Specific Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Guildford Plan and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed building achieves an attractive architectural built form, which utilizes high quality materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)".
2. Council authorize staff to draft Development Permit No. 7923-0020-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Community-Specific Capital Projects Community Amenity Contributions (CACs) in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (g) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
 - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (i) registration of a volumetric statutory right-of-way, for public rights of passage, over the proposed semi-public corner plaza at the north-west portion of the subject site; and
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development;
4. Council pass a resolution to amend the Guildford Plan to redesignate a portion of the land from "Low Rise Transition Residential" to "Low to Mid Rise Residential", as illustrated in Appendix V, when the project is considered for Final Adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	Guildford Plan Designation	Existing Zone
Subject Site	Single family residential.	Low Rise Transition Residential and Low to Mid Rise Residential	RF
North (Across 100A Avenue):	Single family residential.	Low Rise Transition Residential	RF
East:	Single family residential.	Low Rise Transition Residential	RF
South:	Single family residential.	Low Rise Transition Residential and Low to Mid Rise Residential	RF
West:	Single family residential.	Low to Mid Rise Residential	RF

Context & Background

- The 4,371-square metre subject site, comprised of four (4) single family lots, is located on the south side of 100A Avenue mid-block between 140 Street and 141 Street in the Hawthorne District of the Guildford Plan area.
- The properties are presently occupied by single family residential dwellings, which are proposed to be demolished as part of the subject development application.
- The subject site is designated “Multiple Residential” in the Official Community Plan (OCP), both “Low Rise Transition Residential” (14048/14058/14064 – 100A Avenue) and “Low to Mid Rise Residential” (14040 – 100A Avenue) under the Guildford Plan, as well as zoned “Single Family Residential Zone (RF)”.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of a 6-storey apartment building, containing approximately 120 dwelling units over two (2) levels of underground parking in the Hawthorne District of Guildford, the applicant will require the following:
 - **NCP Amendment** for a portion of the subject site (14048/14058/14064 – 100A Avenue) from “Low Rise Transition Residential” to “Low to Mid Rise Residential” under the Guildford Plan;
 - **Rezoning** from RF to CD (based on RM-70);
 - **Development Permit** for Form and Character; and
 - **Subdivision (Consolidation)** from four (4) lots to one (1) lot.

Proposed

	Proposed
Lot Area	
Gross Site Area:	4,371 square metres
Road Dedication:	781 square metres
Net Site Area:	3,590 square metres
Number of Lots:	1
Building Height:	20.0 metres (6-storeys)
Floor Area Ratio (FAR):	1.95 FAR (Gross); 2.38 FAR (Net)
Floor Area	
Residential:	8,545 square metres
Indoor Amenity Space:	180 square metres
Total:	8,725 square metres
Residential Units:	
Studio:	9 dwelling units (7.5% of total dwelling units)
1-Bedroom:	74 dwelling units (61.7% of total dwelling units)
2-Bedroom:	25 dwelling units (20.8% of total dwelling units)
3-Bedroom:	12 dwelling units (10.0% of total dwelling units)
Total:	120

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 19 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

11 Elementary students at Lena Shaw Elementary School
5 Secondary students at Guildford Park Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

Parks, Recreation & Culture: No concerns.

The closest active park and natural area is Cedar Grove Park which is approximately 400 metres walking distance from the subject site.

Surrey Fire Department: The Surrey Fire Department has no concerns with the proposed development, however, there are some standard items to be addressed as part of the subsequent Building Permit application.

Advisory Design Panel: At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City’s Advisory Design Panel (ADP) which permits multi-family proposals that are 6-storeys or less, and supported by City staff, to proceed to Council for By-law introduction, without review and/or comment from the ADP.

The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.

Transportation Considerations

Road Network and Infrastructure

- The applicant is required to provide the following road dedication and improvements as part of the subject development proposal:
 - Construct the south side of 100A Avenue to the local road standard; and
 - Dedication and construction of lanes along the west and south sides of the subject site.

Access

- The subject site is proposed to be accessed via the proposed new lane.

Traffic Impacts

- The subject development proposal is, according to industry standard rates, anticipated to generate approximately one vehicle trip every one to two minutes in the peak hour. This is below the City’s threshold for requiring a site-specific traffic impact analysis.

Transit and/or Active Transportation Routes

- The subject site is located approximately 1.1 kilometres away from the King George SkyTrain Station.
- The subject site is approximately 1-kilometre away from several TransLink service routes along King George Boulevard, an existing Frequent Transit Network (FTN), including:
 - Rapid Bus Route No. 1 (Guildford Exchange/Network Exchange – B-Line);
 - Bus Route No. 314 (Surrey Central Station/Sunbury);
 - Bus Route No. 321 (White Rock Centre/Newton Exchange/Surrey Central Station);
 - Bus Route No. 325 (Newton Exchange/Surrey Central Station);
 - Bus Route No. 326 (Guildford Exchange/Surrey Central Station);
 - Bus Route No. 329 (Surrey Central Station/Scottsdale Exchange);
 - Bus Route No. 502 (Langley Centre/Surrey Central Station);

- Bus Route No. 503 (Aldergrove/Surrey Central Station);
- The subject site is located within close proximity of both the Quibble Creek Greenway, running north-south within an existing BC Hydro right-of-way approximately 185 metres to the west of the subject site, as well as the Bon Accord Greenway, running east-west along 100 Avenue approximately 50 metres to the south of the subject site.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject development proposal complies with the current “General Urban” designation of the subject site under the Metro 2050 *Regional Growth Strategy* (RGS).

Official Community Plan

Land Use Designation

- The subject development proposal complies with the current “Multiple Residential” designation of the subject site under the Official Community Plan (OCP), which support densities of up to 2.5 FAR (Gross) on the subject site.

Secondary Plans

Land Use Designation

- The subject site is split-designated “Low Rise Transitional Residential” (14048 / 14058 / 14064 – 100A Avenue) and “Low to Mid Rise Residential” (14040 – 100A Avenue) under the Guildford Plan.
- In order to accommodate the subject development proposal, the applicant is required to amend the Guildford Plan in order to redesignate a portion of the site from “Low Rise Transitional Residential” to “Low to Mid Rise Residential”.

Amendment Rationale

- The applicant will be required to provide the per sq. ft. flat rate Tier 2 Community-Specific Community Amenity Contribution (CAC) for the floor area achieved beyond the maximum permitted FAR under the Guildford Plan in order to satisfy the proposed Amendment. The contribution will be payable at the rate applicable at the time of Final Adoption of the Rezoning Bylaw.

- The proposed density, building height and building form are considered appropriate for this part of the Guildford Plan area given that the subject site is located within close proximity to the King George SkyTrain Station as well as an existing Frequent Transit Network (King George Boulevard).
- The proposed development is in keeping with the Development Application No. 7922-0187-00, a proposed 6-storey apartment building containing approximately 109 dwelling units with underground parking, located directly to the south-west of the subject site which was granted Third Reading by Council on July 24, 2023.
- Provincial legislation (“Bill 47 – 2023: Housing Statutes (Transit-Oriented Areas) Amendment Act, 2023”) designates the subject site as falling within the Tier 3 (400 to 800m) radius of a SkyTrain Station Transit-Oriented Area (TOA), which allows for a minimum floor area ratio (FAR) of 3.0 and a minimum building height of 8-storeys. The applicant has decided to proceed with a 6-storey wood frame building.

CD By-law

- The applicant proposes to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed 6-storey residential building on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Unit Density:	N/A	N/A
Floor Area Ratio:	1.50 (Net)	2.4 (Net)
Lot Coverage:	33%	45%
Yards and Setbacks		
North Yard:	7.5 metres	5.5 metres
East Yard:	7.5 metres	8.0 metres
South Yard:	7.5 metres	6.0 metres
West Yard:	7.5 metres	6.0 metres
Principal Building Height:	50.0 metres	18.0 metres
Permitted Uses:	<ul style="list-style-type: none"> • Multiple unit residential buildings; • Ground-oriented multiple unit residential buildings; and • Child care centres. 	<ul style="list-style-type: none"> • Multiple unit residential buildings; and • Ground-oriented multiple unit residential buildings

Amenity Space		
Indoor Amenity:	3.0 sq.m. per dwelling unit (360 sq.m. total)	The proposed 180 m ² + CIL meets the Zoning By-law requirement.
Outdoor Amenity:	3.0 sq.m. per dwelling unit (360 sq.m. total)	The proposed 719 m ² meets the Zoning By-law requirement.
Parking (Part 5)	Required	Proposed
Number of Stalls		
Residential:	132 parking spaces	138 parking spaces
Residential Visitor:	12 parking spaces	13 parking spaces
Total:	144 parking spaces	151 parking spaces
Accessible:	2 (50% van-accessible)	4 (50% van-accessible)
Small Car (35% max.):	53	4
Bicycle Spaces		
Residential:	144	157
Residential Visitor:	6	6

- The proposed CD Bylaw is based upon the RM-70 Zone with modifications to the maximum permitted density, lot coverage, minimum building setbacks, maximum building height, off-street parking requirements and the location of the underground parkade in relation to the lot lines.
- When calculated based on the gross site area, the proposed 6-storey apartment building on the subject site will have a floor area ratio (FAR) of 1.95, which is generally between the 1.6 FAR (Gross) and 2.25 FAR (Gross) permitted under the “Low Rise Transition Residential” and the “Low to Mid Rise Residential” designations in the Guildford Plan, respectively.
- Given the proximity of the subject site to the eastern boundary of City Centre as well as the King George SkyTrain Station and an existing FTN (King George Boulevard), the proposal to increase the density from 1.5 to 2.4 FAR (Net) in the CD Bylaw is supportable. In addition, if calculated on the net site area, the FAR would be 2.38 which is less than the maximum allowable density permitted under the “Multiple Residential” designation of the OCP.
- The maximum lot coverage has been increased from 33% under the RM-70 Zone to a maximum of 45% in the CD Bylaw to accommodate the proposed built form. The proposed lot coverage is typical for 6-storey apartment buildings on a site of this size.
- The proposed setback reductions will allow for better connectivity to the street, providing a more pedestrian-friendly urban landscape, as well as providing additional space for the proposed central courtyard containing most of the proposed outdoor amenity space (see Form and Character Development Permit Requirements section for details).

On-site Parking and Bicycle Storage:

- The proposed development includes a total of 151 parking spaces, consisting of 138 residential parking spaces and 13 parking spaces for visitors. In addition, the applicant will provide four (4) accessible parking spaces.

- The applicant is proposing to provide a rate of 1.15 parking spaces per dwelling unit for residents and 0.1 parking spaces dwelling unit for visitors (1.25 per dwelling unit in total). The proposed parking reduction is supportable given the subject site is located within a Rapid Transit Area (RTA) and complies with the reduced parking rates previously endorsed by Council as part of Corporate Report No. R115; 2021.
- The Zoning Bylaw requires that no parking facilities be constructed within 2.0 metres of the front lot line or a lot line along a flanking street. The proposed underground parkade will be located within 0.5 metres of the north, south and west lot lines. As a result, the proposed CD Bylaw will permit the underground parking facility to be 0.5 metres from all lot lines.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update was approved in April 2023, under Corporate Report No.R037;2023, with rates anticipated to increase further in April 2024.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance. The current rate is \$2,136.00 per new dwelling unit.
- The proposed development will be subject to Tier 2 Community-Specific Capital Project Community Amenity Contributions (CACs) for proposed density greater than the maximum floor area ratio (FAR) that is permitted under the "Low Rise Transition Residential" designation in the Guildford Plan, to a maximum allowable density of 1.95 FAR (Gross).
- The applicant will be required to provide the flat rate (per square foot) contribution for the bonus density achieved, which will be payable at the rate applicable at the time of Final Adoption of the subject Rezoning Bylaw. The current flat rate is \$21.36 per square foot for apartment developments in Guildford.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new dwelling unit to support the development of new affordable housing, with rates anticipated to increase in April 2024. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on February 27, 2024, and the Development Proposal Sign was installed on February 28, 2024. To date, staff have received no responses from area residents or adjacent property owners with respect to the subject development proposal.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to, and generally complies with, the Form and Character Development Permit guidelines in the OCP as well as the design guidelines in the Guildford Plan.
- The applicant has worked with staff to:
 - Address the grade changes on-site;
 - Provide an appropriate interface with adjacent land uses; and
 - Achieve a finer grained road network and functional rear lane alignment.

Building Design

- The applicant is proposing an inverted "U"-shaped, stepped 6-storey apartment building containing 120 market strata dwelling units with two (2) levels of underground parking. The proposed units consist of 9 studio units, 74 1-bedroom units, 25 2-bedroom units and 12 3-bedroom units, which range in size from 36 to 101 square metres.
- The applicant proposes a total of 6 adaptable units, equivalent to approximately 5% of all dwelling units.
- The proposed building form arranges its massing to respond to the natural slope of the subject site and moderates it by varying scale by stepping and staggering its floor plate, such that it recedes from the road frontages at the upper stories and corners, thereby creating a lower profile silhouette.
- The proposed building achieves an attractive visual aesthetic through the application of contemporary architectural characteristics, that include rectilinear forms, deep flat roof overhangs and exposed timber framing, as well as accents backdropped with high-quality cladding such as brick veneer, wood-tone cladding, cement composite panels and cedar wood soffits.

- The street interface has been designed to a high standard in order to achieve a positive urban experience between the proposed building and the public realm. This is proposed to be accomplished using a two-storey “townhouse-like” expression defined with brick veneer and individual front patio entries to activate the road edges and layered landscaping that complements the street.

Landscaping

- The landscape plans includes a mixture of trees, shrubs, and groundcover to be planted throughout the subject site, as well as hardscaping, site lighting, fencing and site furnishings.
- All ground-floor units have front door access as well as a useable, semi-private patio space that is screened from the public realm through a combination of grade changes, tiered retaining walls, layered planting consisting of a bylaw sized tree, low-lying shrubs, perennials, and grasses as well as privacy fencing.
- Access to the semi-private patio space will be provided through either a separate gated entryway from the adjacent public or private sidewalk or through the individual dwelling units.
- Exterior lighting will be designed to reduce light pollution as well as provide adequate lighting to ensure community safety, in keeping with Crime Prevention Through Environmental Design (CPTED) principles.
- Furthermore, the applicant proposes to provide a corner plaza at the north-west corner of the subject site, where the frontages intersect at 101A Avenue and the proposed north-south Green Lane. It consists of low-lying planting, a bike repair station and bench seating.

Signage

- Two (2) identification signs are proposed, on both the northern (101A Avenue) and western (Green Lane) building facades. The signage is comprised of individual backlit and polished aluminum channel letters integrated into the wood canopy structure of the two entrance lobbies. The proposed signage complies with the Surrey Sign By-law.
- No additional signage is proposed on-site. If required, the proposed signage will be considered through a separate application and should comply with the Surrey Sign By-law, as amended.

Indoor Amenity

- The required indoor amenity space is 360 square metres, or three (3) square metres per new dwelling unit. The applicant is proposing to provide 180 square metres of on-site indoor amenity space thereby requiring a cash-in-lieu contribution for the proposed shortfall in accordance with City Council policy.
- The indoor amenity space is located on the western-most “wing” of the ground floor within the proposed building, directly adjacent to the outdoor amenity space proposed within the south-facing central courtyard. The space consists of a shared kitchen and communal dining area, lounge, exercise/yoga room and accessible washroom facility.

- The proposed indoor amenity space can be accessed either directly from the adjacent outdoor amenity space or via the internal shared hallway.

Outdoor Amenity

- The required outdoor amenity space is 360 square metres, or three (3) square metres per new dwelling unit. The applicant is proposing a total of approximately 719 square metres thereby exceeding the minimum requirement.
- The proposed outdoor amenity space is divided into two areas: a large, at-grade courtyard and three (3) large rooftop (6th floor) amenity spaces.
- The ground level courtyard, accessible from the indoor amenity space, several adjacent dwelling units and a semi-private pedestrian walkway located along the south lot line, contains an open, multi-purpose lawn area, lounge/games area, outdoor fitness area and children's playground.
- The rooftop outdoor amenity spaces are proposed to include a lounge seating areas, outdoor BBQs and communal dining areas as well as several large planter pots.

Outstanding Items

- The applicant has agreed to resolve any outstanding items identified through Development Planning review process to the satisfaction of the Planning and Development Department before Final Adoption of the subject Rezoning Bylaw, should the application be supported by Council.
- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. City staff will continue to work with the applicant to resolve the following:
 - Resolution and coordination of the public realm interface, grading, landscape walls and refuse staging;
 - Resolution of building setbacks for lobby roof canopies along the north and west property lines; and
 - Revise plans to include high quality building materials.

TREES

- Dean Bernasch, ISA Certified Arborist of Diamond Head Consulting Ltd., prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Red Alder	2	2	0
Deciduous Trees (excluding Alder Trees)			
Big Leaf Maple	1	1	0
Black Poplar	1	1	0
Sycamore Maple	2	2	0
Coniferous Trees			
Douglas-fir	3	3	0
Western Red Cedar	6	6	0
Total (excluding Alder Trees)	13	13	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		45	
Total Retained and Replacement Trees Proposed		45	
Estimated Contribution to the Green City Program		Not required	

- The Arborist Assessment states that there is a total of thirteen (13) protected trees on the site or shared with an adjacent property, excluding Alder and Cottonwood trees. Two (2) existing trees, approximately 13% of the total trees noted above, are Red Alder trees. The applicant proposes to retain no trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- In addition to the fifteen (15) on-site trees identified the Arborist Assessment states that there are a total of nine (9) off-site trees impacted by the proposed development. The applicant has obtained written permission from the adjacent property owners for the removal of two (2) shared trees, and five (5) of the nine (9) off-site trees identified.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 28 replacement trees on the site. The applicant is proposing approximately 45 replacement trees, exceeding City requirements.

- In addition to the replacement trees, boulevard street trees will be planted on 101A Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Vine Maple, Flame Amur Maple, Paperbark Maple, Silk Tree, Threadleaf Cypress, Pink Kousa Dogwood, Lavalle Hawthorn, Black Dragon Japanese Cedar, Sentry Maidenhair, Golden Rain Tree, Persian Ironwood, Australian Black Pine, English Oak, Orangebark Sewartha and Pink Flowered Japanese Snowbell.
- In summary, a total of 45 trees are proposed to be replaced on the site with no requirement for a contribution to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix V.	Guildford Plan Land Use Map

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

CL/ar



RESIDENTIAL DEVELOPMENT

14040, 14048, 14058, 14064 100A AVENUE
SURREY BC.

2024 003-22 ISSUED FOR DP SUBMISSION



W G ARCHITECTURE INC.

DRAWINGS LIST

RESIDENTIAL DEVELOPMENT
14040 - 100 AVENUE

01	DRAWINGS LIST				
02	CONTEXT PHOTOS				
03	SITE PHOTOS				
04	EXECUTIVE SUMMARY				
	PROJECT INFORMATION				
	DESIGN RATIONALE				
	SUSTAINABLE DESIGN				
05	SITE PLAN				
06	PROJECT STATISTICS				
07	MASSING RENDERINGS				
	NORTH FAÇADE MAIN ENTRANCE [100A AVENUE]				
	NORTHEAST CORNER PERSPECTIVE VIEW [100A AVENUE]				
	EAST FAÇADE VIEW				
	SOUTHEAST CORNER PERSPECTIVE VIEW				
	SOUTH ELEVATION PERSPECTIVE VIEW				
	SOUTH FAÇADE VIEW				
	SOUTHWEST CORNER PERSPECTIVE VIEW				
	WEST FAÇADE VIEW				
08	MATERIAL BOARD				
09	PRECEDENT STUDY				
10	SHADOW STUDY				
		ARCHITECTURAL DRAWINGS			
		001 - BASE DRAWING INFO			
		A001	CONTEXT PLAN	1:250	
		A002	SITE PLAN	1:125	
		A003	RESERVED		
		A004	SURVEY PLAN	1:125	
		A005	BASE DRAWING	1:125	
		A006	GRADING PLAN	1:125	
		A007	MASSING PLAN	1"125	
		100 - BUILDING PLAN			
		A101	PARKING P2	1:125	
		A102	PARKING P1	1:125	
		A103	BIKE STORAGE	1:125	
		A104	GROUND LEVEL	1:125	
		A105	TYPICAL LEVEL 2-4	1:125	
		A106	LEVEL 5	1:125	
		A107	LEVEL 6	1:125	
		A108	ROOF LEVEL	1:125	
		A109	AMENITY AREA DIAGRAM	1:250	
		200 - BUILDING ELEVATION			
		A201	NORTH ELEVATION	1:125	
		A202	WEST ELEVATION	1:125	
		A203	EAST ELEVATION	1:125	
		A204	SOUTH ELEVATION	1:125	
		A205	INTERNAL ELEVATIONS	1:125	
		300 - BUILDING SECTION			
		A301	SECTION 1	1:125	
		A302	SECTION 2	1:125	
		A303	SECTION 3	1:125	
		A304	SECTION 4	1:125	
		A305	SECTION 5	1:125	
		400 - ENLARGED UNIT PLAN			
		A401	SUITE LAYOUTS		1:50
		A402	SUITE LAYOUTS		1:50
		A403	SUITE LAYOUTS		1:50
		A404	SUITE LAYOUTS		1:50
		A405	SUITE LAYOUTS		1:50
		A406	SUITE LAYOUTS		1:50
		A407	SUITE LAYOUTS		1:50
		LANDSCAPE DRAWINGS			
		L1	LANDSCAPE LAYOUT PLAN GROUND LEVEL		AS SHOWN
		L2	LANDSCAPE LAYOUT PLAN LVL 6		AS SHOWN



CONTEXT PLAN

RESIDENTIAL DEVELOPMENT
14040 - 100 AVENUE



CONTEXT VIEW



SITE PHOTOS

RESIDENTIAL DEVELOPMENT
14040 - 100 AVENUE



CONTEXT VIEW



NORTH EAST AERIAL VIEW



VIEW #1 FROM 100A AVENUE



VIEW #2 FROM NORTH EAST CORNER



VIEW #3 FROM NORTH WEST CORNER



W.G. ARCHITECTURE INC.



2024-03-22 ISSUED
FOR DP APPLICATION

I Project Information

1.0 Location

Situated along 14040, 14048, 14058 & 14064 – 100A Avenue, the proposed development encompasses a 6 storey multi-family residential building. Consequently, the site's orientation will front 100A Avenue to the north. Road dedication of 6 meters is designated on the east and south sides, with a proposed lane extending from 100A Ave, forming an 'L' shape, connecting to other residential developments. Parking access is slated for the south side, accessible from the east-west lane.

1.1 Massing

Comprising six storeys above ground, the proposed building adheres to a massing envelope for the first four storeys within the required setback. Levels 5 and 6 are set back further from the standard to provide a visually hidden appearance from the 100A Avenue. The proposed development also comprising a 2 storey below grade parking structure.

1.2 Density

The net site area spans 3,590 square meters, with a total proposed buildable area of 8,545 square meters (excluding parking and amenities). The proposed FAR stands at 2.4, with a site coverage of 44%.

1.3 Suite Mix

A total of 120 units are proposed with a variety of suite mixes from Studio, 1BD, 2BD and 3DB, which meets the City required percentages of 70% maximum for 1BD or less units and not less than 30% for 2BD plus units.

Studio (9 units) + 1-bedroom suites (74 units)	83 units [69%]
2-bedroom suites	25 units [21%]
3-bedroom suites	12 units [10%]

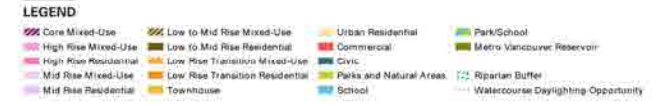
1.4 Parking

The proposed development features below-grade parking stalls, meeting the minimum requirement of 120, with a total of 151 parking stalls, inclusive of 138 for residents and 13 for visitors. Additionally, it provides 157 bike parking stalls for residents (exceeding the minimum requirement of 144) and the mandated 6 visitor bike parking stalls. Seven stalls equipped with electrical vehicle stations are included, with the remainder offering EV rough-ins for future use.

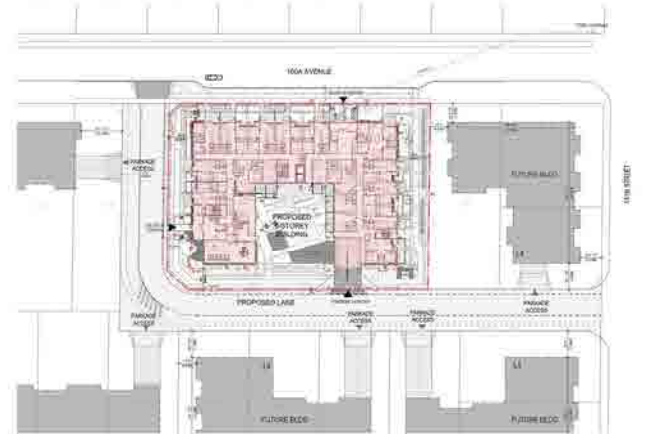
Figure 3.1 Land Use Concept



SUBJECT SITE



SITE PLAN W/ FUTURE PLAN



II Design Rationale

The proposed multi-family residential development, situated along 100A Avenue, is designed with careful consideration of urban design principles to seamlessly integrate with the surrounding neighborhood. Comprising a U-shaped building with a 20-meter courtyard in the center, the project emphasizes community living and outdoor amenities. The south-facing courtyard is designated for outdoor activities and features such as child playgrounds and family barbecue areas. Setbacks along 100A Avenue visually reduce the building's apparent height, enhancing pedestrian experience and neighborhood compatibility.

The massing of the building is meticulously divided into horizontal and vertical components, incorporating elements like framed balconies and oversized roofs to soften its appearance and create a rhythmic aesthetic. Cladded columns support balconies, contributing to a strong facade expression with visually appealing patterns. Large windows and balcony doors provide ample natural light in living spaces, ensuring a comfortable environment for residents.

Overall, the project's design rationale emphasizes neighborhood compatibility, community engagement, and outdoor living spaces. By blending architectural elements with thoughtful urban design strategies, the development aims to create a harmonious and vibrant residential environment along 100A Avenue.

MASSING DIAGRAMS



NORTH FACADE, SOUTH FACADE & EAST FACADE MASSING RENDERINGS



PROJECT STATS 1

RESIDENTIAL DEVELOPMENT
14040 - 100 AVENUE

PROJECT SUMMARY

CIVIL ADDRESS	LEGAL DESCRIPTION
14040 100A Ave	LOT 16 SECTION 25 BLOCK NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN 13037
14048 100A Ave	LOT 17 SECTION 25 BLOCK NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN 13037
14058 100A Ave	LOT 18 SECTION 25 BLOCK NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN 13037
14064 100A Ave	LOT 19 SECTION 25 BLOCK NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN 13037
EXISTING ZONING	RF
PROPOSED REZONING	CD (BASED ON RM-70)
OCF	MULTIPLE RESIDENTIAL

LOT AREA	SM	SF	REMARKS
SITE AREA GROSS (SF)	4371.0	47049.1	
LOT 16	1093	11765	
LOT 17	1093	11765	
LOT 18	1093	11765	
LOT 19	1092	11754	
HECTARE	0.4371		
ACRES	1.06		
ROAD DEDICATION	781	8409.1	
NET AREA	3,590	38,640.0	

DENSITY & BUILDING HEIGHT	PERMITTED (SM)	PROPOSED (SM)	PROPOSED (SF)	REMARKS (SM)
FAR	1.6	2.4		FAR (NET)
BUILDABLE AREA (SM) FAR (without Amenity)	5,744	8,543	91,982	
BUILDABLE AREA (SM) W/ AMENITY	6,104	8,725	93,916	
LPA		111		
TOTAL PROPOSED UNIT		120		
ALNG. HEIGHT (STOREY)	6	6		
BLDG. HEIGHT (ELEVATION)				MAX 18 M ABOVE AVE HT.
AVERAGE HT.	TBD	TBD		Surry Zoning

AMENITY	REQUIRED (SM) PER NO. OF UNITS	REQUIRED (SM) PER R206 COR. REPORT	PROPOSED (SM)	PROPOSED (SF)	REMARKS (SM)
Outdoor 3SM/ SUITE	360		719	7,743	259 surplus
TOTAL Outdoor Amenity	360		719	7,743	
Indoor 3SM/ SUITE	360				
Building A - Amenity		74	180	1934	Combined Amenity area for Bldgs. A & B
Building B - Amenity		74			
TOTAL Indoor Amenity	360	148	180	1,934	

4 SITE COVERAGE	PERMITTED	PROPOSED	REMARKS
SITE COVERAGE	33%	44%	

5 SETBACK	PERMITTED (M)	PROPOSED (M)	REMARKS
NORTH	7.5 M	5.5 M	
SOUTH	7.5 M	6.0 M	
EAST	7.5 M	8.0 M	
WEST	7.5 M	6.0 M	

6 SUITE COUNT			REMARKS
STUDIO	9	7.6%	
1B0	74	61.7%	
2B0	25	20.8%	REQ 30%
3B0	12	10.0%	REQ 10%
TOTAL SUITES	120	100%	

7 PARKING COUNT	REQUIRED	PROPOSED	REMARKS
RESIDENTIAL	108	138	
VISITOR	12	13	
TOTAL	120	151	31 Surplus

8 BIKE COUNT	REQUIRED	PROPOSED	REMARKS
RESIDENTIAL	144	157	13 Surplus
VISITOR	6	6	
TOTAL	150	163	

9 LOADING SPACES	Min. Req'd	Proposed	Remarks
TOTAL # OF LOADING SPACES			
BUILDING 1 & BUILDING 2	1	0	
TOTAL	1	0	



PROJECT STATS 2

BREAKDOWNS

10.1 AREA BREAKDOWN (SF)

FLOOR	GROSS AREA (SF)			
	MAIN BLDG	INDOOR AMENITY (SF)	OUTDOOR AMENITY (SF)	
	SF	SM		
PARKING 2 (Excluded from FAR)				
PARKING 4 (Excluded from FAR)				
Bike Storage (Excluded from FAR)				
GROUND	16,830	1,564	1,934	3,054 NOTE: Ground Level area shown includes Indoor Amenity area
LEVEL 2	17,101	1,597		
LEVEL 3	17,191	1,597		
LEVEL 4	17,191	1,597		
LEVEL 5	15,237	1,415		
LEVEL 6	10,276	955		4080
SUB TOTAL	93,916	8,725	1,934	7,741
TOTAL AREA	93,916	8,725		
TOTAL AREA (FAR) without Amenit	91,982	8,545	FAR AREA	

10.2 TOTAL AREA (FAR) without Amenit

11.1 UNITS COUNT BREAKDOWN

LEVEL	SUITE/FLOOR	STUDIO	1 BR	1BD+GR	1BD/2BD+DK	2BD	REMARKS
GROUND	18	4	0	10	3	1	
LEVEL 2	23	1	3	12	5	2	
LEVEL 3	23	1	3	12	5	2	
LEVEL 4	23	1	3	12	5	2	
LEVEL 5	21	1	5	7	5	3	
LEVEL 6	12	1	1	6	2	2	
TOTAL	120	9	15	59	25	12	
PERCENTAGE	100%	8%	13%	49%	21%	10%	
PERCENTAGE ULTIMATE	100%	8%	13%	49%	21%	10%	

11.2 UNIT AREA BREAKDOWN

UNIT TYPES	UNIT AREA		LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 6	TOTAL	PERCENTAGE	TOTAL UNIT AREAS	
	SQ	SF									SQ	SF
S1 (STUDIO)	36	283	2	1	1	1	1	1	7	3.8%	249	2491
S2 (STUDIO)	17	236	2	0	0	0	0	0	2	1.7%	74	793
1A (1BD+DEN)	56	602	4	4	4	4	4	4	28	19.2%	1286	12846
1B (1BD+DEN)	55	634	4	5	5	5	0	0	19	15.4%	1119	12044
1C (1BD+DEN) ADAPTABLE UNIT	62	689	3	1	1	1	1	1	8	5.0%	972	4014
1D (1BD+DEN)	59	634	1	1	1	1	1	1	6	5.0%	353	3804
1E (1BD)	41	442	0	0	0	0	4	4	4	3.3%	154	1788
1F (1BD+DEN)	51	554	0	0	0	0	1	0	1	0.8%	53	554
1G (1BD)	48	521	0	1	1	1	1	1	5	4.2%	242	2605
1H (1BD)	88	419	0	2	2	2	0	0	8	5.0%	234	2514
1J (1BD + DEN)	63	676	0	1	1	1	1	0	4	3.3%	251	2704
2A (2BD)	63	676	3	1	1	1	0	1	6	4.2%	314	3380
2B (2BD)	67	717	0	1	1	1	0	4	4	3.3%	206	2888
2C (2BD + DEN)	66	708	1	1	1	1	1	1	6	5.0%	395	4248
2D (2BD)	60	647	1	1	1	1	1	0	5	4.2%	301	3235
2E (2BD)	63	678	0	1	1	1	1	0	4	3.3%	252	2712
2F (2BD)	57	609	0	0	0	0	1	0	1	0.8%	57	609
3A (3BD + DEN)	101	1090	1	1	1	1	0	0	4	3.3%	405	4360
3B (3BD)	75	801	0	0	0	0	1	0	1	0.8%	75	801
3C (3BD)	81	868	0	1	1	1	0	0	4	3.3%	180	1913
3D (3BD)	78	827	0	0	0	0	1	1	2	1.7%	126	1674
3E (3BD)	80	860	0	0	0	0	1	1	2	1.7%	126	1674
TOTAL			18	21	33	33	32	12	120	100.00%	5,349	54,706

12.1 PARKING BREAKDOWN PER SUITE TYPE (2 STOREY BELOW GRADE)

	MIN. RATIO	REQUIRED MIN.	MAX. RATIO	ALLOWED MAX.	PROVIDED	REMARKS
STUDIO	0.9 /suite	8.1	1.1 /suite	10		
1BD	0.9 /suite	66.6	1.1 /suite	81.4		
2BD	0.9 /suite	22.5	1.1 /suite	28		
3BD	0.9 /suite	10.8	1.1 /suite	13		
Visitor	0.1 / suite	12.0	0.2 / suite	24	138	RESIDENTIAL TOTAL
Total		100		158	151	33 surplus

12.2 PARKING BREAKDOWN PER PARKING STALL TYPE (2 STOREY BELOW GRADE)

	MIN. RATIO	REQUIRED MIN.	PROVIDED TOTAL	ALLOWED MAX.	PROVIDED	REMARKS
ACCESSIBLE STALL	2% required space	2	4		2	
REG VAN					2	50% OF ACC. STALL TO BE ACC. VAN SIZE
SMALL CAR				42	4	MAX. 35% OF REQUIRED PARKING SPACES
REGULAR					145	
ELECTRICAL (EV STALL)	50% visitor stalls	7			3	100% RESIDENTIAL BODDGH-IN & 50% VISITOR

12.3 PARKING BREAKDOWN PER PARKING FLOOR LEVEL (2 STOREY BELOW GRADE)

PARKING LEVEL	RESIDENT/ VISITOR PARKING BREAKDOWN		TOTAL FOR LEVEL	RESIDENT PARKING	VISITOR PARKING
	TOTAL FOR LEVEL				
B1	0		0	0	0
P1	85		72	13	13
P2	66		66	0	0
TOTAL PARKING FOR PROJECT	151		138	13	13

12.4 PARKING STALL TYPE BREAKDOWN

PARKING LEVEL	TOTAL FOR LEVEL	REGULAR STALLS	SMALL CAR	IN/A
B1	0	0	0	0
P1	85	77	4	4
P2	66	66	0	0
TOTAL PARKING FOR PROJECT	151	143	4	4
PERCENTAGE	100%	94.7%	2.6%	2.6%

13 BIKE STORAGE BREAKDOWN

	REQUIRED	PROVIDED	REMARKS
RESIDENCE	1.2/UNIT	144	
VISITOR	6 VISITOR BICYCL	6	
Total	150	150	13 MORE



RENDERING

RESIDENTIAL DEVELOPMENT
14040 - 100 AVENUE

NORTH FACADE MAIN ENTRANCE [100A AVENUE]



W.G. ARCHITECTURE INC.



2024-03-22 ISSUED
FOR DP APPLICATION

RENDERING

RESIDENTIAL DEVELOPMENT
14040 - 100 AVENUE

NORTHEAST CORNER (100 AVENUE)



RENDERING

RESIDENTIAL DEVELOPMENT
14040 - 100 AVENUE

EAST ELEVATION



W.G. ARCHITECTURE INC.



2024-03-22 ISSUED
FOR DP APPLICATION

RENDERING

RESIDENTIAL DEVELOPMENT
14040 - 100 AVENUE

SOUTH FACADE PERSPECTIVE VIEW



RENDERING

RESIDENTIAL DEVELOPMENT
14040 - 100 AVENUE

SOUTH WEST CORNER PERSPECTIVE VIEW



RENDERING

RESIDENTIAL DEVELOPMENT
14040 - 100 AVENUE

WEST ELEVATION - BUILDING B LOBBY



PRECEDENTS STUDY

RESIDENTIAL DEVELOPMENT
14040 - 100 AVENUE

SHORE

PHOTOS CREDIT: INTEGRIA ARCHITECTS



FOLIO AT UBC

PHOTOS CREDIT: BY RAMSAY WORDEN ARCHITECTS



GEMINI @ SURREY



UTIMA AT UBC

PHOTOS CREDIT: BOSSICH HEMPHILL ARCHITECTS



ORCHID RIVERSIDE PHASE 2



MATERIAL

RESIDENTIAL DEVELOPMENT
14040 - 100 AVENUE

NORTH FACADE



WEST FACADE



01 BRICK - BROWNISH RED



02 SOFFIT - COMPOSITE PANEL - CEDAR YELLOW



07 BRICK - LINTLE



MID-TONE GREY

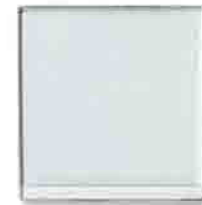
04 FEATURE ENTRY CANOPY



03 LONGBOARD



05 GLAZING (CLEAR)



06 SPANDREL GLASS (GREY)



11 PANEL SIDING



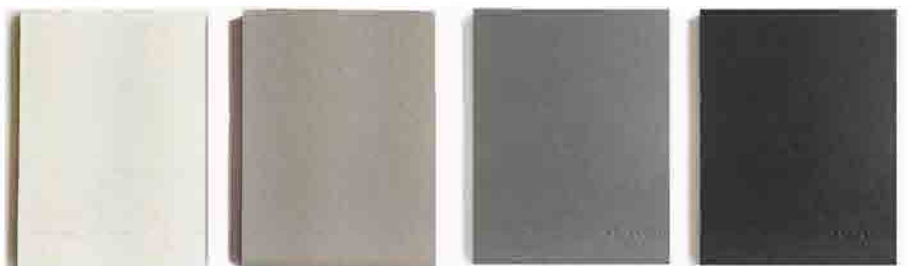
08 STREET ENTRY DOOR WALNUT BROWN



09 WINDOW FRAME - DRAK GREY
GUADRAIL + FACIAL



10 COMPOSITE PANEL



III Sustainable Features

Throughout the design process, our team has prioritized environmental and green principles, adhering to LEED guidelines for sustainability. Key strategies include:

Sustainable Features

Environmental and green design principles have guided our team through the design process. The sustainable design strategies will be based on LEED guidelines as the following:

Site

- Best practices will be implemented to minimize erosion and sedimentation during demolition, site preparation and throughout construction.
- Landscaping will enhance the development's livability for residents.
- Landscaping will utilize local, drought-resistant varieties of plants and vegetation.
- Densifying an existing urban site close to amenities and transit will benefit residents and the environment simultaneously.

Water

- Low flow and low flush plumbing fixtures will be used.

Energy

- Ozone-friendly refrigerants will be selected for building HVAC systems.
- High performance envelope including Low-E glass will be used.
- LED light fixtures will be used throughout the common areas.
- Large fenestration will maximize daylight penetration to the units.

Materials

- Certified green products will be used.
- Construction waste management diversion program will be used to reduce the impact on landfill and incineration.
- Low albedo material will be used to reduce the heat island effect on the roof and surfaces at grade.

IV Crime Prevention Through Environmental Design (CPTED) Strategy

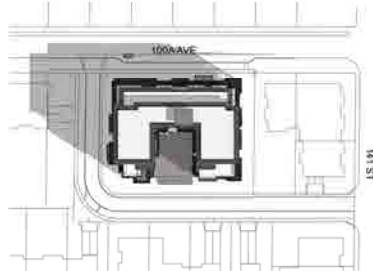
In addition to sustainability measures, the development integrates Crime Prevention Through Environmental Design (CPTED) principles:

- Design elements promote natural surveillance, fostering a neighborhood watch atmosphere.
- Outdoor spaces are devoid of hiding spots or blind spots, illuminated with downward-facing light fixtures to minimize light pollution.
- Outdoor courtyards feature gated access.
- The parkade is well-lit and painted in light colors for visibility.
- Security systems with cameras monitor building corners, entrances, lobbies, parking spaces, and the underground parking garage.
- Parkade elevator lobbies incorporate wired glass glazing to enhance visual contact and security for residents.

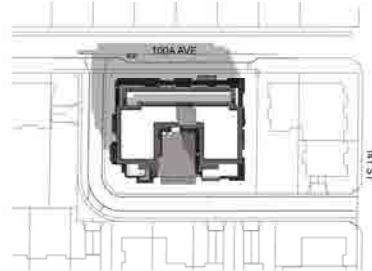


SPRING / AUTUMN EQUINOX

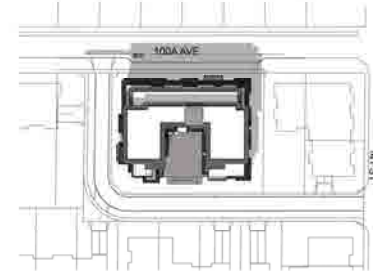
MARCH 21 / SEPT 22



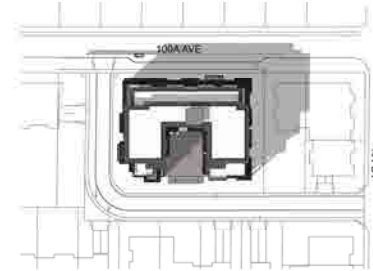
10:00 AM



12:00 PM



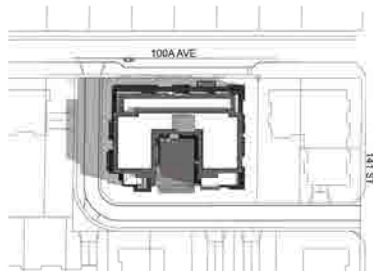
2:00 PM



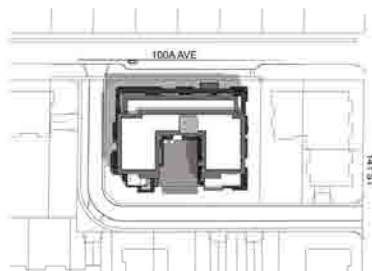
4:00 PM

SUMMER SOLSTICE

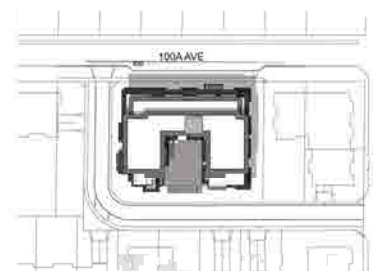
JUNE 21



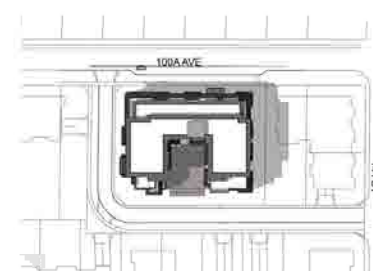
10:00 AM



12:00 PM



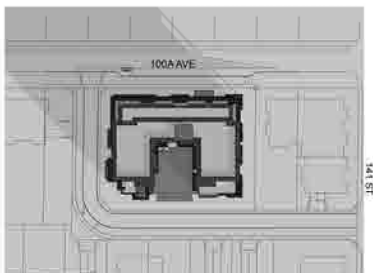
2:00 PM



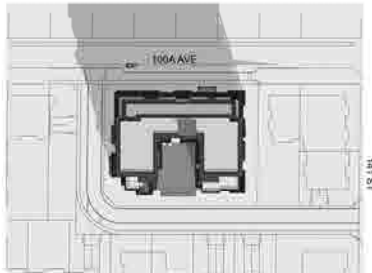
4:00 PM

WINTER EQUINOX

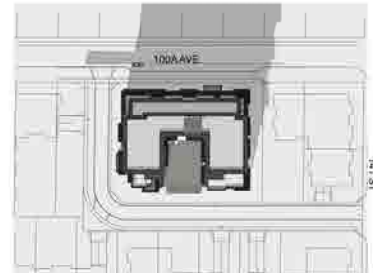
DEC 21



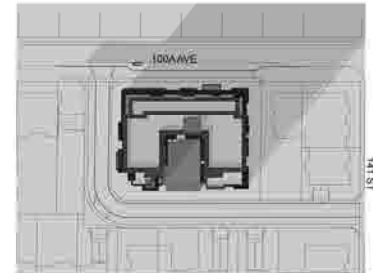
10:00 AM



12:00 PM



2:00 PM



4:00 PM



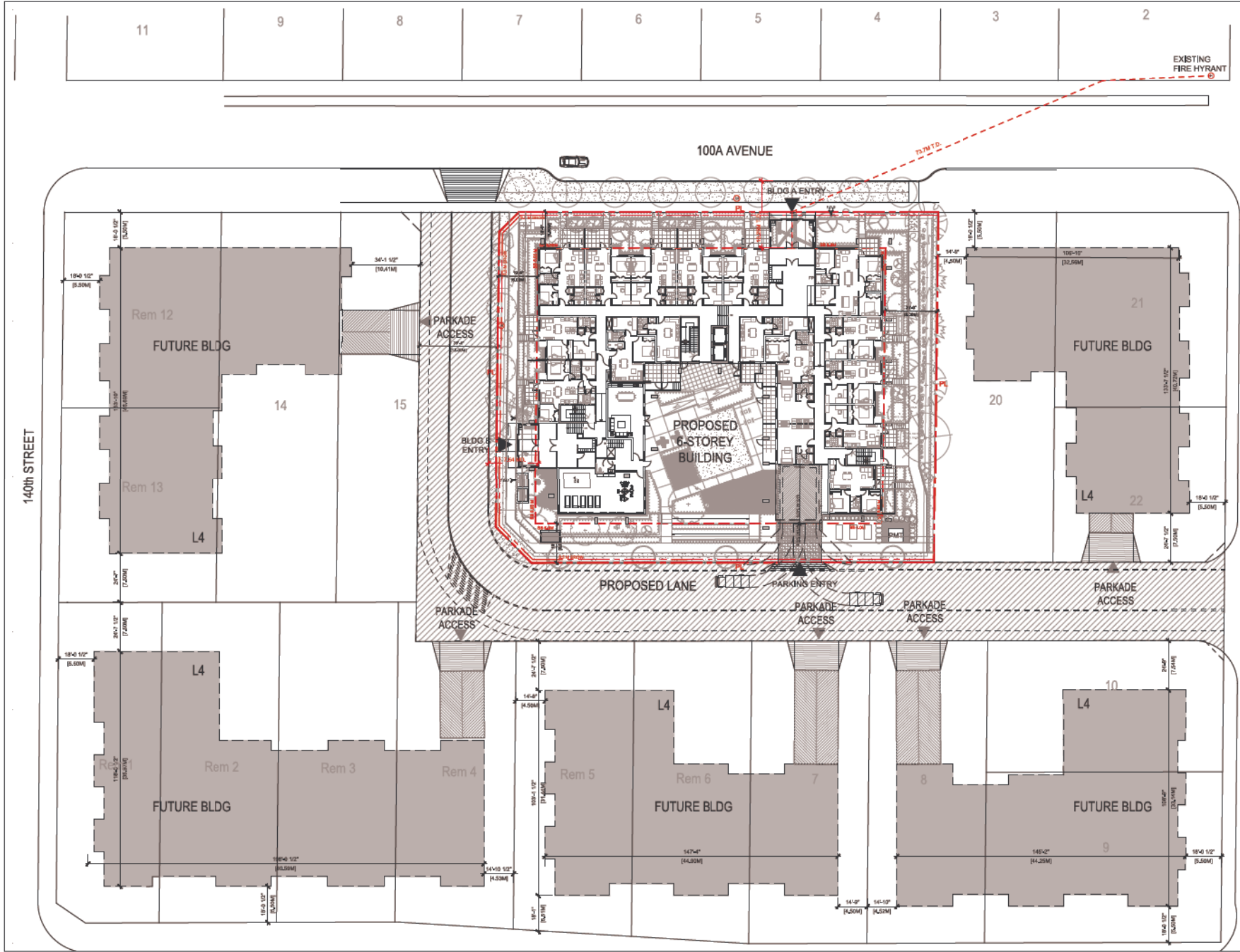


ARCHITECTURAL DRAWINGS

2024-02-20 ISSUED FOR DP SUBMISSION



2024-03-22 ISSUED
FOR DP APPLICATION



EXISTING
FIRE HYDRANT

140th STREET

141st STREET

Issue	No.	Date	Description
	1	2022-08-12	ISSUED FOR DP APPLICATION
	2		
	3		
	4		
	5		
	6		

No.	Date	Appr.	Description

Client
2024-03-22 ISSUED
FOR DP APPLICATION

Prepared by
WG ARCHITECTURE INC.



Drawn by
MORTISE GROUP OF COMPANIES



Consultants



Notes
This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission or unless the manufacturer issues their own. All dimensions and other information shown on this drawing are to be used as the contract documents and shall not be used otherwise without written permission of the Architect.

Written dimensions and notes prevail over printed dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the Architect shall be informed of any variations from the dimensions and conditions shown on the drawings. Final arrangements for dimensions to the Architect for approval shall be provided with submissions.

Project Title
Multi-Residential Apartment
14040-14064 100A AVE.
Surrey, BC

Sheet Title
CONTEXT PLAN

Scale 1:250	Date 23-03-2024
Drawn MK	Checked ML
Client File	Sheet No. A001
Project No. WB2108	

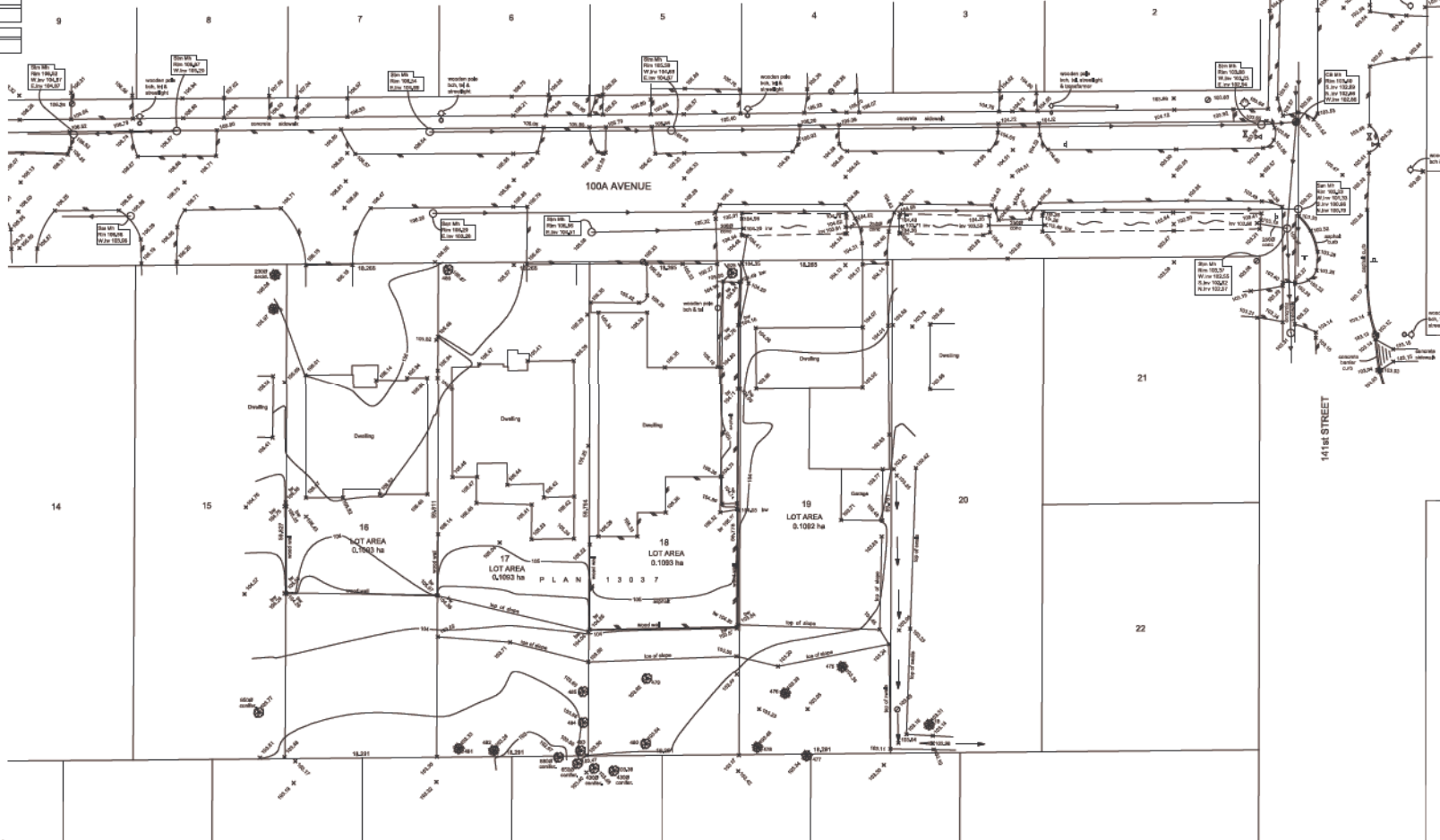
B.C. LAND SURVEYOR'S PLAN SHOWING TOPOGRAPHIC SURVEY ON
 LOTS 16, 17, 18 & 19 SECTION 25 BLOCK 5 NORTH RANGE 2 WEST
 NEW WESTMINSTER DISTRICT PLAN 13037

CITY OF SURREY



The intended plot size of this plan is 914mm (36") in width
 by 610mm (24") in height (architectural D size) when plotted at a scale of 1:250

P.L.S. 098-798-727 (LOT 16)
C.N.C. ADDRESS: #4048 100A AVENUE
P.L.S. 098-798-728 (LOT 17)
C.N.C. ADDRESS: #4048 100A AVENUE
P.L.S. 098-798-743 (LOT 18)
C.N.C. ADDRESS: #4088 100A AVENUE
P.L.S. 098-794-977 (LOT 19)
C.N.C. ADDRESS: #4084 100A AVENUE



NOTE: LOT DIMENSIONS FROM FIELD SURVEY

ASL: Contours shown are in METRES and derived from GEODETIC DATUM (CH88/NOV2018)

BM: Elevation #8822 - 100m Elevation @ 100m Offset GEODETIC DATUM (CH88/NOV2018)

CONTOUR LINE AT 0.5m INTERVALS

SOUTH FRASER LAND SURVEYING LTD.
 6012 - 6020 80th AVENUE
 SURREY, B.C. V3W 3A2
 604-588-1088
 2148251

No.	Date	Description
1	2024-08-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

Revision:

Client:
 2024-03-22 ISSUED
 FOR DP APPLICATION

Prime Consultant:
 WG ARCHITECTURE INC.

Seal:

Consultant:

Notes:
 This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission and unless the reproduction is for the sole purpose of displaying public information drawn on the information and is in accordance with the applicable provisions of the Act and shall not be used otherwise without the written permission of the Architect.

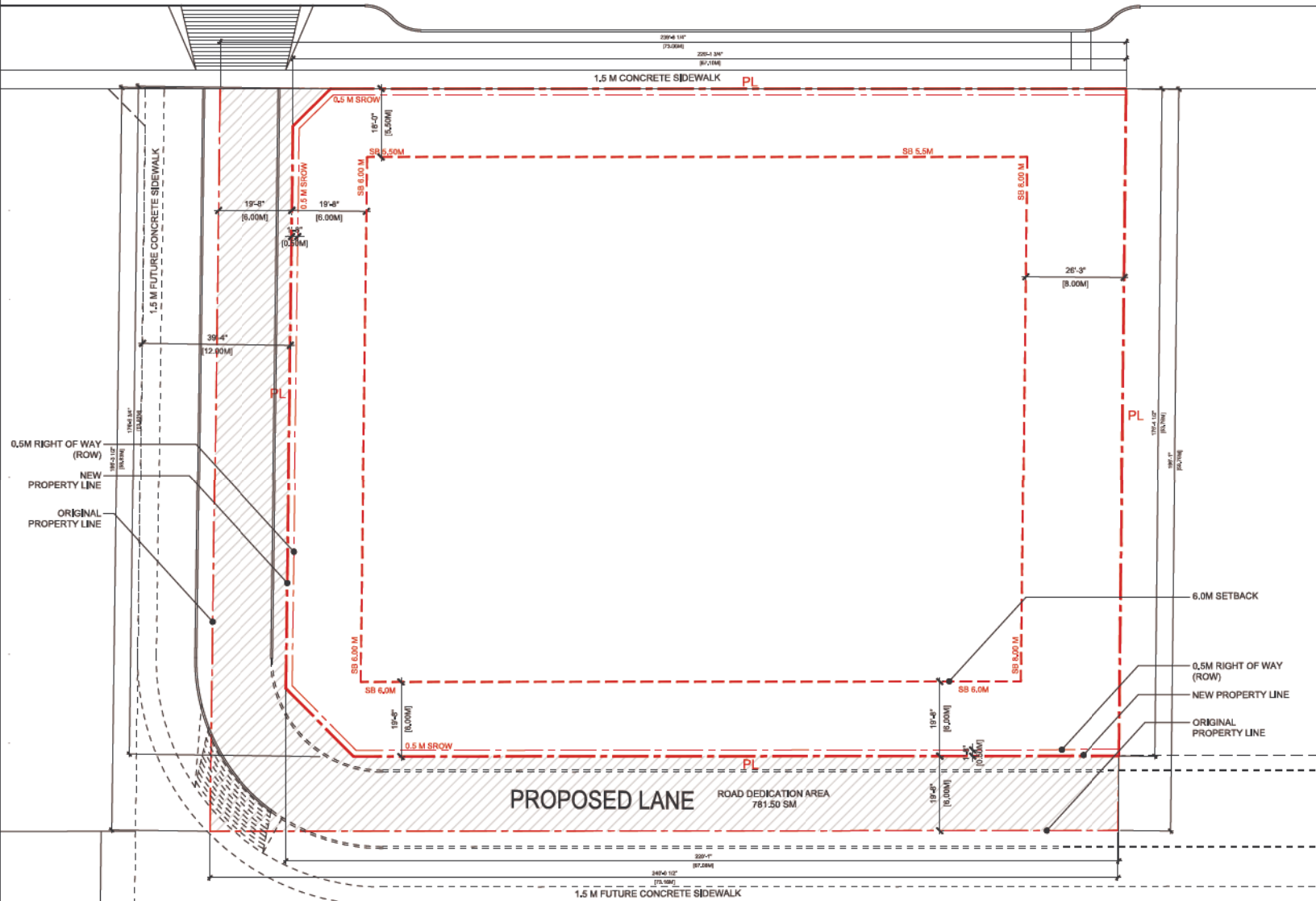
When dimensions shall have precedence over verbal descriptions, Contours shall apply and the responsibility for all dimensions and conditions on the job shall be the Architect's and the responsibility of any variations from the dimensions and conditions shown on the drawings, shall be borne by the contractor in the absence of any written approval in writing.

Project Title:
 Multi-Residential Apartment
 1404D-14064 100A AVE.
 Surrey, BC

Sheet Title:
 SURVEY DRAWING

Scale: NTS	Date: 20-09-2024
Drawn: MK	Created: ML
Case No.:	Sheet No.:
Project No. W02108	A004

100A AVENUE



	GROSS AREA	4,371.27 SM
	DEDICATION AREA	781.50 SM
	NET AREA	3,589.77 SM

No.	Date	Description
1	2024-08-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

No.	Date	Apprv.	Description
Revision			

Client:
2024-03-22 ISSUED FOR DP APPLICATION

Firm Consultant:
WG ARCHITECTURE INC.



Consider:



Note:
This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission and unless the reproduction is for the sole purpose of displaying other information shown on the drawings and for the use of the architect's professional seal and shall not be used otherwise without the written consent of the Architect.

Project Title:
Multi-Residential Apartment
1404D-14064 100A AVE.
Surrey, BC

Sheet Title:
BASE DRAWING

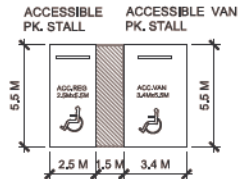
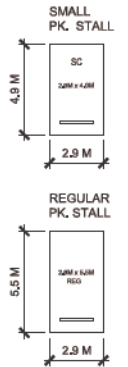
Scale: 1:150	Date: 20-03-2024
Drawn: MK	Created: ML
Case File:	Sheet No.:
Project No. W02108	A005

P2 PARKING

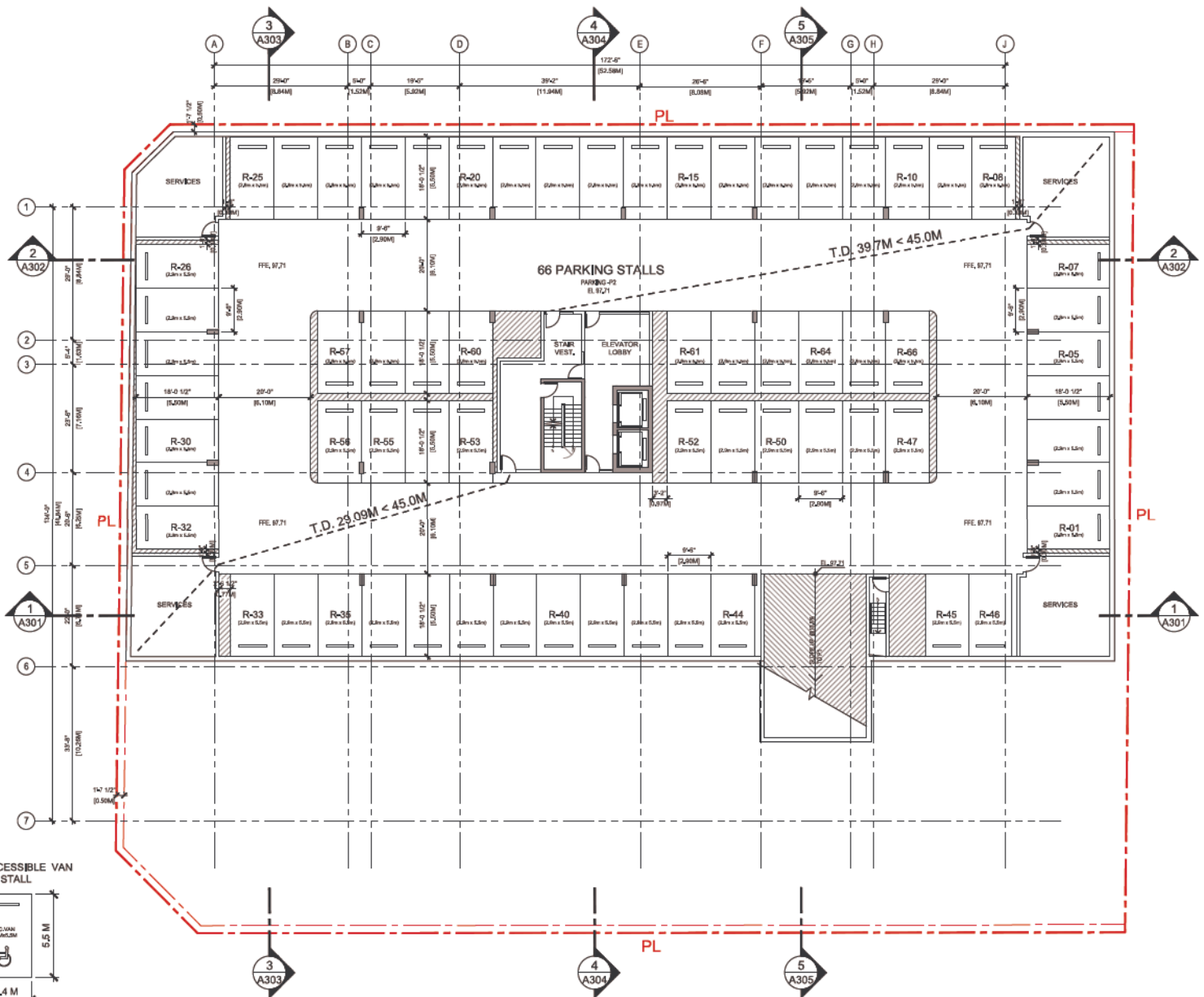
STALL	
REG	66
SM	-
HC	-
TOTAL	66

STALL	
RES.	66
VISITOR.	-

NOTE: ALL RESIDENTIAL PARKING STALLS PROVIDE ROUGH-IN FOR FUTURE E.V. CHARGER



PARKING STALL LEGENDS



No.	Date	Description
1	2024-03-22	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

No. Date Appr. Description
 2024-03-22 ISSUED FOR DP APPLICATION

WG ARCHITECTURE INC.

MORTISE GROUP OF COMPANIES

PARKING COUNT:

	P1	P2	TOTAL
ACCESSIBLE	4	0	4
SMALL	4	0	4
REGULAR	77	66	143
RESIDENTIAL	72	66	138
VISITOR	13	0	13
TOTAL	85	66	151

Notes:
 This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission and unless the reproduction is for the use of the client. All design and construction details shown on this drawing are without warranty or disclaimer of the Architect.
 All other dimensions shall have precedence over stated dimensions.
 Construction and finish shall be the responsibility of all contractors and suppliers on the job and the Architect shall be relieved of any liability from the construction and finish shown on this drawing. Field changes shall be indicated in the field notes for approval before proceeding with fabrication.

Project Title:
 Multi-Residential Apartment
 1404D-14064 100A AVE.
 Surrey, BC

PARKING 2 FLOOR PLAN

Scale: 1:125	Date: 20-03-2024
Drawn: MK	Created: ML
Check: Pb	Sheet No.:
Project No. W02108	A101

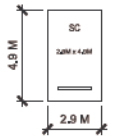
P1 PARKING

STALL	
REG	77
SM	4
HC	4
TOTAL	85

STALL	
RES.	72
VISITOR.	13
ELEC. STL.	7

NOTE: ALL RESIDENTIAL PARKING STALL PROVIDE ROUNDUP FOR FUTURE ELEV. CHANGER

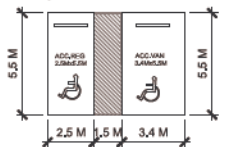
SMALL PK. STALL



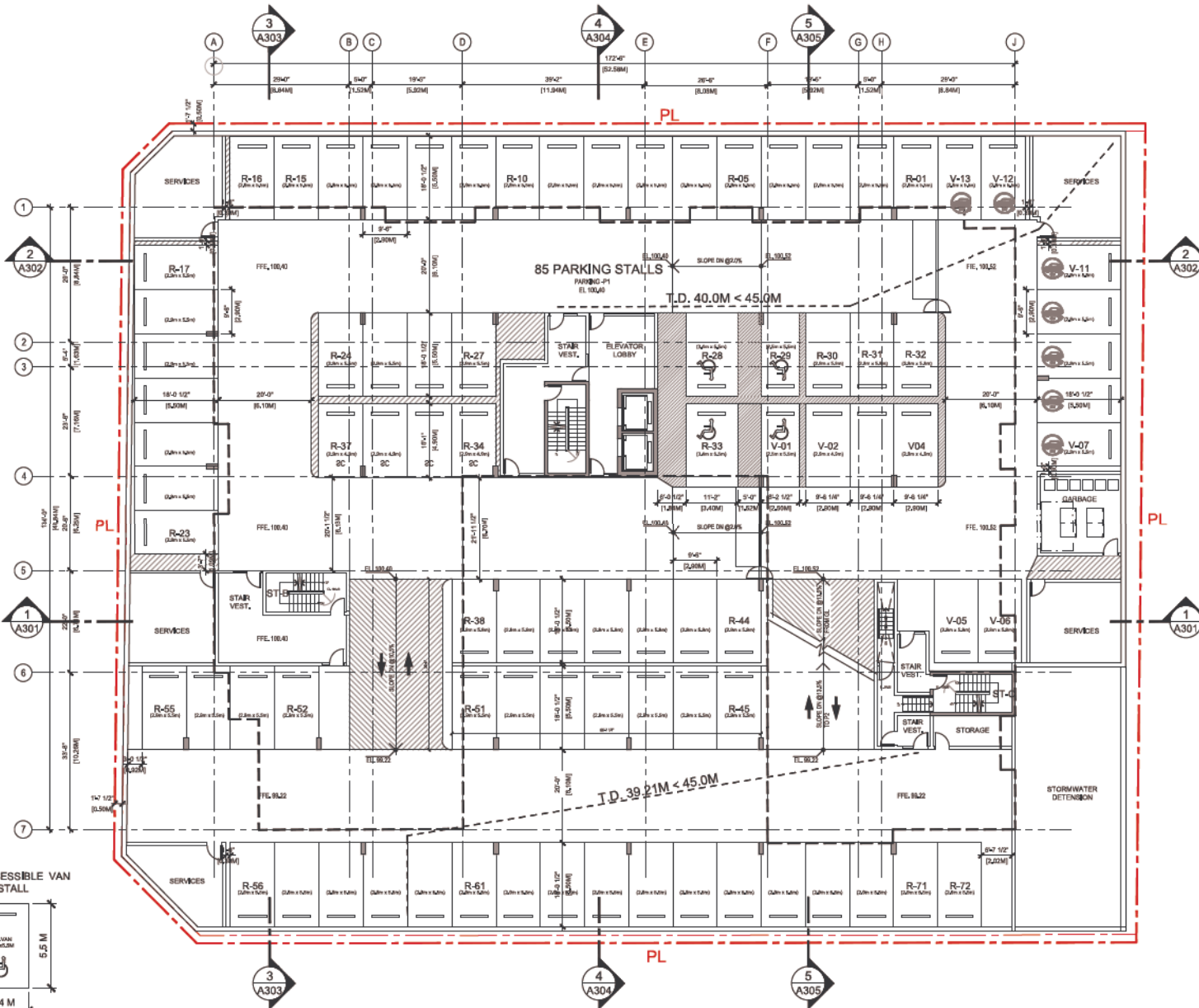
REGULAR PK. STALL



ACCESSIBLE PK. STALL **ACCESSIBLE VAN PK. STALL**



PARKING STALL LEGENDS



No.	Date	Description
1	2024-03-22	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

No. Date Appr. Description
 2024-03-22 ISSUED FOR DP APPLICATION



PARKING COUNT:

	P1	P2	TOTAL
ACCESSIBLE	4	0	4
SMALL	4	0	4
REGULAR	77	66	143
RESIDENTIAL	72	66	138
VISITOR	13	0	13
TOTAL	85	66	151

Notes:
 This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission and unless the reproduction is for the use of the project for which it was prepared. No part of this drawing may be used for any other project without the prior written consent of the Architect.
 All dimensions shall have precedence over verbal dimensions.
 Construction shall be in accordance with the specifications and conditions on the job and the Architect shall be relieved of any liability from the construction and conditions shown on the drawings. Field changes shall be indicated by the contractor's field notes and approved by the Architect.

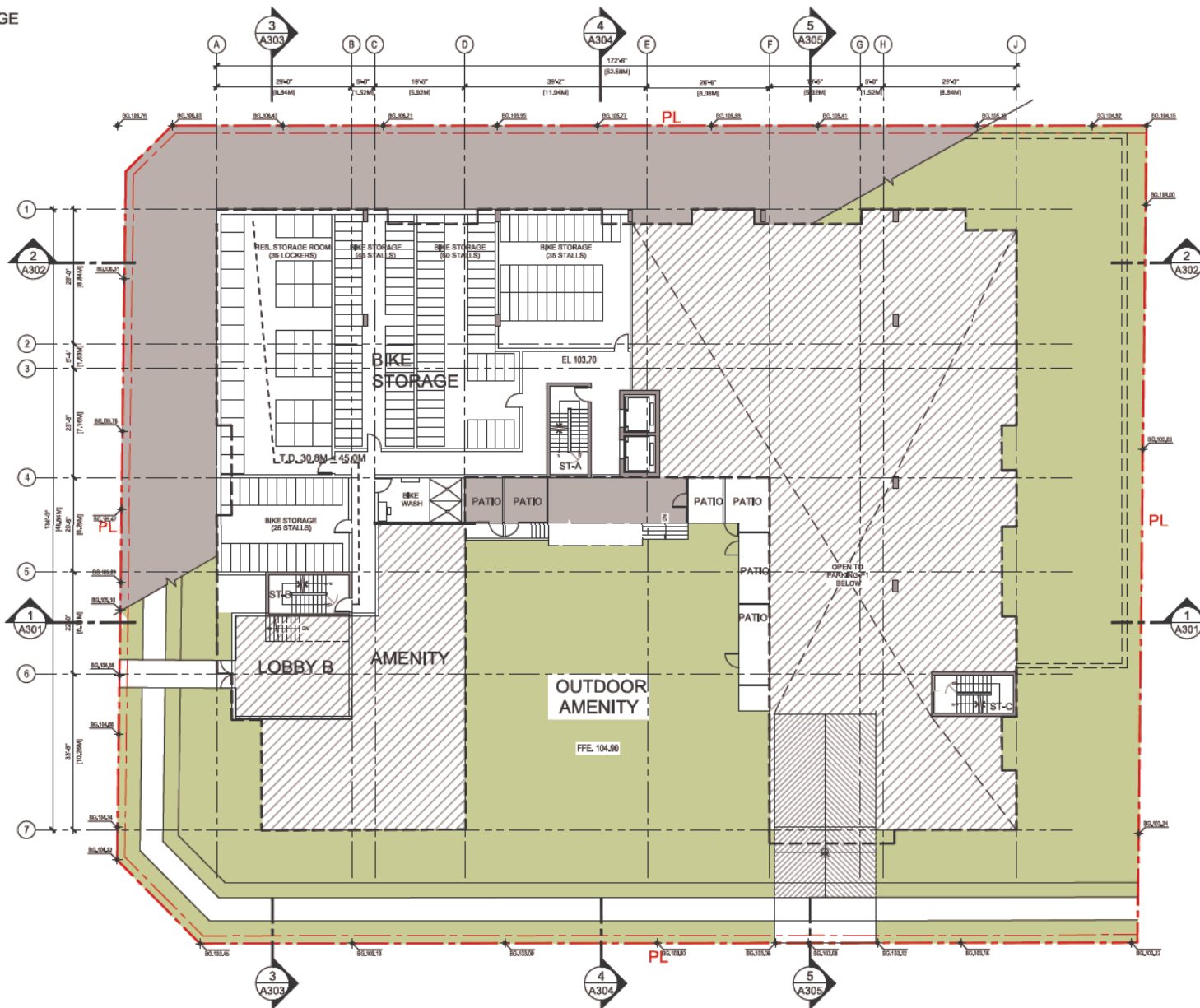
Project Title:
Multi-Residential Apartment
 14040-14064 100A AVE.
 Surrey, BC

PARKING 1 FLOOR PLAN

Scale: 1:125	Date: 20-03-2024
Drawn: MK	Created: ML
Check: Pb	Drawn No.:
Project No. W02108	A102

BIKE STORAGE

BIKE STORAGE	157
BIKE STORAGE	35



No.	Date	Description
1	2022-08-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

No. Date Appr. Description
 Reason:
 Date: 2024-03-22 ISSUED FOR DP APPLICATION

Firm Consultant:
WG ARCHITECTURE INC.


Design:

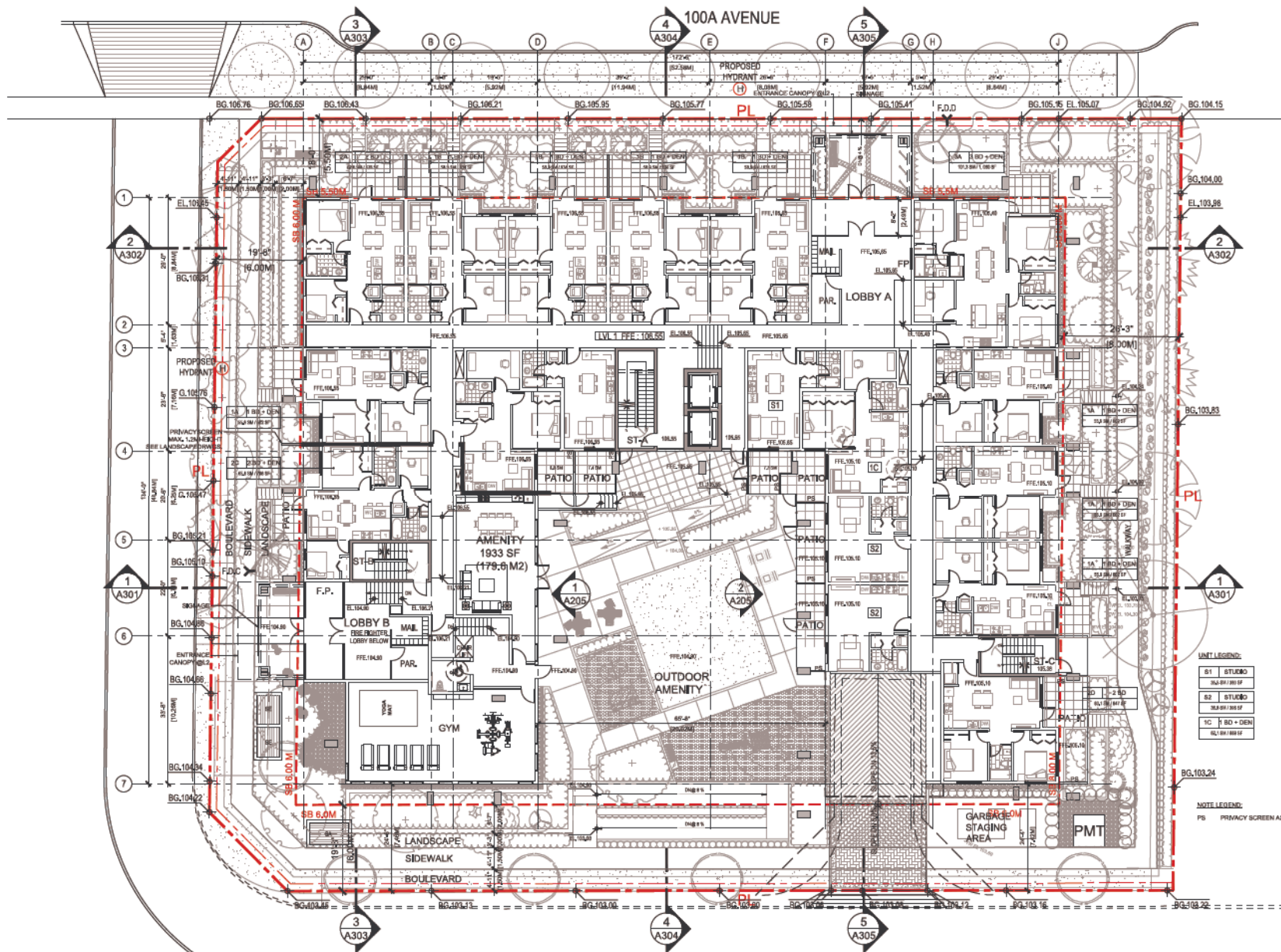

Drawn by:

Notes:
 This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission and unless the reproduction is for the sole use of the designated addressee. No part of this drawing may be used or reproduced in any form or by any means without the written permission of the Architect.
 All other dimensions shall have precedence over scaled dimensions.
 Construction shall comply with the applicable codes and regulations in force at the time of the Architect's preparation of the drawings. Any change shall be approved in the Architect's office before proceeding with fabrication.

Project Title:
Multi-Residential Apartment
 1404D-14064 100A AVE.
 Surrey, BC

Sheet Title:
BIKE STORAGE

Scale: 1:125	Date: 20-03-2024
Drawn: MK	Checked: ML
Project No. W02108	Sheet No. A103



No.	Date	Description
1	2022-08-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

No. Date Apprv. Description
 Revision:
 Client:
 2024-03-22 ISSUED FOR DP APPLICATION

Firm Consultant:
 WG ARCHITECTURE INC.


Seal:


Comments:

UNIT LEGEND:

S1	STUBS
S2	STUBS
1C	F.B.O. + DEN

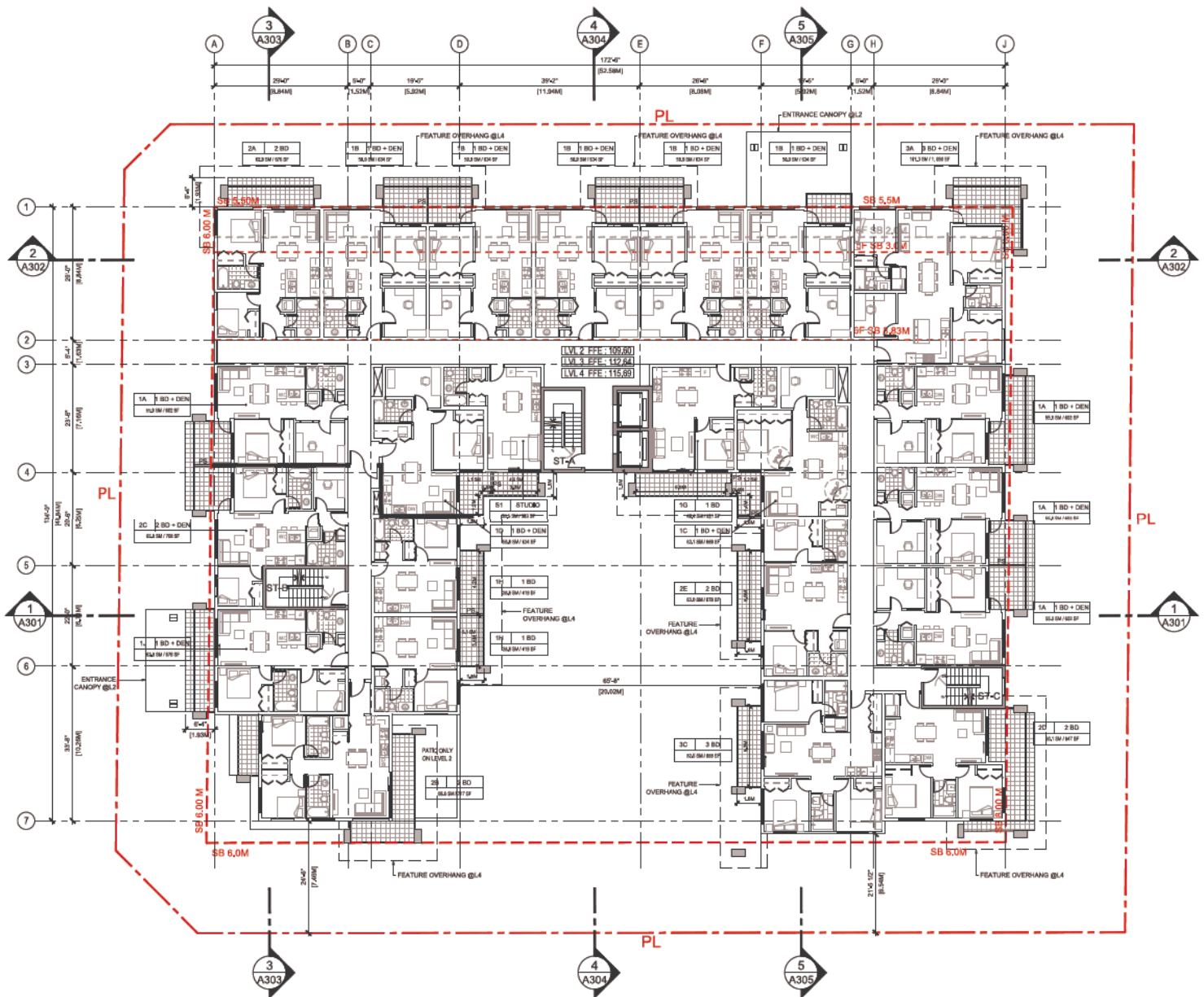
NOTE LEGEND:
 PS PRIVACY SCREEN AS PER I.A. DRAWING.

Notes:
 This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission and unless the reproduction is for the use of the client. All dimensions shall be taken from the drawings and not from the site. The Architect shall not be held responsible for any omissions or errors in the drawings or for any consequences arising therefrom without the written consent of the Architect.
 All work shall conform to the latest editions of the applicable codes and standards. The Architect shall not be held responsible for any omissions or errors in the drawings or for any consequences arising therefrom without the written consent of the Architect.

Project Title:
 Multi-Residential Apartment
 1404D-1406A 100A AVE.
 Surrey, BC

Sheet Title:
GROUND LEVEL

Scale: 1:125	Date: 20-03-2024
Drawn: MK	Created: MK
Check: PK	Draw No.:
Project No. W02108	A104



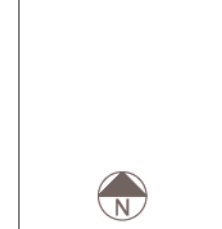
No.	Date	Description
1	2024-03-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

Client
 2024-03-22 ISSUED
 FOR DP APPLICATION

Project Consultant
 WG ARCHITECTURE INC.



Contractor

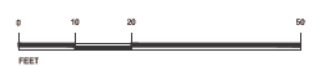


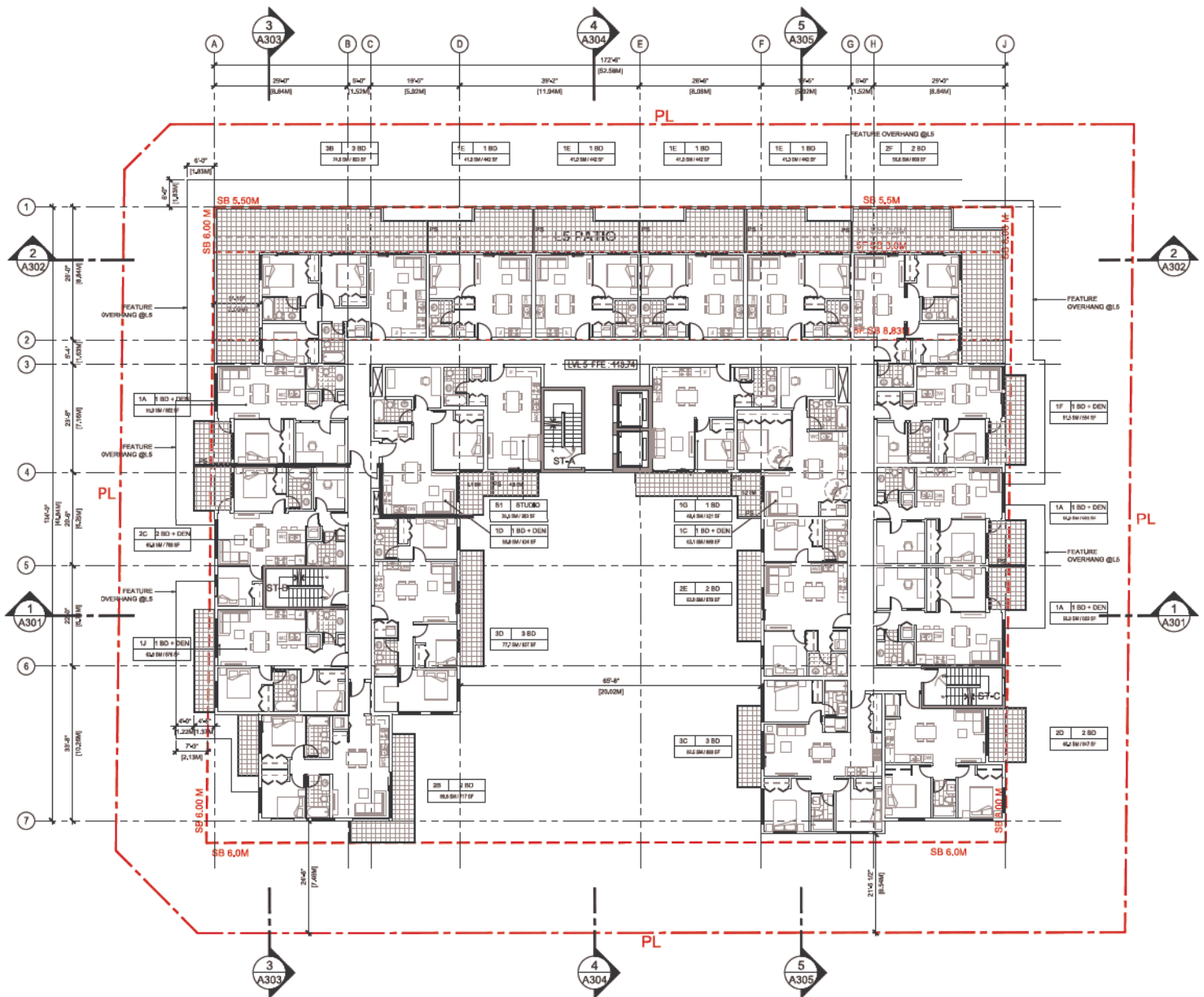
Notes
 This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission and unless the reproduction is for the sole use of the client. All dimensions shall be taken from the drawings and shall not be based on field measurements. The contractor shall be responsible for all dimensions and conditions on the job and the Architect shall be relieved of any liability from the dimensions and conditions shown on the drawings. Field changes shall be approved in writing by the Architect before proceeding with fabrication.

Project Title
 Multi-Residential Apartment
 1404D-14064 100A AVE.
 Surrey, BC

Sheet Title
 LEVEL 2-4 FLOOR PLAN

Scale 1:125	Date 20-03-2024
Drawn MK	Created ML
Check P/B	Drawn No.
Project No. W02108	Sheet No. A105





No.	Date	Description
1	2024-03-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

No. Date Appr. Description

Client
2024-03-22 ISSUED FOR DP APPLICATION

Firm/Consultant
WG ARCHITECTURE INC.



Grids

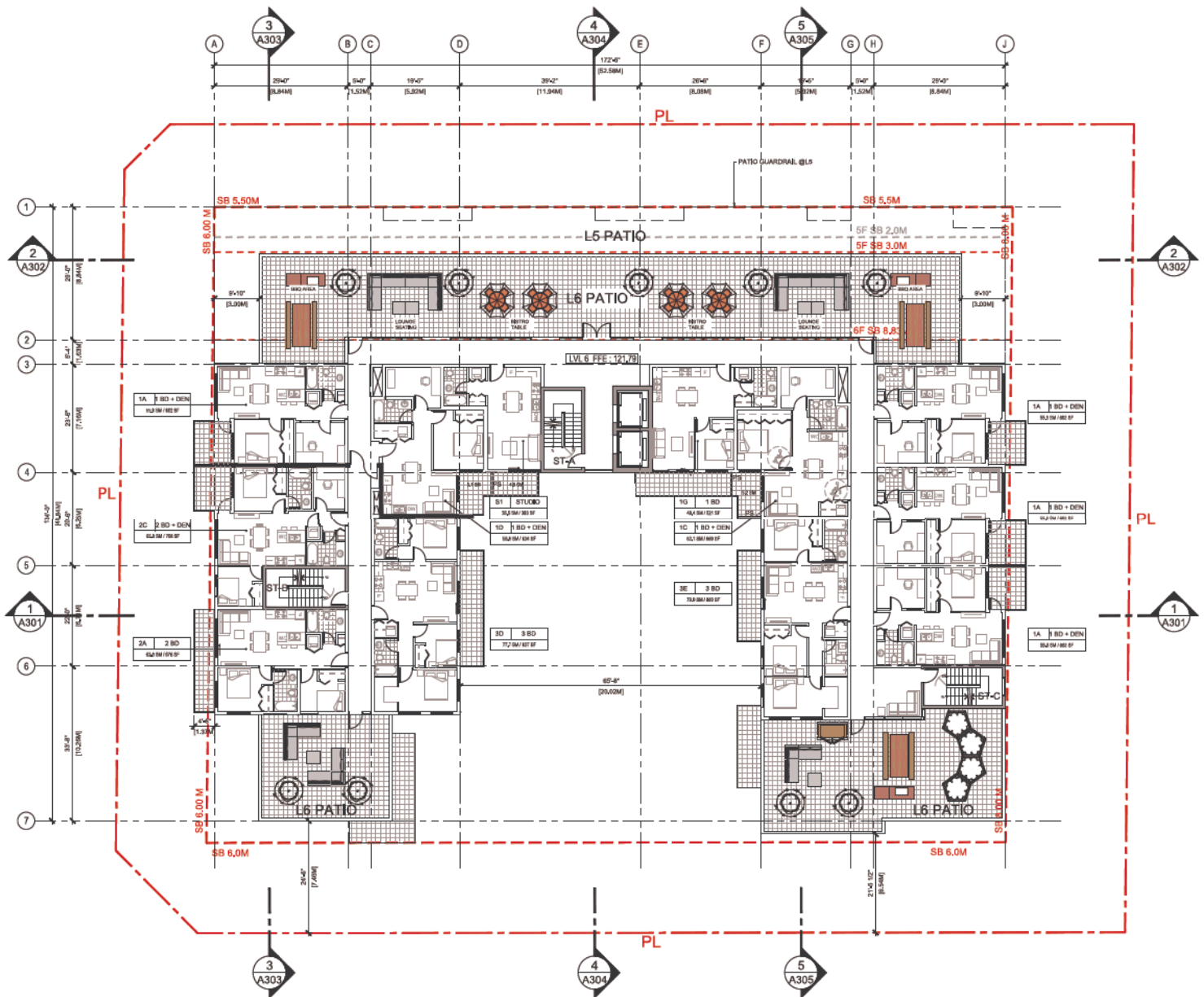
Notes
This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission and unless the reproduction is for the use of the client. All dimensions shall be taken from the drawings and not from the site. The Architect shall be responsible for all dimensions and conditions on the job and the Architect shall be liable for any variations from the drawings and conditions shown on the drawings. Any changes shall be approved in writing by the Architect before proceeding with fabrication.

Project Title
Multi-Residential Apartment
1404D-14064 100A AVE.
Surrey, BC

Sheet Title
LEVEL 5

Scale 1:125	Date 20-03-2024
Drawn MK	Created MK
Check P/B	Drawn No.
Project No. W02108	Sheet No. A106





No.	Date	Description
1	2024-03-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

No.	Date	Appr.	Description

Client:
2024-03-22 ISSUED FOR DP APPLICATION

Project Consultant:
WG ARCHITECTURE INC.


Architect:

MORTISE GROUP OF COMPANIES

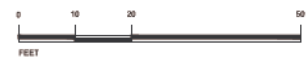
Contractor:

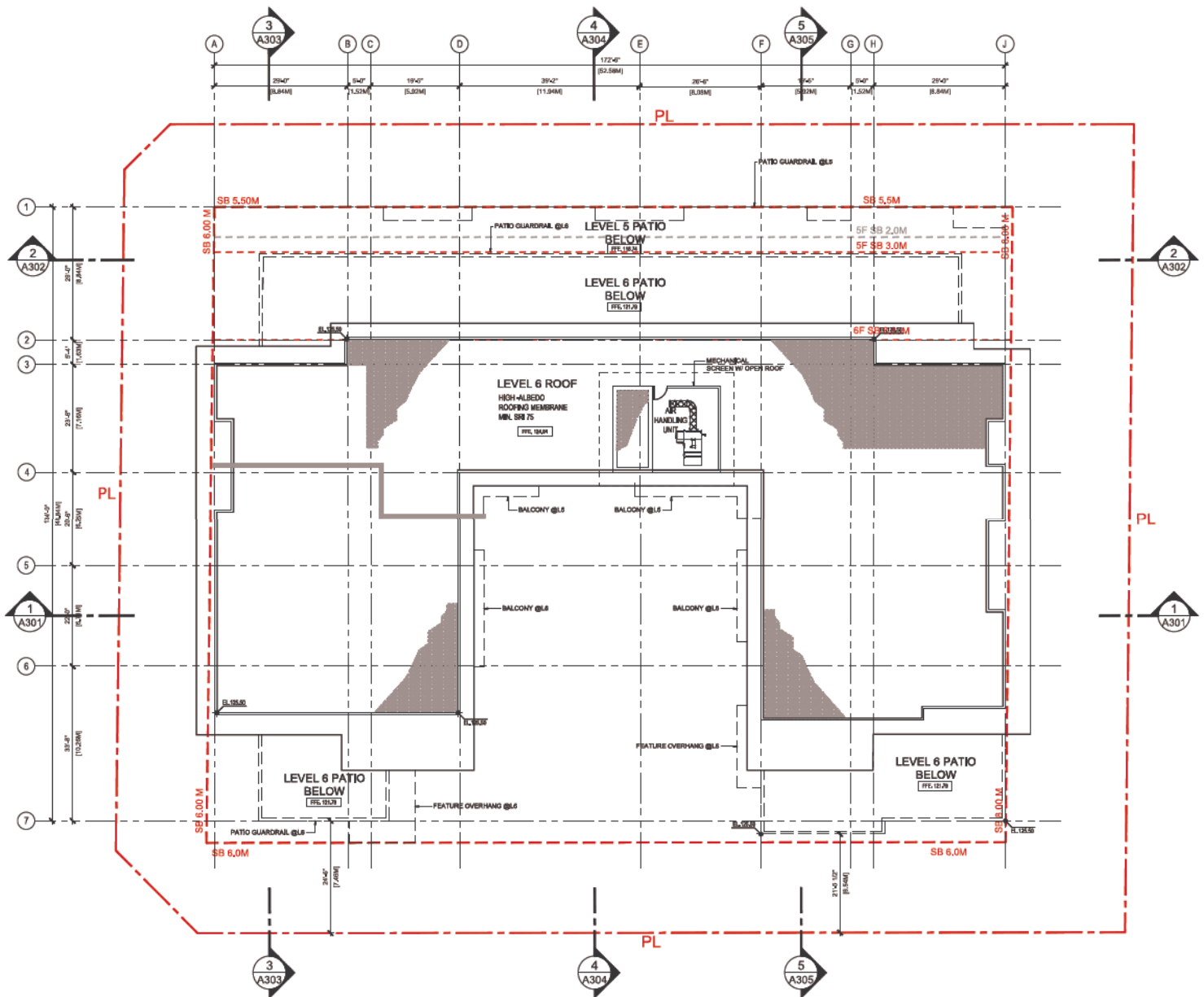
Notes:
This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission and unless the reproduction is for the sole use of the client. All dimensions shall be in millimeters unless otherwise stated. The contractor shall be responsible for all dimensions and conditions on the job and the Architect shall be relieved of any liability from the dimensions and conditions shown on the drawings. Any changes shall be approved in the AIA form for approval before proceeding with fabrication.

Project Title:
Multi-Residential Apartment
1404D-14064 100A AVE.
Surrey, BC

Sheet Title:
LEVEL 6

Scale	Date
1:125	20-03-2024
Drawn	Created
MK	ML
Check	Drawn
Project No.	Sheet No.
W02108	A107





No.	Date	Description
1	2024-08-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

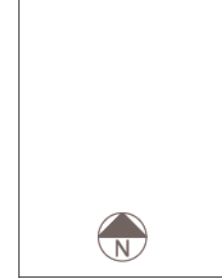
No. Date Appr. Description
 1 2024-03-22 ISSUED FOR DP APPLICATION

Client
 2024-03-22 ISSUED FOR DP APPLICATION

Firm Consultant
 WG ARCHITECTURE INC.



Grid/Refs



Notes
 This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission and unless the reproduction is for the sole use of the client. All dimensions shall be taken from the drawings and not from the site. The Architect shall not be held liable for any errors or omissions in the drawings and conditions shown and the drawings shall be used only for the purposes intended by the Architect.

Project Title
 Multi-Residential Apartment
 1404D-14064 100A AVE.
 Surrey, BC

Sheet Title
 ROOF LEVEL

Scale 1:100	Date 20-03-2024
Drawn MK	Created ML
Check PK	Drawn ML
Project No. W02108	Sheet No. A108



AMENITY AREA SCHEDULE

INDOOR AMENITY	
TOTAL PROVIDED	AREA 1,508 SF / 139.7 SM
TOTAL REQUIRED (PER ZONING BY-LAW)	360.0 SM
TOTAL REQUIRED (PER HIGH COOL. OPT.2)	144.0 SM

OUTDOOR AMENITY	
TOTAL PROVIDED	AREA 7,143 SF / 658.2 SM
TOTAL REQUIRED	360.0 SM

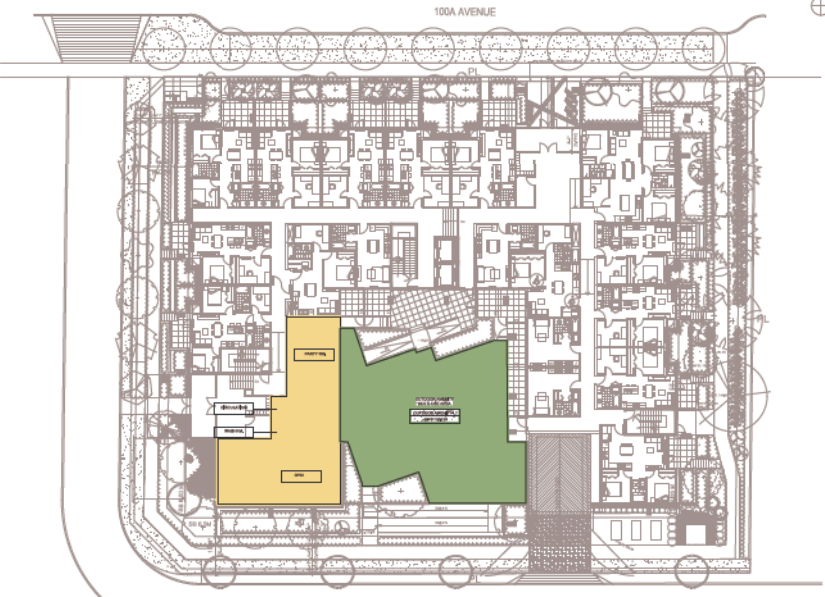
AREA BREAKDOWN

SUBJECT A & B:		
USE	AREA	
PARTY ROOM	608 SF	56.8 SM
GYM	917 SF	84.8 SM
WASHROOM	74 SF	6.9 SM
CIRCULATION	279 SF	25.8 SM
TOTAL	1,878 SF	174.3 SM

AREA BREAKDOWN

GROUND LEVEL	
USE	AREA
MULTI USE	3,854 SF / 353.2 SM

LEVEL 6	
USE	AREA
Lib	2,892 SF / 265.8 SM
Lib	606 SF / 56.2 SM
Lib	1,232 SF / 113.8 SM



GROUND LEVEL



LEVEL 6

No.	Date	Description
1	2022-08-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

Client:
2024-03-22 ISSUED FOR DP APPLICATION



Notes:
This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission and unless the reproduction is for their use only. All design and other information shown on this drawing are without any other contribution of the Architect.

Project Title:
Multi-Residential Apartment
1404D-14064 100A AVE.
Surrey, BC

Sheet Title:
AMENITY AREA DIAGRAM

Scale: 1:100	Date: 20-03-2024
Drawn: MK	Checked: ML
Case No.:	Sheet No.:
Project No. W02108	A109

100A AVE

PROPOSED LANE



PROPOSED LANE



EXTERIOR FINISHES LEGENDS

COMPOSITE / METAL PANEL

HAIRDE PANEL - W/ PRE-FINISHED METAL CHANNEL [METAL CHANNEL COLOUR TO MATCH W/ PANEL COLOUR] SEE ELEVATION DWG FOR LOCATION

- P1 BEIGE WHITE LIGHT WARM GREY DARK GREY
P2 BEIGE - MID TONE BROWNISH GREY
P3 BEIGE - CEDAR YELLOW

WALL CLADDING

W1 BRICK CLADDING - MID TONE GREY MORTAR SEE DWG FOR LOCATION
M1 MID TONE RED PRECAST CONCRETE LINTEL MID TONE GREY

COLUMN

C1 COLUMN CLADDING - HAIRDE SIDING BEIGE COLOUR W/ CORNER TRIM
C2 WOOD POST - STAINED W/ CEDAR YELLOW

WINDOW + DOOR

W1 DOUBLE GLAZED THERMALLY BROKEN WINDOW - CLEAR GLAZING VINYL WINDOW FRAME PAINTED DARK GREY SLIDING SWING DOOR FRAME TO MATCH WITH WINDOW FRAME COLOUR

W2 GROUND LEVEL LOBBY GLAZING SYSTEM STORE FRONT WINDOW + ENTRY DOOR LOW W/ GLAZING (CLEAR GLAZING) WITH DARK GREY FRAME, MATT FINISHED.

W3 SPANDREL GLASS WINDOW FRAME COLOUR TO MATCH WITH W1 SPANDREL GLASS BACK PAINT - TINTED GREY

D1 GROUND LEVEL TOWNHOUSE/SUITE ENTRY DOOR PAINTED DARK WALNUT
D2 OVERHEAD GARAGE GATE - PREFINISHED DARK GREY

LOBBY ENTRY CANOPY

C1 PREFINISHED METAL PANEL [1/2" REVEAL] W/ WOOD TEXTURE SOFFIT M11 (SPFV WITH MATTY FINISH)

SOFFIT

SF1 CEDAR WOOD STAINED FINISH SOFFIT W/ DARK GREY ALUM. VENT STRIP

FASCIA + FLASHING

F1 WOOD / COMPOSITE PANEL FASCIA
1. DARK GREY (BALCONY AND FEATURE OVERHANG)
2. MID TONE GREY (ROOF FACIAL)
F2 PREFINISHED METAL FLASHING (COLOUR TO MATCH WITH WALL PANEL)

MISC. ITEMS

G1 BALCONY GUARDRAIL - PREFINISHED METAL DARK GREY SIDE MOUNTED WITH MF FASCIA / COVER PLATE
G2 PATIO ENTRY GATE SEE LS DWG
L1 CUSTOM DESIGN LIGHT FIXTURE W/ TRANSLUCENT GLAZING



Revision table with columns: No., Date, Description. Row 1: 1, 2022-08-12, ISSUED FOR DP APPLICATION.

Client: 2024-03-22 ISSUED FOR DP APPLICATION

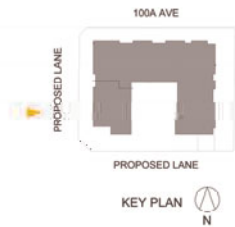
Project Consultant: WG ARCHITECTURE INC. with professional seal.

Notes section containing project details and disclaimer text.

Project Name: Multi-Residential Apartment, 14340 14004-100A AVE, Surrey, BC.

Sheet Title: NORTH ELEVATION

Revision table with columns: Rev, Date, Description, Checked, Date. Includes revision 1 for 18-02-2024 and sheet number A201.



EXTERIOR FINISHES LEGENDS

COMPOSITE / METAL PANEL

- HP1 HARDIE PANEL - W/ PRE-FINISHED METAL CHANNEL [METAL CHANNEL COLOUR TO MATCH W/ PANEL COLOUR] SEE ELEVATION DWG FOR LOCATION
- P1 BOISE WHITE LIGHT WARM GREY DARK GREY
- P2 BOISE - MID TONE BROWNISH GREY
- P3 BOISE - CEDAR YELLOW

WALL CLADDING

- W1 BRICK CLADDING - MID TONE GREY MORTAR SEE DWG FOR LOCATION
- W2 MID TONE RED PRECAST CONCRETE LINTEL MID TONE GREY

COLUMN

- CH1 COLUMN CLADDING - HARDIE BOISE BOISE COLOUR W/ CORNER TRIM
- CH2 WOOD POST - STAINED W/ CEDAR YELLOW

WINDOW + DOOR

- WF1 DOUBLE GLAZED THERMALLY BROKEN WINDOW - CLEAR GLAZING VINYL WINDOW FRAME PAINTED DARK GREY
- WF2 SLIDING SWING DOOR FRAME TO MATCH WITH WINDOW FRAME COLOUR
- WF3 GROUND LEVEL LOBBY GLAZING SYSTEM (STONE FRONT WINDOW + ENTRY DOOR LOW W GLAZING + CLEAR GLAZING) WITH DARK GREY FRAME, MATT FINISHED.
- WF4 SPANDREL GLASS WINDOW FRAME COLOUR TO MATCH WITH W1 SPANDREL GLASS BACK PAINT - TINTED GREY

- DT1 GROUND LEVEL TOWNHOUSE/SUITE ENTRY DOOR PAINTED DARK WALNUT
- DT2 OVER-HEAD GARAGE GATE - PREFINISHED DARK GREY

LOBBY ENTRY CANOPY

- CP1 PRE-FINISHED METAL PANEL (1/2" REVEAL) W/ WOOD TEXTURE SOFFIT MIN 150% WITH MATT FINISH

SOFFIT

- SF1 CEDAR WOOD STAINED FINISH SOFFIT W/ DARK GREY ALUM. VENT STRIP

FASCIA + FLASHING

- FA1 WOOD / COMPOSITE PANEL FABRICATION
- 1. DARK GREY (BALCONY AND FEATURE OVERHANG)
- 2. MID TONE GREY (ROOF FACIAL)
- FF1 PRE-FINISHED METAL FLASHING (COLOUR TO MATCH WITH WALL PANEL)

MISC. ITEMS

- GR1 BALCONY GUARDRAIL - PREFINISHED METAL DARK GREY SIDE MOUNTED WITH MP FASCIA COVER PLATE
- GR2 PATIO ENTRY GATE SEE LS DWG
- LT1 CUSTOM DESIGN LIGHT FIXTURE W/ TRANSLUCENT GLAZING



No.	Date	Description
1	2022-08-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

No.	Date	Appr.	Description

Client
2024-03-22 ISSUED FOR DP APPLICATION

Prime Consultant
WG ARCHITECTURE INC.



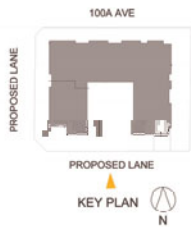
Scale
 1/8" = 1'-0"
 1/4" = 3'-0"
 1/2" = 6'-0"
 3/4" = 9'-0"
 1" = 12'-0"

Notes:
 This drawing, as an indication of intent, is the property of the architect and may not be reproduced without prior permission and when the reproduction is made, it shall remain the property of the architect. The architect shall not be responsible for any errors or omissions in this drawing and shall not be liable for any damages or losses resulting from the use of this drawing. The architect shall not be responsible for any errors or omissions in this drawing and shall not be liable for any damages or losses resulting from the use of this drawing. The architect shall not be responsible for any errors or omissions in this drawing and shall not be liable for any damages or losses resulting from the use of this drawing.

Project Name
Multi-Residential Apartment
 14540 100A AVE.
 SURREY, BC

Sheet Title
WEST ELEVATION

Scale	Date
1:125	18-02-2024
Drawn MK	Checked ML
Coord File	Sheet No.
Project No. WG2108	A202



EXTERIOR FINISHES LEGENDS

COMPOSITE / METAL PANEL

HARDE PANEL - W/ PRE-FINISHED METAL CHANNEL
[METAL CHANNEL COLOUR TO MATCH W/ PANEL COLOUR]
SEE ELEVATION DWG FOR LOCATION.

