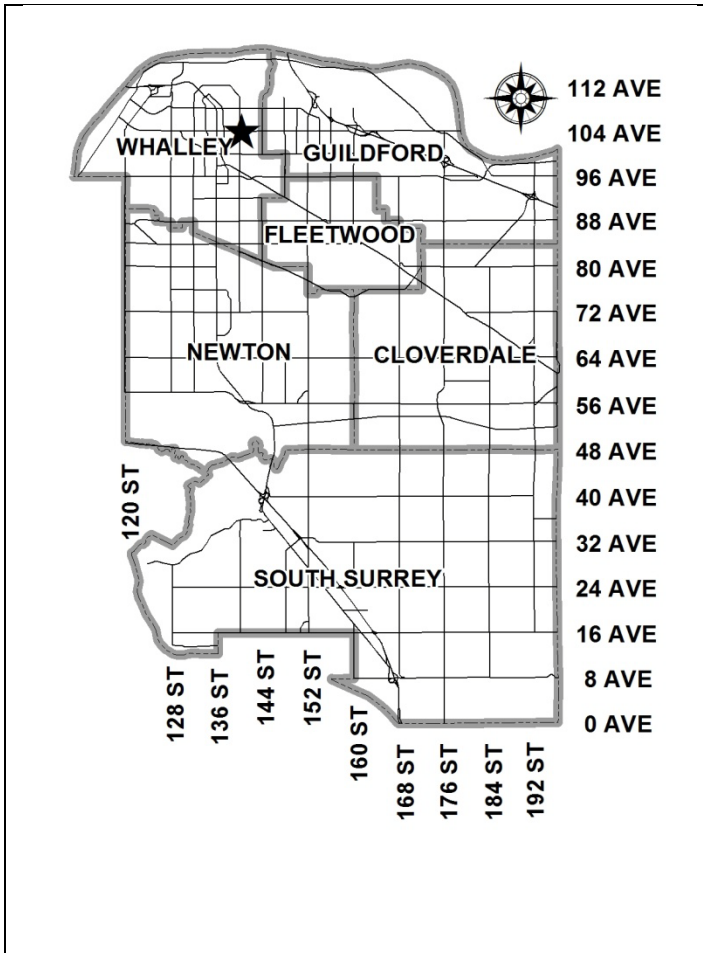


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7910-0193-00

Planning Report Date: May 7, 2012

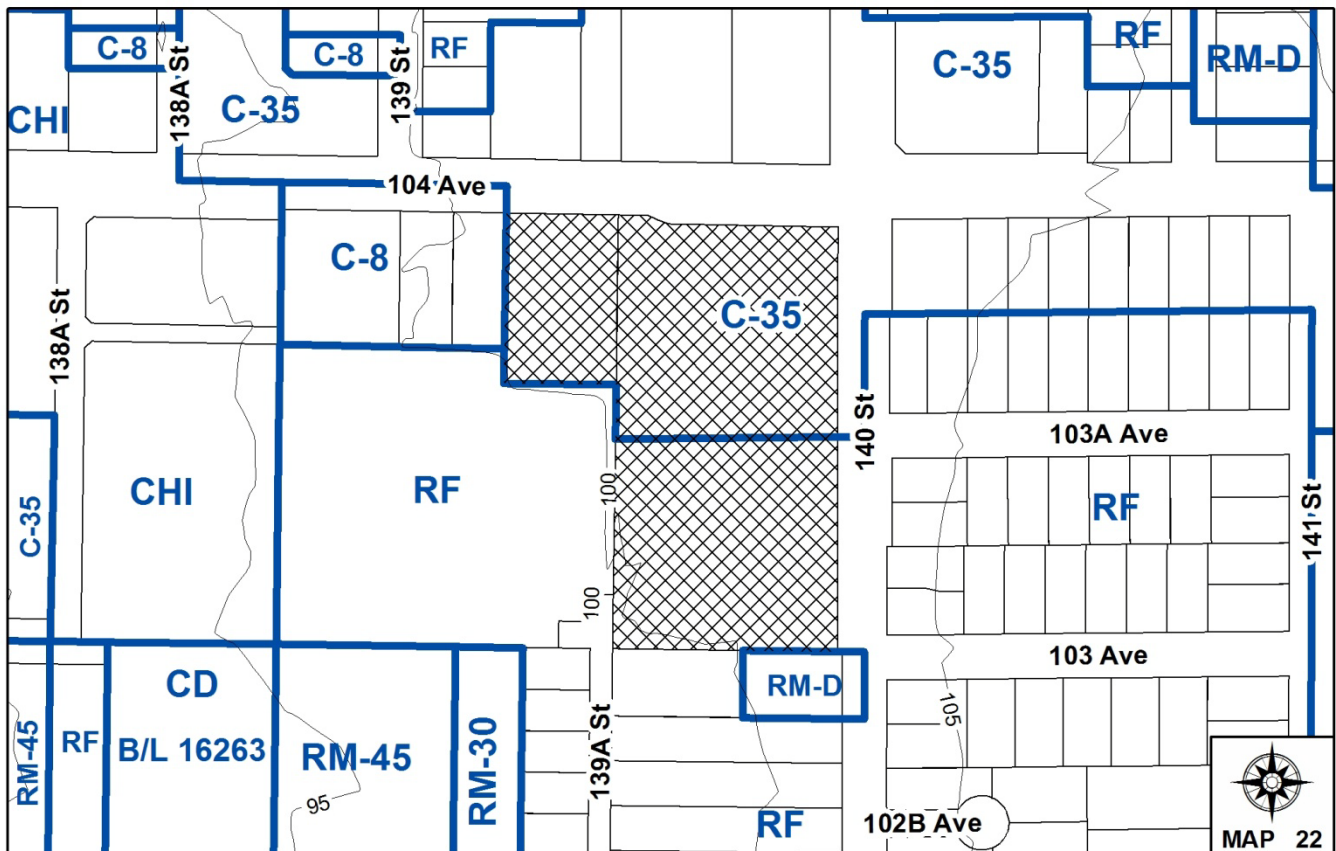


**PROPOSAL:**

- **OCF Amendment** of a portion from Multiple Residential to Commercial.
- **Rezoning** portions from C-35 and RF to CD (based upon C-8)
- **Development Permit**
- **Development Variance Permit**

in order to permit the development of a one-storey with mezzanine commercial development.

**LOCATION:** 13932 and 13954 - 104 Avenue  
**OWNER:** China Cereals & Oils Corporation  
**ZONING:** C-35 and RF  
**OCF DESIGNATION:** Commercial and Multiple Residential



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - OCP Amendment; and
  - Rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- An OCP amendment is required to redesignate a portion of the site from Multiple Residential to Commercial.
- Seeking a lot depth relaxation for the proposed RF-zoned remainder lot.

### RATIONALE OF RECOMMENDATION

- A portion of the site, currently designated Multiple Residential, requires redesignation to Commercial to bring it into conformity with the balance of the site and the Surrey City Centre Land Use and Density Plan.
- The redevelopment of the subject site will allow for a marginalized site, due to the hydro and gas rights-of-way, to be redeveloped to a higher and better use.
- The proposed development will allow for a continuation of a multi-purpose pathway through the site, which will form part of the overall Quibble Creek Greenway network.
- The applicant has demonstrated multiple residential development potential on the proposed RF-zoned remainder lot.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating a portion (Block A) of the subject site from Multiple Residential to Commercial and a date for Public Hearing be set (Appendix II).
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
3. a By-law be introduced to rezone portions from "Downtown Commercial Zone (C-35)" (By-law No. 12000) and "Single Family Residential Zone (RF)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing (Appendix VI).
4. Council authorize staff to draft Development Permit No. 7910-0193-00 generally in accordance with the attached drawings (Appendix III).
5. Council approve Development Variance Permit No. 7910-0193-00 (Appendix IX), varying the following, to proceed to Public Notification:
  - (a) to reduce the lot depth of the RF Zone from 28 metres (90 ft.) to 21 metres (69 ft.) for proposed Lot 2.
6. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision plan to the satisfaction of the Approving Officer;
  - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (d) final approval from BC Hydro;
  - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (h) registration of a statutory right-of-way for pedestrian right-of-passage for the Quibble Creek Greenway through the site;

- (i) registration of a reciprocal access easement to allow the future multiple residential site (proposed Lot 2) access from the commercial drive aisle on proposed Lot 1; and
- (j) registration of a section 219 "No Build" Restrictive Covenant on proposed Lot 2 (future multiple residential lot).

### REFERRALS

Engineering:	The Engineering Department has no objection to the project, subject to the completion of Engineering servicing requirements as outlined in Appendix IV.
Parks, Recreation & Culture:	Parks has no objection to the proposal provided the Quibble Creek Greenway is secured through the site.
BC Hydro:	BC Hydro has indicated that they have no objection in principle to the proposed development. BC Hydro intends to install a new structure in place of an existing structure, approximately 10 metres (33 ft.) southwest. Work within the right-of-way may not commence until BC Hydro has granted final approval (Appendix V).
Fortis Gas:	Fortis Gas (formerly Terasen Gas) has no objection to the development of the lands subject to the development complying with a number of conditions and requirements.

### SITE CHARACTERISTICS

Existing Land Use: There is an existing house on the western lot (13932 – 104 Avenue) which will be removed. The eastern lot (13954 – 104 Avenue) is primarily vacant except for a stand of trees within the southeast portion of the site. Existing BC Hydro and Fortis Gas rights-of-way diagonally transect the subject site.

#### Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 104 Avenue):	Three-storey commercial/residential building, motel, single family residence and vacant lot.	Commercial	C-35
East (Across 140 Street):	Single family dwellings.	Multiple Residential	C-35 and RF



Direction	Existing Use	OCP Designation	Existing Zone
South:	Existing single family dwelling.	Multiple Residential	RF and RM-D
West:	Small commercial buildings along 104 Avenue.	Commercial	C-8
	Existing BC Hydro sub-station.	Multiple Residential	RF

### JUSTIFICATION FOR THE OCP AMENDMENT

- Redesignating the majority of the southern portion of the lot from Multiple Residential to Commercial in the OCP will bring the site into conformity with the Surrey City Centre Land Use and Density Concept.

### DEVELOPMENT CONSIDERATIONS

- The subject site consists of two (2) properties at 13932 and 13954 – 104 Avenue, which are located at the eastern edge of the City Centre area.
- The subject site is 23,003 square metres (247,614 sq.ft.) in gross area. It is currently split-designated Commercial and Multiple Residential in the Official Community Plan (OCP) and zoned Downtown Commercial Zone (C-35) and Single Family Residential Zone (RF).
- The subject site is designated "Mixed-Use 3.5 FAR, 3.5" and "Greenway" in the Surrey City Centre Plan Update – Stage 2, Status Update Land Use and Density Concept, which was approved by Council on July 25, 2011 (Corporate Report No. R151).
- The applicant, China Cereal and Oils, is an experienced retailer, with existing "China World" stores in the Chinatown area of Vancouver and in Richmond. A "China World" store, which retails Asian ingredients and groceries, is proposed for the subject site.
- The application includes an OCP amendment to redesignate part of the southern portion of the lot from Multiple Residential to Commercial and a rezoning of a portion of the site from Downtown Commercial Zone (C-35) and Single Family Residential Zone (RF) to Comprehensive Development Zone (CD) (based upon the Community Commercial Zone (C-8 Zone)). As the site is encumbered by BC Hydro and Fortis Gas rights-of-way, these areas (approximately 14,037 sq.m./151,090 sq.ft.), along with road dedication are deducted from the overall gross site area, resulting in a net site area of 5,330.5 square metres (57,377 sq.ft.).
- The proposed commercial development is more consistent with the C-8 Zone with its surface parking, than the high density C-35 Zone, which envisions a high-rise building form which requires underground parking.

- However, the total proposed floor area of the building will be 8,365.6 square metres (90,050 sq.ft.). Based upon this floor area and the net developable area, the development is proposing a floor area ratio (FAR) of 1.57, which exceeds the maximum 0.8 FAR permitted under the C-8 Zone. Therefore, a Comprehensive Development (CD) Zone will be required.
- An approximate area of 1,568.2 square metres (16,880 sq.ft.) at the southeast corner of the site along 140 Street, is not included in the current application, and will retain the Multiple Residential designation in the OCP and RF zoning. It is anticipated that this area will be developed for townhouse or multiple residential purposes at some time in the future, under a separate land development application.
- A Development Variance Permit is required to reduce the lot depth of the RF Zone from 28 metres (90 ft.) to 21 metres (69 ft.) for proposed Lot 2, the remainder RF-zoned lot in the southeast portion (see By-law Variance section).

#### Proposed CD Zone (Appendix VI)

- The proposed CD Zone will be loosely based upon the C-8 Zone in terms of use, but will differ from the C-8 Zone in terms of density, lot coverage, building setbacks and parking requirements.
- All permitted land uses will be similar to the C-8 Zone, except that stand alone parking facilities and automotive service uses have been eliminated as these are not uses which are encouraged within the pedestrian-oriented City Centre.
- The proposed floor area ratio (FAR) of the CD Zone will be 1.6, based upon the net developable area, which exceeds the maximum 0.8 FAR permitted under the C-8 Zone.
- Based upon the net developable area, the proposed lot coverage is 95%, which exceeds the maximum lot coverage of 50% permitted under the C-8 Zone.
- The C-8 Zone requires minimum setbacks of 7.5 metres (25 ft.). However, the building setback at the southwest corner of the building, adjacent the BC Hydro substation, is proposed to be 0 metre (0 ft.). The proposed building setback along 104 Avenue is 3 metres (10 ft.) and the proposed building setback from the west is 0.9 metre (3 ft.).
- The minimum parking requirements will be 178 parking spaces, which are 3 fewer than the 181 parking spaces required under the Zoning By-law. As the site is well served by public transit, the proposed parking is acceptable.

#### Tree Preservation and Proposed Landscaping (Appendix VII)

- An arborist report was prepared by Lesley Gifford and Trevor Cox, Certified Arborists of Diamond Head Consulting Ltd. and submitted to staff for review.

- The report identifies 22 trees on-site as summarized in the table below:

Tree Species	No. of Trees	No. to be Retained	No. to be Removed
Western Red Cedar	4	0	4
Big Leaf Maple	2	0	2
Douglas Fir	10	0	10
Norway Spruce	1	0	1
Horse Chestnut	1	0	1
Red Alder	2	0	2
Cottonwood	1	0	1
Arbutus	1	0	1
<b>Total</b>	<b>22</b>	<b>0</b>	<b>22</b>

- Of the 22 trees, 0 trees are to be retained. Based upon the type of trees to be removed, 3 are required to be replaced at a 1:1 ratio, totaling 3 trees, and 19 trees are to be replaced at a 2:1 ratio, totaling 38 trees. In total, 41 trees should be provided as replacement within the site. The developer is proposing 50 replacement trees.
- The site is encumbered by high-tension hydro transmission lines which limits the types and the height of trees to be planted on-site.

#### Road Dedication

- The applicant is providing road widening ranging from 5.15 metres (16.9 ft.) to 8.8 metres (28.9 ft.) along 104 Avenue in order to achieve a 42-metre (138 ft.) wide road right-of-way which is required to accommodate future rapid transit along the 104 Avenue corridor.
- Road widening of approximately 2.8 metres (9.2 ft.) is also being provided along 140 Street. As well, a road widening of 11.5 metres (38 ft.) is proposed along the south of the site, for an ultimate 20.0-metre (66 ft.) wide road right-of-way, for the extension of 103 Avenue from 140 Street to 139A Street.
- A 4-metre (13 ft.) wide road dedication is being provided along the west property line for a future commercial lane that will service the adjoining properties along 104 Avenue to the west.
- In all, the developer is proposing to dedicate approximately 2,068 square metres (22,260 sq.ft.) in road dedication to the City.

#### PRE-NOTIFICATION

Pre-notification letters were sent on May 30, 2011. Staff received several phone calls requesting additional information about the project, but no calls or letters have been received in support or opposition to the proposed development.

## PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

## DESIGN PROPOSAL AND REVIEW

- The applicant is proposing to construct a one-storey, with mezzanine, retail building which will house a specialty Asian grocery store (China World), as well as a bakery and a restaurant. Four (4) smaller retail units (CRUs) will also be incorporated along the north side of the building, facing 104 Avenue.
- Each of the four retail storefronts will have direct pedestrian access from 104 Avenue, whereas the main entry to the grocery store will be located on the east side of the building, facing a surface parking lot.
- As the site is encumbered by the BC Hydro and Fortis Gas rights-of-way that traverse the site from southwest to northeast, the proposed building can be sited only within the northwestern portion of the subject site.
- The proposed building will reflect a contemporary design with simplified exterior treatments.
- Glass and steel canopies will line the 4 CRUs along 104 Avenue. Bay windows will project from each of these CRUs.
- The proposed building will consist of tilt up concrete panels at the upper mezzanine floor in a beige grey, concrete panels at the lower main level in a darker grey, with cantilevered steel canopies with tempered glass. An upper trellis fascia band painted in a bright blue will be used as an accent. Cedar siding will be used throughout.
- Vehicular access to the site will be from 140 Street and from 103 Avenue. Parking is proposed at grade, with landscaped islands separating the rows of parking.
- A double row of trees is proposed along 104 Avenue.
- A plaza feature is proposed at the corner of 104 Avenue and 140 Street. A landscaped raised planter will be incorporated into the plaza to visually screen the parking area from vehicle and pedestrian traffic along 104 Avenue and 140 Street.
- Stormwater drainage features are proposed to be incorporated throughout the site, which will incorporate pervious materials and planting to slow the flow of water runoff.
- The 4-metre (13 ft.) wide multi-use pathway, that forms part of the Quibble Creek Greenway, is proposed for the eastern portion of the site. This Greenway alignment will separate the commercial surface parking from the future townhouse/multiple residential development site at the southeast corner of the site adjacent to 140 Street.

ADVISORY DESIGN PANEL (Appendix VIII)

ADP Date: March 17, 2011

The majority of the design items have been resolved, except for the following:

- Detailed design of the proposed retail signage.
- All landscape revisions to the satisfaction of Trees and Landscape Section staff.

The applicant has agreed to complete these changes prior to consideration of Final Adoption of the Rezoning By-law and Development Permit issuance.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To vary Section K of the RF Zone, in order to reduce the lot depth from 28 metres (90 ft.) to 21 metres (69 ft.) for proposed Lot 2.

Applicant's Reason:

- The DVP is required as the only road frontage is along 140 Street. The remainder lot boundary at the rear (west) will follow the existing BC Hydro statutory right-of-way boundary and no buildings may be developed within the statutory right-of-way area. Therefore, this creates a particularly wide lot, but with insufficient depth. The proposed lot area is approximately 1,568 square metres (16,880 sq.ft.), which exceeds the minimum 560 square metres (6,000 sq.ft.) required under the RF Zone.

Staff Comment:

- The applicant has provided a future development concept for the proposed remainder lot and given the constraints of the site, staff can support the proposed variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	OCP Amendment and Survey Plan
Appendix III.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix IV.	Engineering Summary
Appendix V.	BC Hydro Comments
Appendix VI.	Proposed CD By-law
Appendix VII.	Summary of Tree Survey and Tree Preservation
Appendix VIII.	ADP Comments
Appendix IX.	Development Variance Permit No. 7910-0193-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Gen Yada Architect and Keith Koroluk, Landscape Architect, respectively, dated February 3, 2012 and April 10, 2012.

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

PL/kms

\\file-server1\net-data\csdc\generate\areaproduct\save\9368848032.doc  
. 5/3/12 9:30 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. Agent:     Name:             Gen Yada  
                                  Gen Yada Architect  
                  Address:       7707 Ontario Street  
                                  Vancouver, BC V5X 3C6  
  
                  Tel:             604-321-8997
  
2. Properties involved in the Application
  - (a) Civic Address:           13932 and 13954 – 104 Avenue
  
  - (b) Civic Address:           13932 – 104 Avenue  
Owner:                       China Cereals & Oils Corp  
PID:                         011-126-361  
Lot 2 Except: Part Firstly: Part Subdivided by Plan 23047 Secondly: Part Red on Plan with Bylaw Filed A24465, Section 26 Block 5 North Range 2 West New Westminster District Plan 5210
  
  - (c) Civic Address:           13954 – 104 Avenue  
Owner:                       China Cereals & Oils Corp  
PID:                         011-126-345  
Lot 1 Except: Part Shown on Plan with Bylaw Filed A24465, Section 26 Block 5 North Range 2 West New Westminster District Plan 5210
  
3. Summary of Actions for City Clerk's Office
  - (a) Introduce a By-law to amend the Official Community Plan to redesignate a portion from Multiple Residential to Commercial.
  
  - (b) Introduce a By-law to rezone a portion from C-35 and RF to CD.
  
  - (c) Proceed with Public Notification for Development Variance Permit No. 7910-0193-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated OCP Amendment and Rezoning By-laws.

## DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based upon C-8)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA*</b> (in square metres)		
Gross Total		23,003 m <sup>2</sup>
Road Widening area		2,068 m <sup>2</sup>
Remainder RF-zoned lot		1,568 m <sup>2</sup>
Undevelopable area		14,037 m <sup>2</sup>
Net Total		5,330 m <sup>2</sup>
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures	50%	95%
Paved & Hard Surfaced Areas		
Total Site Coverage		
<b>SETBACKS</b> ( in metres)		
Front (104 Avenue)	7.5 m	3 m
Rear (103 Avenue)	7.5 m	7.5 m
Side #1 (W)	7.5 m	0.9 m
Side #2 (SW)	7.5 m	0 m
Flanking Street Side #3 (140 Street)	7.5 m	7.5 m
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal	12 m	12 m
Accessory	4.5 m	N/A
<b>NUMBER OF RESIDENTIAL UNITS</b>		N/A
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
<b>FLOOR AREA: Residential</b>		N/A
<b>FLOOR AREA: Commercial</b>		
Retail		8,366 m <sup>2</sup>
Office		N/A
Total		
<b>FLOOR AREA: Industrial</b>		N/A
<b>FLOOR AREA: Institutional</b>		N/A
<b>TOTAL BUILDING FLOOR AREA</b>		8,366 m <sup>2</sup>

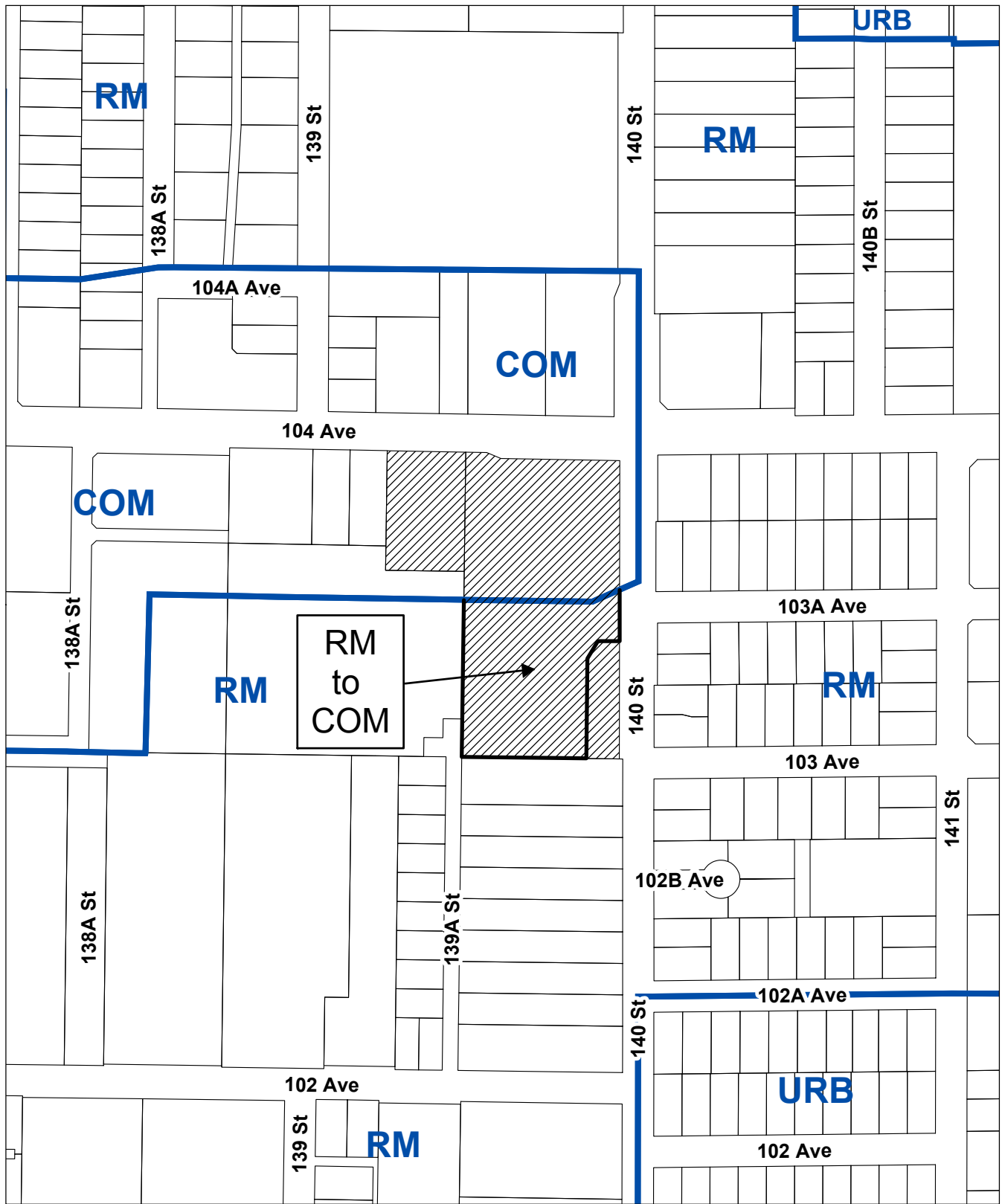
*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*



## Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		N/A
# of units/ha /# units/acre (net)		N/A
FAR (gross)		
FAR (net)	0.8	1.57
AMENITY SPACE (area in square metres)		N/A
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	181	178
Industrial		N/A
Residential Bachelor + 1 Bedroom		N/A
2-Bed		
3-Bed		
Residential Visitors		N/A
Institutional		N/A
Total Number of Parking Spaces	181	178
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

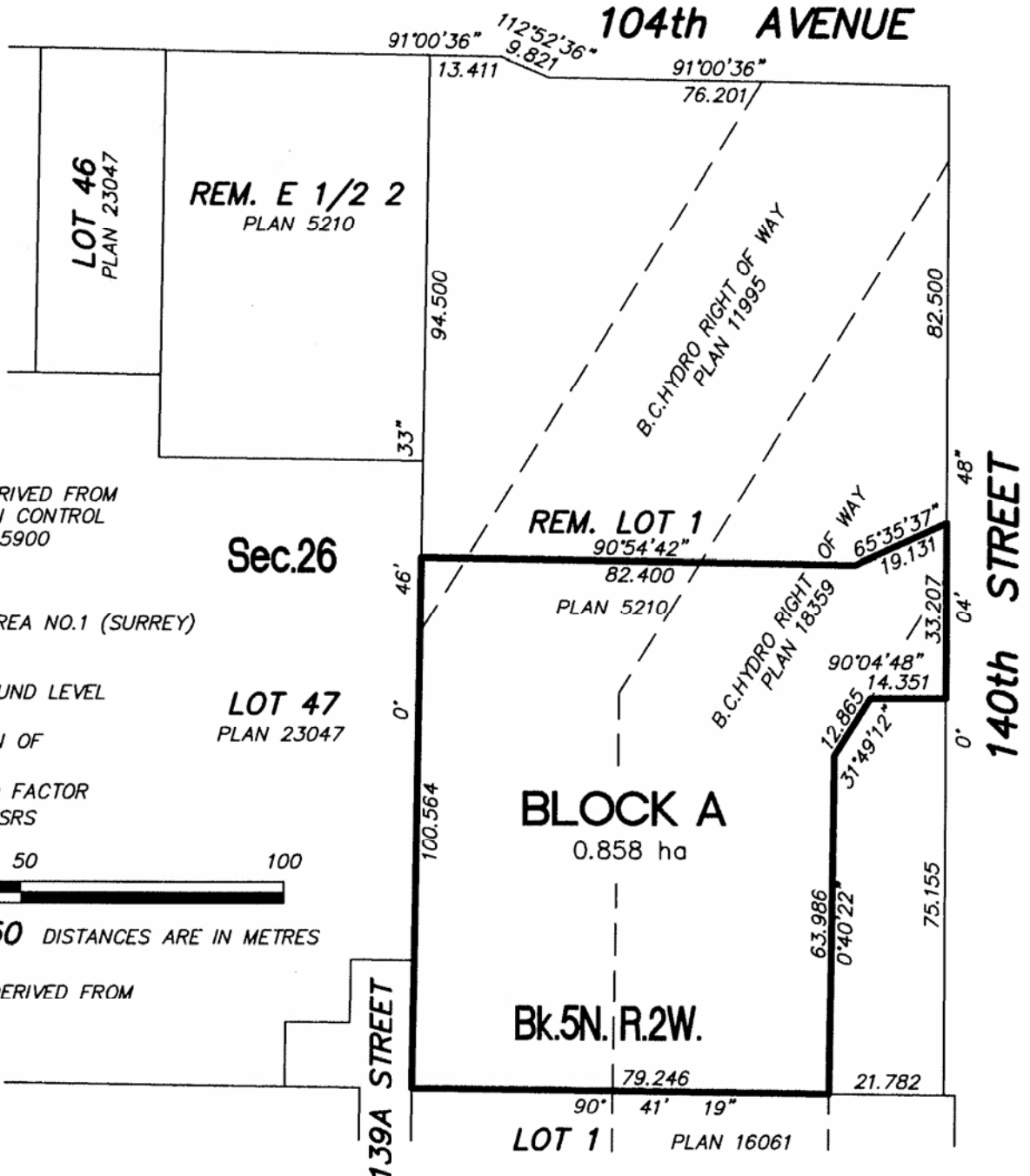


### OCP Amendment

Proposed amendment from Multiple Residential to Commercial



**SURVEY PLAN TO ACCOMPANY CITY OF SURREY  
 OFFICIAL COMMUNITY PLAN AMENDMENT BYLAW No: \_\_\_\_\_  
 OF PART OF LOT 1 EXCEPT: PART SHOWN ON PLAN WITH BYLAW FILED A24465  
 SECTION 26 BLOCK 5 NORTH RANGE 2 WEST  
 NEW WESTMINSTER DISTRICT PLAN 5210  
 PID: 011-126-345**



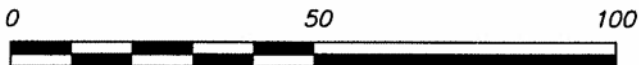
**LEGEND**

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN CONTROL MONUMENTS 5211 AND 5900

ha DENOTES HECTARES

INTEGRATED SURVEY AREA NO.1 (SURREY) NAD83(CSRS)

THIS PLAN SHOWS GROUND LEVEL MEASURED DISTANCES. PRIOR TO COMPUTATION OF U.T.M. CO-ORDINATES MULTIPLY BY COMBINED FACTOR 0.99958875 (NAD83) CSRS



**SCALE 1 : 1250** DISTANCES ARE IN METRES

NOTE: LOT DIMENSIONS ARE DERIVED FROM FIELD SURVEY

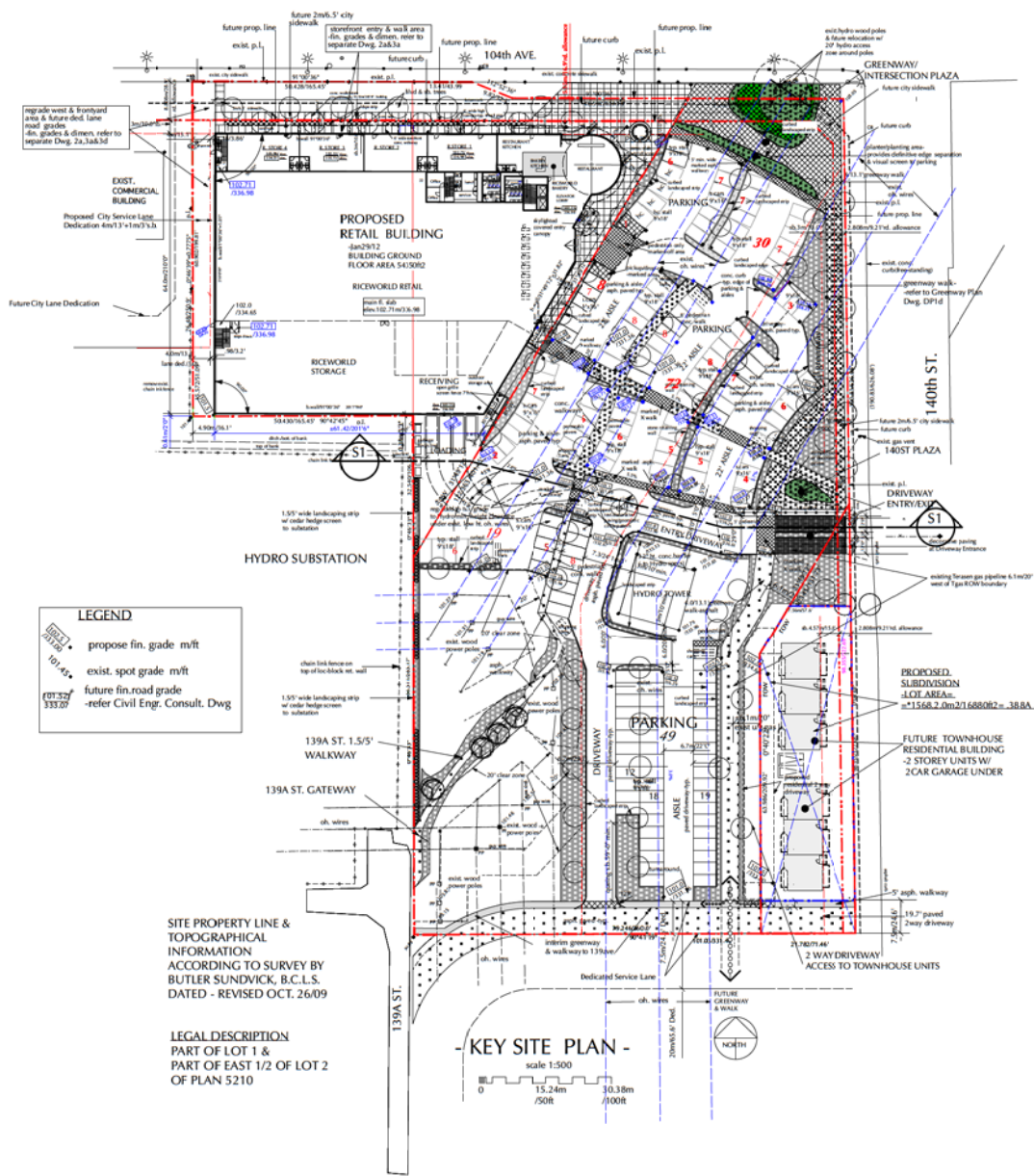
CERTIFIED CORRECT  
 THIS 9th DAY OF APRIL, 2012.

