

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7910-0249-00

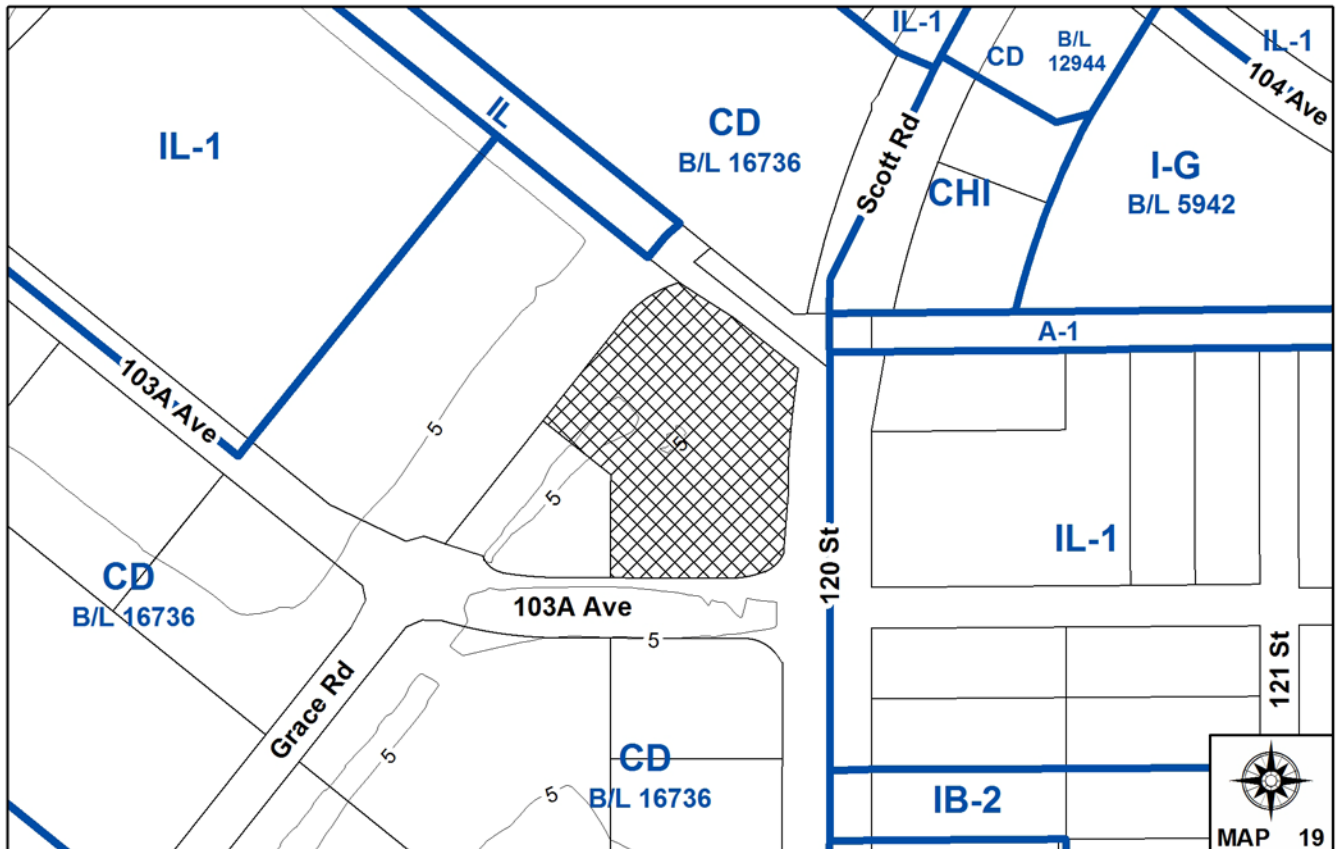
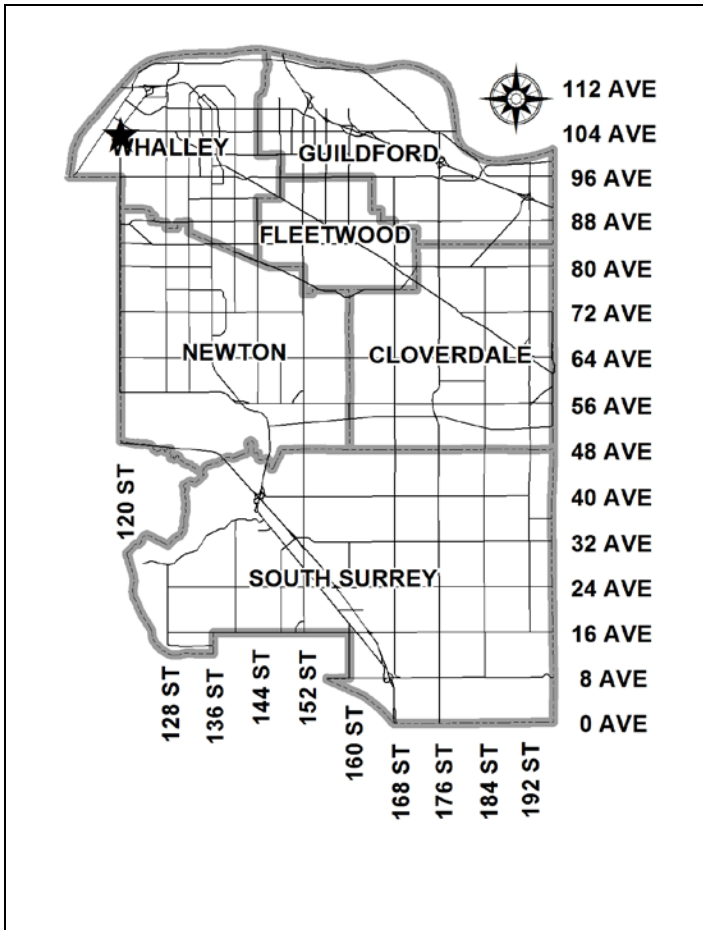
Planning Report Date: December 13, 2010

PROPOSAL:

- Amend CD By-law No. 16736
- Development Permit
- Development Variance Permit

in order to increase the maximum allowable commercial floor area per individual business and to permit the development of 3 single storey commercial buildings and 1 commercial/industrial building.

LOCATION: 10377 - 120 Street
OWNER: Pacific Link Industrial Park Ltd., Inc. No. 605005
ZONING: CD (By-law No. 16736)
OCP DESIGNATION: Industrial
NCP DESIGNATION: Light Impact Industrial



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Amending CD By-law No. 16736.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The proposed commercial/industrial building exceeds the maximum gross floor area (743 square metres/8,000 sq.ft.) allowed for each individual business in the CD Zone (By-law No. 16736).

RATIONALE OF RECOMMENDATION

- A tenant has been secured for the largest proposed building. As a result, this project may spur other development in South Westminster.
- A similar Development Permit was approved previously on the site under Application Nos. 7908-0069-00/01.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend Comprehensive Development By-law No. 16736 and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7910-0249-00 in accordance with the attached drawings (Appendix II).
3. Council approve Development Variance Permit No. 7910-0249-00, (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to vary Surrey Sign By-law, 1999, No. 13656, to increase the number of fascia signs from 3 to 7 on Building A from 3 to 9 on Building B from 3 to 8 on Building C and from 1 to 3 on Building D;
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the City Landscape Architect;
 - (d) finalization of the Master Plan originally considered under General Development Permit No. 7907-0221-00, to the satisfaction of the Planning and Development Department.
5. Council pass a resolution to amend the South Westminster NCP on a portion of the previous application site from Business Park and Light Impact Industrial to Highway Commercial to comply with current zoning.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

Ministry of Transportation & Infrastructure (MOTI): No objection to the proposed development.

SITE CHARACTERISTICS

Existing Land Use: Vacant commercial lot.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North:	Vacant industrial lot.	Light Impact/Business Park and Parks & Open Space	CD (By-law No. 16736)
East (Across 120 Street):	Vacant industrial lot, contractor company office and yard.	Light Impact/Business Park	IL-1
South (Across 103A Avenue):	Vacant lot.	Business Park (to be amended to Highway Commercial)	CD (By-law No. 16736)
South-West:	Vacant lot.	Light Impact Industrial (to be amended to Highway Commercial)	CD (By-law No. 16736)
West:	Vacant industrial lot.	Light Impact Industrial	CD (By-law No. 16736)

DEVELOPMENT CONSIDERATIONSBackground

- The subject 1.37-hectare (3.39-acre) site is located at the northwest corner of the 120th Street and 103A Avenue intersection. It is designated Industrial in the Official Community Plan (OCP), designated Light Impact Industrial in the South Westminster Neighbourhood Concept Plan (NCP) and is currently zoned Comprehensive Development (By-law No. 16736).
- The site is owned by Pacific Link Industrial Park Ltd. (Wesgroup). The site is part of a 23-hectare (56 ac) area that was rezoned in 2008 under Application No. 7907-0221-00 to Comprehensive Development Zone (CD By-law No. 16736) to permit development of a mixed-use business park with supporting commercial uses, called PacificLink.
- The application also included a General Development Permit to provide an overall master plan and design guidelines for the larger area and an amendment to the South Westminster Neighbourhood Concept Plan (NCP) for a 3.3-hectare (8.1 ac) portion of the site from Business Park and Light Impact Industrial to Highway Commercial.
- The Master Plan (General Development Permit) provides guidelines for the following: Architectural Treatment; Site Development (e.g. vehicular circulation); Landscape Development; Stormwater Management; Landscape Maintenance; and Specific Guidelines for Individual Blocks, including signage.

- The General Development Permit and NCP Amendment were not finalized with the previous application and will be completed as part of the subject application. The General Development Permit approval was delayed at the request of the applicant to meet tenant obligations at the time. Finalization of the NCP Amendment was an oversight and will be addressed as part of this application.
- A separate application for a Development Permit specific to the subject site was considered concurrently with the aforementioned rezoning under application Nos. 7908-0069-00/01. The approved Development Permit allows for three buildings with a fourth shown schematically.
- Block 'A' of CD By-law No. 16736, which regulates the subject property, does not allow an individual business to have a gross floor area that exceeds 743 square metres (8,000 sq.ft.).

Current Proposal

- The application proposes an amendment to Comprehensive Development Zone (By-law No. 16736) to increase the maximum allowable gross floor area from 743 square metres (8,000 sq. ft.) to 1,858 square metres (20,000 sq. ft.) for one business within Block 'A' and a Development Permit to facilitate the development of 3 single storey commercial buildings and 1 commercial/industrial building.
- The applicant is also requesting a Development Variance Permit to vary the requirements of the Sign By-law to allow for an increase of 17 fascia signs.
- The overall development has a floor area of 3,077.31 square metres (33,124 sq. ft.), which represents a net Floor Area Ratio (FAR) of 0.23. This is within the maximum 1.0 FAR permitted under the CD Zone (By-law No. 16736).
- The application proposes 137 parking spaces, which exceeds the Zoning By-law requirement of 111 spaces.

Proposed CD By-law Amendment

- The application proposes one commercial/industrial building with a gross floor area of 1,858 square metres (20,000 sq. ft.) within Block 'A' of CD By-law No. 16736. Block 'A' currently does not allow an individual business to have a gross floor area that exceeds 743 square metres (8,000 sq. ft.).
- The applicant, Wesgroup currently has an executed lease agreement with a retail user that requires 20,000 square feet for the retail of new automotive parts. This tenant, Lordco, will operate as a major distributor of new automotive parts with extended retail business hours including evening and weekend service. These business hours compliment the applicant's CPTED strategy by bringing activity to this area during typical industrial non-business hours. This tenant will also serve as the anchor tenant within the designated "Block A" service oriented retail area and will attract smaller retail businesses to PacificLink. The retail component will not only service the employees within PacificLink but also employees and residents in the surrounding area as these amenities do not currently exist.

- Lordco requires a significant amount of warehouse space (929 square metres (10,000 sq.ft.)). By itself, the retail component of Building D would be approximately 186 square metres (2,000 sq. ft.) larger than what is currently permitted in the zone.
- The applicant also proposes to increase the maximum building height within Block 'A' of CD By-law No. 16736 from 9.0 metres (30 ft.) to 11.0 metres (36 ft.).
- The increased building height applies to Building D only. All other buildings will be less than 9.0 metres (30 ft.) in height. There should be little impact resulting from the additional building height as Building D is set back from public streets on the internal portion of the site.
- No other changes are proposed to CD By-law No. 16736.

PRE-NOTIFICATION

- Pre-notification letters were sent on November 26 and October 19, 2010. To date, no responses have been received.

DESIGN PROPOSAL AND REVIEW

- The development proposes three single-storey commercial buildings and one single-storey commercial/industrial building which are located around the perimeter of the site. Buildings A and B (commercial buildings) are oriented to 103A Avenue and Building C is oriented towards Scott Road. The individual commercial buildings range in size from 358 square metres (3,850 sq.ft.) to 490 square metres (5,275 sq. ft.), and each building accommodates three businesses.
- Building D (commercial/industrial) is proposed to be 1,858 square metres (20,000 sq. ft.) in size and located adjacent the old Grace Road at the northwest corner of the site. Space will be shared evenly between retail (929 sq. m./10,000 sq. ft.) and warehouse uses (929 sq. m. / 10,000 sq.ft.).
- Vehicular access to the site will be provided from both 103A Avenue and 120th Street. The principal access will be from a joint access with the adjacent westerly lot (Lot 17) at 11989 103A Avenue, with secondary access (limited to right in/out) provided from the old Grace Road.
- The proposed development provides 137 surface parking spaces, which exceeds the 111 spaces required under the Zoning By-law.

Commercial Buildings (A, B and C)

- Building materials are coordinated for the proposed commercial buildings and include the extensive use of corrugated metal cladding (light grey), beige stucco and clear glazing.
- Individual unit entries for these buildings are oriented to Scott Road and 103A Avenue and internally within the site. Building façades that front City streets are articulated utilizing increased glazing and a roof which extends beyond the building façade. The roof is supported by metal posts (grey colour).

- Drive-through restaurants are proposed for each of Buildings B and C, however effort has been made to limit their impact on the public realm by locating them away from highly visible locations and by providing a higher quality design for the drive-through. Burger King has been identified as a future tenant in Building B.
- Fascia signage over unit entries will be in the form of channel letters mounted on aluminum cross supports.

Commercial/Industrial (Building D)

- The building will be constructed of tilt-up concrete panels painted white and light grey. Additional building materials include the use of corrugated metal cladding (white) with glazing and spandrel panel along the north and east elevations which helps to articulate the buildings internal façades. These façades are further articulated through the provision of a metal canopy for weather protection.

Landscaping

- The applicant is proposing landscaping, in the form of shrubs and an evergreen hedge along the 103A Avenue and Scott Road frontages which is coordinated with the existing street trees along these roads.
- Internally the parking islands have been landscaped with trees, both coniferous and deciduous, and shrubs to soften the impact of the parking areas.
- Connectivity within the site is supported by a series of pedestrian crossings which connect the buildings. Externally a pathway is proposed on private land adjacent the existing Manson Canal settlement sump hole (north property line) that will provide connection to adjacent sites as they develop in the future and which will act as amenity space for workers in the area.

ADVISORY DESIGN PANEL

- ADP Date: July 3, 2008 (for Application No. 7908-0069-00/01)

This application was not referred to the Advisory Design Panel (ADP) for additional comments as it is not substantially different from what was previously reviewed under Application No. 7908-0069-00/01, but was reviewed by staff. The one noticeable variation is the new commercial/industrial building (Building D). It is noted that the new building is set back from the public realm and coordinated with the development.

