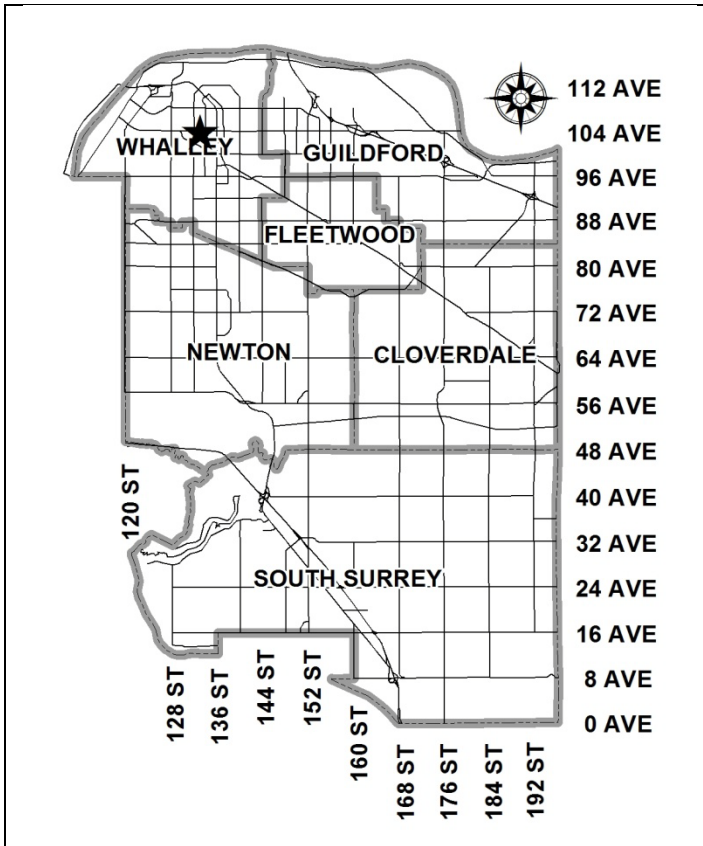


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7910-0160-00

Planning Report Date: January 9, 2012



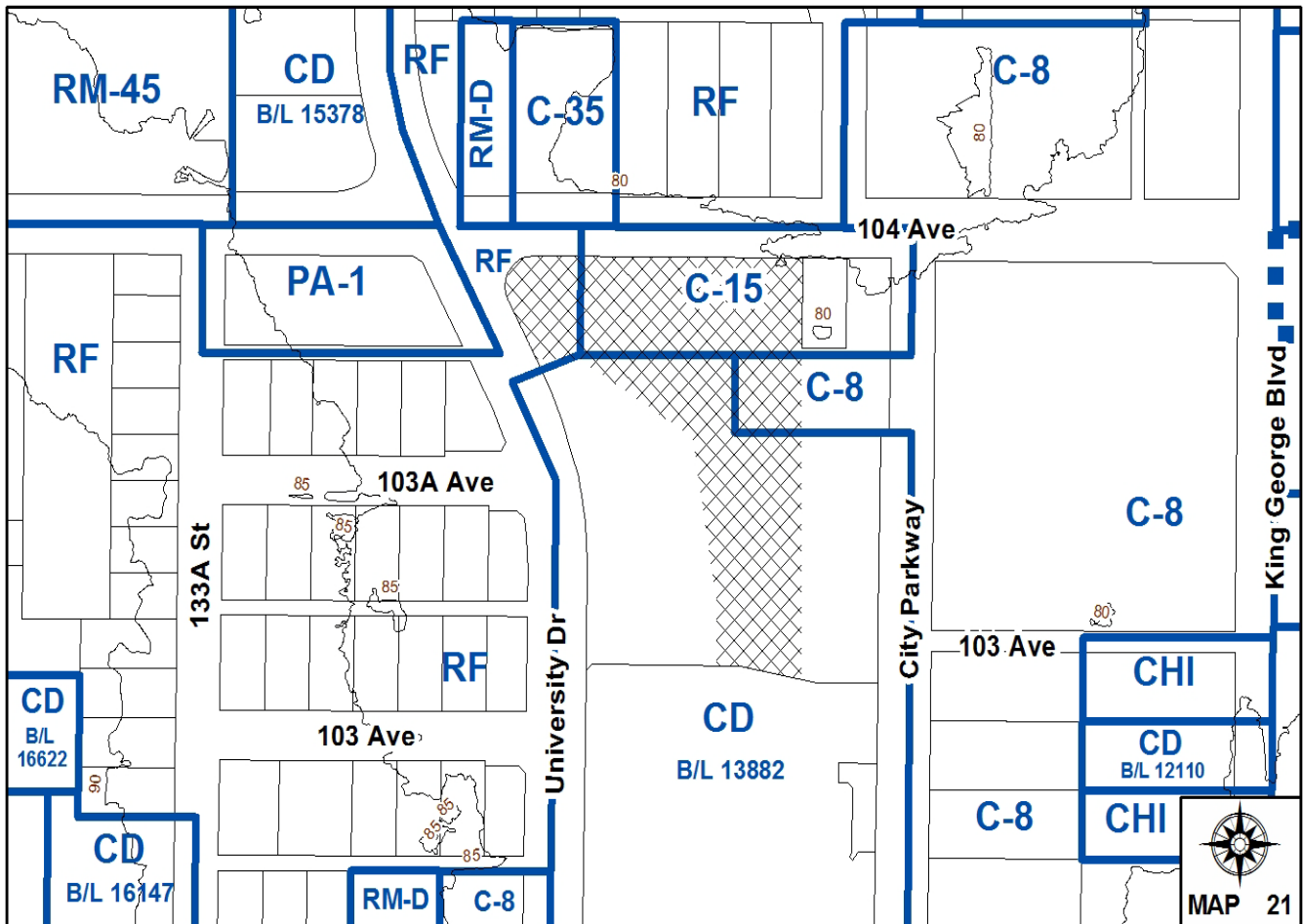
PROPOSAL:

- **Development Permit**
 in order to permit the construction of a new City Hall and community plaza.

LOCATION: 13450 - 104 Avenue

OWNER: City of Surrey

OCP DESIGNATION: City Centre



RECOMMENDATION SUMMARY

- Approval and issuance of Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None

RATIONALE OF RECOMMENDATION

- Complies with the Official Community Plan.
- The proposed development conforms to the goal in the Surrey City Centre Plan of creating an urban, high-density civic centre in the vicinity of the Surrey Central SkyTrain Station.
- Further implements the “Build Surrey” program approved by Council on March 1, 2010.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Permit No. 7910-0160-00 and that the Mayor and Clerk be authorized to execute the Permit.

REFERRALS

Engineering: The Engineering Department has no objection to the Development Permit for this project, subject to the completion of Engineering servicing requirements at Building Permit stage, as outlined in Appendix III.

SITE CHARACTERISTICS

Existing Land Use: Vacant.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 104 Avenue):	High-rise apartment building. Vacant lands.	City Centre	C-35 RF and RM-D
East (Across City Parkway):	Safeway and HSBC bank branch	City Centre	C-8
South (Across Future 103 Avenue):	North Surrey Recreation Centre	City Centre	CD (By-law No. 13882)
West (Across University Drive):	Christ the King Lutheran Church. Old single family residences and vacant lands.	City Centre	PA-1 RF

DEVELOPMENT CONSIDERATIONSBackground

- The Surrey City Development Corporation (SCDC), on behalf of the City of Surrey, submitted a subdivision application to consolidate 8 lots in the block bounded by University Drive, 104 Avenue, City Parkway and the future 103 Avenue and a Development Permit application in order to permit the construction of a new City Hall and community plaza.
- The lot consolidation component of this project was completed in August 2011.

- The Surrey City Centre Plan, endorsed by Council in 1991, the Urban Design Concept for Surrey City Centre endorsed by Council in 1993, the 2031 Surrey City Centre Plan Update prepared by Bing Thom Architects and received by Council in 2009 and, the Surrey City Centre Plan Update, Phase 2, Stage 1 Report endorsed by Council in 2009, all identified the need to create a civic precinct in the vicinity of the Central Surrey SkyTrain Station that would become the civic heart for all of Surrey.
- It has been envisioned that the civic precinct would incorporate major public and institutional buildings and uses as well as a major public open space that can be used for community events and celebrations.
- The Build Surrey program, approved by Council on March 1, 2010, consists of a series of large scale capital projects across the City.
- As described in Corporate Report No. R138 (June 10, 2010), the Build Surrey program identified the following projects in City Centre:
 - Chuck Bailey Recreation Centre
 - Covered youth park in Tom Binnie Park
 - City Centre Library
 - New City Hall
 - Civic plaza
 - Performing Arts Centre
- The City of Surrey is moving forward with the creation of a civic centre in the block bounded on the west by University Drive, on the north by 104 Avenue, on the east by City Parkway and on the south by the future 103 Avenue.
- The first component in the creation of this new civic centre was the new City Centre Library along University Drive, which opened in September, 2011.
- The second phase in the creation of a new civic centre for Surrey is the construction of a new City Hall and community plaza.
- The third phase of the civic centre development will consist of a mixed-use building that will be presented to Council for consideration later in 2012 under a separate land development application. In order to reconcile and rationalize zoning, property lines and road alignments within the civic centre block, additional rezoning and subdivision will proceed in conjunction with the Phase 3 development .

DESIGN PROPOSAL AND REVIEW

Site Layout

- The design for the civic centre envisions a large community plaza in the centre of the block, open to the south along 103 Avenue, and framed by the new City Centre Library on the west, the new City Hall on the north and City Hall Phase 2 and a mixed-use building on the east.

City Hall Form and Design

- The new, 6-storey City Hall is organized into 2 distinct blocks of offices and support areas.
- The western block forms the administration area in which most City Departments will be located. The eastern block forms the executive wing which will house the Council Chamber and offices for the Mayor and Council and senior administration.
- A large, 6-storey high glass atrium will link the west and east portions of the building.
- All of these three building components will be tied together by a large sweeping roof with broad and powerful overhangs that create a bold, dynamic statement.
- Transparency is one of the dominant design themes of the building and is highlighted by the dramatic glass atrium that frames views into City Hall from the community plaza and creates a gateway to the community plaza from 104 Avenue.
- In keeping with the theme of transparency, the south, north and east sides of the building maximize the use of glazing.
- Glazing, other than the atrium, will consist of Ultralight HS glass with a slight green tint.
- On the south side of the building, vertical ultrawhite temperate glass sun shades will be added to help reduce solar heating of the building. These sun shades will also incorporate a frit pattern for added solar protection and architectural interest. (Fritted glass consists of tiny ceramic dots sandwiched between two layers of glass.)
- The atrium glazing will consist of high-transparency low light glass with a slight grey tint.
- The ground-level south and east facades of the eastern portion of the building will be clad with black, satin-finish marble, as will the raised planters on the north side of the building along 104 Avenue.
- The western wall of City Hall will consist of light-grey pre-cast concrete rain screen panels to provide contrast to the extensive glazing on the other facades of the building.
- To increase the architectural interest and to create a level of continuity with the adjacent City Centre Library, the western concrete wall will incorporate a number of sculptural punched openings.
- The light-grey pre-cast concrete rain screen panels will continue along the fascia of the broad roof structure to tie the roof to the rest of the building.
- The underside of the roof and roof overhangs will be clad in clear-stained Douglas Fir, adding to the dramatic architecture of the roof.
- The south side of the building will also incorporate a landscaped, triangular-shaped outdoor terrace that connects to the second floor of the western block and overlooks the community plaza.

City Hall Interior

- The proposed City Hall incorporates a floor area of 17,550 square metres (189,000 sq. ft.).
- By comparison, the existing City Hall incorporates a floor area of 11,816 square metres (127,000 sq. ft.).
- As noted earlier, the glass atrium, which is sometimes referred to as the "City Room" connects the west and east portions of the building and forms the main entry into City Hall from both the community plaza and 104 Avenue.
- Both the north and south walls of the atrium will be made entirely out of glass enhancing views from within the building towards the exterior and from the outside into the building.
- The majority of the ceiling of the atrium will be comprised of a large glass skylight across which will be hung clear-stained Douglas Fir beams to carry the design and treatment of the roof soffits into the building.
- A large sculptural work of art (approved by the Public Art Committee on May 19, 2011 and endorsed by Council on May 30, 2011), consisting of a flock of stylized metal birds, will be suspended from the ceiling at the southern end of the atrium to add additional richness to this already dynamic space.
- A series of cantilevered bridges, connecting the western and eastern portions of the building across the atrium space will be located at the northern end of the atrium space which will add an additional level of architectural interest to the space.
- At the ground level, the entire western wall of the Council Chamber will slide open to permit full physical and visual access from the atrium.
- It is anticipated that the atrium will become an active public space used throughout the day and evening for public gatherings, shows and a variety of events and celebrations.

Community Plaza

- As spectacular as the designs of the City Centre Library and City Hall are, the real focal point of the civic block will be the new community plaza that will create a real heart for Surrey and a central public gathering space.
- The community plaza will extend approximately 100 metres (330 ft.) from the southern face of the east half of City Hall to the future 103 Avenue and will measure approximately 40 metres (130 ft.) in width, with an area of approximately 1,700 square metres (19,000 sq.ft.)
- The plaza will also extend to the west toward University Drive, between City Hall and the City Centre Library. The plaza between City Hall and the library will be approximately 20 metres (66 ft.) in width.
- It is estimated that the plaza is large enough to accommodate up to 5,000 people.

- As a comparison, the existing plaza along 102 Avenue in front of Central City can accommodate approximately 1,500 people.
- The surface of the plaza will consist of brown and beige-coloured paving stones arranged in pattern that is a conceptual representation of the DNA of a Douglas Fir tree.
- Programmable, laminated water jets will be dispersed throughout the plaza to provide movement and interest for both children and adults.
- Another water feature, a shallow reflecting pool, will be located along the south face of City Hall next to the Council Chamber.
- An additional water feature consisting of a small, cascading waterfall, will be incorporated into a section of the northern wall of City Hall, next to the sidewalk along 104 Avenue.
- A vehicle driveway, which has been named Market Street, has been incorporated into the eastern edge of the plaza. This driveway will permit vehicles to gain access to the ramp to the underground parking ramp located along the east side of City Hall from 103 Avenue.
- It is anticipated that the vehicles using Market Street will create animation and activity within the community plaza area during times when the community plaza is not programmed or during inclement weather when few people will be using the space.
- An additional vehicle access to this underground parking ramp is provided from City Parkway and is located between the future City Hall Phase 2 site on the northeast corner of the block and the future multi-use building on the southeast corner of the block.
- The edges of Market Street will be demarcated by lighted bollards while in-ground LED lighting will be installed along the "centre-line" of the road to demarcate the travel lanes.
- The western edge of Market Street will be further reinforced by the planting of 6 trees and the installation of 6, 12-metre (40 ft.) high LED lighting pylons that will illuminate the plaza.
- Additional lighting standards will be located between the library and City Hall to provide increased illumination in this area.
- The BC Parkway will be accommodated along the western edge of the civic block, adjacent to University Drive. BC Parkway is a multi-use pathway that extends underneath the SkyTrain guideway from downtown Vancouver to Surrey. Within Surrey City Centre, the BC Parkway is located adjacent to the roadway and extends from Gateway Drive to the Quibble Creek Greenway at Fraser Highway and 138 Street.
- The design of the plaza to accommodate different weight loads, coupled with the infrastructure being imbedded within the plaza, will permit a vast variety of events and programming, including Farmer's Markets, concerts, seasonal activities etc.

Parking

- A three-level underground parking facility, containing approximately 778 parking spaces, will be constructed under the new City Hall and the community plaza.
- An additional 35 parking spaces already constructed, but not currently accessible, beneath the new library, will be accessed through the first level of the parking facility underneath the community plaza, bringing the total number of parking spaces under the civic complex to 816.
- As a comparison, there are currently 735 parking spaces at the existing City Hall (not counting the parkade under the courthouse) for use by employees (581), visitors (97), and car pool and fleet vehicles (57).
- The underground parking facility will be accessed by three parking ramps.
- One ramp will be located along the east side of City Hall and will be accessed by driveways through the community plaza from 103 Avenue and City Parkway, as discussed earlier in this report.
- Another ramp will be located along 104 Avenue, along the northern façade of City Hall. This ramp will cross the sidewalk along 104 Avenue and dive into and underneath City Hall itself.
- A third ramp will be located in the middle of the future 103 Avenue. This ramp will be accessible from the 103 Avenue and University Drive intersection, which will be signalized and allow for full vehicle movements.

ADVISORY DESIGN PANEL

ADP Meeting: July 22, 2010

- The proposal was well received by the Advisory Design Panel (Appendix V) but the Panel members felt that the proposed building could be further enhanced by simplifying some of the exterior elements and articulation and by reducing the number of exterior finishing materials.
- In response to the ADP comments the applicant has undertaken major revisions to the exterior of the building by simplifying both the design and variety of exterior cladding materials and by removing the angled roof structures and replacing them with a flat roof.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Development Permit No. 7910-0160-00
Appendix III.	Engineering Summary
Appendix IV	ADP Comments

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Kasian Moriyama Toshima, dated August 19, 2011.

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

GAG/kms

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. 1/5/12 8:50 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Jim Cox
 Address: Surrey City Development Corporation
 1870, 13450 - 102 Avenue
 Surrey, B.C. V3T 5X3

 Tel: 604-581-8789

2. Properties involved in the Application
 - (a) Civic Address: 13450 - 104 Avenue

 - (b) Civic Address: 13450 - 104 Avenue
 Owner: City of Surrey
 PID: 028-651-910
 Lot A Section 27 Block 5 North Range 2 West New Westminster District Plan BCP48957

3. Summary of Actions for City Clerk's Office

DEVELOPMENT DATA SHEET

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		14,813 sq. m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		28%
Paved & Hard Surfaced Areas		70%
Total Site Coverage		98%
SETBACKS (in metres)		
Front (North)		4.0 metres
Rear (South)		105 metres
Side #1 (W)		14.0 metres
Side #2 (,E)		14.0 metres
BUILDING HEIGHT (in metres/storeys)		
Principal		33 m./6 storeys
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		17,550 sq. m.
TOTAL BUILDING FLOOR AREA		17,550 sq. m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)		1.18
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces		778
Number of disabled stalls		17
Number of small cars		109
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7910-0160-00

Issued To: CITY OF SURREY
("the Owner")

Address of Owner: 14245-56 Avenue
Surrey, B.C.
V3X 3A2

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-651-910
Lot A Section 27 Block 5 North Range 2 West New Westminster District Plan BCP48957

13450 - 104 Avenue

(the "Land")

3. The Land has been designated as a Development Permit Area in Surrey Official Community Plan, 1996, No. 12900, as amended.
4. The character of the development including landscaping and the siting, form, exterior design and finish of buildings and structures shall be in accordance with the drawings numbered 7910-0160-00(A) through to and including 7910-0160-00(CCC) (the "Drawings") which are attached hereto and form part of this development permit.
5. Minor changes to the Drawings that do not affect the general form and character of the landscaping and the siting, form, exterior design and finish of buildings and structures on the Land, may be permitted subject to the approval of the City.
6. The landscaping shall conform to drawings numbered 7910-0160-00(AA) through to and including 7910-0160-00(CCC) (the "Landscaping").

7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.

8. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued, within two (2) years after the date this development permit is issued.

9. The terms of this development permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

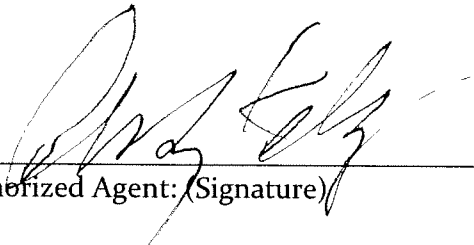
10. This development permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.



Authorized Agent: (Signature)

AUBREY KELLY

Name: (Please Print)

SURREY CIVIC CENTRE

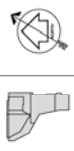
13450 104th AVENUE, SURREY, B.C.

ISSUED FOR DP RECONCILIATION
AUGUST 19, 2011



PROJECT TECHNICAL DATA SUMMARY	
LOT AREA	14,813 sqm
LOT COVERAGE	27.98%
SETBACKS	
FRONT	4.86m
REAR	N/A
SIDE 1 (EAST)	13.92m
SIDE 2 (WEST)	13.92m
SIDE 3	N/A
BUILDING HEIGHT	33.5m
	6 STOREYS + MECHANICAL RETENHOUSE
FLOOR AREA - COMMERCIAL	
RETAIL	N/A
OFFICE	15,841 sqm
TOTAL	15,841 sqm
FLOOR AREA - INTERNAL/ASSEMBLY	1,207 sqm
TOTAL BUILDING FLOOR AREA	17,050 sqm
AREA OF COMMUNITY KAZA	6054 sqm
DENSITY	
FAR (GROSS)	1.18
PARKING	
PARKING SPOTS	143
GENERIC STALLS	143
SMALL CAR STALLS	22
TOTAL	172
PARKING SPOTS	249
GENERIC STALLS	249
SMALL CAR STALLS	4
TOTAL	297
PARKING SPOTS	200
GENERIC STALLS	200
SMALL CAR STALLS	4
TOTAL	309
UNITS	
GENERIC STALLS	13
SMALL CAR STALLS	1
TOTAL	35

- ARCHITECTURE - KASIAN MORIYAMA & TESHIMA (in joint venture)**
KASIAN MORIYAMA & TESHIMA ARCHITECTS
145 West Georgia St
Vancouver, B.C. V6E 2T7
P-604.683.4145 F-604.683.3827 F-416.925.4484 F-416.925.4037
- CODE CONSULTANT**
GAGE-BABCOCK & ASSOCIATES
228 West Georgia St
Vancouver, B.C. V6E 3K5
P-604.732.3751 F-604.732.1277
- STRUCTURAL**
READ JONES CHRISTOFFERSEN
300 West Georgia St
Vancouver, B.C. V6B 4X6
P-604.738.0046 F-604.738.1107
- MECHANICAL & ELECTRICAL**
MCW
1400 West Georgia St, Suite 1400
Vancouver, B.C. V6E 4E6
P-604.687.8521 F-604.683.5681
- LANDSCAPE**
MORIYAMA & TESHIMA PLANNERS
145 West Georgia St
Toronto, Ontario, M5R 1H3
P-416.925.4484 F-416.925.4037
- CIVIL**
APLON & MARTIN
145 West Georgia St
Surrey, B.C. V3W 5E9
P-604.597.9058 F-604.597.9061



- GENERAL NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SURREY STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION, UNLESS OTHERWISE SPECIFIED.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURREY AND ANY OTHER AGENCIES.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURREY AND ANY OTHER AGENCIES.
 7. ALL STAKES AND ALIGNMENTS MUST BE CORROBORATED BY THE CONTRACTOR.

NO.	DESCRIPTION	DATE	BY	CHECKED

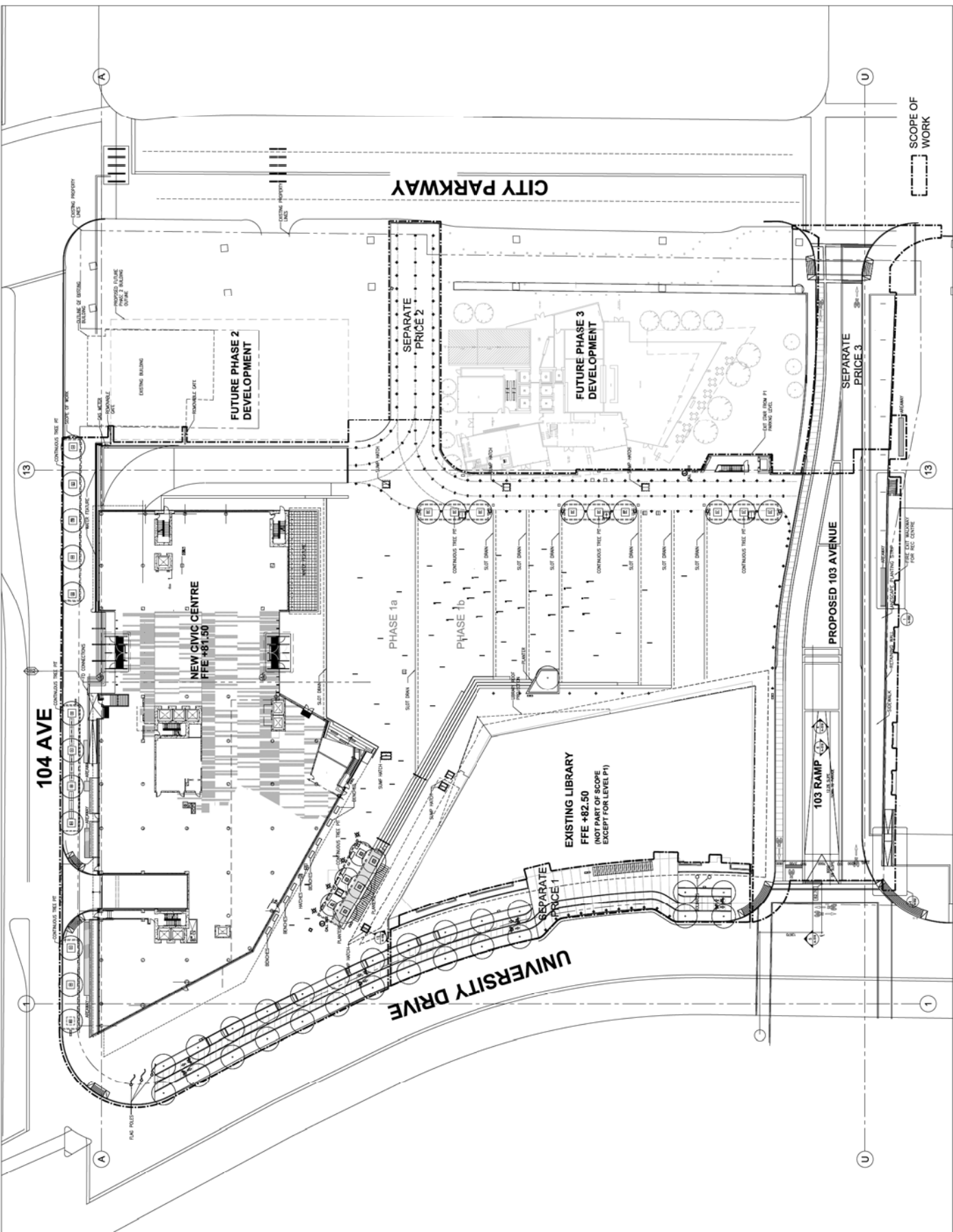
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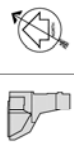
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SURREY CIVIC CENTRE
PHASE 1
LIBRARY

SITE PLAN

ISSUED FOR CONSTRUCTION
PROJECT NO: A-050
DATE: NOVEMBER 1, 2011
SCALE: 1:1000
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]





PARKING STALL COUNT FOR PARKING LEVEL 3:	200
STANDARD SIZE STALLS:	150
BARRETT FREE SIZE STALLS:	5
TOTAL STALLS FOR PARKING LEVEL 3:	155
AREA:	12,671m ²
PARKING STALL SUMMARY:	
TOTAL PARKING STALLS:	155
TOTAL STALLS REQUIRED:	200

NO. 1	11-08-08	ISSUED FOR PERMIT AND FINISHES	ET
NO. 2	11-08-08	ISSUED FOR PERMIT AND FINISHES	ET
NO. 3	11-08-08	ISSUED FOR PERMIT AND FINISHES	ET
NO. 4	11-08-08	ISSUED FOR PERMIT AND FINISHES	ET
NO. 5	11-08-08	ISSUED FOR PERMIT AND FINISHES	ET
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NO. 8	11-08-08	ISSUED FOR PERMIT AND FINISHES	ET
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NO. 10	11-08-08	ISSUED FOR PERMIT AND FINISHES	ET
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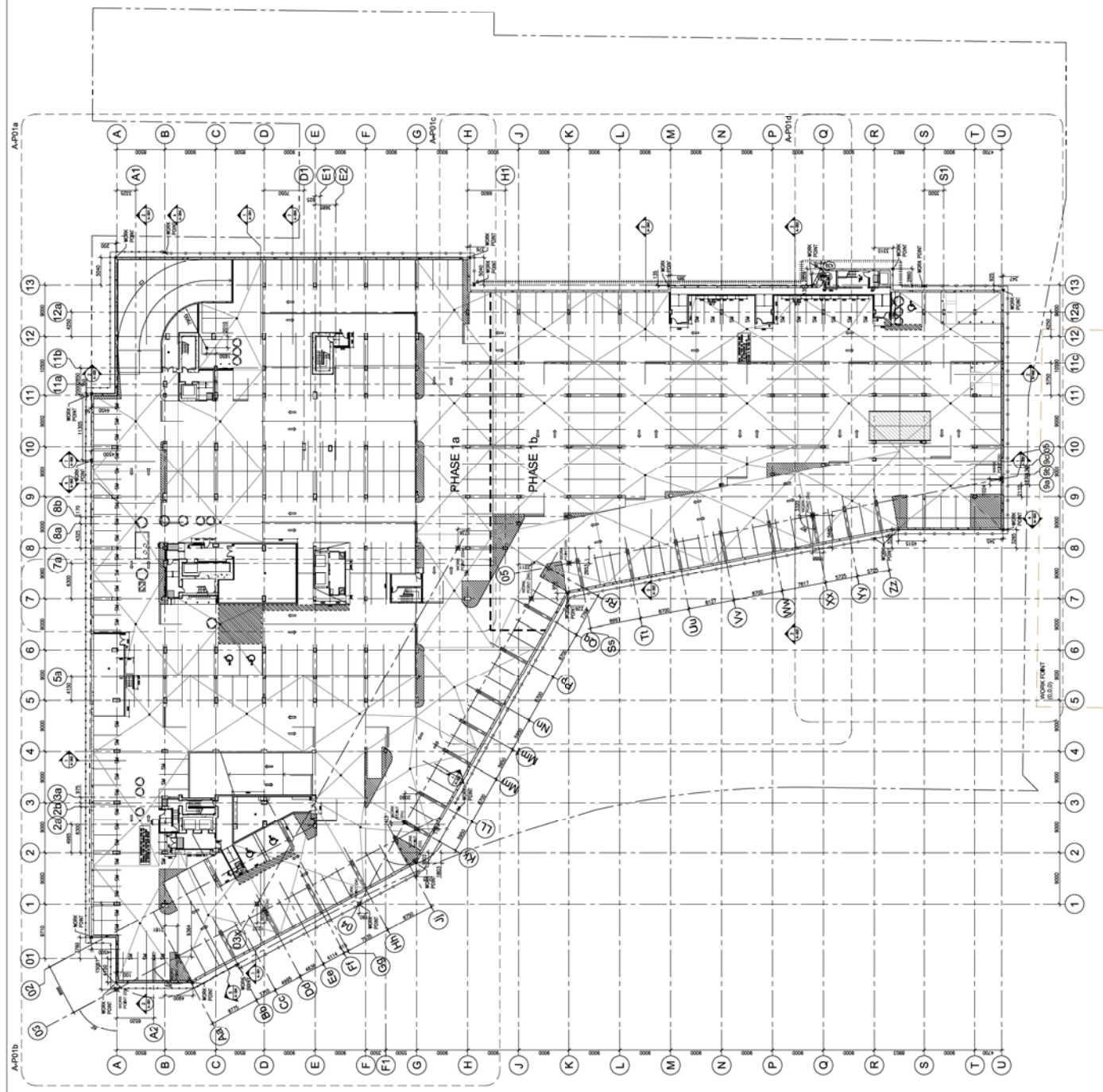
SURREY CIVIC CENTRE
 10000 151ST AVENUE
 SURREY, B.C.

PARKING LEVEL 3 KEY PLAN

ISSUED FOR PERMIT AND FINISHES
 PROJECT NO: 2583
 DATE: JULY 28, 2011
 DRAWN BY: 12590

A-P01

- FOUNDATION WALL LEGEND:**
- 1. DAMPROOFING SYSTEM (W/S) ON CONCRETE FOUNDATION WALL.
 - 2. CONCRETE FOUNDATION WALL.
 - 3. DRAINAGE BOARD ON CONCRETE FOUNDATION WALL.





