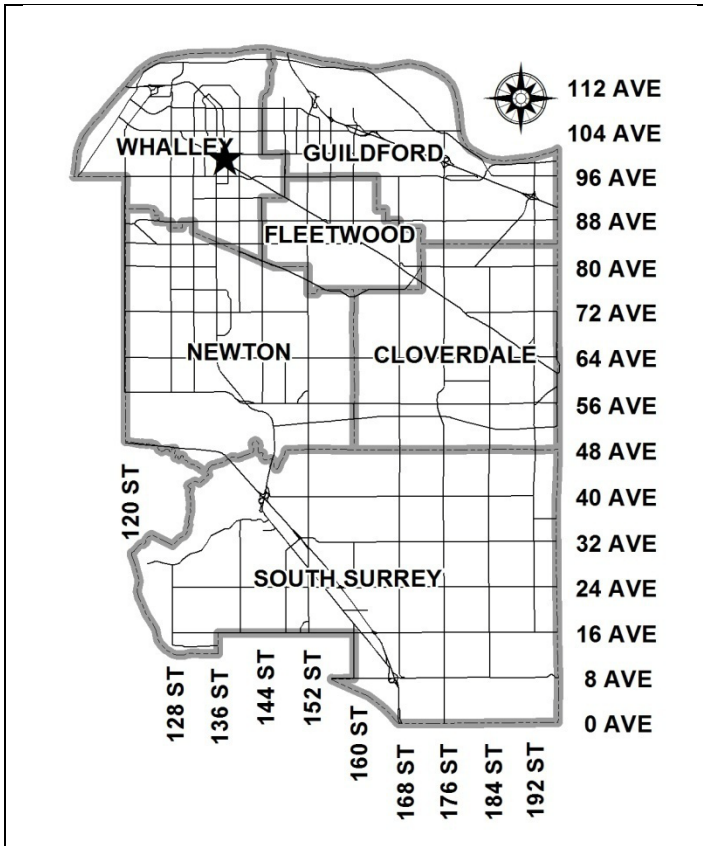


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7910-0258-00

Planning Report Date: June 27, 2011

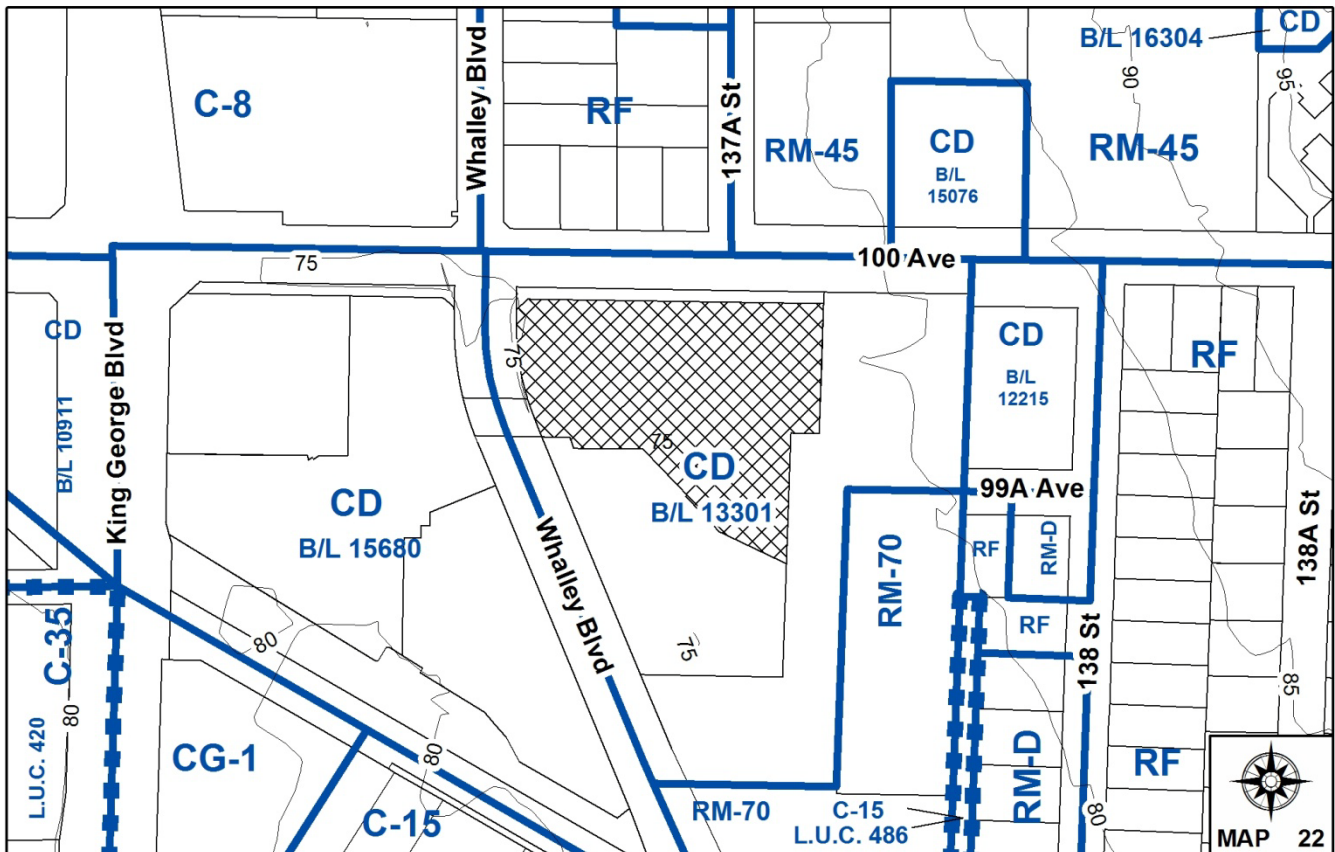


PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

in order to permit the development of two high-rise apartment towers and ground-oriented townhouse units.

LOCATION: 13718 - 100 Avenue
OWNER: o882160 B.C. Ltd.
ZONING: CD By-law No. 13301
OCP DESIGNATION: City Centre



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking setback and parking relaxations.

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- Complies with the use and density of the existing CD Zone (By-law No. 13301).
- The proposed density and building form are appropriate for this part of Surrey City Centre.
- The proposed development conforms to the goal of achieving high-rise, high density development around the SkyTrain Stations.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Surrey City Centre Plan.
- The proposed parking is consistent with other high-rise, high density residential developments around the SkyTrain Stations.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to reduce the amount of required indoor amenity space from 1,240 square metres (13,348 sq. ft.) to 786 square metres (8,462 sq. ft.).
2. Council authorize staff to draft Development Permit No. 7910-0258-00 in accordance with the attached drawings (Appendix II).
3. Council approve Development Variance Permit No. 7910-0258-00, (Appendix) varying the following sections of Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 1997, No. 13301, to proceed to Public Notification:
 - (a) to reduce the minimum northern (100 Avenue) setback from 7.5 metres (25 ft.) to 1.0 metres (3 ft.);
 - (b) to permit roof overhangs to extend to the northern lot line; and
 - (c) to reduce the minimum number of resident parking spaces from 977 to 886.
4. Council instruct staff to resolve the following issues prior to approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (c) submission of a landscaping cost estimate to the specifications and satisfaction of the City Landscape Architect;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) registration of a statutory right-of-way for a public path along the southern edge of the subject site next to Quibble Creek; and
 - (f) issuance of Development Variance Permit No. 7910-0258-00.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

23 Elementary students at Lena Shaw Elementary School
9 Secondary students at Guildford Park Secondary School

(Appendix IV)

The applicant advises that construction is scheduled to begin in mid-2012 with completion in mid-2014.

Parks, Recreation & Culture: No objection provided the developer registers a statutory right-of-way over the public walkway along the southern portion of the site.

SITE CHARACTERISTICS

Existing Land Use: Vacant.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 100 Avenue):	Older single family dwellings.	Multiple Residential	RF
	Three-storey apartment building.	Multiple Residential	RM-45
East:	Vacant lot, under application 7908-0312-00 for two high-rise residential towers.	City Centre	CD (By-law No. 13301)
South:	A City owned lot containing Quibble Creek and storm water detention pond.	City Centre	CD (By-law No. 13301)
West (Across Whalley Boulevard):	Phase 2 of the Park Place project (two, 36-storey residential towers with ground floor commercial) under construction.	City Centre	CD (By-law No. 15680)

DEVELOPMENT CONSIDERATIONSBackground

- The 1.01-hectare (2.5-acre) subject site at 13718-100 Avenue in Surrey City Centre is designated City Centre under the Official Community Plan (OCP) and is zoned Comprehensive Development Zone (CD) By-law No. 13301.

- Under CD Zone (By-law No. 13301), which was given final adoption on May 11, 1998, multiple unit residential buildings are a permitted use.
- In 2005 Jung Ventures, the former owner of the site, submitted a Development Permit application to permit the development of two high-rise residential towers and a podium structure containing townhouse and apartment units. A total of 900 units were proposed.
- On March 10, 2008, Council issued Development Permit No. 7906-0225-00 for the twin-tower SkyTowers project, the name given to the project by the developer.
- However, this project did not proceed due to market conditions and the subject site was acquired by the current owner.
- A portion of the Jung Ventures site was located within the 30-metre (100 ft.) riparian setback area of Quibble Creek which runs to the south of the site. As a result, as a condition of approval, Jung Ventures conveyed this riparian setback area to the City as a fee simple lot.
- Jung Ventures also transferred lands along 100 Avenue and Whalley Boulevard to the City as fee simple lots for future road widening. Once the legal encumbrances have been removed from these fee simple lots, these lots will be dedicated as road allowance.

Current Zoning

- The subject site is currently zoned Comprehensive Development (CD) Zone (By-law No. 13301).
- CD Zone (By-law No. 13301) does not specify a maximum floor area ratio (FAR) for the subject site, but sets a maximum gross building area of 61,500 square metres (662,000 sq. ft.) that can be constructed on the site.
- The proposed project contains 61,481 square metres (661,798 sq. ft.) of gross building area, which is just below the maximum 61,500 square metres (662,000 sq. ft.) permitted.
- The proposed development conforms, therefore, to the use and density permitted in CD By-law No. 13301.
- Based on a net site area of 1.01 hectares (2.5 acres), the proposed 61,481 square metres (661,798 sq. ft.) of gross building area proposed translates into a floor area ratio (FAR) of 6.1. The Surrey City Centre Land Use and Density Concept indicates that the subject site is appropriate for densities up to 5.5 FAR, with an option to increase this density by up to 20% to 6.6 FAR.
- As the density on the subject site, under the provisions of CD Zone (By-law No. 13301) is related solely to gross building area and not to FAR however, the proposed project conforms in terms of density.

DESIGN PROPOSAL AND REVIEW

General Layout

- The proposed project consists of two high-rise residential towers, joined by a block of two-storey townhouses facing 100 Avenue.
- It is anticipated that the project will be built in two phases.
- Phase 1 will be comprised of the high-rise tower located along 100 Avenue at the far eastern edge of the site. The Phase 1 tower will be 39 storeys in height, and will contain a total of 430 apartment units, consisting of a mix of studio, one bedroom, and two-bedroom units, ranging in size from 40 square metres (428 sq. ft.) to 83.5 square metres (899 sq. ft.).
- Phase 2 will be comprised of the second high-rise tower, at the northwest corner of the site, at the intersection of Whalley Boulevard and 100 Avenue, and seven townhouse units facing 100 Avenue. The Phase 2 tower will be 41 storeys in height and will contain a total of 449 apartment units, comprised of a mix of studio, one bedroom, and two bedroom units, ranging in size from 40 square metres (428 sq. ft.) to 83.5 square metres (899 sq. ft.). The 7, 2-storey townhouse units will be 116 square metres (1,250 sq. ft.) in area and will incorporate outdoor roof terraces.
- The CD Zone governing the subject site does not specify a maximum building height. However, the proposed 39- and 41-storey tower are in keeping with the 36-storey towers currently under construction on the west side of Whalley Boulevard across from the subject site and with the proposed 43-storey tower on the lands to the east (application No. 7908-0312-00 at Third Reading).
- The pedestrian entry to the eastern tower will be located at the northeast corner of this tower, adjacent to 100 Avenue.
- The pedestrian entry to the northwest tower, will be located at the corner of the building at the intersection of 100 Avenue and Whalley Boulevard.

Building Design

- The proposed buildings incorporate a modernist design with clean, straight lines, emphasizing the verticality of the two towers.
- The lower floors of the towers and townhouses will be clad in beige-coloured limestone to provide weight to the base of the building and to provide continuity between the podium element and the towers.
- The towers will be clad in clear vision glass and medium-green spandrel glass panels.
- Beige-coloured and white vertical elements will extend from the base of the towers to the roof.

- Balcony guard panels and canopies over the entry will consist of clear glass to provide additional contrast to lighten the tower structures.
- Window and door frames will be dark grey-painted metal, while metal flashing and metal louvers found in various locations on the exterior of the building, will be charcoal coloured.
- The roofs of both towers will be flat and include extensive open roof decks around the perimeter of the roof. The roof area will also include an outdoor sun room that will be covered with a skylight roof.

Indoor Amenity Space

- The indoor amenity space will be located on the ground floor and second floor of each tower.
- In Phase 1, the indoor amenity space will consist of a gym with cardio, weight and yoga areas, as well as a whirlpool and associated washrooms, covering an area of 314 square metres (3,381 sq. ft.).
- In Phase 2, the indoor amenity space will consist of meeting rooms, a theatre, TV room, karaoke room, kitchen, a whirlpool and associated washrooms, covering an area of 370 square metres (3,981 sq. ft.).
- A free-standing pavilion, containing a lounge and kitchen and washrooms and covering 102 square metres will be constructed in Phase 2 as part of the outdoor activity area. (See following section on Landscaping and Outdoor Amenity Space.)
- The indoor amenity space will total 786 square metres (8,462 sq. ft.), which is 454 square metres (4,887 sq. ft.) less than the 1,240 square metres (13,348 sq. ft.) required under the CD Zone (By-law No. 13301) (1.4 square metres/15 sq. ft. per dwelling unit).
- Mitigation for a shortfall in indoor amenity space for this site was submitted under the previous application No. 7906-0225-00.