  
 GARY SUNDVICK B.C.L.S.

File: 3865  
 Dwg: 3865-OCP1

**BUTLER  
 SUNDVICK**

4 - 19089 94th Ave  
 Surrey, BC V4N 3S4  
 www.butlersundvick.ca  
 Tel. 604-513-9611



**\*\*Apr. 25/12**  
**Development information:**

Site #13932 104Ave: \*3849.9m2/41413R2= .95A  
 #13954,104Ave: \*19153.4m2/206172R2= 4.73A  
 \*3003.3 m2/247613.56R2= 5.68A

-less Residential Lot(\*subdiv)@140St. = \*1568.2m2/1688R2= .388A  
 -less Road Allowances:  
 -104Ave & -140St. = \*1345.5m2/14483R2  
 -Net Retail Store Site 20089.6m2/216250R2= 4.96A

-less Hydro ROW \*14036.3 m2/151090.41R2  
 -less Ded. lanes  
 -West ded. lane 223.89m2/2410R2=172=2238  
 -South Lane =678.17m2/7300R2= 1756m 5544 > 722.95/7782R2

9710R2  
 Net/FSR Retail Store Site 5330.4m2/5737R2

\*Notes:-site areas as obtained from topo. survey plan  
 Zone Existing C3.5/RF  
 Rezoning to CD  
 Floor space Ratio- Permitted C8 FAR 0.8

Proposed Building  
 -large single floor retail Asian food store building as:  
 -ground/1st Fl. Riceworld Retail Store w/ retail tenant stores facing 104 Ave.  
 & 2nd storey mezzanine Riceworld retail

Building floor areas:  
 -1st/Grd Fl - 5049.1m2/54350R2  
 -Mezz/2nd Fl 3316.5m2/35200R2

-Main Bldg/Total 8365.6m2/90050R2

-Proposed FAR 8365.6m2/90050R2 / 5330.46m2/5737R2 =1.57FSR

Site Coverage:  
 -Permitted C8 50%  
 -Proposed Main Building: Grd Fl. 5057.94m2/54445R2  
 -Proposed Site Cov. 5057.94m2/54445R2 / 5330.46m2/5737R2 = 95%

Yard & Setbacks  
 -from all lot lines  
 -7.5m/25' > relaxation to  
 -104Ave. -3m/10'  
 -South substation pl. -0' min.  
 -West ded. lane .91m/3' min.

-Parking:  
 Required:  
 -Restaurant@ ±2400R2x10/1076= 22cars  
 -Retail @ 8995±2400= 87595R2x2.5/1076= 204cars  
 Total Building less C.Centre reduction =2056x22=45  
 Total required 181cars

-Proposed DP = 30+72+19+49 +8 = 178 Total  
 3cars shortfall

-compact cars -permitted 25%x181req'd= 45 Total  
 -proposed DP 7+16+4+7+2+5+7 = 38  
 Total compact provided 38 total

Loading:  
 -Required:  
 -provided: 4

REVISIONS	DESCRIPTION
Apr. 25/12	revised/insert metric conversion to imperial values to match DP data items, in response to P.Law April 24 email query
Apr.10/12	submit for Council
Mar. 1/11	-ACF meeting
Aug. 07/10	-submitter DP application

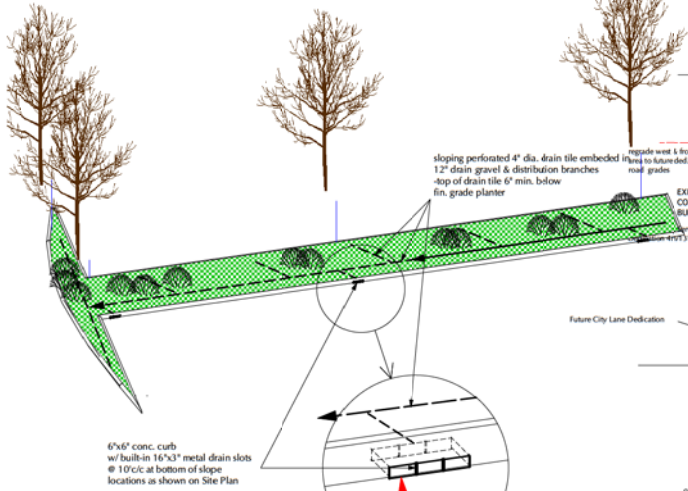
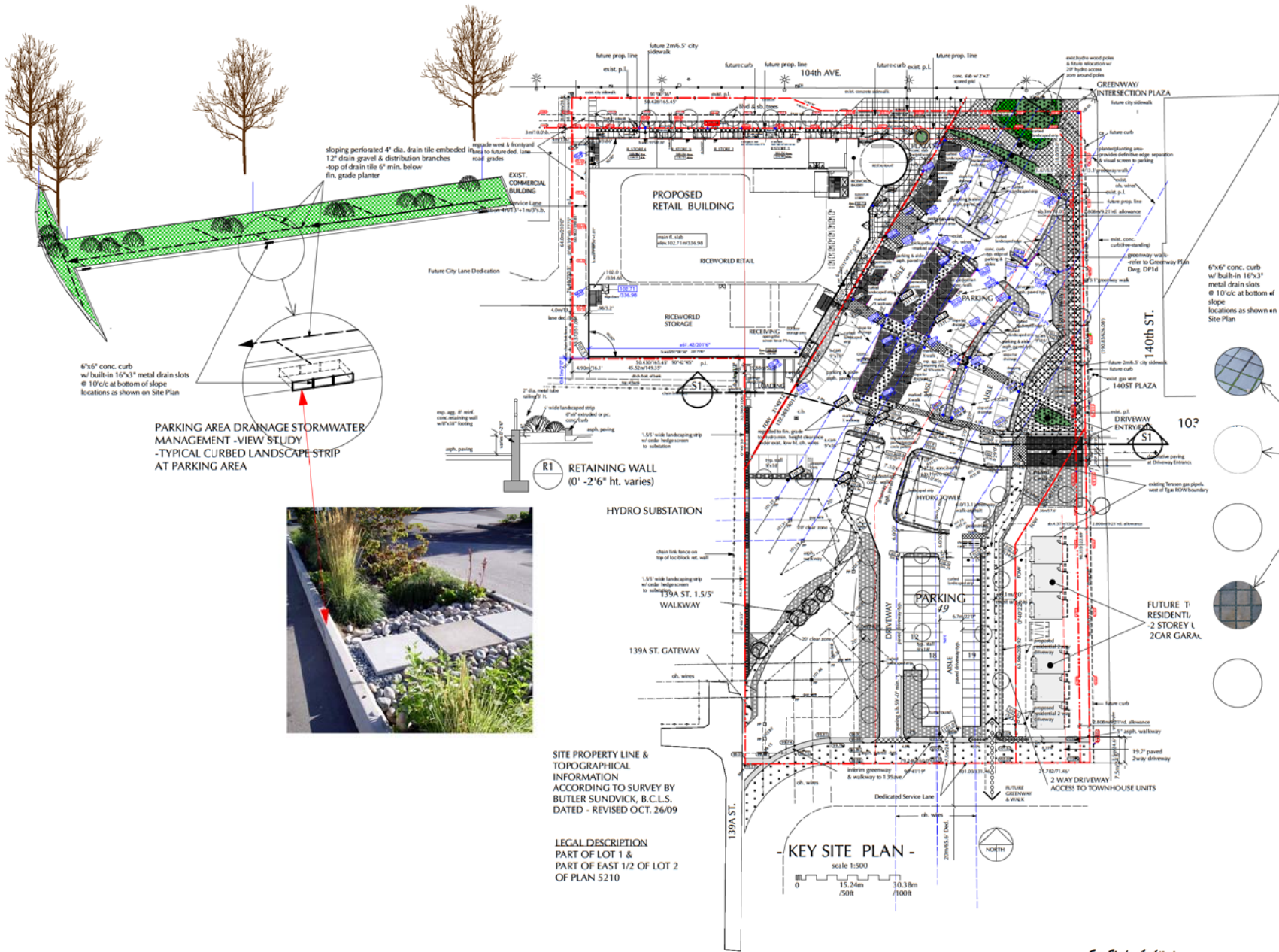
This Drawing and Design are the exclusive property of Gen Yada Architect and cannot be used or reproduced without the Architect's written consent. The Contractor shall be responsible for checking all dimensions & conditions and shall notify the Architect of any errors or discrepancies prior to start of construction. Written dimensions have precedence over scaled dimensions.

**PROPOSED RETAIL STORE DEVELOPMENT**  
 13932 & 13954- 104TH AVE.  
 SURREY, B.C.

**KEY SITE PLAN**

Drawing Title	Drawing No.
Date May 10/11	RDP1a
Scale	

**Gen Yada Architects**  
 7707 Ontario Street  
 Vancouver, B.C. V5X 3C6  
 Tel. or Fax: (604) 321-8997  
 Email: gyada@shaw.ca



**PARKING AREA DRAINAGE STORMWATER MANAGEMENT - VIEW STUDY**  
 -TYPICAL CURBED LANDSCAPE STRIP AT PARKING AREA



**R1 RETAINING WALL**  
 (0' - 2'6" ht. varies)

**SITE PROPERTY LINE & TOPOGRAPHICAL INFORMATION**  
 ACCORDING TO SURVEY BY BUTLER SUNDVICK, B.C.L.S. DATED - REVISED OCT. 26/09

**LEGAL DESCRIPTION**  
 PART OF LOT 1 & PART OF EAST 1/2 OF LOT 2 OF PLAN 5210



**LEGEND**

- 1010 731.36 proposed finished spot grade
- 1019.96.08 existing spot grade mft
- 101.52 333.07 future fin. road grade - refer Civil Engr. Consult. Dwg
- slope direction for drainage
- landscaping strip w/ conc. curb with c.i. drain slots

**SITE MATERIAL FINISH LEGEND**

symbol	material	location
[Pattern]	asph paving	parking curbs
[Pattern]	conc. slab w/ 2"x2" wood grt	greenway plaza
[Pattern]	grass permeable	greenway sidewalks
[Pattern]	permeable pavers 4" max w/ 1" joints	pedestrian crossings
[Pattern]	reposed concrete slab w/ 1/2" wood grt	Riceworld plaza/walkway
[Pattern]	reposed concrete slab	sidewalks
[Pattern]	asph paving	parking driveways
[Pattern]	asph paving	greenway walkway

Apr 16/12	submitted for Council
May 17/11	ADP meeting
Aug. 6/10	submitted for DP & Rezoning Application
REVISIONS	
NO.	DESCRIPTION
1	As per City of Surrey Planning Department comments

This Drawing and Design are the exclusive property of Gen Yada Architect and cannot be used or reproduced without the Architect's written consent. The Contractor shall be responsible for checking all dimensions, conditions and shall notify the Architect of any errors or discrepancies prior to start of construction. Written dimensions have precedence over scaled dimensions.

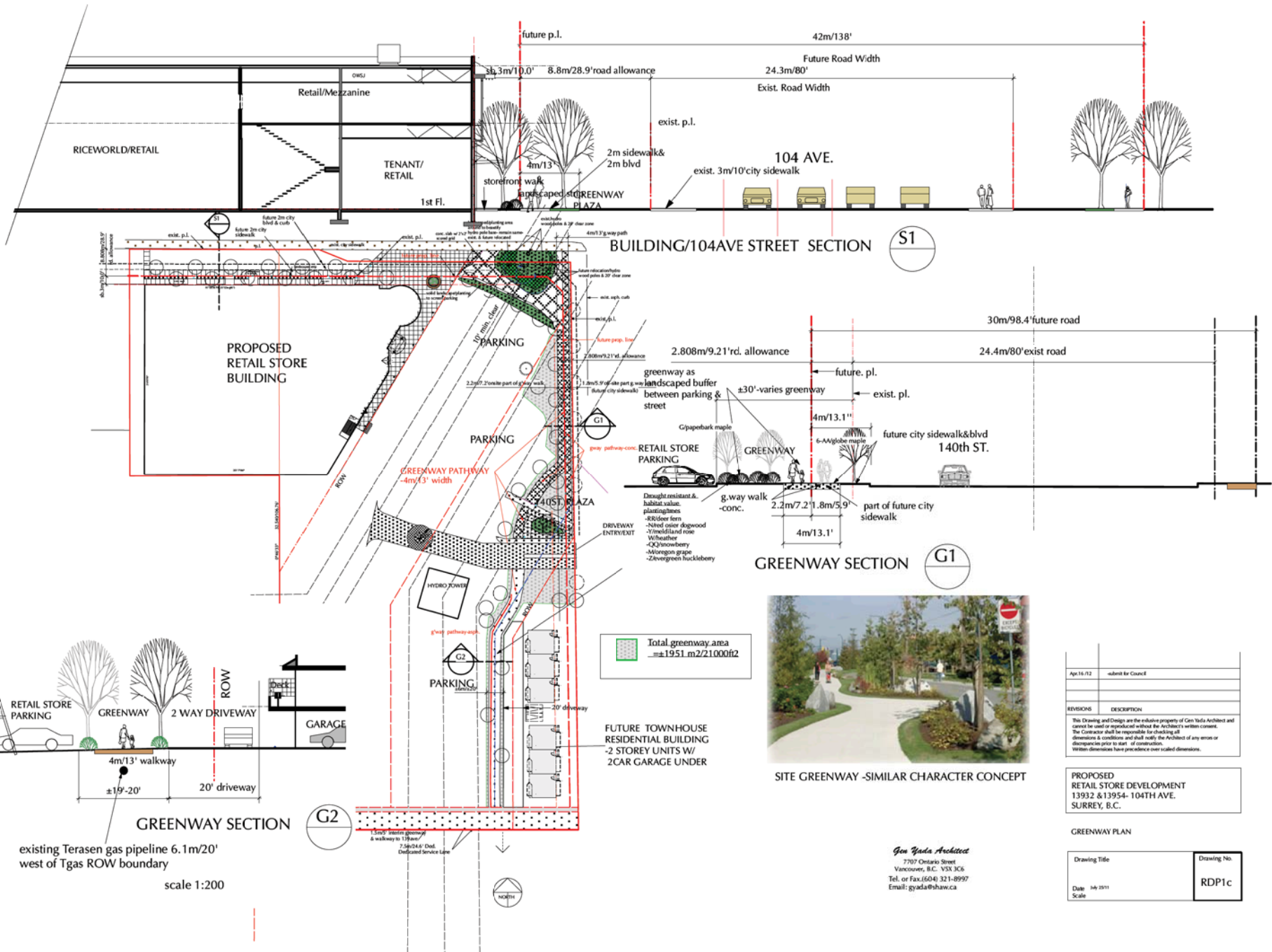
**PROPOSED RETAIL STORE DEVELOPMENT**  
 13932 & 13954- 104TH AVE.  
 SURREY, B.C.