PARKING STALL COUNT FOR PARKING LEVEL 2:	
STANDSTILL STALLS:	249
CONCRETE WALLS:	43
CONCRETE WALLS:	43
BARRETT-FREESTYLE STALLS:	5
TOTAL STALLS FOR PARKING LEVEL 2:	297
AREA:	12.61/ha

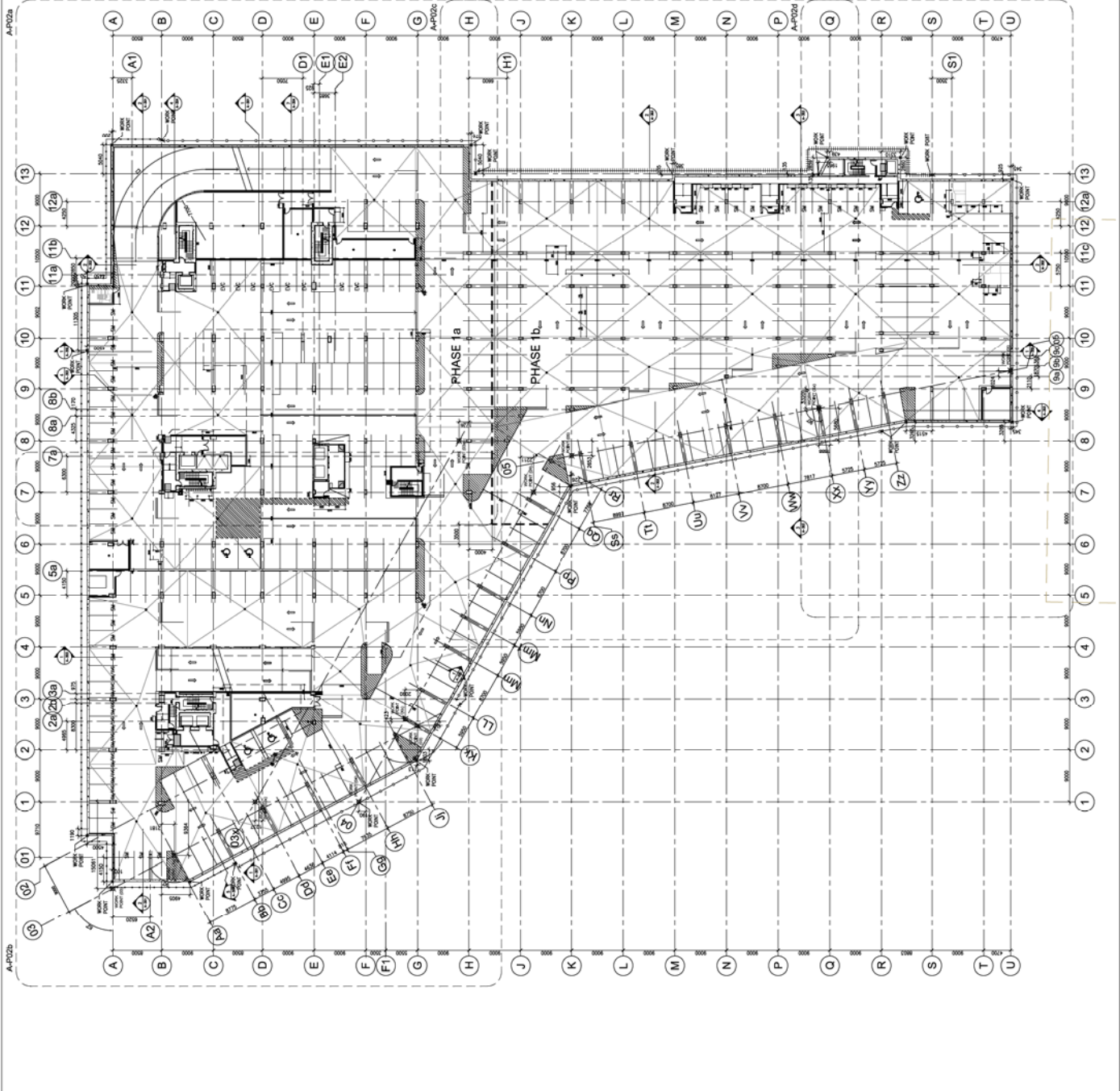
PARKING STALL SUMMARY:	
TOTAL STALLS REQUIRED:	810
TOTAL STALLS PROVIDED:	800

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2	11-02-24	ISSUE FOR PERMIT AND DESIGN # 2	C
3	11-02-24	ISSUE FOR PERMIT AND DESIGN # 3	C
1	11-02-27	7 # FOR NO. 7	C
1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 1	C
1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 2	C
1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 3	C
1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 4	C
1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 5	C
1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 6	C
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1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 10	C
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1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 12	C
1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 13	C
1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 14	C
1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 15	C
1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 16	C
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1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 18	C
1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 19	C
1	11-02-27	ISSUE FOR PERMIT & APPROVAL # 20	C

DATE: 11/27/2011
TIME: 10:54 AM
DRAWN: [Name]
CHECKED: [Name]
SCALE: 1:200
PROJECT: [Name]
SHEET: [Name]

FOUNDATION WALL LEGEND:

- 1. WATERPROOFING SYSTEM (WPS-1) ON CONCRETE FOUNDATION WALL.
- 2. DAMPROOFING SYSTEM (WPS-2) ON CONCRETE FOUNDATION WALL.
- 3. DRAINAGE BACKS ON CONCRETE FOUNDATION WALL.



PARKING LEVEL 2 KEY PLAN (1 of 2)



PARKING STALL COUNT FOR EXISTING LIBRARY:

STANDARD SIZE STALLS	12
COMPACT SIZE STALLS	22
BARRETT FREE SIZE STALLS	1
TOTAL STALLS FOR EXISTING LIBRARY	35

PARKING STALL COUNT FOR PARKING LEVEL 1:

STANDARD SIZE STALLS	142
COMPACT SIZE STALLS	23
BARRETT FREE SIZE STALLS	7
TOTAL STALLS FOR PARKING LEVEL 1	172

PARKING STALL SUMMARY

TOTAL STALLS	207
TOTAL STALLS RECORDED	207

REVISIONS

NO.	DATE	DESCRIPTION
1	11-01-06	ISSUED FOR PERMIT AND FINISHES
2	11-01-06	REWORKING GRID
3	11-01-06	ISSUED FOR INFORMATION
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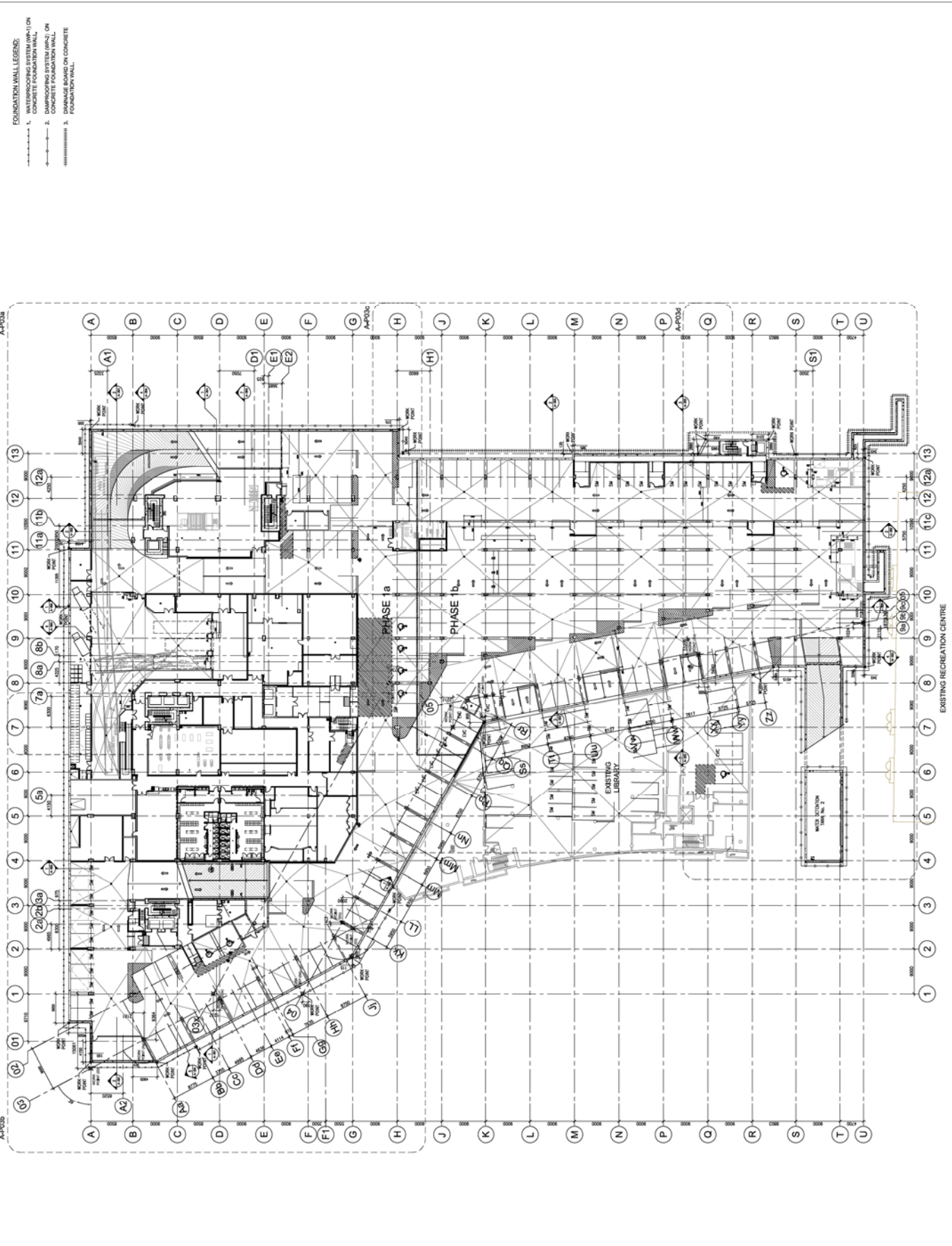
SURREY CIVIC CENTRE
 1000 151ST AVENUE
 SURREY, B.C.

PARKING LEVEL 1 KEY PLAN

DATE: 11/01/06
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

FOUNDATION WALL LEGEND:

1. DAMPROOFING SYSTEM (W/S) ON CONCRETE FOUNDATION WALL.
2. DAMPROOFING SYSTEM (W/S) ON CONCRETE FOUNDATION WALL.
3. DRAINAGE BOARD ON CONCRETE FOUNDATION WALL.



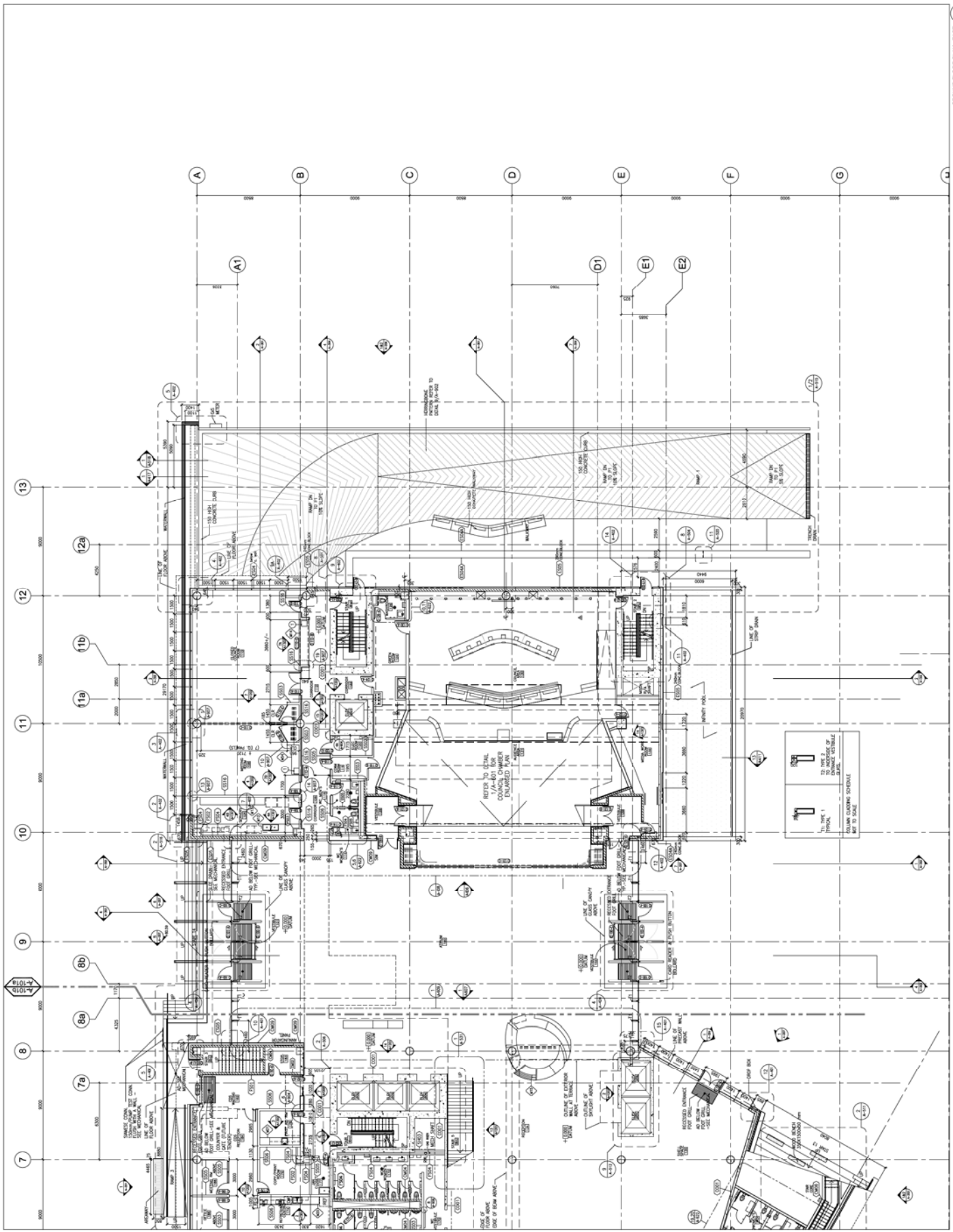


NO.	REVISION	DATE	BY	CHECKED
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30	ISSUED FOR PERMITTING			

SURREY CIVIC CENTRE
1300 BROADVIEW
SURREY, B.C.

GROUND FLOOR PLAN EAST

ISSUED FOR CONSTRUCTION
DATE: NOVEMBER 1, 2011
SCALE: 1:100
DRAWING NO: **A-101a**



NO.	DESCRIPTION / REVISION	DATE	BY	CHECKED

DATE: 11/20/2011
TIME: 11:00

PROJECT: PLAZA SLAB PLAN - SOUTH / STORM WATER TANK SLAB PLAN

ISSUED FOR CONSTRUCTION
NOVEMBER 1, 2011

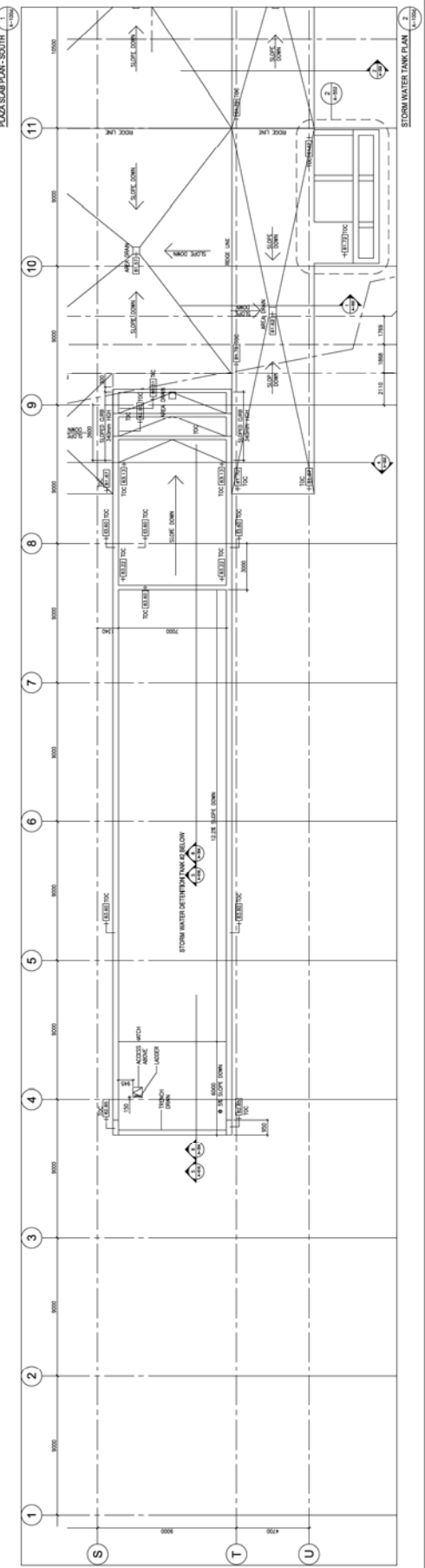
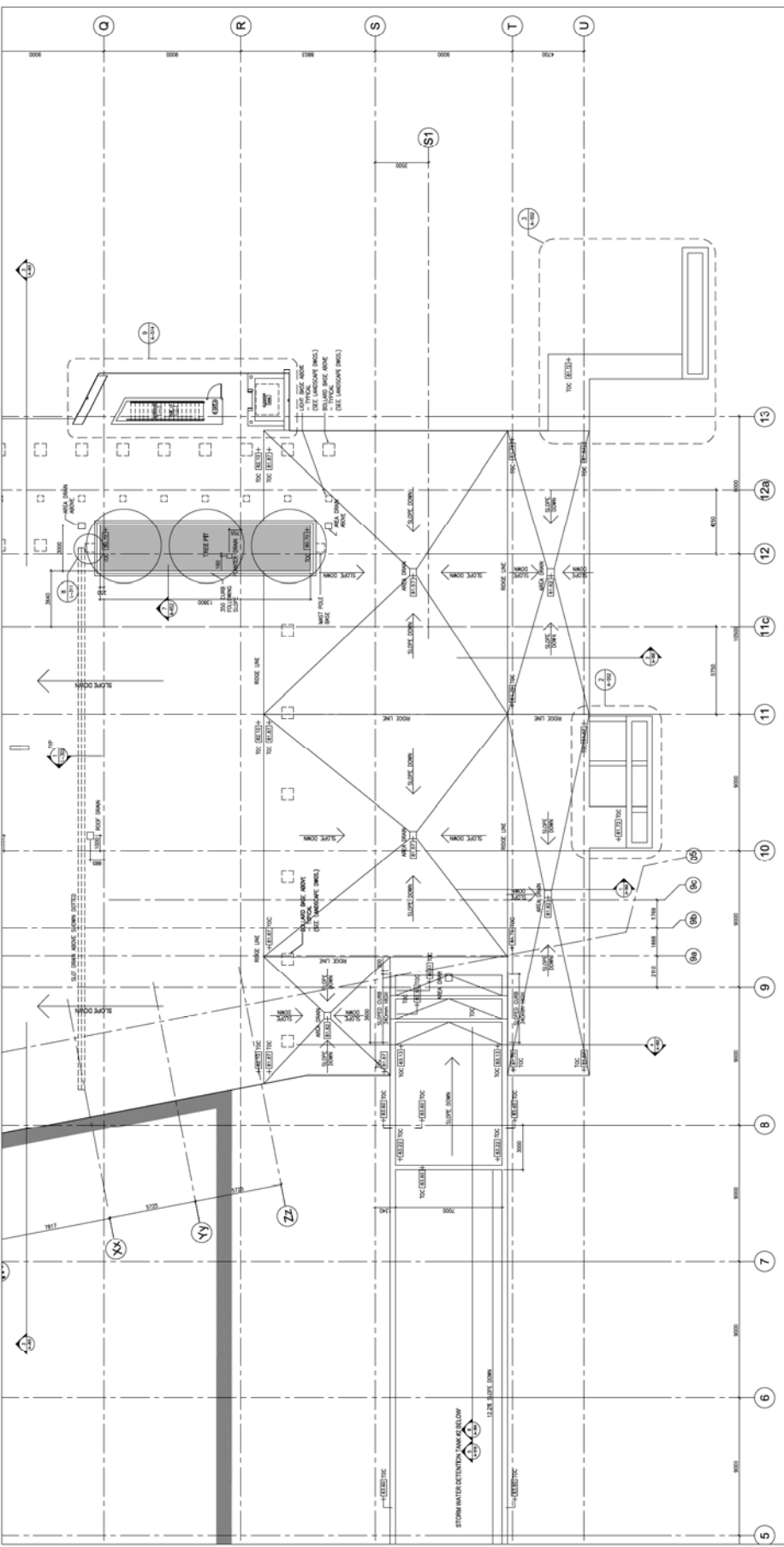
SCALE: 1:100

PROJECT NO: **A-100d**

DATE: 11/20/2011

BY: [Signature]

CHECKED: [Signature]



GENERAL NOTES

1. REFER TO THE SURREY GREEN HOME (S.G.H.) ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND FINISHES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE SURREY GREEN HOME (S.G.H.) ARCHITECTURAL DRAWINGS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE SURREY GREEN HOME (S.G.H.) ARCHITECTURAL DRAWINGS.
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13. ALL WORK SHALL BE IN ACCORDANCE WITH THE SURREY GREEN HOME (S.G.H.) ARCHITECTURAL DRAWINGS.

MATERIAL LEGEND

AC-41	AC-42	PC-1
AC-43	AC-44	PC-2

REVISIONS

NO.	DATE	DESCRIPTION
1	10/10/10	ISSUED FOR DEVELOPER AND FINISHES
2	10/10/10	ISSUED FOR DEVELOPER AND FINISHES

PROJECT INFORMATION

PROJECT NAME: SURREY CIVIC CENTRE
 PROJECT NO: A-202
 DATE: JULY 26, 2011
 DRAWN BY: [Name]
 CHECKED BY: [Name]

CLIENT INFORMATION

CLIENT: SURREY CIVIC CENTRE
 ADDRESS: [Address]
 CONTACT: [Contact]

ISSUED FOR DEVELOPER AND FINISHES

DATE: JULY 26, 2011
 DRAWN BY: [Name]
 CHECKED BY: [Name]

PROJECT INFORMATION

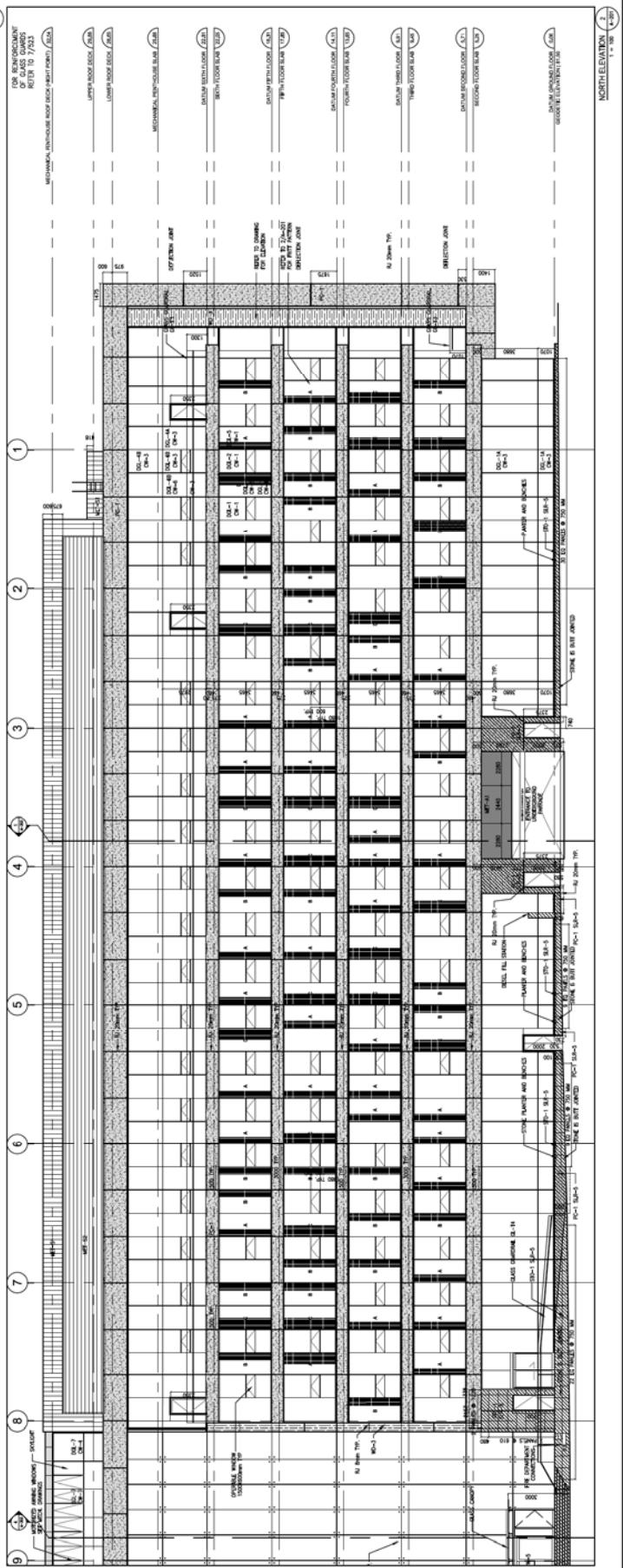
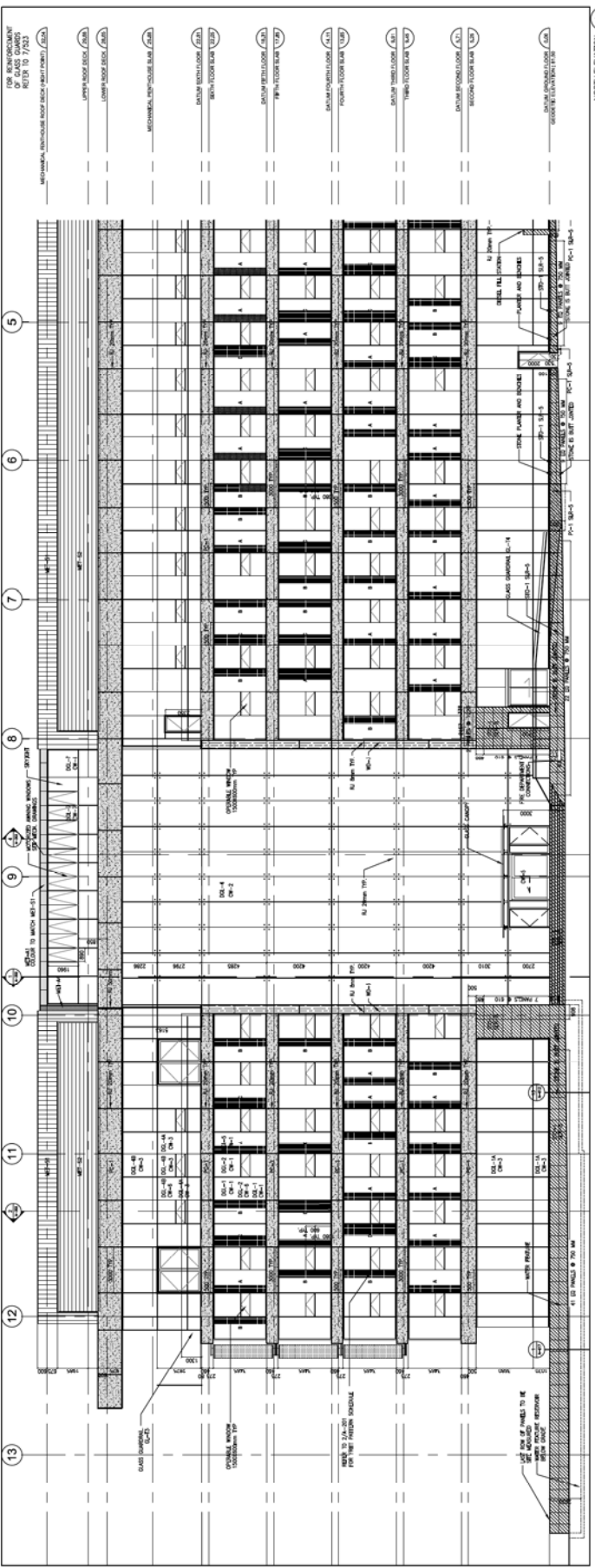
PROJECT NAME: SURREY CIVIC CENTRE
 PROJECT NO: A-202
 DATE: JULY 26, 2011
 DRAWN BY: [Name]
 CHECKED BY: [Name]

CLIENT INFORMATION

CLIENT: SURREY CIVIC CENTRE
 ADDRESS: [Address]
 CONTACT: [Contact]

ISSUED FOR DEVELOPER AND FINISHES

DATE: JULY 26, 2011
 DRAWN BY: [Name]
 CHECKED BY: [Name]



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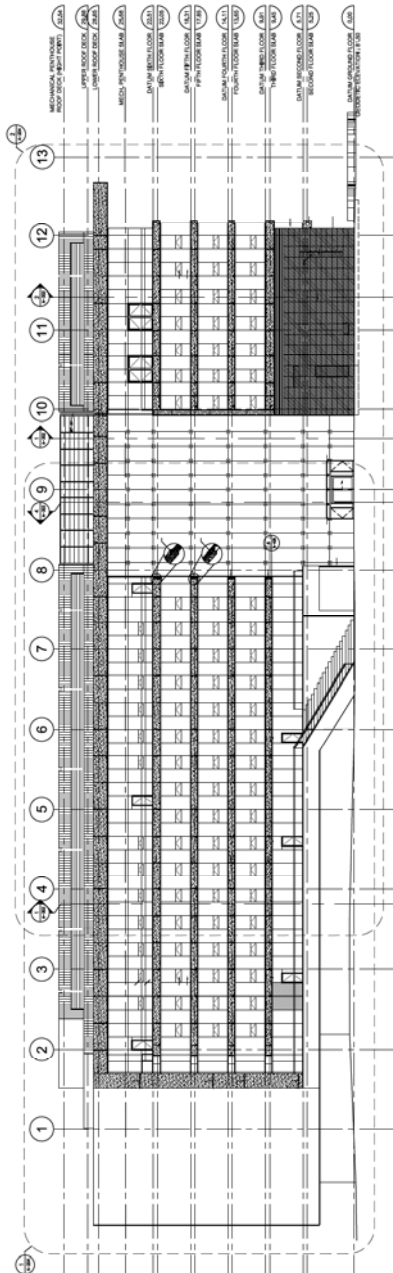
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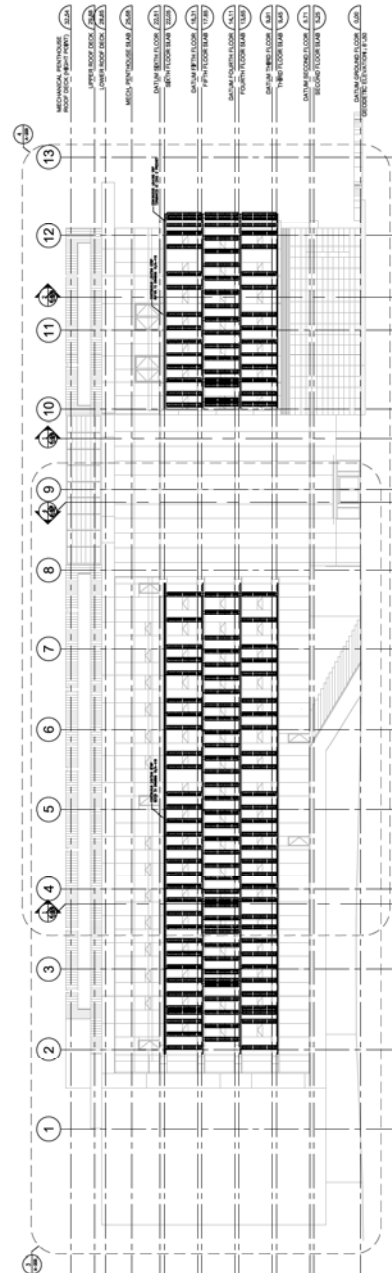
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SECTION 1: 1.000 - 1.000



SOUTH ELEVATION KEY 1
1 - 100

SECTION 2: 1.000 - 1.000



SOUTH ELEVATION WITH SUN SHADE LOUVERS KEY 2
1 - 100

EXISTING CONDITIONS

1. EXISTING STRUCTURE
2. EXISTING INTERIOR FINISHES
3. EXISTING EXTERIOR FINISHES
4. EXISTING MECHANICAL SYSTEMS
5. EXISTING ELECTRICAL SYSTEMS
6. EXISTING PLUMBING SYSTEMS
7. EXISTING HVAC SYSTEMS
8. EXISTING GLAZING SYSTEMS
9. EXISTING STAIRS
10. EXISTING ELEVATORS
11. EXISTING SIGNAGE
12. EXISTING LANDSCAPE
13. EXISTING UTILITIES
14. EXISTING SITEWORK
15. EXISTING PAVEMENT
16. EXISTING FENCES
17. EXISTING LIGHTING
18. EXISTING SECURITY
19. EXISTING ACCESSIBILITY
20. EXISTING SUSTAINABILITY

PROPOSED CONDITIONS

1. NEW STRUCTURE
2. NEW INTERIOR FINISHES
3. NEW EXTERIOR FINISHES
4. NEW MECHANICAL SYSTEMS
5. NEW ELECTRICAL SYSTEMS
6. NEW PLUMBING SYSTEMS
7. NEW HVAC SYSTEMS
8. NEW GLAZING SYSTEMS
9. NEW STAIRS
10. NEW ELEVATORS
11. NEW SIGNAGE
12. NEW LANDSCAPE
13. NEW UTILITIES
14. NEW SITEWORK
15. NEW PAVEMENT
16. NEW FENCES
17. NEW LIGHTING
18. NEW SECURITY
19. NEW ACCESSIBILITY
20. NEW SUSTAINABILITY

MATERIAL LEGEND

- MC-41
- MC-42
- MC-43
- MC-44
- MC-45
- MC-46
- MC-47
- MC-48
- MC-49
- MC-50
- MC-51
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- MC-60

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK
1	2011-07-15	ISSUED FOR PERMITTING	AS	AS
2	2011-07-20	ISSUED FOR CONSTRUCTION	AS	AS
3	2011-08-15	ISSUED FOR FINISHES	AS	AS
4	2011-09-15	ISSUED FOR ELEVATIONS	AS	AS

PROJECT INFORMATION

PROJECT NAME: SURRE' CIVIC CENTRE
PROJECT ADDRESS: 1000 BROADVIEW AVENUE, SURREY, B.C.
CLIENT: SURREY CITY COUNCIL
ARCHITECT: KASJIAN MORYAMA & TASHIRO ARCHITECTS
DATE: JULY 2011

ISSUED FOR ELEVATIONS

DATE: JULY 2011
SCALE: AS NOTED
DRAWING NO: A-204

GENERAL NOTES

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. REFER TO ALL OTHER DRAWINGS FOR DETAILS AND CONDITIONS.
3. MATERIALS AND FINISHES TO BE AS SHOWN ON THE MATERIAL LEGEND.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE BC BUILDING CODE.
5. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS.
6. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.
7. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CONTRACTOR.
8. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE SUBCONTRACTORS.
9. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE SUPPLIERS.
10. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE MANUFACTURERS.
11. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE DISTRIBUTORS.
12. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE INSTALLERS.
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17. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE PUBLIC.
18. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE COMMUNITY.
19. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE ENVIRONMENT.
20. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIMATE.