Landscaping and Outdoor Amenity Space

- As with the previous proposal, the applicant is proposing to construct two public plaza areas along the 100 Avenue frontage of the subject site.
- In recognition of the fact that the northwest corner of the subject site is located on a very prominent intersection (the corner of 100 Avenue and Whalley Boulevard), the applicant is proposing to create a major pedestrian plaza at this intersection, that will anchor the intersection and provide an entry to the adjacent 41-storey tower.
- The plaza will be hard surfaced with Holland pavers and will incorporate concrete bench seating surrounding a metal sculpture located in the centre of the plaza.

- A dry stream, along with a pedestrian pathway, will run adjacent to Whalley Boulevard, terminating in a geometric design at the corner. The dry stream is a stylized surface representation of Quibble Creek, which is culverted at this location.
- A smaller plaza of similar, but less elaborate, design will be located at the east side of the site, adjacent to the entry of the eastern tower.
- Unlike the previous project which located the outdoor amenity space on the fourth floor of the podium, on the roof of the above-ground parkade, the current project opens up the entire southern portion of the site for ground level landscaping, outdoor amenity and publicly accessible spaces.
- The outdoor amenity area will consist of an extensive hard-surfaced area surrounding a central, outdoor activity centre. The outdoor activity centre will include a one-storey pavilion with a green-roof that will house a large lounge and kitchen area and washrooms and change areas.
- The walls of the lounge will be retractable to open up the pavilion to the adjacent outside amenity features which will include a lap pool, fire pit and whirlpool.
- A meandering stream with two large pool areas will be located along the north and west sides of the outdoor amenity area. This stream area will be used as part on-site storm water management and retention system.
- The applicant is also proposing to construct a meandering 3-metre (10 ft.) wide public walkway along the southern edge of the site. This walkway will link Whalley Boulevard with the existing and proposed walkways on the existing and proposed projects to the east and will provide the public visual accessibility to Quibble Creek and the Quibble Creek riparian areas.
- The public walkway will be secured by a statutory right-of-way for public passage.
- As noted previously, additional outdoor amenity area will be provided in the form of a sun room and roof terraces that will be located on the roof of each tower. A washroom and outdoor kitchen will be added to each roof level, allowing the terraces and sunroom to be used for a variety of outdoor events.
- Each townhouse unit will have a private roof-top terrace with a wood trellis to provide shade.
- The outdoor amenity space will cover square 3,500 metres (37,700 sq. ft.), which is 842 square metres (9,000. sq. ft.) more than the 2,658 square metres (28,600 sq. ft.) required under the CD Zone for the site (3.0 square metres./32 sq. ft. per dwelling unit).

Parking

- Parking will be provided in a four-level underground parking garage.
- The underground parking will be accessed from two driveways, one located along 100 Avenue and one located along Whalley Boulevard.

- A formal, landscaped driveway, accessing 100 Avenue, will be constructed along the east side of the subject lot. The access to the Phase 1 underground parking will be located along this driveway.
- Three short-term pick-up and drop-off parking spaces will be incorporated into this eastern driveway.
- In order to reduce the number of driveways along 100 Avenue, it is intended that this driveway will provide vehicle access to both the subject site and to the adjacent lot to the east, which is in the process of being rezoned to accommodate high-density, high-rise residential development (Application No. 7908-0312-00 at Third Reading).
- The vehicle access to the Phase 2 underground parking garage will be located on the west side of the site along Whalley Boulevard.
- The underground parking garage will contain a total of 1,028 parking spaces.
- Of these 1,028 parking spaces, 886 parking spaces will be provided for residents, which is less than the 977 parking spaces required under the CD Zone (By-law No. 13301) and a variance is proposed.
- Even though the number of resident parking spaces being provided is less than required under the Zoning By-law requirements, the number of resident parking spaces being provided is consistent with the one resident parking space per unit that has been supported for other projects in proximity to SkyTrain stations in City Centre.
- A total of 142 parking spaces are provided for visitors, which is in accordance with the visitor parking spaces required under the CD Zone (By-law No. 13301) for the site.
- Four additional surface visitor parking spaces, three at the Phase 1 driveway entrance, and one along the driveway into Phase 2, also provide for short term pick-up and drop-off.

ADVISORY DESIGN PANEL

- The previous development on the subject site, the twin-tower project approved under Development Permit No. 7906-0225-00, was reviewed by the Advisory Design Panel. The current proposal retains the essential elements of the previous proposal but has been revised to reflect current market conditions. The principal change involves the removal of the above ground parkade and associated townhouse and apartment units along the south side of the site. Removal of the above-ground parkade has resulted in the creation of a large outdoor landscaped and amenity area at ground level that opens up the site and integrates the site with the adjoining Quibble Creek and newly created public walkway. Exterior finishes, particularly at the base of the building, have been upgraded.
- It was determined that the changes to the original proposal are major improvements to the project and, as the essential tower design and siting remained consistent with the previously approved plans, it was not necessary to forward the project to the Advisory Design Panel for review.

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variance:

- To vary CD By-law No. 13301 to reduce the minimum northern (100 Avenue) setback from 7.5 metres (25 ft.) to 1.0 metre (3 ft.).

Applicant's Reasons:

- Reduced setbacks are required to meet the City's objective of creating a more pedestrian streetscape and are consistent with the variances granted by City Council with respect to the previous development on the site.

Staff Comments:

- The reduced setbacks conform to the City's goal of creating a more urban, pedestrian-oriented environment and is consistent with the variances supported by the Planning & Development Department and granted by City Council with respect to the previous development on the site
- The developer is still able to provide a full 2.0-metre (6.5 ft.) wide boulevard and 2.0-metre (6.5 ft.) wide public sidewalk along 100 Avenue in accordance with City Centre standards.
- As a result, the Planning & Development Department can support the requested variance.

(b) Requested Variance:

- To vary CD By-law No. 13301 by amending the definition of setback in Surrey Zoning By-law No. 12000, to permit the roof overhang to extend to the northern lot line.

Applicant's Reasons:

- The roof projection is an integral part of the building design and is intended to help emphasize the roof structure.

Staff Comments:

- As the proposed roof projection is located at the top of the towers, 39 and 41 storeys above grade, the overhangs will not have any impact on adjoining property but help strengthen the design of the building.
- As a result, the Planning & Development Department can support the requested variance.

(c) Requested Variance:

- To vary CD By-law No. 13301 by amending the parking requirements in Surrey Zoning By-law No. 12000, by reducing the minimum number of resident parking spaces from 977 to 886.

Applicant's Reasons:

- The removal of the above-ground parking structure which formed part of the previous proposal for the site, reduced the number of parking spaces on the site.
- However, even with the removal of this parking structure, resident parking at the rate of one resident parking space per unit has been achieved.

Staff Comments:

- The number of resident parking spaces being provided is consistent with the one resident parking space per unit that has been supported for other projects in proximity to SkyTrain Stations in City Centre.
- As a result, the Planning & Development Department can support the requested variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspectives
Appendix III.	Engineering Summary
Appendix IV	School District Comments
Appendix V	Development Variance Permit No. 7910-0258-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Patrick Cotter Architects and van der Zalm and associates, respectively, dated June 6, 2011.

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

GAG/kms

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Rob Whetter, Patrick Cotter Architect Inc.
 Address: Unit 235 11300 No. 5 Road
 Richmond BC V7A 5J7

 Tel: 604-272-1477 - Work

2. Properties involved in the Application

- (a) Civic Address: 13718 - 100 Avenue

(b) Civic Address: 13718 - 100 Avenue
 Owner: 0882160 BC Ltd., Inc. No. 0882160
 Director Information:
 Dennis Au-Yeung

No Officer Information Filed

PID: 027-442-365
Lot 1 Section 35 Block 5 North Range 2 West New Westminster District Plan BCP35159

3. Summary of Actions for City Clerk's Office

- (a) Proceed with Public Notification for Development Variance Permit No. 7910-0258-00 and bring the DVP forward for an indication of support by Council. If supported, the DVP will be brought forward for issuance and execution by the Mayor and Clerk in conjunction with the associated Development Permit.

(b) Remove Notice of Development Permit No. 7906-0225-00 from title.

(c) Remove Notice of Development Variance Permit No. 7906-0225-01 from title.

DEVELOPMENT DATA SHEET

Existing Zoning: CD By-law 13301

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total	1.01 ha.	1.01 ha.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	NA	
SETBACKS (in metres)		
North	7.5 metres	1.0 metre *
South	7.5 metres	19 metres
West	7.5 metres	12.9 metres
East	Zero	14.5 metres
BUILDING HEIGHT (in metres/storeys)		
Principal	N/A	120 m. & 114 m.
Accessory	N/A	4.0 metres
NUMBER OF RESIDENTIAL UNITS		
Bachelor		132
One Bed		441
Two Bedroom		306
Townhouse		7
Total		886
FLOOR AREA: Residential		61,481 sq. m.
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA	61,500 sq. m.	61,481 sq. m.

* Variance requested

Development Data Sheet cont'd

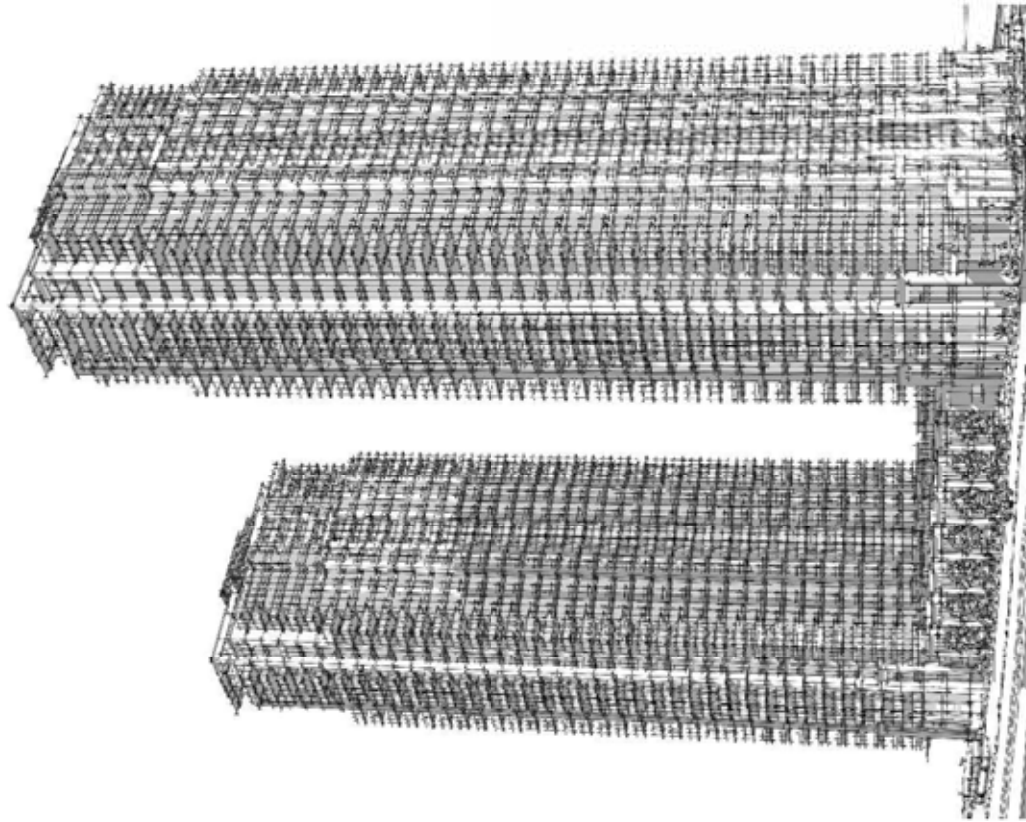
Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	N/A	
FAR (gross)		
FAR (net)	N/A	
AMENITY SPACE (area in square metres)		
Indoor	1,240 sq. m.	786 sq. m.
Outdoor	2,658 sq. m.	3,500 sq. metres
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Resident	974	886 *
Residential Visitors	142	142
Institutional		
Total Number of Parking Spaces	1,116	1,028 *
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

* Variance requested

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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SKY TOWERS RESIDENTIAL DEVELOPMENT

100th Ave. & Whalley Boulevard, Surrey, BC



DP APPLICATION
JUNE 06, 2011



100th Ave. & Whalley Boulevard, Surrey, BC V4A 1A7

PROJECT DIRECTORY

Architectural:
Patrick Cotter Architect Inc.
Suite #235 11300 No. 5 Road
Richmond, BC V7A 5J7
T(604) 272-1477, F(604) 272-1471

Landscape:
van der Zalm + Associates Inc.
Suite 1, 8938 162nd Street,
Surrey, BC V4N 3W8
T(604) 882-0024, F(604) 882-0042

Owner:
Concord Pacific
8th Floor 1095 W. Pender St.
Vancouver BC V6E 2M6
T(604) 581-8882, F(604) 895-8298