**SITE DRAINAGE & SURFACE MATERIAL FINISH PLAN**

Drawing Title	Drawing No.
Date	RDP1b
Scale	

*Gen Yada Architect*  
 7707 Ontario Street  
 Vancouver, B.C. V5X 3C6  
 Tel. or Fax: (604) 321-8997  
 Email: gyada@shaw.ca





Total greenway area  
= 1951 m<sup>2</sup> / 21000 ft<sup>2</sup>



SITE GREENWAY -SIMILAR CHARACTER CONCEPT

Apr.16/12	submit for Council
REVISIONS	
DESCRIPTION	

This Drawing and Design are the exclusive property of Gen Yoda Architect and cannot be used or reproduced without the Architect's written consent. The Contractor shall be responsible for checking all dimensions & conditions and shall notify the Architect of any errors or discrepancies prior to start of construction. Written dimensions have precedence over scaled dimensions.

PROPOSED  
RETAIL STORE DEVELOPMENT  
13932 & 13954- 104TH AVE.  
SURREY, B.C.

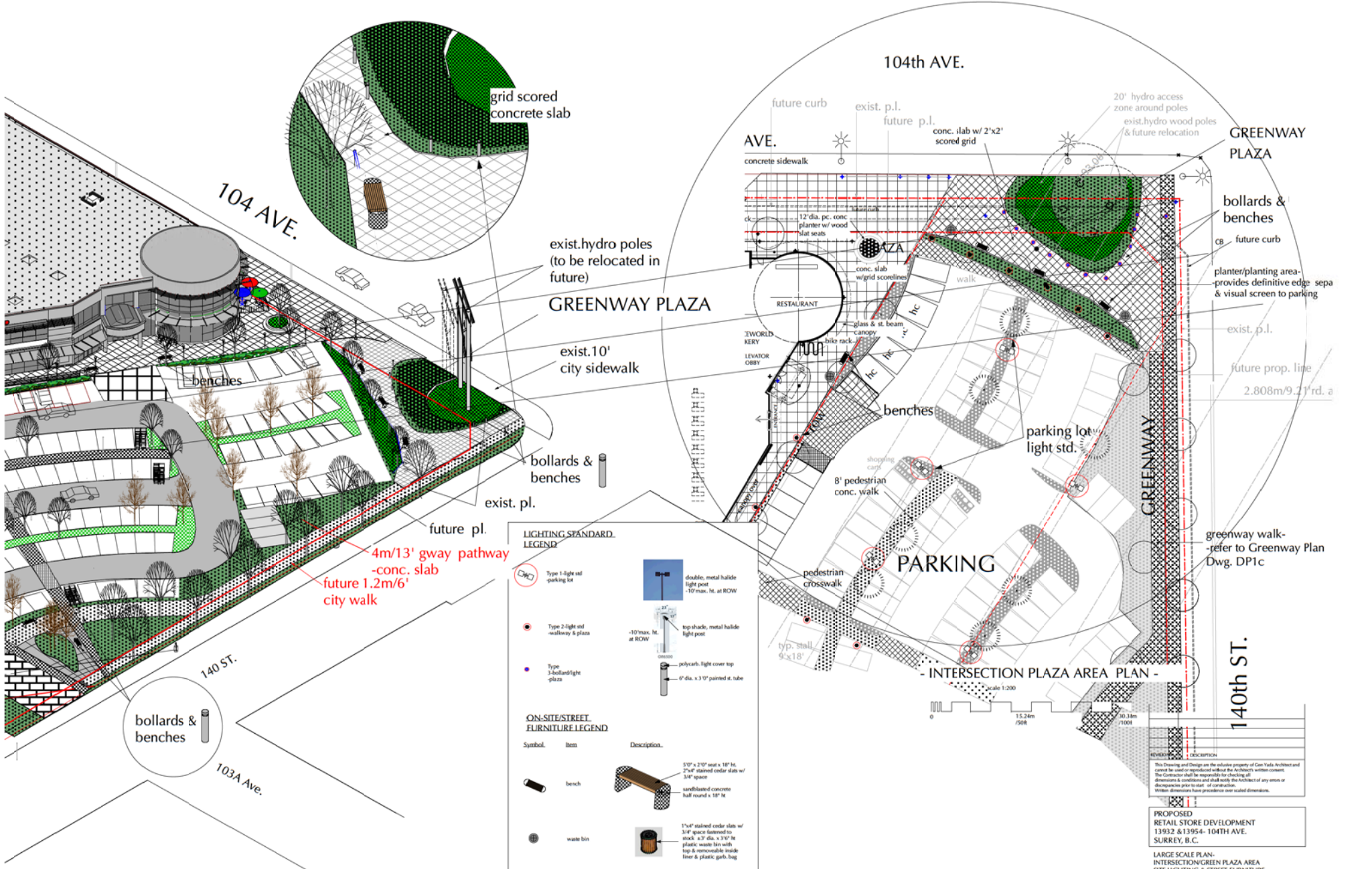
GREENWAY PLAN	
Drawing Title	Drawing No.
Date: July 2011 Scale	RDP1c

Gen Yoda Architect  
7707 Ontario Street  
Vancouver, B.C. V5X 3C6  
Tel. or Fax: (604) 321-8997  
Email: gyada@shaw.ca

existing Terasen gas pipeline 6.1m/20'  
west of Tgas ROW boundary  
scale 1:200







**LIGHTING STANDARD LEGEND**

	Type 1-light std parking lot		double, metal halide light post -10' max. ht. at ROW
	Type 2-light std walkway & plaza		top shade, metal halide light post
	Type 3-bollards/light plaza		polycarb. light cover top 6" dia. x 3' 0" painted st. tube

**ON-SITE/STREET FURNITURE LEGEND**

Symbol	Item	Description
	bench	5'0" x 2'0" seat x 18" ht. 2"x4" stained cedar slats w/ 3/4" space sandblasted concrete half round x 18" ht.
	waste bin	1"x4" stained cedar slats w/ 3/4" space fastened to stock x 3' dia. x 3' ht. plastic waste bin with top & removable inside liner & plastic garbage bag
	bike rack	2" dia. 11 ga. steel tubing slab powder coated finish

INTERSECTION PLAZA AREA PLAN -  
Scale 1:200

**REVISIONS**

NO.	DATE	DESCRIPTION

**PROPOSED RETAIL STORE DEVELOPMENT**  
13952 & 13954-104TH AVE.  
SURREY, B.C.

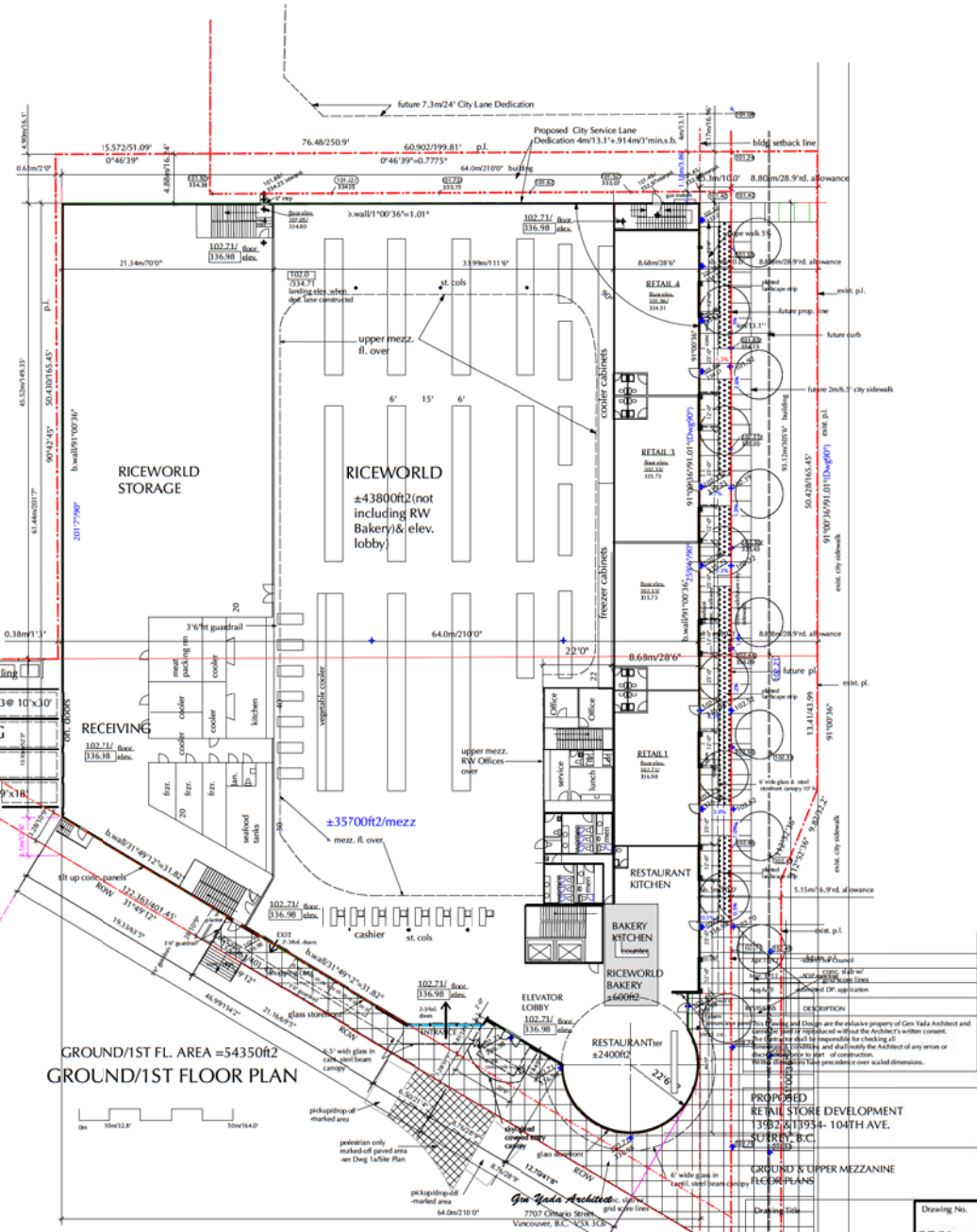
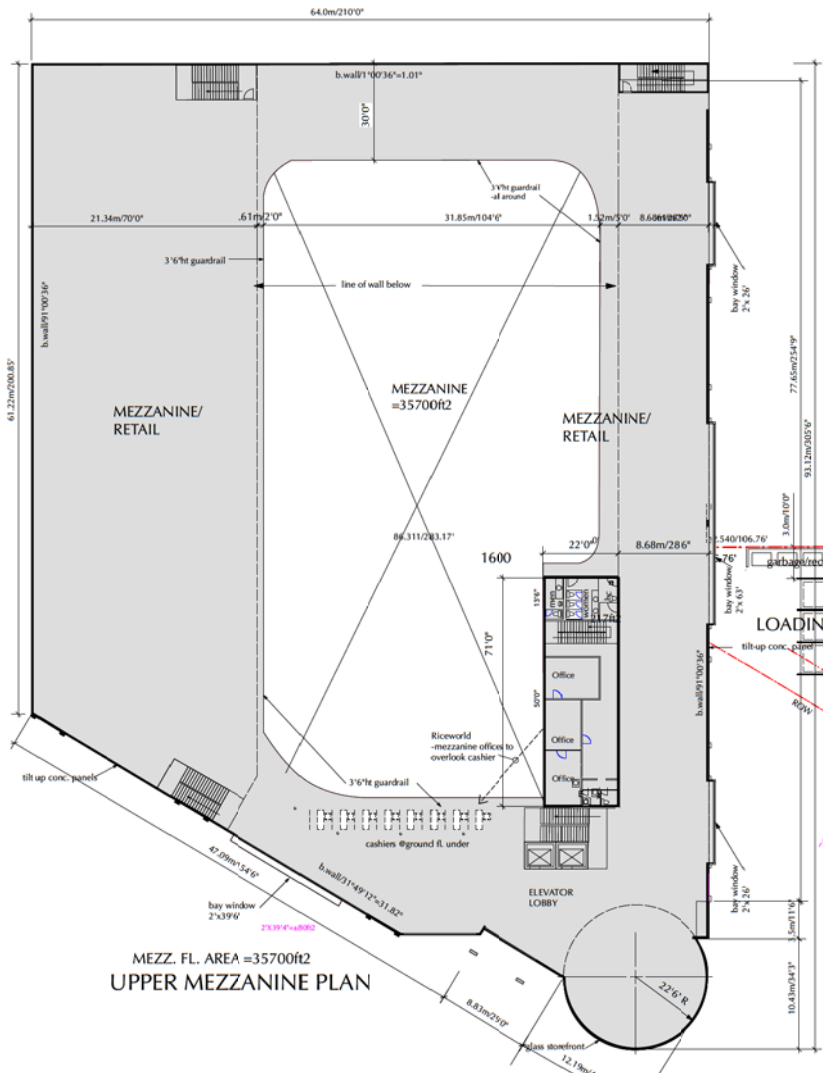
**LARGE SCALE PLAN:**  
INTERSECTION GREEN PLAZA AREA  
SITE LIGHTING & STREET FURNITURE

Drawing Title: Drawing No. RDP1d2

Date: Sep 15/11  
Scale:  

*Gen Yada Architect*  
7707 Ontario Street  
Vancouver, B.C. V6K 3G6  
Tel. or Fax: (604) 321-8997  
Email: gyada@shaw.ca





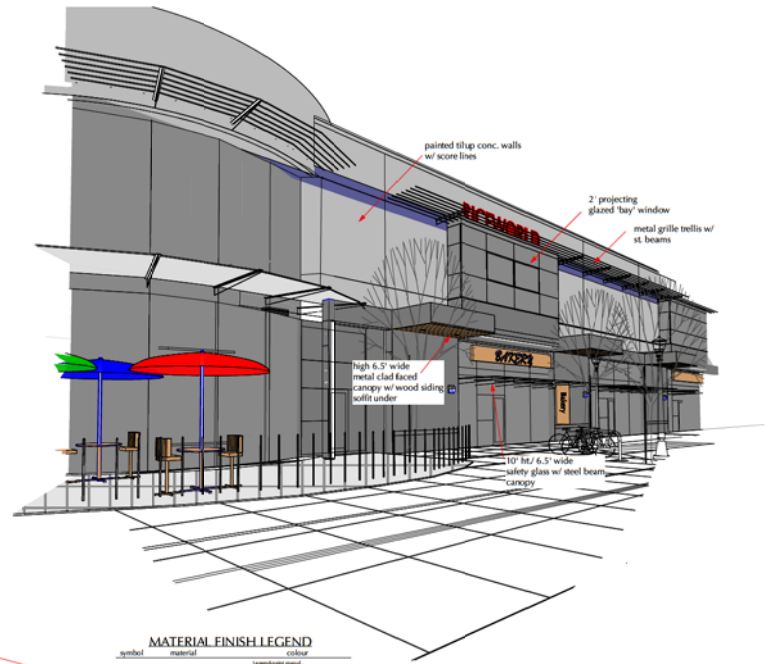
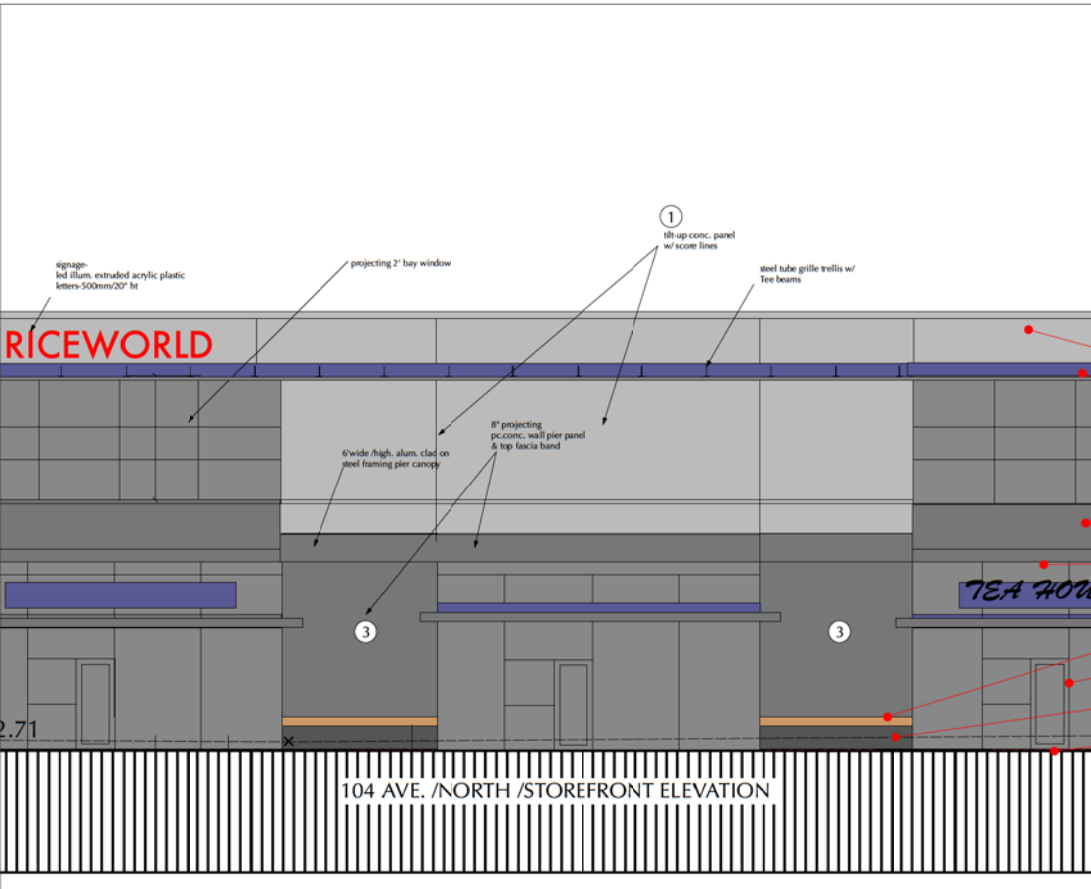
**PROPOSED RETAIL STORE DEVELOPMENT**  
1382-81954-104TH AVE.  
SURREY, B.C.