PROJECT LOCATION

1000 BROADVIEW AVENUE, SURREY, B.C.
NORTH OF 100TH STREET, WEST OF 100TH AVENUE

PROJECT CONTACTS

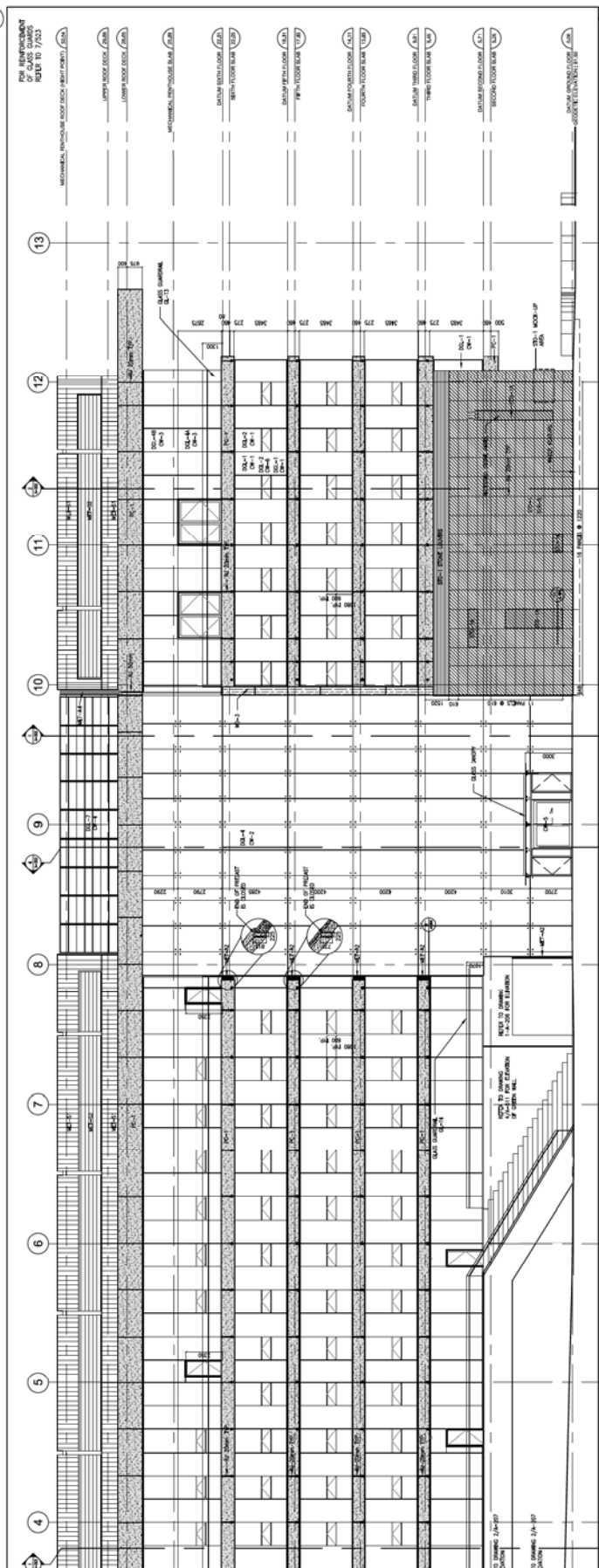
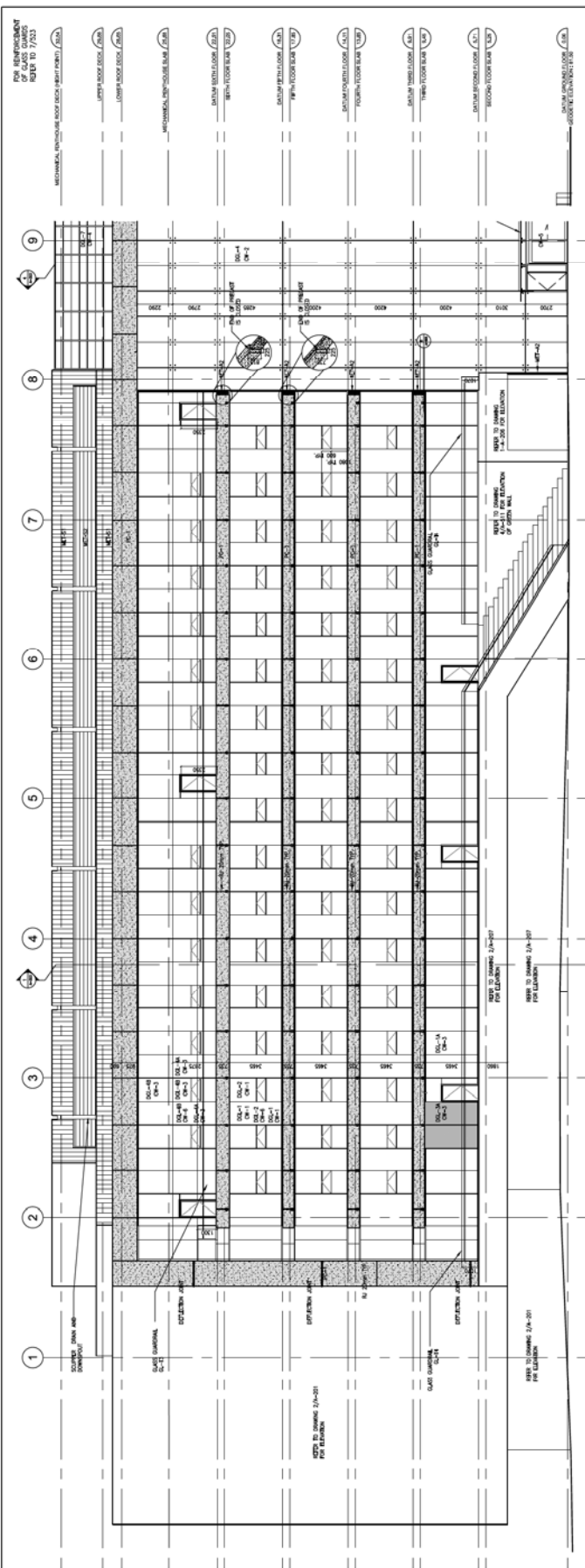
ARCHITECT: KASJIAN MORYAMA & TASHIRO ARCHITECTS
PROJECT MANAGER: [NAME]
CLIENT: SURREY CITY COUNCIL
CONTACT: [NAME]

PROJECT STATUS

ISSUED FOR ELEVATIONS
DATE: JULY 2011

PROJECT INFORMATION

PROJECT NAME: SURRE' CIVIC CENTRE
PROJECT ADDRESS: 1000 BROADVIEW AVENUE, SURREY, B.C.
CLIENT: SURREY CITY COUNCIL
ARCHITECT: KASJIAN MORYAMA & TASHIRO ARCHITECTS
DATE: JULY 2011



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79. 100% DESIGN DEVELOPMENT
80. 100% DESIGN DEVELOPMENT
81. 100% DESIGN DEVELOPMENT
82. 100% DESIGN DEVELOPMENT
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97. 100% DESIGN DEVELOPMENT
98. 100% DESIGN DEVELOPMENT
99. 100% DESIGN DEVELOPMENT
100. 100% DESIGN DEVELOPMENT

MATERIAL LEGEND

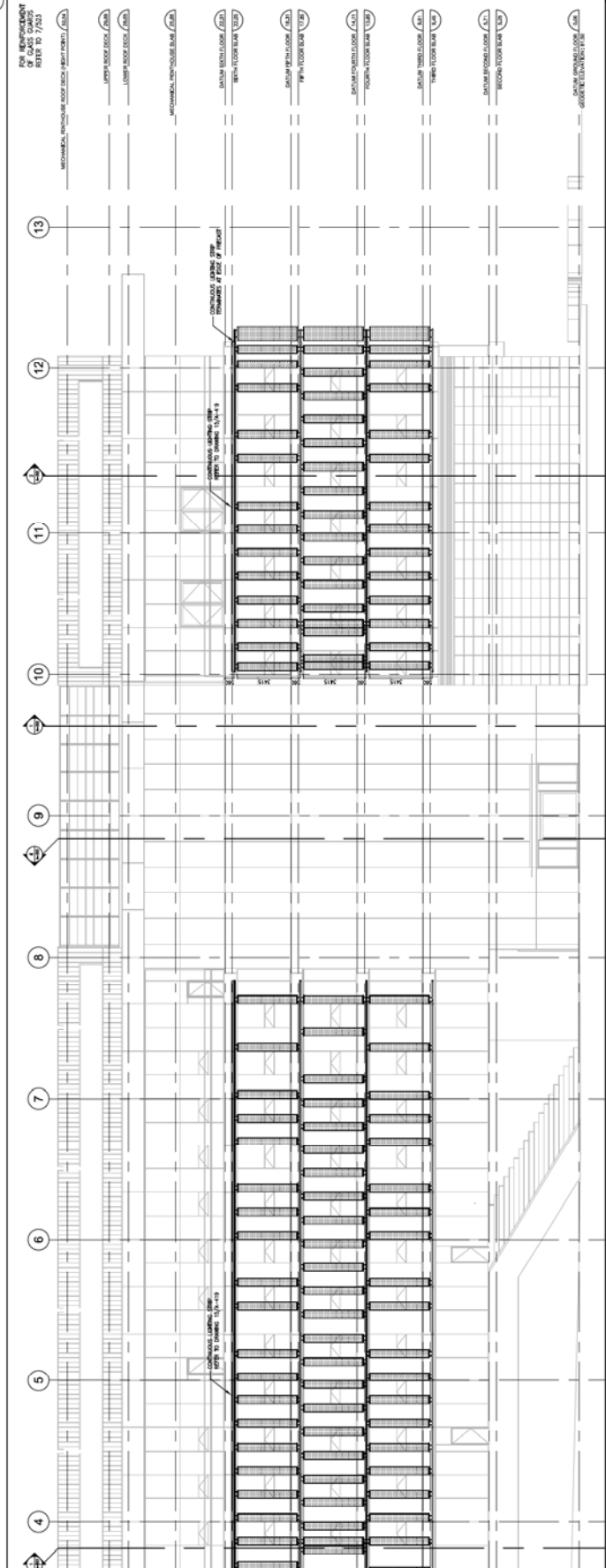
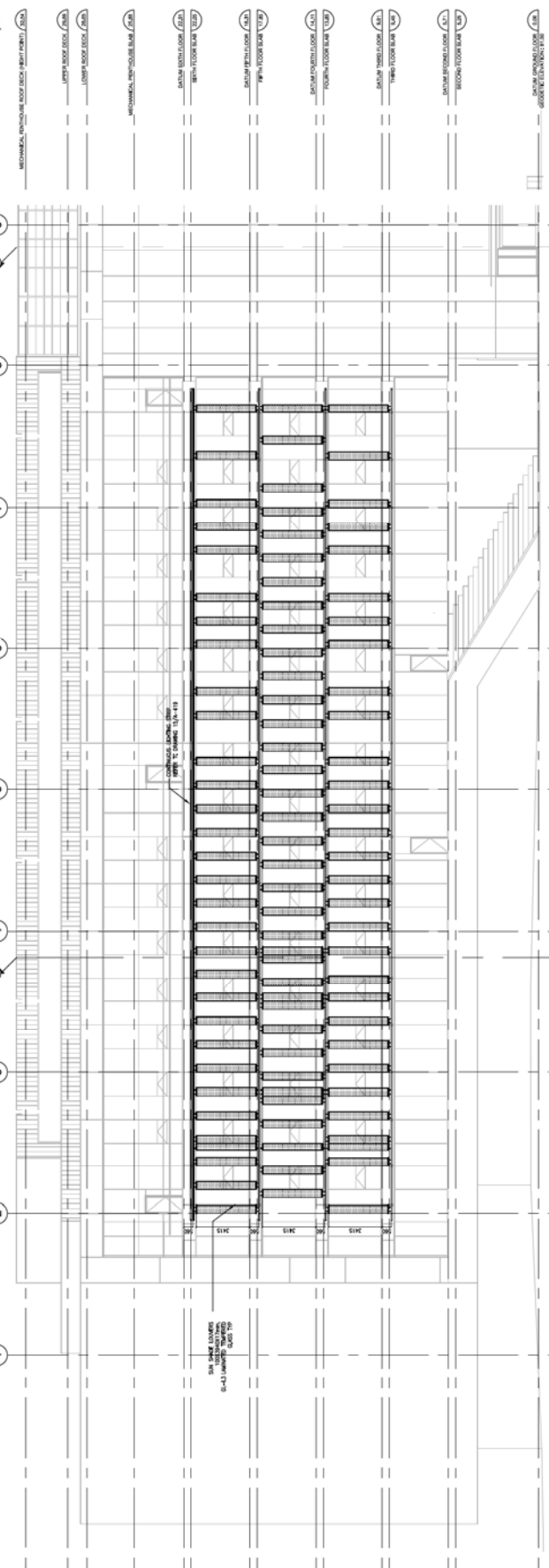
MC-41	MC-42	MC-43	MC-44
MC-45	MC-46	MC-47	MC-48
MC-49	MC-50	MC-51	MC-52

DATE: 10/15/2011
SCALE: 1/8" = 1'-0"
SHEET: 10 OF 10

SURREY CIVIC CENTRE
BUILDING ELEVATIONS

ISSUED FOR ENVELOPE AND FINISHES
DATE: JULY 26, 2011
BY: AS NOTED

A-205



GENERAL NOTES:

1. REFER TO ALL DRAWINGS FOR DIMENSIONS AND NOTES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 BC BUILDING ACT AND REGULATIONS.
3. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND THE BUILDING DEPARTMENT.
4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED QUALITY STANDARDS.
7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SAFETY STANDARDS.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ENVIRONMENTAL STANDARDS.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ACCESSIBILITY STANDARDS.
10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SUSTAINABILITY STANDARDS.

MATERIAL LEGEND:

[Symbol]	MC-A1
[Symbol]	MC-A2
[Symbol]	MC-A3
[Symbol]	MC-A4
[Symbol]	MC-A5
[Symbol]	MC-A6
[Symbol]	MC-A7
[Symbol]	MC-A8
[Symbol]	MC-A9
[Symbol]	MC-A10

REVISIONS:

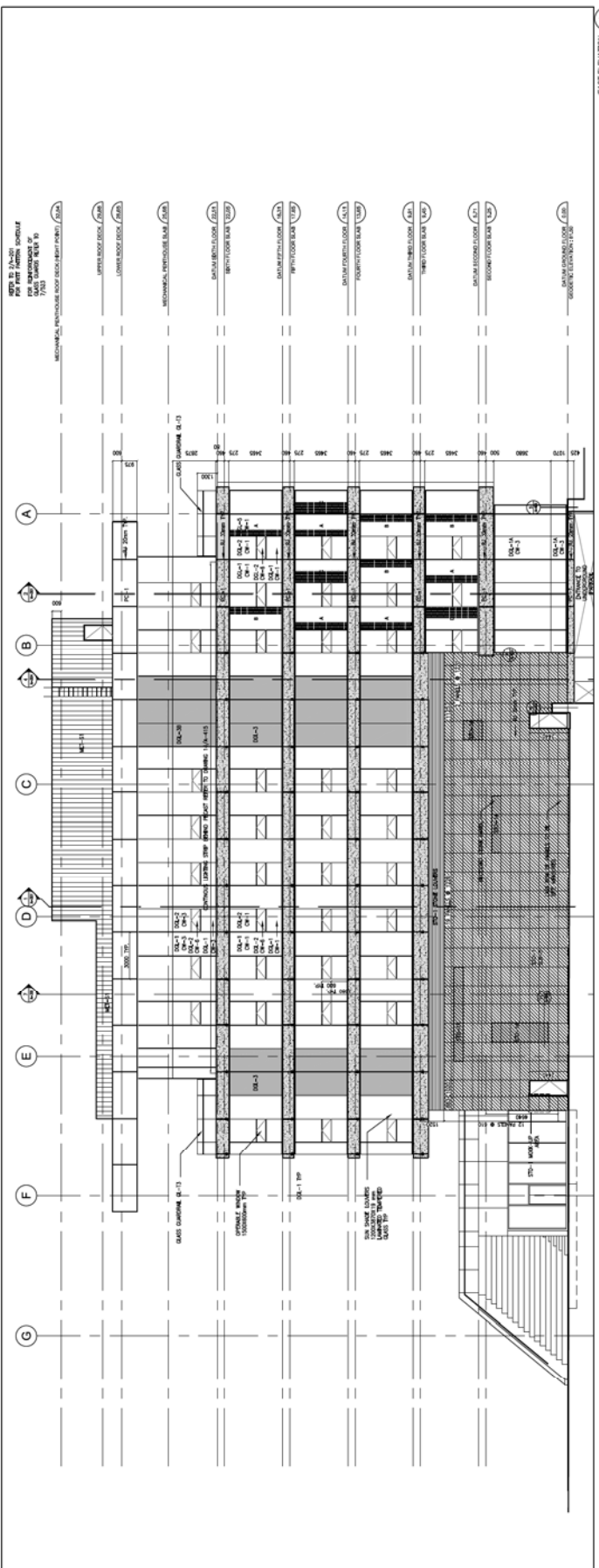
NO.	DATE	DESCRIPTION	BY	CHK
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2	2023-07-15	ISSUED FOR CONSTRUCTION	KT	KT

PROJECT INFORMATION:

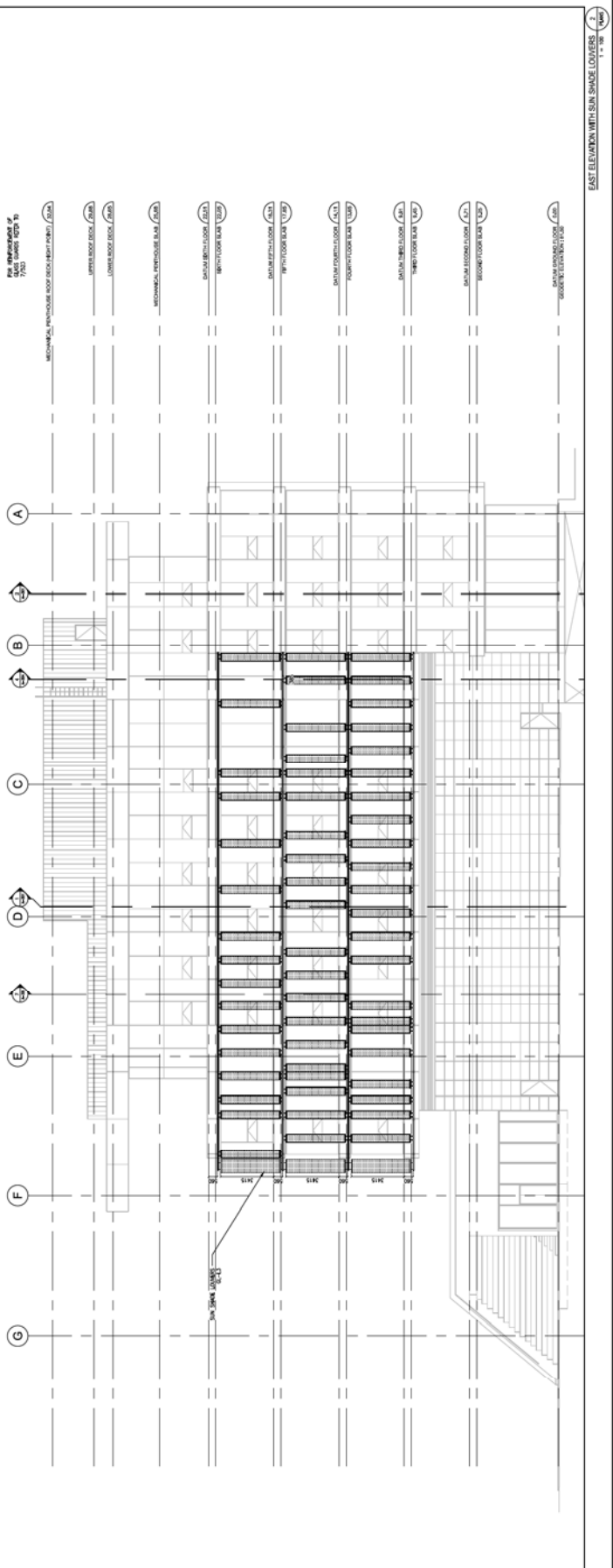
PROJECT NAME: **SURREY CIVIC CENTRE**
 PROJECT NUMBER: **2023-07-10**
 PROJECT LOCATION: **1000 BROADVIEW AVENUE, SURREY, B.C.**
 PROJECT OWNER: **CITY OF SURREY**
 PROJECT ARCHITECT: **KASJIAN ARCHITECTS**
 PROJECT ENGINEER: **MORYAMA & TASHIRO ARCHITECTS**

ISSUED FOR ENVELOPE AND FINISHES

DATE: **JULY 26, 2023**
 SCALE: **AS NOTED**
 DRAWING NO.: **A-206**



EAST ELEVATION
1:100



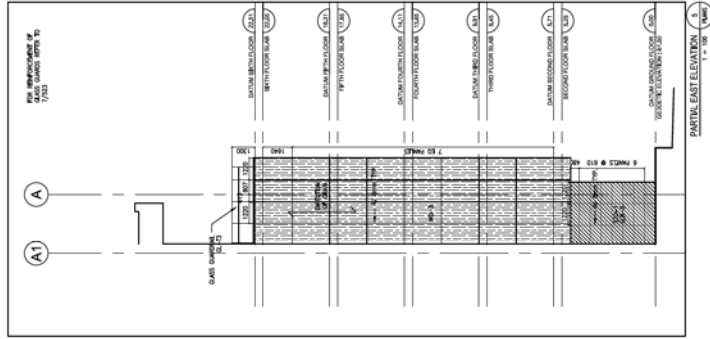
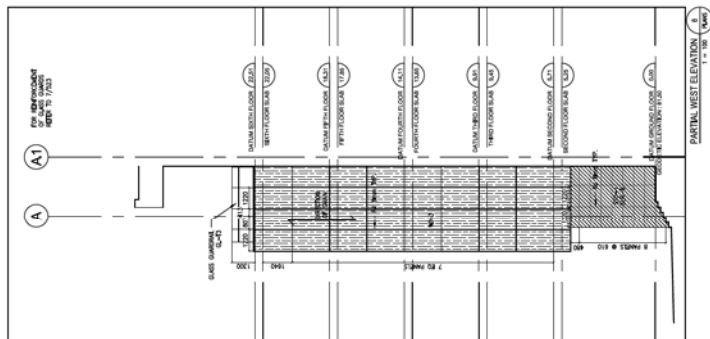
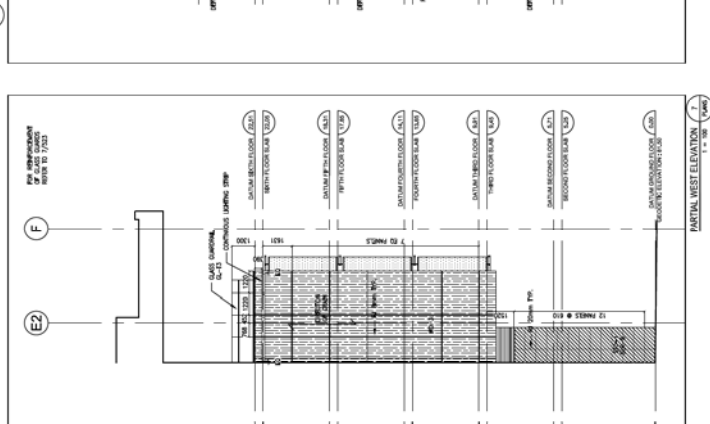
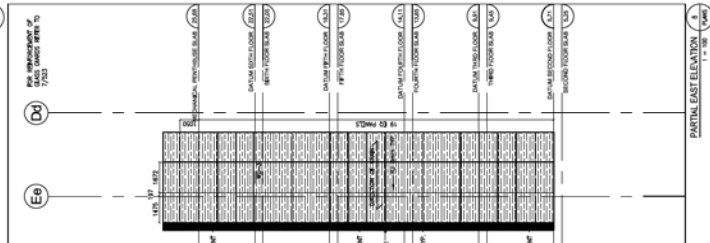
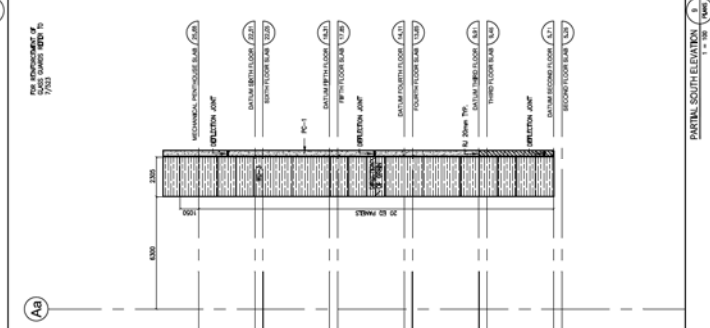
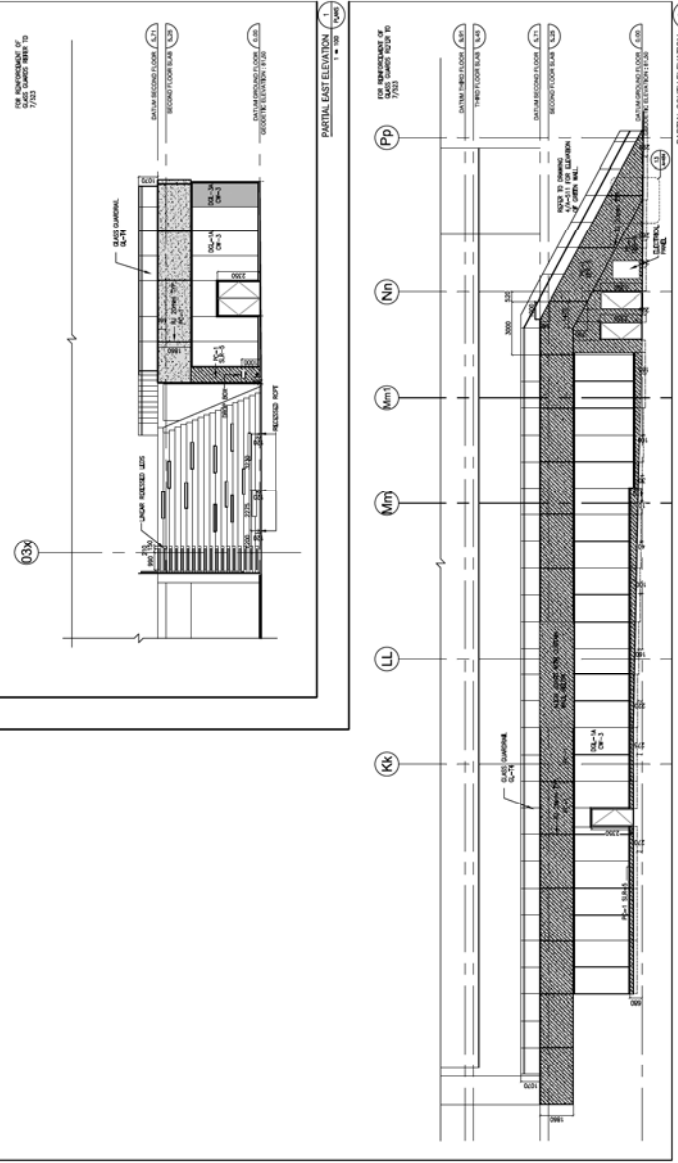
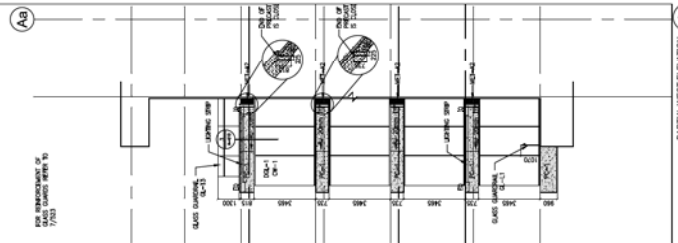
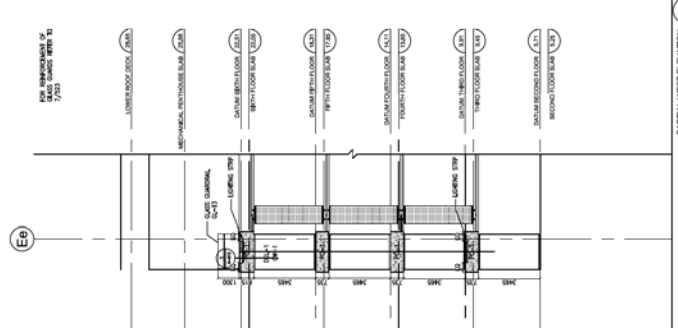
EAST ELEVATION WITH SUN SHADE LOUVERS
1:100

DATE: 2011-07-20
 SHEET NO.: A-207
 PROJECT NO.: 7910-0160-00(N)
 DRAWING TITLE: BUILDING ELEVATIONS
 SCALE: AS NOTED

MATERIAL LEGEND

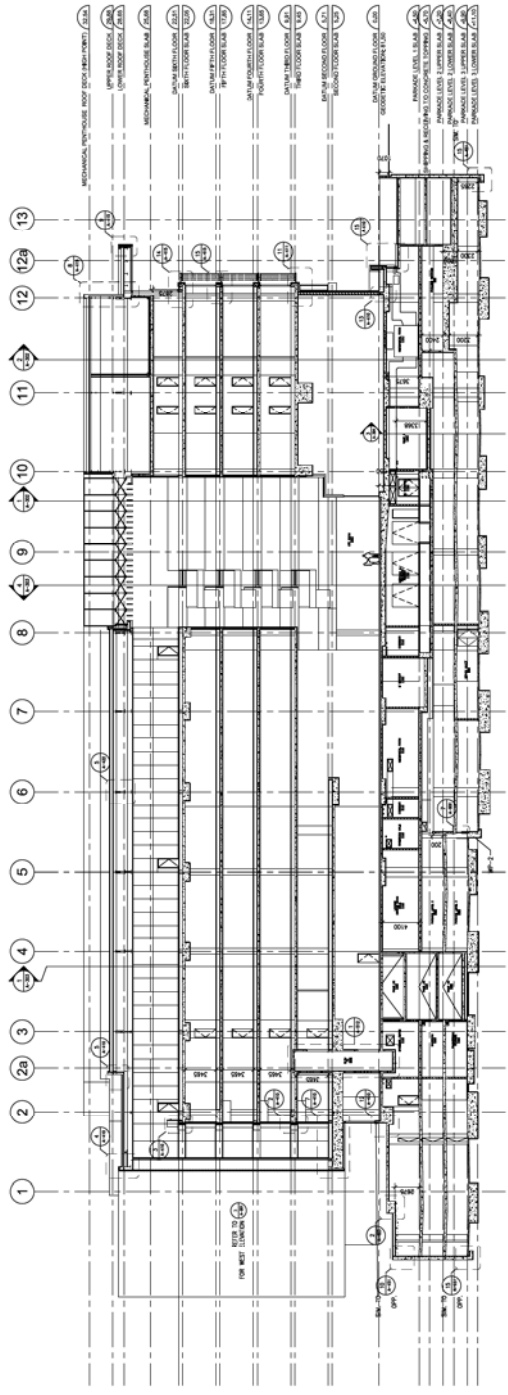
- GLASS CURTAIN WALL
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- CL-4
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- CL-100

NO.	DESCRIPTION	SCALE	DATE
1	ISSUED FOR DEVELOP AND FINISHES	AS NOTED	JULY 20, 2011
2	FOR INFORMATION	AS NOTED	JULY 20, 2011
3	FOR INFORMATION	AS NOTED	JULY 20, 2011
4	FOR INFORMATION	AS NOTED	JULY 20, 2011
5	FOR INFORMATION	AS NOTED	JULY 20, 2011
6	FOR INFORMATION	AS NOTED	JULY 20, 2011
7	FOR INFORMATION	AS NOTED	JULY 20, 2011
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9	FOR INFORMATION	AS NOTED	JULY 20, 2011
10	FOR INFORMATION	AS NOTED	JULY 20, 2011

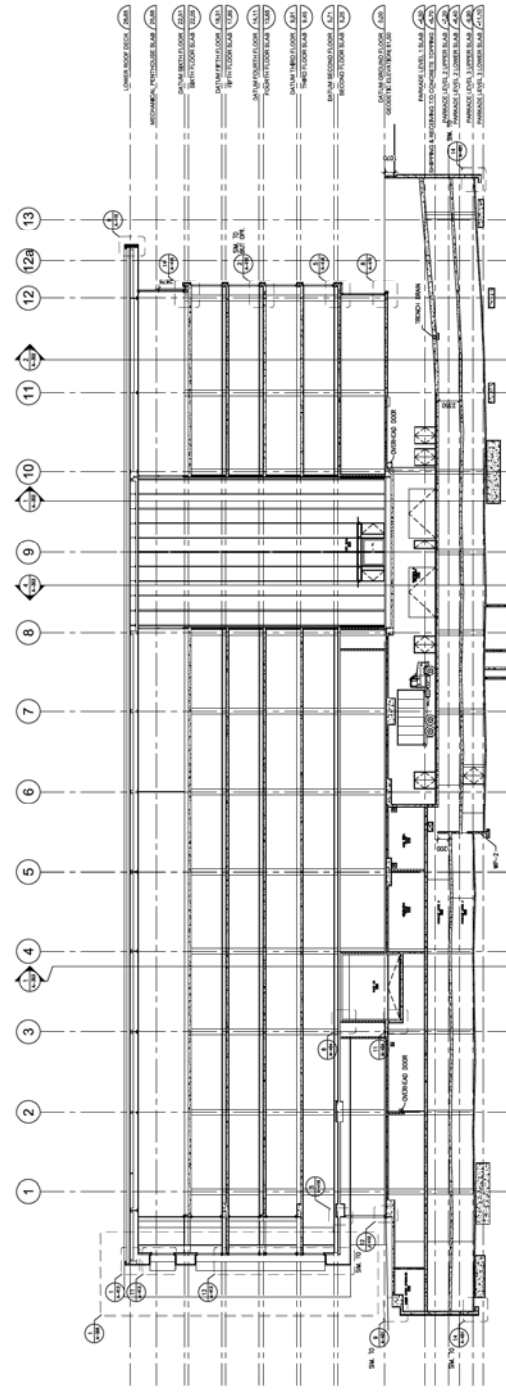


NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	07/26/2011	AS	ST
2	ISSUED FOR ENVELOPE AND FINISHES	07/26/2011	AS	ST
3	ISSUED FOR CONSTRUCTION	07/26/2011	AS	ST
4	ISSUED FOR RECORD	07/26/2011	AS	ST