- The applicant has resolved most of the design issues. However, there remain some outstanding concerns pertaining to façade treatment, provision of universal accessibility (i.e. ramp), landscaping and identification/treatment of utilities.
- The applicant has agreed to resolve all of these concerns prior to consideration of final approval.

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variance

- The applicant seeks to vary Section 27 (2) of the Surrey Sign By-law, 1999, No. 13656 to increase the number of fascia signs from 3 to 7 on Building A, from 3 to 9 on Building B, from 3 to 8 on Building C and from 1 to 3 on Building D.
- The Sign By-law allows one fascia sign for each premise or lot frontage.

Applicant's Reasons:

- The buildings are oriented externally towards City streets and internally towards the parking areas. The use of signage is proposed as an integral part of the building entrances and store front design. The building façade on the lot frontage are exposed to both vehicular and pedestrian traffic. Signage is proposed to identify each business from the street level. Similarly, signage is proposed on the building façade towards the parking lot to identify each business entrance for users, both vehicular and pedestrian, within the proposed development.

Staff Comments:

- Staff supports the proposed variances as they provide increased opportunity for business identification internally and externally on the site. The proposed variance will allow most units to have fascia signage over two entries, one internally and one externally on the site.
- One additional fascia sign will also be permitted on each of Buildings A, B, and C for the portion engaging the patio spaces (public realm). These façades provide significant glazing, but do not provide a unit entry and thus are not allowed a fascia sign by the Sign By-law. The fascia signage design on these façades is coordinated with the building design to provide an aesthetically pleasing design.
- Additionally, the proposed variances are similar to the fascia signage that was proposed on the approved Development Permit No. 7908-0069-00/01 for this site.
- The applicant has advised that a separate application pertaining to the size of some of the fascia signage will be forthcoming at a future date.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary
- Appendix IV. Proposed CD By-law Amendment
- Appendix V. Development Variance Permit No. 7910-0249-00
- Appendix VI. Proposed NCP Amendment

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

SML/kms

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Adam Donnelly c/o Wesgroup Properties
 Address: Suite 2000 – 1055 Dunsmuir Street
 Vancouver, BC
 Tel: 604-648-6207

2. Properties involved in the Application
 - (a) Civic Address: 10377 – 120 Street

 - (b) Civic Address: 10377 – 120 Street
 Owner: Pacific Link Industrial Park Ltd., Inc. No. 605005
 PID: 027-885-143
 Lot 16 Section 25 Block 5 North Range 3 West New Westminster District Plan
 BCP40313

3. Summary of Actions for City Clerk's Office
 - (a) Introduce a By-law to amend CD By-law No. 16736.

 - (b) Proceed with Public Notification for Development Variance Permit No. 7910-0249-00.

DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 16736)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		13,700 m ²
Road Widening area		
Undevelopable area		
Net Total		13,700 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		3,122.39 m ²
Paved & Hard Surfaced Areas		
Total Site Coverage	60%	22.8%
SETBACKS (in metres)		
Front (South)	6.0 m	9.0 m
Rear (North)	7.5 m	8.3 m
Side #1 (West)	7.5 m	11.5 m
Side #2 (East)	6.0 m	11.5 m
BUILDING HEIGHT (in metres/storeys)		
Principal	9.0 m	10.67 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		2,148.31 m ²
Retail		
Office		
Total		
FLOOR AREA: Industrial (Portion of Building D)		929 m ²
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		3,077.31 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		.23
FAR (net)	1.0	.23
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	56.6	
Commercial (Drive-through Restaurant)	26	
Industrial	28	
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	110.6	137
Number of disabled stalls	2	5
Number of small cars	28	18
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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LOT 16 - BUILDINGS A, B, C and D

PACIFICLINK BUSINESS PARK, SURREY, B.C.

SITE VICINITY MAP



DRAWING INDEX

- A000 COVER SHEET
- A101 SITE PLAN
- A102 SITE SECTIONS
- A103 SITE STREETS CAPES
- L-1 LANDSCAPE PLAN
- A201 BLDG A, B, & C FLOOR PLANS
- A202 BLDG D FLOOR PLAN
- A301 BLDG A & B COLOUR ELEVATIONS
- A302 BLDG C COLOUR ELEVATIONS
- A303 BLDG D COLOUR ELEVATIONS
- A400 PERSPECTIVE RENDERING
- A500 MATERIALS & FINISHES
- A501 SITE DETAILS
- A502 SIGNAGE DETAILS

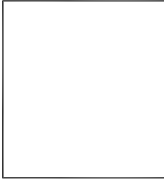
SITE (HATCHED AREA)
10377 120th STREET

LEGAL DESCRIPTION: LOT 16 BLK 5N SEC 25 RGE 3W PL BCP40313 NWD

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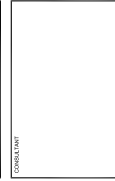
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NO.	REVISIONS
1	ISSUED FOR PERMITS
2	ISSUED FOR SUBMITTAL



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PACIFIC LINK
 LOT 16 - BUILDINGS A, B, C & D
 10377 120th Street
 Surrey, BC V4N 1A1

PROJECT NO	[Redacted]
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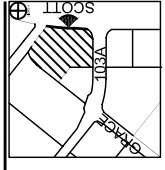
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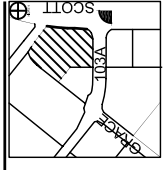
SCOTT ROAD (East Side, across from Lot 16)

PACIFICLINK BUSINESS PARK, SURREY, B.C.



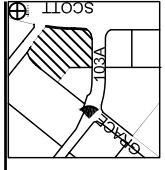
SCOTT ROAD (West, Intersection of Scott Rd. & 103A Ave.)

PACIFICLINK BUSINESS PARK, SURREY, B.C.



103A AVE (Intersection of 103A Ave & Grace Rd.)

PACIFICLINK BUSINESS PARK, SURREY, B.C.



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COMPLETION

PACIFICLINK
 LOT 16 - BUILDINGS A, B, C & D
 200-221 WEST 4TH AVE
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 CANADA

COMPLETION

DATE	2017	REVISION	
BY	PROJECT MANAGER	DATE	
NO.	1	REVISION	
DATE	2017	BY	PROJECT MANAGER

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2010	REVISED FOR PERMITS	AD

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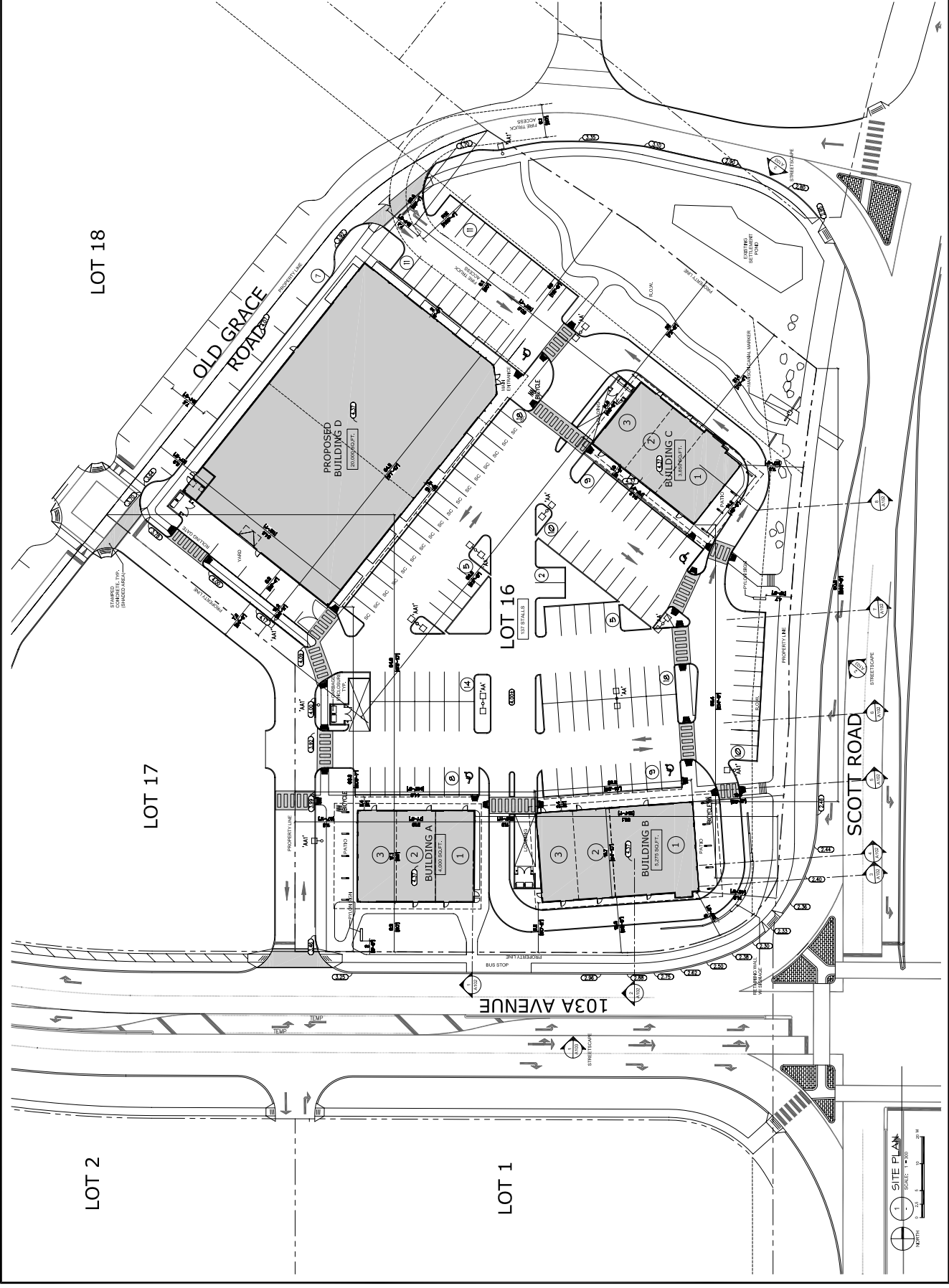
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PACIFIC LINK
 LOT 16 - BUILDINGS A, B, C & D

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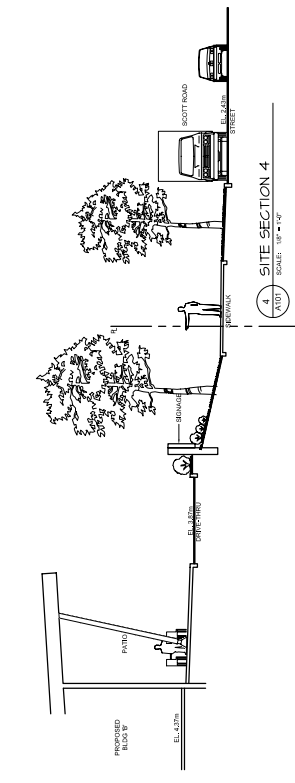
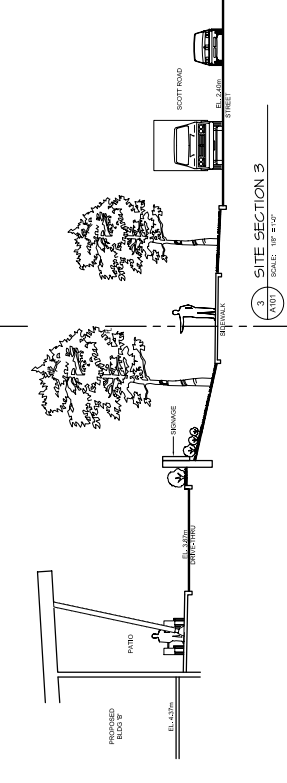
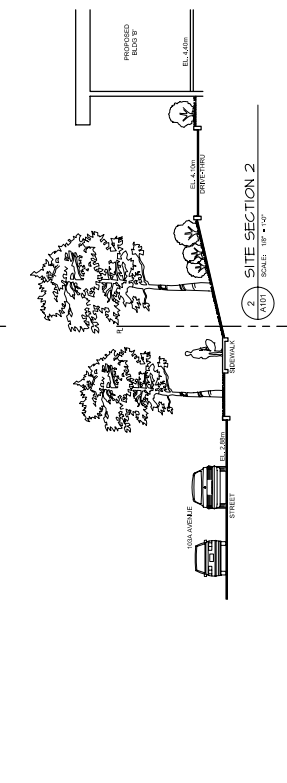
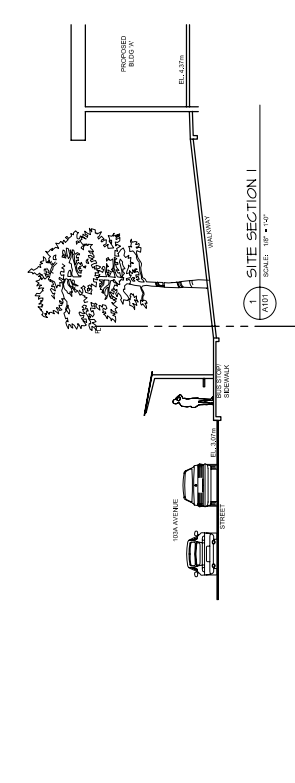
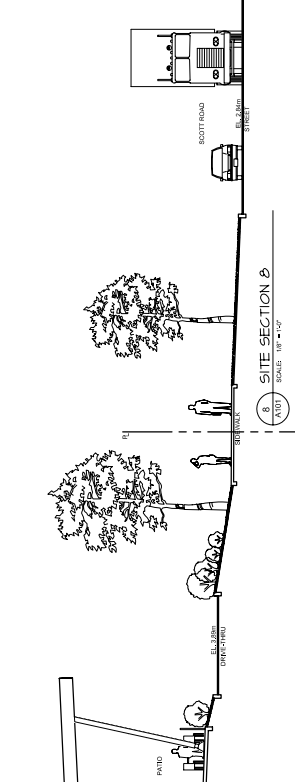
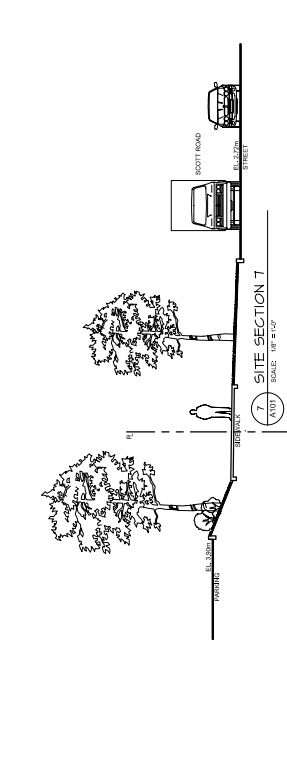
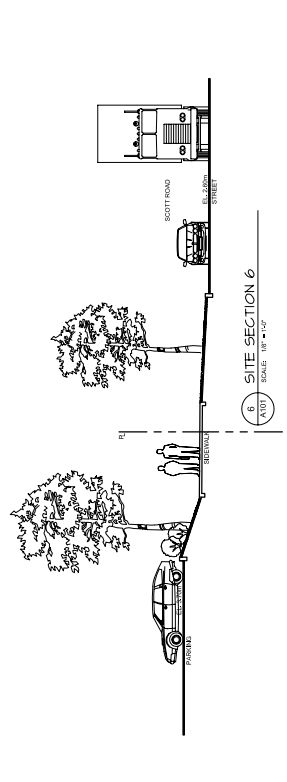
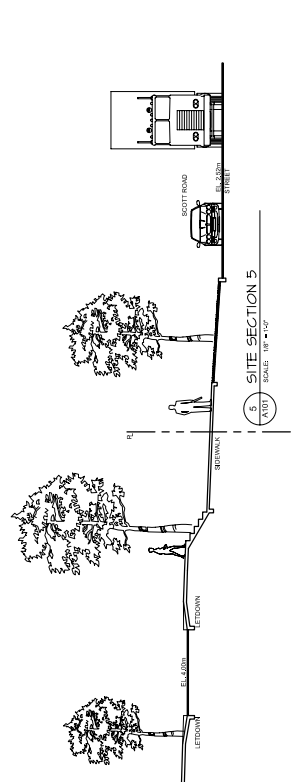
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2017	WESGROUP	ISSUED FOR PERMITTING