DRAWING LIST

- ARCHITECTURAL**
- A-001 COVER SHEET/PROJECT DATA
 - A-002 DEVELOPMENT DATA
 - A-101 COPY OF SURVEY
 - A-102 SITE PLAN
 - A-103 STREETSCAPE
 - A-104 CONTEXT PLAN
 - A-105 CONCEPT PLAN
 - A-201 PARKADE PLAN PA
 - A-202 TYPICAL PARKADE PLAN (P1-P3)
 - A-211 LEVEL 1 FLOOR PLAN
 - A-212 LEVEL 2 FLOOR PLAN
 - A-213 LEVEL 3 FLOOR PLAN
 - A-214 LEVEL 4 FLOOR PLAN
 - A-215 TYPICAL LEVEL (FP-1)
 - A-215a ENLARGED FLOOR PLAN (FP-1)
 - A-216 TYPICAL LEVEL FLOOR PLAN (FP-2)
 - A-216a ENLARGED FLOOR PLAN (FP-2)
 - A-217 MECHANICAL ROOM LEVEL
 - A-221 ROOF PLAN
 - A-222
 - A-301 NORTH ELEVATION (TOWER 1&2)
 - A-301a ENLARGED NORTH ELEVATION
 - A-302 SOUTH ELEVATION (TOWER 1&2)
 - A-303 EAST & WEST ELEVATIONS (TOWER 1)
 - A-304 EAST & WEST ELEVATIONS (TOWER 2)
 - A-305 NORTH & WEST ELEVATION (RENDERED)
 - A-306 NORTH ELEVATION DETAIL (RENDERED)
 - A-307 WEST ELEVATION DETAIL (RENDERED)
 - A-401 BUILDING SECTION THRU 'AA'
 - A-402 BUILDING SECTION THRU 'BB'
 - A-403 BUILDING SECTION THRU 'CC'
 - A-404 BUILDING SECTION THRU 'DD'
 - A-501 WALL SECTIONS
 - A-501 PAVILION FLOOR PLAN & ELEVATIONS
 - A-501 FIRE EXIT FLOOR PLAN AND ELEVATIONS
 - A-501 CANOPY DETAILS
 - A-901 PERSPECTIVES
 - A-902 PERSPECTIVES (PAVILION)
 - A-903 PERSPECTIVES (PAVILION)
 - A-911 CONTEXT PHOTOS

PROJECT INFORMATION

CIVIC ADDRESSES: 13718 100th AVENUE, SURREY BC
(AT WHALLEY BOULEVARD)

LEGAL DESCRIPTIONS: LOT 1, SEC 35, BLK 5 NORTH
RANGE 2, NWD PLAN BCP 35169

APPLICANT: PATRICK COTTER ARCHITECT INC
235 - 11300 No.5 ROAD
RICHMOND, BC V7A 5J7

ZONING: CD (EXISTING, TO REMAIN)

DP FILE NUMBER:

DATA SUMMARY

Site Area - Gross	165,600.0 s.f.
Site Area - Net	106,566.5 s.f.
Site Coverage	32,224.3 s.f.
Phase 1 (East)	
Floor Area - Gross	318,339.26 s.f.
Floor Area - Net	260,861.80 s.f.
# Res. Floors	39
# Res. Units	430
Avg. Unit Size	606.06 s.f.
Parking Provided	499 stalls
Phase 2 (West)	
Floor Area - Gross	342,046.34 s.f.
Floor Area - Net	272,213.07 s.f.
# Res. Floors	41
# Res. Units	448 + 77H
Avg. Unit Size	606.27 s.f.
Parking Provided	529 stalls
Overall	
Floor Area - Gross	661,485.60 s.f.
Floor Area - Net	533,074.87 s.f.
# Res. Units	880
Parking Provided	1,028 stalls

LOCATION MAP





SKY Tower Residential Development: 100th Ave. Whalley Boulevard, Surrey, B.C.



ZONING: CD - Comprehensive Development **Date:** 24-May-11

GROSS:	185,920.00	Sq. Ft.	Acres	Hectares	m ²
SITE AREA:	17,273.03				
Deductions:	77,953.60	4.27	0.719	2.186	38
NET:	108,966.50	2.49	1.009	10,066.16	

UNITS: 886
DENSITY: 350 U/D.A.
 878 U/D.FA.
 3.56 F.A.C.

SITE COVERAGE: PROPOSED: 31% 33,458.45 Sq. Ft. (roofs above ground)
NET GROSS RATIO: PROPOSED: 0.81
FAR: PROPOSED: 3.56 661,405.63 Sq. Ft. (see Area Overlays)

BUILDING AREA SUMMARY:

Building	No. Stories	Gross Floor Area (Sq. Ft.)	Net Floor Area (Sq. Ft.)	Ratio	No. of Units	Ave. Net Unit Size (Sq. Ft.)
Phase 1	29+4	315,330.26	260,861.80	0.83	430	606.66
Phase 2	41+4	342,040.34	272,213.07	0.80	449	606.27
TOTAL		661,485.68	533,074.87	0.81	886	681.66

Phase One Unit Count Summary:

Unit Type	No. Units	%
Studio/Backsler	64	15
1 Bedroom	216	50
1 Bedroom + Den	0	0
2 Bedroom	150	35
Townhouses	0	0
TOTAL	430	100

Phase Two Unit Count Summary:

Unit Type	No. Units	%
Studio/Backsler	68	15
1 Bedroom	225	49
1 Bedroom + Den	0	0
2 Bedroom	156	34
Townhouses	7	2
TOTAL	456	100

All Building Unit Counts Summary:

Unit Type	No. Units	%
Studio/Backsler	132	15
1 Bedroom	441	50
2 Bedroom + Townhouse	313	35
TOTAL	886	100

AMENITY AREAS:

PHASE	PH 1	PH 2
2 B & L	3,391.46	3,081.24
AVAILABILITY		1,100.00
TOTAL	8,462.77	5.1

Phase One Parking Summary:

STUDIOS/BACKSLERS	UNIT COUNT	RATIO REQUIRED	PARKING REQUIRED	RATIO PROVIDED	PARKING PROVIDED
STUDIOS/BACKSLERS	260	1.04	270	1.00	280
2 BED OR MORE	156	1.20	187	0.92	144
TOWNHOUSE	0	0.16	7.20	0.86	13
VEGETATION	0	0.16	7.20	0.16	73
DESIRABILITY			4,990.5	0.0100	5
TOTAL	430	0.01	540	1.16	499

Phase Two Parking Summary:

STUDIOS/BACKSLERS	UNIT COUNT	RATIO REQUIRED	PARKING REQUIRED	RATIO PROVIDED	PARKING PROVIDED
STUDIOS/BACKSLERS	225	1.04	235	1.00	243
2 BED OR MORE	156	1.20	187	0.92	144
TOWNHOUSE	7	0.16	7.20	0.86	13
VEGETATION	0	0.16	7.20	0.16	73
DESIRABILITY			5,262.1	0.0100	5
TOTAL	456	0.01	572	1.16	579

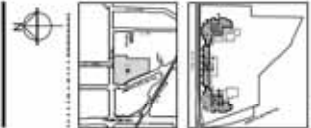
All Parking Summary:

Phase One	Phase Two	Total
Unit Count	430	886
Required Parking	499	1,079
Ratio Provided	1.16	1.16

BICYCLE LOCKERS:

Phase One	Phase Two	Total
Required	547	547
Provided	547	547





Symbol	Description
(Symbol)	Proposed Building Footprint
(Symbol)	Proposed Parking
(Symbol)	Proposed Driveway
(Symbol)	Proposed Access Road
(Symbol)	Proposed Utility
(Symbol)	Proposed Landscape
(Symbol)	Proposed Retention Wall
(Symbol)	Proposed Stormwater Management
(Symbol)	Proposed Erosion Control
(Symbol)	Proposed Security
(Symbol)	Proposed Other

NO. 1	PROPOSED BUILDING FOOTPRINT
NO. 2	PROPOSED PARKING
NO. 3	PROPOSED DRIVEWAY
NO. 4	PROPOSED ACCESS ROAD
NO. 5	PROPOSED UTILITY
NO. 6	PROPOSED LANDSCAPE
NO. 7	PROPOSED RETENTION WALL
NO. 8	PROPOSED STORMWATER MANAGEMENT
NO. 9	PROPOSED EROSION CONTROL
NO. 10	PROPOSED SECURITY
NO. 11	PROPOSED OTHER

DATE: 08/20/2014
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 PROJECT: SKY TOWERS RESIDENTIAL DEVELOPMENT

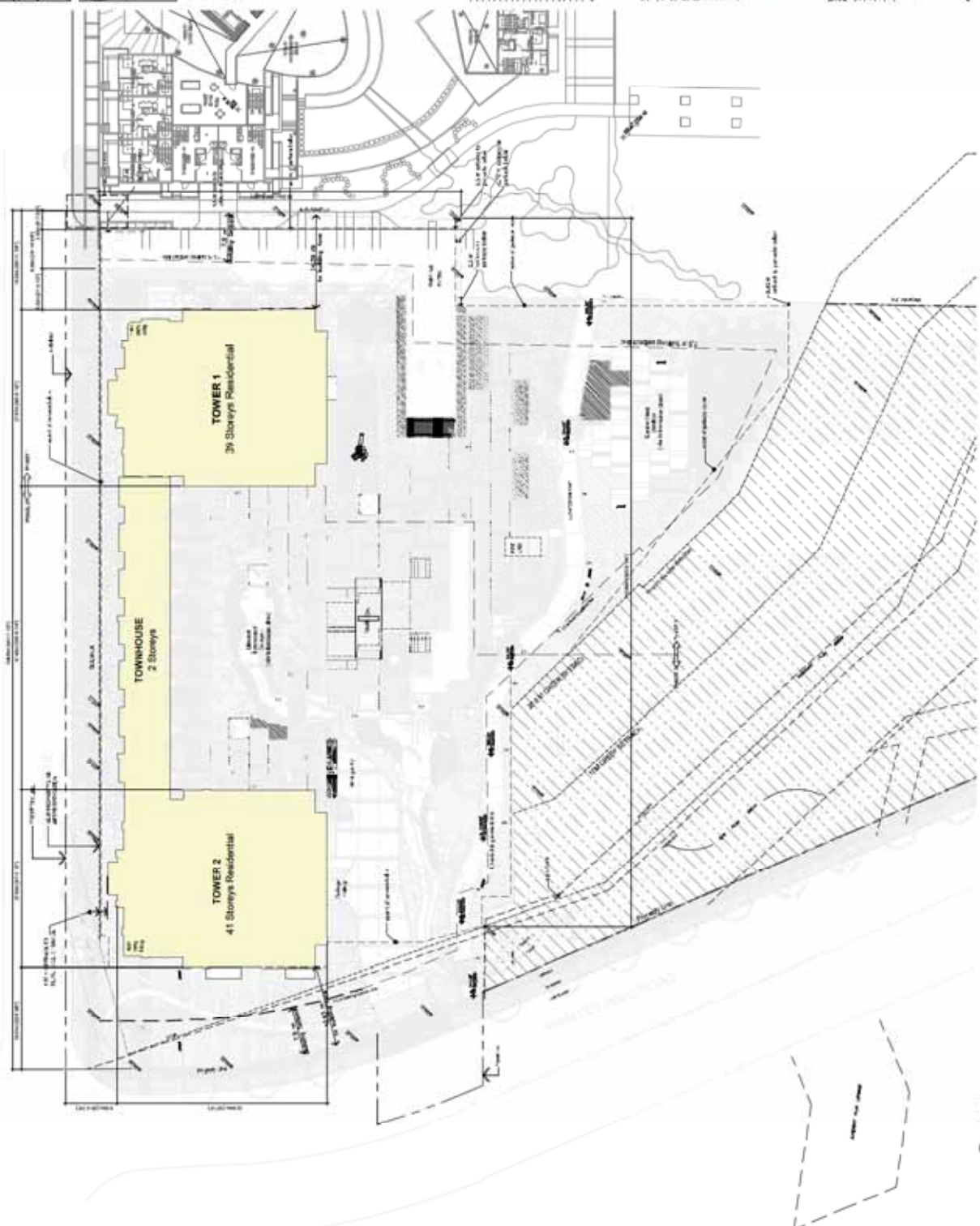
SKY TOWERS RESIDENTIAL DEVELOPMENT
 SITE PLAN

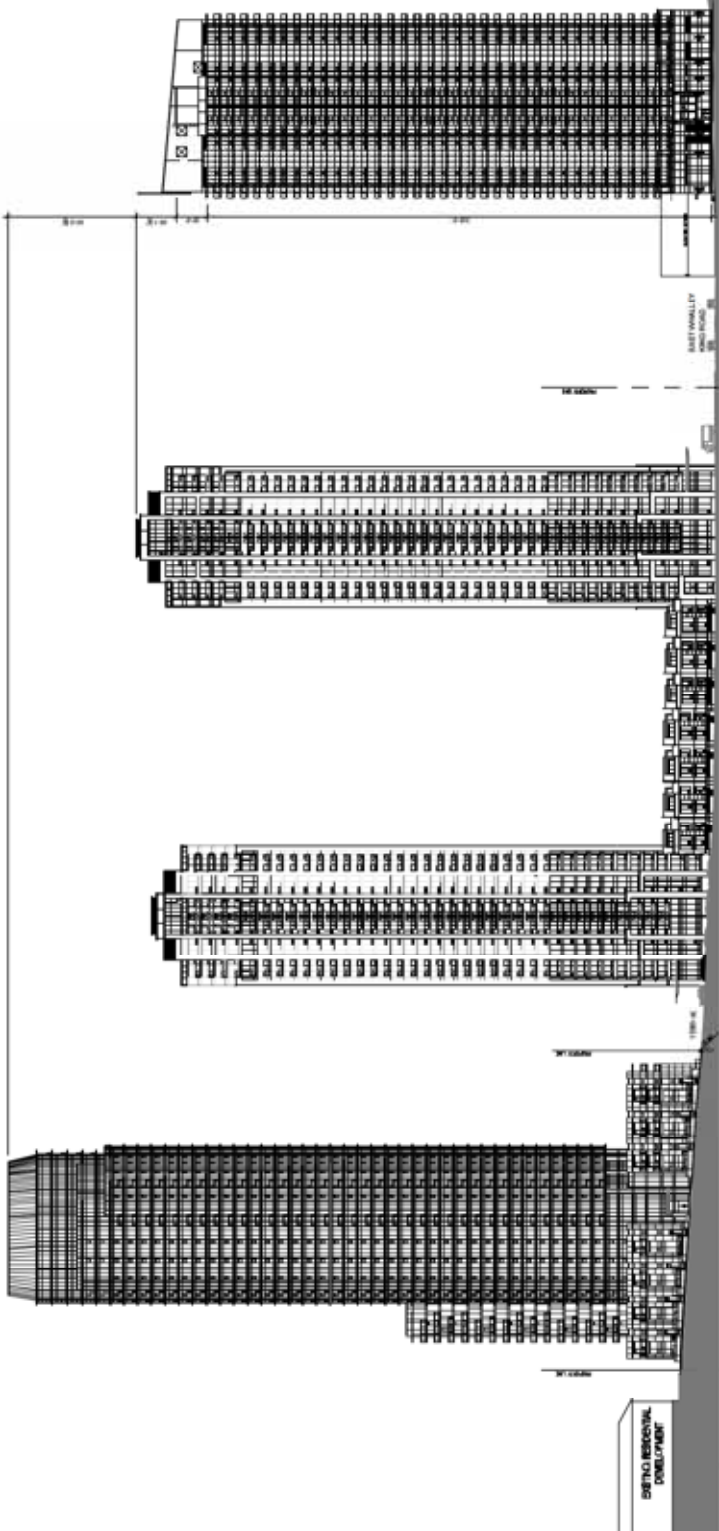


NO.	DESCRIPTION
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2	PROPOSED PARKING
3	PROPOSED DRIVEWAY
4	PROPOSED ACCESS ROAD
5	PROPOSED UTILITY
6	PROPOSED LANDSCAPE
7	PROPOSED RETENTION WALL
8	PROPOSED STORMWATER MANAGEMENT
9	PROPOSED EROSION CONTROL
10	PROPOSED SECURITY
11	PROPOSED OTHER