EAST/WEST SECTION 1
1 = 200

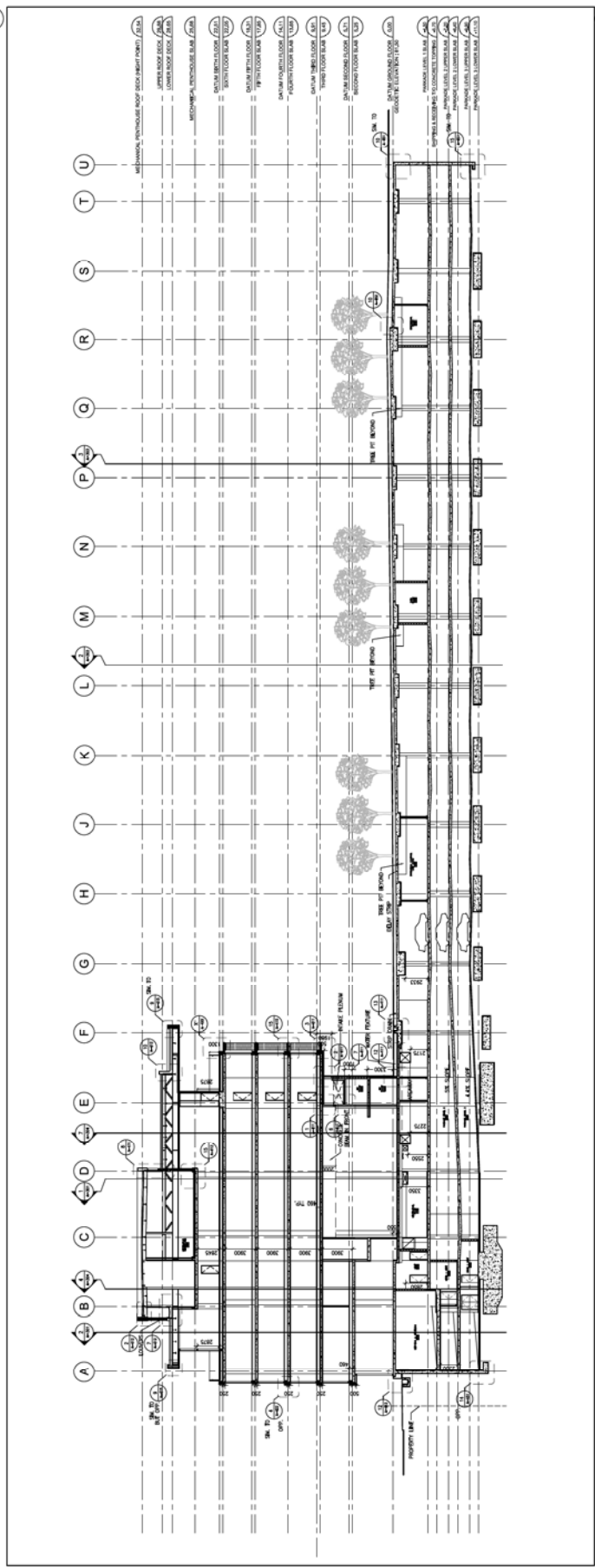
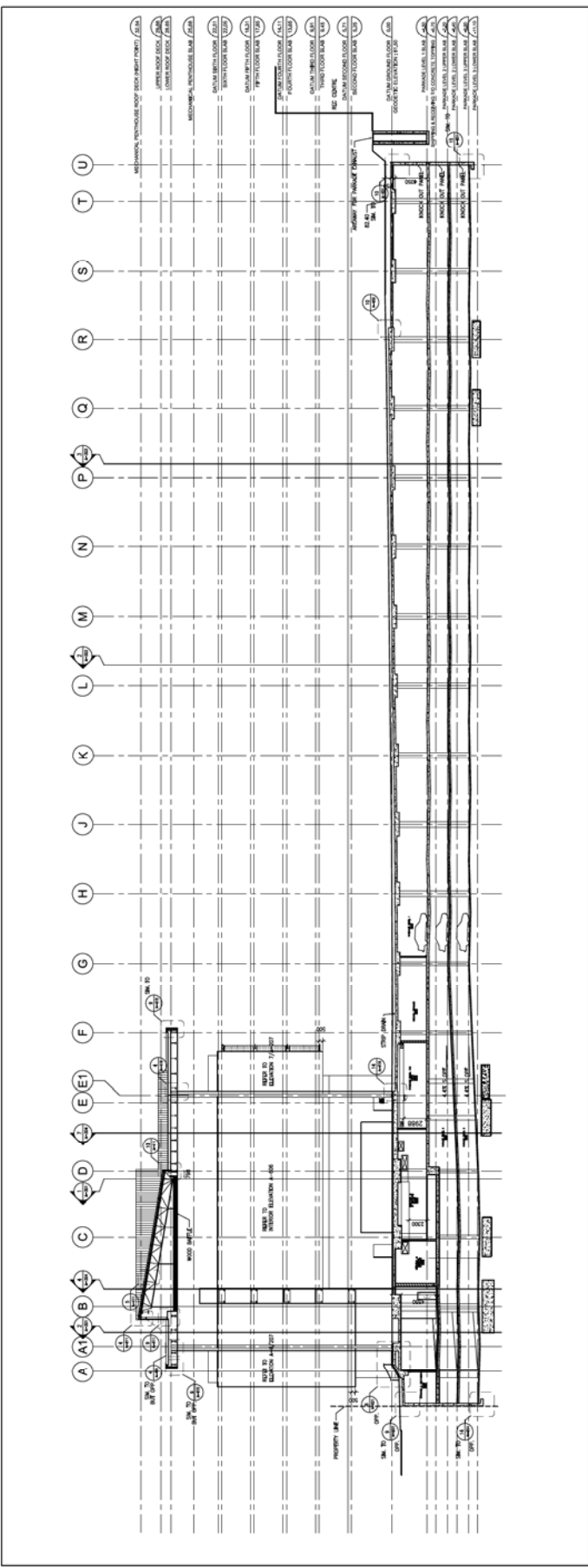


EAST/WEST SECTION 2
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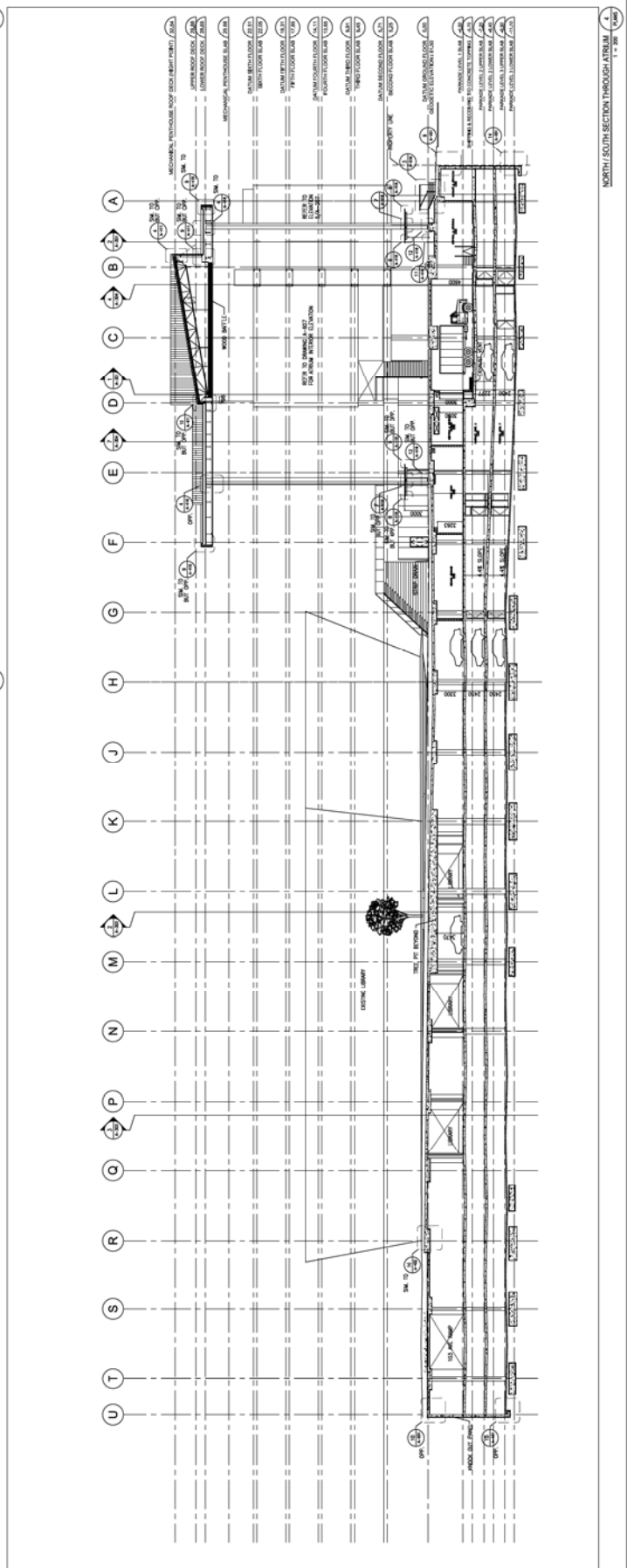
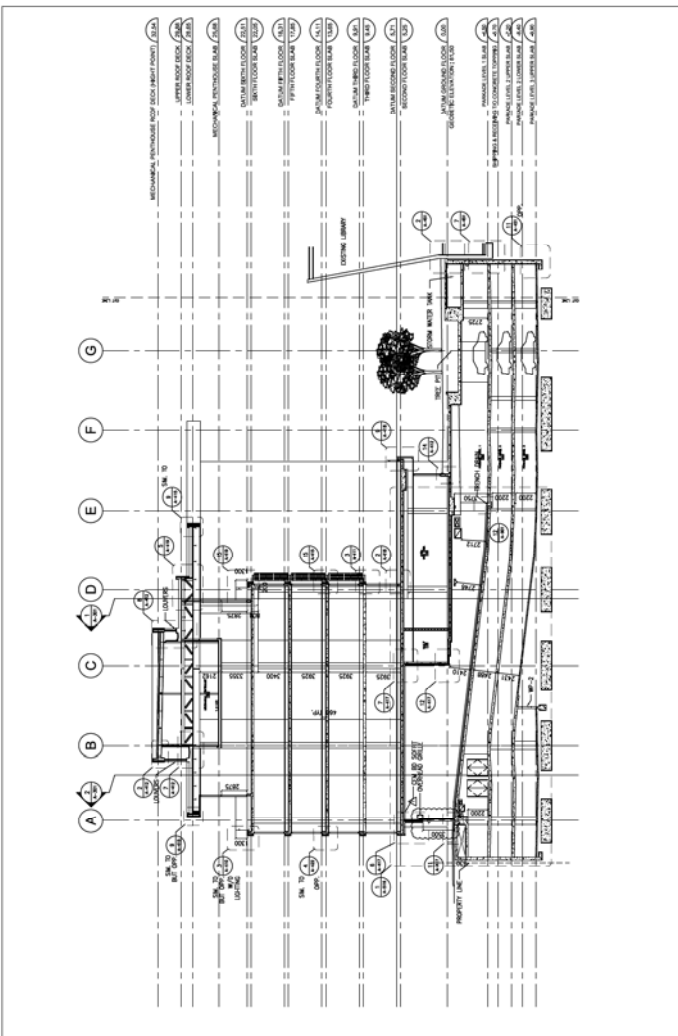
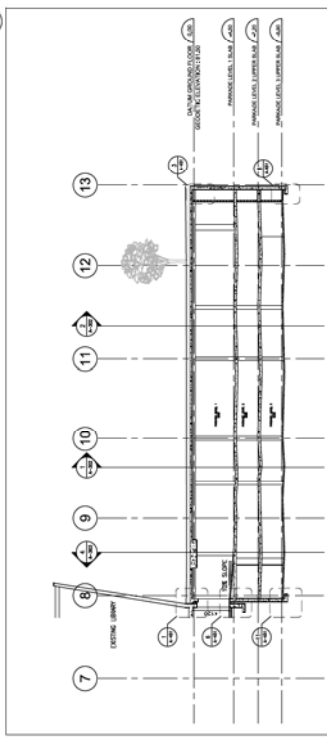
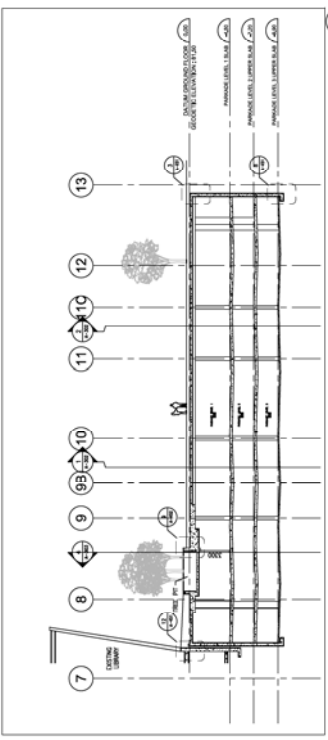


NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMITTING	07/27/11		
2	ISSUED FOR CONSTRUCTION	07/27/11		
3	ISSUED FOR CONSTRUCTION	07/27/11		
4	ISSUED FOR CONSTRUCTION	07/27/11		
5	ISSUED FOR CONSTRUCTION	07/27/11		
6	ISSUED FOR CONSTRUCTION	07/27/11		

PROJECT: SURRÉ CIVIC CENTRE
 1400 WEST BROAD STREET
 SURREY, B.C. V4R 1A7
 DRAWING NO: A-302
 DATE: JULY 26, 2011
 SCALE: AS NOTED
 ISSUED FOR: ENVELOPE AND FINISHES
 DESIGNER: KASIAN ARCHITECTS
 PROJECT MANAGER: [Name]

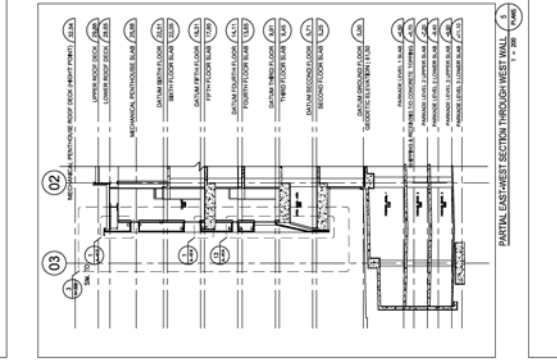
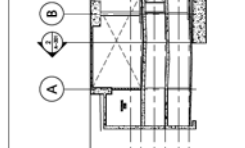
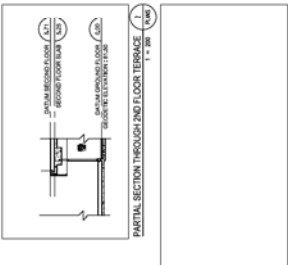
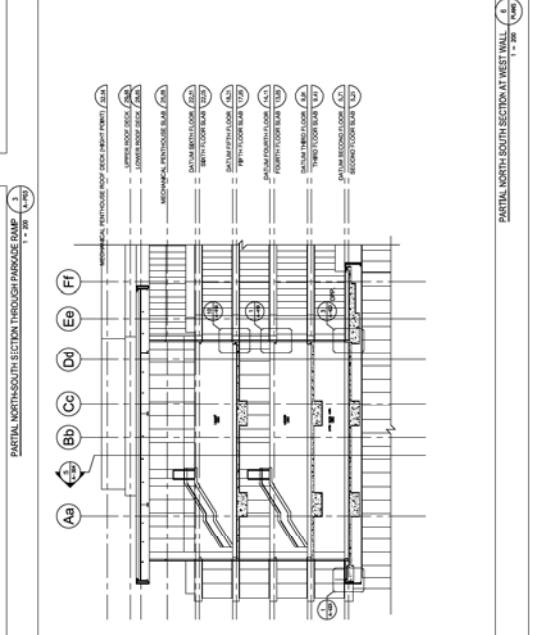
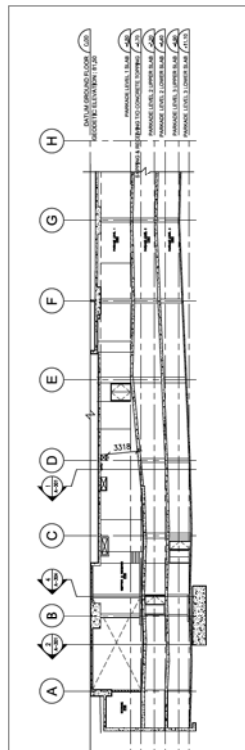
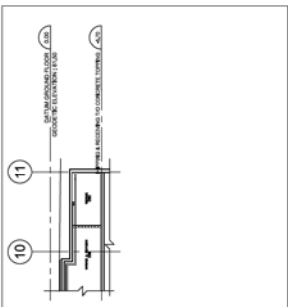
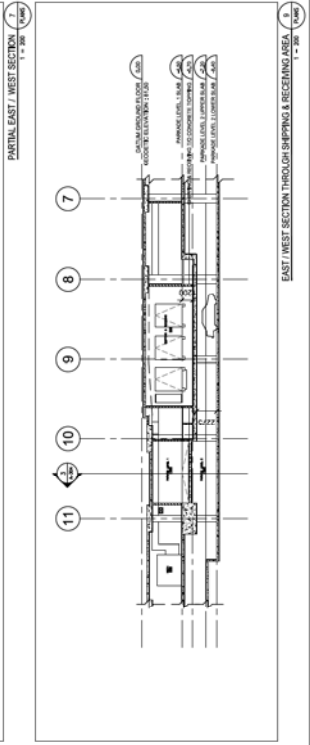
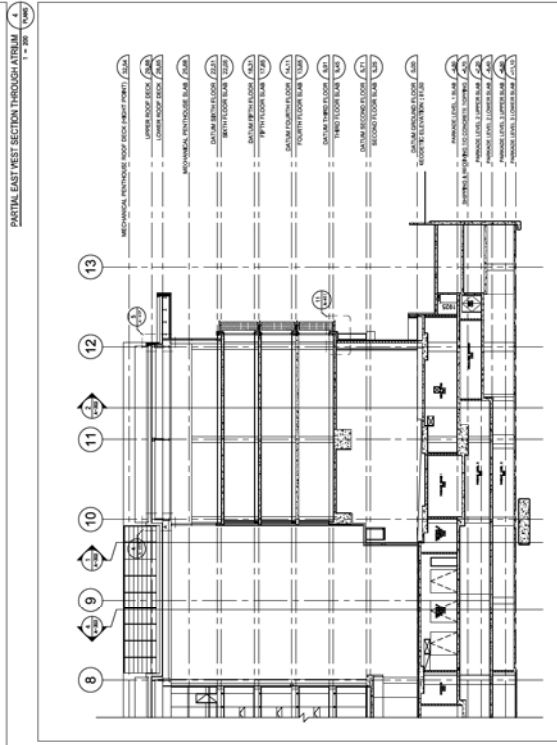
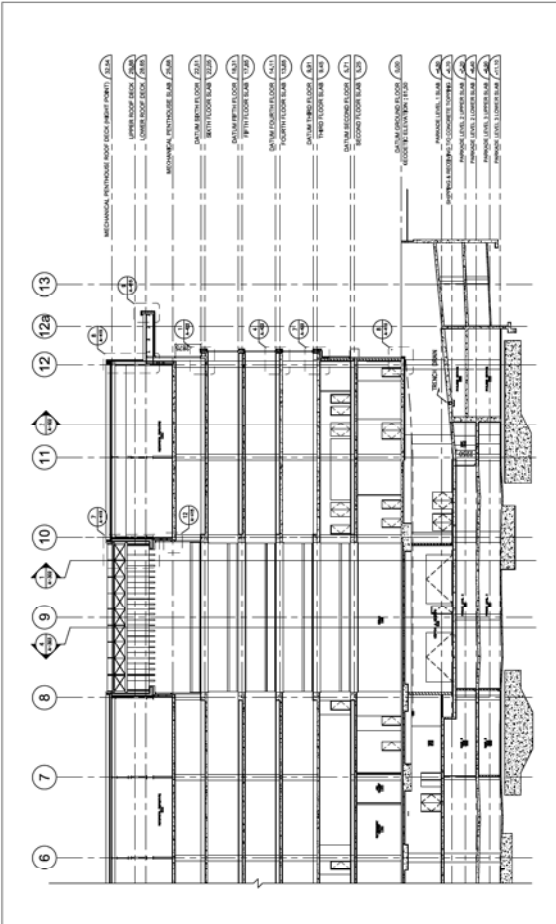


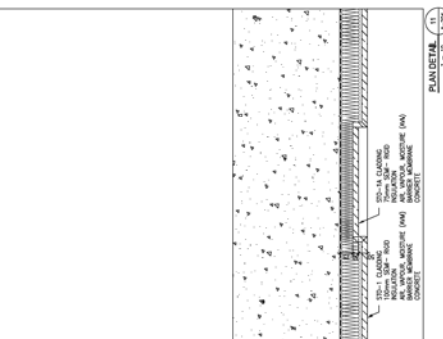
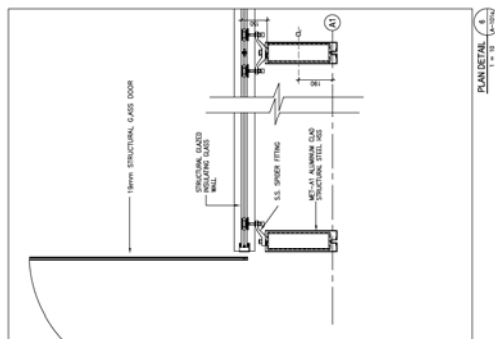
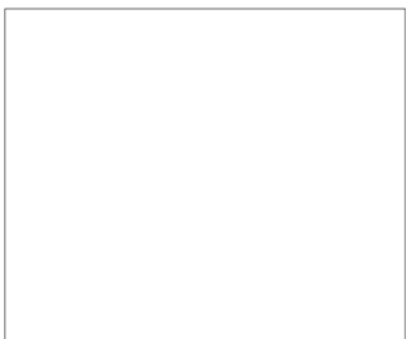
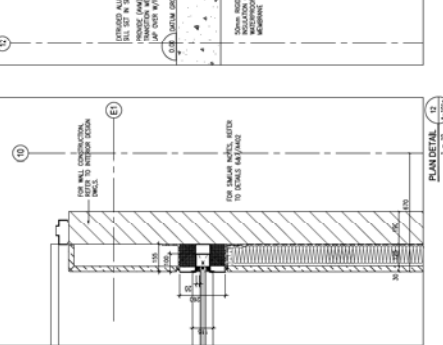
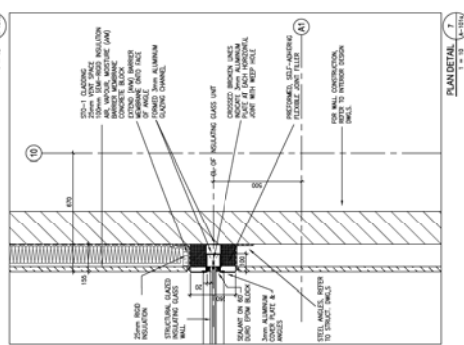
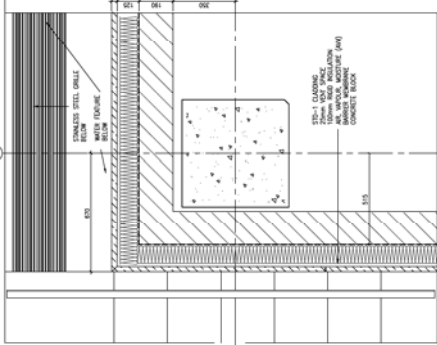
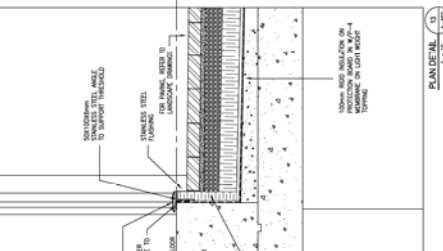
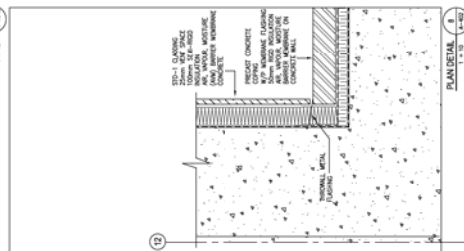
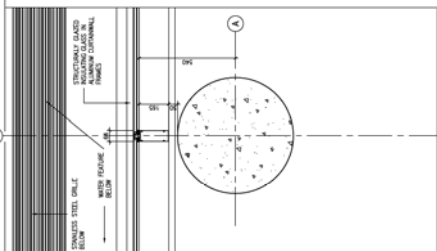
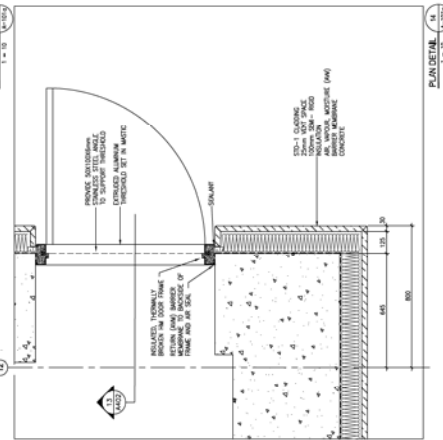
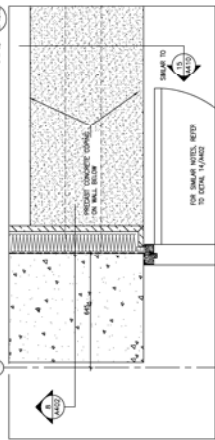
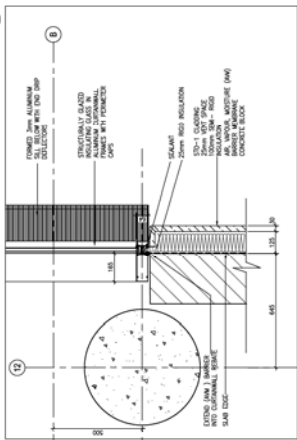
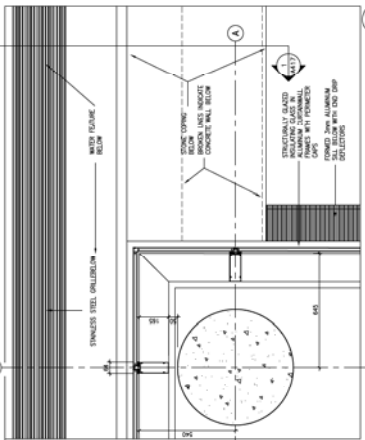
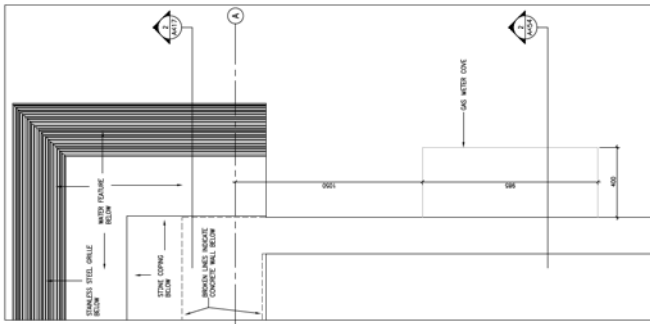
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1	ISSUED FOR PERMITS	07/26/2011	AS NOTED	AS NOTED
2	ISSUED FOR ENVELOPE AND FINISHES	07/26/2011	AS NOTED	AS NOTED
3	ISSUED FOR CONSTRUCTION	07/26/2011	AS NOTED	AS NOTED
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30	ISSUED FOR CONSTRUCTION	07/26/2011	AS NOTED	AS NOTED



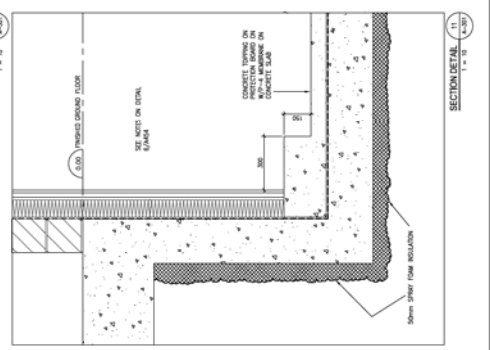
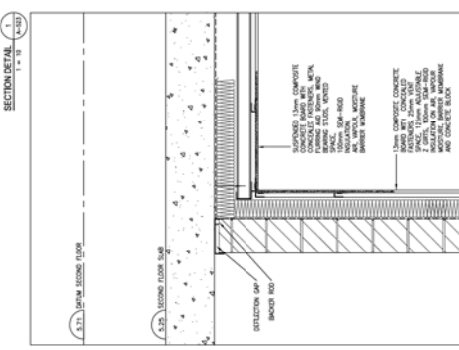
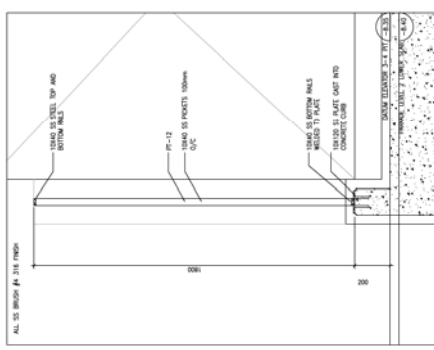
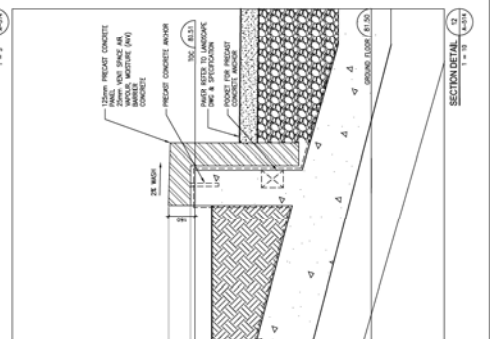
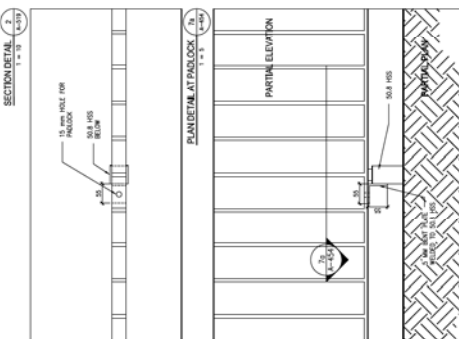
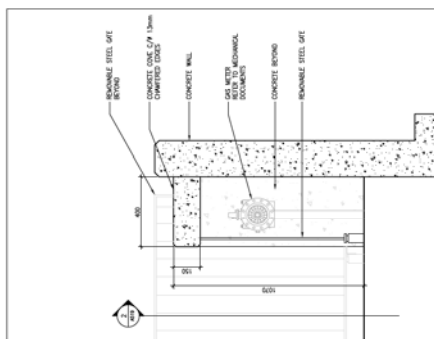
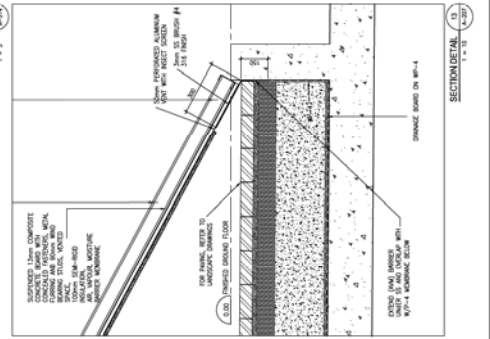
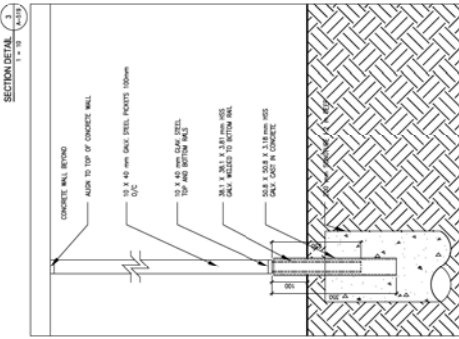
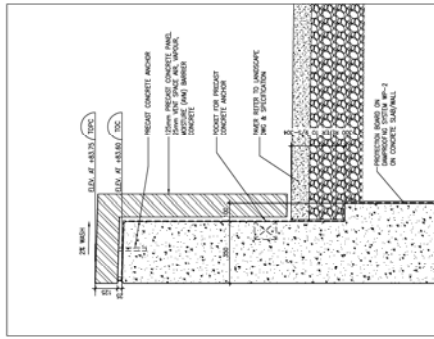
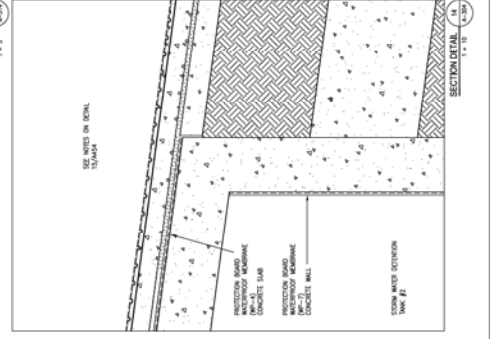
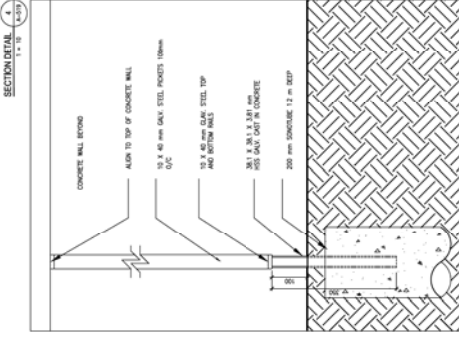
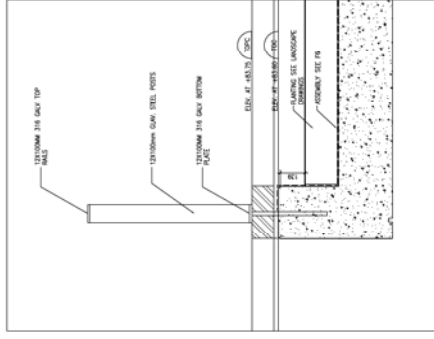
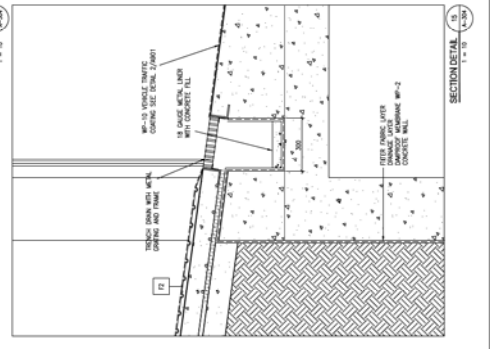
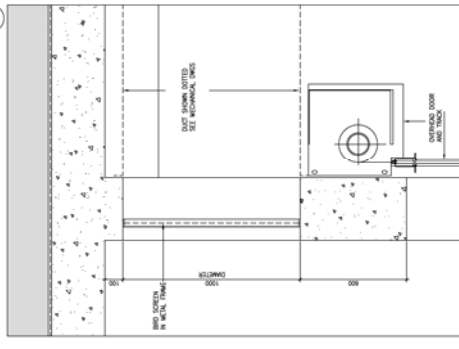
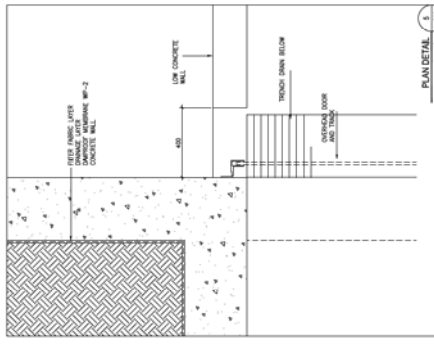
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	07/26/2011
2	ISSUED FOR CONSTRUCTION	07/26/2011
3	ISSUED FOR FINISHES	07/26/2011

PROJECT NO. 7910-0160-00		DATE: JULY 26, 2011
PROJECT NAME: SURREY CIVIC CENTRE		AS NOTED
PROJECT LOCATION: SURREY, B.C.		SCALE: 1/8" = 1'-0"
ISSUED FOR: ENVELOPE AND FINISHES		PROJECT NO. A-304
DRAWN BY: [Name]		DATE: [Date]





NO.	DATE	DESCRIPTION
1	11/11/16	ISSUE FOR PERMIT
2	01/11/17	ISSUE FOR CONSTRUCTION
3	01/11/17	ISSUE FOR CONSTRUCTION





NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR CONSTRUCTION	04-08-2011	J. D.	
2	ISSUED FOR CONSTRUCTION	04-08-2011	J. D.	