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PACIFICLINK
LOT 16 - BUILDINGS A, B, C & D

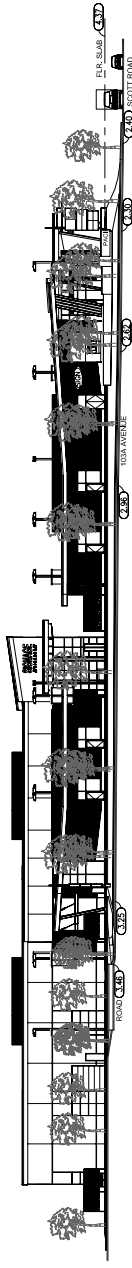
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SITE SECTIONS

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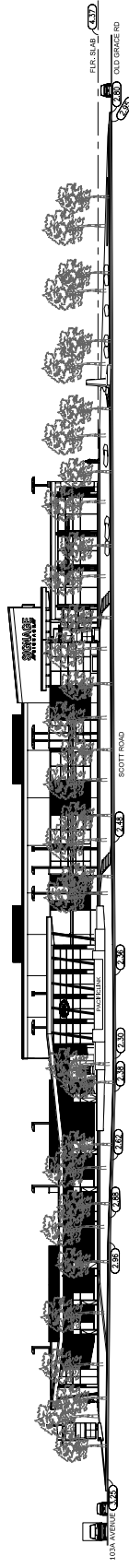
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SCALE: 1/8" = 1'-0"

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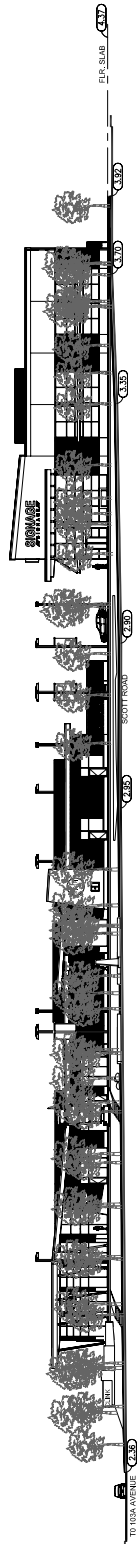
DATE	DESCRIPTION	BY
2017.08.15	PREPARED FOR SUBMISSION	AS



1. SOUTH STREETScape (103A AVENUE)
SCALE: 1/4"=1'-0"



2. EAST STREETScape (SCOTT ROAD)
SCALE: 1/4"=1'-0"



3. NORTH-EAST STREETScape
SCALE: 1/4"=1'-0"

TED MURRAY ARCHITECT INC.
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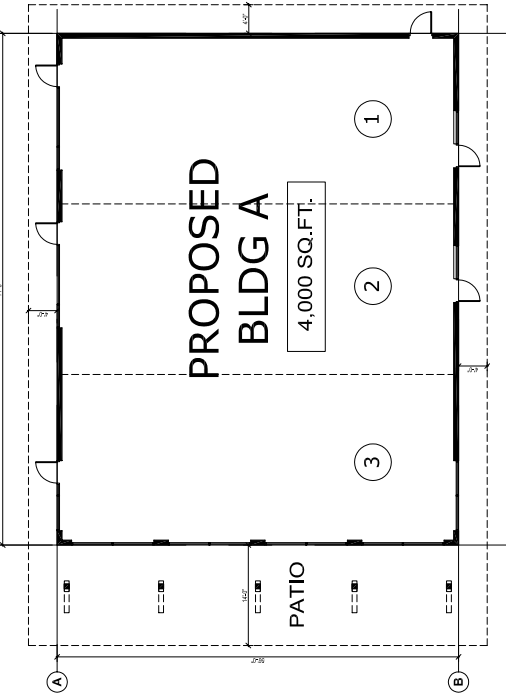
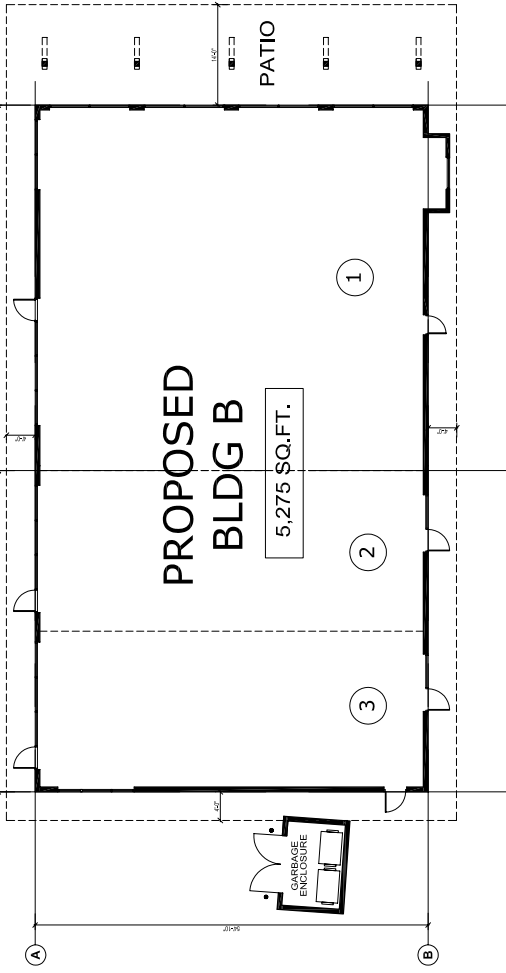
PACIFICLINK
LOT 16 - BUILDINGS A, B, C & D

PROJECT	COMMITTEE
LOT 16 - BUILDINGS A, B, C & D	SITE STREETScape
DATE	SCALE
2017.08.15	AS SHOWN

A103

3. All work shall be done in accordance with the applicable codes and standards of the Province of Ontario, including the Ontario Building Code, the Ontario Fire Code, and the Ontario Electrical Code. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Contractor shall also be responsible for coordinating with all other trades and utilities to ensure a smooth and efficient construction process.

DATE	REVISIONS / NOTES
01/15/2025	ISSUED FOR PERMITTING
01/15/2025	ISSUED FOR PERMITTING



1 BLDG 'A' PLAN
SCALE: 1/8" = 1'-0"
NORTH
PROPERTY

2 BLDG 'B' PLAN
SCALE: 1/8" = 1'-0"
NORTH
PROPERTY

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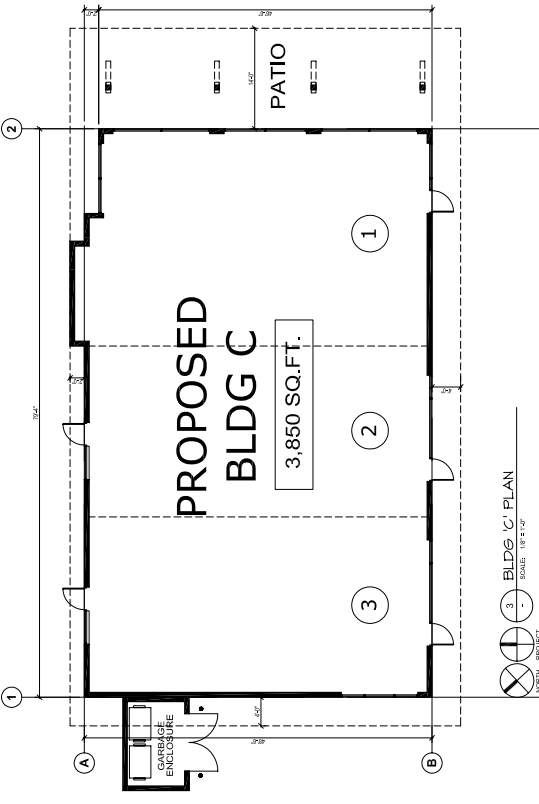
CONTRACT NO. _____
PROJECT NO. _____

PACIFIC LINK
LOT 16 - BUILDINGS A, B, C & D

COMMUNITY
PLAN LAYOUTS

TOWN	ILL.	DATE	STATUS
DESIGN	1/15	2025	ISSUED FOR PERMITTING

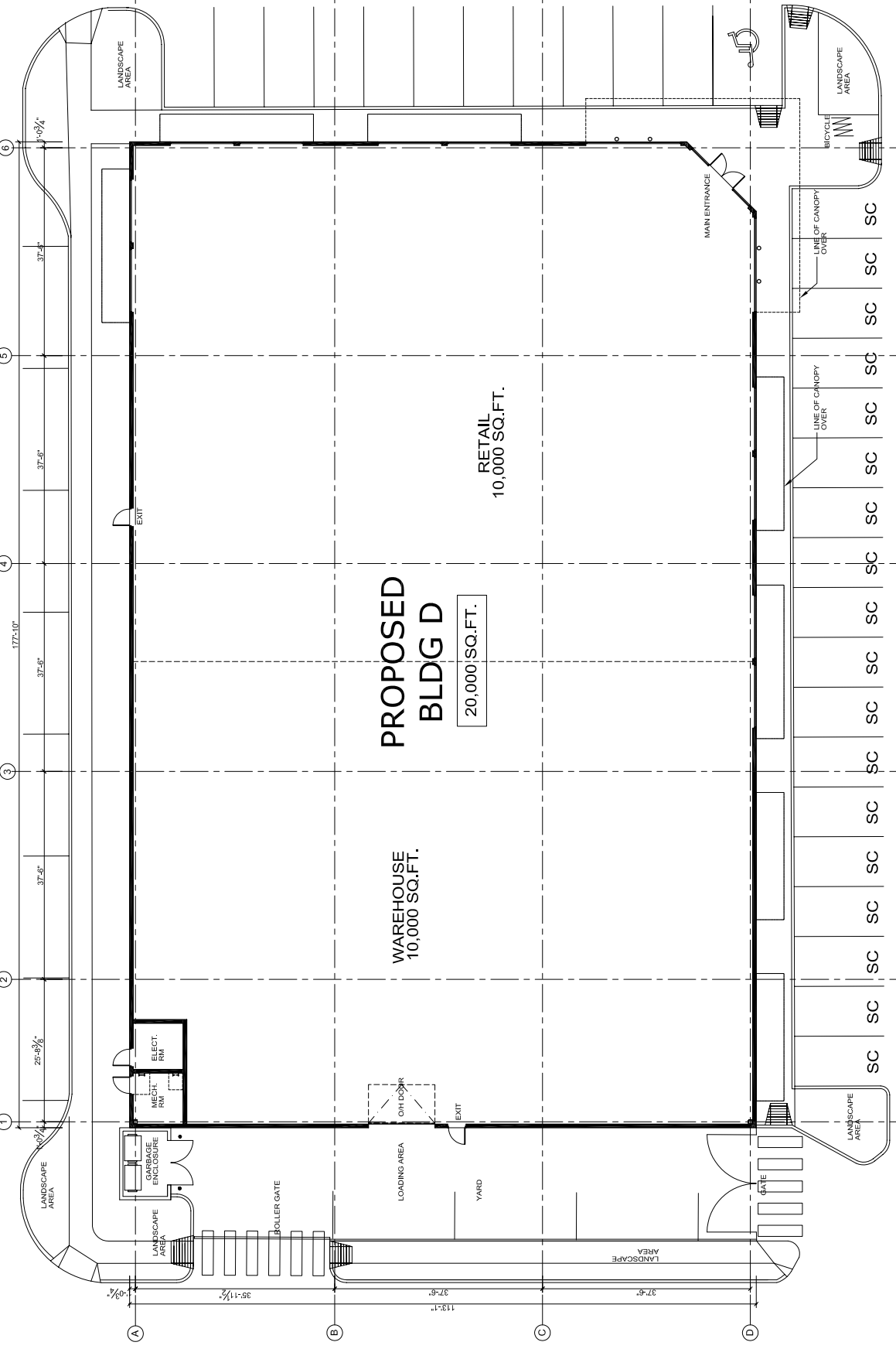
A201
SCALE: AS SHOWN



3 BLDG 'C' PLAN
SCALE: 1/8" = 1'-0"
NORTH
PROPERTY

THIS PLAN IS THE PROPERTY OF THE ARCHITECT. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

DATE	REVISIONS
2010	ISSUED FOR PERMITS
2010	REVISED FOR PERMITS



TED MURRAY ARCHITECT INC.
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 wesgroup.com

PACIFIC LINK
 PROJECT: LOT 16 - BUILDINGS A, B, C & D
 CONSULTANT: BLDG. D FLOOR PLAN
 SHEET: A202

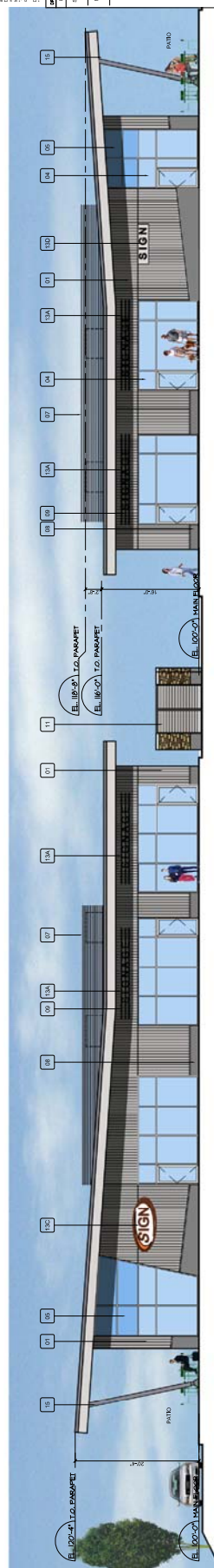
TITLE	DATE
ISSUED FOR PERMITS	JULY 19, 2010
REVISED FOR PERMITS	

BLDG D PLAN
 SCALE: 1/8" = 1'-0"
 NORTH POINT

A202
 SCALE: AS SHOWN

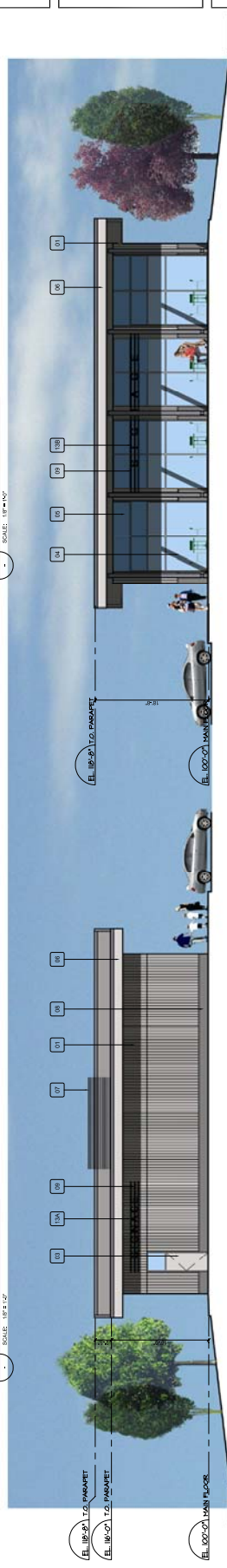
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REVISIONS / NOTES	DATE	BY	CHKD.
1. ISSUE FOR PERMIT			
2. REVISED FOR PERMIT			
3. REVISED FOR PERMIT			