**GROUND & UPPER MEZZANINE FLOOR PLANS**

**Gen Yada Architects**  
7707 Conago Street  
Vancouver, B.C. V6P 3K8  
Tel. or Fax: (604) 321-3900  
Email: gyada@shaw.ca

Drawing No. **RDP2a**





**MATERIAL FINISH LEGEND**

symbol	material	colour
1	tilt-up conc. pane- upper fl.	light grey -1304 4814
2	upper trellis fa in hand painted conc.	accent blue -1290 Histon
3	tilt-up conc. panel lower fl.	gunmetal grey
4	alum. clad storefront fascia canopy, bay window spandrel panel	gunmetal grey
5	glass & steel canopy: cant. steel beams,trellis & stylight beams	natural aluminium
6	1x4" clear cedar siding on cedar 2" x 4" studs/stair - cedar colour	Benjamin Moore -coco transparent exterior stain - cedar colour
7	storefront alum. w/ double glazing	natural anodized alum. fluoropolymer double glazed sealed units
8	storefront wall: base	natural granite -darkbase
9	concrete walkslab	natural exposed concrete 3"x3" grid trowelled joint

TYPICAL COLOUR MATERIAL FINISH

REVISIONS	DESCRIPTION
Mar/11	submitted for Advisory Design Permit
Aug. 6/10	submitted for DFP & Rezoning Application

This Drawing and Design are the exclusive property of Gen Yada Architect and cannot be used or reproduced without the Architect's written consent. The Contractor shall be responsible for checking all dimensions & conditions and shall notify the Architect of any errors or discrepancies prior to start of construction. Written dimensions have precedence over scaled dimensions.

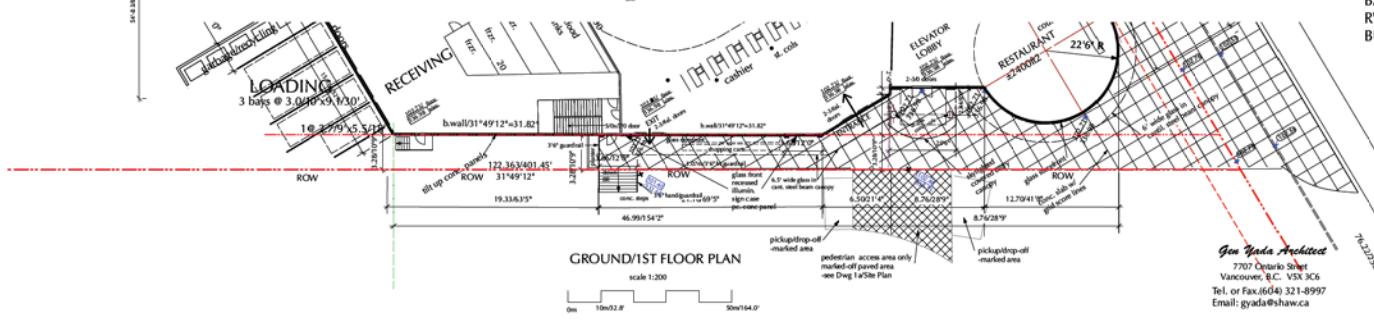
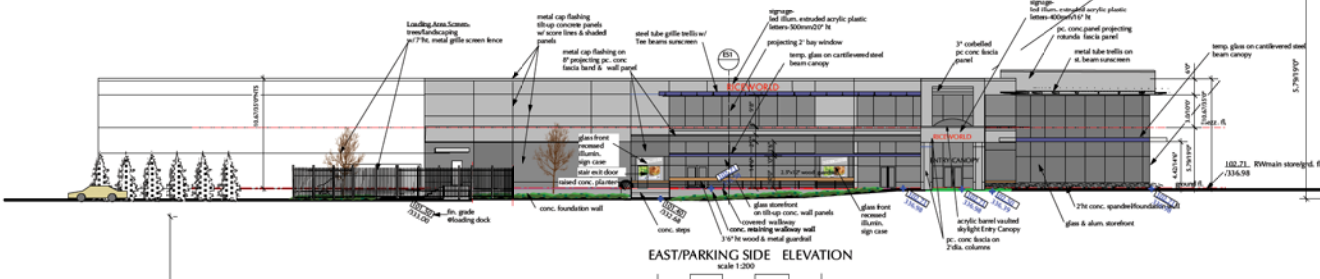
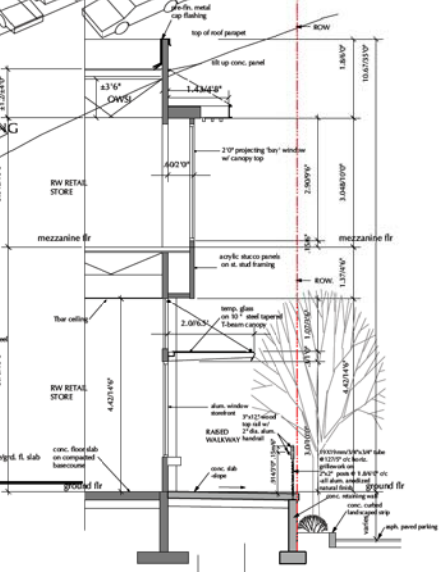
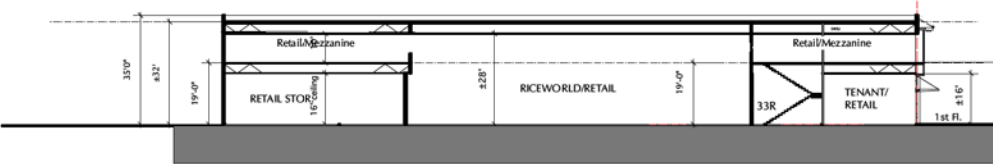
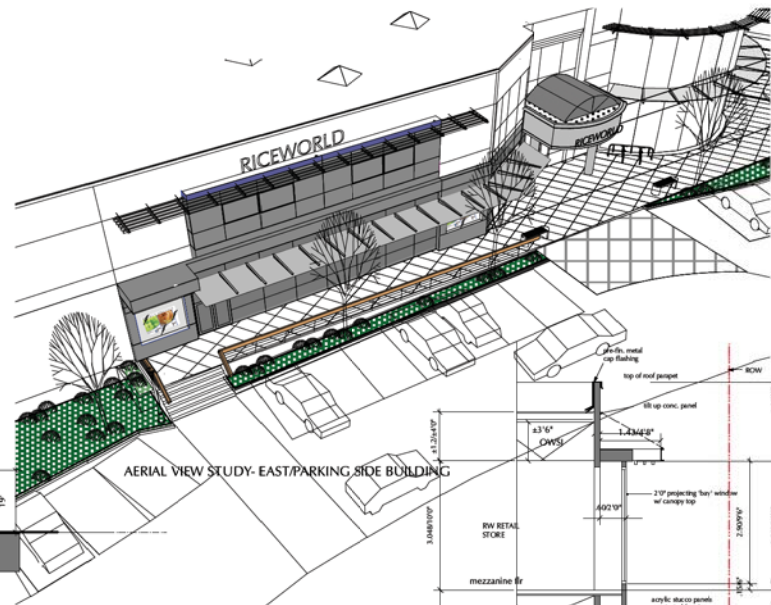
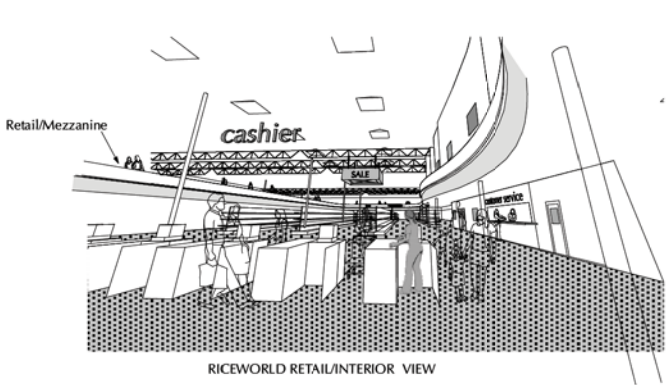
**PROPOSED RETAIL STORE DEVELOPMENT**  
 13932 & 13954- 104TH AVE.  
 SURREY, B.C.

COLOUR MATERIAL FINISH  
 -NORTH/104 ST. ELEVATION

*Gen Yada Architect*  
 7107 Ontario Street  
 Vancouver, B.C. V5X 3C6  
 Tel. or Fax: (604) 321-8997  
 Email: gyada@shaw.ca

Drawing Title	Drawing No.
Date Aug. 5/10	RDP3a2
Scale	





NO.	DESCRIPTION
1	THIS DRAWING AND DESIGN ARE THE EXCLUSIVE PROPERTY OF GEN YODA ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS & CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS OR DISCREPANCIES PRIOR TO START OF CONSTRUCTION. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS.

PROPOSED  
RETAIL STORE DEVELOPMENT  
13932 & 13954-104TH AVE.  
SURREY, B.C.

EAST/PARKING SIDE ELEVATION

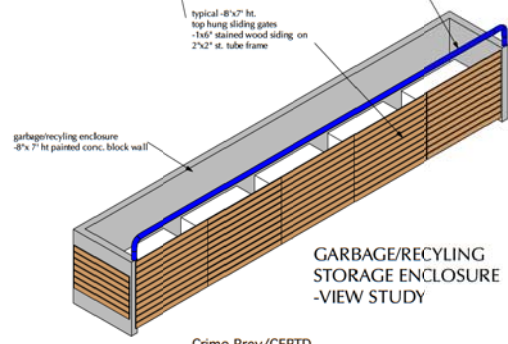
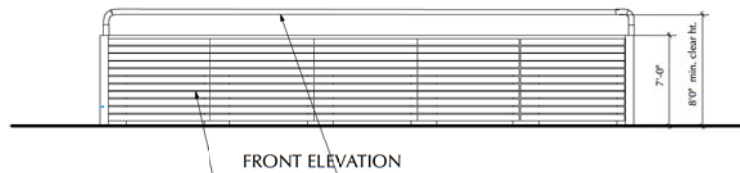
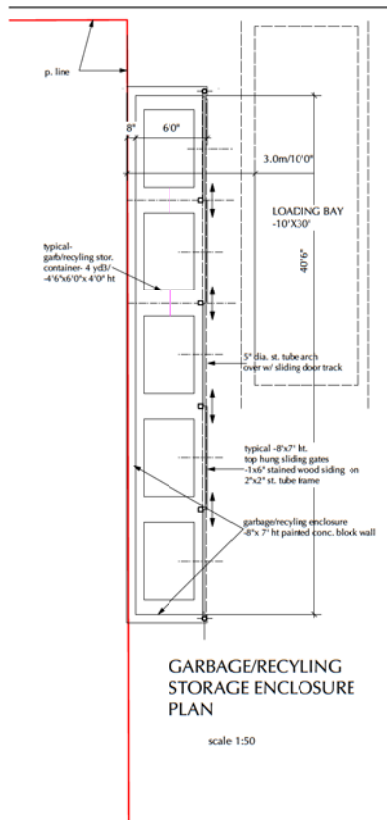
Drawing Title: RDP3b

Drawing No. RDP3b

Date: Aug 1/10  
Scale:

Gen Yoda Architect  
7707 Ontario Street  
Vancouver, B.C. V5X 3C5  
Tel. or Fax: (604) 321-8997  
Email: gyada@shaw.ca





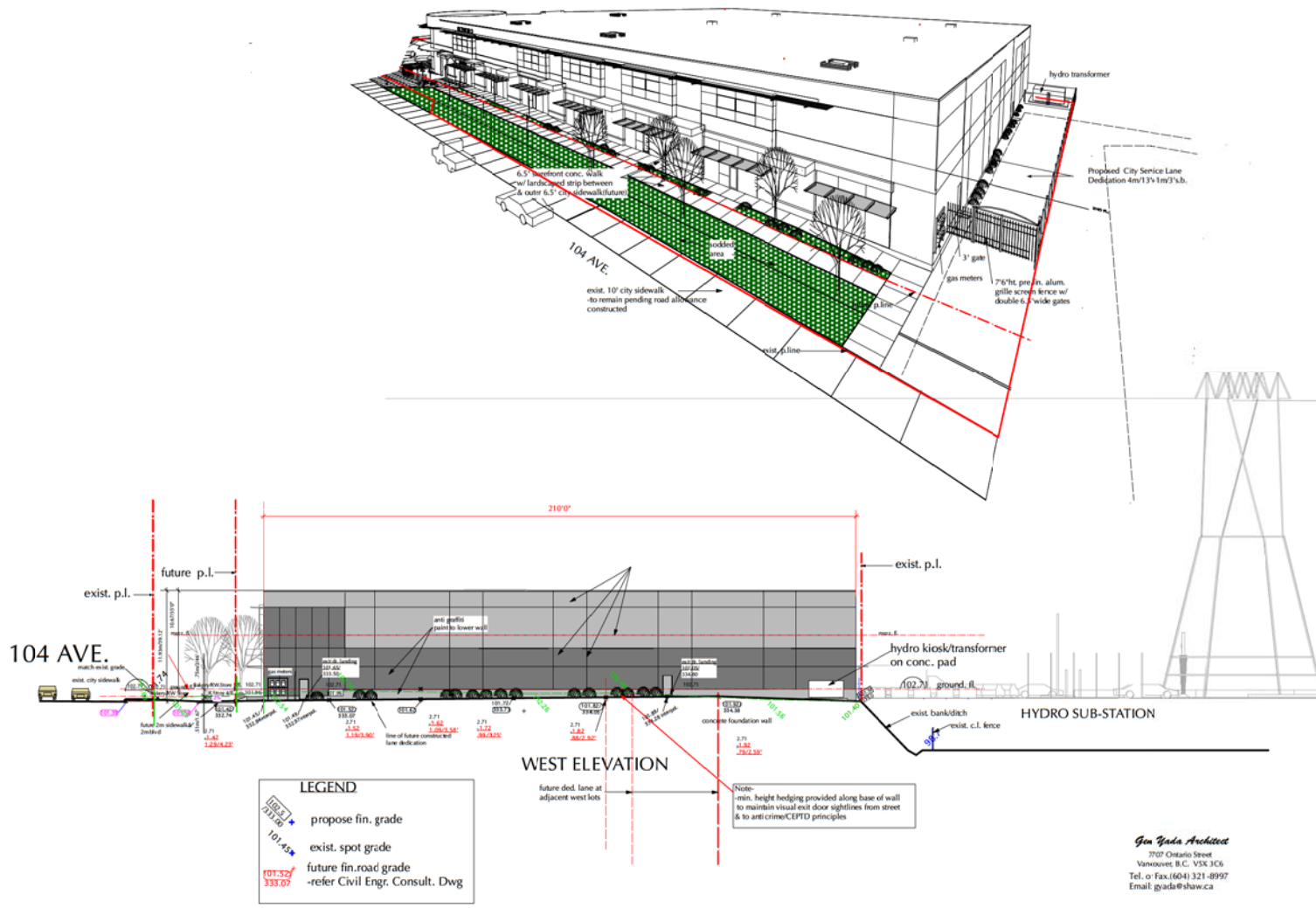
Crime Prev./CEPTD.  
LOADING / GARBAGE-  
-enclosed/screened garbage/recycling  
container  
-provide security lighting

*Gen Yada Architect*  
7707 Ontario Street  
Vancouver, B.C. V5X 3C6  
Tel. or Fax: (604) 321-8997  
Email: gyada@shaw.ca

REVISIONS	DESCRIPTION

PROPOSED  
RETAIL STORE DEVELOPMENT  
13932 & 13954- 104TH AVE.  
SURREY, B.C.