SURREY CMC CENTRE
SURREY, B.C.

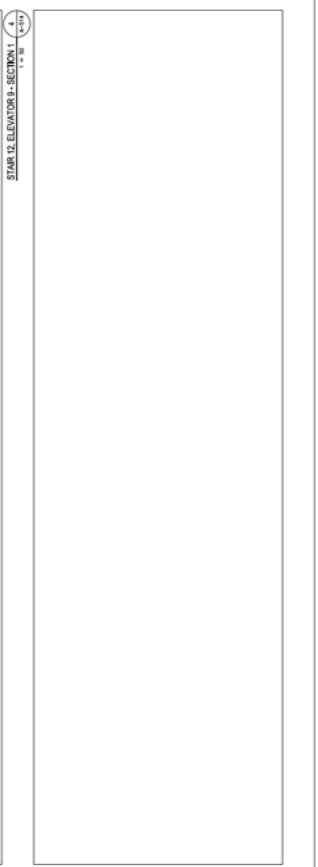
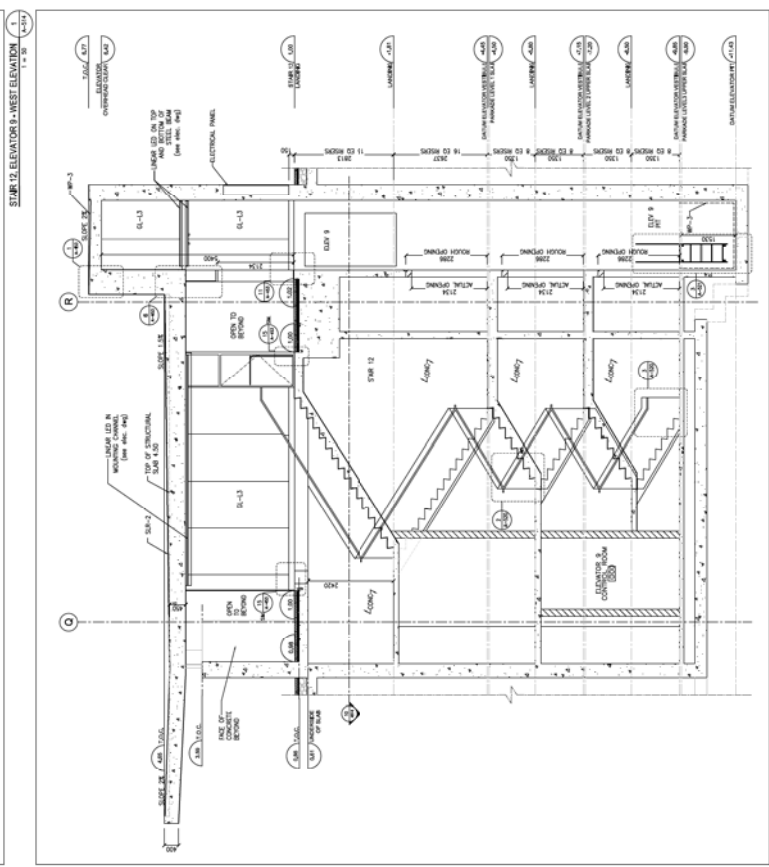
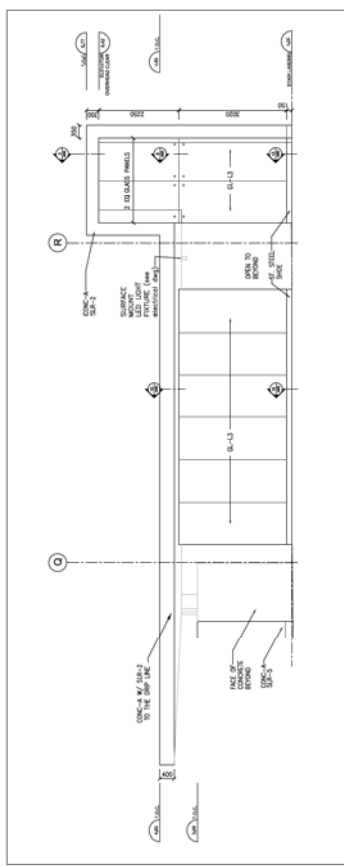
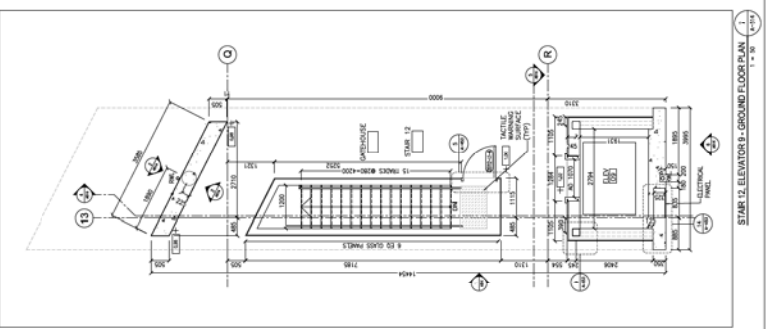
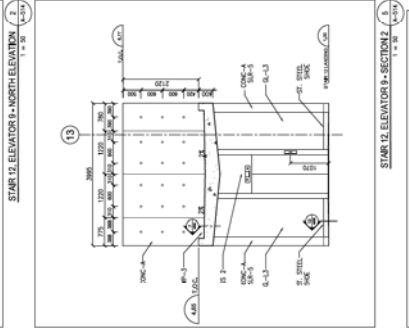
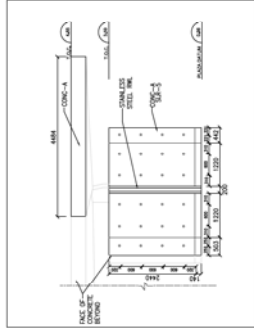
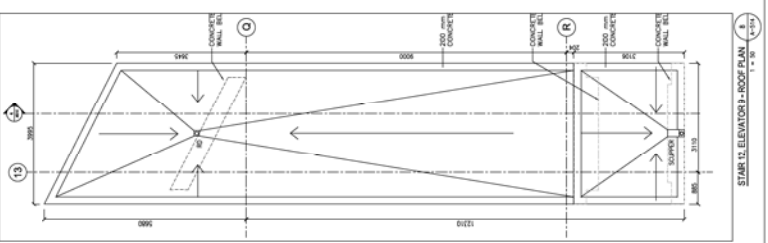
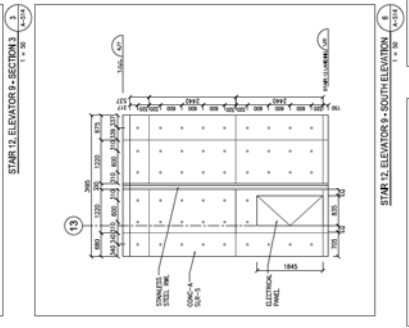
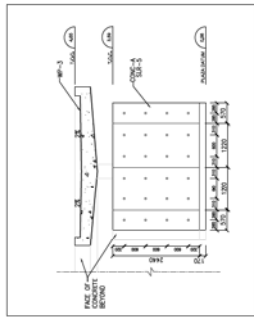
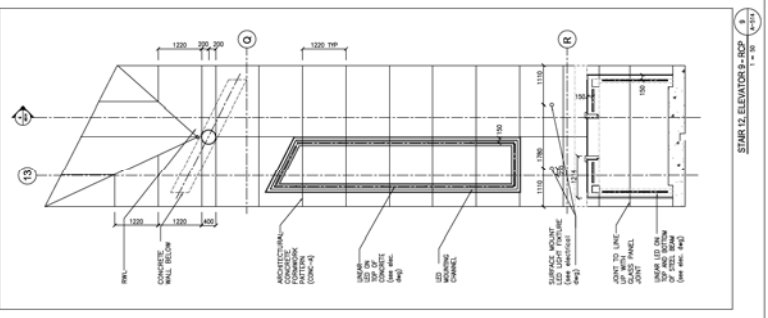
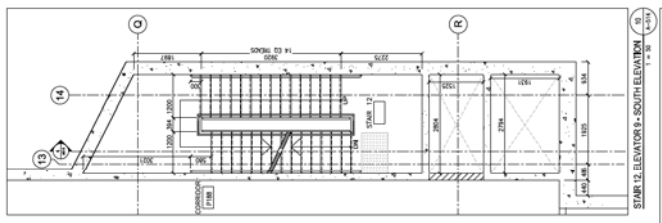
**STAIR 12
ELEVATOR 9
(GATEHOUSE)**

ISSUED FOR CONSTRUCTION

DATE: NOVEMBER 1, 2011

PROJECT NO: A-514

SCALE: 1/8" = 1'-0"



NO.	DATE	DESCRIPTION
1	10/11/16	ISSUE FOR CONSTRUCTION
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4	10/11/16	ISSUE FOR CONSTRUCTION
5	10/11/16	ISSUE FOR CONSTRUCTION
6	10/11/16	ISSUE FOR CONSTRUCTION
7	10/11/16	ISSUE FOR CONSTRUCTION
8	10/11/16	ISSUE FOR CONSTRUCTION
9	10/11/16	ISSUE FOR CONSTRUCTION
10	10/11/16	ISSUE FOR CONSTRUCTION
11	10/11/16	ISSUE FOR CONSTRUCTION
12	10/11/16	ISSUE FOR CONSTRUCTION
13	10/11/16	ISSUE FOR CONSTRUCTION
14	10/11/16	ISSUE FOR CONSTRUCTION
15	10/11/16	ISSUE FOR CONSTRUCTION
16	10/11/16	ISSUE FOR CONSTRUCTION
17	10/11/16	ISSUE FOR CONSTRUCTION
18	10/11/16	ISSUE FOR CONSTRUCTION
19	10/11/16	ISSUE FOR CONSTRUCTION
20	10/11/16	ISSUE FOR CONSTRUCTION

SURREY CIVIC CENTRE
CIVIC CENTRE
SURREY, B.C.

RAMP 1, 103 RAMP, RAMP 3

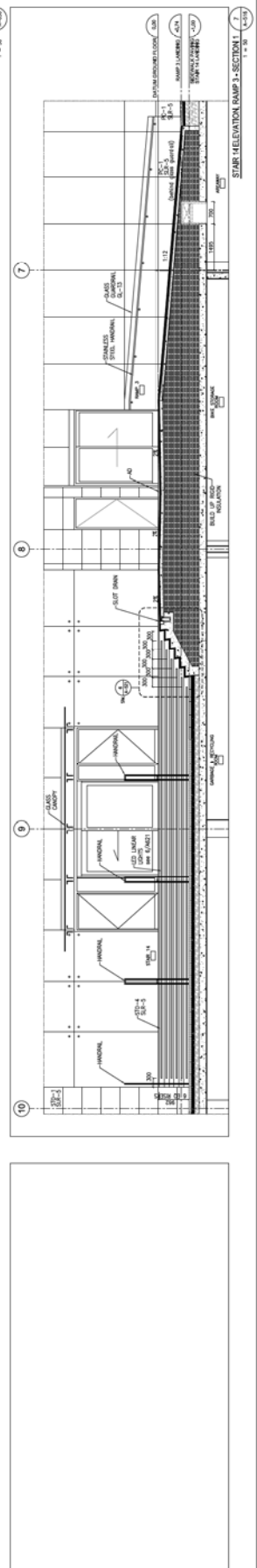
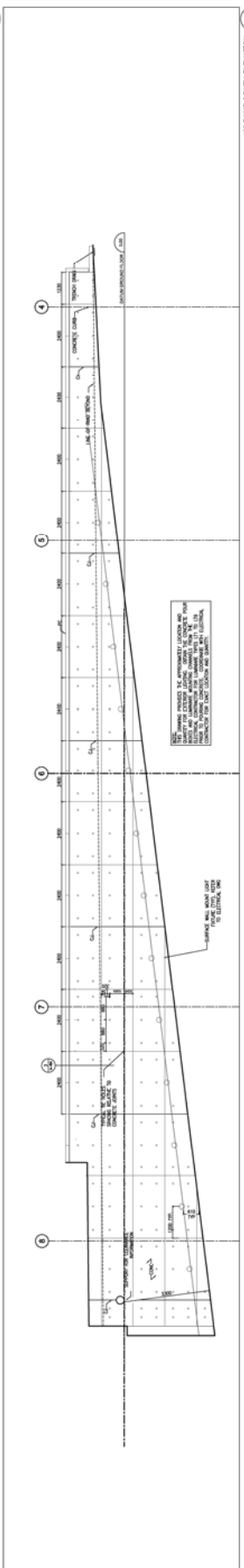
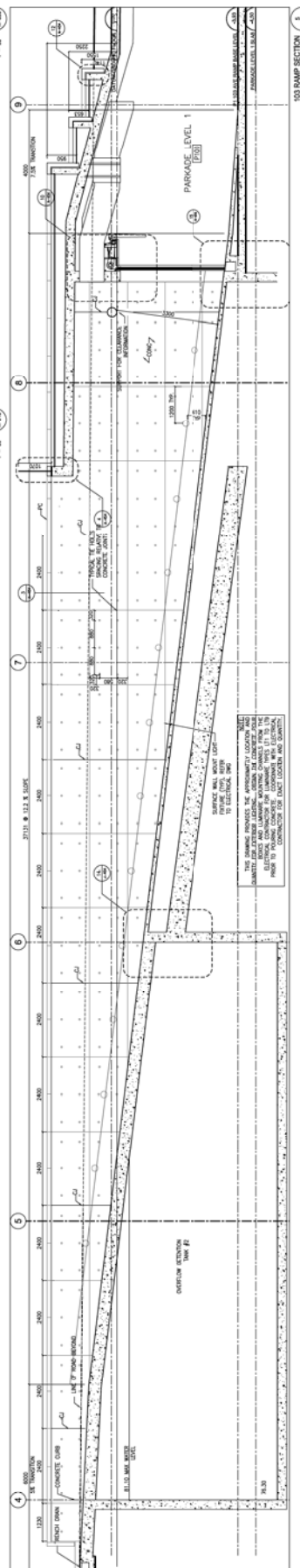
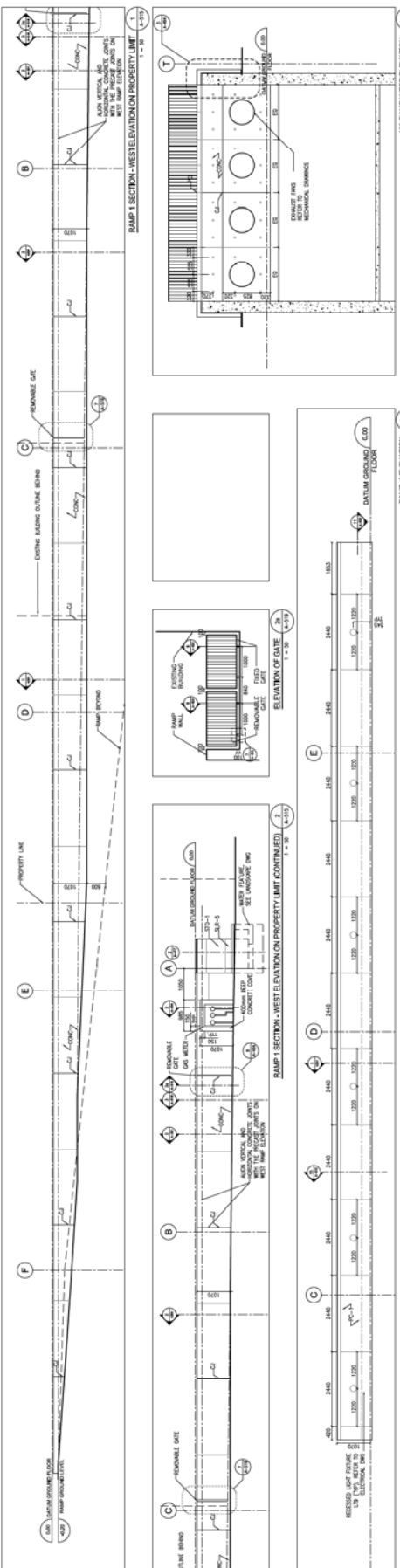
ISSUED FOR CONSTRUCTION

DATE: NOVEMBER 1, 2011

SCALE: 1" = 30'

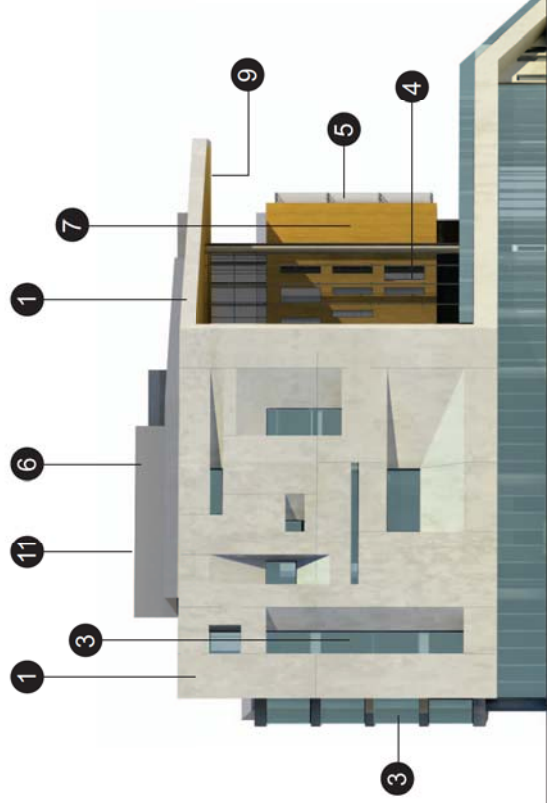
PROJECT NO: **A-519**

REVISION: **0**

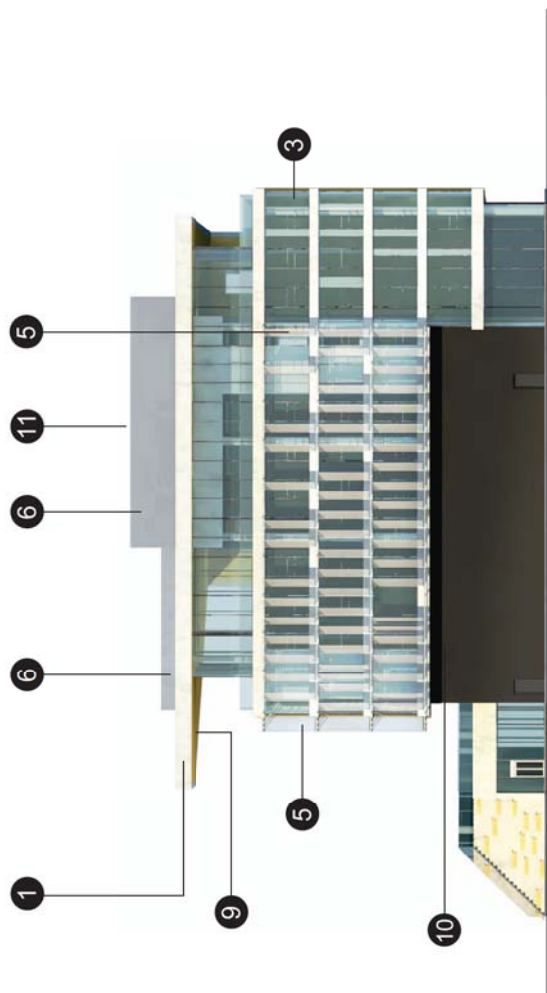


Material Finishes and Colour Board

1	PC-1 Precast Concrete Ribs, Screen Panels Application: Exterior Walls	
2	CEM BD Concrete Board Application: Exterior Wall	
3	DGL-2 20mm GDU Screen with Glass Application: Façade Type	
4	DGL-4 30mm GDU High Transparency Low Iron Glass Application: Screen Glass + Screen at Space Application: Screen Glass	
5	GL-L3 Tempered Glass with IR pattern Application: Sun Screens	
7	WD-3 PineEX Application: Extension of Atrium Wood Walls	
9	WD Wood - Douglas Fir Clear finish Application: Four walls	
10	STD-1 Granite-Margaronite, Noir Application: Ground Cover	



1	PC-1 Concrete Ribs, Screen Panels Application: Exterior Walls	
3	DGL-2 20mm GDU Screen with Glass Application: Façade Type	
4	DGL-1 High Transparency Low Iron Glass Application: Screen Glass + Screen at Space	
5	GL-L3 Tempered Glass with IR pattern Application: Sun Screens	
6	METS-1 VIC Wood AB 200 BR Metallic Medium Grey Application: Extension Wall Panel	
7	WD-3 PineEX Application: Extension of Atrium Wood Walls	
9	WD Douglas Fir Clear finish Application: Four walls	
10	STD-1 Margaronite, Noir Application: Ground Cover	
11	GR-1 Screen Low profile Green Roof System Application: Structural Reinforced Roof	

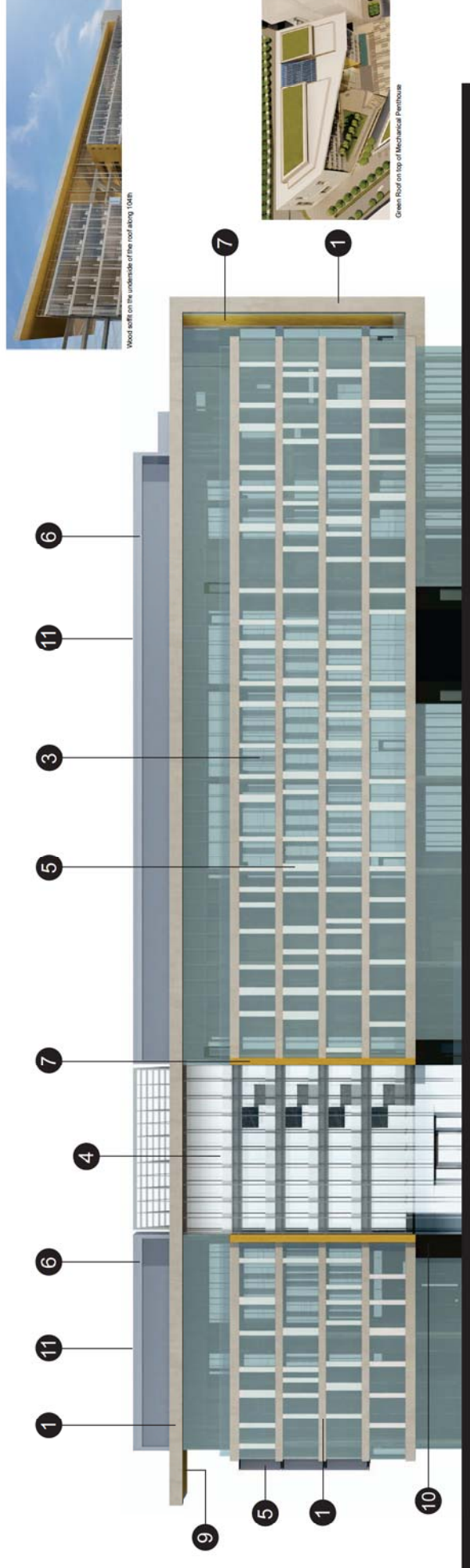


1	PC-1 Concrete Ribs, Screen Panels Application: Exterior Walls	
3	DGL-2 20mm GDU Screen with Glass Application: Façade Type	
4	DGL-1 High Transparency Low Iron Glass Application: Screen Glass + Screen at Space	
5	GL-L3 Tempered Glass with IR pattern Application: Sun Screens	
6	METS-1 VIC Wood AB 200 BR Metallic Medium Grey Application: Extension Wall Panel	
7	WD-3 PineEX Application: Extension of Atrium Wood Walls	
9	WD Douglas Fir Clear finish Application: Four walls	
10	STD-1 Margaronite, Noir Application: Ground Cover	
11	GR-1 Screen Low profile Green Roof System Application: Structural Reinforced Roof	

East and West Elevation
Surrey City Hall

Material Finishes and Colour Board

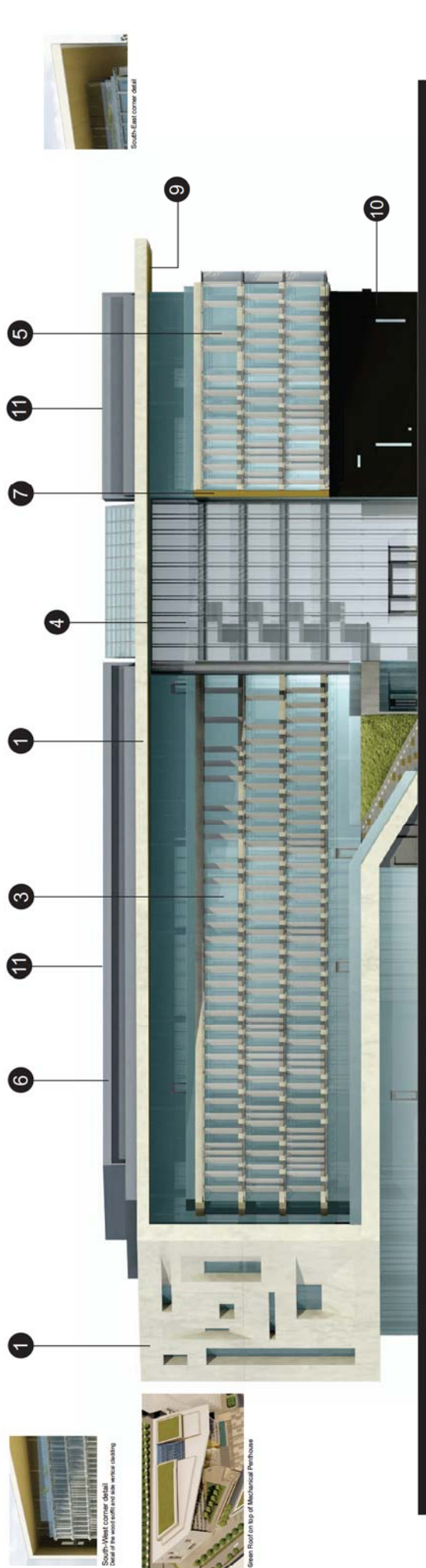
1	PC-1 Precast Concrete Ribs Application: Exterior Walls	
2	CEM BD Concrete Board Application: Exterior Wall	
3	DGL-2 20mm GDU Clear Glass Application: Facade Type	
4	DGL-4 30mm GDU High Transparency Low Iron Glass Application: Glass Curtain Wall + 15mm Low Iron Tempered Glass + 15mm air space Application: Glass Curtain Wall	
5	GL-L3 Tempered Acrylic with 1/2" perforation Application: Sun Shades	
7	WD-3 PineEX Application: Extension of Asian Wood Walls	
9	WD Wood - Douglas Fir Clear finish Application: Four walls	
10	STD-1 Granite-Margarine, Noir R101, R220, R300, 30 mm thickness Application: Ground Cover	



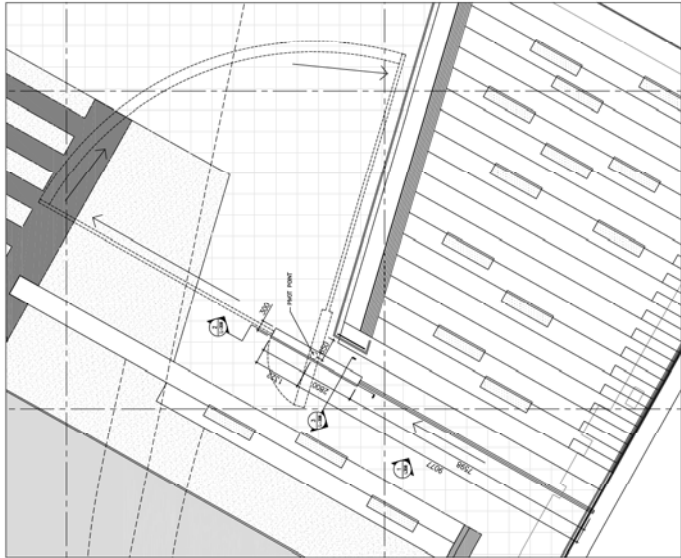
1	PC-1 Concrete Ribs Application: Exterior Walls	
3	DGL-2 20mm GDU Clear Glass Application: Facade Type	
4	DGL-1 20mm GDU High Transparency Low Iron Glass Application: Glass Curtain Wall + 15mm Low Iron Tempered Glass Application: Glass Curtain Wall	
5	GL-L3 Laminated Acrylic with 1/2" perforation Application: Sun Shades	
6	MET-S1 Metallic Medium Grey Application: Extension of Wall Panel	
7	WD-3 PineEX Application: Extension of Asian Wood Walls	
9	WD Douglas Fir Clear finish Application: Four walls	
10	STD-1 Granite-Margarine, Noir R101, R220, R300, 30 mm thickness Application: Ground Cover	
11	GR-1 Green Roof Low profile Green Roof System Application: Mechanical Penthouse Roof	

Material Finishes and Colour Board

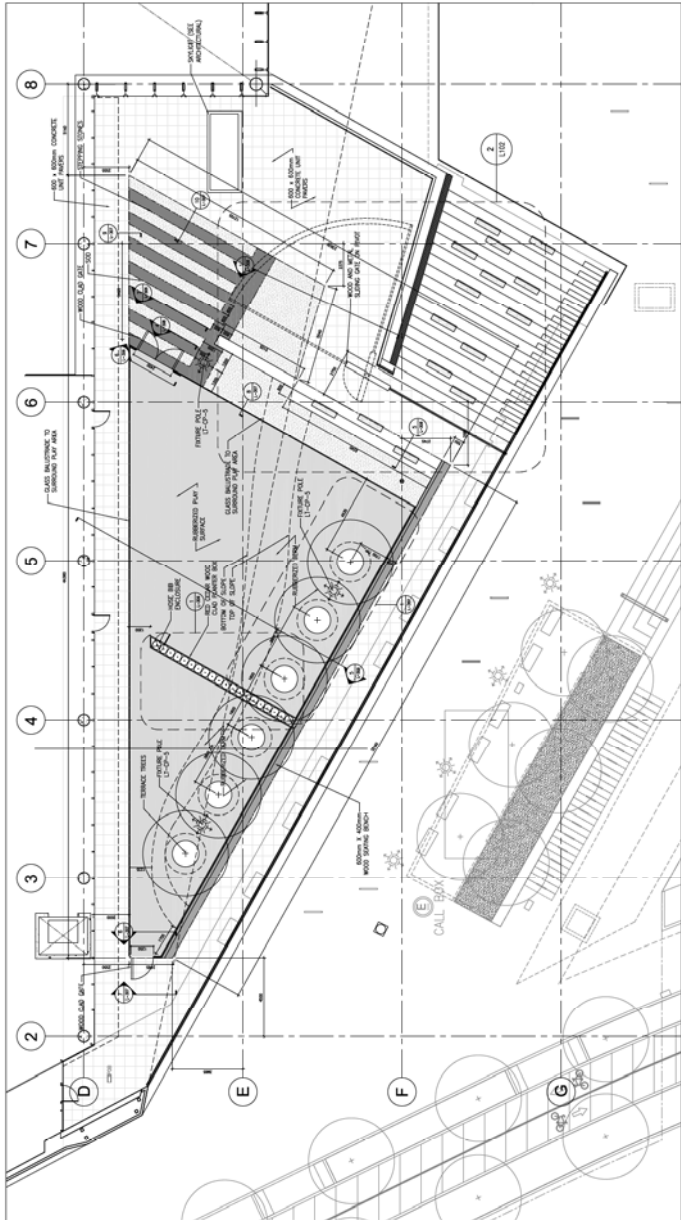
- 1** **PC-1** Precast Concrete
Ribs, Screen Panels
Application: Exterior Walls
- 2** **CEM BD** Cement Board
Application: Exterior Wall
- 3** **DGL-2** 20mm GDL
Clear Glass
Application: Facade Type
- 4** **DGL-4** 30mm GDL High Transparency
Low Iron Glass
Application: 12store or higher
Application: Atrium Canopy
- 5** **GL-L3** Tempered
Low Iron Glass
with 1% PVB
Application: Sun Screens
- 7** **WD-3** Progressive, ProEX,
Clear Finish
Application: Extension of Atrium Wood Walls
- 9** **WD** Wood - Douglas Fir,
Clear Finish
Application: Four walls
- 10** **STD-1** Granite-Margarine, Noir
Application: Ground Cover