SITE PLAN

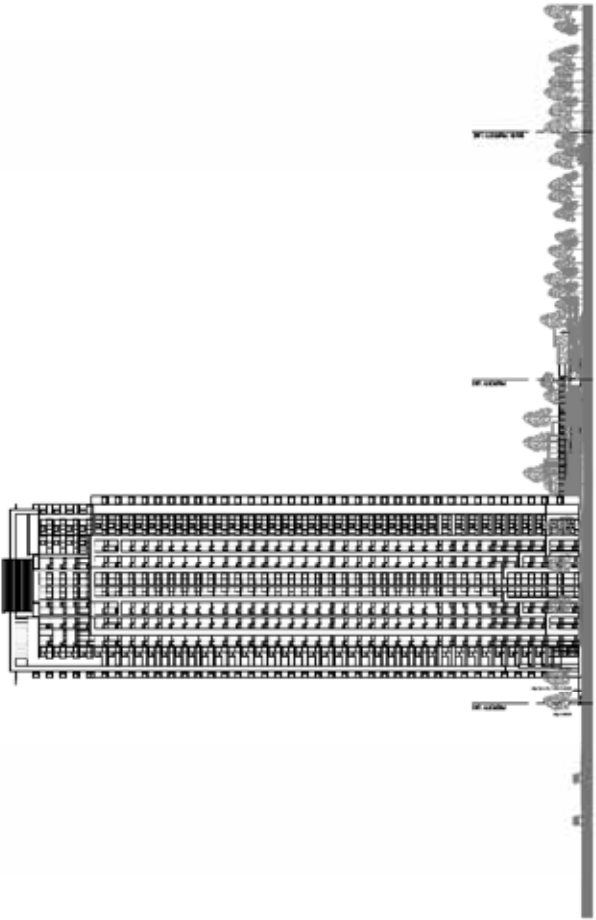
A-102



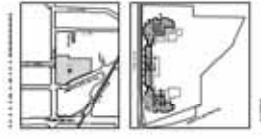


1. STREETSCAPE ELEVATION ALONG EAST WALL

2. STREETSCAPE ELEVATION ALONG WEST WALL



3. STREETSCAPE ELEVATION ALONG EAST WALL WITH LANDSCAPE



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	10/20/2018
2	ISSUED FOR PERMITTING	10/20/2018
3	ISSUED FOR PERMITTING	10/20/2018
4	ISSUED FOR PERMITTING	10/20/2018
5	ISSUED FOR PERMITTING	10/20/2018
6	ISSUED FOR PERMITTING	10/20/2018
7	ISSUED FOR PERMITTING	10/20/2018
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SKY TOWERS RESIDENTIAL DEVELOPMENT

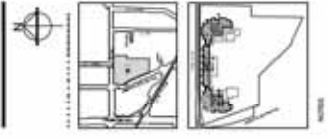
Architect: **CONCORSO**

1000 W. 10th Street, Suite 1000
 Denver, CO 80202
 Phone: 303.733.1111
 Fax: 303.733.1112
 Email: info@concorso.com



NO.	DESCRIPTION	DATE
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A-103



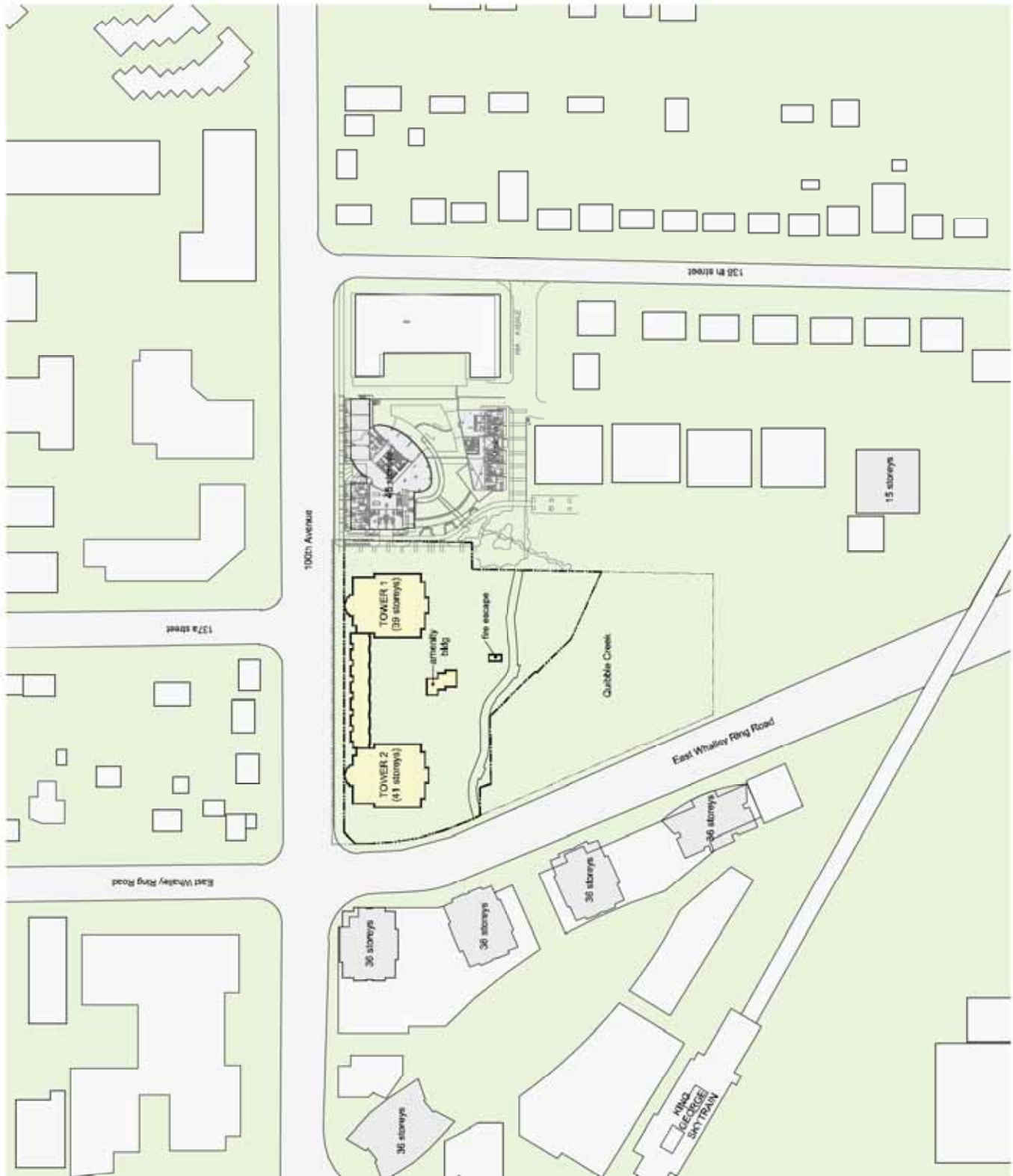
1.0	COVER SHEET
2.0	GENERAL NOTES
3.0	CONCEPT PLAN
4.0	LANDSCAPE ARCHITECTURE
5.0	MECHANICAL, ELECTRICAL, PLUMBING (MEP)
6.0	STRUCTURAL
7.0	ENVIRONMENTAL
8.0	TRANSPORTATION
9.0	UTILITY
10.0	APPENDICES

SKY TOWERS RESEARCH DEVELOPMENT
 1000 10th Avenue
 Denver, Colorado 80202
 Phone: 303.733.1100
 Fax: 303.733.1101
 Email: info@skytowers.com



NO.	DATE	DESCRIPTION
1	10/15/11	CONCEPT PLAN
2	11/01/11	REVISIONS
3	11/15/11	REVISIONS
4	12/01/11	REVISIONS
5	12/15/11	REVISIONS
6	01/01/12	REVISIONS
7	01/15/12	REVISIONS
8	02/01/12	REVISIONS
9	02/15/12	REVISIONS
10	03/01/12	REVISIONS

A-104
 CONCEPT PLAN





- 117th Avenue
- Whalley Ring Road
- 117th Avenue
- Whalley Ring Road
- 117th Avenue
- Whalley Ring Road

NO.	DESCRIPTION	DATE
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NO. 117
 117th Avenue
 Whalley Ring Road
 117th Avenue
 Whalley Ring Road
 117th Avenue
 Whalley Ring Road

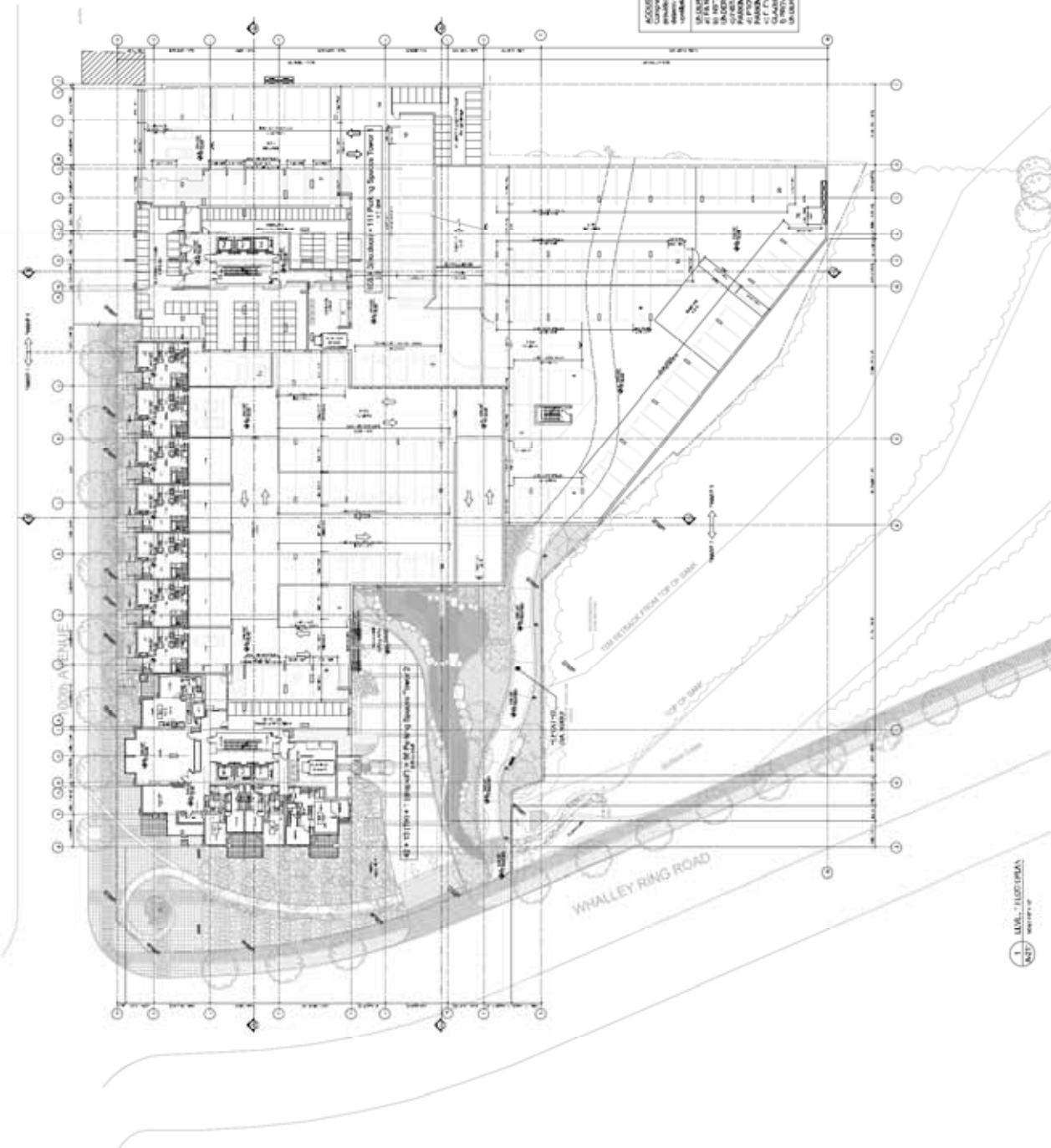
**SKY TOWERS
 RESEARCH
 DEVELOPMENT**



NO.	DESCRIPTION	DATE
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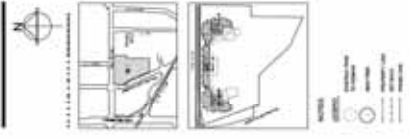
**LEVEL 1 FLOOR PLAN
 W/ PARKING**

A-211



ACQUISITION CONSIDERATIONS:
 The proposed development is located on a site that is currently zoned for residential use. The site is located in an area that is currently zoned for residential use. The site is located in an area that is currently zoned for residential use. The site is located in an area that is currently zoned for residential use.