- [P1] BRIDE WHITE
- [P2] LIGHT WARM GREY
- [P3] DARK GREY
- [P4] SIDING MID TONE BROWNISH GREY
- [P5] SIDING - CEDAR YELLOW

WALL CLADDING

- [W1] BRICK CLADDING - MID TONE GREY MORTAR
SEE DWG FOR LOCATION
- [W2] MID TONE RED
- [W3] PRECAST CONCRETE LINTEL MID TONE GREY

COLUMN

- [C1] COLUMN CLADDING - HARTIC SIDING SIDING COLOUR
W/ CORNER TRIM
- [C2] WOOD POST - STAINED W/ CEDAR YELLOW

WINDOW + DOOR

- [W1] DOUBLE GLAZED THERMALLY BROKEN WINDOW - CLEAR GLAZING
VINYL WINDOW FRAME PAINTED DARK GREY
SLIDING SWING DOOR FRAME TO MATCH WITH WINDOW FRAME COLOUR

- [W2] GROUND LEVEL LOBBY GLAZING SYSTEM
STORE FRONT WINDOW + ENTRY DOOR
LOW-W GLAZING (CLEAR GLAZING)
WITH DARK GREY FRAME, MATT FINISHED.

- [W3] SPANDREL GLASS WINDOW
FRAME COLOUR TO MATCH WITH W1
SPANDREL GLASS BACK PAINT - TINTED GREY

- [D1] GROUND LEVEL TOWNHOUSE/SITE ENTRY DOOR
PAINTED DARK WALNUT
- [D2] OVERHEAD GARAGE GATE - PREFINISHED DARK GREY

LOBBY ENTRY CANOPY

- [C3] PRE-FINISHED METAL PANEL (1/2" REVEAL)
- [C4] W/ WOOD TEXTURE SOFFIT
MFL GREY W/ MATT FINISH

SOFFIT

- [S1] CEDAR WOOD STAINED FINISH SOFFIT W/ DARK GREY ALUM. VENT STRIP

FASCIA + FLASHINGS

- [F1] WOOD / COMPOSITE PANEL FASCIA -

- 1: DARK GREY (BALCONY AND FEATURE OVERHANG)
- 2: MID TONE GREY (ROOF FACIAL)

- [F2] PRE-FINISHED METAL FLASHING (COLOUR TO MATCH WITH WALL PANEL)

MISC. ITEMS

- [G1] BALCONY GUARDRAIL - PREFINISHED METAL DARK GREY SIDE
MOUNTED WITH MP FASCIA COVER PLATE
- [G2] PATIO ENTRY GATE - SEE LS DWG
- [L1] CUSTOM DESIGN LIGHT FIXTURE W/ TRANSLUCENT GLAZING

No.	Date	Description
1	2022-08-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

Client
2024-03-22 ISSUED FOR DP APPLICATION

Project Consultant
WG ARCHITECTURE INC.

Scale
1:125

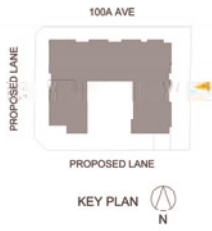
Notes:
1. This drawing is an architectural drawing. It is the property of the architect and may not be reproduced without their permission and unless the reproduction is for the use of the client. All dimensions are shown in millimeters unless otherwise stated. The architect is not responsible for the construction of the building or the safety of the building. The client is responsible for the construction of the building and the safety of the building.
2. The architect is not responsible for the construction of the building or the safety of the building. The client is responsible for the construction of the building and the safety of the building.
3. The architect is not responsible for the construction of the building or the safety of the building. The client is responsible for the construction of the building and the safety of the building.

Project Name
Multi-Residential Apartment
14540 140th Ave, Surrey, BC

Sheet Title
SOUTH ELEVATION

Scale	Date
1:125	18-02-2024
Drawn	Checked
MK	ML
Coord File	Sheet No.
Project No.	A203
WG2108	





EXTERIOR FINISHES LEGENDS

COMPOSITE / METAL PANEL

[M1] LARGE PANEL - W/ PRE-FINISHED METAL CHANNEL
[M2] METAL CHANNEL COLOUR TO MATCH W/ PANEL COLOUR
SEE ELEVATION DWG FOR LOCATION

- [P1] BRIDE WHITE
LIGHT WARM GREY
- [P2] DARK GREY
- [P3] BORG - MID TONE BROWNISH GREY
- [P4] BORG - CEDAR YELLOW

WALL CLADDING

- [W1] BRICK CLADDING - MID TONE GREY MORTAR
SEE DWG FOR LOCATION
- [W2] MID TONE RED
PRECAST CONCRETE LINTEL - MID TONE GREY

COLUMN

- [C1] COLUMN CLADDING - HARDY SIDING BORG COLOUR
W/ CORNER TRIM
- [C2] WOOD POST - STAINED W/ CEDAR YELLOW

WINDOW + DOOR

- [W1] DOUBLE GLAZED THERMALLY BROKEN WINDOW - CLEAR GLAZING
VINYL WINDOW FRAME PAINTED DARK GREY
SLIDING/ SWING DOOR FRAME TO MATCH WITH WINDOW FRAME COLOUR

- [W2] GROUND LEVEL LOBBY GLAZING SYSTEM
STORE FRONT WINDOW + ENTRY DOOR
LOW W/ GLAZING (CLEAR GLAZING)
WITH DARK GREY FRAME, MATT FINISHED.

- [W3] SPANDREL GLASS WINDOW
FRAME COLOUR TO MATCH WITH W1
SPANDREL GLASS BACK PAINT - TINTED GREY

- [D1] GROUND LEVEL TOWNHOUSE/SUITE ENTRY DOOR
PAINTED DARK WALNUT
- [D2] OVERHEAD GARAGE GATE - PREFINISHED DARK GREY

LOBBY ENTRY CANOPY

- [C3] PRE FINISHED METAL PANEL [1] 2" REVEAL
W/ WOOD TEXTURE SOFFIT
MAY VARY WITH MATERIAL FINISH

SOFFIT

- [S1] CEDAR WOOD STAINED FINISH SOFFIT W/ DARK GREY ALUM VENT STRIP

FASCIA + FLASHING

- [F1] WOOD / COMPOSITE PANEL FASCIA -
 1. DARK GREY (BALCONY AND FEATURE OVERHANG)
 2. MID TONE GREY (ROOFY FACIAL)
- [F2] PRE FINISHED METAL FLASHING (COLOUR TO MATCH WITH WALL PANEL)

MISC. ITEMS

- [G1] BALCONY QUARNAL - PREFINISHED METAL DARK GREY SIDE
MOUNTED WITH MP FASCIA COVER PLATE
- [G2] PATIO ENTRY GATE SEE LS DWG
- [L1] CUSTOM DESIGN LIGHT FIXTURE W/ TRANSLUCENT GLAZING



No.	Date	Description
1	2022-08-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

No. Date Appr. Description
Revision

Client
2024-03-22 ISSUED FOR DP APPLICATION



Scale

Project Name
Multi-Residential Apartment
14540 100A AVE
Surrey, BC

Notes:
This drawing, as an indication of work, is the property of the architect and may not be reproduced without their permission and shall be returned to the architect upon completion of the project. The architect shall not be responsible for any errors or omissions in this drawing or any other drawings or specifications of the project.
The client shall be responsible for all costs incurred in the preparation of this drawing and shall be responsible for all costs incurred in the preparation of this drawing and shall be responsible for all costs incurred in the preparation of this drawing.

Project Name
Multi-Residential Apartment
14540 100A AVE
Surrey, BC

Sheet Title
EAST ELEVATION

Scale	Date
1:125	18-02-2024
Drawn MK	Checked ML
Coord File	Sheet No. A204
Project No. WG2108	



EXTERIOR FINISHES LEGENDS

COMPOSITE / METAL PANEL

HARDBE PANEL - W/ PRE-FINISHED METAL CHANNEL
[METAL CHANNEL COLOUR TO MATCH W/ PANEL COLOUR]
SEE ELEVATION DWG FOR LOCATION.

- W1 BRIDGE WHITE
- W2 LIGHT WARM GREY
- W3 DARK GREY
- W4 SCING - MID TONE BROWNISH GREY
- W5 SCING - CEDAR YELLOW

WALL CLADDING

- W6 BRICK CLADDING - MID TONE GREY MORTAR
SEE DWG FOR LOCATION
- W7 MID TONE RED
PRECAST CONCRETE LINTEL - MID TONE GREY

COLUMN

- W8 COLUMN CLADDING - HARDBE SCING SCING COLOUR
W/ CORNER TRIM
- W9 WOOD POST - STAINED W/ CEDAR YELLOW

WINDOW + DOOR

- W10 DOUBLE GLAZED THERMALLY BROKEN WINDOW - CLEAR GLAZING
VINYL WINDOW FRAME PAINTED DARK GREY
SLIDING SWING DOOR FRAME - TO MATCH WITH WINDOW FRAME COLOUR

- W11 GROUND LEVEL LOBBY GLAZING SYSTEM
STORE FRONT WINDOW - ENTRY DOOR
LOW W/ GLAZING (CLEAR GLAZING)
WITH DARK GREY FRAME - MATT FINISHED.

- W12 SPANDREL GLASS WINDOW
FRAME COLOUR TO MATCH WITH W1
SPANDREL GLASS BACK PAINT - TINTED GREY

- W13 GROUND LEVEL TOWNHOUSE/SUITE ENTRY DOOR
PAINTED DARK WALNUT
- W14 OVERHEAD GARAGE GATE - PRE-FINISHED DARK GREY

LOBBY ENTRY CANOPY

- W15 PRE-FINISHED METAL PANEL (1/2" REVEAL)
W/ WOOD TEXTURE SOFFIT
MATT FINISH - WITH MATT FINISH

SOFFIT

- S1 CEDAR WOOD STAINED FINISH SOFFIT W/ DARK G

FASCIA + FLASHING

- F1 WOOD COMPOSITE FASCIA FASCIA.
- F2 1. DARK GREY (BALCONY AND FEATURE OVER)
2. MID TONE GREY (ROOF FACIA)
- F3 PRE-FINISHED METAL FLASHING (COLOUR TO M

MISC. ITEMS

- M1 BALCONY GUARDRAIL - PRE-FINISHED METAL DARK
NOCTATED WITH MP FASCIA/ COVER PLATE
- M2 PATIO ENTRY GATE - SEE LS DWG
- M3 CUSTOM DESIGN LIGHT FEATURE W/ TRANSLUCEN



No.	Date	Description
1	2022-08-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

Client
2024-03-22 ISSUED FOR DP APPLICATION

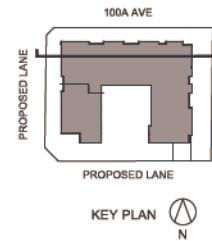
WG ARCHITECTURE INC.

2024-03-22 ISSUED FOR DP SUBMISSION

Multi-Residential Apartment
14540 14004 100A AVE.
Surrey, BC

Outdoor Amenity Area Internal Elevations

Scale: 1:125	Date: 18-02-2024
Drawn: MK	Checked: ML
Project No: WG2108	Sheet No: A205



No.	Date	Description
1	2022-08-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

Revision:
 No. Date Apprv. Description
 Client:
 2024-03-22 ISSUED FOR DP APPLICATION

Per the Consultant:
 WG ARCHITECTURE INC.

Site:

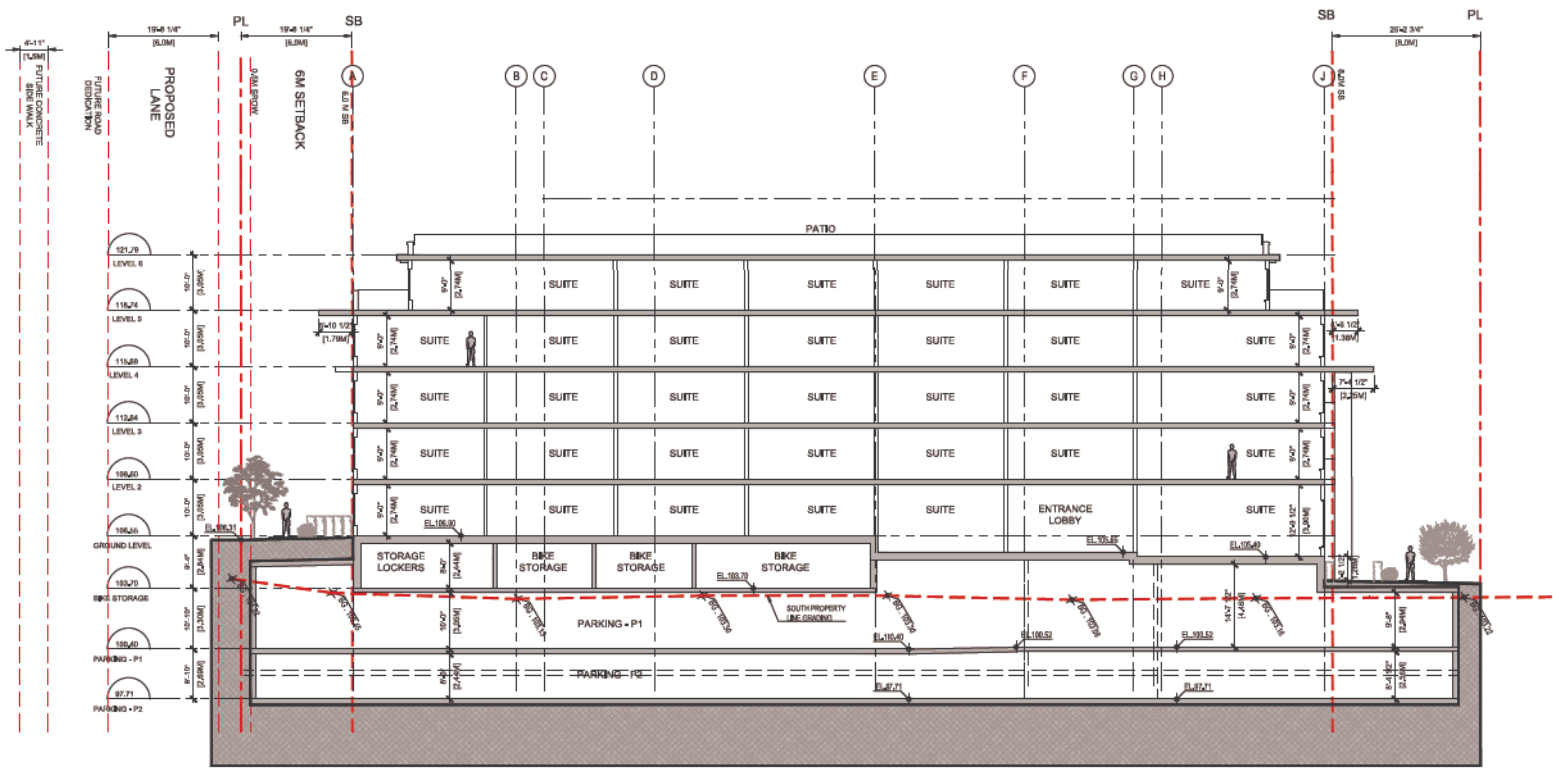
Consultant:

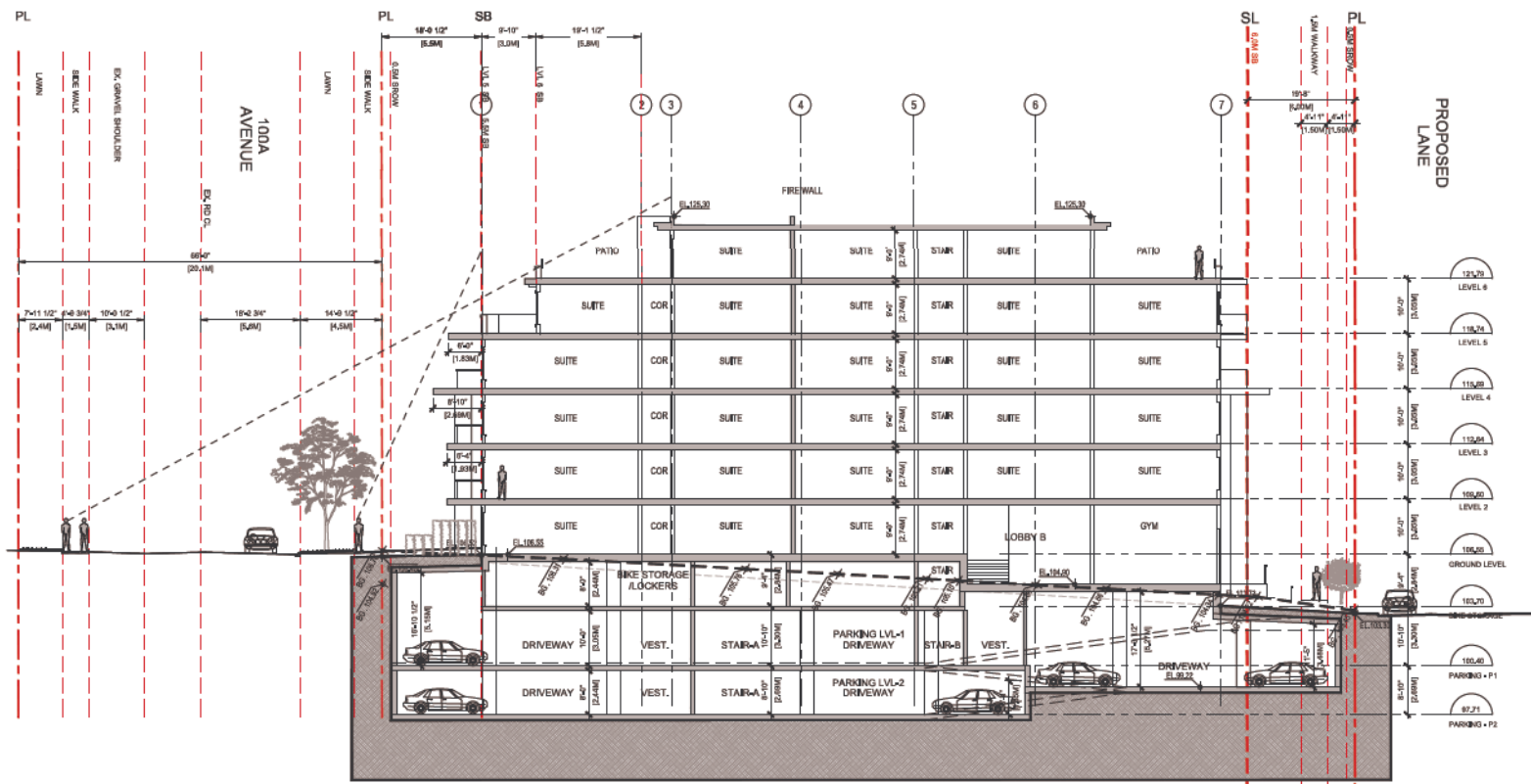
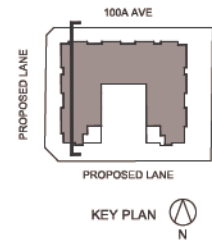
Notes:
 This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission and shall remain the property of the Architect. All dimensions shall be taken from the drawings and not from the site. All dimensions shall be taken from the drawings and not from the site. All dimensions shall be taken from the drawings and not from the site.

Project Title:
 Multi-Residential Apartment
 1404D-14064 100A AVE,
 Surrey, BC

Sheet Title:
 BUILDING SECTION - 2

Scale: 1:125	Date: 20-03-2024
Drawn: MK	Checked: ML
Case File:	Sheet No.:
Project No. W02108	A302





No.	Date	Description
1	2024-03-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

Revision:
 No. Date Apprv. Description

Client:
 2024-03-22 ISSUED FOR DP APPLICATION

Project Consultant:
 WG ARCHITECTURE INC.



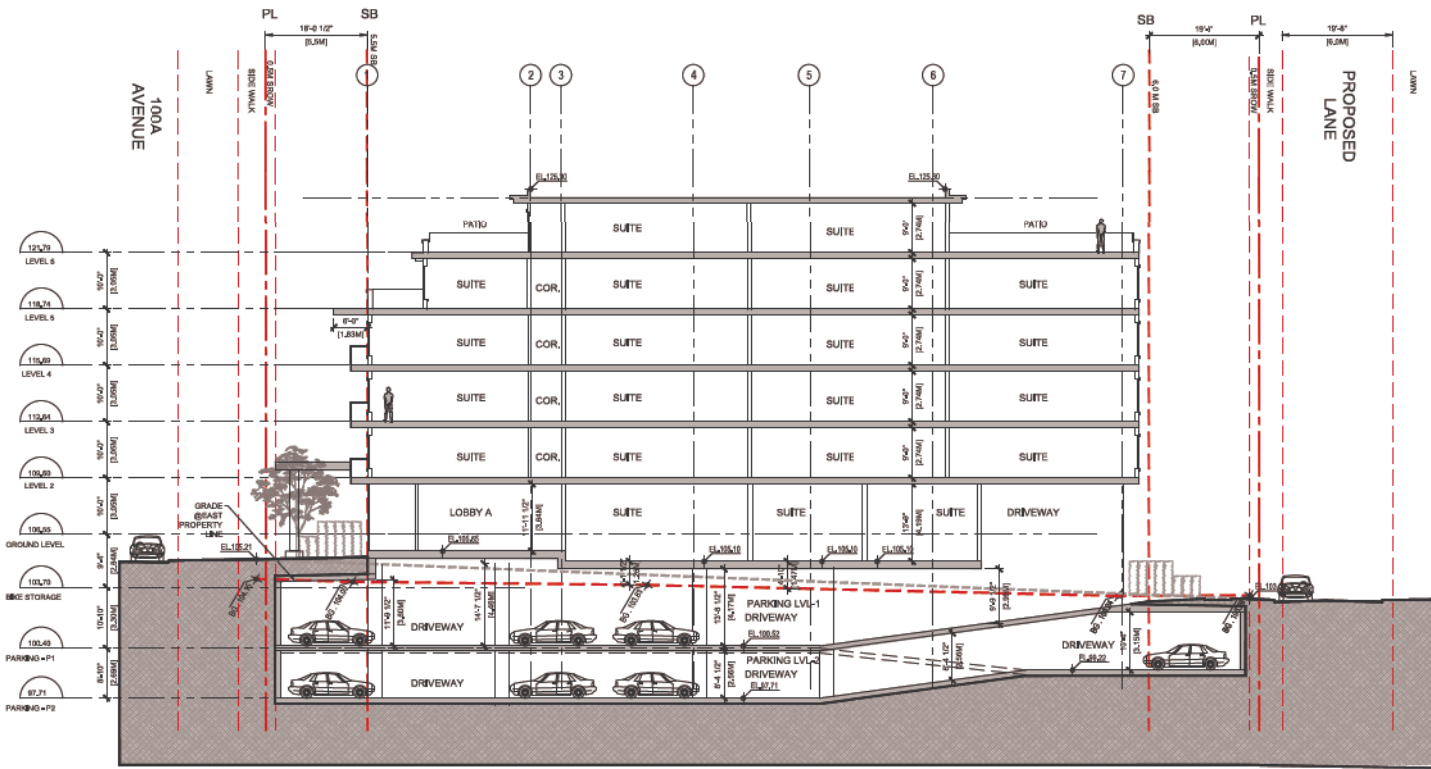
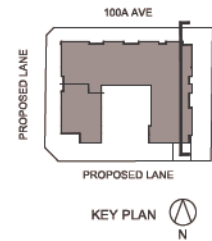
Grid Lines

Notes:
 This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission and unless the reproduction is for the use of the client. All design and construction details are the responsibility of the Architect. The client shall be responsible for all dimensions and conditions shown on this drawing. Any changes shall be approved in writing by the Architect before proceeding with fabrication.

Project Title:
 Multi-Residential Apartment
 100A-1064 100A AVE,
 Surrey, BC

Sheet Title:
BUILDING SECTION - 3

Scale: 1:125	Date: 20-03-2024
Drawn: MK	Created: ML
Case File:	Sheet No.:
Project No. W02108	A303



No.	Date	Description
1	2022-08-12	ISSUED FOR DP APPLICATION
2		
3		
4		
5		
6		

Revision:

Client:
2024-03-22 ISSUED FOR DP APPLICATION

Prime Consultant:
WG ARCHITECTURE INC.



Scale:



Grids:

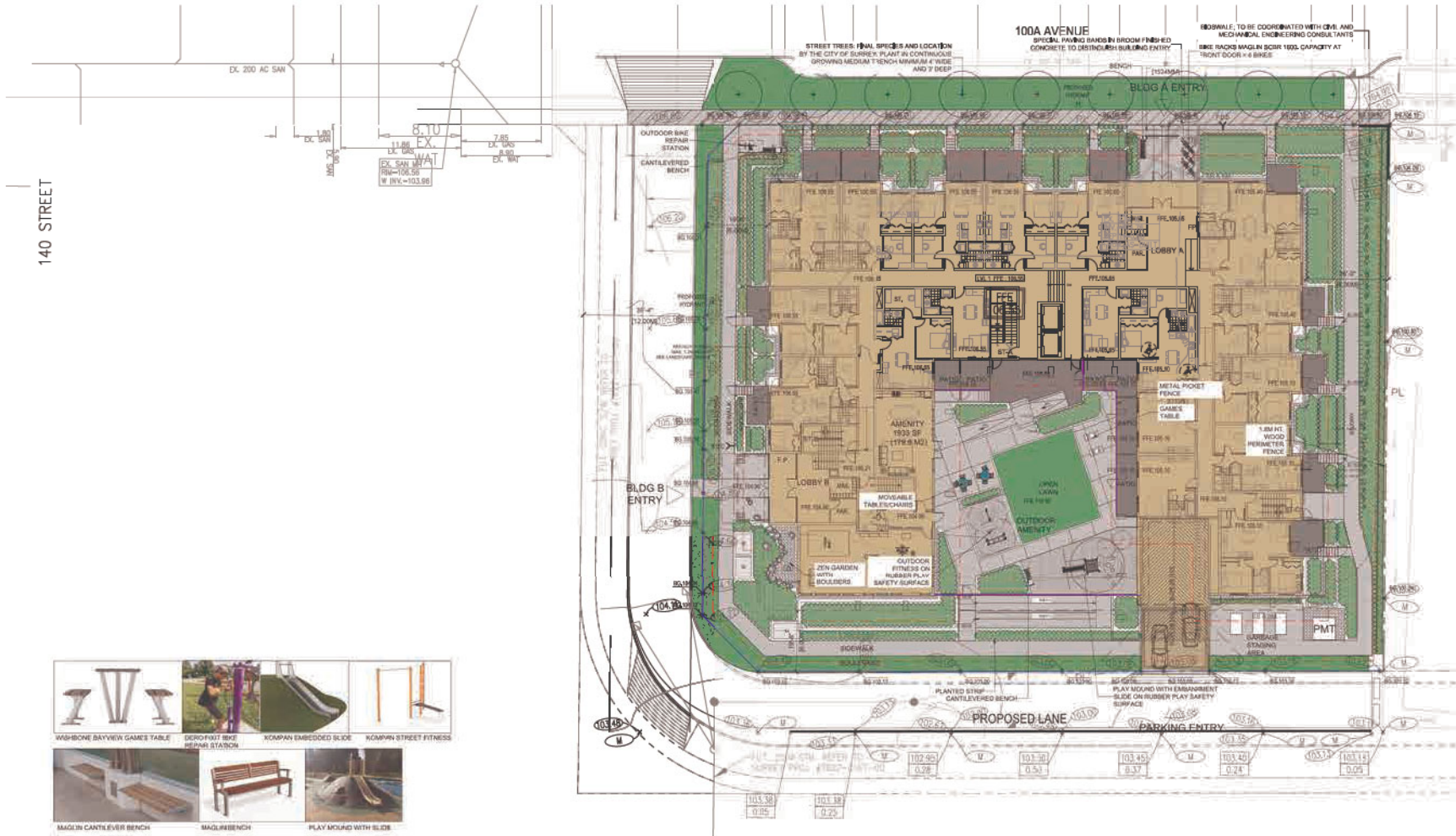
Notes:
This drawing, as an instrument of service, is the property of the Architect and may not be reproduced without their permission and unless the reproduction is for the sole use of the designated addressee. Information shown on this drawing are for the use of the addressee provided and shall not be used otherwise without the written consent of the Architect.
All other dimensions shall have precedence over stated dimensions. Construction shall verify and be responsible for all dimensions and conditions on the job and the Architect shall be relieved of any liability from the dimensions and conditions shown on this drawing. Any change shall be approved in the Architect's office before proceeding with fabrication.

Project Title:
Multi-Residential Apartment
1404D-14064 100A AVE,
Surrey, BC

Sheet Title:
BUILDING SECTION - 5

Scale: 1:125	Date: 20-03-2024
Drawn: MK	Created: ML
Case File:	Sheet No.:
Project No. W02108	A305

140 STREET



©Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.



Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G8
P: 604 294-0911 | F: 604 294-0922

SCALE



NO. DATE REVISION DESCRIPTION DPL

CLIENT:

PROJECT:

6-STORY RESIDENTIAL
14040/48/58/64-100A AVENUE
SURREY

DRAWING TITLE:
LANDSCAPE PLAN

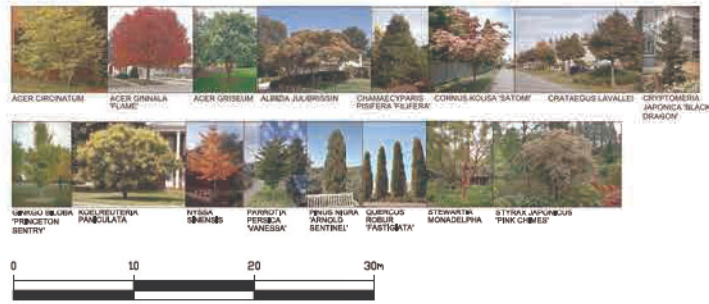
DATE: 22.AUG.23 DRAWING NUMBER:
SCALE: 1/8" = 1'-0"
DRAWN: CLG
DESIGN: CLG
CHECKED: CW OF 2

22151-4.2P PMG PROJECT NUMBER: 22-163

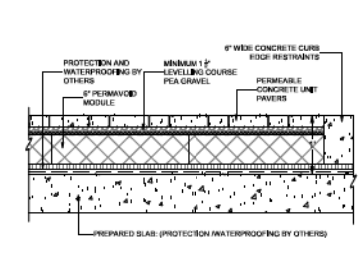


TREE SCHEDULE		PMG PROJECT NUMBER: 22-163		
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	1	ACER CIRCINATUM	VINE MAPLE	2.5M HT; 8AS; 3 STEM CLUMP
2	1	ACER GINNALI FLAME	FLAME AMUR MAPLE	6.0M CAL; 1.5M STD; 8AS
3	1	ACER GRISEBUM	PAPERBARK MAPLE	6.0M CAL; 1.5M STD; 8AS
4	1	ALBIDIA JULI BRIDSON	SILK TREE	6.0M CAL; 1.5M STD; 8AS
5	2	CHAMAECYPARIS FISIFERA FILIFERA	THREEDROP CYPRESS	2.5M HT; 8AS
6	2	CORNUS KOUSA SATOMI	PINK KOUSA DOGWOOD	2.5M HT; 8AS
7	2	CRATAEGUS LAVALLEI	LAVALLE Hawthorn	6.0M CAL; 1.5M STD; 8AS
8	4	CRYPTOMERIA JAPONICA BLACK DRAGON	BLACK DRAGON JAPANESE CEDAR	3.0M HT
9	1	PRINCETON SENTRY	PRINCETON SENTRY MAHONIA	6.0M CAL; 2M STD; 8AS
10	3	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	6.0M CAL; 1.5M STD; 8AS
11	4	NYSSA SPENSIS	CHINESE TURLEDO	6.0M CAL; 1.5M STD; 8AS
12	3	PARROTIA PERSIANA VANESSA	VANESSA PERSIAN BIRCHWOOD	6.0M CAL; 1.5M STD; 8AS
13	2	PRUNUS NIGRA 'ARNDOLD SENTINEL'	ARNDOLD SENTINEL AUSTRIAN BLACK PINE	3.0M HT; 8AS
14	2	QUERCUS ROBUR 'ASTIGATA'	FASTIGIATE ENGLISH OAK	6.0M CAL; 1M STD; 8AS
15	2	STEWARTIA MONADELPHA	ORANGEBARK STEWARTIA	6.0M CAL; 1.5M STD; 8AS
16	2	STYRAX JAPONICUS PINK CHERRY	PINK FLOWERED JAPANESE SNOWBELL	6.0M CAL; 1.5M STD; 8AS

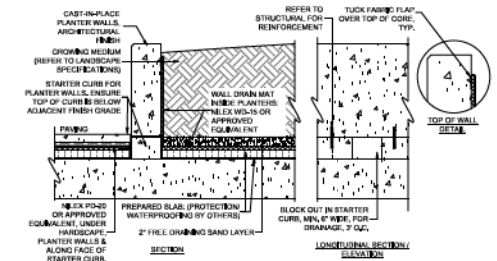
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. *** SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM IDENTIFIED DISEASE FREE NURSERY. ** BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



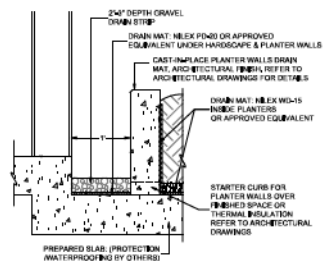
SCALE:



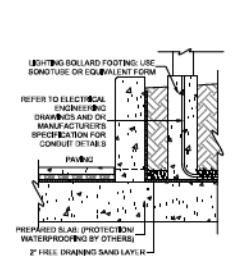
1 PAVERS ON SLAB
1/4"=1'-0"



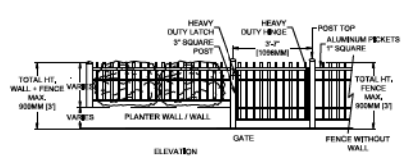
2 PLANTER WALL ON SLAB
1/4"=1'-0"



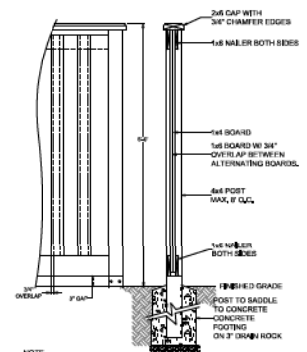
3 DRAIN ROCK STRIP
1/4"=1'-0"



4 LIGHTING BOLLARD
1/4"=1'-0"

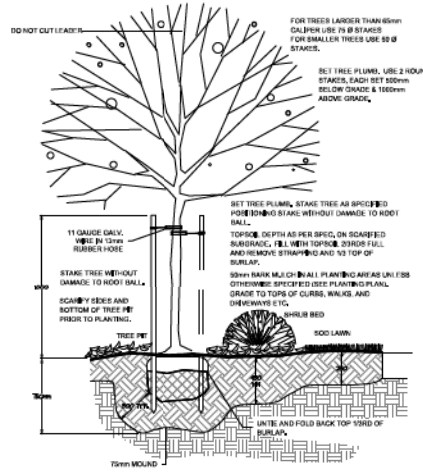


10 METAL FENCE AND GATE NEAR PLANTER
3/8"=1'-0"



5 6'-0" HT WOOD PRIVACY FENCE
3/8"=1'-0"

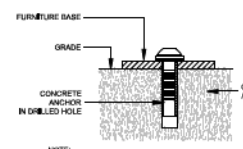
- NOTE:
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR OR CONSTRUCTION GRADE WOOD.
 3. ALL HARDWARE HOT DIPPED GALVANNEZEL.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURER'S SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-16" STEPS MAX. GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/4".



9 PLANTING DETAILS
1/8"=1'-0"

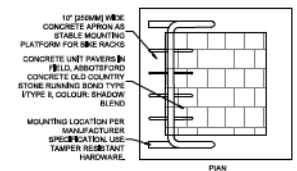


9 EAST PL GRADING CONCEPT
1/8"=1'-0"

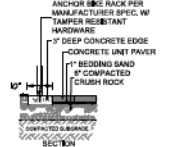


7 SITE FURNITURE MOUNTING
1/8"=1'-0"

NOTE: SITE FURNITURE IS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS



8 BIKE RACK MOUNTING DETAIL
1/2"=1'-0"



NO.	DATE	REVISION DESCRIPTION	BY
1	26 MAR 23	ISSUE FOR NEW SITE PLAN	CLG
2	26 MAR 23	24 MAR 23 UPDATE FOR NEW SITE PLAN FOR COMMENTS	CLG
3	26 MAR 23	UPDATE FOR NEW SITE PLAN	CLG
4	26 MAR 23	NEW ARCHITECTURAL PLANS	CLG

NCL DATE REVISION DESCRIPTION BY

CLIENT:

PROJECT:
6-STORY RESIDENTIAL
14040/48/58/64-100A AVENUE
SURREY

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: 22 AUG 23 DRAWING NUMBER:
SCALE: 1/8" = 1'-0"
DRAWN: CLG
DESIGN: CLG
CHECKED: CW **L2** OF 2

TO: **Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **April 01, 2024** PROJECT FILE: **7823-0020-00**

RE: **Engineering Requirements
Location: 14040/14048/14058/14064 - 100A Ave**

NCP AMENDMENT

The following issues are to be addressed as a condition of the NCP Amendment:

The applicant is required to complete a sanitary sewer capacity analysis downstream of the subject application due to the proposed Land use plan amendment which will result in increased population and subsequent sanitary demand. The applicant will be required to resolve any downstream pipe capacity constraints.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 6.00 m for residential lanes;
- Dedicate 1 m x 1 m corner cut at the intersection of the lane with 100A Avenue;
- Dedicate 5.5 m x 5.5 m corner cut at the lane-to-lane intersection; and
- Register 0.5 m SRW along 100A Avenue.

Works and Services

- Construct south half of 100 A Avenue;
- Construct residential lanes;
- Construct proposed access to the site;
- Construct adequately-sized service connections (drainage, water, and sanitary) to the site; and
- Construct/upgrade required fronting servicing mains (drainage, water, and sanitary) in order to service the site.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Janelle Frank, P.Eng.
Development Review Manager

M51

NOTE: Detailed Land Development Engineering Review available on file

Department: **Planning and Demographics**
Date: **March 4, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23 0020 00**

The proposed development of **120** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	19
---	----

Projected Number of Students From This Development In:	
Elementary School =	11
Secondary School =	5
Total Students =	16

Current Enrolment and Capacities:	
Lena Shaw Elementary	
Enrolment	664
Operating Capacity	569
# of Portables	5
Guildford Park Secondary	
Enrolment	1390
Operating Capacity	1050
# of Portables	11

Summary of Impact and Commentary

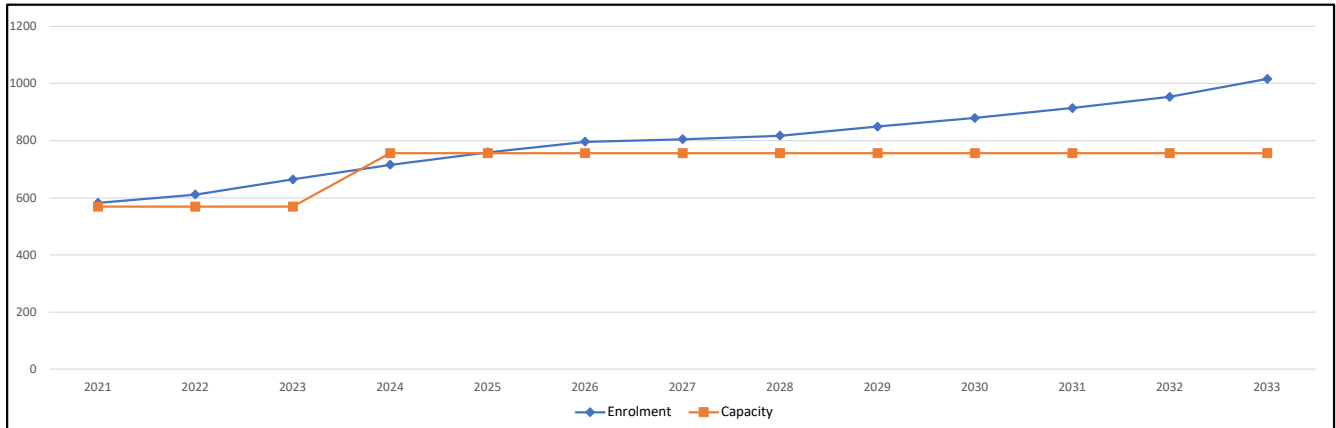
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

Significant redevelopment in this neighbourhood is expected with the approval of Skytrain and Transit Oriented Development.. The timing of these future developments, could impact the enrolment growth upwards even more from the projections below.

Lena Shaw operates at or slightly above the school's capacity. Post 2023, the projected growth trend begins to get stronger finishing at end of the decade to around 830 students. In anticipation of further growth associated with the proposed transit oriented housing mentioned above, the Ministry approved in November 2023 the installation of 8 modulars to open in September 2024 tentatively. Additional projects to relieve capacity have been requested, but are as of yet unapproved.

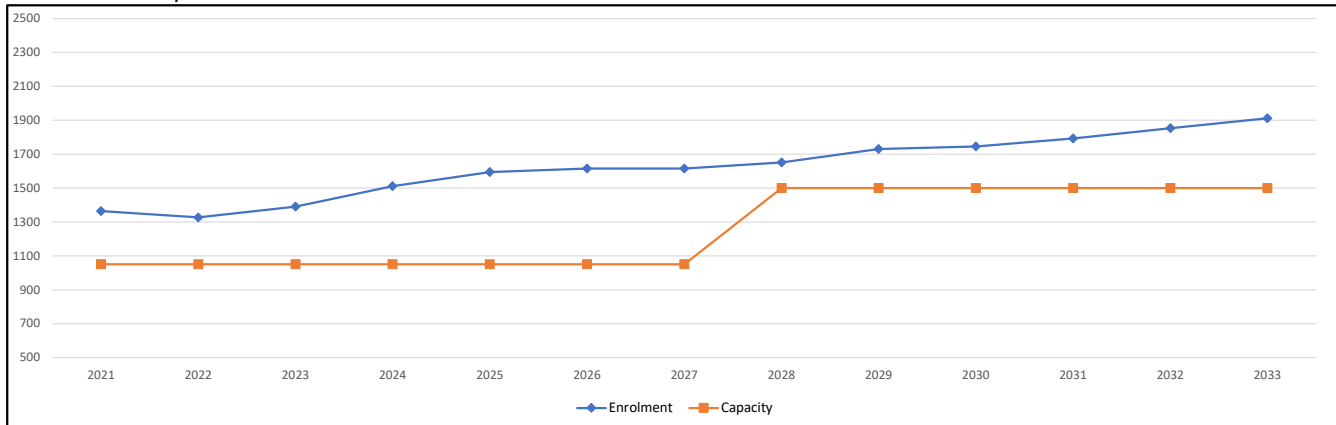
Guildford Park Secondary is currently operating at 132% and is projected to grow. This school will be impacted by development along the Guildford 104th Ave Corridor. In May 2023, the District received capital funding approval from the Ministry to build a 450-capacity addition, targeted to open in the spring of 2028.

Lena Shaw Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Guildford Park Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population : The projected population of children aged 0-17 impacted by the development.
Enrolment : The number of students projected to attend the Surrey School District ONLY.

4.0 Tree Preservation Summary

Table 2: City of Surrey tree preservation summary table for on-site and off-site trees, including the number of replacement trees proposed.

Surrey Project Number: 7811-0067-00

Site Address: 14040, 14048, 14058, 14064 100A Avenue

Registered Arborist: Dean Bernasch (PN-8676A)

On-Site Trees	Number of Trees
Protected Trees Identified (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	15
Protected Trees to be Removed	15
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $2 \quad \times \quad \text{one (1)} \quad = \quad 2$ - All other Trees Requiring 2 to 1 Replacement Ratio $13 \quad \times \quad \text{two (2)} \quad = \quad 26$	28
Replacement Trees Proposed	45
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed Open Space / Riparian Areas	-

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	6
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $0 \quad \times \quad \text{one (1)} \quad = \quad 0$ - All other Trees Requiring 2 to 1 Replacement Ratio $6 \quad \times \quad \text{two (2)} \quad = \quad 12$	12
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD

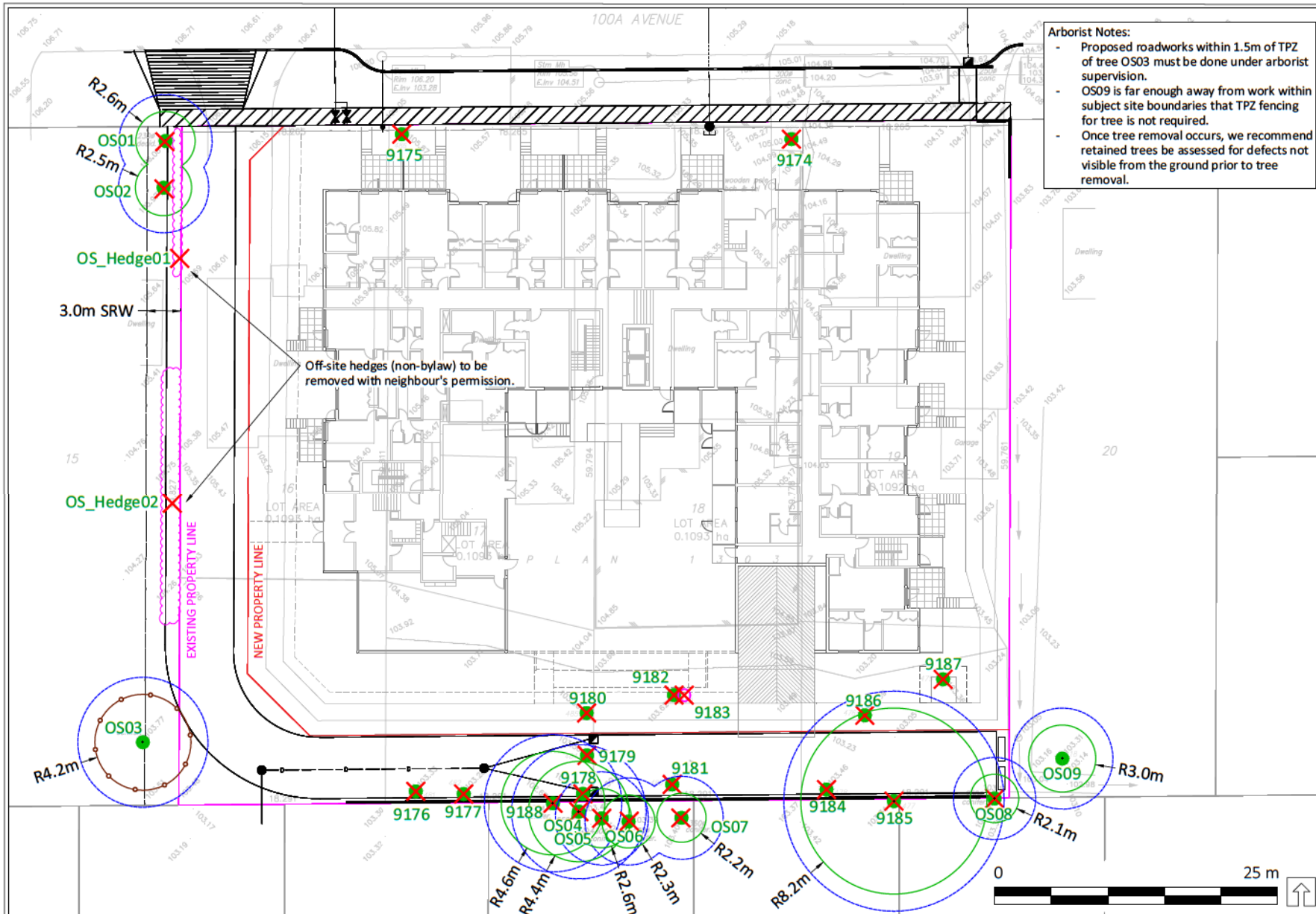
Summary, report and plan prepared and submitted by



Signature of Arborist

March 28, 2024

Date



Arborist Notes:

- Proposed roadworks within 1.5m of TPZ of tree OS03 must be done under arborist supervision.
- OS09 is far enough away from work within subject site boundaries that TPZ fencing for tree is not required.
- Once tree removal occurs, we recommend retained trees be assessed for defects not visible from the ground prior to tree removal.

- LEGEND**
- CRITICAL ROOT ZONE
 - NO-BUILD ZONE
 - TREE PROTECTION ZONE AND FENCING
 - SURVEYED TREE TO BE RETAINED
 - UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED)
 - ✗ TREE TO BE REMOVED

- NOTES**
1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
 2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
 3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (If the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
 4. No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
 5. The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.
 6. Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
 7. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
 8. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

- REFERENCE DRAWINGS**
1. Base Survey by South Fraser Land Surveying Ltd. dated June 6, 2023.
 2. Proposed Civil CAD provided by client.



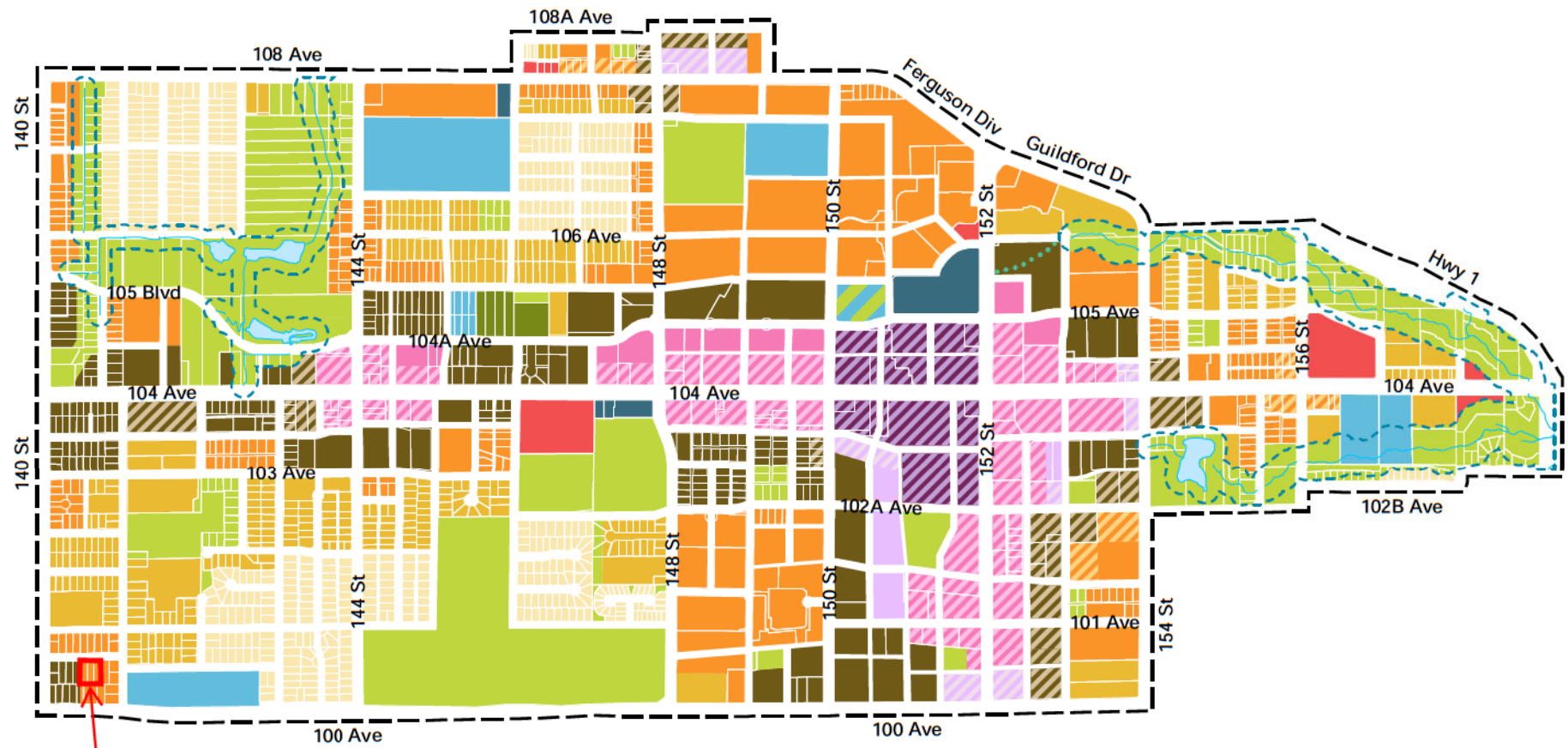
3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886

Drawing title: Tree Management Plan
Project address: 14040, 14048, 14058, 14064 100A Avenue, Surrey
Client: Mortise

Drawing No: 004
Date: 2024/03/28
Drawn by: JB/DBE
Page Size: TABLOID 11"x17"

Page #
1 of 1

Figure 3.1 Land Use Concept



Proposed Amendment to a portion of the Guildford Plan from "Low Rise Transition Residential" to "Low to Mid Rise Residential".

LEGEND

- | | | | |
|-----------------------|---------------------------------|-------------------------|-------------------------------------|
| Core Mixed-Use | Low to Mid Rise Mixed-Use | Urban Residential | Park/School |
| High Rise Mixed-Use | Low to Mid Rise Residential | Commercial | Metro Vancouver Reservoir |
| High Rise Residential | Low Rise Transition Mixed-Use | Civic | Riparian Buffer |
| Mid Rise Mixed-Use | Low Rise Transition Residential | Parks and Natural Areas | Watercourse Daylighting Opportunity |
| Mid Rise Residential | Townhouse | School | |

Note: Additional roads or lanes, not identified on this figure, may be required as determined on a case-by-case basis.

CITY OF SURREY

BYLAW NO. 21201

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended

.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 195 (CD 195), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
 FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 195" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 195"	(a) 14040 - 100A Avenue (b) 14048 - 100A Avenue (c) 14058 - 100A Avenue (d) 14064 - 100A Avenue	(a) Lot 16, Plan 13037 (b) Lot 17, Plan 13037 (c) Lot 18, Plan 13037 (d) Lot 19, Plan 13037	21201	N/A"

- 2. This Bylaw shall be cited for all purposes as "Surrey Comprehensive Development Zone 195 (CD 195), Bylaw, 2024, No. 21201".

PASSED FIRST READING on the _____ th day of _____, 20 .

PASSED SECOND READING on the _____ th day of _____, 20 .

PASSED THIRD READING on the _____ th day of, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of, 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 195 (CD 195)

In this Comprehensive Development Zone 195 (CD 195), **Part 24, Multiple Residential 70 Zone (RM-70)**, as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
14040 – 100A Avenue	Lot 16 Section 25 Block 5 North Range 2 West NWD Plan 13037	009-759-727
14048 – 100A Avenue	Lot 17 Section 25 Block 5 North Range 2 West NWD Plan 13037	009-759-735
14058 – 100A Avenue	Lot 18 Section 25 Block 5 North Range 2 West NWD, Plan 13037	009-759-743
14064 – 100A Avenue	Lot 19 Section 25 Block 5 North Range 2 West NWD Plan 13037	009-764-577

(collectively the "*Lands*")

except as follows:

1. Intent

Delete Section "A. Intent" and replace it with a new Section "A. Intent" as follows:

"A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density*, medium rise, *multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*."

2. Permitted Uses

Delete Sub-Section B.2. in Section B. Permitted Uses.

3. Density

Delete Sub-Section D.2. in Section D. Density and replace it with a new Sub-Section D.2 as follows:

"2. Permitted Density Increases:

If amenity contributions are provided in accordance with Schedule G, *density* may be increased to a maximum *floor area ratio* of 2.4, excluding:

- (a) The indoor *amenity space* requirement (pursuant to Section J.1. of this Zone); and
- (b) Up to a maximum of 170 sq. m of the *secure bicycle parking area* requirement (pursuant to Sub-Section H.5.)."

4. Lot Coverage

Delete Section "E. Lot Coverage" and replace it with a new Section "E. Lot Coverage" as follows:

"E. Lot Coverage

The maximum *lot coverage* for all *buildings* and *structures* shall be 45%."

5. **Yards and Setbacks**

Delete Section "F. Yards and Setbacks" and replace it with a new Section "F. Yards and Setbacks" as follows:

"F. **Yards and Setbacks**

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	North Yard	East Yard	South Yard	West Yard
<i>Principal Building and Structures</i>	5.5 m	8.0 m	6.0 m	6.0 m

1 Notwithstanding the definition of *setback* in Part 1, Definitions, canopies, and their associated structural elements, columnar *building* elements, *balconies*, and roof overhangs may encroach into the required *setbacks*.

2 Notwithstanding Section A.3.(d) of Part 5, Off-Street Parking and Loading/Unloading, *parking - underground* may be located up to 0.5 m of any *lot line*."

6. **Height of Buildings**

Delete Sub-Section G.1. in Section G. Height of Buildings and replace it with a new Sub-Section G.1. as follows:

"1. Principal Buildings:

Principal building height shall not exceed 20.0 m."

7. **Off-Street Parking and Loading/Unloading**

Delete Section "H. Off-Street Parking and Loading/Unloading" and replace it with a new Section "H. Off-Street Parking and Loading/Unloading" as follows:

"1. Parking Calculations:

Refer to Table D.1. of Part 5 Off-Street Parking and Loading/Unloading.

(a) Notwithstanding Table D.1. of Part 5 Off-Street Parking and Loading/Unloading, resident *parking spaces* shall be provided at a rate of 1.1 *parking space* per *dwelling unit* and visitor *parking spaces* shall be provided at a rate of 0.1 *parking space* per *dwelling unit*.

2. Tandem Parking:

Tandem parking is not permitted.

3. Underground Parking:

All required resident *parking spaces* shall be provided as *parking – underground*.

4. Parking Areas:

(a) Parking within the required *setbacks* is not permitted; and

(b) Parking is not permitted in front of the main entrance of a *multiple unit residential building*, except for the purpose of short-term drop-off or pick-up.

5. Bicycle Parking:

A *secure bicycle parking area* shall be provided in a separate bicycle room located within a *building*, whether located at or above *finished grade*, with convenient access to the outside of the *building*."

8. Landscaping and Screening

Delete Section "I. Landscaping and Screening" and replace it with a new Section "I. Landscaping and Screening" as follows:

"I. Landscaping and Screening

1. General Landscaping:

(a) All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees.

This *landscaping* shall be maintained; and

(b) *Highway* boulevards abutting a *lot* shall be seeded or sodded with grass, except at *driveways*.

2. Refuse:

Garbage containers and *passive recycling containers* shall be located within the *parking - underground* or within a *building*."

9. Special Regulations

Delete Section "J. Special Regulations" and replace it with a new Section "J. Special Regulations" as follows:

"J. Special Regulations

1. Amenity Spaces:

Amenity space, subject to Section B.6. of Part 4, General Provisions, shall be provided on the *lot* as follows:

(a) Outdoor *amenity space* in the amount of 3.0 sq. m per *dwelling unit* and shall not be located within the required *setbacks*.

(b) Indoor *amenity space* in the amount of 3.0 sq. m per *dwelling unit*.

2. Balconies:

Balconies are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 sq. m per *dwelling unit*, whichever is greater."

H - 8

ACTION REQUIRED: 1st, 2nd and 3rd Readings
TYPE: Zoning Amendment / DP
PURPOSE: RF and PA-1 to CD – to develop a 6-storey residential apartment building.
LOCATION: 13733, 13753 and 13773 - 108 Avenue; 13758 and 13764 Larner Road

PROCESSING DATES:

Bylaw No. 21198
April 8, 2024 - Proceed to Public Notification: Carried RES.R24-517
Approved to Proceed: Planning Report No. 7922-0073-00

DEVELOPMENT PERMIT

April 8, 2024 - Authorize to Draft: Carried RES.R24-517

NOTICE OF REZONING BYLAW

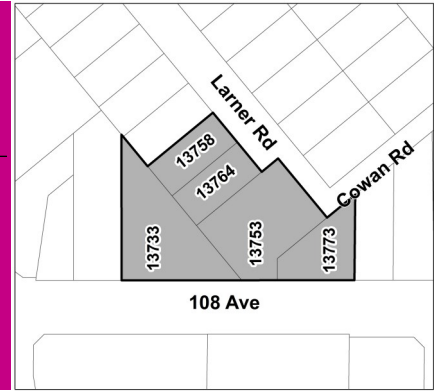
Surrey City Council will hold an **electronic** meeting

MONDAY, APRIL 22, 2024

STARTING AT 7PM

View the livestream at surrey.ca or at City Hall

13450 —104 Avenue



Notice is hereby given that the proposed rezoning bylaw "Surrey Comprehensive Development Zone 199 (CD 199), Bylaw, 2024, No. 21198" will be read for the first time by the City of Surrey Council at the Council Meeting on April 22, 2024, for the purposes of potential adoption.

In accordance with Section 464 of the *Local Government Act*, no public hearing is permitted for applications that are consistent with the Official Community Plan and are primarily residential.

Planning Report - Application No. 7922-0073-00

Location: 13773, 13753 and 13733 – 108 Avenue; 13758 and 13764 Larner Road

Purpose of Bylaw: The applicant is requesting to rezone the site shown shaded in grey on the location map from Single Family Residential Zone and Assembly Hall 1 Zone to Comprehensive Development Zone in order to develop a 6-storey residential apartment building.

OWNER/OCCUPANT



Office of the City Clerk
13450 – 104 Avenue,
Surrey, BC V3T 1V8
Canada

QUESTIONS FOR THE PLANNER:

Email planning staff at planningdevelopment@surrey.ca if you have any questions regarding this application. For information about the application visit surrey.ca.

City Hall is open Monday to Friday 8:30am-4:30pm except statutory holidays.

COMMENTS TO COUNCIL:

Your comments on this application must be received in writing by 12:00 noon on Council day, for Council's consideration. There are no speaking opportunities.

Webform: surrey.ca

Email: clerks@surrey.ca

Mail: Office of the City Clerk at the address above

Fax: 604-501-7578

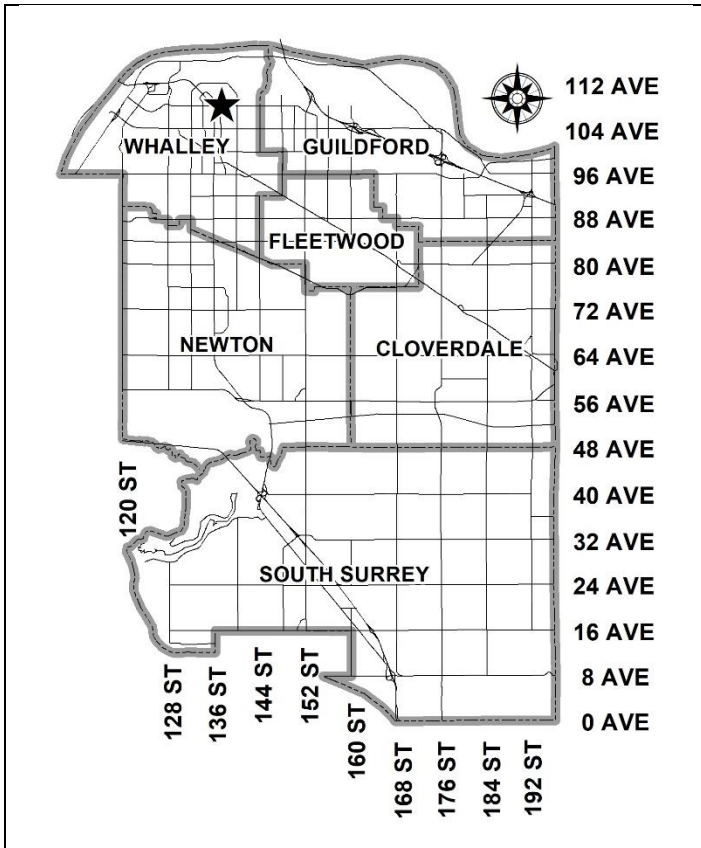
WATCH THE COUNCIL MEETING:

View the livestream at surrey.ca or at City Hall, 13450 —104 Avenue.

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7922-0073-00

Planning Report Date: April 8, 2024



PROPOSAL:

- **Rezoning** from RF and PA-1 to CD
- **Development Permit**

to permit the development of a 6-storey residential apartment building.

LOCATION:

- 13773 108 Avenue
- 13753 108 Avenue
- 13733 108 Avenue
- 13758 Larner Road
- 13764 Larner Road

ZONING:

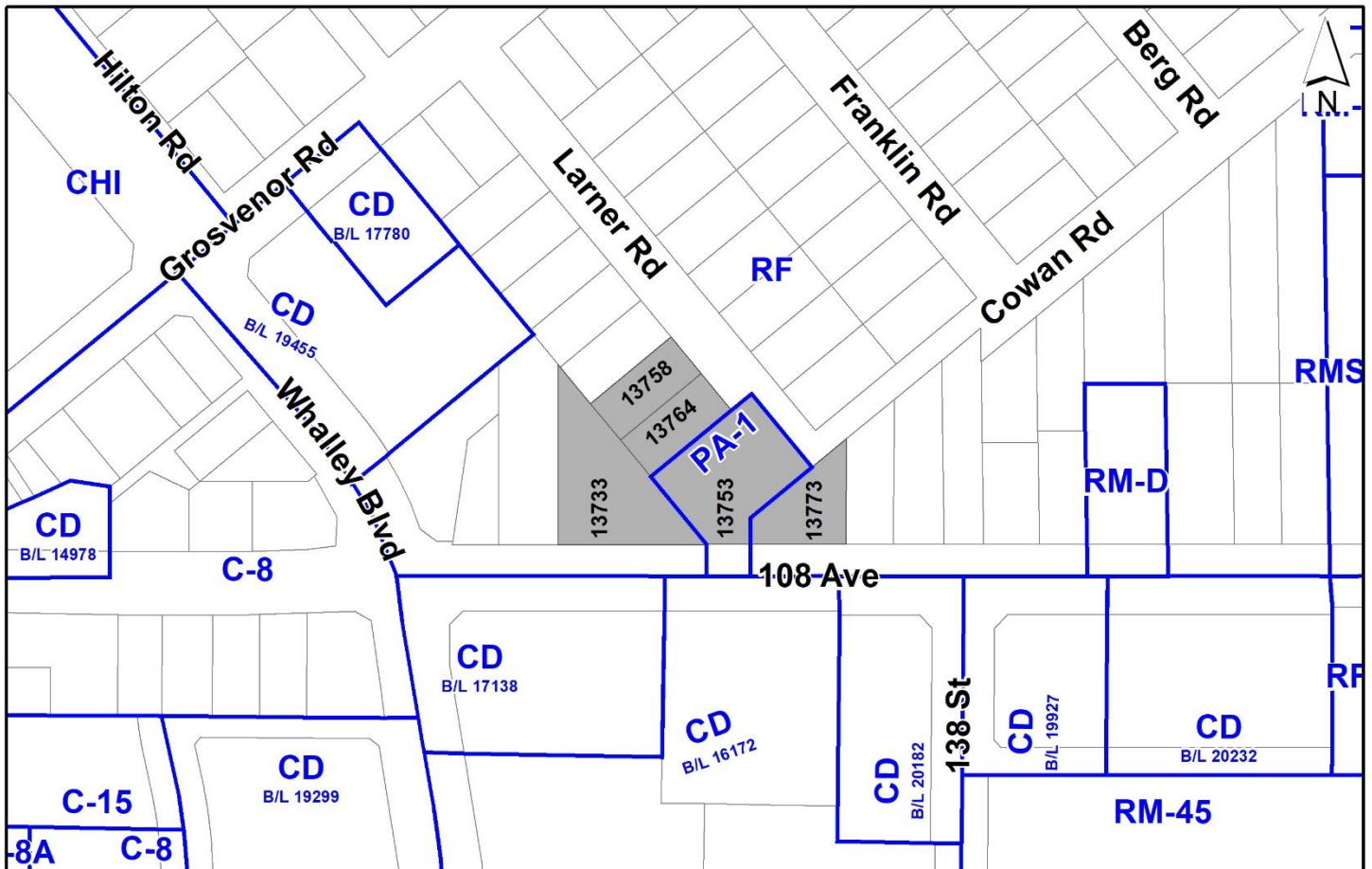
RF & PA-1

OCP DESIGNATION:

Multiple Residential

CCP DESIGNATION:

Low to Mid Rise Residential



RECOMMENDATION SUMMARY

- Rezoning Bylaw to proceed to Public Notification. If supported the Bylaw will be brought forward for First, Second and Third Reading.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the "Multiple Residential" designation in the Official Community Plan (OCP).
- The proposal complies with the "Low to Mid Rise Residential" designation in the City Centre Plan.
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not permitted for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The proposed density and 6-storey building form are appropriate for this part of Surrey City Centre.
- The proposed building has an attractive design with unique form and massing, high-quality architectural design features, with a high-quality durable material palette appropriate for the City Centre.
- The site is within walking distance (650 metres) of the Gateway SkyTrain station. The proposed development conforms to the goal of achieving high-rise, high density development around the SkyTrain stations.
- The proposed setbacks and built form achieve a more urban, pedestrian streetscape in compliance with the Surrey City Centre Plan and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the subject site from "Single Family Residential Zone (RF)" and "Assembly Hall 1 Zone (PA-1)" to "Comprehensive Development Zone (CD)".
2. Council authorize staff to draft Development Permit No. 7922-0073-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) acquisition of a portion of 13773 – 108 Avenue;
 - (i) submission of an acoustical report for the units adjacent to 108 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (j) registration of a right-of-way for public rights-of-passage for the public plaza area; and
 - (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	CCP Designation	Existing Zone
Subject Site	Vacant lots, single family lots and former church	Low to Mid Rise Residential	RF & PA-1
North (Including across Larner Road):	Single family lots	Park & Low Rise Residential – Type II	RF
East:	Single family lot	Low to Mid Rise Residential	RF
South (Across 108 Avenue):	5-6 storey apartments and mixed-use building	Low to Mid Rise Residential and Low to Mide Rise Mixed-Use	CD (Bylaw Nos. 17138, 16172 & 20182)
West:	Single family lot	Low to Mide Rise Mixed-Use	RF

Context & Background

- The subject site is 5,350-square metres in size, consisting of 5 properties, located on the north side of 108 Avenue, west of Whalley Boulevard in the Bolivar District of Surrey City Centre.
- The subject site is designated “Multiple Residential” in the Official Community Plan (OCP), “Low to Mid Rise Residential” in the City Centre Plan and is zoned “Single Family Residential Zone (RF)” and “Assembly Hall 1 Zone (PA-1)”.
- The existing dwellings currently have access from Larner Road and the church has access from 108 Avenue.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of a 6-storey apartment building with 176 units, the applicant is proposing the following:
 - Rezoning the site from RF to CD (based on RM-70 Zone);
 - Consolidation of the existing 5 lots into 1 residential lot; and
 - Detailed Development Permit for Form and Character.
- The proposed development will consist of 176 residential dwelling units above two levels of underground parking.
- The following table provides specific details on the proposal:
-

	Proposed
Lot Area	
Gross Site Area:	5,350 square metres
Road Dedication:	1,194 square metres
Net Site Area:	4,375 square metres
Number of Lots:	1
Building Height:	6 storeys / 22 metres
Floor Area Ratio (FAR):	2.40 (gross) and 3.10 (net)
Floor Area	
Residential:	13,314 square metres
Commercial:	
Total:	13,314 square metres
Residential Units:	
Micro studios:	6
1-Bedroom:	113
2-Bedroom:	55
3-Bedroom:	2
Total:	176

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 28 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

16 Elementary students at Forsyth Road Elementary School
 7 Secondary students at Kwantlen Park Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2026.

Parks, Recreation & Culture:	Forsyth Park is the closest active park with amenities including playground, dog off leash area and walking trails, and is 700 metres walking distance from the development. Future active parkland is proposed across the street along Lerner Road within 20 metres walking distance of the development as part of the City Centre Plan.
Surrey Fire Department:	The Fire Department has no concerns with the proposed development application. However, there are some items which will be required to be addressed as part of the Building Permit application.
Advisory Design Panel:	<p>At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City’s Advisory Design Panel (ADP) which permits multi-family proposals that are 6-storeys or less to proceed to Council for By-law introduction, without review and/or comment from the ADP, provided that the proposal is generally supported by City staff.</p> <p>The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.</p>

Transportation Considerations

Road Network & Infrastructure

- The applicant will be providing the following improvements:
 - Dedication and construction of the west side of Lerner Road to the City Centre local road standard;
 - Dedication and construction of the north side of 108 Avenue to the City Centre arterial road standard;
 - Dedication and construction of the lane; and
 - Dedication and construction of a sidewalk along the west property line.
- As part of the subject application, the applicant is proposing to acquire a portion of the City-owned property at 13773 – 108 Avenue in order to incorporate it with the subject site. Staff can support the proposed sale of a portion of 13773- 108 Avenue to the applicant as it is surplus to the City’s needs and this is in keeping with the road network as identified in the City Centre Plan.

Traffic Impacts

- The proposed development is anticipated to generate approximately one to two vehicles per minute, according to industry standard rates. A site-specific traffic impact assessment was not required as the proposal is consistent with the City Centre Plan and is below the City's typical threshold for triggering a traffic impact assessment.

Access and Parking

- Access to the subject site is proposed via the new lane along the northwest property line of the subject site.
- The Zoning Bylaw requires a minimum of 176 parking spaces to be provided on-site.
- The applicant is proposing to provide a total of 181 spaces on-site, which exceeds the minimum Zoning Bylaw requirements.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is compliant with the Urban Centres (Surrey Metro Centre) Land Use Designation of Metro Vancouver's Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management
 - Accommodating Higher Density: Direct residential development into approved Secondary Plan areas at densities sufficient to encourage commercial development and transit services expansion.

- Efficient New Neighbourhoods: Plan and develop new neighbourhoods with an emphasis on compact forms of development.
- Centres, Corridors and Neighbourhoods:
 - Healthy Neighbourhood: Plan and design urban neighbourhoods with sufficient densities to support a higher-quality transit system that is accessible to most residents.
 - Urban Design: Ensure a new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.
- Ecosystems
 - Energy, Emissions and Climate Resiliency: Design a community that is energy-efficient, reduces carbon emissions and adapts to a changing environment through a design that meets typical sustainable development criteria.

Secondary Plans

Land Use Designation

- The subject site is designated “Low to Mid Rise Residential” in the City Centre Plan.
- The “Low to Mid Rise Residential” designation permits up to 2.50 FAR (gross) and supports up to 6 storeys.
- The applicant is proposing a gross density of 2.40 FAR, which complies with the maximum permitted under the designation.

Themes/Objectives

- The proposed development is consistent with the following guiding principles in the City Centre Plan:
 - Encourage Housing Diversity: by providing a variety of housing forms and a range of unit sizes and types.
 - Create Vibrant Urban Spaces: with high quality architectural aesthetics and amenities such as plazas to encourage people to interact with the public realm.

CD By-law

- The applicant is proposing a “Comprehensive Development Zone (CD)” to accommodate a proposed 6-storey residential building on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the “Multiple Residential 70 Zone (RM-70)”.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Unit Density:	N/A	N/A
Floor Area Ratio:	1.50	3.10
Lot Coverage:	33%	58%
Yards and Setbacks	7.5 metres	Northeast: 4.50 metres Northwest: 4.0 metres South: 4.5 metres West: 3.5 metres
Principal Building Height:	50 metres	22 metres
Permitted Uses:	<ul style="list-style-type: none"> Multiple unit residential buildings Ground-oriented Multiple Unit residential buildings Child Care Centres 	<ul style="list-style-type: none"> Multiple unit residential buildings Ground-oriented Multiple Unit residential buildings
Amenity Space:		
Indoor Amenity:	534 square metres	The proposed 492 square metres CIL meets the Zoning Bylaw requirement.
Outdoor Amenity:	534 square metres	The proposed 571 square metres exceeds the Zoning Bylaw requirement.
Parking (Part 5)		Required
Number of Stalls		Proposed (Block II)
Residential:	158	162
Residential Visitor:	18	19
Total:	176	181
Accessible:	4	4
Bicycle Spaces		
Residential Secure Parking:	211	215
Residential Visitor:	6	6

- The proposed CD Bylaw is based upon the "Multiple Residential 70 Zone (RM-70)" with modifications to the permitted land-uses, density, lot coverage, minimum building setbacks and off-street parking requirements.
- The permitted land use is intended to accommodate the proposed 6-storey residential apartment building.
- If calculated on the net site area, the FAR is 3.10. As a result, the FAR for the net site area has been increased from 1.50 under the RM-70 Zone to a maximum of 3.10 (net) in the CD Bylaw.
- The maximum lot coverage has been increased from 33% in the RM-70 Zone to a maximum of 58% in the CD Bylaw to accommodate the proposed 6-storey apartment built form.
- The proposal to reduce the minimum building setback requirement along the street frontages for the proposed apartment building is supported given it will allow for a more urban, pedestrian-oriented streetscape.

- The RM-70 Zone requires that no parking facilities be constructed within 2.0 metres of the front lot line or a lot line along a flanking street. The proposed underground parkade will be located 0.56 metre from all street frontages. As a result, the CD Bylaw will include provisions that will allow for the underground parking facility to extend to within 0.5 metre of the lot line along all street frontages.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance. The current rate is \$2,136 per new unit, with rates anticipated to increase in April 2024.
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the densities in the City Centre Plan designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new unit to support the development of new affordable housing, with rates anticipated to increase in April 2024. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on December 21, 2023 and the Development Proposal Signs were installed on December 29, 2024. Staff received five (5) responses from neighbouring (*staff comments in italics*), all of whom were seeking additional information but did not express any concerns with the proposal.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the City Centre Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the City Centre Plan.
- The applicant has worked with staff to:
 - relocate the underground parking access to the north lane;
 - relocate the lobby to a central location;
 - recess the middle top three floors above the lobby in order to modulate the long façade;
 - step the building to follow the natural grade change;
 - refine and simplify the exterior elevations and materials;
 - emphasize the 2-storey townhome expression along 108 Avenue and Larner Road;
 - design an acceptable urban public realm interface, protection of off-site tree, and edge treatments, responding to the sloping site;
 - refine the overall building massing in order to ensure an attractive streetscape;
 - to improve the indoor and outdoor amenity spaces and quality; and
 - improve unit outlook and privacy.
- The proposed building is a 6-storey, wood frame residential building. The proposed massing presents from an aerial view as a "T" shape structure, which is a response to the site condition, and consists of three street frontages.
- The building is divided into three wings and connected by a common lobby, forming natural courtyard areas at the junctions which will serve as outdoor amenity space for the residents.
- The building orientation ensures that units will provide greater observation of the public realm with active rooms facing toward the street and pedestrian walkways to reduce CPTED concerns.
- The proposed buildings reflect an urban and contemporary architectural style with a flat roof.
- The unit mix is proposed to consist of 6 studio, 113 one-bedroom plus den, 55 two-bedroom and 2 three-bedroom units.

Landscaping

- The ground floor residential interface along the street frontages consist of landscaped front yards separated from the public realm by planter boxes, providing a sense of privacy while still maintaining "eyes on the street".
- See the Outdoor Amenity section below regarding landscaping for the outdoor amenity areas.

Indoor Amenity

- The Zoning Bylaw requires the applicant to provide a minimum of 3 square metres per unit and 4 square metres per micro unit. The Zoning Bylaw also prescribes the minimum indoor amenity space requirement that must be provided on site with a cash-in-lieu option to address the remaining requirement.
- Based upon the City's Zoning Bylaw requirement, the proposed development must provide 534 square metres of indoor amenity space to serve the residents of the proposed building. Of this 534-square metre requirement, a minimum of 74 square metres of indoor amenity space must be provided on site, and the remaining indoor amenity space requirement can be addressed through cash-in-lieu.
- The applicant proposes 492 square metres of indoor amenity space, which exceeds the minimum on site requirements of 74 square metres but is less than the 534 square metre total indoor amenity space requirement for the project.
- The applicant has agreed to provide a monetary contribution of \$42,000 (based on \$3,000 per unit) to address the remaining shortfall in the required indoor amenity space, in accordance with Council Policy No. O-48, as amended. Cash-in-lieu contributions for indoor amenity space are increased on an annual basis and must be paid at the rate in effect at the time of Final Adoption.
- The applicant is proposing indoor amenity on Levels 1, including a gym, kitchen and lounge areas, a meeting room and a reading room.

Outdoor Amenity

- Based upon the City's Zoning Bylaw requirement of 3 square metres per dwelling unit and 4 square metres per micro unit, the proposed development must provide a total of 534 square metres of outdoor amenity space to serve the residents of the proposed building.
- The applicant is proposing 570 square metres of outdoor amenity, exceeding the minimum requirement.
- The applicant is proposing an outdoor amenity area at grade within the rear yard area and an amenity area on Level 2, along Larner Road.
- The amenities on the ground level include a community garden, open lawn area, a children's play area and various seating areas directly adjacent to the indoor amenity area.
- The Level 2 amenities includes a variety of seating areas and a putting green.
- The soft landscaping proposed throughout the amenity areas consist of resilient, low-maintenance plantings which are tolerant of urban conditions.

Outstanding Items

- At the Regular Council – Public Hearing Meeting on December 18, 2023, Council endorsed the recommendations in Corporate Report No. R214;2023 (“Proposed Changes to Advisory Design Panel Procedures for Development Applications”) which allows all multi-family developments that are 6-storeys or less to proceed to Council for bylaw introduction, provided the proposal is generally supported by City staff. For these projects, no review and/or comment is required by the Advisory Design Panel (ADP). The subject proposal is generally supported by Urban Design staff and, therefore, the ADP can be waived.
- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - Refinement of the public realm interface and design refinement of the site edges, in particular the public plazas; and
 - Design development and refinement of the architectural features and materials.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Lucian Serban, ISA Certified Arborist of McElhanney Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Cottonwood	1	1	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	3	3	0
Red Maple	1	1	0
Willow	5	5	0
Chestnut	2	2	0
Apple	1	1	0
Holly	1	1	0
Laurel	1	1	0
Coniferous Trees			
Excelsa cedar	7	7	0
Spruce	9	9	0
Deodar	1	1	0
Douglas Fir	2	2	0
Western Red Cedar			

Total (excluding Alder and Cottonwood Trees)	33	33	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)	39		
Total Retained and Replacement Trees Proposed	39		
Estimated Contribution to the Green City Program	\$15,400		

- The Arborist Assessment states that there are a total of 33 mature trees on the site, excluding Alder and Cottonwood trees. One existing tree, approximately 3% of the total trees on the site, is a Cottonwood tree. The applicant proposes to retain no trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 67 replacement trees on the site. Since the proposed 39 replacement trees can be accommodated on the site, the proposed deficit of 28 replacement trees will require an estimated cash-in-lieu payment of \$15,400 representing \$550 per tree to the Green City Program, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on 108 Avenue and Lerner Street. This will be determined by the Engineering Department during the servicing design review process.
- In summary, a total of 39 trees are proposed to be replaced on the site with an estimated contribution of \$15,400 to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

CITY ENERGY

- The subject site is located within Service Area B, as defined in the "City Centre District Energy System Bylaw" (see Appendix VI for location). The District Energy System consists of three primary components:
 - community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
 - distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system and is used to meter the amount of energy used.

- All new developments within Service Area B with a build-out floor area ratio (FAR) between 1.0 and 2.5 will be required to incorporate hydronic thermal energy systems to allow for future connection to the City's District Energy (DE) system but will not be required to utilize hydronic systems for space heating within individual residential units. Hydronic systems will be required for all other space heating and hot water heating in the building.
- It should be noted that heat generation equipment (e.g., boilers) will need to be provided by the developer until such time as the development can be connected to the DE system.
- It should also be noted that the project is required to be compatible for a future connection to the City's DE System.
- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System Bylaw".

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

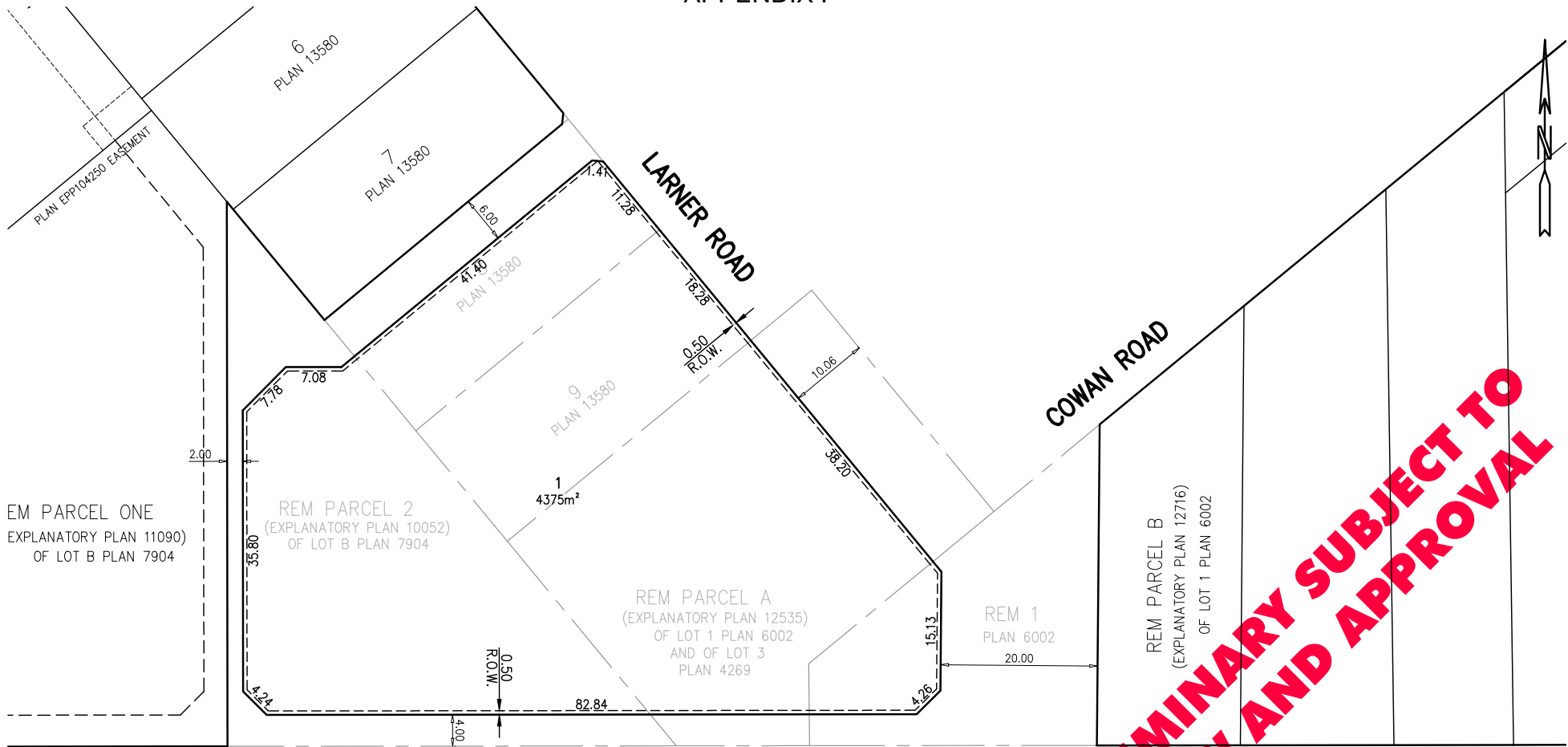
Appendix I.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix V.	District Energy Map

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

LM/ar

APPENDIX I



PRELIMINARY SUBJECT TO REVIEW AND APPROVAL

G:\Projects\21042\hnr\AD Drawings\Layouts\LotLayout - Op 7 - Nov 16, 2023.dwg [Lot Layout 11x17] 11/17/2023 4:25PM

CLIENT:		PROJECT: LARNER ROAD AND 108 AVENUE, SURREY			
DRAWING TITLE: SUBDIVISION					
PROJECT No. 21042	DATE: NOV 2023	LEGAL:	SCALE: 1:500	MUNICIPAL PROJECT No.:	
PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES					

Hub Engineering Inc.
 Engineering and Development Consultants

Member
PACIFIC LAND GROUP

Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6
 tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com



① SITE PLAN
1" = 33'-4"



PROJECT INFO:
Apartment Building at 13764, 13758
Lerner Rd 13733 13753 108 Ave.
Surrey BC
CLIENT:
1255541 BC LTD.

DATE
25/03/2024

PROJECT NO:
20-227

SCALE: 1" = 33'-4"
DRAWN BY: R.W.

REV	DESCRIPTION	BY	DATE

SITE PLAN

A.102B



- LEGEND:**
- PROPERTY LINE
 - SETBACK
 - - - S.R.O.W.
 - - - PARKADE LINE BELOW



PROJECT INFO:
 Apartment Building at 13764, 13758
 Larmer Rd 13733 13753 108 Ave.
 Surrey BC
 CLIENT: 1255541 BC LTD.

DATE: 25/03/2024

PROJECT NO: 20-227

SCALE: 1" = 25'-0" DRAWN BY: R.W.

REV	DESCRIPTION	DATE	BY
1	UPDATED LAYOUT	10/03/2023	R.W.

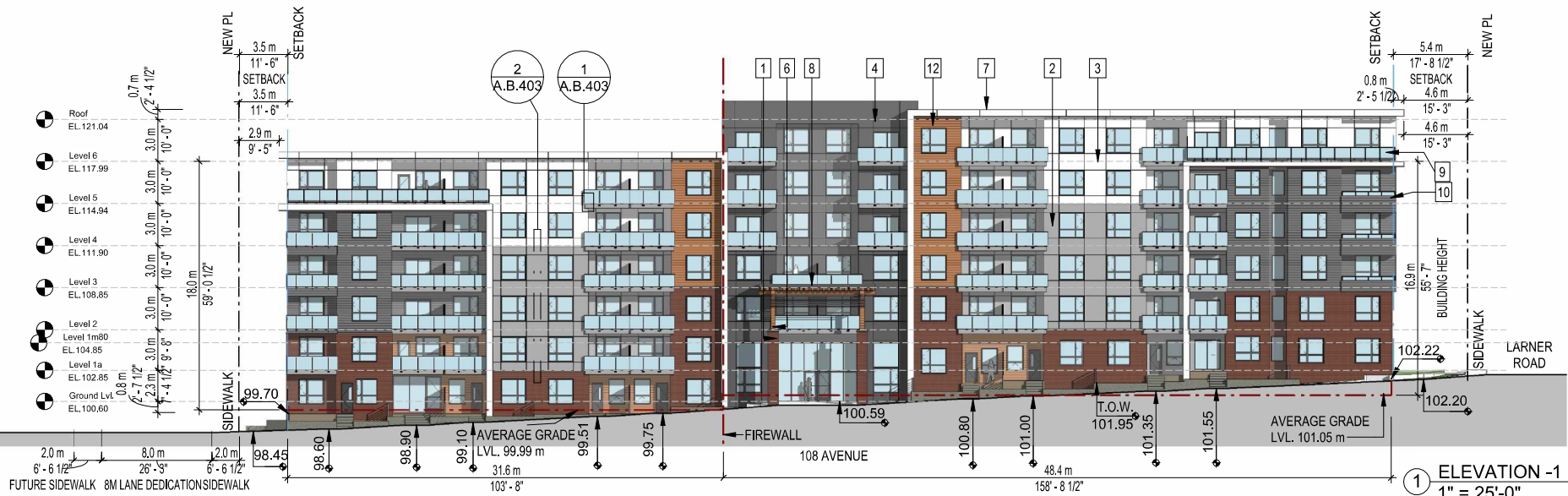
GROUND FLOOR PLAN

A.B.203

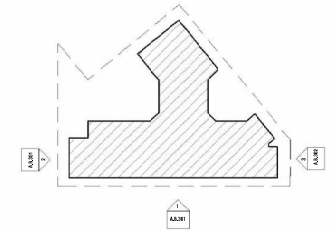


REV	DESCRIPTION	BY	DATE

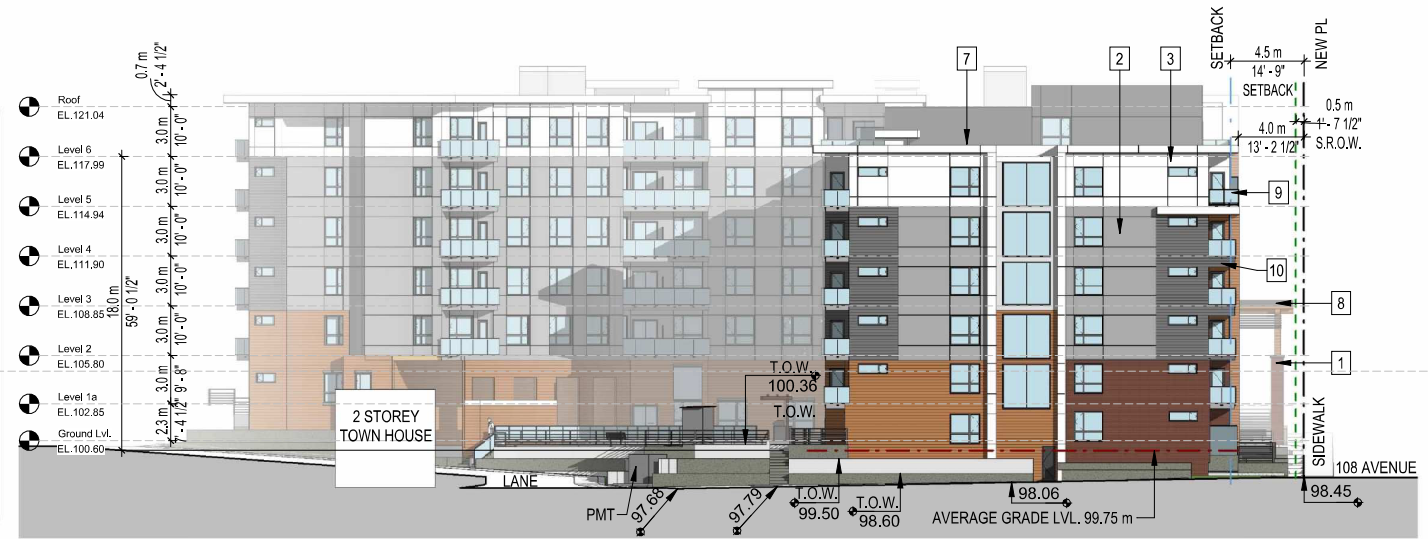
6 STOREY ADJACENT BUILDING



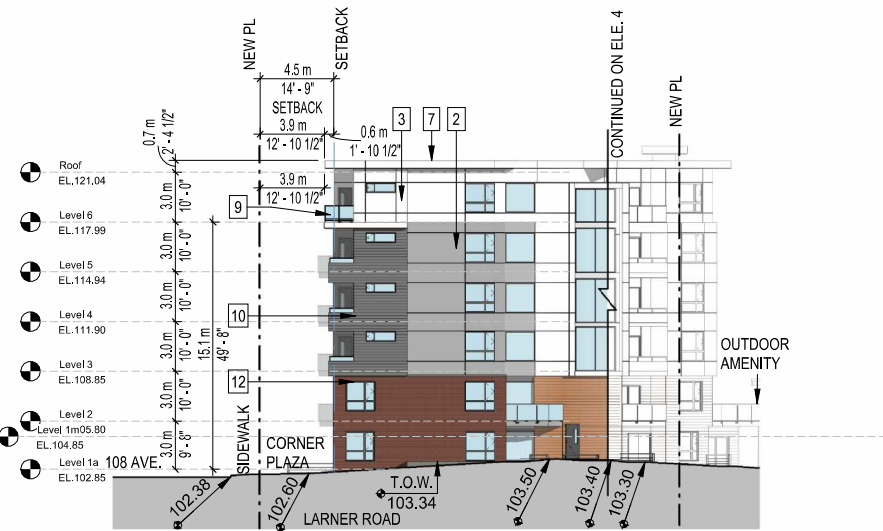
① ELEVATION -1
1" = 25'-0"



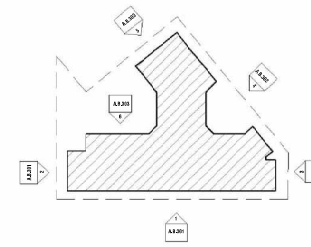
MATERIALS	
1	Brick: velour finish (Garnet Color)
2	Cementitious wood panel board; smooth finish (Light Grey Color)
3	Cementitious wood panel board; smooth finish (White Color)
4	Cementitious wood panel board; smooth finish (Charcoal Grey Color)
5	Charcoal grey Painted Metal Baguattes (2" x 5")
6	8" x 8" Paint finish wood post c/w Black painted connection plates
7	Soprema Soprarstar roofing by Soprema with RSI .82
8	Metal Roofing Charcoal Paint Finish
9	Tempered Glass c/w Black Painted Alum Frame
10	Cement Fibre Board Planks Siding (Charcoal Grey Color)
11	Cedar Metal Panel Finish
12	Cement Fibre Board Planks Siding (Cedar Color)



② ELEVATION -2
1" = 25'-0"



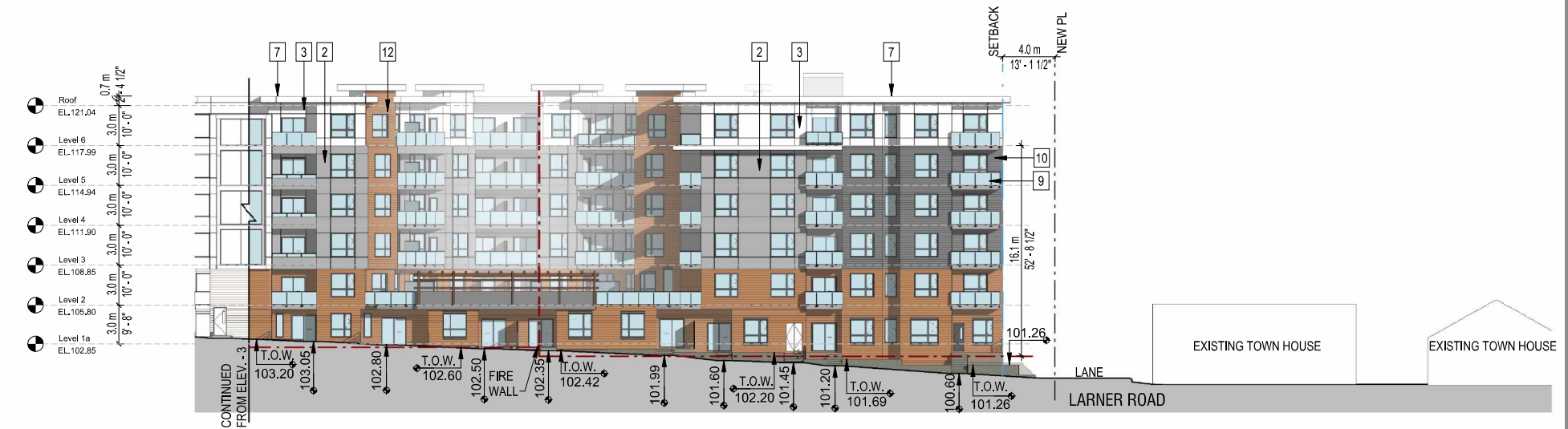
③ ELEVATION -3
1" = 25'-0"



MATERIALS	
1	Brick: velour finish (Garnet Color)
2	Cementitious wood panel board; smooth finish (Light Grey Color)
3	Cementitious wood panel board; smooth finish (White Color)
4	Cementitious wood panel board; smooth finish (Charcoal Grey Color)
5	Charcoal grey Painted Metal Baguettes (2" x 5")
6	8" x 8" Paint finish wood post c/w Black painted connection plates
7	Soprema Soprarstar roofing by Soprema with RSI .82
8	Metal Roofing Charcoal Paint Finish
9	Tempered Glass c/w Black Painted Alum Frame
10	Cement Fibre Board Planks Siding (Charcoal Grey Color)
11	Cedar Metal Panel Finish
12	Cement Fibre Board Planks Siding (Cedar Color)



REV	DESCRIPTION	BY	DATE



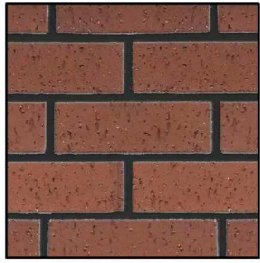
④ ELEVATION -4
1" = 25'-0"



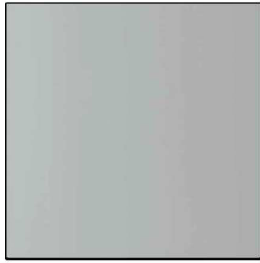
DATE	25/03/2024
PROJECT NO:	20-227
SCALE:	As indicated
DRAWN BY:	R.W.
DATE	
BY	
REV	
DESCRIPTION	



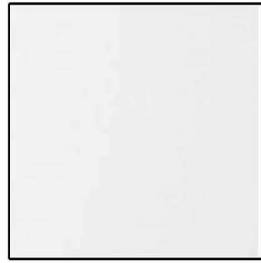
MATERIALS	
1	Brick: velour finish (Garnet Color)
2	Cementitious wood panel board; smooth finish (Light Grey Color)
3	Cementitious wood panel board; smooth finish (White Color)
4	Cementitious wood panel board; smooth finish (Charcoal Grey Color)
5	Charcoal grey Painted Metal Baguettes (2" x 5")
6	8" x 8" Paint finish wood post c/w Black painted connection plates
7	Soprema Soprarstar roofing by Soprema with RSI .82
8	Metal Roofing Charcoal Paint Finish
9	Tempered Glass c/w Black Painted Alum Frame
10	Cement Fibre Board Planks Siding (Charcoal Grey Color)
11	Cedar Metal Panel Finish
12	Cement Fibre Board Planks Siding (Cedar Color)



1 Brick, Velour finish (Garnet Color)



2 Cementitious wood panel board; smooth finish (Light Grey Color)



3 Cementitious wood panel board; smooth finish (White Color)



4 Cementitious wood panel board; smooth finish (Charcoal Grey Color)



5 Charcoal grey Painted Metal Baguattes (2" x 5")



6 8" x 8" Paint finish wood post c/w Black painted connection plates



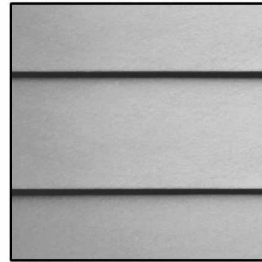
7 Soprema Soprastar roofing by Soprema with RSI .82



8 Metal Roofing Charcoal Paint Finish



9 Tempered Glass c/w Black Painted Alum Frame



10 Cement Fibre Board Planks Siding Charcoal Grey Color



11 Cedar Metal Panel Finish



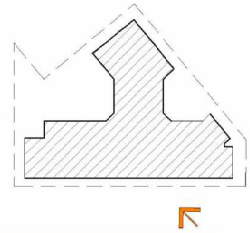
12 Cement Fibre Board Planks Siding Cedar Color



MATERIALS	
1	Brick: velour finish (Garnet Color)
2	Cementitious wood panel board; smooth finish (Light Grey Color)
3	Cementitious wood panel board; smooth finish (White Color)
4	Cementitious wood panel board; smooth finish (Charcoal Grey Color)
5	Charcoal grey Painted Metal Baguattes (2" x 5")
6	8" x 8" Paint finish wood post c/w Black painted connection plates
7	Soprema Soprastar roofing by Soprema with RSI .82
8	Metal Roofing Charcoal Paint Finish
9	Tempered Glass c/w Black Painted Alum Frame
10	Cement Fibre Board Planks Siding (Charcoal Grey Color)
11	Cedar Metal Panel Finish
12	Cement Fibre Board Planks Siding (Cedar Color)



DATE	25/03/2024		
PROJECT NO:	20-227		
SCALE:	As indicated		
DRAWN BY:	R.W.		
REV	DESCRIPTION	DATE	BY



VIEW FROM 108TH AVE



PROJECT INFO:
Apartment Building at 13764, 13758
Larner Rd 13733 13753 108 Ave.
Surrey BC
CLIENT:
1255541 BC LTD.

DATE
25/03/2024

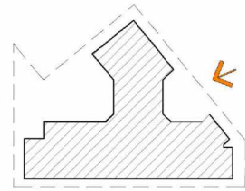
PROJECT NO:
20-227

SCALE: 1" = 160'-0" **DRAWN BY:** R.W.

REV	DESCRIPTION	BY	DATE

3D View 1

A.B.601



VIEW FROM LARNER ROAD



PROJECT INFO:
Apartment Building at 13764, 13758
Larner Rd 13733 13753 108 Ave.
Surrey BC
CLIENT:
1255541 BC LTD.

DATE
25/03/2024

PROJECT NO:
20-227

SCALE: 1" = 160'-0" **DRAWN BY:** R.W.

REV	DESCRIPTION	BY	DATE

3D View 3

A.B.603

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PMG PROJECT NUMBER: 23-135	PLANTED SIZE / REMARKS
10		ACER RUBRUM 'KARRICK'	COLUMNAR KARRICK MAPLE		6CM CAL; 2M STD; B&B
5		GLEDITSIA T. INERMIS 'SUNBURST'	SUNBURST HONEY LOCUST		6CM CAL; 2M STD; B&B
3		AMELANCHIERA GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY		5CM CAL; 1.8M STD; B&B
3		BETULA JACQUEMONTII	HIMALAYAN BIRCH		6CM CAL; 2M STD; B&B
3		CHAMAECYPARIS NODIKATENSIS 'PENDULA'	WEeping NODIKA CYPRESS		2.5M HT; B&B
4		PARROTIA PERSIKA VANESSA	VANESSA PERSIAN IRONWOOD		5CM CAL; 1.8M STD; B&B
5		PRUNUS SERRULATA 'PINK PERFECTION'	PINK PERFECTION FLOWERING CHERRY		6CM CAL; 1.5M STD; B&B
5		STYRAX JAPONICUS	JAPANESE SNOWBELL		5CM CAL; 1.8M STD; B&B

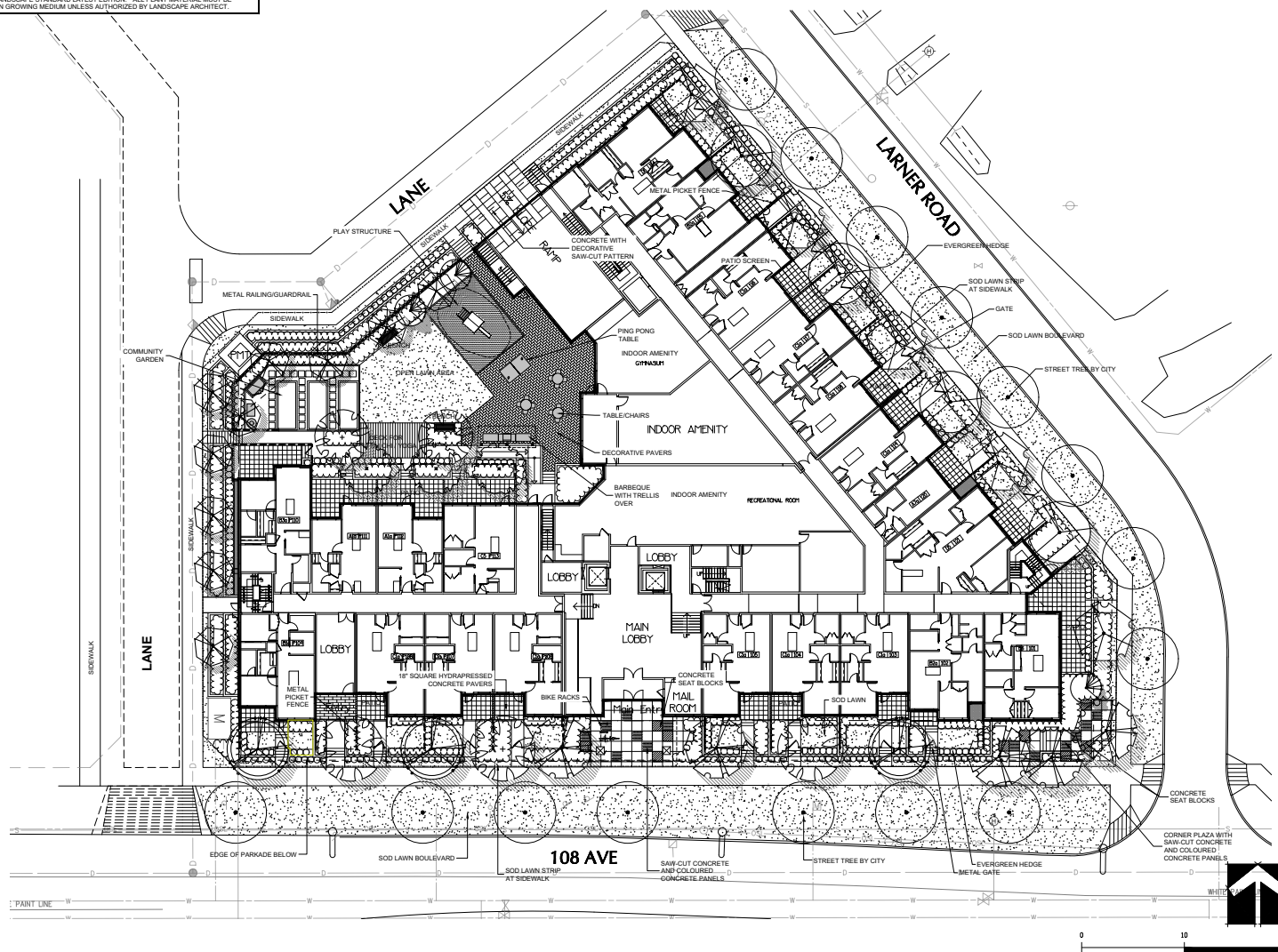
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. * DEFINITION OF AVAILABILITY: * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.



Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p. 604 294-0011 f. 604 294-0022

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	24 FEB 16	NEW SITE / CITY COMMENTS	DO
1	24 JAN 16	NEW OFFICE CONSULTINGS	DO
2	24 JAN 16	NEW SITE PLAN	DO
1	23 OCT 15	NEW SITE PLAN	DO

CLIENT:

PROJECT:

APARTMENT BUILDING
13764, 13758 LARNER ROAD
13733, 13753 108TH AVENUE
SURREY, BC

DRAWING TITLE:
GROUND LEVEL LANDSCAPE PLAN

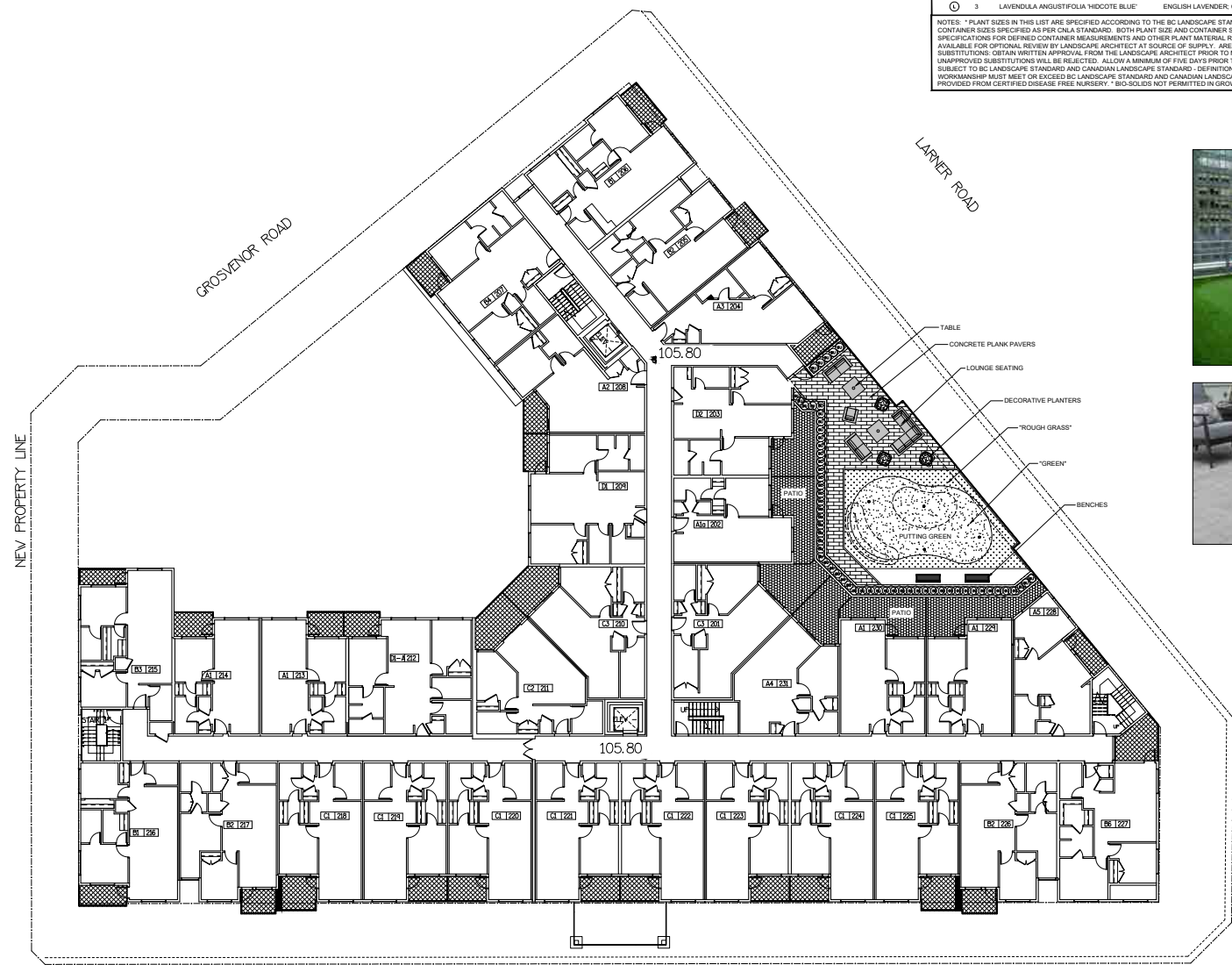
DATE: 23 JUL 14 DRAWING NUMBER:
SCALE: 1:200
DRAWN: DO
DESIGN: DO
CHKD: MCV OF 7

L1

SEAL:

PLANT SCHEDULE				PMG PROJECT NUMBER: 23-135
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
⊖	58	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM
GRASS				
⊙	12	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
PERENNIAL				
⊕	3	LAVENDULA ANGSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER; COMPACT; DEEP PURPLE	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. * DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



NO.	DATE	REVISION DESCRIPTION	DR.
1	24 FEB 16	NEW SITE / CITY COMMENTS	DO
1	24 JAN 16	NEW OFFICE CONSULTINGS	DO
1	24 JAN 09	NEW SITE PLAN	DO
1	23 OCT 19	NEW SITE PLAN	DO

CLIENT:

PROJECT:

APARTMENT BUILDING
13764, 13758 LARNER ROAD
13733, 13753 108TH AVENUE
SURREY, BC

DRAWING TITLE:
2ND LEVEL LANDSCAPE PLAN

DATE: 23 JUL 14 DRAWING NUMBER:
SCALE: 1:150
DRAWN: DO
DESIGN: DO
CHKD: MCY

L6

OF 7



**TO: Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Review Manager, Engineering Department

DATE: April 01, 2024

PROJECT FILE: 7822-0073-00

**RE: Engineering Requirements
Location: 13758 & 13764 - Larner Road and 13733, 13753 & 13773 - 108 Avenue
OCP AMENDMENT**

The following issues are to be addressed as a condition of the OCP Amendment:

The applicant is required to complete a sanitary sewer capacity analysis downstream of the subject application due to the proposed Land use plan amendment which will result in increased population and subsequent sanitary demand. The applicant will be required to resolve any downstream pipe capacity constraints.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate various widths along Larner Road to achieve ultimate road allowance;
- Dedicate 3.808 m along 108 Avenue to achieve ultimate road allowance;
- Register 0.5 m statutory right-of-way (SRW) along Larner Road and 108 Avenue frontages;
- Dedicate 3.0 m x 3.0 m corner cut at 108 Ave and Larner Road;
- Dedicate 3.0 m x 3.0 m corner cut at lane intersection with 108 Avenue;
- Dedicate 5.5 m x 5.5 m corner cut at lane to lane intersection; and
- Dedicate 1.0 m x 1.0 m corner cut at lane intersection with Larner Road.

Works and Services

- Construct the west side of Larner Road;
- Construct the north side of 108 Avenue;
- Construct bus stop along 108 Avenue;
- Construct residential lanes;
- Construct proposed access to the site;
- Construct adequately-sized service connections (drainage, water, and sanitary), to each lot; and
- Construct/upgrade required fronting servicing mains (drainage, water, and sanitary) in order to service the site.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Janelle Frank, P.Eng.
Development Review Manager

M51

APPENDIX III



Department: **Planning and Demographics**
 Date: **March 13, 2024**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **22 0073 00**

The proposed development of **176** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	28
---	----

Projected Number of Students From This Development In:	
Elementary School =	16
Secondary School =	7
Total Students =	23

Current Enrolment and Capacities:	
Forsyth Road Elementary	
Enrolment	427
Operating Capacity	317
# of Portables	6
Kwantlen Park Secondary	
Enrolment	1594
Operating Capacity	1200
# of Portables	16

Summary of Impact and Commentary

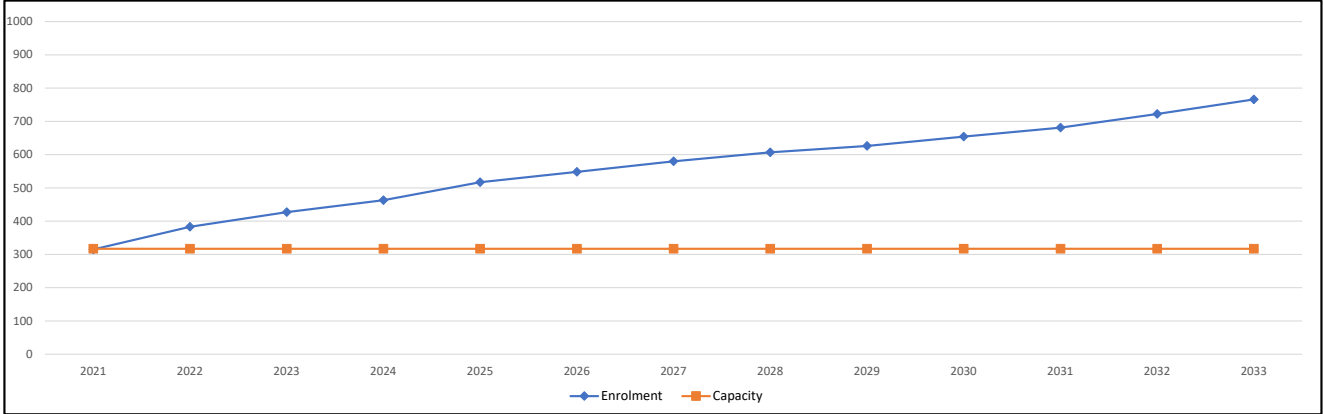
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

Forsyth Road Elementary serves northern city centre neighborhood community and students. Given the densification of the City Centre surroundings, the school is projected to double its current student enrolment over the next 10 years, indicating a strong case for an addition to the school.

The Ministry of Education has supported the District's capital request to plan and create a business case for a new 8-classroom capacity addition. No funding has been approved to move the project into design and construction. The addition is targeted to open 2029.

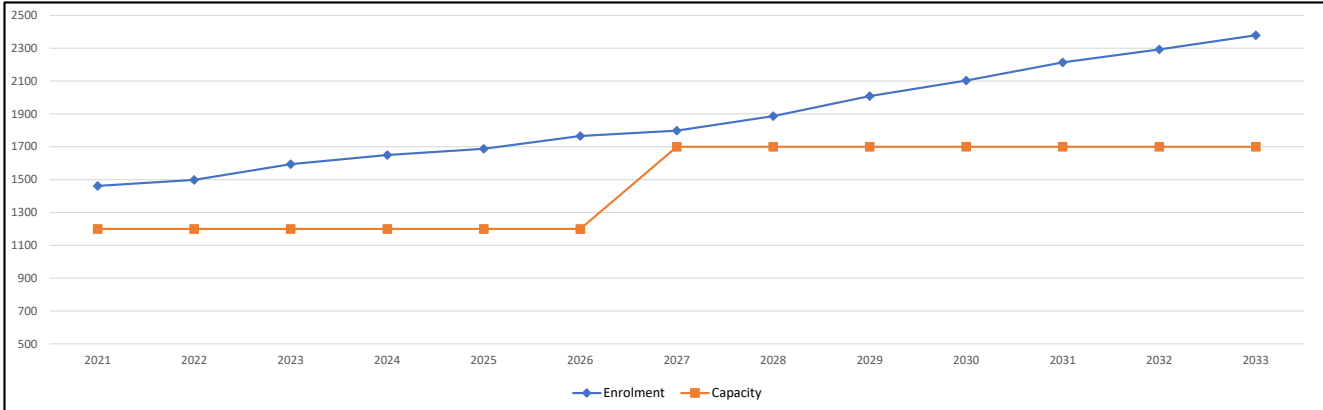
As of September 2023, Kwantlen Park Secondary is currently operating at 133% with 16 portables on site used for enrolling classes and is projected to grow significantly over the next 10 years. This school will also be impacted by timing of future high-rise development in the area. In February 2023, the District has received capital funding approval from the Ministry to build a 500-capacity addition, targeted to open in the fall of 2027. However additional measures will also be required to address the future growth.

Forsyth Road Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Kwantlen Park Secondary

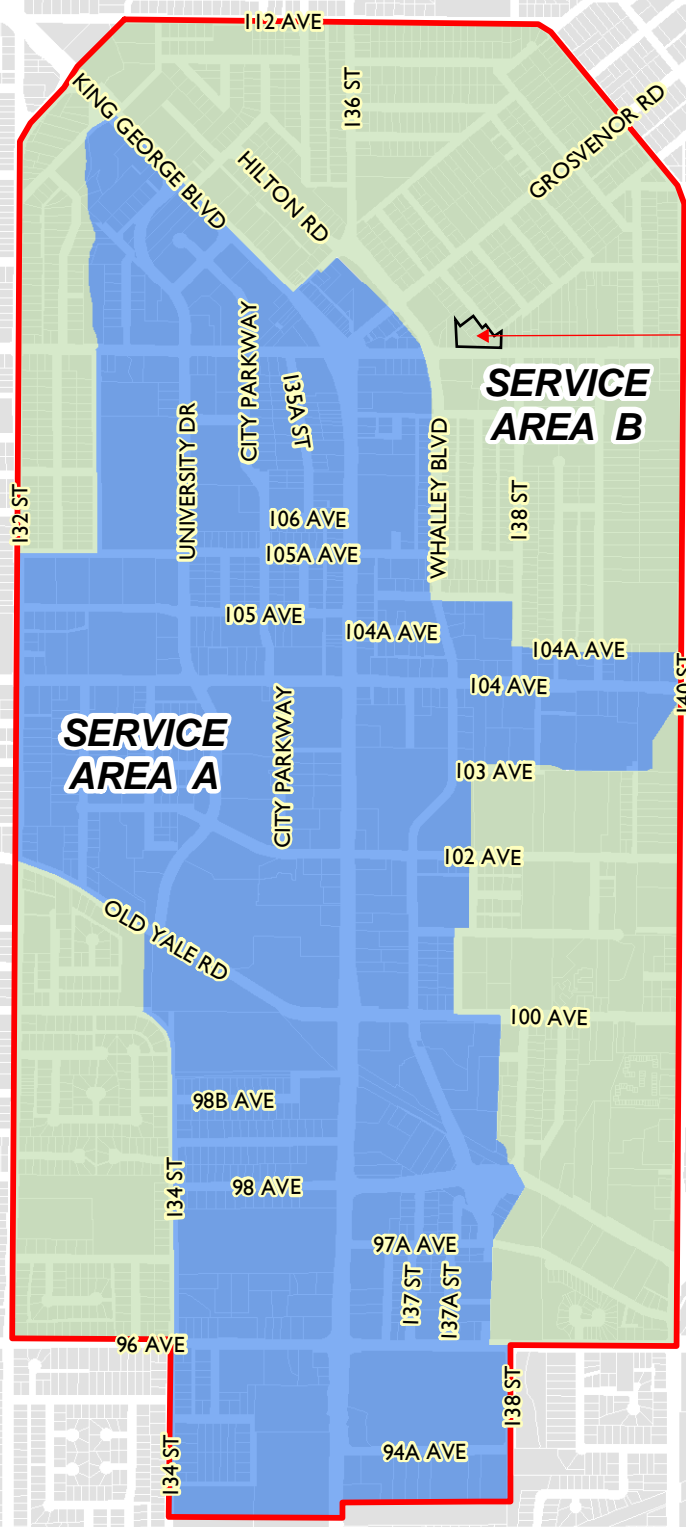
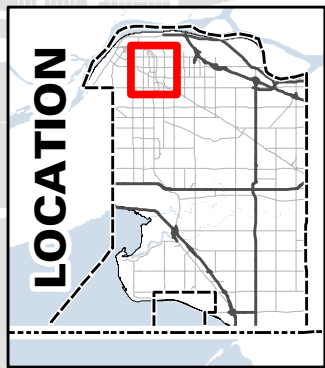


Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population : The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

APPENDIX V



LEGEND

- Service Area A
- Service Area B
- City Centre Boundary

Produced by GIS Section: May 31, 2012, CS/AW8



**DISTRICT ENERGY SERVICE AREA
(SERVICE AREA A & SERVICE AREA B)**

**ENGINEERING
DEPARTMENT**

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.

CITY OF SURREY

BYLAW NO. 21198

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".

Legal: As described in Appendix "A".

PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 199 (CD 199), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)
and ASSEMBLY HALL 1 ZONE (PA-1)
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 199" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 199"	(a) 13773 - 108 Avenue (b) 13753 - 108 Avenue (c) 13733 - 108 Avenue (d) 13758 Lerner Road (e) 13764 Lerner Road	(a) Lot 1, Plan 6002 (b) Parcel "A" of Lot 1, Plan 6002 and Lot 3, Plan 4269 (c) Parcel "2", Plan 7904 (d) Lot 8, Plan 13580 (e) Lot 9, Plan 13580	21198	N/A"

2. This By-law shall be cited for all purposes as "Surrey Comprehensive Development Zone 199 (CD 199), Bylaw, 2024, No. 21198".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 199 (CD 199)

In this Comprehensive Development Zone 199 (CD 199), **Part 24, Multiple Residential 70 Zone (RM-70)**, as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
13773 - 108 Avenue	Lot 1 Except: Firstly: Parcel "A" (Explanatory Plan 12535), Secondly: Parcel "B" (Explanatory Plan 12716), Thirdly: Part on Plan with Bylaw Filed 61817; Section 14 Block 5 North Range 2 West NWD Plan 6002	011-184-353
13753 - 108 Avenue	Parcel "A" (Explanatory Plan 12535) of Lot 1 Plan 6002 and of Lot 3 Block "A" Plan 4269 Section 14 Block 5 North Range 2 West Except: Part on Plan with Bylaw Filed 61817, NWD	014-034-492
13733 - 108 Avenue	Parcel "2" (Explanatory Plan 10052) Lot "B" Except: Firstly: Parcel "One" (Explanatory Plan 11090) Secondly: Part on Plan with Bylaw Filed 61817; Section 14 Block 5 North Range 2 West NWD Plan 7904	011-272-091
13758 Larner Road	Lot 8 Section 14 Block 5 North Range 2 West NWD Plan 13580	009-847-944
13764 Larner Road	Lot 9 Section 14 Block 5 North Range 2 West NWD Plan 13580	009-847-961

(collectively the "Lands")

except as follows:

1. Intent

Delete Section "A. Intent" and replace it with a new Section "A. Intent." as follows:

"A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density*, medium rise, *multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*."

2. Density

Delete Section "D. Density" and replace it with a new Section "D. Density" as follows:

"D. Density

1. Maximum Density:

Maximum *density* shall be as follows:

- (a) 1 *dwelling unit*; and
- (b) The lesser of *floor area ratio* of 0.1 or *building area* of 300 sq. m.

2. Permitted Density Increases:

If amenity contributions are provided in accordance with Schedule G, *density* may be increased as follows:

(a) Maximum *floor area ratio* of 3.10, excluding:

- i. The indoor *amenity space* requirement (pursuant to Section J.1. of this Zone); and
- ii. Up to a maximum of 170 sq. m of *the secure bicycle parking area* requirement (pursuant to Section H.4. of this Zone)."

3. Lot Coverage

Delete Section "E. Lot Coverage" and replace it with a new Section "E. Lot Coverage" as follows:

"E. Lot Coverage

The maximum *lot coverage* for all *buildings* and *structures* shall be 58%."

4. Yards and Setbacks

Delete Section "F. Yards and Setbacks" and replace it with a new Section "F. Yards and Setbacks" as follows:

"F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	Northeast <i>Yard</i>	Northwest <i>Yard</i>	South <i>Yard</i>	West <i>Yard</i>
<i>Principal and Accessory Buildings and Structures</i>	4.5 m	4.0 m	4.5 m	3.5 m

- 1 Notwithstanding Section A.3.(d) of Part 5, Off-Street Parking and Loading/Unloading, *parking-underground* may be located up to 0.5 m of any *lot line*.
- 2 Notwithstanding the definition of *setback* in Part 1, Definitions, roof overhangs, vertical fins, *balconies* and canopies may encroach up to 1.5 m into the required *setbacks*.
- 3 Notwithstanding Section A.26.(b) of Part 4, General Provisions, stairs with more than three risers may encroach into the *setbacks*."

5. Height of Buildings

Delete Section "G. Height of Buildings" and replace it with a new Section "G. Height of Buildings" as follows:

"G. Height of Buildings

1. Principal Buildings:
Principal building height shall not exceed 22 m.
2. Accessory Buildings:
Accessory building height shall not exceed 4.5 m.
3. Structures:
Structure height shall not exceed 4.5 m."

6. Off-Street Parking and Loading/Unloading

Delete Section "H. Off-Street Parking and Loading/Unloading" and replace it with a new Section "H. Off-Street Parking and Loading/Unloading" as follows:

"H. Off-Street Parking and Loading/Unloading

1. Parking Calculations:
Refer to Table D.1. of Part 5 Off-Street Parking and Loading/Unloading.
(a) Notwithstanding Table D.1. of Part 5 Off-Street Parking and Loading/Unloading, resident *parking spaces* shall be provided at a rate of 0.9 *parking spaces* per *dwelling unit* and visitor *parking spaces* shall be provided at a rate of 0.1 *parking space* per *dwelling unit*.
2. Tandem Parking:
Tandem parking is not permitted.
3. Underground Parking:
All required resident *parking spaces* shall be provided as *parking - underground*.
4. Bicycle Parking:
A *secure bicycle parking area* shall be provided in a separate bicycle room located within a *building*, whether located at or above *finished grade*, with convenient access to the outside of the *building*."

7. Special Regulations

Delete Section "J. Special Regulations" and replace it with a new Section "J. Special Regulations" as follows:

"J. Special Regulations

1. Amenity Spaces:

Amenity space, subject to Section B.6. of Part 4, General Provisions, shall be provided on the *lot* as follows:

(a) Outdoor *amenity space* in the amount of:

- i. 3.0 sq. m per *dwelling unit*; and
- ii. 1.0 sq. m per *lock-off suite*; and
- iii. 4.0 sq. m per *micro unit*;

(b) Outdoor *amenity space* shall not be located within the required *setbacks*;

(c) Indoor *amenity space* in the amount of:

- i. 3.0 sq. m per *dwelling unit*; and
- ii. 1.0 sq. m per *lock-off suite*; and
- iii. 4.0 sq. m per *micro unit*; and

(d) Indoor *amenity space* devoted to a *child care centre* shall be a maximum of 1.5 sq. m per *dwelling unit*.

2. Child Care Centres:

Child care centres shall be located on the *lot* such that these centres:

- (a) Have direct access to an *open space* and play area within the *lot*; and
- (b) Do not exceed a total area of 3.0 sq. m per *dwelling unit*.

3. Balconies:

Balconies are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 sq. m per *dwelling unit*, whichever is greater."

H - 9

ACTION REQUIRED: 1st, 2nd and 3rd Readings

TYPE: OCP / Zoning Amendment / DP

PURPOSE: Bylaw No. 21210
To amend OCP Figure 3: General Land Use Designations for the subject site from Urban to Multiple Residential and to amend OCP Table 7a: Land Use Designations Exceptions by permitting a density of up to 2.40 FAR.

Bylaw No. 21211
RF to CD – to develop a 6-storey apartment building with approximately 157 dwelling units and underground parking on a consolidated site.

LOCATION: 6280 and 6292 – 192 Street

PROCESSING DATES:

Bylaw No. 21210
April 8, 2024 - Proceed to Public Notification: Carried RES.R24-555
Approved to Proceed: Planning Report No. 7923-0012-00

Bylaw No. 21211
April 8, 2024 - Proceed to Public Notification: Carried RES.R24-555
Approved to Proceed: Planning Report No. 7923-0012-00

DEVELOPMENT PERMIT

April 8, 2024 - Authorize to Draft: Carried RES.R24-555

NOTICE OF REZONING BYLAW

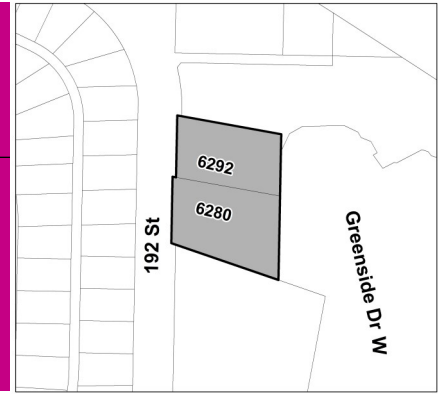
Surrey City Council will hold an **electronic** meeting

MONDAY, APRIL 22, 2024

STARTING AT 7PM

View the livestream at surrey.ca or at City Hall

13450 — 104 Avenue



Notice is hereby given that the proposed rezoning bylaws "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21210" and "Surrey Comprehensive Development Zone 201 (CD 201), Bylaw, 2024, No. 21211" will be read for the first time by the City of Surrey Council at the Council Meeting on April 22, 2024, for the purposes of potential adoption.

In accordance with Section 464 of the *Local Government Act*, no public hearing is permitted for applications that are consistent with the Official Community Plan and are primarily residential.

Planning Report - Application No. 7923-0012-00

Location: 6280 and 6292 – 192 Street

Purpose of Bylaw: The applicant is requesting to amend the Official Community Plan (OCP) Figure 3: General Land Use Designations from Urban to Multiple Residential and to amend OCP Table 7a: Land Use Designation Exceptions by permitting a density of up to 2.40 FAR for the site shown shaded in grey on the location map. The proposal also includes rezoning the same site from Single Family Residential Zone to Comprehensive Development Zone in order to develop a 6-storey apartment building with approximately 157 dwelling units and underground parking on a consolidated site.

OWNER/OCCUPANT



Office of the City Clerk
13450 – 104 Avenue,
Surrey, BC V3T 1V8
Canada

QUESTIONS FOR THE PLANNER:

Email planning staff at planningdevelopment@surrey.ca if you have any questions regarding this application. For information about the application visit surrey.ca.

City Hall is open Monday to Friday 8:30am-4:30pm except statutory holidays.

COMMENTS TO COUNCIL:

Your comments on this application must be received in writing by 12:00 noon on Council day, for Council's consideration. There are no speaking opportunities.

Webform: surrey.ca

Email: clerks@surrey.ca

Mail: Office of the City Clerk at the address above

Fax: 604-501-7578

WATCH THE COUNCIL MEETING:

View the livestream at surrey.ca or at City Hall, 13450 —104 Avenue.

INTER-OFFICE MEMO

**Regular Council - Land Use
E.1 7923-0012-00
Monday, April 8, 2024
Supplemental Information**

TO: City Clerk, Legislative Services Division

FROM: Chief Development Approvals Officer

DATE: March 14, 2024

FILE: 7923-0012-00

**RE: Agenda Item B.6., March 11, 2024 Regular Council – Land Use Meeting
Development Application No. 7923-0012-00**

Development Application No. 7923-0012-00 proceeded to Council at the March 11, 2024 Regular Council – Land Use Meeting and received First/Second Reading under Item B.6. At the meeting, Council passed a motion (Resolution Nos. R24-439 and R24-442) to schedule the Public Hearing for the associated Rezoning and OCP Amendment Bylaws for April 8, 2024 at 7:00 p.m.

Under the new Provincial legislation, changes enacted through Bill 44 “Housing Statutes (Residential Development) Amendment Act” and Bill 47 “Housing Statutes (Transit-Oriented Areas) Amendment Act”, a Public Hearing is prohibited for OCP consistent rezoning bylaws if the proposed development is primarily residential in nature.

Under these bills, projects that comply with the new Housing Statutes legislation can proceed to Council without aligning with the OCP and without a Public Hearing until December, 2025. For those development applications that do not require a Public Hearing, the municipality must give notice, prior to First Reading of the associated bylaws, and the public notice must be published in accordance with Section 94 of the Community Charter.

Given that Development Application No. 7923-0012-00 is for a residential land use and the proposed density is fully compliant with Bill 47, staff have determined that a Public Hearing is not permitted under the new Provincial legislation. As a result, it is not in order for Development Application No. 7923-0012-00 to proceed to the Regular Council – Public Hearing scheduled for April 8, 2024.

In order to correct this error, Council, at the Regular Council – Land Use meeting on April 8, 2024, is requested to:

1. File OCP Amendment Bylaw No. 21193 to redesignate the subject site from “Urban to Multiple Residential” (Resolution Nos. R24-437, R24-438 and R24-439);
2. File Rezoning Bylaw No. 21194 rezoning the subject site from RF to CD (based on RM-70) (Resolution Nos. R24-440, R24-441 and R24-442);

3. Introduce an OCP Amendment Bylaw to:
 - a. amend the OCP Figure 3: General Land Use Designations for the subject site from “Urban” to “Multiple Residential”; and
 - b. amend Table 7a: Land Use Designation Exceptions within the Multiple Residential designation by adding site specific permission for the subject site to permit a density of up to 2.40 FAR (net density calculation)

and Council endorse the Public Notification to proceed for this By-law; as well as

4. Council endorse the Public Notification to proceed for a Bylaw to rezone the subject site from “Single Family Residential Zone (RF)” to “Comprehensive Development Zone (CD)”.

The By-laws could then be considered by Council for First, Second, and Third Reading at the April 22, 2024 Regular Council – Public Hearing meeting.

The notice of Public Hearing for Development Application No. 7923-0012-00 should not proceed and a note on the City website should be added under Development Application No. 7923-0012-00 to advise that a Public Hearing for this Application is not in order.

The applicant will be advised accordingly.

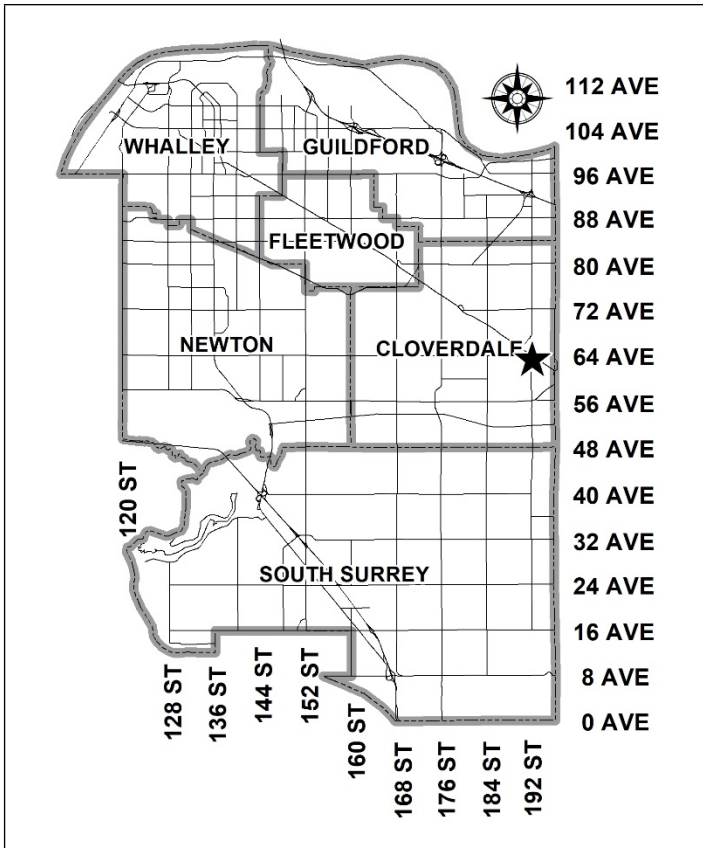


Ron Gill
Chief Development Approvals Officer

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0012-00

Planning Report Date: March 11, 2024



PROPOSAL:

- **OCF Amendment** from Urban to Multiple Residential
- **OCF Text Amendment** to allow a higher density in the Multiple Residential designation
- **Rezoning** from RF to CD (based on RM-70)
- **Development Permit**

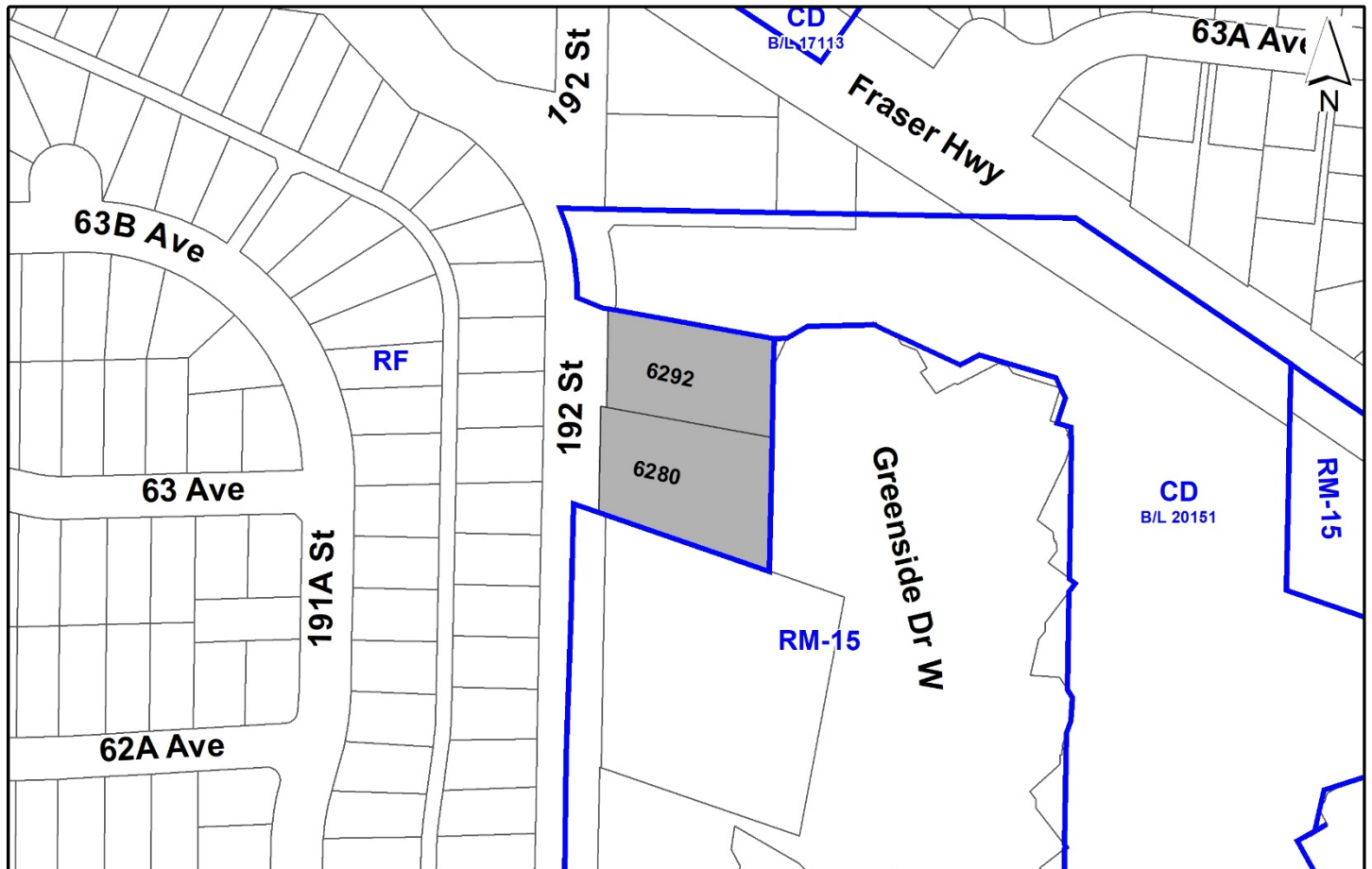
to permit the development of a 6-storey apartment building with approximately 157 dwelling units and underground parking on a consolidated site.

LOCATION: 6280 – 192 Street

6292 – 192 Street

ZONING: RF

OCF DESIGNATION: Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment;
 - OCP Text Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposed amendment to the Official Community Plan (OCP) from “Urban” to “Multiple Residential” and a text amendment to increase the maximum density permitted in the Multiple Residential designation.

RATIONALE OF RECOMMENDATION

- The proposed amendment to the OCP from “Urban” to “Multiple Residential” and proposed text amendment to the OCP is required to achieve the proposed 6-storey apartment building at a density higher than that currently permitted in the Multiple Residential designation. The OCP Amendment is considered to have merit given the proximity of the subject site to transit service along Fraser Highway (a Frequent Transit Network [FTN]) as well as a future SkyTrain station located at the intersection of 190 Street and Fraser Highway.
- The subject site is located within 150 metres of an existing bus stop and 660 metres of a future SkyTrain station. As such, the proposed density and built form are appropriate for a “Multiple Residential” re-designated site. In addition, the proposal supports the goal of achieving higher density development along transit corridors.
- The proposed apartment building is attractive, well-designed and utilizes high-quality, natural materials as well as contemporary lines. The applicant is proposing reduced building setbacks that benefit the streetscape by providing connectivity to the street. Appropriate landscaping is provided along the street frontage which helps to promote a pedestrian friendly environment and positive urban experience between the proposed building and public realm.

RECOMMENDATION

The Planning & Development Department recommends that:

1. An OCP Amendment Bylaw be introduced to:
 - (a) amend the OCP Figure 3: General Land Use Designations for the subject site from "Urban" to "Multiple Residential"; and
 - (b) amend Table 7a: Land Use Designation Exceptions within the Multiple Residential designation by adding site specific permission for the subject site to permit a density of up to 2.40 FAR (net density calculation)and a date be set for Public Hearing.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7923-0012-00 for Form and Character, generally in accordance with the attached drawings (Appendix II).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) the applicant is required to dedicate, as road and without compensation, the gazetted road which consists of the westerly 10.058 metres of 192 Street and extends from the north end of 6140 – 192 Street to Fraser Highway;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;

- (h) submission of a finalized Geotechnical Report to the satisfaction of City staff;
- (i) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
- (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant parcel and single family residential dwelling	Urban	RF
North:	Vacant portion of parent parcel currently under application for rezoning and subdivision from one lot into three lots (7924-0006-00). The application was granted Third Reading by Council on February 26, 2024. Staff are also processing a Detailed DP application for three 5-storey apartment buildings (7922-0047-00). This application is currently pre-Council.	Multiple Residential	CD (Bylaw No. 20151)
East:	Multi-family residential (Greenside Estates)	Urban	RM-15
South:	Multi-family residential	Urban	RM-15
West (Across 192 Street):	Single family residential	Urban	RF

Context & Background

- The subject properties are approximately 0.55 hectare in total area and located on the east side of 192 Street, just south of Fraser Highway.
- The subject site is designated "Urban" in the Official Community Plan (OCP) and zoned "Single Family Residential Zone (RF)". One property is currently vacant while the other is occupied by a single-family residential dwelling.

- The site is highly sloped from northwest to southeast which results in a roughly 12 metre grade difference across the subject properties. In response, the applicant has attempted to address the grade change by stepping the building while providing an appropriate interface with adjacent land-uses.
- Council previously granted Third Reading to Development Application No. 7918-0253-00 on the subject site which involved an OCP Amendment from “Urban” to “Multiple Residential”, Rezoning from “Single Family Residential Zone (RF)” to “Multiple Residential 30 Zone (RM-30)”, consolidation of two lots into one lot and a Development Permit to allow for a 39-unit stacked townhouse development. The application was subsequently closed with submission of the current application (No. 7923-0012-00) for a 6-storey apartment building with underground parking.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of a 6-storey residential building consisting of 157 dwelling units with underground parking on a consolidated site, the applicant proposes the following:
 - OCP Amendment from “Urban” to “Multiple Residential”;
 - OCP Text Amendment to allow a higher density of 2.40 FAR in the Multiple Residential designation for the site;
 - Rezoning from “Single Family Residential Zone (RF)” to “Comprehensive Development Zone (CD)” (based on the “Multiple Residential 70 Zone [RM-70]”);
 - Development Permit for Form and Character; and
 - Subdivision/consolidation from two (2) lots into one (1) lot.
- Development details are provided in the following table:

	Proposed
Lot Area	
Gross Site Area:	5,511.41 sq. m.
Road Dedication:	311.24 sq. m.
Undevelopable Area:	N/A
Net Site Area:	5,200.17 sq. m.
Number of Lots:	2 (existing) 1 (proposed)
Building Height:	23 m.
Unit Density:	N/A
Floor Area Ratio (FAR):	2.22 (Gross)/2.36 (Net)
Floor Area	
Residential:	12,247.1 sq. m.
Commercial:	N/A
Total:	12,247.1 sq. m.
Residential Units:	
1-Bedroom:	11 dwelling units
1-Bedroom plus den:	70 dwelling units

	Proposed
2-Bedroom:	55 dwelling units
2-Bedroom plus den:	6 dwelling units
3-Bedroom:	15 dwelling units
Total:	157 dwelling units

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: The School District has advised that there will be approximately 24 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

14 Elementary students at Latimer Road Elementary School
6 Secondary students at Clayton Heights Secondary School

(Appendix IV)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Summer, 2026.

Parks, Recreation & Culture: No concerns.

The closest active park is East View Park with amenities that include walking paths and a playground. It is located roughly 1,000 metre walking distance from the subject site. The closest park with natural area is 69M – Greenbelt which is 750 metres walking distance from the proposed development.

Building Division: No concerns.

Surrey Fire Department: Surrey Fire Service (SFS) comments are pending. The applicant will be required to address any SFS requirements prior to final approval.

Transportation Considerations

Road Network and Infrastructure

- The applicant will be required to provide the following road frontage improvements to support the subject proposal:

- Dedication of 192 Street to the City's arterial road standard; and
- Construction of a new sidewalk along the east side of 192 Street.

Traffic Impacts

- The subject proposal is anticipated to generate approximately one vehicle trip per minute in the peak hour, based on industry standard rates. The proposal is below the City's threshold for requiring a site-specific transportation impact analysis.

Access and Parking

- The subject site is proposed to be accessed via 192 Street.
- The applicant is proposing to provide a total of 251 parking spaces on site, meeting the Zoning Bylaw requirements.

Transit

- The subject site is located within close proximity to a Frequent Transit Network (FTN) along Fraser Highway, roughly 150 metres from an existing bus stop (#502 – Surrey Central Station to Langley Centre and #503 – Surrey Central Station to Langley Centre/Aldergrove) as well as approximately 660 metres from a future SkyTrain Station (192 Street Station).
- The proposed development is appropriate for this part of Fraser Highway and conforms with the goal of achieving higher density development in locations that benefit from direct access to frequent transit service.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject property is designated "General Urban" in the Regional Growth Strategy (RGS).
- The proposed development complies with the General Urban RGS designation.

Official Community Plan

Land Use Designation

- The subject site is designated "Urban" in the Official Community Plan (OCP).

- In accordance with the OCP, the “Urban” Designation will support a maximum unit density of 72 units per hectare (30 units per acre) for sites located within a Frequent Transit Development Area (FTDA), or that abut a Frequent Transit Network, or located within an Urban Centre and or where specifically noted in an approved Secondary Plan Area.
- The proposed 6-storey apartment form and density cannot be accommodated under the Urban designation and, as such, an OCP Amendment from Urban to Multiple Residential is required to accommodate the proposal.

Amendment Rationale

- In the OCP, the “Multiple Residential” designation allows a maximum density of 1.5 FAR. For sites located within a Frequent Transit Development Area (FTDA) or Urban Centre, that abut a FTN or where specifically permitted in a Secondary Land-Use Plan, a maximum density of 2.5 FAR is permitted.
- Given that the subject site does not meet the criteria that would allow a maximum density of 2.5 FAR, the applicant is proposing a Text Amendment to the OCP to increase the maximum permitted density under the Multiple Residential designation from 1.5 FAR to 2.40 FAR.
- The subject site is located within close proximity to a Frequent Transit Network (FTN) along Fraser Highway as well as within walking distance of existing transit service and future rapid transit (190 Street SkyTrain Station).
- As such, a higher density multiple residential development on the subject site is supportable given that it promotes walkability, allows for greater housing choice and complies with OCP principles that encourage higher-density developments in areas served by FTNs.

Public Consultation for Proposed OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposal will support various policies, outlined in the OCP, including the following:
 - The proposal supports transit-oriented development which includes focusing growth and increased density along frequent transit corridors which supports transit service expansion and rapid transit infrastructure investment;
 - The proposal supports directing higher density residential land-uses to locations within walking distance of neighbourhood centres, along main roads, near transit routes and adjacent to major parks or civic amenities;
 - The proposal supports the development of a low to mid-rise apartment building with a variety of unit types to support a diversity of household sizes and composition located within walking distance of existing commercial services and transit routes; and

- The proposed apartment building fronts onto 192 Street, a local road, with urban design features (e.g. outdoor balconies, ground-floor patio space, etc.) that promote a safe, welcoming public streetscape and urban public realm.

Bill 47 – Transit Oriented Development Areas

- On November 30, 2023, the Provincial Government approved “Bill 47: Housing Statutes (Transit-Oriented Areas) Amendment Act”. The intent of the legislation is to locate high-density, mixed-use development within walking distance of frequent transit service. This includes prescribing minimum building heights and densities that must be considered in reviewing proposals for increased density within Transit-Oriented Development Areas and the removal of restrictive parking minimums for off-street residential parking.
- As part of Bill 47, effective immediately, all properties located within an 800 metre radius of the future 190 Street SkyTrain Station are designated a Transit-Oriented Development Area (TODA). The minimum building height and density that must be considered by Council is based upon the proximity of each subject site to the future SkyTrain Station (i.e. within 200 metres, 200 – 400 metres and 400 – 800 metres of the 190 Street Station).
- For the subject site located at 6280/6292 – 192 Street, it is located within 400 – 800 metres of the future 190 Street SkyTrain Station and, per the TODA requirements, would be eligible for a maximum density of 3.0 FAR (Net) and 8-storey building height. The current proposal is for a 6-storey apartment building with a net FAR of 2.40, on the subject site.
- The applicant is aware that, under Bill 47, a higher density and building height could potentially be achievable on the subject site but has elected to move forward with the current proposal for a 6-storey wood-frame apartment building which provides an appropriate inter-face with existing land-uses.

Proposed CD By-law

- The applicant proposes to rezone the subject site from “Single Family Residential Zone (RF)” to “Comprehensive Development Zone (CD)” (based upon the “Multiple Residential 70 Zone [RM-70]”) in order to accommodate the proposed 6-storey apartment building. The proposed CD Bylaw for the subject site identifies the uses, densities and setbacks proposed.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD Bylaw is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Unit Density:	N/A	N/A
Floor Area Ratio:	2.0	2.2 (Gross)/2.40 (Net)
Lot Coverage:	33%	54%
Yards and Setbacks		
North Yard	7.5 m.	6.0 m.
East Yard	7.5 m.	11.0 m.
South Yard	7.5 m.	7.5 m.
West Yard	7.5 m.	4.5 m.
Principal Building Height:	50 m.	23 m.
Permitted Uses:	Multiple unit residential buildings, ground-oriented multiple unit residential buildings and child care centres	Multiple unit residential buildings, ground-oriented multiple unit residential buildings and child care centres
Amenity Space		
Indoor Amenity:	471 sq. m.	The proposed 515 m ² exceeds the Zoning By-law requirement.
Outdoor Amenity:	471 sq. m.	The proposed 474 m ² exceeds the Zoning By-law requirement.
Parking (Part 5)		
	Required	Proposed
Number of Stalls		
Residential:	220 parking spaces	220 parking spaces
Residential Visitor:	31 parking spaces	31 parking spaces
Total:	251 parking spaces	251 parking spaces
Bicycle Spaces		
Residential Secure Parking:	185 bicycle spaces	190 bicycle spaces
Residential Visitor:	6 bicycle spaces	6 bicycle spaces

- The proposed CD Bylaw is based upon the RM-70 Zone with modifications to the maximum permitted density, lot coverage, minimum building setbacks, maximum building height and location of the underground parkade relative to the lot lines.
- As the subject site is located in close proximity to a FTN, the proposed increase in density to 2.40 FAR (Net) in the CD Bylaw is supported by staff.
- The maximum lot coverage has been increased from 33% permitted under the RM-70 Zone to a maximum of 54% in the CD Bylaw to accommodate the proposed built form. The proposed lot coverage is typical for 6-storey apartment buildings on a site of this size.
- The reduced setbacks proposed on the subject site will allow for better connectivity to the street while providing a more pedestrian-friendly urban streetscape.

On-Site Parking and Bicycle Storage

- The proposed development includes a total of 251 parking stalls consisting of 220 resident parking spaces and 31 parking spaces for visitors. In addition, the applicant will provide 6 accessible parking stalls. All parking spaces are provided within an enclosed underground parkade that will be accessed from 192 Street.
- The Zoning Bylaw requires that no parking facilities be constructed within 2.0 metres of the front lot line or a lot line along a flanking street. The proposed underground parkade will be located within 0.5 metre of the street frontage. As a result, the proposed CD Zone will permit the underground parking facility to extend to 0.5 metre from all lot lines.
- The development will provide a total of 190 secure bicycle parking spaces in the underground parkade. This will meet the minimum bicycle parking spaces required under the Zoning Bylaw. In addition, the applicant will provide 6 at-grade bicycle parking stalls, which complies with the Zoning By-law requirement.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs and will be required to provide a financial contribution of \$4,272 per dwelling unit. The contributions are payable at the rate applicable at the time of Building Permit issuance.
- As noted above, the subject site is located within a Transit Oriented Development Area. Under Bill 47, the applicant could achieve a minimum density of 3.0 FAR (net) and 8-storey building height given the site is located within 400 – 800 metres of the 190 Street SkyTrain Station. As a result, there is no Tier 2 Community Specific Capital Project CAC required to address the OCP Amendment from "Urban" to "Multiple Residential" or the OCP Text Amendment to permit an increase in density under the Multiple Residential designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on February 15, 2024, and the Development Proposal Signs were installed on February 17, 2024. Staff received two (2) responses from neighbouring (*staff comments in italics*):

- Two (2) residents expressed concern about potential traffic congestion and vehicle safety, specifically at the intersection of 64 Avenue and 192 Street. One (1) resident requested that a traffic light be provided to manage vehicle traffic at this particular intersection.

(This intersection was evaluated as part of the transportation impact analysis for an adjacent development proposal [Development Application No. 7915-0393-00]. Operations at this intersection are impacted by the traffic queues at the signalized intersection of Fraser Highway and 64 Avenue, and due to the proximity of the intersections, opportunities are limited at this time to signal timing improvements. Staff will continue to monitor and evaluate for any opportunities for improvements as traffic patterns evolve.)

- One resident expressed concern about the overall building height and density of the current proposal. The resident was concerned the proposed height would negatively impact the personal privacy of adjacent homeowners and indicated a preference for a lower-density townhouse development, similar to the property directly to the south at 6238 – 192 Street, that better reflects the character of the surrounding neighbourhood.

(The subject property is located within close proximity to a Frequent Transit Network along Fraser Highway and directly adjacent to a multi-phase redevelopment consisting of ground-oriented townhouses [Development Application No. 7915-0393-00] and seven [7] 5- to 6-storey apartment buildings [Development Application Nos. 7921-0005-00 and 7922-0047-00]. City staff have worked with the applicant to provide a sensitive interface with adjacent land-uses which includes increased setbacks along the east lot line as well as a reduced building height of 5-storeys along 192 Street which provides greater privacy and an appropriate transition to existing 2- and 3-storey dwelling units to the south and west.)

DEVELOPMENT PERMITS

Hazard Lands (Steep Slope) Development Permit Requirement

- The overall elevation differential across the site is roughly 12 metres, from the northwest corner to the southeast corner. Although the site contains a slope, the gradient is less than 20%. As such, a Development Permit for Hazard Lands (Steep Slopes) is not required.

- In support of the proposed layout, the applicant submitted a geotechnical report, prepared by Harmon Dhillon, *P. Eng.*, of Braun Geotechnical Ltd. and dated August 25, 2021. The applicant is undertaking a peer review of the geotechnical report and will incorporate any changes that are identified in the peer review into the finalized geotechnical report.
- The geotechnical report investigated issues related to slope stability and natural storm water drainage, from a geotechnical perspective, to determine the feasibility of development on the site and proposed recommendations to ensure the ongoing stability of the slope.
- The geotechnical consultant has determined that the development is feasible provided that the recommendations in their report are incorporated into the overall design of the subject site.

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposal generally complies with the Form and Character Development Permit guidelines in the OCP. The applicant also worked closely with staff to ensure the proposed landscaping as well as building setbacks and overall massing provide a suitable interface while encouraging an attractive streetscape that reflects an urban public realm.

Building Design

- The applicant is proposing to construct a 6-storey apartment building consisting of 157 dwelling units with underground parking on a consolidated site.
- The unit mix is comprised of 10 one-bedroom, 71 one-bedroom plus den, 55 two-bedroom, 6 two-bedroom plus den and 15 three-bedroom dwelling units.
- The dwelling units range in size from 44 square metres for a one-bedroom to 121 square metres for the largest three-bedroom apartment.
- The applicant will provide ten percent (10%) of the dwelling units on-site as Adaptable dwelling units (16 dwelling units in total).
- The design of the building is contemporary with a flat roof. The building is comprised of a 4- to 5-storey stepped façade, along 192 Street, with a two-storey townhouse expression as well as individual entries at-grade facing the street. The uppermost storey, at the rear of the site, is stepped back to mitigate the perceived building height and massing as well as allow some additional privacy for adjacent land-uses.
- The western elevation, fronting 192 Street, incorporates a variety of façade materials including brick inlaid faces that extend to the uppermost storeys at the northwest and southwest corner which provide visual interest and anchors the building to the street. The building materials are supplemented by dark grey vinyl aluminum windows, aluminum railings, painted fiber cement panels, architectural concrete, glass and metal canopies as well as vinyl soffits.

- The building orientation ensures the units will provide strong observation of the public realm with active rooms facing toward the street which helps to address Crime Prevention Through Environmental Design (CPTED) concerns.
- The proposed building achieves an attractive architectural form, using a contemporary character with high-quality materials. The street interface has been designed to a high standard in order to achieve a positive urban experience between the proposed building and the public realm.
- All ground-floor units are elevated above the sidewalk and have front door access with usable private/semi-private outdoor space.

Signage

- The applicant is proposing an identification sign that provides the building address located along the 192 Street frontage, near the principal lobby entrance. All the proposed signage on-site will be comprised of individual channel letters and comply with the Surrey Sign Bylaw.

Indoor Amenity Space

- The proposed indoor amenity space is located at the northwest corner of the proposed 6-storey building and provides direct access to the common outdoor amenity space located within the central courtyard.
- The indoor amenity space will include a gym, theatre/TV room, meeting room and multi-purpose space.
- The proposed indoor amenity space is approximately 515 square metres in total area which exceeds the indoor amenity space requirement under the Zoning Bylaw based upon a total of 3 square metres per dwelling unit.

Outdoor Amenity Space and Proposed Landscaping

- The outdoor amenity space is located within the central courtyard and consists of an outdoor kitchen, table and chairs, lounge seating with trellis, children's playground and a community garden.
- The proposed outdoor amenity space is roughly 474 square metres which meets the minimum outdoor amenity space requirement, per the Zoning Bylaw, based on a total of 3 square metres per dwelling unit.
- The applicant has worked with staff to develop a layout that responds to grade changes on-site and addresses interface concerns by providing increased setbacks along the southern boundary as well as two-storey townhomes with tiered landscaping along the east lot line which reduces the overall visual impact of the proposed development on adjacent land-uses.
- In addition, the applicant is proposing to retain several off-site trees along the perimeter of the subject site to supplement the proposed on-site landscaping, soften the edges, minimize the building massing and provide greater privacy for adjacent land-uses.

- Each individual ground-oriented unit will have a small private patio or front yard enclosed by a 1.0 metre high glass and aluminum railing fence with a privacy gate and layered planting that consists of a by-law sized tree, small shrubs and low-lying groundcover.
- The dwelling units fronting onto 192 Street will have semi-private patio space and direct access to the adjacent sidewalk through a separate entryway.
- Each apartment unit that faces onto the street frontage will provide an “eyes-on-the street” function with active rooms facing toward the public realm.
- Exterior lighting is designed to reduce light pollution as well as provide adequate lighting to ensure community safety, in keeping with CPTED principles.

Outstanding Items

- At the Regular Council – Public Hearing Meeting on December 18, 2023, Council endorsed the recommendations in Corporate Report No. R214;2023 (“Proposed Changes to Advisory Design Panel Procedures for Development Applications”) which allows all multi-family developments that are 6-storeys or less to proceed to Council for bylaw introduction, provided the proposal is generally supported by City staff. For these projects, no review and/or comment is required by the Advisory Design Panel (ADP). The subject proposal is generally supported by Urban Design staff and, therefore, can be exempted from the ADP review process.
- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - refinement to the elevations to harmonize the architectural features and finishes;
 - design development at site and public realm interfaces to manage grade transitions and
 - clarification of proposed material finishes.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- D. Glyn Romaine, ISA Certified Arborist of VDZ + A Landscape Architects prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees			
Apple	1	1	0
Camperdown Elm	1	1	0
Eastern Dogwood	1	1	0
Japanese Maple	1	1	0
Saucer Magnolia	1	1	0
Coniferous Trees			
Deodar Cedar	2	2	0
Douglas Fir	18	18	0
Norway Spruce	1	1	0
Scotts Pine	1	1	0
Shore Pine	2	2	0
Western Red Cedar	5	5	0
Zebra Cedar	1	1	0
Total	35	35	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		46	
Total Retained and Replacement Trees Proposed		46	
Estimated Contribution to the Green City Program		\$13,200	

- The applicant further proposes to supplement the off-site tree retention with additional on-site landscaping to provide enhanced screening for adjacent land-uses.
- The Arborist Assessment states that there are a total of thirty-five (35) mature trees on the site. No on-site trees are proposed for retention, as part of this development application. The potential for on-site tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of seventy (70) replacement trees on the site. Since the applicant is proposing a total of forty-six (46) replacement trees on-site, the deficit of twenty-four (24) replacement trees will require an estimated cash-in-lieu payment of \$13,200, representing \$550 per tree, to the Green City Program, in accordance with the City’s Tree Protection By-law.

- In addition to the replacement trees, boulevard street trees will be planted on 192 Street. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Seiryu Japanese Maple, Armstrong Gold Maple, Red Kousa Dogwood, Kobus Magnolia, Persian Ironwood, Arnold Sentinel Austrian Black Pine, Scarlet Oak, Japanese Stewartia and Snow Charm Japanese Snowbell.
- In summary, a total of forty-six (46) trees are proposed to be retained or replaced on the site with an estimated contribution of \$13,200 to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix V.	OCP Redesignation Map

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

MJ/ar

APARTMENT DEVELOPMENT ON 192ND STREET

6280 & 6292 192ND STREET, SURREY, B.C.



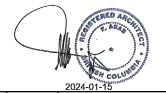
**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 9R4
TEL: (604) 887-0003 FAX: (604) 887-3033
EMAIL: info@f-adab.com

This drawing, or instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on this drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawings.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



LIST OF DRAWINGS

- A-1.0 COVER PAGE
- A-1.1 PROJECT CONTACTS LIST
- A-1.2 PROJECT STATISTICS
- A-1.3a AERIAL MAP -CONTEXT PHOTOS
- A-1.3b AERIAL MAP -CONTEXT PHOTOS
- A-1.3c AERIAL MAP -CONTEXT PHOTOS
- A-1.3d INTERFACE W/ EAST NEIGHBOR
- A-1.3f AERIAL MAP -CONTEXT PHOTOS
- A-1.4 SURVEY
- A-1.5a CIVIL BASE PLAN
- A-1.5b CIVIL GRADING PLAN
- A-1.6 SITE PLAN
- A-1.7 PERSPECTIVE VIEW
- A-1.8 PERSPECTIVE VIEW
- A-1.9 PERSPECTIVE VIEW
- A-1.10 PERSPECTIVE VIEW
- A-1.11 COLOUR ELEVATION
- A-1.12 COLOUR ELEVATION
- A-1.13 DESIGN RATIONALE
- A-1.14 DESIGN RATIONALE
- A-1.15 MATERIAL AND COLOR
- A-1.16 SHADOW STUDY
- A-2.1 FLOOR PLANS - P3
- A-2.2 FLOOR PLANS - P2
- A-2.3 FLOOR PLANS - L1/P1
- A-2.4 SECOND FLOOR
- A-2.5 THIRD FLOOR
- A-2.6 FOURTH FLOOR
- A-2.7 FIFTH FLOOR
- A-2.8 SIXTH FLOOR
- A-2.9 ROOF PLAN
- A-2.10 F.D. ACCESS ROUTE
- A-2.11 AMENITY AREA PLAN
- A-3.1 WEST ELEVATION
- A-3.2 SOUTH ELEVATION
- A-3.3 EAST ELEVATION
- A-3.4 NORTH ELEVATION
- A-3.5 COURTYARD-SOUTH
- A-3.6 COURTYARD-NORTH
- A-4.1 SECTION B-B
- A-4.2 SECTION C-C
- A-4.3 SECTION D-D
- A-4.4 SECTION E-E
- A-4.5 SECTION K-K
- A-4.6 SECTION L-L
- A-4.7 SECTION M-M
- A-4.8 SECTION P-P
- A-4.9 PARTIAL SECTION F & G
- A-4.10 PMT AND GARBAGE STAGING
- A-5.1 UNIT PLANS
- A-5.2 UNIT PLANS
- A-5.3 UNIT PLANS
- A-5.4 UNIT PLANS
- A-5.5 UNIT PLANS
- A-5.6 UNIT PLANS
- A-5.7 UNIT PLANS
- A-5.8 UNIT PLANS
- A-5.9 UNIT PLANS
- A-5.10 UNIT PLANS

CONTACT LIST:

OWNER :

BMG PROJECT CLOVERDALE INC
#201 204 CAYER ST
COQUITLAM , BC,V3K 5B1
TEL: 604-521-4300

CIVIL ENGINEER :

HUB ENGINEERING INC.
212-12992 76 AVE
SURREY, B.C. V3W 2V6
TEL : 604 572 4328
FAX : 604 501 1624

ARBORIST:

VAN DER ZALM & ASSOCIATES
1-20177 97TH AVENUE
LANGLEY, B.C. V1M 4B9
TEL : 604 882 0024
FAX : 604 882 0042

ARCHITECT :

F. ADAB ARCHITECTS INC.
130 - 1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, B.C. V7P 3R4
TEL : 604 987 3003
FAX : 604 987 3033

LANDSCAPE ARCHITECT:

VAN DER ZALM & ASSOCIATES
1-20177 97TH AVENUE
LANGLEY, B.C. V1M 4B9
TEL : 604 882 0024
FAX : 604 882 0042

CODE CONSULTANT :

MURRAY JOHNSON
212 FIFTH AVE
NEW WESTMINSTER , B.C. V3L 1R4
TEL : 604 526 3335
FAX : 604 526 3338

SURVEYOR:

GREWAL & ASSOCIATES
204-15299, 68TH AVE.
SURREY, B.C. V3S 2C1
TEL : 604 597 8567

GEOTECHNICAL:

BRAUN GEOTECHNICAL
106A - 9785 192ND STREET
SURREY, B.C. V4N 4C7
TEL : 604 513 4190
FAX : 604 513 4195

NO.	DATE	REVISION/ ISSUED
8	11/01/2024	REVISED PER URBAN DESIGN COMMENTS
7	11/19/2023	REISSUED FOR DRG
6	25/06/2023	REISSUED FOR DRG
5	25/09/2022	REVISED TO COMPLY WITH PROCEPURE ALLOWED HEIGHT
4	01/06/2022	REVISED HEIGHT FOR BUILDING & PD REVIEW
3	26/05/2022	ISSUED FOR BUILDING & PD REVIEW
2	25/12/2021	REVISED FOR PLANNING REVIEW
1	21/07/2021	REISSUED FOR PLANNING REVIEW

PROJECT TITLE:
APARTMENT DEVELOPMENT
6280 & 6292
192ND ST.
SURREY, BC.

FOR:
BMG PROJECTS CLOVERDALE INC.

DRAWING TITLE:
COVER PAGE

DATE:	Sept-22	SHEET NO:	
SCALE:	NTS		
DESIGN:	P.P		
DRAWN:	P.P		A-1.0
PROJECT NO:	-		

PROJECT STATISTICS

CIVIC ADDRESS :

6280, 192ND STREET, SURREY, BC.
6292, 192ND STREET, SURREY, BC.

LEGAL DESCRIPTION :

PARCEL "ONE" (EXPLANATORY PLAN 16739)
LOT "B" & "C" SECTION 10 TOWNSHIP 8
NWD PLAN 13184

LOT AREA :

BEFORE DEDICATION : 5511.41 SQ.M (59,324.28 SQ.FT)=1.36 ACRE
ROAD DEDICATION: 3350.13 SQ.FT
AFTER DEDICATION : 5200.17 SQ.M (55,974.15 SQ.FT)=1.28 ACRE

ZONING :

EXISTING : RF
PROPOSED : CD - (BASED ON RM-70)

FLOOR AREA :

L1/P1 FLOOR AREA : 9,755 SQ. FT.
2ND FLOOR AREA : 26,292-5,549 =20,743 SQ. FT.
(EXCLUDED INDOOR AMENITY)
3RD FLOOR AREA : 26,128 SQ. FT.
4TH FLOOR AREA : 25,698 SQ. FT.
5TH FLOOR AREA : 25,609 SQ. FT.
6TH FLOOR AREA : 23,898 SQ. FT.

TOTAL FLOOR AREA: 131,831 SQ. FT./12,247.1 SQ.M.

NUMBER OF UNITS:

157

DENSITY :

ALLOWED : 2.5
PROVIDED :

BEFORE DEDICATION : 131,831 / 59,324 = 2.222 FAR
AFTER DEDICATION : 131,831 / 55,974 = 2.355 FAR

LOT COVERAGE :

BEFORE DEDICATION : 29,378 / 59,324 = 0.495
AFTER DEDICATION : 29,378 / 55,974 = 0.525

BUILDING HEIGHT :

ALLOWED : MAX. 50M. (164')
PROPOSED : 22.8M. (74.8') : 6 STOREYS

PARKING :

REQUIRED: 1.3/UNIT FOR STUDIO AND 1 BED (81*1.3 = 105.3)
1.5/UNIT FOR 2 BED AND MORE (76*1.5 = 114.0)
TOTAL : 219.3 STALLS

0.2/UNIT FOR VISITORS (157*0.2 = 31.4)

PROVIDED: RESIDENTIAL : 220 STALLS (21 SMALL CARS)
VISITORS : 31 STALLS (5 SMALL CARS)

E.V. CHARGING STATION: 36 STALLS
16% RESIDENT PARKING STALLS (5 S.C.)

SMALL CAR: PERMITTED: 35% X 251 = 88 STALLS
PROPOSED: 26 STALLS (26 / 251 = 10%)

ACCESSIBLE STALLS :

REQUIRED: 2% OF TOTAL STALLS : 251 X 0.02 = 5.0 STALLS
PROVIDED : 5 + 1(VISITOR) STALLS

VAN ACCESSIBLE STALLS :

REQUIRED: 1/2 OF TOTAL ACCESSIBLE STALLS : 6 / 2 = 3.0
PROVIDED: 2 + 1 (OF 6 ACCESSIBLE)

BIKE :

RESIDENTIAL : VISITORS :

REQUIRED: (1.2 / UNIT) 157*1.2 = 188.4 REQUIRED : 6
PROVIDED: 190 PROVIDED : 6

SETBACKS				
	L1/P1 FLOOR	L2-L3 FLOOR	L4-L5 FLOOR	L6 FLOOR
	PROVIDED	PROVIDED	PROVIDED	PROVIDED
EAST (NEIGHBOUR)	9.0 M	7.8 M	7.8 M	11.0 M
SOUTH (NEIGHBOUR)	7.5 M MIN.	7.5 M MIN.	7.5 M MIN.	7.5 M MIN.
WEST (192 STREET)	4.5 M	4.5 M	4.5 M	4.5 M
NORTH (NEIGHBOUR)	6.0 M MIN.	6.0 M MIN.	6.0 M MIN.	6.0 M MIN.



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-0003 FAX: (604) 987-0033
EMAIL: info@f-adab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on the drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawings.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



NO.	DATE	REVISION / ISSUED
8	11-01-2024	REVISED PER URBAN DESIGN COMMENTS
7	11-10-2023	REISSUED FOR DRG
6	29-05-2023	REISSUED FOR DRG
5	23-06-2022	REVISED TO COMPLY WITH WOODFRAME ALLOWED HEIGHT
4	01-06-2022	REVISED HEIGHT FOR BUILDING & FD REVIEW
3	24-05-2022	ISSUED FOR BUILDING & FD REVIEW
2	23-12-2021	REVISED FOR PLANNING REVIEW
1	21-07-2021	REISSUED FOR PLANNING REVIEW

PROJECT TITLE:
**APARTMENT
DEVELOPMENT**
6280 & 6292
192ND ST,
SURREY, BC.
FOR:
**BMG PROJECTS
CLOVERDALE INC.**

DRAWING TITLE:
STATISTICS

DATE:	Sheet:	SHEET NO.:
DATE: Sep22	NTS	
SCALE:	AA	A-1.1
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO.:		

PROJECT STATISTICS

AMENITY (INDOOR) :

REQUIRED : 3 SQ.M./UNIT X 157 UNIT
= 471 SQ.M (5,070 SQ.FT.)

PROVIDED : 515 SQ.M. (5,549 SQ.FT.)

AMENITY (OUTDOOR) :

REQUIRED : 3 SQ.M./UNIT X 157 UNIT
= 471 SQ.M. (5,070 SQ.FT.)

PROVIDED : 474 SQ.M. (5,104 SQ.FT.)

STORAGE LOCKERS :

REQUIRED : 1 PER UNIT X157 UNIT

PROVIDED : 157 LOCKERS

UNIT MIX												
UNIT TYPE	NO. OF BED RM.	AREA (SQ.M.)	AREA (SQ.FT.)	L1/P1 FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	TOTAL NO. OF UNITS	TOAL AREA (SQ.M.)	TOAL AREA (SQ.FT.)
A	1	60.2	648			1	1	1	1	4	240.8	2592
Aa	1	48.4	521		1					1	48.4	521
A1	1	44.8	482		2	2				4	179.1	1928
A2	1+ DEN	53.0	570		5	6	6	6	6	29	1535.6	16530
A3	1+ DEN	54.9	591		2	2	2	2	2	10	549.0	5910
A4	1+ DEN	59.6	642		1	4	4	4	4	17	1013.9	10914
A5	1+ DEN	58.5	630			1	1	1	1	4	234.1	2520
A6	1+ DEN	64.2	691	8						8	513.6	5528
A7	1+ DEN	57.1	615	1						1	57.1	615
A8	1+ DEN	60.8	654		1					1	60.8	654
A9	1	47.0	506				1	1		2	94.0	1012
Ba	2	64.7	696	1						1	64.7	696
Bb	2	78.2	842	1						1	78.2	842
Bc	2	74.3	800	1						1	74.3	800
B1	2	71.7	772		1	1	1	1	1	5	358.6	3860
B2	2	69.6	749		1	1	1	1	1	5	347.9	3745
B3	2	83.4	898		1	1				2	166.8	1796
B3a	2	81.5	877				1	1	1	3	244.4	2631
B4	2+ DEN	102.7	1106		1	1	1	1	1	5	513.7	5530
B5	2	81.8	880		1					1	81.8	880
B6	2	65.9	709		1	1	1	1		4	263.5	2836
B7	2	70.0	753		2	2	1	1		6	419.7	4518
B8	2	78.6	846				1	1		2	157.2	1692
B9	2	71.3	767				1	1	1	2	142.5	1534
B9a	2+ DEN	74.4	801			1				1	74.4	801
B9b	2	63.4	682						1	1	63.4	682
B10*	2	84.0	904				1	1	1	3	251.9	2712
B10a*	2	84.9	914			1				1	84.9	914
B11	2	93.7	1009			1	1	1	1	4	374.9	4036
B12*	2	86.0	926			2	2	2	2	8	688.2	7408
B13*	2	89.5	963			1	1	1	1	4	357.9	3852
B14	2	75.8	816						1	1	75.8	816
C	3	103.9	1118		1	1	1	1	1	5	519.3	5590
C1	3	93.6	1007		1	1				2	187.1	2014
C2	3	83.2	896		1	1	1	1	1	5	416.2	4480
C3	3	93.0	1001				1	1		2	186.0	2002
C4	3	121.0	1303						1	1	121.0	1303
TOTAL AREA				12	23	32	31	31	28	157	10840.87	116694
NOTE:	16 UNITS OF UNIT B10, BA10a, B12, B13 ARE FULLY ACCESSIBLE UNITS. 10.2% OF 157 UNITS											
	TOTAL 15 3-BEDROOM UNITS. 9.6% OF 157 UNITS											

UNIT TYPE	L1/P1	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	NUMBER OF UNITS	% OF UNIT
1 BED ROOM	0	2	3	2	2	1	10	6.37%
1 BEDRM + DEN	9	10	13	13	13	13	71	45.22%
2 BED ROOM	3	7	11	12	12	10	55	35.03%
2 BEDRM + DEN	0	1	2	1	1	1	6	3.82%
3 BED ROOM	0	3	3	3	3	3	15	9.55%
TOTAL NUMBER OF UNITS	12	23	32	31	31	28	157	100.00%



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-0003 FAX: (604) 987-0033
EMAIL: info@f-adab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on the drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawings.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



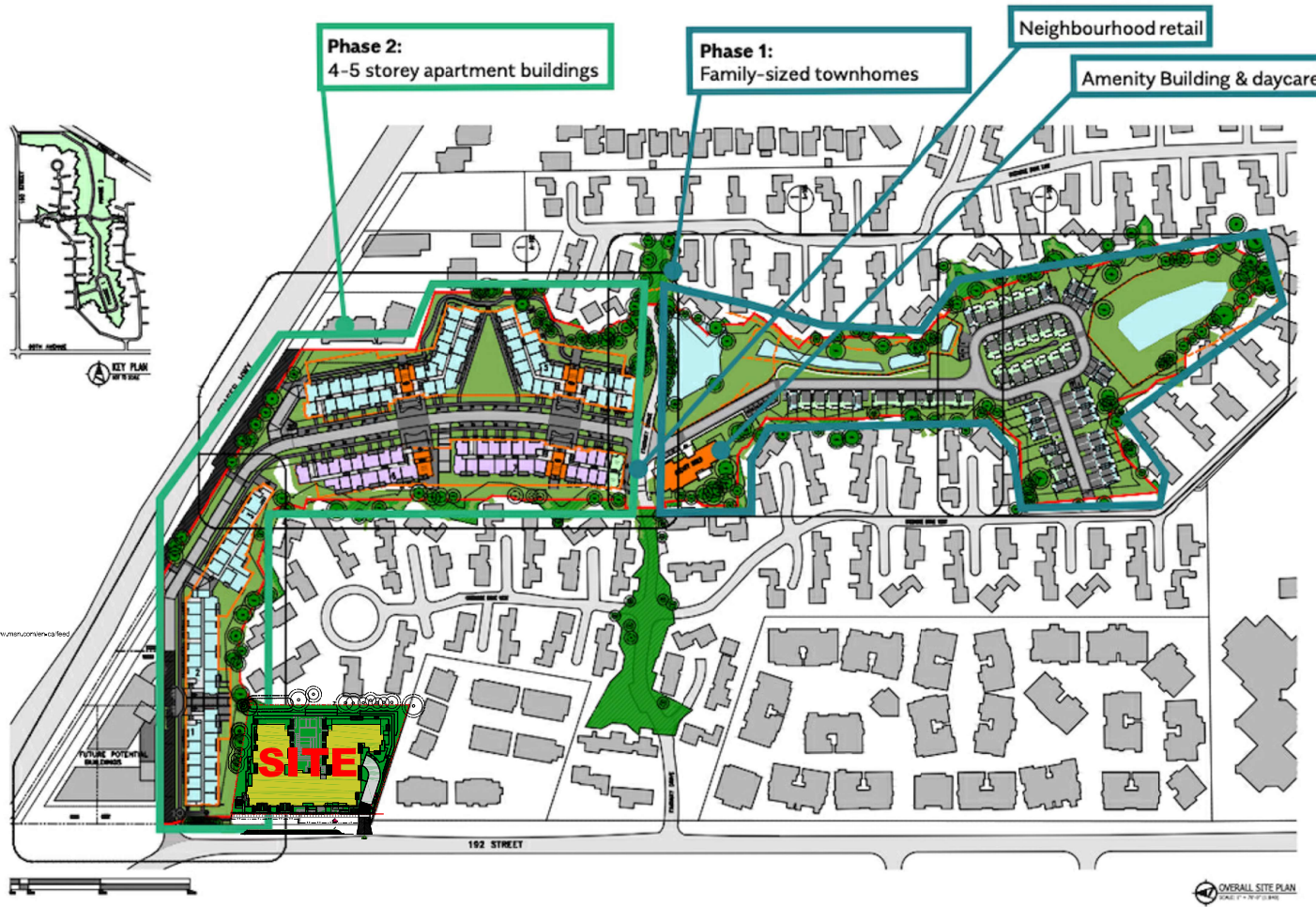
NO.	DATE	REVISION / ISSUED
8	11/01/2024	REVISED PER URBAN DESIGN COMMENTS
7	11/16/2023	REVISED FOR DRG
6	29/05/2023	REVISED FOR DRG
5	23/09/2022	REVISED TO COMPLY WITH WOODFRAME ALLOWED HEIGHT
4	01/08/2022	REVISED HEIGHT FOR BUILDING & FD REVIEW
3	26/05/2022	ISSUED FOR BUILDING & FD REVIEW
2	23/12/2021	REVISED FOR PLANNING REVIEW
1	21/07/2021	REVISED FOR PLANNING REVIEW

PROJECT TITLE:
**APARTMENT
DEVELOPMENT**
6280 & 6292
192ND ST,
SURREY, BC.
FOR:
**BMG PROJECTS
CLOVERDALE INC.**

DRAWING TITLE:
**STATISTICS -
UNIT MIX**

DATE: Sep22 SHEET NO:
SCALE: NTS
DESIGN: AA
DRAWN: AA
PROJECT NO: -
A-1.2

CONTEXT PLAN (WITH PROPOSED DEVELOPMENT ON ADJACENT LOTS)



Legend: ■ Amenity building ■ 4-storey apartment ■ 5-storey apartment ■ 3-bdrm townhome ■ 2-bdrm townhome



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-0003 FAX: (604) 987-3033
EMAIL: info@fjadab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on the drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawings.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.

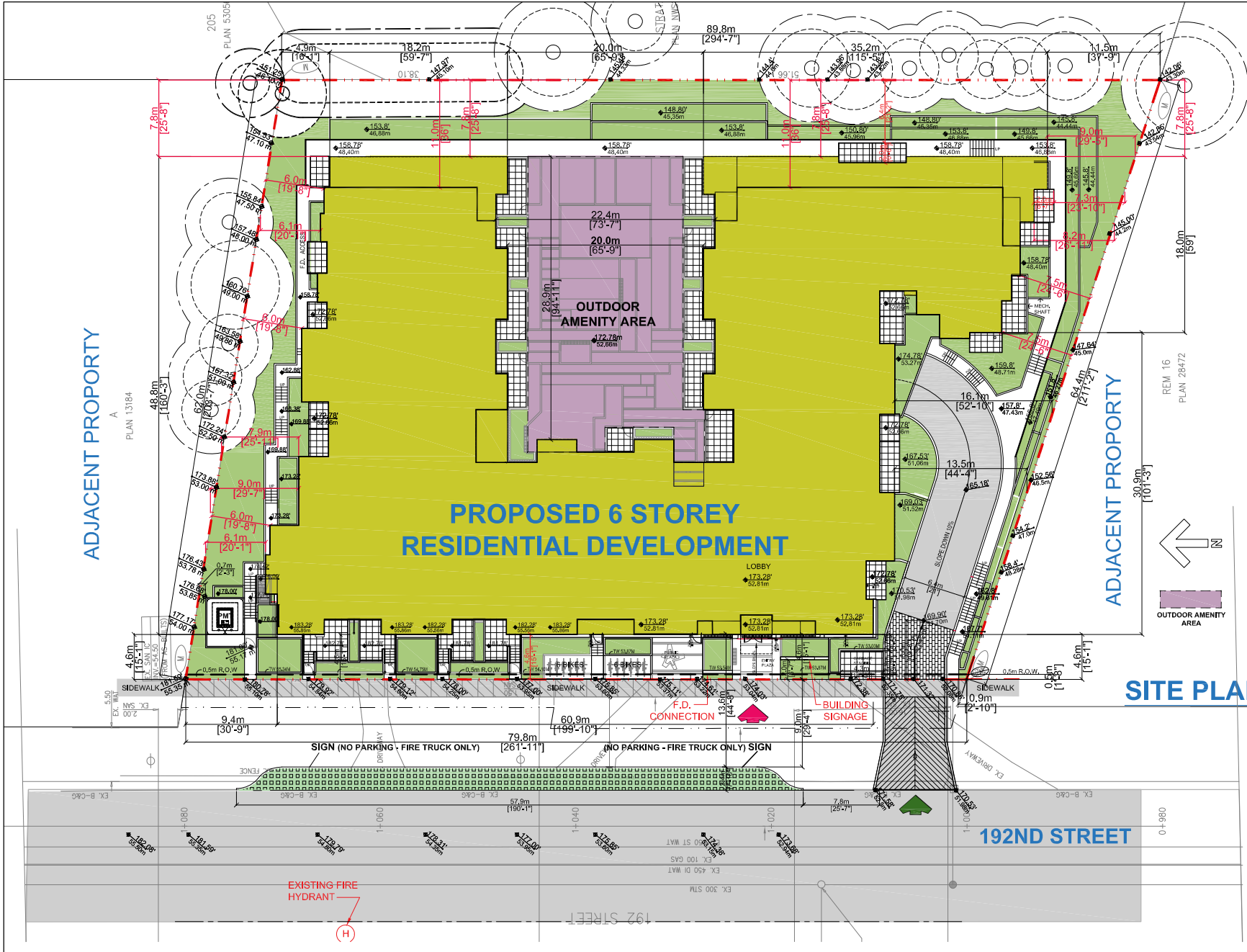


NO.	DATE	REVISION/ISSUED
8	11/01/2024	REVISSED FOR URBAN DESIGN COMMENTS
7	11/19/2023	REISSUED FOR DRG
6	28/05/2023	REISSUED FOR DRG
5	23/09/2022	REVIEW TO COMPLY WITH WOODFRAME ALLOWED HEIGHT
4	01/06/2022	REVIEW HEIGHT FOR BUILDING A PD REVIEW
3	26/05/2022	ISSUED FOR BUILDING A PD REVIEW
2	23/12/2021	REVIEWED FOR PLANNING REVIEW
1	21/02/2021	REISSUED FOR PLANNING REVIEW

PROJECT TITLE:
APARTMENT
DEVELOPMENT
6280 & 6292
192ND ST.
SURREY, BC.
FOR:
BMG PROJECTS
CLOVERDALE INC.

DRAWING TITLE:
CONTEXT PHOTOS
& AERIAL MAP

DATE:	Sept-22	SHEET NO:	
SCALE:	NTS		
DESIGN:	PP		
DRAWN:	PP		
PROJECT NO:	-		A-1.3f



ADJACENT PROPERTY

ADJACENT PROPERTY

SITE PLAN

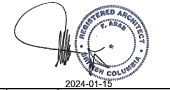


#130-1000 ROOSEVELT CRESCENT
 NORTH VANCOUVER, BC V7P 3R4
 TEL: (604) 987-2000 FAX: (604) 987-9333
 EMAIL: info@f-adab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on this drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



NO.	DATE	REVISION ISSUED
8	11/01/2024	REVISED PER URBAN DESIGN COMMENTS
7	11/10/2023	REISSUED FOR DRG
6	20/05/2023	REISSUED FOR DRG
5	23/09/2022	REVISED TO COMPLY WITH WOODFRAME ALLOWED HEIGHT
4	01/05/2022	REVISED HEIGHT FOR BUILDING AS PD REVIEW
3	26/05/2022	ISSUED FOR BUILDING & PD REVIEW
2	23/12/2021	REVISED FOR PLANNING REVIEW
1	21/07/2021	REISSUED FOR PLANNING REVIEW

PROJECT TITLE:
APARTMENT DEVELOPMENT
 6280 & 6292
 192ND ST.
 SURREY, BC.

FOR:
BMG PROJECTS CLOVERDALE INC.

DRAWING TITLE:
SITE PLAN

DATE:	Sept22	SHEET NO.:	
SCALE:	1"=20'-0"		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:			A-1.6



VIEW FROM SOUTH-WEST CORNER



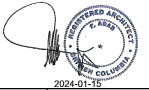
**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-0003 FAX: (604) 987-3033
EMAIL: info@f-adab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on this drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawings.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



NO.	DATE	REVISION / ISSUED
8	11-01-2024	REVISED PER URBAN DESIGN COMMENTS
7	11-10-2023	REISSUED FOR DRG
6	20-05-2023	REISSUED FOR DRG
5	23-05-2022	REVISED TO COMPLY WITH WOODFRAME ALLOWED HEIGHT
4	11-03-2022	REVISED TO TRY FOR BUILDING & FD REVIEW
3	20-05-2022	ISSUED FOR BUILDING & FD REVIEW
2	23-12-2021	REVISED FOR PLANNING REVIEW
1	21-07-2021	REISSUED FOR PLANNING REVIEW
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
**APARTMENT
 DEVELOPMENT**
 6280 & 6292
 192ND ST.
 SURREY, BC.
FOR:
**BMG PROJECTS
 CLOVERDALE INC.**

DRAWING TITLE:
**PERSPECTIVE
 VIEWS -1**

DATE:	Sept22	SHEET NO:	
SCALE:	NTS		
DESIGN:	AA		A-1.7
DRAWN:	AA		
PROJECT NO:	-		



BIRD-EYE VIEW FROM EAST



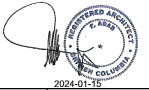
**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-0003 FAX: (604) 987-3033
EMAIL: info@f-adab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on this drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawings.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



NO.	DATE	REVISION / ISSUED
8	11/01/2024	REVISED PER URBAN DESIGN COMMENTS
7	11/10/2023	REISSUED FOR DRG
6	28/05/2023	REISSUED FOR DRG
5	23/09/2022	REMOVED TO COMPLY WITH WOODFRAME ALLOWED HEIGHT
4	01/09/2022	REVISED HEIGHT FOR BUILDING & HD REVIEW
3	26/05/2022	ISSUED FOR BUILDING & PD REVIEW
2	23/12/2021	REVISED FOR PLANNING REVIEW
1	21/07/2021	RE-ISSUED FOR PLANNING REVIEW

PROJECT TITLE:
**APARTMENT
DEVELOPMENT**
6280 & 6292
192ND ST.
SURREY, BC.

FOR:
**BMG PROJECTS
CLOVERDALE INC.**

DRAWING TITLE:
**PERSPECTIVE
VIEWS -2**

DATE:	SCALE:	DESKIN:	DRAWN:	PROJECT NO:	SHEET NO:
Sept22	NTS	AA	AA	-	A-1.8



BIRD- EYE VIEW FROM SOUTH-WEST



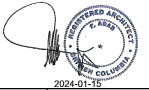
**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 887-2003 FAX: (604) 887-3033
EMAIL: info@f-adab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on the drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawings.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



NO.	DATE	REVISION / ISSUED
8	11/01/2024	REVISED PER URBAN DESIGN COMMENTS
7	11/14/2023	REISSUED FOR DRG
6	28/05/2023	REISSUED FOR DRG
5	22/09/2022	REVISED TO COMPLY WITH WOODFRAME ALLOWED HEIGHT
4	01/05/2022	REVISED HEIGHT FOR BUILDING & FO REVIEW
3	26/05/2022	ISSUED FOR BUILDING & FO REVIEW
2	23/12/2021	REVISED FOR PLANNING REVIEW
1	21/07/2021	RE-ISSUED FOR PLANNING REVIEW

PROJECT TITLE:
**APARTMENT
 DEVELOPMENT**
 6280 & 6292
 192ND ST.
 SURREY, BC.
FOR:
**BMG PROJECTS
 CLOVERDALE INC.**

DRAWING TITLE:
**PERSPECTIVE
 VIEWS -3**

DATE:	SCALE:	DESIGN:	DRAWN:	PROJECT NO:	SHEET NO:
Sept22	NTS	AA	AA	-	A-1.9



VIEW FROM NORTH-WEST CORNER



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-0003 FAX: (604) 987-0033
E: fadab@fadamadab.com

This drawing, or instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on the drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawings.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



NO.	DATE	REVISION / ISSUED
8	11/01/2024	REVISED PER URBAN DESIGN COMMENTS
7	11/10/2023	ISSUED FOR DRG
6	28/05/2023	REVISED FOR DRG
5	23/08/2022	REVISED TO COMPLY WITH WOODFRAME ALLOWED HEIGHT
4	01/06/2022	REVISED HEIGHT FOR BUILDING & FD REVIEW
3	29/05/2022	ISSUED FOR BUILDING & FD REVIEW
2	23/12/2021	REVISED FOR PLANNING REVIEW
1	21/07/2021	REVISED FOR PLANNING REVIEW

PROJECT TITLE:
**APARTMENT
 DEVELOPMENT**
 6280 & 6292
 192ND ST.
 SURREY, BC.
FOR:
**BMG PROJECTS
 CLOVERDALE INC.**

DRAWING TITLE:
**PERSPECTIVE
 VIEWS -4**

DATE:	Sept22	SHEET NO:	
SCALE:	NTS		
DESIGN:	AA		A-1.10
DRAWN:	AA		
PROJECT NO:	-		



WEST ELEVATION



SOUTH ELEVATION

Exterior Finishes

- 
**1 2" WIDE SOLID BRICK :
BEIGE COLOR
(CHAMPAGNE VELOUR - IXL)**
- 
**2 ARCHITECTURAL CONC./SILL :
PAINTED GREY
(POLISHED CONC. - SW 9167)**
- 
**3 FIBER CEMENT PANEL/SIDING:
PAINTED GREY
(ACIER - SW9170)**
- 
**4 FIBER CEMENT PANEL/SIDING:
PAINTED GREY
(GREEK VILLA - SW7551)**
- 
**5 WOOD BAND BOARD/WIN. TRIM:
PAINTED GREY
(GREEK VILLA - SW7551)**
- 
**6 VINYL WINDOW/SPANDREL/ALUM.
CLADDING AT ENTRY :
DARK GREY (IRON ORE - SW7069)**
- 
**7 ALUM. RAILING AND GLASS/METAL
CANOPY W/ CLEAR GLASS :
DARK GREY (IRON ORE - SW7069)**
- 
**8 VINYL SOFFITS:
NATURAL WOOD COLOR**



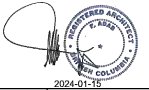
**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 887-0003 FAX: (604) 887-3033
EMAIL: info@f-adab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on the drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawings.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



NO.	DATE	REVISION / ISSUED
8	11/01/2024	REVISED PER URBAN DESIGN COMMENTS
7	11/10/2023	REISSUED FOR DRG
6	28/05/2023	REISSUED FOR DRG
5	23/06/2022	REVISED TO COMPLY WITH WOODFRAME ALLOWED HEIGHT
4	01/08/2022	REVISED HEIGHT FOR BUILDING & PD REVIEW
3	26/05/2022	ISSUED FOR BUILDING & PD REVIEW
2	23/12/2021	REVISED FOR PLANNING REVIEW
1	21/07/2021	REISSUED FOR PLANNING REVIEW

PROJECT TITLE:
**APARTMENT
DEVELOPMENT**
6280 & 6292
192ND ST.
SURREY, BC.
FOR:
**BMG PROJECTS
CLOVERDALE INC.**

DRAWING TITLE:
**COLORED
ELEVATION**

DATE:	Sept22	SHEET NO:	
SCALE:	NTS		
DESIGN:	AA		A-1.11
DRAWN:	AA		
PROJECT NO:	-		



EAST ELEVATION



NORTH ELEVATION

Exterior Finishes

- 1** 2" WIDE SOLID BRICK :
BEIGE COLOR
(CHAMPAGNE VELOUR - IXL)
- 2** ARCHITECTURAL CONC./SILL :
PAINTED GREY
(POLISHED CONC. - SW 9167)
- 3** FIBER CEMENT PANEL/SIDING:
PAINTED GREY
(ACIER - SW9170)
- 4** FIBER CEMENT PANEL/SIDING:
PAINTED GREY
(GREEK VILLA - SW7551)
- 5** WOOD BAND BOARD/WIN. TRIM:
PAINTED GREY
(GREEK VILLA - SW7551)
- 6** VINYL WINDOW/SPANDREL/ALUM.
CLADDING AT ENTRY :
DARK GREY (IRON ORE - SW7069)
- 7** ALUM. RAILING AND GLASS/METAL
CANOPY W/ CLEAR GLASS :
DARK GREY (IRON ORE - SW7069)
- 8** VINYL SOFFITS:
NATURAL WOOD COLOR



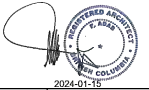
**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-0003 FAX: (604) 987-0033
EMAIL: info@f-adab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on the drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawings.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



NO.	DATE	REVISION / ISSUED
8	11/01/2024	REVISED PER URBAN DESIGN COMMENTS
7	11-10-2023	REISSUED FOR DRG
6	20/05/2023	REISSUED FOR DRG
5	23/09/2022	REVISED TO COMPLY WITH WOODFRAME ALLOWED HEIGHT
4	01/06/2022	REVISED HEIGHT FOR BUILDING & FD REVIEW
3	20/05/2022	ISSUED FOR BUILDING & FD REVIEW
2	25/12/2021	REVISED FOR PLANNING REVIEW
1	21/07/2021	REISSUED FOR PLANNING REVIEW

PROJECT TITLE:
**APARTMENT
DEVELOPMENT**
6280 & 6292
192ND ST.
SURREY, BC.
FOR:
**BMG PROJECTS
CLOVERDALE INC.**

DRAWING TITLE:
**COLORED
ELEVATIONS**

DATE:	Sept22	SHEET NO:	A-1.12
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO:	-		

Material and Colour

The selection of exterior finishes incorporates enhanced durability / longevity of construction materials and envisions a sustainable approach.

A variety of building material is used with emphasis on light sandy brick on the main facades, light and dark grey hardy panels and hardy siding. Colours and materials have been organized in manner to create harmony and connectivity throughout the building

Widows and railings are black colour and spandrel at corner windows are the same colour as window frames.



WEST ELEVATION (192ND STREET)

Exterior Finishes

- 1  **2" WIDE SOLID BRICK :**
BEIGE COLOR
(CHAMPAGNE VELOUR - IXL)
- 2  **ARCHITECTURAL CONC./SILL :**
PAINTED GREY
(POLISHED CONC. - SW 9167)
- 3  **FIBER CEMENT PANEL/SIDING:**
PAINTED GREY
(ACIER - SW9170)
- 4  **FIBER CEMENT PANEL/SIDING:**
PAINTED GREY
(GREEK VILLA - SW7551)
- 5  **WOOD BAND BOARD/WIN. TRIM:**
PAINTED GREY
(GREEK VILLA - SW7551)
- 6  **VINYL WINDOW/SPANDREL/ALUM.**
CLADDING AT ENTRY :
DARK GREY (IRON ORE - SW7069)
- 7  **ALUM. RAILING AND GLASS/METAL**
CANOPY W/ CLEAR GLASS :
DARK GREY (IRON ORE - SW7069)
- 8  **VINYL SOFFITS:**
NATURAL WOOD COLOR



**F. ADAB
ARCHITECTS
INC.**

#134-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 887-0303 FAX: (604) 967-3033
EMAIL: info@fadoradab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on the drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawings.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract, and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



2024-01-15

NO.	DATE	REVISION	ISSUED
8	10-01-2024	REVISED PER URBAN DESIGN COMMENTS	
7	11-10-2023	REISSUED FOR DRG	
6	28-09-2023	REISSUED FOR DRG	
5	23-08-2022	REVISED TO COMPLY WITH WOODFRAME ALLOWED HEIGHT	
4	01-08-2022	REVISED HEIGHT FOR BUILDING & PD REVIEW	
3	29-05-2022	ISSUED FOR BUILDING & PD REVIEW	
2	23-12-2021	REVISED FOR PLANNING REVIEW	
1	21-07-2021	RE-ISSUED FOR PLANNING REVIEW	

PROJECT TITLE:
**APARTMENT
DEVELOPMENT**
6280 & 6292
192ND ST.
SURREY, BC.
FOR:
**BMG PROJECTS
CLOVERDALE INC.**

DRAWING TITLE:
**MATERIAL
AND COLOR**

DATE:	Sept22	SHEET NO:
SCALE:	NTS	
DESIGN:	AA	A-1.15
DRAWN:	AA	
PROJECT NO:		



F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 967-0003 FAX: (604) 989-3033
E: f.a@fadam.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on the drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



2024-01-15

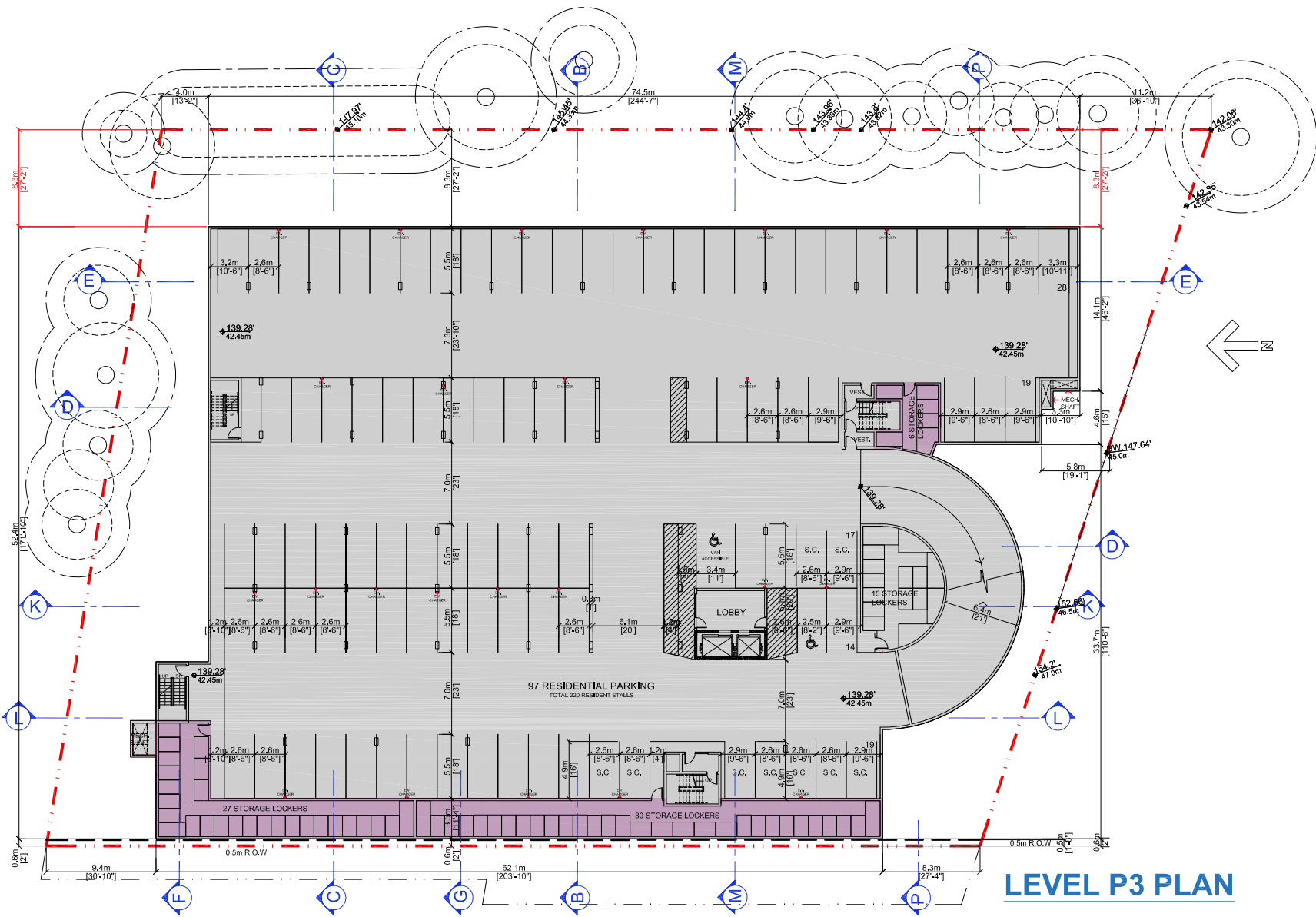
NO.	DATE	REVISION/ISSUED
8	15-01-2024	REVISED PER URBAN DESIGN COMMENTS
7	11-10-2023	REISSUED FOR DRG
6	23-05-2023	REISSUED FOR DRG
5	23-04-2022	REVISED TO COMPLY WITH WOODFRAME ALLOWED HEIGHT
4	01-03-2022	REVISED HEIGHT FOR BUILDING RATIO REVIEW
3	26-05-2022	ISSUED FOR BUILDING & PD REVIEW
2	23-12-2021	REVISED FOR PLANNING REVIEW
1	21-07-2021	REISSUED FOR PLANNING REVIEW

PROJECT TITLE:
APARTMENT DEVELOPMENT
 6280 & 6292
 192ND ST.
 SURREY, BC.

FOR:
BMG PROJECTS
CLOVERDALE INC.

DRAWING TITLE:
PARKING 3
FLOOR PLAN

DATE:	Sheet	SHEET NO.:
SCALE:	NTS	
DESIGN:	AA	A-2.1
DRAWN:	AA	
PROJECT NO.:		



LEVEL P3 PLAN

P3 PARKING : 97 RESIDENT PARKING (9 SMALL CAR, 2 ACCESSIBLE WITH 1 VAN ACCESSIBLE,)
 STORAGE LOCKERS : 78 (157 TOTAL)



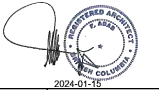
F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 967-0003 FAX: (604) 989-3033
E: f.a@fadam.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on the drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



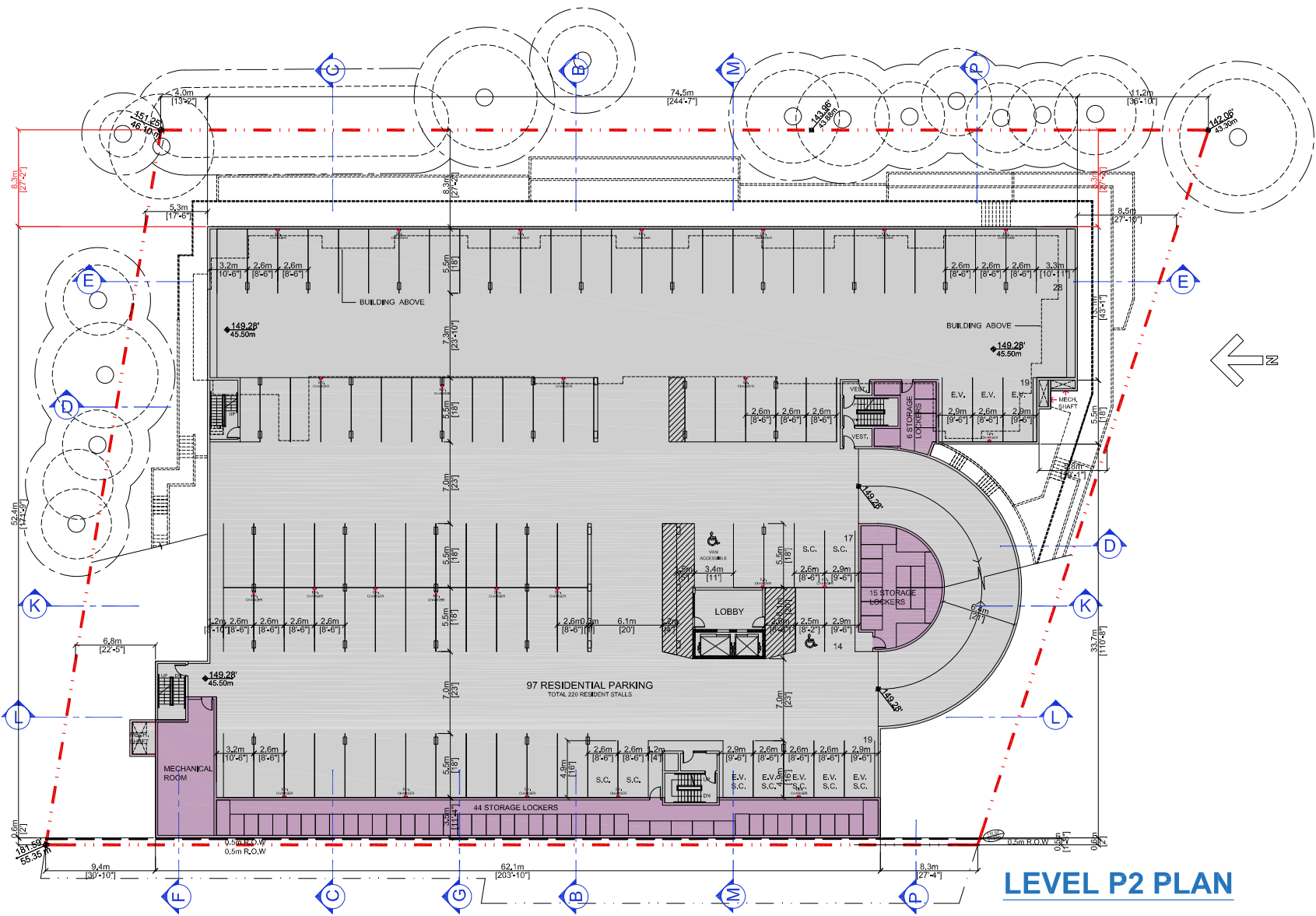
NO.	DATE	REVISION/ISSUED
8	15-01-2024	REVISED PER URBAN DESIGN COMMENTS
7	11-10-2023	REISSUED FOR DRG
6	23-05-2023	REISSUED FOR DRG
5	23-04-2022	REVISED TO COMPLY WITH WOODFRAME ALLOWED HEIGHT
4	01-03-2022	REVISED HEIGHT FOR BUILDING PLD REVIEW
3	26-05-2022	ISSUED FOR BUILDING & PD REVIEW
2	23-12-2021	REVISED FOR PLANNING REVIEW
1	21-07-2021	REISSUED FOR PLANNING REVIEW

PROJECT TITLE:
APARTMENT DEVELOPMENT
6280 & 6292
192ND ST.
SURREY, BC.

FOR:
BMG PROJECTS CLOVERDALE INC.

DRAWING TITLE:
PARKING 2 FLOOR PLAN

DATE:	Sheet	SHEET NO.:
DATE:	Sheet#2	
SCALE:	NTS	
DESIGN:	AA	A-2.2
DRAWN:	AA	
PROJECT NO.:		



LEVEL P2 PLAN

P2 PARKING : 97 RESIDENT PARKING (9 SMALL CAR, 2 ACCESSIBLE WITH 1 VAN ACCESSIBLE, 31 E.V. CHARGING STATIONS)
STORAGE LOCKERS : 65 (157 TOTAL)



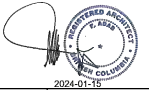
F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 967-0003 FAX: (604) 989-3033
E: f.a@f.adab.ca

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on this drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawings.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



2024-01-15

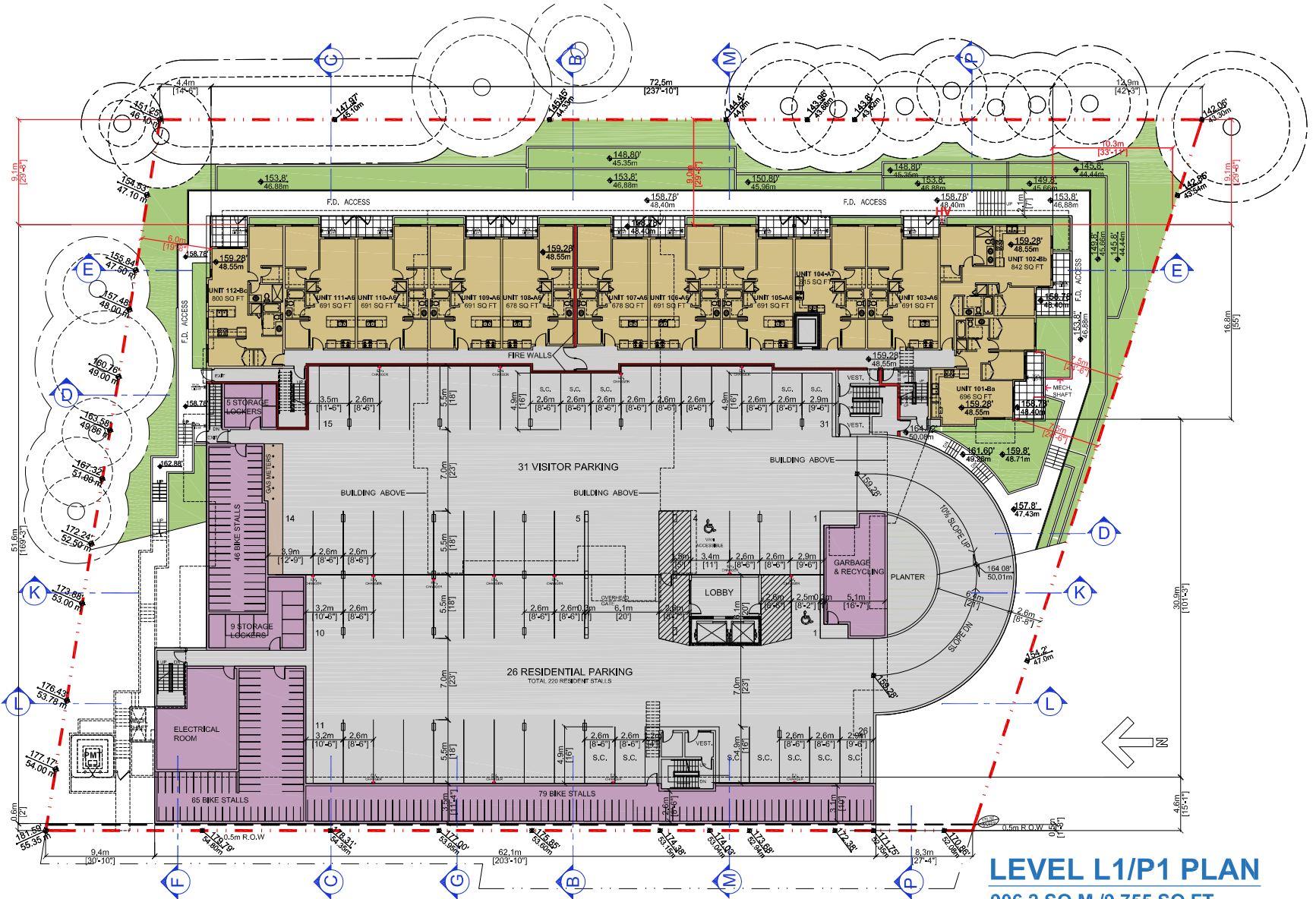
NO.	DATE	REVISION ISSUED
8	16-01-2024	REVISED FOR CURB DESIGN COMMENTS
7	11-10-2023	REISSUED FOR DRG
6	28-05-2023	REISSUED FOR DRG
5	23-04-2022	REVISED TO COMPLY WITH WOODFRAME ALLOWED HEIGHT AND REVIEW
4	01-03-2022	REVISED HEIGHT FOR BUILDING AND REVIEW
3	26-05-2022	REVISED FOR BUILDING & PD REVIEW
2	23-12-2021	REVISED FOR PLANNING REVIEW
1	21-07-2021	REISSUED FOR PLANNING REVIEW

PROJECT TITLE:
APARTMENT DEVELOPMENT
6280 & 6292
192ND ST.
SURREY, BC.

FOR:
BMG PROJECTS CLOVERDALE INC.