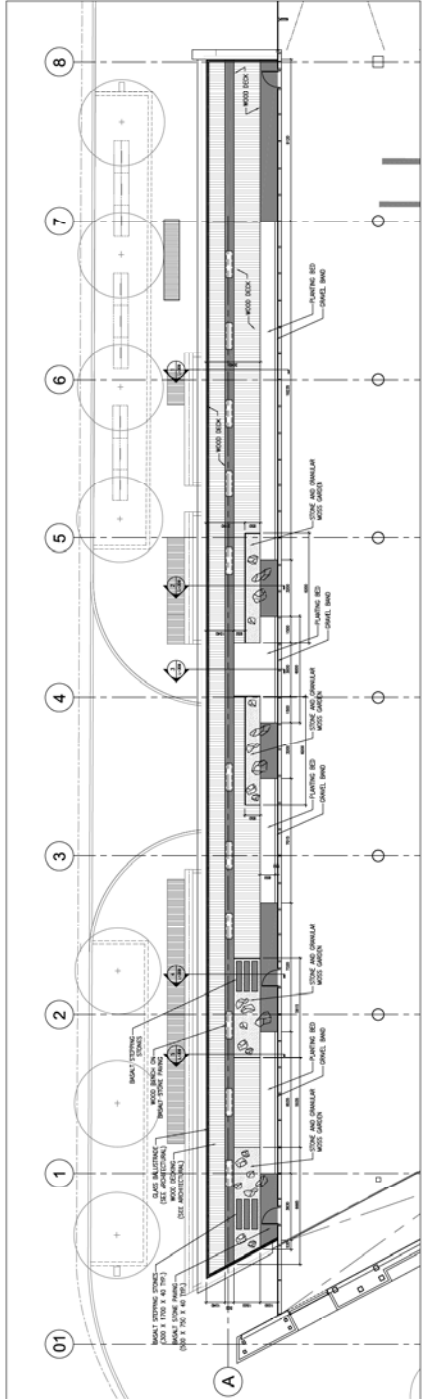
- 1** **PC-1** Concrete
Ribs, Screen Panels
Application: Exterior Walls
- 3** **DGL-2** 20mm GDL
Clear Glass
Application: Facade Type
- 4** **DGL-1** High Transparency
Low Iron Glass
Application: 12store or higher
Application: Atrium Canopy
- 5** **GL-L3** Tempered
Low Iron Glass
with 1% PVB
Application: Sun Screens
- 6** **METS-1** VC Steel AB 200 BR
Multiple Medium Grey
Application: Exterior Wall Panel
- 7** **WD-3** Progressive,
ProEX,
Clear Finish
Application: Extension of Atrium Wood Walls
- 9** **WD** Douglas Fir,
Clear Finish
Application: Four walls
- 10** **STD-1** Granite-Margarine, Noir
Application: Ground Cover
- 11** **GR-1** Screen Low profile
Green Roof System
Application: Mechanical Penthouse Roof



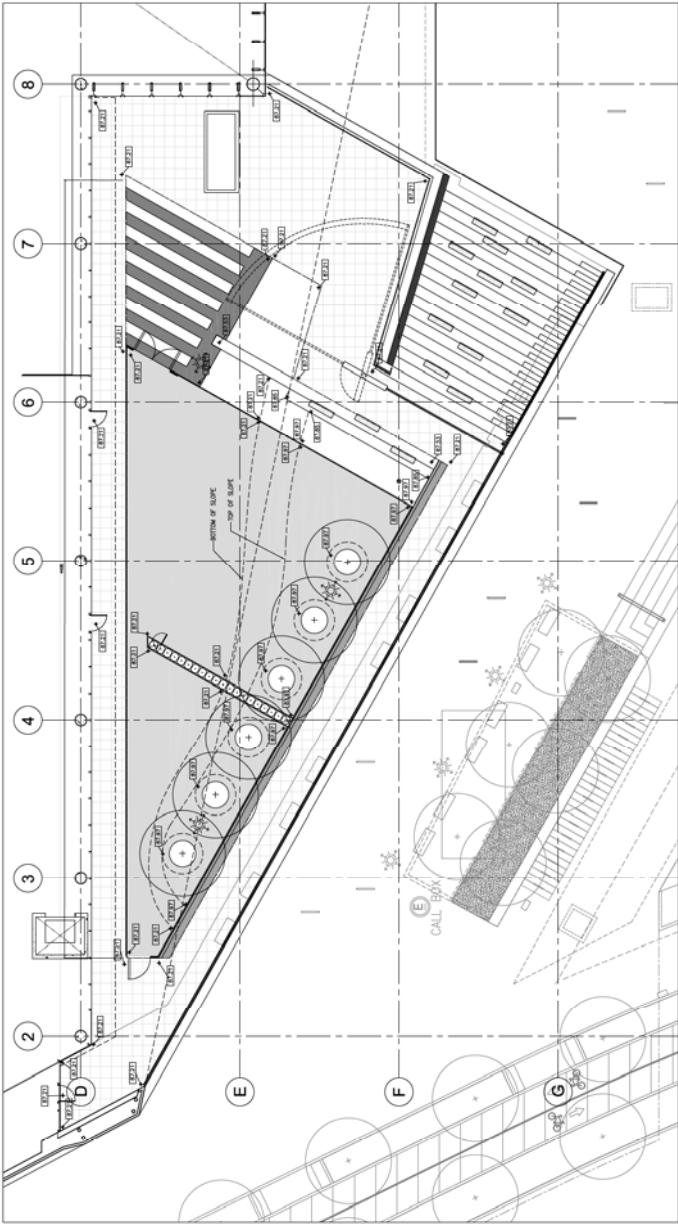
2 2nd FLOOR TERRACE - SLIDING ROTATING GATE DETAIL PLAN
1:20



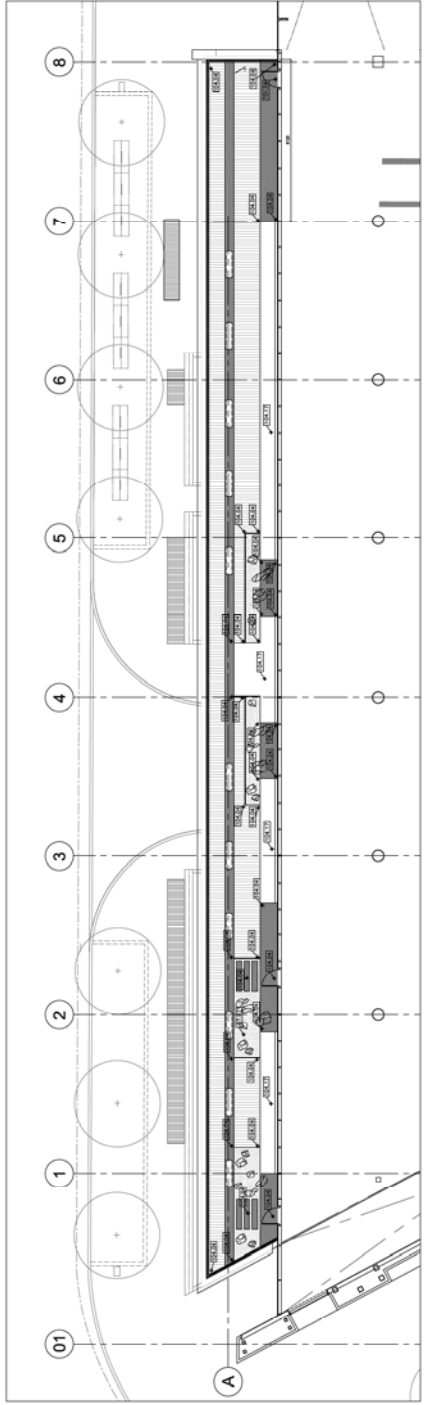
1 2nd FLOOR TERRACE - LAYOUT PLAN
1:100



3 6th FLOOR WEST TERRACE - LAYOUT PLAN
1:100



1 2nd FLOOR TERRACE - GRADING PLAN
 1:100



2 6th FLOOR WEST TERRACE - GRADING PLAN
 1:100

CITY OF SURREY
For Urban Form & Function

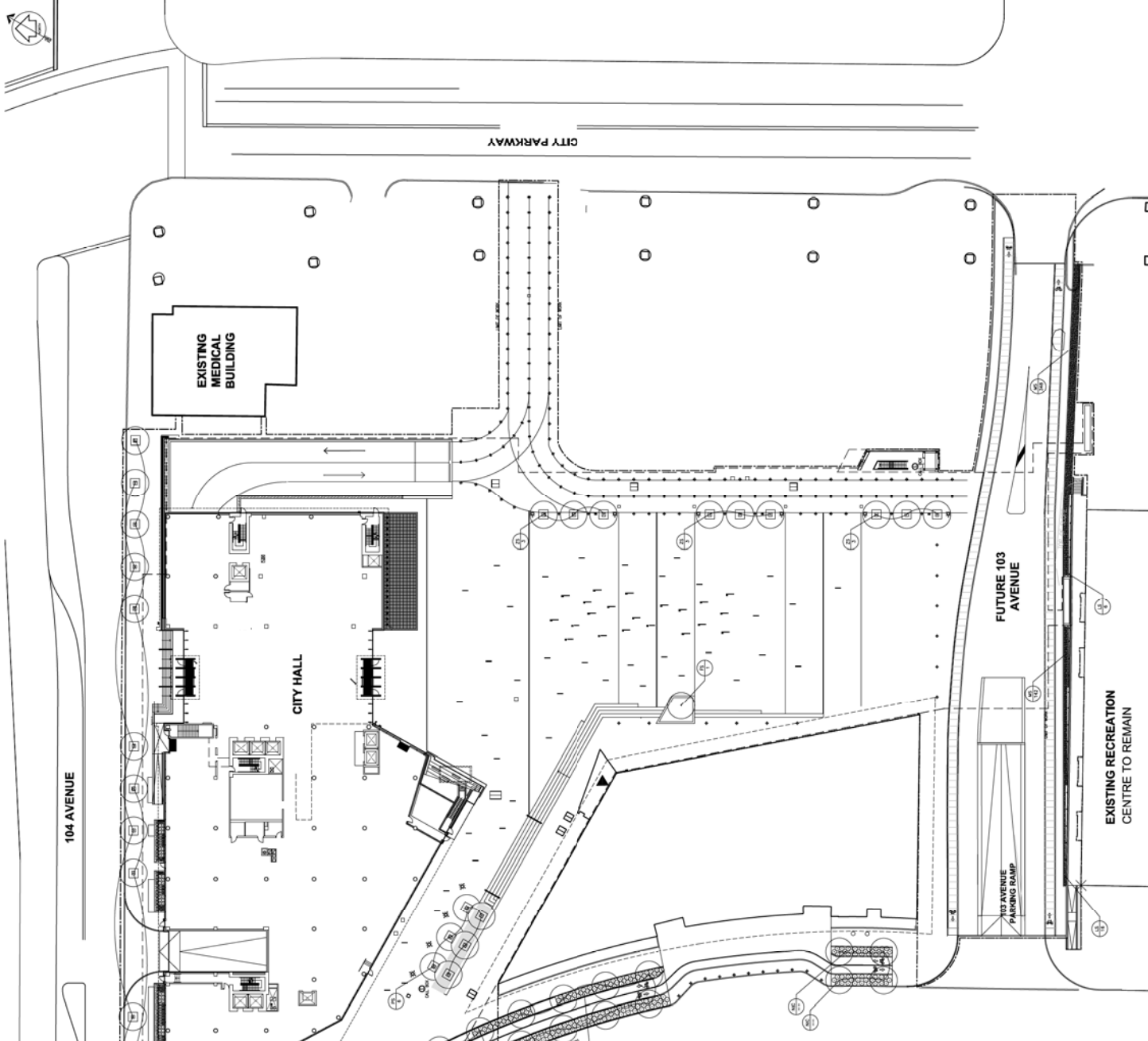
kasian
Moryjmas & Tesheina ARCHITECTS
PLANNERS

SURREY CMHC CENTRE
103 AVENUE
SURREY, B.C.

LANDSCAPE PLANTING PLAN

ISSUED FOR ENVELOPE AND FINISHES

PROJECT NO: 103-0001
DATE: JULY 26, 2011
SCALE: 1:250
DRAWING NO: L-105

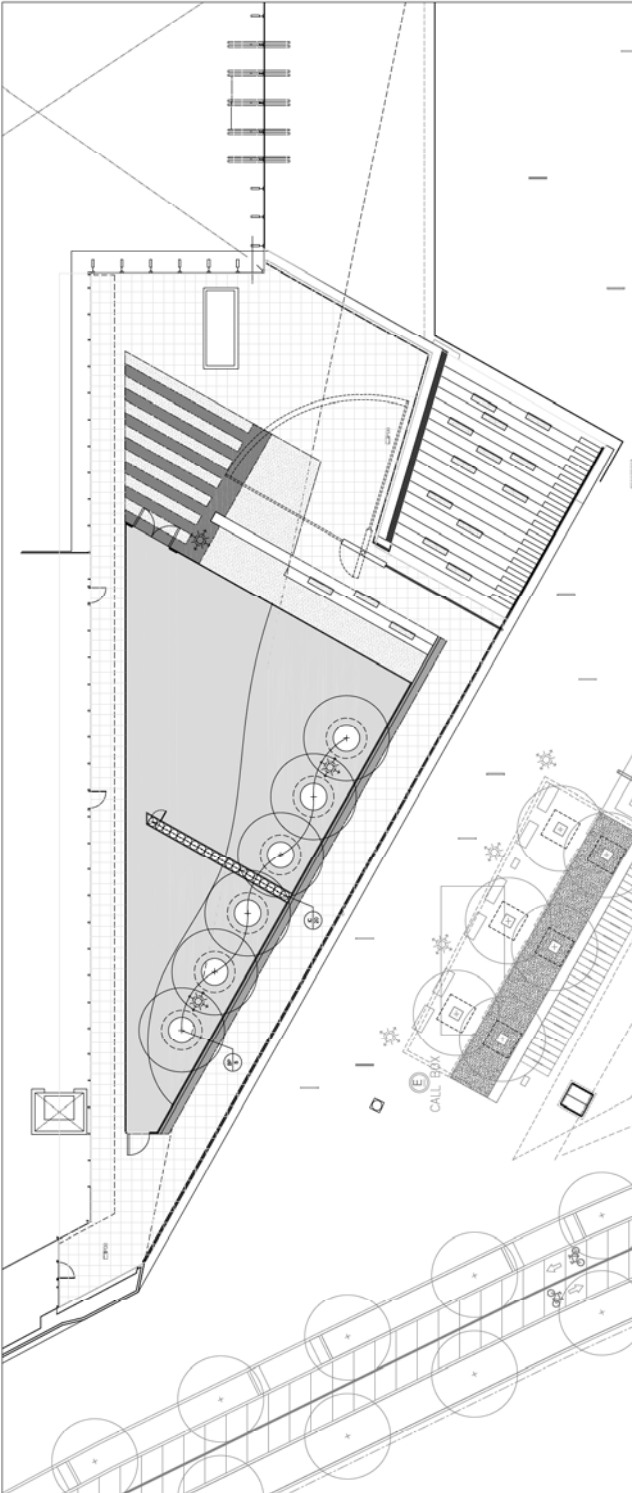


Key	Quan	Latin Name	Common Name	Cal	Height	Container	Comments
AT	24	Acer truncatum 'Pacifi'	Pacific Sunset Maple	150mm	-	WB	uniform and symmetrical specimen
FO	6	Fraxinus ornus 'Key Priests'	Manna Ash	150mm	-	WB	uniform and symmetrical specimen
FS	1	Fagus sylvatica	European Beech	200mm	-	WB	uniform and symmetrical specimen, large caliper grandisizer
PS	6	Prunus sibirica	Siberian Cherry	150mm	-	WB	uniform and symmetrical specimen
ZS	9	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	150mm	-	WB	uniform and symmetrical specimen
MS	218	Miscanthus sinensis 'Adagio'	Adagio Miscanthus	600mm O.C.	-	1 gal.	

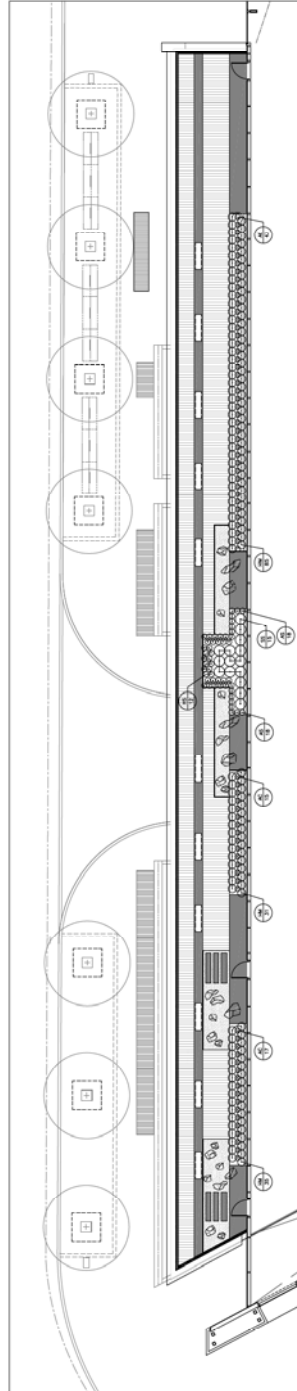
104th PLANTER PLANT SCHEDULE							
Key	Quan	Latin Name	Common Name	Spacing	Height	Container	Comments
AC	40	Malva coccinea 'Vivanda'	Chinensis Malva	450mm O.C.	-	1 gal.	
AS	72	Athyrium 'Wildwood Walk'	Hydril Palmleaf Fern	300mm O.C.	-	1 gal.	
HS	58	Heuchera Chocolate Veil'	Fancy Leaf Coral Bell	300mm O.C.	-	1 gal.	
SS	48	Spodopogon sibiricus	Siberian Grey-joint	600mm O.C.	-	1 gal.	
TM	120	Tussock media 'Hickel'	Hicks Yew	300mm O.C.	-	1 gal.	

103 AVE PLANTER PLANT SCHEDULE							
Key	Quan	Latin Name	Common Name	Spacing	Height	Container	Comments
LN	36	Lonicera japonica 'Bogdanov'	Golden Bell Honeysuckle	800mm O.C.	-	1 gal.	
MS	125	Miscanthus sinensis 'Adagio'	Adagio Miscanthus	600mm O.C.	-	1 gal.	
SB	54	Sedum x burbankii 'Goldflame'	Goldflame Spine	600mm O.C.	-	1 gal.	

103 AVE PLANTER PLANT SCHEDULE							
Key	Quan	Latin Name	Common Name	Spacing	Height	Container	Comments
LS	22	Lonicera japonica 'Superba'	Superba Honeysuckle	300mm O.C.	-	1 gal.	
MS	490	Miscanthus sinensis 'Adagio'	Adagio Miscanthus	600mm O.C.	-	1 gal.	



1 2nd FLOOR TERRACE - LAYOUT PLAN
1:100



2 6th FLOOR WEST TERRACE - PLANTING PLAN
1:100

2nd FLOOR TERRACE PLANT SCHEDULE							
Key	Quan	Latin Name	Common Name	Call	Height	Container	Comments
BP	6	<i>Betula papyrifera</i>	Paper Birch	70mm	-	WB	Three Stem Clump
IC	20	<i>Impatiens ciliolata</i> 'Red Baron'	Japanese Blood Grass	450mm O.C.	-	1 gal.	
6th FLOOR TERRACE PLANT SCHEDULE							
Key	Quan	Latin Name	Common Name	Spacing	Height	Container	Comments
AC	76	<i>Asiatica chinensis</i> 'Veronica Kloss'	Chinese Astilbe	450mm O.C.	-	1 gal.	
AS	36	<i>Athyrium 'Wildwood Twist'</i>	Hybrid Painted Fern	300mm O.C.	-	1 gal.	
HMI	151	<i>Hakonechloa macra</i> 'Aureola'	Japanese Forest Grass	450mm O.C.	-	1 gal.	
HS	12	<i>Heuchera 'Chocolate Veil'</i>	Fancy-leaf Coral Bells	300mm O.C.	-	1 gal.	
SS	15	<i>Sporobolus aioloides</i>	Siberian Grassbeard	600mm O.C.	-	1 gal.	

CITY OF SURREY
For Urban Form & Function

Kasian
Moryama & Teishima
ARCHITECTS
PLANNERS

SURREY CMC CENTRE
1000 SURREY ST. S.
SURREY, B.C.

DATE: 10-04-2011 10:00 AM
DRAWN: [Name]
CHECKED: [Name]

PROJECT: [Name]
ISSUED FOR ENVELOPE AND FINISHES

DATE: 10-04-2011
SCALE: 1:100
SHEET NO: L-106

REVISIONS:

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- DATE: 14/07/2011 BY: [Signature] DESCRIPTION: [Text]
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- DATE: 14/07/2011 BY: [Signature] DESCRIPTION: [Text]

LANDSCAPE SYMBOLS

PLANTING:
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 SHRUB: [Symbol]
 PERENNIAL: [Symbol]
 ANNUAL: [Symbol]
 GRASS: [Symbol]
 SAND: [Symbol]
 GRAVEL: [Symbol]
 ASPHALT: [Symbol]
 CONCRETE: [Symbol]
 DRIVE: [Symbol]
 PATH: [Symbol]
 FENCE: [Symbol]
 WALL: [Symbol]
 GATE: [Symbol]
 LIGHT FIXTURE: [Symbol]
 UTILITY: [Symbol]

LIMIT TYPE SYMBOLS

LIMIT OF WORK AREA: [Symbol]
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 LIMIT OF TYPING: [Symbol]

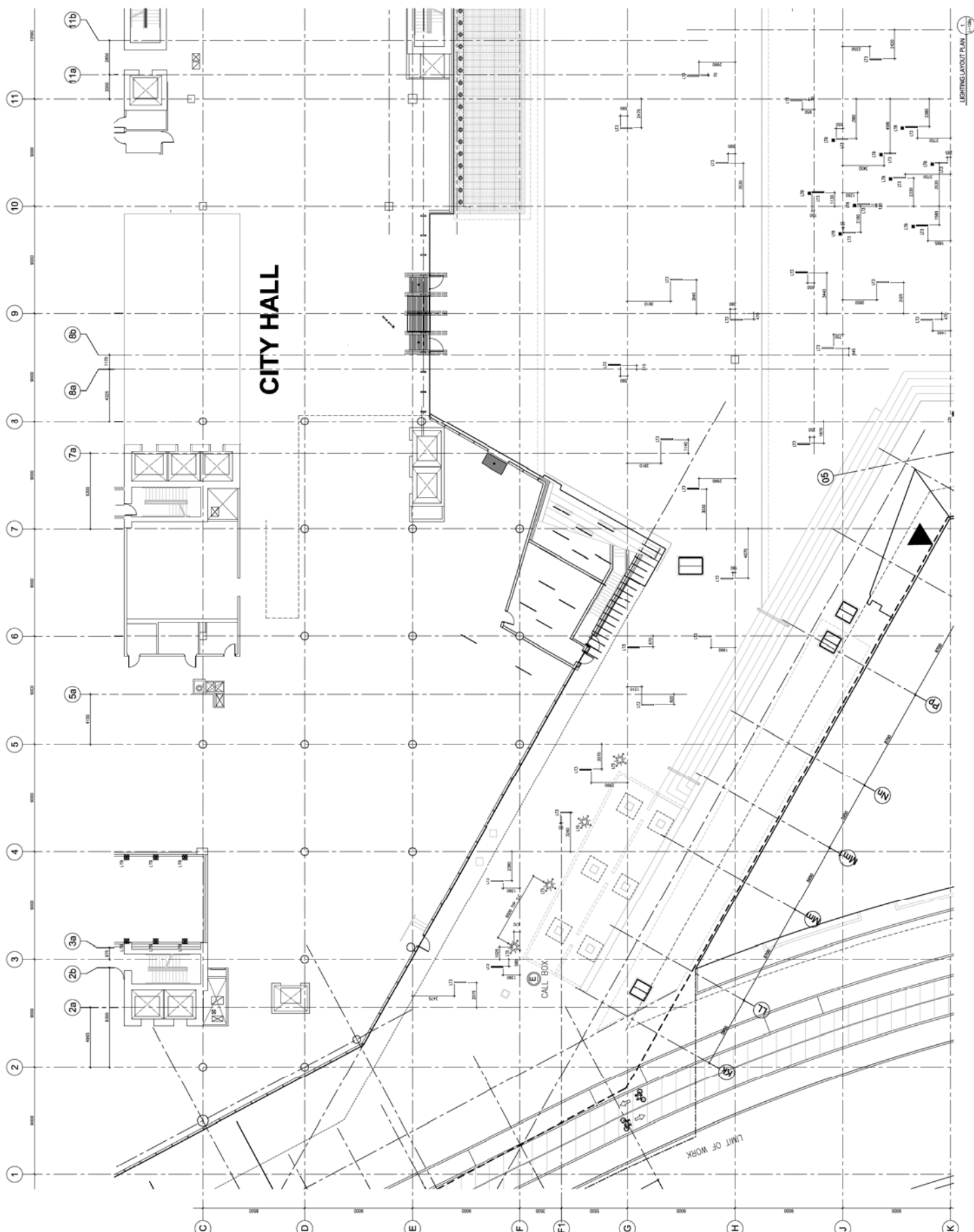
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11	ISSUED FOR ENVELOPE AND FINISHES	JULY 26, 2011	[Signature]	[Text]

Morjama & Tebbina
PLANNERS

SURREY CMHC CENTRE
SURREY, B.C.

LIGHTING LAYOUT PLAN

DATE: 14/07/2011
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO.: [Text]



PROJECT: SURREY CIVIC CENTRE
DATE: 2011-07-26
DRAWING NO: L-108C
SCALE: 1:100

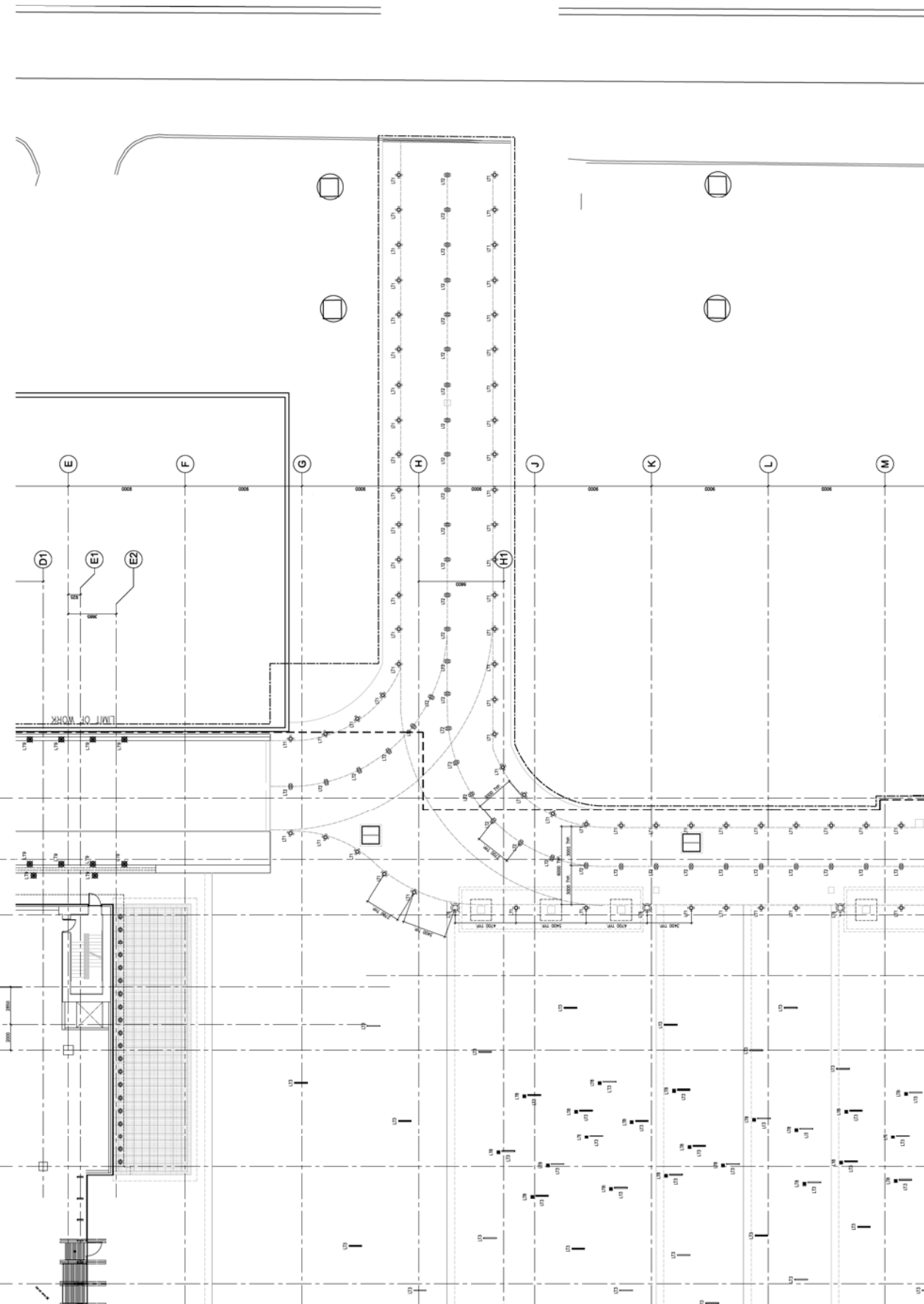
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DATE: 2011-07-26
DRAWING NO: L-108C
SCALE: 1:100

PROJECT: SURREY CIVIC CENTRE
DATE: 2011-07-26
DRAWING NO: L-108C
SCALE: 1:100

PROJECT: SURREY CIVIC CENTRE
DATE: 2011-07-26
DRAWING NO: L-108C
SCALE: 1:100

PROJECT: SURREY CIVIC CENTRE
DATE: 2011-07-26
DRAWING NO: L-108C
SCALE: 1:100

PROJECT: SURREY CIVIC CENTRE
DATE: 2011-07-26
DRAWING NO: L-108C
SCALE: 1:100



NOTES:

1. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
2. ALL FINISHES ARE UNLESS OTHERWISE NOTED.
3. ALL MATERIALS ARE UNLESS OTHERWISE NOTED.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE SURREY STANDARD SPECIFICATIONS FOR CONSTRUCTION.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE SURREY STANDARD SPECIFICATIONS FOR CONSTRUCTION.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE SURREY STANDARD SPECIFICATIONS FOR CONSTRUCTION.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE SURREY STANDARD SPECIFICATIONS FOR CONSTRUCTION.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE SURREY STANDARD SPECIFICATIONS FOR CONSTRUCTION.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE SURREY STANDARD SPECIFICATIONS FOR CONSTRUCTION.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE SURREY STANDARD SPECIFICATIONS FOR CONSTRUCTION.

NO.	DATE	DESCRIPTION	BY	CHECKED

PROJECT: SURREY OMC CENTRE
10000 SURREY STREET, SURREY, B.C.