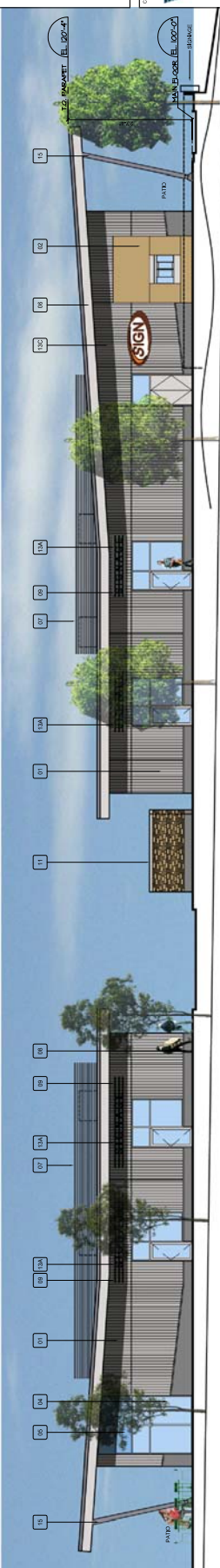
1 BLDG 'A' NORTH ELEVATION
SCALE: 1/8" = 1'-0"

2 BLDG 'A' NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 BLDG 'A' EAST ELEVATION
SCALE: 1/8" = 1'-0"

4 BLDG 'A' WEST ELEVATION
SCALE: 1/8" = 1'-0"

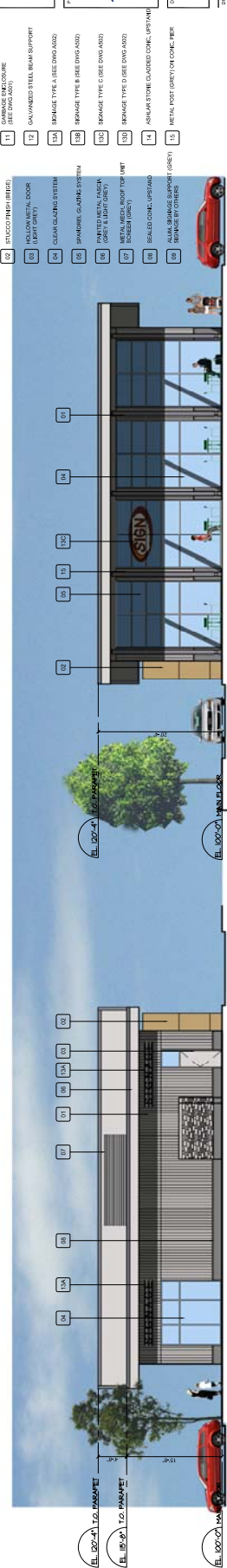


5 BLDG 'B' SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

6 BLDG 'B' SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION KEYNOTES:

- 01 CORRUGATED METAL GLAZING (LIGHT GREY)
- 02 CORRUGATED METAL GLAZING (DARK GREY)
- 03 STUCCO FINISH (BEIGE)
- 04 MULLION METAL DOOR (LIGHT GREY)
- 05 CLEAR GLAZING SYSTEM
- 06 SPANDREL GLAZING SYSTEM (DARK GREY)
- 07 HANDED METAL SIGN (DARK GREY)
- 08 METAL MECH. ROOF TOP UNIT (DARK GREY)
- 09 GALVALUME CLIPSTAND (DARK GREY)
- 10 STUCCO FINISH (BEIGE)
- 11 STUCCO FINISH (BEIGE)
- 12 GALVANIZED STEEL BEAM SUPPORT
- 13 BRACKET TYPE A (SEE DWG A20)
- 14 BRACKET TYPE B (SEE DWG A20)
- 15 BRACKET TYPE C (SEE DWG A20)
- 16 BRACKET TYPE D (SEE DWG A20)
- 17 BRACKET TYPE E (SEE DWG A20)
- 18 ASHLAR STONE CLASSED CORNICE (LIFT PANEL)
- 19 GALVALUME CLIPSTAND (DARK GREY)
- 20 METAL POST (SEE DWG CORN. PER FINISH IN OTHERS)



7 BLDG 'B' WEST ELEVATION
SCALE: 1/8" = 1'-0"

8 BLDG 'B' EAST ELEVATION
SCALE: 1/8" = 1'-0"

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www.wesgroup.com

PACIFIC LINK
LOT 16 - BUILDINGS A, B, C & D

CONTRACT NO. _____

NO.	DATE	DESCRIPTION

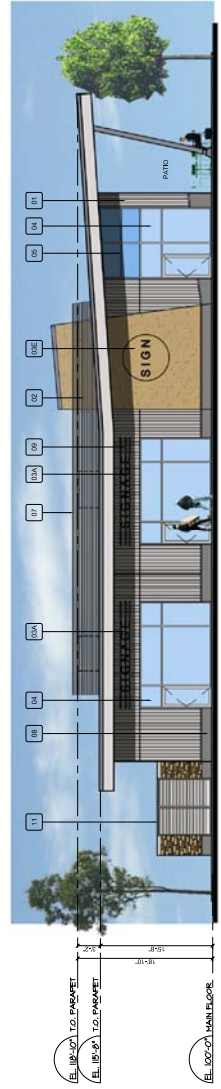
PROJECT NO. _____

NO.	DATE	DESCRIPTION

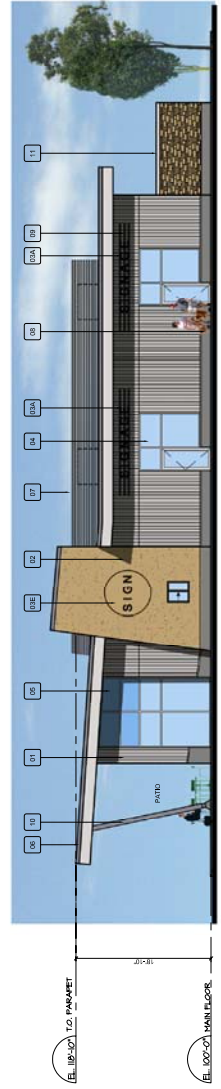
A301

1. All work shall be done in accordance with the current edition of the Ontario Building Code (OBC) and the current edition of the National Building Code of Canada (NBC).
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 3. The contractor shall be responsible for ensuring that all work is done in accordance with the approved drawings and specifications.
 4. The contractor shall be responsible for ensuring that all work is done in a safe and sound manner.
 5. The contractor shall be responsible for ensuring that all work is done in a timely manner.

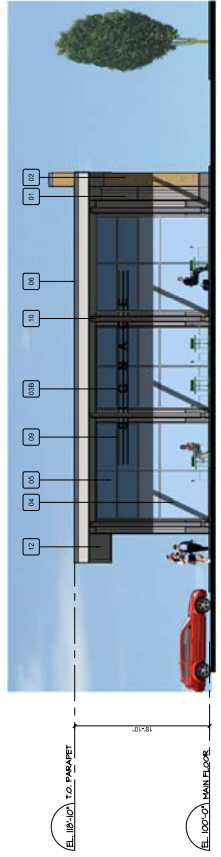
REVISION / NOTES	DATE	BY
ISSUED FOR PERMIT	10/15/2024	AW
ISSUED FOR PERMIT	10/15/2024	AW
ISSUED FOR PERMIT	10/15/2024	AW



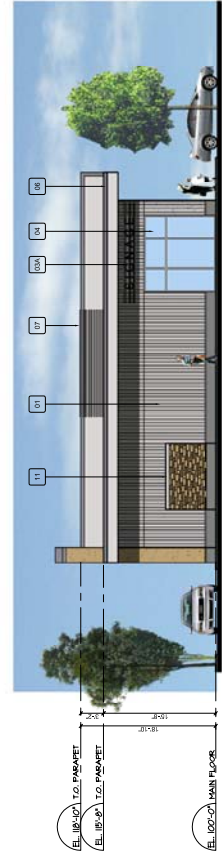
1. BLDG 'C' SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2. BLDG 'C' NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3. BLDG 'C' EAST ELEVATION
SCALE: 1/8" = 1'-0"



4. BLDG 'C' WEST ELEVATION
SCALE: 1/8" = 1'-0"

- ELEVATION KEYNOTES:**
- 01 PAINTED METAL CLADDING (SEE A)
 - 02 STUCCO FINISH (SEE B)
 - 03 SPONGE TYPE A (SEE DWG A02)
 - 04 SPONGE TYPE B (SEE DWG A02)
 - 05 CLEAR GLAZING SYSTEM
 - 06 SPANREL GLAZING SYSTEM
 - 07 PRINTED METAL FACIAL (SEE A)
 - 08 METAL MECH. ROOF FOR LIGHT SCREEN (SEE A)
 - 09 SEALED CORN. UPWARD
 - 10 ALUM. SPONGE SUPPORT (SEE A)
 - 11 METAL POST (SEE A) OR CORN. MEK (SEE DWG A01)
 - 12 METAL SOFFIT (LIGHT GREY)

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 Fax: 604-273-2728
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CONTRACT NO. _____
 PROJECT _____

PACIFIC LINK
 LOT 16 - BUILDINGS A, B, C, & D

CONTRACT TITLE
 ELEVATIONS

TITLE	DATE	SCALE
ISSUED FOR PERMIT	10/15/2024	AS SHOWN
ISSUED FOR PERMIT	10/15/2024	AS SHOWN
ISSUED FOR PERMIT	10/15/2024	AS SHOWN

A302
 SCALE: AS SHOWN

1. All work shall be done in accordance with the applicable building codes and standards. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for coordinating with all other trades and utilities. The contractor shall be responsible for maintaining site access and safety at all times. The contractor shall be responsible for protecting all existing structures and utilities. The contractor shall be responsible for restoring the site to its original condition or better. The contractor shall be responsible for providing a detailed schedule of work and progress reports. The contractor shall be responsible for providing a detailed list of materials and equipment. The contractor shall be responsible for providing a detailed list of subcontractors. The contractor shall be responsible for providing a detailed list of vendors. The contractor shall be responsible for providing a detailed list of suppliers. The contractor shall be responsible for providing a detailed list of subcontractors. The contractor shall be responsible for providing a detailed list of vendors. The contractor shall be responsible for providing a detailed list of suppliers.

DATE	REVISIONS / NOTES
10/15/2014	ISSUED FOR PERMITS
10/15/2014	ISSUED FOR SUBMITTAL

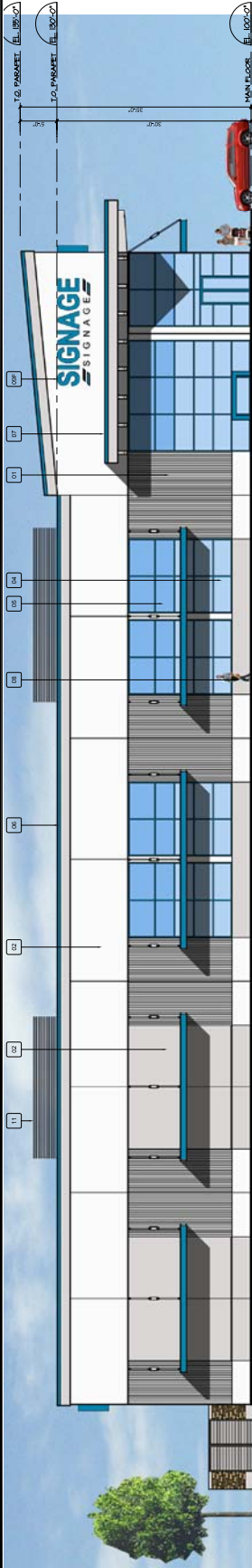
TED MURRAY ARCHITECT INC.
 200-211 WEST 4TH AVE
 SUITE 100
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 Fax: 604-682-2727
 wesgroup.com

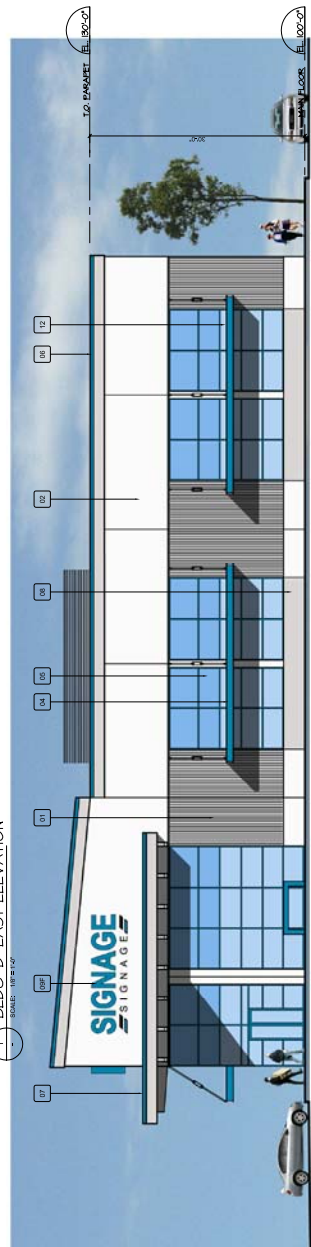
PACIFIC LINK
 LOT 16 - BUILDINGS A, B, C, & D
 PACIFIC LINK
 1000 Burrard St. Vancouver, BC
 Tel: 604-682-2727
 Fax: 604-682-2727
 wesgroup.com

DATE	10/15/2014
BY	JANIS
CHKD	
APP'D	
SCALE	AS SHOWN

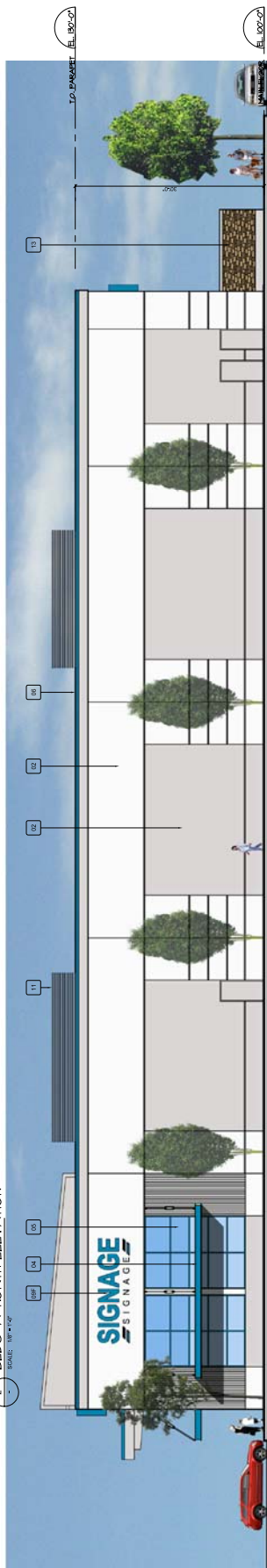
A303



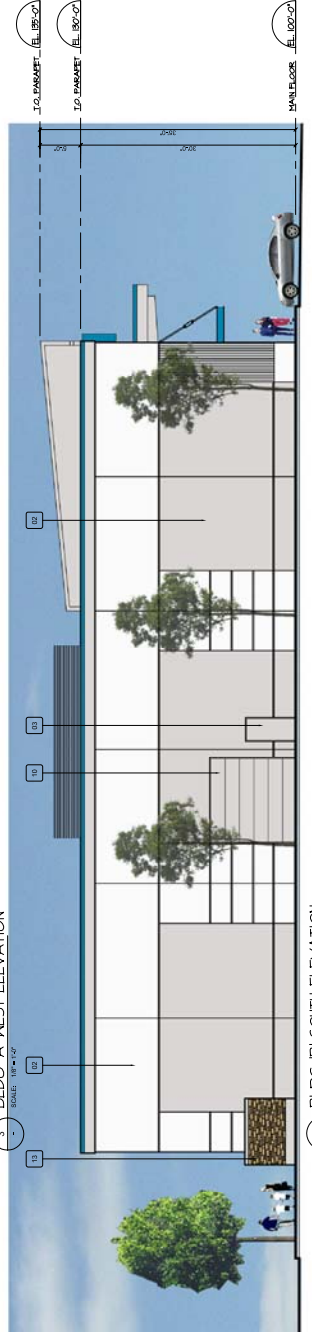
1. BLDG 'D' EAST ELEVATION
 SCALE: 1/8" = 1'-0"