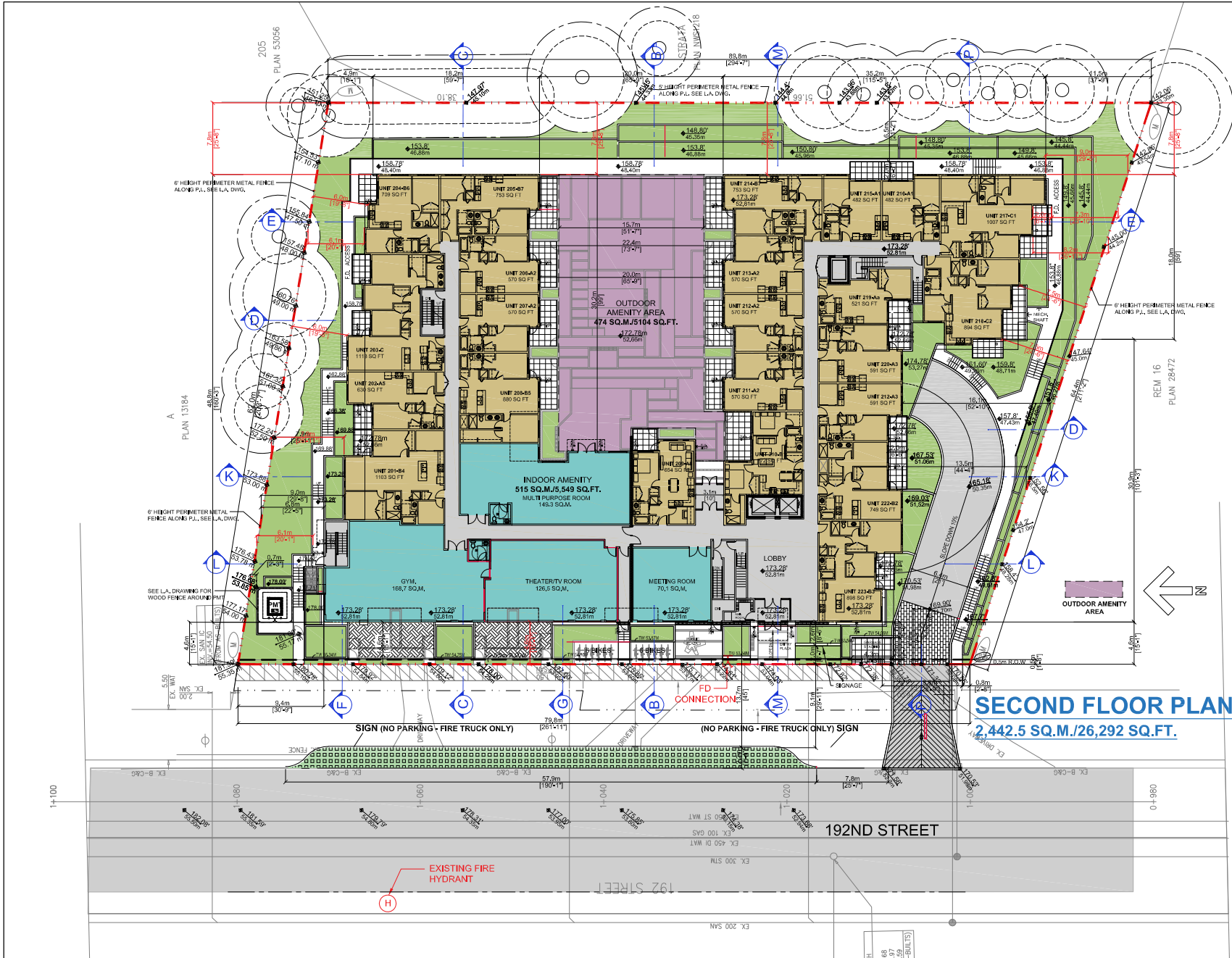
DRAWING TITLE:
LEVEL L1/P1 FLOOR PLAN

DATE:	Sept22	SHEET NO.:	
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:			A-2.3



P1 PARKING : 26 RESIDENT PARKING (7 SMALL CAR, 1 ACCESSIBLE)
31 VISITOR PARKING (5 SMALL CAR, 1 VAN ACCESSIBLE)
BIKES STALLS : 190 (190 TOTAL) LOCKERS : 14 (157 TOTAL)

LEVEL L1/P1 PLAN
906.2 SQ.M./9,755 SQ.FT.



SECOND FLOOR PLAN
 2,442.5 SQ.M./26,292 SQ.FT.



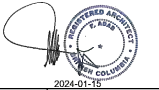
F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
 NORTH VANCOUVER, BC V7P 3R4
 TEL: (604) 967-0005 FAX: (604) 989-3033
 EMAIL: info@f-adab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on this drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



NO.	DATE	REVISION/ISSUED
8	16-01-2024	REVISED PER URBAN DESIGN COMMENTS
7	11-10-2023	REISSUED FOR DRG
6	23-05-2023	REISSUED FOR DRG
5	23-09-2022	REVISED TO COMPLY WITH WOODFRAME ALLOWED HEIGHT
4	01-04-2022	REVISED HEIGHT FOR BUILDING AND REVIEW
3	26-05-2022	ISSUED FOR BUILDING & PD REVIEW
2	23-12-2021	REVISED FOR PLANNING REVIEW
1	21-07-2021	REISSUED FOR PLANNING REVIEW

PROJECT TITLE:
 APARTMENT DEVELOPMENT
 6280 & 6292
 192ND ST.
 SURREY, BC.

FOR:
 BMG PROJECTS
 CLOVERDALE INC.

DRAWING TITLE:
 SECOND FLOOR PLAN

DATE:	Sept 22	SHEET NO.:	
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		A-2.4
PROJECT NO.:			



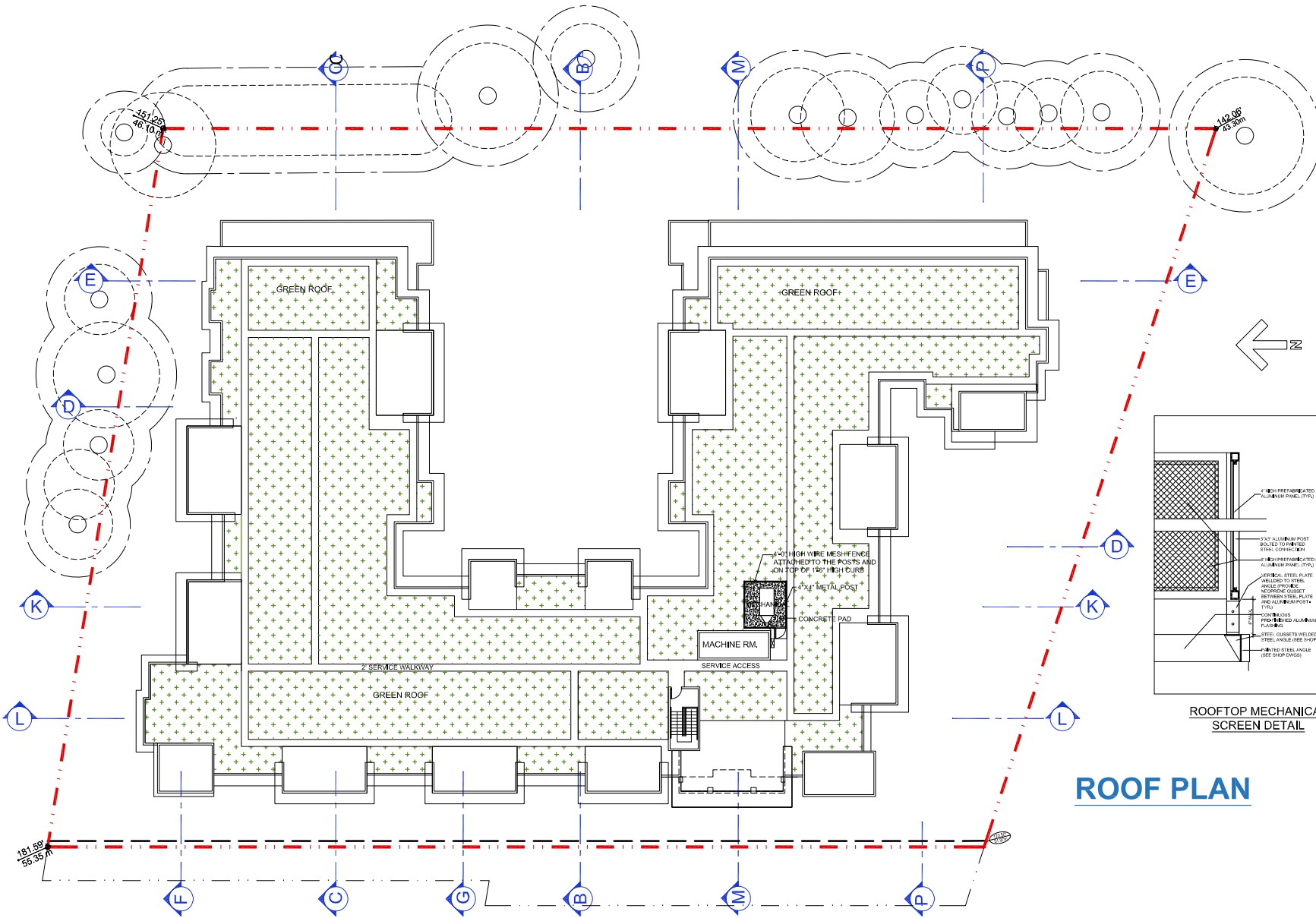
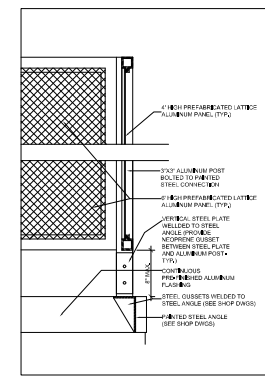
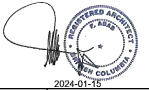
**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 967-0005 FAX: (604) 989-3033
EMAIL: info@f-adab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on this drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



NO.	DATE	REVISION/ISSUED
8	10-01-2024	REVISED FOR URBAN DESIGN COMMENTS
7	11-10-2023	SUBMITTED FOR DRG
6	23-05-2023	SUBMITTED FOR DRG
5	23-04-2022	REVISED TO COMPLY WITH WOODRAME ALLOWED HEIGHT
4	01-03-2022	REVISED HEIGHT FOR BUILDING PLD TO REVIEW
3	26-05-2022	ISSUED FOR BUILDING & PD REVIEW
2	23-12-2021	REVISED FOR PLANNING REVIEW
1	21-07-2021	REVISED FOR PLANNING REVIEW

PROJECT TITLE:
APARTMENT
DEVELOPMENT
6280 & 6292
192ND ST.
SURREY, BC.

FOR:
BMG PROJECTS
CLOVERDALE INC.

DRAWING TITLE:
ROOF PLAN

DATE:	Sheet	SHEET NO.:
SCALE:	NTS	
DESIGN:	AA	A-2.9
DRAWN:	AA	
PROJECT NO.:		



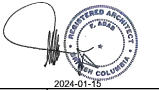
F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 967-0003 FAX: (604) 989-7033
EMAIL: info@f-adab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on this drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

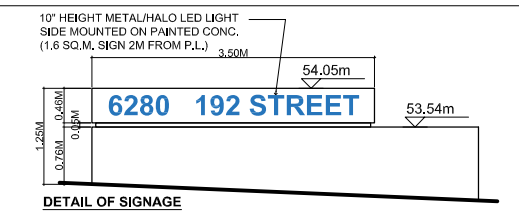
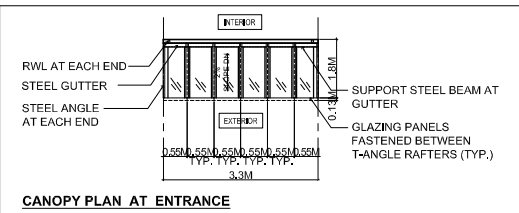
Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



WEST ELEVATION (192ND STREET)

EXTERIOR FINISHES					
1	2" WIDE SOLID BRICK: BEIGE COLOR (CHAMPAGNE VELOUR - IXL)	4	FIBER CEMENT PANEL/SIDING: PAINTED GREY (GREEK VILLA - SW 7551)	6	ALUMINUM RAILING AND METAL CANOPY W/ CLEAR GLASS: DARK GREY (IRON ORE - SW7069)
2	ARCHITECTURAL CONCRETE/ WINDOW SILL: PAINTED GREY (POLISHED CONCRETE - SW 9167)	5	WOOD BAND BOARD/WOOD FASCIA BOARD/WINDOW TRIM: PAINTED GREY(GREEK VILLA - SW7551)	7	VINYL SOFFITS: NATURAL WOOD COLOR
3	FIBER CEMENT PANEL/SIDING: PAINTED GREY (ACIER - SW 9170)	8	VINYL WINDOWS/SPANDREL/ALUMINUM CLADDING AT ENTRY: DARK GREY (IRON ORE - SW7069)		



NO.	DATE	REVISION / ISSUED
8	11/01/2024	REVISED PER URBAN DESIGN COMMENTS
7	11/14/2023	REISSUED FOR DRG
6	28/05/2023	REISSUED FOR DRG
5	23/09/2022	REVISED TO COMPLY WITH WOOD FRAME ALLOWED HEIGHT
4	01/05/2022	REVISED HEIGHT FOR BUILDING & PD REVIEW
3	26/05/2022	ISSUED FOR BUILDING & PD REVIEW
2	23/12/2021	REVISED FOR PLANNING REVIEW
1	21/07/2021	REVISED FOR PLANNING REVIEW

PROJECT TITLE:
APARTMENT DEVELOPMENT
6280 & 6292
192ND ST.
SURREY, BC.

FOR:
BMG PROJECTS CLOVERDALE INC.

DRAWING TITLE:
WEST ELEVATION (192ND STREET)

DATE:	Sept22	SHEET NO.:	
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		A-3.1
PROJECT NO.:			



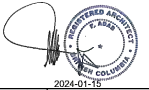
**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-0000 FAX: (604) 987-3033
EMAIL: info@fadab.com

This drawing, as instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on the drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



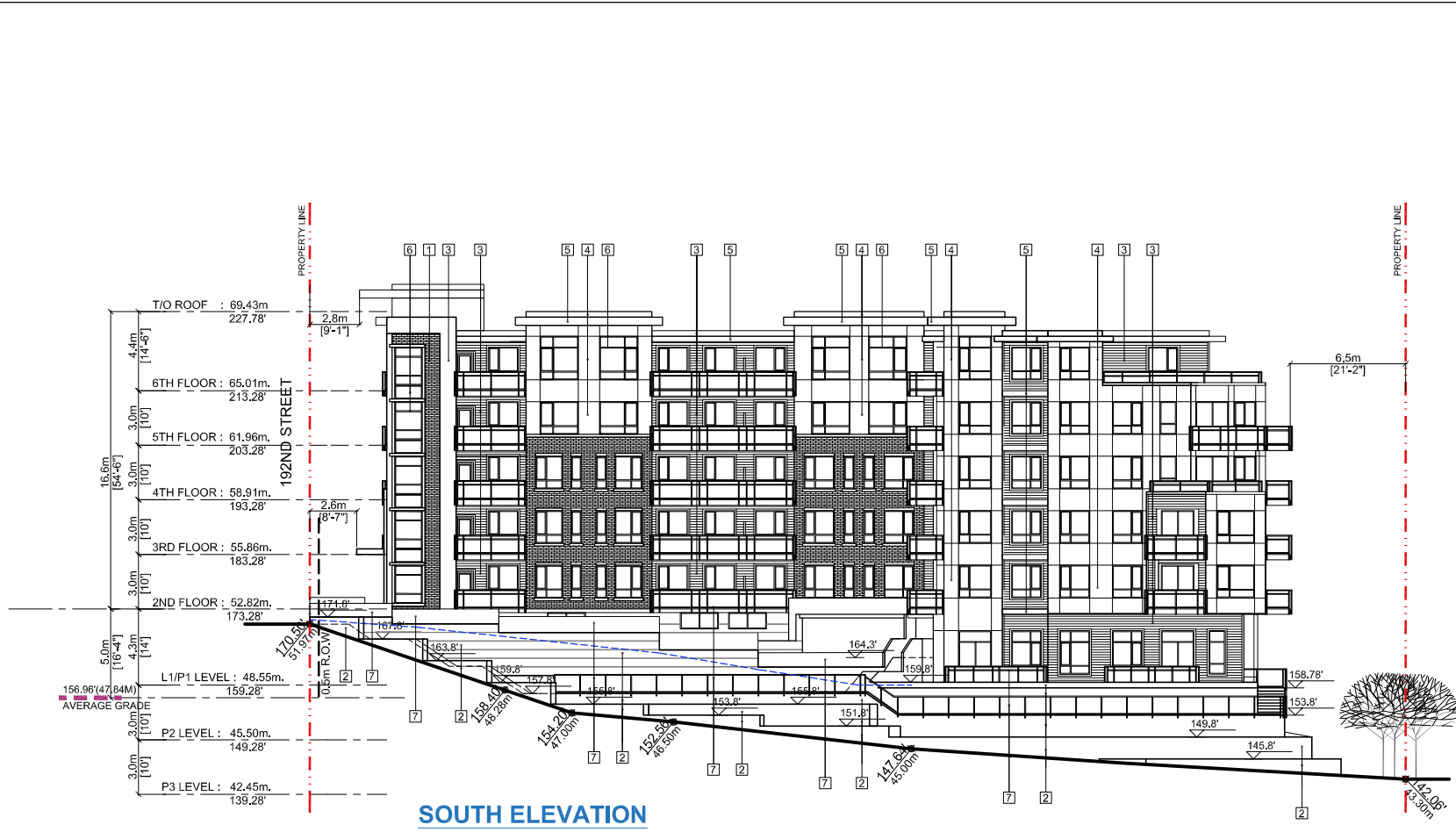
NO.	DATE	REVISION / ISSUED
7	17-10-2023	REISSUED FOR DRG
6	28-05-2023	REISSUED FOR DRG
5	23-09-2022	REVIEW TO CORRECT WITH WOOD FRAME ALLOWED HEIGHT
4	01-05-2022	REVIEW HEIGHT FOR BUILDING & PD REVIEW
3	26-05-2022	ISSUED FOR BUILDING & PD REVIEW
2	23-12-2021	REVIEW FOR PLANNING REVIEW
1	21-07-2021	REISSUED FOR PLANNING REVIEW

PROJECT TITLE:
**APARTMENT
DEVELOPMENT**
6280 & 6292
192ND ST.
SURREY, BC.

FOR:
**BMG PROJECTS
CLOVERDALE INC.**

DRAWING TITLE:
**SOUTH ELEVATION
NORTH ELEVATION**

DATE:	Feb-23	SHEET NO.:	A-3.2
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



SOUTH ELEVATION

EXTERIOR FINISHES			
1	2" WIDE SOLID BRICK : BEIGE COLOR (CHAMPAGNE VELOUR - IXL)	7	ALUMINUM RAILING AND METAL CANOPY W/ CLEAR GLASS: DARK GREY (IRON ORE - SW7069)
2	ARCHITECTURAL CONCRETE/ WINDOW SILL: PAINTED GREY (POLISHED CONCRETE - SW 9167)	8	WOOD BAND BOARD/WOOD FASCIA BOARD/WINDOW TRIM: PAINTED GREY(GREEK VILLA - SW7551)
3	FIBER CEMENT PANEL/SIDING: PAINTED GREY (ACIER - SW 9170)	9	VINYL SOFFITS: NATURAL WOOD COLOR
4	FIBER CEMENT PANEL/SIDING: PAINTED GREY (GREEK VILLA - SW 7551)		
5	VINYL WINDOWS/SPANDREL/ALUMINUM CLADDING AT ENTRY : DARK GREY (IRON ORE - SW7069)		



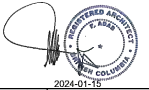
**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 967-0003 FAX: (604) 989-3033
EMAIL: info@f-adab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on the drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



NO.	DATE	REVISION / ISSUED
8	11/01/2024	REVISED PER URBAN DESIGN COMMENTS
7	11/10/2023	REISSUED FOR DRG
6	28/05/2023	REISSUED FOR DRG
5	23/09/2022	REVISED TO COMPLY WITH WOOD FRAME ALLOWED HEIGHT
4	01/05/2022	REVISED HEIGHT FOR BUILDING & PD REVIEW
3	26/05/2022	ISSUED FOR BUILDING & PD REVIEW
2	23/12/2021	REVISED FOR PLANNING REVIEW
1	21/07/2021	REISSUED FOR PLANNING REVIEW

PROJECT TITLE:
**APARTMENT
DEVELOPMENT**
6280 & 6292
192ND ST.
SURREY, BC.

FOR:
**BMG PROJECTS
CLOVERDALE INC.**

DRAWING TITLE:
EAST ELEVATION

DATE:	Sept22	SHEET NO:	
SCALE:	NTS		
DESIGN:	AA		A-3.3
DRAWN:	AA		
PROJECT NO:	-		



- EXTERIOR FINISHES**
- 1. 2" WIDE SOLID BRICK :
BEIGE COLOR
(CHAMPAGNE VELOUR - XL)
 - 2. ARCHITECTURAL CONCRETE/
WINDOW SILL:
PAINTED GREY
(POLISHED CONCRETE - SW 9167)
 - 3. FIBER CEMENT PANEL/SIDING:
PAINTED GREY (ACIER - SW 9170)
 - 4. FIBER CEMENT PANEL/SIDING:
PAINTED GREY
(GREEK VILLA - SW 7551)
 - 5. WOOD BAND BOARD/WOOD FASCIA
BOARD/WINDOW TRIM:
PAINTED GREY(GREEK VILLA - SW7551)
 - 6. VINYL WINDOWS/PANDEREL/ALUMINUM
CLADDING AT ENTRY :
DARK GREY (IRON ORE - SW7069)
 - 7. ALUMINUM RAILING AND METAL
CANOPY W/ CLEAR GLASS:
DARK GREY (IRON ORE - SW7069)
 - 8. VINYL SOFFITS:
NATURAL WOOD COLOR



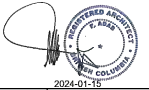
**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-0003 FAX: (604) 987-3033
EMAIL: info@fadab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on the drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



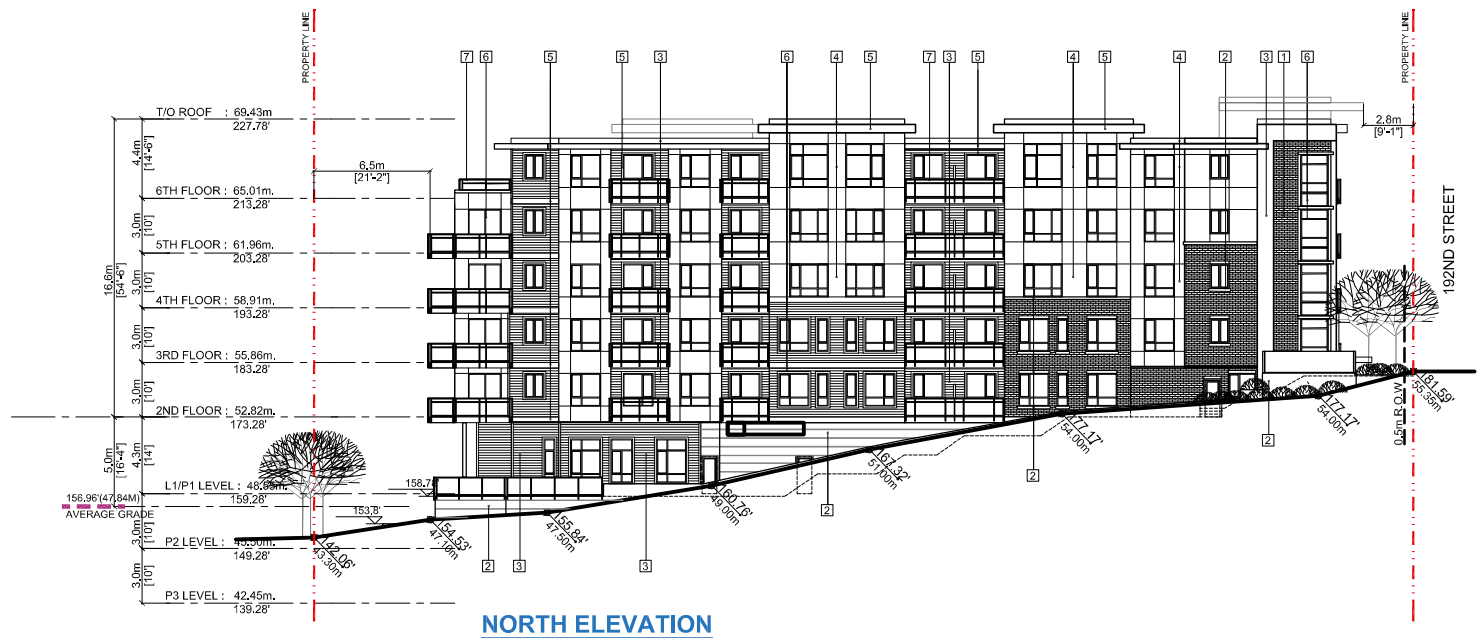
NO.	DATE	REVISION / ISSUED
8	11/01/2024	REVISED PER URBAN DESIGN COMMENTS
7	17/10/2023	REISSUED FOR DRG
6	28/05/2023	REISSUED FOR DRG
5	23/09/2022	REQUIRED TO COMPLY WITH WOOD FRAME ALLOWED HEIGHT
4	01/05/2022	REVISED HEIGHT FOR BUILDING & PD REVIEW
3	26/05/2022	ISSUED FOR BUILDING & PD REVIEW
2	23/12/2021	REVISED FOR PLANNING REVIEW
1	21/07/2021	REISSUED FOR PLANNING REVIEW

PROJECT TITLE:
**APARTMENT
DEVELOPMENT**
6280 & 6292
192ND ST.
SURREY, BC.

FOR:
**BMG PROJECTS
CLOVERDALE INC.**

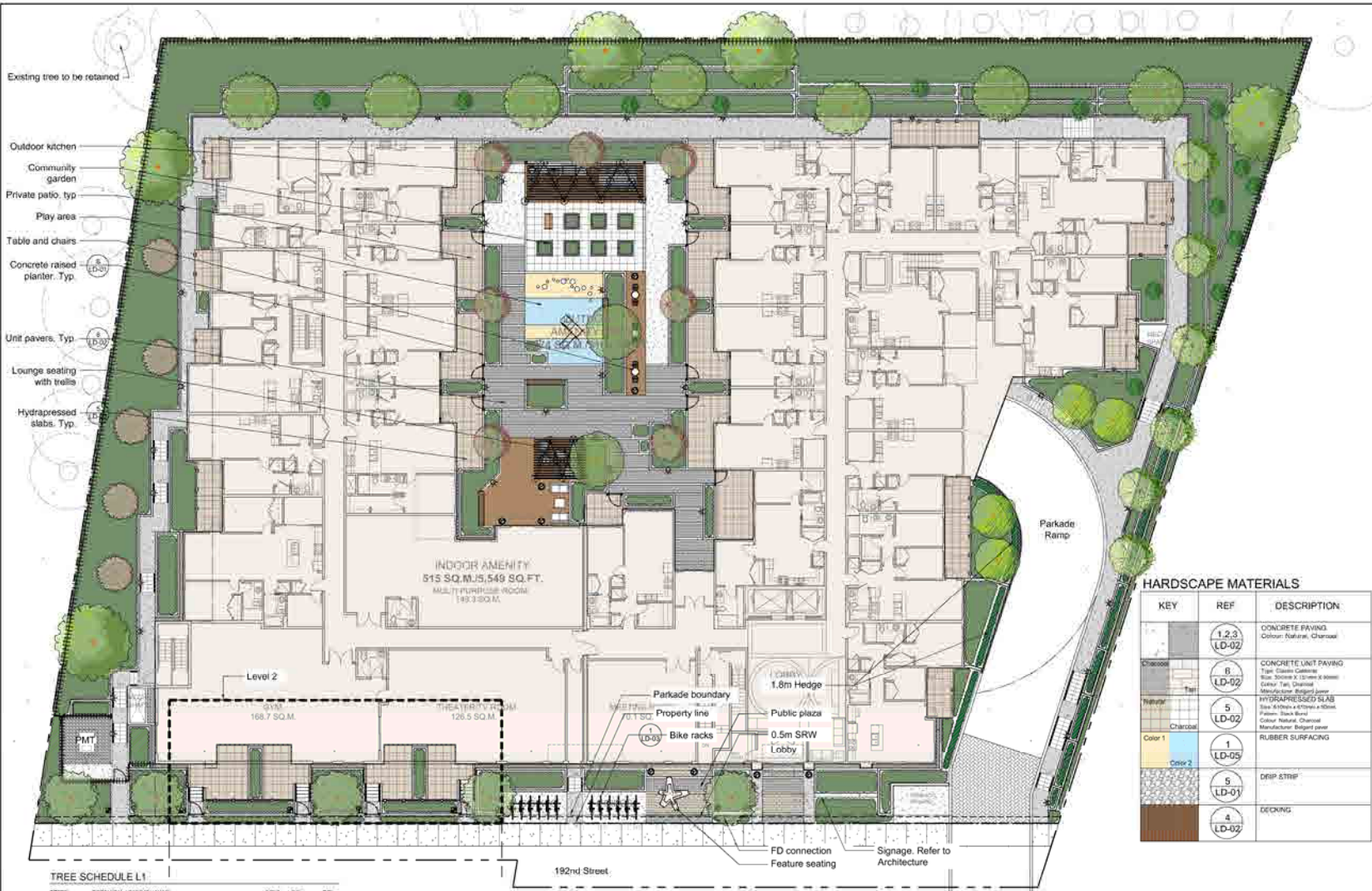
DRAWING TITLE:
NORTH ELEVATION

DATE:	Feb-23	SHEET NO.:	A-3.4
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



NORTH ELEVATION

- EXTERIOR FINISHES**
- 1. 2" WIDE SOLID BRICK :
BEIGE COLOR
(CHAMPAGNE VELOUR - BXL)
 - 2. ARCHITECTURAL CONCRETE/
WINDOW SILL:
PAINTED GREY
(POLISHED CONCRETE - SW 9167)
 - 3. FIBER CEMENT PANEL/SIDING:
PAINTED GREY (ACIER - SW 9170)
 - 4. FIBER CEMENT PANEL/SIDING:
PAINTED GREY
(GREEK VILLA - SW 7551)
 - 5. WOOD BAND BOARD/WOOD FASCIA
BOARD/WINDOW TRIM:
PAINTED GREY(GREEK VILLA - SW7551)
 - 6. VINYL WINDOWS/PANDREL/ALUMINUM
CLADDING AT ENTRY :
DARK GREY (IRON ORE - SW7069)
 - 7. ALUMINUM RAILING AND METAL
CANOPY W/ CLEAR GLASS:
DARK GREY (IRON ORE - SW7069)
 - 8. VINYL SOFFITS:
NATURAL WOOD COLOR



TREE SCHEDULE L1

TREE	BOTANICAL / COMMON NAME	QTY	%	QTY
	Acacia salicina 'Savoy' / Black-leafed Acacia	888	50%	3
	Alder Interim 'Archie' / Arbutus Menziesii	888	50%	8
	Cornus alba 'Sibirica' / Red Dogwood	888	50%	8
	Magnolia hybrid / Kikuwa Magnolia	888	50%	8
	Parrotia persica 'Venezia' / Persian Parrotia	888	50%	8
	Viburnum acerifolium 'Aronia' / Aroniac Viburnum	888	50%	14
	Quercus pedunculata / Shingle Oak	888	50%	8
	Shorea patersoniana / Japanese Thevetia	888	50%	1
	Buxus japonica 'Savoy' / Boxwood	888	50%	8



SITE FURNISHINGS

KEY	REF	DESCRIPTION
	3 LD-03	TABLE AND CHAIRS Material: powder coated steel (10 mil) PFI Inlay: Mahogany
	1 LD-04	TRELLIS
	1 LD-03	BIKE RACKS
	4 LD-03	BENCH

PLANTING POT

	5 LD-03
	4 LD-04
	6 LD-03

COMMUNITY PLANTER

LOUNGE SEATING

HARDSCAPE MATERIALS

KEY	REF	DESCRIPTION
	1,2,3 LD-02	CONCRETE PAVING Colour: Mahogany, Charcoal
	6 LD-02	CONCRETE UNIT PAVING Type: Classic Cobble Size: Square 4" x 4" x 2" (min) Colour: Tan, Drab Manufacture: Stone World Group
	5 LD-02	HYDRAPRESSED SLAB Size: 4' x 8' x 4" (min) x 2" (min) Pattern: Stone Bond Colour: Natural, Charcoal Manufacture: Redgate Stone
	1 LD-05	RUBBER SURFACING
	5 LD-01	DRP STRIP
	4 LD-02	DECKING

SOFTSCAPE MATERIALS

KEY	REF	DESCRIPTION
	1,2 LD-01	TREE PLANTING
	3,4 LD-01	SHRUB PLANTING

S/D See Critical Landscape Notes for Specifications

REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
1	PC	Issue for RFP	25.06.2024
2	PC	Issue for RFP	25.06.2024
3	PC	Issue for Review	25.06.2024
4	PC	Issue for RFP	25.06.2024
5	PC	Issue for RFP	25.06.2024

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
1	PC	Issue for RFP	25.06.2024
2	PC	Issue for RFP	25.06.2024
3	PC	Issue for Review	25.06.2024
4	PC	Issue for RFP	25.06.2024
5	PC	Issue for RFP	25.06.2024

Project:
 192ND STREET
 APARTMENT DEVELOPMENT

6280 & 6282 192nd Street,
 Surrey, B.C.
 V3S 2V3

Drawn: P/W
 PZ

Checked: PC

Approved: MVDZ

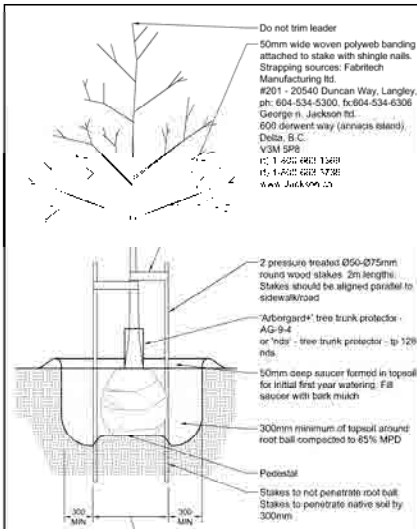
Scale: 1:150

Stamp: 303
 Mark van der Zalm
 2024-06-25

Original Sheet Size: 24"x36"

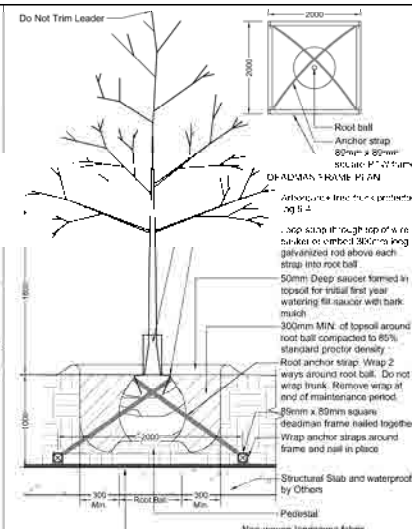
Scale: 1:150

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK BEFORE ANY COMMENCEMENT OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS.



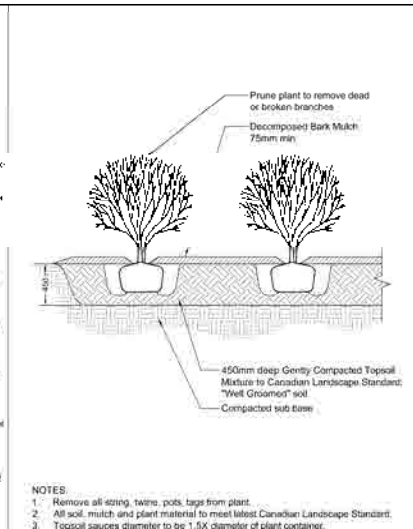
- Notes:
1. Backfilling to be loosened and dropped to the bottom of the planting hole. All string, twine, etc to be removed.
 2. All wire buckets shall have the top 1/3 of the wire removed prior to planting.
 3. All trees shall be single stem.

1. TREE PLANTING AT GRADE
Scale: 1:20



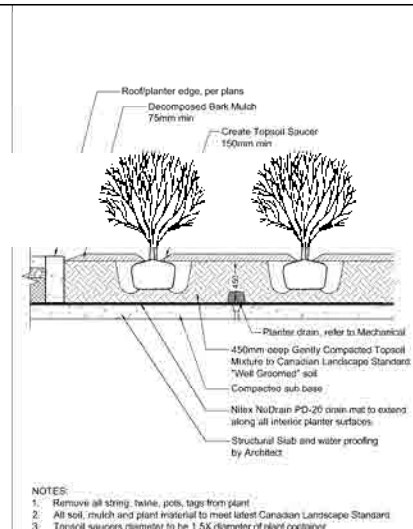
- Notes:
1. Stack topsoil to be loosened and dropped to the bottom of the planting hole. All string, twine, etc to be removed.
 2. All wire buckets shall have the top 1/3 of the wire removed prior to planting.
 3. All trees shall be single stem. All species must otherwise refer to Mechanical for pedestal locations.
 4. Refer to Mechanical for pedestal locations.

2. TREE PLANTING ON SLAB
Scale: 1:20



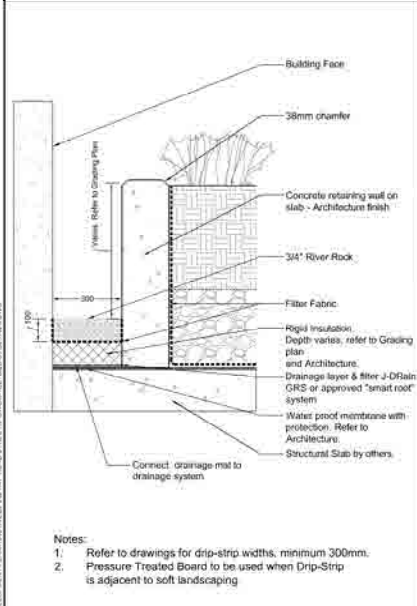
- NOTES:
1. Remove all string, twine, pots, tags from plant.
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
 3. Topsoil saucers diameter to be 1.5X diameter of plant container.
 4. D.C. spacing per planting plan.

3. SHRUB PLANTING AT GRADE
Scale: 1:20

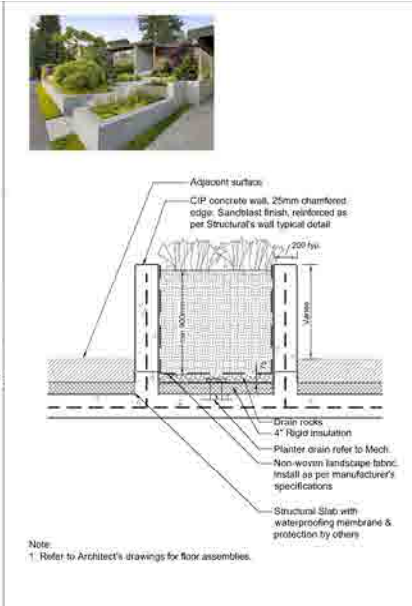


- NOTES:
1. Remove all string, twine, pots, tags from plant.
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
 3. Topsoil saucers diameter to be 1.5X diameter of plant container.
 4. D.C. spacing per planting plan.

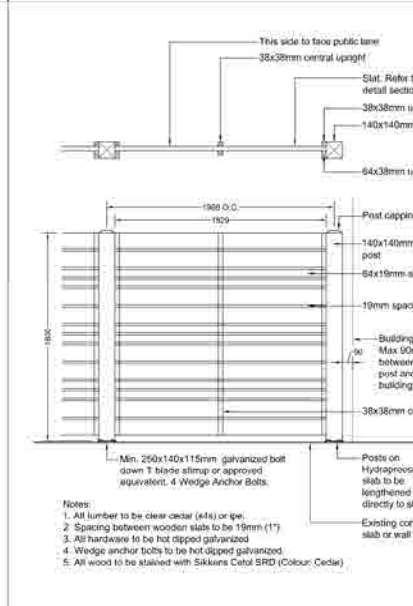
4. SHRUB PLANTING ON SLAB
Scale: 1:20



5. DRIP STRIP
Scale: 1:10



6. CONCRETE RAISED PLANTER ON SLAB
Scale: 1:20



7. PMT FENCE
Scale: 1:20



7. PMT FENCE
Scale: 1:20

Rev.	Description	Date
1	Issue for GP	2021-03-24
2	Issue for Approval Record	2021-03-24
3	Issue for GP	2021-03-24
4	Issue for Review	2021-03-24

REVISIONS TABLE FOR DRAWINGS

REVISIONS TABLE FOR SHEET

Project:
 192ND STREET
 APARTMENT DEVELOPMENT

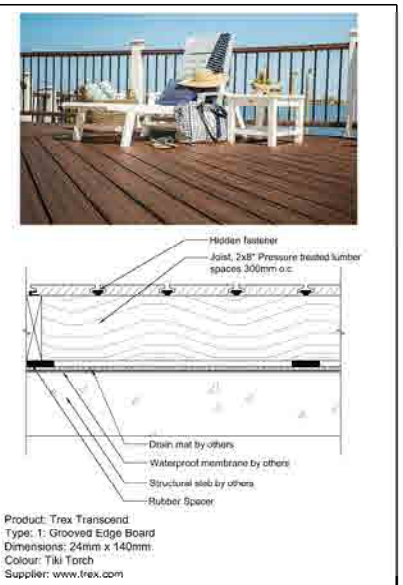
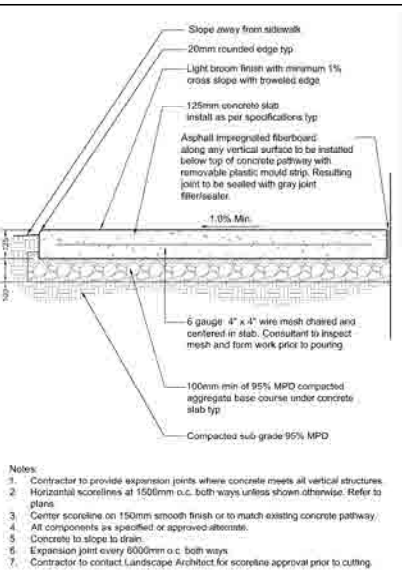
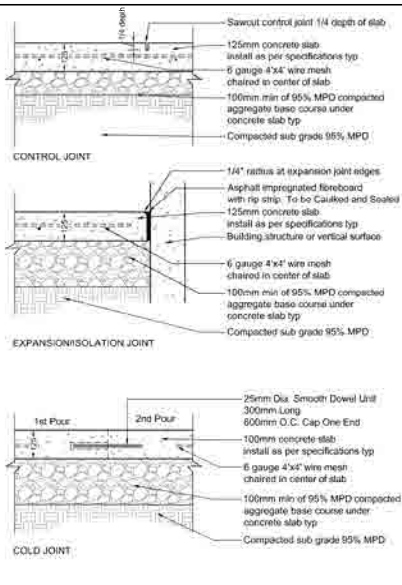
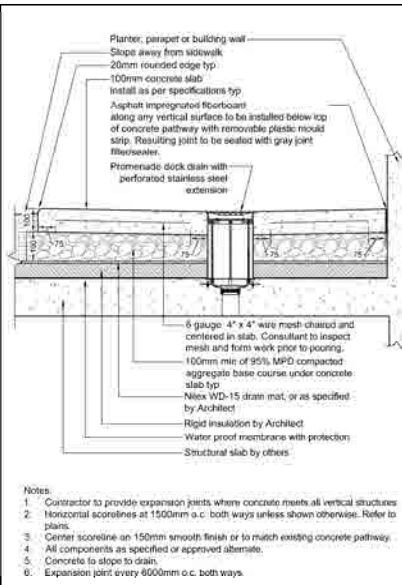
6280 & 6292 192nd Street,
 Surrey, B.C.
 V3S 2V3

Drawn: PC
 Checked: PC
 Approved: MVBZ
 Scale: AS SHOWN

Stamp: 303
 Mark van der Zalm
 2021-03-24

VDZ Project #:
 DP2021-47

Drawing #:
 LD-01

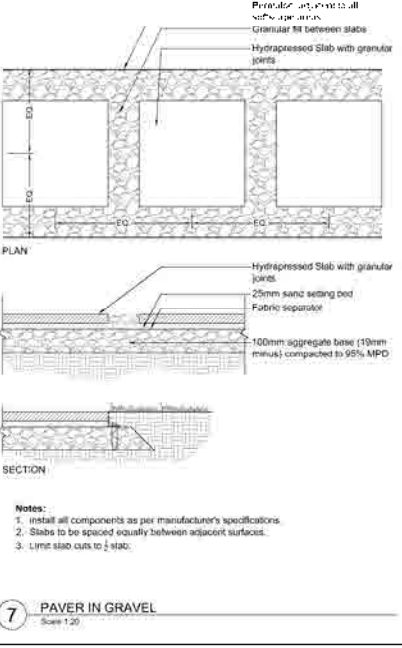
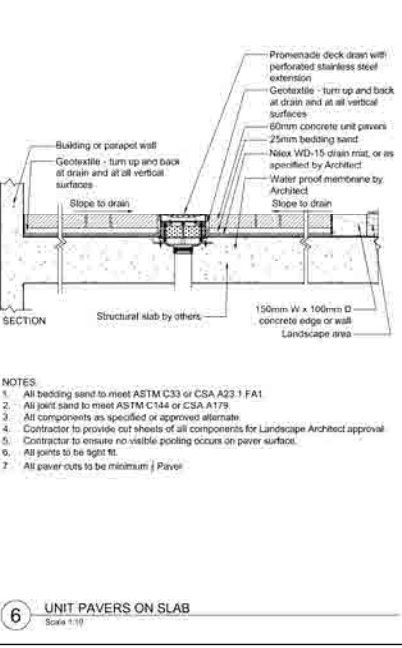
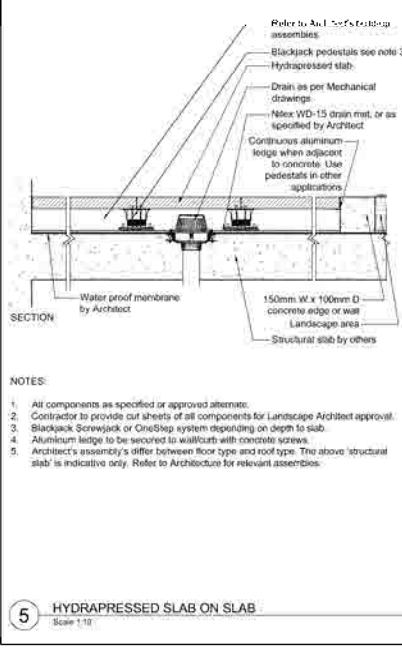


1 CONCRETE PAVING ON SLAB
Scale: 1:10

2 CONCRETE JOINTS
Scale: 1:10

3 CONCRETE PATH
Scale: 1:10

4 DECKING
Scale: 1:10



No.	Revised	Description	Date
4	PC	Issue for GP	08-01-2024
3	PC	Issue for Architect Record	15-09-2023
2	PC	Issue for GP	06-05-2023
1	PC	Issue for Review	25-06-2023

REVISIONS TABLE FOR DRAWINGS

Project:
192ND STREET
APARTMENT DEVELOPMENT

6280 & 6292 192nd Street,
Surrey, B.C.
V3S 2V3

Drawn:	Stamp
PC	303
Checked:	Original Sheet Size:
PC	24"x36"
Approved:	Scale:
MVD	AS SHOWN

CONTRACTOR SHALL CHECK ALL DRAWINGS ON THE WORK SITE PRIOR TO ANY COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CONTRACTOR AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CONTRACTOR.



1 LOUNGE SEATING WITH TRELLIS
 S.E. NTS



OUTDOOR KITCHEN SINK AND GRILL CABINET SET
 Model: Nova Age Products 65067
 Material: Stainless Steel
 Size: Sink Cabinet: 32" W x 25" D x 34.75" H
 Bar Cabinet: 32" W x 23" D x 34.5" H
 Insert Grill Cabinet: 33" W x 22" D x 34.75" H
 Supplier: Lowe's - 1-888-685-6837
 or approved equal



BUILT-IN GRILL
 Model: Nova Age 25" front unit
 Material: Stainless Steel
 Size: 35" W x 73" D x 25.5" H
 Supplier: Lowe's - 1-888-685-6837
 or approved equal

2 OUTDOOR KITCHEN
 S.E. NTS



PICNIC TABLE
 Type: Galchev Picnic Table (without umbrella holes)
 Size: 58" x 94" x 30"
 Colour: Silver
 Manufacturer: Landscapes Forms
 www.landscapesforms.com
 1-800-430-9009

3 PICNIC TABLE & CHAIRS
 S.E. NTS



4 COMMUNITY GARDEN PLANTERS
 S.E. NTS



POTTING TABLE
 Model #: 6595209
 Size: 45-1/2" W x 59" H x 23-3/4" deep overall
 Material: Wood
 Supplier: Gardener's Supply Company
 www.gardeners.com

5 POTTING TABLE
 Scale: NTS



CEDAR COMPOST BIN
 Model #: 6597527
 Size: 28" Square x 37" H
 Material: Cedar, aluminum
 Supplier: Gardener's Supply Company
 www.gardeners.com

6 COMPOST BIN
 Scale: NTS

Technical Information:	
Product Description:	Product Input: 400 to 1000 Customer: 4000-1000-1000 (1000) Landscapes Forms Ltd. 1000-1000
Source:	0000-1000-1000 (1000-1000) 4000-1000 1000-1000-1000 (1000-1000) 1000-1000-1000 (1000-1000)
Location/Installation:	1000-1000-1000 (1000-1000) 1000-1000-1000 (1000-1000) 1000-1000-1000 (1000-1000)
Options:	1000-1000-1000 (1000-1000)
Material:	1000-1000-1000 (1000-1000) 1000-1000-1000 (1000-1000) 1000-1000-1000 (1000-1000)
Mounting:	1000-1000-1000 (1000-1000) 1000-1000-1000 (1000-1000) 1000-1000-1000 (1000-1000)
Additional:	1000-1000-1000 (1000-1000) 1000-1000-1000 (1000-1000)
Access:	1000-1000-1000 (1000-1000)
Weight:	1000-1000-1000 (1000-1000)
Assembly:	1000-1000-1000 (1000-1000)
Rating:	1000-1000-1000 (1000-1000)
Certification:	1000-1000-1000 (1000-1000)



WALL LIGHT
 Product: GHOST Horizontal, 10W 280 lm
 Manufacturer: Iguzzini
 https://www.iguzzini.com
 1 (604) 215-1230
 Supplier: CDM2 LIGHTWORKS
 Contact: Moghan Boyd
 Tel: 604 215 7721
 meghan@cdm2lightworks.com
 Note: lighting fixture selection to be coordinated with electrical.

7 WALL LIGHT
 Scale: NTS



BOLLARD
 Product: BOLLARD
 Model: 1560BZ-LED (Atlanta Square Large LED Bollard)
 Finish: Bronze
 Mount: as per Manufacturer's specifications
 Manufacturer: Herkley
 Supplier: TerraDek Outdoor Lighting
 Sales Representative: Gerry De Le Vega
 gerry@terradek.com

Or Approved Equal

8 BOLLARD
 Scale: NTS

No.	By	Description	Date
1	PC	Issue for GP	08-08-2024
2	PC	Issue for Approval Record	15-09-2023
3	PC	Issue for GP	08-08-2024
4	PC	Issue for Review	25-06-2024

REVISIONS TABLE FOR DRAWINGS
 * Copying, tracing, or using the design in whole or in part without the written permission of the author is prohibited.

No.	Description	Date

Project:
 192ND STREET
 APARTMENT DEVELOPMENT
 6280 & 6282 192nd Street,
 Surrey, B.C.
 V3S 2V3

Drawn: PC	Stamp:
Checked: PC	
Approved: MVDZ	Original Sheet Size: 24" x 36"
Scale: AS SHOWN	CONSTRUCTION SHALL CHECK ALL DIMENSIONS PER THE WORK REPRESENTED AND VERIFY THAT ALL DIMENSIONS ARE CORRECT. DIMENSIONS ARE THE RESPONSIBILITY OF THE CLIENT AND NOT THE CONTRACTOR. ALL DIMENSIONS SHALL BE VERIFIED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHALL BE VERIFIED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHALL BE VERIFIED AT THE COMPLETION OF THE WORK.

TO: **Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Process Manager, Engineering Department**

DATE: **February 28, 2024** PROJECT FILE: **7823-0012-00**

RE: **Engineering Requirements
Location: 6280 192 St**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate varying widths for the ultimate 30.0 m road allowance along 192 Street.
- Dedicate 10.058 m of gazette road on 192 Street.
- Register 0.5 m SRW along 192 Street development frontage.

Works and Services

- Construct 1.8 m concrete sidewalk along 192 Street.
- Construct 300 mm watermain along 192 Street.
- Provide adequate water, storm, and sanitary service connections.
- Provide sanitary analysis to confirm capacity of fronting and downstream system, and provide improvements as required.
- Provide on lot drainage features as per the Cloverdale McLellan IMSP.
- Register applicable restrictive covenants on title as determined through detailed design.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Daniel Sohn, P.Eng.
Development Process Manager
RH

Department: **Planning and Demographics**
Date: **February 22, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23 0012 00**

The proposed development of **157** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	24
---	----

Projected Number of Students From This Development In:	
Elementary School =	14
Secondary School =	6
Total Students =	20

Current Enrolment and Capacities:	
Latimer Road Elementary	
Enrolment	628
Operating Capacity	481
# of Portables	6
Clayton Heights Secondary	
Enrolment	1304
Operating Capacity	1000
# of Portables	10

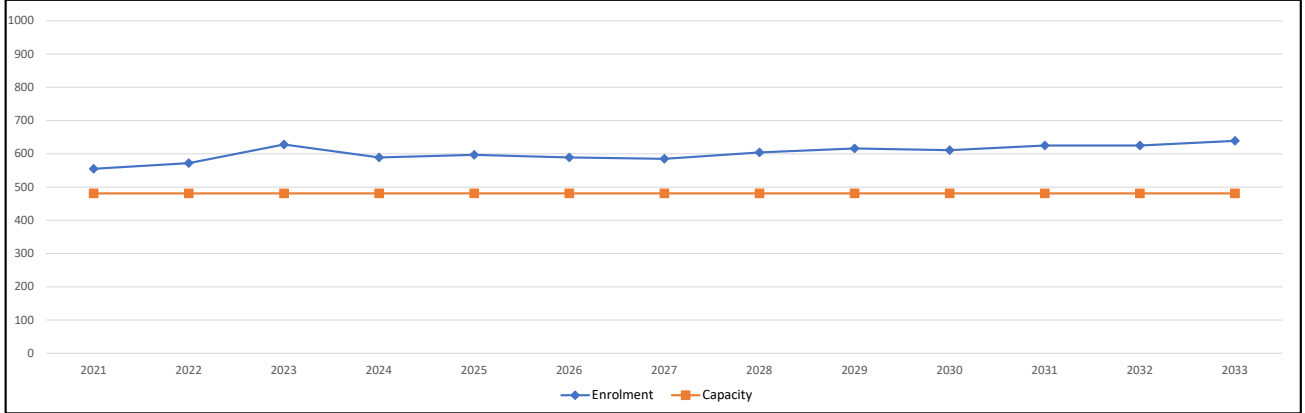
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

Latimer Road enrolment has been significantly growing over the last 3 years because of a boundary change in 2015 which moves enrolment growth southward from Katzie Latimer Road. This growth is further compounded by new residential multi-family developments opening up south of Fraser Highway in the catchment. Future growth in the area will need to be accommodated with portables. As of September 2022, there are 6 portables on site used for enrolling space. With the announcement for funding to extend the SkyTrain line to Langley, these projections should be considered conservative.

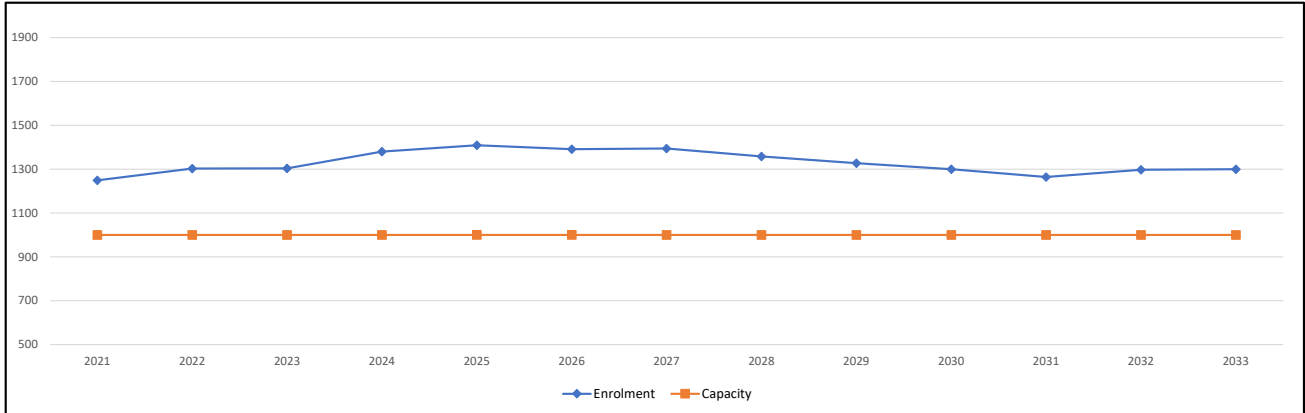
Ecole Salish Secondary opened in September 2018. This school has been built to relieve enrolment pressure at both Lord Tweedsmuir and Clayton Heights Secondary. The Ministry of Education supported the District to prepare a feasibility study for a 500 capacity addition for Clayton Heights Secondary. No funding has been approved to move the project into design and construction.

Latimer Road Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Clayton Heights Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

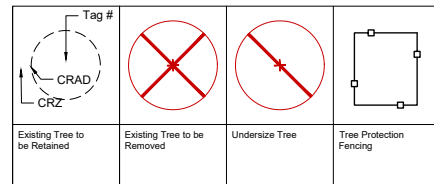
Table 1 : Tree Preservation Summary

Surrey Project No: 18-0253-00
Address: 6280 - 6292 192 Street, Surrey, BC
Registered Arborist: D. Glyn Romaine - ISA Certified Arborist PN-7929A

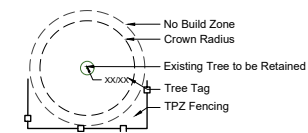
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	35
Protected Trees to be Removed	35
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $0 \times \text{one (1)} = 0$ All other Trees Requiring 2 to 1 Replacement Ratio $35 \times \text{two (2)} = 70$	70
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $0 \times \text{one (1)} = 0$ All other Trees Requiring 2 to 1 Replacement Ratio $0 \times \text{two (2)} = 0$	0
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA



LEGEND



Tree Tag Legend
 XX - Tag number
 C-XX - Municipality tree
 OS-XX - Off-site tree
 S-XX - Straddling tree. Written permission required from owner to remove trees.
 XX-NY - No Tag #
 WRC= Western Red Cedar
 BLM= Big Leaf Maple
 RA= Red Alder



Note:

- Contact Arborist for inspection 72 hrs prior to any grading or excavation within the tree protection zone. If during excavation it is found that it cannot be completed without severing roots that are critical to the trees health or stability it may be necessary to remove additional trees.
- Read this plan together with the arborist report prepared by VDZ+A.
- An additional 1m setback is shown for all hand-plotted trees to be retained
- If Stump Grinding is to occur in close proximity to trees which are to be retained then it is requested stumps to be removed under Arborist supervision.
- It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
 *Locating TPZ Fencing
 *Locating Work Zone and Machine access corridors where required
 *Reviewing the Report with the project foreman or site supervisor.

Specifications for Construction

1. 1.2 m (4') height
 2. 1.2 m (4') to be used for vertical posts per wall between rails and connecting to an "X" brace.
 3. Intersected vertical posts may be used with maximum diameter of 75 mm.
 4. Spacing between vertical posts to be no further apart than 1.2 m (4') maximum.
 5. Structure must be erected with vertical posts driven into firm ground.
 6. Construction should include a minimum of 2 m (6.6') of TPZ Fencing.
 7. Ground with visible signage at all times that maintenance tracks be protected with 2x4s.
 8. Located at intervals of 2.0 m (6.6') maximum, one side facing.

Tree Diameter (DBH)	Circle of Root Zone
100 mm (4.0")	1.0 m (3.3')
125 mm (5.0")	1.25 m (4.1')
150 mm (6.0")	1.5 m (4.9')
175 mm (7.0")	1.75 m (5.7')
200 mm (8.0")	2.0 m (6.6')
225 mm (9.0")	2.25 m (7.4')
250 mm (10.0")	2.5 m (8.2')
275 mm (11.0")	2.75 m (9.0')
300 mm (12.0")	3.0 m (9.8')
325 mm (13.0")	3.25 m (10.7')
350 mm (14.0")	3.5 m (11.5')
375 mm (15.0")	3.75 m (12.3')
400 mm (16.0")	4.0 m (13.1')
425 mm (17.0")	4.25 m (13.9')
450 mm (18.0")	4.5 m (14.8')

* For diameters not on this table divide the DBH by two for the radius.
 * Example: 300 mm = 15.0" = 4.8 m



No.	By	Description	Date
1	PC	Issued for Review	Aug 25, 2021

REVISIONS TABLE FOR DRAWINGS

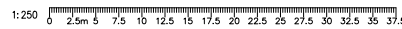
Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

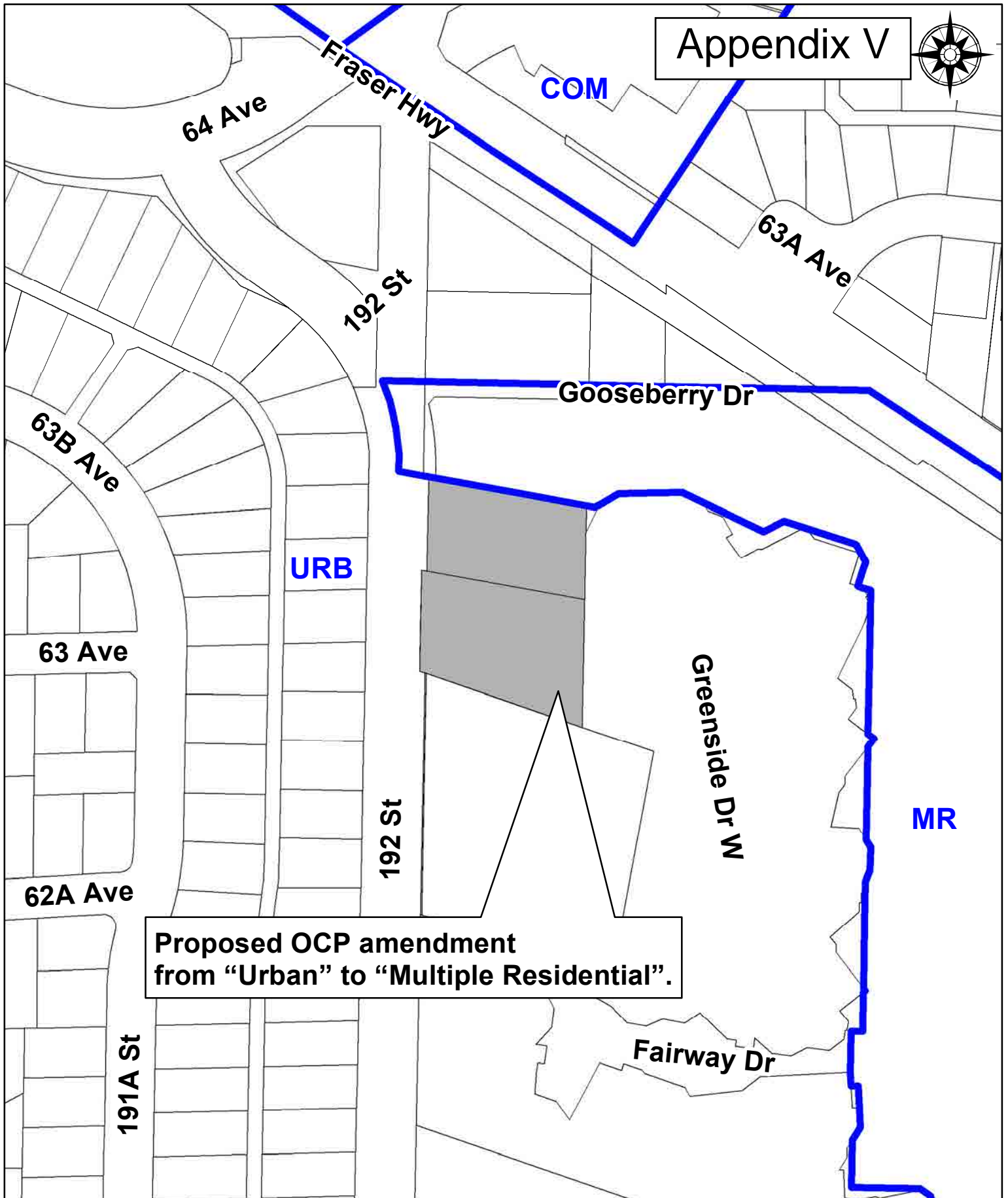
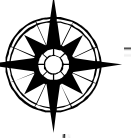
REVISIONS TABLE FOR SHEET

Project:
192ND STREET APARTMENT DEVELOPMENT
 6280 & 6292 192nd Street,
 Surrey, B.C.
 V3S 2V3

Drawn: FW	Stamp:
Checked: PC	
Approved: MVDZ	Original Sheet Size: 24"x36"

Scale:
 1:250
 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT IMMEDIATELY. THE CONSULTANT AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO THE WORK SHALL BE APPROVED BY THE CONSULTANT. CONSTRUCTION ITEMS LABELLED ISSUED FOR TENDER CONSTRUCTION.





Proposed OCP amendment from "Urban" to "Multiple Residential".



CITY OF SURREY

BYLAW NO. 21210

A bylaw to amend the provisions of Surrey Official
Community Plan Bylaw, 2013, No. 18020, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Official Community Plan Bylaw, 2013, No. 18020, as amended, is amended as follows:
 - a. "Figure 3, General Land Use Designations" of the Land Uses and Densities Section is amended by changing the land use designation for the area shown shaded in grey on the plan labeled Schedule A, attached hereto as follows:

FROM: URBAN (URB)

TO: MULTIPLE RESIDENTIAL (MR)

PID: 009-781-986

Lot "C" Section 10 Township 8 New Westminster District 13184

(6280 – 192 Street)

PID: 008-689-601

Parcel "One" (Explanatory Plan 16739) Lot "B" Section 10 Township 8 NWD 13184

(6292 – 192 Street)

- b. "Table 7A: Land Use Designation Exceptions" by adding the following site specific permission, as shown below:

Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
"Bylaw # 21210	Multiple Residential	6280 – 192 Street Lot "C" Section 10 Township 8 NWD 13184 6292 – 192 Street Parcel "One" (Explanatory Plan 16739) Lot "B" Section 10 Township 8 NWD 13184	Density permitted up to 2.40 FAR"

2. This Bylaw shall be cited for all purposes as "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21210".

PASSED FIRST READING on the th day of , 20 .

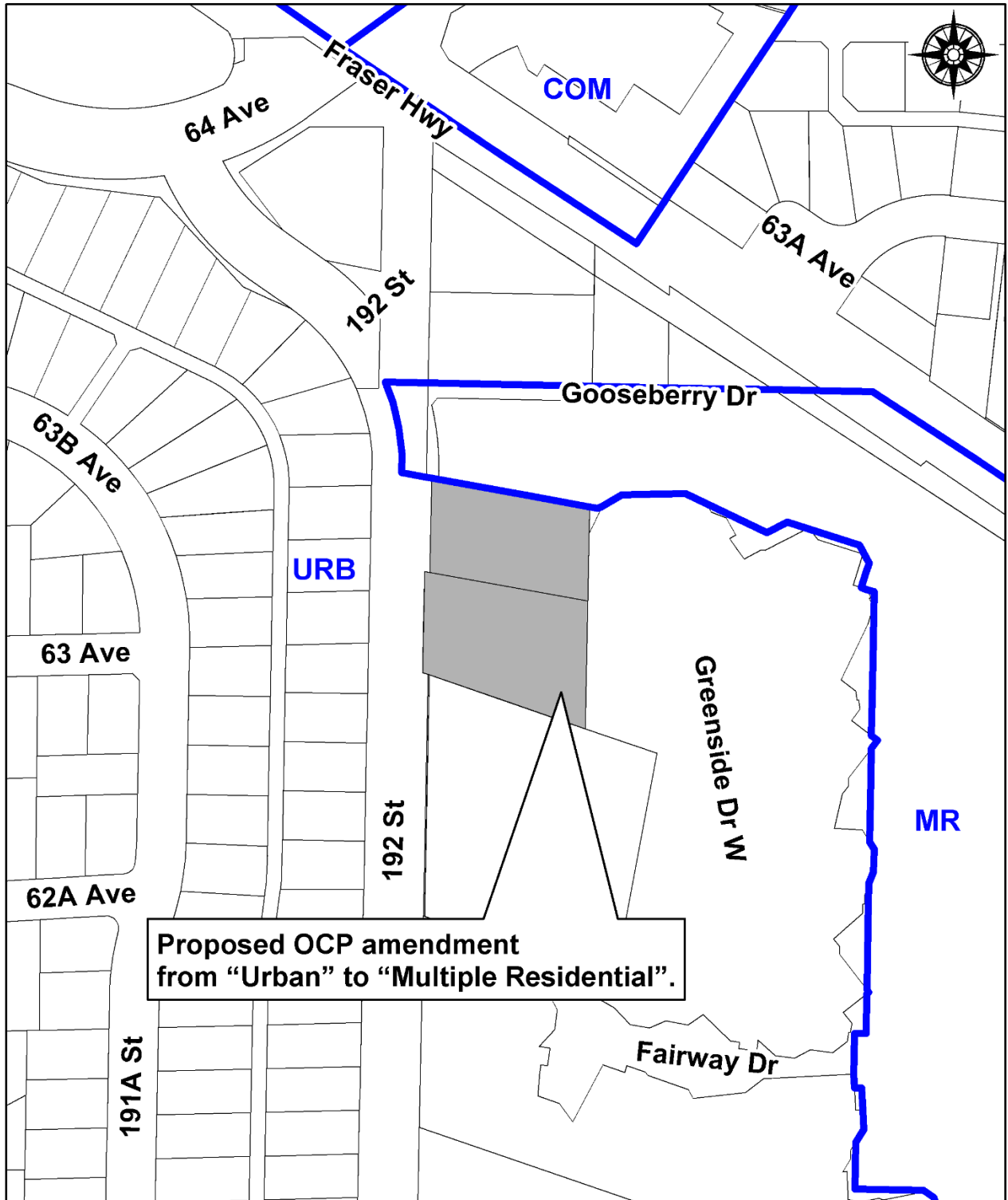
PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK



OCP Amendment 23-0012-00

Proposed OCP amendment
from "Urban" to "Multiple Residential".



CITY OF SURREY

BYLAW NO. 21211

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 191 (CD 191), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 201" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 201"	(a) 6280 – 192 Street (b) 6292 – 192 Street	(a) Lot "C", Plan 13184 (b) Parcel "One", (Explanatory Plan 16739)	21211	N/A"

2. This By-law shall be cited for all purposes as "Surrey Comprehensive Development Zone 201 (CD 201), Bylaw, 2024, No. 21211".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 201 (CD 201)

In this Comprehensive Development Zone 201 (CD 201), **Part 24, Multiple Residential 70 Zone (RM-70)**, as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
6280 – 192 Street	Lot "C" Section 10 Township 8 NWD Plan 13184	009-781-986
6292 – 192 Street	Parcel "One" (Explanatory Plan 16739) Lot "B" Section 10 Township 8 NWD Plan 13184	008-689-601

(collectively the "Lands")

except as follows:

1. Density

Delete Sub-section D.2. in Section "D. Density" and replace it with a new Sub-section D.2. as follows:

"2. **Permitted Density Increases:**

If amenity contributions are provided in accordance with Schedule G, *density* may be increased to a maximum *floor area ratio* of 2.40, excluding:

- (a) The indoor *amenity space* requirement (pursuant to Section J.1. of this Zone); and
- (b) Up to a maximum of 170 sq. m of the *secure bicycle parking area* requirement (pursuant to Section H.5. of this Zone)."

2. Lot Coverage

Delete Section "E. Lot Coverage" and replace it with a new Section "E. Lot Coverage" as follows:

"E. **Lot Coverage**

- 1. The maximum *lot coverage* for all *buildings* and *structures* shall be 54%."

3. Yards and Setbacks

Delete Section "F. Yards and Setbacks" and replace it with a new Section "F. Yards and Setbacks" as follows:

"F. **Yards and Setbacks**

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	North Yard	East Yard	South Yard	West Yard
<i>Principal Building</i> and <i>Structures</i>	6.0 m	11.0 m	7.5 m	4.5 m

1 Notwithstanding the definition of *setback* in Part 1, Definitions, *balconies* may encroach 1.3 m, canopies 1.9 m and roof overhangs 1.7 m into the required *setbacks*.

2 Notwithstanding the *setbacks* identified in Section F. of this Zone, the minimum *east yard setback* may be reduced to 9.0 m for a *parking structure* and for the first floor of a *multiple unit residential building* and to 7.8 m for the second floor up to the fifth floor of a *multiple unit residential building*.

3 Notwithstanding Section A.26.(b) of Part 4, General Provisions, stairs with more than three risers may encroach into the *setbacks*.

4 Notwithstanding Section A.3.(d) of Part 5, Off-Street Parking and Loading/Unloading, *parking - underground* may be located up to 0.5 m of any *lot line*."

4. Height of Buildings

Delete Section "G. Height of Buildings" and replace it with a new Section "G. Height of Buildings" as follows:

"G. Height of Buildings

1. Principal Buildings:
Principal building height shall not exceed 23 m.
2. Structures:
Structure height shall not exceed 4.5 m."

5. Off-Street Parking and Loading/Unloading

Delete Section "H. Off-Street Parking and Loading/Unloading" and replace it with a new Section "H. Off-Street Parking and Loading/Unloading" as follows:

"H. Off-Street Parking and Loading/Unloading

1. Parking Calculations:
Refer to Table D.1. of Part 5 Off-Street Parking and Loading/Unloading.
2. Tandem Parking:
Tandem parking is not permitted.
3. Underground Parking:
All required resident *parking spaces* shall be provided as *parking – underground*.
4. Parking Areas:
 - (a) Parking within the required *setbacks* is not permitted; and
 - (b) Parking is not permitted in front of the main entrance of a *non-ground-oriented multiple unit residential building*.
5. Bicycle Parking:
A secure bicycle parking area shall be provided in a separate bicycle room located within a *building*, whether located at, below, or above *finished grade*, with convenient access to the outside of the *building*."

6. Special Regulations

Delete Section "J. Special Regulations" and replace it with a new Section "J. Special Regulations" as follows:

"J. Special Regulations

1. Amenity Spaces:
Amenity space, subject to Section B.6. of Part 4, General Provisions, shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space* in the amount of:
 - i. 3.0 sq. m per *dwelling unit*; and
 - ii. 1.0 sq. m per *lock-off suite*; and
 - iii. 4.0 sq. m per *micro unit*;
 - (b) Outdoor *amenity space* shall not be located within the required *setbacks*;
 - (c) Indoor *amenity space* in the amount of:
 - i. 3.0 sq. m per *dwelling unit*; and
 - ii. 1.0 sq. m per *lock-off suite*; and
 - iii. 4.0 sq. m per *micro unit*; and
 - (d) Indoor *amenity space* devoted to a *child care centre* shall be a maximum of 1.5 sq. m per *dwelling unit*.

2. Child Care Centres:

Child care centres shall be located on the *lot* such that these centres:

- (a) Have direct access to an *open space* and play area within the *lot*; and
- (b) Do not exceed a total area of 3.0 sq. m per *dwelling unit*.

3. Balconies:

Balconies are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 sq. m per *dwelling unit*, whichever is greater."

H - 10

ACTION REQUIRED: DVP Approval

TYPE: DVP

PURPOSE: The applicant is requesting a variance to increase the maximum height of a free-standing telecommunications antenna system from 12 metres to 41 metres in order to provide increased service to the surrounding area.

LOCATION: 4311 King George Boulevard

PROCESSING DATES:

DEVELOPMENT VARIANCE PERMIT

April 8, 2024 - Proceed to Public Notification: Carried RES.R24-516

NOTICE OF DEVELOPMENT VARIANCE PERMIT

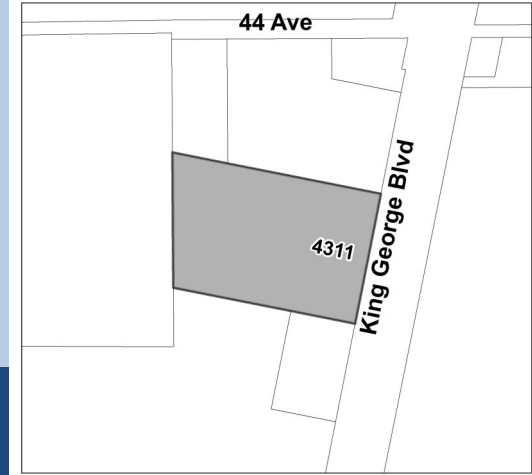
Surrey City Council will hold an **electronic** meeting

MONDAY, APRIL 22, 2024

STARTING AT 7PM

View the livestream at surrey.ca or at City Hall
13450 — 104 Avenue

YOUR COMMENTS MUST BE RECEIVED IN WRITING FOR COUNCIL'S CONSIDERATION



Planning Report—Application No. 7923-0295-00

Location: 4311 King George Boulevard

Purpose of Permit: The applicant is requesting a variance to increase the maximum height of a free-standing telecommunications antenna system from 12 metres to 41 metres in order to provide increased service to the surrounding area.

LOCATION



OWNER/OCCUPANT



Office of the City Clerk
13450 – 104 Avenue,
Surrey, BC V3T 1V8
Canada

QUESTIONS FOR THE PLANNER:

Email planning staff at planningdevelopment@surrey.ca if you have any questions regarding this application. For information about the application visit surrey.ca.

City Hall is open Monday to Friday 8:30am-4:30pm except statutory holidays.

COMMENTS TO COUNCIL:

Your comments on this application must be received in writing by 12:00 noon on Council day, for Council's consideration. There are no speaking opportunities.

Webform: surrey.ca

Email: clerks@surrey.ca

Mail: Office of the City Clerk at the address above

Fax: 604-501-7578

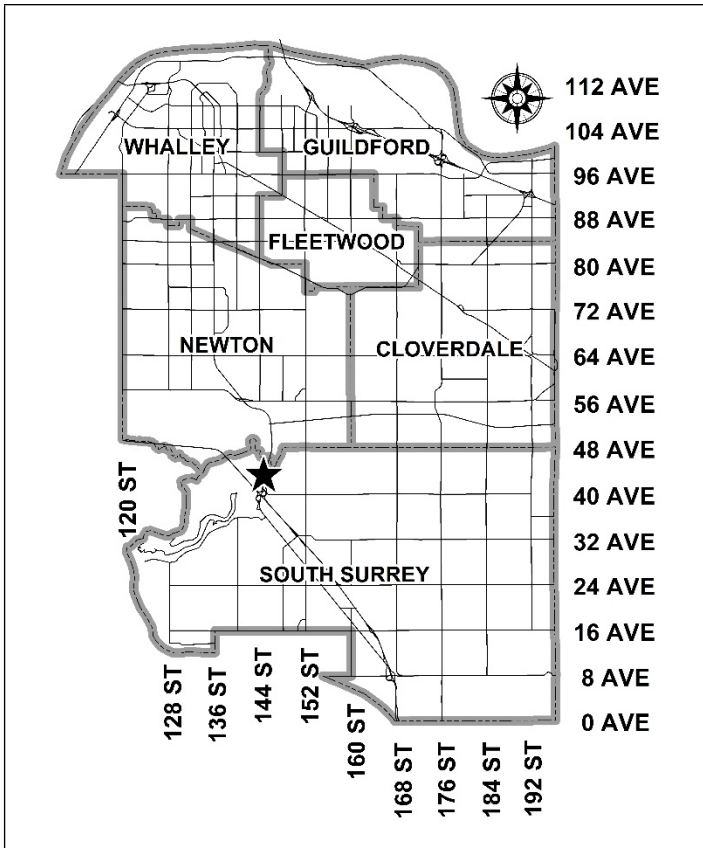
WATCH THE COUNCIL MEETING:

View the livestream at surrey.ca or at City Hall, 13450 —104 Avenue

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0295-00

Planning Report Date: April 8, 2024



PROPOSAL:

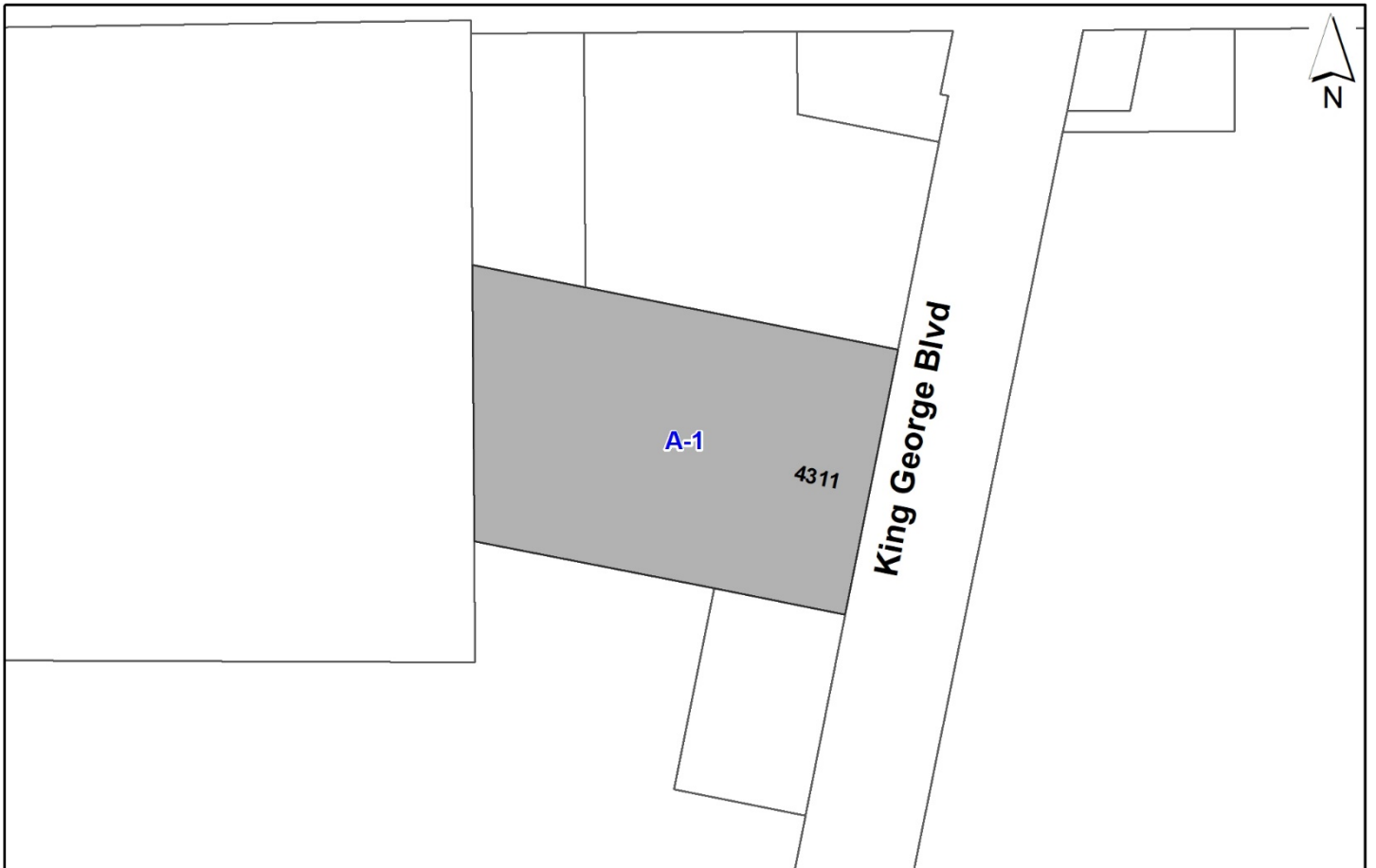
- **Development Variance Permit**

to increase the maximum height of a free-standing telecommunications antenna system from 12 metres to 41 metres.

LOCATION: 4311 King George Boulevard

ZONING: A-1

OCP DESIGNATION: Agricultural



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to increase the maximum height for a free-standing antenna system under Part 4 General Provisions of the Zoning Bylaw.

RATIONALE OF RECOMMENDATION

- The proposal complies with the criteria identified in the City's Antenna System Siting Policy (No. O-62).
- The applicant has provided information indicating that there are no existing structures of sufficient height that are suitable to mount an antenna system within a 500-metre (1,640 ft.) radius of the subject site.
- The applicant has provided documentation which indicates that there is a demonstrated coverage gap in the area, which the wireless carriers would like to resolve to provide better service to existing and potentially new customers.
- In 2021, Council previously endorsed an increase in the maximum height of a free-standing telecommunications antenna system at the subject site under Development Application No. 7920-0209-00. The current Development Application No. 7923-0295-00 is intended to renew the lapsed variance as substantial construction has not occurred within two years of issuance.
- The public consultation process generated one (1) response in support from the adjacent properties and mailing addresses within 123 metres of the proposed antenna system.
- The proposed location of the antenna system is in the centre of a parcel within the Agricultural Land Reserve (ALR) operating as a garden centre and stonework business. The base of the antenna system is approximately 100 metres from the road frontage of King George Boulevard and over 50 metres from the southern property line.
- The Agricultural and Food Policy Committee (AFPC) voted to support Development Application 7923-0295-00 at the March 12, 2024 meeting, based on satisfaction of two conditions:
 - Utilization of the existing driveway access to the subject site as indicated on the revised site plan; and
 - Tower lights to be installed on top of the telecommunications tower to ensure airspace safety for low-flying aircrafts. This is shown on the elevation drawings.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No.7923-0295-00 (Appendix II), to vary Part 4 General Provisions of the Zoning By-law to increase the maximum height of a free-standing antenna system tower from 12 metres to 41 metres, to proceed to Public Notification.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Art Knapp Garden Centre/ Bedrock Natural Stone	Agricultural (ALR)	A-1
North:	Art Knapp Garden Centre	Agricultural (ALR)	A-1
East (Across King George Boulevard):	Active Farmland	Agricultural (ALR)	A-1
South:	Peace Arch Nurseries/ Vacant Parcel	Agricultural (ALR)	A-1
West:	Active Farmland	Agricultural (ALR)	A-1

Context & Background

- The 1.6 hectare subject site is located within the Agricultural Land Reserve (ALR), designated "Agricultural" in the Official Community Plan (OCP), and zoned "General Agriculture Zone (A-1)".
- The Art Knapp Garden Centre and Bedrock Natural Stone currently operate on the subject site in conjunction with the abutting lots to the North, 14418 and 14448 – King George Boulevard.
- The surrounding properties to the north, south, east and west are designated "Agricultural" in the Official Community Plan (OCP), zoned "General Agriculture Zone (A-1)" and located within the Agricultural Land Reserve (ALR).
- In 2020, a 41 metre (134 ft.) tall telecommunication tower was proposed under Development Application No. 7920-0209-00 on the subject property. After it was determined that siting of antennas on nearby BC Hydro transmission towers would not be feasible, the subject site was chosen to enhance cell coverage in the area while limiting impact on area residents.
- Development Variance Permit No. 7920-0209-00 was issued at the Regular Council – Public Hearing meeting on May 10, 2021. The DVP has lapsed due to a lack in substantial start of construction work within two years after the date this DVP was issued.

DEVELOPMENT PROPOSAL

Planning Considerations

- Cypress Land Services Ltd. on behalf of Freedom Mobile is proposing to erect a 41-metre tall multi-carrier free-standing antenna system and equipment compound located in the centre of the subject site.
- The Zoning By-law allows for 12 metre tall free-standing antenna system in all zones.
- The applicant is proposing a Development Variance Permit to increase the maximum height of a free-standing antenna system from 12 metres to 41 metres.

Referrals

Engineering: The Engineering Department has no objection to the project

Agricultural and Food Policy Committee (AFPC) The proposal was referred to the AFPC for information purposes. The AFPC members had concerns regarding traffic safety along King George Boulevard in regards to a new driveway servicing the Art Knapps property through 4311 King George Boulevard. In response, the applicant clarified that access would be taken from the existing driveway on 4391 King George Boulevard and supplied a revised site plan to show this access.

The AFPC members had concerns on the potential impact of the proposed free-standing antenna system on nearby aircraft traffic. In response, the applicant supplied an elevation drawing showing a light placed on the tower for visibility and safety.

Natural Area Considerations

- The applicant retained a Qualified Environmental Professional (QEP) to assess the nearby watercourses under Development Variance Permit No. 7920-0209-00. A QEP summary letter was submitted in December, 2020, confirming that the base of the telecommunication tower will be more than 50 metres away from any watercourse within the vicinity.
- Due to the significant separation distance between the base of the proposed tower and the adjacent watercourses, a sensitive ecosystem development permit for streamside protection was not required.

POLICY & BY-LAW CONSIDERATIONS

- Staff have conveyed to telecommunication companies the importance of a comprehensive strategy to ensure adequate coverage for all carriers while minimizing the number of singular user installations. Staff have also emphasized the importance of keeping the height of installations to a minimum without compromising the existing policy guidelines, especially antenna systems proximity to residential areas and to ensure that an appropriate design is being considered.
- Improving high speed wireless service supports the growing high technology sector, high tech education, emergency services and broadens community consultation opportunities through social media.
- The proposed free-standing antenna system is required for current and future network capacity upgrades. This proposal will provide increased service to the surrounding area. Many residents and businesses use wireless service as their primary means of communication and have come to expect it as an essential utility.
- The proposed location for the free-standing antenna system is in the middle of the lot adjacent to existing farm buildings. This location should have minimal impact on agricultural land and current operations occurring on site.
- As the free-standing antenna system and equipment compound are setback more than 100 metres from the nearest public road and more than 50 metres from the south property line, no landscaping or screening is proposed.
- The proposed free-standing antenna system supports the City of Surrey's vision for building a strong economy.

City's Antenna System Siting Policy

- On February 22, 2021, Council approved the City's Antenna System Siting Policy (No. O-62), which replaced Policy No. O-49 Telecommunication Towers. Policy No. O-62 was developed by City staff in coordination with industry representatives to ensure that development of antenna systems throughout Surrey meet the needs of residents and conform to telecommunication industry best practices. The policy provides parameters on how free-standing antenna systems should be sited and designed.
- The subject application generally complies with the current Antenna System Siting Policy No. O-62 and is therefore being presented for Council's consideration.
- The following is an evaluation of the current proposal in relation to applicable components of Policy No. O-62:

Co-Location

- Co-location will generally result in taller and wider Towers, more antennas on each structure and physical limitations on how many antennas a single Antenna Supporting Structure can structurally support. The City recognizes that the objective of promoting Co-location and the objective of making Antenna Systems less noticeable may sometimes come into conflict.

The applicant has confirmed that TELUS will also locate on the proposed free-standing antenna system with Freedom Mobile. A total of 12 flush-mounted antennas are proposed on one transmission tower.

Location Preferences

- It is preferable that new free-standing antenna systems be sited in non-residential locations and preferably outside of agricultural areas unless other options are exhausted. If free-standing antenna systems are proposed on agricultural land, the proposal should ensure siting avoids farmland, and ensures maximum potential for farming on remainder of site.

The applicant was previously asked to explore siting antennas on the BC Hydro transmission towers to the west along Highway No. 99. BC Hydro is not supportive of co-location on these transmission towers.

The proposed location is within an agricultural area and is approximately 160 metres away from the nearest existing agricultural dwelling to the south. An in-stream Development Permit application (No. 7920-0192-00) proposes a new single family dwelling at 4253 – King George Boulevard which could result in an agricultural dwelling being located approximately 100 metres from the base of the proposed free-standing antenna system.

The applicant has indicated that they require a 41-metre high structure to achieve an expanded infill coverage area as shown in Appendix III.

The subject site is utilized as a garden centre and stone masonry business. The proposed free-standing antenna system will not negatively impact the site operations. The antenna enclosure will be located to the west of the nursery display area of the site currently used for storage.

Design Preferences

- The appropriate type of telecommunication Antenna Supporting Structure for each situation should be selected with the goal of making best efforts to blend with the nearby surroundings and minimizing the visual aesthetic impacts of the Antenna System on the community. The use of monopoles is strongly encouraged.

The applicant proposes a monopole design with flush mounted antennas which is considered appropriate for this situation.

- The City prefers that Towers be a maximum of 15 metres in height, except in industrial, mixed employment, commercial and agricultural areas. The City will consider increased height for a Tower when located in an Industrial or Mixed Employment Area, and preferably at a distance at least six times the height of the Antenna Supporting Structure away from Residential Areas.

The applicant has advised the increased height of the proposed tower is necessary to fill coverage gaps in the area. The proposed free-standing antenna system does include one carrier willing to co-locate, which often results in the need for a higher structure.

Application no. 7911-0141-00 proposed a 44 metre tall free-standing antenna system at 4121 - King George Boulevard, which is two properties to the south of the subject site. That application was ultimately denied by Council on March 12, 2012 due to a number of factors, including public opposition from the nearby manufactured home park to the east at 14601 - 40 Avenue.

The subject application proposes a free-standing antenna system further north with the intension of limiting visual impact on the manufactured home park to the southeast. The manufactured home park is located approximately 450 metres away from the base of the proposed free-standing antenna system, which is a distance of greater than six times the height of the free-standing antenna system.

- Landscaping shall be appropriately placed around telecommunication towers and ancillary facilities, such as equipment shelters, to minimize their visual impact on the neighbourhood. In all instances, the Proponent should mitigate negative visual impacts through the use of appropriate landscaping, screening, stealth design techniques. The design of Antenna Systems should generally be unobtrusive and consistent with area guidelines. Towers and communication equipment should have a non-glare surface.

No landscaping is proposed for screening as the tower and compound are located in the centre of the property adjacent to existing farm buildings and setback approximately 100 metres from the road frontage. The base of the free-standing antenna system will be obscured from view from King George Boulevard by the existing buildings and structures located on site. The proposed free-standing antenna system meets all applicable setback requirements under the A-1 Zone.

There are several trees located on the property boundary with 4253 - King George Boulevard to the South. These existing trees will offer some level of screening for the future single family dwelling proposed on the neighbouring property. The base of the free-standing tower is anticipated to be approximately 100 metres away from any future home located at 4253 - King George Boulevard.

- Where Transport Canada and/or NAV Canada requires a structure to be lit, the lighting should be limited to the minimum number of lights and the lowest illumination allowable, and any required strobe lighting should be set to the maximum strobe interval allowed by Transport Canada

The applicant submitted revised elevation drawings confirming the placement of a tower beacon lighting on the proposed free-standing antenna system.

Public Consultation Process

- In accordance with policy No. O-62, the applicant sent out 19 notification packages on December 1, 2023 to the neighbouring property owners and mailing addresses within a notification area of 123 metres, which is approximately three times the height of the proposed tower.
- One (1) response in support was received by the applicant regarding the proposed tower.

Zoning By-law

- The applicant is requesting the following variance:
 - to vary Part 4 General Provisions of the Zoning By-law to increase the maximum height of a free-standing antenna system from 12 metres to 41 metres.
 - The proposed variance meets the City's Antenna System Siting Policy (O-62) guidelines including, co-location and siting.
 - The proposed variance received support from one (1) resident and no opposition from adjacent property owners.
 - The proposed location of the free-standing antenna system will not negatively impact the site operations and should have minimal impact on agricultural land.
- The proposed free-standing antenna system and cabinet locations are compliant with the accessory building setbacks of the A-1 Zone.
- Staff support the requested variance to proceed for consideration.

TREES

- No trees will be impacted by construction or operation of the telecommunications tower and compound.

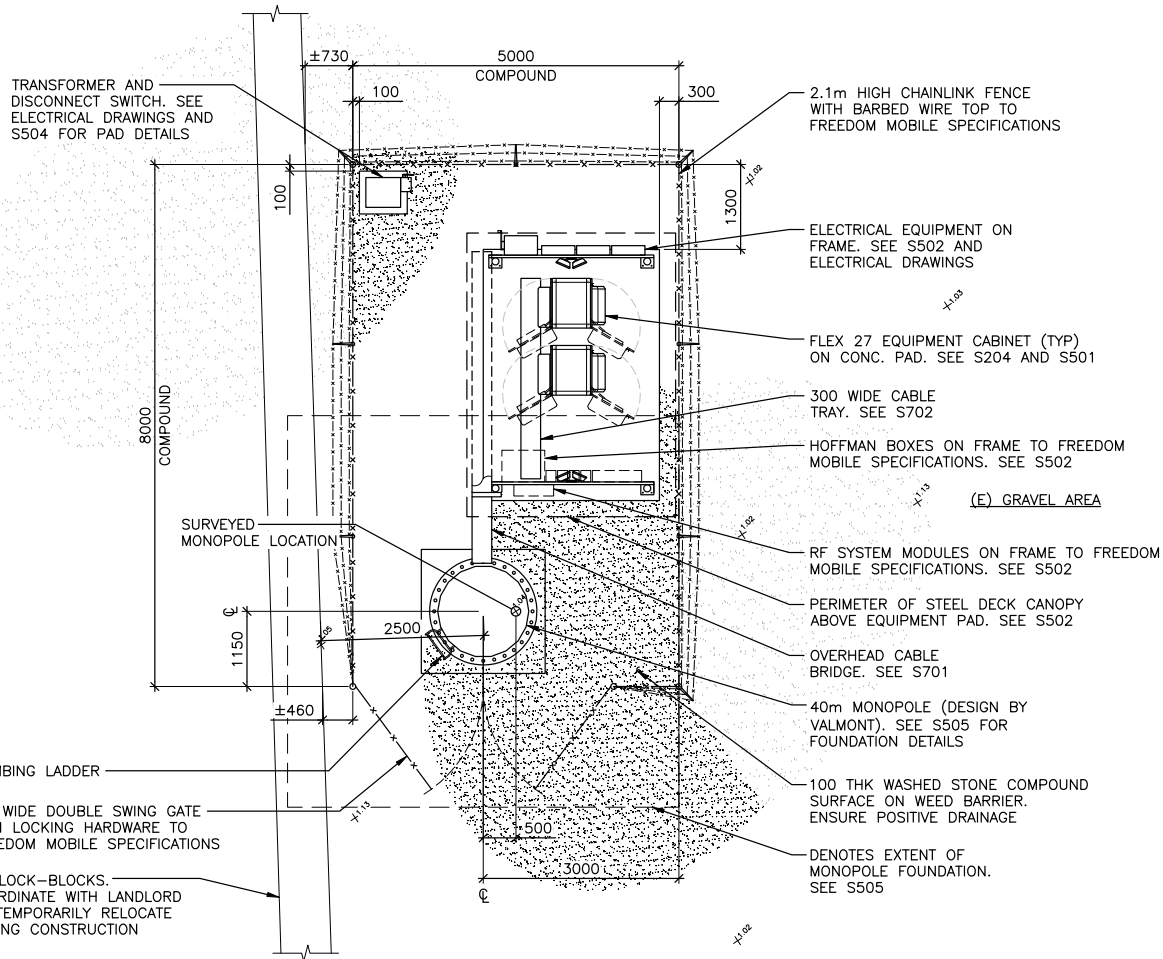
INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan and Elevations
Appendix II.	Development Variance Permit No. 7923-0295-00
Appendix III.	Photo Renderings

approved by Shawn Low

Don Luymes
General Manager
Planning and Development



NOTES:

- EXISTING UNDERGROUND SERVICES MAY EXIST THAT ARE NOT SHOWN. CONTRACTOR IS RESPONSIBLE TO LOCATE ANY AND ALL BURIED SERVICES IN THE VICINITY OF REQUIRED EXCAVATION PRIOR TO CONSTRUCTION. USE HAND DIGGING OR HYDRO EXCAVATION WHERE APPROPRIATE.

LEGEND:

- ★ - INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING
- (E) - DENOTES EXISTING
- (TYP) - DENOTES TYPICAL
- X+0.0 - DENOTES (E) SPOT ELEVATION (m AMSL)



★ (E) LOCK-BLOCKS. COORDINATE WITH LANDLORD TO TEMPORARILY RELOCATE DURING CONSTRUCTION

1 COMPOUND LAYOUT
S301 1:75

2024.03.22	REVISED PER CITY
2023.10.06	REVISED FIBER
2023.09.25	ELECTRICAL REVISIONS
2023.08.18	ISSUED FOR 90% COORDINATION
2020.12.07	ISSUED FOR CLIENT REVIEW
2020.04.20	ISSUED FOR CLIENT REVIEW
2020.04.08	ISSUED FOR CLIENT REVIEW

No.:	Date:	Description:
------	-------	--------------

EGBC Permit To Practice: 1003171		Revisions:	
Sheet Title:	Date: AUG 2023	Drawing:	S302
COMPOUND LAYOUT	Scale: 1:75	Drawn: CW	
	Checked: TR	Project: 219206	
		Of	

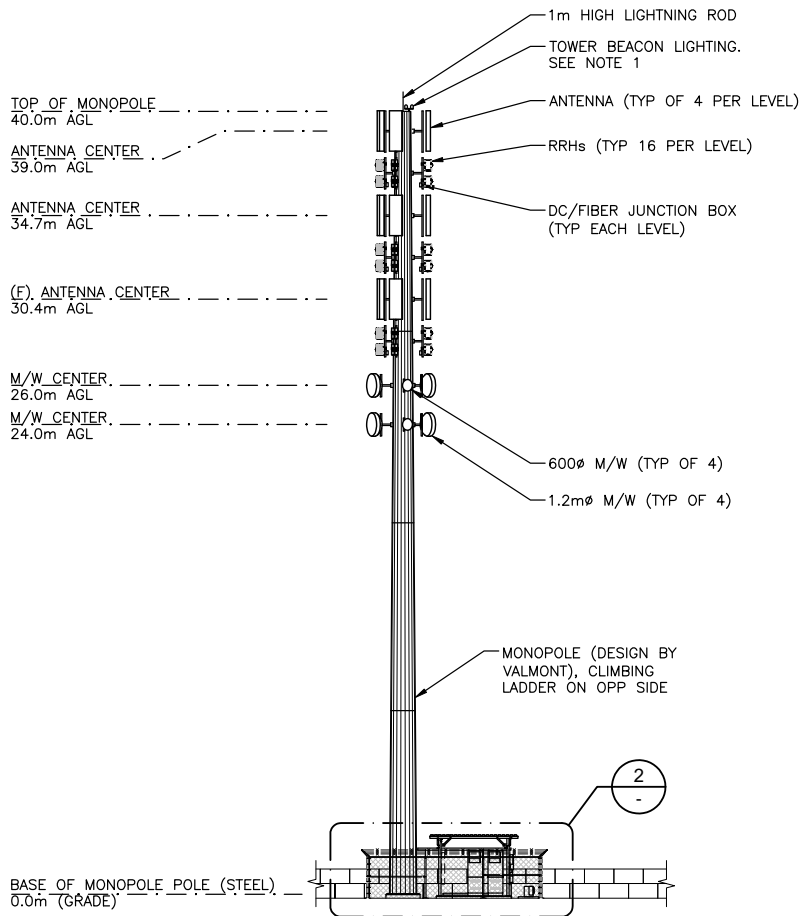
Copyright Reserved.
This plan and design are, and at all times remain the exclusive property of GS Sayers Engineering Ltd. and cannot be used or reproduced without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office shall be informed of any variations from the dimensions and conditions shown on the drawings.
Sketches may be issued which augment or alter the information presented on this drawing. It is the responsibility of parties using this drawing to ensure that they are in possession of all such sketches.

GS-Sayers
ENGINEERING LTD.

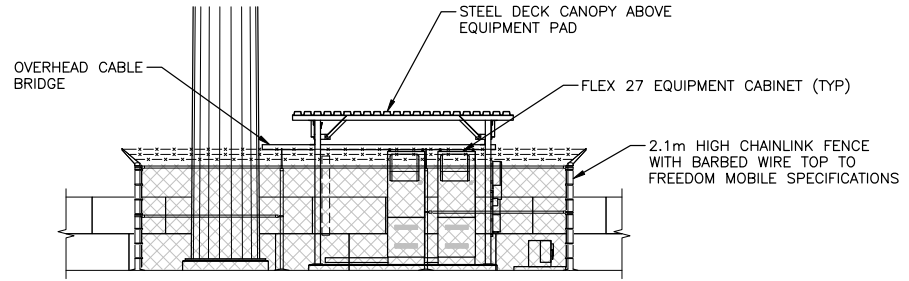
1661 West 5th Avenue
Vancouver, BC V6J 1N5
T: 604.734.8822
F: 604.734.8842
www.giolmansimpson.com

Project:
BVA0276_D
4311 KING GEORGE HWY, SURREY, BC

Freedom mobile



1 EAST ELEVATION
S302 1:250



2 ENLARGED EAST ELEVATION
1:250

NOTES:

- 1. PROVIDE TOWER BEACON LIGHTING AS REQUIRED BY THE CITY OF SURREY.

LEGEND:

- ★ - INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING
- (E) - DENOTES EXISTING
- (F) - DENOTES FUTURE
- (TYP) - DENOTES TYPICAL
- AGL - DENOTES ABOVE GRADE LEVEL

No.:	Date:	Description:
2024.03.22		REVISED PER CITY
2023.10.06		REVISED FIBER
2023.09.25		ELECTRICAL REVISIONS
2023.08.18		ISSUED FOR 90% COORDINATION
2020.12.07		ISSUED FOR CLIENT REVIEW
2020.04.20		ISSUED FOR CLIENT REVIEW
2020.04.08		ISSUED FOR CLIENT REVIEW

Copyright Reserved.
This plan and design are, and at all times remain the exclusive property of GS Sayers Engineering Ltd. and cannot be used or reproduced without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office shall be informed of any variations from the dimensions and conditions shown on the drawings.
Sketches may be issued which augment or alter the information presented on this drawing. It is the responsibility of parties using this drawing to ensure that they are in possession of all such sketches.

GS-Sayers
ENGINEERING LTD.
1661 West 5th Avenue
Vancouver, BC V6J 1N5
T: 604.734.8822
F: 604.734.8842
www.glotmansimpson.com

Project:
BVA0276_D
4311 KING GEORGE HWY, SURREY, BC

Freedom mobile

EGBC Permit To Practice: 1003171

Sheet Title:
EAST ELEVATIONS

Revisions:

Date:	AUG 2023	Drawing:	S401
Scale:	AS NOTED		
Drawn:	CW		
Checked:	TR		
Project:	219206	Of	

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0295-00

Issued To:

({the Owner{)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-236-635
LOT 3 DISTRICT LOT 161 GROUP 2 NEW WESTMINSTER DISTRICT PLAN 10071
4311 King George Blvd

(the "Land")
3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Sub-section B.1(a)ii.b. of Part 4 General Provisions, in the case of Antenna Systems that are free-standing (affixed directly onto the ground, rather than on a building) the height is increased from 12 metres to 41 metres.
4. The siting of buildings and structures shall be in accordance with the drawings numbered 7923-0295-00 (A) through to and including 7923-0295-00 (C) (the "Drawings") which are attached hereto and form part of this development variance permit.
5. This development variance permit applies to only the portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY COUNCIL, THE DAY OF _____, 20__ .

ISSUED THIS _____ DAY OF _____, 20__ .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

NOTES:

- SITE PLAN INFORMATION OBTAINED FROM A SURVEY PREPARED BY MATSON PECK & TOPLISS SURVEYORS & ENGINEERS, DATED DEC 1, 2020.

LEGAL DESCRIPTION:

LOT 3 DISTRICT LOT 161 GROUP 2 NEW WESTMINSTER DISTRICT PLAN 10071

LEGEND:

★ - INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING

(E) - DENOTES EXISTING

(TYP) - DENOTES TYPICAL

----- DENOTES SUBJECT PROPERTY LINE

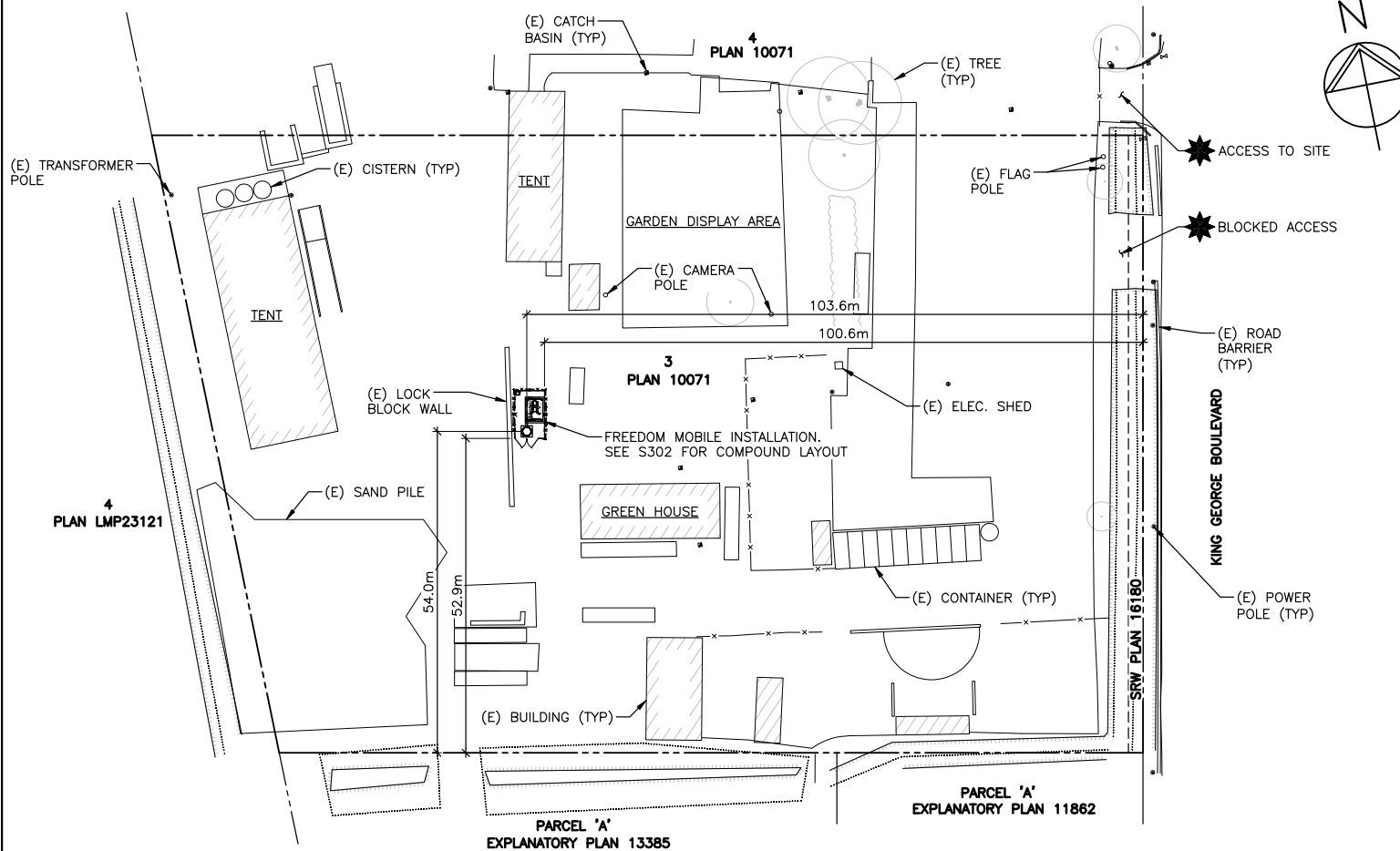
----- DENOTES ADJACENT PROPERTY LINE

----- DENOTES (E) R/W LINE

----- DENOTES TOP OF (E) BERM/DITCH

----- DENOTES BOTTOM OF (E) BERM/DITCH

-x-x-x- DENOTES (E) CHAINLINK FENCE



1 SITE PLAN
- 1:750

2024.03.22	REVISED PER CITY	
2023.10.06	REVISED FIBER	
2023.09.25	ELECTRICAL REVISIONS	
2023.08.18	ISSUED FOR 90% COORDINATION	
2020.12.07	ISSUED FOR CLIENT REVIEW	
2020.04.20	ISSUED FOR CLIENT REVIEW	
2020.04.08	ISSUED FOR CLIENT REVIEW	
No.:	Date:	Description:

EGBC Permit To Practice: 1003171	Revisions:	
Sheet Title: SITE PLAN	Date: AUG 2023	Drawing:
	Scale: 1:750	S301
	Drawn: CW	
	Checked: TR	
	Project: 219206	Of

Copyright Reserved.
This plan and design are, and at all times remain the exclusive property of GS Sayers Engineering Ltd. and cannot be used or reproduced without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office shall be informed of any variations from the dimensions and conditions shown on the drawings.
Sketches may be issued which augment or alter the information presented on this drawing. It is the responsibility of parties using this drawing to ensure that they are in possession of all such sketches.