DATE: 2011-07-26

SCALE: AS NOTED

ISSUED FOR: PERMITS

DESIGNED BY: [Name]

CHECKED BY: [Name]

DATE: [Date]

PLAZA SECTIONS

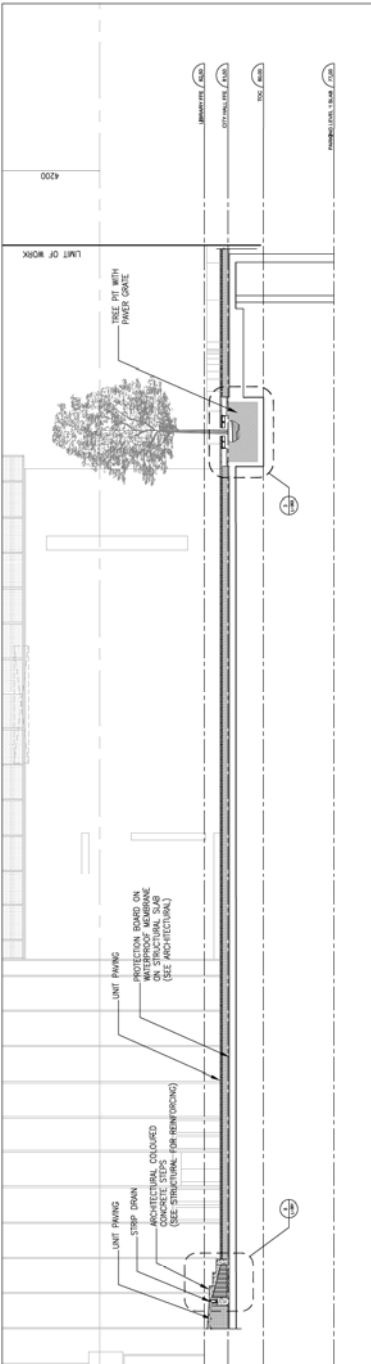
ISSUED FOR ENVELOPE AND FINISHES

PROJECT NO: 7910-0160-00

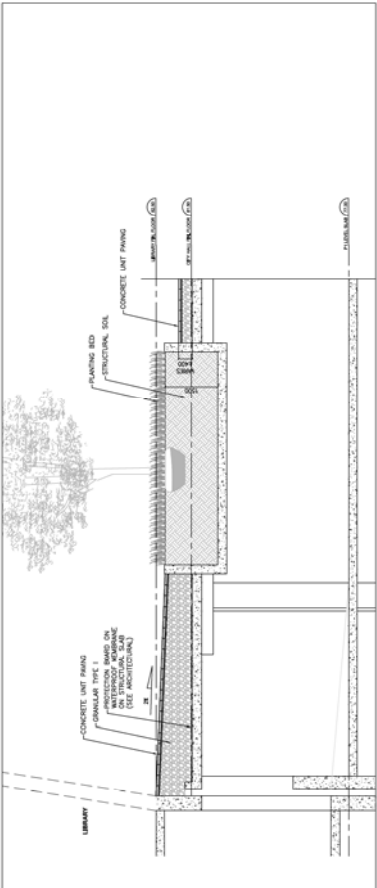
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SCALE: AS NOTED

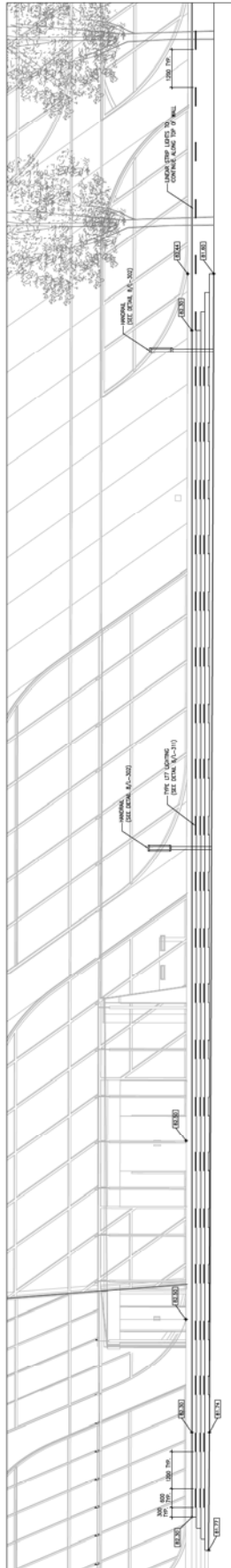
SHEET NO: L-201



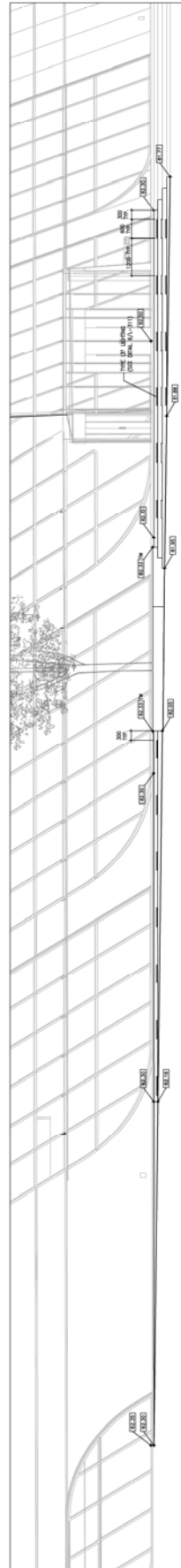
1 PLAZA AT GRIDLINE 'K' - SECTION
1:75



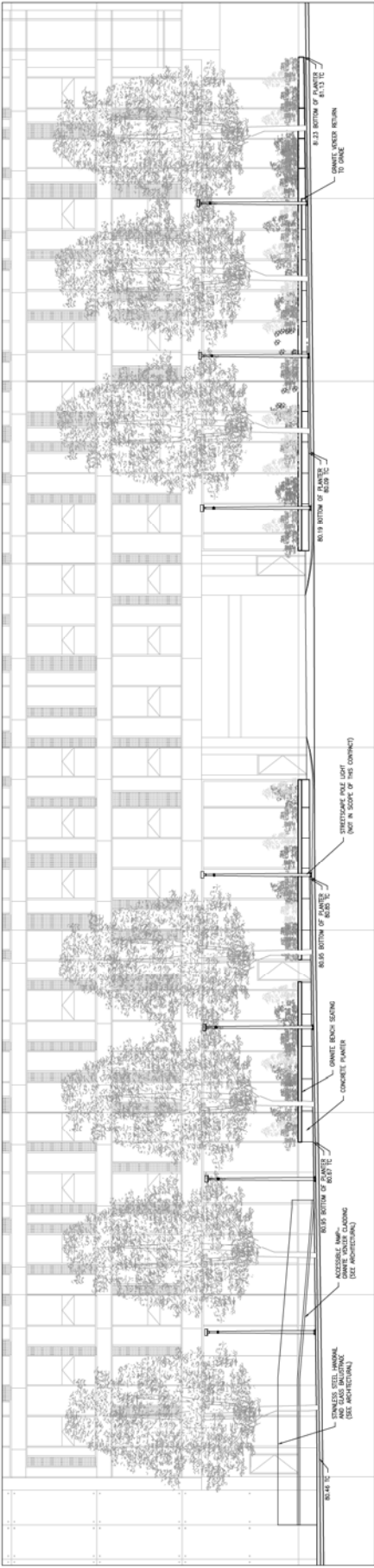
2 RAISED PLANTER - SECTION
1:50



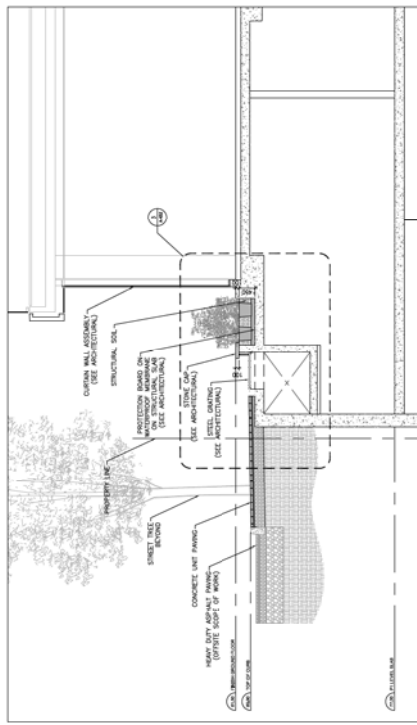
3 LIBRARY STAIRS -- ELEVATION LOOKING SOUTH
1:50



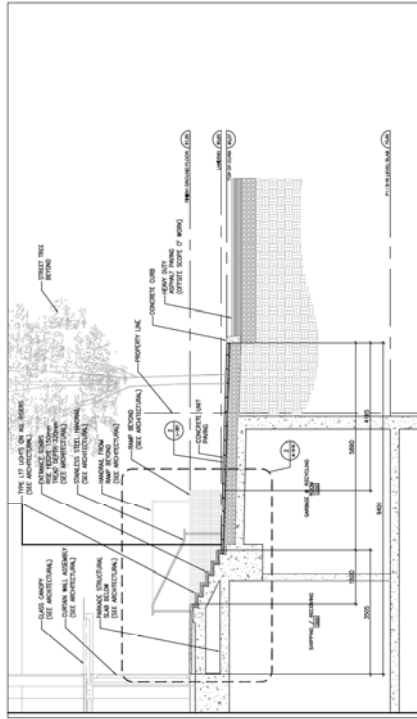
4 LIBRARY STAIRS - ELEVATION LOOKING WEST
1:50



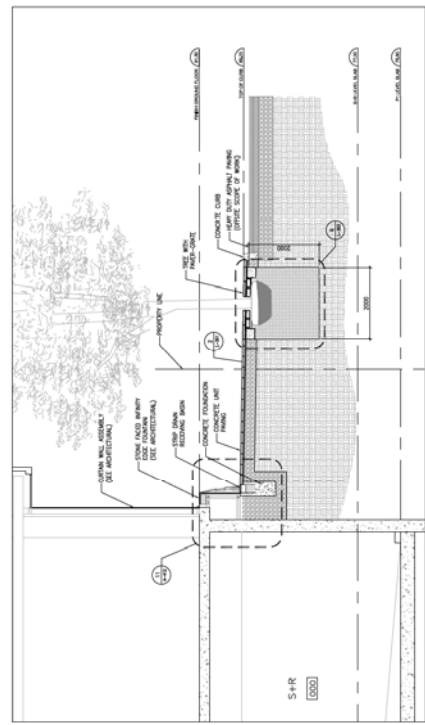
1 104 AVENUE RAMP AND PLANTER - ELEVATION
 1:75



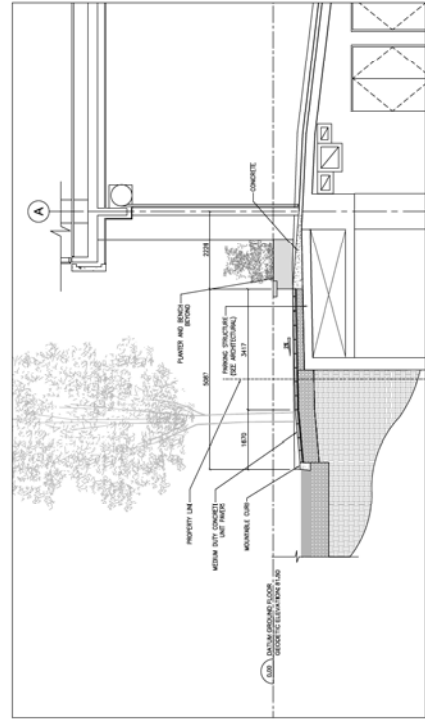
2 104 AVENUE STREETScape AT PLANTER - SECTION
 1:50



3 104 AVENUE STREETScape AT STAIRS - SECTION
 1:50



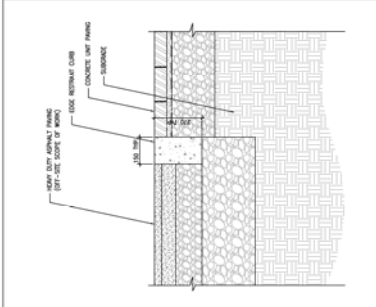
4 104 AVENUE STREETScape AT WATERFEATURE - SECTION
 1:50



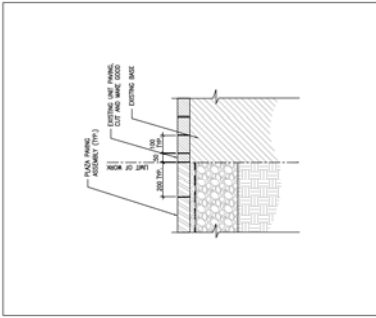
5 104 AVENUE STREETScape AT GARAGE ENTRANCE RAMP - SECTION
 1:50

1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
 4. ALL DIMENSIONS ARE TO SURFACE UNLESS OTHERWISE SPECIFIED.
 5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
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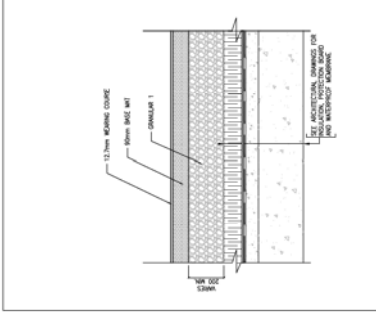
1 UNIT PAVING ON SLAB
 1:10



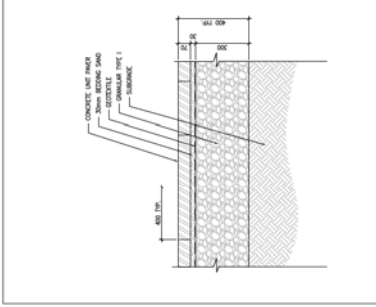
5 EDGE RESTRAIN CURB
 1:10



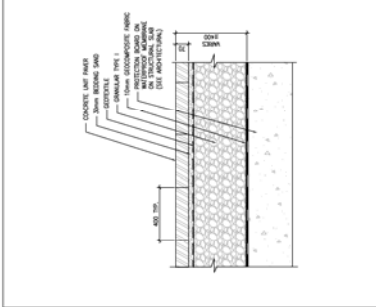
4 UNIT PAVING @ L.O.W.
 1:10



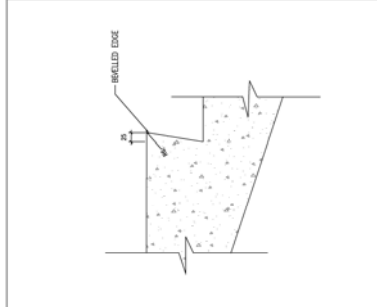
3 RUBBERIZED PLAY SURFACE
 1:10



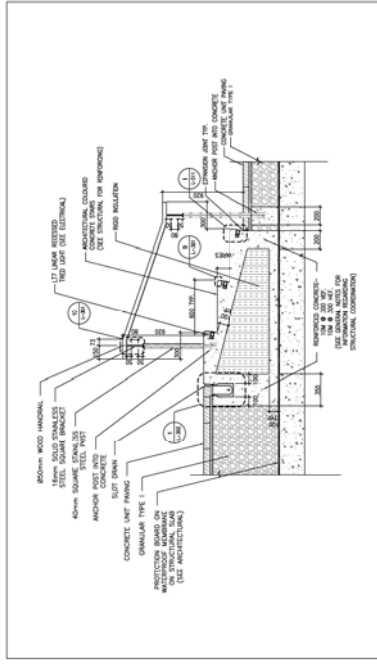
2 UNIT PAVING ON SUBGRADE
 1:10



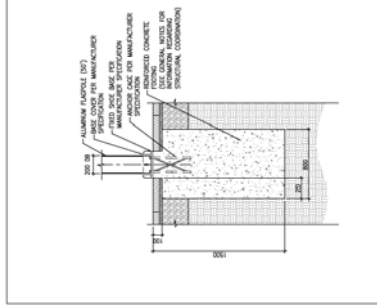
6 GRAVEL BAND @ L.O.W.
 1:10



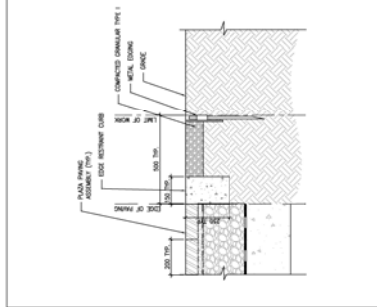
9 STAIR NOSING DETAIL
 1:5



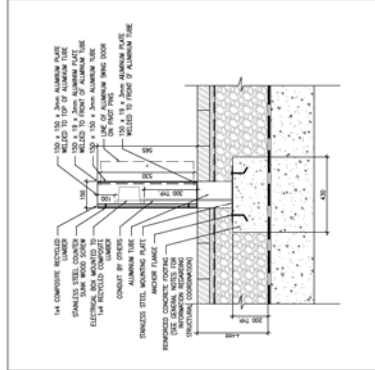
8 CONCRETE STAIRS - DETAIL
 1:20



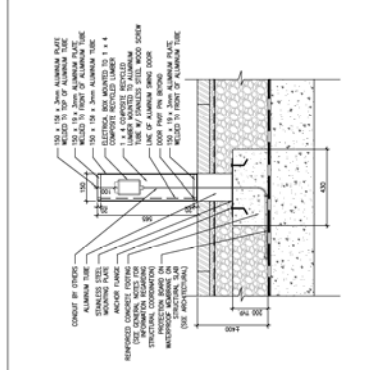
7 FLAG POLE BASE DETAIL
 1:20



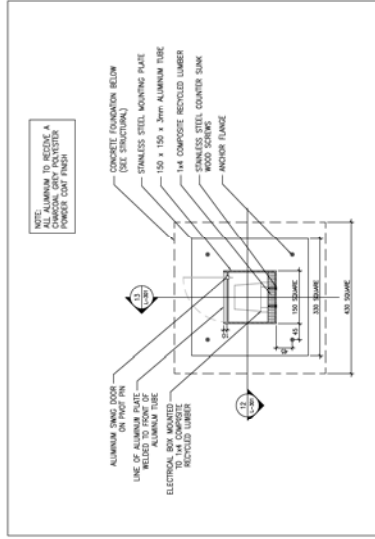
10 HANDRAIL DETAIL
 1:5



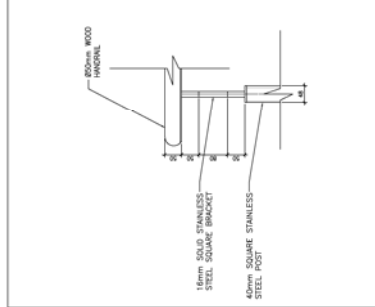
13 PLAZA ELECTRICAL PILLAR - SECTION
 1:10



12 PLAZA ELECTRICAL PILLAR - ELEVATION
 1:10

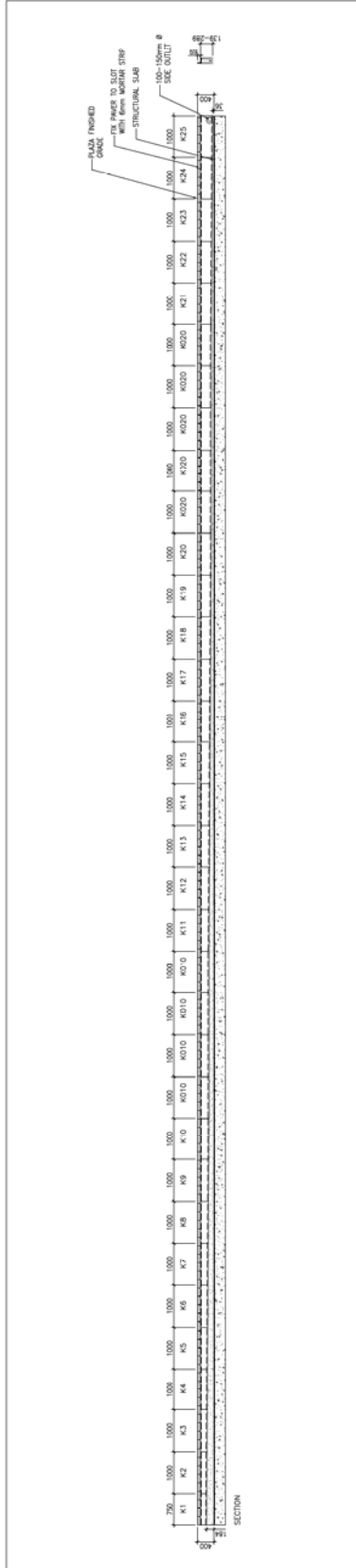
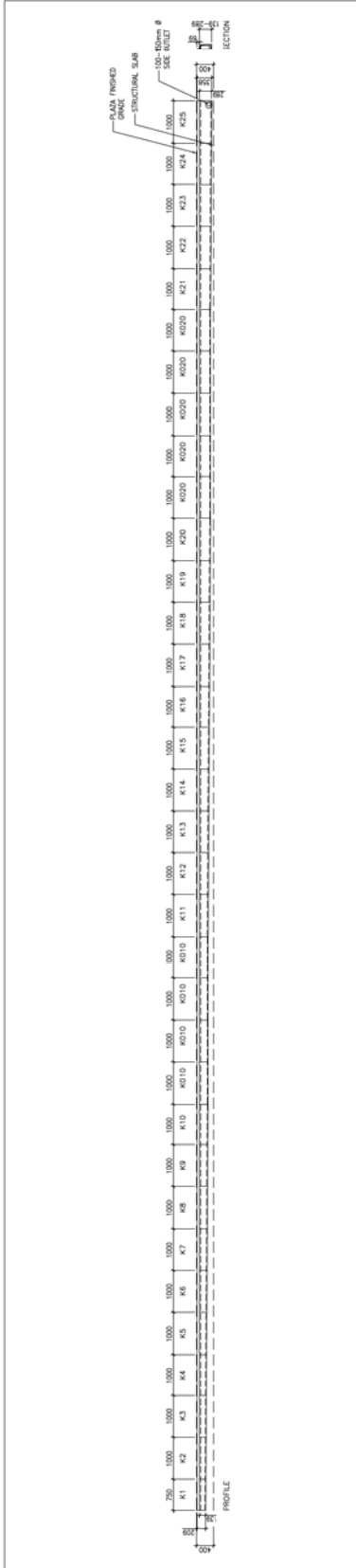
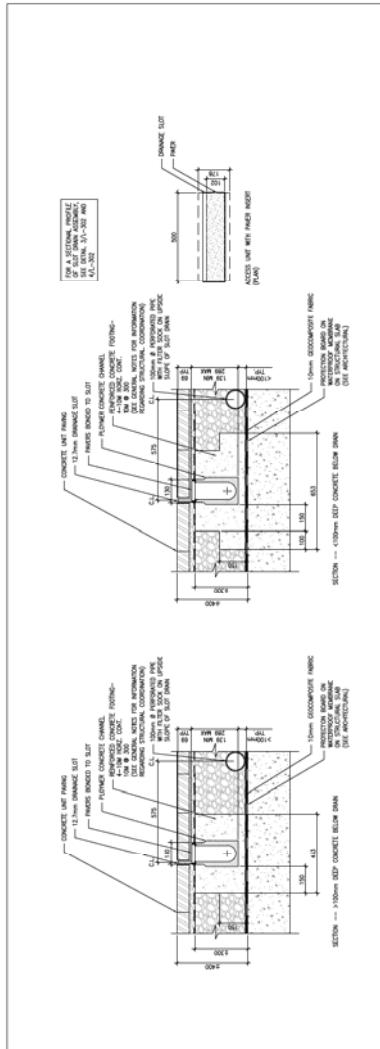
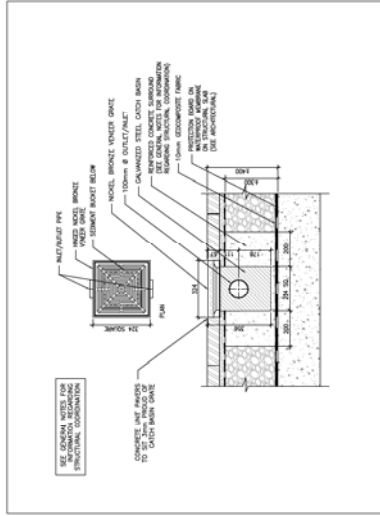


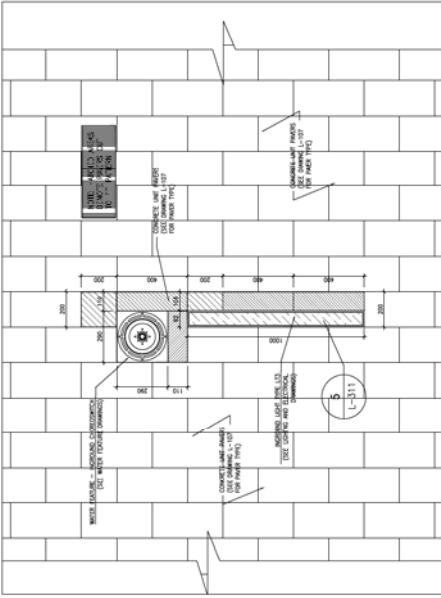
11 PLAZA ELECTRICAL PILLAR - PLAN
 1:5



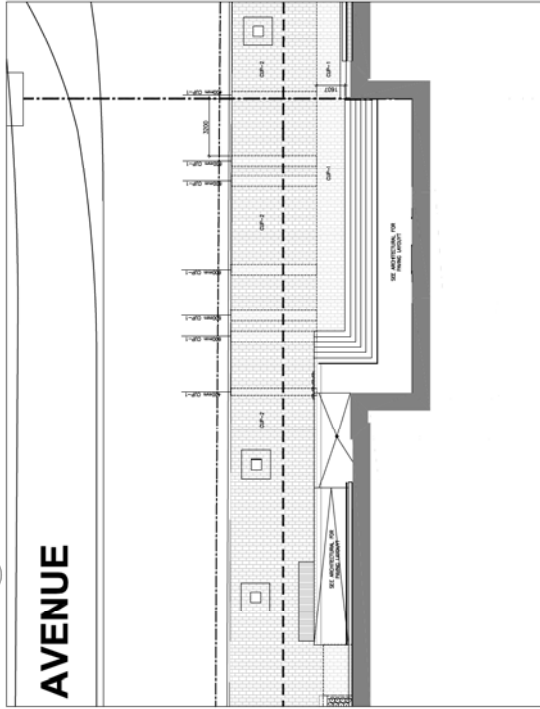
10 HANDRAIL DETAIL
 1:5

- REVISIONS**
1. APPROVED FOR PERMITS
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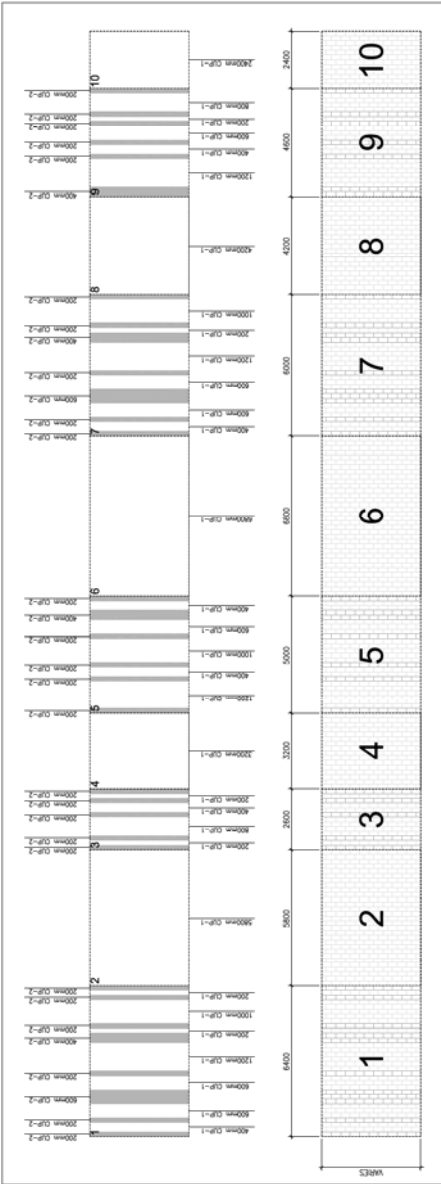




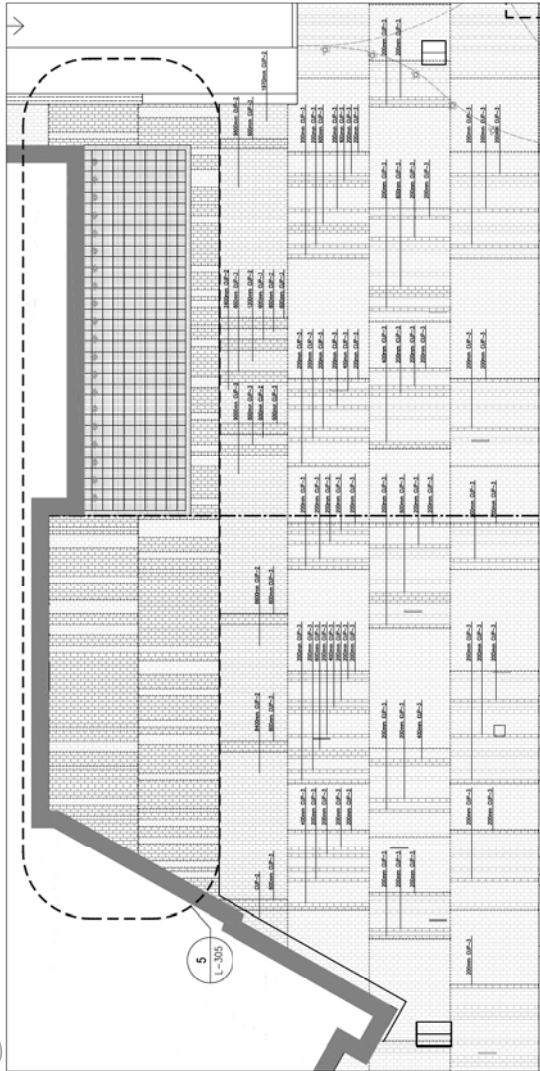
2 PAVING PATTERN - LIGHTING AND WATER FEATURE LAYOUT PLAN
 1:10



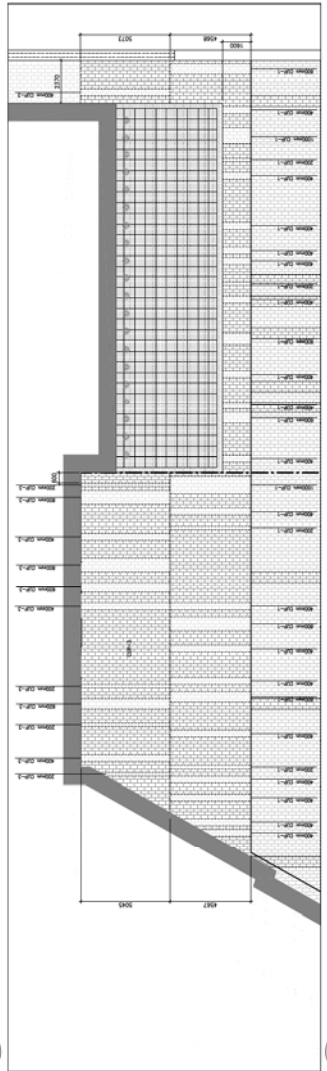
4 PAVING PATTERN TRANSITION AT CITY ROOM (NORTH ENTRY) -- PLAN
 1:100



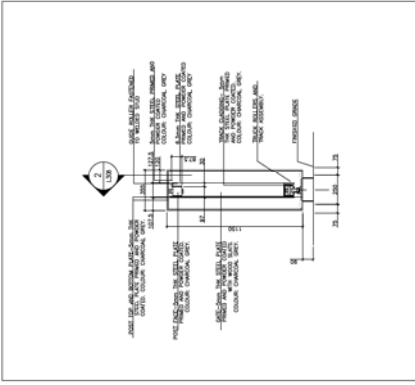
1 PAVING PATTERN LAYOUT -- PLAN
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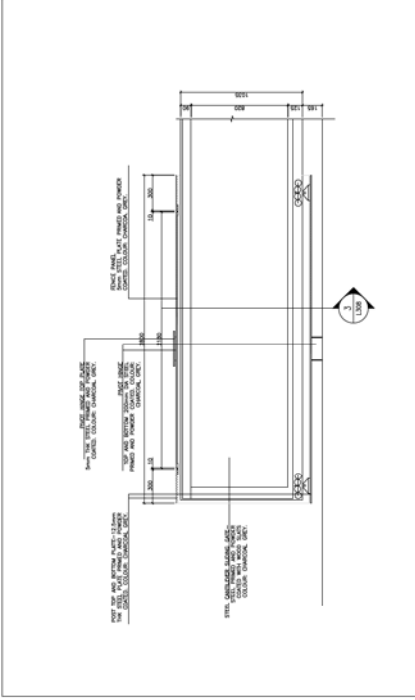
3 PAVING PATTERN TRANSITION AT CITY ROOM (SOUTH ENTRY) -- PLAN
 1:100