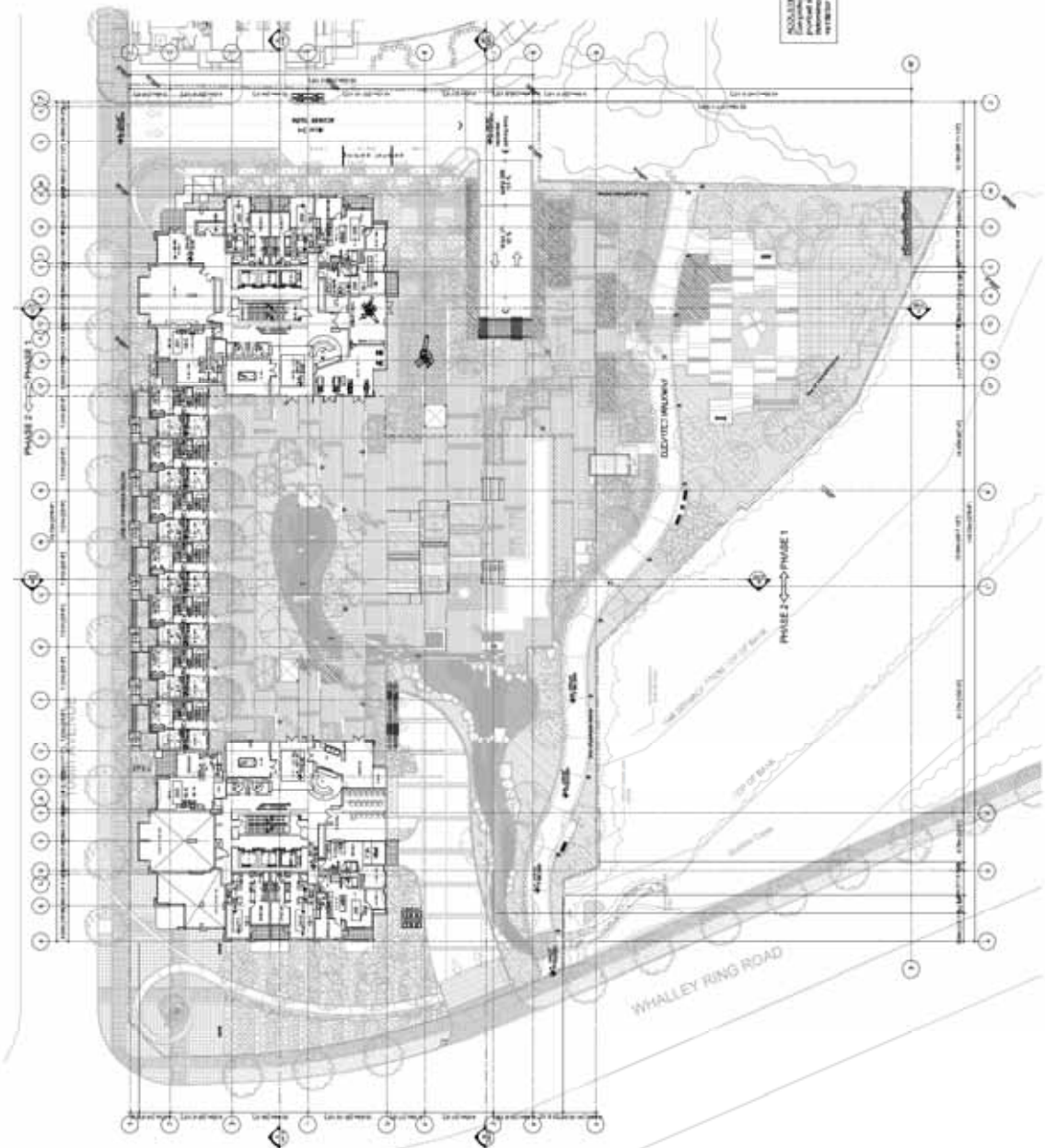
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PROJECT	SKY TOWERS RESEARCH AND DEVELOPMENT
CLIENT	CONCEPT
LOCATION	1000 W. 10th St., Vancouver, BC
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CHECKED BY	[Signature]
APPROVED BY	[Signature]

SKY TOWERS RESEARCH AND DEVELOPMENT
 CONCEPT

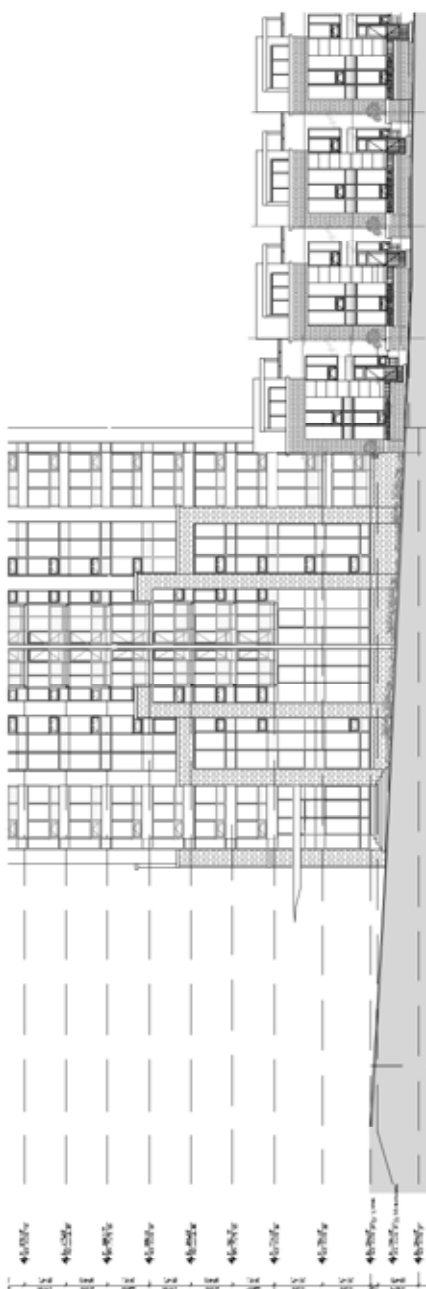
SKY TOWERS RESEARCH AND DEVELOPMENT
 CONCEPT

LEVEL 2 FLOOR PLAN

A-212



ALL DIMENSIONS SHOWN ARE IN METERS UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS TO FINISH UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS TO STRUCTURE UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS TO CENTERLINE OF ROAD UNLESS OTHERWISE SPECIFIED.



DATE:	10/15/11
PROJECT:	SKY TOWERS RESEARCH DEVELOPMENT
CLIENT:	CONCURS
ARCHITECT:	SKIDMORE OWINGS & MERRILL LLP
SCALE:	1/4" = 100'
DRAWN BY:	SKIDMORE OWINGS & MERRILL LLP
CHECKED BY:	SKIDMORE OWINGS & MERRILL LLP
APPROVED BY:	SKIDMORE OWINGS & MERRILL LLP
DATE:	10/15/11

SKY TOWERS RESEARCH DEVELOPMENT

CONCURS

SKIDMORE OWINGS & MERRILL LLP

ARCHITECTS

110 N. WASHINGTON STREET, SUITE 2000, CHICAGO, IL 60602

TEL: 312.567.3200 FAX: 312.567.3201

WWW.SKIDMOREOWINGS.COM

Sheet No. A-301A



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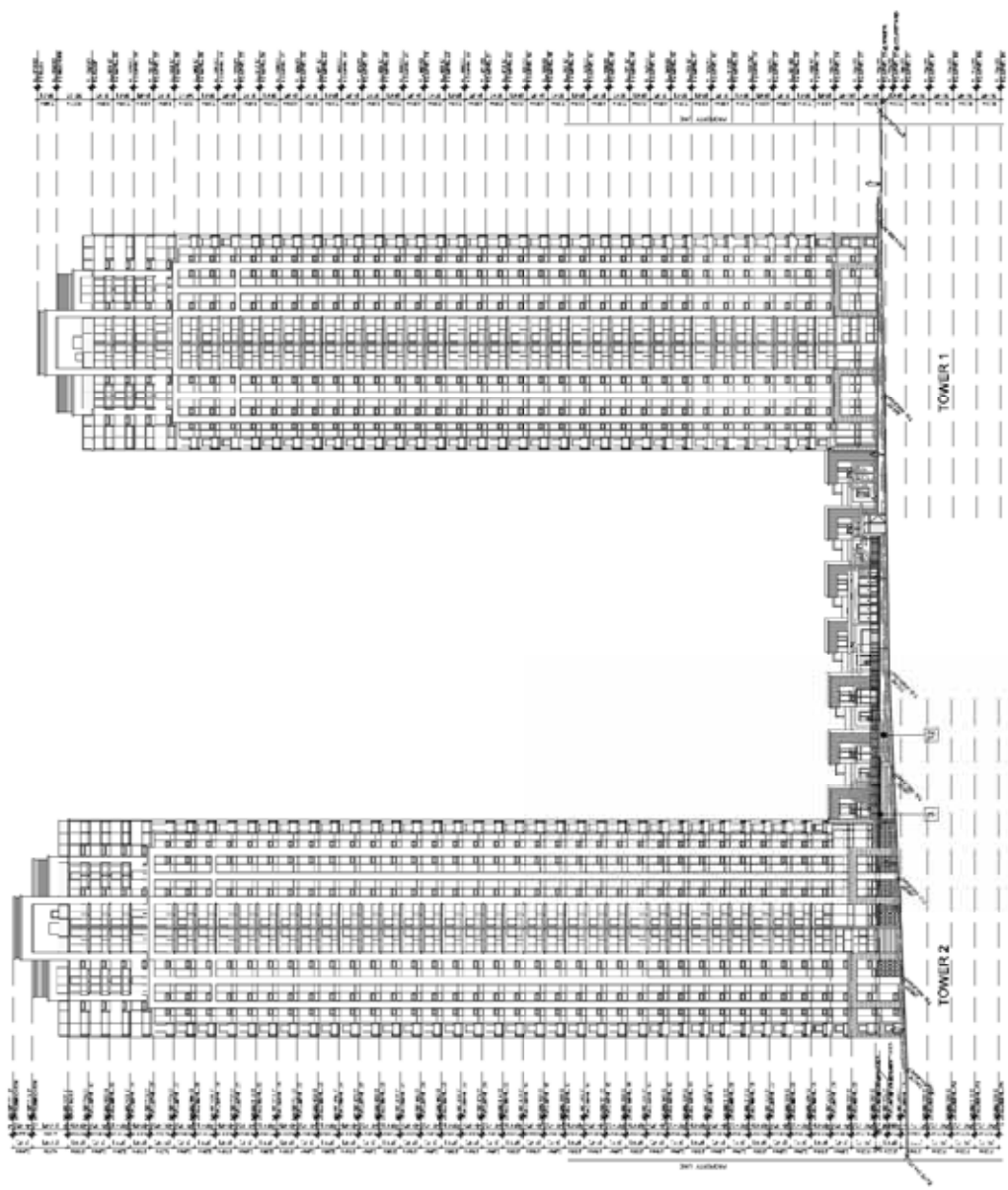
SKY TOWERS RESEARCH DEVELOPMENT