GS·Sayers
ENGINEERING LTD.

1661 West 5th Avenue
Vancouver, BC V6J 1N5
T: 604.734.8922
F: 604.734.8942
www.glotmansimpson.com

Project:
BVA0276_D
4311 KING GEORGE HWY, SURREY, BC

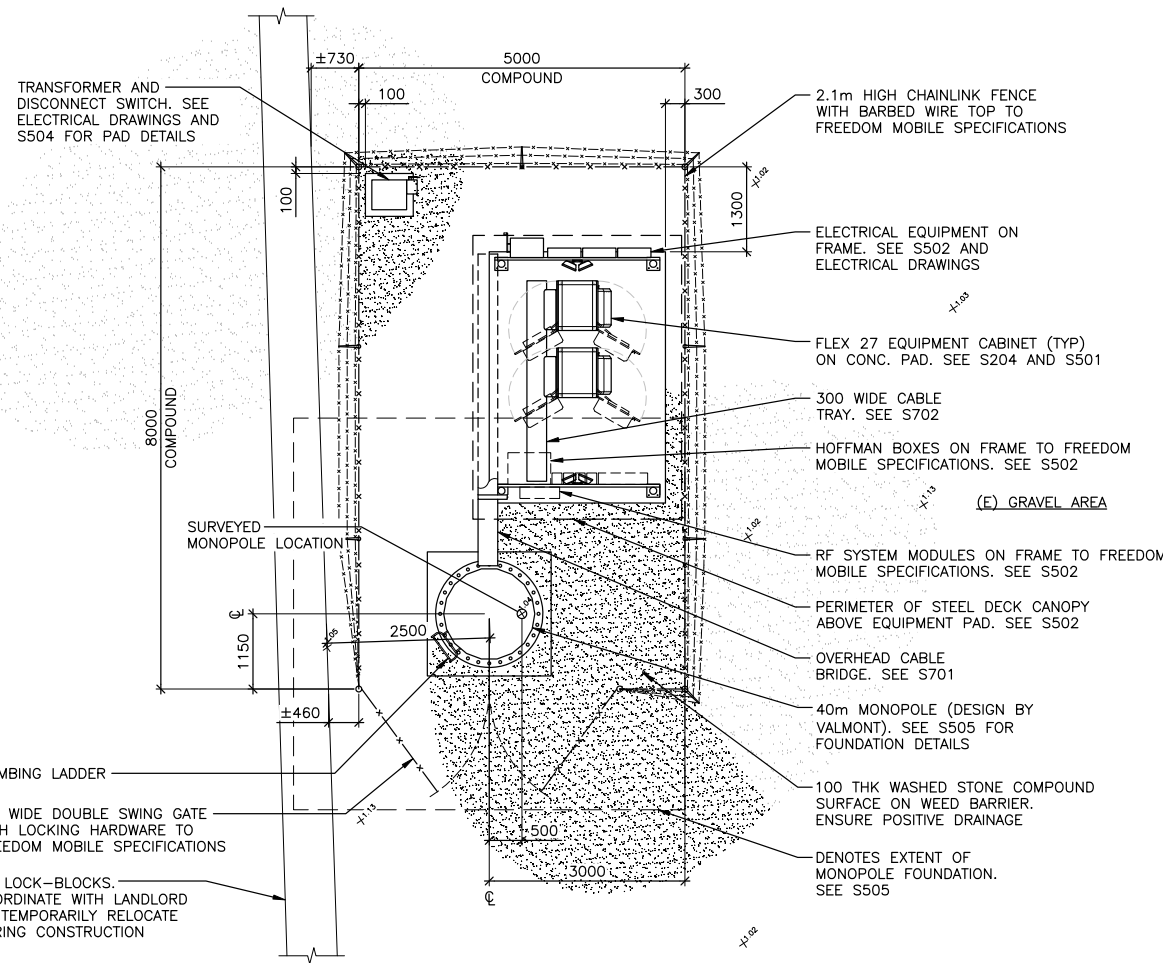


NOTES:

- EXISTING UNDERGROUND SERVICES MAY EXIST THAT ARE NOT SHOWN. CONTRACTOR IS RESPONSIBLE TO LOCATE ANY AND ALL BURIED SERVICES IN THE VICINITY OF REQUIRED EXCAVATION PRIOR TO CONSTRUCTION. USE HAND DIGGING OR HYDRO EXCAVATION WHERE APPROPRIATE.

LEGEND:

- ★ - INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING
- (E) - DENOTES EXISTING
- (TYP) - DENOTES TYPICAL
- X+0.00 - DENOTES (E) SPOT ELEVATION (m AMSL)



1 COMPOUND LAYOUT
S301 1:75

2024.03.22	REVISED PER CITY	
2023.10.06	REVISED FIBER	
2023.09.25	ELECTRICAL REVISIONS	
2023.08.18	ISSUED FOR 90% COORDINATION	
2020.12.07	ISSUED FOR CLIENT REVIEW	
2020.04.20	ISSUED FOR CLIENT REVIEW	
2020.04.08	ISSUED FOR CLIENT REVIEW	
No.:	Date:	Description:

Copyright Reserved.
This plan and design are, and at all times remain the exclusive property of GS Sayers Engineering Ltd. and cannot be used or reproduced without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office shall be informed of any variations from the dimensions and conditions shown on the drawings.
Sketches may be issued which augment or alter the information presented on this drawing. It is the responsibility of parties using this drawing to ensure that they are in possession of all such sketches.

GS·Sayers
ENGINEERING LTD.
1661 West 5th Avenue
Vancouver, BC V6J 1N5
T: 604.734.8822
F: 604.734.8842
www.glotmansimpson.com

Project:
BVA0276_D
4311 KING GEORGE HWY, SURREY, BC

EGBC Permit To Practice: 1003171
Sheet Title:
COMPOUND LAYOUT

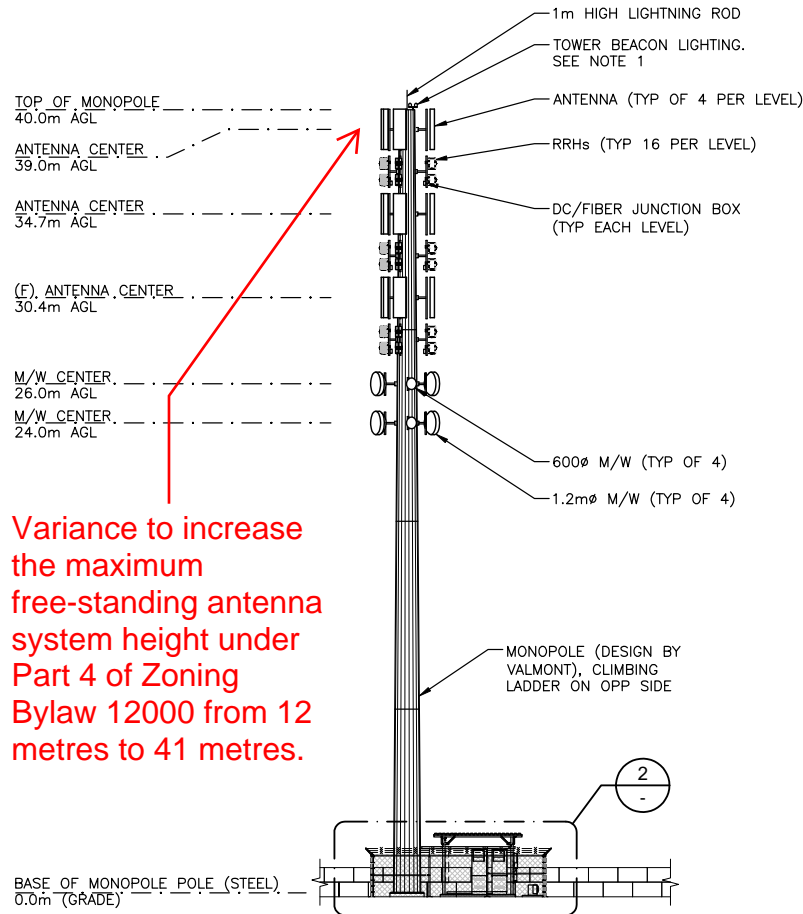
Revisions:	Date: AUG 2023	Drawing:
	Scale: 1:75	S302
	Drawn: CW	
	Checked: TR	
Project: 219206		Of

NOTES:

1. PROVIDE TOWER BEACON LIGHTING AS REQUIRED BY THE CITY OF SURREY.

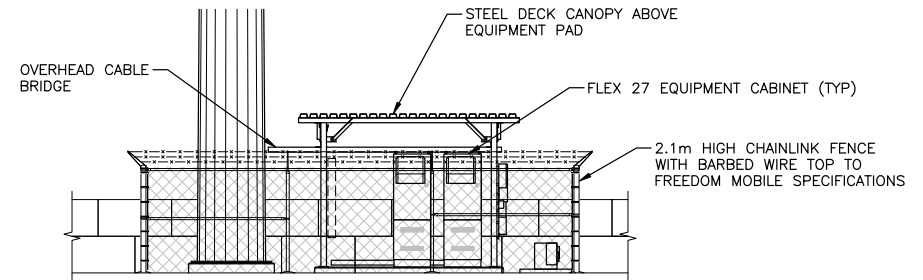
LEGEND:

- ★ - INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING
- (E) - DENOTES EXISTING
- (F) - DENOTES FUTURE
- (TYP) - DENOTES TYPICAL
- AGL - DENOTES ABOVE GRADE LEVEL



Variance to increase the maximum free-standing antenna system height under Part 4 of Zoning Bylaw 12000 from 12 metres to 41 metres.

1 EAST ELEVATION
 S302 1:250



2 ENLARGED EAST ELEVATION
 1:250

No.:	Date:	Description:
2024.03.22	REVISED PER CITY	
2023.10.06	REVISED FIBER	
2023.09.25	ELECTRICAL REVISIONS	
2023.08.18	ISSUED FOR 90% COORDINATION	
2020.12.07	ISSUED FOR CLIENT REVIEW	
2020.04.20	ISSUED FOR CLIENT REVIEW	
2020.04.08	ISSUED FOR CLIENT REVIEW	

EGBC Permit To Practice: 1003171		Revisions:	
Sheet Title:	EAST ELEVATIONS	Date:	AUG 2023
Project:	BVA0276_D 4311 KING GEORGE HWY, SURREY, BC	Scale:	AS NOTED
		Drawn:	CW
		Checked:	TR
		Project:	219206
		Drawing:	S401
			Of

Copyright Reserved.
 This plan and design are, and at all times remain the exclusive property of GS Sayers Engineering Ltd. and cannot be used or reproduced without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office shall be informed of any variations from the dimensions and conditions shown on the drawings.
 Sketches may be issued which augment or alter the information presented on this drawing. It is the responsibility of parties using this drawing to ensure that they are in possession of all such sketches.

GS·Sayers
 ENGINEERING LTD.
 1661 West 5th Avenue
 Vancouver, BC V6J 1N5
 T: 604.734.8922
 F: 604.734.8942
 www.glotmansimpson.com



**SCHEDULE C
PHOTO-SIMULATION**

Before



After



H - 11

ACTION REQUIRED: DVP Support

TYPE: DVP / DP

PURPOSE: The applicant is requesting to reduce the minimum lot depth from 28 metres to 25 metres for proposed Lot 2 and to reduce the minimum front yard setback from 7.5 metres to 4.5 metres to the principal building face for Lots 1 and 2 in order to subdivide into two single family lots.

LOCATION: 12129 - 100 Avenue

PROCESSING DATES:

DEVELOPMENT VARIANCE PERMIT

April 8, 2024 - Proceed to Public Notification: Carried RES.R24-518

DEVELOPMENT PERMIT

April 8, 2024 - Authorize to Draft: Carried RES.R24-518

NOTICE OF DEVELOPMENT VARIANCE PERMIT

Surrey City Council will hold an **electronic** meeting

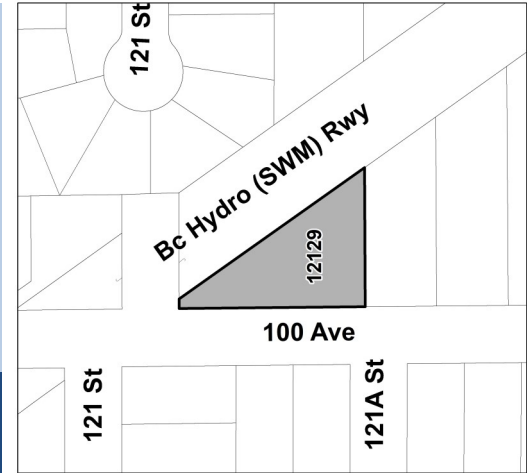
MONDAY, APRIL 22, 2024

STARTING AT 7PM

View the livestream at surrey.ca or at City Hall

13450 — 104 Avenue

YOUR COMMENTS MUST BE RECEIVED IN WRITING FOR COUNCIL'S CONSIDERATION



Planning Report—Application No. 7923-0022-00

Location: 12129 - 100 Avenue

Purpose of Permit: The applicant is requesting to reduce the minimum lot depth from 28 metres to 25 metres for proposed Lot 2 and to reduce the minimum front yard setback from 7.5 metres to 4.5 metres to the principal building face for Lots 1 and 2 in order to subdivide into two single family lots.

LOCATION



OWNER/OCCUPANT



Office of the City Clerk
13450 – 104 Avenue,
Surrey, BC V3T 1V8
Canada

QUESTIONS FOR THE PLANNER:

Email planning staff at planningdevelopment@surrey.ca if you have any questions regarding this application. For information about the application visit surrey.ca.

City Hall is open Monday to Friday 8:30am-4:30pm except statutory holidays.

COMMENTS TO COUNCIL:

Your comments on this application must be received in writing by 12:00 noon on Council day, for Council's consideration. There are no speaking opportunities.

Webform: surrey.ca

Email: clerks@surrey.ca

Mail: Office of the City Clerk at the address above

Fax: 604-501-7578

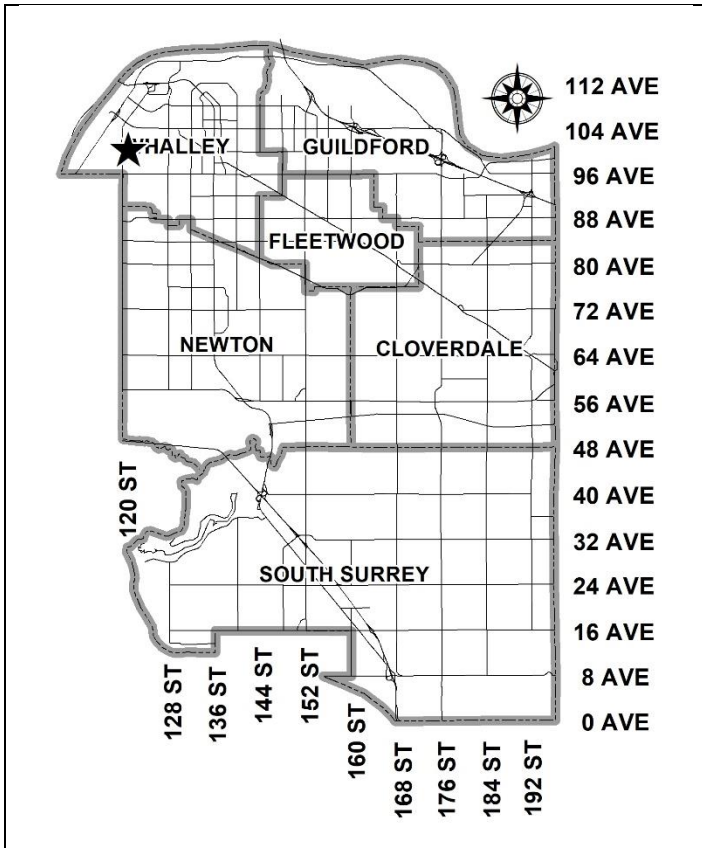
WATCH THE COUNCIL MEETING:

View the livestream at surrey.ca or at City Hall, 13450 —104 Avenue

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0022-00

Planning Report Date: April 8, 2024



PROPOSAL:

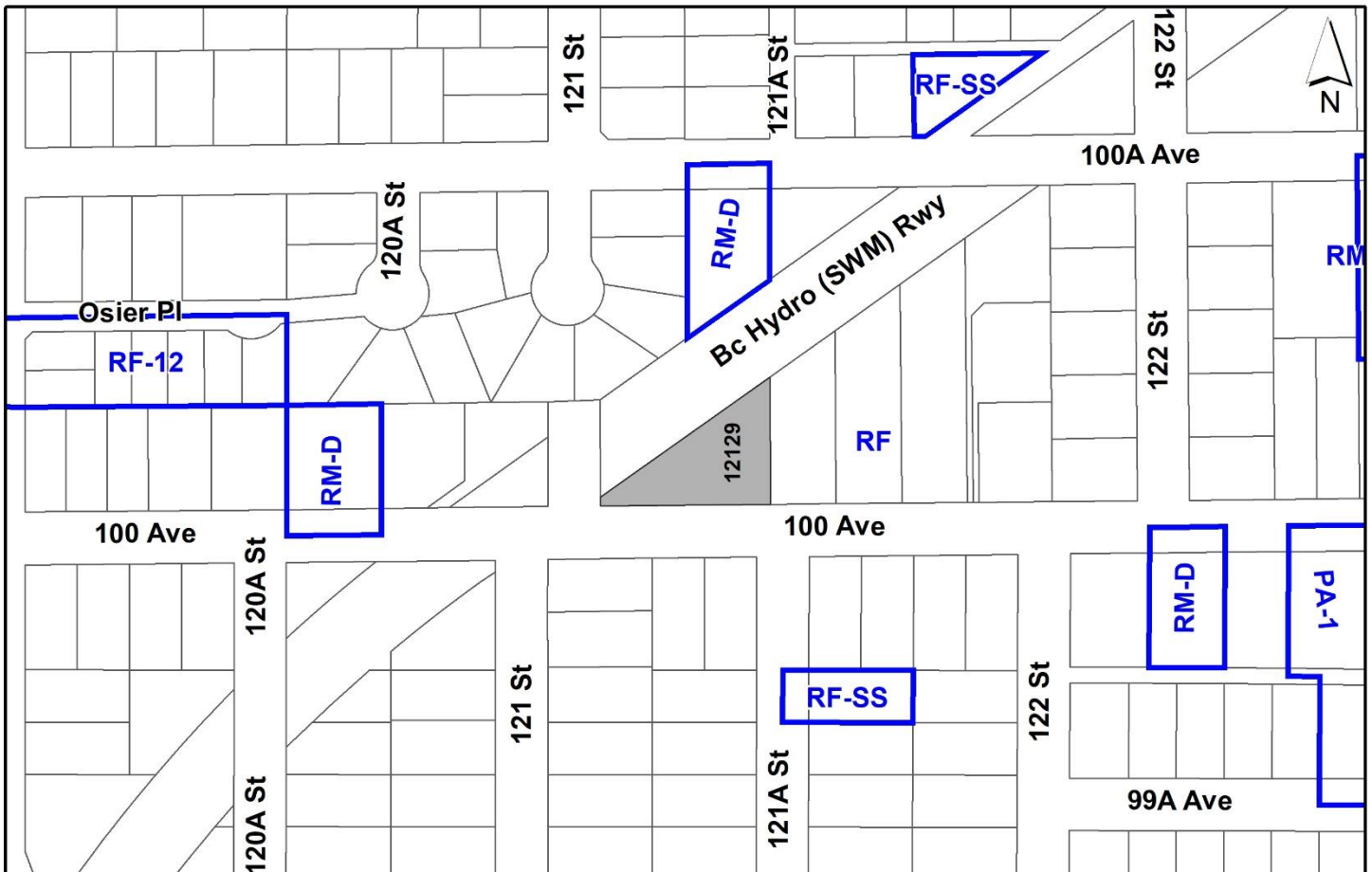
- **Development Permit** for Sensitive Ecosystems
- **Development Variance Permit**

to allow subdivision into two single family lots.

LOCATION: 12129 - 100 Avenue

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Sensitive Ecosystems.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the lot depth and front yard setback requirements of the Single Family Residential (RF) Zone.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Green Infrastructure Areas).
- The two proposed lots are appropriate for this residential neighbourhood in Whalley.
- Both proposed lots meet the minimum lot area requirements of the RF Zone. The lot depth variance is a result of the site's triangular shape. The setback variances will ensure an appropriately sized single family home under the RF Zone can be constructed on the lots while still accommodating the required parking and functional yard space.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7923-0022-00 Sensitive Ecosystems (Green Infrastructure Areas), generally in accordance with the attached drawings (Appendix IV.) and the finalized Ecosystem Development Plan.
2. Council approve Development Variance Permit No. 7923-0022-00 (Appendix V) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum lot depth of the RF Zone from 28 metres to 25 metres for proposed Lot 2; and
 - (b) to reduce the minimum front yard setback of the RF Zone from 7.5 metres to 4.5 metres to the principal building face for Lots 1 and 2.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a finalized Ecosystem Development Plan to the satisfaction of City staff; and
 - (e) registration of a combined Statutory Right-of-Way / Section 219 Restrictive Covenant over the designated Green Infrastructure Area for both “No Build” and conveyance access.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Single family dwelling and GIN Corridor.	Urban	RF
North (Across BC Hydro Railway):	Single family dwellings.	Urban	RF and RM-D
East:	Single family dwelling.	Urban	RF
South (Across 100 Avenue):	Single family dwellings.	Urban	RF
West (Across BC Hydro Railway):	Single family dwelling.	Urban	RF

Context & Background

- The subject lot is triangular and is 1,712 square metres in size. It is located on the north side of 100 Avenue between 121 Street and 121A Street. To the north, the site is bordered by a yellow-coded Class B ditch and the BC Hydro Railway.
- The site is zoned Single Family Residential (RF) Zone and is designated Urban in the Official Community Plan (OCP).
- The site slopes approximately 4 metres (9%) to the north.
- A portion of a 50 metre-wide Green Infrastructure Network (GIN) Corridor is located within the rear yard of the subject site.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes a 2-lot subdivision which requires a Development Variance Permit to relax the lot depth and front yard setbacks for both lots. A Development Permit is required for Sensitive Ecosystems (Green Infrastructure Areas).

	Proposed
Lot Area	
Gross Site Area:	1,712 square metres
Road Dedication:	
GIN Area:	480 square metres
Net Site Area:	1,715 square metres

	Proposed
Number of Lots:	2
Unit Density:	11.7 units/hectare
Range of Lot Sizes	775 – 931 square metres
Range of Lot Widths	19.8 – 45.8 metres
Range of Lot Depths	25 to 35 metres

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

Parks, Recreation & Culture: The Parks Department has no objection to the project and will accept that the land will receive minimum safeguarding with a Restrictive Covenant placed over the portion of the lot designated as GIN Corridor.

Parks will require appraised value be paid for trees removed along the 100 Avenue frontage.

The closest active park is Robson Park and is 965 metres away, and includes natural areas.

Natural Area Considerations

- A yellow-coded (Class B) ditch is located between the northern property line and the railway tracks. The yellow-coded ditch requires a 7-metre setback, which is provided entirely outside of the proposed subdivision property lines.
- A 50 metre-wide Green Infrastructure Network (GIN) Corridor is located along the BC Hydro corridor north of the subject site, with portions within the rear yard of the subject site.
- The applicant proposes a GIN Corridor protection area within the rear yards of the proposed new lots, which will further protect the yellow-coded (Class B) ditch.

Lot Depth and Setback Variances

- The applicant is requesting the following variances:
 - to reduce the minimum lot depth of the RF Zone from 28 metres to 25 metres for proposed Lot 2; and
 - to reduce the minimum front yard setback of the RF Zone from 7.5 metres to 4.5 metres to the principal building face for Lots 1 and 2.

- The lot is an oversized triangular shape which makes for an unconventional lot configuration. The depth of the lot is measured perpendicular from the front property line at the point where the lot achieves a width of 15 metres when measured from the east property line.
- The applicant is proposing to protect 298 square metres of GIN area within the rear and west side of proposed Lots 2 and 182 square metres of GIN area of in the rear of proposed Lot 1. The applicant proposes to fence off the GIN area. No new planting is proposed.
- Due to the provision of the substantial GIN protected areas within the rear setback area of the lots, the applicant proposes reducing the front yard setbacks of both proposed Lots 1 and 2 to allow for the construction a house that is consistent with a typical sized house in the neighbourhood.
- On proposed Lot 1, the applicant requires a 5-metre wide sanitary SRW which will also provide additional buffer to the existing home to the east.
- The applicant has submitted building footprint analysis for both lots which shows the footprint of a maximum sized house on both lots.
- Staff support the requested variances to proceed for consideration.

Lot Grading

- A preliminary lot grading plan, submitted by Mainland Engineering Design Corporation, and dated February 17, 2023, has been reviewed by staff and found to be generally acceptable. The applicant does propose in-ground basements. The feasibility of in-ground basements will be confirmed once the City's Engineering Department has reviewed and accepted the applicant's final engineering drawings.

PUBLIC ENGAGEMENT

- The Development Proposal Signs were installed on September 25, 2023. Staff received no responses from neighbouring residents.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Corridor located along the north property line. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Regional BCS Corridor within the subject site (GIN Corridor No. 106), with a Medium ecological value.

- The BCS further identifies the GIN area of the subject site as having a Moderate habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 50 meters.
- The development proposal conserves/enhances 480 square meters, or 28% of the total gross area of the subject site through the registration of a Restrictive Covenant. This method of GIN retention/enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.
- An Ecosystem Development Plan, prepared by Libor Michalak, *R.P. Bio.*, of Keystone Environmental and dated September 2022 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit. The protected area is proposed to remain in its current condition with retention of trees.

TREES

- Francis Klimo, ISA Certified Arborist of Klimo and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	3	1	2
Manitoba maple	1	0	1
Coniferous Trees			
Douglas Fir	4	3	1
Total (excluding Alder and Cottonwood Trees)	8	4	4
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		4	
Total Retained and Replacement Trees Proposed		4	
Estimated Contribution to the Green City Program		\$2,200	

- The Arborist Assessment states that there are a total of 8 mature trees on the site, with no Alder and Cottonwood trees. The applicant proposes to retain 4 trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a proposed total of 8 replacement trees on the site. Since 4 replacement trees can be accommodated on the site (based on an average of 2 trees per lot), the proposed deficit of 4 replacement trees will require an estimated cash-in-lieu payment of \$2,200, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- In summary, a total of 8 trees are proposed to be retained or replaced on the site with an estimated contribution of \$2,200 to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.
- The applicant is working with staff to allow for the retention of two City Trees (C1 and C2) in the front yard setback of proposed Lot 1. The applicant will work with their arborist and engineer to determine the feasibility of retaining both these trees. If the trees are removed, Parks will require appraised value be paid for the City Trees.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Proposed Subdivision Layout and Footprint Analysis
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix IV.	Sensitive Ecosystems Plan
Appendix V.	Development Variance Permit No. 7923-0022-00

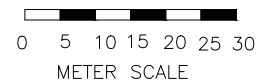
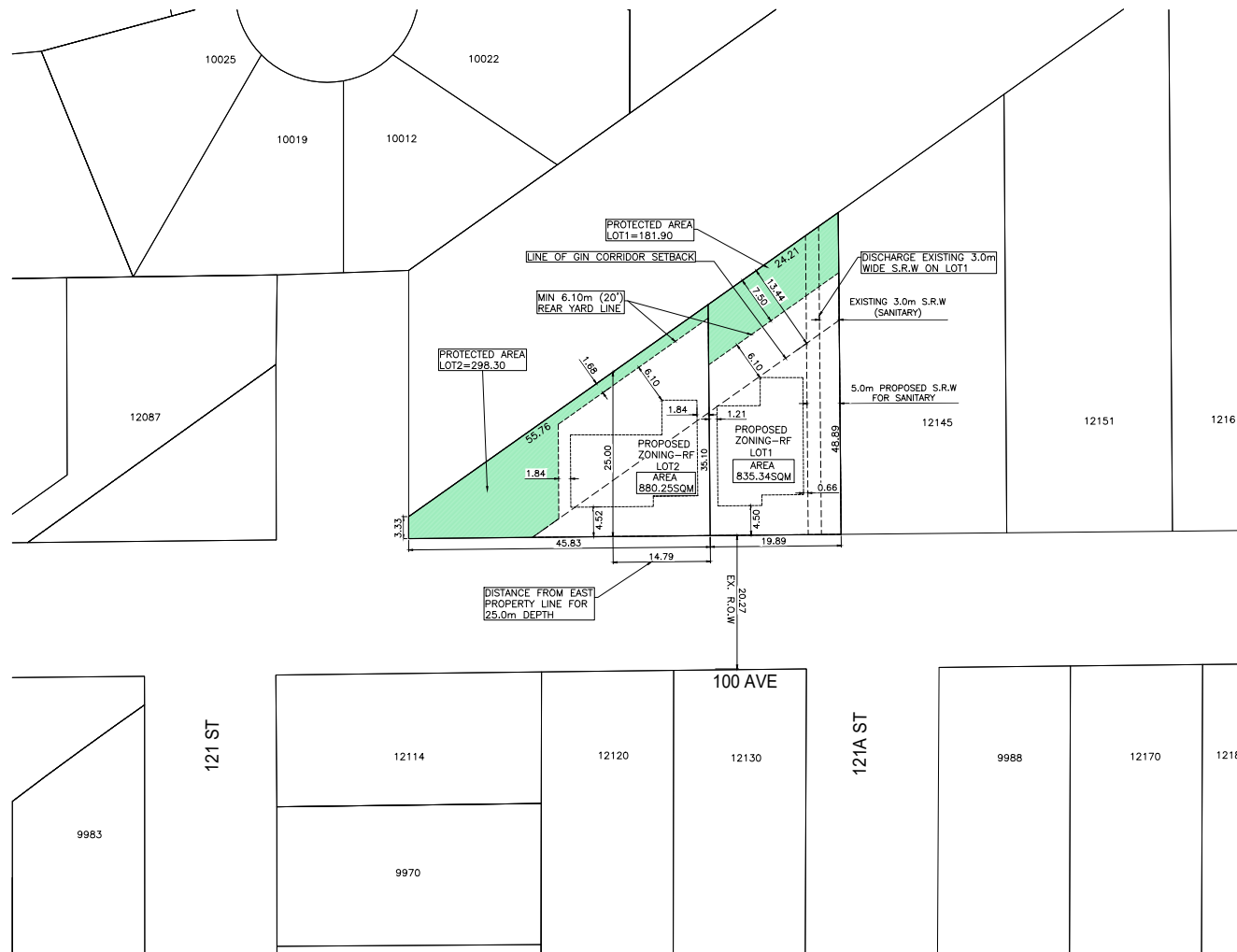
approved by Shawn Low

Don Luymes
General Manager
Planning and Development

JK/ar



Appendix I



NOTE:
1. ALL EXISTING ONSITE STRUCTURES ARE TO BE REMOVED UNLESS NOTED OTHERWISE.
2. EXACT LOT DIMENSIONS & AREAS ARE TO BE VERIFIED BY THE SURVEYOR

ZONING:
EXISTING ZONING: RF
PROPOSED ZONING: RF
SITE AREA
GROSS SITE AREA: 1715.59sqm.

NO.	YY/MM/DD	DRN	CH	REVISION
0	24/01/19	AS	RM	ISSUED FOR REVIEW

MAINLAND ENGINEERING DESIGN CORPORATION

UNIT 208 8363 128TH STREET
SURREY, B.C. V3W 4S1
TEL: (604) 543 8044 FAX: (604) 543 8104
EMAIL: CIVIL@MAINLANDENG.COM

DEVELOPMENT/SITE LOCATION
2 LOT SUBDIVISION
#12129 100 AVE, SURREY, B.C.

DWG. NAME
PRELIMINARY LAYOUT PLAN

SEAL

SCALE	N.T.S.	SURREY PROJECT NO.	DRAWING NO.
DESIGNED	RM		1
DRAWN	AS	MAINLAND PROJECT NO.	
CHECKED	RM	C-2118	OF 1
APPROVED	AB	DATE 24/01/19	REV. 0

TO: **Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Process Manager, Engineering Department**

DATE: **January 09, 2024** PROJECT FILE: **7823-0022-00**

RE: **Engineering Requirements
Location: 12129 100 Ave**

SUBDIVISION

Property and Right-of-Way Requirements

- Register 5.0 m wide statutory right-of-way on lot 2 for sanitary main.

Works and Services

- Construct the north side of 100 Avenue.
- Construct water, storm and sanitary service connections to each lot.
- Complete storm catchment analysis and resolve downstream constraints.
- Provide on-site storm mitigation features.
- Register applicable legal documents as determined during detailed design.

A Servicing Agreement is required prior to Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Daniel Sohn, P.Eng.
Development Process Manager

Appendix III

9.0 TREE PRESERVATION SUMMARY

Surrey Project No: N/A

Address: 12129 100 Ave, Surrey, B.C., V3V 2W7

Registered Arborist: Francis Klimo

On-Site Trees	Number of Trees
Protected Trees Identified <i>(on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas and non-bylaw protected trees)</i>	8
Protected Trees to be Removed	4
Protected Trees to be Retained <i>(Excluding trees within proposed open space or riparian areas)</i>	4
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0	0
All other Trees Requiring 2 to 1 Replacement Ratio 4 X two (2) = 8	8
Replacement Trees Proposed	4
Replacement Trees in Deficit	4
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	N/A

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0	0
All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:

Francis Klimo

October 17, 2022

(Signature of Arborist)

Date

SCALE BAR 1:250



Removal of Trees & Protection Requirements

Tree Removals

The removal and/or pruning of existing trees as identified on a landscape plan/Tree Management Plan, shall be undertaken or supervised by a certified arborist and performed in accordance with the best management practices produced by ISA and ANSI A-300 Pruning Standards. All tree work shall comply with all relevant City of Surrey Tree Bylaw.

Storage and staging of materials on site (General for all sites)

During the construction process, no storage or staging of materials, equipment, or debris can be placed within the TPZ of the protected trees and/or within their TPB enclosure. The proposed construction will ensure the storage and staging of its materials within the back yard and will not be required to be placed towards any other areas within the property or near the protected trees. In order to limit the potential disturbance within the TPZ of the protected trees, no heavy equipment (if required) will be allowed to encroach, park, or traverse through their TPZ(s).

Removal of surrounding invasive growth / Site Clearing work

When clearing within the TPZ(s) of the retained trees, all clearing work shall be at the grade preparation works are required to be performed by hand and no excavation machinery or any other heavy equipment would be allowed to encroach into their TPZ(s) throughout the clearing process. Larger stumps of removed vegetation are recommended to be either left in situ or grinded out. (Please note: the remaining stumps cannot be pulled out by heavy machinery in order to ensure the protection of the retained trees)

General Landscaping Methodology within TPZ(s)

General landscaping work is proposed and may occur within the TPZ of a few on-site trees. During the landscaping process, no fill and/or soil can be deposited within its TPZ and any type of landscaping requiring extensive areas of poured concrete is not acceptable. Permeable surfaces can be placed on the original grade for hardscapes, all to be supervised and guided by an onsite Arborist.

PROPOSED SUMP MH WITH PUMP
RIM EL=61.00
NE INV EL (FROM ROCKPIT OVERFLOW PIPE)=60.05
SW INV EL (FROM DRAINTILE)=60.71
SW INV EL (TO GRAVITY SUMP)=60.71
BY MECH ENGINEER

CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE/CALIPER
	2	Parrotia persica	Persian ironwood	6cm.
	2	Cornus florida	Flowering Dogwood	6cm.

LB1 600Ø
RIM=61.21
INV=60.71
(BY DEVELOPER)

PROPOSED GRAVEL ROCK PIT
SIZE=3MX2MX0.6M SEE DETAILS IN THIS SHEET (TYPICAL)

PROPOSED SUMP MH WITH PUMP
RIM EL= 61.79
NE INV EL (FROM ROCKPIT OVERFLOW PIPE)=60.66
SW INV EL (FROM DRAINTILE)=61.19
SW INV EL (TO GRAVITY SUMP)=61.19
BY MECH ENGINEER

150Ø @1% FROM DRAIN TILE (TYPICAL)

EXISTING WATER CONNECTION TO BE CAPPED AND ABANDONED AT MAIN BY CITY @ DEVELOPER'S COST.

PROPOSED GRAVITY SUMP MH (WITH BACKFLOW PREVENTOR)
RIM EL=64.50
S INV EL (TO IC)=63.53
N INV EL (FROM SUMP WITH PUMP MH)=63.55

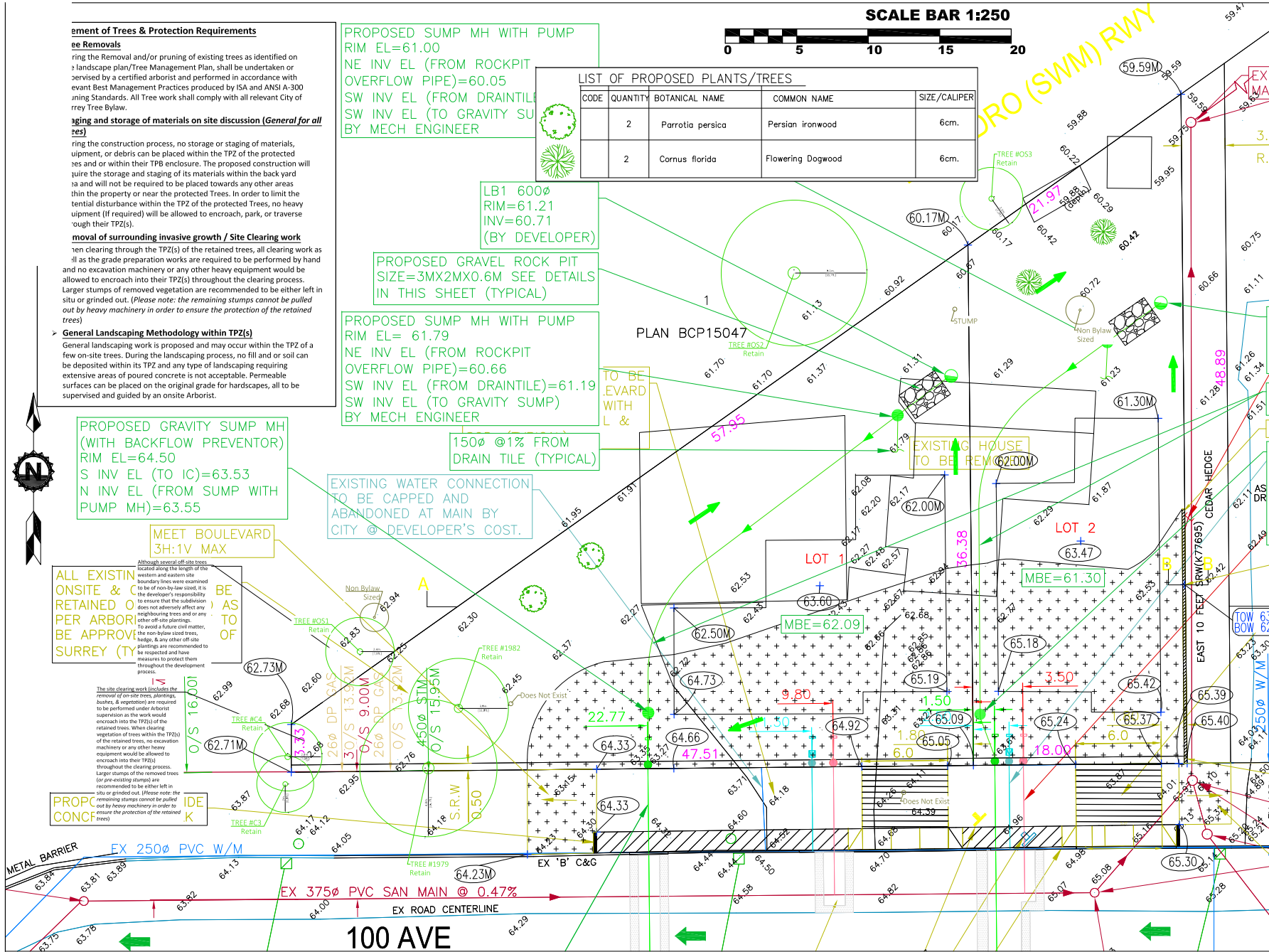
MEET BOULEVARD @ 3H:1V MAX

ALL EXISTING TREES ON SITE & COUNCIL RETAINED OR AS PER ARBORIST REPORT TO BE APPROVED BY SURREY (TY)

Although several off-site trees located along the length of the western and eastern site boundary lines were examined to ensure that the subdivision does not adversely affect any neighbouring trees and/or any other off-site structures. To avoid a future civil matter, the non-retained trees, hedges, & any other off-site plantings are recommended to be removed and have measures to protect them throughout the development process.

The site clearing work (the removal of on-site trees, plantings, bushes, & vegetation) are required to be performed under Arborist supervision as the work would encroach into the TPZ(s) of the retained trees. When clearing vegetation of trees within the TPZ(s) of the retained trees, no excavation machinery or any other heavy equipment would be allowed to encroach into their TPZ(s) throughout the clearing process. Larger stumps of the removed trees or pruning stumps are recommended to be either left in situ or grinded out. (Please note: the remaining stumps cannot be pulled out by heavy machinery in order to ensure the protection of the retained trees)

PROPOSED CONC FENCE



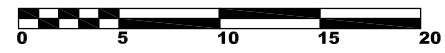
Revisions	
No.	Date
1	December 9, 2022

TREE REPLACEMENT PLAN	
Project Number	
Date	Sheet #
Scale	
Drawn	
Checked	
October 25, 2022	
1:250	
Francis Klimo	

REMOVAL OF FOUR (4) TREES AS PER ARBORIST REPORT. TREES #1978,1997,C1,C2 TO ACCOMMODATE CONSTRUCTION OF PROPOSED HOUSE AS PER ATTACHED APPENDIX A. REPLACEMENT OF FOUR (4) TREES ACCEPTABLE TO CITY OF SURREY STANDARDS. REPLACEMENT TREES MUST NOT BE PLANTED WITHIN 3M OF A FOUNDATION OR WHERE THEIR MATURE SIZE WILL INTERFERE WITH UTILITIES, ESPECIALLY OVERHEAD BC HYDRO SERVICE/TRANSMISSION LINES. NOTE THAT TREES OBVIOUSLY PLANTED AS HEDGEROWS WILL NOT BE COUNTED AS REPLACEMENT TREES. ALL OTHER TREES TO BE RETAINED, MAINTAINED (ESPECIALLY WATERED) AND PROTECTED FOR THE DURATION OF CONSTRUCTION. THE BARBERS MAY ONLY BE REMOVED WITH THE PERMISSION OF THE CITY ARBORIST OR AT THE SPECIFIC INTERVALS IDENTIFIED IN THE LETTER OF UNDERTAKING. ALL WORK CARRIED OUT AFTER BARRIERS REMOVED MUST BE DONE BY HAND IN CRITICAL ROOTZONES. NO HEAVY EQUIPMENT (INCLUDING ROBOTS) IS TO ENTER CRITICAL ROOTZONES. STUMPS AND UNDERLYING ROOTS OF "TREES TO BE REMOVED" TO REMAIN INSITU IF THEY ARE WITHIN THE CRITICAL ROOTZONE RADIUS OF "TREES TO BE RETAINED". THEY MAY BE GRUND TO THE SURFACE WITH A STUMP GRINDER. CRITICAL ROOTZONE RADIUS DETERMINATION IS DESCRIBED IN BARRIER DETAIL DRAWING ON THE BACK OF TREE CUTTING PERMIT APPLICATIONS.

Francis R. Klimo
ISA Certified Arborist #PN-8149A
ISA Certified Tree Risk Assessor (TRAQ)
BC Wildlife Danger Tree Assessor #7193

SCALE BAR 1:250



Management of Trees & Protection Requirements

- Tree Removals**
During the Removal and/or pruning of existing trees as identified on the landscape plan/Tree Management Plan, shall be undertaken or supervised by a certified arborist and performed in accordance with relevant Best Management Practices produced by ISA and ANSI A-300 Pruning Standards. All Tree work shall comply with all relevant City of Surrey Tree Bylaw.
- Staging and storage of materials on site discussion (General for all Trees)**
During the construction process, no storage or staging of materials, equipment, or debris can be placed within the TPZ of the protected Trees and or within their TPB enclosure. The proposed construction will require the storage and staging of its materials within the back yard area and will not be required to be placed towards any other areas within the property or near the protected Trees. In order to limit the potential disturbance within the TPZ of the protected Trees, no heavy equipment (If required) will be allowed to encroach, park, or traverse through their TPZ(s).
- Removal of surrounding invasive growth / Site Clearing work**
When clearing through the TPZ(s) of the retained trees, all clearing work as well as the grade preparation works are required to be performed by hand and no excavation machinery or any other heavy equipment would be allowed to encroach into their TPZ(s) throughout the clearing process. Larger stumps of removed vegetation are recommended to be either left in situ or grinded out. (Please note: the remaining stumps cannot be pulled out by heavy machinery in order to ensure the protection of the retained trees)
- General Landscaping Methodology within TPZ(s)**
General landscaping work is proposed and may occur within the TPZ of a few on-site trees. During the landscaping process, no fill and/or soil can be deposited within its TPZ and any type of landscaping requiring extensive areas of poured concrete is not acceptable. Permeable surfaces can be placed on the original grade for hardscapes, all to be supervised and guided by an onsite Arborist.

PROPOSED SUMP MH WITH PUMP
RIM EL=61.00
NE INV EL (FROM ROCKPIT OVERFLOW PIPE)=60.05
SW INV EL (FROM DRAINTILE)=60.40
SW INV EL (TO GRAVITY SUMP) BY MECH ENGINEER

LB1 600Ø
RIM=61.21
INV=60.71
(BY DEVELOPER)

PROPOSED GRAVEL ROCK PIT
SIZE=3MX2MX0.6M SEE DETAILS IN THIS SHEET (TYPICAL)

PROPOSED SUMP MH WITH PUMP
RIM EL= 61.79
NE INV EL (FROM ROCKPIT OVERFLOW PIPE)=60.66
SW INV EL (FROM DRAINTILE)=61.19
SW INV EL (TO GRAVITY SUMP) BY MECH ENGINEER

PROPOSED GRAVITY SUMP MH (WITH BACKFLOW PREVENTOR)
RIM EL=64.50
S INV EL (TO IC)=63.53
N INV EL (FROM SUMP WITH PUMP MH)=63.55

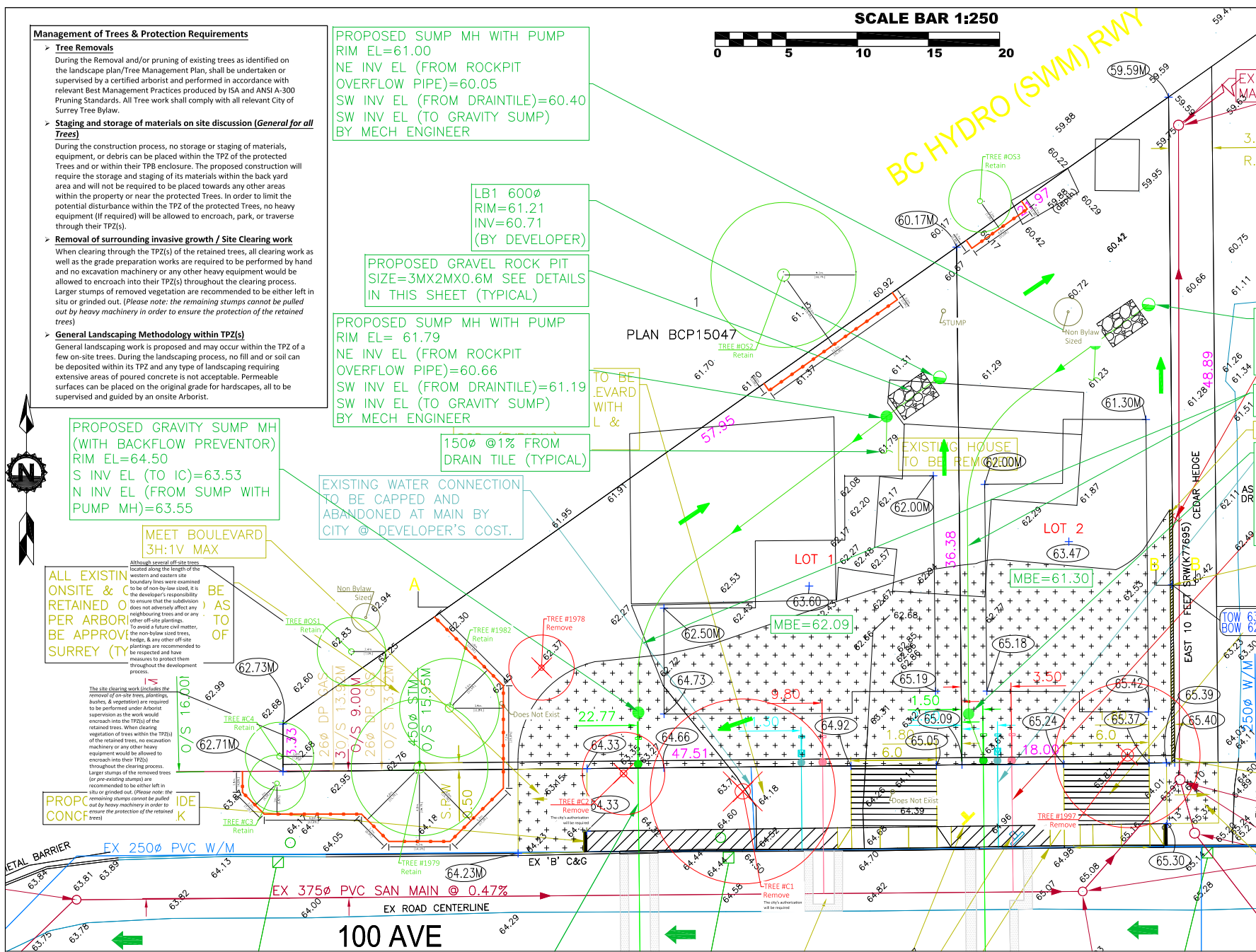
150Ø @1% FROM DRAIN TILE (TYPICAL)

EXISTING WATER CONNECTION TO BE CAPPED AND ABANDONED AT MAIN BY CITY @ DEVELOPER'S COST.

MEET BOULEVARD 3H:1V MAX

ALL EXISTING ON SITE & RETAINED OR PER ARBORIST TO BE APPROVED BY SURREY (T) AS TO THE PROTECTION OF THE REMAINING STUMPS

PROPOSED CONC FENCE IDEAL



Revisions	
No.	Date
1	December 9, 2022

TREE MANAGEMENT PLAN	
Project Number	
Date	Sheet #
October 25, 2022	
Scale	1:250
Drawn	Francis Klimo
Checked	

Francis R. Klimo
ISA Certified Arborist #PN-8149A
ISA Certified Tree Risk Assessor (TRAQ)
BC Wildlife Danger Tree Assessor #7193

REMOVAL OF FOUR (4) TREES AS PER ARBORIST REPORT. TREES #1978,1997,C1,C2 TO ACCOMMODATE CONSTRUCTION OF PROPOSED HOUSE AS PER ATTACHED APPENDIX A. REPLACEMENT OF FOUR (4) TREES ACCEPTABLE TO CITY OF SURREY STANDARDS. REPLACEMENT TREES MUST NOT BE PLANTED WITHIN 3M OF A FOUNDATION OR WHERE THEIR MATURE SIZE WILL INTERFERE WITH UTILITIES, ESPECIALLY OVERHEAD BC HYDRO SERVICE/TRANSMISSION LINES. NOTE THAT TREES OBVIOUSLY PLANTED AS HEDGEROWS WILL NOT BE COUNTED AS REPLACEMENT TREES. ALL OTHER TREES TO BE RETAINED, MAINTAINED (ESPECIALLY WATERED) AND PROTECTED FOR THE DURATION OF CONSTRUCTION. THE BARRIERS MAY ONLY BE REMOVED WITH THE PERMISSION OF THE CITY ARBORIST OR AT THE SPECIFIC INTERVALS IDENTIFIED IN THE LETTER OF UNDERTAKING. ALL WORK CARRIED OUT AFTER BARRIERS REMOVED MUST BE DONE BY HAND IN CRITICAL ROOTZONES. NO HEAVY EQUIPMENT (INCLUDING BARRIERS) IS TO ENTER CRITICAL ROOTZONES. STUMPS AND UNDERLYING ROOTS OF "TREES TO BE REMOVED" TO REMAIN INSITU IF THEY ARE WITHIN THE CRITICAL ROOTZONE RADIUS OF "TREES TO BE RETAINED". THEY MAY BE GROUND TO THE SURFACE WITH A STUMP GRINDER. CRITICAL ROOTZONE RADIUS DETERMINATION IS DESCRIBED IN BARRIER DETAIL DRAWING ON THE BACK OF TREE CUTTING PERMIT APPLICATIONS.

GIN CORRIDOR No. 106

Class B BC Railway Ditch

Class B Ditch Top of Bank

LINE OF GIN CORRIDOR SETBACK

Litter fall and insect drop ZOS (2.0m)
 Shade ZOS (2.0m) max
 SPEA (2.0m)

PROPOSED LOT 1:
 (AFTER SUB-DIVISION)

ZONE: RF

AREA (GROUND) IN GIN CORRIDOR USED BY BUILDING STRUCTURE = 0.0 SF (0.0 m2)

AREA (GROUND) IN GIN CORRIDOR USED FOR REAR YARD = 1386 SF (128.8 m2)
 (IN BLUE CROSS HATCH)

LOT AREA = 8,337 SF (774.8 m2)

LOT COVERAGE: 2,547 SF / 8,337 SF = 30.5%

FAR CALCULATION: (SEE FLOOR PLANS FOR AREAS)

PRINCIPAL BUILDING:

LEVEL01: 2,547 SF

LEVEL02: 2,037 SF

TOTAL: 4,584 SF

FAR = 4,584 SF / 8,337 SF = 0.55

PROPOSED LOT 2:
 (AFTER SUB-DIVISION)

ZONE: RF

AREA (GROUND) IN GIN CORRIDOR USED BY BUILDING STRUCTURE = 821.6 SF (76.36 m2)
 (IN GREEN CROSS HATCH)

AREA (GROUND) IN GIN CORRIDOR USED FOR REAR YARD = 2585.6 SF (240.30 m2)
 (IN BLUE CROSS HATCH)

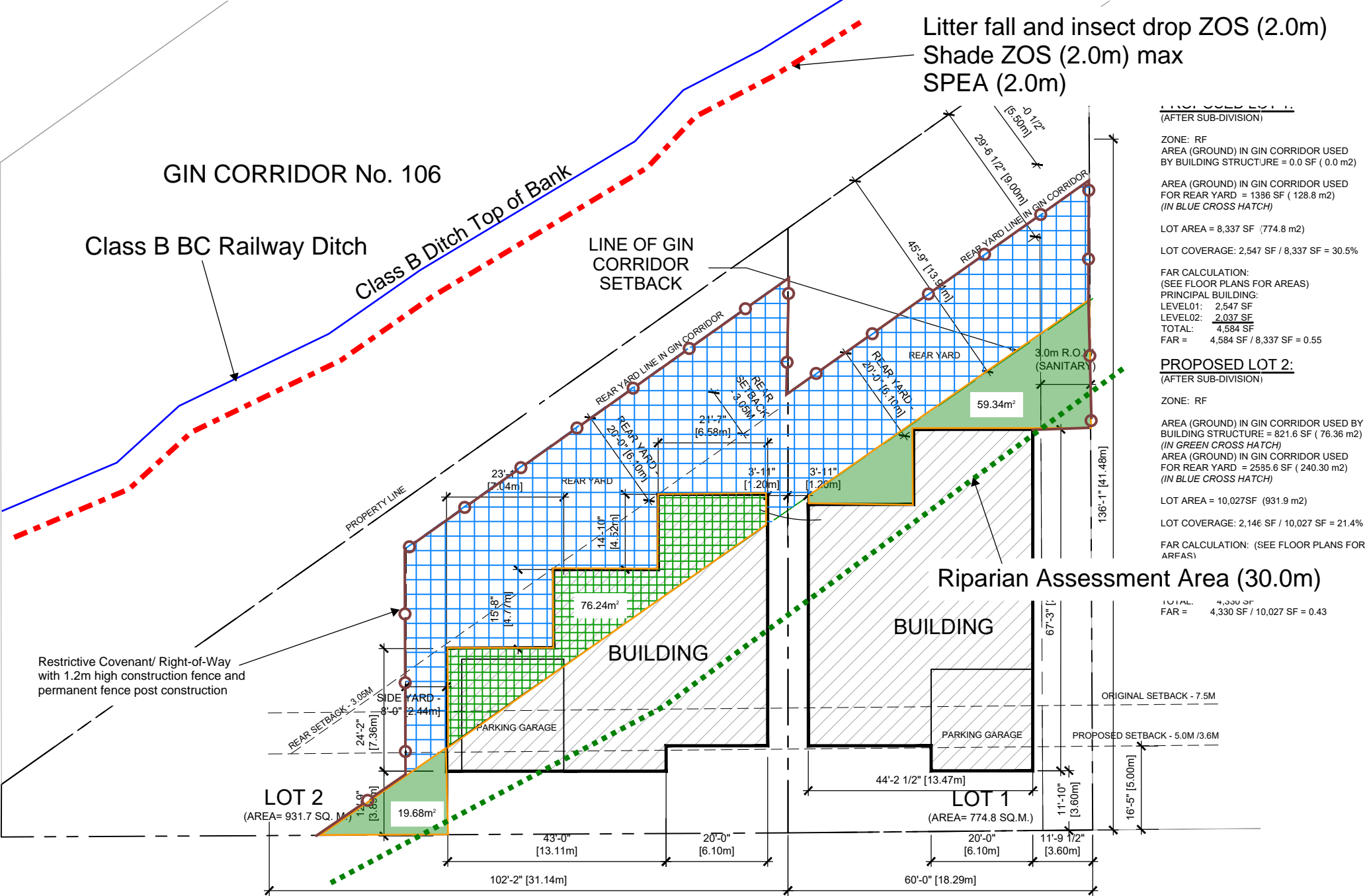
LOT AREA = 10,027 SF (931.9 m2)

LOT COVERAGE: 2,146 SF / 10,027 SF = 21.4%

FAR CALCULATION: (SEE FLOOR PLANS FOR AREAS)

TOTAL: 4,330 SF

FAR = 4,330 SF / 10,027 SF = 0.43



PROPOSED SITE PLAN

PROJECT NAME:
 LAYOUT PLAN FOR SUB-DIVISION
 OF LOT IN SURREY - LOT #

DRAWING DESCRIPTION:
 PROPOSED SITE PLAN

DRG NO.
 A-0.01

DATE
 04.05.2022

DRAWN BY:

SCALE:
 See above

Figure 1



(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0022-00

Issued To:

Address of Owner:

(collectively referred to as "the owners")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-565-560

Parcel "C" (421140E) Lot 18 Block 2 Section 30 Block 5 North Range 2 West New Westminister
District Plan 454

12129 - 100 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) Section K.1(c) of Part 16, Single Family Residential Zone (RF) to reduce the minimum lot depth of the RF Zone from 28 metres to 25 metres for proposed Lot 2; and

 - (b) Section F of Part 16, Single Family Residential Zone (RF) to reduce the minimum front yard setback of the RF Zone from 7.5 metres to 4.5 metres to the principal building face for Lots 1 and 2.
-
- 5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

 - 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

 - 7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

 - 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

 - 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

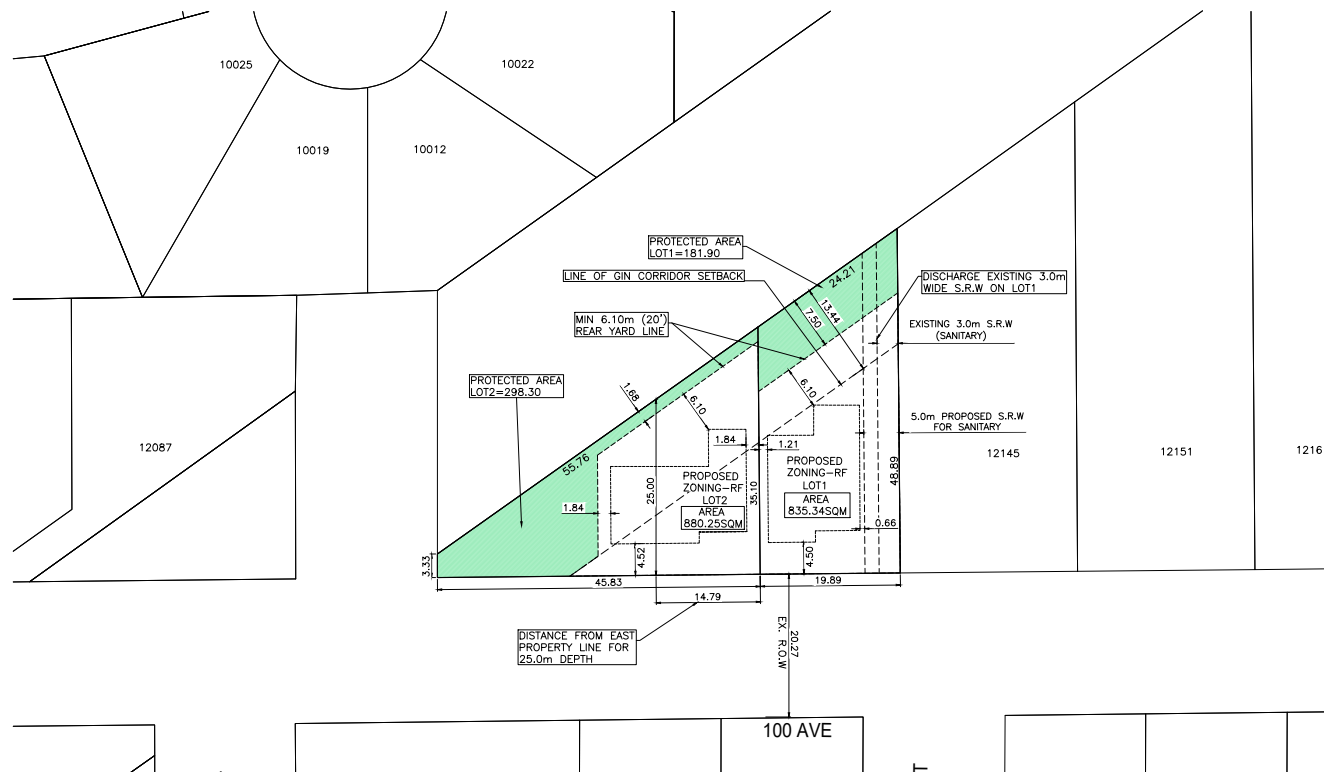
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

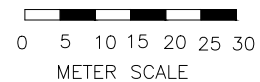


Schedule A



(a) Section K.1(c) of Part 16, Single Family Residential Zone (RF) to reduce the minimum lot depth of the RF Zone from 28 metres to 25 metres for proposed Lot 2; and

(b) Section F of Part 16, Single Family Residential Zone (RF) to reduce the minimum front yard setback of the RF Zone from 7.5 metres to 4.5 metres to the principal building face for Lots 1 and 2.



NOTE:
 1. ALL EXISTING ONSITE STRUCTURES ARE TO BE REMOVED UNLESS NOTED OTHERWISE.
 2. EXACT LOT DIMENSIONS & AREAS ARE TO BE VERIFIED BY THE SURVEYOR

ZONING:
 EXISTING ZONING: RF
 PROPOSED ZONING: RF
SITE AREA
 GROSS SITE AREA: 1715.59sqm.

NO.	YY/MM/DD	DRN	CH	REVISION
0	24/01/19	AS	RM	ISSUED FOR REVIEW

MAINLAND ENGINEERING DESIGN CORPORATION

UNIT 206 8363 128TH STREET
 SURREY, B.C. V3W 4G1
 TEL: (604) 543 8044 FAX: (604) 543 8104
 EMAIL: CIVIL@MAINLANDENG.COM

DEVELOPMENT/SITE LOCATION
 2 LOT SUBDIVISION
 #12129 100 AVE, SURREY, B.C.

DWG. NAME
 PRELIMINARY LAYOUT PLAN

SEAL

SCALE	N.T.S.	SURREY PROJECT NO.	DRAWING NO.
DESIGNED	RM		1
DRAWN	AS	MAINLAND PROJECT NO.	
CHECKED	RM	C-2118	OF 1
APPROVED	AB	DATE 24/01/19	REV. 0

H - 12

ACTION REQUIRED: TUP Support

TYPE: TUP

PURPOSE: The applicant is requesting to permit the temporary use of the site for truck parking for a period not to exceed three years.

LOCATION: 17854 - 96 Avenue

PROCESSING DATES:

TEMPORARY USE PERMIT

April 8, 2024

- Proceed to Public Notification: Carried RES.R24-528

NOTICE OF TEMPORARY USE PERMIT

Surrey City Council will hold an **electronic** meeting

MONDAY, APRIL 22, 2024

STARTING AT 7PM

View the livestream at surrey.ca or at City Hall

13450 — 104 Avenue

YOUR COMMENTS MUST BE RECEIVED IN WRITING FOR COUNCIL'S CONSIDERATION

Planning Report—Application No. 7923-0045-00

Location: 17854 - 96 Avenue

Purpose of Permit: The applicant is requesting to permit the temporary use of the site for truck parking for a period not to exceed three years.



LOCATION



OWNER/OCCUPANT



Office of the City Clerk
13450 – 104 Avenue,
Surrey, BC V3T 1V8
Canada

QUESTIONS FOR THE PLANNER:

Email planning staff at planningdevelopment@surrey.ca if you have any questions regarding this application. For information about the application visit surrey.ca.

City Hall is open Monday to Friday 8:30am-4:30pm except statutory holidays.

COMMENTS TO COUNCIL:

Your comments on this application must be received in writing by 12:00 noon on Council day, for Council's consideration. There are no speaking opportunities.

Webform: surrey.ca

Email: clerks@surrey.ca

Mail: Office of the City Clerk at the address above

Fax: 604-501-7578

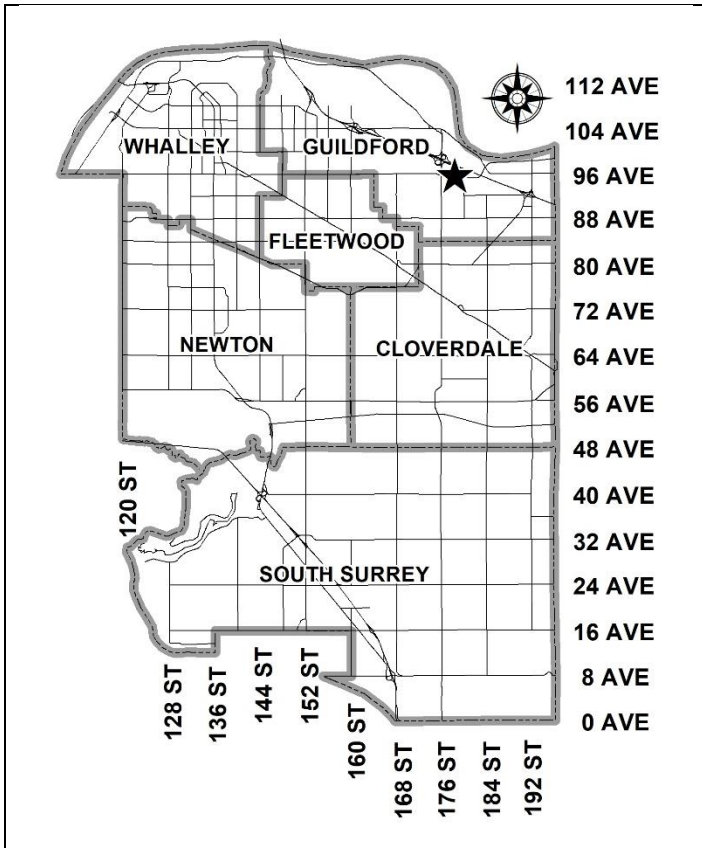
WATCH THE COUNCIL MEETING:

View the livestream at surrey.ca or at City Hall, 13450 —104 Avenue

**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7923-0045-00

Planning Report Date: April 8, 2024



PROPOSAL:

- **Temporary Use Permit**

to permit the temporary use of the site for truck parking for a period not to exceed three years

LOCATION: 17854 - 96 Avenue

ZONING: RA

OCP DESIGNATION: Mixed Employment

NCP DESIGNATION: Light Industrial



RECOMMENDATION SUMMARY

- Approval for Temporary Use Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to temporarily use the subject site for truck parking.
- The proposed truck parking use is not permitted in the RA Zone.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP) and the "Light Industrial" designation in the Anniedale-Tynehead Neighbourhood Concept Plan (NCP).
- The proposed temporary truck parking facility will allow an authorized, interim use of the land until it is economically viable for redevelopment.
- The road network is in the process of being upgraded in the area along 96 Avenue from 179 Street all the way to the intersection of Golden Ears Way and 180 Street.
- The proposal will assist in providing much-needed authorized truck parking spaces in the City.
- The site is in close proximity to major truck routes, including Highway No. 17 (South Fraser Perimeter Road), Highway No. 15 (176 Street), Highway No. 1, and Golden Ears Way.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Temporary Use Permit No. 7923-0045-00 (Appendix II) to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) completion of road upgrades as required to ensure adequate pavement width for truck traffic along 96 Avenue out to Golden Ears Way;
 - (c) input from the Ministry of Transportation & Infrastructure;
 - (d) input from TransLink;
 - (e) submission of a finalized landscaping and fencing plan and landscaping and fencing cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) installation and subsequent inspection and approval of all required landscape screening and fencing works along the south of the property, to the satisfaction of the General Manager, Planning & Development;
 - (g) submission of financial securities to ensure that landscaping and fencing is maintained over the course of the Temporary Use Permit, to the satisfaction of the General Manager, Planning & Development;
 - (h) the applicant to undertake the necessary work and obtain permits, as required, for the proposed use of the residential building on the site for office space and washroom facility purposes; and
 - (i) a Sensitive Ecosystem Development Permit (SEDP) application to be submitted and subsequently issued for the watercourse (yellow-coded ditch) along the northern property line.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Single family dwelling on acreage).	Light Industrial	RA
North (Across 96 Avenue):	Single family dwellings on acreages.	Light Industrial	RA

Direction	Existing Use	NCP Designation	Existing Zone
East:	Single family dwelling on acreage.	Light Industrial	RA
South (Across Golden Ears Way and Greenway):	Hydro right-of-way and Single family dwelling on acreage.	Trail and High Density Residential	RA
West:	Single family dwelling on acreage.	Light Industrial	RA

Context & Background

- The 7,178-square metre subject site is located at 17854 - 96 Avenue in Anniedale-Tynehead and is zoned "One-Acre Residential Zone (RA)" and designated "Light Industrial" in the Anniedale-Tynehead Neighbourhood Concept Plan (NCP) and designated "Mixed Employment" in the Official Community Plan (OCP).
- The subject property has a single family dwelling located at the front of the property. The site has no by-law sized trees on it but has several off-site trees surrounding it.
- The Planning & Development Department has received various proposals and inquiries for temporary truck parking and outdoor storage over the past few years in this area of Anniedale-Tynehead.
- Comments are pending from both Ministry of Transportation and Infrastructure (MOTI) and TransLink, which manages the intersection of 180 Street and Golden Ears Way.
- There are several other Industrial Temporary Use Permit applications along 96 Avenue. Most applications are pre-Council but are expected to proceed to Council soon. TUP Application No. 7922-0234-00 located approximately 300 metres to the west (17649 and 17709 - 96 Avenue and 17710 - 97 Avenue) received approval to proceed by Council on June 15, 2023.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant has applied for a Temporary Use Permit (TUP) to allow the parking of approximately 22 trucks and trailers as well as an additional 6 tractor parking spaces that exceed 5,000 kilograms (11,000 lbs.) G.V.W for a period of three years.
- The proposed 3-year TUP will be valid from the date of approval. A TUP can be extended only once for a further maximum 3-year period subject to Council approval.
- The applicant has provided a site plan for the proposed truck parking.
- Truck access will be from 96 Avenue via an existing driveway along the eastern property line. The applicant will be required to pave the driveway.

- The applicant is not proposing to remove any trees and will retain all off-site trees.
- Along the north property line, the proposed truck parking will be screened from 96 Avenue by habitat planting around the roadside ditch and by the existing house. The applicant is proposing to erect an 8 ft. tall black chain link fence with privacy slats to further screen the truck parking from existing residential properties to the north.
- Along the south property line, the applicant proposes a 7.5 metre landscape buffer and an 8 ft. tall black chain link fence with privacy slats to further screen the truck parking from Golden Ears Way
- The applicant has committed to continue to work with staff on the proposed landscaping and fencing details to ensure appropriate buffering as a condition of TUP issuance (should Council support the proposed temporary use). The landscaping and fencing will be required to be installed and inspected prior to TUP issuance and securities will be collected to ensure the landscaping and fencing is maintained over the course of the TUP.
- The proposed temporary truck parking use will allow for the interim use of the land until it is economically viable for redevelopment.
- The proposed temporary truck parking use will assist in providing much-needed authorized truck parking spaces in the City.

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	No trees or vegetation are to be removed from road right-of-way without pre-approval by Parks.
Ministry of Transportation & Infrastructure (MOTI):	Comments from MOTI are pending and will need to be addressed as a condition of TUP issuance.
TransLink:	Comments from TransLink are pending and will need to be addressed as a condition of TUP issuance.

Transportation Considerations

- The applicant will be required to widen pavement width from the subject site to the intersection of Golden Ears Way and 180 Street.
- The applicant will be required to pave their driveway entrance.

Natural Area Considerations

- The applicant completed a preliminary watercourse assessment and determined that a Class B (yellow-coded) ditch is located along 96 Avenue. The watercourse requires further assessment by the applicant to determine if the ditch is considered a stream under the provincial Riparian Areas Protection Regulations (RAPR).
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class B (yellow-coded) watercourse requires a minimum streamside setback of 7 metres, as measured from the top of bank. The proposed setbacks comply with the requirements outlined in the Zoning By-law.
- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of the existing Class B (yellow-coded) watercourse which flows within the ditch to the north of the site. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- The Ecosystem Development Plan is a condition of the issuance of the Temporary Use Permit. The finalized report and recommendations will be considered by Council in a subsequent report as part of a separate Development Permit for a Sensitive Ecosystems Development Permit Area (DPA).

POLICY & BY-LAW CONSIDERATIONS

Official Community Plan

Land Use Designation

- The subject site is designated as "Mixed Employment" in the OCP. The proposed interim use complies with the OCP designation, which accommodates light industrial uses.

Secondary Plans

Land Use Designation

- The subject site is designated "Light Industrial" in the Anniedale-Tynehead Neighbourhood Concept Plan (NCP). The Light Industrial designation is intended for manufacturing, processing, warehousing, and distribution of goods in an industrial park development.
- The proposed temporary use is considered to be supportable as it will allow an authorized, interim use of the land until it is economically viable for redevelopment, in accordance with the Anniedale-Tynehead NCP.
- In addition, the temporary use will assist in providing much-needed authorized truck parking spaces in the City.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on October 24, 2023, and the Development Proposal Signs were installed on June 23, 2023. Staff received no responses from neighbouring residents.

TREES

- Chris Booth, ISA Certified Arborist of Greenwood Tree Consulting prepared an Arborist Assessment for the subject property and confirmed that there no trees on the subject site and all 31 neighbouring/off-site trees are proposed to be retained as part of the application (see Appendix III).

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan and Landscape Plan
- Appendix II. Temporary Use Permit No. 7923-0045-00 (includes Engineering comments)
- Appendix III. Summary of Tree Survey, Tree Preservation and Tree Plans

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

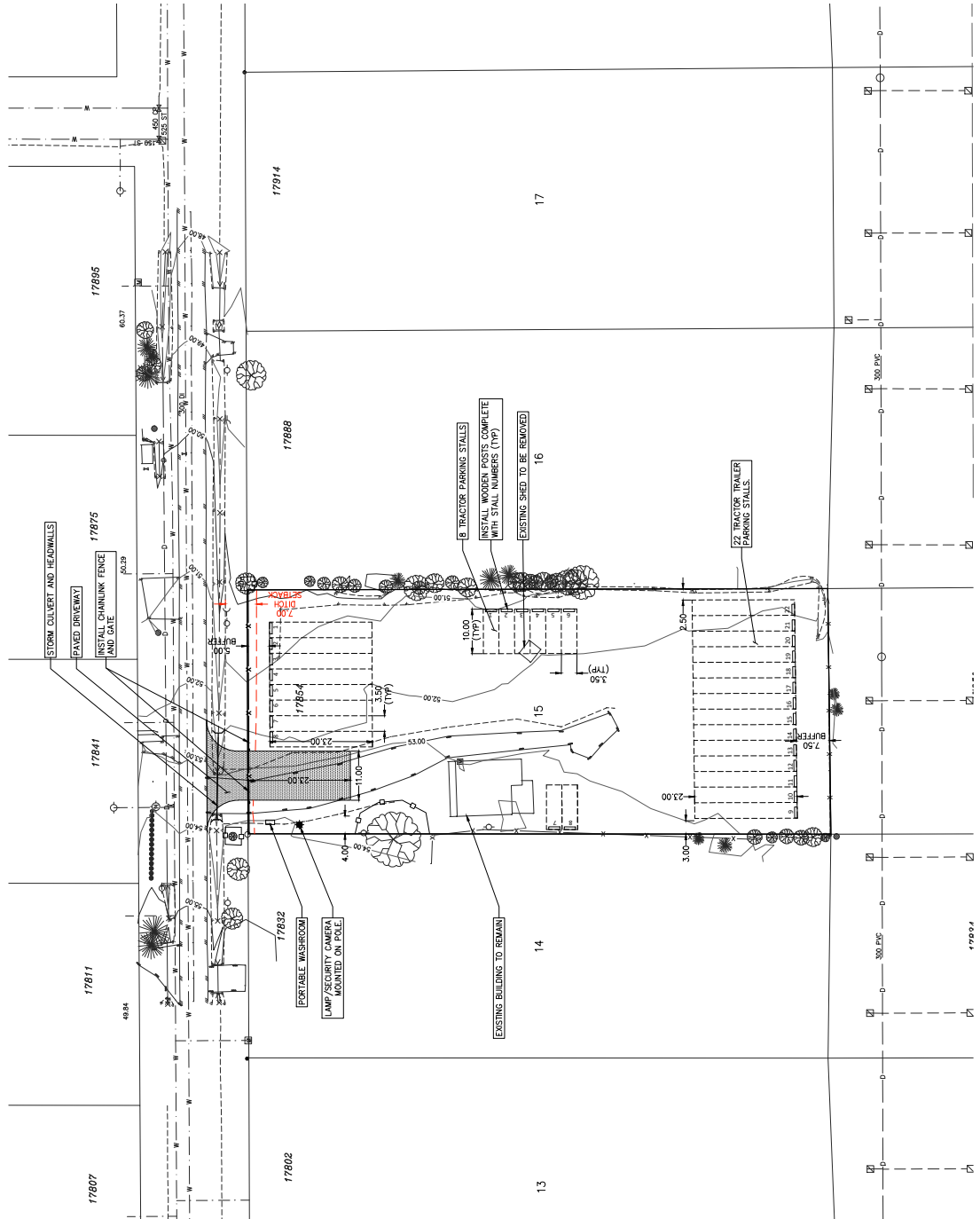
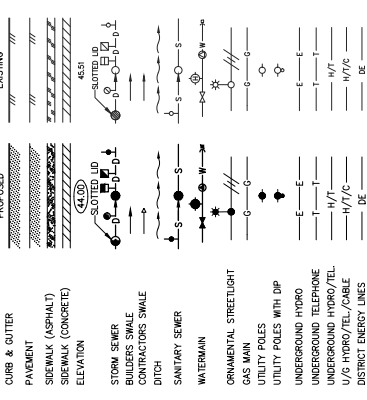
JKS/ar

BENCHMARK & CONTROL POINTS REFER TO W.M. 45 294, S17, IN SURREY, AT CENTER LINE OF 96 AVE., AT INTERSECTION WITH CENTER OF 180 ST. ELEV. 5074

LEGAL DESCRIPTION OF PROPERTY
 LOT 15 SECTION 35 TOWNSHIP 8 PLAN NHP/5594 AND EXCEPT PLAN PT IN PL. B027061.



ENGINEERING LEGEND



PRELIMINARY SUBMIT

NOTE:
 REFER TO ANY CONSTRUCTION IT
 VERIFY INVERTS & LOCATIONS OF
 AND NOTIFY THE ENGINEER OF A

No.	Date	Revision	Dr.	Cl.	1120722 BC LTD. 28394 FRASER HIGHWAY ABBOTSFORD BC. Email: vnoohomes@gmail.com Phone: 778-332-5146			Scale: 1:500 Drawn: WM Designed: DC P.U.
TEMPORARY USE PERMIT					1120722 BC LTD. 28394 FRASER HIGHWAY ABBOTSFORD BC. Email: vnoohomes@gmail.com Phone: 778-332-5146			Min. Proj. No. Min. Dep. No. Job No. 22-4712 Date NOV/2022
E-MAIL: office@citivest.com EGBC Permit to Practice #1001824					CitiWest Surrey 1987			Approval: Date NOV/2022 Revision
No.101-9030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3 TELEPHONE 604-591-2213 FAX 604-591-5518					SITE AT 17854 - 96 AVENUE, SURREY, BC			entry of print bearing previous number

(the "City")

TEMPORARY USE PERMIT

NO.: 7923-0045-00

Issued To:

(the Owner)

Address of Owner:

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 007-205-619

Lot 15, Except Part In Plan BCP27061 Section 32 Township 8 New Westminster District Plan 35594

17854 96 Avenue

(the "Land")

3. The authority to issue Temporary Use Permits is granted to municipalities under Sections 492 and 493 of the *Local Government Act* R.S.B.C. 2015, c.1. Pursuant to Implementation, II(c) Implementation Instruments, Temporary Use Permits of Surrey Official Community Plan, 2013, No. 18020, as amended, the entire City of Surrey is designated a Temporary Use Permit area.
4. The temporary use permitted on the Land shall be for 22 trucks and trailers as well as an additional 6 tractor parking spaces that exceed 5,000 kilograms (11,000 lbs.) G.V.W with the access and the location of the structures, and landscaping and fencing, substantially in compliance with Schedule A (the "Site Plan") which is attached hereto and forms part of this permit.
5. The temporary use permitted on the Land shall be in accordance with:
 - (a) No refrigerated truck units shall park on the site at any time;
 - (b) The parking area shall be designed to support the anticipated vehicle load in order to prevent dirt from being tracked onto the City roadway;

- (c) Adequate washroom facilities are to be provided on site to the satisfaction of the General Manager of Planning & Development with a minimum of one such facility on site; and
 - (d) the following activities are prohibited on the land:
 - i. vehicle washing
 - ii. vehicle maintenance except if it is on an asphalt or concrete pad and excludes all oil, coolant or chemical use as per the Environmental Management Act, S.B.C. 2002 Chapter 43
 - iii. truck fuel storage or refuelling
 - iv. storage of waste petroleum fluids
 - v. parking or storage of vehicles containing Dangerous Goods as defined by the *Transport of Dangerous Goods Act* R.S.B.C. 1996, Chapter 458.
6. The Owner covenants and agrees that the pre-servicing requirements attached as Schedule B (the "Pre-Servicing Requirements") which is attached hereto and forms part of this permit, have been completed and will be maintained for the duration of the Temporary Use Permit.
7. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:
- Cash in the amount of \$_____
- An Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$_____
- The Security is for:
- i. Works _____
 - ii. Landscaping _____
8. (a) The Landscaping shall be completed within six (6) months after the date of the final inspection of the buildings and structures referred to in the Drawings.

- (b)
 - i. When the Landscaping is substantially complete as determined by the City, without the City having to use the Security, 90% of the original Security will be returned. When the Landscaping receives final approval by the City, not earlier than twelve (12) months after the date of substantial completion of the Landscaping, 10% of the original Security will be returned;
 - ii. If final approval of the Landscaping is not given by the City, the City has the option of using the Security to complete the Landscaping and any remaining money shall be returned. The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Landscaping; and
 - iii. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.
- 9. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.
- 10. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.
- 11. This temporary use permit is not transferable.
- 12. This temporary use permit shall lapse on or before three years from date of issuance

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Authorized Agent: Signature

Name (Please Print)

OR

Owner: Signature

Name: (Please Print)

TO THE CITY OF SURREY:

I, _____ (Name of Owner)

being the owner of _____
(Legal Description)

known as _____
(Civic Address)

hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary use permit.

(Owner)

(Witness)

INTER-OFFICE MEMO

TO: **Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Review Manager, Engineering Department**

DATE: **April 02, 2024** PROJECT FILE: **7823-0045-00**

RE: **Engineering Requirements
Location: 17854 96 Ave**

TEMPORARY USE PERMIT

The following are to be addressed as a condition of issuance of the Temporary Use Permit:

- Confirm adequate pavement width and pavement structure to support adequate truck access.
- Provide truck turning movements to confirm required driveway width.
- Construct curb return access to 96 Avenue.
- Construct paved apron into the site for minimum one design vehicle length.
- Confirm registration of restrictive covenant for in-place septic field.
- Construct a new metered water main for water service, if required.
- Driveway Crossing Permit for proposed access over ditch.
- Complete stormwater management plan.
- Construct storm infrastructure upgrades to adequately capture increased runoff.
- Construct on-site stormwater mitigation features to meet pre-development conditions up to the 100-year storm event; appropriate geotechnical infiltration testing is required to verify infiltration capacity to support mitigation features.
- Register restrictive covenants for on-site stormwater mitigation and water quality features.

A Servicing Agreement is required prior to issuance of the Temporary Use Permit.



Janelle Frank, P.Eng.
Development Review Manager

RH

4.2 Tree Preservation Summary

Appendix III

Surrey Project No: 23-0045
 Address: 17854 96 Ave Surrey, BC
 Registered Arborist: Chris Booth PN7309A– Greenwood Tree Consulting

On-Site Trees	Number of Trees
Protected Trees Identified <i>(on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas and non-bylaw protected trees)</i>	0
Protected Trees to be Removed	0
Protected Trees to be Retained <i>(excluding trees within proposed open space or riparian areas)</i>	
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0	0
All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	N/A
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0	0
All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Municipal Trees	Number of Trees
Total No. of "Inventoried trees" proposed for removal	0
Total No. of "Non-Inventoried" trees proposed for removal	0
Total No. of Protected Municipal Trees proposed for removal (Permission required from C.O.S.)	0

Summary, report, and plan prepared and submitted by:



(Signature of Arborist) Date: March 21st, 2023



BENCHMARK & CONTROL
ALL ELEV. ARE GEODETIC AND REFER TO MON. NO. 42762
ST. IN SURREY, APC CENTER LINE OF 96 AVE., AT JUNCTION WITH CENTER OF 180 ST.
ELEV. 5074

LEGAL DESCRIPTION OF PROPERTY
LOT 15 SECTION 32 TOWNSHIP 8 PLAN NWP35594 NWD EXCEPT
PLAN PT IN PL BCP27061.

ENGINEERING LEGEND

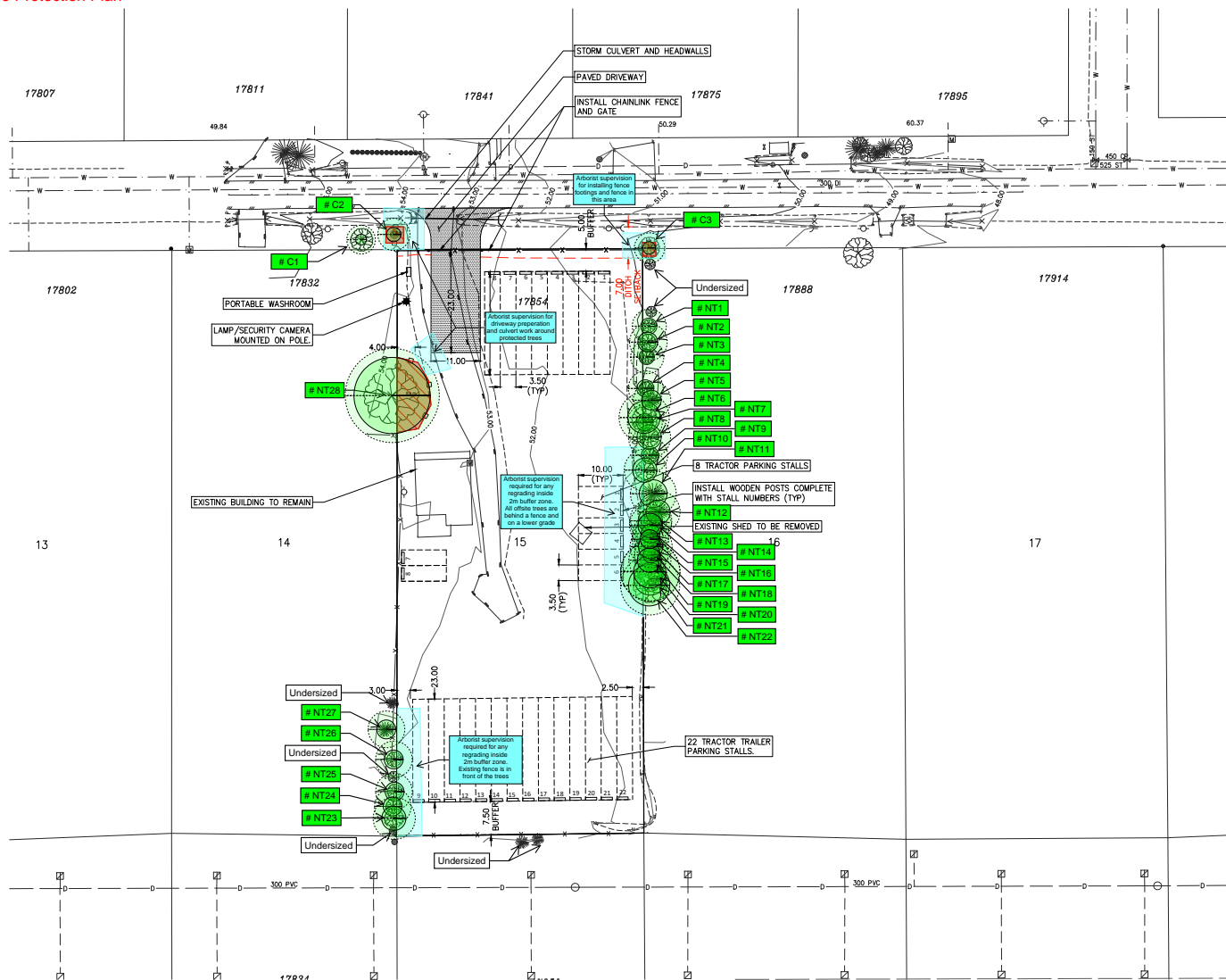
	PROPOSED	EXISTING
CURB & GUTTER		
PAVEMENT		
SIDEWALK (ASPHALT)		
SIDEWALK (CONCRETE)		
ELEVATION		
STORM SEWER		
BUILDERS SWALE		
CONTRACTORS SWALE		
DITCH		
SANITARY SEWER		
WATERMAIN		
ORNAMENTAL STREETLIGHT		
GAS MAIN		
UTILITY POLES		
UTILITY POLES WITH DIP		
UNDERGROUND HYDRO		
UNDERGROUND TELEPHONE		
UNDERGROUND HYDRO/TEL		
U/G HYDRO/TEL./CABLE		
DISTRICT ENERGY LINES		

KEY

- Tree Number (green = retain tree)
- Tree Number (red = turn into wildlife tree)
- Areas where arborist supervision is required
- Tree protection barriers and protected areas
- Tree protection distance (m)
- 2m buffer zone around tree - arborist supervision

TREE PROTECTION BARRIER SIZES

TREE #	TREE SPECIES	DBH	TPB (m)
Tree #NT28	Big Leaf Maple	130 cm	8.5 m
Tree #C1	Hazelnut	Multi	1.2 m
Tree #C2	Oak	27 cm	1.6 m
Tree #C3	Black Lombard	23.5 cm	1.4 m



Tree protection barriers must be built to the following specifications:

Materials:

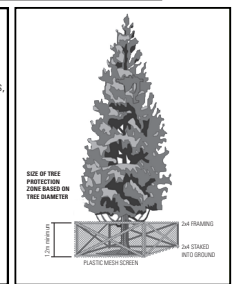
- 2x4's for framing (vertical posts, top and bottom rails, and cross-bracing)
- Plastic mesh screening

Dimensions:

- 1.2m in height
- Maximum 3.7m spacing between vertical posts

Barrier Size:

- Barriers must be built a minimum distance of six (6) times the tree diameter.
- Barrier size = 6x diameter of tree



PRELIMINARY SUBMISSION

NOTE: PRIOR TO ANY CONSTRUCTION THE CONTRACTOR IS TO VERIFY INVERTS & LOCATIONS OF EXISTING SERVICES AND NOTIFY THE ENGINEER OF ANY CONFLICTS

No	Date	Revision	Dr	Ch

CitiWest Consulting Ltd.
No.101-9030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3
TELEPHONE 604-591-2213 FAX 604-591-5518
E-MAIL: office@citiwest.com
EGBC Permit to Practice #1001824



1120722 BC LTD.
28394 FRASER HIGHWAY ABBOTSFORD BC. Email: varoohomes@gmail.com Phone: 778-332-5146

TEMPORARY USE PERMIT
SITE AT 17854 - 96 AVENUE, SURREY, BC

Scale: 1:500	Mun. Proj. No.
Designed: DC	Mun. Dwg. No.
P.W. P.U.	Job No. 22-4712
Approved:	Date NOV/2022
	Revision

H - 13

ACTION REQUIRED: TUP Approval / DVP Approval

TYPE: TUP / DVP

PURPOSE: The applicant is requesting to permit the development of a temporary real estate sales centre for a duration not to exceed 3 years and to permit temporary on-site real estate development marketing signage for a mixed-use-high-rise development.

In addition, the proposal includes a Development Variance Permit to increase the maximum number of temporary on-site real estate development/construction signs from 2 to 8; to increase the maximum allowable sign area for hoarding signs from 14 square metres to a maximum of 103 square metres; to increase the maximum allowable sign area for a fascia signs from 14 square metres to a maximum of 39 square metres and to increase the maximum allowable sign area from 14 square metres to a maximum of 23 square metres and the maximum sign height from 4.5m to 5.6m for free standing signs.

LOCATION: 13307 King George Boulevard

PROCESSING DATES:TEMPORARY USE PERMIT

April 8, 2024 - Proceed to Public Notification: Carried RES.R24-527

DEVELOPMENT VARIANCE PERMIT

April 8, 2024 - Proceed to Public Notification: Carried RES.R24-527

TO: **City Clerk, Legislative Services Division**

FROM: **Chief Development Approvals Officer
Planning & Development Department**

DATE: **April 16, 2024**

FILE: **7924-0042-00**

RE: **Development Application No. 7924-0042-00**

ADDRESS: 13307 King George Boulevard

OWNER: 1333828 BC Ltd.

AGENT: Kanwar Dhamrait
Oviedo Properties Ltd.
8310 130 St, Unit 101
Surrey, V3W 8J9

PROPOSAL: Temporary Use Permit No. 7924-0042-00.

Development Variance Permit No. 7924-0042-00

To permit a temporary real estate sales centre for a duration not to exceed 3 years and to permit temporary on-site real estate development marketing signage for a mixed-use high-rise development.

On April 8, 2024, Council granted Temporary Use Permit No. 7924-0042-00 and Development Variance Permit No. 7924-0042-00 approval to proceed to Public Notification.

All conditions of approval associated with Temporary Use Permit No. 7924-0042-00 and Development Variance Permit No. 7924-0042-00 have been resolved.

If, after Public Notification, Council supports Temporary Use Permit No. 7924-0042-00 and Development Variance Permit No. 7924-0042-00, it is in order for Council to also issue Temporary Use Permit No. 7924-0042-00 and Development Variance Permit No. 7924-0042-00 and to authorize Mayor and Clerk to execute the Permits.



Ron Gill
Chief Development Approvals Officer
Development Planning

CITY OF SURREY

(the "City")

TEMPORARY USE PERMIT

NO.: 7924-0042-00

Issued To:

19578 20.01

(the "Owner")

Address of Owner:

19578 20.01
20017 20.01

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-154-462

Lot 3 Except: Part on Statutory Right of Way Plan 5719,
Section 15 Block 5 North Range 2 West New Westminster District Plan 5347
13307 King George Boulevard

(the "Land")

3. The authority to issue Temporary Use Permits is granted to municipalities under Sections 492 and 493 of the *Local Government Act* R.S.B.C. 2015, c.1. Pursuant to Implementation, II(c) Implementation Instruments, Temporary Use Permits of Surrey Official Community Plan, 2013, No. 18020, as amended, the entire City of Surrey is designated a Temporary Use Permit area.
4. The temporary use permitted on the Land shall be for a real estate sales centre and associated surface parking lot.
5. The temporary use permitted on the Land shall be in accordance with:
 - (a) The appearance and location of the buildings, access and parking as shown on Schedule A which is attached hereto and forms part of this permit.

6. The temporary use shall be carried out according to the following conditions:
 - (a) Parking is restricted to vehicles less than 5,000 kilograms GVW; and
 - (b) Upon termination of this Temporary Use Permit, the real estate centre and temporary parking shall be removed, and the land restored to its original condition.

7. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:

Cash in the amount of \$5,000.00

8. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.

9. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.

10. This temporary use permit is not transferable.

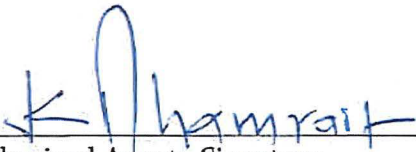
11. This temporary use permit shall lapse on or before three years from date of issuance.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor - Brenda Locke

City Clerk - Jennifer Ficocelli

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.



Authorized Agent: Signature

Ks. 22(1) DHAMRAIT

Name (Please Print)

OR

Owner: Signature

Name: (Please Print)

TO THE CITY OF SURREY:

I, K.S. 22(1) DHAMRAIT (Name of Owner)

being the owner of LOT 3 EXCEPT PART ON CAT R/W/10 DEWON PLAN 5719
(Legal Description) SEC 15, BLOCK 5A RANGE 2 N40D

known as 13307 KING GEORGE BLV. SURREY. PLAN 5347
(Civic Address)

hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary use permit.

[Signature]

(Owner)

[Signature]

K.S. 22(1) Plasun
(Witness)

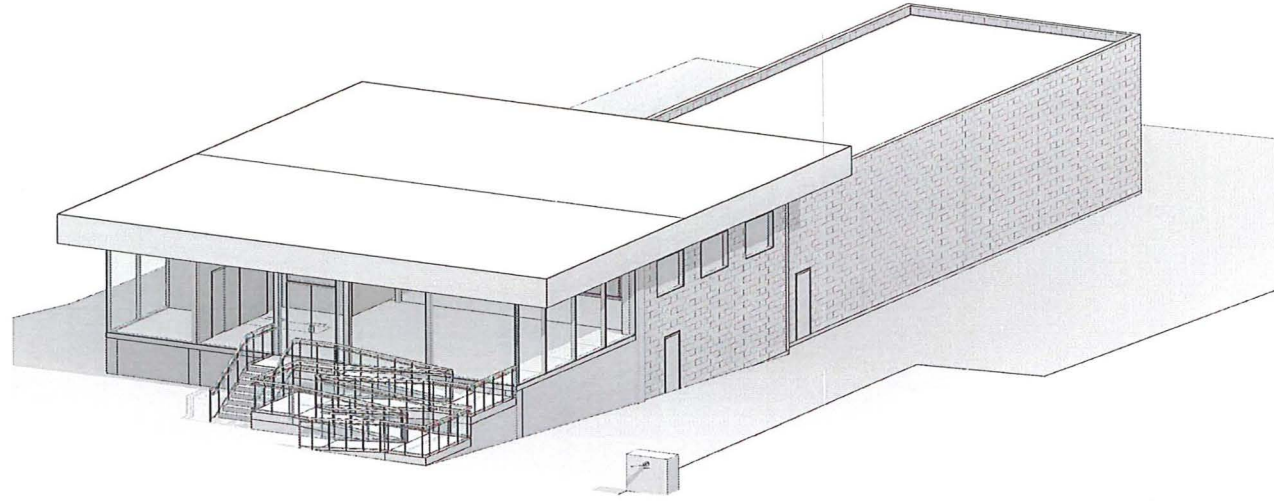
OSP - BOLIVAR PRESENTATION CENTER

Schedule A

PROJECT ADDRESS :
13307 King George Blvd
Surrey, BC



CHRIS DIKEAKOS ARCHITECTS INC.
1635 W Broadway Vancouver, B.C. V6J 1W9
T 604 291 2660 E-MAIL: INFO@DIKEAKOS.COM
- WEBSITE : WWW.DIKEAKOS.COM



OVIEDO PROPERTIES
101-8310 130th STREET SURREY, BC, V3W 8J9
T 778-218-2657 WWW.OVIEDOPROPERTIES.COM

ISSUED FOR BUILDING PERMIT

MARCH 6 2024

PROJECT CONTACT LIST

OWNERS
OVIEDO PROPERTIES
CONTACT: KANWAR DHAMRAIT
101-8310 130th STREET
SURREY, BC, V3W 8J9
TEL: 604-355-8769
EMAIL: kanwar@oviedoproperties.com

ARCHITECT
CHRIS DIKEAKOS ARCHITECTS INC.
CONTACT: RICHARD BENNETT
CONTACT: PHILIP POLOTSKY
1635 W BROADWAY
VANCOUVER, BC, V6J 1W9
TEL: 604-291-2660
EMAIL: richard.b@dikeakos.com
EMAIL: philip.p@dikeakos.com

INTERIOR DESIGN
ANSA DESIGN
CONTACT: LISA HANSEN
2170500 RIVER ROAD
RICHMOND, BC, V6X 1X5
TEL: 778-297-2732
EMAIL: lisa@ansadesign.ca

STRUCTURAL
GLOTTMAN SIMPSON
CONTACT: LEVI STOELTING
1961 WEST 5th AVENUE
VANCOUVER, BC, V6J 1K9
TEL: 604-433-3487
EMAIL: levi@gssttransmission.com

MECHANICAL
MCHV CONSULTANTS LTD
CONTACT:
1420-1111 W GEORGIA STREET
VANCOUVER, BC, V6E 4V3
TEL: 778-297-2732
EMAIL:

ELECTRICAL
MCHV CONSULTANTS LTD
CONTACT:
1420-1111 W GEORGIA STREET
VANCOUVER, BC, V6E 4V3
TEL: 778-297-2732
EMAIL:

AUTHORITY
CITY OF SURREY
CONTACT:
13150 - 104 AVENUE
SURREY, BC, V0T 1V8
TEL:
EMAIL:

BUILDING CODE
GHL CONSULTANTS LTD.
CONTACT: ADAM MADSEN
600-100 W PENNER STREET
VANCOUVER, BC, V6C 1G5
TEL: 604-669-4449
EMAIL: am@ghl.ca

SHEET LIST - Architectural

SHEET NUMBER	SHEET NAME
A000	COVER
A001	CONSTRUCTION ASSEMBLIES & DOOR SCHEDULE
A002	OVERALL SITE
A003	SURVEY
A100	SITE PLAN (EXISTING)
A101	SITE PLAN (PROPOSED)
A102	FIRE TRUCK ACCESS PLAN
A200	FLOOR PLAN - LEVEL 1 AND 2 (EXISTING)
A201	FLOOR PLAN - ROOF PLAN (EXISTING)
A202	FLOOR PLAN - LEVEL 1 AND 2 (DEMOLITION)
A203	FLOOR PLAN - ROOF PLAN (DEMOLITION)
A204	FLOOR PLAN - ROOF PLAN AND STAIR PLANS SECTIONS (PROPOSED)
A300	ELEVATIONS (PROPOSED)
A400	BUILDING SECTIONS (PROPOSED)
A900	EXTERIOR WOODWORK ELEVATIONS (PROPOSED)

SHEET LIST - Mechanical

SHEET NUMBER	SHEET NAME
M1.0	COVER SHEET
M1.1	SITE PLAN
M2.0	MECHANICAL DEMO PLAN
M3.0	LOWER LEVEL - MECHANICAL CONSTRUCTION PLAN
M3.1	UPPER LEVEL - MECHANICAL CONSTRUCTION PLAN
M3.2	ROOF - MECHANICAL CONSTRUCTION PLAN
M4.0	DETAILS AND SCHEDULE

SHEET LIST - Fire Protection

SHEET NUMBER	SHEET NAME
FP1.0	COVER PAGE
FP2.1	LOWER AND UPPER LEVEL FP
FP3.0	SCHEMATIC
FP4.0	FP DETAILS

SHEET LIST - Structural

SHEET NUMBER	SHEET NAME
S100	TITLE SHEET
S101	GENERAL NOTES
S102	GENERAL NOTES
S201	LEVEL 01
S202	LEVEL 02
S203	LEVEL 03 ROOF
S601	SECTIONS AND DETAILS

SHEET LIST - Electrical

SHEET NUMBER	SHEET NAME
E1.0	SITE PLAN LEGEND
E1.1	ELECTRICAL SITE PLAN
E2.0	DEMOLITION PLAN
E3.0	LOWER LEVEL FLOOR PLAN
E3.1	UPPER LEVEL FLOOR PLAN
E4.0	SINGLE LINE DIAGRAM AND DETAILS
E5.0	MECHANICAL EQUIPMENT SCHEDULES

Area Schedule (EXISTING BUILDING)		
Level	Name	Area
LEVEL 1	LEVEL 1 OVERALL	5102 M ²
LEVEL 2	LEVEL 2 OVERALL	2033 M ²
Total Area		7135 M ²

Area Schedule (PROPOSED)		
Level	Name	Area
LEVEL 1	LEVEL 1 OVERALL	5102 M ²
LEVEL 2	LEVEL 2 OVERALL	1982 M ²
Total Area		7084 M ²

Project Information (EXISTING BUILDING)	
Existing Site Area	65,001 SF (6,038.9 SQM)
Gross Site Area (Excl. Undevelopable Area)	63,806 SF (5,941.1 SQM)
Net Site Area	43,969 SF (4,064.9 SQM)
Floor Area Ratio	0.137 FAR
Building Height	31.88 FT (9.81M)
Roof Area	19,850 SF (1,844.2 SQM)
Undevelopable Area	4,134 SF (383.7 SQM)

Project Information (PROPOSED BUILDING)	
Existing Site Area	65,001 SF (6,038.9 SQM)
Gross Site Area (Excl. Undevelopable Area)	63,806 SF (5,941.1 SQM)
Net Site Area	43,969 SF (4,064.9 SQM)
Floor Area Ratio	0.137 FAR
Building Height	31.88 FT (9.81M)
Roof Area	19,850 SF (1,844.2 SQM)
Undevelopable Area	4,134 SF (383.7 SQM)

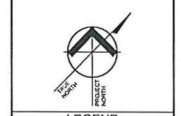
IF SHOWN TO NOT BE MAJOR: THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING EASERS LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL PROPOSED ELEVATIONS TO BE INDICATED MANUALLY TO THE ARCHITECT. DIMENSIONS AND LOCATIONS TO POINTS SHOWN ON THE DRAWINGS SHALL NOT BE EXCEEDED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. THE DRAWINGS ARE THE SOLE PROPERTY OF THE ARCHITECT & CANNOT BE REPRODUCED OR COPIED WITHOUT THE PERMISSION OF THE ARCHITECT. ALL INFORMATION IS FOR INFORMATION ONLY AND IS NOT TO BE USED AS A BASIS FOR ANY OTHER PROJECTS.

Building Code Analysis
 Major Occupancy Group D (Office)
 Building Footprint Area: 455 m²
 Building Height: 2 Storeys

Construction requirements:
 - Construction Article: 3.2.2.6.3
 - Maximum Building Area Permitted: 2,400 m²
 - 2 level interconnection via open stair 50% max building area (1200m²) met
 - Combustible construction
 - Sprinklered to NFPA 13
 - 45min FRR floor separation
 - Load bearing supports to have FRR not less than 45min or be of noncombustible construction.

Area Schedule (PROPOSED)		
Level	Name	Area
LEVEL 1	LEVEL 1 OVERALL	5132 M ²
LEVEL 2	LEVEL 2 OVERALL	1392 M ²
Total Area		7244 M ²

PARKING REQUIRED = 2.5 STALLS PER 100sqm = 17 STALLS	
TYPE	COUNT PROVIDED
REG. ACCESSIBLE	2
REGULAR	15



LEGEND

DESCRIPTION	GRAPHIC
PROPERTY LINE	---
STAIRWAY RIGHT OF WAY	---
SETBACK LINE	---
GAS LINE	---
BUILDING OUTLINE ABOVE	---
FIRE TRUCK ACCESS ROUTE	---
FIRE HYDRANT	---
FIRE DEPARTMENT HOSE CONNECTION	---
ELEVATION	---
DRIVE	---
VEHICLE ENTRY	---
PEDESTRIAN ENTRY	---
EXTENT OF PROPOSED BUILDING	---

NO. REVISIONS	DATE
ISSUED FOR:	MAN IN CHARGE
ISSUED FOR BUILDING PERMIT	

CHRIS DIKEAKOS ARCHITECTS INC.

1000 BAY ST. #1000 VICTORIA BC V8W 2E1
 T 250 381 2800 F 250 381 2801 WWW.CHRISSDIKEAKOS.COM

Copyright Reserved.
 This drawing is the property of Chris Dikeakos Architects and may not be reproduced without the prior written consent of Chris Dikeakos Architects.