2. BLDG 'A' NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



3. BLDG 'A' WEST ELEVATION
 SCALE: 1/8" = 1'-0"



4. BLDG 'B' SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

ELEVATION KEYNOTES:

- 01 CORRUGATED METAL CLADDING (PAINT GREY)
- 02 PANEL (WHITE)
- 03 INSULATED CONCRETE WALL SYSTEM (ICWS) (WHITE)
- 04 INSULATED CONCRETE WALL SYSTEM (ICWS) (WHITE)
- 05 INSULATED CONCRETE WALL SYSTEM (ICWS) (WHITE)
- 06 INSULATED CONCRETE WALL SYSTEM (ICWS) (WHITE)
- 07 ENTRANCE CANOPY (BASE IN LIGHT GREY) (PAINT GREY)
- 08 PAINTED CONC. UPSTAIR (LIGHT GREY)
- 09 BRIDGE TYPE (SEE ENG. DRAW)
- 10 INSULATED ON-DOOR (LIGHT GREY)
- 11 METAL HIGH-ARCH UP-PIPE SCREEN (WHITE)
- 12 METAL CANOPY (BASE IN GALV. STEEL) (PAINT GREY)
- 13 GARBAGE ENCLOSURE (SEE CIVIL DRAW)

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DATE	DESCRIPTION	BY
2007-08-15	ISSUED FOR PERMITS	AW
2007-08-15	ISSUED FOR SUBMITTION	AW

PROJECT	LOT 16 - BUILDINGS A, B, C & D
CLIENT	PACIFIC LINK BUSINESS PARK
LOCATION	SCOTT RD & 103A AVE, SURREY, B.C.
DATE	2007-08-15
SCALE	AS SHOWN

DATE	DESCRIPTION	BY

TED MURRAY ARCHITECT INC.
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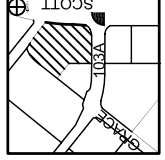
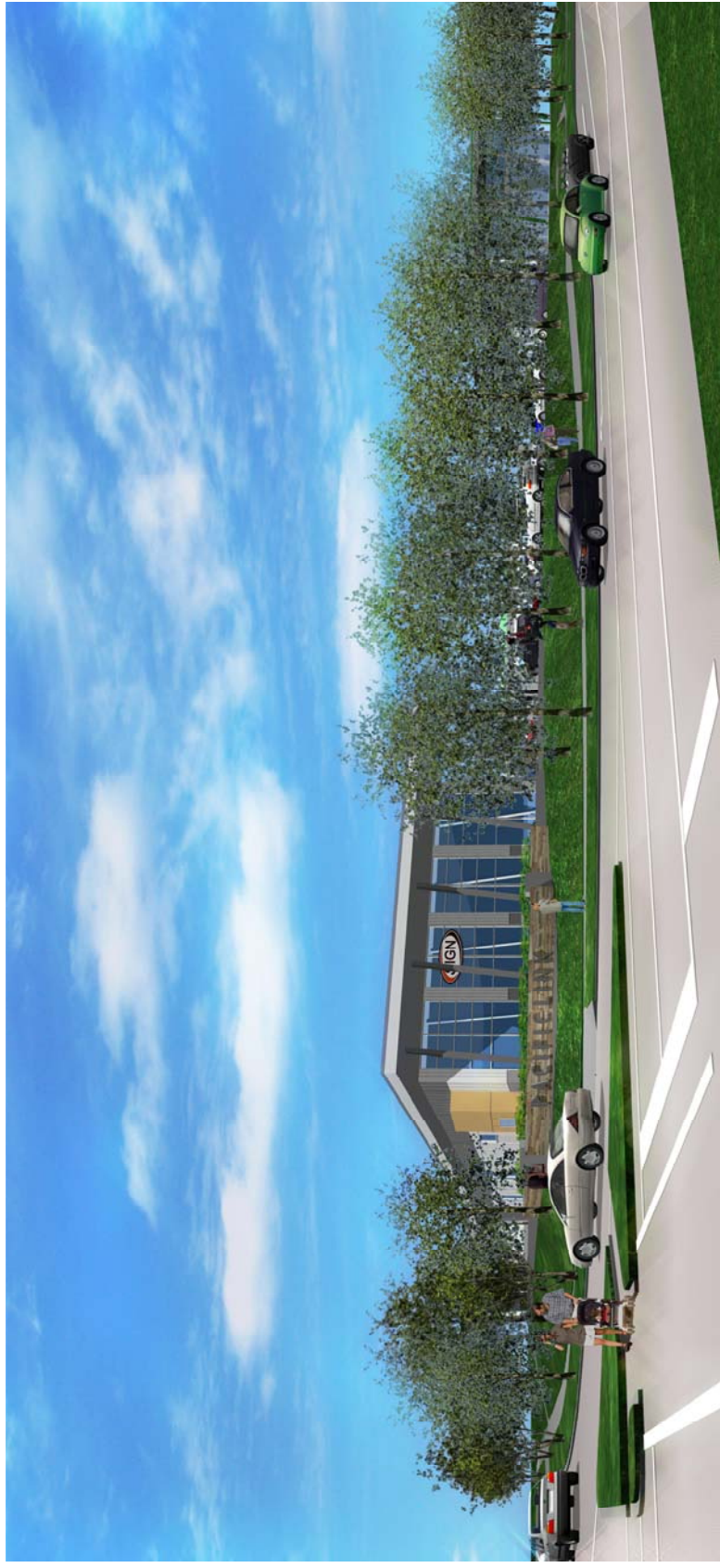
COMPLETION

PACIFIC LINK
 LOT 16 - BUILDINGS A, B, C & D
 BUSINESS PARK
 SURREY, B.C.

COMMITTEE
 PERSPECTIVE
 BC

TOWN	RE	DATE	STATUS

A400

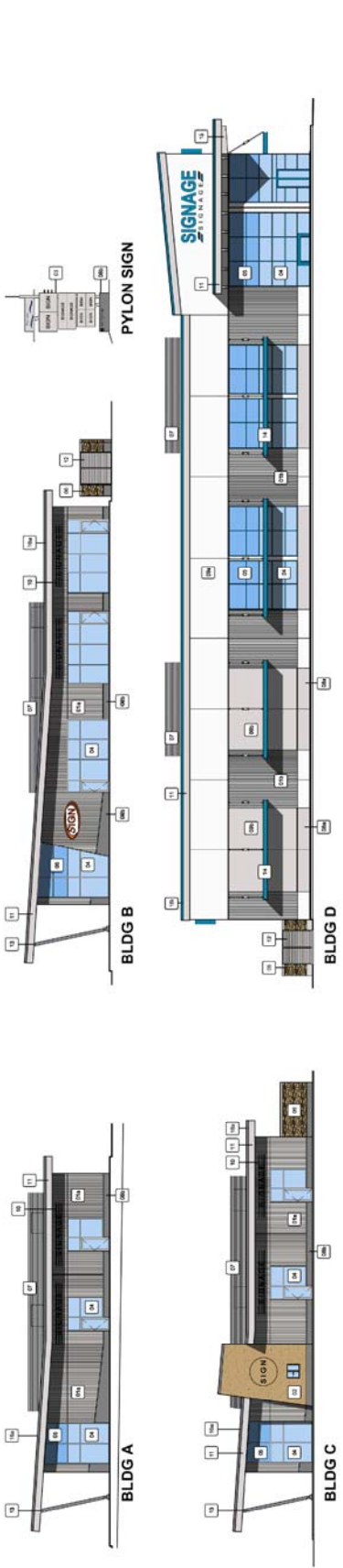


PERSPECTIVE - CORNER OF SCOTT RD AND 103A AVE.

PACIFIC LINK BUSINESS PARK, SURREY, B.C.

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DATE	2014	PROJECT	
BY		DESIGNED BY	
REVISION		APPROVED FOR BY	
		DATE	



COLORS



WHITE



LIGHT GREY



GREY

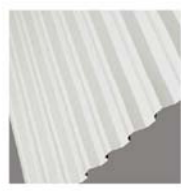


BLUE



BEIGE

MATERIALS



CORRUGATED METAL CLADDING



ASHLAR STONE



ALUMINUM STOREFRONT



STUCCO



TILT-UP CONCRETE PANEL



CONCRETE

ELEVATION KEYNOTES:

- (a) CORRUGATED METAL CLADDING
- (b) PAINTED METAL CLADDING
- (c) CORRUGATED METAL CLADDING
- (d) PAINTED METAL CLADDING
- (e) CORRUGATED METAL CLADDING
- (f) PAINTED METAL CLADDING
- (g) CORRUGATED METAL CLADDING
- (h) PAINTED METAL CLADDING
- (i) CORRUGATED METAL CLADDING
- (j) PAINTED METAL CLADDING
- (k) CORRUGATED METAL CLADDING
- (l) PAINTED METAL CLADDING
- (m) CORRUGATED METAL CLADDING
- (n) PAINTED METAL CLADDING
- (o) CORRUGATED METAL CLADDING
- (p) PAINTED METAL CLADDING
- (q) CORRUGATED METAL CLADDING
- (r) PAINTED METAL CLADDING
- (s) CORRUGATED METAL CLADDING
- (t) PAINTED METAL CLADDING
- (u) CORRUGATED METAL CLADDING
- (v) PAINTED METAL CLADDING
- (w) CORRUGATED METAL CLADDING
- (x) PAINTED METAL CLADDING
- (y) CORRUGATED METAL CLADDING
- (z) PAINTED METAL CLADDING

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 Fax: (604) 735-3114

COMPLETION

PACIFIC LINK
 LOT 6 - BUILDINGS A, B & C
 200-211 WEST 4TH AVE
 CANADA, YK8 8S2

COMPLETION

TOTAL	10	DATE	2014/05/15
REVISION	01	DATE	
DESCRIPTION		DATE	
BY		DATE	
DATE		DATE	

A600

MATERIALS AND FINISHES

PACIFIC LINK BUSINESS PARK, SURREY, B.C.

Architectural Arm Mounted Full Cutoff
AS
 Area
 Area
 Area

Architectural Arm Mounted Full Cutoff

Model	Finish	Material	Weight
AS-1	White	Aluminum	1.2 lbs
AS-2	Black	Aluminum	1.2 lbs
AS-3	White	Steel	1.5 lbs
AS-4	Black	Steel	1.5 lbs

Lighting Information
 1. Mounting: 1/2" x 1/2" x 1/2" (3/16" x 3/16" x 3/16")
 2. Mounting: 1/2" x 1/2" x 1/2" (3/16" x 3/16" x 3/16")
 3. Mounting: 1/2" x 1/2" x 1/2" (3/16" x 3/16" x 3/16")
 4. Mounting: 1/2" x 1/2" x 1/2" (3/16" x 3/16" x 3/16")