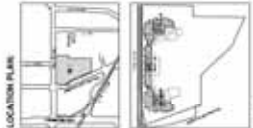
CONCEPT

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SOUTH ELEVATION

A-302





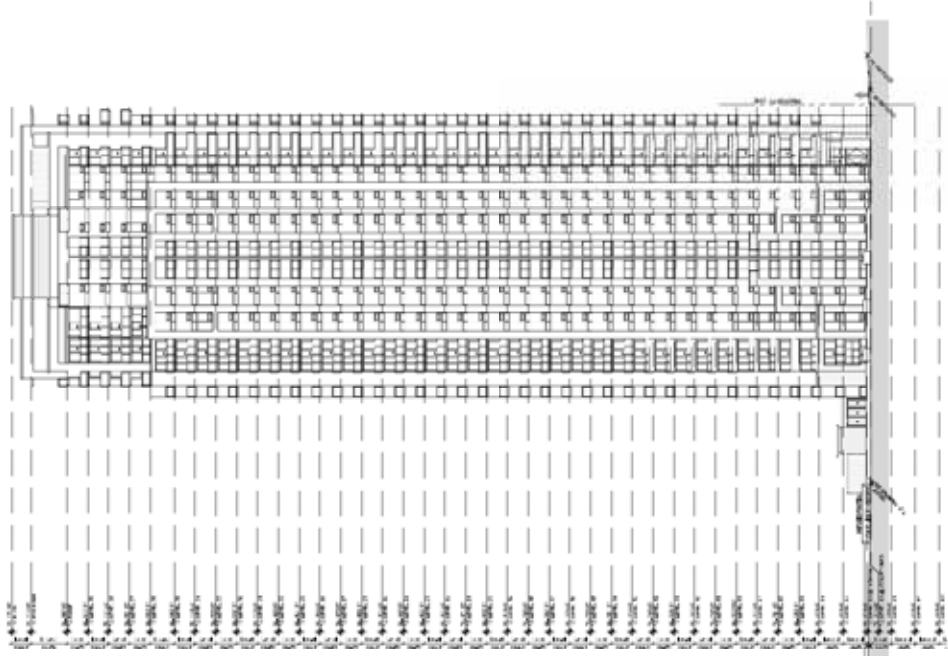
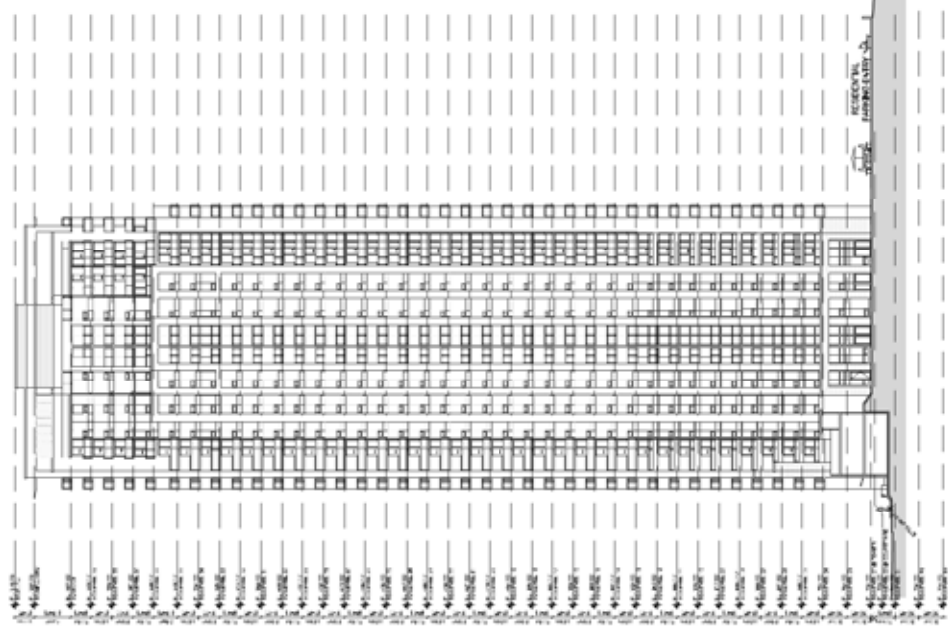
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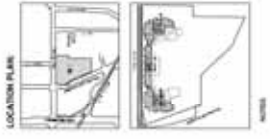
SKY TOWERS
RESIDENTIAL
DEVELOPMENT



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A-303

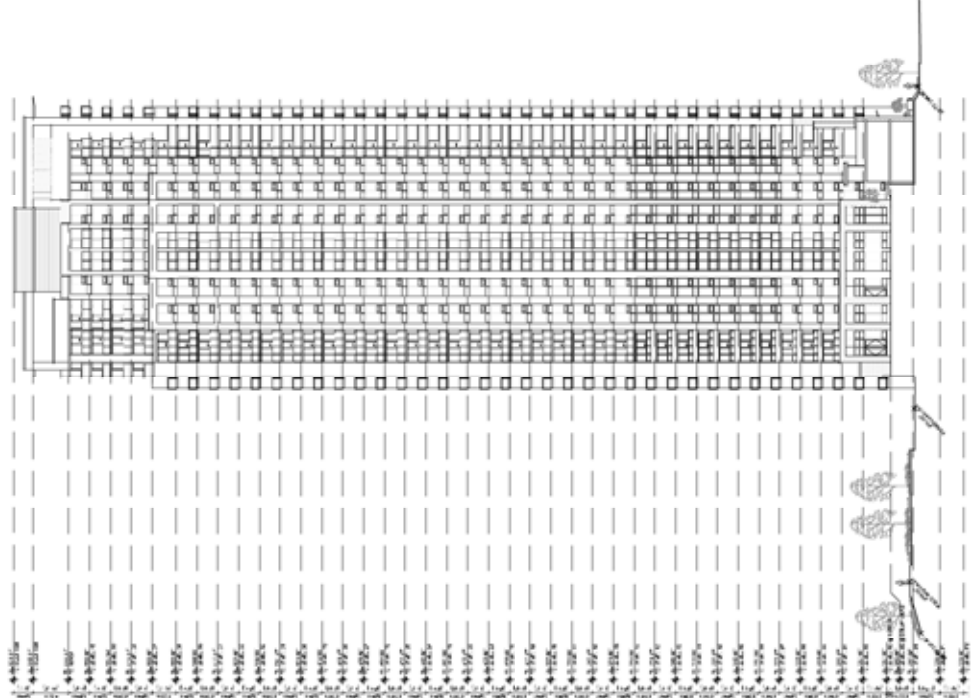
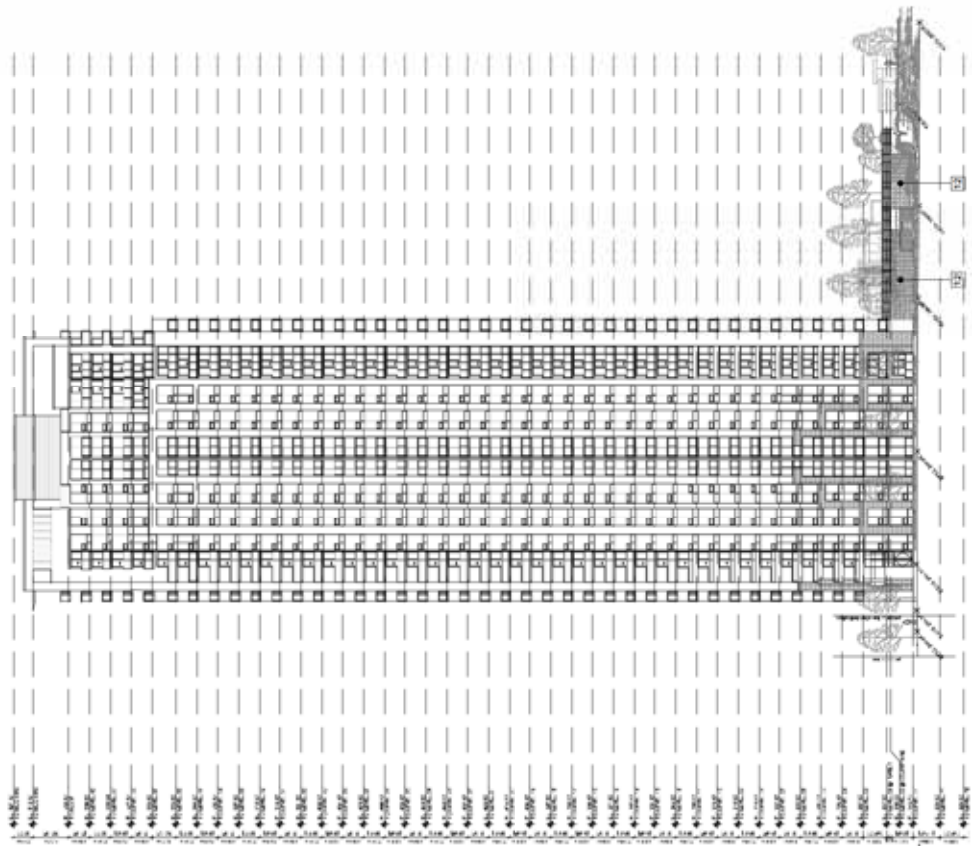


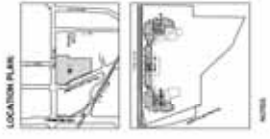


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98	ISSUE FOR PERMITTING	12/20/11
99	ISSUE FOR PERMITTING	12/20/11
100	ISSUE FOR PERMITTING	12/20/11

CONCEPT
 SKY TOWERS RESEARCH AND DEVELOPMENT
 1000 EAST 10TH AVENUE
 DENVER, CO 80202
 TEL: 303.733.1111
 WWW.CONCEPTARCHITECTS.COM

SHEET NO. A-304
 OF 304
 DATE: 12/20/11
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 APPROVED BY: J. HARRIS
 PROJECT NO. 11-0001
 CLIENT: CONCEPT ARCHITECTS





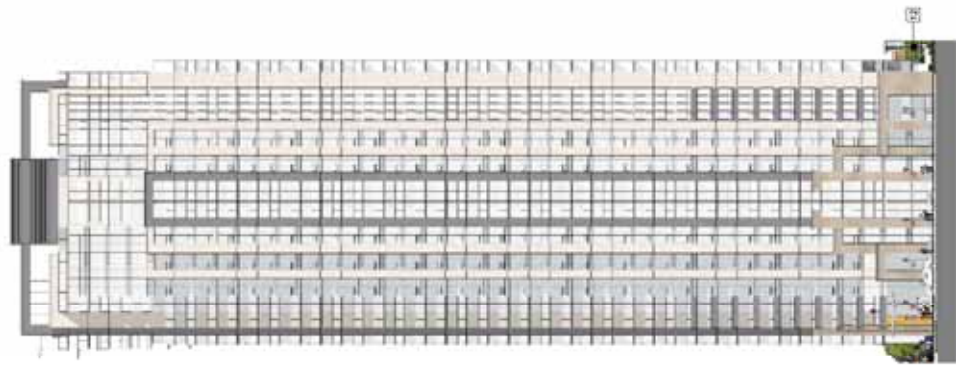
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CONCRETE

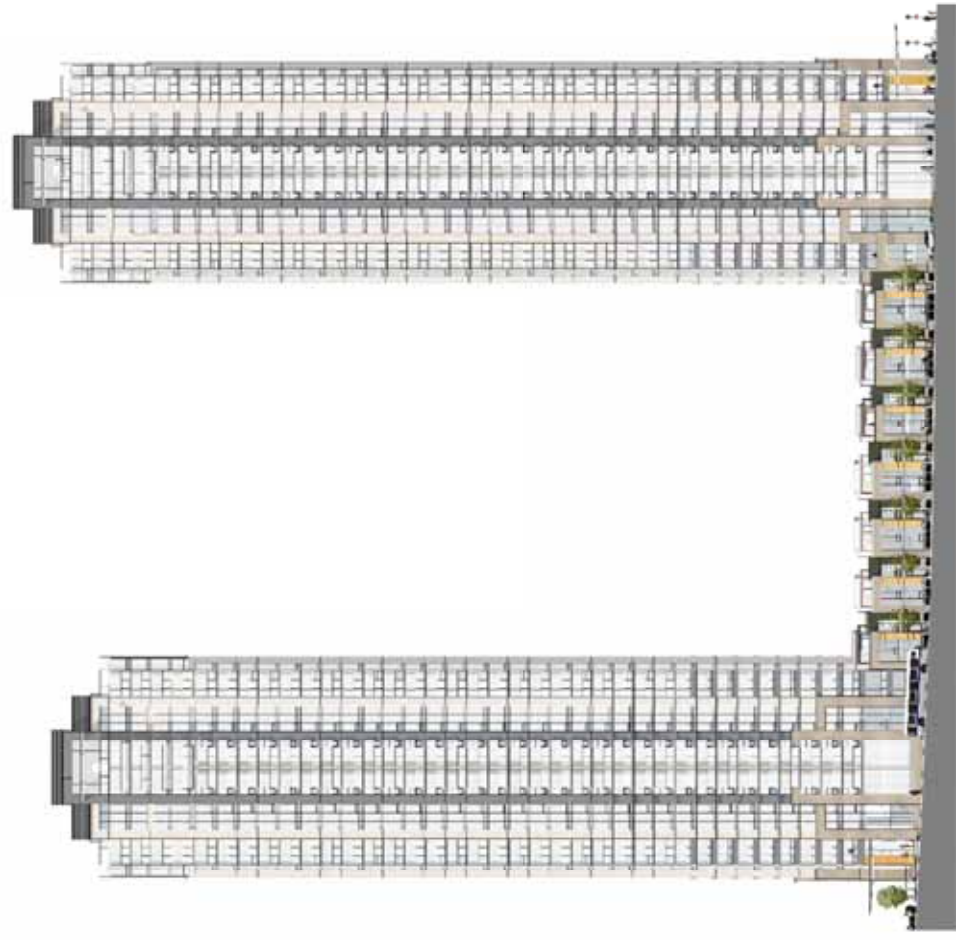
SKY TOWERS
RESIDENTIAL DEVELOPMENT

DATE: 10/20/2023
SCALE: 1/8" = 1'-0"

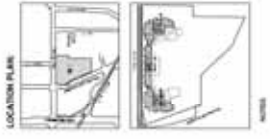
NO. A-305



MOPT ELEVATION (CONCRETE)



MOPT ELEVATION (CONCRETE)



EXTERIOR FINISH SCHEDULE

1. CONCRETE
2. POLISHED CONCRETE
3. POLISHED CONCRETE WITH POLYURETHANE FINISH
4. POLISHED CONCRETE WITH POLYURETHANE FINISH AND POLYURETHANE FINISH
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North Arrow