PROJECT: OSP - BOLIVAR PRESENTATION CENTER
 13307 King George Blvd
 Surrey, BC

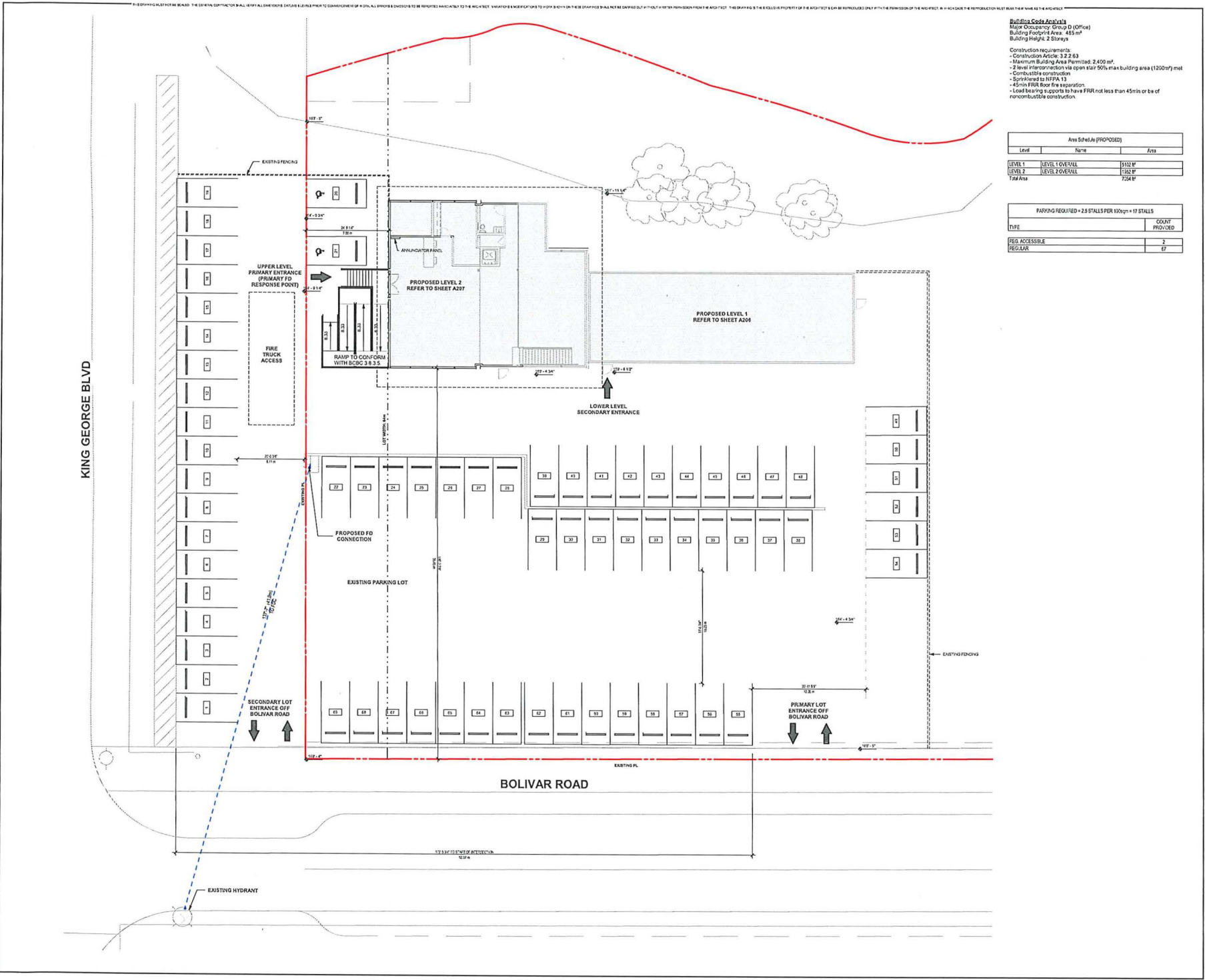
DATE:	SCALE:
DATE:	SCALE:
DATE:	SCALE:
DATE:	SCALE:

SITE PLAN (PROPOSED)

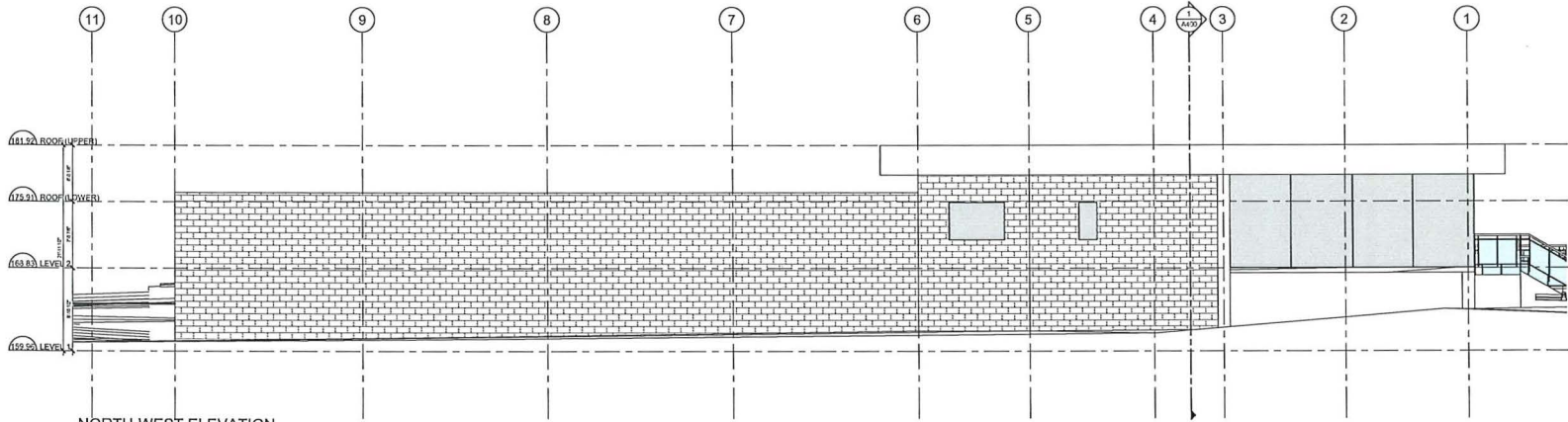
DATE: 2024.03.28
 11:03:00 AM

PROJECT NO. A101

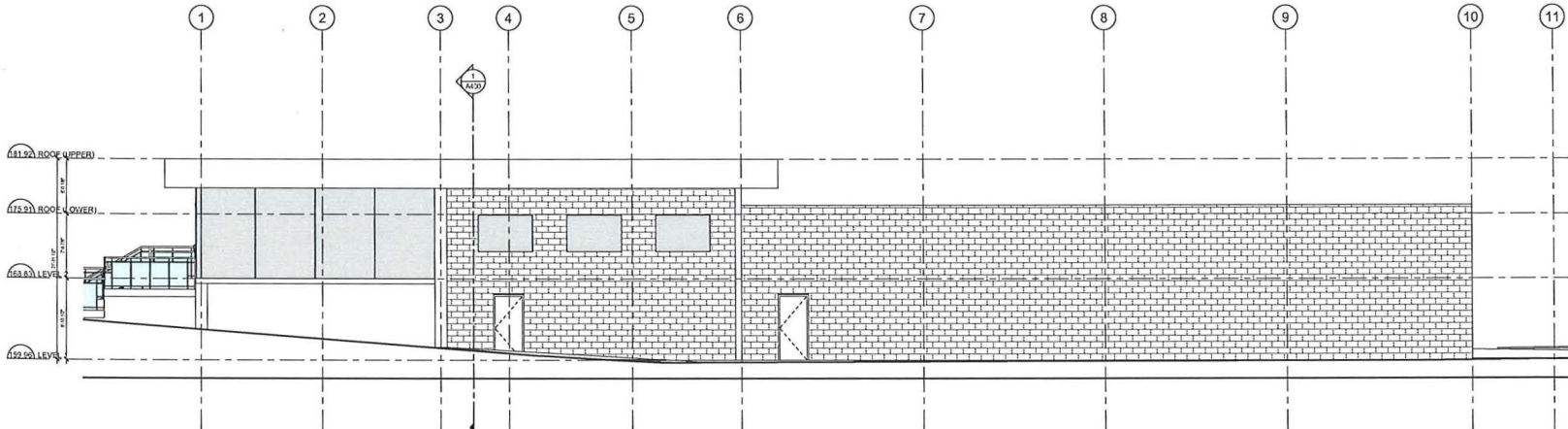
Copyright © 2024 Chris Dikeakos Architects



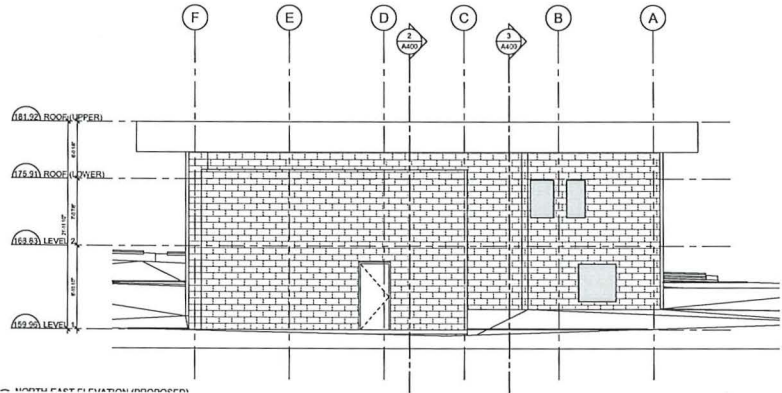
THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS & ELEVATIONS PRIOR TO COMMENCEMENT OF WORK. ALL DIMENSIONS & ELEVATIONS TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. DIMENSIONS & ROOF GRADING TO FORM SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. THE DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT & CAN BE REPRODUCED ONLY WITH THE PERMISSION OF THE ARCHITECT. IN PHOTOGRAPHY THE REPRODUCTION MUST BE IN THE SAME PROPORTION TO THE ORIGINAL AS SHOWN.



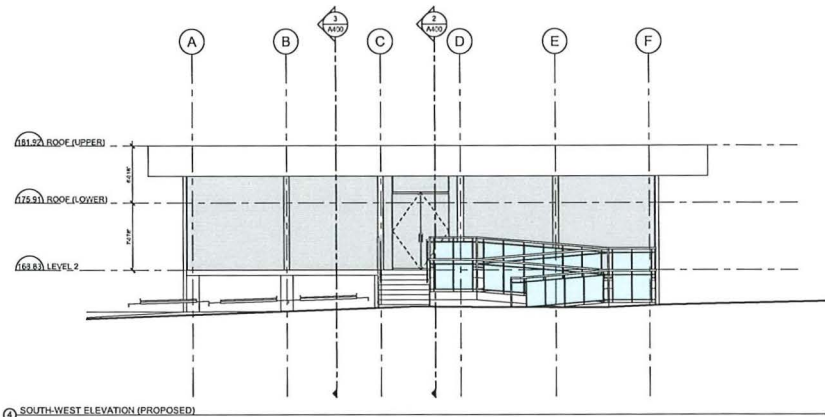
1
NORTH-WEST ELEVATION
(PROPOSED)
3/16" = 1'-0"



2
SOUTH-EAST ELEVATION
(PROPOSED)
3/16" = 1'-0"



3
NORTH-EAST ELEVATION (PROPOSED)



4
SOUTH-WEST ELEVATION (PROPOSED)

LEGEND	
ELEVATION	CONV. I.C.
WEATHERPROOF PRECAST/CLC	UPPER
CONC. BR.	CONC.
ROOF BR.	ROOF
ELEVATION	1/16" = 1'-0"
PROPERTY LINE	---
FINISHED GRADE	---
EXISTING GRADE	---
EXHAUSTIVE SHWT (REF. TO MCH)	---

NO. REVISED: 0/0

REVISIONS:

CHRIS DIKEAKOS ARCHITECTS INC.

13307 King George Blvd
Surrey, BC
V4W 1R8

13307 King George Blvd
Surrey, BC
V4W 1R8

PROJECT:
OSP - BOLIVAR PRESENTATION CENTER

13307 King George Blvd
Surrey, BC

ELEV.

DATE: 1/1/2018

DATE: 2/1/2018

SCALE: 3/16" = 1'-0"

PROJECT NO.: 2017-01-01
DATE: 1/1/2018

ELEVATIONS (PROPOSED)

DATE: 1/1/2018

NOTICE OF TEMPORARY USE PERMIT

Surrey City Council will hold an **electronic** meeting

MONDAY, APRIL 22, 2024

STARTING AT 7PM

View the livestream at surrey.ca or at City Hall

13450 — 104 Avenue

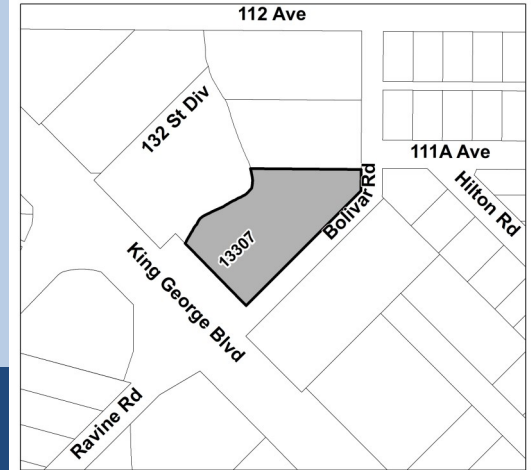
YOUR COMMENTS MUST BE RECEIVED IN WRITING FOR COUNCIL'S CONSIDERATION

Planning Report—Application No. 7924-0042-00

Location: 13307 King George Boulevard

Purpose of Permit and Development Variance Permit: The applicant is requesting to permit the development of a temporary real estate sales centre for a duration not to exceed 3 years and to permit temporary on-site real estate development marketing signage for a mixed-use-high-rise development.

In addition, the proposal includes a Development Variance Permit to increase the maximum number of temporary on-site real estate development/construction signs from 2 to 8; to increase the maximum allowable sign area for hoarding signs from 14 square metres to a maximum of 103 square metres; to increase the maximum allowable sign area for a fascia sign from 14 square metres to a maximum of 39 square metres and to increase the maximum allowable sign area from 14 square metres to a maximum of 23 square metres and the maximum sign height from 4.5m to 5.6m for free standing signs.



LOCATION



OWNER/OCCUPANT



Office of the City Clerk
13450 – 104 Avenue,
Surrey, BC V3T 1V8
Canada

QUESTIONS FOR THE PLANNER:

Email planning staff at planningdevelopment@surrey.ca if you have any questions regarding this application. For information about the application visit surrey.ca.

City Hall is open Monday to Friday 8:30am-4:30pm except statutory holidays.

COMMENTS TO COUNCIL:

Your comments on this application must be received in writing by 12:00 noon on Council day, for Council's consideration. There are no speaking opportunities.

Webform: surrey.ca

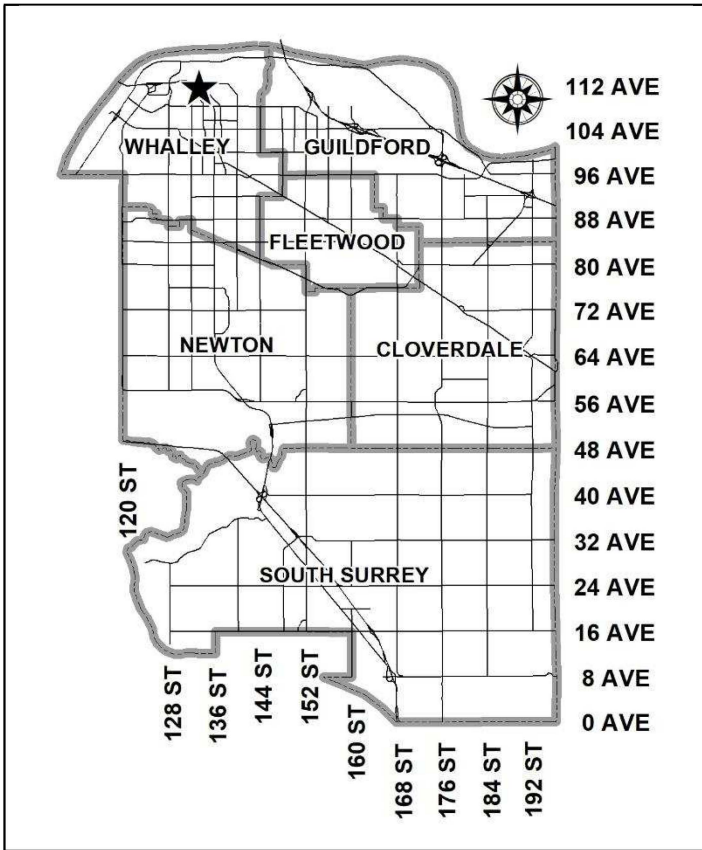
Email: clerks@surrey.ca

Mail: Office of the City Clerk at the address above

Fax: 604-501-7578

WATCH THE COUNCIL MEETING:

View the livestream at surrey.ca or at City Hall, 13450 —104 Avenue



PROPOSAL:

- Temporary Use Permit
- Development Variance Permit

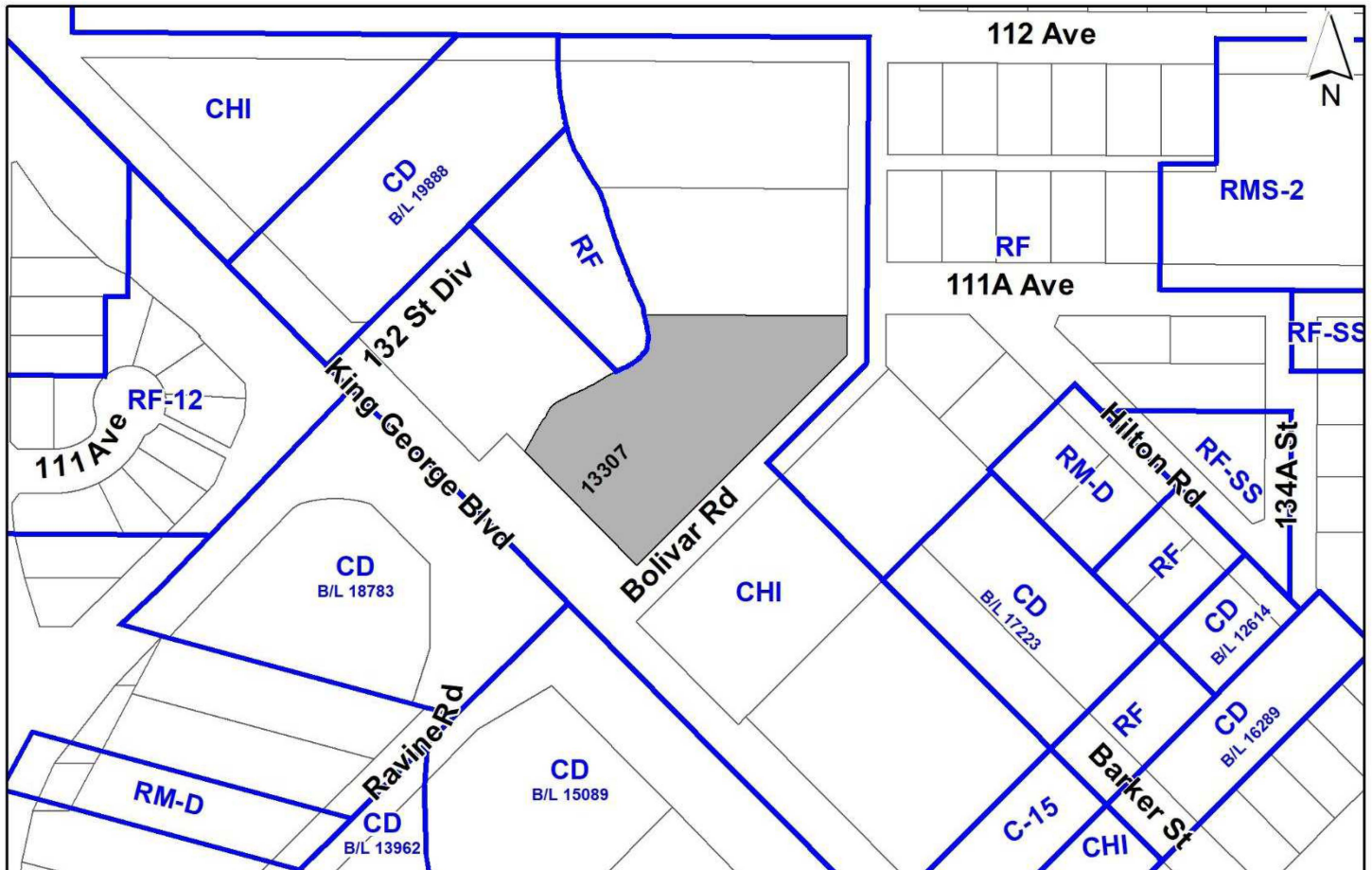
to permit the development of a temporary real estate sales centre for a duration not to exceed 3 years and to permit temporary on-site real estate development marketing signage for a mixed-use high-rise development.

LOCATION: 13307 King George Boulevard

ZONING: CHI

OCP DESIGNATION: Multiple Residential

CITY CENTRE PLAN DESIGNATION: Low to Mid Rise Residential/Top of Bank Buffer/Creek Buffer



RECOMMENDATION SUMMARY

- Approval for Temporary Use Permit (TUP) to proceed to Public Notification.
- Approval for Development Variance Permit (DVP) to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking variances to the maximum number of signs, sign height and sign area, under the Sign Bylaw for temporary on-site real estate development/construction signage ("marketing signage"), to allow temporary marketing signage installed on hoarding on the south and east portion of the site fronting King George Boulevard and Bolivar Road, two (2) temporary free-standing signage structures, and four (4) fascia signs around the roof line of the existing building.

RATIONALE OF RECOMMENDATION

- The subject TUP and DVP proposals are associated with Development Application No. 7923-0234-00, which proposes a phased development consisting of one 21-storey mixed-use tower and two residential towers of 24 and 37-storeys, with a total of 967 residential units. The application received Third Reading at the Regular Council - Public Hearing meeting on February 12, 2024.
- The proposed TUP will allow for the construction of a temporary sales center from which the applicant will be able to market residential units for the proposed development for the subject property and the two properties to the north, including 13340 - 112 Avenue and 11151 Bolivar Road.
- The applicant will post a \$5,000.00 bond to ensure the removal of the temporary building in the future.
- The proposed signage is of a high-quality design.
- Marketing signage on hoarding and/or fencing is standard practice in the development industry.
- Installing the marketing hoarding improves the aesthetic appearance of the development site, which is currently used for an automotive dealership and assists in marketing the project.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Temporary Use Permit No. 24-0042-00 (Appendix VII) to proceed to Public Notification.
2. Council approve Development Variance Permit No. 7924-0042-00 (Appendix V) varying the Sign By-law as described in Appendix VI to proceed to Public Notification.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the Planning and Development Department;
 - (d) submission of \$5,000.00 security to ensure the building is removed and the site is brought into compliance with the Zoning By-law following the expiration of the Temporary Use Permit; and
 - (e) amendment of the existing Highway License Agreement to permit the proposed signs to be situated on City land south of the subject site.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Automotive dealership, under Development Application No. 23-0234-00, at Third Reading, proposing one 21 storeys mixed-use tower and two residential towers of 24 and 37-storeys	Low to Mid Rise Residential/Top of Bank Buffer	CHI
North:	Vacant parcel also under Development Application No. 23-0234-00	Low to Mid Rise Residential/Top of Bank Buffer	CHI

Direction	Existing Use	NCP Designation	Existing Zone
East (Across Bolivar Road):	Development Application No. 17-0397-00, at Third Reading, proposing 3 high rise buildings (26, 31, and 37 storeys), and single family homes	Low to Mid Rise Residential and Townhouse	RF and CHI (CD Bylaw No. 20013 at Third Reading)
South (Across King George Boulevard):	Skytrain guideway and townhouses with riparian protection area	High Rise Residential Type 1	CD (Bylaw No. 15089)
West:	Automotive accessory store, Bolivar Creek and creek buffer area.	Low to Mid Rise Residential and Creek Buffer	CHI and RF

Context & Background

- The subject site is located at 13307 King George Boulevard in the City Centre Plan (Gateway District). The subject site is approximately 6,038 square metres in size, is currently operating as a used automotive dealership, and has Bolivar Creek running along the western portion of the site.
- Development Application No. 7923-0234-00, which received Third Reading at the Regular Council -Public Hearing meeting on February 12, 2024, proposes an OCP Amendment, a rezoning from "Highway Commercial Industrial Zone (CHI)" to "Comprehensive Development Zone (CD)", Development Permits for Form and Character, Sensitive Ecosystems and Hazard Lands, and a subdivision, in order to allow for a phased, mixed-use development consisting of three high-rise buildings.
- The subject site is zoned "Highway Commercial Industrial Zone (CHI)" and is designated "Low to Mid Rise Residential" and "Creek/Top of Bank Buffer" in the City Centre Plan and "Multiple Residential" in the Official Community Plan (OCP).
- Bolivar Creek, a Class A red-coded watercourse is located along the west portion the subject site. No exterior work is proposed on the west side of the subject site and all trees are proposed to be retained under this TUP application.
- This project primarily involves interior renovations of the existing commercial building on the site. The only exterior work is the addition of a ramp for accessibility considerations, which will be located where the south surface parking lot is currently situated, and the addition of signage.
- The City land immediately south of the subject site, where the applicant proposed to erect on-site real estate development signs to advertise their project, is currently leased to the owner under a Highway License Agreement (HLA) for the parking of vehicles. The HLA will be amended to allow for signage.

DEVELOPMENT PROPOSAL

Planning Considerations

- The developer of Development Application No. 7923-0234-00, Oviedo Properties Ltd, is seeking a TUP to allow a sales centre on the subject site and a DVP to permit on site temporary real estate development signs to market the residential units.
- The sales centre is proposed on the southern-most of the three lots proposed for development under Development Application No. 7923-0234-00.
- The approximately 655-square metre existing building will be renovated to include a reception area, sales presentation area, offices, staff room, kitchen, and washroom.
- There are 17 bylaw-sized trees, all onsite. All trees are proposed to be retained under the subject TUP application.
- This project primarily involves interior renovations of the existing commercial building. The only exterior work is the addition of a ramp for accessibility considerations, which will be located where the south surface parking lot is currently situated, and the addition of marketing signage.
- A surface parking lot with 67 regular parking stalls and 2 accessible parking spaces will be provided on-site for customers with access from Bolivar Road, which exceeds the Zoning Bylaw requirement of 17 parking stalls.
- Should Council support the temporary use, the existing automotive dealership will be moved out by April 2024. The existing cars will not be using any parking stalls shown on the submitted parking plan.
- The TUP is proposed to be in effect for three years, which should be sufficient time for the applicant to complete the sales of the proposed apartments.
- The developer is seeking variances to the maximum number of signs, sign height and sign area under the Sign By-law for temporary on-site real estate development/construction signage (“marketing signage”), to allow for temporary marketing signage installed on hoarding on the south and east portion of the site fronting King George Boulevard and Bolivar Road, two (2) temporary free-standing signage structures, and four (4) fascia signs around the roof line of the existing building.

Referrals

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
- Surrey Fire Department: The Fire Department has no objection to the project.

Transportation Considerations

- The subject site will be accessed via Bolivar Road.
- The site is within 800m of Gateway Station and is accessible from transit routes on King George Boulevard.

POLICY & BY-LAW CONSIDERATIONS

Sign By-law

Signage Variances

- The Sign Bylaw permits a maximum of one temporary on-site real estate development/construction sign along each lot line adjacent to a highway. The permitted sign shall not exceed a maximum of 14 sq. m in sign area and the height of the sign shall not exceed a maximum of 4.5 m and it shall be located at a minimum of 2 m setback from each adjacent highway.
- The applicant is requesting the following variances to the Surrey Sign By-law (By-law No. 1999, No. 13656):
 - to increase the maximum number of temporary on-site real estate development/construction signs from two (2) to eight (8);
 - to increase the allowable sign area for temporary onsite real estate development/construction signage from 14 square metres to a maximum of 103 square metres for the proposed hoarding signs facing King George Boulevard and Bolivar Road;
 - to increase the allowable sign area for temporary onsite real estate development/construction signage from 14 square metres to a maximum of 39 square metres for the proposed fascia signs positioned around the roof line of the existing building;
 - to increase the allowable sign area for temporary onsite real estate development/construction signage from 14 square metres to a maximum of 23 square metres and to increase the allowable height from 4.5 m to 5.6 m for free standing signs.
- Proposed setbacks for all free-standing signs and hoarding signs are a minimum of 2 metres from property line, with the exception of those on City property that will be accommodated through an updated highway license agreement.

Signage Assessment

- The proposed hoarding and free-standing marketing signage consists of a brown background, white text, and channel-lit sign for the logo, depicting the name of the development project "Bridgecity" (see Appendix IV).
- The proposed signage is of a high-quality design.
- The marketing and free-standing signage are important components of the marketing strategy for the site.
- Marketing signage in the form of hoarding and/or fencing is a standard practice in the development industry.
- Installing marketing hoarding improves the aesthetic appearance of the development site, which is currently used for an automotive dealership.
- The proposed signage design has been reviewed by staff and found to be generally acceptable.
- Staff support the requested variances to proceed for consideration.

TREES AND LANDSCAPING

- D.Glyn Romaine, ISA Certified Arborist of van der Zalm + associates Inc prepared an Arborist Assessment for the subject property.
- The Arborist Assessment states that there are a total of 17 mature trees on the site, and no Alder and Cottonwood trees. The applicant proposes to retain all 17 trees as part of this proposed temporary use of the site. As part of the subsequent development of the site, tree removal and tree replacement is outlined in the land use report for the associated Development Application 7923-0234-00.
- No additional landscaping is proposed in association with this temporary use.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan and Building Elevations
- Appendix II. Engineering Summary
- Appendix III. Tree Management Plan
- Appendix IV. Sign Drawings
- Appendix V. Development Variance Permit No. 7924-0042-00
- Appendix VI. Proposed Variances to the Sign By-law
- Appendix VII. Temporary Use Permit No. 7924-0042-00

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

MWC/ar



LEGEND

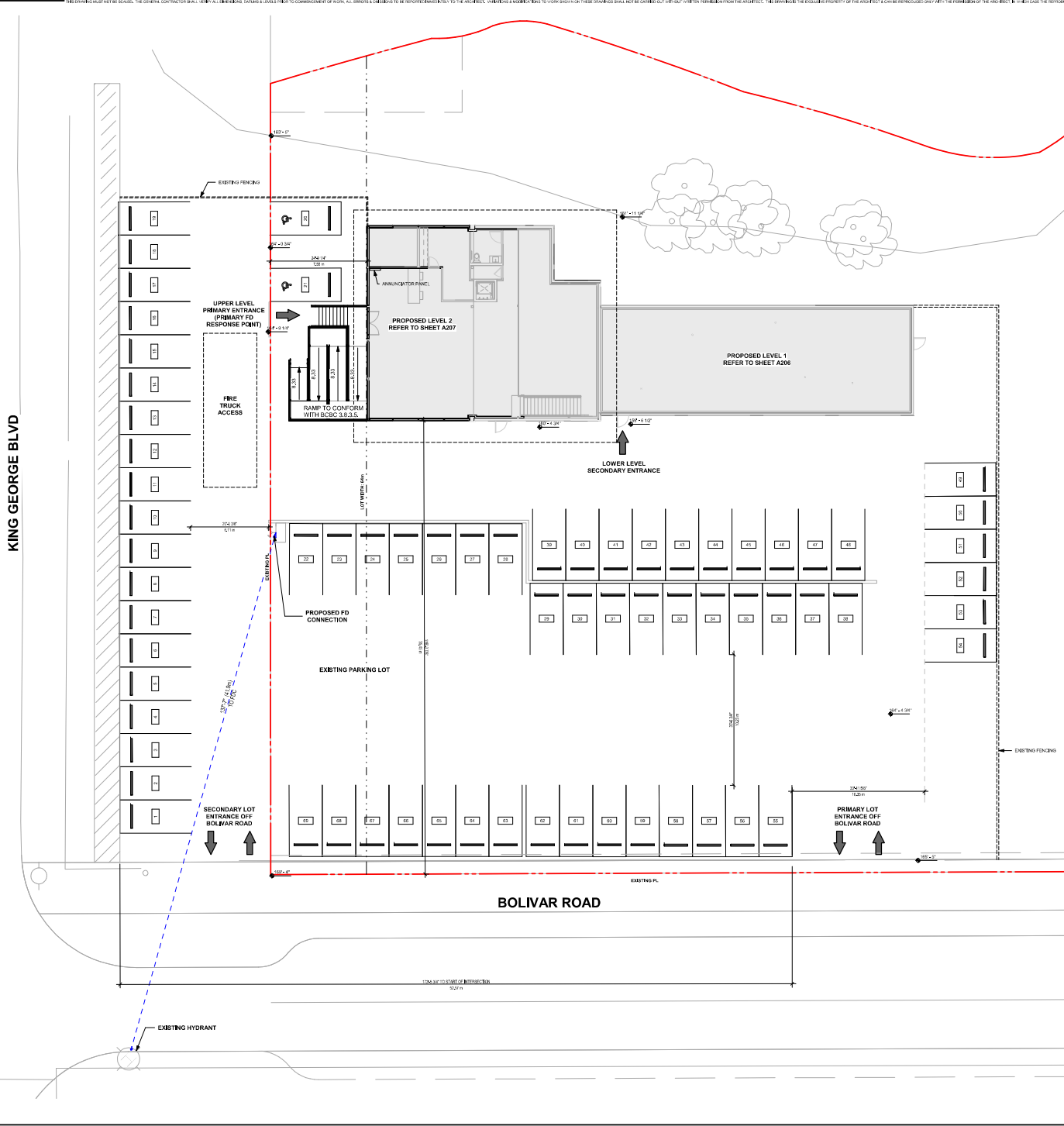
DESCRIPTION	SYMBOL
PROPERTY LINE	---
SETBACK-REAR OR SIDE	-----
SETBACK LINE	-----
GAZELINE	-----
BUILDING OUTLINE ABOVE	-----
FIRE TRUCK ACCESS ROUTE	↔↔↔↔
FIRE TRUCK ACCESS ROUTE	↔↔↔↔
FIRE HYDRANT	⊕
FIRE DEPARTMENT HOSE CONNECTION	⊕
ELEVATION	↑
DRIVE	↔
VEHICULAR ENTRY	→
PEDESTRIAN ENTRY	→
EXTENT OF PROPOSED PARKING	▭

Building Code Analysis
 Major Occupancy: Group D (Office)
 Building Footprint Area: 485 m²
 Building Height: 2 Storeys

Construction requirements:
 - Construction Article: 3.2.2.83
 - Maximum Building Area Permitted: 2,400 m²
 - 2-level interconnection via open stair 50% max building area (1200m²) met
 - Combustible construction
 - Sprinklered to NFPA 13
 - 45min FRR floor fire separation
 - Load bearing supports to have FRR not less than 45min or be of noncombustible construction.

Area Schedule (PROPOSED)		
Level	Name	Area
LEVEL 1	LEVEL 1 OVERALL	6102 m ²
LEVEL 2	LEVEL 2 OVERALL	6102 m ²
Total Area		12244

PARKING REQUIRED = 2.5 STALLS PER 100sqm = 17 STALLS	
TYPE	COUNT PROVIDED
REG. ACCESSIBLE	2
REGULAR	67



REV.	REVISION	DATE
1	ISSUED FOR PERMIT	18-05-2024



Copyright Reserved. This drawing is the property of Chris Dikeakos Architects Inc. and may not be reproduced without the written consent of the architect. The reproduction of this drawing without the written consent of the architect is prohibited.

PROJECT: OSP - BOLIVAR PRESENTATION CENTER

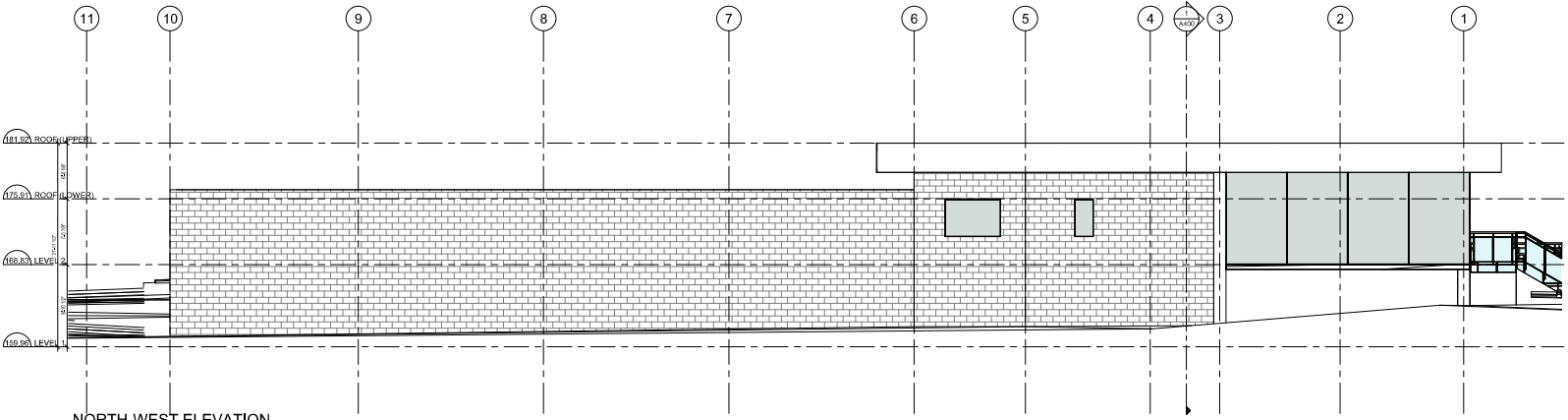
13307 King George Blvd
 Surrey, BC

DATE	SCALE
DATE: 25/08/2024	SCALE: 1" = 100'

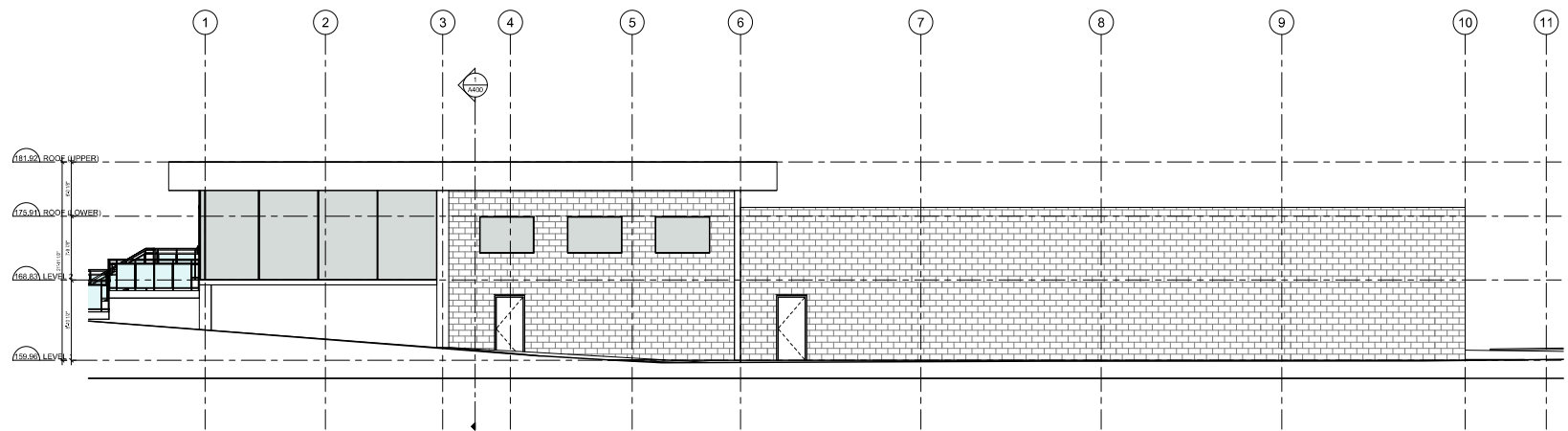
SITE PLAN (PROPOSED)

Sheet No: A101

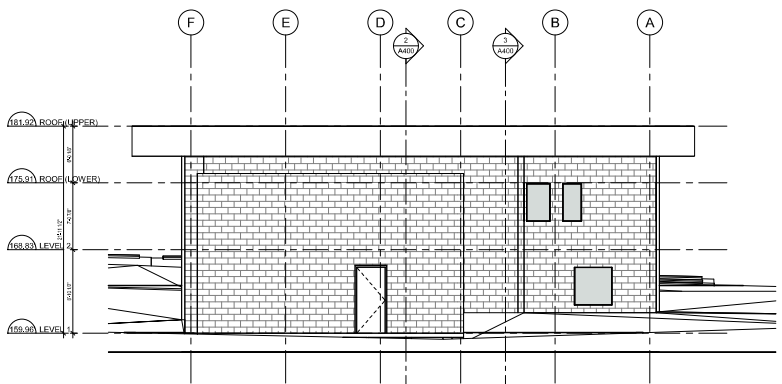
THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS & LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS & OMISSIONS TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. ANY CHANGES OR MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. THE DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT & WHEN REPRODUCED MUST BE WITH THE PERMISSION OF THE ARCHITECT. ANY REPRODUCTION MUST BEAR THE ARCHITECT'S PERMISSION.



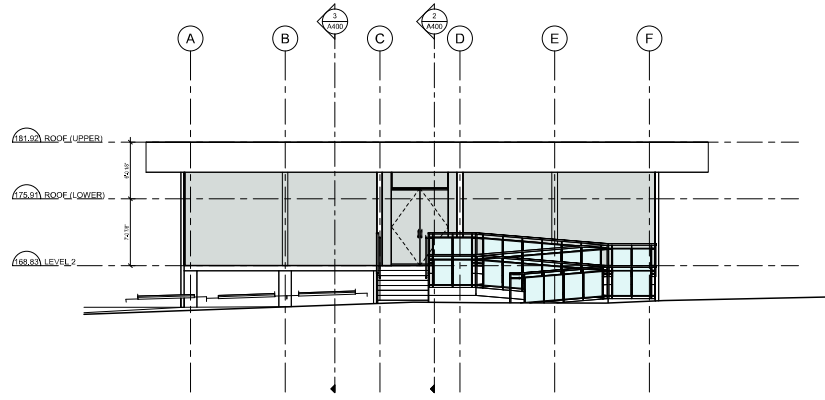
1
NORTH-WEST ELEVATION
(PROPOSED)
3/16" = 1'-0"



2
SOUTH-EAST ELEVATION
(PROPOSED)
3/16" = 1'-0"



3
NORTH-EAST ELEVATION (PROPOSED)



4
SOUTH-WEST ELEVATION (PROPOSED)

LEGEND	
ELEVATION	GRAPHIC
DESCRIPTION	
WEATHERPROOF RECEPTACLE	WPR
GRID LINE	GL
ROOF ELEVATION	RELEV
ELEVATION	ELEV
PROPERTY LINE	PL
FINISHED GRADE	FG
EXISTING GRADE	EG
EXHAUST/STACK SHAFT (REF. TO MODEL)	ES

NO.	REVISION	DATE
REVISIONS:		

CHRIS DIKEAKOS ARCHITECTS INC.
 15307 King George Blvd
 Surrey, BC

Project: **OSP - BOLKOV PRESENTATION CENTER**

Scale: 3/16" = 1'-0"

Sheet Title: **ELEVATIONS (PROPOSED)**

TO: **Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **April 02, 2024** PROJECT FILE: **7824-0042-00**

RE: **Engineering Requirements
Location: 13307 King George Blvd.**

TEMPORARY USE PERMIT

The following issues are to be addressed as a condition of the proposed Temporary Use Permit to repurpose existing commercial building to be used as a presentation center:

- Access location is required to be minimum 50 metres from the intersection of King George Boulevard;
- Construct 7.3 m concrete letdown to Bolivar Road;
- Replace the current 100 mm AC sanitary service connection with a temporary 150 mm PVC connection to the 900 mm sewer main on King George Boulevard, which has the potential to be used for the future development;
 - Register Restrictive Covenant for the temporary sanitary service connection;
- Existing water meter and water service connection can be used. Onsite plumbing/BFPS to be reviewed through Plumbing permit;
- Ensure premise isolation DCVA installed;
- Provide Water Quality treatment for parking lot prior to discharging off-site. Propose a location for proposed drainage service connection. Discharging directly to the creek is not permitted.

A Servicing Agreement is not required.

DEVELOPMENT VARIANCE PERMIT

The following issues are to be addressed as a condition of issuance of the Development Variance Permit:

- Applicant is required to meet any HLA requirements per Realty for use of the road allowance.



Janelle Frank, P.Eng.
Development Review Manager

M51



BridgeCity PC Exterior Rooftop — File at 5% scale

Increase the maximum allowable sign area for fascia signs from 14 square metres to a maximum of 39 square metres.



FRONT



SIDE





BRIDGECITY

Coming Soon
Presentation Centre

BRIDGECITY

Surrey
Centre
North

A Community of Over 900 Homes
Coming to Surrey Centre North

BRIDGECITY

Coming Soon
Presentation Centre

BRIDGE THE GAP



(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0042-00

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-154-462
LOT 3 EXCEPT: PART ON STATUTORY RIGHT OF WAY PLAN 5719,
SECTION 15 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT
PLAN 5347
13307 King George Blvd

(the "Land")

3. Surrey Sign By-law, 1999, No. 13656, as amended is varied as follows:

- a) In Part 1, Section 7(9.1), the maximum number of temporary on-site real estate signs is increased from two (2) to eight (8);
- b) In Part 1, Section 7(9.1), the sign area is increased from 14 square metres to a maximum of 23 square metres, and the height is increased from 4.5 metres to 5.6 metres for free-standing signs;
- c) In Part 1, Section 7(9.1), the sign area is increased from 14 square metres to a maximum of 103 square metres for hoarding signs; and
- d) In Part 1, Section 7(9.1), the sign area is increased from 14 square metres to a maximum of 39 square metres for fascia signs.

4. This development variance permit applies to only the portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

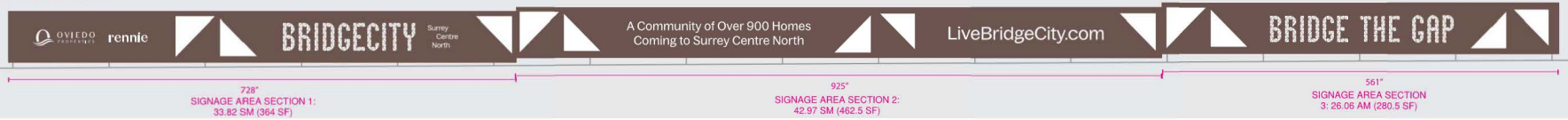
BridgeCity Hoarding – File at 5% scale

Schedule A

Increase the maximum allowable sign area for hoarding signs from 14 square metres to a maximum of 103 square metres.



Stepped Design Example: 3 sections
1 foot grade change (Actual grade TBC)



TOTAL SIGNAGE AREA ON BOLIVAR ROAD: 67.45 SM (726) SF

Increase the maximum number of temporary on-site real estate development/construction signs from two (2) to eight (8).

FAC		202_477-644 Hoarding Signage		T: 604.251.9199	
CLIENT: OVIEDO	DATE CREATED: 01/03/24	SIZE: REFER TO DOC	PROOF:	CLIENT APPROVAL:	
JOB NAME: BRIDGECITY	DATE MODIFIED: 03/14/24	FOLD: -- BLEED: --	1	2	3
DESIGNER/AD: KATIE	DUE DATE: --	IMAGE RES: 300 DPI	11	FINAL	X
PM: ELIEN	SOFTWARE: ILLUSTRATOR CC	COLORS: CMYK			

BridgeCity Hoarding — File at 10% scale

MONUMENT SIGN



BridgeCity PC Exterior Rooftop — File at 5% scale

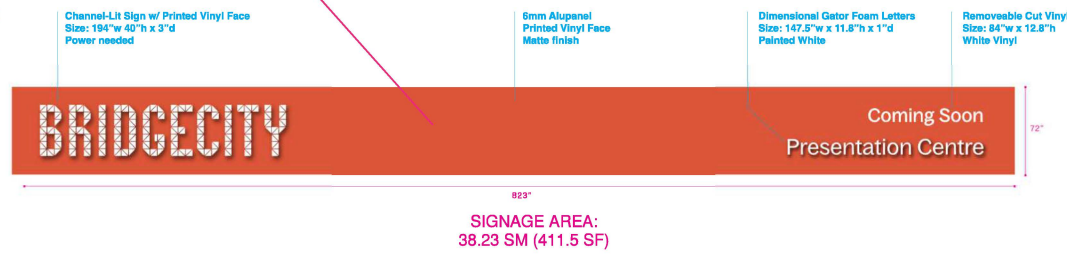
Increase the maximum allowable sign area for fascia signs from 14 square metres to a maximum of 39 square metres.



FRONT



SIDE





BRIDGECITY

Coming Soon
Presentation Centre

BRIDGECITY

Surrey
Centre
North

A Community of Over 900 Homes
Coming to Surrey Centre North

BRIDGECITY

Coming Soon
Presentation Centre

BRIDGE THE GAP



Proposed Sign By-law Variances

#	Variance	Sign By-law Requirement	Rationale
1	Increase the maximum number of temporary on-site real estate development/construction signs from two (2) to eight (8).	Only one temporary on site real estate development sign is allowed along each lot line adjacent to a highway (as per Part 1, Section 7(9.1)).	The marketing signage is an important component of the marketing strategy for the site. Installing marketing signage improves the aesthetic appearance of a development site which is currently used for an automotive dealership.
2	Increase the maximum allowable sign area for hoarding signs from 14 square metres to a maximum of 103 square metres.	The sign area shall not exceed a maximum of 14 square metres (as per Part 1, Section 7(9.1)).	The proposed signs are temporary. They will provide easier visibility and wayfinding along both King George Boulevard and Bolivar Road.
3	Increase the maximum allowable sign area for fascia signs from 14 square metres to a maximum of 39 square metres.	The sign area shall not exceed a maximum of 14 square metres (as per Part 1, Section 7(9.1)).	The proposed signs are temporary. They will provide easier visibility and wayfinding along both King George Boulevard and Bolivar Road.
4	Increase the maximum allowable sign area from 14 square metres to a maximum of 23 square metres and the maximum sign height from 4.5 m to 5.6 m for free standing signs.	The sign area shall not exceed a maximum of 14 square metres (as per Part 1, Section 7(9.1)).	The proposed signs are temporary. They will provide easier visibility and wayfinding along both King George Boulevard and Bolivar Road.

(the "City")

TEMPORARY USE PERMIT

NO.: 7924-0042-00

Issued To:

(the Owner)

Address of Owner:

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-154-462
Lot 3 Except: Part on Statutory Right of Way Plan 5719,
Section 15 Block 5 North Range 2 West New Westminster District Plan 5347
13307 King George Boulevard

(the "Land")

3. The authority to issue Temporary Use Permits is granted to municipalities under Sections 492 and 493 of the *Local Government Act* R.S.B.C. 2015, c.1. Pursuant to Implementation, II(c) Implementation Instruments, Temporary Use Permits of Surrey Official Community Plan, 2013, No. 18020, as amended, the entire City of Surrey is designated a Temporary Use Permit area.
4. The temporary use permitted on the Land shall be for a real estate sales centre and associated surface parking lot.
5. The temporary use permitted on the Land shall be in accordance with:
 - (a) The appearance and location of the buildings, access and parking as shown on Schedule A which is attached hereto and forms part of this permit.

6. The temporary use shall be carried out according to the following conditions:
 - (a) Parking is restricted to vehicles less than 5,000 kilograms GVW;
 - (b) The parking surface shall be of a dust-free material such as crushed gravel;
 - (c) Upon termination of this Temporary Use Permit, the real estate centre and temporary parking shall be removed, and the land restored to its original condition.

7. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:

Cash in the amount of \$5,000.00

8. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.

9. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.

10. This temporary use permit is not transferable.

11. This temporary use permit shall lapse on or before three years from date of issuance.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Authorized Agent: Signature

Name (Please Print)

OR

Owner: Signature

Name: (Please Print)

TO THE CITY OF SURREY:

I, _____ (Name of Owner)

being the owner of _____

(Legal Description)

known as _____

(Civic Address)

hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary use permit.

(Owner)

(Witness)

OSP - BOLIVAR PRESENTATION CENTER

Schedule A

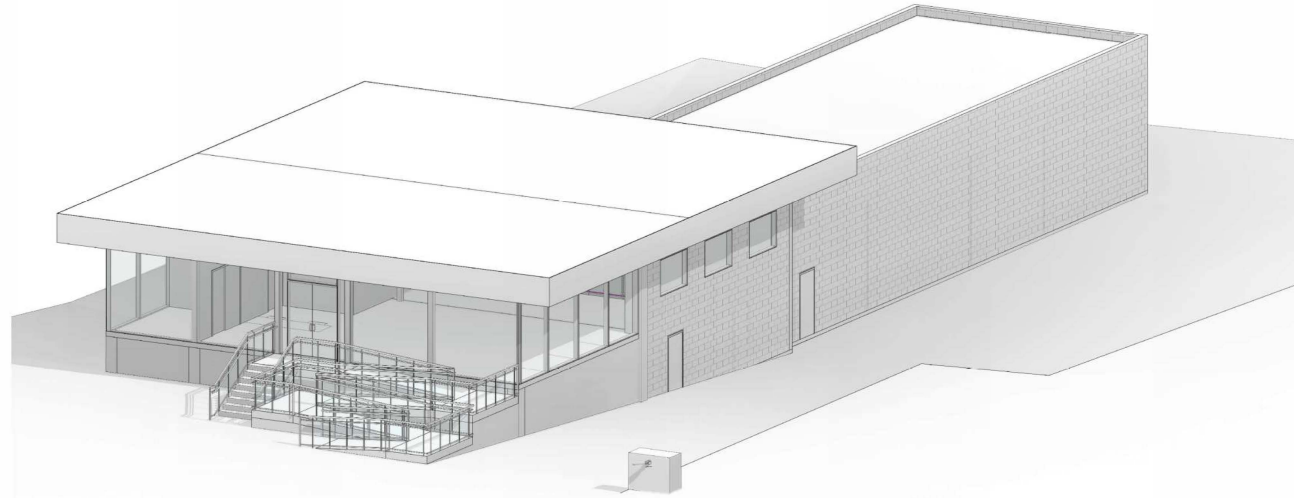
PROJECT ADDRESS :
13307 King George Blvd
Surrey, BC



CHRIS DIKEAKOS ARCHITECTS INC.
1635 W Broadway Vancouver, B.C. V6J 1W9
T 604 291 2660 E-MAIL: INFO@DIKEAKOS.COM
- WEBSITE : WWW.DIKEAKOS.COM



OVIEDO PROPERTIES
101-8310 130th STREET SURREY, BC, V3W 8J9
T 778-218-2657 WWW.OVIEDOPROPERTIES.COM



ISSUED FOR BUILDING PERMIT

MARCH 6 2024

PROJECT CONTACT LIST

OWNER
OVIEDO PROPERTIES
CONTACT: KANWAR DHAMRAIT
101-8310 130th STREET
SURREY, BC V3W 8J9
TEL: 604-268-8789
EMAIL: kanwar@oviedoproperties.com

ARCHITECT
CHRIS DIKEAKOS ARCHITECTS INC.
CONTACT: RICHARD BERNSTEIN
CONTACT: PHILIP POLOTSKY
1025 W BROADWAY
VANCOUVER, BC V6J 1W9
TEL: 604-291-2660
EMAIL: richard_b@dikeakos.com
EMAIL: philip_p@dikeakos.com

INTERIOR DESIGN
AREAS DESIGN
CONTACT: LISA HANSEN
217-708 RIVER ROAD
RICHMOND, BC V6X 1X5
TEL: 778-291-2732
EMAIL: lisa@areasdesign.ca

STRUCTURAL
GLOTTMAN SIMPSON
CONTACT: LEW STEELING
1861 WEST 5th AVENUE
VANCOUVER, BC V6J 1H9
TEL: 604-630-3487
EMAIL: lew@gsimensions.com

MECHANICAL
MCW CONSULTANTS LTD
CONTACT:
1400-1111 W GEORGIA STREET
VANCOUVER, BC V6E 4M3
TEL: 778-297-2732
EMAIL:

ELECTRICAL
MCW CONSULTANTS LTD
CONTACT:
1400-1111 W GEORGIA STREET
VANCOUVER, BC V6E 4M3
TEL: 778-297-2732
EMAIL:

AUTHORITY
CITY OF SURREY
CONTACT:
13450 - 104 AVENUE
SURREY, BC V3T 1V8
TEL: 604-268-8789
EMAIL: kanwar@oviedoproperties.com

BUILDING CODE
GHE CONSULTANTS LTD.
CONTACT: ADAM NASEM
800-700 W PENDER STREET
VANCOUVER, BC V6C 1G8
TEL: 604-689-4449
EMAIL: an@ghl.ca

SHEET LIST - Architectural

SHEET NUMBER	SHEET NAME
A000	COVER
A001	CONSTRUCTION ASSEMBLIES & DOOR SCHEDULE
A002	OVERALL SITE
A003	SURVEY
A100	SITE PLAN (EXISTING)
A101	SITE PLAN (PROPOSED)
A102	FIRE TRUCK ACCESS PLAN
A200	FLOOR PLAN - LEVEL 1 AND 2 (EXISTING)
A201	FLOOR PLAN - ROOF PLAN (EXISTING)
A202	FLOOR PLAN - LEVEL 1 AND 2 (DEMOLITION)
A203	FLOOR PLAN - ROOF PLAN (DEMOLITION)
A204	FLOOR PLAN - LEVEL 1 AND 2 (PROPOSED)
A205	FLOOR PLAN - ROOF PLAN AND STAIR PLANS/SECTIONS (PROPOSED)
A300	ELEVATIONS (PROPOSED)
A400	BUILDING SECTIONS (PROPOSED)
A900	INTERIOR WINDOW ELEVATIONS (PROPOSED)

SHEET LIST - Structural

SHEET NUMBER	SHEET NAME
S100	TITLE SHEET
S101	GENERAL NOTES
S102	GENERAL NOTES
S201	LEVEL 01
S202	LEVEL 02
S303	LEVEL 03 ROOF
S601	SECTIONS AND DETAILS

SHEET LIST - Mechanical

SHEET NUMBER	SHEET NAME
M1.0	COVER SHEET
M1.1	SITE PLAN
M2.0	FOUNDATION PLAN
M2.1	MECHANICAL DEMO PLAN
M3.0	LOWER LEVEL - MECHANICAL CONSTRUCTION PLAN
M3.1	UPPER LEVEL - MECHANICAL CONSTRUCTION PLAN
M3.2	ROOF - MECHANICAL CONSTRUCTION PLAN
M4.0	DETAILS AND SCHEDULE

SHEET LIST - Electrical

SHEET NUMBER	SHEET NAME
E1.0	SITE PLAN LEGEND
E1.1	ELECTRICAL SITE PLAN
E2.0	DEMOLITION PLAN
E3.0	LOWER LEVEL FLOOR PLAN
E3.1	UPPER LEVEL FLOOR PLAN
E4.0	SINGLE LINE DIAGRAM AND DETAILS
E5.0	MECHANICAL EQUIPMENT SCHEDULES

SHEET LIST - Fire Protection

SHEET NUMBER	SHEET NAME
FP1.0	COVER PAGE
FP2.1	LOWER AND UPPER LEVEL FP
FP3.0	SCHEMATIC
FP4.0	FP DETAILS

Area Schedule (EXISTING BUILDING)		
Level	Name	Area
LEVEL 1	LEVEL 1 OVERALL	5102 M ²
LEVEL 2	LEVEL 2 OVERALL	2850 M ²
Total Area		7952 M ²

Project Information (EXISTING BUILDING)		
Existing Site Area	65,001 SF (6,028.8 SM)	
Gross Site Area (Excl. Undevelopable Area)	60,806 SF (5,643.1 SM)	
Net Site Area	49,956 SF (4,619.9 SM)	
Floor Area Ratio	0.131642	
Building Height	21.96 FT (6.69 M)	
Riparian Area	19,850 SF (1,844.2 SM)	
Undevelopable Area	4,194 SF (389.7 SM)	

Area Schedule (PROPOSED)		
Level	Name	Area
LEVEL 1	LEVEL 1 OVERALL	5102 M ²
LEVEL 2	LEVEL 2 OVERALL	1982 M ²
Total Area		7084 M ²

Project Information (PROPOSED BUILDING)		
Existing Site Area	65,001 SF (6,028.8 SM)	
Gross Site Area (Excl. Undevelopable Area)	60,806 SF (5,643.1 SM)	
Net Site Area	49,956 SF (4,619.9 SM)	
Floor Area Ratio	0.131642	
Building Height	21.96 FT (6.69 M)	
Riparian Area	19,850 SF (1,844.2 SM)	
Undevelopable Area	4,194 SF (389.7 SM)	

THIS DRAWING MUST NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CHRIS DIKEAKOS ARCHITECTS INC. THE DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SHOWN. IN NO CASE SHALL THE REPRODUCTION BE MADE WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

Building Code Analysis
 Major Occupancy: Group D (Office)
 Building Footprint Area: 485 m²
 Building Height: 2 Storeys

Construction requirements:
 - Construction Article: 3.2.2.83
 - Maximum Building Area Permitted: 2,400 m²
 - 2-level interconnection via open stair 50% max building area (1200m²) met
 - Combustible construction
 - Sprinklered to NFPA 13
 - 45min FRR floor fire separation
 - Load bearing supports to have FRR not less than 45min or be of noncombustible construction.

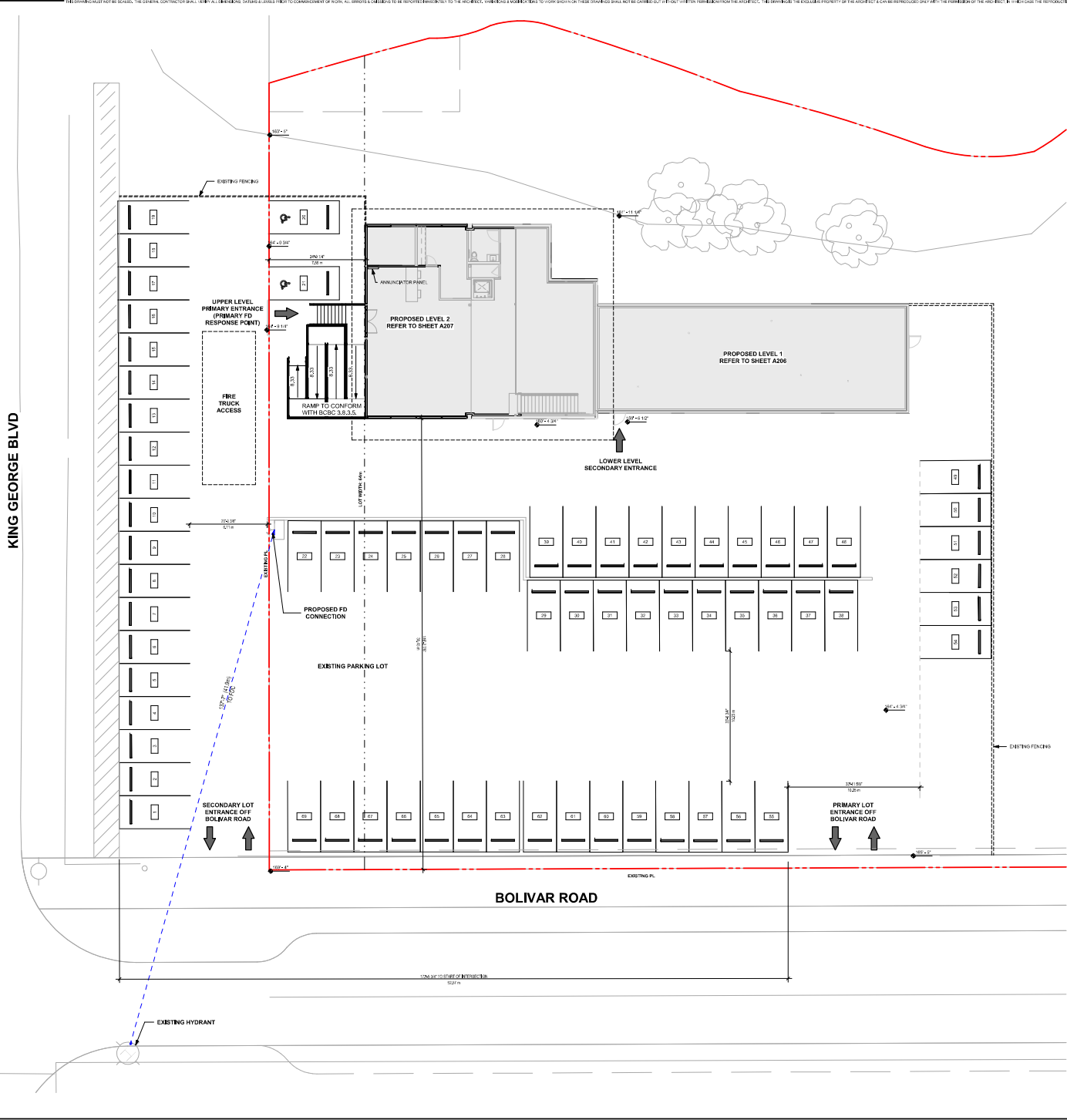
Area Schedule (PROPOSED)		
Level	Name	Area
LEVEL 1	LEVEL 1 OVERALL	6102 m ²
LEVEL 2	LEVEL 2 OVERALL	1582 m ²
Total Area		7684 m ²

PARKING REQUIRED = 2.0 STALLS PER 100sqm = 17 STALLS		
TYPE	COUNT	PROVIDED
REG. ACCESSIBLE	2	2
REGULAR	15	15



LEGEND

DESCRIPTION	SYMBOL
PROPERTY LINE	---
ST OUTLINE - WEST OR EAST	-----
SETBACK LINE	-----
GAZELINE	-----
BUILDING OUTLINE ABOVE	-----
FIRE TRUCK ACCESS ROUTE	↔
FIRE HYDRANT	⊕
FIRE DEPARTMENT HOSE CONNECTION	⊕
ELEVATION	↑
DRIVE	↔
VEHICULAR ENTRY	→
PEDESTRIAN ENTRY	→
EXTENT OF PROPOSED BUILDING	▭



REV.	REVISION	DATE
1	ISSUED FOR PERMIT	18/05/2024

CHRIS DIKEAKOS ARCHITECTS INC.

7001 281 Street, Unit 100, Surrey, BC V4N 1V7
 604-273-8888
 www.chrisdikekos.com

Copyright Reserved. This drawing is the property of Chris Dikekos Architects Inc. and shall not be reproduced or used in any form without the written permission of the architect. The reproduction of this drawing without the architect's written permission is strictly prohibited.

PROJECT: OSP - BOLIVAR PRESENTATION CENTER

13307 King George Blvd
 Surrey, BC

DATE	BY
18/05/2024	OSP

SCALE: 1" = 10'0"

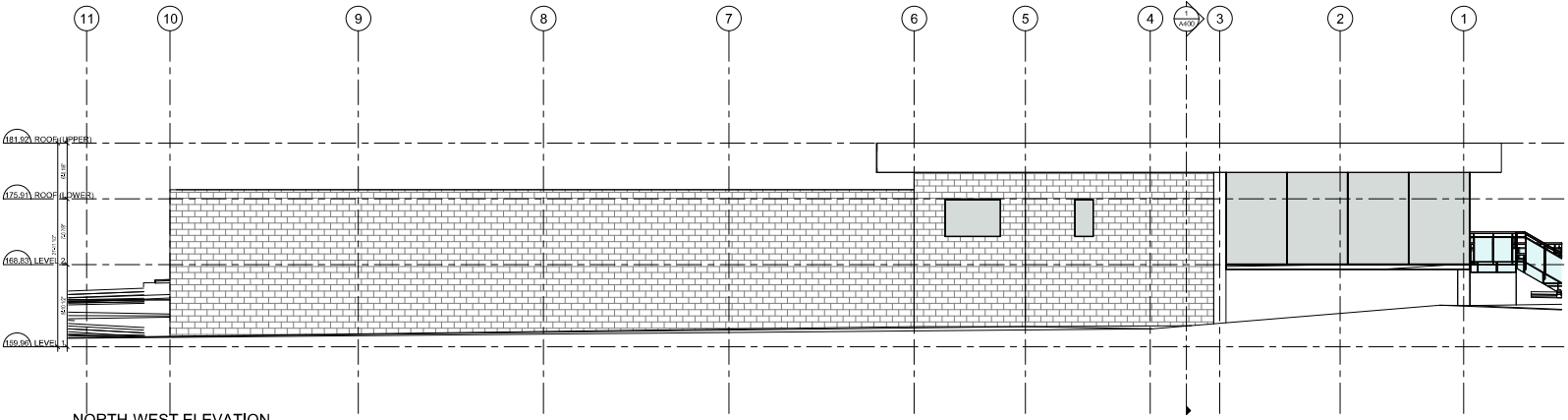
PLLOT DATE: 20/05/2024
 11:03:54 AM

SITE PLAN (PROPOSED)

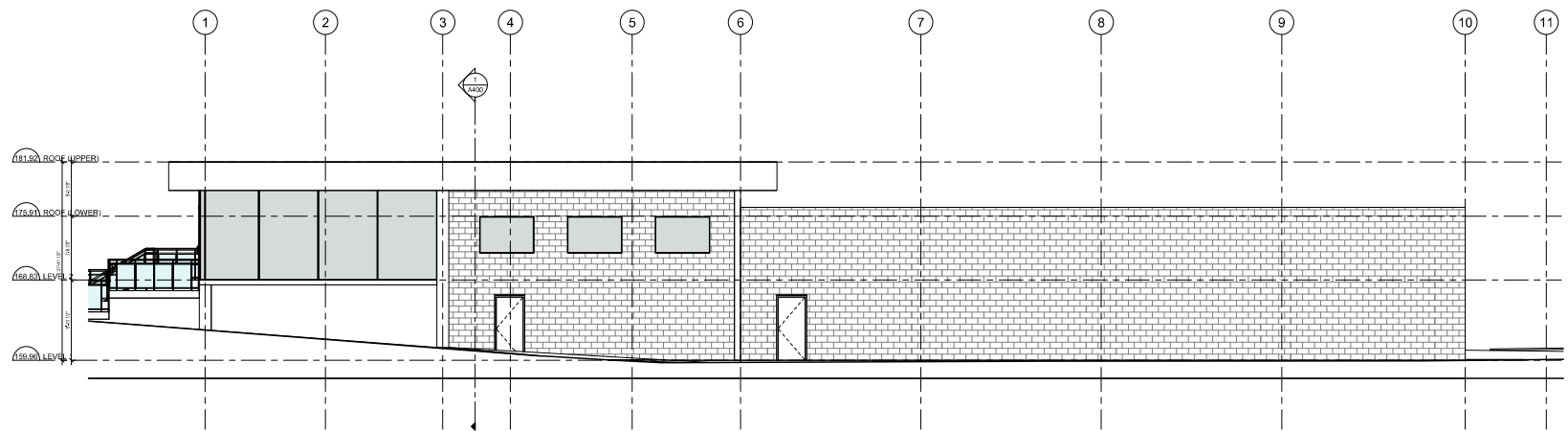
DRAWN BY: A101

Copyright © 2024 Chris Dikekos Architects

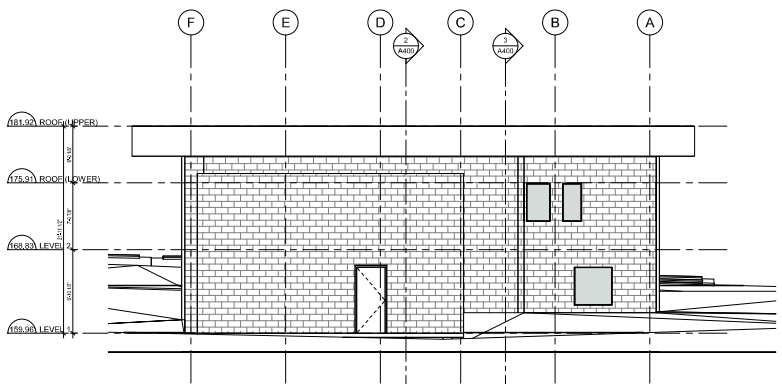
THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS & LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS & OMISSIONS TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. ANY CHANGES OR MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. THE DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT & WHEN REPRODUCED MUST BE WITH THE PERMISSION OF THE ARCHITECT. ANY REPRODUCTION MUST BEAR THE ARCHITECT'S PERMISSION.



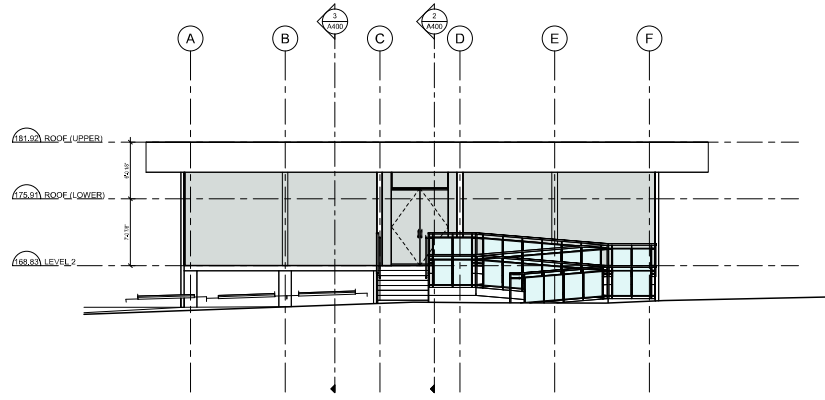
1
NORTH-WEST ELEVATION
(PROPOSED)
3/16" = 1'-0"



2
SOUTH-EAST ELEVATION
(PROPOSED)
3/16" = 1'-0"



3
NORTH-EAST ELEVATION (PROPOSED)



4
SOUTH-WEST ELEVATION (PROPOSED)

LEGEND	
ELEVATION	GRAPHIC
DESCRIPTION	
WEATHERPROOF RECEPTACLE	WPR
GRID LINE	GL
HOSE END	HE
ELEVATION	EL
PROPERTY LINE	PL
FINISHED GRADE	FG
EXISTING GRADE	EG
EXHAUST/STACK SHAFT (REF. TO MODEL)	ES

NO.	REVISION	DATE
REVISIONS:		

CHRIS DIKEAKOS ARCHITECTS INC.
 15307 King George Blvd
 Surrey, BC

Project: **OSP - BOLKOV PRESENTATION CENTER**

Scale: 3/16" = 1'-0"

Sheet Title: **ELEVATIONS (PROPOSED)**

H - 14

ACTION REQUIRED: TUP Support

TYPE: TUP

PURPOSE: The applicant is requesting to permit the operation of an auto services business on a historic auto services garage site.

LOCATION: 7855 King George Boulevard

PROCESSING DATES:

TEMPORARY USE PERMIT

April 8, 2024

- Proceed to Public Notification: Carried RES.R24-539

NOTICE OF TEMPORARY USE PERMIT

Surrey City Council will hold an **electronic** meeting

MONDAY, APRIL 22, 2024

STARTING AT 7PM

View the livestream at surrey.ca or at City Hall

13450 — 104 Avenue

YOUR COMMENTS MUST BE RECEIVED IN WRITING FOR COUNCIL'S CONSIDERATION

Planning Report—Application No. 7924-0057-00

Location: 7855 King George Boulevard

Purpose of Permit: The applicant is requesting to permit the operation of an auto services business on a historic auto services garage site.



LOCATION



OWNER/OCCUPANT



Office of the City Clerk
13450 – 104 Avenue,
Surrey, BC V3T 1V8
Canada

QUESTIONS FOR THE PLANNER:

Email planning staff at planningdevelopment@surrey.ca if you have any questions regarding this application. For information about the application visit surrey.ca.

City Hall is open Monday to Friday 8:30am-4:30pm except statutory holidays.

COMMENTS TO COUNCIL:

Your comments on this application must be received in writing by 12:00 noon on Council day, for Council's consideration. There are no speaking opportunities.

Webform: surrey.ca

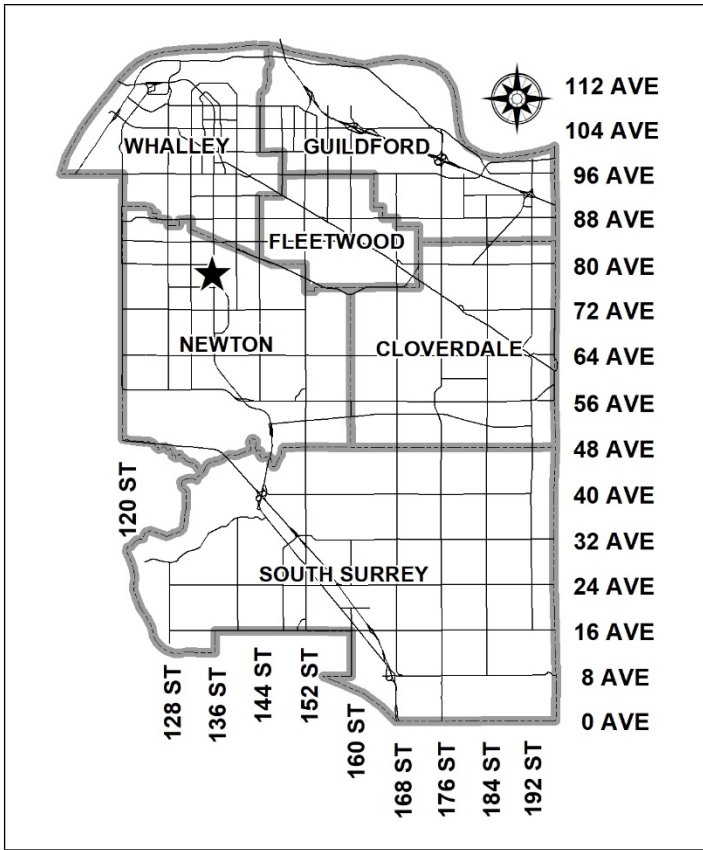
Email: clerks@surrey.ca

Mail: Office of the City Clerk at the address above

Fax: 604-501-7578

WATCH THE COUNCIL MEETING:

View the livestream at surrey.ca or at City Hall, 13450 —104 Avenue



PROPOSAL:

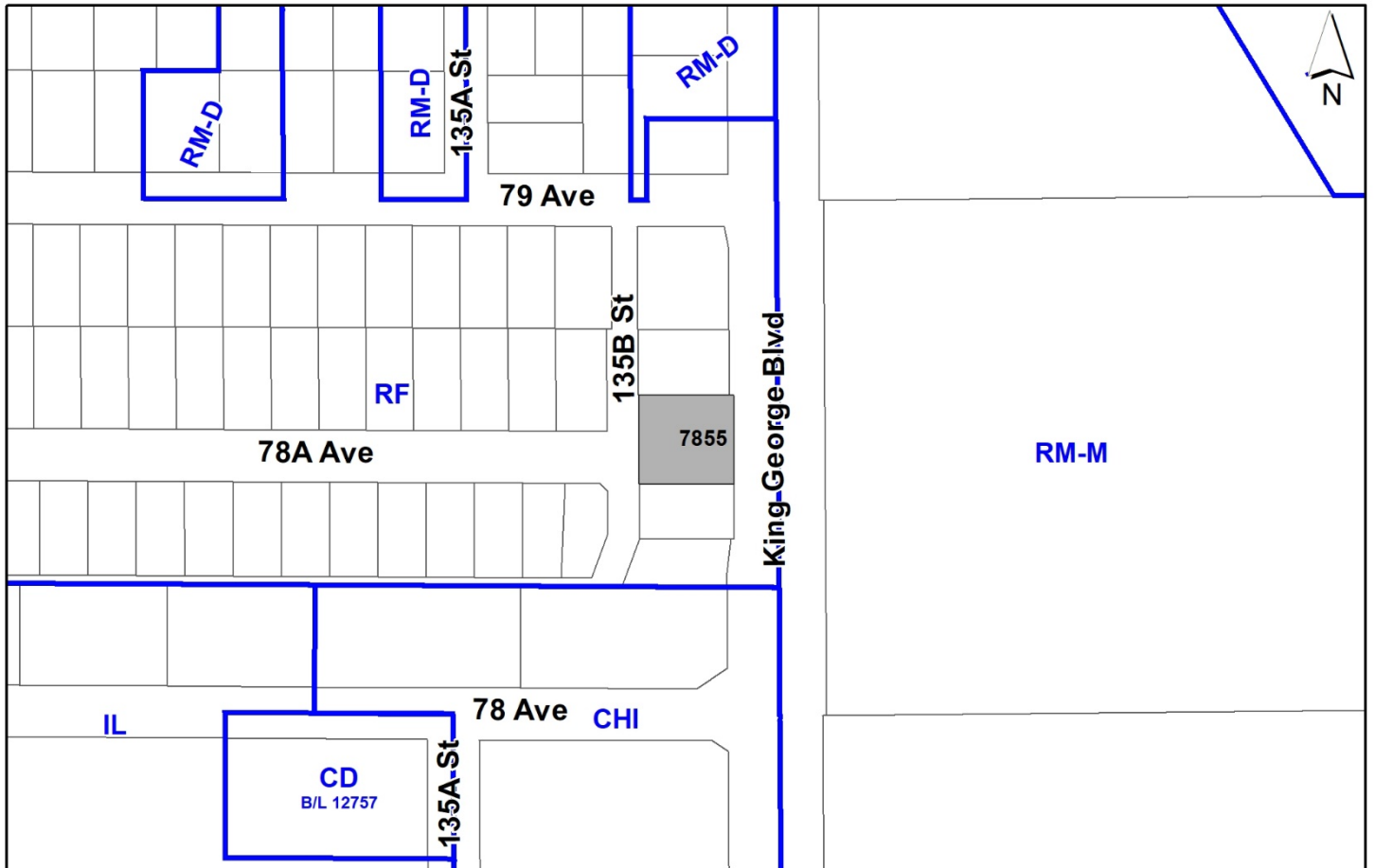
- **Temporary Use Permit**

to permit the operation of an auto services business on a historic auto services garage site.

LOCATION: 7855 King George Boulevard

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval for Temporary Use Permit (TUP) to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposal to permit non-conforming auto-service use temporarily under a TUP on a “Single Family Residential (RF)” zoned site.

RATIONALE OF RECOMMENDATION

- The subject property has been used historically for auto servicing operations and is developed with a four-bay garage and rear parking/car storage area. The owner would like to maintain this use on a temporary basis for a new auto servicing tenant, as the “Single Family Residential Zone (RF)” does not permit auto servicing use on the lot.
- The proposed interim use is consistent with adjacent “Highway Commercial Industrial Zone (CHI)” uses approximately 40 metres south of the subject site at the intersection of 78 Avenue and King George Boulevard.
- Based on adjacent land uses and King George Boulevard’s status as a future rapid transit corridor, the subject site has long-term mixed-use redevelopment potential. The subject proposal includes no additions to the lot and the maximum TUP timeline of three years with one possible TUP extension of an additional three years is suitable as an interim use.

RECOMMENDATION

1. The Planning & Development Department recommends that Council approve Temporary Use Permit No. 7924-0057-00 (Appendix III) to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) Ensure that all engineering requirements are addressed to the satisfaction of the General Manager, Engineering.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Auto servicing garage	Urban	RF
North (Abutting):	Single family residential	Urban	RF
East (Across King George Boulevard):	Manufactured home residential	Urban	RM-M
South (Abutting):	Single family residential, Kitchen & bath showroom	Urban, Mixed Employment	RF, CHI (40m south)
West (Across 135B Street):	Single family residential	Urban	RF

Context & Background

- The subject site is located at municipal address, 7855 King George Boulevard. The parcel is 1,260 square metres in area.
- The site is occupied by an existing single storey auto services building. Public parking and car storage is provided on the south and west portions of the site.
- The site has been operational with an auto servicing business for approximately 70 years. The mechanics garage was built under permit, but the use has been non-conforming for several decades.
- The auto servicing use is considered non-conforming because the site was rezoned "Single Family Residential Zone (RF)" under adoption of "Surrey Zoning By-law, 1993, No. 12000".

- A non-conforming use may be maintained and licensed if the use is not significantly discontinued. As the auto garage use lapsed for over six months, renewal of the auto servicing operations by a new business would require rezoning or issuance of a temporary use permit.
- The property is bounded by residentially zoned lots on three sides. The parcel is also adjacent to “Highway Commercial Industrial Zone (CHI)” uses, approximately 40 metres to the south, at the intersection of 78 Avenue and King George Boulevard.
- King George Boulevard has been identified as a rapid transit corridor. The subject site may have future mixed-use development potential in keeping with City policies on transit-oriented development.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes a temporary use permit (TUP) to allow the auto service use under a new proprietor. No additional structures or renovations are proposed under this application.
- The temporary use permit would allow the proposed use for a maximum of three years. Once the permit expires, the applicant may seek to renew the permit once for a maximum of three years through another Council application. No further TUPs for the same use may be issued beyond that timeframe.

Referrals

Engineering:	The Engineering Department have no objection to the project subject to the completion of Engineering requirements as outlined in Appendix III.
Surrey Fire Department:	The Surrey Fire Department has no comments on the project as the building and use are established on the site and there are no proposed additions.

PUBLIC ENGAGEMENT

- Pre-notification letters were mailed out and the Development Proposal Sign was installed on May 28, 2024. To date, staff have received no responses from neighbouring residents.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Aerial Context Map
- Appendix II. Site Plan
- Appendix III. Engineering Summary
- Appendix IV. Temporary Use Permit No. 7924-0057-00

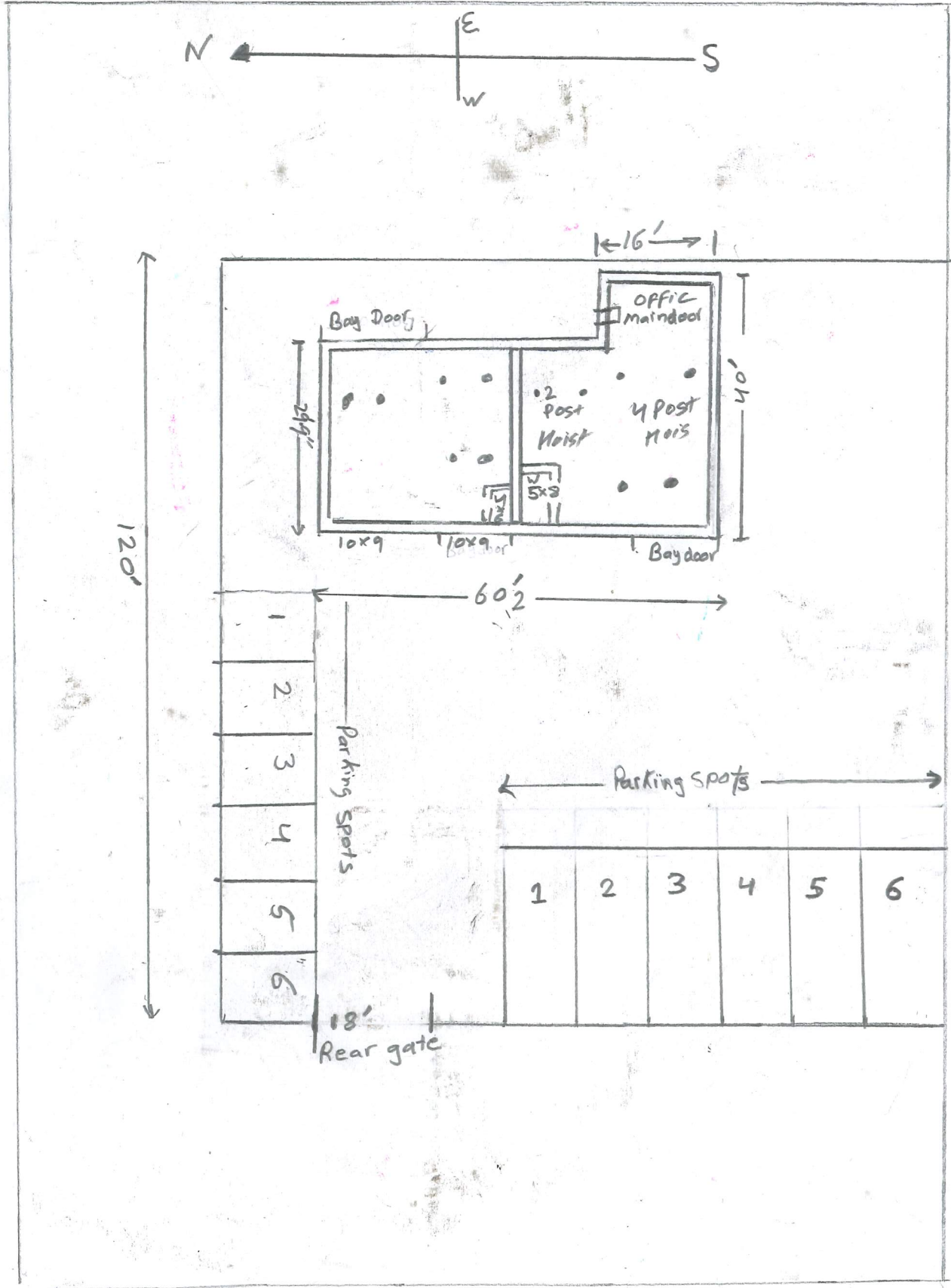
approved by Shawn Low

Don Luymes
General Manager
Planning and Development

JK/ar



7855 King George Boulevard



INTER-OFFICE MEMO

TO: **Director, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Process Manager, Engineering Department**

DATE: **April 03, 2024** PROJECT FILE: **7824-0057-00**

RE: **Engineering Requirements
Location: 7855 King George Blvd**

TEMPORARY USE PERMIT

The following issues are to be addressed as a condition of issuance of the Temporary Use Permit:

- Construct minimum 150 mm sanitary service connection.
- Provide record drawings to confirm no branching of the on-site water piping upstream of the existing backflow preventer.

A Servicing Agreement is not required.



Daniel Sohn, P.Eng.
Development Process Manager

CITY OF SURREY

(the "City")

TEMPORARY USE PERMIT

NO.: 7924-0057-00

Issued To:

(the Owner)

Address of Owner:

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-195-886

PARCEL "B" (EXPLANATORY PLAN 16176) LOTS 2 AND 3 EXCEPT: PART SUBDIVIDED BY
PLAN 20712; SECTION 20 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 6492
7855 King George Boulevard

(the "Land")

3. The authority to issue Temporary Use Permits is granted to municipalities under Sections 492 and 493 of the *Local Government Act* R.S.B.C. 2015, c.1. Pursuant to Implementation, II(c) Implementation Instruments, Temporary Use Permits of Surrey Official Community Plan, 2013, No. 18020, as amended, the entire City of Surrey is designated a Temporary Use Permit area.
4. The temporary use permitted on the Land shall be:
 - Automotive service uses, which means a business that provides light maintenance of motor vehicles including engine tune-ups, lubrication, repairs, auto detailing, autoglass repairs and car washing. Tire retail and associated servicing is also permitted. Automobile painting, body work and gasoline station uses are excluded, in accordance with the attached Schedule A.
5. The temporary use shall be carried out according to the following conditions:

- On-site signage must conform with the Surrey Sign By-law, 1999, No. 13656; and
 - No signage is permitted on-site unless the owner first obtains a Sign Permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.
7. This temporary use permit is not transferable.
8. This temporary use permit shall lapse on or before three (3) years from the date of issuance.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE _____ DAY OF _____, 20__ .
ISSUED THIS _____ DAY OF _____, 20__ .

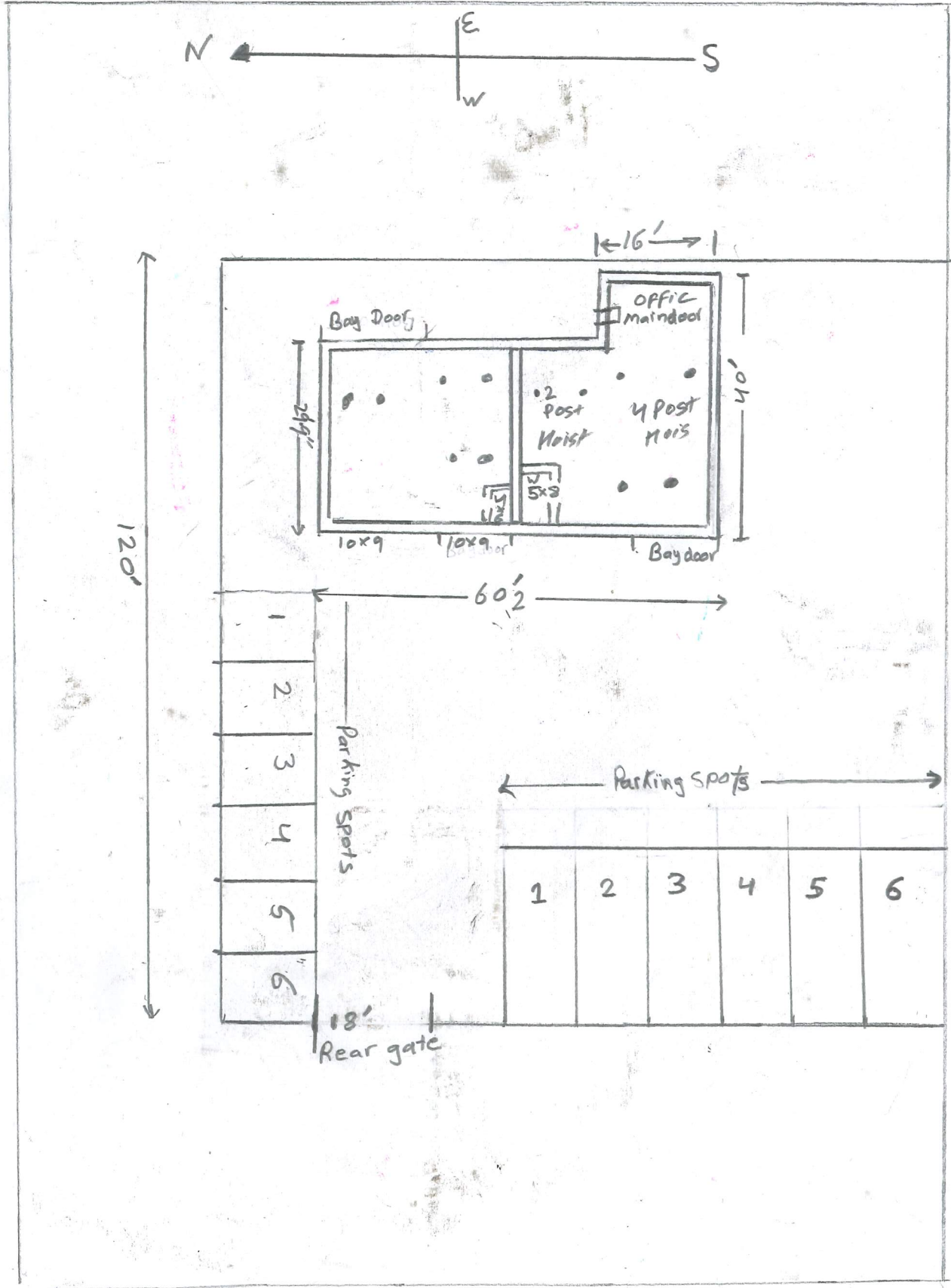
Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Owner: Signature

Name: (Please Print)



H - 15

ACTION REQUIRED: Final Adoption

TYPE: Regulatory Text Amendment

PURPOSE: Bylaw No. 21212 (Fee setting)
To amend Schedule D to incorporate new erosion and sediment control application and authorization fees.

Bylaw No. 21213 (MTI)
To amend the designated by-law enforcement officers and by-law fines related to erosion and sediment control.

Bylaw No. 21214(Bylaw Notice Enforcement)
To amend Schedule A regarding the contraventions and penalties related to erosion and sediment control.

PROCESSING DATES:

Bylaw 21212
April 8, 2024 - 1st, 2nd, 3rd: Carried RES.24-642/643/644

Bylaw 21213
April 8, 2024 - 1st, 2nd, 3rd: Carried RES.24-645/646/647

Bylaw 21214
April 8, 2024 - 1st, 2nd, 3rd: Carried RES.24-648/649/450

CR2024-Ro62
April 8, 2024 - Carried RES.24-607



INTER-OFFICE MEMO

TO: **Mayor and Council**

FROM: **City Clerk and Director of Legislative Services**

DATE: **April 22, 2024** FILE: **3900-20-21212**

RE: **Regular Council - Public Hearing Meeting – Item H.15**

"Surrey Fee-Setting By-law, 2001, No. 14577, Amendment Bylaw, 2024, No. 21212" (Bylaw") is included on the agenda for Final Adoption by Council at the April 22, 2024 Regular – Council Public Hearing Meeting under Item H.15.

After finalizing the Bylaw, staff identified a heading that was repeated in the Bylaw.

Council is requested to rescind Third Reading of Bylaw 21212 granted by Resolution RES.R24-644, at the April 8, 2024 Regular Council – Public Hearing meeting.

That Council remove the words Fee and Unit as provided in Appendix "I".

Third Reading, as amended.

Final Adoption.

Jennifer Ficocelli
City Clerk and Director of Legislative Services

Appendix I: Bylaw with changes noted

CITY OF SURREY

BYLAW NO. 21212

A bylaw to amend the provisions of Surrey Fee-Setting By-law, 2001, No. 14577, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Fee-Setting By-law, 2001, No. 14577, as amended, is hereby further amended as follows:
 - a. Schedule D delete section "**ESC Permit**" in its entirety and replace it with the following:

<u>"ESC Authorization</u>	<u>Fee</u>	<u>Unit</u>
<u>ESC Authorization Fees</u>	<u>Fee</u>	<u>Unit</u>
a. ESC Authorization Application Fee	\$2,300.00	Per application
b. ESC Authorization Transfer	\$300.00	Per transfer"

- 2. This Bylaw shall be cited for all purposes as "Surrey Fee-Setting By-law, 2001, No. 14577, Amendment Bylaw, 2024, No. 21212".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PASSED THIRD READING on the 8th day of April, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 202_.

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21212

A bylaw to amend the provisions of Surrey Fee-Setting By-law, 2001, No. 14577, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Fee-Setting By-law, 2001, No. 14577, as amended, is hereby further amended as follows:
 - a. Schedule D delete section "**ESC Permit**" in its entirety and replace it with the following:

"ESC Authorization

<u>ESC Authorization Fees</u>	<u>Fee</u>	<u>Unit</u>
a. ESC Authorization Application Fee	\$2,300.00	Per application
b. ESC Authorization Transfer	\$300.00	Per transfer"

- 2. This Bylaw shall be cited for all purposes as "Surrey Fee-Setting By-law, 2001, No. 14577, Amendment Bylaw, 2024, No. 21212".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PASSED THIRD READING, as amended on the th day of April, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 202_.

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21212

A bylaw to amend the provisions of Surrey Fee-Setting By-law, 2001, No. 14577, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Fee-Setting By-law, 2001, No. 14577, as amended, is hereby further amended as follows:
 - a. Schedule D delete section "**ESC Permit**" in its entirety and replace it with the following:

<u>"ESC Authorization</u>	<u>Fee</u>	<u>Unit</u>
<u>ESC Authorization Fees</u>	<u>Fee</u>	<u>Unit</u>
a. ESC Authorization Application Fee	\$2,300.00	Per application
b. ESC Authorization Transfer	\$300.00	Per transfer"

- 2. This Bylaw shall be cited for all purposes as "Surrey Fee-Setting By-law, 2001, No. 14577, Amendment Bylaw, 2024, No. 21212".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PASSED THIRD READING on the 8th day of April, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 202_.

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21213

A bylaw to amend the provisions of Surrey Municipal Ticket Information Utilization By-law, 1994, No. 12508, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Municipal Ticket Information Utilization By-law, 1994, No. 12508", as amended, is hereby further amended as follows:

a. Schedule 1 is further amended as follows:

i. Delete section 8 in its entirety and replace it with the following:

"8. Surrey Soil Conservation and Protection By-Law, 2007, No. 16389	- Manager, Bylaw & Licensing Services - Bylaw Enforcement Supervisor - Bylaw Enforcement Officer"
---	---

ii. Delete section 24 in its entirety and replace it with the following:

"24. Erosion and Sediment Control Bylaw, 2024, No. 21181	- Manager, Bylaw & Licensing Services - Bylaw Enforcement Supervisor - Bylaw Enforcement Officer"
--	---

iii. Delete section 29 in its entirety and replace it with the following:

"29. Surrey Stormwater Drainage Regulation and Charges By-law, 2008, No. 16610	- Manager, Bylaw & Licensing Services - Bylaw Enforcement Supervisor - Bylaw Enforcement Officer"
--	---

b. Delete Schedule 25 in its entirety and replace it with a new Schedule 25, attached to this Bylaw as Appendix I.

2. This Bylaw shall be cited for all purposes as "Surrey Municipal Ticket Information Utilization By-law, 1994, No. 12508, Amendment Bylaw, 2024, No. 21213".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PASSED THIRD READING on the 8th day of April, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 202_.

MAYOR

CLERK

Appendix I

SCHEDULE 25 TO BY-LAW NO. 12508

<u>EROSION AND SEDIMENT CONTROL BYLAW, 2024, NO. 21181</u>	<u>SECTION</u>	<u>FINE</u>
1. Construction without ESC Authorization	3	\$450.00
2. Sediment discharge above limit	4	\$450.00
3. Noncompliance with ESC Authorization	5	\$200.00
4. Prevent access for inspection	30	\$450.00
5. Failure to comply with any order, direction, or Notice to Comply	31	\$450.00

CITY OF SURREY

BYLAW NO. 21214

A bylaw to amend the provisions of Surrey Bylaw Notice Enforcement Bylaw, 2016, No. 18691 as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Bylaw Notice Enforcement Bylaw, 2016, No. 18691", as amended, is hereby further amended, as follows:
 - a. **SCHEDULE A - CONTRAVENTIONS AND PENALTIES** delete Part 20 in its entirety and replace it with a new Part 20, attached to this Bylaw as Appendix I.
2. This Bylaw shall be cited for all purposes as "Surrey Bylaw Notice Enforcement Bylaw, 2016, No. 18691, Amendment Bylaw, 2024, No. 21214".

PASSED FIRST READING on the 8th day of April, 2024.

PASSED SECOND READING on the 8th day of April, 2024.

PASSED THIRD READING on the 8th day of April, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

SCHEDULE A – CONTRAVENTIONS AND PENALTIES

Part 20						
A1	A2	A3	A4	A5	A6	A7
Bylaw No.	Section	Description	Penalty	Early Payment Amount	Late Payment Amount	Compliance Agreement Available (50% of Penalty)
Erosion and Sediment Control Bylaw, 2024, No. 21181						
21181	3	Construction without ESC Authorization	\$450.00	\$400.00	\$500.00	Yes
21181	4	Sediment discharge above limit	\$450.00	\$400.00	\$500.00	Yes
21181	5	Noncompliance with ESC Authorization	\$200.00	\$150.00	\$250.00	Yes
21181	30	Prevent access for inspection	\$450.00	\$400.00	\$500.00	Yes
21181	31	Failure to comply with any order, direction, or Notice to Comply	\$450.00	\$400.00	\$500.00	Yes



INTER-OFFICE MEMO

TO: Mayor and Council

FROM: General Manager, Finance

DATE: April 22, 2024

FILE: 3900-01-21224

RE: Regular Council - Public Hearing Meeting – Item H.16

"Surrey Fee-Setting Bylaw, 2001, No. 14577, Amendment Bylaw, 2024, No. 21224" (Bylaw") is included on the agenda for consideration by Council at the April 22, 2024 Regular – Council Public Hearing Meeting under Item H.16.

After finalizing the Bylaw, staff identified that Schedule C in the Bylaw does not have any changes in 2024, and therefore does not need to be deleted and replaced with a new schedule.

Appendix "I" is a redline copy noting the change.

Kam Grewal
CFO/General Manager, Finance

Appendix I: Bylaw with changes noted.

CITY OF SURREY

BYLAW NO. 21224

A bylaw to amend the provisions of "Surrey Fee-Setting
By-law, 2001, No. 14577", as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Fee-Setting By-law, 2001, No. 14577", as amended, is hereby further amended as follows:
 - (a) Delete Section 1 in its entirety and replace with the following:

"Pursuant to Section 41.1 of the "Liquor Control and Licensing Act" there is hereby levied a fee of \$155.00 for all Designated Food Area applications.";
 - (b) Delete Schedule A and replace with a new Schedule A, attached to this Bylaw;
 - (c) Delete Schedule B and replace with a new Schedule B, attached to this Bylaw;
 - (d) ~~Delete Schedule C and replace with a new Schedule C, attached to this Bylaw;~~
 - (e) Delete Schedule D and replace with a new Schedule D, attached to this Bylaw;
 - (f) Delete Schedule E and replace with a new Schedule E, attached to this Bylaw;
 - (g) Delete Schedule F and replace with a new Schedule F, attached to this Bylaw;
 - (h) Delete Schedule G and replace with a new Schedule G, attached to this Bylaw;
 - (i) Delete Schedule H and replace with a new Schedule H, attached to this Bylaw;
 - (j) Delete Schedule I and replace with a new Schedule I, attached to this Bylaw;
 - (k) Delete Schedule J and replace with a new Schedule J, attached to this Bylaw;
 - (l) Delete Schedule K and replace with a new Schedule K, attached to this Bylaw;
 - (m) Delete Schedule L and replace with a new Schedule L, attached to this Bylaw;
 - (n) Delete Schedule N and replace with a new Schedule N, attached to this Bylaw.

2. This Bylaw shall be cited for all purposes as "Surrey Fee-Setting By-law, 2001, No. 14577, Amendment Bylaw, 2024, No. 21224".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

Schedule A

Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for administrative services as follows:

<u>Services Provided</u>	<u>Fee</u>
1. Photocopying/Printing (except as other specified bylaw)	
Black and White	\$ 0.50 per page
Colour	\$ 0.75 per page
2. Zoning Bylaw	\$ 61.50 per bylaw
3. Official Community Plan Bylaw:	
Complete Bylaw	\$ 136.50 per bylaw
Schedule A - Land Use Designation Map	\$ 20.00 per schedule
4. Researching historical documentation	\$ 49.50 per hour (minimum)
5. Annual Financial Report	\$ 44.50 per copy
6. Annual 5-Year Financial Plan	\$ 155.00 per copy
7. Returned payments	\$ 32.00 per returned payment
8. Finance Administrative Fee – Accounts receivable invoices	5% of Invoice Amount (before applicable taxes) Minimum \$22.00 Maximum \$59.00
9. Engineering Administrative Fee	6% of Invoice Amount (before applicable taxes)
10. Fire Administrative Fee – Accounts receivable invoice for Cost Recoveries	10% of invoice Amount (before applicable taxes) – Minimum: \$ 56.00 for Invoices under \$2,100; \$ 338.00 for Invoices over \$2,100
11. Deleted.	
12. Researching historical tax information	\$ 49.50 per hour (minimum)
13. Refunds or fund transfers between properties	\$ 25.00 per property transfer
14. Refund, transfer or swap of securities	\$ 50.00 per security
15. Apportionment of taxable values where property has been subdivided after Land Title Office filing date.	\$ 29.50 per new lot

	<u>Services Provided</u>	<u>Fee</u>
16.	Electronic Multiple property payment lists	\$ 12.50 per property roll
17.	Hard Copy Multiple property payment lists	\$ 15.50 per property roll
18.	Tax Certificates to non-property owners	
	- Electronic	\$ 41.75 per property
	- Manual	\$ 44.75 per property
19.	Registration and removal of liens on tax sale properties as charged by the Land Title Office	\$ 109.44 per property
20.	Ownership transfer on tax sale properties as per the Land Title Office	\$ 78.17 per property
21.	Property Information to non-property owners including but not limited to:	
	a. Roll Number	\$ 3.50 per property request
	b. Legal Description	
	c. Tax Levy	
	d. Assessed Value	
	e. Mill Rates	
22.	Consultant Reports	\$ 56.00 per report
23.	Noise Extension Application Pursuant to Section C .3. of the Surrey Noise Control	\$ 94.00 per application
24.	Liquor License Temporary Change to Hours of Operation	\$ 68.00 per application
25.	Deposit research fee	\$ 308.75 per deposit
26.	Electrical Administrative fee	\$ 39.00 per amendment
27.	Plumbing Administrative fee	\$ 39.00 per amendment
28.	Tree and Landscaping Administrative fee	\$ 39.00 per amendment
29.	Merchant Fee Recovery on Credit Card Transactions (including, fees, charges, and deposits)	1.75%
	- This fee is non-refundable	of the entire transaction amount
30.	P15 Admin fee - Habitat Monitoring and Maintenance	\$ 2,735.00 per application

All fees are subject to applicable taxes.

Schedule B
Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for police services provided as follows:

	<u>Services Provided</u>		<u>Fee</u>
1.	Request for Information:		
	Thefts, B&E's, MVA's Witness	\$ 75.10	Per incident
	Statements	\$ 37.85	Per statement
2.	MV 104's - ICBC	\$ 75.10	Per incident
3.	Criminal Records Search Addition	\$ 91.10	Per application
	Fingerprints Sets	\$ 17.10	Per fingerprint set
4.	Chauffeur's Permit	\$ 91.10	Per application
5.	Security Company Personnel Indices Checks	\$ 91.10	Per individual Application
6.	Mechanical Inspections	\$ 323.45	Per vehicle Inspection
7.	Measurements	\$ 57.55	Per accident scene
8.	Plan Drawing	\$ 75.10	Per incident
9.	Field Diagrams	\$ 75.10	Per incident
10.	Photographs - Colour Laser	\$ 4.05	Per photograph
11.	Court Order of Photocopying file	\$ 75.10	Per file
	Photocopy Fee exceeding 50 pages	\$ 2.20	Per page
12.	Full Traffic Analyst Report Preliminary	\$ 1,147.05	Per incident
	Analyst Report	\$ 293.20	Per incident
13.	File Research	\$ 75.10	Per hour minimu
14.	Photo DVD	\$ 77.80	Per DVD
15.	Crash Data Retrieval Report (ICBC) Crash	\$ 75.10	Per incident
16.	Data Retrieval Report (Non-ICBC)	\$ 287.60	Per incident

All fees are subject to applicable taxes.

Descriptions of the police services are more particularly described as:

MV 6020 – ICBC

Accident reports requested by ICBC.

Criminal Records Search

Provide complete background check of local, national and North American records. This fee will apply to everyone except volunteers.

Volunteer Criminal Records Search

Provide complete background check of local, national and North American records. This fee will apply to all volunteers except Surrey-based volunteers and volunteering GVRD-based organizations.

Chauffeur's Permit

Provide a driving record check and criminal record check.

Mechanical Inspection

RCMP requires a mechanical inspection report in serious motor vehicle accidents. A certified mechanic's report is required to ascertain whether an accident was caused by human source and/or mechanical problems.

Measurements

Accident scene measurements required in serious motor vehicle accidents.

Plan Drawing

Traffic analysts provide an overview of an accident via field drawings, sketches, etc.

Analyst Report

Traffic analyst report is a certified report of the accident.