GARBAGE ENCLOSURE	
Drawing Title	Drawing No.
Date Aug 5/10	DP3c2
Scale	



Apr 14/12	submit for Council
Mar. 17/11	-ADP meeting
REVISIONS: DESCRIPTION	
This Drawing and Design are the exclusive property of Gen Yada Architects and cannot be used or reproduced without the Architect's written consent. The Contractor shall be responsible for checking all dimensions & conditions and shall notify the Architect of any error or discrepancy prior to start of construction. Written dimensions have precedence over scaled dimensions.	

PROPOSED  
RETAIL STORE DEVELOPMENT  
13932 & 13954- 104TH AVE.  
SURREY, B.C.

WEST ELEVATION	
Drawing Title	Drawing No.
Date: 14/1/12 Scale:	RDP3d

LEGEND	
	propose fin. grade
	exist. spot grade
	future fin.road grade
	-refer Civil Engr. Consult. Dwg

**WEST ELEVATION**

future ded. lane at adjacent west lots

Note: min. height hedging provided along base of wall to maintain visual exit door sightlines from street & to anti-crime/CPTED principles

*Gen Yada Architects*  
7707 Ontario Street  
Vancouver, B.C. V5X 3C6  
Tel. or Fax: (604) 321-8997  
Email: gada@show.ca



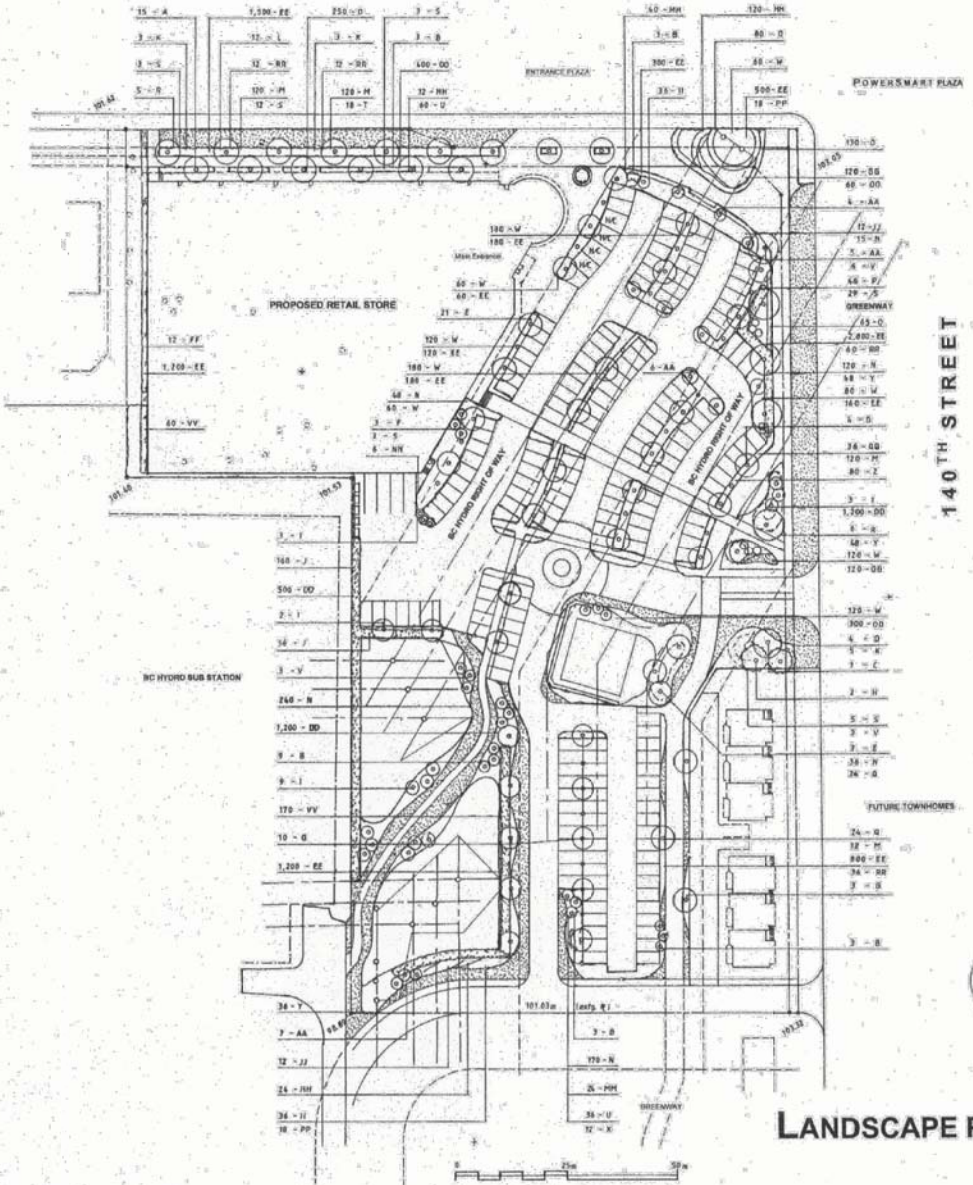
# 104<sup>TH</sup> AVENUE

PLANT LIST For 104 AVE & 140 ST, SURREY, B.C.

Qty	Size	Botanical Name/Common Name	Plant Description
<b>TOTAL 50 REPLACEMENT TREES</b>			
15	AA	<i>Asar platensis</i> Globe Amaranth	1.0m cal. S&B
4	BB	<i>Corylus heterophylla</i> European Hazel	7.0m cal. S&B
21	R	<i>Asar parsonsii</i> var. <i>red</i> Red Amaranth	#7 pot
1	C	<i>Asar rufum</i> Morgan Morgan Red Maple	2.0m N. S&B
4	BB	<i>Asar rufum</i> Morgan Morgan Red Maple	2.0m N. S&B
24	F	<i>Cornus kousa</i> Chinese Dogwood	2.0m N. S&B
3	F	<i>Magnolia x soulangiana</i> Lenox Magnolia	2.0m N. S&B
17	F	<i>Asar glaberrimum</i> Maple	5.0m cal. S&B
2	H	<i>Sequoia sempervirens</i> Redwood	3.0m N. S&B
17	J	<i>Asar glaberrimum</i> Maple	2.0m cal. S&B
228	J	<i>Thuja occidentalis</i> Emerald Cedar	1.0m N. S&B
<b>Shrub</b>			
11	R	<i>Fatsia japonica</i> Saxifrage	#2 pot
12	L	<i>Polygonum orientale</i> Knotweed	#2 pot
172	M	<i>Muhlenbergia tenuiflora</i> Low Oregon Grass	#2 pot
38	GG	<i>Syntherismastrum</i> Grass	#2 pot
120	RR	<i>Stachys spicata</i> Deer Fern	#2 pot
828	N	<i>Cornus alternifolia</i> Red-osier Dogwood	#2 pot
525	CC	<i>Salix microcarpa</i> Red Willow	#1 pot
48	P	<i>Eucalyptus nitens</i> Wattle	#1 pot
48	D	<i>Philadelphus</i> Javelin Dogwood	#2 pot
17	LL	<i>Cottula nigra</i> Rose	#1 pot
25	S	<i>Ceanothus impressus</i> Victoria Cedonius	#5 pot
18	T	<i>Hydrangea serrata</i> Bluebell Hydrangea	#2 pot
16	U	<i>Larix laricina</i> Prince of Wales Fir	#2 pot
12	V	<i>Magdalenia salicina</i> Magnolia	#1 pot
190	W	<i>Erica carnea</i> H. E. Heath	#2 pot
12	X	<i>Physocarpus opulifolius</i> Russian Birch	#2 pot
132	Z	<i>Rosa Michauxii</i> Scaberrima Rose	#2 pot
80	YY	<i>Vaccinium oxycoccos</i> Huckleberry	#2 pot
230	YY	<i>Vaccinium oxycoccos</i> Huckleberry	#2 pot
<b>Ornamentals, Vines, Perennials, &amp; Grasses</b>			
2,800	DD	<i>Andropogon scoparius</i> Jack Rabbit Grass	1000 pot
8,800	EE	<i>Stachys trifida</i>	1000 pot
13	FF	<i>Parthenocissus vitacea</i> var. <i>velutina</i> Ivy	#2 pot, white
248	GG	<i>Thymus serpyllifolius</i> Mother of Thyme	1000 pot
186	HH	<i>Penstemon glaucoflavus</i> Penstemon	#1 pot
72	I	<i>Impatiens cylindrica</i> Subfossil Grass	#2 pot
12	JJ	<i>Papaver orientale</i> Oriental Poppy	#2 pot
24	KK	<i>Schizanthus litoralis</i> Chilean Bell	#2 pot
8	NN	<i>Clematis Blue Rainier</i> Clematis	#5 pot, white
780	DD	<i>Alga repens</i> Striptease	#1 pot
80	PP	<i>Crocus</i> Lavender	#2 pot

Note:  
1.2. All landscaping and plant material shall be in accordance with BC/LA/BC/LA Standards.

- GENERAL NOTES:**
- Retaining Walls:** All retaining walls shall be approved by GEOTECH & STRUCTURAL ENGINEER. Refer to ARCHITECTURAL for layout & grading and retaining walls. Contractor shall ensure positive drainage behind all retaining walls and throughout the site.
  - Planting Details:** All raised planters and planting areas on slab shall be provided with Floor Drains. Refer to MECHANICAL for all drain locations. Contractor shall ensure positive drainage for all planting areas.
  - Area Drains:** All courtyards and walkway and patio areas shall be provided with Area Drains. Refer to MECHANICAL for all drain locations. Contractor shall ensure positive drainage for all paving areas.
  - Automatic Irrigation System:** All planting and lawn areas shall be provided with an automatic irrigation system. Provide PVC piping below walkway and driveway paving as required for irrigation system. Ensure good coverage for all planting and lawn areas. Contractor shall be responsible for irrigation design and construction and provision of as built irrigation plan following completion of the work.
  - Landscape Lighting:** Landscape lighting locations and power source shall be approved by ELECTRICAL. Contractor shall supply and install recessed wall mounted spot lights, ground mounted, directional UP LIGHTING FOR TREES, & FEATURE ACCENT LIGHTING as approved by Consultant.
  - BC/LA/BC/LA Standards:** All landscaping and plant material shall be in accordance with BC/LA/BC/LA Standards, current edition.
  - Minimum retention medium depths:**
    - Lawn - 10" (250mm)
    - Shrub - 18" (450mm)
    - Trees - 12" (300mm)
    - (at base of root ball)
  - REFER TO LANDSCAPE SPECIFICATIONS.**



# LANDSCAPE PLAN

**LEGEND**

- Existing Trees & Plants to be Preserved
- Existing Trees & Plants to be Removed
- Proposed Planting
- Soaked Lane
- Impervious Concrete Paving
- Precast Concrete Paving
- Utility Screen Fence
- Spotting Height Marker
- Landscape DURING

**REM YARD ARCHITECTURE**  
770 Columbia Street, Vancouver, BC, Canada  
604.271.8987    604.271.8987

**ERITH KOROLUK, LANDSCAPE ARCHITECT**  
4-1117 West 75<sup>th</sup> Avenue, Vancouver, B.C., Canada  
V6E 1V2  
MORLA 894.738.9951    MORLA

City of Surrey, 10 April 2010  
Client Review: 10 April 2010  
Design Review: 10 April 2010  
1,860,215  
NO SUBSEQUENT CHANGES

**PROPOSED RETAIL STORE**  
**104th AVENUE**  
**140th STREET**  
SURREY, B.C.

**LANDSCAPE PLAN**  
3046    31-588  
13661    12/26/2015  
**L1.01**



## INTER-OFFICE MEMO

---

TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Acting Development Services Manager, Engineering Department**

DATE: **April 30, 2012** PROJECT FILE: **7810-0193-00**

---

RE: **Engineering Requirements Commercial  
Location: 13932 104 Ave**

**OCP AMENDMENT**

There are no engineering requirements relative to the OCP Amendment.

**REZONE/SUBDIVISION*****Property and Right-of-Way Requirements***

- dedicate 8.808 meters tapering to 5.150 meters on 104<sup>th</sup> Avenue
- dedicate 2.808 meters on 140<sup>th</sup> Street including a 5 meter x 5 meter corner cut at the intersection of 104<sup>th</sup> Avenue and 140<sup>th</sup> Street (address hydro pole relocation)
- dedicate as road (without compensation), Road Dedication Bylaw Filing A24465 for 104<sup>th</sup> Avenue and 140<sup>th</sup> Street
- dedicate approximately 7.5 metres of road widening for 103 Avenue including a 5 metre x 5 metre corner cut at the intersection of 103 Avenue and 140 Street
- dedicate half of a commercial lane (4.0 metres wide) along the western property line of the site, south of 104 Avenue

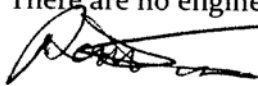
***Works and Services***

- construct the west side of 140 Street to full urban City Center Standards and the south boulevard of 104 Avenue to City Centre Standards
- construct a half road to full urban standards on 103 Avenue and provide cash-in-lieu for the future commercial half lane construction
- construct on-site drainage mitigation works and required frontage works on 103 Avenue
- construct fronting water mains on 104 Avenue and 103 Avenue

A Servicing Agreement is required prior to Rezone/Subdivision.

**DEVELOPMENT PERMIT**

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.  
Development Services Manager

RWB

NOTE: Detailed Land Development Engineering Review available on file



**Robert (Bobby) Malach, P. Eng.**  
 Senior Program Manager  
 Transmission Projects & Programs  
 Phone: 604.699.9027  
 E-mail: [Robert.Malach@bchydro.com](mailto:Robert.Malach@bchydro.com)

April 12, 2012

Assignment: 1019463  
 File: 140 BCE Pt. 1, 2223 BCE,  
 414-1602.0(X39)  
 Circuit/Str.: 2L022 / 22-05  
 Your File: 011612FVT2L022

Bill Tong  
 China Cereals & Oils Corporation  
 Email: [powelltrading@yahoo.ca](mailto:powelltrading@yahoo.ca)

Dear Mr. Tong:

**Proposal: Proposed Relocation of Structure 22-05 of Line 2L022 to Support Commercial Development**  
**Location: SW Corner of 104th Avenue and 140 Street, Surrey, B.C.**  
**Drawing: Drawing No.: RDP1a - May10/11**

BC Hydro has no objection in principle to your proposal.

The proposed work will be covered under a standard Third Party Agreement between BC Hydro and China Cereals & Oils Corporation.

BC Hydro will confirm the agreement once two signed copies of a Third Party Agreement with the Fee, in the form of a cheque are received.

Based on the provided drawing, BC Hydro intends to install a new structure in place of structure 22-05 on 2L022 transmission line approximately 10 meters to the southwest. This is due to a future development near the intersection of 104th Ave. and 140th St. where the City of Surrey intends to expand the right turning lane of the east bound lane of 104th Ave.

The design of the new structure and the line modification will comply with all applicable BC Hydro design and construction standards, as well as with all applicable codes.

Work on the right of way may not commence until we have given final approval.

Please call Robert (Bobby) Malach at 604-699-9027, FAX 604-699-9080, if you have any questions.