Lighting Information
 1. Mounting: 1/2" x 1/2" x 1/2" (3/16" x 3/16" x 3/16")
 2. Mounting: 1/2" x 1/2" x 1/2" (3/16" x 3/16" x 3/16")
 3. Mounting: 1/2" x 1/2" x 1/2" (3/16" x 3/16" x 3/16")
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Lighting Information
 1. Mounting: 1/2" x 1/2" x 1/2" (3/16" x 3/16" x 3/16")
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 3. Mounting: 1/2" x 1/2" x 1/2" (3/16" x 3/16" x 3/16")
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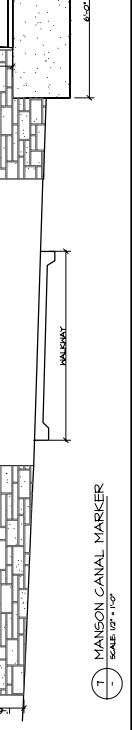
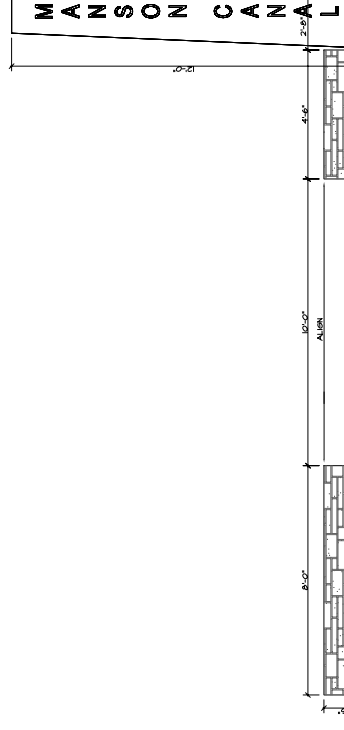
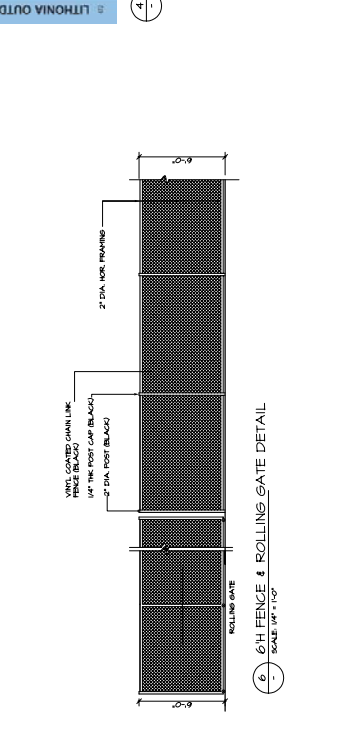
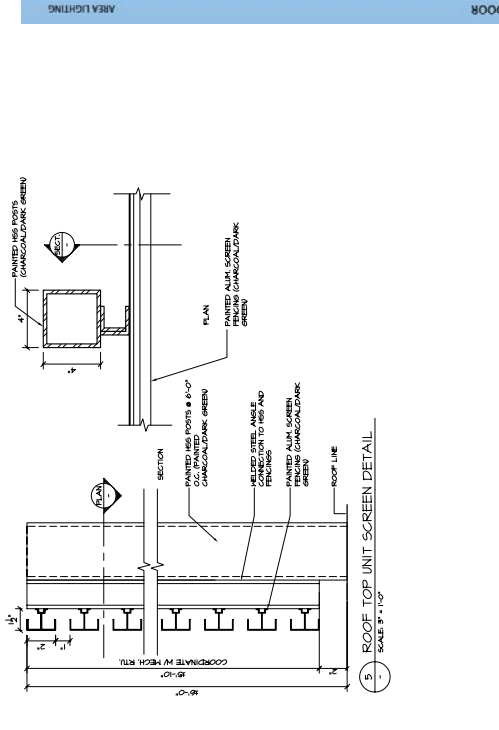
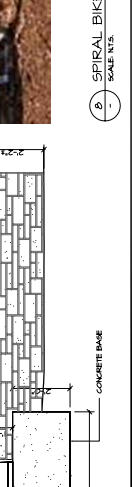
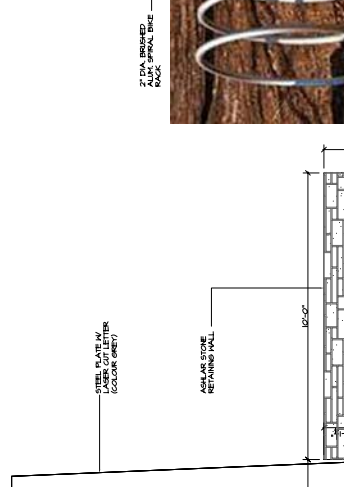
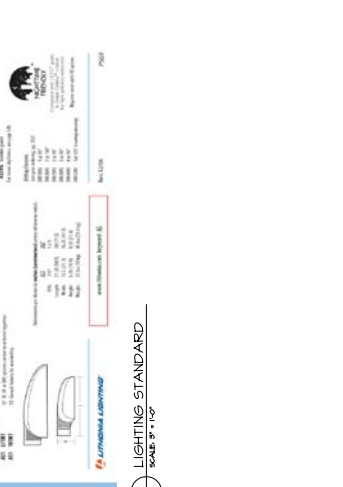
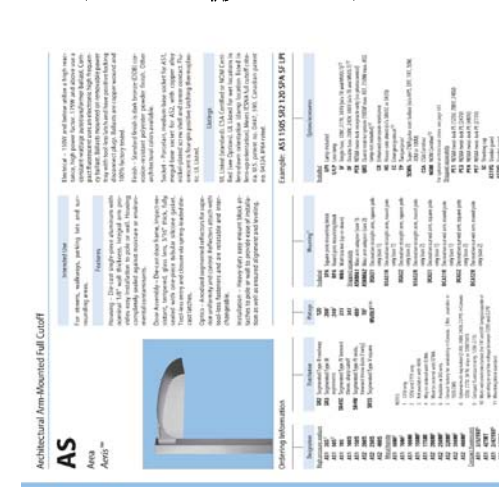
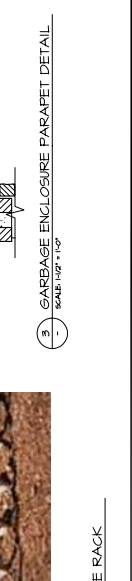
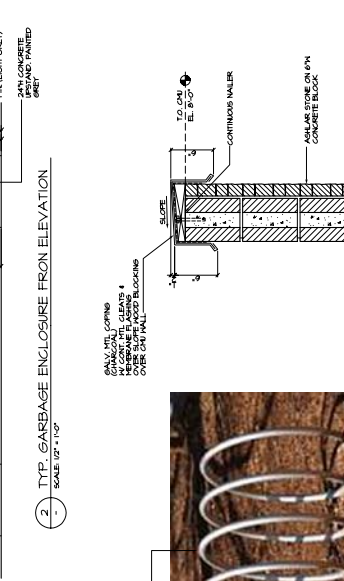
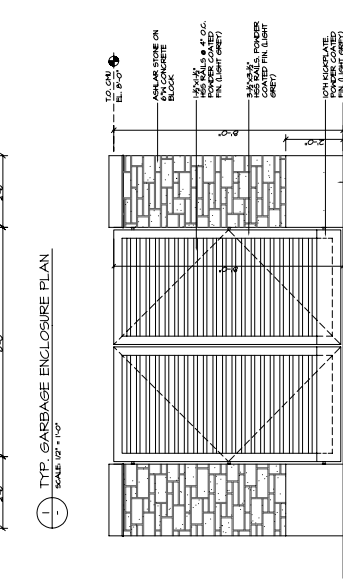
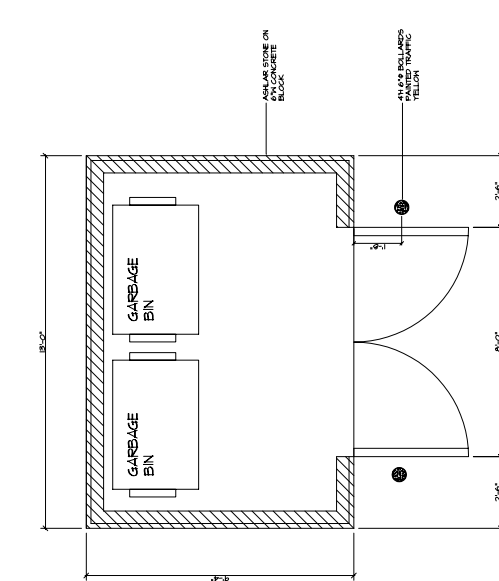
Lighting Information
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 2. Mounting: 1/2" x 1/2" x 1/2" (3/16" x 3/16" x 3/16")
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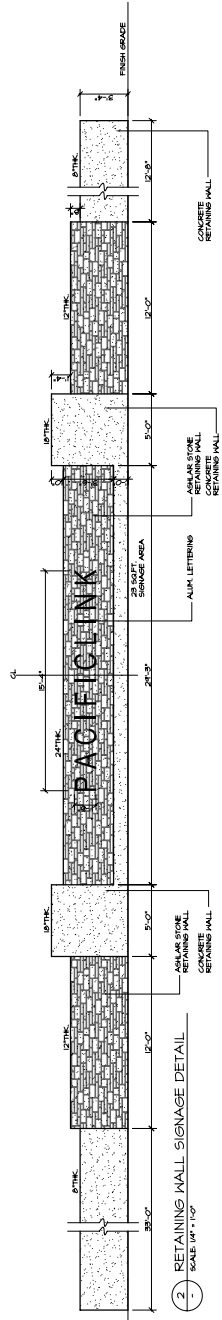
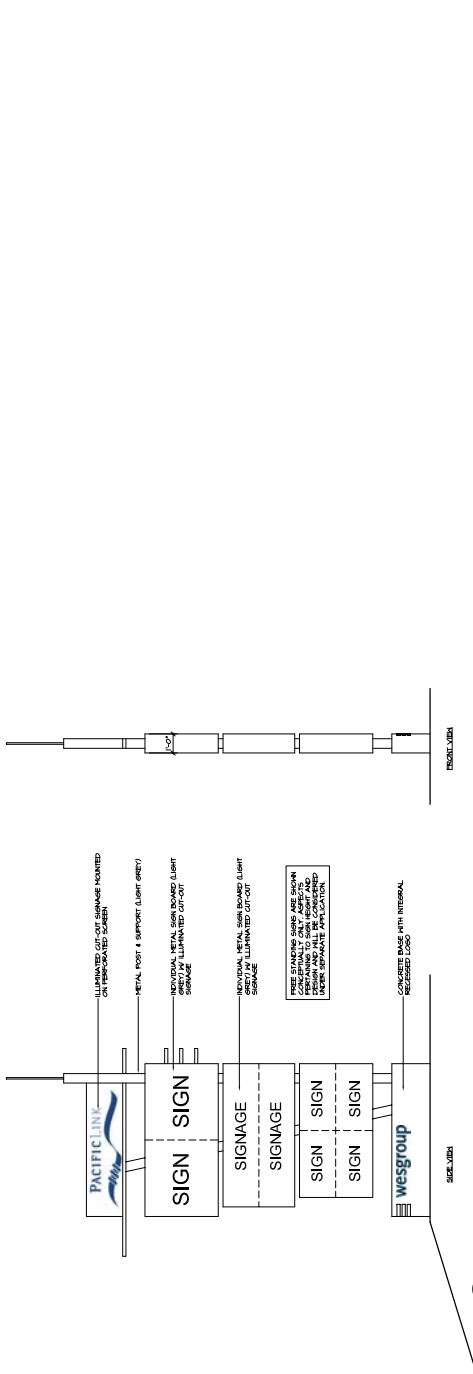
Lighting Information
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 4. Mounting: 1/2" x 1/2" x 1/2" (3/16" x 3/16" x 3/16")



1. The client shall provide all necessary information and approvals for the signage design and installation. The client shall also provide all necessary information and approvals for the signage design and installation.

REVISIONS / ISSUES	DATE	BY
REVISED FOR DP SUBMISSION		
REVISED FOR DP SUBMISSION		



TYPE	W.	H.	SIGNAGE AREA	QUANTITY	DESCRIPTION
A	10'-0"	1'-6"	15 SQ.FT.	16	ILLUMINATED CHANNEL LETTERING
B	18'-6"	1'-6"	21.75 SQ.FT.	2	ILLUMINATED CHANNEL LETTERING
C	9'-0"	3'-10"	34.41 SQ.FT.	3	SIGNBOX
D	6'-8"	2'-0"	13.34 SQ.FT.	1	SIGNBOX
E	<p>FASCIA SIGN INFORMATION FOR TYPE E I.E. ARE TO BE INSTALLED ON THE RETAINING WALL AND SEPARATE APPLICATION</p>				
F					

3 - FASCIA SIGNAGE DETAIL
SCALE: 1/4" = 1'-0"

TED MURRAY ARCHITECT INC.
 200-211 WEST 4TH AVE.
 CANADA, Y1R 5K2
 TEL: (604) 754-4850
 FAX: (604) 756-5314

wesgroup
 Suite 979, Pacific Building Centre
 1000 Burrard Street, Suite 979
 Vancouver, BC V6Z 1G7, CAN
 Tel: 604-682-9227
 Fax: 604-682-9227
 wesgroup.com

CONTRACT NO. _____
 PROJECT _____

PACIFIC LINK
 LOT 16 - BUILDINGS A, B, C & D

PROJECT TITLE
 SIGNAGE DETAILS

DATE	BY	REVISIONS

CONTRACT NO. _____
 PROJECT _____
 SCALE: AS SHOWN
A502

PLANT LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
Trees				
13		<i>Acer rubrum</i> 'Red Sunset'	Red Maple Var.	6cm cal / 1.8m and
10		<i>Fraxinus americana</i> 'Autumn Blaze'	Ash	7cm cal / 1.8m and
5		<i>Quercus alabamica</i>	Pin Oak	6cm cal / 1.8m and
7		<i>Magnolia grandiflora</i> *	Southern Magnolia	6cm cal / 1.8m and
6		<i>Magnolia soulangiana</i> (Pv.)	Magnolia Var.	4m ht. / matted
3		<i>Sakaki babingtonia</i>	Weeping Willow	8cm cal / matted
12		<i>Prunus serrulata</i> 'Pink Puffball'	Flowering Cherry Var.	6cm cal / 1.8m and
6		<i>Chamaecyparis nootkanensis</i>	Noddy Cypress	3m ht.
1		<i>Cedrus deodara</i>	Himalayan Cedar	4m ht.
5		<i>Thuja plicata</i>	Western Red Cedar	3.5m ht.
Shrubs				
307		<i>Azalea japonica</i> 'Coral Bell'	Japanese Azalea	#3 pot
32		<i>Wigelia 'Nerpoil'</i> Red	Wigelia Var.	#3 pot
42		<i>Protea fraxi</i>	Protea	#3 pot
31		<i>Hydrangea macrophylla</i> 'Blue Wave'	Hydrangea	#3 pot
168		<i>Ilex cuneata</i> 'Green Thumb'	Japanese Holly	#3 pot

Continued...

51	Perennium atopocarpus	Fourain Grass	#2 pot
36	Peles japonica 'Valley Floor'	Japanese Anemone	#3 pot
391	Prunus 'Oto Luyker'	Oto Luyker Laurel	#3 pot
169	Prunus 'Zabala'	Zabala Laurel	#2 pot
78	Rhododendron 'Christmas Cheer'	Rhododendron (red var.)	#3 pot
8	Rhododendron 'Aria Rose Whitney'	Rhododendron (alt var.)	#7 pot
120	Rosa mediana (various veta) *	Hardy French Rose var.	#3 pot
49	Viburnum blavdi	David's Viburnum	#3 pot
29	Spirea x barmada 'Froebel'	Spirea Var.	#3 pot
167	Viburnum tinus dwarf	Spring Bouquet	#3 pot
Ground Covers/Perennials			
300	Andropogon scoparius	Vanouze's Jade	10cm pot / 15cm o.c.
594	Cornusaster Lowland	Cornusaster Var.	10cm pot / 15cm o.c.
584	Erica salicaryoides 'Warner's Red'	Winter Heather	10cm pot / 15cm o.c.
61	Hemerocallis 'Yellow O'Op'	Daylily var.	#1 pot

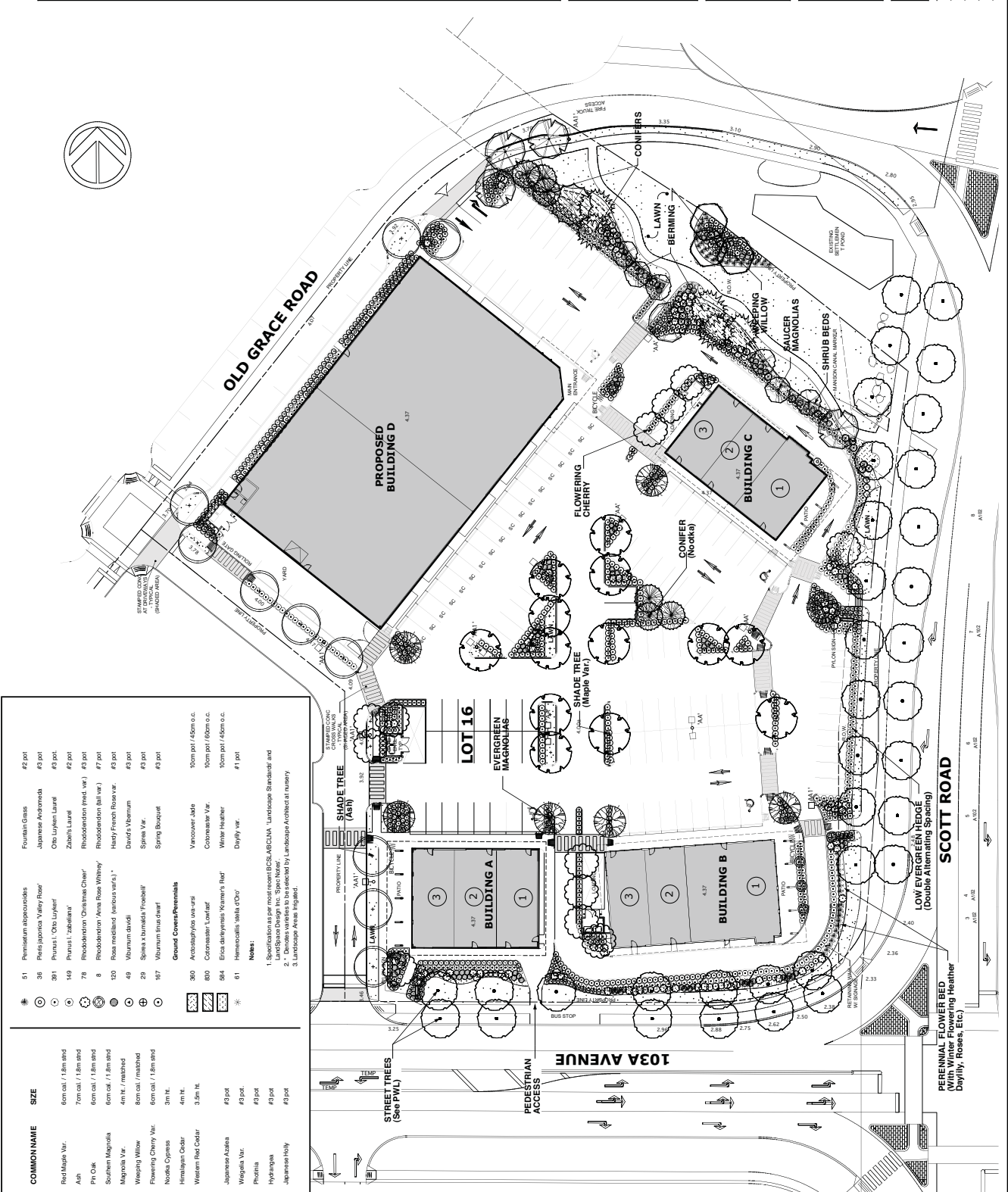
Notes:
 1. Specifications per most recent IBCS/LA/MS/CA. Landscape Standards and
 2. Division varieties to be selected by Landscape Architect at nursery.
 3. Landscape Areas Indicated.

wesgroup
 Site: 1774, Four Branch Centre
 1055 Dunsmuir St., PO Box 49150
 Vancouver, BC V6C 2K1, CA
 Tel: 604-682-1737
 Fax: 604-682-1737
 www.wesgroup.ca

DATE: 10/20/10
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

LOT 16 - BUILDINGS A, B, C & D
 LANDSCAPE PLAN

SCALE: 1:300



wesgroup
 Site: 1774, Four Branch Centre
 1055 Dunsmuir St., PO Box 49150
 Vancouver, BC V6C 2K1, CA
 Tel: 604-682-1737
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DATE: 10/20/10
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

LOT 16 - BUILDINGS A, B, C & D
 LANDSCAPE PLAN

SCALE: 1:300

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Acting Development Services Manager, Engineering Department**

DATE: **December 9, 2010** PROJECT FILE: **7810-0249-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 10377 120 St**

REZONE

Property and Right-of-Way Requirements

The applicant is required to address all outstanding land tenure issues from the previous Surrey projects # 7805-0143-00, 7807-0221-00 and 7808-0069-00 to the complete satisfaction of the Engineering Department and the Realty Division.