Photographs

Photographs of accident scenes, break and enters, wilful damage, property damage, etc.

File Research

Time spent to examine and investigate material.

Crash Data Retrieval Report

Report based on the data extracted from a vehicle's black box.

Schedule C
Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Real Estate Division services provided as follows:

	<u>Services Provided</u>	<u>Fee</u>
1.	Road Closure	\$9,800.00 — Per closure
2.	Habitat Replacement on City Lands	\$5,800.00 — Per application

All fees are subject to applicable taxes.

Real Estate Division services are more particularly described as:

ROAD CLOSURE

Except where a road or lane closure is initiated by the City, applicants for a road or a lane closure shall pay a processing fee of \$9,800.00. This fee is payable after Council approval of a road closure but before introduction of the closure bylaw. This fee is non-refundable.

Schedule D
Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Engineering Department services provided as follows:

<u>Services Provided</u>	<u>Fee</u>	
<u>Administration</u>		
1. GIS Map Products		
- Map Books	\$1,050.00	19" x 17" (quarter map section – 560 pages)
	\$780.00	36" x 3.2" (140 pages)
	\$265.00	19" x 17" (full map section – 140 pages)
	\$90.00	11' x 17' (560 pages)
	\$76.00	8.5' x 11' (560 pages)
- Custom Maps	\$87.00 \$77.00	Minimum Charge Plus Per hour beyond 1 hour
- Lamination	\$ 17.00 \$ 22.00 \$ 27.00 \$ 33.00 \$ 38.00	11" x 17" 18.5" x 24.5" 25" x 37" 37" x 49" 42" x 60"
- Large Size Photocopy Prints	\$ 6.00	Up to 11" x 17"
- Large Size Photocopy Prints	\$ 7.00	Anything above 11" x 17"
- White Foam Board	\$ 17.00 \$ 17.00 \$ 22.00 \$ 22.00	18" x 24"(in addition to cost of map) 25" x 37"(in addition to cost of map) 37" x 49"(in addition to cost of map) 43" x 61"(in addition to cost of map)

- Standard Hard-Copy Map	\$ 6.00	8.5" x 11"
	\$ 7.00	11" x 17"
	\$ 12.00	19" x 17"
	\$ 17.00	18" x 24"
	\$ 27.00	24" x 36"
	\$ 33.00	36" x 48"
	\$ 38.00	42" x 60"

Roads

2. Legal Traffic Operation Requests	\$ 550.00	Per request
3.1 Legal Signal Timing Data Requests	\$ 550.00	Per request
3.2 Traffic Camera Video Recording Search Fee	\$ 360.00	Per site (minimum charge)
	\$ 55.00	Per hour additional for large requests
3.3 Vehicle Count Data from Traffic Signal Detectors	\$ 77.00	Per traffic signal (per 2 days of data)
3.4 Historical Vehicle Travel Speed, Travel Time, and Origin/Destination	\$ 244.00	Per request (minimum charge)
	\$ 101.00	Per hour additional for large requests
4. Manual Vehicle, Cyclist and Pedestrian Count	\$ 561.00	Per intersection

Survey

5. Replacement of Destroyed Survey Monument	\$1,945.00	Per disturbed ISA Mon
	\$3,500.00	Per disturbed SBM Mon
	\$8,057.00	Per disturbed HPN Mon

ESC Authorization

6. <u>ESC Authorization Fees</u>		
a. ESC Authorization Application Fee	\$2,300.00	Per application
b. ESC Authorization Transfer	\$300.00	Per transfer

Water

7.	Connection to an existing water main, provided that the connection was not part of a local service area or other cost recovered project	100% of actual cost	Per connection
8.	Temporary water service turn off/on		
	- during regular City working hours	\$ 135.00	Each occurrence
	- outside regular City working hours	\$ 220.00	Each occurrence
9.	Special Water Meter Reading	\$ 62.00 \$ 100.00	Per hour Minimum
10.	Deleted.		
11.	For the submission of a Backflow Device Test Report and each additional report on the same property as the initial report.	\$ 37.00	Each
11a.	Special Sprinkling Permit – New Lawn	\$ 38.00	Each permit

Soil Removal and Disposition Permits

12.	Soil Removal and Deposition Permit application fee	\$1,139.00	Per application
13.	Permit Transfer	\$ 311.00	Per transfer

Sewer

14.	Connection to an existing storm water drainage service connection or drainage "developer reimbursed" (DDR) connection, provided that the connection was not part of a local area service or other cost-recovered project.	\$5,500.00	Per connection
-----	---	------------	----------------

- | | | | |
|-----|---|------------|--|
| 15. | Connection to an existing sanitary sewer main connection or sanitary developer reimbursed (SDR) connection for a <i>Single Family dwelling</i> unit, provided that the connection was not part of a local area service or other cost recovered project. | \$5,500.00 | Per connection |
| 16. | <u>Branch Collection</u>

Branch chipping and removal of chips. | \$ 26.75 | 1.5 metres high by 1.5 metres wide (5ft x 5ft) pile
Branches must be less than 20 cm (8") in diameter
No stumps are permitted. |

All fees are subject to applicable taxes.

Schedule E
Surrey Fee Setting Bylaw

Pursuant to Section 191(1)(a) of the *Community Charter* there is hereby levied a fee for Board of Variance services provided as follows:

<u>Services Provided</u>	<u>Fee</u>
1. Board of Variance Application Pursuant to Section 11 of the Surrey Board of Variance Establishment By-law, 2010, No. 17282.	\$ 522.00

All fees are subject to applicable taxes.

SCHEDULE F

Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Cemetery services provided as follows:

DEFINITIONS

1. In this Bylaw, terms shall have the meanings ascribed to them in "City of Surrey Cemetery Management Bylaw No. 16174" and as set out below:

ADULT LOT means a Lot designated, and appropriately sized, in the approved Cemetery plan for the Interment of adult Human Remains.

ADULT PREMIUM LOT means an Adult Lot that has been designated in the approved Cemetery plan as having a different pricing structure due to unique location benefits and limited supply, as determined by the Administrator.

CHILD LOT means a Lot designated and appropriately sized, in the approved Cemetery plan for the Interment of Child Human Remains.

HANDLING FEE means the Fee paid for handling of Cemetery products not purchased from the City.

INFANT LOT means a Lot designated and appropriately sized, in the approved Cemetery plan for the Interment of Infant Human Remains.

MEMORIAL BOARD or PILLOW MARKER means a structure of bronze, granite or approved material, which commemorates names of decedents that may or may not be interred in the Cemetery.

NON-RESIDENT means a person who does not reside in the City at the time application is made for a Right of Interment or Interment Authorization.

PREPARATION & PLACEMENT means the process of completing an Interment including, but not limited to, administrative, legal, labour and equipment resources provided to facilitate the opening of a Lot, deposition of Human Remains or Cremated Remains and the subsequent closing of the Lot.

RESIDENT means a person who resides in the City at the time application is made for a Right of Interment or Interment Authorization. Proof of residency is required.

RIGHT OF INTERMENT means a certificate that provides for the future right to inter Human Remains or Cremated Remains in a designated Lot. Right of Interment Fees shall include required contributions to the Maintenance Care Fund.

STILLBORN LOT means a Lot designated, and appropriately sized, in the approved Cemetery plan for the Interment of Stillborn Human Remains.

SURRENDER FEE means the charge for the surrender, to the City, of a Right of Interment for an unoccupied Lot.

TRANSFER FEE means the charge for the transfer of a Right of Interment for an unoccupied Lot to an immediate Family Member.

VETERAN LOT means a Lot designated in the approved Cemetery plan for the Interment of Veteran Human Remains.

FEES

2. All Fees shall be payable by the Applicant at the office of the Cemetery Administrator at the time of application.

RESIDENT INTERMENT FEES (\$) – Plus GST

Ground Burial	<i>Right of Interment</i>	<i>Preparation & Placement</i>	TOTAL
Adult Single Depth Lot ^A	2,705.00	1,290.00	3,995.00
Adult Double Depth Lot	5,072.00	1,290.00	6,362.00
Adult Premium Single Depth Lot ^{A G}	4,058.00	1,290.00	5,348.00
Adult Premium Double Depth Lot	7,763.00	1,290.00	9,053.00
Veteran Lot ^A	2,152.00	1,290.00	3,442.00
Child Lot	No charge	500.00	500.00
Infant Lot or Stillborn Lot	No charge	342.00	342.00
Cremation Single Interment Ground Lot ^B	1,076.00	630.00	1,706.00
Cremation Double Interment Ground Lot ^B	1,576.00	630.00	2,206.00
Cremation - Additional Interment on Full Size Lot ^B	790.00	630.00	1,420.00

Cremation	<i>Right of Interment</i>	<i>Preparation & Placement</i>	TOTAL
Single Niche	2,152.00	395.00	2,547.00
Double Niche 1 st Interment	2,812.00	395.00	3,207.00
Double Niche 2 nd Interment		395.00	395.00
Family Estate (Max 8 Urns)	16,242.00		16,242.00
Family Estate Interment		395.00	395.00
Ossuary Placement ^C	225.00	255.00	480.00
Scattering ^C	225.00	255.00	480.00
Small Bronze Memorial	107.00	80.00	187.00
Location on Board or Pillow <i>(plus cost of bronze memorial)</i>			

- ^A Grave Vault is mandatory; refer to Cemetery Services & Products listing
- ^B Cremation Vault is mandatory; refer to Cemetery Services & Products listing
- ^C At Need only
- ^G Adult Premium Lot means an Adult Lot that has been designated in the approved Cemetery plan as having a different pricing structure due to unique location benefits and limited supply, designated upright Marker lot, as determined by the Administrator.

NON-RESIDENT INTERMENT FEES (\$) – Plus GST

Ground Burial	<i>Right of Interment</i>	<i>Preparation & Placement</i>	TOTAL
Adult Single Depth Lot ^A	3,940.00	1,290.00	5,230.00
Adult Double Depth Lot ^A	7,493.00	1,290.00	8,783.00
Adult Premium Single Depth Lot ^{A G}	5,645.00	1,290.00	6,935.00
Adult Premium Double Depth Lot ^{A G}	10,764.00	1,290.00	12,054.00
Veteran Lot ^A	2,760.00	1,290.00	4,050.00
Child Lot	No charge	500.00	500.00
Infant Lot or Stillborn Lot	No charge	342.00	342.00
Cremation Single Interment Ground Lot ^B	1,524.00	630.00	2,154.00
Cremation Double Interment Ground Lot ^B	1,918.00	630.00	2,548.00
Cremation - Additional Interment on Full Size Lot ^B	1,076.00	630.00	1,706.00

Cremation	<i>Right of Interment</i>	<i>Preparation & Placement</i>	TOTAL
Single Niche	2,397.00	394.00	2,791.00
Double Niche 1 st Interment	3,020.00	394.00	3,414.00
Double Niche 2 nd Interment		394.00	394.00
Family Estate (Max 8 Urns)	18,265.00		18,265.00
Family Estate Interment		394.00	394.00
Ossuary Placement ^C	315.00	255.00	570.00
Scattering ^C	315.00	255.00	570.00
Small Bronze Memorial	107.00	80.00	187.00
Location on Board or Pillow <i>(plus cost of bronze memorial)</i>			

^A Grave Vault is mandatory; refer to Cemetery Services & Products listing

^B Cremation Vault is mandatory; refer to Cemetery Services & Products listing

^C At Need only

^G Adult Premium Lot means an Adult Lot that has been designated in the approved Cemetery plan as having a different pricing structure due to unique location benefits and limited supply, designated upright Marker lot, as determined by the Administrator.

MISCELLANEOUS FEES FOR CEMETERY SERVICES & PRODUCTS (\$) – Plus GST

Memorials

Marker Permit Fee	Permit Fee	Maintenance Care Fund	TOTAL
Flat Memorials	247.00	78.00	325.00
Upright Memorials	458.00	145.00	603.00
Memorial Levelling (<i>beyond Cemetery standards</i>)			255.00
Cremation Bronze Memorials	Memorial	Maintenance Care Fund	TOTAL
Columbarium Bronze Niche Plate	706.00	78.00	784.00
Columbarium Bronze Second Name Scroll	333.00	37.00	370.00
Bronze Memorial (<i>Right of Interment to be added</i>)	333.00	37.00	370.00
Columbarium Bud Vase			225.00

Administration Fees

Late Arrival (after 3:00 p.m.) Monday to Friday, all services	560.00
Right of Interment Certificate Replacement	54.00
Transfer Fee ^D	85.00
Surrender/Sell Back Fee ^E	85.00
Handling Fee - Burial Vault	448.00
Handling Fee - Cremation Vault	85.00
Saturday (Double time) ^F	Preparation & Placement Fee x two
Sunday and Statutory Holidays (Triple Time) ^F	Preparation & Placement Fee x three
Exhumation or Disinterment (Casket Burial)	Preparation & Placement Fee x two
Exhumation or Disinterment (Cremation/Niche)	Preparation & Placement Fee

Cemetery Products

Grave Vault	1,124.00
Cremation Vault – Single or Double	218.00
Flower Container - Black	138.00

Cemetery products not listed: Prices to be reviewed and set on a regular basis by the Administrator and set out in a Schedule of Prices available at the Cemetery Services office.

^D To Family Members only.

^E To City of Surrey only. Based on purchase price, minus Maintenance Care Fund.

^F Interment Subject to approval by Administrator, with minimum 48 hours' notice (not including weekends and observed holidays)

MINISTRY OF SOCIAL DEVELOPMENT & POVERTY REDUCTION (\$) – Plus GST

Ground Burial	Right of Interment	Preparation & Placement	Vault	TOTAL
Adult Lot ^A	2,790.00	1,290.00	1,124.00	5,204.00
Veteran Lot ^A	1,869.00	1,290.00	1,124.00	4,283.00
Child Lot		500.00	N/A	500.00
Infant Lot or Stillborn Lot		342.00	N/A	342.00
Cremation Single Interment Ground Lot ^B	1,076.00	630.00	218.00	1,924.00
Cremation Double Interment Ground Lot ^B	1,209.00	630.00	218.00	2,057.00

Cremation	Right of Interment	Preparation & Placement	Urn (if applicable)	TOTAL
Ossuary Placement or Scattering	277.00	255.00		532.00

^A Grave Vault is mandatory

^B Cremation Vault is mandatory

Administration Fees

Late Arrival (after 3:00 p.m.) Monday to Friday, all services	560.00
Handling Fee - Burial Vault	448.00
Handling Fee - Cremation Vault	85.00

Schedule G
Surrey Fee Setting By-law

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Filming and Special Events services provided as follows:

	<u>Services Provided</u>	<u>Fee</u>	
1.	Permits		
	- Filming Permit	\$282.00	
	- Photography Permit	\$80.00	
2.	Parking		
	- City Block	\$267.00	Per side per day
3.	Administration Fee		15% of invoice amount (before applicable taxes)

All fees are subject to applicable taxes.

Schedule H
Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Medical Marijuana licensing as follows:

<u>Services Provided</u>	<u>Fee</u>
1. Personal-Use Production License Application	\$ 896.00 per application
2. Designated-Person Production License Application	\$2,747.00 per application

All fees are subject to applicable taxes.

Schedule I
Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Fire Department services provided as follows:

	<u>Services Provided</u>	<u>Fee</u>
1.	Structure Fire Incident/Investigation Reports and photos if applicable	\$196.00 per incident
2.	Motor Vehicle Fire Incident/Investigation Reports and photos if applicable	\$196.00 per incident
3.	Incident Questionnaire	\$202.00 per request
4.	Motor Vehicle/Medical or Other Incident Report	\$196.00 per incident
5.	Dispatch Recording Application Fee for Motor Vehicle Fire Incident, Motor Vehicle Incident, Medical or Other Incident	\$146.00 per incident
6.	Dispatch Recording Application Fee for Structure Fire Incident	\$619.00 per incident

Additional fees may be levied based on the actual cost of providing the services including the cost of locating and retrieving the records, preparing the records for disclosure, providing a copy of the records and shipping and handling the records. The City may provide an estimate and require payment of a deposit prior to providing the services.

Schedule J

Surrey Fee-Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Bylaw Services provided as follows:

The fees listed below are in accordance with "Controlled Substance Property By-law, 2006, No. 15820"

<u>Services Provided</u>	<u>Fee</u>
Fees	
1. Special safety inspection, including initial property research, the posting of a notice of inspection and the initial inspection.	\$7,293.25
2. After the initial inspection, each additional inspection, per inspection.	\$918.75
3. For a subsequent inspection if the owner or occupier has failed to undertake an action by the Fire Chief, the Council or a person authorized under the bylaw to order the action.	\$918.75
4. Shutting off a water service.	\$170.00
5. Re-connecting a water service.	100% of actual cost
6. Re-inspecting and re-sealing a water service after alteration or tampering.	\$924.00
7. All applicable permit fees payable under applicable City bylaws.	
<u>SERVICE COSTS</u>	
1. Item (a) in the definition of service costs – administration and overhead.	\$507.00
2. Items (b) through (i) in the definition of service costs.	Actual cost to the City

All fees are subject to applicable taxes.

The fees listed below are in accordance with "Abandoned Properties By-law, 2007, No. 16394".

<u>Services Provided</u>	<u>Fee</u>
1. Fee for initial investigation and inspection of Property, including attendance by any Inspector.	Actual costs incurred by the City for all related labour, materials or equipment
2. Fee for initial building inspection.	\$349.00
3. Fee to coordinate inspections of other authorities having jurisdiction.	\$136.00 for each agency
4. Fee for building permit authorizing remediation.	Fee for building permit as set out in the City's Building Bylaw
5. Fee to issue letter accepting final inspection of construction and authorization to re-occupy.	\$349.00
6. Attendance by Fire Services at a fire incident.	Actual costs incurred by the City for all related labour, materials and/or equipment

The fees listed below are in accordance with "Surrey Security and Fire Alarm By-law, 1997, No. 13168".

<u>Services Provided</u>	<u>Fee</u>
1. False Alarm Fee – if paid within 14 days of the date of the invoice	\$127.00
2. False Alarm Fee – if paid after 14 days of the date of the invoice	\$159.00
3. Fire False Alarm Fee	\$265.00

All fees are subject to applicable taxes.

The fees listed below are in accordance with "Surrey Spay/Neuter By-law, 1998, No. 13548".

<u>Services Provided</u>	<u>Fee</u>
1. Daily Impoundment Fee – wearing identification	\$5.00 for each full day, or fraction thereof, that the cat is held by the Poundkeeper
2. Daily Impoundment Fee –not wearing identification	\$5.00 for each full day, or fraction thereof, that the cat is held by the Poundkeeper
3. Daily Impoundment Fee – with a "notched ear"	\$5.00 for each full day, or fraction thereof, that the cat is held by the Poundkeeper
4. Cat Breeding Permit	\$47.00

The fees listed below are in accordance with "Prohibition of Nuisance Bylaw, 1996, No. 12883".

<u>Services Provided</u>	<u>Fee</u>
1. Nuisance service call response fee	\$951.00 per response
2. Administration and overhead fee	\$507.00 per response

The fees listed below are in accordance with "Surrey Community Improvement and Unsightly Property By-law, 1997, No. 16393"

<u>Services Provided</u>	<u>Fee</u>
Compliance Costs	Actual cost to the City
Administration and Overhead	\$507.00

All fees are subject to applicable taxes.

Schedule K
Surrey Fee-Setting By-law

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for administrative services provided as follows:

<u>Services Provided</u>	<u>Fee</u>
1. Search for attendance records for City recreation facilities with the written consent of the attendee	\$155.00

All fees are subject to applicable taxes.

Schedule L
Surrey Fee-Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Signage Regulation services provided as follows:

The fees listed below are in accordance with "Surrey Sign By-law, 1999, No. 13656".

<u>Services Provided</u>	<u>Fee</u>
1. Sign permit non-refundable processing fee (Non-refundable, but this fee will be credited towards the sign permit fee as set out below)	\$97.00
2. Sign permit fee for all new signs (based on sign area)	
Up to 3 sq. m [32 sq. ft.].....	\$209.00
Larger than 3 sq. m [32 sq. ft.] up to 6 sq. m [64 sq. ft.].....	\$308.00
Larger than 6 sq. m [64 sq. ft.] up to 10 sq. m [110 sq. ft.].....	\$410.00
Larger than 10 sq. m [110 sq. ft.] up to 15 sq. m [160 sq. ft.]..	\$516.00
Larger than 15 sq. m [160 sq. ft.] up to 18.6 sq. m [200 sq. ft.]..	\$594.00
Over 18.6 sq. m [200 sq. ft.].....	\$794.00
3. Relocating or altering an existing sign	\$186.00
4. Temporary Signs in Residential zones:	
Temporary off-site real estate development/construction signs Renewal Fee (each additional 6 month period beyond the first year)	\$269.00 plus \$136.00
5. Temporary Signs in Commercial/Industrial zones:	
Temporary off-site real estate development/construction signs Renewal Fee (each additional 6 month period beyond the first year)	\$269.00 plus \$136.00
6. Signage Minor Amendment Fee	DP \$389.00
7. The City may cancel an application for a permit, and the fees paid in support of the application will be forfeited, if the permit cannot be issued within 180 days from the date of notification to the applicant, by the City, regarding deficiencies with the permit application.	

All fees are subject to applicable taxes.

Schedule N

Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for purchase, planting and maintenance services of a replacement tree where a City street tree is removed or damaged during adjacent development as follows:

	<u>Services Provided</u>		<u>Fee</u>
1.	Street Tree – Single Family Residential Development	\$678.00	Per tree
2.	Street Tree – Arterial Roads, Industrial, Commercial, and Multi-Family Developments	\$694.00	Per tree

All fees are subject to applicable taxes.

H - 16

- ACTION REQUIRED:** 1st, 2nd and 3rd Reading
- TYPE:** Five-Year (2024-2028) Financial Plan – General Operating | Capital Program
- PURPOSE:**
- Bylaw No. 21216
To provide for the adoption of the Surrey 2024 – 2028 Consolidated Financial Plan
- Bylaw No. 21217
To provide for the adoption of the Surrey 2024 – 2028 General Operating Financial Plan.
- Bylaw No. 21218
To provide for the adoption of the Surrey 2024 – 2028 Roads & Traffic Safety Operating Financial Plan.
- Bylaw No. 21219
To provide for the adoption of the Surrey 2024 – 2028 Capital Financial Plan.
- Bylaw No. 21220
To amend Schedule A to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.
- Bylaw No. 21221
To amend Schedule A and Section 22 to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.
- Bylaw No. 21222
To amend Schedule B and C to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.
- Bylaw No. 21223
To amend Schedule B to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.
- Bylaw No. 21224
To amend Schedule A, B, C, D, E, F, G, H, I, J, K, L and N to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.
- Bylaw No. 21225
To amend Sections 30, 34, 36 to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.
- Bylaw No. 21226
To amend Schedule B to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

Bylaw No. 21227

To amend Schedule B to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

Bylaw No. 21228

To amend Section 9 and 10 to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

Bylaw No. 21229

To amend Schedule B to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

Bylaw No. 21230

To amend Section 36, 37, 38, 39, 40 and 71 to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

Bylaw No. 21231

To amend Section 6 to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

Bylaw No. 21232

To amend Section 3 to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

Bylaw No. 21233

To amend Schedule G to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

Bylaw No. 21234

To amend Section 28 to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

Bylaw No. 21235

Pursuant to Section 177 of the *Community Charter*, this annual revenue anticipation bylaw permits the City to incur an operating overdraft as may be necessary to optimize the City's overall return on its investment portfolio.

Bylaw No. 21236

To amend Schedule A to incorporate a fee increase as approved in the 2024 - 2028 Financial Plan.

Bylaw No. 21237

To levy rates for general City purposes and special services for the 2024 tax year in the City of Surrey.

Bylaw No. 21238

To levy rates in the City of Surrey to provide for the cost of special services therein for the year 2024.

Bylaw No. 21239

To levy rates in the City of Surrey to provide for roads and traffic safety for the year 2024.

Bylaw No. 21240

To levy rates in the City of Surrey to provide for the amounts requested by the Metro Vancouver Regional District for the year 2024.

PROCESSING DATES:

April 22, 2024 - To be approved

NOTE:

**PLEASE SEE CORPORATE REPORT ITEM Foo2 and Foo3
OF THIS AGENDA**

TO: **City Clerk**

FROM: **General Manager, Finance**

DATE: **April 18, 2024**

FILE: **3900-01
1705-05**

RE: **2024-2028 Financial Plan Bylaws, as per Section 165 of the Community Charter**

The following bylaws representing the 2024-2028 Financial Plan are brought forward for consideration by Council:

- Surrey 2024 – 2028 Consolidated Financial Plan Bylaw, 2024, No. 21216;
- Surrey 2024 – 2028 General Operating Financial Plan Bylaw, 2024, No. 21217;
- Surrey 2024 – 2028 Roads & Traffic Safety Operating Financial Plan Bylaw, 2024, No. 21218;
and
- Surrey 2024 – 2028 Capital Financial Plan Bylaw, 2024, No 21219.

These bylaws represent the 2024 – 2028 Financial Plan details and will be considered by Council on April 22, 2024. In addition, the bylaws ensure that the necessary budget authority is in place.

Attached for reference are the cited bylaws.



Kam Grewal
CFO/General Manager, Finance

Attachments

- c.c. - City Manager
- Director, Finance
- Manager, Financial Reporting
- City Solicitor

CITY OF SURREY

BYLAW NO.21216

A bylaw to provide for the adoption of the Surrey 2024 – 2028
Consolidated Financial Plan.

.....

WHEREAS pursuant to Section 165 of the "Community Charter" being Chapter 26 of the Statutes of BC 2003, as amended, the City Council is required to adopt, annually by bylaw, the five-year financial plan;

NOW, THEREFORE, the Council of the City of Surrey ENACTS AS FOLLOWS:

1. Council authorize the objectives and policies of the municipality in relation to each of the proposed funding sources, the proportion of total revenue, the distribution of property value taxes among property classes, and the use of permissive exemptions as set out in Schedule 1 attached to this Bylaw.
2. Council authorize the following:
 - (a) the proposed funding sources;
 - (b) the proposed expenditures; and
 - (c) the proposed transfers between funds.

As set out for each year in the planning period as shown in Schedule 2 attached to this Bylaw.

3. This bylaw shall be cited for all purposes as "Surrey 2024 – 2028 Consolidated Financial Plan Bylaw, 2024, No. 21216".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____ MAYOR

_____ CLERK

City of Surrey

Consolidated 2024 – 2028 Financial Plan

In accordance with the *Community Charter*, this schedule will address the objectives and policies that relate to:

- The proportions of total revenue that is proposed to come from the funding sources as described in section 165, subsection 7 of the *Community Charter*.
- The distribution of property value taxes among the property classes, and
- The use of permissive tax exemptions.

I. Proportion of Total Revenue

The proportion of total revenue that is proposed to come from each funding source for the budget year 2024 is presented in the table below.

Table 1: Proportion of Total Revenue

Funding Sources	% of Total Revenues
Section II.a. - Property Value Taxes	35.7%
Section II.b. - Parcel Taxes	6.5%
Section III. - Fees	23.5%
Section IV. - Other Sources	34.3%
Total Revenues	100.0%

The following sections provide descriptions about these funding sources, including distribution among the property classes in respect to property value tax revenue.

II. Tax Revenues**a. *Property Value Taxes*****1. Property Tax Levy**

A Property tax levy is generated to support city services that are not covered by fees, the Drainage Parcel Tax, the Capital Parcel Tax and the Roads and Traffic Safety Levy. These taxes are calculated based on property assessment by property class (property classes are defined and values determined by BC Assessment). The types of services that these revenues support include: Protection Services; Library Services; Parks, Recreation and Culture; some Engineering Services; and administrative services, such as Finance, Legislative Services, Human Resources, and Information Technology. The objective of the City of Surrey when setting tax rates is to maintain a stable tax

revenue base for continued city services while ensuring compliance with the Community Charter. This is accomplished by maintaining the proportionate relationship between the property classes. The projected 2024 distribution of property taxes among the various property classes is presented in the table below:

Table 2: Distribution of Property Taxes

Property Class	% of Tax Distribution
Residential (Class 1)	67.1%
Business (Class 6)	26.6%
Light Industry (Class 5)	4.1%
Others (Classes 2, 4, 8 and 9)	2.2%
Total	100.0%

The property tax rates are calculated based on the revised assessment roll received from BC Assessment in the spring of the tax year. Properties that are eligible for a full statutory and permissive property tax exemption are exempt from this levy. In 2024, this levy accounts for approximately 32.9% of consolidated revenues.

2. Roads & Traffic Safety Levy

A Roads & Traffic Safety Levy was established as part of the 2008 budget process to address the need for increased maintenance of local and collector roads throughout the city and to provide additional funding for road safety features and improvements such as traffic calming, crosswalks, and sidewalks. The Roads & Traffic Safety Levy was expanded to include the maintenance and capital costs associated with arterial roads throughout the city and to address identified on-going road maintenance needs related to inclement weather conditions. The levy is based on the assessed value of individual properties with the same tax distribution to each property class as shown in Table 2 above. Properties that are eligible for a full statutory and permissive property tax exemption are exempt from this levy. In 2024, this levy will generate approximately 2.8% of consolidated revenues.

3. Permissive Tax Exemptions

Permissive property tax exemptions are provided for in the Community Charter and can be applied at the discretion of Council to reduce the assessed value of certain types of properties. Council has adopted City of Surrey Tax Exemption Policy No. Q-27 that guides the use of permissive property tax exemptions. This policy allows Council to consider the approval of permissive property tax exemptions for: buildings

for public worship and lands that surround the building; the lands surrounding hospitals; the lands surrounding schools; land or improvements for certain parks, recreation and athletic purposes provided that organizations can demonstrate that their facilities are open to Surrey residents; and some non-profit or charitable organizations provided that organizations can demonstrate that their facilities are open to Surrey residents. In September 2023, Council approved permissive exemptions for the 2024 taxation year in accordance with the City policy.

b. Parcel Taxes

1. Capital Parcel Tax

The City of Surrey has adopted a Capital Parcel Tax that provides funding for cultural and recreational services, including establishing, operating, and maintaining related capital projects. The Capital Parcel Tax is applied to properties within the city at a rate structure such that residential and agricultural properties (classes 1, 8 and 9) pay one rate and commercial and industrial properties (classes 2, 4, 5, and 6) pay different rates. Properties that are eligible for a full statutory and permissive property tax exemption are exempt from this parcel tax. The Capital Parcel Tax accounts for approximately 3.4% of the consolidated revenues.

2. Drainage Parcel Tax

The City of Surrey has adopted a Drainage Parcel Tax to fund the construction and operation of the storm drainage system for the convenience and safety of the residents and businesses within the city. The Drainage Parcel Tax is applied to properties within the city at a rate structure such that residential and agricultural properties (classes 1, 8 and 9) pay one rate and commercial and industrial properties (classes 2, 4, 5, and 6) pay another rate. Properties that are eligible for a full statutory and permissive property tax exemption are exempt from this parcel tax. The Drainage Parcel Tax accounts for approximately 3.1% of the consolidated revenues.

III. Fees

The City of Surrey has adopted a “User-Pay” philosophy. If the provision of a service can be directly related back to the consumer, a fee is developed and charged for that service. All fees are established through a bylaw for the fee charged and the terms and conditions of the payment. Some examples of the types of fees that the City imposes include water, sewer and garbage & recycling fees, secondary suite fees, application fees, recreational usage fees and fees for document processing and replicating. Fees account for approximately 23.5% of the consolidated revenues.

IV. **Other Sources**

The City of Surrey receives revenue from other sources, which includes development cost charges, developer contributions, investment income, transfers from other governments and other revenues.

Development cost charges and developer contributions are designed to place the burden of new infrastructure on new development. These contributions are received by the City and brought into the budget for spending, making up approximately 13.8% (development cost charges 5.6% + developer contributions 8.2%) of the consolidated revenues in the 2024 Financial Plan.

The City of Surrey manages an investment portfolio with a current approximate value of \$2.0 billion. The interest earned on these investments account for approximately 6.3% of the consolidated revenues in the 2024 Financial Plan.

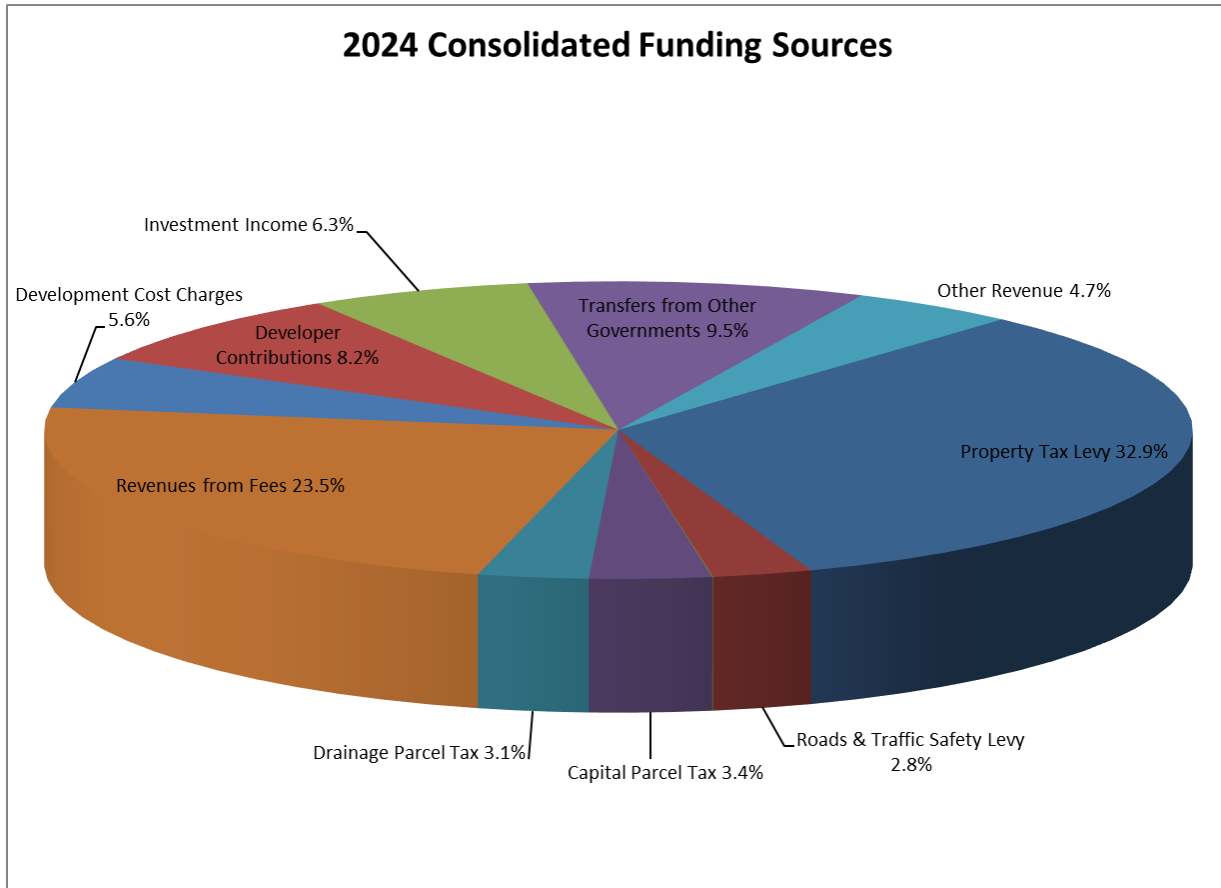
Transfers from other governments are received from Federal, Provincial, and other government entities for various grants and initiatives such as housing and community safety programs, policing initiatives, library services, recreation and cultural services, and capital infrastructure initiatives. These transfers from other governments are estimated to be approximately 9.5% of the consolidated revenues in the 2024 Financial Plan.

Other revenue consists of revenues from: permit and licensing; lease and rental agreements; non-governmental grants and donations; fines, penalties, and interest; gains on disposal of land or assets; and revenues from other City entities. Other revenue accounts for approximately 4.7% of the consolidated revenues in the 2024 Financial Plan.

V. **Borrowing**

The City incurred external borrowing in previous years through the Municipal Finance Authority of BC's (MFA) Long-Term Borrowing program, for civic facilities and major recreation and culture projects, as part of a multi-year capital program developed to support business and residential growth. The total amount borrowed was \$362.9 million, of which, \$276.2 million is anticipated to be outstanding at the beginning of 2024.

In summary, the City's proposed distribution of the various 2024 Consolidated Funding Sources discussed in the sections above are depicted in the following chart:



CITY OF SURREY

Bylaw 21216

Consolidated Financial Plan
To establish years 2024 to 2028

	2024	2025	2026	2027	2028
PROPOSED FUNDING SOURCES					
Property Tax Levy	\$ 491,899,000	\$ 522,609,000	\$ 555,456,000	\$ 590,593,000	\$ 628,182,000
Roads & Traffic Safety Levy	41,905,000	47,690,000	53,911,000	60,394,000	60,997,000
Other Property Value Taxes	442,000	454,000	479,000	506,000	480,000
Revenues from Property Value Taxes	534,246,000	570,753,000	609,846,000	651,493,000	689,659,000
General - Capital Parcel Tax	51,235,000	51,745,000	52,260,000	52,780,000	53,305,000
Utilities - Drainage Parcel Tax	46,425,000	47,255,000	48,101,000	48,965,000	49,844,000
Revenues from Parcel Taxes	97,660,000	99,000,000	100,361,000	101,745,000	103,149,000
Taxation Revenues	631,906,000	669,753,000	710,207,000	753,238,000	792,808,000
Revenues from Fees	351,001,000	378,165,000	399,668,000	421,009,000	446,155,000
Development Cost Charges	83,009,000	90,720,000	106,926,000	109,913,000	111,049,000
Developer Contributions	123,332,000	125,382,000	126,212,000	124,232,000	123,232,000
Investment Income	93,498,000	83,595,277	67,957,546	54,434,915	49,414,819
Transfers from Other Governments	142,469,000	86,844,000	77,331,000	45,681,000	57,803,000
Other Revenue	70,017,000	71,505,000	72,988,000	74,802,000	76,463,000
Revenues from Other Sources	512,325,000	458,046,277	451,414,546	409,062,915	417,961,819
TOTAL FUNDING SOURCES	\$ 1,495,232,000	\$ 1,505,964,277	\$ 1,561,289,546	\$ 1,583,309,915	\$ 1,656,924,819
PROPOSED EXPENDITURES					
Police Services	\$ 259,615,000	\$ 261,658,000	\$ 263,656,000	\$ 265,887,000	\$ 267,710,000
Fire Services	94,392,000	102,209,000	111,531,000	121,044,000	126,903,000
Parks, Recreation & Culture	140,588,000	146,866,000	153,272,000	160,361,000	174,634,000
General Government	150,813,000	139,781,000	146,874,000	153,148,000	158,119,000
Planning & Development	26,678,000	28,019,000	29,460,000	30,976,000	32,572,000
Surrey Public Library	26,349,000	27,326,000	28,714,000	29,516,000	30,664,000
Engineering Services	107,362,000	108,807,000	108,811,000	108,456,000	111,246,000
Water, Sewer & Drainage	237,052,000	259,403,000	280,205,000	295,883,000	313,127,000
Solid Waste	44,159,000	45,133,000	46,331,000	47,351,000	48,911,000
Surrey City Energy	7,581,000	9,284,000	9,928,000	11,072,000	12,390,000
Operating Contingency	1,500,000	1,500,000	1,500,000	1,500,000	1,500,000
Total Expenditures	1,096,089,000	1,129,986,000	1,180,282,000	1,225,194,000	1,277,776,000
Fiscal Services & Debt Interest	10,975,000	10,924,000	12,636,000	14,344,000	15,121,000
Capital Expenditures - Contributed	100,000,000	100,000,000	100,000,000	100,000,000	100,000,000
Capital Expenditures - Current Years	376,182,000	574,939,000	341,664,000	302,036,000	329,437,000
Capital Expenditures	476,182,000	674,939,000	441,664,000	402,036,000	429,437,000
Municipal Debt Repayment	10,527,000	10,581,000	10,638,000	11,390,000	11,764,000
TOTAL EXPENDITURES	\$ 1,593,773,000	\$ 1,826,430,000	\$ 1,645,220,000	\$ 1,652,964,000	\$ 1,734,098,000
PROPOSED TRANSFERS BETWEEN CAPITAL AND OPERATING SOURCES					
Transfers To/(From) Capital Funds	(161,618,000)	(162,004,000)	(159,021,000)	(124,433,000)	(146,496,000)
Internal Borrowing To/(From) Reserves	33,800,000	(195,800,000)	33,800,000	33,800,000	33,800,000
Transfers To/(From) Reserves	9,057,000	7,642,277	(29,454)	1,809,915	882,819
Utilities Transfers To/(From) Reserves	(1,105,000)	(1,132,000)	(1,161,000)	(1,191,000)	(1,222,000)
Transfers To/(From) Reserve Funds	41,752,000	(189,289,723)	32,609,546	34,418,915	33,460,819
Transfers To/(From) Capital Sources	\$ (119,866,000)	\$ (351,293,723)	\$ (126,411,454)	\$ (90,014,085)	\$ (113,035,181)
Transfers To/(From) Operating Sources	\$ 71,325,000	\$ 80,828,000	\$ 92,481,000	\$ 70,360,000	\$ 85,862,000
Unspecified Capital Budget Authority	(50,000,000)	(50,000,000)	(50,000,000)	(50,000,000)	(50,000,000)
TOTAL TRANSFERS BETWEEN SOURCES	\$ (98,541,000)	\$ (320,465,723)	\$ (83,930,454)	\$ (69,654,085)	\$ (77,173,181)
BALANCED BUDGET	\$ -	\$ -	\$ -	\$ -	\$ -

CITY OF SURREY

BYLAW NO. 21217

A bylaw to provide for the adoption of the Surrey 2024 – 2028
General Operating Financial Plan.

.....

WHEREAS pursuant to Section 165 of the "*Community Charter*" being Chapter 26 of the Statutes of BC 2003, as amended, the City Council is required to adopt, annually by bylaw, the five-year financial plan;

NOW, THEREFORE, the Council of the City of Surrey ENACTS AS FOLLOWS:

1. Council authorize the following:

- (a) the proposed funding sources;
- (b) the proposed expenditures; and
- (c) the proposed transfers between funds.

as set out for each year in the planning period as shown in Schedule 1 attached to this bylaw.

2. This bylaw shall be cited for all purposes as "Surrey 2024 – 2028 General Operating Financial Plan Bylaw, 2024, No. 21217".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____ MAYOR

_____ CLERK

General Operating Financial Plan

To establish years 2024 to 2028

	2024	2025	2026	2027	2028
PROPOSED FUNDING SOURCES					
Property Tax Levy	\$ 491,899,000	\$ 522,609,000	\$ 555,456,000	\$ 590,593,000	\$ 628,182,000
Revenues from Property Value Taxes	491,899,000	522,609,000	555,456,000	590,593,000	628,182,000
General - Capital Parcel Tax	51,235,000	51,745,000	52,260,000	52,780,000	53,305,000
Revenues from Parcel Taxes	51,235,000	51,745,000	52,260,000	52,780,000	53,305,000
Taxation Revenues	543,134,000	574,354,000	607,716,000	643,373,000	681,487,000
<i>Sales of Goods and Services:</i>					
Departmental Fees & Charges	54,993,000	56,630,000	58,316,000	60,051,000	61,840,000
Secondary Suite Infrastructure Fee	33,369,000	34,704,000	36,091,000	37,535,000	39,037,000
Other Fees & Charges	4,812,000	5,574,000	5,778,000	5,985,000	6,193,000
Revenues from Fees	93,174,000	96,908,000	100,185,000	103,571,000	107,070,000
Investment Income	70,608,000	63,227,000	51,508,000	41,547,000	38,080,000
Departmental Government Transfers	8,326,000	8,332,000	8,338,000	8,344,000	8,350,000
Corporate Government Transfers	49,399,000	29,094,000	29,127,000	5,250,000	5,284,000
Transfers from Other Governments	57,725,000	37,426,000	37,465,000	13,594,000	13,634,000
Departmental Other Revenues	41,910,000	43,164,000	44,456,000	45,786,000	47,156,000
Corporate Lease Revenue	13,925,000	13,977,000	14,030,000	14,084,000	14,139,000
Corporate Penalties & Interest	7,000,000	7,000,000	7,000,000	7,000,000	7,000,000
Other Revenue	62,835,000	64,141,000	65,486,000	66,870,000	68,295,000
Revenues from Other Sources	191,168,000	164,794,000	154,459,000	122,011,000	120,009,000
TOTAL FUNDING SOURCES	\$ 827,476,000	\$ 836,056,000	\$ 862,360,000	\$ 868,955,000	\$ 908,566,000
PROPOSED EXPENDITURES					
Police Services	\$ 258,393,000	\$ 260,442,000	\$ 262,599,000	\$ 264,871,000	\$ 266,900,000
Fire Services	91,390,000	99,194,000	108,000,000	117,589,000	123,155,000
Parks, Recreation & Culture	120,161,000	126,222,000	133,166,000	139,822,000	146,570,000
General Government	129,944,000	120,237,000	127,846,000	134,447,000	139,393,000
Planning & Development	26,648,000	28,019,000	29,460,000	30,976,000	32,572,000
Surrey Public Library	24,059,000	25,198,000	26,395,000	27,651,000	28,971,000
Engineering Services	11,542,000	12,428,000	13,371,000	14,372,000	15,436,000
Operating Contingency	1,500,000	1,500,000	1,500,000	1,500,000	1,500,000
Municipal Expenditures	663,637,000	673,240,000	702,337,000	731,228,000	754,497,000
Fiscal Services & Debt Interest	9,352,000	9,355,000	11,123,000	12,891,000	13,731,000
Municipal Debt Repayment	9,492,000	9,492,000	9,492,000	10,185,000	10,496,000
TOTAL EXPENDITURES	\$ 682,481,000	\$ 692,087,000	\$ 722,952,000	\$ 754,304,000	\$ 778,724,000
PROPOSED TRANSFERS BETWEEN CAPITAL AND OPERATING SOURCES					
Transfers To/(From) Capital Funds	57,914,000	51,110,000	38,916,000	40,623,000	40,814,000
Internal Borrowing To/(From) Reserves	33,800,000	33,800,000	33,800,000	33,800,000	33,800,000
Transfers To/(From) Capital Sources	\$ 91,714,000	\$ 84,910,000	\$ 72,716,000	\$ 74,423,000	\$ 74,614,000
Transfers To/(From) Operating Sources	\$ 53,281,000	\$ 59,059,000	\$ 66,692,000	\$ 40,228,000	\$ 55,228,000
TOTAL TRANSFERS BETWEEN SOURCES	\$ 144,995,000	\$ 143,969,000	\$ 139,408,000	\$ 114,651,000	\$ 129,842,000
BALANCED BUDGET	\$ -	\$ -	\$ -	\$ -	\$ -

CITY OF SURREY

BYLAW NO. 21218

A bylaw to provide for the adoption of the Surrey 2024 – 2028
Roads & Traffic Safety Operating Financial Plan.

.....

WHEREAS pursuant to Section 165 of the "*Community Charter*" being Chapter 26 of the Statutes of BC 2003, as amended, the City Council is required to adopt, annually by bylaw, the five-year financial plan;

NOW, THEREFORE, the Council of the City of Surrey ENACTS AS FOLLOWS:

1. Council authorize the following:
 - (a) the proposed funding sources;
 - (b) the proposed expenditure; and
 - (c) the proposed transfers between funds.

as set out for each year in the planning period as shown in Schedule 1 attached to this Bylaw.

2. This bylaw shall be cited for all purposes as "Surrey 2024 – 2028 Roads & Traffic Safety Operating Financial Plan Bylaw, 2024, No. 21218".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____ MAYOR

_____ CLERK

CITY OF SURREY

Bylaw 21218

Schedule 1

Roads & Traffic Safety Operating Financial Plan

To establish years 2024 to 2028

	2024	2025	2026	2027	2028
PROPOSED FUNDING SOURCES					
Roads & Traffic Safety Levy	\$ 41,905,000	\$ 47,690,000	\$ 53,911,000	\$ 60,394,000	\$ 60,997,000
Other Property Value Taxes	272,000	288,000	305,000	324,000	343,000
Revenues from Property Value Taxes	<u>42,177,000</u>	<u>47,978,000</u>	<u>54,216,000</u>	<u>60,718,000</u>	<u>61,340,000</u>
Taxation Revenues	<u>42,177,000</u>	<u>47,978,000</u>	<u>54,216,000</u>	<u>60,718,000</u>	<u>61,340,000</u>
Utilities Fees & Charges	1,057,000	1,085,000	1,106,000	1,135,000	1,165,000
Revenues from Fees	<u>1,057,000</u>	<u>1,085,000</u>	<u>1,106,000</u>	<u>1,135,000</u>	<u>1,165,000</u>
Developer Contributions	850,000	850,000	850,000	850,000	850,000
Transfers from Other Governments	7,388,000	7,500,000	7,650,000	7,803,000	7,959,000
Other Revenue	2,505,000	2,659,000	2,769,000	3,171,000	3,379,000
Revenues from Other Sources	<u>10,743,000</u>	<u>11,009,000</u>	<u>11,269,000</u>	<u>11,824,000</u>	<u>12,188,000</u>
TOTAL FUNDING SOURCES	\$ 53,977,000	\$ 60,072,000	\$ 66,591,000	\$ 73,677,000	\$ 74,693,000
PROPOSED EXPENDITURES					
Engineering Services	42,083,000	42,721,000	43,596,000	44,434,000	45,318,000
TOTAL EXPENDITURES	\$ 42,083,000	\$ 42,721,000	\$ 43,596,000	\$ 44,434,000	\$ 45,318,000
PROPOSED TRANSFERS BETWEEN CAPITAL AND OPERATING SOURCES					
Transfers To/(From) Capital Funds	21,835,000	24,594,000	27,353,000	30,615,000	30,836,000
Transfers To/(From) Reserve Funds	(65,000)	(81,000)	(99,000)	(117,000)	(136,000)
Transfers To/(From) Capital Sources	<u>\$ 21,770,000</u>	<u>\$ 24,513,000</u>	<u>\$ 27,254,000</u>	<u>\$ 30,498,000</u>	<u>\$ 30,700,000</u>
Transfers To/(From) Operating Sources	<u>\$ (9,876,000)</u>	<u>\$ (7,162,000)</u>	<u>\$ (4,259,000)</u>	<u>\$ (1,255,000)</u>	<u>\$ (1,325,000)</u>
TOTAL TRANSFERS BETWEEN SOURCES	\$ 11,894,000	\$ 17,351,000	\$ 22,995,000	\$ 29,243,000	\$ 29,375,000
BALANCED BUDGET	\$ -	\$ -	\$ -	\$ -	\$ -

CITY OF SURREY

BYLAW NO. 21219

A bylaw to provide for the adoption of the Surrey 2024 – 2028
Capital Financial Plan.

.....

WHEREAS pursuant to Section 165 of the "*Community Charter*" being Chapter 26 of the Statutes of BC 2003, as amended, the City Council is required to adopt, annually by bylaw, the five-year financial plan;

NOW, THEREFORE, the Council of the City of Surrey ENACTS AS FOLLOWS:

1. Council authorize the following:

- (a) the proposed funding sources;
- (b) the proposed expenditures; and
- (c) the proposed transfers between funds.

as set out for each year in the planning period as shown in Schedule 1 attached to this Bylaw.

2. This bylaw shall be cited for all purposes as "Surrey 2024 – 2028 Capital Financial Plan Bylaw, 2024, No. 21219".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____ MAYOR

_____ CLERK

CITY OF SURREY

Bylaw 21219

Schedule 1

Capital Financial Plan

To establish years 2024 to 2028

	2024	2025	2026	2027	2028
PROPOSED FUNDING SOURCES					
Development Cost Charges	\$ 83,009,000	\$ 90,720,000	\$ 106,926,000	\$ 109,913,000	\$ 111,049,000
Developer Contributions	122,300,000	124,350,000	125,180,000	123,200,000	122,200,000
Federal/Provincial Contribution	44,615,000	41,914,000	32,212,000	24,280,000	36,206,000
BC Growing Communities Fund	32,647,000	-	-	-	-
Transfers from Other Governments	77,262,000	41,914,000	32,212,000	24,280,000	36,206,000
TOTAL FUNDING SOURCES	\$ 282,571,000	\$ 256,984,000	\$ 264,318,000	\$ 257,393,000	\$ 269,455,000
PROPOSED EXPENDITURES					
Police Services	\$ 1,222,000	\$ 1,216,000	\$ 1,057,000	\$ 1,016,000	\$ 810,000
Fire Services	3,002,000	3,015,000	3,531,000	3,455,000	3,748,000
Parks, Recreation & Culture	20,427,000	20,644,000	20,106,000	20,539,000	28,064,000
General Government	19,861,000	18,997,000	18,480,000	18,142,000	18,166,000
Planning & Development	30,000	-	-	-	-
Surrey Public Library	2,290,000	2,128,000	2,319,000	1,865,000	1,693,000
Engineering Services	52,229,000	52,125,000	50,285,000	48,065,000	48,881,000
Water, Sewer & Drainage	53,412,000	58,916,000	66,691,000	72,184,000	77,998,000
Solid Waste	1,809,000	1,765,000	1,765,000	1,765,000	1,765,000
Surrey City Energy	2,304,000	2,768,000	2,842,000	2,869,000	3,073,000
Municipal Amortization Expenditures	156,586,000	161,574,000	167,076,000	169,900,000	184,198,000
Capital Expenditures - Contributed	100,000,000	100,000,000	100,000,000	100,000,000	100,000,000
Capital Expenditures - Current Years	376,182,000	574,939,000	341,664,000	302,036,000	329,437,000
Capital Expenditures	476,182,000	674,939,000	441,664,000	402,036,000	429,437,000
TOTAL EXPENDITURES	\$ 632,768,000	\$ 836,513,000	\$ 608,740,000	\$ 571,936,000	\$ 613,635,000
PROPOSED TRANSFERS BETWEEN CAPITAL AND OPERATING SOURCES					
Transfers To/(From) Capital Funds	(286,873,000)	(287,164,000)	(277,119,000)	(251,743,000)	(281,380,000)
Transfers To/(From) Reserve Funds	(11,824,000)	(240,865,000)	(15,803,000)	(11,300,000)	(11,300,000)
Transfers To/(From) Capital Sources	\$ (298,697,000)	\$ (528,029,000)	\$ (292,922,000)	\$ (263,043,000)	\$ (292,680,000)
Transfers To/(From) Operating Sources	(1,500,000)	(1,500,000)	(1,500,000)	(1,500,000)	(1,500,000)
Unspecified Capital Budget Authority	(50,000,000)	(50,000,000)	(50,000,000)	(50,000,000)	(50,000,000)
TOTAL TRANSFERS BETWEEN SOURCES	\$ (350,197,000)	\$ (579,529,000)	\$ (344,422,000)	\$ (314,543,000)	\$ (344,180,000)
BALANCED BUDGET	\$ -	\$ -	\$ -	\$ -	\$ -

TO: **City Clerk**

FROM: **General Manager, Finance**

DATE: **April 18, 2024** FILE: **3900-01**

RE: **Bylaw Amendments to Incorporate the Fee Increase as per the 2024 – 2028 Financial Plan**

The following bylaws representing the 2024-2028 Financial Plan are brought forward for consideration by Council:

- Surrey Building Bylaw, 2012, No. 17850, Amendment Bylaw, 2024, No. 21220;
- Business License Bylaw, 1999, No. 13680, Amendment Bylaw, 2024, No. 21221;
- Surrey Animal Responsibility Bylaw, 2017, No. 19105, Amendment Bylaw, 2024, No. 21222;
- Surrey Electrical Safety Bylaw, 2004, No. 15596, Amendment Bylaw, 2024, No. 21223;
- Surrey Fee-Setting Bylaw, 2001, No. 14577, Amendment Bylaw, 2024, No. 21224;
- Surrey Fire Service Bylaw, 1990, No. 10771, Amendment Bylaw, 2024, No. 21225;
- Highway and Traffic Bylaw, 1997, No. 13007, Amendment Bylaw 2024, No. 21226;
- Surrey Development Application Fees Bylaw, 2016, No. 18641, Amendment Bylaw, 2024, No. 21227;
- Surrey Plumbing Bylaw, 1981, No. 6569, Amendment Bylaw, 2024, No. 21228;
- Surrey Subdivision and Development Bylaw, 1986, No. 8830, Amendment Bylaw, 2024, No. 21229;
- Surrey Tree Protection Bylaw, 2006, No. 16100, Amendment Bylaw 2024, No. 21230;
- Surrey Fireworks Regulation Bylaw, 1974, No. 4200, Amendment Bylaw, 2024, No. 21231;
- Surrey Secondary Suite Service Fee Bylaw, 2011, No. 17356, Amendment Bylaw, 2024, No. 21232;
- Surrey Vehicles for Hire Bylaw, 1999, No. 13610, Amendment Bylaw, 2024, No. 21233;
- Surrey Mobile Homes and Trailer Regulation and Control By-law, 1980, No. 6142, Amendment Bylaw, 2024, No. 21234;
- 2024 Revenue Anticipation Bylaw, 2024, No. 21235; and
- Surrey Parks, Recreation and Culture Fee-Setting By-law, 2004, No. 15391, Amendment Bylaw 2024, No. 21236.

These bylaw amendments will incorporate the 2024 fee increases, along with other minor housekeeping amendments, that will assist in generating revenues as per Council's direction in the 2024 - 2028 Financial Plan.

Attached for reference are the cited bylaws.

A handwritten signature in blue ink, appearing to be 'Kam Grewal', written over a horizontal line.

Kam Grewal
CFO/General Manager, Finance

Attachments

- c.c. - City Manager
- Director, Finance
- Manager, Financial Reporting
- City Solicitor

CITY OF SURREY

BYLAW NO. 21220

A bylaw to amend the provisions of "Surrey Building
Bylaw, 2012, No. 17850", as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Building Bylaw, 2012, No. 17850", as amended is hereby further amended as follows:
 - (a) Delete Schedule "A" and replace with a new Schedule "A", attached to this Bylaw.
2. This Bylaw shall be cited for all purposes as "Surrey Building Bylaw, 2012, No. 17850, Amendment Bylaw, 2024, No. 21220".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

Schedule "A"
"Surrey Building Bylaw, 2012, No. 17850"
 (All fees are subject to applicable taxes)

A. Building Fees

<u>1. Building Permits</u>	
Before receiving a building permit for any building or structure, the owner shall pay to the City the following fee:	
(a) Minimum permit fee for the first \$1,000 of building value for other than tenant improvement permits	\$61.00
(b) Minimum permit fee for commercial and industrial tenant improvement permits for the first \$1,000 of building value	\$219.00
(c) For each subsequent \$1,000 of building value or portion thereof over \$1,000 and up to a value of \$200,000	\$13.52
(d) For each subsequent \$1,000 of building value or portion thereof over \$200,000 and up to a value of \$500,000	\$11.14
(e) For each subsequent \$1,000 of building value or portion thereof over \$500,000	\$10.11
<u>2. Ancillary Permits and Services</u>	
(a) For site visit, inquiry or feasibility study prior to the moving of a building or structure	\$212.00
(b) For demolishing a building or structure	\$570.00
(c) For the erection of any auxiliary space heating appliances and appurtenances or chimney	\$113.00
(d) For transfer of a building permit owner or builder	\$182.00

<p>(e) Where a permit has been issued and the owner desires to make changes to the drawings.</p> <p>Where the permit application information and supporting plans are inadequate. Supporting plans will be deemed inadequate when there are substantial deficiencies, errors and/or omissions in the submitted documents/plans.</p>	<p>\$316.00 per hour (one hour minimum)</p> <p>\$316.00 per hour (one hour minimum)</p>
(f) For review of alternative solution reports	\$642.00
(g) Extension of building permits	\$342.00
(h) Replacement of building permit drawings (Plans 24' x 36") Large plotter	\$21.56 per sheet
(i) Other Plans/Drawing Records – obtained from microfiche or Laserfiche	
(i) Photocopies (letter, legal)	\$0.29
(ii) Photocopies (tabloid)	\$4.52
(j) Comfort Letters	
(i) Residential	\$285.00
(ii) Multi-residential/Commercial/Industrial Base	\$570.00
(iii) Per Unit (Additional)	\$182.00
(iv) Others (i.e., Environmental)	\$248.00
(k) Building Records research	
(i) Search Plans/Drawings (Commercial/Industrial/Multi-family) - Flat fee	\$43.00
(ii) Copy of Building Permit (Includes Issuance Date) – per unit	\$26.00
(iii) Square footage of building – per unit	\$26.00
(iv) Final occupancy date – per unit	\$26.00
(v) Copy of Survey Certificate – per unit	\$26.00

(vi) Oil/Gas/Septic tank – per unit	\$26.00
(vii) Inspection Notes – per unit	\$26.00
(l) Plans Requests for Multiple/residential/Commercial/Industrial/USB/MFT	\$323.00
(m) Plans Request for Single family Dwelling - USB/MFT	\$161.00
(n) Strata Conversions	\$1,042.00
(o) Permit Fee – Tent: For Event tents larger than 20' x 20' (400 square feet)	\$181.00
(p) Permit Fee – Solar Panel	\$181.00
(q) Revision prior to issuance of permit (single family and duplex buildings): New drawings submitted when Permit is “ready for issuance” (or issued): a) Where only 35% of the estimated Building Permit Fees have been paid. b) If new Drawings are submitted, a new Building Permit fee estimate will be calculated. c) Where the full amount of the estimated Building Permit Fee has been paid.	\$182.00 15% of the total permit fees owing on the “ready for issuance” permit will be collected. Minimum 35% of this amount will be required as payment, prior to review. A credit of 50% of the amount will be credited towards the estimated amount owing for issuance of a new Building Permit.

d) Where a permit application is cancelled, the 35% fee is non-refundable.	The required minimum payment will be 35% of the net amount owing after the credit has been applied.
(r) "Minor building field design/construction revisions"	\$63.00

B. Fee Reduction Pursuant to Subsection 290(3) of the *Local Government Act*, R.S.B.C. 1996, c. 323, as amended

Building permit fees will be divided into two portions, plan review for 35% of the estimated building permit fees and attendance charges for 65% of the estimated building permit fees. Where one or more letters of assurance from a registered professional are required, the plan review portion is to be reduced by 10% to a maximum deduction of \$500.00.

C. Site Visit Fees

1. <u>Site Visit Requests</u> Where an owner applicant requests a building review not provided for in the fee schedule, or a site visit is required to assess the status of a property, the fee shall be:	
(a) during normal working hours	\$228.00 per hour (one hour minimum)
(b) after hours during which the offices of the City hall are normally open, the fee, in addition to other required fees, to be based on the time actually spent in making such site visit, including travelling time	\$793.00 plus \$228.00 per hour for each hour or part thereof beyond the first four hours
2. <u>Site Re-Visit Requests</u> (a) A site re-visit fee will be imposed whenever a building review was called for and the work to be reviewed was not ready for building review. Building reviews not ready shall be deemed to include any review called for where the work to be reviewed was not complete or where there was a substantial number of deficiencies which indicated that the work was not checked over prior to calling for review	\$228.00

(b) For second and further site visit subsequent to a site re-visit in paragraph (a)	\$228.00 per site visit
3. <u>Community Care Facilities</u>	\$148.00
4. <u>Site Visit to Determine Compliance</u> Where non-compliance with this Bylaw or any orders or notices issued under this Bylaw is detected at a site by the Building Official, By-law Enforcement Officer, and/or a City employee responsible for site visits under this Bylaw, a site visit fee will be imposed on the owner for visits by the Building Official, By-law Enforcement Officer, and/or City employee to a site to assess compliance with this Bylaw or any orders or notices issued under this Bylaw. This fee will be imposed regardless of whether the site visit was requested by the owner.	\$228.00 per site visit

D. Refunds

Where a building permit or application is cancelled, a refund on permit fees will be issued on the following basis:

1. Where a permit has been applied for, but not issued and the plans have been reviewed:	65%
2. Where a permit has been issued, but where construction has not started:	50%

CITY OF SURREY

BYLAW NO. 21221

A bylaw to amend the provisions of "Business License By-law, 1999, No. 13680", as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Business License By-law, 1999, No. 13680", as amended is hereby further amended as follows:
 - (a) Delete Schedule "A" and replace with a new Schedule "A", attached to this Bylaw.
 - (b) Delete Section 22 in its entirety and replace with the following:

“If an applicant for a business license who has paid a license fee in accordance with Schedule “A” requests a refund of the fee before the business license has been issued, then the City will retain 50% of the fee so paid to a maximum of \$200 plus applicable taxes and the balance paid will be refunded to the applicant provided that the City has made no inspection with respect to the business license application. If the City has made an inspection with respect to the business license application, then the City will retain 50% of the fee paid to a maximum of \$438.00 plus applicable taxes and the balance paid will be refunded to the applicant.”
2. This Bylaw shall be cited for all purposes as "Business License By-law, 1999, No. 13680, Amendment Bylaw, 2024, No. 21221".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____ MAYOR

_____ CLERK

Schedule "A"

Category	Fee
Acupuncture	\$255.00 per year
Acupressure	\$255.00 per year
Administration Office	\$255.00 per year
Adult Entertainment Store	\$5,461.00 per year
Advertising	\$255.00 per year
Alcohol and Drug Recovery House	\$1,013.00 per year
Animal Sitting	\$255.00 per year
Apartment Building/Townhouse Rental	\$72.00 per year for each dwelling
Arcade	\$5,461.00 per year
Auction/Auctioneer	\$449.00 per year
Auto Body/Painting	\$414.00 per year
Automated Teller Machine	\$275.00 per year for each machine
Automobile Cleaning/Car Wash/Detailing	\$275.00 per year
Automobile Dealer/Rebuilder	\$640.00 per year
Automobile Wrecker	\$1,377.00 per year
Automobile/Truck Rental	\$457.00 per year
Automotive Repair Service	\$414.00 per year
Bakery	\$295.00 per year
Bankruptcy Trustee	\$357.00 per year
Bank	\$1,458.00 per year
Bed and Breakfast	\$137.00 per year
Boat Building/Sales/Service/Rental/Marina	\$328.00 per year
Body Rub Parlour/Body Painting Studio	\$5,461.00 per year
Bookkeeping	\$255.00 per year
Bowling Alley	\$1,112.00 per year
Bus Service	\$357.00 per year
Business School	\$241.00 per year

Schedule "A"

Category	Fee
Business Services Office	\$255.00 per year
Carnival	\$45.00 per day for each device or game
Casino	\$5,461.00 per year (plus \$64.00 per machine)
Cat Boarding	\$255.00 per year
Caterer	\$255.00 per year
Catering/Coffee Truck	\$255.00 per year
Cemetery	\$1,810.00 per year (plus \$17.00 per hectare)
Charitable Society/Organization	\$1.00 per year
Cheque Cashing Centre	\$358.00 per year
Christmas Tree Sales	\$117.00 per season
Circus	\$278.00 per day
Collection Agent	\$358.00 per year
Commercial Kennel	\$550.00 per year
Computer Consulting/Repair/Design	\$255.00 per year (plus \$35.00 per employee)
Concession Stand	\$339.00 per year for each stand
Construction Management	\$255.00 per year (plus \$35.00 per employee)
Consultant	\$255.00 per year (plus \$35.00 per employee)
Contractor - Alarm Installation	\$358.00 per year
Contractor - Demolition	\$358.00 per year
Contractor - Electrical	\$358.00 per year
Contractor - Fire Protection	\$358.00 per year
Contractor - General	\$358.00 per year
Contractor - Landscaping/Excavating	\$358.00 per year
Contractor - Masonry/Drywall	\$358.00 per year
Contractor - Miscellaneous	\$358.00 per year
Contractor - Painting	\$358.00 per year
Contractor - Paving	\$358.00 per year

Schedule "A"

Category	Fee
Contractor - Plumbing/Heating/Mechanical	\$358.00 per year
Contractor - Roofing/Insulation	\$358.00 per year
Contractor - Sewer/Septic	\$358.00 per year
Contractor - With Storage	\$358.00 per year (plus \$29.00 for each 100m ² over 2,000m ² not including customer parking areas)
Counselling Service	\$255.00 per year
Courier Service	\$182.00 per year
Currency Exchange	\$358.00 per year
Customs Broker	\$392.00 per year (plus \$35.00 per employee)
Dating Service	\$5,461.00 per year
Dental Lab	\$392.00 per year
Denture Clinic	\$392.00 per year
Desktop Publishing	\$255.00 per year (plus \$35.00 per employee)
Discotheque/Dancehall	\$5,461.00 per year
Dog Grooming	\$352.00 per year
Drafting/Design Service	\$255.00 per year (plus \$35.00 per employee)
Dressmaker	\$117.00 per year
Driving School	\$241.00 per year
Dry Cleaner/Laundry	\$183.00 per year
Education Service (assessment, etc.)	\$255.00 per year (plus \$35.00 per employee)
Employment Agency/Recruiting Service	\$255.00 per year (plus \$35.00 per employee)
Employment Consultant	\$255.00 per year (plus \$35.00 per employee)
Esthetician	\$144.00 per year
Farm Produce Sales	\$358.00 per year
Fashion Design	\$255.00 per year (plus \$35.00 per employee)
Financial Agent	\$824.00 per year
Financial Planning/Consultant	\$255.00 per year (plus \$35.00 per employee)
Fireworks Vendor	\$474.00 per year

Schedule "A"

Category	Fee
Fitness Personal Trainer	\$255.00 per year (plus \$35.00 per employee)
Flea Market	\$352.00 per year
Funeral Parlour	\$471.00 per year
Gas Station	\$739.00 per year
General Business Office	\$255.00 per year (plus \$35.00 per employee)
Glass Installation/Sales	\$358.00 per year
Golf Course, Driving Ranges, Par 3 Courses	\$339.00 per year
Hairdressing Salon/Hair Stylist	\$145.00 per year (plus \$73.00 for each chair over one)
Health Care Consultant	\$255.00 per year (plus \$35.00 per employee)
Hobby Kennel - 3 Dogs	\$139.00 per year
Hobby Kennel - 4 to 6 Dogs	\$275.00 per year
Holistic Health Care	\$392.00 per year
Home Crafts	\$117.00 per year
Horse Racing	\$405.00 per day
Hotel/Motel/Rooming House	\$21.00 per year for each room
Ice Cream Vendor	\$328.00 per year
Immigration Consultant	\$255.00 per year (plus \$35.00 per employee)
Import/Export	\$241.00 per year
Income Tax Service	\$255.00 per year
Insurance Adjuster	\$295.00 per year
Insurance Agent	\$255.00 per year (plus \$35.00 per employee)
Interior Decorating/Design	\$255.00 per year (plus \$35.00 per employee)
Internet Services	\$255.00 per year (plus \$35.00 per employee)
Investment Consultant	\$255.00 per year (plus \$35.00 per employee)
Janitorial Service	\$218.00 per year
Land Development	\$358.00 per year
Laundromat	\$550.00 per year

Schedule "A"

Category	Fee
Licensed Premises (Food Primary)	\$459.00 per year
Licensed Premises (Food Primary with Lounge)	\$913.00 per year
Licensed Premises (Liquor Primary Club)	\$2,746.00 per year
Licensed Premises (Liquor Primary)	\$2,746.00 per year
Licensed Premises (Liquor Primary – Cabaret)	\$5,461.00 per year
Licensed Premises (Liquor Primary – Stadium)	\$5,461.00 per year
Licensee Retail Store	\$913.00 per year
Limousine Service	\$183.00 per year (plus \$95.00 per vehicle)
Locksmith	\$358.00 per year
Lumber Yard/Building Material Yard	\$474.00 per year (plus \$28.00 per 100m ² over 2000m ² not including customer parking areas)
Machinery/Heavy Equipment Dealer	\$474.00 per year
Mail Drop Service	\$255.00 per year
Mail Order	\$255.00 per year
Manufacturer's Agent	\$241.00 per year
Manufacturer/Machine Shop	\$348.00 per year (plus \$9.00 per employee)
Massage Therapist (RMT)	\$392.00 per year
Media/Public Relations	\$255.00 per year (plus \$35.00 per employee)
Mediation Services	\$255.00 per year (plus \$35.00 per employee)
Medical Laboratory	\$457.00 per year
Methadone Dispensary	\$5,461.00 per year
Miscellaneous	\$358.00 per year
Mobile Home Park	\$72.00 per year for each unit
Model Studio	\$3,527.00 per year
Nursery	\$358.00 per year
Parking Lot Enforcement (Automobile Immobilizing)	\$495.00 per year

Schedule "A"

Category	Fee
Parking Lot	\$358.00 per year
Party/Wedding Consultant	\$255.00 per year (plus \$35.00 per employee)
Pawnbroker	\$5,461.00 per year
Pedlar	\$328.00 per year
Pepper Spray Vendor	\$459.00 per year
Petroleum Product Distributor	\$586.00 per year
Photographer/Videographer	\$241.00 per year
Planning Consultant	\$255.00 per year (plus \$35.00 per employee)
Portable Food Vendor	\$137.00 per year
Post Box Rental Agency	\$241.00 per year
Printer/Publisher	\$241.00 per year
Private Investigators	\$358.00 per year
Professional Practitioner - Accountant	\$546.00 per year (plus \$35.00 per employee)
Professional Practitioner - Architect	\$546.00 per year (plus \$35.00 per employee)
Professional Practitioner - Chiropractor	\$546.00 per year (plus \$35.00 per employee)
Professional Practitioner - Dentist	\$546.00 per year (plus \$35.00 per employee)
Professional Practitioner - Engineer	\$546.00 per year (plus \$35.00 per employee)
Professional Practitioner - Land Surveyor	\$546.00 per year (plus \$35.00 per employee)
Professional Practitioner - Lawyer	\$546.00 per year (plus \$35.00 per employee)
Professional Practitioner - Doctor	\$546.00 per year (plus \$35.00 per employee)
Professional Practitioner - Notary	\$546.00 per year (plus \$35.00 per employee)
Professional Practitioner - Optometrist	\$546.00 per year (plus \$35.00 per employee)
Professional Practitioner - Part Time	\$182.00 per year
Professional Practitioner - Psychiatrist/Psychologist	\$546.00 per year (plus \$35.00 per employee)
Professional Practitioner - Veterinarian	\$546.00 per year (plus \$35.00 per employee)
Professional Sports	\$117.00 per year
Project Management	\$255.00 per year (plus \$35.00 per employee)

Schedule "A"

Category	Fee
Property Management	\$255.00 per year (plus \$35.00 per employee)
Public Utility Company	\$1,810.00 per year
Real Estate Agent - 0-5 Employees	\$182.00 per year
Real Estate Agent - 6-10 Employees	\$417.00 per year
Real Estate Agent - 11-15 Employees	\$704.00 per year
Real Estate Agent - 16-25 Employees	\$913.00 per year
Real Estate Agent - 26-50 Employees	\$1,263.00 per year
Real Estate Agent - 51-100 Employees	\$1,685.00 per year
Real Estate Agent - 100+ Employees	\$1,685.00 per year (plus \$344.00 for each 50 employees over 100 employees)
Real Estate Appraisal Service/Building Inspector	\$358.00 per year
Recreational Facility	\$339.00 per year
Recycling Depot	\$457.00 per year
Recycling Plant	\$913.00 per year
Reflexology	\$376.00 per year
Rental Service	\$241.00 per year
Repair Service	\$241.00 per year
Restaurant	\$137.00 per year (plus \$4.50 per seat)
Retail Merchant (0-2 Employees)	\$358.00 per year
Retail Merchant (3-5 Employees)	\$358.00 per year (plus \$35.00 per cash register)
Retail Merchant (6-9 Employees)	\$358.00 per year (plus \$85.00 per cash register)
Retail Merchant (10-19 Employees)	\$358.00 per year (plus \$115.00 per cash register)
Retail Merchant (20 or More Employees)	\$358.00 per year (plus \$145.00 per cash register)
Sales/Marketing Office	\$255.00 per year (plus \$35.00 per employee)
Salvage Yard	\$1,372.00 per year
Scrap Dealer	\$358.00 per year
Secondhand Dealer	\$5,461.00 per year
Security Consultant	\$255.00 per year (plus \$35.00 per employee)

Schedule "A"

Category	Fee
Security Service	\$438.00 per year
Seminar	\$91.00 per day
Sharpening Service	\$117.00 per year
Shiatsu Massage	\$392.00 per year
Ship Agency/Chandler	\$255.00 per year (plus \$35.00 per employee)
Sign Painter/Manufacturer/Installation	\$358.00 per year
Social Club	\$255.00 per year
Social Escort Service	\$5,461.00 per year
Software Design/Consultant	\$255.00 per year (plus \$35.00 per employee)
Student Venture Program	\$20.00 per year
Tailor	\$183.00 per year
Tanning Salon	\$437.00 per year
Tattoo Parlour	\$220.00 per year
Taxi Service	\$183.00 per year (plus \$0 per wheelchair accessible vehicle plus \$33.00 per zero emissions vehicle plus \$164.00 per any other vehicle)
Taxidermist	\$241.00 per year
Telemarketing Office	\$255.00 per year (plus \$35.00 per employee)
Theatre	\$241.00 per year (plus \$3.00 per seat)
Theatre 2	\$5,461.00 per year
Theatre - Drive-in	\$241.00 per year (plus \$7.00 per parking space)
Tour Consultant/Operator	\$255.00 per year (plus \$35.00 per employee)
Tourist Trailer Parks/Campsites	\$255.00 per year (plus \$35.00 per space)
Towing with No Storage	\$457.00 per year
Towing with Storage	\$913.00 per year
Trade School	\$241.00 per year
Traffic Control	\$275.00 per year
Travel Agency	\$255.00 per year (plus \$35.00 per employee)
Trucking & Cartage - one vehicle only	\$182.00 per year

Schedule "A"

Category	Fee
Trucking & Cartage - multiple vehicles	\$358.00 per year
Truck Parking	\$913.00 per year
Tutoring	\$137.00 per year
U-brew/U-vin Premises	\$352.00 per year
Upholstery	\$241.00 per year
Vending Machine/Pinball Machine	\$39.00 per year for each machine
Warehouse	\$339.00 per year
Welding	\$358.00 per year
Wholesale Dealer	\$339.00 per year (plus \$9.00 per employee)

All fees are subject to applicable taxes.

CITY OF SURREY

BYLAW NO. 21222

A bylaw to amend the provisions of "Surrey Animal
Responsibility Bylaw, 2017, No. 19105", as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Animal Responsibility Bylaw, 2017, No. 19105", as amended is hereby further amended as follows:
 - (a) Delete Schedule "B" and replace with a new Schedule "B", attached to this Bylaw;
and
 - (b) Delete Schedule "C" and replace with a new Schedule "C", attached to this Bylaw.
2. This Bylaw shall be cited for all purposes as "Surrey Animal Responsibility Bylaw, 2017, No. 19105, Amendment Bylaw, 2024, No. 21222".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

Schedule "B"

LICENCING:

Dogs

- a) Neutered male or Spayed female - \$55.00
- b) Other than (1) above - \$86.00
- c) Guard Dog/Aggressive Dog - \$165.00
- d) Vicious Dog - \$249.00
- e) Dangerous Dog - \$622.00
- f) Guide Dog/Service Dog - \$0.00
- g) Police Services Dog - \$0.00
- h) New licences issued from August 31 to December 31 of any given year shall be subject to a fee equal to 50% of the above noted fees. This does not apply to renewals, Guard, Aggressive, Vicious or Dangerous Dogs or to Dogs eligible to be licensed prior to August 31.
- i) Persons over the age of 65 shall be subject to a fee equal to 50% of the above noted fees.
- j) Replacement of licence - \$7.00

Schedule "C"

IMPOUNDMENT (Release to Owner):

DOGS

- 1) Unlicensed - \$143.00
- 2) Licensed
 - a. Spayed or Neutered - \$40.00
 - b. Not Spayed or Neutered - \$59.00
 - c. Aggressive or Guard Dog - \$374.00
 - d. Vicious Dog - \$622.00
 - e. Dangerous Dog - \$1,243.00
 - f. A Dog where it has caused injury while Running at Large - \$1,243.00
 - g. Dangerous Dog where it has caused injury while Running at Large - \$6,207.00

CATS AND OTHER SMALL ANIMALS

- 1) Cats
 - a. Spayed or Neutered - \$18.00
 - b. Not Spayed or Neutered - \$64.00
- 2) Other Small Domestic Animals - \$13.00

LIVESTOCK

- 1) Stallion or bull - \$622.00
- 2) Horse or cows - \$238.00
- 3) Goat or sheep - \$64.00
- 4) Rabbit, goose, chicken or other fowl - \$13.00
- 5) In addition to these fees the Owner(s) of the Animal(s) shall be liable for any hauling fees incurred by the Animal Shelter Manager and any other extraordinary costs, due and payable upon reclamation.

ADOPTION OF ANIMALS

- 1) Puppy (up to and including 1 year of age) - \$400.00
- 2) Dog (over 1 year up to and including 7 years of age) - \$340.00 (plus license fee if applicable)
- 3) Dog (over 8 years of age) - \$115.00 (plus license fee if applicable)
- 4) Kitten (up to and including 5 months of age) - \$257.00
- 5) Cat (6 months and up to and including 7 years of age) - \$230.00
- 6) Cat (over 8 years of age) - \$115.00
- 7) Small Animals - \$11.00 - \$55.00

BOARDING OF ANIMALS:

Rate per Day

- 1) Cat - \$18.00
- 2) Dog - \$23.00
- 3) Stallion, horse, mule, ass, boar, billy goat, ram, goat, sheep, swine, bull, cow or other bovine Animal - \$19.00
- 4) For each rabbit, goose, chicken or other fowl - \$7.00
- 5) For Animals other than those listed above - \$13.00

EUTHANASIA

- 1) 0 - 20 lbs - \$143.00
- 2) 21 - 50 lbs - \$198.00
- 3) 51 - 100+ lbs - \$254.00

CREMATION SERVICES

General Cremations - no ashes returned

- 1) 0 - 20 lbs - \$64.00
- 2) 21 - 50 lbs - \$94.00
- 3) 51 - 75 lbs - \$126.00
- 4) 76 - 100 lbs - \$157.00
- 5) 101 + lbs - \$187.00

Animal Pick Up Fee \$64.00 per pick up

Private Cremations

- 1) Charged at actual cost to the City

CITY OF SURREY

BYLAW NO. 21223

A bylaw to amend the provisions of "Surrey Electrical Safety By-law, 2004, No. 15596", as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Electrical Safety By-law, 2004, No. 15596" as amended is hereby further amended as follows:
 - (a) Delete Schedule "B" and replace with a new Schedule "B" attached to this Bylaw.
2. This Bylaw shall be cited for all purposes as "Surrey Electrical Safety By-law, 2004, No. 15596, Amendment Bylaw, 2024, No. 21223".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

ELECTRICAL PERMIT FEES

Installation Permits

1. For new Single-Family Dwellings and new Duplexes the low voltage electrical permit fee shall equal **18%** of the **building permit fee** as calculated and payable in accordance with Surrey Building Bylaw, 2012, No. 17850, as may be amended or replaced from time to time.

For the purposes of this Schedule, the terms "Single Family Dwelling" and "Duplex" shall have the meanings ascribed to them in Surrey Zoning Bylaw, 1993, No. 12000, as may be amended or replaced from time to time.

2. Installation Permit Fees for electrical permits not included in Item 1 above are based on the value of the electrical installation, including all material and labour and fees for design, testing, consulting, and monetary worth of contributed labour and materials. The Marshall Swift valuation service may be used to establish the value of an electrical installation.
3. The City may cancel an application for a permit, and the fees paid in support of the application will be forfeited, if the permit cannot be issued within 180 days from the date of notification to the applicant, by the City, regarding deficiencies with the permit application.

Permit fees for homeowner permits are based on a deemed installation value of three times the cost of materials.

Value of Electrical Installation	Fee
\$0 - \$1,000	\$ 167.00
\$1,001 - \$5,000	\$ 220.00 plus \$65.57 per \$1,000 (or part thereof over \$1,000)
\$5,001 - \$50,000	\$ 553.00 plus \$36.32 per \$1,000 (or part thereof over \$5,000)
\$50,001 - \$100,000	\$2,226.00 plus \$21.67 per \$1,000 (or part thereof over \$50,000)
\$100,001 - \$500,000	\$3,337.00 plus \$17.48 per \$1,000 (or part thereof over \$100,000)
\$500,001 - \$1,000,000	\$10,344.00 plus \$10.00 per \$1,000 (or part thereof over \$500,000)
\$1,000,001 - and over	\$15,419.00 plus \$6.81 per \$1,000 (or part thereof over \$1,000,000)

Electrical Permit fees will be divided into two (2) portions. Ten (10%) percent of the estimated Electrical Permit Fee will be deemed applicable to plan checking and ninety (90%) percent of the estimated Electrical Permit fee will be deemed applicable to inspection charges.

Description of Permit or Service	Fee
1. The fee for the Extension of a regular permit shall be	\$ 108.00
2. The fee for Compliance Re-attendance	
(a) On any portion of the work the permit holder shall be entitled to one site re-visit.	
(b) A Site Re-visit fee will be imposed whenever a Site Visit was requested, and the work was not completed for review.	
Normal Hours:	\$ 228.00 (1 hour minimum)
After hours during which the offices of the City Hall are normally open, the fee, in addition to other required fees, to be based on the time actually spent in making such inspection, including travelling time:	\$ 793.00 plus \$228.00 (after 4 hours)
(c) For second and further site re-visits subsequent to a site re-visit of paragraph (b).	\$ 228.00 (1 hour minimum)
3. Temporary Entertainment Permits	
(a) The fee for a temporary entertainment permit (carnival, movie set, etc. either initially or as a renewal shall be	\$ 136.00

Description of Permit or Service	Fee
4. Operating Permits Fees for operating permits shall be annually:	
(a) for a commercial or industrial installation	
i. per KVA of service capacity adjusted to	\$ 0.41
ii. minimum fee	\$ 158.00
iii. maximum fee	\$ 4,268.00
(b) for educational facility installation	
i. for each classroom, shop, laboratory, gymnasium, auditorium	\$ 4.13
ii. minimum fee	\$ 149.00
iii. maximum fee	\$ 4,194.00
(c) for entertainment equipment set-up	
i. for each set-up location	\$ 136.00
ii. minimum fee	\$ 461.00
5. Survey Permits	
(a) The fee for a survey of single or duplex dwellings.	\$ 114.00 [one hour minimum]
(b) The fee for a survey of commercial or industrial premises	\$ 174.00 [one hour minimum]
6. Site Visit	
Where an applicant wishes a site visit not provided for in the fee schedule, the fee shall be:	
(a) during normal working hours	\$ 114.00 [one hour minimum]
(b) After hours during which the offices of the City Hall are normally open, the fee, in addition to other required fees, to be based on the time actually spent in making such inspection, including travelling time.	\$793.00 plus \$228.00 per hour for each hour or part thereof beyond 4 hours

All fees are subject to applicable taxes.

CITY OF SURREY

BYLAW NO. 21224

A bylaw to amend the provisions of "Surrey Fee-Setting
By-law, 2001, No. 14577", as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Fee-Setting By-law, 2001, No. 14577", as amended, is hereby further amended as follows:
 - (a) Delete Section 1 in its entirety and replace with the following:
"Pursuant to Section 41.1 of the "Liquor Control and Licensing Act" there is hereby levied a fee of \$155.00 for all Designated Food Area applications.";
 - (b) Delete Schedule A and replace with a new Schedule A, attached to this Bylaw;
 - (c) Delete Schedule B and replace with a new Schedule B, attached to this Bylaw;
 - (d) Delete Schedule C and replace with a new Schedule C, attached to this Bylaw;
 - (e) Delete Schedule D and replace with a new Schedule D, attached to this Bylaw;
 - (f) Delete Schedule E and replace with a new Schedule E, attached to this Bylaw;
 - (g) Delete Schedule F and replace with a new Schedule F, attached to this Bylaw;
 - (h) Delete Schedule G and replace with a new Schedule G, attached to this Bylaw;
 - (i) Delete Schedule H and replace with a new Schedule H, attached to this Bylaw;
 - (j) Delete Schedule I and replace with a new Schedule I, attached to this Bylaw;
 - (k) Delete Schedule J and replace with a new Schedule J, attached to this Bylaw;
 - (l) Delete Schedule K and replace with a new Schedule K, attached to this Bylaw;
 - (m) Delete Schedule L and replace with a new Schedule L, attached to this Bylaw;
 - (n) Delete Schedule N and replace with a new Schedule N, attached to this Bylaw.
2. This Bylaw shall be cited for all purposes as "Surrey Fee-Setting By-law, 2001, No. 14577, Amendment Bylaw, 2024, No. 21224".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

Schedule A

Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for administrative services as follows:

<u>Services Provided</u>	<u>Fee</u>
1. Photocopying/Printing (except as other specified bylaw)	
Black and White	\$ 0.50 per page
Colour	\$ 0.75 per page
2. Zoning Bylaw	\$ 61.50 per bylaw
3. Official Community Plan Bylaw:	
Complete Bylaw	\$ 136.50 per bylaw
Schedule A - Land Use Designation Map	\$ 20.00 per schedule
4. Researching historical documentation	\$ 49.50 per hour (minimum)
5. Annual Financial Report	\$ 44.50 per copy
6. Annual 5-Year Financial Plan	\$ 155.00 per copy
7. Returned payments	\$ 32.00 per returned payment
8. Finance Administrative Fee – Accounts receivable invoices	5% of Invoice Amount (before applicable taxes) Minimum \$22.00 Maximum \$59.00
9. Engineering Administrative Fee	6% of Invoice Amount (before applicable taxes)
10. Fire Administrative Fee – Accounts receivable invoice for Cost Recoveries	10% of invoice Amount (before applicable taxes) – Minimum: \$ 56.00 for Invoices under \$2,100; \$ 338.00 for Invoices over \$2,100
11. Deleted.	
12. Researching historical tax information	\$ 49.50 per hour (minimum)
13. Refunds or fund transfers between properties	\$ 25.00 per property transfer
14. Refund, transfer or swap of securities	\$ 50.00 per security
15. Apportionment of taxable values where property has been subdivided after Land Title Office filing date.	\$ 29.50 per new lot
16. Electronic Multiple property payment lists	\$ 12.50 per property roll

	<u>Services Provided</u>	<u>Fee</u>
17.	Hard Copy Multiple property payment lists	\$ 15.50 per property roll
18.	Tax Certificates to non-property owners	
	- Electronic	\$ 41.75 per property
	- Manual	\$ 44.75 per property
19.	Registration and removal of liens on tax sale properties as charged by the Land Title Office	\$ 109.44 per property
20.	Ownership transfer on tax sale properties as per the Land Title Office	\$ 78.17 per property
21.	Property Information to non-property owners including but not limited to:	
	a. Roll Number	\$ 3.50 per property request
	b. Legal Description	
	c. Tax Levy	
	d. Assessed Value	
	e. Mill Rates	
22.	Consultant Reports	\$ 56.00 per report
23.	Noise Extension Application Pursuant to Section C .3. of the Surrey Noise Control	\$ 94.00 per application
24.	Liquor License Temporary Change to Hours of Operation	\$ 68.00 per application
25.	Deposit research fee	\$ 308.75 per deposit
26.	Electrical Administrative fee	\$ 39.00 per amendment
27.	Plumbing Administrative fee	\$ 39.00 per amendment
28.	Tree and Landscaping Administrative fee	\$ 39.00 per amendment
29.	Merchant Fee Recovery on Credit Card Transactions (including, fees, charges, and deposits)	1.75%
	- This fee is non-refundable	of the entire transaction amount
30.	P15 Admin fee - Habitat Monitoring and Maintenance	\$ 2,735.00 per application

All fees are subject to applicable taxes.

Schedule B
Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for police services provided as follows:

<u>Services Provided</u>		<u>Fee</u>
1. Request for Information:		
Thefts, B&E's, MVA's Witness	\$ 75.10	Per incident
Statements	\$ 37.85	Per statement
2. MV 104's - ICBC	\$ 75.10	Per incident
3. Criminal Records Search Addition	\$ 91.10	Per application
Fingerprints Sets	\$ 17.10	Per fingerprint set
4. Chauffeur's Permit	\$ 91.10	Per application
5. Security Company Personnel Indices Checks	\$ 91.10	Per individual Application
6. Mechanical Inspections	\$ 323.45	Per vehicle Inspection
7. Measurements	\$ 57.55	Per accident scene
8. Plan Drawing	\$ 75.10	Per incident
9. Field Diagrams	\$ 75.10	Per incident
10. Photographs - Colour Laser	\$ 4.05	Per photograph
11. Court Order of Photocopying file	\$ 75.10	Per file
Photocopy Fee exceeding 50 pages	\$ 2.20	Per page
12. Full Traffic Analyst Report Preliminary	\$ 1,147.05	Per incident
Analyst Report	\$ 293.20	Per incident
13. File Research	\$ 75.10	Per hour minimu
14. Photo DVD	\$ 77.80	Per DVD
15. Crash Data Retrieval Report (ICBC) Crash	\$ 75.10	Per incident
16. Data Retrieval Report (Non-ICBC)	\$ 287.60	Per incident

All fees are subject to applicable taxes.

Descriptions of the police services are more particularly described as:

MV 6020 – ICBC

Accident reports requested by ICBC.

Criminal Records Search

Provide complete background check of local, national and North American records. This fee will apply to everyone except volunteers.

Volunteer Criminal Records Search

Provide complete background check of local, national and North American records. This fee will apply to all volunteers except Surrey-based volunteers and volunteering GVRD-based organizations.

Chauffeur's Permit

Provide a driving record check and criminal record check.

Mechanical Inspection

RCMP requires a mechanical inspection report in serious motor vehicle accidents. A certified mechanic's report is required to ascertain whether an accident was caused by human source and/or mechanical problems.

Measurements

Accident scene measurements required in serious motor vehicle accidents.

Plan Drawing

Traffic analysts provide an overview of an accident via field drawings, sketches, etc.

Analyst Report

Traffic analyst report is a certified report of the accident.

Photographs

Photographs of accident scenes, break and enters, wilful damage, property damage, etc.

File Research

Time spent to examine and investigate material.

Crash Data Retrieval Report

Report based on the data extracted from a vehicle's black box.

Schedule C
Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Real Estate Division services provided as follows:

	<u>Services Provided</u>		<u>Fee</u>
1.	Road Closure	\$9,800.00	Per closure
2.	Habitat Replacement on City Lands	\$5,800.00	Per application

All fees are subject to applicable taxes.

Real Estate Division services are more particularly described as:

ROAD CLOSURE

Except where a road or lane closure is initiated by the City, applicants for a road or a lane closure shall pay a processing fee of \$9,800.00. This fee is payable after Council approval of a road closure but before introduction of the closure bylaw. This fee is non-refundable.

Schedule D
Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Engineering Department services provided as follows:

<u>Services Provided</u>	<u>Fee</u>	
<u>Administration</u>		
1. GIS Map Products		
- Map Books	\$1,050.00	19" x 17" (quarter map section – 560 pages)
	\$780.00	36" x 3.2" (140 pages)
	\$265.00	19" x 17" (full map section – 140 pages)
	\$90.00	11' x 17' (560 pages)
	\$76.00	8.5' x 11' (560 pages)
- Custom Maps	\$87.00 \$77.00	Minimum Charge Plus Per hour beyond 1 hour
- Lamination	\$ 17.00	11" x 17"
	\$ 22.00	18.5" x 24.5"
	\$ 27.00	25" x 37"
	\$ 33.00	37" x 49"
	\$ 38.00	42" x 60"
- Large Size Photocopy Prints	\$ 6.00	Up to 11" x 17"
- Large Size Photocopy Prints	\$ 7.00	Anything above 11" x 17"
- White Foam Board	\$ 17.00	18" x 24"(in addition to cost of map)
	\$ 17.00	25" x 37"(in addition to cost of map)
	\$ 22.00	37" x 49"(in addition to cost of map)
	\$ 22.00	43" x 61"(in addition to cost of map)

- Standard Hard-Copy Map	\$ 6.00	8.5" x 11"
	\$ 7.00	11" x 17"
	\$ 12.00	19" x 17"
	\$ 17.00	18" x 24"
	\$ 27.00	24" x 36"
	\$ 33.00	36" x 48"
	\$ 38.00	42" x 60"

Roads

2.	Legal Traffic Operation Requests	\$ 550.00	Per request
3.1	Legal Signal Timing Data Requests	\$ 550.00	Per request
3.2	Traffic Camera Video Recording Search Fee	\$ 360.00	Per site (minimum charge)
		\$ 55.00	Per hour additional for large requests
3.3	Vehicle Count Data from Traffic Signal Detectors	\$ 77.00	Per traffic signal (per 2 days of data)
3.4	Historical Vehicle Travel Speed, Travel Time, and Origin/Destination	\$ 244.00	Per request (minimum charge)
		\$ 101.00	Per hour additional for large requests
4.	Manual Vehicle, Cyclist and Pedestrian Count	\$ 561.00	Per intersection

Survey

5.	Replacement of Destroyed Survey Monument	\$1,945.00	Per disturbed ISA Mon
		\$3,500.00	Per disturbed SBM Mon
		\$8,057.00	Per disturbed HPN Mon

ESC Authorization

6.	<u>ESC Authorization Fees</u>		
a.	ESC Authorization Application Fee	\$2,300.00	Per application
b.	ESC Authorization Transfer	\$300.00	Per transfer

Water

7.	Connection to an existing water main, provided that the connection was not part of a local service area or other cost recovered project	100% of actual cost	Per connection
8.	Temporary water service turn off/on		
	- during regular City working hours	\$ 135.00	Each occurrence
	- outside regular City working hours	\$ 220.00	Each occurrence
9.	Special Water Meter Reading	\$ 62.00	Per hour
		\$ 100.00	Minimum
10.	Deleted.		
11.	For the submission of a Backflow Device Test Report and each additional report on the same property as the initial report.	\$ 37.00	Each
11a.	Special Sprinkling Permit – New Lawn	\$ 38.00	Each permit

Soil Removal and Disposition Permits

12.	Soil Removal and Deposition Permit application fee	\$1,139.00	Per application
13.	Permit Transfer	\$ 311.00	Per transfer

Sewer

14.	Connection to an existing storm water drainage service connection or drainage "developer reimbursed" (DDR) connection, provided that the connection was not part of a local area service or other cost-recovered project.	\$5,500.00	Per connection
-----	---	------------	----------------

- | | | | |
|-----|---|------------|--|
| 15. | Connection to an existing sanitary sewer main connection or sanitary developer reimbursed (SDR) connection for a <i>Single Family dwelling</i> unit, provided that the connection was not part of a local area service or other cost recovered project. | \$5,500.00 | Per connection |
| 16. | <u>Branch Collection</u>

Branch chipping and removal of chips. | \$ 26.75 | 1.5 metres high by 1.5 metres wide (5ft x 5ft) pile
Branches must be less than 20 cm (8") in diameter
No stumps are permitted. |

All fees are subject to applicable taxes.

Schedule E
Surrey Fee Setting Bylaw

Pursuant to Section 191(1)(a) of the *Community Charter* there is hereby levied a fee for Board of Variance services provided as follows:

<u>Services Provided</u>	<u>Fee</u>
1. Board of Variance Application Pursuant to Section 11 of the Surrey Board of Variance Establishment By-law, 2010, No. 17282.	\$ 522.00

All fees are subject to applicable taxes.

SCHEDULE F

Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Cemetery services provided as follows:

DEFINITIONS

1. In this Bylaw, terms shall have the meanings ascribed to them in "City of Surrey Cemetery Management Bylaw No. 16174" and as set out below:

ADULT LOT means a Lot designated, and appropriately sized, in the approved Cemetery plan for the Interment of adult Human Remains.

ADULT PREMIUM LOT means an Adult Lot that has been designated in the approved Cemetery plan as having a different pricing structure due to unique location benefits and limited supply, as determined by the Administrator.

CHILD LOT means a Lot designated and appropriately sized, in the approved Cemetery plan for the Interment of Child Human Remains.

HANDLING FEE means the Fee paid for handling of Cemetery products not purchased from the City.

INFANT LOT means a Lot designated and appropriately sized, in the approved Cemetery plan for the Interment of Infant Human Remains.

MEMORIAL BOARD or PILLOW MARKER means a structure of bronze, granite or approved material, which commemorates names of decedents that may or may not be interred in the Cemetery.

NON-RESIDENT means a person who does not reside in the City at the time application is made for a Right of Interment or Interment Authorization.

PREPARATION & PLACEMENT means the process of completing an Interment including, but not limited to, administrative, legal, labour and equipment resources provided to facilitate the opening of a Lot, deposition of Human Remains or Cremated Remains and the subsequent closing of the Lot.

RESIDENT means a person who resides in the City at the time application is made for a Right of Interment or Interment Authorization. Proof of residency is required.

RIGHT OF INTERMENT means a certificate that provides for the future right to inter Human Remains or Cremated Remains in a designated Lot. Right of Interment Fees shall include required contributions to the Maintenance Care Fund.

STILLBORN LOT means a Lot designated, and appropriately sized, in the approved Cemetery plan for the Interment of Stillborn Human Remains.

SURRENDER FEE means the charge for the surrender, to the City, of a Right of Interment

for an unoccupied Lot.

TRANSFER FEE means the charge for the transfer of a Right of Interment for an unoccupied Lot to an immediate Family Member.

VETERAN LOT means a Lot designated in the approved Cemetery plan for the Interment of Veteran Human Remains.

FEES

2. All Fees shall be payable by the Applicant at the office of the Cemetery Administrator at the time of application.

RESIDENT INTERMENT FEES (\$) – Plus GST

Ground Burial	<i>Right of Interment</i>	<i>Preparation & Placement</i>	TOTAL
Adult Single Depth Lot ^A	2,705.00	1,290.00	3,995.00
Adult Double Depth Lot	5,072.00	1,290.00	6,362.00
Adult Premium Single Depth Lot ^{A G}	4,058.00	1,290.00	5,348.00
Adult Premium Double Depth Lot	7,763.00	1,290.00	9,053.00
Veteran Lot ^A	2,152.00	1,290.00	3,442.00
Child Lot	No charge	500.00	500.00
Infant Lot or Stillborn Lot	No charge	342.00	342.00
Cremation Single Interment Ground Lot ^B	1,076.00	630.00	1,706.00
Cremation Double Interment Ground Lot ^B	1,576.00	630.00	2,206.00
Cremation - Additional Interment on Full Size Lot ^B	790.00	630.00	1,420.00

Cremation	<i>Right of Interment</i>	<i>Preparation & Placement</i>	TOTAL
Single Niche	2,152.00	395.00	2,547.00
Double Niche 1 st Interment	2,812.00	395.00	3,207.00
Double Niche 2 nd Interment		395.00	395.00
Family Estate (Max 8 Urns)	16,242.00		16,242.00
Family Estate Interment		395.00	395.00
Ossuary Placement ^C	225.00	255.00	480.00
Scattering ^C	225.00	255.00	480.00
Small Bronze Memorial	107.00	80.00	187.00
Location on Board or Pillow <i>(plus cost of bronze memorial)</i>			

^A Grave Vault is mandatory; refer to Cemetery Services & Products listing

^B Cremation Vault is mandatory; refer to Cemetery Services & Products listing

^C At Need only

^G Adult Premium Lot means an Adult Lot that has been designated in the approved Cemetery plan as having a different pricing structure due to unique location benefits and limited supply, designated upright Marker lot, as determined by the Administrator.

NON-RESIDENT INTERMENT FEES (\$) – Plus GST

Ground Burial	<i>Right of Interment</i>	<i>Preparation & Placement</i>	TOTAL
Adult Single Depth Lot ^A	3,940.00	1,290.00	5,230.00
Adult Double Depth Lot ^A	7,493.00	1,290.00	8,783.00
Adult Premium Single Depth Lot ^{A G}	5,645.00	1,290.00	6,935.00
Adult Premium Double Depth Lot ^{A G}	10,764.00	1,290.00	12,054.00
Veteran Lot ^A	2,760.00	1,290.00	4,050.00
Child Lot	No charge	500.00	500.00
Infant Lot or Stillborn Lot	No charge	342.00	342.00
Cremation Single Interment Ground Lot ^B	1,524.00	630.00	2,154.00
Cremation Double Interment Ground Lot ^B	1,918.00	630.00	2,548.00
Cremation - Additional Interment on Full Size Lot ^B	1,076.00	630.00	1,706.00

Cremation	<i>Right of Interment</i>	<i>Preparation & Placement</i>	TOTAL
Single Niche	2,397.00	394.00	2,791.00
Double Niche 1 st Interment	3,020.00	394.00	3,414.00
Double Niche 2 nd Interment		394.00	394.00
Family Estate (Max 8 Urns)	18,265.00		18,265.00
Family Estate Interment		394.00	394.00
Ossuary Placement ^C	315.00	255.00	570.00
Scattering ^C	315.00	255.00	570.00
Small Bronze Memorial	107.00	80.00	187.00
Location on Board or Pillow <i>(plus cost of bronze memorial)</i>			

^A Grave Vault is mandatory; refer to Cemetery Services & Products listing

^B Cremation Vault is mandatory; refer to Cemetery Services & Products listing

^C At Need only

^G Adult Premium Lot means an Adult Lot that has been designated in the approved Cemetery plan as having a different pricing structure due to unique location benefits and limited supply, designated upright Marker lot, as determined by the Administrator.

MISCELLANEOUS FEES FOR CEMETERY SERVICES & PRODUCTS (\$) – Plus GST**Memorials**

Marker Permit Fee	Permit Fee	Maintenance Care Fund	TOTAL
Flat Memorials	247.00	78.00	325.00
Upright Memorials	458.00	145.00	603.00
Memorial Levelling (<i>beyond Cemetery standards</i>)			255.00
Cremation Bronze Memorials	Memorial	Maintenance Care Fund	TOTAL
Columbarium Bronze Niche Plate	706.00	78.00	784.00
Columbarium Bronze Second Name Scroll	333.00	37.00	370.00
Bronze Memorial (<i>Right of Interment to be added</i>)	333.00	37.00	370.00
Columbarium Bud Vase			225.00

Administration Fees

Late Arrival (after 3:00 p.m.) Monday to Friday, all services		560.00
Right of Interment Certificate Replacement		54.00
Transfer Fee ^D		85.00
Surrender/Sell Back Fee ^E		85.00
Handling Fee - Burial Vault		448.00
Handling Fee - Cremation Vault		85.00
Saturday (Double time) ^F	Preparation & Placement Fee x two	
Sunday and Statutory Holidays (Triple Time) ^F	Preparation & Placement Fee x three	
Exhumation or Disinterment (Casket Burial)	Preparation & Placement Fee x two	
Exhumation or Disinterment (Cremation/Niche)	Preparation & Placement Fee	

Cemetery Products

Grave Vault	1,124.00
Cremation Vault – Single or Double	218.00
Flower Container - Black	138.00

Cemetery products not listed: Prices to be reviewed and set on a regular basis by the Administrator and set out in a Schedule of Prices available at the Cemetery Services office.

^D To Family Members only.

^E To City of Surrey only. Based on purchase price, minus Maintenance Care Fund.

^F Interment Subject to approval by Administrator, with minimum 48 hours' notice (not including weekends and observed holidays)

MINISTRY OF SOCIAL DEVELOPMENT & POVERTY REDUCTION (\$) – Plus GST

Ground Burial	Right of Interment	Preparation & Placement	Vault	TOTAL
Adult Lot ^A	2,790.00	1,290.00	1,124.00	5,204.00
Veteran Lot ^A	1,869.00	1,290.00	1,124.00	4,283.00
Child Lot		500.00	N/A	500.00
Infant Lot or Stillborn Lot		342.00	N/A	342.00
Cremation Single Interment Ground Lot ^B	1,076.00	630.00	218.00	1,924.00
Cremation Double Interment Ground Lot ^B	1,209.00	630.00	218.00	2,057.00

Cremation	Right of Interment	Preparation & Placement	Urn (if applicable)	TOTAL
Ossuary Placement or Scattering	277.00	255.00		532.00

^A Grave Vault is mandatory

^B Cremation Vault is mandatory

Administration Fees

Late Arrival (after 3:00 p.m.) Monday to Friday, all services	560.00
Handling Fee - Burial Vault	448.00
Handling Fee - Cremation Vault	85.00

Schedule G
Surrey Fee Setting By-law

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Filming and Special Events services provided as follows:

	<u>Services Provided</u>	<u>Fee</u>	
1.	Permits		
	- Filming Permit	\$282.00	
	- Photography Permit	\$80.00	
2.	Parking		
	- City Block	\$267.00	Per side per day
3.	Administration Fee		15% of invoice amount (before applicable taxes)

All fees are subject to applicable taxes.

Schedule H
Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Medical Marijuana licensing as follows:

<u>Services Provided</u>	<u>Fee</u>
1. Personal-Use Production License Application	\$ 896.00 per application
2. Designated-Person Production License Application	\$2,747.00 per application

All fees are subject to applicable taxes.

Schedule I
Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Fire Department services provided as follows:

	<u>Services Provided</u>	<u>Fee</u>
1.	Structure Fire Incident/Investigation Reports and photos if applicable	\$196.00 per incident
2.	Motor Vehicle Fire Incident/Investigation Reports and photos if applicable	\$196.00 per incident
3.	Incident Questionnaire	\$202.00 per request
4.	Motor Vehicle/Medical or Other Incident Report	\$196.00 per incident
5.	Dispatch Recording Application Fee for Motor Vehicle Fire Incident, Motor Vehicle Incident, Medical or Other Incident	\$146.00 per incident
6.	Dispatch Recording Application Fee for Structure Fire Incident	\$619.00 per incident

Additional fees may be levied based on the actual cost of providing the services including the cost of locating and retrieving the records, preparing the records for disclosure, providing a copy of the records and shipping and handling the records. The City may provide an estimate and require payment of a deposit prior to providing the services.

Schedule J

Surrey Fee-Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Bylaw Services provided as follows:

The fees listed below are in accordance with "Controlled Substance Property By-law, 2006, No. 15820"

<u>Services Provided</u>	<u>Fee</u>
Fees	
1. Special safety inspection, including initial property research, the posting of a notice of inspection and the initial inspection.	\$7,293.25
2. After the initial inspection, each additional inspection, per inspection.	\$918.75
3. For a subsequent inspection if the owner or occupier has failed to undertake an action by the Fire Chief, the Council or a person authorized under the bylaw to order the action.	\$918.75
4. Shutting off a water service.	\$170.00
5. Re-connecting a water service.	100% of actual cost
6. Re-inspecting and re-sealing a water service after alteration or tampering.	\$924.00
7. All applicable permit fees payable under applicable City bylaws.	
<u>SERVICE COSTS</u>	
1. Item (a) in the definition of service costs – administration and overhead.	\$507.00
2. Items (b) through (i) in the definition of service costs.	Actual cost to the City

All fees are subject to applicable taxes.

The fees listed below are in accordance with "Abandoned Properties By-law, 2007, No. 16394".