Yours truly,



Robert (Bobby) Malach, P. Eng.  
Senior Program Manager  
Transmission Projects & Programs

Attachment

c: Drawing No.: RDP1a - May10/11

## **CONDITIONS FOR ALL COMPATIBLE USES OF BC HYDRO RIGHTS OF WAY**

1. This consent applies to BC Hydro interests only. You must also obtain permits and consents from all other parties (landowners, regulators, etc.) with an interest or jurisdiction and comply with any applicable laws and regulations.
2. These requirements are to be read together with and do not diminish BC Hydro's Statutory Right of Way Agreement registered on the land.
3. BC Hydro shall not be responsible for any damage, interference or hindrance to your activities, equipment or Proposal arising out of BC Hydro's activities anywhere on the right of way. You will indemnify BC Hydro, its agents, employees and contractors against any liability, action, damage, cost or loss to property or persons resulting from any activity or any occurrence on the right of way caused by you or those for whom you are responsible at law. This indemnity will survive the expiry or termination of this consent and any other agreement entered into pursuant to this consent.
4. No part of the Proposal may be enlarged, moved, or added to without the prior written consent of BC Hydro. Uses or installations other than those contemplated in this consent require additional written consent from BC Hydro.
5. BC Hydro can terminate its consent if your employees, agents or contractors fail to comply with these requirements.
6. You understand that minor levels of electrical induction may be experienced due to the proximity of electrical lines and will not hold BC Hydro responsible.
7. The following are not permitted in the right of way:
  - log decking
  - blasting
  - burning
  - stock piling of excavated, building or other material
  - building or portions of buildings, including foundations and eaves
  - storage or handling of flammable or explosive material
  - fueling of vehicles and equipment
8. BC Hydro must be able to access the right of way at all times. Interruption of your activities and operations may be necessary for electrical line maintenance or construction.
9. Other than those specifically approved in this letter, there must be no changes in ground elevations of more than 0.5 metres from the original grade without the prior written consent of BC Hydro.
10. There must be no deterioration of drainage patterns or soil stability within the right of way.
11. Upon completion of the Proposal, the right of way must be restored as closely as is practically possible to the original condition or better at your expense.
12. Landscaping within the right of way must be restricted to low-growing trees, shrubs and plants not exceeding 3.0 metres in height at maturity. BC Hydro, its agents and contractors reserve the right to remove tall growing trees from underneath and adjacent the transmission lines from time to time to assure line security and public safety.
13. Any metal fences more than 60 metres long in the right of way must be grounded at both ends and at intervals of 60 metres.
14. Uses or installations other than this proposal require additional written consent from BC Hydro.
15. Additional requirements may be necessary upon review of your final detailed plans.

**PLEASE DO NOT COMMENCE WORK UNTIL WE GIVE FINAL APPROVAL**

CITY OF SURREY

BY-LAW NO. \_\_\_\_\_

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended  
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

- (a) FROM: DOWNTOWN COMMERCIAL ZONE (C-35)  
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

---

Parcel Identifier: 011-126-361  
Lot 2 Except: Firstly: Part Subdivided by Plan 23047 Secondly: Part Red on Plan with Bylaw Filed A24465, Section 26 Block 5 North Range 2 West New Westminster District Plan 5210

13932 - 104 Avenue

- (b) FROM: DOWNTOWN COMMERCIAL ZONE (C-35) AND SINGLE FAMILY RESIDENTIAL ZONE (RF)  
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

---

Portion of Parcel Identifier: 011-126-345  
Lot 1 Except: Part Shown on Plan with Bylaw Filed A24465, Section 26 Block 5 North Range 2 West New Westminister District Plan 5210, shown as Block A, on the Survey Plan attached hereto and forming part of this By-law as Schedule A, certified correct by Gary Sundvick, B.C.L.S. on the 17<sup>th</sup> day of April, 2012

Portion of 13954 - 104 Avenue

(hereinafter both 1.(a) and (b) shall be referred to as the "Lands")

2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of community shopping centres servicing a community of several neighbourhoods.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Retail stores* excluding the following:
  - (a) *Adult entertainment stores*; and
  - (b) *Secondhand stores* and *pawnshops*.
2. *Personal services uses* excluding body rub parlours.
3. *General service uses* excluding funeral parlours and *drive-through* banks.
4. *Beverage container return centres* provided that:
  - (a) The use is confined to an enclosed *building* or a part of an enclosed *building*; and
  - (b) The *beverage container return centre* does not exceed a *gross floor area* of 418 square metres (4,500 sq.ft.).
5. *Eating establishments* excluding *drive-through restaurants*.
6. *Neighbourhood pubs*.
7. *Liquor store*, permitted only in conjunction with a "liquor primary" licensed establishment, with a valid license issued under the regulations to the Liquor Control and Licensing Act, R.S.B.C. 1996, chapter 267, s.84, as amended.
8. Office uses excluding the following:
  - (a) *Social escort services*; and
  - (b) *Methadone clinics*.
9. *Indoor recreation facilities*.
10. *Entertainment uses* excluding *arcades* and *adult entertainment stores*.
11. *Assembly halls*.

12. *Community services.*
13. *Child care centres.*
14. One *dwelling unit* per *lot* provided that the *dwelling unit* is:
  - (a) Contained within the *principal building*; and
  - (b) Occupied by the owner or the owner's employee, for the protection of the businesses permitted on the *lot*.

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

The *floor area ratio* shall not exceed 1.6.

**E. Lot Coverage**

The *lot coverage* shall not exceed 95%.

**F. Yards and Setbacks**

*Buildings* and *structures* shall be sited in accordance with the following minimum *setbacks*:

<b>Use</b>	<b>Setback</b>	<i>Front Yard</i> (104 Ave)	<i>Rear Yard</i> (South)	<i>Side Yard</i> (West)	<i>Side Yard on Flanking Street</i> (140 Street)
<i>Principal and Accessory Buildings and Structures</i>		3 m	7.5 m*	0.9 m	7.5 m

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

\* The *rear yard setback* may be reduced to 0.0 metre if the *rear yard* adjoins a *lot* other than a *residential lot*.

**G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings: The *building height* shall not exceed 12 metres [40 feet].
2. Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [15 feet].

#### H. Off-Street Parking

1. Notwithstanding Table C.2, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No.12000, as amended, a minimum of 178 *parking spaces* shall be provided.
2. *Tandem parking* may be permitted for company fleet vehicles.

#### I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.
5. Open display or storage shall be completely screened to a height of at least 2.5 metres (8 ft.) by *buildings* and/or solid decorative fence and/or substantial *landscaping* strips of not less than 1.5 metres [5 ft.] in width. No display or storage of material shall be piled up to a height of 2.5 metres [8 ft.] within 5 metres [16 ft.] of the said screens and in no case shall these materials be piled up to the height of more than 3.5 metres [11.5 ft.].

#### J. Special Regulations

1. Garbage containers and *passive recycling containers* shall not be located within any required *setback* adjacent any *residential lot*.
2. The outdoor storage or display of any goods, materials or supplies is specifically prohibited, notwithstanding any other provision in this By-law.
3. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.



4. Land and *structures* shall be used for the uses permitted in this Zone only if such uses do not emit noise in excess of 70 dB(A) measured at any point on any boundary of the *lot* on which the use is located, provided that where a *lot* abuts a *lot* other than an *industrial lot* the noise level shall not exceed 60 dB(A).

**K. Subdivision**

*Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
6,650 sq. m. [1.6 acre]	76 m [249 ft.]	190 m [623 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

**L. Other Regulations**

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the C-8 Zone, as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.

8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2012, No. 17539, as may be amended or replaced from time to time, and the development cost charges shall be based on the C-8 Zone.
  9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
  10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
  11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
  12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, Chapter 267, as amended.
3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

READ A FIRST AND SECOND TIME on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

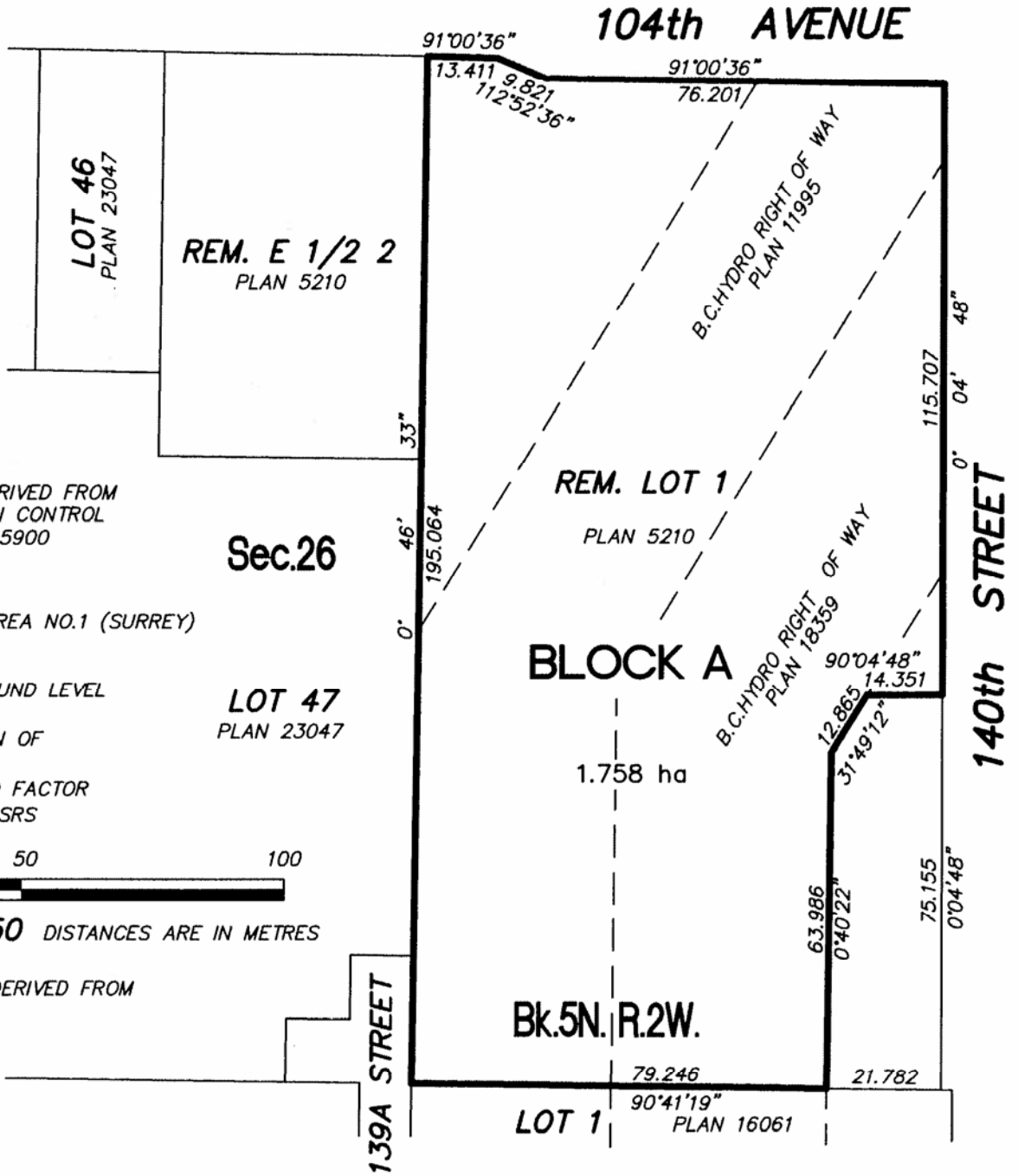
READ A THIRD TIME ON THE \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW No: \_\_\_\_\_  
 OF PART OF LOT 1 EXCEPT: PART SHOWN ON PLAN WITH BYLAW FILED A24465  
 SECTION 26 BLOCK 5 NORTH RANGE 2 WEST  
 NEW WESTMINSTER DISTRICT PLAN 5210**



**LEGEND**

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN CONTROL MONUMENTS 5211 AND 5900

ha DENOTES HECTARES

INTEGRATED SURVEY AREA NO.1 (SURREY) NAD83(CSRS)

THIS PLAN SHOWS GROUND LEVEL MEASURED DISTANCES. PRIOR TO COMPUTATION OF U.T.M. CO-ORDINATES MULTIPLY BY COMBINED FACTOR 0.99958875 (NAD83) CSRS

0 50 100

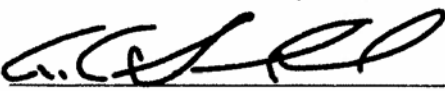


**SCALE 1 : 1250** DISTANCES ARE IN METRES

NOTE:  
LOT DIMENSIONS ARE DERIVED FROM FIELD SURVEY

TABLE OF AREA	PID No:	BLOCK A
PART LOT 1 PLAN 5210	011-126-345	1.758 ha

CERTIFIED CORRECT  
THIS 17th DAY OF APRIL, 2012.

  
GARY SUNDVICK B.C.L.S.

**BUTLER SUNDVICK**  
4 - 19089 94th Ave  
Surrey, BC V4N 3S4  
www.butlersundvick.ca  
Tel. 604-513-9611

File: 3865  
Dwg: 3865-Z1 Rev1

### TREE PRESERVATION SUMMARY

Surrey Project No.: 7910-0193-00  
 Project Location: 13932 & 13954 104 Ave, Surrey BC  
 Registered Arborist: Lesley Gifford, B.App Sc.  
ISA Certified Arborist (PN5432A)  
Certified Tree Risk Assessor (56)  
BC Parks Wildlife and Danger Tree Assessor

Detailed Assessment of the existing trees of an Arborist's Report is submitted on file. The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment of the Subject Site: Site contains various mature native and non-native tree species. Specimen trees and one protected species; Arbutus was identified on site. 22 trees were inventoried none of which can be retained with the current proposed plans.

2. Summary of Proposed Tree Removal and Placement:

The summary will be available before final adoption.


Number of Protected Trees Identified	<u>22</u>	(A)
Number of Protected Trees declared high risk due to natural causes	<u>0</u>	(B)
Number of Protected Trees to be removed	<u>22</u>	(C)
Number of Protected Trees to be Retained (A-B-C)	<u>0</u>	(D)
Number of Replacement Trees Required (C-B) x 2	<u>41</u>	(E)
Number of Replacement Trees Proposed	<u>50</u>	(F)
Number of Replacement Trees in Deficit (E-F)	<u>0</u>	(G)
Total Number of Protected and Replacement Trees on Site (D+F)	<u>50</u>	(H)
Number of Lots Proposed in the Project	<u>2</u>	(I)
Average Number of Trees per Lot (H / I)	<u>25</u>	

3. Tree Survey and Preservation / Replacement Plan

Tree Survey and Preservation / Replacement Plan is attached

This plan will be available before final adoption

Summary prepared and  
submitted by:

  
 \_\_\_\_\_  
 Arborist

April 13, 2012

\_\_\_\_\_

Date



# Advisory Design Panel Minutes

Parks Boardroom #1  
City Hall  
14245 - 56 Avenue  
Surrey, B.C.  
THURSDAY, MARCH 17, 2011  
Time: 4:02 p.m.

**Chair:**

L. Mickelson

**Panel Members:**

T. Ankenman  
N. Baldwin  
B. Bentley  
R. Bernstein  
N. Couttie  
W. Francl  
S. Lyon  
J. Makepeace  
R. Myers

**Guests:**

Jordan Levine, Omicron  
Pat Campbell, DMG Landscape Architects  
Joe Minton, JM Architecture Inc.  
Jenny Liu, JHL Design Group Inc.  
Gen Yada  
Keith Koroluk Landscape Architect  
Alan Chang  
Tim Ankenman, Ankenman Marchand Architects  
Jim Cox  
Ken Killam

**Staff Present:**

T. Ainscough, Planning & Development  
H. Bello, Planning & Development  
J. Hunter, Legislative Services  
M. B. Rondeau, Planning & Development

## C. SUBMISSIONS

- |    |                       |  |
|----|-----------------------|--|
| 3. | File No.:             | 7910-0193  |
|    | New or Resubmit:      | New  |
|    | Description:          | Commercial retail development                    |
|    | Address:              | 13932 & 13954 104 Ave., City Centre              |
|    | Developer:            | Bill Tong, China Cereals & Oils Corp.            |
|    | Architect:            | Gen Yada Architect                               |
|    | Landscape Architect:  | Keith Koroluk Landscape Architect, Keith Koroluk |
|    | Planner:              | Pat Lau  |
|    | Urban Design Planner: | Mary Beth Rondeau                                |

The Urban Design Planner provided background information and an overview of the project and highlighted the following:

- The subject property is a challenging site with lots of utility corridors on it
- Influences on the site include the adjacent future residential townhouse development, the hydro right of way transiting the property, and the greenway demonstration project being developed by the Parks Department
- Lower section will be developed over the long term as greenway
- The use to the west is a very old development, a small mini mall with little commercial buildings – the City has received an application for a hotel and there is the potential for a development permit application for a grocery store
- 104 is a major transit corridor, targeted for rapid bus, it is a very prominent street
- Staff acknowledges it is a challenging site but wonder whether it is up to what it could be

The Project Architect presented an overview of the site plan and elevations and highlighted the following:



- The site is very challenging and has sat unused for a very long time
- The property owner is a very experienced grocery retailer and has a similar retail store in Richmond
- There is a negative reputation about these types of sites with high tension wires. An EMF study was conducted by a consultant and they are lower than standard. The higher wires are 89 ft above grade and lower ones 35 ft above so we've had to scoop out where lower ones are and regrade the site
- The property is on a very prominent street which has a lot of traffic for potential customers

The Landscape Architect reviewed the landscape plans and highlighted the following:

- The parking area is located within the existing BC Hydro right-of-way
- There are strict height allowances for trees
- Parking spaces provided exceed the required number
- The parking lot landscaping includes paving treatment to demarcate a safe pedestrian access route to the retail store main entrance
- The parking lot landscaping includes permeable paving

#### **ADVISORY DESIGN PANEL STATEMENT OF REVIEW**

**13932 & 13954 104 Ave., City Centre**

**File No. 7910-0193**

It was Moved by T. Ankenman

Seconded by N. Baldwin

That the Advisory Design Panel (ADP)

recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department and, at the discretion of Planning staff, resubmit the project to the ADP for review.