Works and Services

Site servicing requirements were addressed as part of Surrey project 7805-0143-00.

A Servicing Agreement is not required prior to Rezone.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/ Development Variance Permit.



Rémi Dubé, P.Eng.
Acting Development Services Manager

RSS

CITY OF SURREY

BY-LAW NO _____

A by-law to amend "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2008, No. 16736"

.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2008, No. 16736 is hereby amended as follows:

(a) Sub-section 2.B.1.(d) is deleted and replaced with the following:

"(d) *Retail stores* provided that:

- i. *Adult entertainment stores*, auction houses and *secondhand stores* and *pawnshops* are excluded; and
- ii. Notwithstanding Sub-section 2.B.1., the *gross floor area* of one business may be increased to a maximum of 1,858 square metres [20,000 sq.ft.)."

(b) Sub-section 2.G.1(a) is deleted and replaced with the following:

"(a) Principal buildings: The *building height* shall not exceed 11 metres [36 ft.)."

2. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2008, No. 16736, Amendment By-law, 20__, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

READ A THIRD TIME ON THE _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO. 7910-0249-00

Issued To: PACIFIC LINK INDUSTRIAL PARK LTD., INC. NO. 605005
(the "Owner")

Address of Owner: Suite 2000 – 1055 Dunsmuir Street
Vancouver, BC
V7X 1L5

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 027-885-143
Lot 16 Section 25 Block 5 North Range 3 West New Westminster District Plan BCP40313

10377 – 120 Street

(the "Land")

3. Surrey Sign By-law, 1999, No. 13656, as amended is varied as follows:
 - (a) The number of fascia signs is increased from 3 to 7 on Building A from 3 to 9 on Building B from 3 to 8 on Building C and from 1 to 3 to Building D.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction within two (2) years after Development Permit No. 7910-0249-00 is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan

1. All drawings shall be in accordance with the current editions of the International Building Code (IBC), International Energy Conservation Code (IECC), International Fire Code (IFC), and International Mechanical Code (IMC) unless otherwise specified. All drawings shall be in accordance with the current editions of the American Institute of Steel Construction, Inc. (AISC) Steel Construction Manual (SCM) and the current editions of the Aluminum Association's Aluminum Design Manual (ADM).

REVISIONS / NOTES	DATE	BY	CHKD.
1. ISSUED FOR PERMIT	08/14/2018	JLH	AKG
2. REVISION FOR SUBMITTAL			

TED MURRAY ARCHITECT INC.
200 WEST 4TH AVENUE
VANCOUVER, BC V6C 4K6
TEL (604) 734-6699
FAX (604) 736-3114

wesgroup
2017-2018
200 WEST 4TH AVENUE
VANCOUVER, BC V6C 4K6
TEL (604) 734-6699
FAX (604) 736-3114

PACIFICLINK
LOT 16 - BUILDINGS A, B, C, & D
COMMERCIAL ELEVATIONS

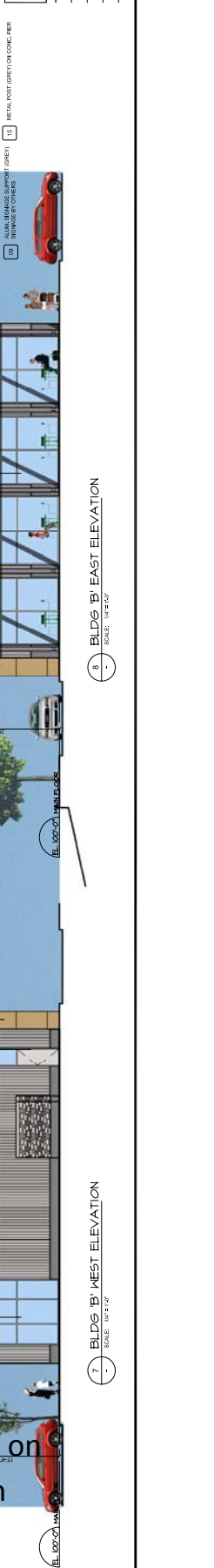
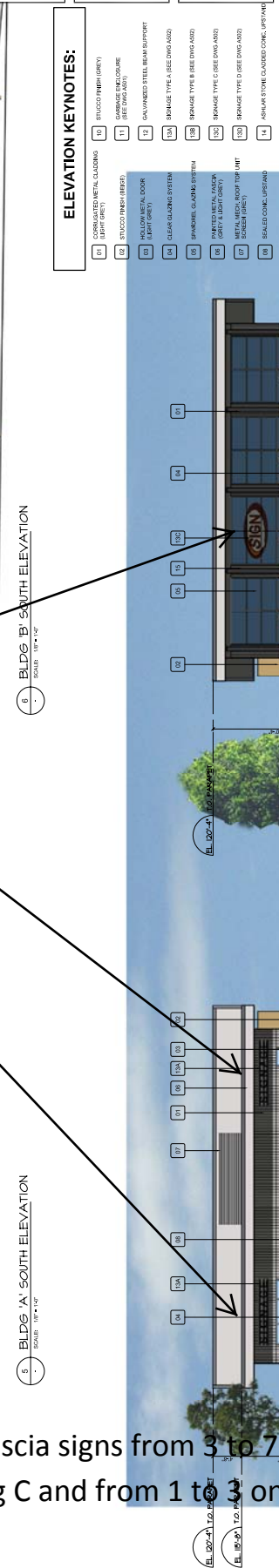
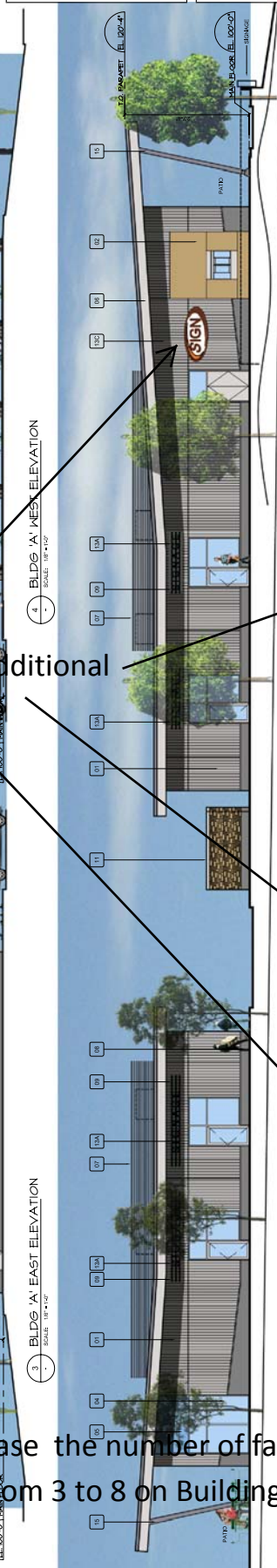
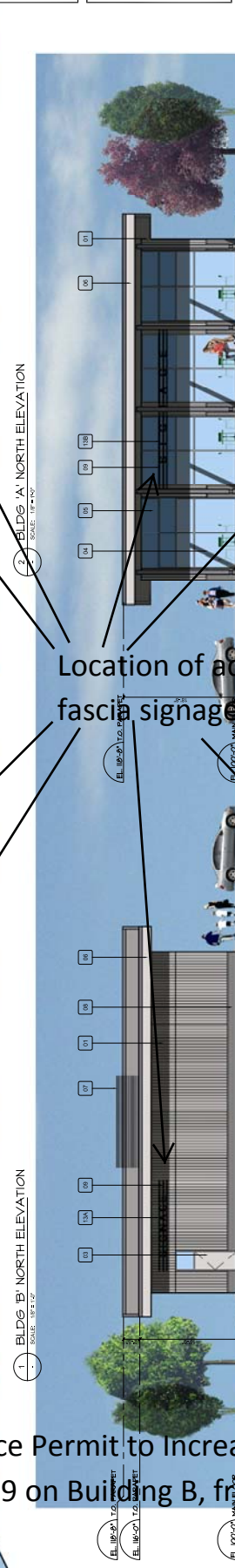
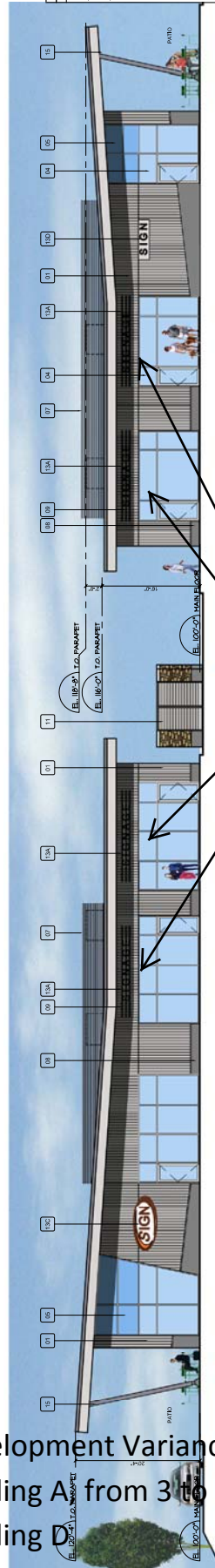
CONTRACT NO.

DATE: 08/14/2018

BY: JLH

CHKD.: AKG

SCALE: AS SHOWN



- ELEVATION KEYNOTES:**
- 01 CORRUGATED METAL GLAZING (LEFT GREY)
 - 02 STUCCO FINISH (RIGHT GREY)
 - 03 STUDDED FINISH (RIGHT GREY)
 - 04 HOLLOW METAL FLOOR (LEFT GREY)
 - 05 CLEAR GLAZING SYSTEM
 - 06 SPANDREL GLAZING SYSTEM (LEFT GREY)
 - 07 HANDED METAL SYSTEM (RIGHT GREY)
 - 08 METAL BEAD, ROOF TOP FINISH (RIGHT GREY)
 - 09 GALVANIZED STEEL BRACE SUPPORT (SEE DWG A20)
 - 10 CORRUGATED METAL GLAZING (LEFT GREY)
 - 11 SHAWNEE CEMENT SYSTEM (LEFT GREY)
 - 12 SPANDREL GLAZING SYSTEM (LEFT GREY)
 - 13 METAL BEAD, ROOF TOP FINISH (RIGHT GREY)
 - 14 ASHLAR STONE CLADDING (LEFT GREY)
 - 15 METAL POST (RIGHT) ON CORNER, PER FINISH IN OTHERS

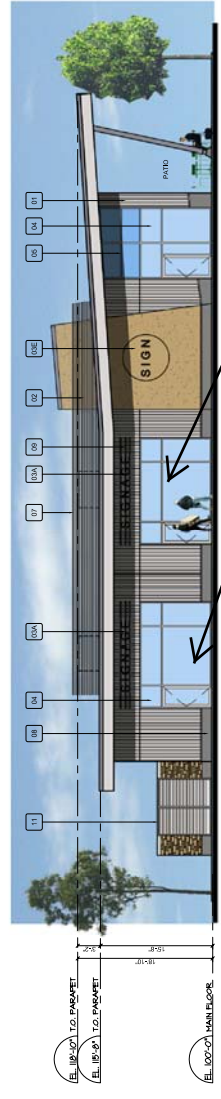
Location of additional fascia sign

Development Variance Permit to Increase the number of fascia signs from 3 to 7 on Building A from 3 to 9 on Building B, from 3 to 8 on Building C and from 1 to 1 on Building D.