<u>Services Provided</u>	<u>Fee</u>
1. Fee for initial investigation and inspection of Property, including attendance by any Inspector.	Actual costs incurred by the City for all related labour, materials or equipment
2. Fee for initial building inspection.	\$349.00
3. Fee to coordinate inspections of other authorities having jurisdiction.	\$136.00 for each agency
4. Fee for building permit authorizing remediation.	Fee for building permit as set out in the City's Building Bylaw
5. Fee to issue letter accepting final inspection of construction and authorization to re-occupy.	\$349.00
6. Attendance by Fire Services at a fire incident.	Actual costs incurred by the City for all related labour, materials and/or equipment

The fees listed below are in accordance with "Surrey Security and Fire Alarm By-law, 1997, No. 13168".

<u>Services Provided</u>	<u>Fee</u>
1. False Alarm Fee – if paid within 14 days of the date of the invoice	\$127.00
2. False Alarm Fee – if paid after 14 days of the date of the invoice	\$159.00
3. Fire False Alarm Fee	\$265.00

All fees are subject to applicable taxes.

The fees listed below are in accordance with "Surrey Spay/Neuter By-law, 1998, No. 13548".

<u>Services Provided</u>	<u>Fee</u>
1. Daily Impoundment Fee – wearing identification	\$5.00 for each full day, or fraction thereof, that the cat is held by the Poundkeeper
2. Daily Impoundment Fee –not wearing identification	\$5.00 for each full day, or fraction thereof, that the cat is held by the Poundkeeper
3. Daily Impoundment Fee – with a "notched ear"	\$5.00 for each full day, or fraction thereof, that the cat is held by the Poundkeeper
4. Cat Breeding Permit	\$47.00

The fees listed below are in accordance with "Prohibition of Nuisance Bylaw, 1996, No. 12883".

<u>Services Provided</u>	<u>Fee</u>
1. Nuisance service call response fee	\$951.00 per response
2. Administration and overhead fee	\$507.00 per response

The fees listed below are in accordance with "Surrey Community Improvement and Unsightly Property By-law, 1997, No. 16393"

<u>Services Provided</u>	<u>Fee</u>
Compliance Costs	Actual cost to the City
Administration and Overhead	\$507.00

All fees are subject to applicable taxes.

Schedule K
Surrey Fee-Setting By-law

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for administrative services provided as follows:

<u>Services Provided</u>	<u>Fee</u>
1. Search for attendance records for City recreation facilities with the written consent of the attendee	\$155.00

All fees are subject to applicable taxes.

Schedule L
Surrey Fee-Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for Signage Regulation services provided as follows:

The fees listed below are in accordance with "Surrey Sign By-law, 1999, No. 13656".

<u>Services Provided</u>	<u>Fee</u>
1. Sign permit non-refundable processing fee (Non-refundable, but this fee will be credited towards the sign permit fee as set out below)	\$97.00
2. Sign permit fee for all new signs (based on sign area)	
Up to 3 sq. m [32 sq. ft.].....	\$209.00
Larger than 3 sq. m [32 sq. ft.] up to 6 sq. m [64 sq. ft.].....	\$308.00
Larger than 6 sq. m [64 sq. ft.] up to 10 sq. m [110 sq. ft.].....	\$410.00
Larger than 10 sq. m [110 sq. ft.] up to 15 sq. m [160 sq. ft.]..	\$516.00
Larger than 15 sq. m [160 sq. ft.] up to 18.6 sq. m [200 sq. ft.]..	\$594.00
Over 18.6 sq. m [200 sq. ft.].....	\$794.00
3. Relocating or altering an existing sign	\$186.00
4. Temporary Signs in Residential zones: Temporary off-site real estate development/construction signs Renewal Fee (each additional 6 month period beyond the first year)	\$269.00 plus \$136.00
5. Temporary Signs in Commercial/Industrial zones: Temporary off-site real estate development/construction signs Renewal Fee (each additional 6 month period beyond the first year)	\$269.00 plus \$136.00
6. Signage Minor Amendment Fee	DP \$389.00
7. The City may cancel an application for a permit, and the fees paid in support of the application will be forfeited, if the permit cannot be issued within 180 days from the date of notification to the applicant, by the City, regarding deficiencies with the permit application.	

All fees are subject to applicable taxes.

Schedule N
Surrey Fee Setting Bylaw

Pursuant to Section 194 of the "Community Charter" there is hereby levied a fee for purchase, planting and maintenance services of a replacement tree where a City street tree is removed or damaged during adjacent development as follows:

	<u>Services Provided</u>		<u>Fee</u>
1.	Street Tree – Single Family Residential Development	\$678.00	Per tree
2.	Street Tree – Arterial Roads, Industrial, Commercial, and Multi-Family Developments	\$694.00	Per tree

All fees are subject to applicable taxes.

CITY OF SURREY

BYLAW NO. 21225

A bylaw to amend the provisions of "Surrey Fire Service By-law, 1990, No. 10771", as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Fire Service By-law, 1990, No. 10771", as amended, is hereby further amended as follows:

- (a) Section 30(l) is amended by replacing the "\$33.00" fee with "\$36.00".
- (b) Section 34(e) is amended by replacing the "\$491.00" fee with "\$521.00" and the "\$818.00" fee with "\$868.00".
- (c) Section 36(a) is amended by replacing the "\$217.00" fee with "\$231.00" and the "\$217.00" fee with "\$231.00".
- (d) Section 36(c) is amended by replacing the "\$283.00" fee with "\$301.00" and the "\$283.00" fee with "\$301.00".
- (e) Section 36(d) is amended by replacing the "\$898.00" fee with "\$953.00".
- (f) Section 36(e) is deleted in its entirety and replaced as follows:

"For each completed Fire Safety Plan reviewed, \$232.00 for up to 2 hours (minimum) plus \$116.00 per hour thereafter plus applicable taxes, except in the case of a high building as defined in the Building Code, or a care or detention occupancy (Group B) as defined in the Code, the fee shall be \$347.00 for up to 3 hours (minimum) plus \$116.00 per hour thereafter plus applicable taxes."
- (g) Section 36(f) is amended by replacing the "\$184.00" fee with "\$196.00".
- (h) Section 36(g) is amended by replacing the "\$283.00" fee with "\$301.00".

2. This Bylaw shall be cited for all purposes as "Surrey Fire Service By-law, 1990, No. 10771, Amendment Bylaw, 2024, No. 21225".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21226

A bylaw to amend the provisions of "Highway and Traffic
By-law, 1997, No. 13007", as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Highway and Traffic By-law, 1997, No. 13007", as amended, is hereby further amended as follows:

(a) Part 1 - Interpretation, Definitions, is amended as follows:

i) Delete the "WALKWAY" definition in its entirety and replace with the following:

"WALKWAY" means a highway or a portion of highway for the sole use of pedestrians and/or cyclists."

(b) Delete Schedule B and replace with a new Schedule B, attached to this Bylaw.

2. This Bylaw shall be cited for all purposes as "Highway and Traffic By-law, 1997, No. 13007, Amendment Bylaw, 2024, No. 21226".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

SCHEDULE B
SCHEDULE OF FEES

City Road and Right-of-Way Use Permit

- General	\$90.00
- Servicing Agreement	\$120.00
- Inspection ^{1,2}	\$135.00
- Video inspection ^{1,2}	\$220.00
- Video review ^{1,2}	\$45.00
- Shoring	\$490.00
- Hoarding	\$490.00 plus Road Use Fee

Road Use Fee

- Boulevard	\$1.70/m ² /week
- Sidewalk/Pathway	\$1.70/m ² /week
- Parking Lane ³	\$2.25/m ² /week
- Travel Lane Local	\$2.50/m ² /week
- Travel Lane Arterial/Collector	\$3.50/m ² /week

Covered Walkway Only (no storage above) \$350.00/month (30m max. length)

Traffic Obstruction Permit

- General: ⁴	
▪ Arterial/Collector Road	\$600.00
▪ Local Road:	
▪ Significant obstruction	\$350.00
▪ Minor obstruction	\$80.00
- Servicing Agreement: ⁴	
▪ Arterial/Collector Road	\$950.00
▪ Local Road:	
▪ Significant obstruction	\$950.00

<ul style="list-style-type: none"> ▪ Minor obstruction 	\$245.00
- Road Closure:	\$750.00
- Traffic Control Training:	\$220.00
- Storage Containers/Bins:	\$200.00 per day
- Filming:	\$600.00
Oversize Permit	
- Single trip:	\$80.00
- Annual permit	\$375.00
Heavy Commercial Vehicle Parking Permit	\$110.00 per vehicle per month
Pavement Cut	
- Permanent repair done by City:	\$120.00/m ²
- Permanent repair done by Applicant:	\$40.00/m ²
- Minimum charge:	\$700.00
All Land Development Works:	Fees collected at execution of Servicing or Mini-Servicing Agreement
Capital Works Projects:	Fees included as part of contract

Site Specific Municipal Access Agreement

- Works per site < 20 m:	\$2,500.00
- Works per site >= 20 m:	\$2,500.00 plus \$15.00/m
- Renewals	\$1,600.00

¹ *Number of inspections required based on scope of work.*

² *Fee for regular work hours. After-hour fee may apply.*

³ *Loss of parking revenue will be charged in addition to Road Use Fee.*

⁴ *For permits with multiple road classifications, fees based on highest road classification.*

All fees are subject to applicable taxes.

CITY OF SURREY

BYLAW NO. 21227

A bylaw to amend the provisions of "Surrey Development Application Fees Bylaw, 2016, No. 18641", as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Development Application Fees Bylaw, 2016, No. 18641" as amended is hereby further amended as follows:
 - (a) Delete Section B and replace with a new Section B attached to this bylaw.
2. This Bylaw shall be cited for all purposes as "Development Application Fees Bylaw, 2016, No. 18641, Amendment Bylaw, 2024, No. 21227".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

PROVISIONS

B. Fees, and any applicable taxes, shall apply for the following applications at the time of submission:

APPLICATION TYPE		APPLICATION FEE
1.	REZONING <i>Single Family or Duplex Zones</i>	\$3,755.00
1.1	The following additional fees apply:	
	ZONE	ADDITIONAL FEES*
	RA, RA-G, RH, RH-G, RC, RF-O, RF, RF-SS, RF-G, RF-12, RF-12C, RF-13, RF-10, RF-10S, RF-9, RF-9C, RF-9S, RF-SD, RQ	+ 130.00 / lot
	RM-D	+ \$130.00 / dwelling unit
	*(a) LOT: Fees are calculated on the maximum number of lots allowed under the proposed zone. (b) DWELLING UNIT: Fees are calculated on the maximum number of dwelling units allowed under the proposed zone (excluding secondary suite dwelling units). (c) EXTRAS: Fees in Section 9 and 18 may apply.	
2.	REZONING <i>Multiple Residential Zones</i>	\$5,241.00
2.1	The following additional fees apply:	
	ZONE	ADDITIONAL FEES*
	RM-M, RM-10, RM-15, RM-23	+ \$64.00 / dwelling unit
	RM-30	+ \$56.00 / dwelling unit
	RM-45	+ \$41.00 / dwelling unit
	RM-70, RM-135, RMC-135, RMC-150	+ \$0.24 / square metre
	* (a) DWELLING UNIT: Fees are calculated on the maximum number of dwelling units allowed (including applicable amenity density increases) under the proposed zone. (b) SQUARE METRE: Fees are calculated on floor area of the maximum allowable density (including applicable amenity density increases). (c) EXTRAS: Fees in Sections 9 and 18 may apply.	
3.	REZONING <i>Multiple Residential Special Care Zones</i>	\$3,755.00
3.1	The following additional fees apply:	
	ZONE	ADDITIONAL FEES*
	RMS-1, RMS-1A, RMS-2	+ \$0.21 / square metre
	*(a) SQUARE METRE: Fees are calculated on floor area of the maximum allowable density (including applicable amenity density increases). (b) EXTRAS: Fees in Sections 9 and 18 may apply.	
4.	REZONING <i>Institutional Zones</i>	\$3,755.00
4.1	The following additional fees apply:	
	ZONE	ADDITIONAL FEES*
	PC	+ \$309.00 / hectare
	PI, PA-1, PA-2	+ \$0.06 / square metre
	* (a) HECTARE: Fees are calculated on the total land area included in the rezoning. (b) SQUARE METRE: Fees are calculated on floor area of the maximum allowable density (including applicable amenity density increases). (c) EXTRAS: Fees in Sections 9 and 18 may apply.	
5.	REZONING <i>Commercial Zones</i>	\$5,209.00
5.1	The following additional fees apply:	
	ZONE	ADDITIONAL FEES*
	C-4, C-5	+ \$0.36 / square metre
	C-8, C-8A, C-8B	+ \$0.34 / square metre

C-15	+ \$0.29 / square metre
C-35	+ \$0.24 / square metre
CHI	+ \$0.12 / square metre
CG-1, CG-2	+ \$0.96 / square metre
CTA	+ \$0.61 / square metre
CCR	+ \$0.32 / square metre
CPR, CPG, CPM	+ \$459.00 / hectare to a maximum of 40 hectares
<p>* (a) <i>SQUARE METRE</i>: Fees are calculated on floor area of the maximum allowable density (including applicable amenity density increases). (b) <i>HECTARE</i>: Fees are calculated on the total land area included in the rezoning. (c) <i>EXTRAS</i>: Fees in Sections 9 and 18 may apply.</p>	
6. REZONING <i>Industrial Zones</i>	\$5,209.00
6.1 The following additional fees apply:	
ZONE	ADDITIONAL FEES*
IL, IL-1	+ \$0.13 / square metre
IB-1, IB-2, IB-3	+ \$0.09 / square metre
IH	+ \$0.13 / square metre
IA	+ \$0.23 / square metre
<p>* (a) <i>SQUARE METRE</i>: Fees are calculated on floor area of the maximum allowable density (including applicable amenity density increases). (b) <i>EXTRAS</i>: Fees in Sections 9 and 18 may apply.</p>	
7. REZONING <i>Agricultural Zones</i>	\$3,755.00
7.1 The following additional fees apply:	
ZONE	ADDITIONAL FEES*
A-1	+ \$309.00 / hectare to a maximum of 4 hectares
A-2	+ \$470.00 / hectare to a maximum of 4 hectares
<p>* (a) <i>HECTARE</i>: Fees are calculated on the total land area included in the rezoning. (b) <i>EXTRAS</i>: Fees in Sections 9 and 18 may apply.</p>	
8. REZONING <i>Comprehensive Development Zones</i>	\$6,635.00
8.1 The following additional fees apply:	
DEVELOPMENT TYPE	ADDITIONAL FEES*
SINGLE FAMILY	+ \$178.00 / lot
MULTIPLE RESIDENTIAL AND/OR ALL OTHER USES (Sites up to 10 hectares) Residential Portion AND/OR Non-Residential Portion	+ \$0 / hectare AND + \$110.00 / dwelling unit AND/OR + \$0.36 / square metre
MULTIPLE RESIDENTIAL AND/OR ALL OTHER USES (Sites greater than 10 hectares) Residential Portion AND/OR Non-Residential Portion	+ \$443.00/ hectare to a maximum of 40 hectares AND + \$110.00 / dwelling unit AND/OR + \$0.36 /square metre

- *(a) LOT: Fees are calculated on the maximum number of lots allowed under the proposed zone.
- (b) HECTARE: Fees are calculated on the total land area included in the rezoning.
- (c) DWELLING UNIT: Fees are calculated on the number of dwelling units proposed in the rezoning.
- (d) SQUARE METRE: Fees are calculated on floor area proposed in the rezoning.
- (e) EXTRAS: Fees in Sections 9 and 18 may apply.

9. REZONING SURCHARGE	BY NCP OR INFILL AREA
Rezoning surcharge fees are in addition to the rezoning application fee. Surcharges reflect the costs of preparing Neighbourhood Concept Plans (NCP) and related traffic impact studies and include a fifteen percent (15%) repayment administration fee. Surcharges apply to all sites within the Neighbourhood Concept Plans or Infill Areas listed below.	
The following additional rezoning surcharge fees apply:	
NCP OR INFILL AREA	SURCHARGE FEES*
NORTH CLOVERDALE EAST NCP See MAP 1	Residential Uses: + \$79.00 / lot or dwelling unit All Other Uses: + \$795.00 / hectare
NORTH CLOVERDALE WEST NCP See MAP 2	Residential Uses: + \$147.00 / lot or dwelling unit All Other Uses: + \$1,466.00 / hectare
EAST NEWTON NORTH NCP See MAP 3	Residential Uses: + \$141.00 / lot or dwelling unit All Other Uses: + \$1,404.00 / hectare
WEST NEWTON SOUTH NCP See MAP 4	Residential Uses: + \$87.00 / lot or dwelling unit All Other Uses: + \$868.00 / hectare
ROSEMARY HEIGHTS CENTRAL NCP See MAP 5	Residential Uses: + \$61.00 /lot or dwelling unit All Other Uses: + \$609.00 / hectare
WEST NEWTON NORTH NCP See MAP 6	Residential Uses: + \$67.00 / lot or dwelling unit All Other Uses: + \$661.00 / hectare
WEST CLOVERDALE SOUTH NCP See MAP 7	Residential Uses: + \$120.00 / lot or dwelling unit All Other Uses: + \$1,197.00 / hectare
ROSEMARY HEIGHTS WEST NCP See MAP 8	Residential Uses: + \$88.00 / lot or dwelling unit All Other Uses: + \$878.00 / hectare
EAST NEWTON SOUTH NCP See MAP 9	Residential Uses: + \$71.00 /lot or dwelling unit All Other Uses: + \$703.00 / hectare
WEST CLOVERDALE NORTH NCP See MAP 10	Residential Uses: + \$151.00 / lot or dwelling unit All Other Uses: + \$1,507.00 / hectare
EAST CLAYTON NCP EXT. NORTH OF 72 AVE; See MAP 11	Residential Uses: + \$63.00 / lot or dwelling unit All Other Uses: + \$620.00 / hectare
ANNIEDALE-TYNEHEAD NCP See MAP 12	Residential Uses: + \$89.00 / lot or dwelling unit All Other Uses: + \$888.00 / hectare
FLEETWOOD ENCLAVE INFILL AREA See MAP 13	Residential Uses: + \$412.00 / lot or dwelling unit All Other Uses: + \$4,118.00 / hectare
WEST CLAYTON NCP See MAP 14	Residential Uses: + \$76.00 / lot or dwelling unit All Other Uses: + \$764.00 / hectare
REDWOOD HEIGHTS NCP See MAP 15	Residential Uses: + \$126.00 / lot or dwelling unit All Other Uses: + \$1,158.00 / hectare
DARTS HILL NCP See MAP 16	Residential Uses: + \$53.00 / lot or dwelling unit All Other Uses: + \$526.00 / hectare
NEWTON – KING GEORGE BOULEVARD NCP See MAP 17	All uses: \$2,389.87 / hectare

- *(a) LOT: Fees are calculated based on the maximum density approved in the corresponding NCP.
- (b) DWELLING UNIT: Fees are calculated on the maximum number of dwelling units allowed (including applicable amenity density increases) under the proposed zone.
- (c) HECTARE: Fees are calculated based on the total gross plan area excluding any road and/or parkland divided by the total cost of preparing the plan.

10. OFFICIAL COMMUNITY PLAN AMENDMENT <i>With or Without a Rezoning</i>	\$3,419.00
10.1 The following additional fees apply:	
AMENDMENT TYPE	ADDITIONAL FEES*
LAND USE DESIGNATION AMENDMENT	+ \$1,247.00 per hectare
* (a) HECTARE: Fees are calculated on the total land area included in the Official Community Plan Land Use Designation amendment. (b) EXTRAS: Fees in Section 18 may apply.	
11. NEIGHBOURHOOD CONCEPT PLAN AMENDMENT <i>Approved NCPs involving changes in Use, Density or Financial Allocations or any combination thereof</i>	\$3,118.00
12. NEIGHBOURHOOD CONCEPT PLAN AMENDMENT <i>Approved NCPs not involving changes in Use, Density or Financial Allocations or any combination thereof</i>	\$1,614.00
13. LOCAL AREA PLAN (LAP) AMENDMENT	\$3,118.00
14. LAND USE CONTRACT AMENDMENT* <i>Existing Land Use Contracts involving changes to Use or Density</i>	BY LAND USE TYPE
LAND USE TYPE	
SINGLE FAMILY OR DUPLEX	\$3,118.00
MULTIPLE RESIDENTIAL	\$4,357.00
INSTITUTIONAL	\$3,118.00
COMMERCIAL OR INDUSTRIAL	\$4,357.00
AGRICULTURAL	\$3,118.00
RECREATIONAL	\$4,357.00
ANY COMBINATION OF LAND USE TYPES	\$6,239.00
* (a) EXTRAS: Fees in Section 18 may apply.	
15. LAND USE CONTRACT AMENDMENT <i>Existing Land Use Contracts NOT involving changes to Use or Density</i>	BY APPLICATION TYPE
APPLICATION TYPE	
USING A DEVELOPMENT VARIANCE PERMIT	See Section 19
USING A DEVELOPMENT PERMIT	See Section 20.1
MINOR AMENDMENTS NOT REQUIRING COUNCIL APPROVAL BUT REQUIRING APPROVAL FROM THE PLANNING GENERAL MANAGER OR A BUILDING INSPECTOR	\$389.00
16. LAND USE CONTRACT DISCHARGE	
<i>With a Rezoning</i>	\$0*
<i>Without a Rezoning</i>	\$782.00
* (a) EXTRAS: Additional fees in Section 18 may apply.	

17. TEMPORARY USE PERMIT	\$2,278.00
18. PUBLIC INFORMATION MEETING FEE	\$523.00
19. PUBLIC NOTICE FEE*	
When a Public Notice is required, the following fees apply:	
19.1 FIRST PUBLIC NOTICE Required for: Rezoning, Official Community Plan Amendment, Land Use Contract Amendment or Discharge, Liquor License, Gaming License, Heritage Revitalization Agreement, Heritage Alteration Permit or Heritage Covenant Applications OR Any combination of the above	\$1,443.00
19.1.b Agricultural Land Reserve (ALR) Exclusions	\$2,748.00
19.2 ADDITIONAL PUBLIC NOTICES As determined by the City of Surrey	\$1,443.00
* (a) <i>REFUNDS: In the event that an application does not proceed to a Public Notice for any reason, the Public Notice Fee, as paid, may be refunded at the written request of the applicant, provided that preparation for the Public Notice has not already commenced.</i>	
20. DEVELOPMENT VARIANCE PERMIT	
<i>General</i>	\$1,936.00
<i>Land Use Contract Amendment</i> (Not for Use or Density)	\$1,712.00
<i>Crescent Beach Building Elevation Relaxation</i>	\$983.00
<i>Tree Retention</i>	\$0
21. DEVELOPMENT VARIANCE PERMIT REQUIRED FOR ILLEGAL CONSTRUCTION <i>To be applied where the works associated with a Development Variance Permit (DVP) have been completed, and where the applicant wishes to retain these works, prior to Surrey City Council having granted approval of a DVP for said works.</i>	\$3,423.00
22. DEVELOPMENT PERMIT	
22.1 NEW APPLICATIONS	
<i>Form and Character</i>	\$5,014.00*
* (a) <i>EXTRAS: Additional fees in Section 22.3 also apply.</i>	
<i>Hazard Lands</i>	\$0 (With a Form and Character Development Permit) (See also: Section 23.1)
<i>Sensitive Ecosystems</i>	
<i>Farm Protection</i>	
<i>Any Combination</i>	
<i>Comprehensive Sign Design Package</i>	\$2,116.00
<i>Land Use Contract Amendment</i> (For anything other than Use or Density)	\$1,712.00
22.2 AMENDMENT APPLICATIONS	

For Previously Issued Development Permits Including Signs with Variances (Signs without Variances – See Section 23.2)	\$3,755.00
22.3 For NEW Form and Character Applications only, the following additional fees apply:	
ZONE	ADDITIONAL FEES*
RC	+ \$130.00 / dwelling unit
RM-D, RM-M, RM-10	+ \$102.00 / dwelling unit
RM-15, RM-23	+ \$102.00 / dwelling unit
RM-30	+ \$90.00 / dwelling unit
RM-45	+ \$72.00 / dwelling unit
RM-70	+ \$0.38 / square metre
RM-135	+ \$0.38 / square metre
RMC-135	+ \$0.38 / square metre
RMC-150	+ \$0.38 / square metre
RMS-1, RMS-1A, RMS-2	+ \$1.38 / square metre
C-4, C-5	+ \$1.07 / square metre
C-8, C-8A, C-8B	+ \$1.07 / square metre
C-15	+ \$1.07 / square metre
C-35	+ \$0.61 / square metre
CHI	+ \$0.96 / square metre
CG-1, CG-2	+ \$1.07 / square metre
CCR	+ \$1.07 / square metre
CPG, CPM, CPR (less than 2 hectares)	+ \$0.38 / square metre
CPG, CPM, CPR (more than 2 hectares)	+ \$309.00 per hectare (maximum 40
IL, IL-1	+ \$0.97 / square metre
IB, IB-1, IB-2, IB-3, IP (2)	+ \$0.97 / square metre
IH	+ \$0.97 / square metre
I-4	+ \$1.47 / square metre
IA	+ \$0.97 / square metre
CD (Sites up to 10 Hectares)	\$0 / hectare AND + \$1.04/ square metre AND + \$110.00 / dwelling unit
CD (Sites Greater than 10 Hectares)	+ \$443.00 / hectare to a maximum of 40 hectares AND + \$1.04 / square metre AND + \$110.00 / dwelling unit
CTA**	+ \$1.07 / square metre** AND + \$20.09/ pad**
<p>**(a) DWELLING UNIT: Fees are calculated on the number of proposed dwelling units. (b) SQUARE METRE: Fees are calculated on the total proposed floor area of all proposed buildings. (c) HECTARE: Fees are calculated on total site area included in the application. **(a) SQUARE METRE: Fees are calculated on the total proposed floor area of permanent buildings and structures. (b) PAD: Fees are calculated for each proposed trailer pad and/or mobile home pad."</p>	

23. DEVELOPMENT PERMIT - DELEGATED	
23.1 NEW APPLICATIONS	
<i>Hazard Lands</i>	\$1,969.00 (Without a Form and Character Development Permit)
<i>Sensitive Ecosystems</i>	
<i>Farm Protection</i>	
<i>Any Combination</i>	
<i>Surface Parking Lots</i>	\$782.00
<i>New Free-Standing Signs</i>	
<i>Sign Design Package</i>	\$782.00
23.2 AMENDMENT APPLICATIONS	
<i>For Previously Issued Development Permits (Excluding Signs)</i>	\$1,704.00
<i>For Previously Issued Development Permits (Signs Only with no concurrent Variance)</i>	\$389.00
23.3 APPLICATION SURCHARGE	
<i>Forwarding a Delegated Development Permit Application to Council</i>	\$1,306.00
24. SUBDIVISION	
<i>Creating One or More New Lots</i> Includes: Other Subdivision Types, for example, Lot Line Adjustments, Bare Land Strata and Long Term Lease Approvals	\$2,848.00 + \$132.00 per lot to be created
<i>Air Space</i>	\$6,813.00 + \$132.00 per lot to be created
<i>Strata Conversions or Amendments</i>	\$1,057.00
<i>Phased Strata</i> <i>Form P Approval</i>	\$1,098.00
<i>Form P Amendment</i>	\$490.00
<i>Plan Approval</i>	\$490.00
<i>Lot Consolidation</i> Where no additional lot is created	\$2,275.00
<i>Preliminary Layout Approval Extension</i>	50% of the original subdivision application fee for which the extension is requested
<i>Preliminary Layout Approval Amendment</i>	\$493.00 (When changes are initiated by the Applicant)
25. AGRICULTURE LAND RESERVE <i>Inclusion, Exclusion, Subdivision, Non-Farm Use, Place Fill/Remove Soil and/or Transportation, Utility and Recreation Trail Uses</i>	Fees Collected by City of Surrey on behalf of the Agricultural Land Commission
26. LIQUOR LICENCE	\$2,208.00

* (a) EXTRAS: Additional fees in Section 18 may apply.

26.1	NEW LIQUOR PRIMARY APPLICATIONS	\$2,208.00
	<i>* (a) EXTRAS: Additional fees in Section 18 may apply.</i>	
26.2	AMENDMENT APPLICATIONS	
	<i>Liquor Primary Licence</i> (Hours of Operation Extension > 1 hr)	\$2,208.00
	<i>Food Primary Licence</i> (Liquor Service Extension Past 1:00 pm)	
	<i>All Other Licences</i>	
26.3	AMENDMENT APPLICATIONS – DELEGATED	
	<i>Liquor Primary Licence</i> (Increase in Person Capacity) (Hours of Operation Extension (<= 1 hr)	\$1,256.00
	<i>Food Primary Licence</i> (Patron Participation) (Liquor Service Extension Past 1:00 pm)	
	<i>Manufacturer Licence</i> (Lounge Endorsement) (Special Event Area Endorsement)	
26.4	APPLICATION SURCHARGE	
	<i>Forwarding a Delegated Liquor Licence Amendment Application to Council</i>	\$1,004.00
27.	GAMING LICENCE	\$2,208.00
	<i>* (a) EXTRAS: Additional fees in Section 18 may apply.</i>	
28.	HERITAGE REVITALIZATION AGREEMENT HERITAGE ALTERATION PERMIT HERITAGE COVENANT	
	<i>Initial Application</i> <i>Minor Amendment</i> <i>Major Amendment</i> When application submitted PRIOR TO commencement of restoration work	\$0
	<i>Initial Application</i> When work commences WITHOUT a Heritage Protection Instrument <i>Major Amendment</i> When application submitted AFTER commencement of restoration work	\$3,755.00*
	<i>* (a) EXTRAS: Fees in Section 18 may also apply.</i>	
29.	RESTRICTIVE COVENANT AMENDMENT OR DISCHARGE	
	<i>Requiring Council Approval</i>	\$985.00
	<i>Not Requiring Council Approval</i>	\$493.00

30. LEGAL DOCUMENT REVISIONS/DISCHARGES	\$493.00
31. TRUCK PARKING FACILITY PERMIT	\$1,959.00
32. SITE PROFILE APPLICATION For all development applications	\$66.00
33. ADMINISTRATIVE FEES	
<i>Change of Owner</i> Each change identified in a development application	\$391.00
<i>Change of Authorized Agent</i> Each change identified in a development application	\$391.00
<i>Change of Scope</i> Applies each time after initial submission, for any additional density created or lots added by the change in scope	\$391.00 Plus the additional per dwelling unit, per lot, per square metre and/or per hectare Rezoning, Development Permit and/or Subdivision fee, as referenced in this Bylaw
<i>Mayor and City Clerk Plan Signing</i> For each non-phased strata plan that does not require execution by the Approving Officer but does require execution by the Mayor and City Clerk	\$391.00

CITY OF SURREY

BYLAW NO. 21228

A bylaw to amend the provisions of "Surrey Plumbing By-law, 1981, No. 6569", as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Plumbing By-law, 1981, No. 6569", as amended is hereby further amended as follows:
 - (a) Section 9 and Section 10 are amended as follows:
 - i. Subsection 9.5 is amended by replacing the "\$305.00" fee with "\$316.00".
 - ii. Subsection 9.6 to Subsection 10 inclusive are hereby replaced with the new fees, attached to this Bylaw as Schedule A.
2. This Bylaw shall be cited for all purposes as "Surrey Plumbing By-law, 1981, No. 6569, Amendment Bylaw, 2024, No. 21228".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

Schedule A

	Fees
9.6 First Fixture (excludes backflow preventer)	\$153.00
Each additional fixture (excludes backflow preventer)	\$46.00
First backflow preventer (includes backflow device test report)	\$190.00
Each additional backflow preventer (includes backflow device test report)	\$83.00
Preliminary site visit, fee	\$228.00
For pumping out and filling a septic tank	\$31.00
9.7 For the alterations or remodeling of any plumbing, where no additional fixtures are installed, a fee of.....	\$93.00
9.8 For the installation of any fire sprinkler system, for the first two (2) heads, for Residential a fee of	\$153.00
for Commercial a fee of	\$400.00
for each additional head, a fee of	\$4.10
9.9 For the installation of any fire water service line, for the first one hundred (100) feet	\$93.00
for each additional one hundred (100) feet, or portion thereof hydrants and standpipes, per hydrant or standpipe fee	\$56.00
9.10 Except in the case of a single family residence, for the installation of storm or sanitary sewer systems and water service connections over 3/4 inches in diameter, the first one hundred (100) feet, a fee of.....	\$93.00
for each additional one hundred (100) feet or a portion thereof.....	\$56.00
9.11 For connection of a single family residence to sanitary sewer	\$93.00
9.12 For the installation of swimming pool supply and drainage lines, including a sanitary or storm sewer service connection where required, a fee of	\$112.00
9.13 For the connection of domestic water from private supply to City Supply	\$93.00
9.14 For the removal and replacement of existing piping in multi-family dwellings, per unit	\$39.00
9.15 For the Transfer or Assignment of a Plumbing Permit and to record a change of contractor for a project	\$114.00

- 9.16 For the installation of a hydronic heating system for each 1,000 BTUs of the boiler input, a fee of \$5.03
To a maximum of..... \$645.00
- 9.17 Minor plumbing field design/construction revisions\$61.00
- 9.18 Extension of plumbing permits.....\$108.00

All fees are subject to applicable taxes.

10. Site Visit Fees

(1) Site Visit Requests

Where an owner applicant requests a plumbing review not provided for in the fee schedule, or a site visit is required to assess the status of a property, the fee shall be:

- a) during normal hours\$228.00 per hour (one hour minimum)
- b) after hours during which the offices.....\$793.00 plus \$228.00 per hour of the City Hall are normally open, for each hour or part thereof the fee, in addition to other required fees, to be based on the time actually spent in making such site visit, including travel time. beyond the first four hours

(2) Site Re-Visit Requests

- a) a site re-visit fee will be imposed whenever \$228.00 a plumbing review was called for and the work to be reviewed was not ready for plumbing review. Plumbing reviews not ready shall be deemed to include any review called for where the work to be reviewed was not complete or where there was a substantial number of deficiencies which indicated that the work was not checked over prior to calling for review.
- b) For second and further site visit subsequent \$228.00 per site visit to a site re-visit in paragraph (a)

All fees are subject to applicable taxes.

CITY OF SURREY

BYLAW NO. 21229

A bylaw to amend the provisions of "Surrey Subdivision and Development By-law, 1986, No. 8830", as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Subdivision and Development By-law, 1986, No. 8830", as amended is hereby further amended as follows:
 - (a) Delete Schedule "B" and replace with a new Schedule "B", attached to this Bylaw.
2. This Bylaw shall be cited for all purposes as "Surrey Subdivision and Development By-law, 1986, No. 8830, Amendment Bylaw, 2024, No. 21229".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

SCHEDULE "B"
TO SURREY SUBDIVISION AND DEVELOPMENT BY-LAW NO. 8830
SERVICING AGREEMENT PROCESSING, ENGINEERING ADMINISTRATION AND
FINANCIAL ADMINISTRATION FEES

1. SERVICING AGREEMENT PROCESSING FEE (payable prior to the project scoping submission)

Pre-Application Engineering Review: \$1,430.00

Mini-Servicing Agreement (Service Connections/Sidewalk with Development): \$4,110.00

Utility Extension (per Asset): \$8,215.00

NCP Servicing Amendment (per Asset): \$26,910.00

Pre-Servicing Agreement: \$8,215.00

Residential

Servicing Agreement for Single Family Developments (includes RM-23 and RM-D¹) with subdivision or building permit.

2 - 20 lots: \$1,820.00/lot; \$8,215.00 min.

21 - 50 lots: \$1,380.00/lot; \$37,765.00 min.

51 - 100 lots: \$1,130.00/lot; \$70,285.00 min.

Over 100 lots: \$995.00/lot; \$114,015.00 min.

Servicing Agreement for Multi-family Developments with subdivision or building permit.

2 - 50 units: \$780.00/unit; \$10,765.00 min.

51 - 100 units: \$695.00/unit.

101 - 200 units: \$625.00/unit.

Over 200 units: \$112,375.00 max.

Commercial and Industrial

\$1,300.00/1,000 sq. m. of building/parking footprint area being developed; \$8,215.00 min.

Short Form Servicing Agreements, an additional fee of \$1,820.00.

Agricultural

\$170.00/1,000 sq. m. of building/parking footprint area being developed; \$8,215.00 min.

Other

\$170.00/1,000 sq. m. of building/parking footprint area being developed; \$8,215.00 min.

Note: In the case of comprehensive developments involving more than one use, the above fees can be combined to arrive at the total fee.

Administrative Processing Only

\$1,820.00 for applications involving only the processing of legal documents and/or utility capacity calculations

\$830.00 for Processing Continuance (for each year project continues beyond Year 1)

\$455.00 for Servicing Agreement Extension or Reassignment

2. ENGINEERING ADMINISTRATION FEE (applicable only if project proceeds to construction stage)

Single Family Developments

4.0% on the first \$250,000.00 of estimated construction cost

2.5% on the next \$250,000.00 of estimated construction cost

1.5% on the remaining estimated construction cost

Agricultural, Multi-family, Institutional, Commercial and Industrial Developments

5.25% on the first \$250,000.00 of estimated construction cost

4.25% on the next \$250,000.00 of estimated construction cost

3.0% on the remaining estimated construction cost

Re-inspection of deficiencies: \$700.00 min.

3. FINANCIAL ADMINISTRATION FEE

Each Latecomer Agreement: \$3,710.00

Each DCC Front-Ending and Development Works Agreements: \$7,500.00

Each DCC Front-Ending and Development Works Agreements in Anniedale-Tynehead NCP approved for 20-year term: \$10,000.00

Each Latecomer, DCC Front-Ending or Development Works Agreement Reassignment: \$500.00

¹ *Based on an ultimate of two dwelling units per lot.*

All fees are subject to applicable taxes.

CITY OF SURREY

BYLAW NO. 21230

A bylaw to amend the provisions of "Surrey Tree Protection Bylaw, 2006, No. 16100", as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Tree Protection Bylaw, 2006, No. 16100", as amended is hereby further amended as follows:

(a) Part 8, Permit Fees, is amended as follows:

- i. Section 36 is amended by replacing the "NINETY-NINE (\$99.00) DOLLARS" fee with "ONE HUNDRED and TWO (\$102.00) DOLLARS" and the "THIRTY-EIGHT (\$38.00) DOLLARS" fee with "THIRTY-NINE (\$39.00) DOLLARS".
- ii. In Section 37, delete the "Zone and Lot Size" table in its entirety and insert a new "Zone and Lot Size" table as follows:

Zone and Lot Size	Fees
RF-12, and RF-G, RF-9, RF-12C, RF-13, RF-10, RF-10S and RF-9C Lots smaller than 340 m ²	\$143.00 per proposed Lot
RF, RF-G Lots greater than or equal to 340 m ² , RF-SS, R-F(R), R-F(F), R- F(C)	\$171.00 per proposed Lot
RH, RH-G, R-H(G), RQ	\$206.00 per proposed Lot
RA, RA-G, RC	\$650.00 per proposed Lot

All fees are subject to applicable taxes.

- iii. In Section 38, delete the "Zone Designation" table in its entirety and insert a new "Zone Designation" table as follows:

Zone Designation	Fees
RM-D, RM-M, RM-10, RM-15 RM-30, RM-45 RM-70, RM-135 RMC-135, RMC-150, RMS-1, RMS-1A, RMS-2, R-F(D), R-F(m), R-T(1), RM-1, RM-2, RM-3, RM-4, P-P, C-4, C-5, C-8, C8A, C-8B, C-15, C-35, CHI, CG-1, CG- 2, CTA, CCR, CPR, CPG-, CPM, C-L, C-R(1), CR(2), C-R(3), C-S, C-C, C-H, I-S, C-G(1) C-G(2), C-T(1), C-T(2), P-P(1), P-R, P-D, IB, IL, IH, IS, IA, CD, I-1, I-P(2), I-G, I-T, I-W, I-H, I-W, I-L(S), I-A PC, PA-1, PA-2, PI	\$650.00 per acre

All fees are subject to applicable taxes.

- iv. In Section 39, delete the "Zone Designation" table in its entirety and insert a new "Zone Designation" table as follows:

Zone Designation	Fees
A-1, A-2, A-3	\$531.00 per acre
A-1, A-2, A-3 within the ALR	\$531.00 per acre

All fees are subject to applicable taxes.

- v. Section 40 is amended by replacing the "ONE HUNDRED and THREE (\$103.00) DOLLARS" fee with "ONE HUNDRED and SEVEN (\$107.00) DOLLARS".
- (b) Part 11, section 71, is amended by replacing the "TWO HUNDRED and TWENTY (\$220.00) DOLLARS" fee with "TWO HUNDRED and TWENTY-EIGHT (\$228.00) DOLLARS".

2. This Bylaw shall be cited for all purposes as "Surrey Tree Protection Bylaw, 2006, No. 16100, Amendment Bylaw, 2024, No. 21230".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21231

A bylaw to amend the provisions of "Surrey Fireworks
Regulation By-law, 1974, No. 4200", as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Fireworks Regulation By-law, 1974, No. 4200", as amended, is hereby further amended as follows:
 - (a) Section 6(7) is amended by replacing the "\$135.00" fee with "\$139.00".
2. This Bylaw shall be cited for all purposes as "Surrey Fireworks Regulation By-law, 1974, No. 4200, Amendment Bylaw, 2024, No. 21231".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21232

A bylaw to amend the provisions of "Surrey Secondary Suite Service Fee By-law, 2011, No. 17356", as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Secondary Suite Service Fee By-law, 2011, No. 17356", as amended, is hereby further amended as follows:
 - a) Section 3 is amended by replacing the "\$738.43" fee with "\$893.00".
2. This Bylaw shall be cited for all purposes as "Surrey Secondary Suite Service Fee By-law, 2011, No. 17356, Amendment Bylaw, 2024, No. 21232".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21233

A by-law to amend the provisions of "Surrey Vehicles for Hire By-law, 1999, No. 13610," as amended.
.....

The Council of the City of Surrey, in open meeting assembled, ENACT AS FOLLOWS:

1. "Surrey Vehicles for Hire By-law, 1999, No. 13610," as amended is hereby further amended as follows:
 - (a) Delete Schedule "G" and replace with a new Schedule "G", attached to this Bylaw.
2. This By-law shall be cited for all purposes as "Surrey Vehicles for Hire By-law, 1999, No. 13610 Amendment Bylaw, 2024, No. 21233".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

SCHEDULE "G" to BY-LAW NO. 13610

The following classifications of business, and/or vehicles for hire in the City of Surrey are regulated under "Inter-Municipal TNS Business License Bylaw, 2020, No. 20031" and are not subject to the regulations and fees imposed within the Surrey Vehicles for Hire By-law, 1999, No. 13610:

CLASS "A" Taxicab
CLASS "B" Limousine
CLASS "C" Sight Seeing Cab
CLASS "D" Airport Cab
CLASS "E" Motor Stage

Annual License Plate Fee payable by every person owning or operating any of the following classifications of business, and/or vehicles for hire in the City of Surrey:

CLASS "G" Funeral Cab	for each vehicle \$90.00
CLASS "H" School Cab	for each vehicle \$104.00
CLASS "K" Driver Training Cab	for each vehicle \$104.00
CLASS "L" Driving Test Cab	for each vehicle \$90.00
CLASS "M" Tow Truck	for each vehicle \$90.00
"Motor Stage"	for each vehicle \$186.00

Except that this fee shall not apply to Funeral Cabs owned and operated by a Funeral Parlour licensed under the terms of the Surrey Business License By-law and used solely for purposes incidental to funerals conducted by such Funeral Parlour.

Fees for all classes of vehicles for replacement of license plates in the event of loss or damage and for change of ownership shall be \$45.00.

All fees are subject to applicable taxes.

CITY OF SURREY

BYLAW NO. 21234

A bylaw to amend the provisions of "Surrey Mobile Homes and Trailer Regulation and Control By-law, 1980, No. 6142", as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Mobile Homes and Trailer Regulation and Control By-law, 1980, No. 6142", as amended, is hereby further amended as follows:
 - (a) Section 28(b)(vi) is deleted in its entirety and replaced as follows:

"The permit fee payable under this sub-section shall be four hundred and thirty-seven dollars (\$437.00), plus applicable taxes for the first twelve (12) month period. A renewal permit fee shall be seventy-seven dollars (\$77.00), plus applicable taxes for each subsequent twelve month period."
 - (b) Section 28(c)(iii) is deleted in its entirety and replaced as follows:

"the permit fee payable under this section shall be one hundred and forty-seven (\$147.00) dollars for each six month period except as provided in Sub section (d)."
 - (c) Section 28(c)(iv) is deleted in its entirety and replaced as follows:

"the permit fee payable for the sale of Christmas trees shall be seventy-seven dollars (\$77.00), plus applicable taxes."
2. This Bylaw shall be cited for all purposes as "Surrey Mobile Homes and Trailer Regulation and Control By-law, 1980, No. 6142, Amendment Bylaw, 2024, No. 21234".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21235

A revenue anticipation bylaw providing for the borrowing of such sums of money as may be requisite to meet the current lawful expenditure of the City.
.....

WHEREAS by Section 177 of the "Community Charter" of the Province of British Columbia, a City Council is empowered to borrow money as may be requisite to meet the current lawful expenditures of the City;

AND WHEREAS to meet the current lawful expenditures of the City while maximizing the returns on the City's investment portfolio, it is requisite that the Council borrow up to Fifty Million Dollars (\$50,000,000) on a revolving basis, which amount is well within the limits permitted under Section 177 of the "Community Charter";

NOW, THEREFORE, the Council of the City of Surrey enacts as follows:

1. It shall be lawful for Council to borrow upon the credit of the City such amounts and such times as may be required on a revolving basis, but not at any time to exceed the sum of Fifty Million Dollars (\$50,000,000).
2. All unpaid taxes and the taxes of the current year when levied or so much thereof as may be necessary shall, when collected, be used to repay the money so borrowed.
3. There is hereby set aside as security for the liability hereby authorized to be incurred Fifty Million Dollars (\$50,000,000) being that part of the taxes for the 2024 year deemed by the City Council expedient to be so set aside.
4. This Bylaw may be cited as "2024 Revenue Anticipation Bylaw, 2024, No. 21235".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21236

A bylaw to amend the provisions of "Surrey Parks, Recreation and Culture Fee-Setting By-law, 2004, No. 15391", as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. "Surrey Parks, Recreation and Culture Fee-Setting By-law, 2004, No. 15391", as amended, is hereby further amended as follows:
 - (a) Delete Schedule "A" and replace with a new Schedule "A", attached to this Bylaw.
2. This Bylaw shall be cited for all purposes as "Surrey Parks, Recreation and Culture Fee-Setting By-law, 2004, No. 15391, Amendment Bylaw, 2024, No. 21236".

PASSED FIRST READING on the _____ day of _____, 2024.

PASSED SECOND READING on the _____ day of _____, 2024.

PASSED THIRD READING on the _____ day of _____, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 2024.

_____MAYOR

_____CLERK

Schedule A

Surrey Parks, Recreation and Culture

Fees and Charges 2023/2024

Effective September 1st, 2023

Table of Contents

Parks, Recreation and Culture Facilities	3
Rentals	4
Rental Guidelines	5
Ice and Ice Complex Rentals	8
Ice Rentals Definitions	9
Ice Complex Rental	10
Ice Rentals	11
Dry Floor Rentals	12
Pool Rentals	13
Indoor Pool Definitions	14
South Surrey Pool	15
Guildford, Grandview Heights and Surrey Sport and Leisure Pool	17
Newton Wave Pool	18
Outdoor Pool Rentals	19
Facility Rentals	20
Room Rentals	21
Room Rental Listing	23
Parking Lot Rentals	26
Parking Lot Listing	27
Cloverdale Fairgrounds	29
City Hall Plaza	30
Outdoor Sport Facilities	31
Group Photography and Wedding Ceremony Permits	34
Ward's Marina	35
Surrey Arts Centre Main Stage	36
Surrey Arts Centre Studio Theatre	37
Surrey City Hall Centre Stage	38
Clayton Community Centre Performing Arts Studio	39
Surrey Civic Theatres - Other Fees	40
Admissions & Passes	41
Admissions - Definitions	42
Admissions	43
Facility Passes - Terms and Conditions	44
Facility Passes	45
Specialty Session Admission Rates	46
Outdoor Pools Admissions	47
Senior Services Membership	48
Other User Fees	49

Parks, Recreation and Culture Facilities

Rentals

Rental Guidelines

General

- A. Tentative Bookings: Tentative Bookings can be used for quotes. Cannot run an event on a tentative booking
- B. Meeting/Seminar: 1 hour minimum (includes but not limited to gathering, assembly, conference, congregation, convention, summit, forum, council, rally, caucus, rehearsal)
- C. Social Event: 4 hour minimum (includes but not limited to social affair, party, banquet, celebration, ceremony, observance, fundraiser)
- D. Allocation Policies: Allocation policies govern services, including but not limited to, Ice Allocation, Pool Allocation and Sports Field Allocation, and supersede these Rental Guidelines. Refer to the appropriate allocation policy as required
- E. Political and religious bookings require General Manager approval
- F. Client must be 19 years or older to rent a facility. Social events held by clients aged 19-25 years may require Facility Manager approval

Insurance

- A. Insurance:
 - a. Minimum liability coverage required*
 - i. No insurance required for single occurrence small and medium meeting room rentals - low risk activities*
 - ii. \$2,000,000 for Ward's Marina
 - iii. \$5,000,000 for all other activities*
 - b. Must list the City of Surrey as an additional insured:
City of Surrey
13450 104th Avenue Surrey,
BC
V3T 1V8
 - c. Insurance available in the amount of \$5 million.

**Risk Management may require additional limits of insurance coverages if, in their opinion, the provisions above do not adequately address the risks of a particular event.*

Rates

- A. User Group Categories:
 - a. Non-Profit Surrey Youth (Partially Subsidized): Surrey non-profit groups with services for youth (18 years and under).
 - b. Non-Profit Surrey Adult (Non-Subsidized): Surrey community organizations, non-profit groups or individuals that do not qualify under the Non-Profit Surrey Youth category (e.g. Surrey adult sport groups, religious and community groups, fundraisers for non-profit groups in this category)
 - c. Non-Profit Non-Surrey (Non-Subsidized): Non-Surrey community organizations, non-profit groups or individuals that do not qualify under either of the Not-Profit Surrey categories (e.g. Non-Surrey youth or adult sport groups, religious and community groups, fundraisers for non-profit groups in this category)
 - d. Private: groups or individuals that use Surrey Parks, Recreation and Culture services/facilities for private functions (e.g. corporate activities, weddings, family celebrations or any other private function that requires an invitation and is closed to the public)

- e. Commercial: groups or individuals that use Surrey Parks, Recreation and Culture services/facilities to hold for profit or ticketed events (e.g. sports schools, trade shows, craft fairs, concerts, festivals, and large public events). This rate only applies to Room Rentals and Cloverdale Fairgrounds. It does not apply to Arenas, Pools, Arts and Outdoor Sport/Parks Facilities
 - f. School Board: as per the Reciprocal Agreement with School District #36. Does not pertain to private schools or other public school districts. Non-SD36 schools in Surrey qualify for Non-Profit Surrey Youth rate. Non-SD36 schools outside of Surrey qualify for Non-Profit Non-Surrey rate.
- B. Special Rates:
- a. Tournament Admin/Storage Day Rate: - Unlimited day use of a meeting room at 8x the hourly meeting rate for small meeting rooms. (To be used at the Facility Manager's discretion)
 - C. Additional Costs: charged as required, not limited to:
 - a. Facility Attendants
 - b. Janitorial
 - c. Other charged at cost +20% (e.g. specialized staff, equipment rental, additional work to be performed for an event)
 - D. Fee Waivers: groups who request a fee waiver or a reduction in rental fees must make their application in writing to the town centre manager

Payment

- A. Social Rental Security Deposit: An initial payment of \$250 is due when the rental contract is firmed up for Social or Large rentals.
 - a. This security deposit serves as a damage deposit to cover costs incurred during the rental such as additional cleaning charges or replacing broken items. Once the rental has ended and upon inspection without incident, the full security deposit may be refunded.
 - b. The security deposit can also be applied towards a cancellation fee if the account is being charged. The cancellation fee is waived if the rental can be re-booked.
 - c. Exceptions include Surrey Arts Centre, City Hall Council Chambers and Cloverdale Fairgrounds
- B. Full Payment (Exception: Surrey Arts Centre and City Council Chambers):
 - a. Bookings made within 30 days of event: full payment is due immediately
 - b. Bookings made more than 30 days in advance of event: full payment is due 30 days prior to the event
 - c. Regular groups who book ongoing rentals: monthly payment options are available on the first day of the month or on the day of each booking
 - d. A \$30 fee will be charged for declined cheques
- C. Booking Cancellations:
 - a. Bookings cancellations require a minimum of 60 days notice for a full refund
 - b. If cancelled within 60 days of the booking, a \$100 cancellation fee will be applied (Exceptions: Surrey Arts Centre, City Hall Council Chambers and Cloverdale Fairgrounds)

Permits

Renters will have to acquire and pay for any required permits required by law to run their event. These include, but are not limited to:

- A. Entandem fees are charged to all rentals where music is played. Fee is collected on behalf of and remitted to Entandem. Entandem regulations, including fees, are not governed by this fees & charges document and are subject to change by the governing body

B. Temporary Food Permit: clients serving food at their event must make an application to the local health authority, Fraser Health, for a permit to do so. Applications are not required for private events (i.e. weddings, family reunions). Food permit regulations not governed by this fees & charges document and are subject to change by the governing body

C. Bar Service: Special Occasion Liquor Permit required (exception: Surrey Arts Centre). Applications can be picked up at a local Government Liquor Store. Liquor permit regulations are not governed by this fees & charges document and are subject to change by the governing body

Ice and Ice Complex Rentals

Ice Rentals Definitions

FALL/WINTER

Prime Time (September 1 to March 31)

Weekdays	4:00 p.m. - 12:00 midnight
Weekends	8:00 a.m. - 12:00 midnight

Non-Prime Time (September 1 to March 31)

Weekdays	12:00 midnight - 4:00 p.m.
Weekends	12:00 midnight - 8:00 a.m.

SPRING/SUMMER

Prime Time (April 1 to August 31)

Weekdays (Monday to Friday)	4:00 p.m. - 12:00 midnight
Weekends (Saturday, Sunday)	24 hours (applies to Non-Profit Surrey Youth rates only)

Non-Prime Time (April 1 to August 31)

Weekdays (Monday to Thursday)	12:00 midnight - 4:00 p.m.
Weekends (Friday, Saturday, Sunday)	24 hours (applies to Non-Profit Adult and Non-Profit Non-Surrey rates and Commercial/Private rates only)

Dry Floor Rental

Prime Time (April 1 to August 31)

Monday to Friday	4:00 p.m. - 12:00 midnight
Saturday and Sunday	8:00 a.m. - 12:00 midnight

Non Prime Time (April 1 to August 31)

Monday to Friday	12:00 midnight - 4:00 p.m.
Saturday and Sunday	12:00 midnight - 8:00 a.m.

Ice Complex Rental

Surrey Sport and Leisure Complex, North Surrey Sport and Ice Complex

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
All Seasons/All Year		
NON-PROFIT SURREY YOUTH		
<i>Subject to the Ice Allocation Policy</i>		
<i>Non-allocated hours to be charged once the allocated hours have been met</i>		
Prime, Allocated Hours	\$149.67	\$157.15
Non-Prime, Allocated Hours	\$89.26	\$93.72
Prime, Non- Allocated Hours	\$224.50	\$235.73
Non-Prime, Non-Allocated Hours	\$133.88	\$140.58
Minor Sport Tournament Rate - All Hours	\$149.67	\$157.15
NON-PROFIT SURREY ADULT		
Prime	\$373.30	\$391.97
Non-prime	\$195.10	\$204.85
NON-PROFIT NON-SURREY		
Prime	\$373.30	\$391.97
Non-prime	\$195.10	\$204.85
COMMERCIAL/PRIVATE		
Prime	\$465.42	\$488.69
Non -prime	\$278.61	\$292.54
LAST MINUTE ICE		
7 days prior (less 25% off applicable rate)	\$279.97	\$293.97
1 - 3 days prior (less 50% off applicable rate)	\$186.65	\$195.98
<i>Rate does not apply to minor sport</i>		
SCHOOL BOARD		
All times	\$0.00	\$0.00
<i>As per the Reciprocal Agreement with School District 36</i>		

Ice Rentals

Cloverdale, Newton, South

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
NON-PROFIT SURREY YOUTH		
A. September 1 - March 31		
Prime, Allocated Hours	\$142.89	\$150.03
Non-prime, Allocated Hours	\$85.45	\$89.72
Prime, Non-Allocated Hours	\$214.33	\$225.05
Non-prime, Non-Allocated Hours	\$128.17	\$134.58
B. Schools, Minor Sport - Special Events (Christmas Party, Year End Parties) and Spring/Summer Rate (April 1 - August 1)		
Prime	\$149.67	\$157.15
Non-prime	\$89.36	\$93.83
C. Minor Sport Tournament Rate - All hours		
	\$142.89	\$150.03
NON-PROFIT SURREY ADULTS		
Prime	\$337.47	\$354.34
Non-prime	\$195.10	\$204.85
NON-PROFIT NON-SURREY		
Prime	\$337.47	\$354.34
Non-prime	\$195.10	\$204.85
Junior Hockey "A"		
Practices	\$195.10	\$204.85
Games	\$337.47	\$354.34
Camps and Programs	\$214.33	\$225.05
COMMERCIAL/PRIVATE		
Prime	\$465.42	\$488.69
Non-prime	\$278.61	\$292.54
SCHOOL BOARD		
	\$0.00	\$0.00
<i>As per the Reciprocal Agreement with School District 36</i>		
LAST MINUTE ICE		
7 days prior (less 25% off applicable rate)	\$253.10	\$265.76
1 - 3 days prior (less 50% off applicable rate)	\$168.74	\$177.17
Rate does not apply to minor sport		

Dry Floor Rentals

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
NON-PROFIT SURREY YOUTH		
Prime	\$57.82	\$60.71
Non Prime	\$36.85	\$38.69
Tournament Rate		
Each Tournament	\$57.82	\$60.71
NON-PROFIT SURREY AND USER GROUPS		
<i>Day Rate (includes facility attendant)</i>	\$499.68	\$524.67
<i>Surrey Non-Profit (Service Groups) and User Groups (Hockey/Lacrosse) once per season for dance, banquet, awards ceremony</i>		
NON-PROFIT SURREY ADULT & NON-PROFIT NON-SURREY		
All Hours	\$107.90	\$113.30
Senior A and B Lacrosse, Ball Hockey (Adult)		
All Hours	\$107.90	\$113.30
B. Junior Lacrosse		
Practice	\$66.14	\$69.45
Game	\$86.46	\$90.78
COMMERCIAL/PRIVATE		
<i>(8 hour minimum)</i>	\$211.77	\$222.36
SCHOOL BOARD		
<i>As per the Reciprocal Agreement with School District 36</i>	\$0.00	\$0.00
CLOVERDALE CURLING RINK (April to August)		
Adult Groups	\$64.74	\$67.98
Minor Groups		
Prime	\$36.77	\$38.60
Non-Prime	\$22.12	\$23.23

Pool Rentals

Indoor Pool Definitions

Prime Time

Monday - Friday	6:30 a.m.	-	8:00 a.m.
Monday - Friday	3:00 p.m.	-	10:00 p.m.
Saturday - Sunday	6:30 a.m.	-	10:00 p.m.

Non-Prime Time

Monday - Sunday	10:00 p.m.	-	6:30 a.m.
Monday - Friday	8:00 a.m.	-	3:00 p.m.

South Surrey Pool

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
NON-PROFIT SURREY YOUTH		
Non-prime		
37.5m Lane	\$12.52	\$13.15
25m Lane	\$8.35	\$8.77
22.8m Lane	\$7.63	\$8.01
14.6m Lane	\$5.21	\$5.47
13.7m Lane	\$4.89	\$5.13
11m Lane	\$3.91	\$4.11
Prime		
37.5m Lane	\$23.27	\$24.43
25m Lane	\$16.19	\$17.00
22.8m Lane	\$15.13	\$15.89
14.6m Lane	\$9.67	\$10.15
13.7m Lane	\$9.07	\$9.52
11m Lane	\$7.28	\$7.64
Swim Meets	\$146.19	\$153.50
NON-PROFIT SURREY ADULT		
Whole Pool	\$218.36	\$229.28
<i>Additional staff charges at a ratio of one guard for every additional 50 people over 100</i>		
37.5m Lane	\$38.91	\$40.86
25m Lane	\$25.93	\$27.23
22.8m Lane	\$23.67	\$24.85
14.6m Lane	\$15.16	\$15.92
13.7m Lane	\$14.19	\$14.90
11m Lane	\$11.39	\$11.96
NON-PROFIT NON-SURREY		
Whole Pool	\$218.36	\$229.28
<i>Additional staff charges at a ratio of one guard for every additional 50 people over 100</i>		
37.5m Lane	\$38.91	\$40.86
25m Lane	\$25.93	\$27.23
22.8m Lane	\$23.67	\$24.85
14.6m Lane	\$15.16	\$15.92
13.7m Lane	\$14.19	\$14.90
11m Lane	\$11.39	\$11.96

COMMERCIAL PRIVATE

Whole Pool	\$423.31	\$444.48
<hr/>		
<i>Additional staff charges at a ratio of one guard for every additional 50 people over 100</i>		
37.5m Lane	\$53.83	\$56.52
25m Lane	\$35.77	\$37.56
22.8m Lane	\$32.54	\$34.16
14.6m Lane	\$20.84	\$21.88
13.7m Lane	\$19.50	\$20.47
11m Lane	\$15.65	\$16.43

SCHOOL BOARD

	\$0.00	\$0.00
<hr/>		
<i>As per the Reciprocal Agreement with School District 36</i>		

Guildford, Grandview Heights and Surrey Sport and Leisure Pool

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
NON-PROFIT SURREY YOUTH		
Non-prime		
50m Lane	\$17.74	\$18.63
25m Lane	\$8.87	\$9.31
21.5m Lane	\$7.93	\$8.33
17.5m Lane	\$6.21	\$6.52
12.5m Lane	\$4.43	\$4.65
Prime		
50m Lane	\$33.67	\$35.35
25m Lane	\$16.84	\$17.68
21.5m Lane	\$14.45	\$15.17
17.5m Lane	\$11.79	\$12.38
12.5m Lane	\$8.43	\$8.85
Swim Meets - Per lane 25m (short course)	\$21.17	\$22.23
Swim Meets - Per lane 50m (long course)	\$42.35	\$44.47
Swim Meets - Full Facility 8 lanes	\$392.35	\$411.97
Swim Meets - Full Facility 10 lanes	\$446.89	\$469.23
Facility Attendant Meet Assistant	cost plus 20%	cost plus 20%
NON-PROFIT SURREY ADULT		
50m Lane	\$55.11	\$57.87
25m Lane	\$27.54	\$28.92
21.5m Lane	\$23.63	\$24.81
17.5m Lane	\$19.29	\$20.25
12.5m Lane	\$13.78	\$14.47
NON-PROFIT NON-SURREY		
50m Lane	\$55.11	\$57.87
25m Lane	\$27.54	\$28.92
21.5m Lane	\$23.63	\$24.81
17.5m Lane	\$19.29	\$20.25
12.5m Lane	\$13.78	\$14.47
COMMERCIAL PRIVATE		
Whole Pool - SSLC, Guildford Aquatics	\$675.37	\$709.14
Whole Pool - Grandview Heights	\$844.22	\$886.43
50m Lane	\$76.01	\$79.81
25m Lane	\$38.00	\$39.90
21.5m Lane	\$34.32	\$36.03
17.5m Lane	\$27.94	\$29.33
12.5m Lane	\$19.00	\$19.95
Aquatics High Performance Sustainability Fund (per competitor)	\$5.30	\$5.75
SCHOOL BOARD	\$0.00	\$0.00
<i>As per the Reciprocal Agreement with School District 36</i>		

Newton Wave Pool

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
NON-PROFIT SURREY YOUTH		
All times	\$223.77	\$234.96
NON-PROFIT SURREY ADULT		
All times	\$349.66	\$367.14
<i>Additional staff charge at ratio of one guard for every additional 50 people over 100</i>		
NON-PROFIT NON-SURREY		
All times	\$349.66	\$367.14
<i>Additional staff charge at ratio of one guard for every additional 50 people over 100</i>		
COMMERCIAL/PRIVATE		
All times	\$479.85	\$503.85
SCHOOL BOARD	\$0.00	\$0.00
<i>As per the Reciprocal Agreement with School District 36</i>		

Outdoor Pool Rentals

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Surrey Swim Clubs - May - September		
25m Lane (per hour)	\$8.70	\$9.13
Dead space (2 lane area) Hjorth Road & Bear Creek	\$8.70	\$9.13
Park Pools only (per two lane per hour)		
Dive tank (per tank per hour)	\$8.70	\$9.13
NON-PROFIT ADULTS		
Whole Pool	\$137.55	\$144.42
NON-PROFIT NON-SURREY		
Whole Pool	\$136.49	\$143.31
COMMERCIAL/PRIVATE		
Whole Pool	\$184.97	\$194.22

Facility Rentals

Room Rentals

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted
Rental rates do not include staffing or other additional costs.

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Small Meeting Rooms – up to 30 people		
Non-Profit Surrey Youth	\$12.30	\$12.92
Non-Profit Surrey Adult	\$16.44	\$17.27
Non-Profit Non-Surrey	\$16.44	\$17.27
Private	\$28.75	\$30.19
Commercial	\$34.50	\$36.23

Medium Size Rooms and Kitchens – 30 to 75 people		
Non-Profit Surrey Youth	\$22.55	\$23.68
Non-Profit Surrey Adult	\$31.49	\$33.06
Non-Profit Non-Surrey	\$31.49	\$33.06
Private	\$55.12	\$57.88
Commercial	\$66.15	\$69.46

Small Halls and Large Meeting Rooms – 75 to 140 people		
Non-Profit Surrey Youth	\$33.36	\$35.03
Non-Profit Surrey Adult	\$44.87	\$47.12
Non-Profit Non-Surrey	\$44.87	\$47.12
Private	\$82.22	\$86.33
Commercial	\$98.66	\$103.59

Large Halls – 140 to 300 people		
Non-Profit Surrey Youth	\$46.05	\$48.35
Non-Profit Surrey Adult	\$63.24	\$66.40
Non-Profit Non-Surrey	\$63.24	\$66.40
Private	\$110.69	\$116.22
Commercial	\$132.83	\$139.47

Stand Alone Halls		
Non-Profit Surrey Youth	\$24.43	\$25.65
Non-Profit Surrey Adult	\$33.52	\$35.20
Non-Profit Non-Surrey	\$33.52	\$35.20
Private	\$58.65	\$61.59
Commercial	\$70.38	\$73.90

Gymnasium

Full Gyms

Chuck Bailey, Clayton, Cloverdale, Fraser Heights, Guildford,
Newton and South Surrey

Non-Profit Surrey Youth	\$85.60	\$89.88
Non-Profit Surrey Adult	\$120.86	\$126.90
Non-Profit Non-Surrey	\$120.86	\$126.90
Private	\$181.29	\$190.35
Commercial	\$217.55	\$228.42
Tarp Fee (cost includes tape cost and labour)	\$427.62	\$449.00

Maximum Tournament Rate is 8 times the hourly rate

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Newton Gym - Mat Room		
Non-Profit Surrey Youth	\$23.73	\$24.92
Non-Profit Surrey Adult	\$32.54	\$34.16
Non-Profit Non-Surrey	\$32.54	\$34.16
Private	\$56.94	\$59.79
Commercial	\$68.33	\$71.75
Fitness Studio Rooms		
Non-Profit Surrey Youth	\$28.40	\$29.82
Non-Profit Surrey Adult	\$39.68	\$41.66
Non-Profit Non-Surrey	\$39.68	\$41.66
Private	\$69.46	\$72.93
Commercial	\$83.35	\$87.52
Other Fees		
Facility Attendant	\$35.33	\$37.25
Facility cleaning fee (meetings - medium use bookings)	\$20.19	\$21.25
Facility cleaning fee minimum (social bookings)	\$40.38	\$42.50
Fitness Instructor (Fitness Studio bookings only)	\$51.48	\$54.25
Large Fitness Equipment (per Fitness Studio booking)	\$35.33	\$37.25
Small Fitness Equipment (per Fitness Studio booking)	\$17.67	\$18.75
Misc. Fees (chair cleaning, equipment rental...)	Cost + 20%	Cost + 20%

Room Rental Listing

If rented after public hours of operation, a 4-hour minimum staff charge will apply

Small Meeting Rooms – up to 30 people

- Alice McKay Building - Boardroom
- City Hall - Community Rooms 1E Room A, 2E Room A, 2E Room B
- Clayton Community Centre - Studio 110
- Clayton Community Centre - Studio 111
- Clayton Community Centre - Studio 112
- Clayton Community Centre - Studio 113
- Cloverdale Arena - Conference Room
- Cloverdale Athletic Park Pavilion - Meeting Room
- Cloverdale Recreation Centre - Activity Room
- Cloverdale Recreation Centre - Workshop 206
- Community Rooms (All unless specifically listed)
- Elgin Centre
- Fleetwood Community Centre - Boardroom
- Fleetwood Community Centre - Room 1
- Fleetwood Community Centre - Multi-Purpose Room #5
- Fleetwood Community Centre - Multi-Purpose Room #6
- Fleetwood Park - Meeting Room
- Fraser Heights Community Centre – Multi-Purpose Room #1
- Grandview Heights Aquatics Centre - Deck Side Classroom
- Guildford Recreation Centre - Meeting Room
- Guildford Recreation Centre - MPR A
- Guildford Recreation Centre - Training Room
- Guildford Recreation Centre - Small Meeting room
- Historic Stewart Farm - Barn Program Area
- Kensington Prairie Community Centre - Activity Room
- Kensington Prairie Community Centre - Community Room 1
- Kensington Prairie Community Centre - Community Room 2
- Lobbies (table/booth setup only)
- Meridian Centre
- Museum of Surrey - Program Room 1
- Museum of Surrey - Program Room 2
- Museum of Surrey - Textile Program Room
- Newton Athletic Park Pavilion - Upper Meeting Room
- Newton Athletic Park - North Community Room
- Newton Seniors' Centre - Meeting Room
- Newton Seniors' Centre - Quiet Room
- Newton Wave Pool - Multi-Purpose Room 1
- Newton Wave Pool - Multi-Purpose Room 2 (Youth Lounge)
- North Surrey Sport and Ice Complex - Community Board Room
- Port Kells Community Hall - Small Room
- Shannon Hall - Boardroom
- Shannon Hall - Storage
- South Surrey Indoor Pool - Multipurpose Room
- South Surrey Recreation & Arts Centre - Meeting Room
- Sunnyside Hall - Lounge only
- Surrey Archives - Multi-Purpose room
- Surrey Arts Centre - Conference Room
- Surrey Nature Centre - Dogwood Room

- Surrey Sport & Leisure Complex - MP 101
- Surrey Sport & Leisure Complex - MP 102
- Surrey Sport & Leisure Complex - MP 103
- Surrey Sport & Leisure Complex - MP 204
- Tamanawis Park Field House - Lower Meeting Room
- Tamanawis Park Field House - Upper Meeting Room
- Unwin Park - Meeting Room
- West Newton Community Park - Fieldhouse Meeting Room

Medium Size Rooms and Kitchens – 30 to 75 people

- Agriplex - Kitchen
- Bridgeview Community Centre - Kitchen
- City Hall - Community Rooms 1E Room B, 1E Combined A&B, 2E Combined A&B
- Chuck Bailey Recreation Centre - Kitchen
- Chuck Bailey Recreation Centre - Multi-Purpose 1
- Chuck Bailey Recreation Centre - Preschool
- Chuck Bailey Recreation Centre - Youth
- Clayton Community Centre - Multipurpose Rooms 120, 121, 122
- Cloverdale Athletic Park Fieldhouse - Community Room
- Cloverdale Ball Park - Fieldhouse
- Cloverdale Recreation Centre - Multi-Purpose Rooms 101, 102, 103, 202, 203, 204, 205
- Cloverdale Recreation Centre - Kitchen
- Fleetwood Community Centre - Room 3
- Fleetwood Community Centre - Room 4
- Fraser Heights Community Centre - Multi-Purpose Room 2, 3, & 5
- Grandview Heights Aquatics - Patio
- Guildford Recreation Centre - Craft Rooms 1 & 2
- Guildford Recreation Centre - MPR B
- Guildford Recreation Centre - Seniors' Lounge
- Guildford Recreation Centre - Youth Lounge
- Kensington Prairie Community Centre - Classrooms 1, 2, 5, 6
- Museum of Surrey - Atrium
- Museum of Surrey - 1881 Town Hall
- Museum of Surrey - Theatre
- Newton Athletic Park - Community Room
- Newton Seniors' Centre - Multi-Purpose Room
- Newton Seniors' Centre - Activity Room
- North Surrey Sport and Ice Complex - Multi-Purpose Room 1
- North Surrey Sport and Ice Complex - Multi-Purpose Room 2
- North Surrey Sport and Ice Complex - Multi-Purpose Room 3
- Shannon Hall - Concession
- Shannon Hall - Kitchen
- South Surrey Arena - Upper Lounge
- South Surrey Recreation & Arts Centre - Multi-Purpose 1 Community Lounge
- South Surrey Recreation & Arts Centre - Multi-Purpose 3 Preschool
- South Surrey Recreation & Arts Centre - Multi-Purpose 4 Preschool
- South Surrey Recreation & Arts Centre - Childminding
- South Surrey Recreation & Arts Centre - Multi-Purpose 6 Youth Lounge
- Stetson Bowl - Concession
- Historic Stewart Farm - Stewart Hall
- Surrey Arts Centre - Art Studios - Classroom 1 and 2
- Surrey Arts Centre - Program Room

- Surrey Nature Centre - Forest Room
- Surrey Sport & Leisure Complex - Kitchen

Large Meeting Rooms and Small Halls – 75 to 140 people

- Alice McKay Building - Hall
- Don Christian Recreation Centre - Small Hall
- Fleetwood Community Centre - Fitness Studio
- Guildford Recreation Centre - Multi-purpose Room
- Kensington Prairie Community Centre - Gym 1
- Kwomais Point Park - Lodge
- Kwomais Point Park - Sanford Hall
- Museum of Surrey - Lobby and Link
- South Surrey Recreation and Arts Centre - MP 7 Fitness Room
- Surrey Sport & Leisure Complex - Multi-Purpose 1
- Surrey Sport & Leisure Complex - Multi-Purpose 2
- Surrey Sport & Leisure Complex - Multi-Purpose 3

Large Halls – 140 to 300 people

- Bridgeview Community Centre - Gymnasium
- City Hall - Atrium (City Room)
- Clayton Community Centre - Atrium (Lobby)
- Fleetwood Community Centre - Large Hall
- Museum of Surrey - Entire Building (galleries may be added upon request)
- Newton Community Hall - Multi-Purpose 4
- Newton Seniors' Centre - Auditorium
- Shannon Hall
- Surrey Sport & Leisure Complex - Multi-Purpose 1 and 2

Stand Alone Halls (no staff)

- Bear Creek Pavilion
- Clayton Community Hall
- Elgin Hall
- Port Kells Community Hall
- Strawberry Hill Hall
- Sunnyside Hall

Fitness Studio Rooms

- Cloverdale Recreation Centre - Fitness Studio
- Cloverdale Recreation Centre - Wellness Studio and Cycling Room
- Clayton Community Centre - Fitness Studio
- Clayton Community Centre - Cycling Studio
- Fraser Heights Recreation Centre - Fitness Studio Room 4
- Guildford Recreation Centre - Fitness Studio Room 109
- Guildford Recreation Centre - Cycling Studio
- Newton Recreation Centre - Fitness Studio (Room 1)
- North Surrey Sport & Ice Complex - Fitness Studio
- North Surrey Sport & Ice Complex - Cycling Studio
- South Surrey Recreation and Arts Centre - Fitness Studio MP 5
- South Surrey Recreation and Arts Centre - Cycling Studio MP 2
- Surrey Sport & Leisure Complex - Fitness Studio

Parking Lot Rentals

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Parking Lots - Small (min 4 hour booking)		
Non-Profit Surrey Youth	\$10.56	\$11.09
Non-Profit Surrey Adult	\$11.52	\$12.10
Non-Profit Non-Surrey	\$11.52	\$12.10
Private	\$19.20	\$20.16
Commercial	\$23.05	\$24.20
Commercial per day rate	\$276.60	\$290.43
Commercial per week rate	\$1,659.57	\$1,742.55
Parking Lots - Large (min 4 hour booking)		
Non-Profit Surrey Youth	\$26.07	\$27.38
Non-Profit Surrey Adult	\$28.45	\$29.87
Non-Profit Non-Surrey	\$28.45	\$29.87
Private	\$47.42	\$49.79
Commercial	\$56.90	\$59.75
Commercial per day rate	\$682.84	\$716.99
Commercial per week rate	\$4,097.07	\$4,301.92

Deposits & Payments

Commercial Rental Booking Deposit	\$250.00	\$250.00
-----------------------------------	----------	----------

Due when the rental contract is firmed up, is non-refundable in the event of a cancellation. This amount counts towards the total rental contract owing.

Parking Lot Listing

Small Parking Lots – up to 100 stalls

- Bear Creek Park - 140 Street Lot
- Bear Creek Park - Skate Park Lot
- Bridgeview Community Centre Lot
- Cloverdale Athletic Park - 168 Street Lot - North
- Cloverdale Athletic Park - 168 Street Lot - Tennis Courts
- Cloverdale Fairgrounds - Lot F - Alice McKay
- Crescent Park - South Gravel Overflow Lot
- Don Christian Recreation Centre Lot
- Fleetwood Community Centre - Lot A - North
- Fleetwood Community Centre - Lot B - South
- Fraser Heights Recreation Centre & Park Lot
- Grandview Heights Aquatic Centre - Overflow
- Guildford Recreation Centre - Lower Aquatic Lot - P2
- Guildford Recreation Centre - Upper NW Recreation Lot
- Guildford Recreation Centre - Underground Parkade Lot
- Holly Park Lot
- Newton Athletic Park - Overflow Lot
- South Surrey Athletic Park - Recreation Centre & Skate Park Lot
- South Surrey Athletic Park - Recreation Centre & Water Park Lot
- Surrey Nature Centre - Overflow Lot
- The Glades Lot
- Tom Binnie Park Lot

Large Parking Lots – 100 stalls or more

- Bear Creek Park - Arts Centre & Pavilion Lot
- Bear Creek Park - Fields & Outdoor Pool Lot
- Blackie Spit - Crescent Beach Lot
- Clayton Community Centre Lot
- Clayton Hall & Park Lot
- Cloverdale Arena Lot
- Cloverdale Athletic Park - 64 Avenue Lot
- Cloverdale Athletic Park - 168 Street Lot - South
- Cloverdale Ball Park Lot
- Cloverdale Fairgrounds - Lot A - Upper Stetson Bowl
- Cloverdale Fairgrounds - Lot B - Lower Stetson Bowl
- Cloverdale Fairgrounds - Lot C - Agriplex
- Cloverdale Fairgrounds - Lot D - Paved Lot
- Cloverdale Fairgrounds - Lot E - Gravel Lot
- Cloverdale Fairgrounds - Lot G - Shannon Hall
- Cloverdale Recreation Centre Lot
- Darts Hill Garden Park Lot
- Grandview Heights Aquatic Centre - North
- Grandview Heights Aquatic Centre - South
- Newton Athletic Park - North Lot
- Newton Athletic Park - South Lot - Turf #4
- Newton Athletic Park - South Lot - Playground
- North Surrey Sport & Ice Complex Lot
- Royal Kwantlen Park Lot
- South Surrey Athletic Park - 20 Avenue Lot - South

- South Surrey Athletic Park - Arena Lot
- South Surrey Athletic Park - Recreation Centre & Fields Lot
- South Surrey Athletic Park - Semiahmoo Lot
- Surrey Sport and Leisure Complex - Arena North Lot
- Surrey Sport and Leisure Complex - Arena Front Lot
- Surrey Sport and Leisure Complex - Aquatics Lot
- Unwin Park Lot
- Whalley Athletic Park Lot

Cloverdale Fairgrounds

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Non-Profit Surrey Youth	\$141.49	\$148.56
Non-Profit Surrey Adult	\$154.35	\$162.07
Non-Profit Non-Surrey	\$154.35	\$162.07
Private	\$257.25	\$270.11
Commercial	\$308.70	\$324.14
Commercial per day rate	\$3,704.40	\$3,889.62
Commercial per week rate	\$22,226.40	\$23,337.72

Bill Reid Millennium Park Amphitheatre

Non-Profit Surrey Youth	\$155.91	\$163.70
Non-Profit Surrey Adult	\$170.08	\$178.59
Non-Profit Non-Surrey	\$170.08	\$178.59
Private	\$283.47	\$297.64
Commercial*	\$340.16	\$357.17
Commercial* per day rate	\$2,832.50	\$2,974.13
Commercial* per week rate	\$15,000.00	\$15,750.00

*plus a percentage of ticket sales

Stetson Bowl Stadium - includes Grandstand, Field and Pens Area

Non-Profit Surrey Youth	\$990.00	\$1,039.50
Non-Profit Surrey Adult	\$1,080.00	\$1,134.00
Non-Profit Non-Surrey	\$1,080.00	\$1,134.00
Private	\$1,800.00	\$1,890.00
Commercial	\$2,160.00	\$2,268.00

Stetson Bowl Covered Area

Non-Profit Surrey Youth	\$7.42	\$7.79
Non-Profit Surrey Adult	\$10.41	\$10.93
Operators of for-profit program on Park land - Per Hour	\$19.32	\$20.29

Deposits & Payments

Commercial Rental Booking Deposit	\$5,000.00	\$5,000.00
-----------------------------------	------------	------------

Due when the rental contract is firmed up and counts towards the total rental contract owing.

Modified long-term rates can be approved by General Manager. Revenue-sharing on admissions can also be negotiated.

Cancellation Policy - 60 days notice or fee of 50% of booking cost
Commercial Rentals - 50% discount on fees for set-up

City Hall Plaza

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
General Public		
Non-Profit Surrey	Free	Free
Non-Profit Organization		
Hourly (Max 4 hours)	\$129.00	\$135.45
Daily	\$1,287.50	\$1,351.88
Commercial		
Hourly (Max 4 hours)	\$257.70	\$270.59
Daily	\$2,575.00	\$2,703.75

Additional Services Extra (Security, Janitorial, Equipment Rental) Cost

Outdoor Sport Facilities

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

Grass Field Prime Time

Monday to Friday: 4:00 p.m. – 10:00 p.m.

Saturday & Sunday: 8:00 a.m. – 10:00 p.m.

Grass Field Non-Prime Time

Monday to Friday: 8:00 a.m. to 4:00 p.m.

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Permit Administration Fee (non-refundable)	\$36.90	\$38.75
Key Replacement Fee	\$17.25	\$18.11
<i>Gate, Light, Washroom Keys...</i>		
Grass Sports Fields, Ball Diamonds, Sport Courts and Running Tracks		
Adult Non-Prime	\$8.06	\$8.46
Adult Prime (minimum 2 hours)	\$16.11	\$16.92
For Profit Sport Camps		
Per Hour	\$19.32	\$20.29
Cancellation Fee (per session)	\$21.74	\$22.83
Lighted grass sports fields, ball diamonds		
Youth	\$7.42	\$7.79
Adult	\$26.54	\$27.86
Lighted grass practice and gravel fields: 5:30pm - 10:30pm		
Youth	\$7.42	\$7.79
Adult	\$10.41	\$10.93
Adult Tournaments and Track Meets		
Surrey Non-Profit Association (per facility, per day)	\$104.57	\$109.80
Non-Surrey, Non-Profit Associations, Private Groups (per facility, per day)	\$149.32	\$156.78
Commercial and Private Groups for profit (per facility, per day)	\$298.63	\$313.56
Half day charges		
<i>(Mon. to Fri. only, after 5 p.m. No half days on Sat., Sun. or Statutory Holidays)</i>		
Surrey Non-Profit Associations	\$52.30	\$54.92
Non-Surrey Non-Profit Associations	\$74.70	\$78.43
Commercial and Private Groups for profit	\$149.40	\$156.87

Any exclusive use of a field(s), ball diamond(s), game court(s), requested outside of the sports group's normal regular season field allocations. A tournament may include, and is not restricted to: playoffs, invitationals, provincials and nationals.

Artificial Turf Fields

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

Prime Time

Monday to Friday: 5:30 p.m. - 10:30 p.m.

Saturday & Sunday: 8:00 a.m. - 6:00 p.m.

Non-Prime Time

Monday to Friday: 8:00 a.m. - 5:30 p.m.

Saturday & Sunday: 6:00 p.m. - 10:30 p.m.

July and August - Non-Prime Time

Monday, Friday, Saturday and Sunday: All-day (non-prime time rates apply, with the exception of tournaments)

Last Minute Turf

7 days prior (less 25% off applicable rate)

1 - 3 days prior (less 50% off applicable rate)

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Prime Time		
Surrey based youth (includes School District #36)	\$30.47	\$31.99
Surrey based adult	\$54.73	\$57.46
Non-Surrey based youth/private youth use	\$59.73	\$62.72
Non-Surrey based adult/private adult use	\$106.56	\$111.89
Commercial Use	\$139.26	\$146.23
Surrey based youth tournaments - per day	\$223.61	\$234.79
Surrey based adult tournaments - per day	\$410.19	\$430.70
Non-Surrey based youth tournaments/private youth tournament - per day	\$496.80	\$521.64
Non-Surrey based adult tournaments/private adult tournaments - per day	\$639.41	\$671.38
Non-Prime Time		
Surrey based youth (includes School District #36)	\$15.34	\$16.11
Surrey based adult	\$27.38	\$28.75
Non-Surrey based youth/private use youth	\$29.91	\$31.41
Non-Surrey based adult/private use adult	\$53.33	\$56.00
Commercial Use	\$139.26	\$146.23
For Profit Sports Camps	\$19.32	\$20.29
For Profit Sports Camps Cancellation Fee - per session	\$21.74	\$22.83
Mini Turf Field	\$10.49	\$11.01
Kabaddi Field		
Non-Profit - per day	\$149.32	\$156.78
Commercial Event, For Profit - per day	\$4,691.49	\$4,926.06
Boot Camps and Fitness/Performance Training		
Operators of for-profit program on Park land - Per Hour	\$19.32	\$20.29
Community Sport Trailer		
Per event maximum	Cost + 20%	Taxable
Damage Deposit (Refundable)	\$2,000.00	\$2,100.00

Tennis/Pickleball Courts

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

Prime Time

Monday to Friday: 4:00 p.m. - 10:00 p.m.

Saturday & Sunday: 8:00 a.m. - 10:00 p.m.

Non-Prime Time

Monday to Friday: 8:00 a.m. - 4:00 p.m.

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Prime Time		
Tennis Courts - per hour per court	\$9.66	\$10.15
Pickleball Courts - per hour per court	\$3.09	\$3.24
Non-Prime Time		
Tennis Courts - per hour per court	\$4.84	\$5.08
Pickleball Courts - per hour per court	\$1.54	\$1.62
Adult Tournaments and For Profit Events		
Tennis Courts - per day per court	\$77.30	\$81.16
Pickleball Courts - per day per court	\$24.70	\$25.93
Seasonal Club Fee, Surrey Non-Profit Association		
Tennis Courts - per court per season (May 1-Sept 30)	\$2,572.50	\$2,701.13
Pickleball Courts - per court per season (May 1-Sept 30)	\$1,377.57	\$1,446.45
Club Fees, Surrey Non-Profit Association		
Tennis Courts - per court per hour (Oct 1-Apr 30)	\$3.26	\$3.43
Pickleball Courts - per court per hour (Oct 1-Apr 30)	\$1.63	\$1.71

Group Photography and Wedding Ceremony Permits

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Elgin Heritage Park (Non-gated Passive Grass)		
<i>Groups do not have exclusive use of the site. Permission to have photography are granted via a park permit.</i>		
Admin Fee (per session/permit)	\$0.00	\$0.00

The Glades Woodland Garden (Gated Passive Grass)

Admin Fee (per session/permit)	\$0.00	\$0.00
--------------------------------	--------	--------

Ward's Marina

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Monthly Moorage (fee per day multiplied by linear foot)	\$0.21	\$0.22
Short-Term Storage available upon request	\$0.21	\$0.22
Lockers - Daily		
Half	\$0.27	\$0.28
Full	\$0.54	\$0.56

Surrey Arts Centre Main Stage

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted
(MENU-DRIVEN RENTAL RATE STRUCTURE)

A Theatre Rental Coordinator is available at the Arts Centre to provide complete theatre rental booking information and services to the community. Upon receipt of detailed information regarding the client's production requirements and proposed performance dates, the Arts Centre Theatre will provide a formal quotation outlining expenses and contract requirements to the client within three theatre working days. Please contact the Arts Centre (604 501 5566) and ask for the Theatre Rental Office.

User Categories

- School District 36
- Non-Profit Surrey Youth
- Non-Profit Surrey Adult
- Non-Profit Non-Surrey (includes approved Cultural Business)
- Commercial/Private

	2023/24 Base	2023/24 Fee (Incl. Taxes)
--	-----------------	------------------------------

Theatre Rental (per hour) 6 hours minimum

School District 36	\$79.23	\$83.19
Non-Profit Surrey Youth	\$114.73	\$120.47
Non-Profit Surrey Adult	\$114.73	\$120.47
Non-Profit Non-Surrey*	\$184.19	\$193.40
Commercial/Private	\$350.37	\$367.89

*Cultural Business can qualify for this rate if approved by Performing Arts Manager

Staff Labour	Cost + 20%	Cost + 20%
--------------	------------	------------

(can include House Supervisor, Stage Technician, Bartender, and Concession Worker)

*overtime rates may apply

Dark Days	\$247.99	\$260.39
-----------	----------	----------

Per non-use day within the rental block. A maximum of two dark days are permitted for rentals exceeding seven days. Additional dark days will be subject to the applicable rental rate.

Deposits & Payments

Arts Rental Booking Deposit	\$300.00	\$300.00
-----------------------------	----------	----------

Due when the rental contract is firmed up, is non-refundable in the event of a cancellation. This amount counts towards the total rental contract owing.

Balance of rental charges due 14 days prior to booking or at the discretion of the General Manager or designate.

Surrey Arts Centre Studio Theatre

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Theatre Rental (per hour) 5 hours minimum		
Non-Profit Surrey Youth	\$21.61	\$22.69
Non-Profit Surrey Adult	\$21.61	\$22.69
Non-Profit Non-Surrey*	\$39.10	\$41.06
Commercial/Private	\$117.31	\$123.17

*Cultural Business can qualify for this rate if approved by Performing Arts Manager

Staff Labour	Cost + 20%	Cost + 20%
--------------	------------	------------

(can include House Supervisor, Stage Technician, Bartender, and Concession Worker)

*overtime rates may apply

Dark Day	\$157.44	\$165.31
----------	----------	----------

Per non-use day within the rental block. A maximum of two dark days are permitted for rentals exceeding seven days. Additional dark days will be subject to the applicable rental rate.

Deposits and Payments

Arts Rental Booking Deposit	\$300.00	\$300.00
-----------------------------	----------	----------

Due when the rental contract is firmed up, is non-refundable in the event of a cancellation.

Balance of rental charges due 14 days prior to booking or at the discretion of the General Manager or designate.

Surrey City Hall Centre Stage

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Theatre Rental (per hour) 6 hours minimum		
<i>Includes up to six hours access, with one on-stage technician and one House Supervisor</i>		
Non-Profit Surrey Youth	\$66.89	\$70.23
Non-Profit Surrey Adult	\$66.89	\$70.23
Non-Profit Non-Surrey*	\$94.15	\$98.86
Commercial/Private	\$133.77	\$140.46

*Cultural Business can qualify for this rate if approved by Performing Arts Manager

Staff Labour (can include House Supervisor, Stage Technician, Bartender, and Concession Worker)	Cost + 20%	Cost + 20%
*overtime rates may apply		

Dark days	\$186.76	\$196.10
Per non-use day within the rental block. A maximum of two dark days are permitted for rentals exceeding seven days. Additional dark days will be subject to the applicable rental rate.		

Deposits & Payments

Arts Rental Booking Deposit	\$300.00	\$300.00
Due when the rental contract is firmed up, is non-refundable in the event of a cancellation. This amount counts towards the total rental contract owing.		

Balance of rental charges due 14 days prior to booking or at the discretion of the General Manager or designate.

Centre Stage Sale of Merchandise Surcharge

A surcharge of 15% will be applied to the gross revenue resulting from the sale of any merchandise, memberships or fund-raising items at Centre Stage in conjunction with your bookings.

The 15% surcharge will also be applied to the gross revenues of any merchandise sold in the Centre Stage by photographers and/or videographers at any time during your booking.

Renters that are registered as Surrey non-profit organizations will be exempt from the 15% Sale of Merchandise surcharge.

Also, please be reminded that ticket raffles, calendar raffles and 50/50 draws, etc. in Surrey facilities are only permitted with a gaming event license.

Clayton Community Centre Performing Arts Studio

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Studio Rental (per hour)		
Non-Profit Surrey Youth	\$21.61	\$22.69
Non-Profit Surrey Adult	\$21.61	\$22.69
Non-Profit Non-Surrey*	\$39.10	\$41.06
Commercial/Private	\$117.31	\$123.17

*Cultural Business can qualify for this rate if approved by Performing Arts Manager

Surrey Civic Theatres - Other Fees

All Fees are subject to applicable taxes; Per hour fee, unless otherwise noted

The following rental fees may apply to rentals held at the Surrey Arts Centre or City Hall

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Surrey Arts Centre Gallery Admission	Free, donation	Free, donation
accepted		accepted

Equipment Rental

Piano		
For the use of acoustic pianos regularly tuned and maintained	\$155.85	\$163.75
Requested additional tuning	\$145.50	\$153.00
Projector (per event)	\$259.75	\$272.75
Linen Rental	\$9.50	\$10.00
Table Rental - Cocktail Tables	\$9.50	\$10.00

Ticket Service Charges

For all tickets sold by SAC Box Office or by renter	\$1.91	\$2.25
Complimentary tickets	\$1.91	\$2.25
Use of an outside ticket agent	\$1.91	\$2.25
A Theatre Improvement Fee will be added to all tickets	\$1.00	\$1.00

All tickets sold for events at Surrey Civic Theatres (SCT) are to be sold through the SCT box office.

Exceptions are at the discretion of Manager, Performing Arts or designate.

Tickets on sale date is at the request of the renter but will not be on sale before there is a signed contract.

For free events, or events with complimentary tickets, 10% of tickets are not subject to service charges - the remainder of tickets are charged at \$3.25 per seat service charge (\$1 per seat TIF only may be available - discretion of Manager, Performing Arts or designate).

Clients taking tickets away to sell at their locations or by a third party seller are subject to \$3.25 per seat service charges.

Events that charge admission by donation are subject to \$3.25 service charge per seat.

Payment for tickets by patrons of SCT Box Office can be made by credit card, debit or cash

Surrey Art Centre Sale of Merchandise Surcharge

Lobby sales by renters must not duplicate or compete with SAC concessions, bar or the Gift Shop.

A surcharge of 15% will be applied to the gross revenue resulting from the sale of any merchandise, memberships or fund-raising items at Surrey Arts Centre in conjunction with your bookings.

The 15% surcharge will also be applied to the gross revenues of any merchandise sold in the Surrey Arts Centre by photographers and/or videographers at any time during your booking.

Renters that are registered as Surrey non profit organizations will be exempt from the 15% Sale of Merchandise surcharge.

Also, please be reminded that ticket raffles, calendar raffles and 50/50 draws, etc., in Surrey facilities are only permitted with a gaming event license.

Admissions & Passes

Admissions - Definitions

The following information is applicable to admission fees and charges and will be taken into consideration, but is not limited to:

Users	
Infant	0 – 23 months
Child/Youth	2 - 18 years inclusive
Adult	19 - 59 years inclusive
Senior 60-69	60 - 69 years inclusive
Senior 70 years and older	70+ years
Post-Secondary Student	*Students must show valid student card dated for the current school year
Family with Dependants	A family consisting of 1 or 2 parents, grandparents or legal guardians with at least 1 dependant aged 18 years or younger
Attendant	A person who supports a participant with a disability
Fee Structure	
Infant	Free
Child/Youth	50% of Adult Rate
Adult	100%
Senior 60 to 69	25% of Adult Rate
Senior 70 Years and older	75% of Adult Rate
Post-Secondary Student	25% of Adult Rate
Family with Dependants	Equal to the child rate for each family member
Value	50% of regular rates
Attendant	Free, when attending to someone with a disability
Swipe Pass (5)	5% discount of the applicable rate
Swipe Pass (10)	10% discount of the applicable rate
Swipe Pass (20)	20% discount of the applicable rate
Rounding	After-Tax admission fees will be rounded up to the nearest quarter (\$0.25)

* Student Rate Definition: PRC recognizes a student as a person (regardless of age) who possess current and valid student identification from a designated post-secondary institution.

Admissions

All Fees are subject to applicable taxes; Per person fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
<i>Valid at all City Operated Recreation Facilities</i>		
Infant (under 2 years)	\$0.00	\$0.00
Children/Youth	\$3.48	\$3.75
Adult	\$6.95	\$7.50
Senior 60 to 69	\$5.24	\$5.75
Senior 70 Years and older	\$1.69	\$2.00
Post-Secondary Student ²	\$5.24	\$5.75
Family with Dependants ^{1 & 2}	\$3.47	\$3.75
Value Time	50% discount	50% discount
Shower Only Fee	\$1.96	\$2.25

¹ Per person (minimum 1 adult, maximum 2 adults and at least one child 18 years or younger).

Valid to participate in:

- drop-in program (Childminding is not included as a drop-in activity);
- accompanying a dependant registered in a program; or
- accompanying a dependant participating in a sport group rental (e.g. swim clubs)
- accompanying a dependant that has a Full-Facility Pass, the adult qualifies for the family drop-in rate.

² Not available online. Post-secondary Students 19+ must provide valid student identification from a designated post-secondary institution. Family with Dependants must be present together at the front counter to receive discounted rate.

Facility Passes - Terms and Conditions

The following information is applicable to facility passes and will be taken into consideration, but is not limited to:

Recreation Surrey Passes are valid at all City-operated pools, arenas and community recreation centres. Annual, Month and Swipe passes are non-transferable.

Replacement cards are subject to an administrative processing fee.

Student pass requires proof of ID from a Canadian designated post-secondary institution.

Family Pass is defined as 1 or 2 parent/guardian(s) with an unlimited number of dependant children (18 years and younger).

Drop-in is per person in the family. Family drop-in admission applies to the following:

- Family members participating in drop-in programs (Childminding is not included as a drop-in activity);
- Parent(s)/Guardian(s) of children participating in a registered program. (eg, Drop-in swim);
- Parent(s)/Guardian(s) of children participating in a sport group activity. (eg, Swim Club);
- Parent(s)/Guardian(s) do not need to participate in the same activity as the child to qualify for family admission;
- Parent(s)/Guardian(s) and dependant children must be together at the facility's front counter to receive family admission.

Swipe Passes expire 2 years from the date of purchase and are non-refundable.

Monthly Payment Options

Monthly payment options are available on 1-year full-facility passes. Make monthly payments using Automatic Debit or Credit Card. First payment is due at purchase and remaining payments will be withdrawn on the same day of each month as the date of purchase.

A \$5 fee will be charged for declined automatic debit payments.

Pass Cancellation Policy

A \$5 fee will be charged to cancel an annual pass. A pro-rated refund will be issued from the date of cancellation if applicable.

Pass Renewal

If you renew your annual pass before it expires, you are eligible to receive one extra month for no additional cost. Business Operations will apply the additional month

Annual Pass Extension Policy

Annual passes can be suspended and extended, once, for up to three months. Clients must notify staff prior to the extension.

Facility Passes

All Fees are subject to applicable taxes; Per person fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Monthly		
Infant	\$0.00	\$0.00
Children/Youth	\$36.07	\$38.00
Adult	\$72.14	\$76.00
Senior 60 to 69	\$54.10	\$57.00
Senior 70 Years and older	\$18.04	\$19.00
Post-Secondary Student	\$54.10	\$57.00
Family	\$144.29	\$152.00

Annually		
Infant	\$0.00	\$0.00
Children/Youth	\$264.26	\$277.50
Adult	\$528.50	\$555.00
Senior 60 to 69	\$396.38	\$416.25
Senior 70 Years and older	\$132.13	\$138.75
Post-Secondary Student	\$396.38	\$416.25
Family	\$1,057.01	\$1,110.00

Swipe Passes

10 swipe passes are offered on drop-in rates at a 10% discount off regular admission price.

20 swipe passes are offered on drop-in rates at a 20% discount off regular admission price.

Unused punches expire 2 years from date of purchase.

Other Passes

Leisure Access Admin Fee	\$0.00	\$0.00
MY Fun Pass - valid September - June for children aged 2-12	\$110.12	\$115.75
Simon Fraser University (Surrey Campus) Letter of Understanding per semester, per eligible student	\$37.32	\$39.19

Specialty Session Admission Rates

All Fees are subject to applicable taxes; Per person fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Adult Drop-in Rec. Hockey* or Adult Figure Skating*	\$8.90	\$9.50
Parent and Youth Stick and Puck*		
Child/Youth	\$7.16	\$7.75
Adult	\$8.90	\$9.50
Winter Ice Palace*	\$4.46	\$4.75
Child Minding Service	\$3.48	\$3.75
<i>max. 90 minutes</i>		
<i>LAP entitled to 75% discount for each child</i>		
External Rehabilitation Trainer		
Admission Rate for Client		Drop-In admission
External Rehabilitation Trainer Fee		2X Adult Fee

*included with a full facility pass

Outdoor Pools Admissions

All Fees are subject to applicable taxes; Per person fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
GENERAL ADMISSION		
Public Swims	\$0.00	\$0.00

Senior Services Membership

All Fees are subject to applicable taxes; Per person fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Senior Services Membership	\$26.19	\$27.50

Senior Services Membership allows access to seniors activities at recreation centres

Notes:

Passes are valid 1-year from time of purchase

The Membership is available to those 55 years or older and is free to those 90 years or older

The Senior Services Membership is included for 1-Year Full Facility pass holders

Applicable for the LAP discount, based on the client's age

Other User Fees

All Fees are subject to applicable taxes; Per person fee, unless otherwise noted

	2023/24 Base	2023/24 Fee (Incl. Taxes)
Skate Sharpening	\$7.45	\$8.00
Skate Rentals	\$3.11	\$3.50
Helmet Only	\$1.55	\$1.75
Skate/Helmet Punch Pass – 10 punch pass available at a 10% discount		
Withdrawal Fee - Passes	\$5.00	\$5.00
Returned Post-Dated Payments	\$5.00	\$5.00
<i>For declined post-dated payments made using Electronic Funds Transfer</i>		

INTER-OFFICE MEMO

Tax Rate Bylaws 21237 to 21240

TO: **City Clerk**

FROM: **General Manager, Finance**

DATE: **April 16, 2024** FILE: **3900-20**

RE: **2024 Surrey Tax Rates for General Purposes,
2024 Surrey Tax Rates to Provide the Cost of Special Services,
2024 Surrey Roads & Traffic Safety Levy,
2024 Tax Rates to Levy funds Requisitioned by the MVRD.**

Please prepare and introduce the attached By-Laws.

These recommendations are being made in conjunction with the Surrey 2024 – 2028 Consolidated Financial Plan By-law, 2024, No. 21216.



Kam Grewal, CPA, CMA
General Manager, Finance

CITY OF SURREY

BYLAW NO. 21237

A bylaw to provide for the levying of rates for general city purposes and special services for the Year 2024 in the City of Surrey.
.....

The Council of the City of Surrey, ENACTS AS FOLLOWS:

1. The following rates are hereby imposed and levied for the Year 2024:
 - (a) For the purpose of providing for all lawful general purposes of the City, including due provision for uncollectible taxes and for taxes that it is estimated will not be collected during the year, there is hereby imposed and levied upon the assessed value of land and improvements taxable for general City purposes according to the last revised assessment roll of the City, rates appearing in Column A of Schedule "A" attached hereto and made part of this bylaw.

"Improvements" for the purpose of levying rates for general City purposes means improvements as defined for that purpose in the "Assessment Act."
2. The taxes shall be payable to the Collector of the City of Surrey at the City Hall, Surrey, B.C.
3. This Bylaw shall be cited for all purposes as "Surrey General Rates Levy Bylaw, 2024, No. 21237".

PASSED FIRST READING on the day of , 2024.

PASSED SECOND READING on the day of , 2024.

PASSED THIRD READING on the day of , 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 2024.

_____ MAYOR

_____ CLERK

SCHEDULE "A" TO BYLAW NO. 21237

Tax Rates (dollars of tax per \$1,000 taxable value)

<u>Property Class</u>	A		B	
		<u>General</u> <u>City</u>		<u>Hall's Prairie</u> <u>Drainage</u>
1. Residential	\$	1.46265	\$	0.00
2. Utilities		32.58819		0.00
3. Supportive Housing		n/a		0.00
4. Major Industry		15.93058		0.00
5. Light Industry		2.05018		0.00
6. Business & Other		3.44974		0.00
7. Managed Forest		n/a		0.00
8. Recreational/Non-Profit		1.61449		0.00
9. Farm Land		3.88782		0.00

CITY OF SURREY

BYLAW NO. 21238

A bylaw to levy rates in the City of Surrey to provide the cost of special services therein for the year 2024

.....

WHEREAS special services have been given to all or certain portions of the City under authority of the bylaws hereinafter mentioned and it is necessary to levy special rates to provide the cost of such services as provided in said by-laws respectively;

The Council of the City of Surrey, ENACTS AS FOLLOWS:

1. For the purpose of raising the cost of providing for the current year, the drainage and irrigation facilities authorized by "Surrey Drainage Specified Area Drainage Works System Establishment By-law, 1983, No. 7561", there is hereby levied and imposed upon Class A land a rate of Eight Hundred and Forty Seven Dollars and Sixty Nine Cents per hectare (\$847.69) and on Class B land a rate of Five Hundred and Sixteen Dollars and Forty Eight Cents (\$516.48) per hectare, in that portion of the City described in said By-law No. 7561.
2. For the purpose of providing for the operation and maintenance of the drainage and irrigation system for the current year as authorized by the "Erickson Ditch Drainage and Irrigation Specified Area System Establishment By-law, 1990, No. 10557", there is hereby levied and imposed upon the lands Zero Dollars (\$0.00) per hectare for drainage works and Six Dollars and Fifty Nine Cents (\$6.59) per hectare for irrigation works, in that portion of the City described in the said By-law No. 10557.
3. For the purpose of providing for the operation and maintenance of the irrigation system for the current year as authorized by the "Burrows Ditch Irrigation Extension Specified Area System Establishment By-law, 1994, No. 12152", there is hereby levied and imposed upon the lands One Hundred and Forty Three Dollars and Ninety Eight Cents per hectare (\$143.98) for irrigation works, in that portion of the City described in the said By-law No. 12152.

4. The special rates or taxes hereby levied and imposed shall be a lien and charge upon the lands or improvements upon which they are so levied and imposed respectively, and shall be payable to the City along with and in addition to and as forming a part of the annual taxes upon such lands or improvements as the case may be.

5. This Bylaw may be cited for all purposes as "Surrey Special Rates Levy Bylaw, 2024, No. 21238".

PASSED FIRST READING on the day of , 2024.

PASSED SECOND READING on the day of , 2024.

PASSED THIRD READING on the day of , 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 2024.

_____ MAYOR

_____ CLERK

CITY OF SURREY

BYLAW NO. 21239

A bylaw to levy rates in the City of Surrey to provide for roads and traffic safety for the year 2024.

.....

The Council of the City of Surrey, ENACTS AS FOLLOWS:

1. The following rates are hereby imposed and levied for the year 2024:
 - (a) For the purpose of providing for roads and traffic safety in the City, including due provision for uncollectible levies and for levies that it is estimated will not be collected during the year, there is hereby imposed and levied upon the assessed value of land and improvements taxable for general City purposes according to the last revised assessment roll of the City, rates appearing in Column A of Schedule "A" attached hereto and made part of this bylaw.

"Improvements" for the purpose of levying rates for roads and traffic safety purposes means improvements as defined for that purpose in the "Assessment Act."
2. The taxes shall be payable to the Collector of the City of Surrey at the City Hall, Surrey, B.C.
3. This Bylaw shall be cited for all purposes as "Roads and Traffic Safety Levy Bylaw, 2024, No. 21239".

PASSED FIRST READING on the day of , 2024.

PASSED SECOND READING on the day of , 2024.

PASSED THIRD READING on the day of , 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 2024.

_____ MAYOR

_____ CLERK

SCHEDULE "A" TO BYLAW NO. 21239

Roads & Traffic Safety Levy Rates (dollars of levy per \$1,000 taxable value)

<u>Property Class</u>	A
	<u>Roads & Traffic</u>
	<u>Safety Levy</u>
1. Residential	\$ 0.12468
2. Utilities	2.77799
3. Supportive Housing	n/a
4. Major Industry	1.35801
5. Light Industry	0.17476
6. Business & Other	0.29408
7. Managed Forest	n/a
8. Recreational/Non-Profit	0.13763
9. Farm Land	0.33141

CITY OF SURREY

BYLAW NO. 21240

A bylaw to levy rates in the City of Surrey to provide for the amounts requested by
MVRD for the year 2024

.....

WHEREAS the City is required to provide for the amounts requisitioned by the Metro Vancouver
Regional District;

The Council of the City of Surrey, ENACTS AS FOLLOWS:

1. Pursuant to the provisions of Section 197 of the *Community Charter*, S.B.C. 2003, c. 26
there is hereby levied and imposed for the purposes of the Metro Vancouver Regional
District upon one hundred per centum (100%) of the net taxable value of land and
improvements as fixed for taxation for hospital purposes in the year 2024 in the City, but
excluding property that is taxable for hospital purposes only by Special Act, rates
appearing in Schedule "A" attached hereto and made a part of this bylaw.
2. This Bylaw may be cited for all purposes as "MVRD Tax Requisition Bylaw, 2024,
No. 21240".

PASSED FIRST READING on the day of , 2024.

PASSED SECOND READING on the day of , 2024.

PASSED THIRD READING on the day of , 2024

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed
with the Corporate Seal on the th day of , 2024

_____ MAYOR

_____ CLERK

SCHEDULE "A" TO BYLAW NO. 21240

Tax Rates (dollars of tax per \$1,000 taxable value)

<u>Property Class</u>	<u>Metro Vancouver Regional District</u>
1. Residential	0.05513
2. Utilities	0.19296
3. Supportive Housing	0.05513
4. Major Industry	0.18744
5. Light Industry	0.18744
6. Business & Other	0.13507
7. Managed Forest	n/a
8. Recreational/Non-Profit	0.05513
9. Farm Land	0.05513

CITY OF SURREY

CLERK'S REPORT

NOTICE OF MOTION

OTHER BUSINESS

K.1 – OTHER BUSINESS

There is no backup material
for this item

CITY OF SURREY

ADJOURNMENT