Carried

#### **STATEMENT OF REVIEW COMMENTS**

##### **Context and Site Planning**

- Presentation is marginal in clarity and detail for a major retail store.
- The building is located in the only place it could be.
- Confusion of wires and angles on site.
- Nicest parts are southern natural curves etc and would like to see those infect the north e.g. parking spots should be simply curved rather than angled and introduce softness - the only positive on the site is greenery and softness

*The parking layout has been revised to reflect a slightly curving alignment.*

- Dividing up into CRUs is a way to break down the scale of 104 and make it

more of a pedestrian streetscape

*The proposed CRUs have been reoriented to front onto 104 Avenue and are separated into four separate units and will offer separate entries onto 104 Avenue and will offer weather protection in the form of glass and steel canopies.*

- Site is so out of place nobody logically would build townhouses there.
- Given the constraints of the site the design is well thought out.
- Loading bay for tractor trailer looks a bit tight so long as it works.

*The loading bay size and access is sized for small cube vans and smaller delivery vehicles.*

- Mish mash of poles and wires is a challenge.
- Parking lot smooth out by following natural curves.

*The parking layout has been revised to follow a slightly curved alignment.*

#### **Pedestrian Circulation**

- Angling of parking stalls has created pinch points on pedestrian sidewalks. Open up these points with landings to give visual clues of circulation. More generous width would define walkways.

*See response below.*

- The pedestrian circulation related to the angling of the parking areas could be improved – recommend sacrificing a few parking spaces to make it a bit more generous for a main pedestrian route through the lot perhaps wider on the walkway.

*A 1.8-metre (6 ft.) wide walkway has been added with a corner plaza at 104 Avenue and 140 Street. The walkway radially aligns with the proposed building's raised walkway, new curved parking layout and the proposed corner plaza.*

#### **Form and Character**

- Clarify if the building is to be modern or historic first and apply concept consistently.

*The proposed design of the building is contemporary in nature.*

- Appreciate the CRUs on 104<sup>th</sup>.
- Needs a better main entry expression.
- Lose the Palladian entry.

*The Palladian entry has been deleted in lieu of a modern corbelled design.*

- Rotunda should break the parapet line of the rest of the building.

*A raised rotunda parapet has been proposed to be higher than the main building.*

- Good green walls on the north face.

*Although a good idea, there were a number of concerns raised about the irrigation and maintenance of the green walls. The previous proposed green walls have been revised to a wood slat feature, which has been supported by Planning and Development Department staff.*

- No cornice.

*The cornice feature was deleted.*

- Bits of green wall on 104<sup>th</sup> feel too isolated and a bit applied as bits and pieces - perhaps better to go with one larger section.

*The previously proposed green wall has been deleted to a wood slat wall feature, with the support of Planning and Development Department staff.*

- Quite like the rotunda - may want to come up higher and go above roofline and celebrate it a bit more.

*The rotunda parapet has been raised.*

- Cornice and heavy stucco doesn't feel right, go with more modern approach.

*The previously proposed cornice has been removed.*

- More consideration of sun and louver windows.

*Sun louvers and trellis have been proposed over bay windows.*

- More green walls.

*The green wall concept has been deleted from the design.*

- Rationalize the parking geometry in the plan to give it a calmer feel.

- Reduce the angles – go for a sweep.

- Parking / landscaping should be a gentle wave rather than following the angle of the Hydro right of way and tower – challenge the site condition.

*The parking layout has been revised slightly to a curved alignment.*

- Building should be a more modern design (no cornice, no Palladian, arched windows).

*The building design has been revised.*

- Don't know much about character of bldg from drawings, it looks grey, ultramodern green wall but underneath funny thing, no marking of store entry, don't mind it being a simple box or having a flat facade, but don't understand it.
- The building is confused – the applicant has done a great job of breaking down the scale on 104, but on the building should break down the 2<sup>nd</sup> floor which would do a lot for the facade, bring them out a foot or so to give them some shadow.
- This is an appropriate way to handle a corner, but should have a big curved louver for sun protection and more dramatic gesture.

*A higher trellis and sunscreen have been added.*

- Treat that whole facade as you have on 104<sup>th</sup> facade.
- Palladian gesture at the entrance is the wrong form for this building - should be very simplified or make equally as grand a statement without such a tired piece of architecture.

*The Palladian feature has been deleted.*

### **Landscaping**

- Details required for trees planted in permeable parking areas – require for protection from cars.

*These details will be required to be included in the final landscape plan.*

- Generally more details required for landscape plan.

*More detailed landscape plans will be submitted for review.*

- South half with sinuous curves very successful. Attempt to soften and the north parking lots.

*The site plan has been revised to reflect a more curved parking layout.*

- Don't stop the street trees on 104 at the entry.

*Street trees are proposed along 104 Avenue.*

- Like the quality of the landscape plan.
- Question the double row of street trees and viability if they are on street side, maybe better on 104<sup>th</sup>.

*Double row of street trees are proposed along 104 Avenue.*

#### **CPTED**

- Historical crime trends in this area are quite low.
- Typically property related and opportunistic.
- Drive by and development of this land will contribute to reducing opportunities for criminal activity (hydro lines, blackberry bushes, hiding spots, squatting / camping).
- Clean and open design concept = promotion of positive use by patrons and others.
- RCMP district commander was not aware of this project, but is familiar with this corner location. Again very supportive of the proposal.

#### **Accessibility**

- Recommend increasing disabled parking space from 2 – 4 – not necessarily close to the entrance.

*Disabled parking has been increased from 2 to 4 stalls.*

- Elevator buttons to code.  
*This will be noted on the Building Permit plans.*

- Power doors to entrance.

*This will be noted on the final Development Permit plans.*

- Recommend pathways be a minimum of 6 feet wide. Revised pathway be as natural as possible.

*The proposed pathways have been revised to a 1.8 metre (6 ft.) width.*

- Public washrooms be accessible.

*Accessible washrooms to be provided.*

- Pedestrian walkways need to be defined better especially for those in wheelchairs or walkers – need to be at least 6 ft wide.

*The proposed pathways have been revised to a 1.8 metre (6 ft.) width.*

- The path area already defined by residents should be made as natural as possible, asphalt may not be the way to go, so long as it is wheelchair accessible.

- Increase disabled parking to at least 4 spots.

*Disabled parking has been increased to 4 stalls.*

- Power door at entrance, appreciate that you do have an elevator to 2<sup>nd</sup> level.

*This will be shown on the final Development Plan plans.*

### **Sustainability**

- Only minor attention to sustainability discussed in landscaping and outside.

*The site parking area will incorporate stormwater features such as permeable paving, with slope drainage to landscape areas.*

- Should mention improving sustainability features inside the building on building face.

*The building heating/ventilation, plumbing and lighting electrical systems will incorporate sustainable, energy saving systems.*

- Consider refrigeration heat recovery.

*See above response.*

- Add more solar shading to exterior south and south-west glazing.

*Solar shading above the windows and trellis, have been provided as per the latest design.*

- Efficient refrigeration equipment.

*See response above.*

- Conservation of water –fixtures and irrigation.

*See response above.*

- There is no reference about sustainability features - this store is a big energy user, recommend heat recovery, something to reduce energy use.

*See response above.*

- Some shading on south side.

*See response above.*



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7910-0193-00

Issued To: CHINA CEREALS & OILS CORPORATION, INC. NO. 0127598  
("the Owner")

Address of Owner: 126 Gore Avenue  
Vancouver, BC V6A 2Y9

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-126-345  
Lot 1 Except: Part Shown on Plan with Bylaw Filed A24465, Section 26 Block 5 North  
Range 2 West New Westminster District Plan 5210

13954-104 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

---

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) to reduce the lot depth of the RF Zone from 28 metres (90 ft.) to 21 metres (69 ft.).

5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20   .  
ISSUED THIS      DAY OF      , 20   .

---

Mayor – Dianne L. Watts

---

City Clerk – Jane Sullivan

# SCHEDULE A

**\*\*Ann. 25/12**  
Development Information:

Site: #13932 104 Ave  
#13934 104 Ave  
#13935 104 Ave

\*3149 9m2/4113R2= .95A  
\*3149 9m2/4113R2= .95A  
\*3149 9m2/4113R2= .95A

-less Residential Lot #subdiv @ 1408.1 - \*\*1568.2m2/16880R2= .388A  
-less Board Allowances:  
-104 Ave &  
-140 St  
-Retail Store Site

\*\*1568.2m2/16880R2= .388A  
\*\*1568.2m2/16880R2= .388A  
\*\*1568.2m2/16880R2= .388A

-less Hydro ROW #14036.3 m2/151090.41R2  
-less Deed James  
-South Line #678.1m2/7300R2.1756m .5514 → 722.95/720R2

**Net/FSR Retail Store Site = 5330.6m2/5737R2**

\*Notes: site area as obtained from topo, survey plan  
Existing Reasoning to CD  
Permitted CR FAR 0.8

Proposed Building  
-large single floor Asian food store building as  
& 2nd storey mezzanine Reworkworld retail

Building floor areas:  
-1st Ctr Fl - 5049.1 m2/54350R2  
-Mezzanine Fl - 3316.6m2/35300R2  
-Main Bldg/Total - 8365.6m2/90050R2

Site Coverage:  
-Proposed CR 50%  
-Proposed Main Building Grd Fl 5057.94m2/54445R2  
-Proposed Site Cox. 5057.94m2/54445R2 ✓ **5330.6m2/5737R2 = 95.5%**

Yard & Setbacks  
-from all lot lines  
-7.5m/25' > relaxation to  
-104 Ave - 9' min.  
-South substation pl. - 9' min.  
-West ded. line

Required:  
-Restaurant @ #2400R2/10107'6"  
-Retail @ .8995/5.2400 - #7559R2/5.027'6"  
-less C Centre reduction #21568.2/26m43.  
-Total required - #178 Total  
-Proposed DP = 30.72/19449.48 = 1.78 Total  
-compact cars - permitted .25% x 181 req'd = 45 Total  
-proposed DP = 2166.4/23.337 = 93

-Total compact provided = 38 total

Loading:  
-Required - 4  
-provided - 4

Apr 15/12  
Apr 15/12  
Apr 15/12  
Apr 15/12  
Apr 15/12

REVISIONS  
This Drawing and Design are the exclusive property of Gens. Vada Architects and the Contractor shall be responsible for checking all dimensions and elevations prior to start of construction. Architect of any error or omission. Vertical dimensions have precedence over scaled dimensions.

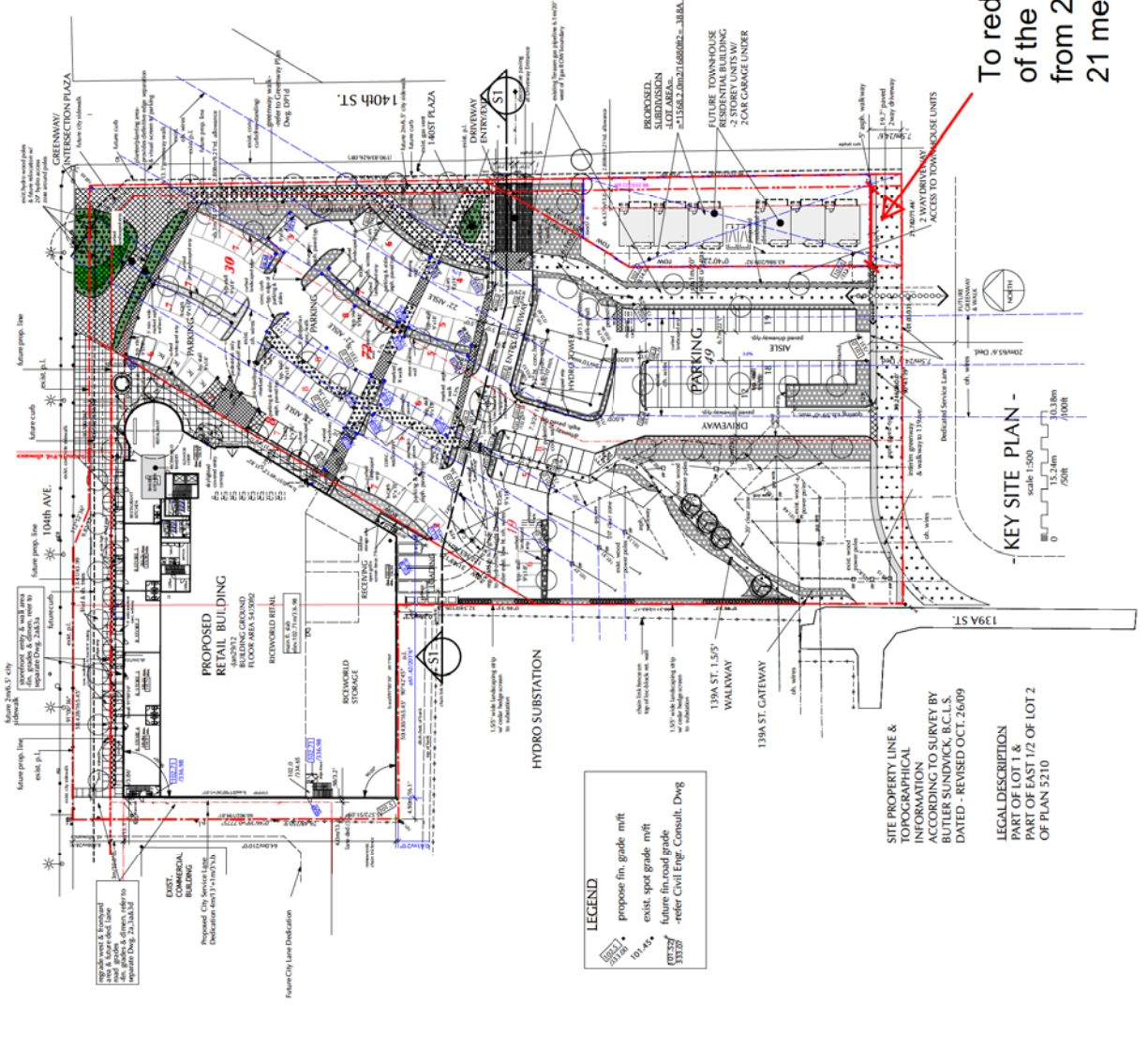
PROPOSED  
RETAIL STORE DEVELOPMENT  
13932 & 13954- 104TH AVE.  
SURREY, B.C.

KEY SITE PLAN

Drawing No.  
RDPIA

Date  
Scale

Gens. Vada Architects  
7070 Central Street  
Vancouver, B.C. V3K 3C5  
Tel. or Fax: (604) 321-8997  
Email: gvada@shaw.ca



To reduce lot depth  
of the RF Zone  
from 28 metres to  
21 metres.

KEY SITE PLAN -  
scale 1:500  
15.24m  
750R  
30.48m  
1500R

SITE PROPERTY LINE &  
TOPOGRAPHICAL  
INFORMATION  
ACCORDING TO SURVEY BY  
BUTLER SUNDWICK, B.C.L.S.  
DATED - REVISED OCT. 26/09

LEGAL DESCRIPTION  
PART OF LOT 1 &  
PART OF EAST 1/2 OF LOT 2  
OF PLAN 5210

LEGEND  
proposed fin. grade m/ft  
101.45'  
exist. spot grade m/ft  
future fin. road grade  
072.29'  
refer Civil Engr. Consult. Dwg