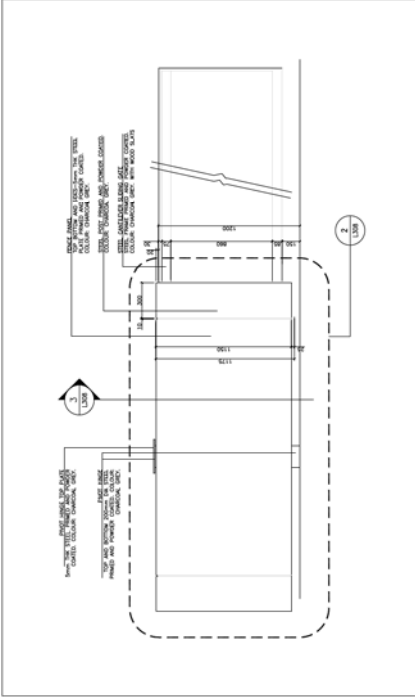
5 PAVING PATTERN TRANSITION AT CITY ROOM (SOUTH ENTRY) -- PLAN
 1:100



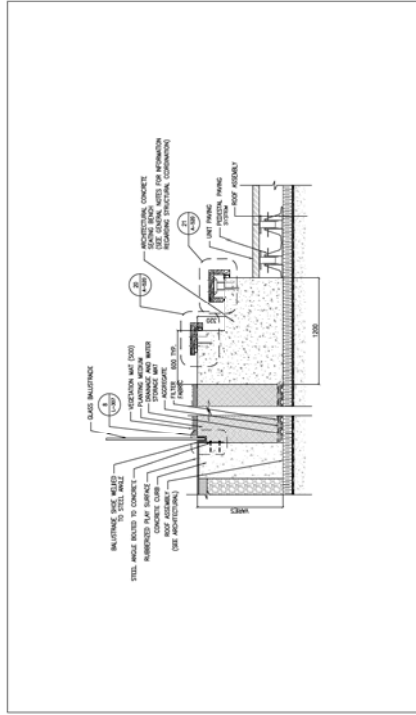
1 TERRACE SLIDING PIVOTING GATE - SECTION
1:15



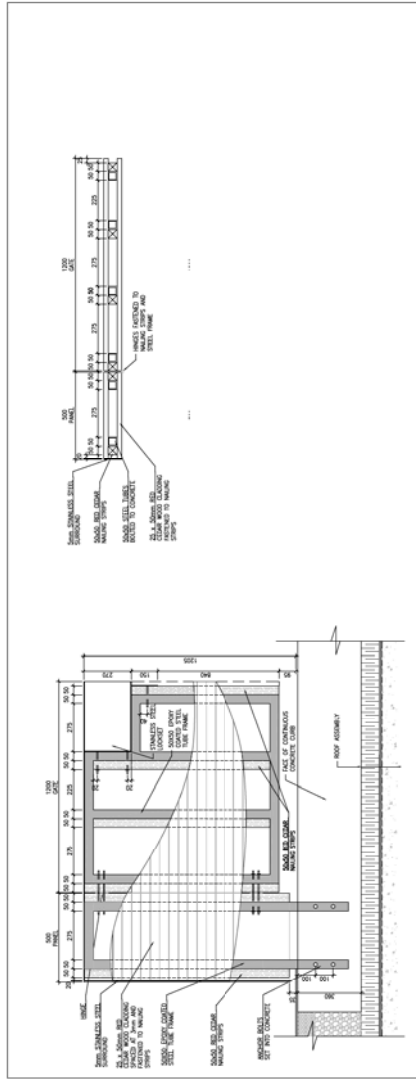
2 TERRACE SLIDING PIVOTING GATE - SECTION
1:15



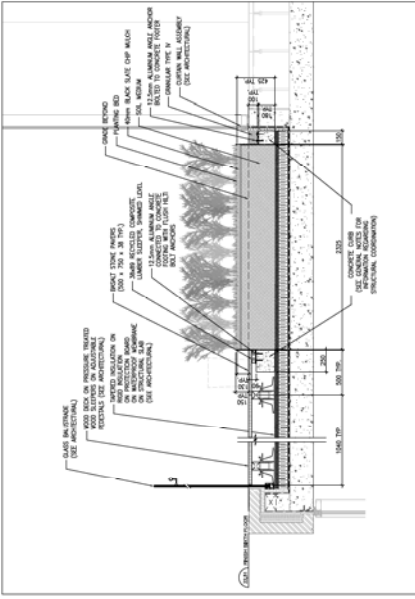
3 TERRACE SLIDING PIVOTING GATE - ELEVATION
1:15



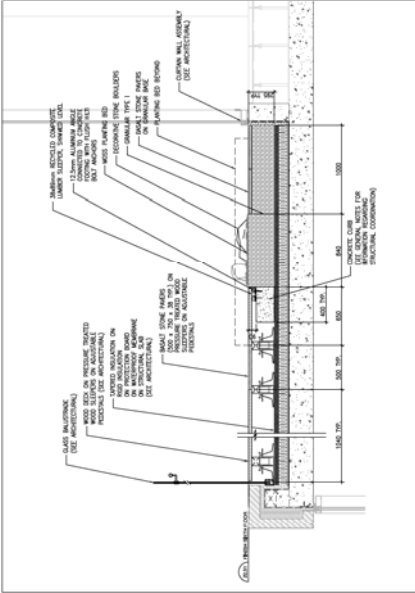
4 TERRACE SEATING BENCH
1:20



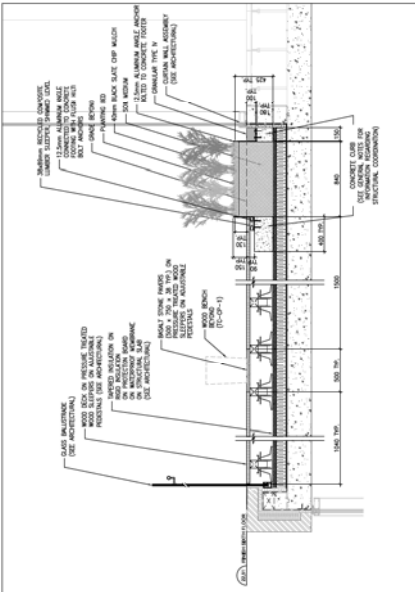
5 GATE FRAMING CUTAWAY ELEVATION AND HORIZONTAL SECTION
1:10



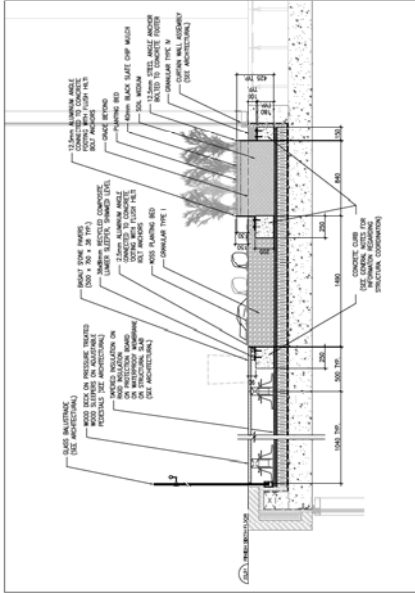
1 SIXTH FLOOR TERRACE - SECTION AT PLANTING BED
1/20



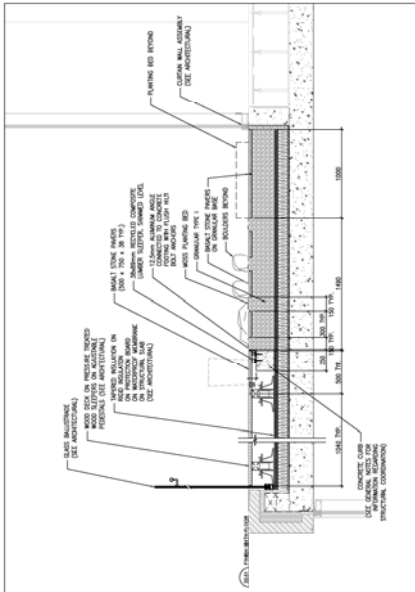
2 SIXTH FLOOR TERRACE - SECTION AT STONE AND MOSS GARDEN
1/20



3 SIXTH FLOOR TERRACE - SECTION AT STEPPING STONES
1/20



4 SIXTH FLOOR TERRACE - SECTION AT MOSS GARDEN AND PLANTING BED
1/20



5 SIXTH FLOOR TERRACE - SECTION AT STEPPING STONES
1/20

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2011.07.26
2	ISSUED FOR PERMIT	2011.07.26
3	ISSUED FOR PERMIT	2011.07.26
4	ISSUED FOR PERMIT	2011.07.26
5	ISSUED FOR PERMIT	2011.07.26
6	ISSUED FOR PERMIT	2011.07.26
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9	ISSUED FOR PERMIT	2011.07.26
10	ISSUED FOR PERMIT	2011.07.26

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Moryama & Teohina
PLANNERS

SURREY CMHC CENTRE
1100-1105 SUTHERLAND STREET
SURREY, B.C.

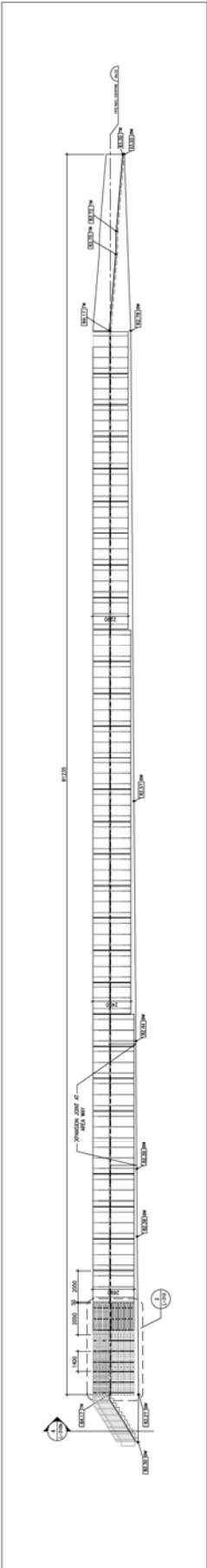
LANDSCAPE DETAILS

ISSUED FOR PERMIT

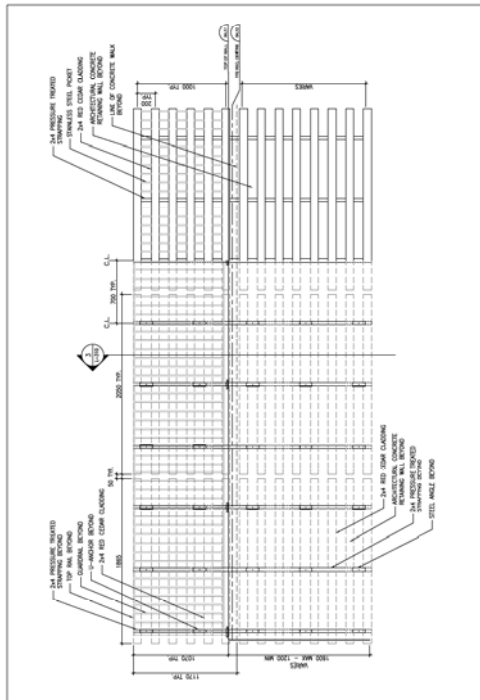
DATE: JULY 26, 2011

SCALE: AS NOTED

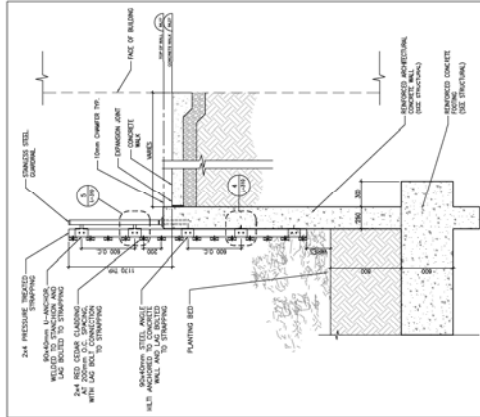
PROJECT NO: L-310a



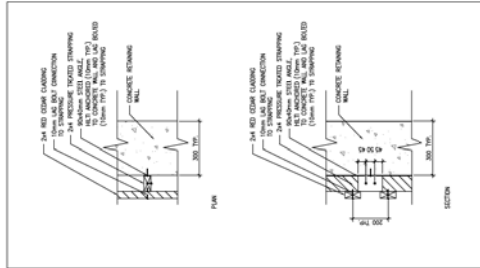
1 RECREATION CENTRE RETAINING WALL -- ELEVATION
1:100



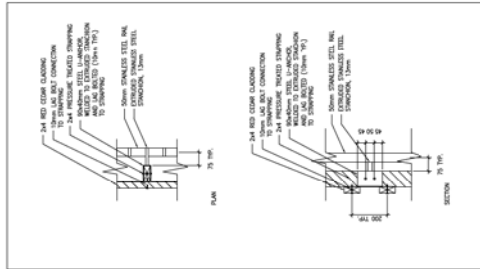
2 RETAINING WALL CLADDING -- ELEVATION
1:20



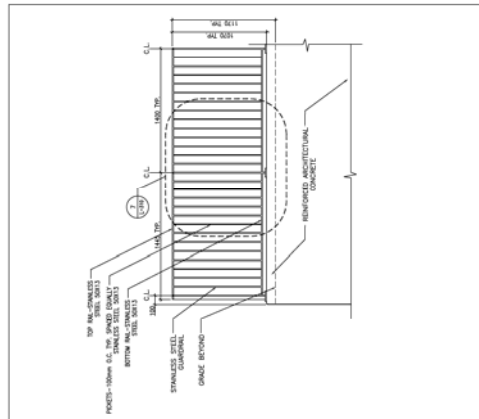
3 RETAINING WALL CLADDING -- SECTION
1:20



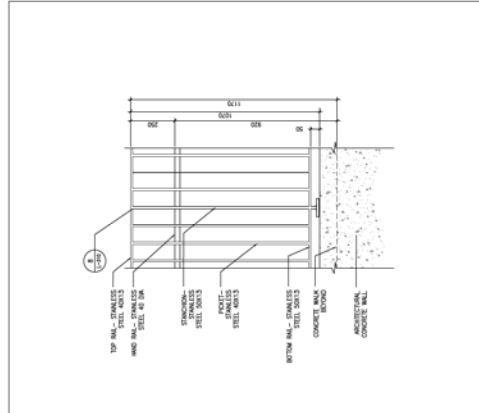
4 STEEL ANGLE CONNECTION
1:10



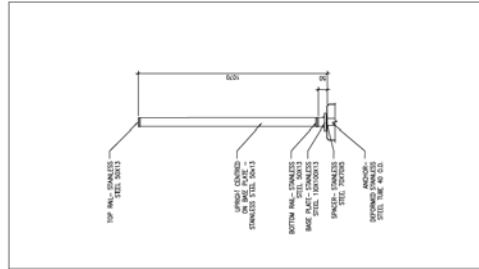
5 U-ANCHOR CONNECTION
1:10



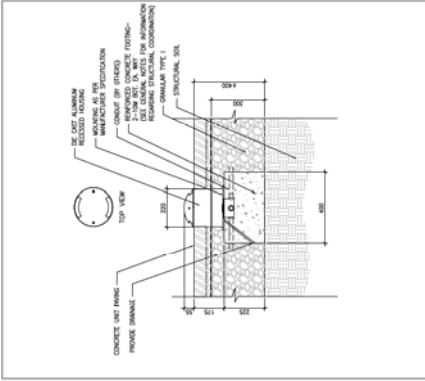
6 GUARDRAIL -- ELEVATION
1:20



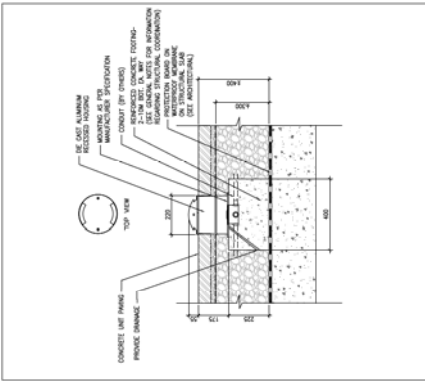
7 GUARDRAIL WITH HANDRAIL -- ELEVATION
1:10



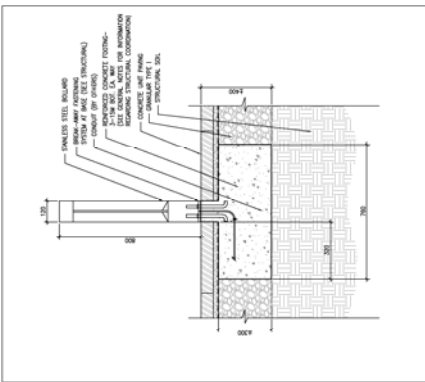
7 GUARDRAIL CONNECTION
1:10



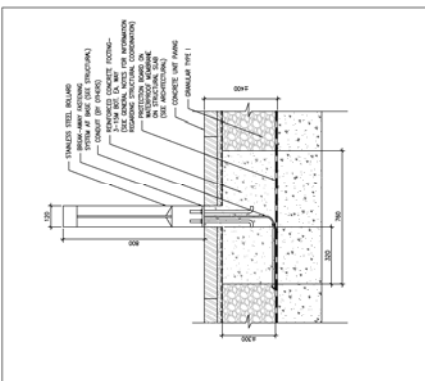
1 LT-1 BOLLARD ON SLAB
1:10



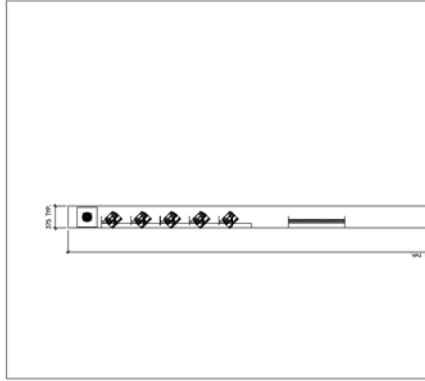
2 LT-1 BOLLARD IN UNIT PAVING
1:10



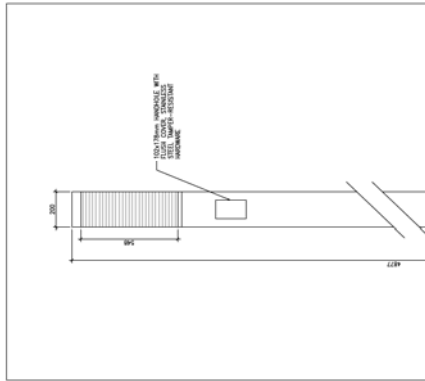
3 LT-2 IN-GROUND DRIVE OVER ON SLAB
1:10



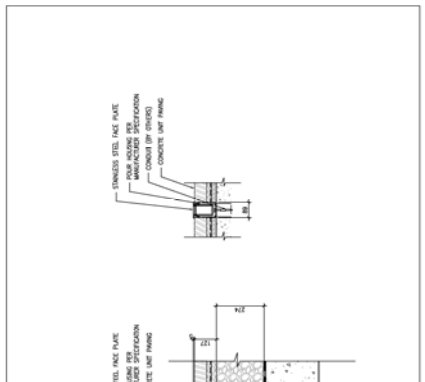
4 LT-2 IN-GROUND DRIVE OVER IN UNIT PAVING
1:10



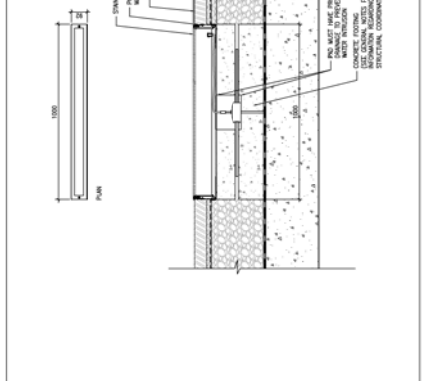
5 LT-3 IN-GROUND LINEAR RECESSED ON SLAB
1:10



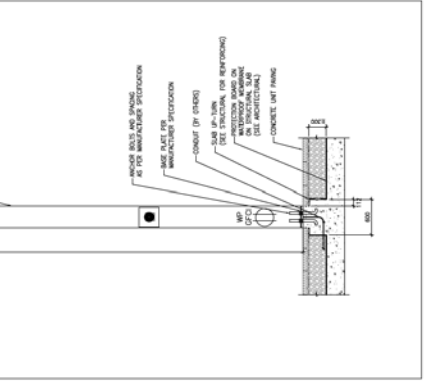
6 LT-3 IN-GROUND LINEAR RECESSED IN UNIT PAVING
1:10



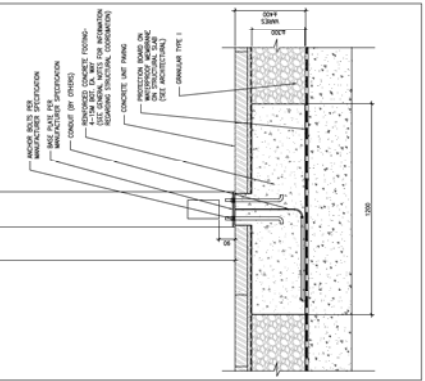
7 LT-5 FIXTURE POLE ON SLAB
1:10



8 LT-6 LED MAST POLE ON SLAB
1:30



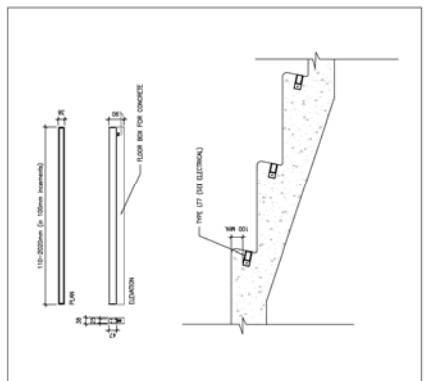
9 LT-7 LINEAR RECESSED IN TREAD
1:10



10 LT-7 LINEAR RECESSED ON SLAB
1:10



11 LT-7 LINEAR RECESSED IN TREAD
1:10



12 LT-7 LINEAR RECESSED ON SLAB
1:10

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **January 4, 2012** PROJECT FILE: **7810-0160-00**

RE: **Engineering Requirements (Institutional/City Hall)
Location: 10350 University Dr**

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

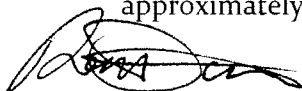
The following issues are being addressed as conditions of issuance of the Building Permit.

Property and Right-of-Way Requirements

- Register required public rights-of-passage and cross easement agreements for paths and plaza features surrounding and crossing the site as required; and
- register/modify ROW as required to accommodate transit oriented public road along 103 Avenue alignment.

Works and Services

- Construct BC Parkway multi-use path along University Drive;
- complete intersection features at 103 Avenue and University Drive including traffic signal, multi-use path crossing, and left turn bays (designed to accommodate future extension of 103 Avenue west of University Drive);
- construct 103 Avenue through site as a transit oriented public road with plaza features for traffic calming and pedestrian connectivity;
- complete intersection improvements at 104 Avenue and University Drive including multi-use path crossing, and traffic signal improvements;
- provide adequately sized service connections to the proposed building and plaza and abandon all existing connections not required for the proposed development;
- provide on-site features consistent with the City Centre Plan Servicing strategy such as stormwater management facilities and district energy features;
- provide/coordinate improvements along 104 Avenue including left turn bay access to underground parking, sidewalk and blvd treatment consistent with plaza designs, including tree planting and street lighting, and transition to City Parkway/104 Avenue Intersection improvements; and
- provide two accesses to City Parkway complete with curb returns at 103 Avenue and at approximately 60 m south of 104 Avenue.



Rémi Dubé, P.Eng.
Development Services Manager
RD

Chair:

M. Ehman

Panel Members:

D. Lee
J. Makepeace
L. Mickelson
M. Mortensen
P. Cotter
R. Myers – comments in absentia
S. Lyon
T. Ankenman
W. Francl

Guests:

A. Kelly, SCDC
J. Cox, SCDC
D. Nash, Moriyama & Teshima
D. Wensley, Moriyama & Teshima
K. Mah, Kasian
H. Sabbagh, Kasian

Staff Present:

G. Gahr, Planning & Development
M. B. Rondeau, Planning & Development
R. Duke, Planning & Development
T. Ainscough, Planning & Development
T. Mueller, Legislative Services

A. SUBMISSIONS**4:00 PM**

- | | | |
|----|-----------------------|--|
| 1. | File No.: | 7910-0160 |
| | New or Resubmit: | New (Previous Workshop) |
| | Description: | Surrey City Hall and Civic Plaza |
| | Address: | 104 Avenue and University Drive |
| | Developer: | Jim Cox, Surrey City Development Corporation |
| | Architect: | Ken Mah - Kasian / Moriyama & Teshima |
| | Landscape Architect: | D. Wensley - Moriyama & Teshima |
| | Planner: | Gary Gahr |
| | Urban Design Planner: | Robert Duke |

W. Francl arrived at 4:04 PM

The Urban Design Planner provided an overview of the project:

- The Master Plan identified a new location for City Hall moving it from 102nd Ave to 104th Ave.
- The City Hall is proposed as a 6 storey, 19,800sm building. There are no specific variances sought for the site.
- The plaza is an animated forecourt to the City Hall designed to accommodate 5000 people.
- Three levels of underground parking accommodate 856 stalls.
- The plaza can be modified to accommodate various celebration events. The City Hall, phase 2, phase 3 and the Library will combine to create a dynamic plaza.
- 103rd Ave will be the north leg of a new transit couplet.

- The Surrey Seniors Centre will be retained at this time.
- On January 27th, a workshop was held with some of the current ADP members, and 4 master plan schemes were presented. The schemes were a good exploration from which a few key concepts were identified:
 - Consider council chambers as a less monumental intervention,
 - Consider the main street of the current city which promotes interaction between staff and the public,
 - Consider a horizontal floor plate for programming the City Hall.
- The Architectural Team has worked with Council and staff to develop a compelling proposal.

T. Ankenman Arrived at 4:08 PM

P. Cotter arrived at 4:10 PM

The Project Architects and Landscape Architect made the following comments:

- The City Hall creates a distinctive urban presence on 104th Avenue, anchored by Phase 2 and 3. It is organized into 2 blocks that contain the Council Chambers and an administration component, a community roof connects the 2 blocks. The transparent void between is the 6 storey “City Room” which frames views of the plaza and defines a gateway to the City Plaza from 104th Avenue.
- Transparency into the building is a key concept utilizing curtain wall with scrims and frits to break up the pattern. Stone is used as a counterpoint to the glazing, drawing from the historic urban architecture of BC.
- Vertical fins act as sunscreen elements and introduce a finer element of scale and texture in front of the glass wall.
- Within the City Room there is a large green wall, local wood finishes throughout the space and a wood lattice in the ceiling to filter light down into the central space.
- At the base of City Hall is the Council Chamber, the main entrance from the plaza and 104th Avenue, a daycare and café. Administrative and Councillor Offices will be on the upper floors.
- The plaza will act as a civic gathering space for up to 5000 people to enjoy concerts and special events. A screen on the City Hall will allow projected images and movies. Moveable planters on rails within the plaza provide flexibility to create open areas. The planters provide urban ecology and incorporate seating.
- A reflective pool in front of the Council Chambers will integrate City Hall into the Plaza and promote urban ecology through the use of plants to naturally clean and filter the water.
- Market Street activates the eastern edge of the plaza, it is an extension of the plaza allowing low volume car access between 103rd Ave and the parkade. Bollards and an overhead canopy define a pedestrian walkway.
- Timeless materials, textures and colours combine to create a safe comfortable space that brings the plaza to life.
- Stairs along the library will act as a passive space to oversee the activities of the plaza.
- Programmable water jets will animate the plaza and can be controlled during special events.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW
104 Avenue and University Drive
File No. 7910-0160

It was Moved by W. Franci
Seconded by T. Ankenman
That the Advisory Design Panel (ADP)
recommends that the applicant address the following issues to the satisfaction of
the Planning and Development Department.
Carried
Leroy Mickelson Opposed

STATEMENT OF REVIEW COMMENTS

In general, the Panel considered the main elements of the proposal very successful, including the “City Room” separating the uses inside the building, the transparent architecture, and the large sheltering roof. The Panel also made a number of recommendations to help direct the design development and refinement of the building and plaza design.

Context and Site Circulation

- The layout relates well to the library.
- Phase 2 appears to be very close to City Hall which could create future privacy issues between the two buildings. One idea for Phase 2 was to raise it up on pilotis. The under-cut expressed in Phase 2 massing responds well to City Hall form.

(The current plans for City Hall Phase 1 do not include any designs, even conceptual, for the Phase 2 component.)

- Provide a stronger pedestrian connection between City Hall and Phase 2.

(The current plans for City Hall Phase 1 do not include any designs, even conceptual, for the Phase 2 component.)

Form and Character

- The City Hall form of development is very successful with the City Room as a central transparent organizational element. It works well with the strong presence of the Library.
- Consider how the introduction of solid elements into the massing can reinforce the transparent areas to appear more transparent and work towards making a memorable building that stands on its own.

- The 6th floor stepping back reinforces the roof and highlights this as a unique floor; consider alternate functions to administration for this floor.

(Interior building programming requires administrative uses for this floor.)

- Design development needs to consider the roof edge detail and details of how the glass meets the underside of the roof, the wood walls of the City Room and the views from future adjacent towers. Roof mechanical will also need to be carefully considered and screened.

(The roof overhangs have now been detailed and all mechanicals will be set back toward the middle of the roof and will be well screened.)

- A suggestion is to turn the Council Chamber 90 degrees with an anteroom and glass doors creating more transparency out to the plaza, the council meetings could broadcast outside the plaza.

(Council Chambers cannot be rotated due to the way they relate functionally and visually to the City Room.)

- Consider treatment of the building at the ground plane, if transparent, it should be animated by active spaces, back-of-house functions should be internalized. If these spaces are not public then a different glazing/solid wall material should be considered.

(All service and back of house operations are located underground and not within interior spaces that have glass exterior walls.)

- The western stone wall seems too heavy to be floating on glass, the wall could come down to the ground plane similar to the angled library wall.

(The project architects feel the western stone wall is one of principal design features of the building and is in keeping with the design theme and architectural vocabulary of the rest of the building.)

- The north entry is a small door against a very large glass wall, consider how weather protection will be integrated into the north and south building entries.

(Entries to the building are inset and below the large roof canopy.)

- The City Room is a large volume that could benefit from further design to ensure it is an animated and engaging space.

(The City Room will feature a large art installation and will be heavily programmed.)

- Once the structural design is incorporated into the bridge connections and central stair, they could lose their lightness within the City Room.

(Stairs and bridges within the City Room have been redesigned and are now comprised of metal and glass to compliment the design of the City Room.)

- Consider the function of the central stair with respect to code and the location of the elevators, the central stair may be better located beside the elevators to encourage ease of use. Consider the incorporation of escalators.

(The role of the stair has been reconsidered but will remain where proposed. Escalators are not deemed to be an appropriate option.)

- The exit stair beside the council chambers might need to be moved.

(The exit stair will remain.)

- Consider greening the side of the exterior feature stair that leads to the 2nd floor outdoor space.

(A green wall is planned along the staircase to the second floor terrace.)

- The childcare location needs further thought, the outdoor play area will be a challenge to integrate with the other landscape elements.

(The outdoor play area for the daycare facility will be located on the second floor terrace and will be accessed from the daycare area on the main floor by an elevator.)

- The cafe size is inadequate; recommend expanding it to facilitate it as an active informal space for staff and the public to meet. If the cafe could be on the second floor spilling out to the terrace it would be tremendous.

(A small cafe, intended as a convenience for visitors only, will remain where proposed.)

- A green roof would be a huge asset to creating urban habitat for insects and birds.

(A partial green roof is being proposed.)

Plaza and Landscaping

- The plaza needs to be as stunning and satisfying as the City Hall building, conceptual development of the plaza could explore the history of Surrey.

(The plaza is well designed and will incorporate high-quality materials and a

number of features that will encourage usage of the space.)

- The plaza will be used for a variety of events. Consideration should be given to providing and storing additional seats.

(Infrastructure will be incorporated into the plaza construction to assist in events programming.)

- The City Hall and plaza initiate the vision of the entire master plan. There is concern around the intent of the plaza extending through the entire master plan, it may be underutilized to the south of 103rd Avenue.

(The extension of the community plaza south across 103 Avenue will be reviewed when these lands redevelop.)

- There were a variety of opinions related to the street in the plaza. One idea was to create a true street that has signage for pedestrians, cyclists and motorists. Another was to remove it and redirect the parking ramp to 104th Avenue.

(Market street will continue to be, primarily, one of the required access routes to the underground parking facility.)

- Consider permanent weather protection along the plaza edges for pedestrians accessing City Hall. Weather protection on Market Street could have supports to allow greater flexibility of use during special events, e.g., farmers market.

(Permanent weather protection around the perimeter of the community plaza would reduce the flexibility for programming and events within the plaza.)

- The reflecting pool and Council Chamber could create a stronger focal point that anchors the building with the plaza.

- Consider selective use of moveable planters in feature areas. The planter design requires additional refinement to relate to the building and to simplify the technology to not rely on rails.

(The movable planters have been removed from the plaza design.)

- Like the idea of the natural reflecting pool and use of bio-filtration. Consider extending an element of the pool into the plaza as a link to City Hall, this extension could collect and direct plaza rainwater.

(A rainwater collection system will be incorporated into the plaza design and located between the plaza surface and the underground parking.)

- Water jet locations could be concentrated to facilitate pedestrian gathering and movement.

(The number of water jets has been reduced and the location of these jets has

been concentrated in one specific area.)

- Bollards used to define Market St could retract to be flush with grade. Paving materials and in-ground lights could reduce the amount of bollards, opening up to the plaza.

(Full height bollards are required to ensure vehicles do not access the plaza.)

- There is an opportunity to introduce more soft landscape into the plaza to define smaller scaled outdoor rooms and enrich the edges of the plaza.

(Introducing soft-landscaped areas reduces the flexibility of programming the plaza and of the number and type of events that can be held in the plaza.)

- The tree species selected have a small mature size and are somewhat disease prone; consider a hardier species and the incorporation of large trees within the plaza. There is an opportunity to create a European bosque where smaller trees are currently shown.

(Trees appropriate for the Lower Mainland have been incorporated into the plaza design.)

- Ensure trees pits are correctly sized to facilitate the health of trees specified, use structural soil or a tree cell system.

(Adequately size tree pits and structural soil will be incorporated into the plaza.)

CPTED and Accessibility

- Concern that the accessibility focus is not where it should be. Ensure wheelchair access from 104 Avenue to City Room entrance.

(A ramp along the 104 Avenue facade of the building has been provided.)

- Concern with sliding benches. There should be a large opening with a smooth surface. A minor rise for wheelchairs should not be a big problem.

(The sliding benches have been removed from the design.)

- Clarify how a wheelchair person can have access to the reflecting area without having to go up the stairs into City Hall.

(There are no stairs between the plaza and the entry to City Hall.)

- Elevators should be made fully accessible. More detail would be helpful on measures taken to make the City Hall more accessible for those in wheelchairs.

(All elevators are fully accessible.)

- Underground parking should have consideration for disabled users.
(Disabled parking spaces and wheelchair accessible routes will be provided within the underground parking structure.)
- Consideration should be given to how someone can move from the parking level to the Plaza without having to come through the City Hall. Explore ramps and lifts.
(An exterior exit elevator is provided within the plaza.)
- Need clarification that the elevators are to code.
(Elevators are to code.)
- Need clarification that the City Hall, 2nd floor terrace is accessible from the outside and that accessible washrooms are provided.
(The second floor terrace is not disabled accessible from the exterior of the building. All internal washrooms are accessible.)
- Walkway identification needs to be clarified for wheelchair users, including how to cross Market St.
(All areas within the plaza are flush.)
- Consideration should be given to discourage skateboarders in the plaza.
(Railings will be designed to discourage skateboarding.)

Sustainability

- Consider sewage heat recovery rather than geothermal.
(The proposed geothermal is part of the City's district energy strategy.)
- Minimize the amount of lighting that will spill over to neighbouring developments.
(Lighting will be directed down or directed toward the centre of the plaza.)
- Modelling of the roof should be done to determine the how effective it will be for shading the building.
(The large overhangs will provide shading.)

- With the extensive transparent glazing, 5 LEED energy points will be difficult to achieve; it will be difficult to keep energy consumption down.

(Windows will be coated for energy efficiency.)

The Project Architects made the following comments:

- The architects thanked the Panel for their comments.
- More time could have been taken during the presentation to explain the accessible circulation and features that have been incorporated into the design.
- Good comments were received and great direction was provided.
- A number of the comments supported the struggles the group has been going through and the entire team will focus on addressing.