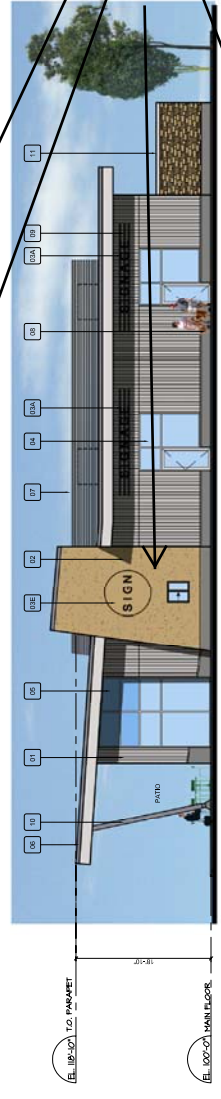
1. All work shall be done in accordance with the current edition of the National Building Code of Canada (NBC) and the current edition of the Ontario Building Code (OBC).
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 3. The contractor shall be responsible for ensuring that all work is done in accordance with the current edition of the National Building Code of Canada (NBC) and the current edition of the Ontario Building Code (OBC).
 4. The contractor shall be responsible for ensuring that all work is done in accordance with the current edition of the National Building Code of Canada (NBC) and the current edition of the Ontario Building Code (OBC).
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REVISION / NOTES	DATE	BY
ISSUED FOR PERMIT	2023	AM
ISSUED FOR PERMIT	2023	AM

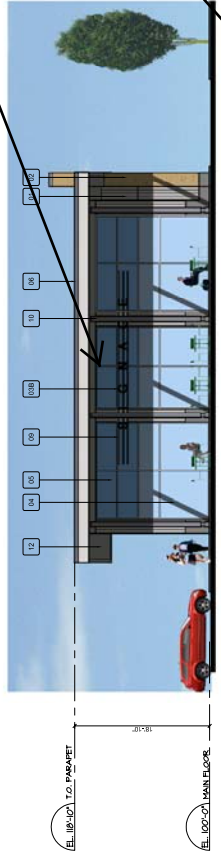
Location of additional fascia signage



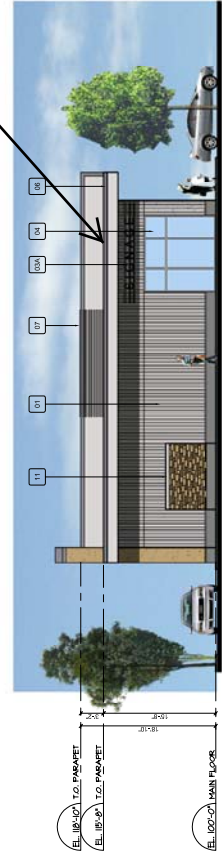
1. BLDG 'C' SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2. BLDG 'C' NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3. BLDG 'C' EAST ELEVATION
SCALE: 1/8" = 1'-0"



4. BLDG 'C' WEST ELEVATION
SCALE: 1/8" = 1'-0"

- ELEVATION KEYNOTES:**
- 01 PAINTED METAL CLADDING (SEE DWG A001)
 - 02 PAINTED METAL CLADDING (SEE DWG A001)
 - 03 STUCCO FINISH (SEE DWG A001)
 - 04 SPONGE TYPE A (SEE DWG A001)
 - 05 SPONGE TYPE B (SEE DWG A001)
 - 06 SPONGE TYPE C (SEE DWG A001)
 - 07 CLEAR GLAZING SYSTEM (SEE DWG A001)
 - 08 SPANREL CLADDING SYSTEM
 - 09 PAINTED METAL FACIAL (SEE DWG A001)
 - 10 METAL MESH ROOF FOR LIGHT SCREEN (SEE DWG A001)
 - 11 SEALED CORNER (UPWARD)
 - 12 ALUM. SPONGE SUPPORT (SEE DWG A001)
 - 13 METAL POST (SEE DWG A001)
 - 14 GARAGE ENCLOSURE (SEE DWG A001)
 - 15 METAL SOFFIT (LIGHT GREY)

TED MURRAY ARCHITECT INC.
 200-211 WEST 4TH AVE
 VANCOUVER, BC V6C 2K2
 TEL: (604) 724-4650
 FAX: (604) 726-5314

wesgroup
 Suite 1074, Four Island Centre
 1000 Burrard St. Vancouver, BC
 Tel: 604-682-2727
 Fax: 604-682-2727
 wesgroup.com

PACIFIC LINK
 LOT 16 - BUILDINGS A, B, C & D

PROJECT: LOT 16 - BUILDINGS A, B, C & D
 DRAWING TITLE: ELEVATIONS

DATE	SCALE
2023	AS SHOWN

A302

1. All drawings are subject to change without notice. The client is responsible for providing all necessary information and approvals. The architect is not responsible for any errors or omissions in the drawings or for any consequences arising therefrom. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect is not responsible for any delays or costs incurred by the client in obtaining such permits and approvals. The client is responsible for providing all necessary information and approvals. The architect is not responsible for any errors or omissions in the drawings or for any consequences arising therefrom. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect is not responsible for any delays or costs incurred by the client in obtaining such permits and approvals.

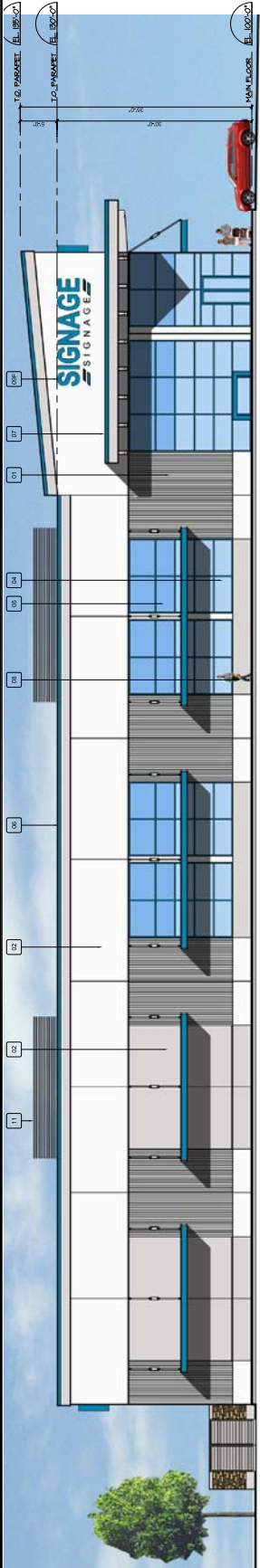
REVISIONS / NOTES	DATE	BY
ISSUED FOR PERMIT		
ISSUED FOR SUBMITTAL		

TED MURRAY ARCHITECT INC.
 200-211 WEST 4TH AVE
 SUITE 100
 CANADA, Y8K 8S2
 TEL: (604) 734-4659
 FAX: (604) 735-5114

wesgroup
 Suite 1074, Four Island Centre
 1000 Burrard St. Vancouver, BC V6Z 1K1
 Tel: 604-682-2227
 Fax: 604-682-2228
 www.wesgroup.com

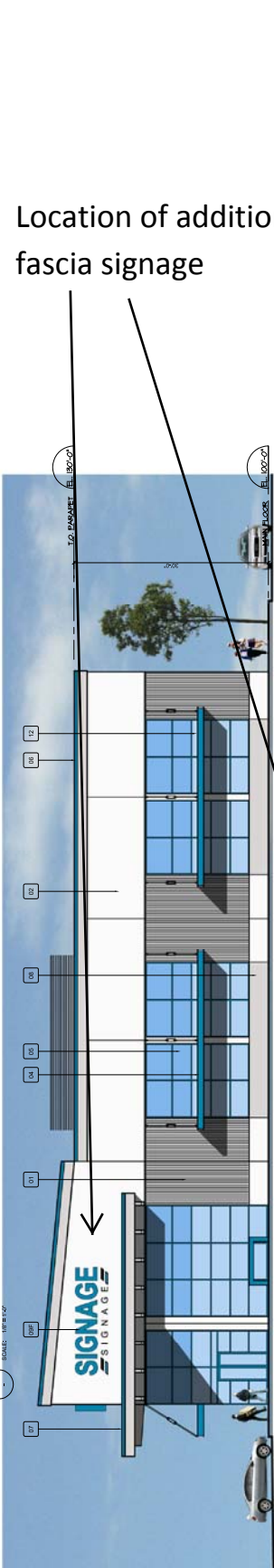
PACIFIC LINK
 LOT 16 - BUILDINGS A, B, C, & D
 VANCOUVER, BC
 PROJECT NO: 16-001
 DRAWING NO: 16-001-001

DATE	JULY 20, 2016
DESIGNER	ARCHITECT
DRAWN	ARCHITECT
CHECKED	ARCHITECT
SCALE	AS SHOWN

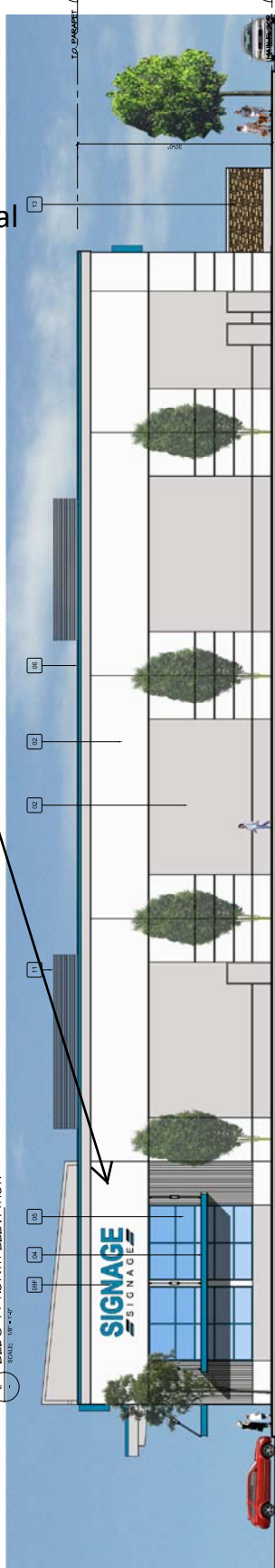


1 BLDG 'D' EAST ELEVATION
 SCALE: 1/8" = 1'-0"

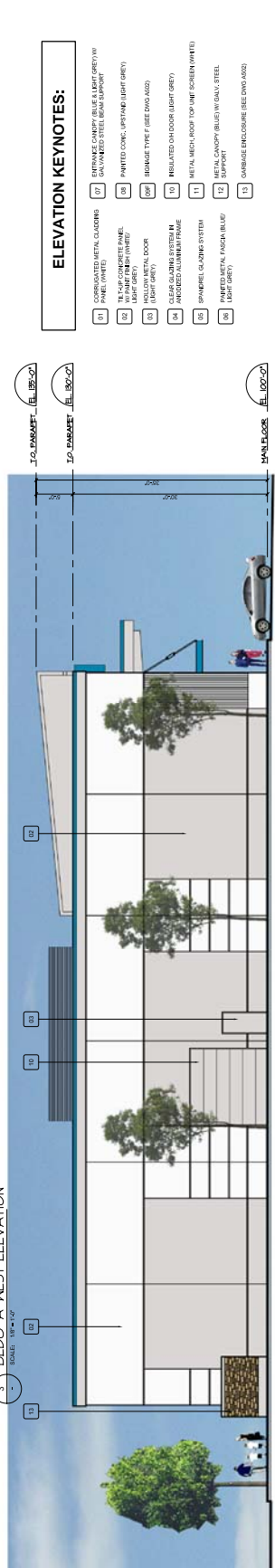
Location of additional fascia signage



2 BLDG 'A' NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

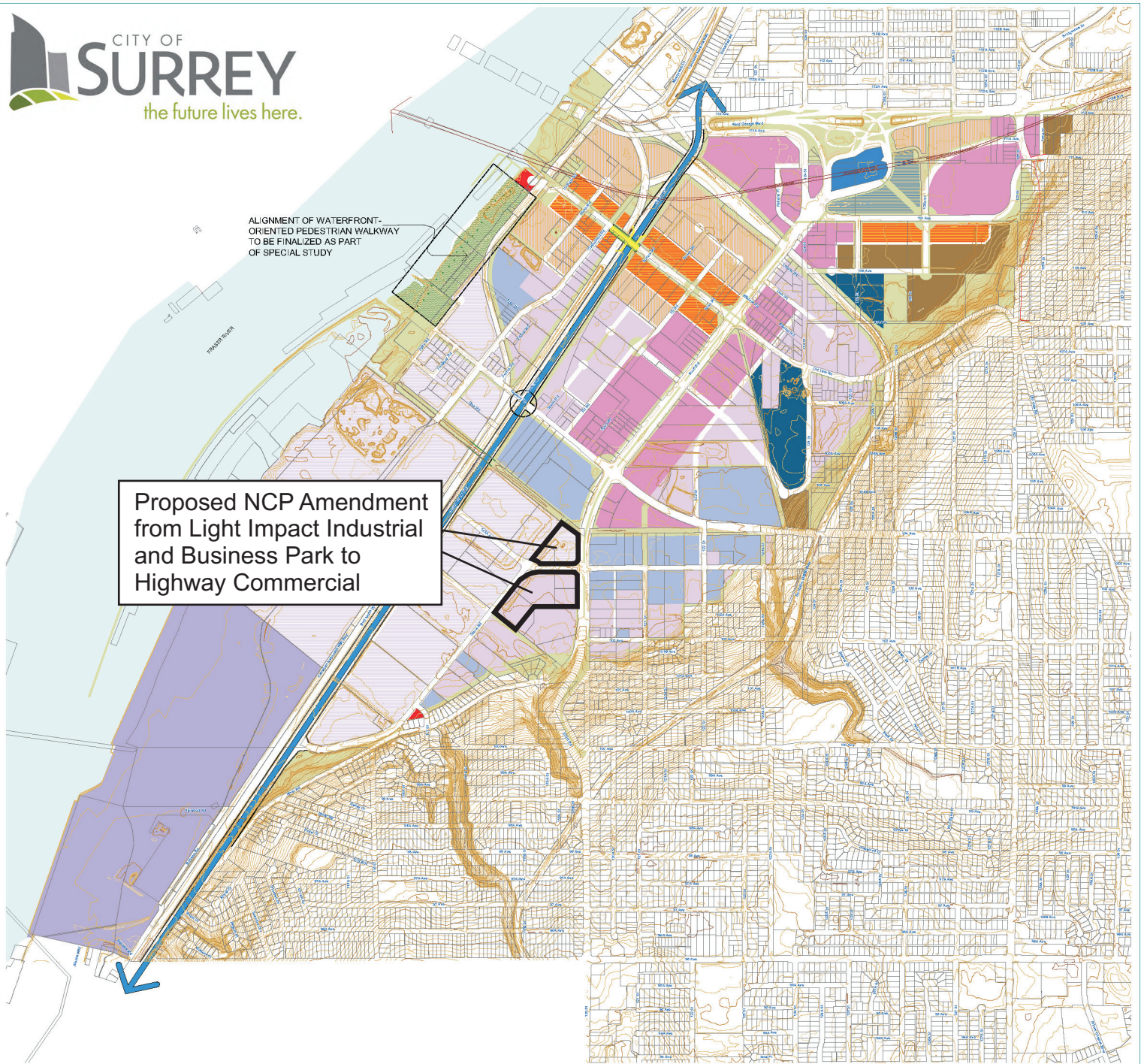


3 BLDG 'A' WEST ELEVATION
 SCALE: 1/8" = 1'-0"



4 BLDG 'B' SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

- ELEVATION KEYNOTES:**
- 01 CORRUGATED METAL CLADDING (PANELS)
 - 02 PAINTED CONCRETE (BASE LIGHT GREY)
 - 03 PAINTED CONCRETE (UPPER LIGHT GREY)
 - 04 INSULATED ON-DOOR (LIGHT GREY)
 - 05 METAL CANOPY (BASE IN GALV. STEEL)
 - 06 SPANDREL GLAZING SYSTEM (LIGHT GREY)
 - 07 FINISHED CONCRETE (BASE LIGHT GREY)
 - 08 PAINTED CONCRETE (UPPER LIGHT GREY)
 - 09 BRICK (SEE ENG. DRAWING)
 - 10 INSULATED ON-DOOR (LIGHT GREY)
 - 11 METAL CANOPY (UPPER SCREEN WHITE)
 - 12 SUPPORT
 - 13 GARAGE ENCLOSURE (SEE CIVIL DRAWING)



ALIGNMENT OF WATERFRONT-ORIENTED PEDESTRIAN WALKWAY TO BE FINALIZED AS PART OF SPECIAL STUDY

Proposed NCP Amendment from Light Impact Industrial and Business Park to Highway Commercial

SOUTH WESTMINSTER PLAN

APPROVED BY COUNCIL RESOLUTION R03 - 3189, DECEMBER 8/2003

BUSINESS PARK	COMMERCIAL	INSTITUTIONAL	OVERPASS
BUSINESS/RESIDENTIAL PARK	RETAIL/RESIDENTIAL	SKYTRAIN STATION	INTERCHANGE
LIGHT IMPACT INDUSTRIAL	HIGHWAY COMMERCIAL	SKYTRAIN	SOUTH FRASER PERIMETER ROAD
LIGHT IMPACT/BUSINESS PARK	TRANSIT ORIENTED URBAN VILLAGE	RAIL	WATERFRONT ORIENTED PEDESTRIAN WALKWAY
PORT-RELATED INDUSTRIAL	MULTIPLE RESIDENTIAL	SPECIAL STUDY AREA	

**CITY OF SURREY
PLANNING AND DEVELOPMENT DEPARTMENT**

SCALE: 0 50 100 150 200 250 Meters

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