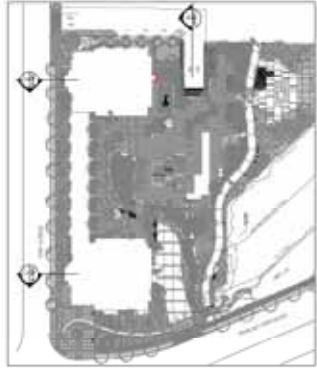
SKY TOWERS
RESIDENTIAL
DEVELOPMENT

CONK310

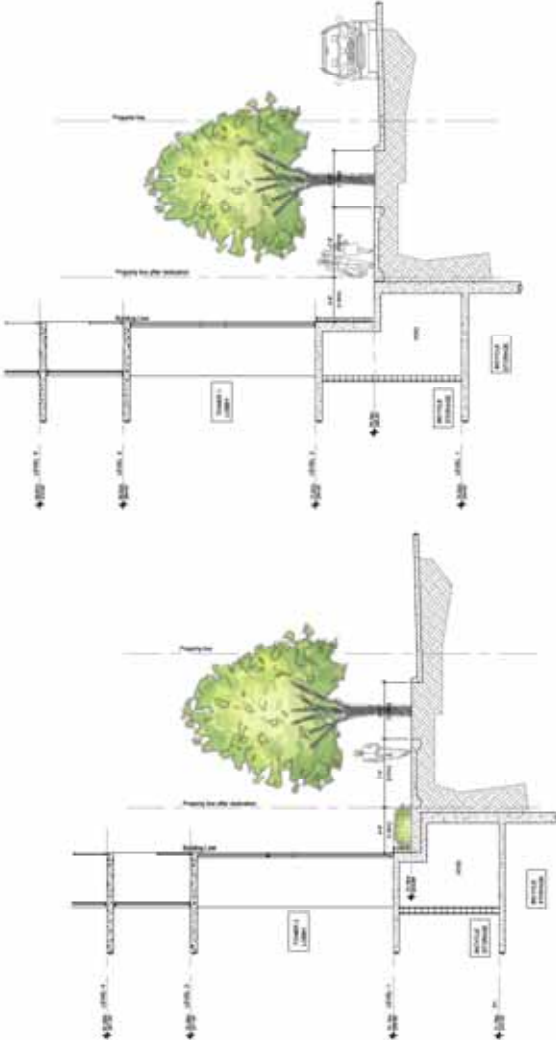
WEST DETAIL

NO. 10
A-307



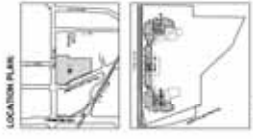


1 SITE PLAN
A-501

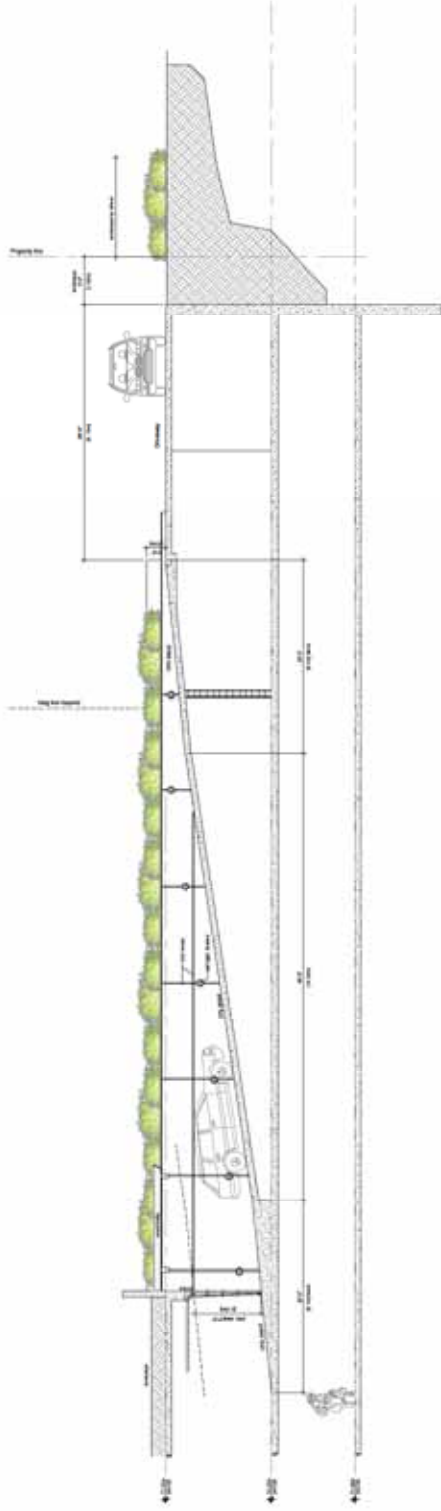


1 DETAIL SECTION (TOWER 1 CORNER) - DETAIL A, B
A-501

2 DETAIL SECTION (CORNER) - DETAIL A, B
A-502



LOCATION PLAN



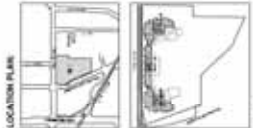
1 DETAIL SECTION (TOWER 1 CORNER) - DETAIL A, B
A-501

NO.	REVISION
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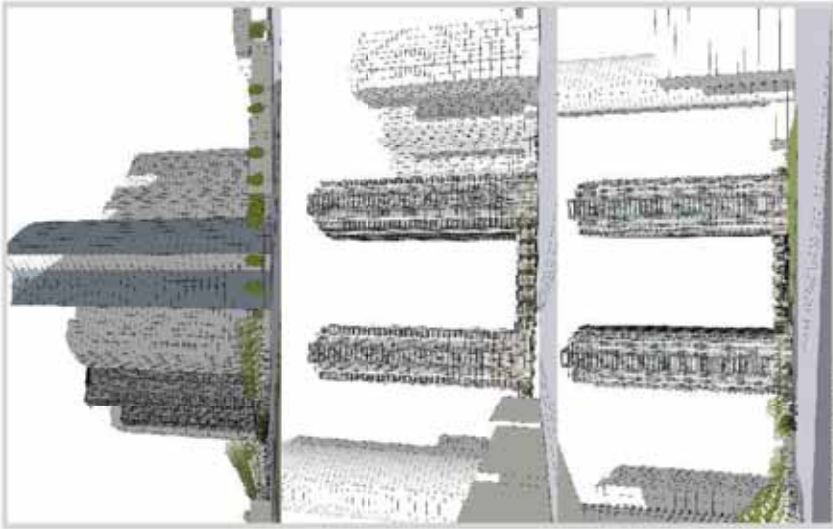
Project: Sky Towers
 Location: Chicago, IL
 Date: 10/15/14
 Scale: 1/8" = 1'-0"

CONCEPT
 ARCHITECT
 100 N. LAUREL ST.
 CHICAGO, IL 60610
 TEL: 312.467.1000
 WWW.CONCEPTARCH.COM

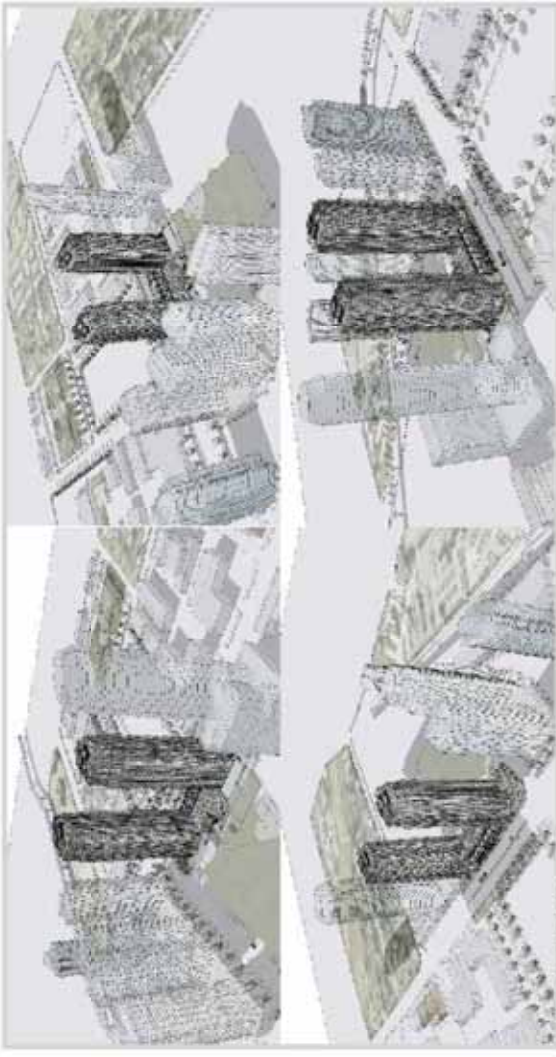
WALL SECTIONS
 A-501



TOWNHOUSE VIEWS
facing SW, facing SE



SKYLINE ANALYSIS
from Holland Park
from 137a St.
from WWR facing North



3D MASSING VIEWS
NW, NE
SE, SW

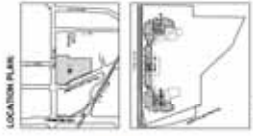
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100	ISSUED FOR PERMITTING	10/15/2023

Project Name
SKY TOWERS RESEARCH DEVELOPMENT
 137a St. NW
 Atlanta, GA 30309
 404.525.1234
 www.concurs.com



DATE: 10/15/2023
 TIME: 10:00 AM
 SCALE: 1/8" = 1'-0"

PROJECT NO.: A-902
 SHEET NO.: 10 OF 10



NO.	REVISION
1	ISSUE FOR PERMITTING
2	ISSUE FOR CONSTRUCTION
3	ISSUE FOR OCCUPANCY
4	ISSUE FOR AS-BUILT
5	ISSUE FOR FINAL
6	ISSUE FOR ARCHIVE
7	ISSUE FOR CLOSURE
8	ISSUE FOR DECOMMISSION
9	ISSUE FOR REDEMPTION
10	ISSUE FOR REDEMPTION
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29	ISSUE FOR REDEMPTION
30	ISSUE FOR REDEMPTION

Project Name
 Project Location
 Project Description

SKY TOWERS
 DESIGN
 DEVELOPMENT



REVISIONS	
NO.	REVISION
1	ISSUE FOR PERMITTING
2	ISSUE FOR CONSTRUCTION
3	ISSUE FOR OCCUPANCY
4	ISSUE FOR AS-BUILT
5	ISSUE FOR FINAL
6	ISSUE FOR ARCHIVE
7	ISSUE FOR CLOSURE
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30	ISSUE FOR REDEMPTION

Sheet No.
A-903

SKY TOWERS RESIDENTIAL DEVELOPMENT - Landscape Development

Project: Sky Towers Residential Development
Client/Owner: Concord Pacific
Architect: Park & Cedar Architects Inc.
Landscape Architect: van der Zande + associates Inc.

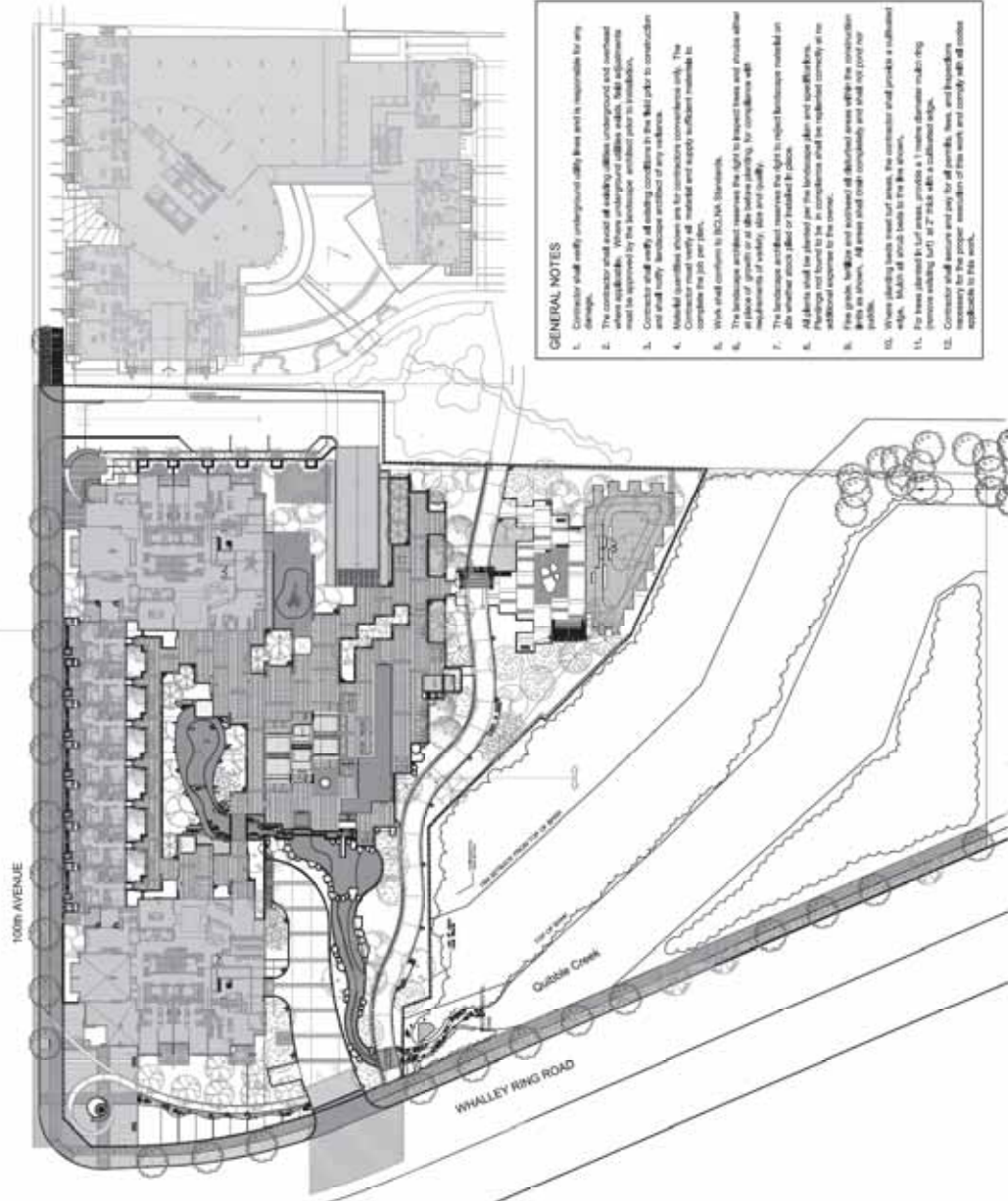


Project Location

CONTEXT PLAN
 SCALE: 1:500

Sheet Number	Sheet Title
L-01	COVER SHEET
L-02	LANDSCAPE REFERENCE PLAN
L-03	TREE RETENTION PLAN
L-04	TREE PLAN
L-05	PLANTING PLAN
L-06	GRADING PLAN
L-07	BLOW UP AREA PLAN
L-08	MULTI-USE TRAIL & OVERLOOK PLAN
LD-01	SECTIONS AND ELEVATIONS
LD-02	HARDSCAPE DETAILS
LD-03	HARDSCAPE DETAILS
LD-04	HARDSCAPE DETAILS
LD-05	FURNISHING IMAGES

Sky Towers Landscape Materials	
PAGE 1	COVER PAGE
PAGE 2	PAVING MATERIALS
PAGE 3	PAVING MATERIALS
PAGE 4	CREEK AND BRIDGE CONCEPT
PAGE 5	CREEK CONCEPT AND TRELLIS



- GENERAL NOTES**
1. Contractor shall verify underground utility lines and is responsible for any damage.
 2. The contractor shall excavate all existing utilities underground and overhead where applicable. Where underground utilities exist, full adjustments must be approved by the landscape architect prior to installation.
 3. Contractor shall verify all existing conditions in the field prior to construction and notify the landscape architect of any variances.
 4. Contractor shall verify all materials and supply sufficient materials to complete the job per plan.
 5. Work shall conform to BCMA Standards.
 6. The landscape architect reserves the right to inspect trees and provide advice at place of growth or at site before planting, for compliance with requirements of visibility, site and quality.
 7. The landscape architect reserves the right to reject landscape material on all material upon site or installed in place.
 8. All items shall be placed per the landscape plan and specifications, and additional expenses to the owner.
 9. Five grade, lighting and landscape details shall be submitted in accordance with the plan. All items shall comply with all applicable codes and standards.
 10. Where planting beds exist over areas, the contractor shall provide a subgrade edge, which all items shall be to the plan.
 11. For trees planted in lot areas, provide a 1 metre diameter rubber ring (minimum existing lot) at 2" dia. after a subgrade edge.
 12. Contractor shall secure and pay for all permits, fees, and inspections in accordance with the plan. The contractor shall comply with all codes applicable to the work.

Existing Tree located at City property to be retained, detail see tree retention plan

SITE PLAN
 SCALE: 1:500

van der Zande + associates Inc.
 1000 West Hill Street
 Vancouver, BC V6H 1A1
 Tel: 604.681.1111
 Fax: 604.681.1112
 www.vdz.com

Park & Cedar
 1000 West Hill Street
 Vancouver, BC V6H 1A1
 Tel: 604.681.1111
 Fax: 604.681.1112
 www.parkandcedar.com

CONCORD
 Concord Pacific
 1000 West Hill Street
 Vancouver, BC V6H 1A1
 Tel: 604.681.1111
 Fax: 604.681.1112
 www.concordpacific.com

DATE: _____

BY: _____

PROJECT: _____

LOCATION: _____

SCALE: _____

NO.	DESCRIPTION	DATE
1	REVISED DRAWING	NOV 15 2010
2	REVISED DRAWING	NOV 15 2010
3	REVISED DRAWING	NOV 15 2010
4	REVISED DRAWING	NOV 15 2010
5	REVISED DRAWING	NOV 15 2010

PROJECT: SKY TOWERS RESIDENTIAL DEVELOPMENT

LOCATION: 13718/88088 +100th Avenue Surrey, BC

NO.	DATE	BY
1	11/15/10	JD
2	11/15/10	JD
3	11/15/10	JD
4	11/15/10	JD
5	11/15/10	JD



DATE: 10/15/2010

PROJECT: SKY TOWERS RESIDENTIAL DEVELOPMENT

LOCATION: 13718/88988 +100th Avenue, Surrey, BC

SCALE: 1:100

DATE: DEC. 2010

DATE: 10/15/2010

PROJECT: SKY TOWERS RESIDENTIAL DEVELOPMENT

LOCATION: 13718/88988 +100th Avenue, Surrey, BC

SCALE: 1:100

DATE: DEC. 2010



PROJECT: SKY TOWERS RESIDENTIAL DEVELOPMENT

LOCATION: 13718/88988 +100th Avenue, Surrey, BC

DATE: 10/15/2010

PROJECT: SKY TOWERS RESIDENTIAL DEVELOPMENT

LOCATION: 13718/88988 +100th Avenue, Surrey, BC

SCALE: 1:100

DATE: DEC. 2010

BLOW UP AREA PLAN

PROJECT NO. DP2010 - 23

L-07



1 STREAM EXAMPLE
SCALE



2 FIRE PIT PRECEDENT
SCALE

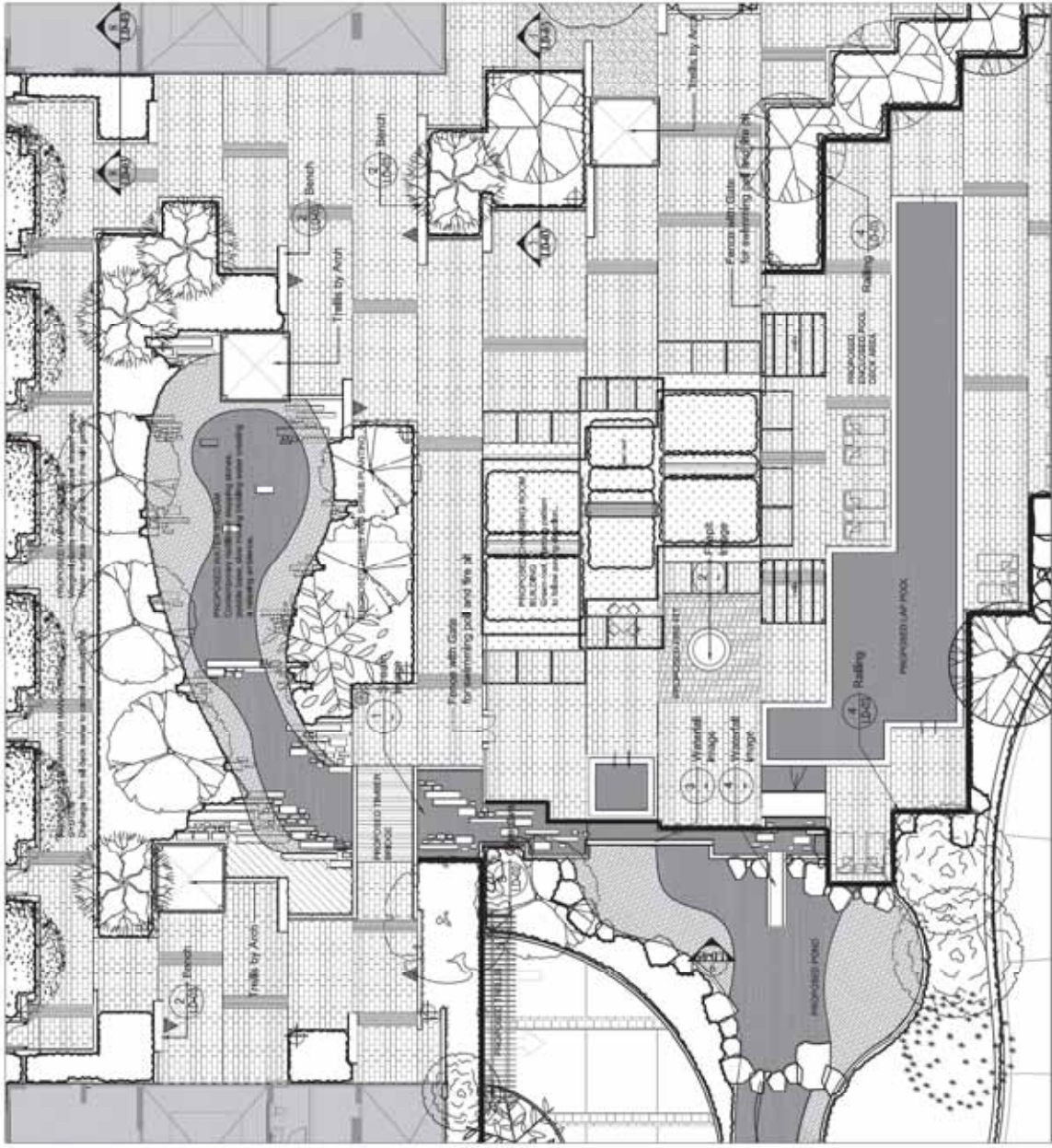
Note: Gas fire pit to be used and managed by strata



3 WATERFALL PRECEDENT
SCALE



4 WATER FALL PRECEDENT
SCALE



RAIN GARDEN AND WATER FEATURE BLOW UP PLAN
SCALE 1:200



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **June 1, 2011** PROJECT FILE: **7810-0258-00**

RE: **Engineering Requirements
Location: 13718 100 Ave**

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit to vary the parking requirements of the Zoning By-law.

The following issues are to be addressed as a condition of issuance of the Development Permit:

- A Servicing Agreement is required prior to the issuance of a building permit.
- A right - of - way for public access is required over the multi-use pathway near the south property line of the development prior to DP issuance.
- Works and services are required on both 100 Avenue and Whalley Boulevard as per the original subdivision requirements identified under 7806-0225-00.
- Registration of all legal documents.

Rémi Dubé, P.Eng.,
Acting Development Services Manager
RWB



Tuesday, May 03, 2011

THE IMPACT ON SCHOOLS

APPLICATION #: 7910 0258 00

SUMMARY

The proposed 879 highrise units and 7 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	23
Secondary Students:	9

September 2010 Enrolment/School Capacity

Lena Shaw Elementary	
Enrolment (K/1-7):	77 K + 487
Capacity (K/1-7):	60 K + 550
Guildford Park Secondary	
Enrolment (8-12):	1359
Capacity (8-12):	1050

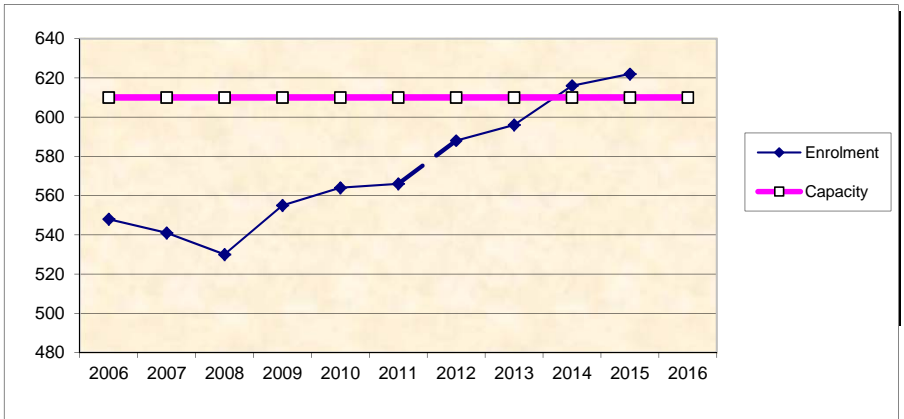
SCHOOL DISTRICT #36 (SURREY)

School Enrolment Projections and Planning Update:

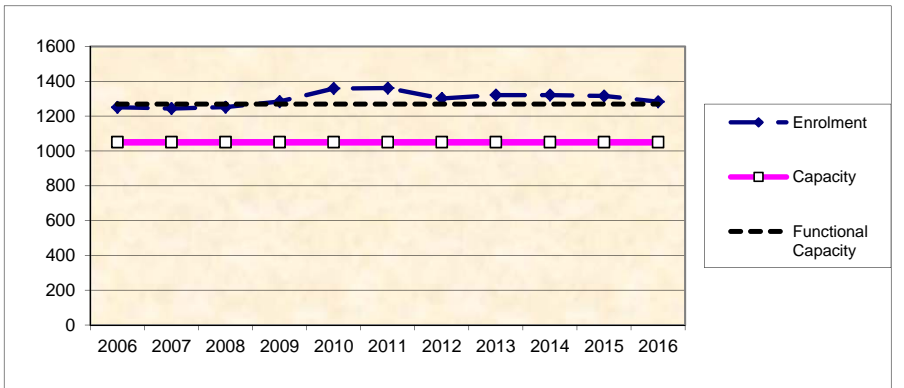
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no capital projects proposed for Lena Shaw Elementary or to Guildford Park Secondary. Enrolment move considerations are being reviewed in the North region of the district to help reduce overcrowding at some schools while reducing surplus space at other schools. Capacity at Lena Shaw Elementary has been adjusted for full day Kindergarten implementation and a "Strongstart" program oriented to preschool children and their parents. The proposed application in this report will not have an impact on these projections.

Lena Shaw Elementary



Guildford Park Secondary



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7910-0258-00

Issued To: o882160 B.C. LTD., INC. NO. o882160
("the Owner")

Address of Owner: 9th Floor, 1095 West Pender Street
Vancouver BC
V6E 2M6

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 027-442-365
Lot 1 Section 35 Block 5 North Range 2 West New Westminster District Plan BCP35159

13718 - 100 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 1997, No. 13301 is varied as follows:
 - (a) In Sub-section 2.F.1 of Section 2.F. Yards and Setbacks, the minimum northern (100 Avenue) yard setback is reduced from 7.5 metres [25 ft.] to 1.0 metre [3 ft.];
 - (b) In Sub-section 2.L.1 of Section 2.L. Other Regulations, the definition of "setbacks" is amended to permit roof overhangs to extend to the northern lot line; and
 - (c) In Sub-section 2.H.2 of Section 2.H. Off-Street Parking, the minimum number of resident parking spaces is reduced from 977 to 886.
4. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

5. This development variance permit shall lapse if the Owner does not substantially start any construction within two (2) years after Development Permit No. 7910-0258-00 is issued.

6. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

7. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan