

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7910-0264-00

Planning Report Date: January 10, 2011

PROPOSAL:

- **Rezoning** from RA to CD (based on RM-15)
- **Development Permit**

in order to permit the development of 96 three-storey and two-storey townhouse units.

LOCATION:

18725 - 64 Avenue

OWNER:

2561 Baptist Holdings Ltd., Inc. No. 759879

ZONING:

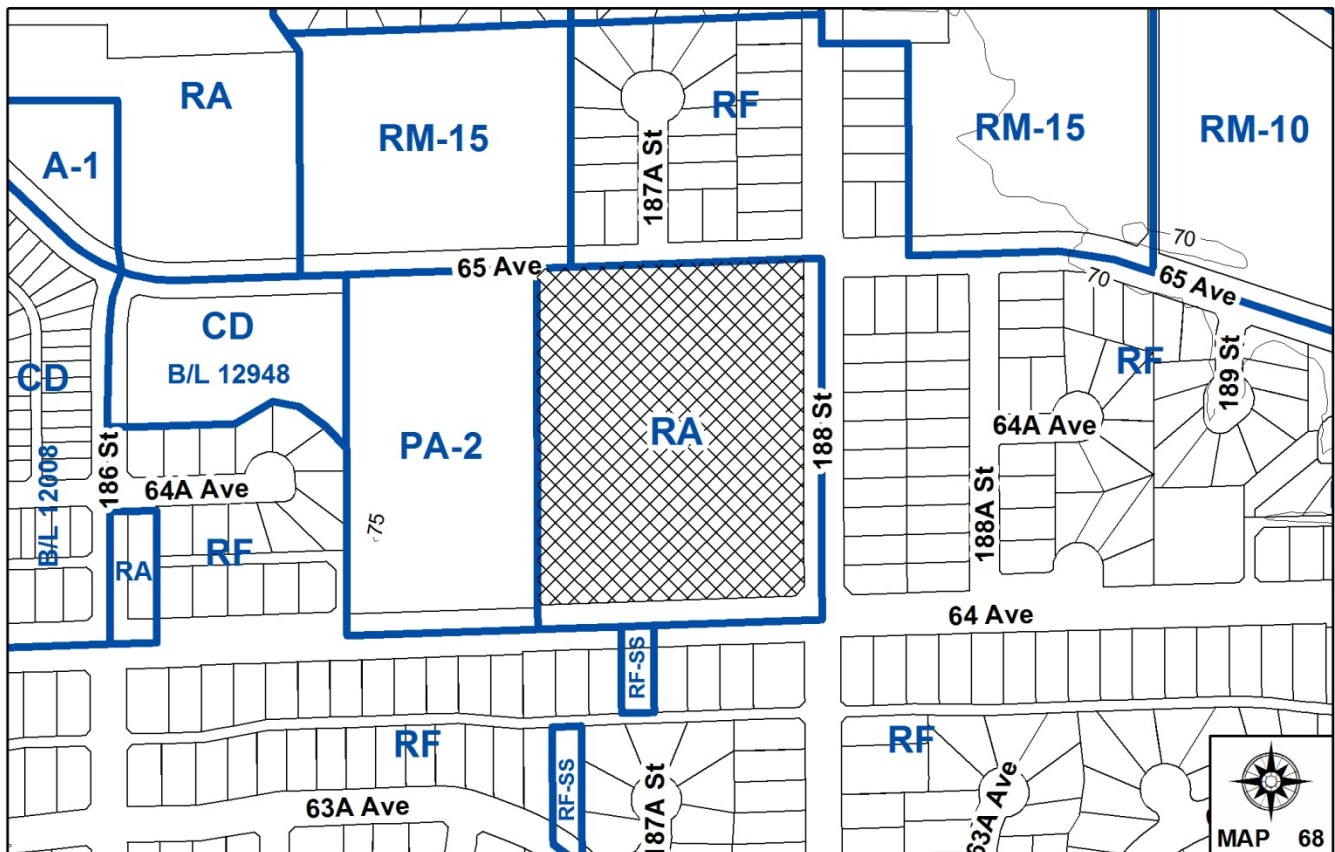
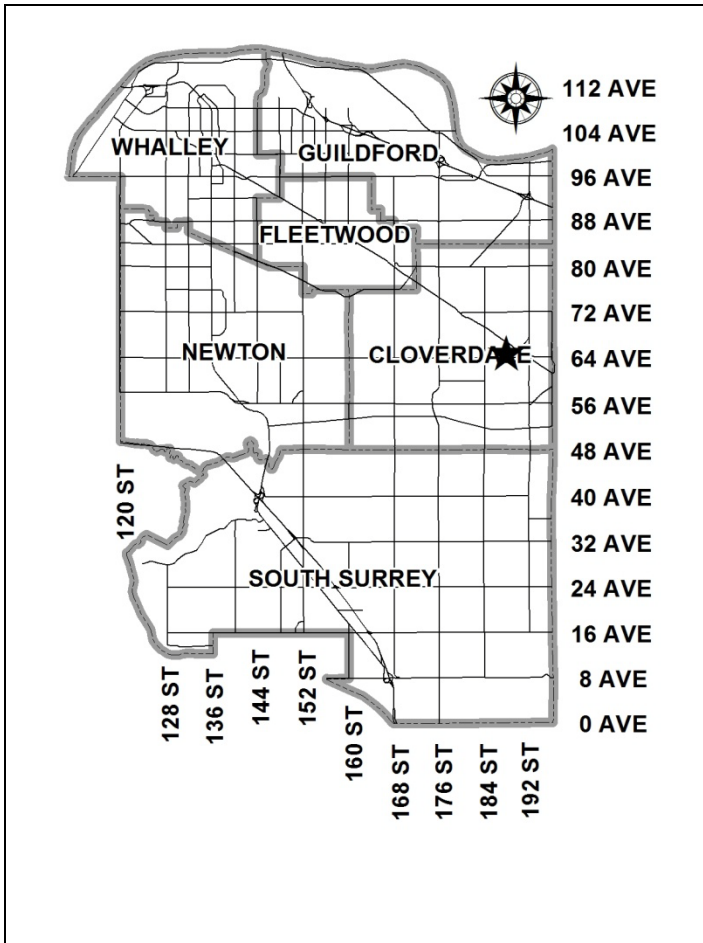
RA

OCP DESIGNATION:

Urban

NCP DESIGNATION:

Townhouse/Cluster 8-15 upa



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- Complies with NCP Designation.
- Proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the North Cloverdale East Neighbourhood Concept Plan.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 288 square metres (3,100 sq.ft.) to 111 square metres (1,200 sq.ft.).
3. Council authorize staff to draft Development Permit No. 7910-0264-00 in accordance with the attached drawings (Appendix II).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the City Landscape Architect;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
 - (e) the applicant adequately address the impact of reduced indoor amenity space; and
 - (f) registration of a 12.35-metre (40.5 ft.) wide statutory right-of-way for public rights-of-passage to provide an east-west connection through the subject site.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

15 Elementary students at Hillcrest Elementary School
8 Secondary students at Clayton Heights School

(Appendix IV)

Parks, Recreation &
Culture:

The applicant is required to pay the NCP amenity contributions on a per unit basis in keeping with the North Cloverdale East NCP.

SITE CHARACTERISTICS

Existing Land Use: Vacant.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 65 Avenue):	Single family dwellings.	Urban in the OCP and Single Family Residential in the North Cloverdale East NCP	RF
East (Across 188 Street):	Single family dwellings.	Urban in the OCP and Single Family Residential in the North Cloverdale East NCP	RF
South (Across 64 Avenue):	Single family dwellings and single family dwelling with a secondary suite.	Urban in the OCP	RF and RF-SS
West:	Existing Cloverdale Baptist Church.	Urban in the OCP and Institutional in the North Cloverdale East NCP	PA-2

DEVELOPMENT CONSIDERATIONS

Background

- On April 12, 2010, Council considered a Planning Report, under File No. 7909-0181-00, for an OCP amendment, NCP amendment and rezoning of the subject site located at 18725 – 64th Avenue, to allow for the development of a 147-unit townhouse project.
- The initial Planning Report outlined the pros and cons of the proposal and identified optional courses of action for Council.
- Council considered the Report, posed questions to staff, and subsequently passed the following resolution:

"That Council direct staff to prepare a Comprehensive Development by-law and conditions of approval that will allow the application to proceed to Public Hearing." [Res. R10-579]

- In response to Council's above-noted resolution, an Additional Planning Report was presented to Council at the May 3, 2010 Regular Council – Land Use meeting.

- Council considered the Additional Planning Report, discussed various aspects of the proposal, including density, building interface, tandem parking, school capacity, traffic, the proposed new road (187 Street) and neighbourhood concerns, and subsequently passed the following resolution:

"That Application 7909-0181-00 be referred to staff to address the concerns raised during Council discussion in the Regular Council – Land Use meeting of May 3, 2010." [Res. R10-726]

- A Second Additional Planning Report was presented to Council at the June 7, 2010 Regular Council – Land Use meeting.
- Council considered the Second Additional Planning Report that included some adjustments to the proposal, including a reduction to 145 units, and outcomes from a third Public Information Meeting (PIM) held on May 26, 2010.
- The project received first and second reading and the Public Hearing was scheduled for June 21, 2010.
- At the June 21, 2010 Regular Council - Public Hearing meeting, Council subsequently passed the following resolution:

"That Application 7909-0181-00 be referred back to staff to allow the developer to work toward a proposal that is within the site's RM- 15 zoning." [RES.R10-1162]

- In response to Council's above-noted resolution, the applicant decided to close their application.
- At the October 4, 2010 Regular Council – Land Use meeting, By-law No's. 17196 and 17197 were filed and File No. 7909-0181-00 was closed. [RES.R10-1730 and RES.R10-1731]
- On October 20, 2010, the same applicant submitted a new, revised application (File No. 7910-0264-00). This is the current application and the subject of this Report.

Current Proposal

- The subject site at 18725 – 64 Avenue is located on the north side of 64 Avenue on the north-west corner of 64 Avenue and 188 Street. The site is bounded by 65 Avenue to the north and the Cloverdale Baptist Church to the west.
- The 2.77-hectare (6.85-acre) subject site is currently zoned One-Acre Residential Zone (RA) and designated Urban in the Official Community Plan (OCP) and Townhouse/Cluster 8-15 upa in the North Cloverdale East Neighbourhood Concept Plan (NCP).
- The applicant is proposing to rezone the site from One-Acre Residential Zone (RA) to Comprehensive Development Zone (CD), based on the RM-15 Zone, in order to allow the development of a ninety-six (96) unit townhouse project consisting of sixty-eight (68) three-storey townhouse units, two (2) two-storey townhouse units and twenty-six (26) two-storey duplex units.

- Currently, the North Cloverdale East NCP does not include a north-south road along the west property line of the subject site. At the request of staff, the applicant is proposing to dedicate 0.51 acre (2,065 square metres) of land for the eastern half of a new 187 Street between 64 Avenue and 65 Avenue.
- Prior to dedicating the new east half of 187 Street, the proposal reflects a proposed unit density of 15 units per acre (upa) and a floor area ratio (FAR) of 0.59. This conforms to the maximum 0.60 FAR and 15 upa of the RM-15 Zone for sites 1 hectare (2.5 acres) or larger. This also conforms with the Townhouse/Cluster (8-15 units/acre) designation in the NCP for this site.
- In accordance with the Zoning By-law the calculations for unit density and floor area ratio (FAR) are based on the net site area.
- With the dedication of the east half of the new 187 Street, the proposal reflects a net density of 16 units per acre (upa) and a floor area ratio (FAR) of 0.64. To achieve the road dedication, which is considered important but was not identified in the NCP, staff support the proposed density based on the net area of the subject site. As a result, the applicant is proposing a CD Zone to accommodate the proposed density.
- The proposal consists of a total of 96 townhouse units, with 18 2-storey units along 65 Avenue and 188 Street and the remaining 78 units in a 3-storey form. The units mix is as follows:

Unit Type	Number of Units	Gross Floor Area (m ²)
3-storey 2-bedroom	12	163 m ²
3-storey 2-bedroom and den	56	137 m ² - 161 m ²
2-storey 3-bedroom	2	161 m ²
2-storey 3-bedroom	26	181 m ²
Total	96	15,257 m ²

Proposed CD By-law

- The proposed CD By-law is based on the RM-15 Zone with modifications to density (based on both units per acre and floor area ratio (FAR)), building setbacks and parking space configuration. The modifications to density are the result of the dedication of land for 187 Street. All other aspects of the proposed CD By-law meet the requirements of the RM-15 Zone. The table below shows a comparison between the proposed CD Zone and the RM-15 Zone.

	RM-15 Zone	Proposed CD By-law
Units per Hectare/Acre	37 upha/15 upa	40 upha/16 upa
FAR	0.60	0.64
Building Setbacks	7.5 m (25 ft.) from all lot lines	East: 4.5 m. (15 ft.) West: 3.0 m. (10 ft.) North: 4.5 m. (15 ft.) South: 4.5 m. (15 ft.)
Building Height		
2-storey units	11 metres (36 ft.)	7.5 metres (25 ft.)
3-storey units and amenity building	11 metres (36 ft.)	11 metres (36 ft.)
Tandem Parking	All tandem parking spaces enclosed	Minimum of 1 enclosed tandem parking space per unit

- The reduced setback along the east (188 Street), the west (new 187 Street) and the north (65 Avenue) achieves a pedestrian-friendly streetscape. The townhouse units along each frontage have direct pedestrian access, promoting social interaction and casual surveillance.
- The reduced setback along the south (64 Avenue) elevation is to accommodate a side yard condition. The applicant is providing two pedestrian pathway connections from 64 Avenue into the site and the proposed landscaping is an acceptable interface with 64 Avenue.

Tree Preservation and Replacement

- There are no trees located on the subject site. The proposal indicates that 458 trees will be planted on site as well as a variety of shrubs, grasses, perennials and ground cover.

PRE-NOTIFICATION AND PUBLIC CONSULTATION MEETINGS

Pre-notification letters were sent on November 4, 2010 and staff received one phone call and one written response from property owners within the Pre-notification area. The property owners expressed the following comments:

- One resident requested information regarding the number of parking spaces being proposed.

(Staff indicated that the applicant is proposing 192 resident parking spaces and 24 visitor parking spaces for a total of 216 parking spaces. This meets the minimum 192 parking spaces required for resident parking spaces and exceeds the 19 parking spaces required for visitor parking spaces under Surrey Zoning By-law No. 12000.

In addition to the above-noted 216 parking spaces, 20 of the duplex units can accommodate an additional 2 parking spaces per unit in each driveway for a total of 40 additional parking spaces.)

- One resident submitted a written request for information regarding the proposal.

(Staff sent the most recent site plan to the resident via email.)

Due to the community response to the initial proposal (under File No. 7909-0181-00) the applicant held a neighbourhood working group meeting as well as a Public Information Meeting.

Neighbourhood Working Group

- Prior to submitting the new application, the applicant held a neighbourhood working group meeting with a small group of residents from within the community on September 27, 2010 to discuss options for a revised proposal and gather feedback.
- Twelve (12) residents were in attendance at the meeting. The group included residents that were in support and in opposition of the initial proposal. A Planning staff member was also in attendance.

- The applicant presented two options to the group. One option consisted of sixty-nine (69) three-storey townhouse units and twenty-seven (27) single family dwellings and the second option consisted of seventy (70) three-storey townhouse units and twenty-six (26) two-storey duplex-type townhouse units.
- The group favoured the second option, which included the two-storey duplex-type units.

Public Information Meeting

- The applicant held a Public Information Meeting (PIM) on November 23, 2010 at the Cloverdale Baptist Church after mailing out approximately 319 invitations (the same property owners to which the pre-notification letters were sent).
- The meeting was attended by approximately 57 residents from 46 households. Those in attendance had an opportunity to review the new proposal and discuss any concerns with the applicant and their consultants.
- The applicant presented Option 2 at the meeting: 96 townhouse units consisting of 70 3-storey units and 26 2-storey duplex-type townhouse units.
- A total of thirty-nine (39) comment sheets from 34 households were submitted in response to the PIM. The PIM comment sheets reflected twenty-five (25) in support of the proposal and fourteen (14) in opposition to the proposal. The proposed density and three-storey building form were the main points of opposition.
- The concerns can be summarized as follows:
 - Density: The proposed overall unit density of 16.3 units per acre (upa) exceeds the maximum unit density of 15 upa permitted under the RM-15 Zone.

Applicant's Response:

- Since the initial proposal was presented to staff (application no. 7909-0181-00), the total number of proposed units has been reduced from 153 units to 96 units.

Staff Comments:

- *When the applicant's initial proposal (application no. 7909-0181-00) was presented to Council on April 12, 2010, 147 units were proposed. This was subsequently reduced to a 145-unit proposal and presented to Council on June 7, 2010. Following Council's directive after the June 21, 2010 Public Hearing, the applicant requested Council close the file and this occurred on October 4, 2010.*
- *Currently, the North Cloverdale East NCP does not include a north-south road along the west property line of the subject site. At the request of staff, the applicant is proposing to dedicate 0.51 acre (2,065 square metres) of land for the eastern half of a new 187 Street between 64 Avenue and 65 Avenue.*

Prior to dedicating the eastern half of the new north-south 187 Street, the subject proposal reflects a density of 15 units per acre (upa) and a floor area ratio (FAR) of 0.59 which conforms to the maximum 0.60 FAR and 15 upa of the RM-15 Zone and conforms to the NCP's Townhouse/Cluster (8-15 units/acre) designation.

- Three-storey building form: The proposed development plan does not reflect the existing single family and townhouse developments in the neighbourhood, which are primarily two storeys in height.

Applicant's Response:

- Since the initial proposal was presented to staff, the building form along 65 Avenue and 188 Street has been changed from three-storey townhouses to two-storey duplexes and two-storey townhouses.

Staff Comments:

- *The current proposal addresses the existing two-storey building form in the neighbourhood by proposing two-storey duplex units along 65 Avenue and two-storey townhouse units fronting 188 Street. The proposed indoor amenity building fronting 188 Street is also two storeys in height.*

The new proposal also includes open space at the corner of 64 Avenue and 188 Street with a public seating area.

DESIGN PROPOSAL AND REVIEW

Building Design, Access and Circulation

- The 96-unit proposal is comprised of 68, three-storey and 2, two-storey townhouse units plus 26, two-storey duplex units consisting of 12, 2-bedroom units, 56, 2-bedroom and den units and 28, 3-bedroom units, with an average floor area of 165 square metres (1,773 sq.ft.) per dwelling unit.
- The proposal includes 58 units with tandem parking with one enclosed parking space in a garage and one located behind on the parking apron and 12 units with fully enclosed tandem garages.
- There are 26 duplex units proposed with fully enclosed double garages.
- The proposal indicates 26, 2-storey duplex units (fronting 65 Avenue and 188 Street) with double garages at grade located on the north portion of the subject site. The kitchen, dining room, living room, master bath and master bedroom are all located on the main floor. Two additional bedrooms and a second bathroom are located at the second floor.
- The proposal indicates 68, 3-storey townhouse units and 2, 2-storey townhouse units (fronting 188 Street). The 3-storey units have tandem parking with one enclosed parking space in a garage and one located on the parking apron and a bonus room at grade. The kitchen, dining room and living room are located at the second floor, with the bedrooms at the third floor area.

- The 2-storey townhouse units have tandem parking with one enclosed parking space in a garage and one located on the parking apron. The kitchen, dining room and living room are all located on the main floor. All three bedrooms, bathroom and master bathroom are located on the second floor.
- There are two vehicular access points to the site; one from the proposed road (187 Street) on the west side of the site, and one from 188 Street.
- The proposed vehicular access to the site from 188th Street is to be restricted to right-in/right-out only.
- A 12.35-metre (41-ft.) wide statutory right-of-way (pedestrian and vehicular) will be registered to achieve an east-west connection through the site. A boulevard and sidewalk will be provided along the north side of the access road and a boulevard, sidewalk and parking pockets will be provided on the south side of the access road.
- Both driveway entrances will be defined by concrete unit pavers.
- In addition, the applicant is required to dedicate 11.5 metres (38 ft.) for a new half road along the west property line. This new road (187 Street) was not envisioned at the time the NCP was developed. However staff requested the new road in an effort to improve circulation in the neighbourhood and to ease congestion at the intersection of 64 Avenue and 188 Street.
- The applicant is also required to dedicate additional road widening of 10 metres (33 ft.) along 65th Avenue and 1.94 metres (6.5 ft.) along 188th Street.
- Two pedestrian entrances to the site are located at the south from 64 Avenue and one at the east from 188 Street. Also, a statutory-right-of-way for public access will be registered over the east-west pedestrian connections through the site adjacent the access road.
- Buildings 10 and 11, which front 187 Street, include thirteen (13) street-oriented units with direct access to the street from a front door.
- The proposed duplexes fronting 65 Avenue and 188 Street include sixteen (16) street-oriented units with direct access to the street from a front door.
- The end units (east) on Buildings 1 and 2, both front 188 Street, with direct street access from a front porch.
- Each unit is provided with an element of individuality, through the use of different roof forms, cladding materials, and entry details. The townhouses are designed in a manner that incorporates a combination of small dormers and gables with window boxes, bay windows and chimneys to break the massing and to create an attractive development.
- The proposed building materials consist primarily of wood shingles (in red, blue, deep yellow and grey) for the townhouses, amenity building, end units and some internal units, and vinyl siding for the remaining interior units. White will provide an accent colour for wood trim around window bays and wood trim on dormers. Black will provide an accent colour for gutters, louvers, flower boxes and garage doors.

- The proposed roofing material is grey asphalt shingles.

Indoor Amenity Space

- The proposed indoor amenity building is located on the south-west corner of the internal east-west access road and 188 Street and consists of a lounge, one meeting room and two washrooms.
- The indoor amenity building is 111 square metres (1,200 sq.ft.) in size, which is 177 square metres (1,905 sq.ft.) less than the 288 square metres (3,100 sq.ft.) required under the RM-15 Zone (based on 3.0 square metres/32 sq.ft. per dwelling unit).
- The applicant has agreed to provide a monetary contribution of \$61,950 (based on \$1,050 per unit) in accordance with the City policy, to address the shortfall in required indoor amenity space.

Outdoor Amenity Space and Landscaping

- The proposed outdoor amenity space consists of a large, 551-square metre (5,933 sq.ft.) "green" and a second, smaller 326-square metre (3,511 sq.ft.) "orchard".
- The large "green" is adjacent to the indoor amenity building and includes a large lawn area, children's play area, covered mail kiosk and benches. It is proposed to be surrounded by Oak and Spruce trees.
- The smaller outdoor amenity area, the "orchard", consists of flowering orchard trees and a public seating area.
- A sidewalk surrounds both outdoor amenity areas and provides direct access to the park-oriented units.
- The outdoor amenity space measures 877 square metres (9,444 sq.ft.), exceeding the minimum 288 square metres (3,100 sq.ft.) required under the RM-15 Zone based on 3 square metres (32 sq.ft.) per dwelling unit.
- A 1.2-metre (4.0 ft.) high post and rail fence with a combination of trees and shrubs are to be planted around the perimeter of the site and along all internal access roads.

Parking

- The proposed development includes a total of 216 parking spaces, consisting of 192 resident parking spaces which complies with the Zoning By-law and 24 spaces for visitors, which exceeds the 19 visitor spaces required under the Zoning By-law.
- Visitor parking spaces are centrally located along the internal access road in parking pockets and throughout the townhouse portion south of the internal east-west access road.
- In addition to the above-noted 216 parking spaces, 20 of the duplex units can accommodate an additional 2 parking spaces per unit in each driveway for a total of 40 additional parking spaces.

- Resident parking spaces will be provided in a tandem garage for 12 of the units with one parking space to be located inside the garage and the second space behind on the driveway for 58 of the units and fully enclosed double garages for the 26 duplex units.
- To ensure that the tandem garage parking spaces are not converted into livable space, the applicants are required to register a Section 219 Restrictive Covenant as a condition of Final Adoption.

Sustainability Features

- The applicant is proposing to integrate several sustainability initiatives into the project in order to achieve a Built Green Gold standard as follows:
 - Use of indigenous, low maintenance plant species;
 - Natural ventilation through operable windows;
 - Use of Low VOC (Volatile Organic Compounds) finishes and flooring products to improve indoor air quality;
 - Deciduous native trees at south facades that provide summer shade but will permit winter sunlight into the units;
 - Low flow fixtures and appliances that reduce water consumption; and
 - Bicycle storage in all garages to encourage alternative transportation.

ADVISORY DESIGN PANEL

This application was not referred to the ADP, but was reviewed by staff and found satisfactory.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Proposed CD By-law

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

JLM/kms

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Jeff Skinner, Mosaic Avenue Developments Ltd.
 Address: #500 – 2609 Granville Street
 Vancouver, BC
 Tel: 604-685-3888

2. Properties involved in the Application
 - (a) Civic Address: 18725 – 64 Avenue

 - (b) Civic Address: 18725 – 64 Avenue
 Owner: 2561 Baptist Holdings Ltd., Inc. No. 759879
 PID: 006-127-461
 Lot 13 Except: Part Dedicated Road on Plan LMP40532; Section 16 Township 8
 New Westminster District Plan 59668

3. Summary of Actions for City Clerk's Office
 - (a) Introduce a By-law to rezone the property.

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RM-15)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		6.85 ac
Road Widening area		0.97 ac
Undevelopable area		
Net Total		5.88 ac
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	45%	35.14%
SETBACKS (in metres)		
Front	7.5 m	4.57 m
Rear	7.5 m	4.57 m
Side #1 (East)	7.5 m	4.57 m
Side #2 (West)	7.5 m	3.05 m
BUILDING HEIGHT (in metres/storeys)		
Principal	11 m	11 m
Accessory/Amenity	4.5 m	4.5 m/7.5 m
NUMBER OF RESIDENTIAL UNITS		
Two Bedroom		12
Two Bedroom + Den		56
Three Bedroom Duplex		26
Three Bedroom 2-Storey Townhouse		2
Total		96
FLOOR AREA: Residential		15,257 m ²
FLOOR AREA: Commercial		n/a
Retail		
Office		
Total	49	34
FLOOR AREA: Industrial		n/a
FLOOR AREA: Institutional		n/a
TOTAL BUILDING FLOOR AREA	14,277 m ²	15,257 m ²

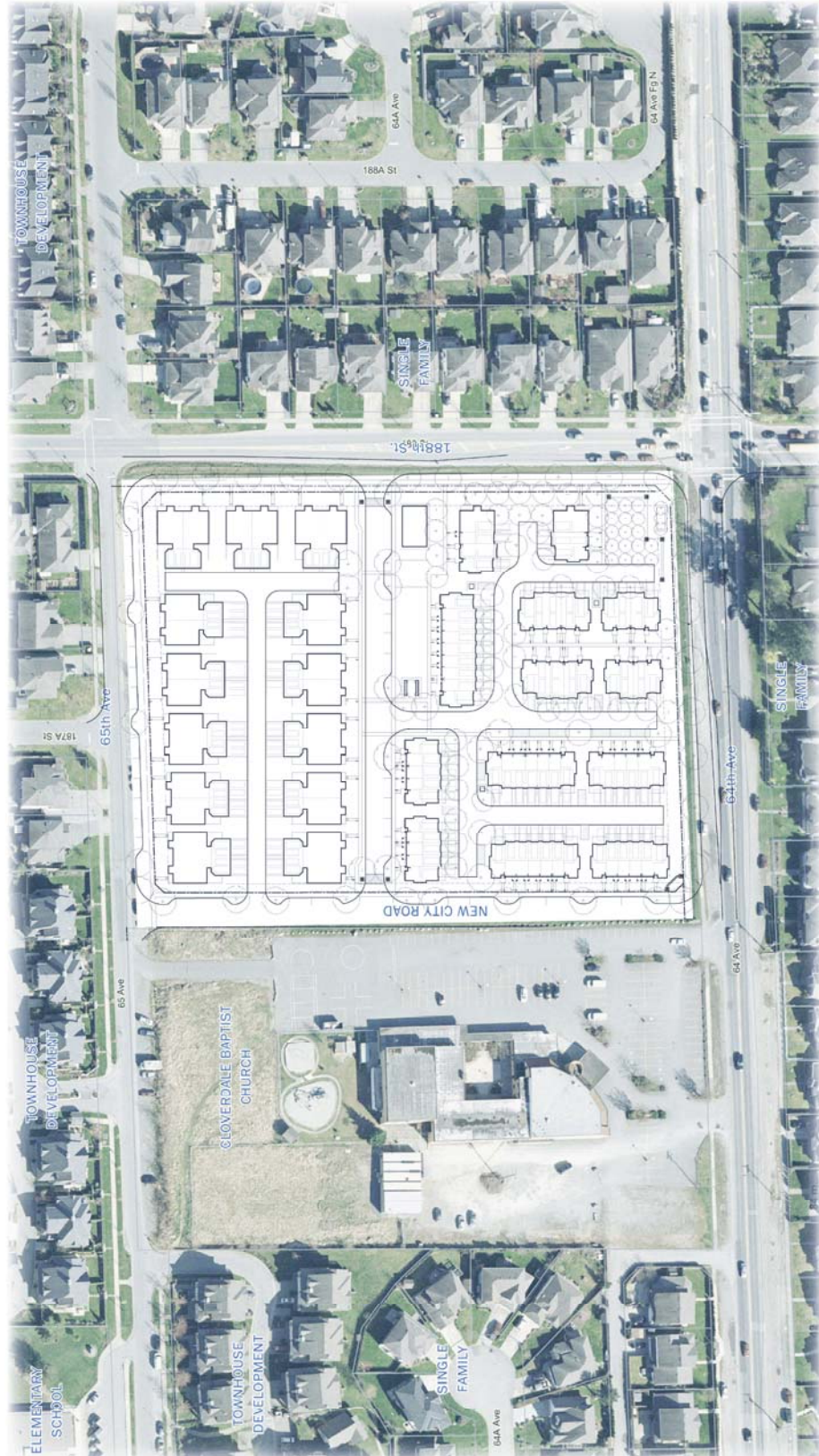
** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	37 upha/15 upa	40 upha/16.3 upa
FAR (gross)		
FAR (net)	0.60	0.64
AMENITY SPACE (area in square metres)		
Indoor	288 m ²	111 m ²
Outdoor	288 m ²	877 m ²
PARKING (number of stalls)	n/a	
Commercial		
Industrial		
Residential Bachelor		
2-Bed	192	192
3-Bed		
Residential Visitors	19	24
Institutional	n/a	
Total Number of Parking Spaces	211	216
Number of disabled stalls		
Number of small cars	49	34
Tandem Parking Spaces: Number / % of Total Number of Units		140/73%
Size of Tandem Parking Spaces width/length		3.2 m/12.2 m

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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**R A M S A Y
W O R D E N
A R C H I T E C T S**
3305 Highway 48 11th Avenue
Charlotte, NC 28217
P: 704.376.0909
F: 704.376.0900
E: ram@ramay.com
W: ramay.com

CONTRACT NO.

CLIENT
Mosaic Homes
500-2609 Greenville Street
Charlotte, NC
WP-19-302

PROJECT TITLE
Baptist Church Site Rowhomes
Savoy, NC

DRAWING TITLE
Context Plan

DRAWING TITLE	DATE ISSUED	BY
PERMITTED FOR CONSTRUCTION	07/22/2019	DM
PERMITTED FOR CONSTRUCTION	04/16/2019	DM
PERMITTED FOR CONSTRUCTION	04/16/2019	DM
PERMITTED FOR CONSTRUCTION	04/16/2019	DM
PERMITTED FOR CONSTRUCTION	04/16/2019	DM
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PERMITTED FOR CONSTRUCTION	04/16/2019	DM
PERMITTED FOR CONSTRUCTION	04/16/2019	DM



DATE: 07/22/2019

PROJECT NO.: 009
JOB NUMBER: 009
SCALE:
FILE NAME:
SHEET NO.:

Appendix II
A1.01

0908 Baptist Site - Statistics (2010-12-15)
Townhomes + Duplex

Site Area	Ac	m ²	ft ²
Gross Before Dedication	6.85	27708.08	298257
65th Avenue Dedication		19561	212228
West Road Dedication		22228	240774
188th Street Dedication		2800.35	302604
NET	5.88	23801.35	258004

Density	Zoning Max (RM-15)		Proposed	
	UPA	FAR	UPA	FAR
15	0.6	16.32	0.641	0.51
			(Area exclude all garages)	
			45%	35.14%

Unit Stats	Net Floor Area (ft ²)			Total	# of Units	Unit Ground Floor Area (ft ²)	Deck & Porch Area (ft ²)
	Ground	Main	Upper				
C	279	586	556	1425	24	591	120
A	79	580	591	1250	12	585	104
F	223	494	484	1211	32	490	104
D	124	426	0	550	26	528	100
G	757	756	0	1513	22	979	100
Total				131278	96	164225	10256

Townhomes + Duplex

Amenity Space	Zoning Min. (RM-15)		Proposed	
	Indoor (ft ²)	Outdoor (ft ²)	Indoor (ft ²)	Outdoor (ft ²)
3072	3072	1200	9444	

Parking	Zoning Min. (RM-15)		Proposed	
	Residential	Visitor	Residential	Visitor
2 per unit	192	192	192	24
0.2 per unit	19.2	19.2	19.2	2.4
25% max.	53	53	8	3.7%

Townhomes + Duplex

Setbacks	Zoning Min. (RM-15)		Proposed	
	N	S	E	W
64th Ave.	25	7.5	15	4.57
188th St.	25	7.5	15	4.57
187th St.	25	7.5	10	3.05
187th St.	25	7.5	10	3.05
Zoning Max.	25	7.5	10	3.05
Building Height	ft	m	ft	m
	36	11	36	11



**RAMSAY
WARDEN
ARCHITECTS**
3502 Highway 8 12th Avenue
Surrey, BC V4N 1V1
Canada 604.592.5777
F: 604.592.5999
E: Ramsay@ramsaywarden.com
W: Ramsaywarden.com

CLIENT:
Mosaic Homes
500-2609 Brentville Street
Surrey, BC
V4N 1K6

PROJECT TITLE:
Baptist Church Site Rowhomes
Surrey, BC

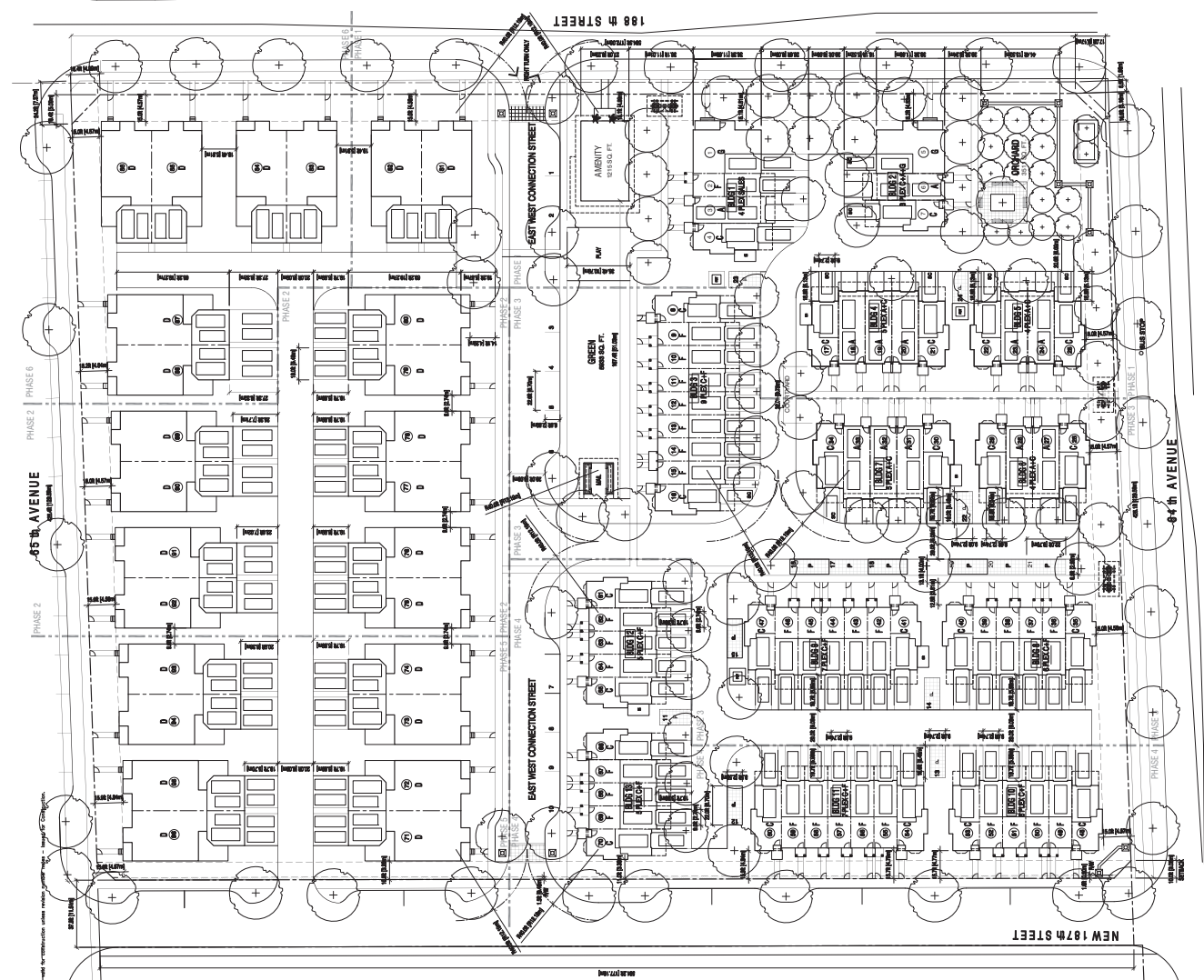
DRAWING TITLE:
Site Plan

DATE ISSUED	BY
SEP. 22, 2020	SM
MAR. 26, 2020	SM
MAY 19, 2020	SM
MAY 26, 2020	SM
OCT. 16, 2020	SM
DEC. 16, 2020	SM
FEB. 13, 2020	SM
OCT. 23, 2020	SM

DATE: _____
JOB NUMBER: 000
REGIONAL NO.: _____
SCALE: 1" = 30'-0"
FILE NAME: _____
SHEET NO.: _____



RE-ISSUED FOR DP 2010-12-22



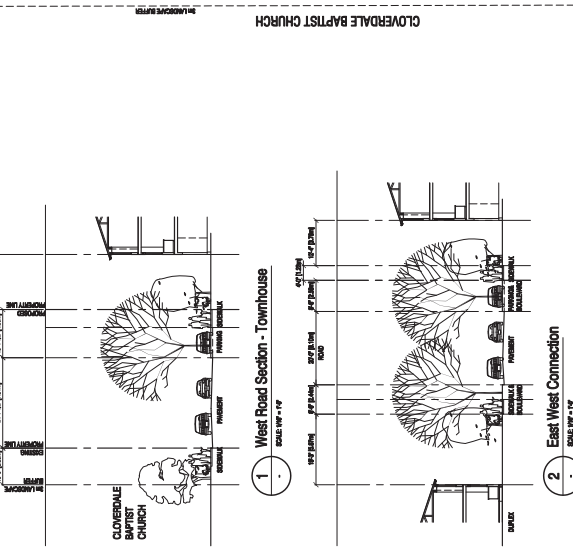
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A1.02

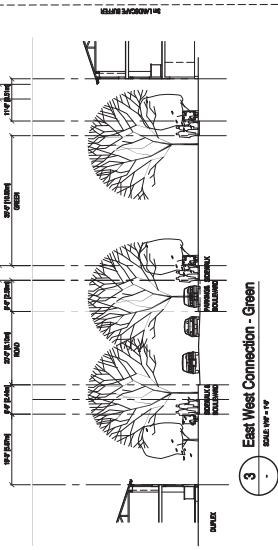
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1 West Road Section - Townhouse
SCALE: 1/8" = 1'-0"

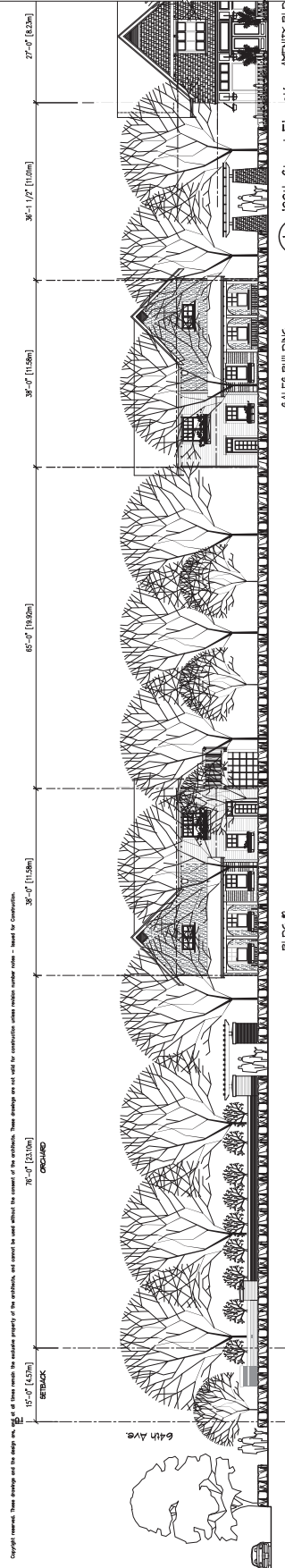


2 East West Connection - Green
SCALE: 1/8" = 1'-0"



3 East West Connection - Green
SCALE: 1/8" = 1'-0"

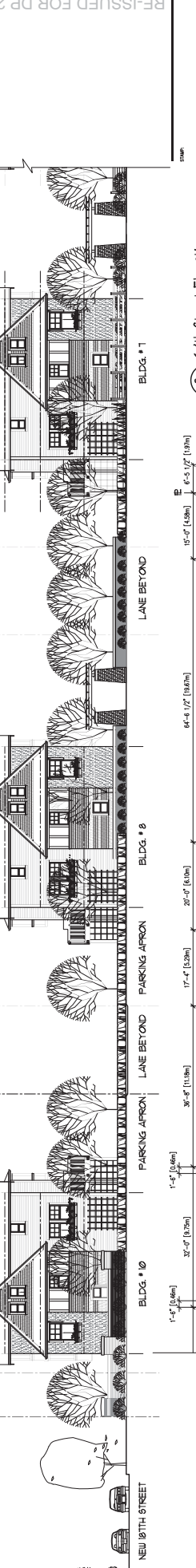
**RAMSAY
WORDEN**
ARCHITECTS
3024 Highway 8, 13th Avenue
Crested Butte, CO 81224
P: (970) 739-8999
F: (970) 739-8999
WWW.RAMSAYWORDEN.COM



PROJECT TITLE: **Street Elevation**
PROJECT NUMBER: **Mosaic Homes**
PROJECT ADDRESS: **500-2609 Greenville Street, Crested Butte, CO, 81224**
PROJECT SITE: **500-2609 Greenville Street, Crested Butte, CO, 81224**
PROJECT DATE: **11/20/2018**
PROJECT DRAWN BY: **RWD**
PROJECT CHECKED BY: **RWD**
PROJECT SCALE: **AS SHOWN**
PROJECT SHEET NO.: **11/10**

REVISION	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/20/2018
2	ISSUED FOR PERMIT	11/20/2018
3	ISSUED FOR PERMIT	11/20/2018
4	ISSUED FOR PERMIT	11/20/2018
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9	ISSUED FOR PERMIT	11/20/2018
10	ISSUED FOR PERMIT	11/20/2018

PROJECT TITLE: **Street Elevation**
PROJECT NUMBER: **Mosaic Homes**
PROJECT ADDRESS: **500-2609 Greenville Street, Crested Butte, CO, 81224**
PROJECT SITE: **500-2609 Greenville Street, Crested Butte, CO, 81224**
PROJECT DATE: **11/20/2018**
PROJECT DRAWN BY: **RWD**
PROJECT CHECKED BY: **RWD**
PROJECT SCALE: **AS SHOWN**
PROJECT SHEET NO.: **11/10**



PROJECT TITLE: **Street Elevation**
PROJECT NUMBER: **Mosaic Homes**
PROJECT ADDRESS: **500-2609 Greenville Street, Crested Butte, CO, 81224**
PROJECT SITE: **500-2609 Greenville Street, Crested Butte, CO, 81224**
PROJECT DATE: **11/20/2018**
PROJECT DRAWN BY: **RWD**
PROJECT CHECKED BY: **RWD**
PROJECT SCALE: **AS SHOWN**
PROJECT SHEET NO.: **11/10**

PROJECT TITLE: **Street Elevation**
PROJECT NUMBER: **Mosaic Homes**
PROJECT ADDRESS: **500-2609 Greenville Street, Crested Butte, CO, 81224**
PROJECT SITE: **500-2609 Greenville Street, Crested Butte, CO, 81224**
PROJECT DATE: **11/20/2018**
PROJECT DRAWN BY: **RWD**
PROJECT CHECKED BY: **RWD**
PROJECT SCALE: **AS SHOWN**
PROJECT SHEET NO.: **11/10**

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CLIENT:
Mosaic Homes
1000 Broadway Street
Winnipeg, B.C.
W8H-3K3

PROJECT TITLE:
Baptist Church Site Rowhomes
Surrey, BC

DRAWING TITLE:
Street Elevation

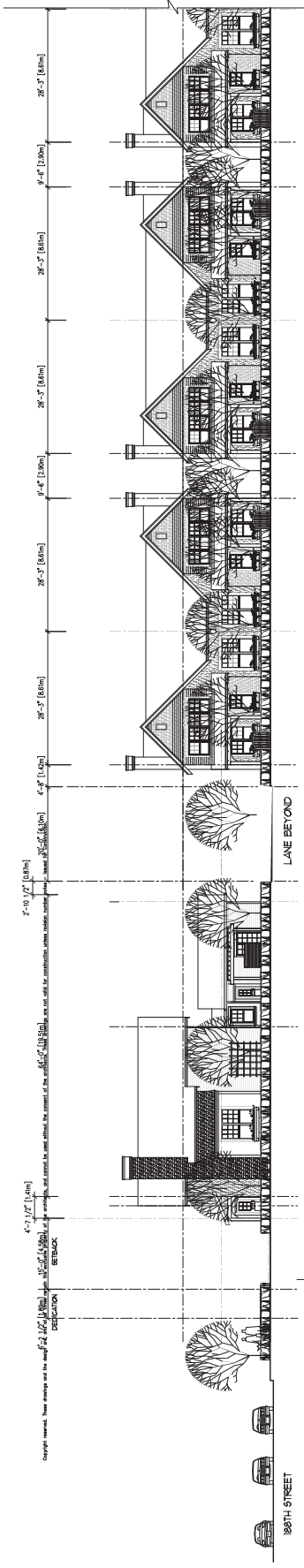
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RE-ISSUED FOR DP 2010-22

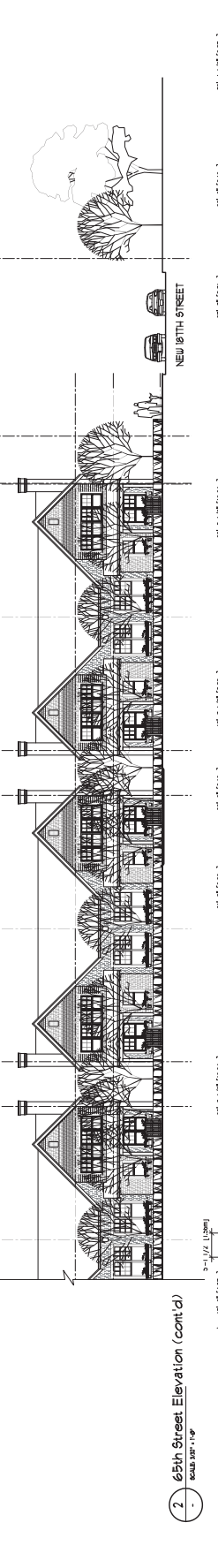
SCALE 3/8" = 1'-0"

DATE	BY	FOR
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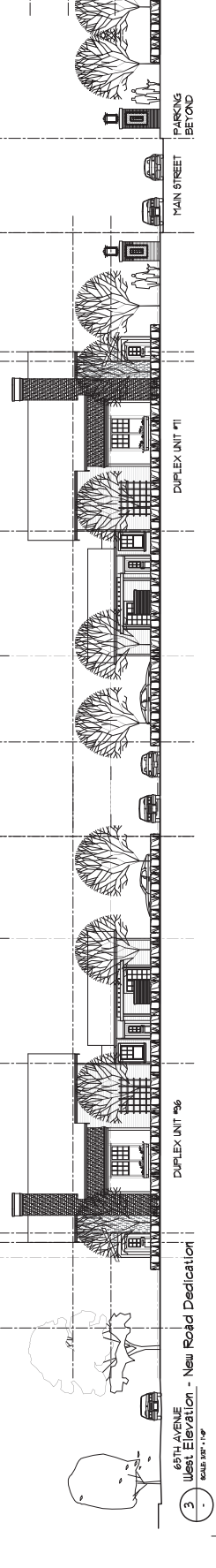
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1 65th Street Elevation
SCALE 3/8" = 1'-0"



2 65th Street Elevation (cont'd)
SCALE 3/8" = 1'-0"



3 65th Avenue West Elevation - New Road Dedication
SCALE 3/8" = 1'-0"



4 West Elevation - New Road Dedication (cont'd)
SCALE 3/8" = 1'-0"



SCALE 3/8" = 1'-0"

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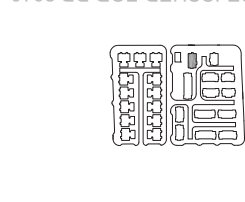
CONTRACT NO.

CLIENT:
Mosaic Homes
500-2609 Grenville Street
Edmonton, Alberta
T6A 1K6

PROJECT TITLE:
Baptist Church Site Rowhomes
Surrey, BC

DRAWING TITLE:
4 Plex Sales Block Floor Plans

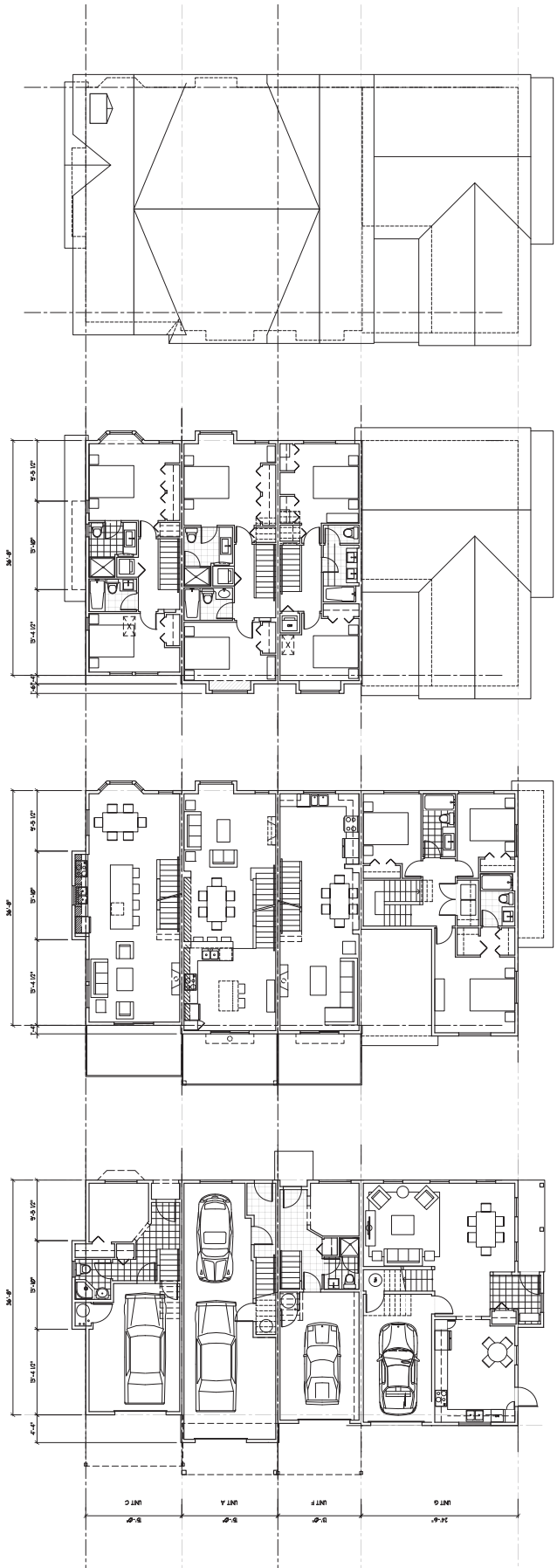
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REVISIONS FOR SP	MAR. 26, 2010	SM
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REVISIONS FOR SP - SEE PLAN	OCT. 16, 2010	SM
REVISIONS FOR SP - SEE PLAN	DEC. 15, 2010	SM
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REVISIONS FOR SP - SEE PLAN	DEC. 15, 2010	SM



DATE:

DATE:
JOB NUMBER: 009
PROJECT NO.:
SCALE:
FILE NAME:
SHEET NO.:

A2.01



1 Ground Floor Plan
SCALE 1/8" = 1'-0"

2 Main Floor Plan
SCALE 1/8" = 1'-0"

3 Upper Floor Plan
SCALE 1/8" = 1'-0"

4 Roof Plan
SCALE 1/8" = 1'-0"

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CONTRACT NO.

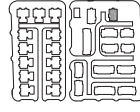
OWNER:
Mosaic Homes
500-2609 Grenville Street
Winnipeg, Manitoba
R2S 2S7

PROJECT TITLE:
Baptist Church Site Rowhomes
Surrey, BC

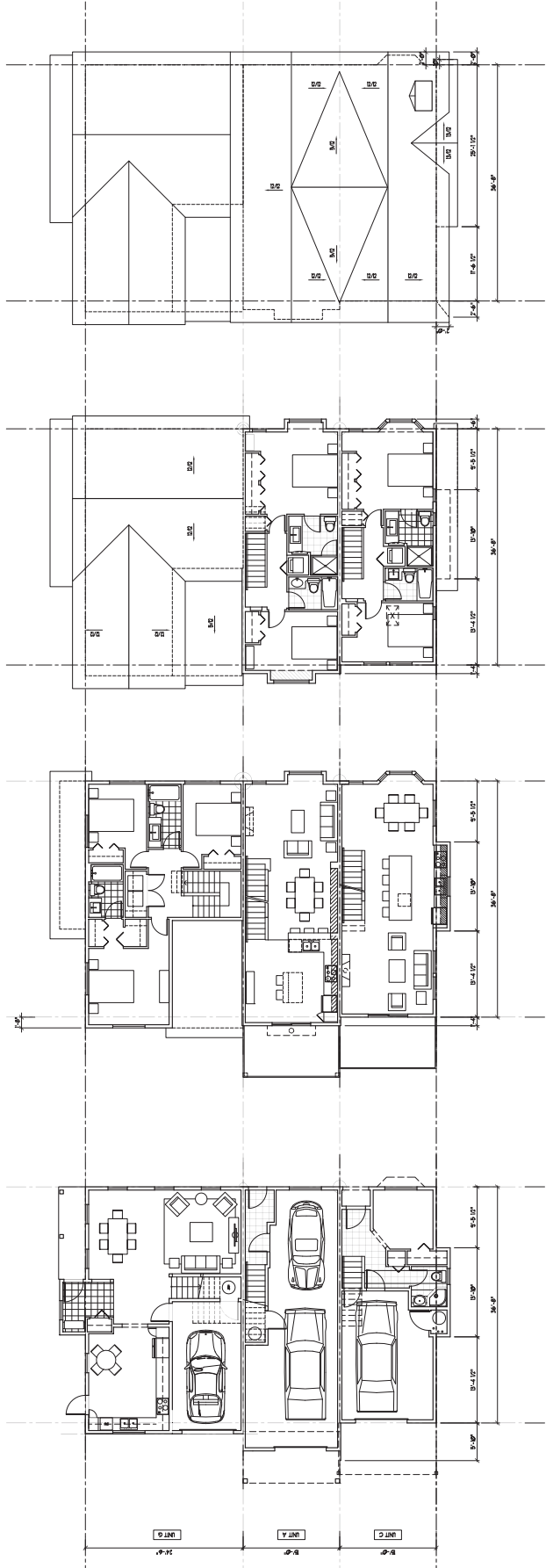
DRAWING TITLE:

3 Plex A+C+G Floor Plans

DRAWING TITLE	DATE ISSUED	BY
DESIGNED FOR SP	SEP. 21, 2010	SMH
REVISIONS FOR SP	MAR. 26, 2010	SMH
REVISIONS FOR SP - SEE PLAN	MAY 19, 2010	SMH
REVISIONS FOR SP - SEE PLAN	MAY 26, 2010	SMH
REVISIONS FOR SP - SEE PLAN	OCT. 19, 2010	SMH
REVISIONS FOR SP - SEE PLAN	NOV. 19, 2010	SMH
REVISIONS FOR SP - SEE PLAN	DEC. 15, 2010	SMH
REVISIONS FOR SP - SEE PLAN	DEC. 15, 2010	SMH
REVISIONS FOR SP - SEE PLAN	DEC. 21, 2010	SMH



FORM



1 Ground Floor Plan
SCALE: 1/8" = 1'-0"

2 Main Floor Plan
SCALE: 1/8" = 1'-0"

3 Upper Floor Plan
SCALE: 1/8" = 1'-0"

4 Roof Plan
SCALE: 1/8" = 1'-0"

DATE: _____
DRAWN BY: _____
JOB NUMBER: 000
PROJECT NO.: _____
SCALE: _____
FILE NAME: _____
SHEET NO.: _____

A2.02

RE-ISSUED FOR DP 2010-11-22

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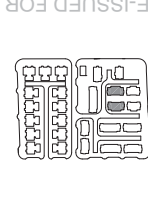
CONSULTANT

CLIENT: Mosaic Homes, 500-2809 Greenville Street, Charlotte, NC 28205

PROJECT TITLE: Baptist Church Site Rowhomes, Surmby, NC

DRAWING TITLE: 5 Plex A + C Floor Plans

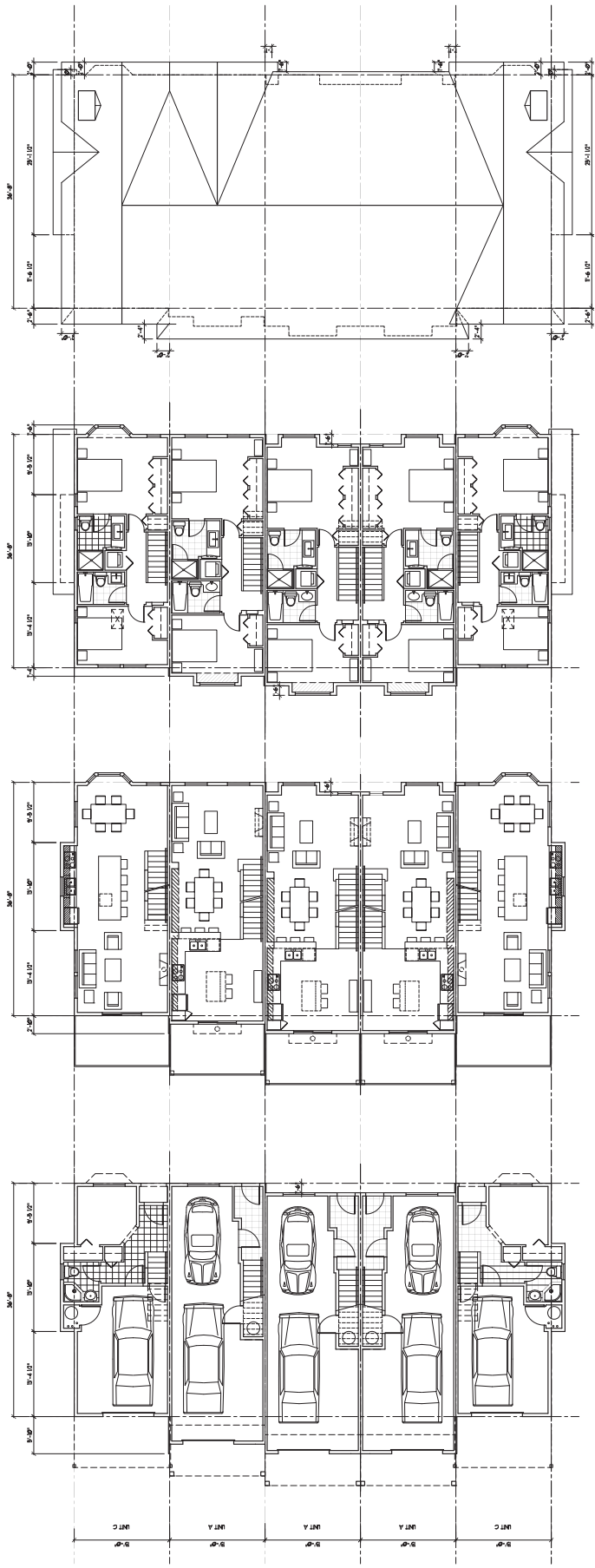
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DATE: 08/27/2020

PROJECT NO.: 009, ARCHITECT NO., SCALE, FILE NAME, SHEET NO.: 4

A2.04



1 Ground Floor Plan SCALE: 1/8" = 1'-0"

2 Main Floor Plan SCALE: 1/8" = 1'-0"

3 Upper Floor Plan SCALE: 1/8" = 1'-0"

4 Roof Plan SCALE: 1/8" = 1'-0"



**RAMSAY
WARDEN**
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3000 Kingsbridge 11th Avenue
New York, NY 10017
Chelsea, NY 10011
Tel: 212.758.8800
Fax: 212.758.8800
www.ramsaywarden.com

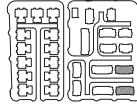
CONTRACT:

CLIENT:
Mosaic Homes
500-2809 Greenville Street
Charlotte, NC 28205
U.S.A.

PROJECT TITLE:
Baptist Church Site Rowhomes

DRAWING TITLE:
6 Plex C + F Plans

DRAWING TITLE	DATE ISSUED	BY
DESIGNED FOR DP	05/17/2020	SMH
REVISIONS FOR DP	06/01/2020	SMH
REVISIONS FOR DP - SEE PLAN	06/17/2020	SMH
REVISIONS FOR DP - SEE PLAN	06/22/2020	SMH
REVISIONS FOR DP - SEE PLAN	06/22/2020	SMH
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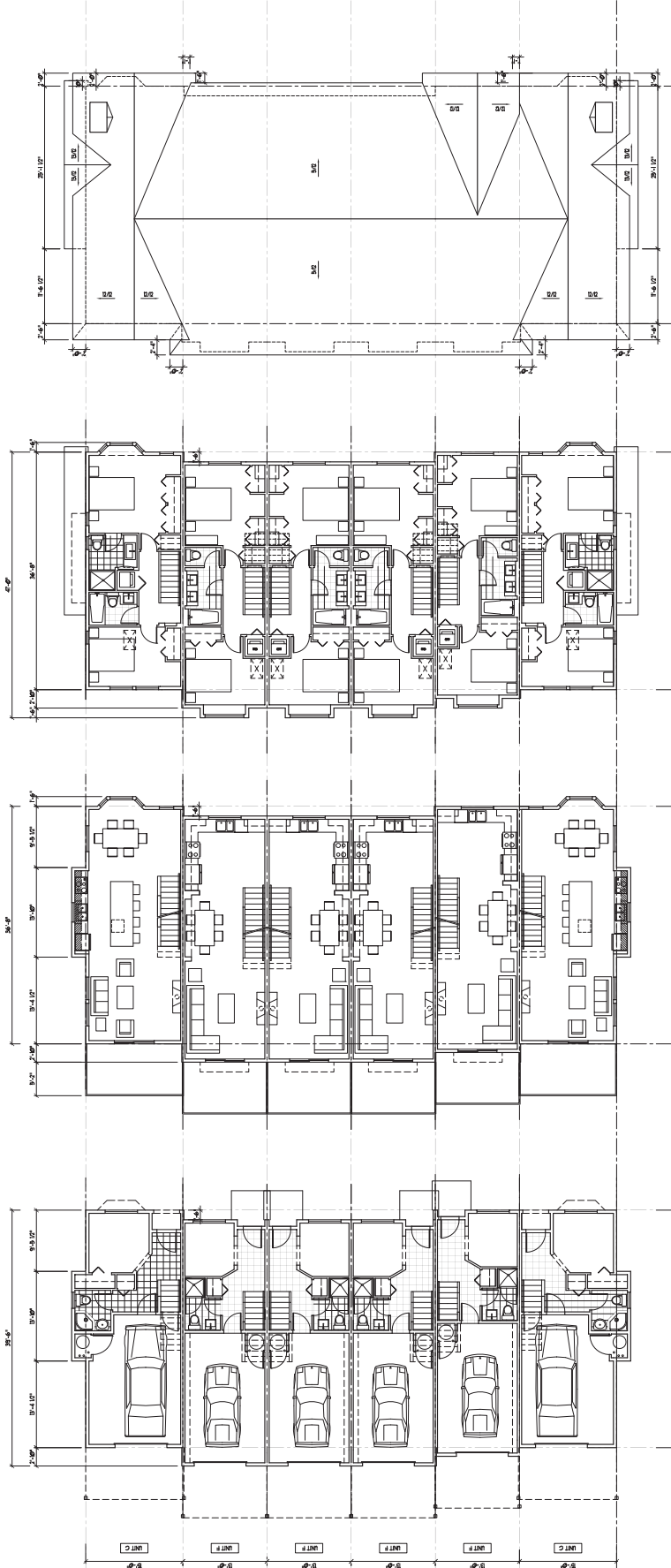


DATE:

DRAWN BY:
DATE:
JOB NUMBER: 0000
REVISION NO.:
SCALE:
FILE NAME:
SHEET NO.:

A2.06

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1 Ground Floor Plan
SCALE: 1/8" = 1'-0"

2 Main Floor Plan
SCALE: 1/8" = 1'-0"

3 Upper Floor Plan
SCALE: 1/8" = 1'-0"

4 Roof Plan
SCALE: 1/8" = 1'-0"

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3252 Kingsway # 110-A Avenue
Ottawa, Ontario K2K 2Y7
Tel: (613) 735-9599
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www.ramsayarchitects.com

CONTRACT NO.

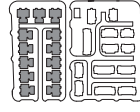
CLIENT
Mosaic Homes
500-2609 Grenville Street
Windsor, ON N9A 5G6
Windsor, ON
W1H1C-3K3

PROJECT TITLE
Baptist Church Site Rowhome:
Sertop, QC

DRAWING TITLE
Duplex Floor Plans

DATE ISSUED BY
DATE CHECKED BY
DATE DESIGNED BY

DRAWING TITLE	DATE ISSUED BY	DATE CHECKED BY
DESIGNED FOR DP	DATE DESIGNED BY	DATE CHECKED BY
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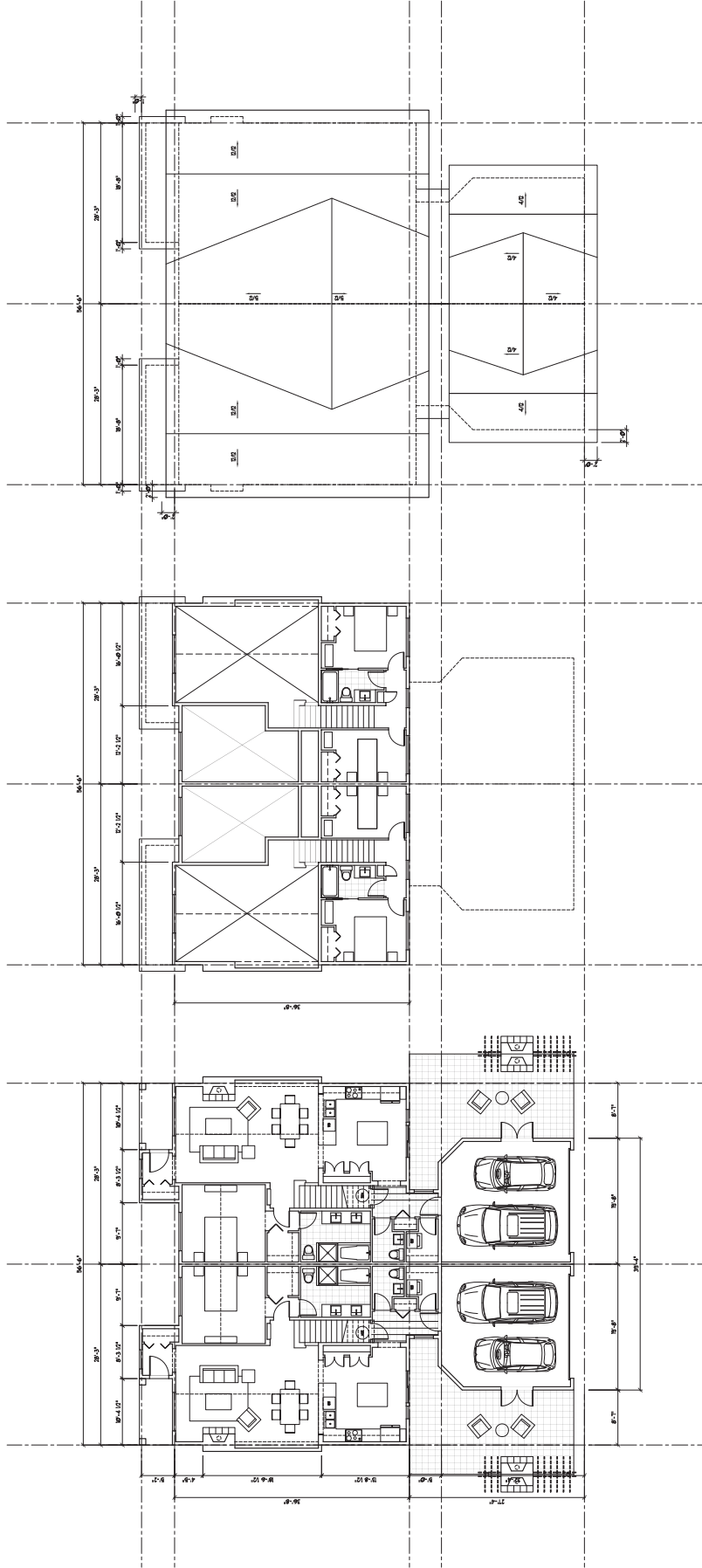


SCALE

DATE
JOB NUMBER
PROJECT NO.
SCALE
FILE NAME
SHEET NO.

A2.08

RE-ISSUED FOR DP 2010-12-23



1 Ground Floor Plan
SCALE 1/8" = 1'-0"

2 Upper Floor Plan
SCALE 1/8" = 1'-0"

4 Roof Plan
SCALE 1/8" = 1'-0"

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**R A M S A Y
W O R D E N
A R C H I T E C T S**

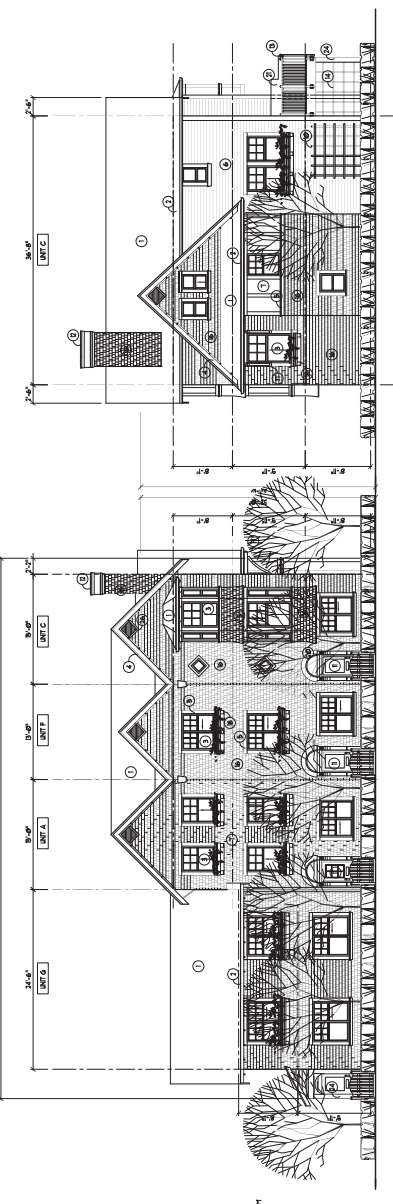
3525 Highway # 118 Avenue
Winnipeg, Manitoba R2V 2K7
Tel: 204.778.0000
Fax: 204.778.0000
E: ram@ramay.com
F: 204.778.0000

CONTRACT NO. _____

CLIENT: **Mosaic Homes**
500-2609 Grenville Street
Winnipeg, M.C.
W8H 2N6

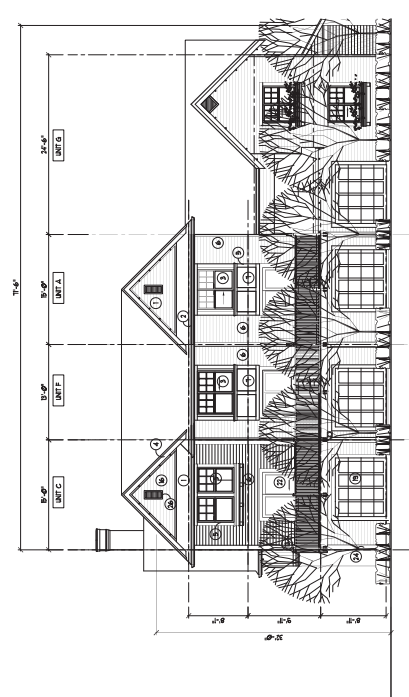
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3rd Flr. 04

DRAWING TITLE: **4 Plex Sales Block Elevations**

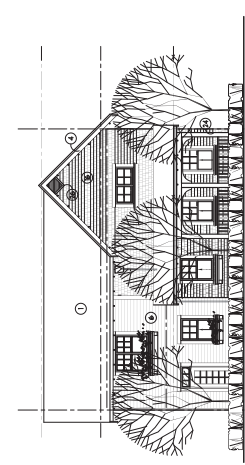


1 Front Elevation - North
SCALE: 1/8" = 1'-0"

3 Side Elevation - West
SCALE: 1/8" = 1'-0"



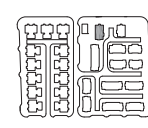
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SCALE: 1/8" = 1'-0"



4 Side Elevation - East
SCALE: 1/8" = 1'-0"

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 2. ALUMINUM BRACKETS
 3. ALUMINUM BRACKETS
 4. PTD. BRICK 2x8x8 FASADA BRICK PTD. ID TRIM
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 6. VENT. BRICK
 7. PTD. BRICK 2x8x8 FASADA BRICK PTD. ID TRIM
 8. BRICK LANDSCAPE WALL
 9. WALL MOUNTED PTD. ID. LATTICE
 10. PTD. BRICK 2x8x8 FASADA BRICK PTD. ID TRIM
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 22. VENT. BRICK
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 25. PAINTED PTD. BRICK
 26. PAINTED PTD. BRICK
 27. DECORATIVE BRICK BRACKET
 28. DECORATIVE BRICK BRACKET
 29. BRICK VENTIL.
 30. PTD. BRICK 2x8x8 FASADA BRICK PTD. ID TRIM

DRAWING TITLE	DATE ISSUED	BY
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SIDE ELEVATION - WEST	07.21.2010	SHM
SIDE ELEVATION - EAST	07.21.2010	SHM
SECTION	07.21.2010	SHM
DETAIL	07.21.2010	SHM
FOUNDATION	07.21.2010	SHM
ROOF	07.21.2010	SHM
INTERIOR	07.21.2010	SHM
EXTERIOR	07.21.2010	SHM
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ELECTRICAL	07.21.2010	SHM
PLUMBING	07.21.2010	SHM
PAINTING	07.21.2010	SHM
LANDSCAPE	07.21.2010	SHM
GENERAL	07.21.2010	SHM



DATE: _____
JOB NUMBER: 000
PROJECT NAME: _____
SCALE: _____
FILE NAME: _____
SHEET NO.: _____

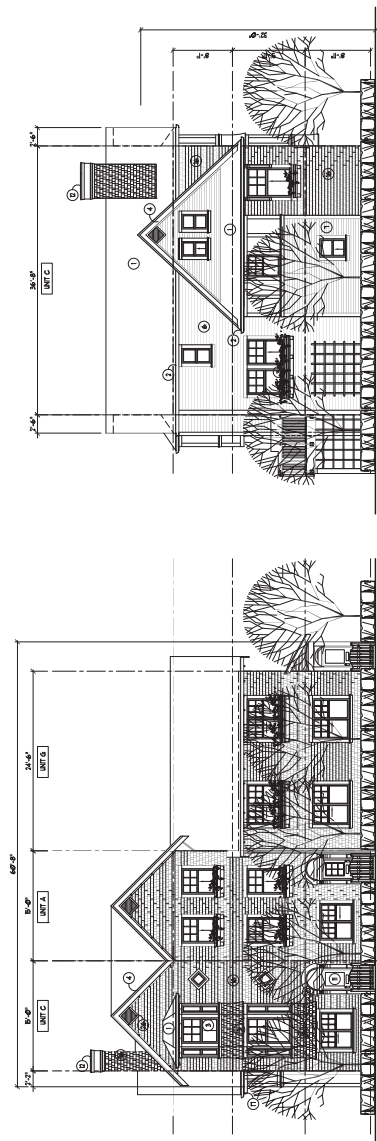
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RE-ISSUED FOR DP 2010-12-22

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- MATERIAL LIST**
1. ASPHALT SHINGLES
 2. ALUMINUM FACIA GUTTER
 3. 1/2" PLYWOOD SHEATHING
 4. PFD LINED ZIP RASGIA W/ 3/8" ID TRENCH
 5. 1/2" PLYWOOD SHEATHING
 6. EXPOSED RAFTER VALEA/ROOF
 7. PFD HARD PANE
 8. BRICK LAMPOURNE WALL
 9. WALL MOUNTED PFD W/ LATTICE
 10. PFD IRREGULAR EXTENSIVE DOOR
 11. PFD METAL TRAILER LANDING CAP
 12. PFD LINED ZIP RASGIA W/ 3/8" ID TRENCH
 13. PFD LINED ZIP RASGIA W/ 3/8" ID TRENCH
 14. PFD LINED ZIP RASGIA W/ 3/8" ID TRENCH
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 17. PFD LINED ZIP RASGIA W/ 3/8" ID TRENCH
 18. PFD LINED ZIP RASGIA W/ 3/8" ID TRENCH
 19. PFD LINED ZIP RASGIA W/ 3/8" ID TRENCH
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 23. PFD LINED ZIP RASGIA W/ 3/8" ID TRENCH
 24. PFD LINED ZIP RASGIA W/ 3/8" ID TRENCH
 25. PFD LINED ZIP RASGIA W/ 3/8" ID TRENCH
 26. PFD LINED ZIP RASGIA W/ 3/8" ID TRENCH
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 30. PFD LINED ZIP RASGIA W/ 3/8" ID TRENCH



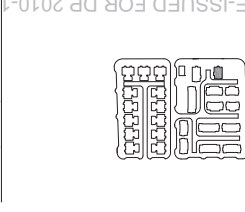
CONTRACT NO. _____

CLIENT: Mosaic Homes
500-2609 Grenville Street
Edmonton, AB T6C 2K1
VPR-318

PROJECT TITLE: Baptist Church Site Rowhomes
3rd Flr. 31

DRAWING TITLE: 3 Plex A + C + G Elevations

DRAWING TITLE	DATE ISSUED	BY
3 PLEX A + C + G ELEVATIONS	SEP. 21, 2023	SMH
REVISIONS	MAR. 26, 2023	SMH
REVISIONS	MAY 15, 2023	SMH
REVISIONS	MAY 25, 2023	SMH
REVISIONS	OCT. 16, 2023	SMH
REVISIONS	NOV. 16, 2023	SMH
REVISIONS	DEC. 15, 2023	SMH
REVISIONS	DEC. 21, 2023	SMH



DATE: _____

JOB NUMBER: 000

PROJECT NAME: _____

SCALE: _____

FILE NAME: _____

SHEET NO.: _____

A3.02

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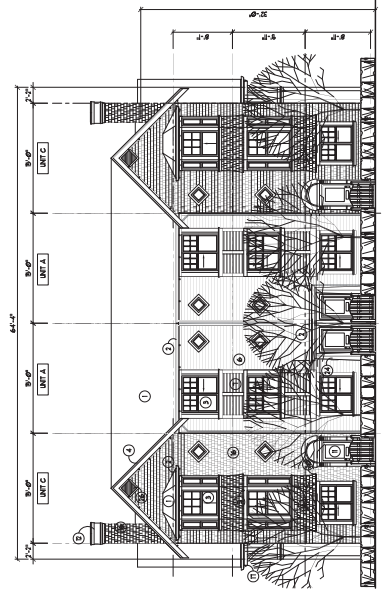
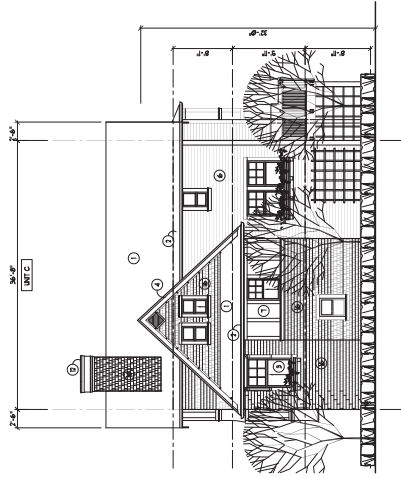


CONTRACT NO. _____

CLIENT:
Mosaic Homes
500-2609 Grenville Street
Edmonton, AB T6C 1K1
VPH-318

PROJECT TITLE:
Baptist Church Site Rowhomes
Savoy, AB

DRAWING TITLE:
4 Plex A + C Elevations



1 Front Elevation - East
SCALE: 1/8" = 1'-0"

3 Side Elevation - True End - North
SCALE: 1/8" = 1'-0"

- MATERIAL LIST**
1. ASPHALT SHINGLES
 2. ALUMINUM FACIA GUTTER
 3. 1/2" PLYWOOD SHEATHING
 4. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 5. 1/2" PLYWOOD SHEATHING
 6. EXPOSED RAFTER VALEA/CORNER
 7. 1/2" PLYWOOD SHEATHING
 8. BRICK LAMPSHIRE WALL
 9. WALL MOUNTED PFD 1/2" LATTICE
 10. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 11. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 12. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 13. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 14. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 15. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 16. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 17. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 18. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 19. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 20. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 21. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 22. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 23. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 24. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
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 26. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 27. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 28. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 29. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP
 30. PFD 1/2" OSB SHEATHING OVER PFD 1/2" TRYP

DATE ISSUED: 07/20/2010

DATE REVISION: 07/20/2010

DATE REVISION: 07/20/2010

DATE REVISION: 07/20/2010

DATE REVISION: 07/20/2010

DATE REVISION: 07/20/2010

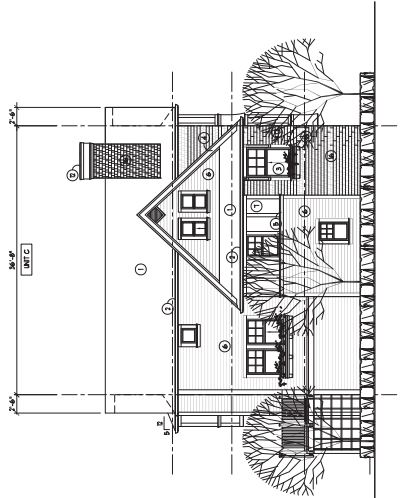
DATE REVISION: 07/20/2010

DATE REVISION: 07/20/2010

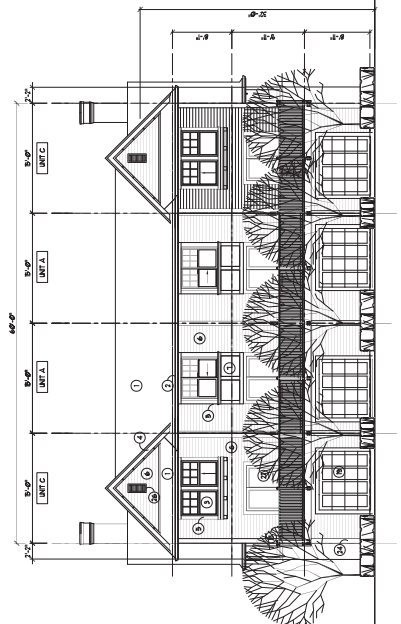
DATE REVISION: 07/20/2010

DATE REVISION: 07/20/2010

DATE REVISION: 07/20/2010



4 Side Elevation - Non True - South
SCALE: 1/8" = 1'-0"

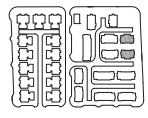


2 Rear Elevation - West
SCALE: 1/8" = 1'-0"

DATE: _____
JOB NUMBER: 000
PROJECT NAME: _____
SCALE: _____
FILE NAME: _____
SHEET NO.: _____

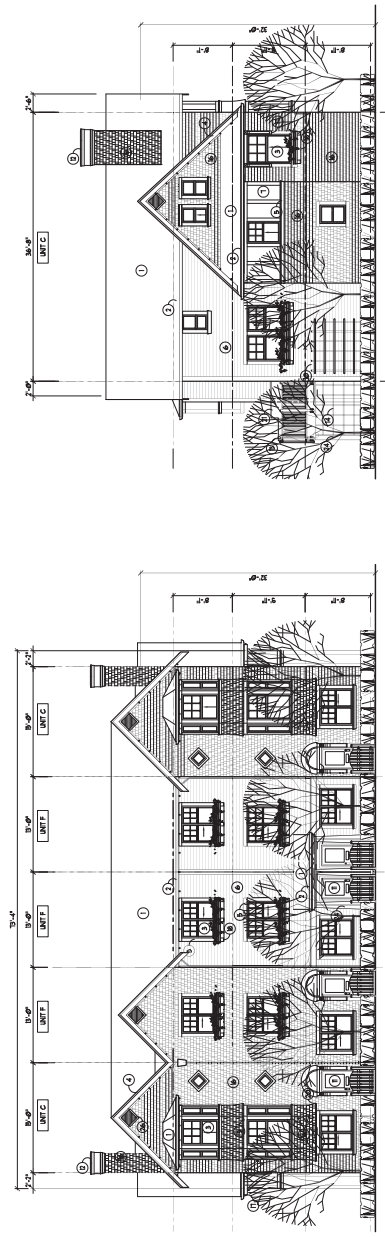
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RE-ISSUED FOR DP 2010-12-22



DATE: _____

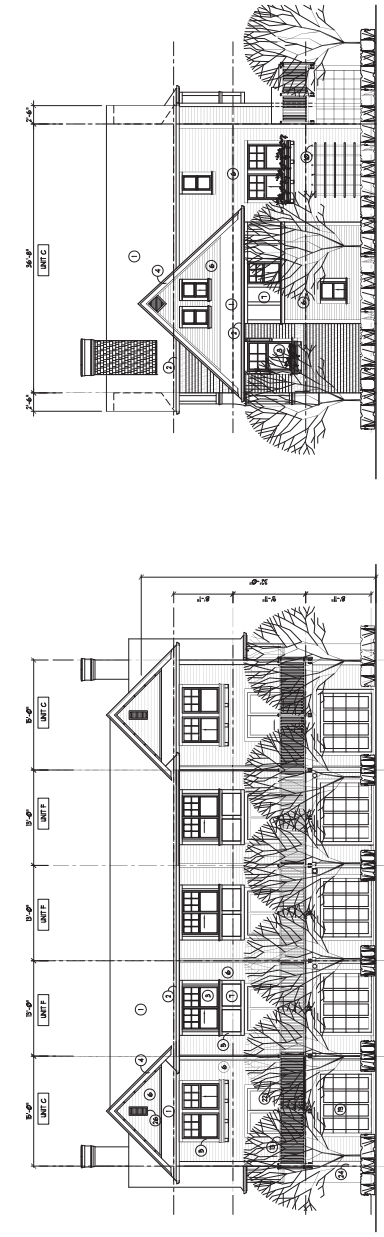
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- MATERIAL LIST**
1. ALUMINUM BRACKETS
 2. ALUMINUM BRACKET
 3. ALUMINUM BRACKET
 4. PTD. WOOD JOIST BRACKET
 5. PTD. WOOD JOIST BRACKET
 6. PTD. WOOD JOIST BRACKET
 7. PTD. WOOD JOIST BRACKET
 8. BRICK LANDING WALL
 9. BRICK LANDING WALL
 10. BRICK LANDING WALL
 11. BRICK LANDING WALL
 12. BRICK LANDING WALL
 13. BRICK LANDING WALL
 14. BRICK LANDING WALL
 15. BRICK LANDING WALL
 16. BRICK LANDING WALL
 17. PTD. WOOD BRACKET
 18. PTD. WOOD BRACKET
 19. PTD. WOOD BRACKET
 20. PTD. WOOD BRACKET
 21. PTD. WOOD BRACKET
 22. PTD. WOOD BRACKET
 23. PTD. WOOD BRACKET
 24. PTD. WOOD BRACKET
 25. PTD. WOOD BRACKET
 26. PTD. WOOD BRACKET
 27. PTD. WOOD BRACKET
 28. PTD. WOOD BRACKET
 29. PTD. WOOD BRACKET
 30. PTD. WOOD BRACKET

1 Front Elevation - South
SCALE: 1/4" = 1'-0"

2 Rear Elevation - North
SCALE: 1/4" = 1'-0"



3 Side Elevation - True End - West
SCALE: 1/4" = 1'-0"

4 Side Elevation - Non True - East
SCALE: 1/4" = 1'-0"

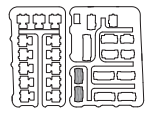
CONTRACT NO. _____

CLIENT: Mosaic Homes
500-2609 Grenville Street
Windsor, ON N9A 5K6

PROJECT TITLE: Baptist Church Site Rowhomes
3rd Flr. 04

DRAWING TITLE: 5 Plex C + F Elevations

DRAWING TITLE	DATE ISSUED	BY
5 PLEX C + F ELEVATIONS	SEP. 21, 2010	SMH
5 PLEX C + F ELEVATIONS	MAR. 26, 2010	SMH
5 PLEX C + F ELEVATIONS	MAY. 19, 2010	SMH
5 PLEX C + F ELEVATIONS	MAY. 26, 2010	SMH
5 PLEX C + F ELEVATIONS	OCT. 16, 2010	SMH
5 PLEX C + F ELEVATIONS	OCT. 16, 2010	SMH
5 PLEX C + F ELEVATIONS	DEC. 15, 2010	SMH
5 PLEX C + F ELEVATIONS	DEC. 15, 2010	SMH
5 PLEX C + F ELEVATIONS	DEC. 23, 2010	SMH



RE-ISSUED FOR DP 2010-12-22

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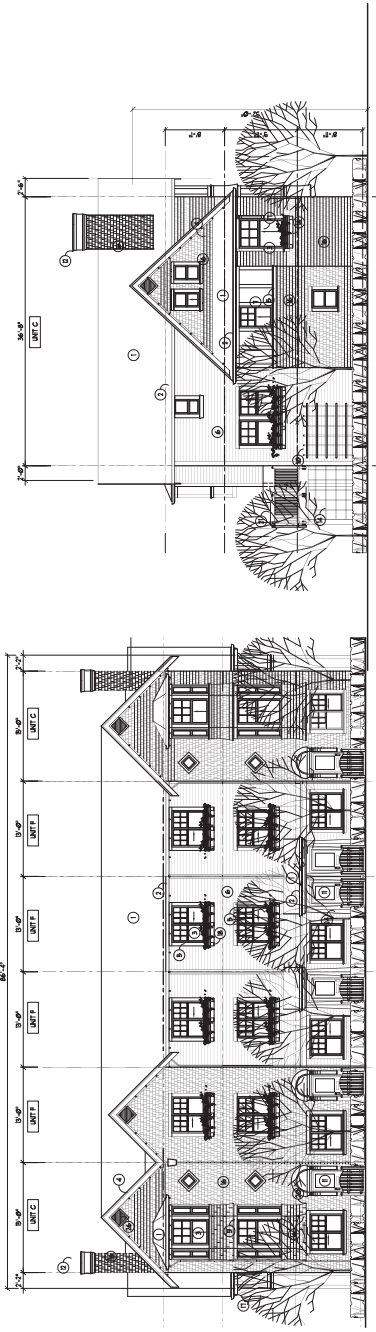


CONTRACT NO. _____

CLIENT:
Mosaic Homes
500-2609 Grenville Street
Ottawa, ON K1G 3G7
VPH-316

PROJECT TITLE:
Baptist Church Site Rowhomes
Spray, ON

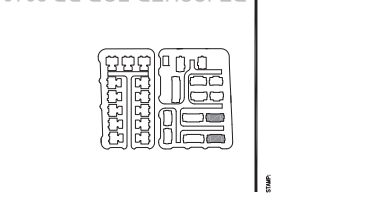
DRAWING TITLE:
6 Plex C + F Elevations



1 Front Elevation - South
SCALE: 1/8" = 1'-0"

3 Side Elevation - True End - West
SCALE: 1/8" = 1'-0"

- MATERIAL LIST**
1. ASPHALT SHINGLES
 2. ALUMINUM CASING
 3. ALUMINUM WINDOW CASING
 4. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 5. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 6. VNTL. SIDING
 7. PTD. LAMBD PANEL
 8. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 9. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 10. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 11. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 12. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 13. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 14. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 15. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 16. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 17. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 18. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 19. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 20. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 21. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 22. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 23. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 24. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 25. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 26. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 27. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 28. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 29. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT
 30. PTD. WOOD 2x4 PASCAL 1/4" PTD. 1/2" RFT



2 Front Elevation - North
SCALE: 1/8" = 1'-0"

4 Side Elevation - Non True - East
SCALE: 1/8" = 1'-0"

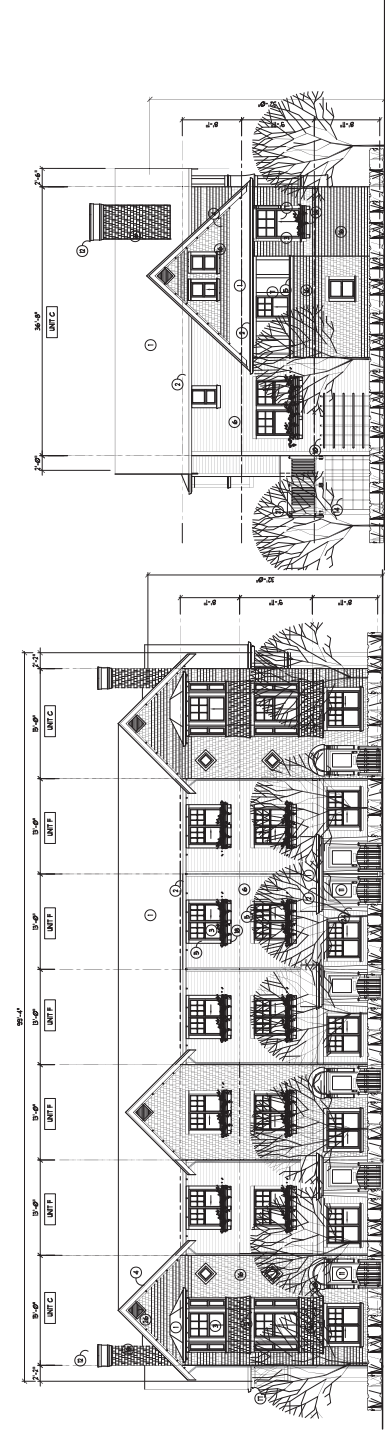
DATE: _____
JOB NUMBER: 000
PROJECT NAME: _____
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FILE NAME: _____
SHEET NO.: _____

A3.06

RE-ISSUED FOR DP 2010-11-22

DATE: _____
JOB NUMBER: 000
PROJECT NAME: _____
SCALE: _____
FILE NAME: _____
SHEET NO.: _____

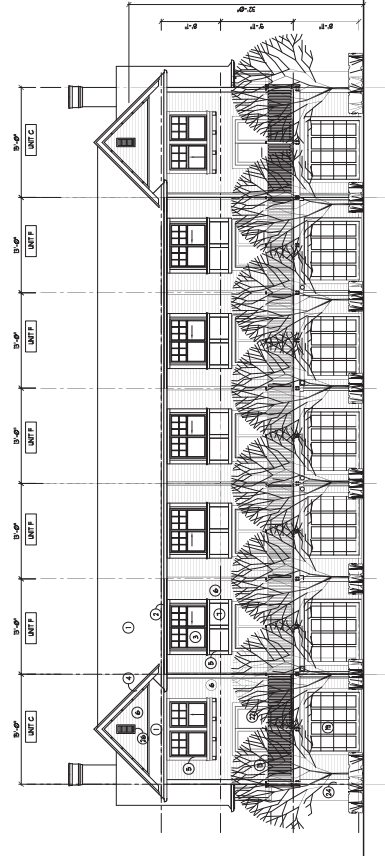
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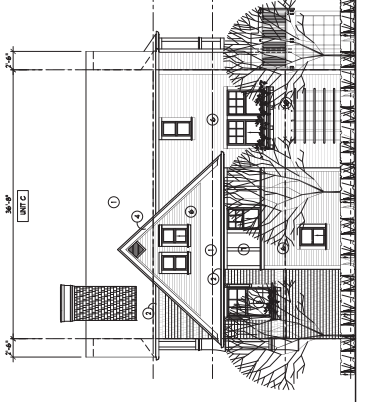
- MATERIAL LIST**
1. ASPHALT SHINGLES
 2. ALUMINUM WINDOW
 3. ALUMINUM WINDOW
 4. PTD. WOOD SASH WINDOW WITH PTD. ID TRIM
 5. PTD. WOOD SASH WINDOW WITH PTD. ID TRIM
 6. PTD. WOOD SASH WINDOW WITH PTD. ID TRIM
 7. PTD. WOOD SASH WINDOW WITH PTD. ID TRIM
 8. PTD. WOOD SASH WINDOW WITH PTD. ID TRIM
 9. PTD. WOOD SASH WINDOW WITH PTD. ID TRIM
 10. PTD. WOOD SASH WINDOW WITH PTD. ID TRIM
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 29. PTD. WOOD SASH WINDOW WITH PTD. ID TRIM
 30. PTD. WOOD SASH WINDOW WITH PTD. ID TRIM

1 Front Elevation - South
SCALE: 1/8" = 1'-0"

3 Side Elevation - True End - West
SCALE: 1/8" = 1'-0"

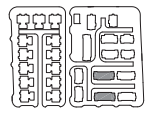


2 Rear Elevation - North
SCALE: 1/8" = 1'-0"



4 Side Elevation - Non True - East
SCALE: 1/8" = 1'-0"

DRAWING TITLE	DATE ISSUED	BY
FRONT ELEVATION	SEP. 21, 2010	SMH
REAR ELEVATION	MAR. 26, 2010	SMH
SIDE ELEVATION - TRUE END - WEST	MAY. 19, 2010	SMH
SIDE ELEVATION - NON TRUE - EAST	MAY. 19, 2010	SMH
SECTION - NORTH	OCT. 19, 2010	SMH
SECTION - SOUTH	OCT. 19, 2010	SMH
SECTION - WEST	OCT. 19, 2010	SMH
SECTION - EAST	OCT. 19, 2010	SMH
SECTION - NORTH	OCT. 19, 2010	SMH
SECTION - SOUTH	OCT. 19, 2010	SMH
SECTION - WEST	OCT. 19, 2010	SMH
SECTION - EAST	OCT. 19, 2010	SMH



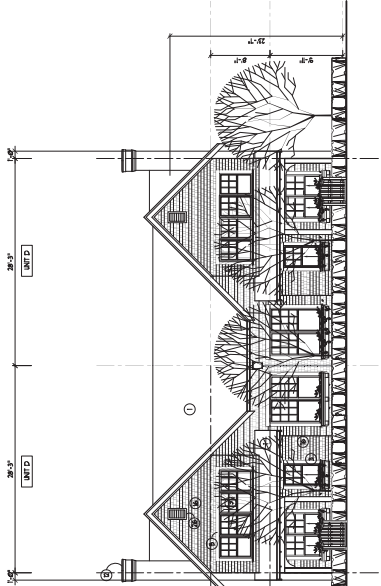
DATE: _____
JOB NUMBER: 000
PROJECT NAME: _____
SCALE: _____
FILE NAME: _____
SHEET NO.: _____

A3.07

RE-ISSUED FOR DP 2010-12-22

MATERIAL LIST

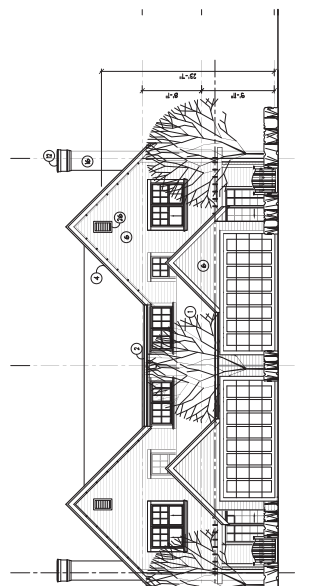
1. ASPHALT SHINGLES
2. ALUMINUM RAINSCREEN
3. ALUMINUM RAINSCREEN
4. PFD. WOOD TRIM / TRIM / TRIM
5. PFD. WOOD TRIM / TRIM / TRIM
6. WOOD SHINGLES
7. PFD. WOOD PANEL / SIDING
8. WOOD SHINGLES
9. BRICK / BRICK
10. WALL POINTED PFD. WOOD LATTICE
11. PFD. BRICK / BRICK
12. PFD. WOOD TRIM / TRIM / TRIM
13. PFD. WOOD TRIM / TRIM / TRIM
14. PFD. WOOD LATTICE
15. PFD. WOOD LATTICE
16. PFD. WOOD BRIDGE BRACKET
17. PFD. WOOD BRIDGE BRACKET
18. PFD. WOOD BRIDGE BRACKET
19. PFD. WOOD BRIDGE BRACKET
20. PFD. WOOD BRIDGE BRACKET
21. WOOD SHINGLES
22. WOOD SHINGLES
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24. WOOD SHINGLES
25. WOOD SHINGLES
26. WOOD SHINGLES
27. WOOD SHINGLES
28. WOOD SHINGLES
29. WOOD SHINGLES
30. WOOD SHINGLES



1 Front Elevation
SCALE: 3/8" = 1'-0"



2 Rear Elevation
SCALE: 3/8" = 1'-0"



3 Side Elevation
SCALE: 3/8" = 1'-0"

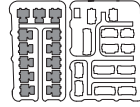
COREL DRAWING

CLIENT:
Mosaic Homes
500-2609 Grenville Street
Channahon, IL 61018
WPH-243

PROJECT TITLE:
Baptist Church Site Rowhome:
Serving IL

DRAWING TITLE:
Duplex Elevations

DRAWING SYMBOL FOR	DATE ISSUED	BY
ISSUED FOR CP	SEP. 23, 2020	DM
RE-ISSUED FOR CP	MAR. 23, 2023	DM
RE-ISSUED FOR CP	MAY 15, 2023	DM
RE-ISSUED FOR CP	MAY 23, 2023	DM
RE-ISSUED FOR CP	OCT. 19, 2023	DM
RE-ISSUED FOR CP	NOV. 26, 2023	DM
RE-ISSUED FOR CP	DEC. 13, 2023	DM
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RE-ISSUED FOR CP	DEC. 13, 2023	DM



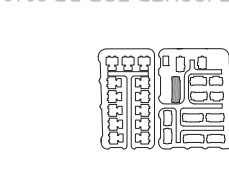
CONTRACT NO. _____

CLIENT: **Mosaic Homes**
500-2609 Grenville Street
Winnipeg, MB R2M 3K6

PROJECT TITLE: **Baptist Church Site Rowhomes**
Spray, MB

DRAWING TITLE: **9 Plex C + F Elevations**

DRAWING TITLE	DATE ISSUED	BY
DESIGN FOR PERMIT	SEP. 21, 2019	SMH
REVISION FOR PERMIT	MAR. 16, 2020	SMH
REVISION FOR PERMIT	MAY 15, 2020	SMH
REVISION FOR PERMIT	OCT. 16, 2020	SMH
REVISION FOR PERMIT	DEC. 15, 2020	SMH
REVISION FOR PERMIT	DEC. 15, 2020	SMH
REVISION FOR PERMIT	DEC. 15, 2020	SMH

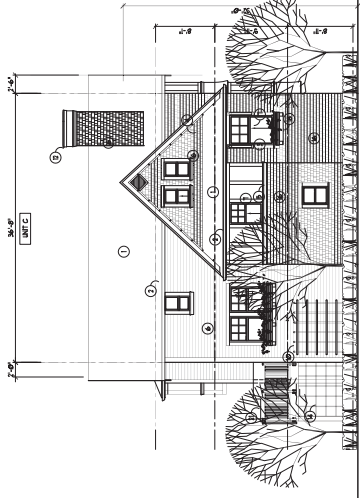


DATE: _____

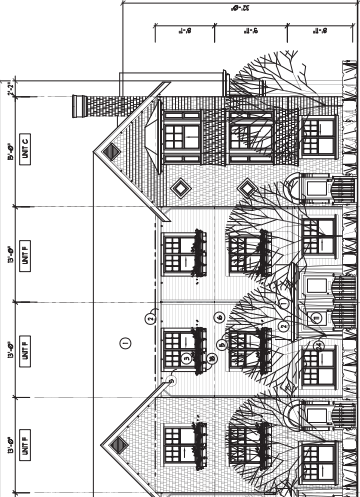
PROJECT NO. _____
JOB NUMBER: 000
REVISION NO.: _____
SCALE: _____
FILE NAME: _____
SHEET NO.: _____

A3.09

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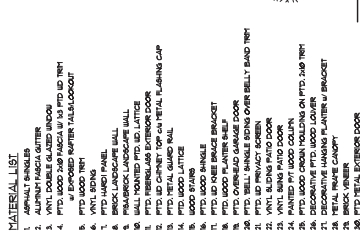
1 Front Elevation - South
SCALE: 1/8" = 1'-0"



2 Side Elevation - True End - West
SCALE: 1/8" = 1'-0"



3 Side Elevation - Non True - East
SCALE: 1/8" = 1'-0"



4 Rear Elevation - North
SCALE: 1/8" = 1'-0"

- MATERIAL LIST**
1. ASPHALT SHINGLES
 2. ALUMINUM HANGAR GUTTER
 3. ALUMINUM HANGAR BRACKET
 4. PFD. 1/2" X 1/2" X 1/2" BRASS W/ 1/2" PFD. 1/2" TRIT
 5. PFD. 1/2" X 1/2" X 1/2" BRASS W/ 1/2" PFD. 1/2" TRIT
 6. VENT. 1/2" X 1/2" X 1/2" BRASS
 7. VENT. 1/2" X 1/2" X 1/2" BRASS
 8. PFD. 1/2" X 1/2" X 1/2" BRASS
 9. PFD. 1/2" X 1/2" X 1/2" BRASS
 10. PFD. 1/2" X 1/2" X 1/2" BRASS
 11. PFD. 1/2" X 1/2" X 1/2" BRASS
 12. PFD. 1/2" X 1/2" X 1/2" BRASS
 13. PFD. 1/2" X 1/2" X 1/2" BRASS
 14. PFD. 1/2" X 1/2" X 1/2" BRASS
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 16. PFD. 1/2" X 1/2" X 1/2" BRASS
 17. PFD. 1/2" X 1/2" X 1/2" BRASS
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 19. PFD. 1/2" X 1/2" X 1/2" BRASS
 20. PFD. 1/2" X 1/2" X 1/2" BRASS
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 26. PFD. 1/2" X 1/2" X 1/2" BRASS
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 29. PFD. 1/2" X 1/2" X 1/2" BRASS
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 42. PFD. 1/2" X 1/2" X 1/2" BRASS
 43. PFD. 1/2" X 1/2" X 1/2" BRASS
 44. PFD. 1/2" X 1/2" X 1/2" BRASS
 45. PFD. 1/2" X 1/2" X 1/2" BRASS
 46. PFD. 1/2" X 1/2" X 1/2" BRASS
 47. PFD. 1/2" X 1/2" X 1/2" BRASS
 48. PFD. 1/2" X 1/2" X 1/2" BRASS
 49. PFD. 1/2" X 1/2" X 1/2" BRASS
 50. PFD. 1/2" X 1/2" X 1/2" BRASS

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CLIENT:
Mosaic Homes
 500-2609 Grenville Street
 Ottawa, Ontario
 K1S 5L7

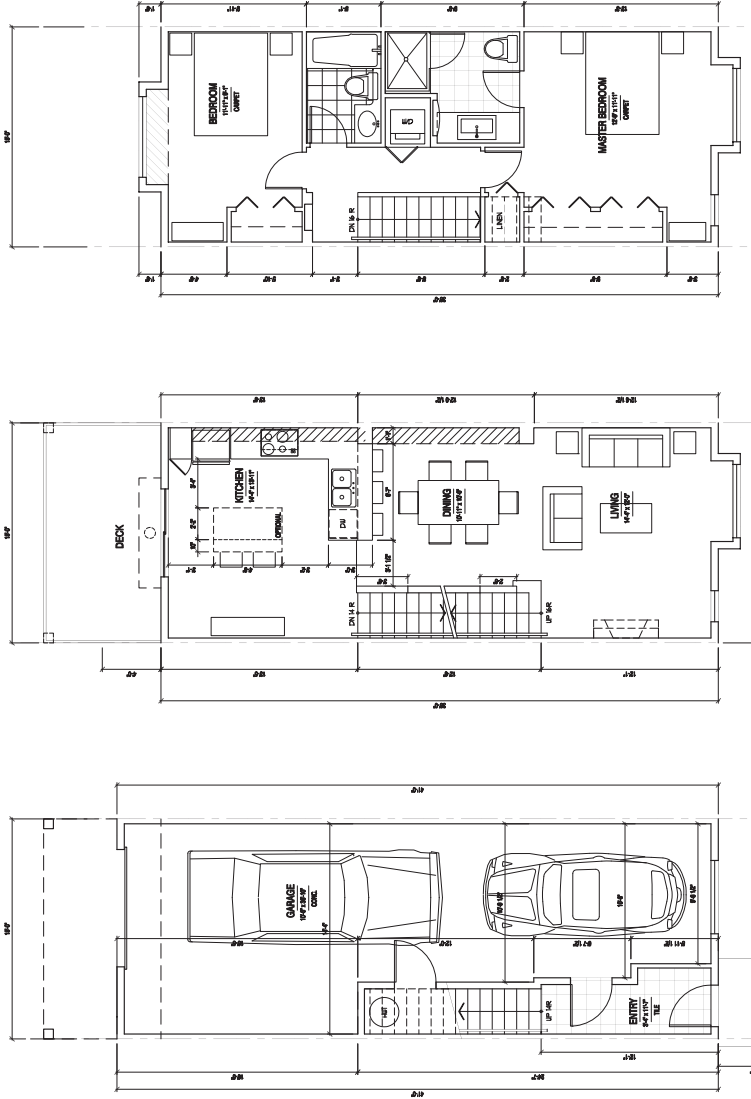
PROJECT TITLE:
Baptist Church Site Rowhomes
 Smp-01, S2

DRAWING TITLE:
Unit Type A & A1 Floor Plans

DRAWING TITLE	DATE ISSUED	BY
DESIGNED FOR SP	09/27/2010	SMH
REVISION FOR SP	09/27/2010	SMH
REVISION FOR SP - SEE PLAN	09/27/2010	SMH
REVISION FOR SP - SEE PLAN	09/27/2010	SMH
REVISION FOR SP - SEE PLAN	09/27/2010	SMH
REVISION FOR SP - SEE PLAN	09/27/2010	SMH
REVISION FOR SP - SEE PLAN	09/27/2010	SMH
REVISION FOR SP - SEE PLAN	09/27/2010	SMH
REVISION FOR SP - SEE PLAN	09/27/2010	SMH
REVISION FOR SP - SEE PLAN	09/27/2010	SMH

GROUND FLOOR 79 SQ. FT.
 MAIN FLOOR 690 SQ. FT.
 UPPER FLOOR 561 SQ. FT.
 TOTAL 1320 SQ. FT.
 GARAGE 588 SQ. FT.
 1 SMALL CAR
 1 REGULAR CAR

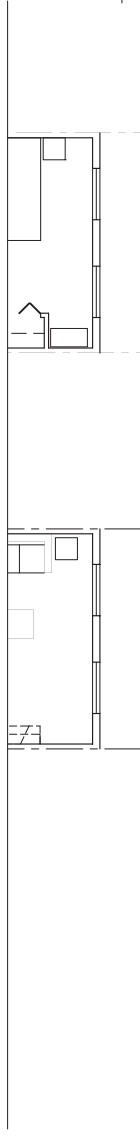
GROUND FLOOR 79 SQ. FT.
 MAIN FLOOR 570 SQ. FT.
 UPPER FLOOR 561 SQ. FT.
 TOTAL 1210 SQ. FT.
 GARAGE 588 SQ. FT.
 1 SMALL CAR
 1 REGULAR CAR



1 Unit A Ground Floor Plan
 SCALE: 1/8" = 1'-0"
 HABITABLE 79 SQ. FT.
 GARAGE 588 SQ. FT.

2 Unit A Main Floor Plan
 SCALE: 1/8" = 1'-0"
 580 SQ. FT.

3 Unit A Upper Floor Plan
 SCALE: 1/8" = 1'-0"
 561 SQ. FT.



2a Unit A Main Floor Plan - No Bay
 SCALE: 1/8" = 1'-0"
 570 SQ. FT.

3a Unit A Upper Floor Plan - No Bay
 SCALE: 1/8" = 1'-0"
 561 SQ. FT.

DATE: _____
 DRAWN BY: _____
 APP. NUMBER: 000
 REVISION NO.: _____
 SCALE: _____
 FILE NAME: _____
 SHEET NO.: _____

A5.01

RE-ISSUED FOR DP 2010-12-22



3552 Kingsway @ 11th Avenue
Edmonton, Alberta T6J 2K1
Canada T50 0277
P: (780) 425-8899
E: info@ramsay.com
W: www.ramsay.com

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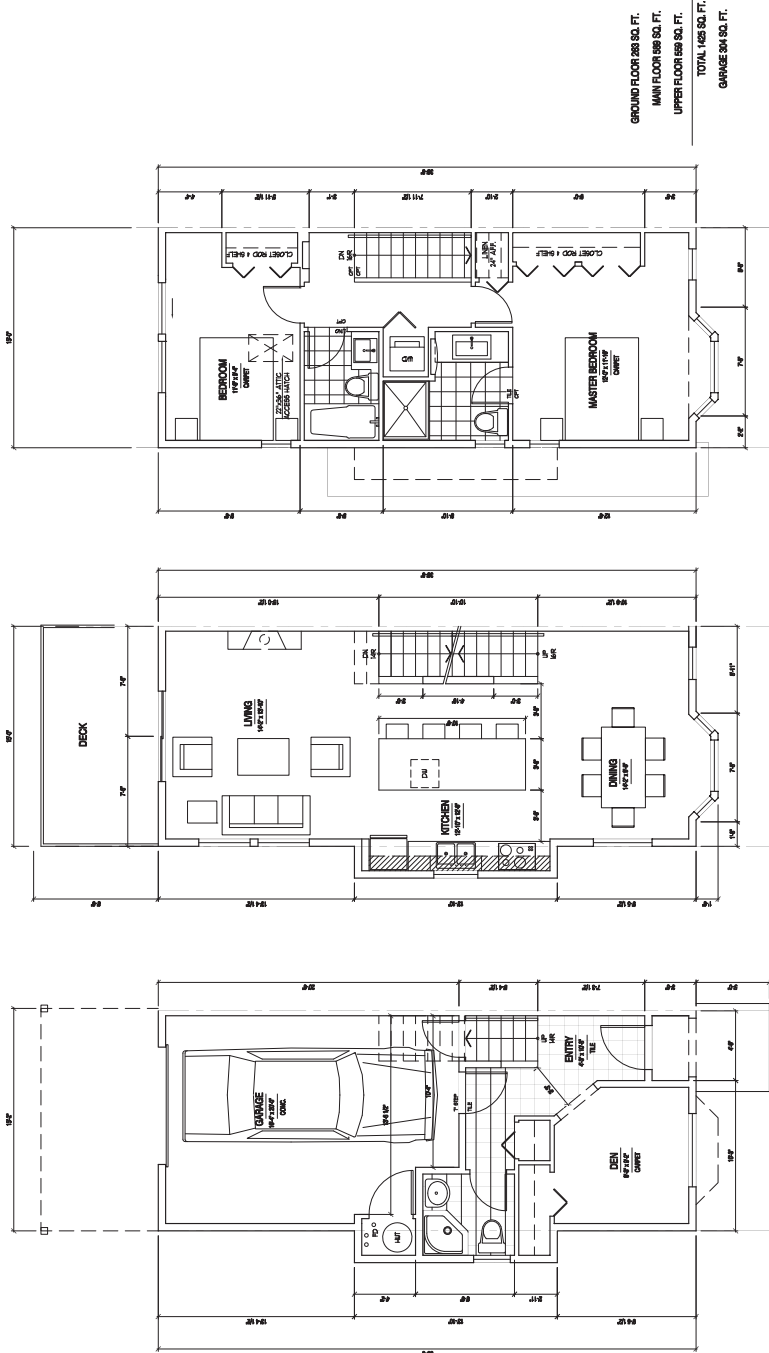
OWNER:
Mosaic Homes
500-2609 Grenville Street
Edmonton, Alberta T6J 2K1
WH10-313

PROJECT TITLE:
Baptist Church Site Rowhomes
Scripps, BC

DRAWING TITLE:
Unit Type C Floor Plans

DRAWING TITLE	DATE ISSUED	BY
DESIGNED FOR SP	09/21/2019	SHM
REVISION FOR SP	09/21/2019	SHM
REVISION FOR SP - SEE PLAN	09/21/2019	SHM
REVISION FOR SP - SEE PLAN	09/21/2019	SHM
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REVISION FOR SP - SEE PLAN	09/21/2019	SHM
REVISION FOR SP - SEE PLAN	09/21/2019	SHM
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REVISION FOR SP - SEE PLAN	09/21/2019	SHM
REVISION FOR SP - SEE PLAN	09/21/2019	SHM

REVISION FOR DP 2019-10-22



1 Unit C Ground Floor Plan
1466 SQ. FT. GARAGE 1466 SQ. FT.

2 Unit C Main Floor Plan
688 SQ. FT.

3 Unit C Upper Floor Plan
688 SQ. FT.

TOTAL 1466 SQ. FT.
GARAGE 1466 SQ. FT.

DATE: _____
DRAWN BY: _____
APP. NUMBER: 0000
REVISION NO.: _____
SCALE: _____
FILE NAME: _____
SHEET NO.: _____

COPY NAME

CURT
 Mosaic Homes
 500-2609 Grenville Street
 Toronto, ON M5G 1S1
 VPH-343

PROJECT TITLE
 Baptist Church Site Rowhome
 Servo, BC

DRAWING TITLE
 Unit Type D Floor Plans

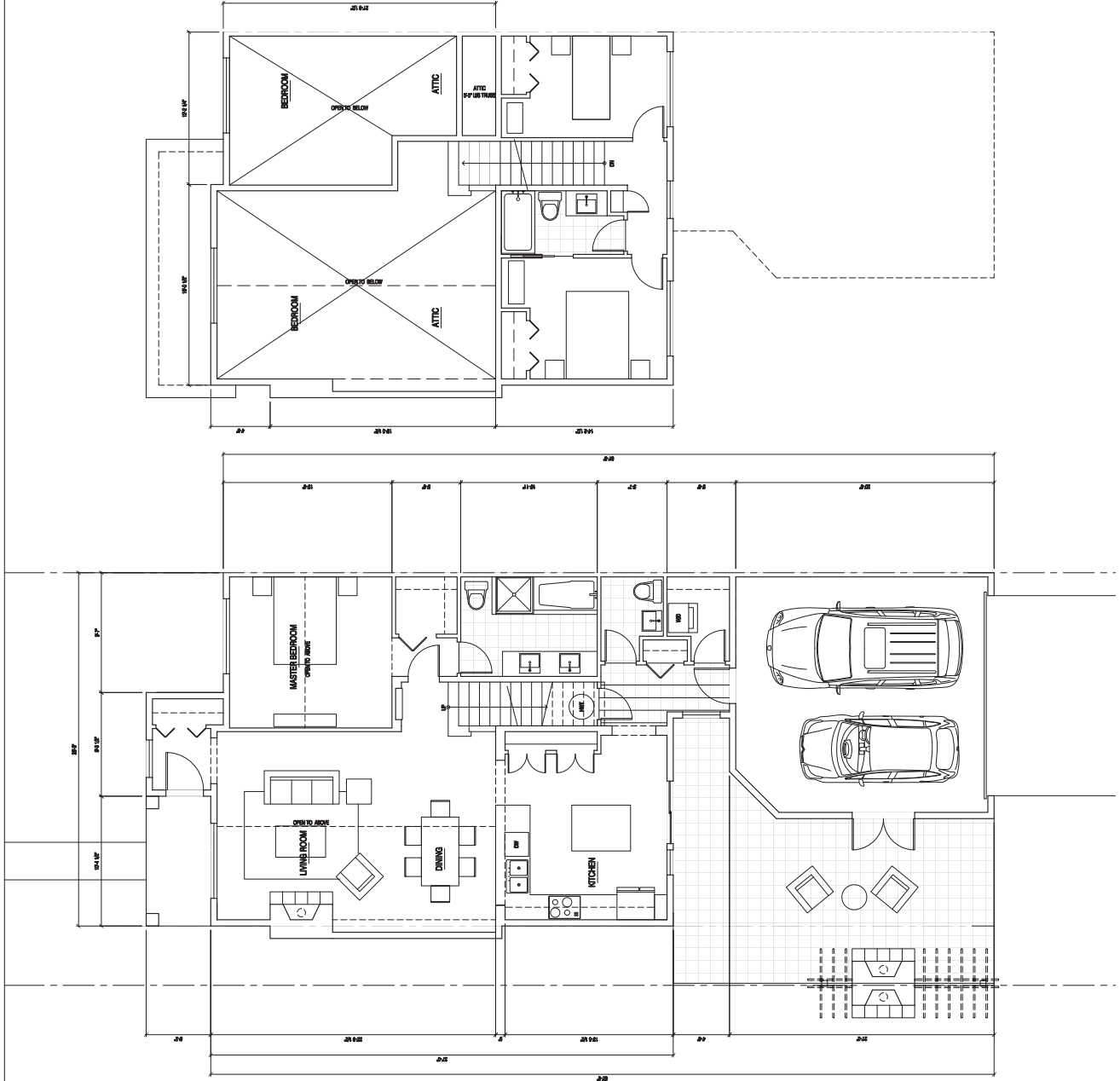
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ISSUED FOR PERMITS	07/21/2010	DM
ISSUED FOR SP	08/03/2010	DM
ISSUED FOR SP - SEE PLAN	08/19/2010	DM
ISSUED FOR SP - ATTACHED	08/27/2010	DM
ISSUED FOR SP - ATTACHED	09/17/2010	DM
ISSUED FOR SP - ATTACHED	09/23/2010	DM
ISSUED FOR SP - ATTACHED	10/01/2010	DM
ISSUED FOR SP - ATTACHED	10/05/2010	DM

RE-ISSUED FOR DP 2010-12-22

DATE: _____
 DRAWING NO.: _____
 JOB NUMBER: 000
 SECTION NO.: _____
 SCALE: _____
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 SHEET NO.: _____

A5.03

UNIT TYPE D FLOOR PLANS



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CLIENT:
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Toronto, Ontario
M6P 1K3

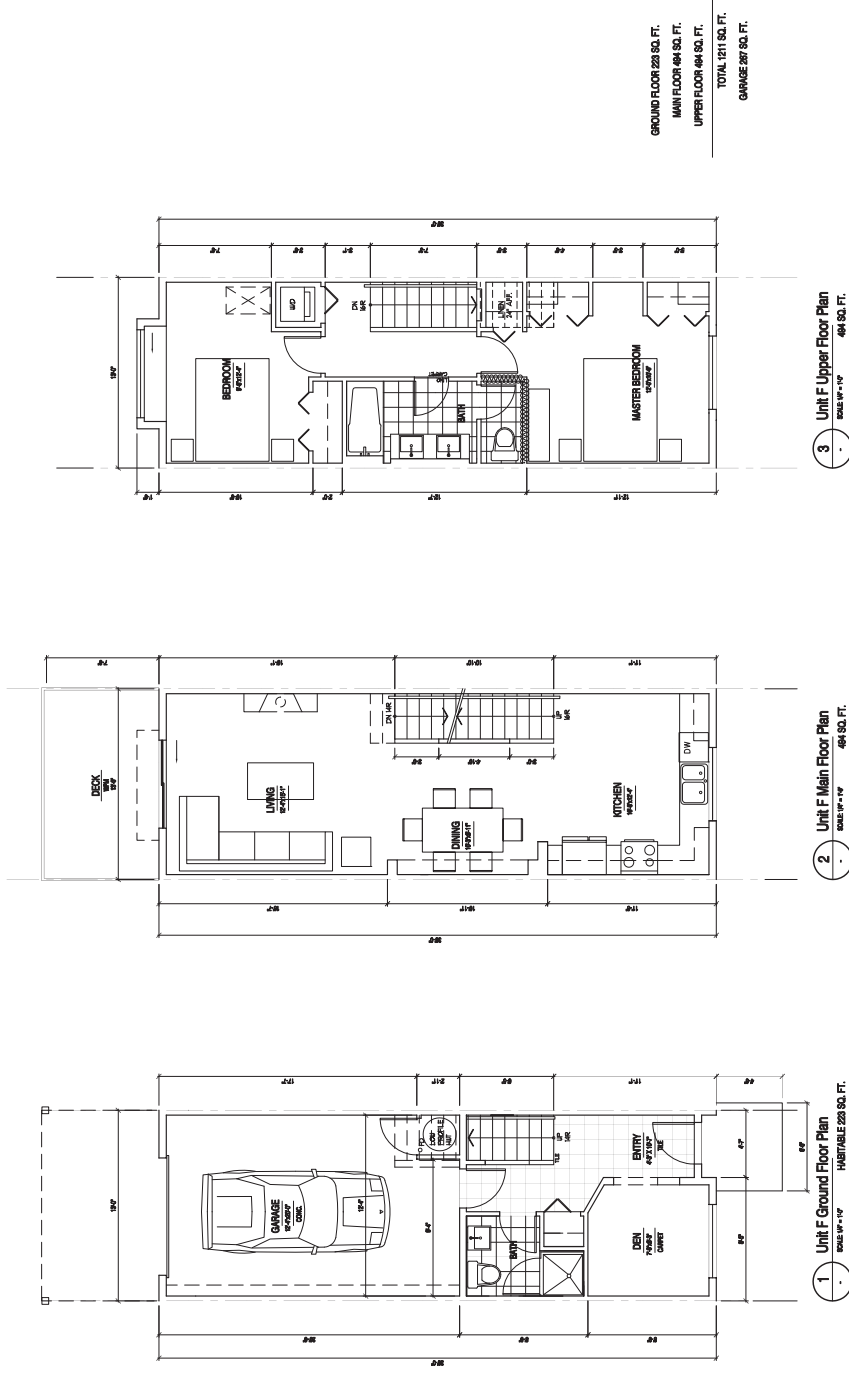
PROJECT TITLE:
Baptist Church Site Rowhomes
Scripps, CA

DRAWING TITLE:
Unit Type F Floor Plans

DATE ISSUED BY
DATE CHECKED BY
DATE DESIGNED BY
DATE REVISION BY
DATE REVISION BY
DATE REVISION BY
DATE REVISION BY
DATE REVISION BY
DATE REVISION BY

DATE ISSUED BY	DATE CHECKED BY
09/27/2010	09/27/2010
09/27/2010	09/27/2010
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09/27/2010	09/27/2010
09/27/2010	09/27/2010
09/27/2010	09/27/2010
09/27/2010	09/27/2010

REVISIONS FOR DP 2010-12-22



DATE: _____
 DRAWN BY: _____
 APP. NUMBER: 000
 REVISION NO.: _____
 SCALE: _____
 FILE NAME: _____
 SHEET NO.: _____

A5.04



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 Toronto, Ontario M2N 1K7
 Canada 416-223-1277
 F: 416-223-6899
 E: Ramsay@ramsays.ca
 WWW.RAMSAYS.COM

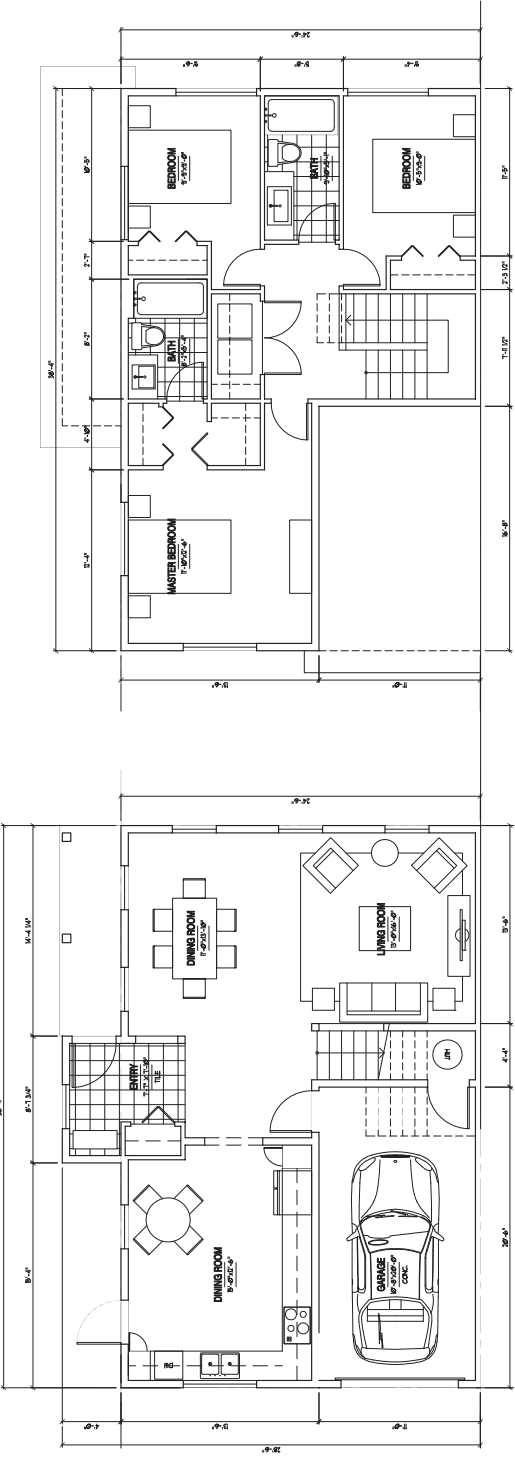
CONTRACT NO.:

CLIENT:
Mosaic Homes
 500-2609 Grenville Street
 Toronto, Ontario
 M1S 1K8

PROJECT TITLE:
Baptist Church Site Rowhomes
 Toronto, ON

WORK TITLE:
Unit Type G Floor Plans

DRAWING TITLE FOR	DATE ISSUED BY
PRELIMINARY PLAN	SEP. 21, 2010 SH
REVISION 001	NOV. 19, 2010 SH
REVISION 002	MAR. 15, 2010 SH
REVISION 003	MAY 14, 2010 SH
REVISION 004	MAY 14, 2010 SH
REVISION 005	MAY 14, 2010 SH
REVISION 006	OCT. 21, 2010 SH
REVISION 007	OCT. 21, 2010 SH
REVISION 008	OCT. 21, 2010 SH
REVISION 009	OCT. 21, 2010 SH
REVISION 010	OCT. 21, 2010 SH
REVISION 011	OCT. 21, 2010 SH
REVISION 012	OCT. 21, 2010 SH
REVISION 013	OCT. 21, 2010 SH
REVISION 014	OCT. 21, 2010 SH
REVISION 015	OCT. 21, 2010 SH
REVISION 016	OCT. 21, 2010 SH



1 Unit G Ground Floor Plan
 HABITABLE 748 SQ. FT.
 GARAGE 228 SQ. FT.
 SCALE 1/8" = 1'-0"

2 Unit G Upper Floor Plan
 748 SQ. FT.
 SCALE 1/8" = 1'-0"

GROUND FLOOR 748 SQ. FT.
UPPER FLOOR 748 SQ. FT.
TOTAL 1496 SQ. FT.
GARAGE 228 SQ. FT.

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Winnipeg, R2M 1C1
Canada (507) 522-1177
F: (507) 522-1090
E: ram@ramsayworden.ca
W: www.ramsayworden.ca

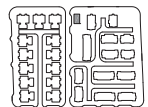
CONTRACT:

OWNER:
Mosaic Homes
500-2609 Grenville Street
Winnipeg, R2M 1C1
W81H-3N3

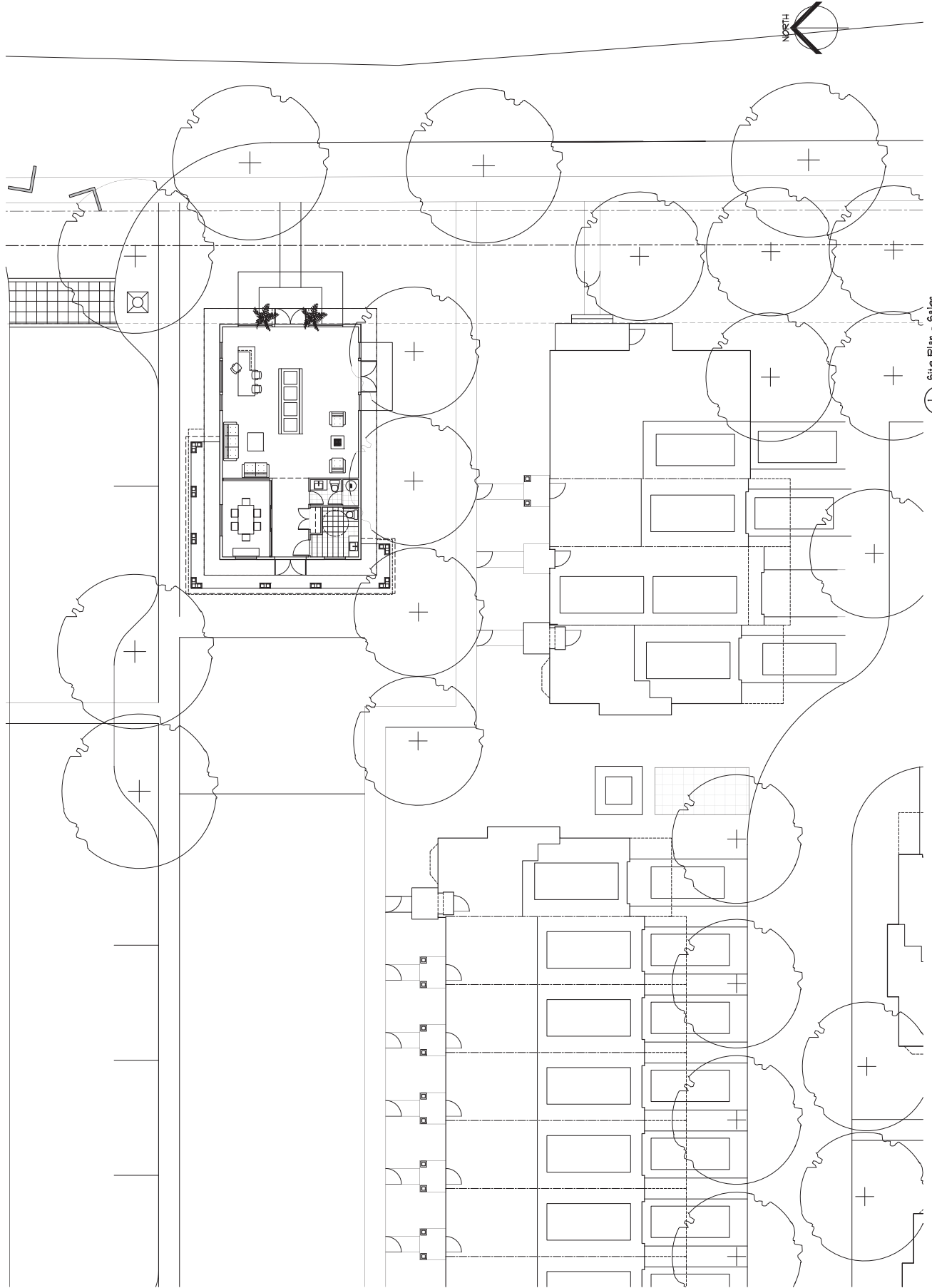
PROJECT TITLE:
Baptist Church Site Rowhomes
Savoy, BC

DRAWING TITLE:
Site Plan - Sales

NO.	DATE	BY
DATE ISSUED BY	09/21/2010	DW
DRAWN BY	09/21/2010	DW
CHECKED BY	09/21/2010	DW
REVISIONS FOR SP - SEE PLAN	09/21/2010	DW
REVISIONS FOR SP - SEE PLAN	10/01/2010	DW
REVISIONS FOR SP - SEE PLAN	10/01/2010	DW
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REVISIONS FOR SP - SEE PLAN	10/01/2010	DW



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DATE: 09/21/2010
JOB NUMBER: 000
PROJECT NAME:
SCALE: 1/8" = 1'-0"
FILE NAME:
SHEET NO.:

A6.01

Site Plan - Sales
SCALE: 1/8" = 1'-0"

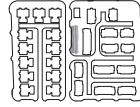
CONTRACT:

OWNER:
Mosaic Homes
500-2609 Grenville Street
Winnipeg, MB
R2V 2K3

PROJECT TITLE:
Baptist Church Site Rowhomes
Simpson, MB

DRAWING TITLE:
Amenity - Floor Plan

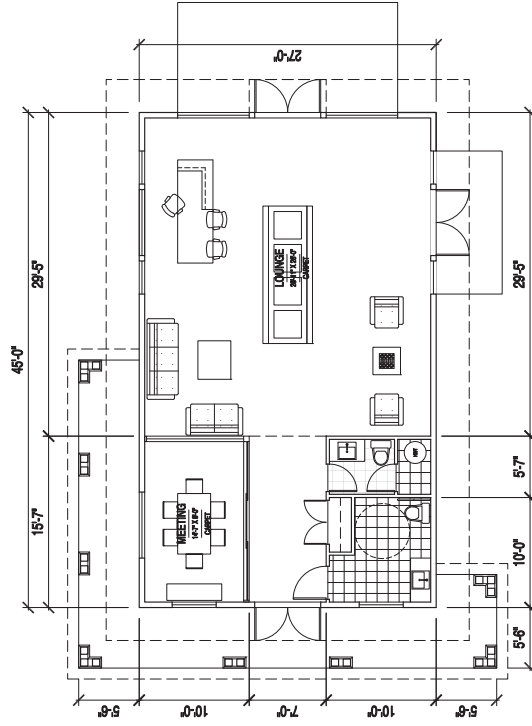
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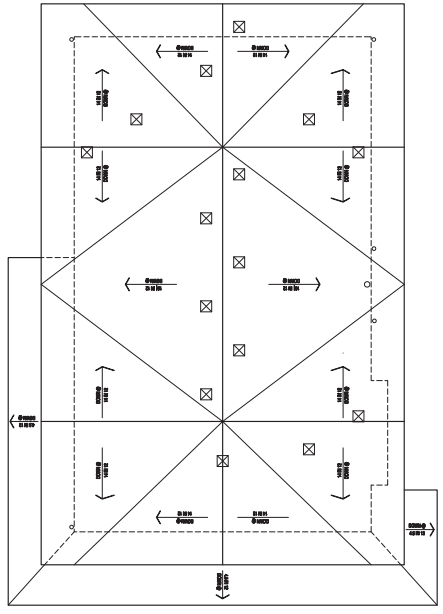
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A6.02



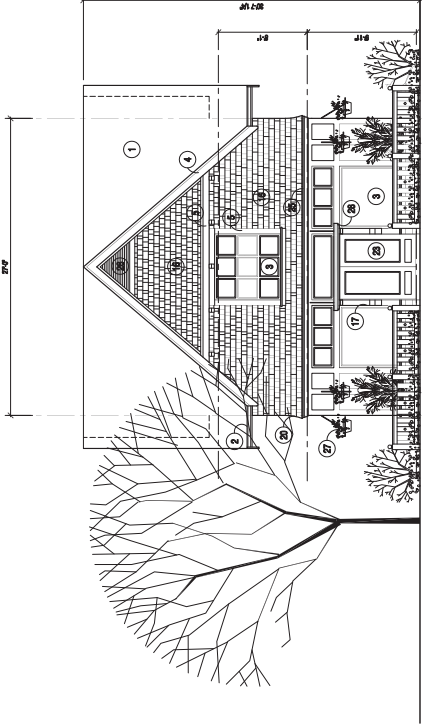
1 Main Floor Plan
SCALE 3/8" = 1'-0"



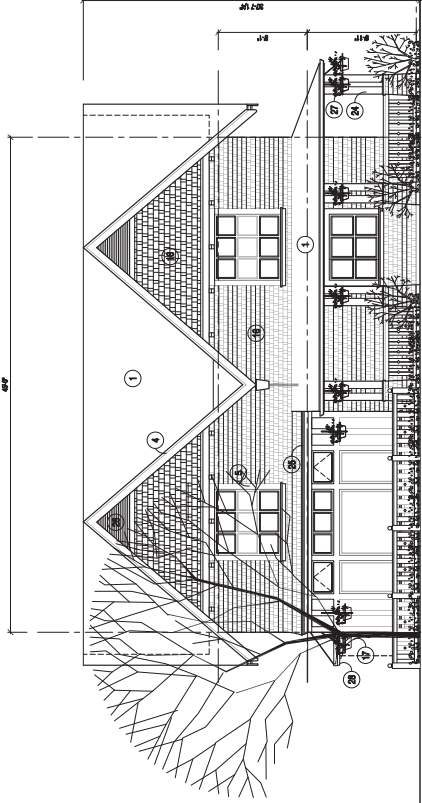
2 Roof Plan
SCALE 3/8" = 1'-0"

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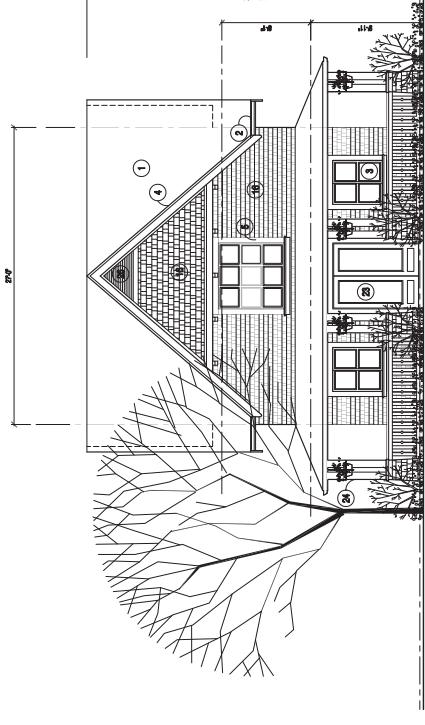
**R A M S A Y
W O R D E N**
A R C H I T E C T S
3525 Highway 8 11th Avenue
Winnipeg, Manitoba R2M 2K7
Canada 431.25.2177
F: 431.25.2099
E: ram@ramay.com
W: www.ramay.com



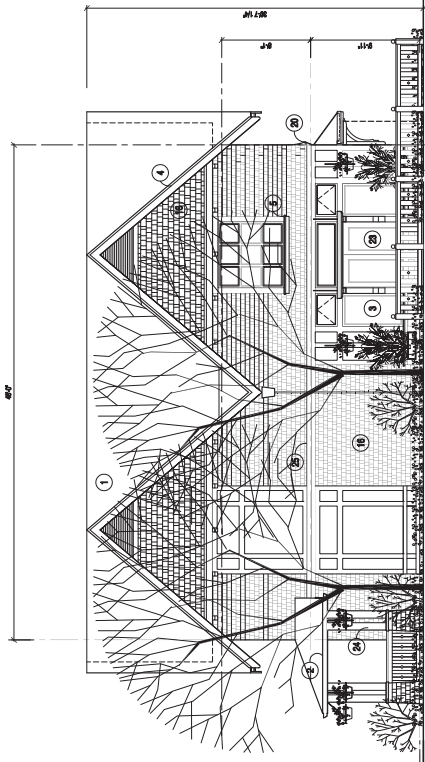
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3 Side Elevation - North
SCALE: 3/8" = 1'-0"



2 Rear Elevation - West
SCALE: 3/8" = 1'-0"



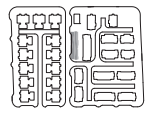
4 Side Elevation - South
SCALE: 3/8" = 1'-0"

CLIENT:
Mosaic Homes
500-2609 Grenville Street
Winnipeg, MB, R2M 2K7

PROJECT TITLE:
Baptist Church Site Rowhomes
Winnipeg, MB

DRAWING TITLE:
Amenity - Elevations

DRAWING TITLE FOR	DATE ISSUED	BY
DESIGNED FOR CP	SEP. 21, 2010	SMH
REVISIONS FOR CP	MAR. 26, 2010	SMH
REVISIONS FOR CP - SEE PLAN	MAY 18, 2010	SMH
REVISIONS FOR CP - SEE PLAN	MAY 26, 2010	SMH
REVISIONS FOR CP - SEE PLAN	OCT. 16, 2010	SMH
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SCALE: _____
FILE NAME: _____
SHEET NO.: _____

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NO.	DATE	REVISIONS/REVIEW	SEAL
3	10.21.01	DP RE-APPROVAL	
2	10.10.01	REISSUED FOR DP	
1	10.10.20	ISSUED FOR DP APPLICATION	

PROJECT
Baptist Church Site
Rowhouses
 Surrey, BC

FOR
MOSAIC
 500-2609 GRANVILLE STREET
 VANCOUVER, BC
 V6H 3J0

RANSAY WARDEN
 2525 Kingsway @ 11th Avenue
 VANCOUVER, BC
 Tel: 604-736-8639
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 LANDSCAPE ARCHITECTURE PLANNING
 502-5000 Fraser Street
 Vancouver, BC
 V6M 4K3
 Tel: 604-681-1111
 Fax: 604-681-1112
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DRAWING
Landscape Plan
 DRAWING NUMBER

L1.0

DRAWN: CM
 PROJECT NUMBER: 09-020
 CHECKED: DS
 SCALE: 1:350



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NO.	DATE	REVISIONS/SCHEDULE
3	10.21.01	DP RE-SUBMISSION
2	10.10.01	REVISED FOR DP
1	10.10.20	ISSUED FOR DP APPLICATION

PROJECT
Baptist Church Site
 Rowhouses
 Surrey, BC

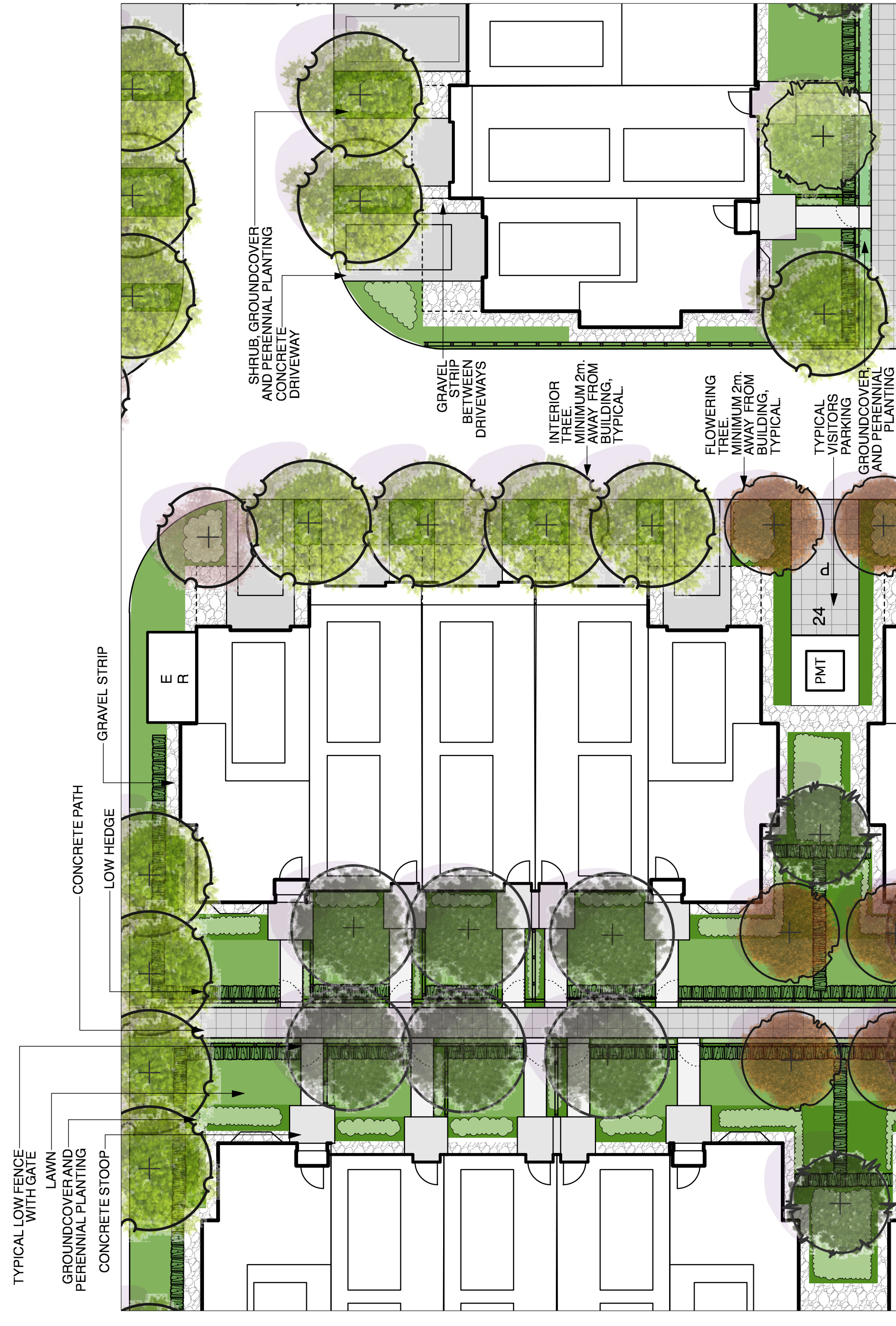
FOR
MOSAIC
 500-2608 GRANVILLE STREET
 VANCOUVER, BC
 V6H 3J6

RAMSAY WARDEN
 355 Kingsway @ 11th Avenue
 Tel: 604-758-8697
 Fax: 604-758-8699
 WWW.SHARPD.COM

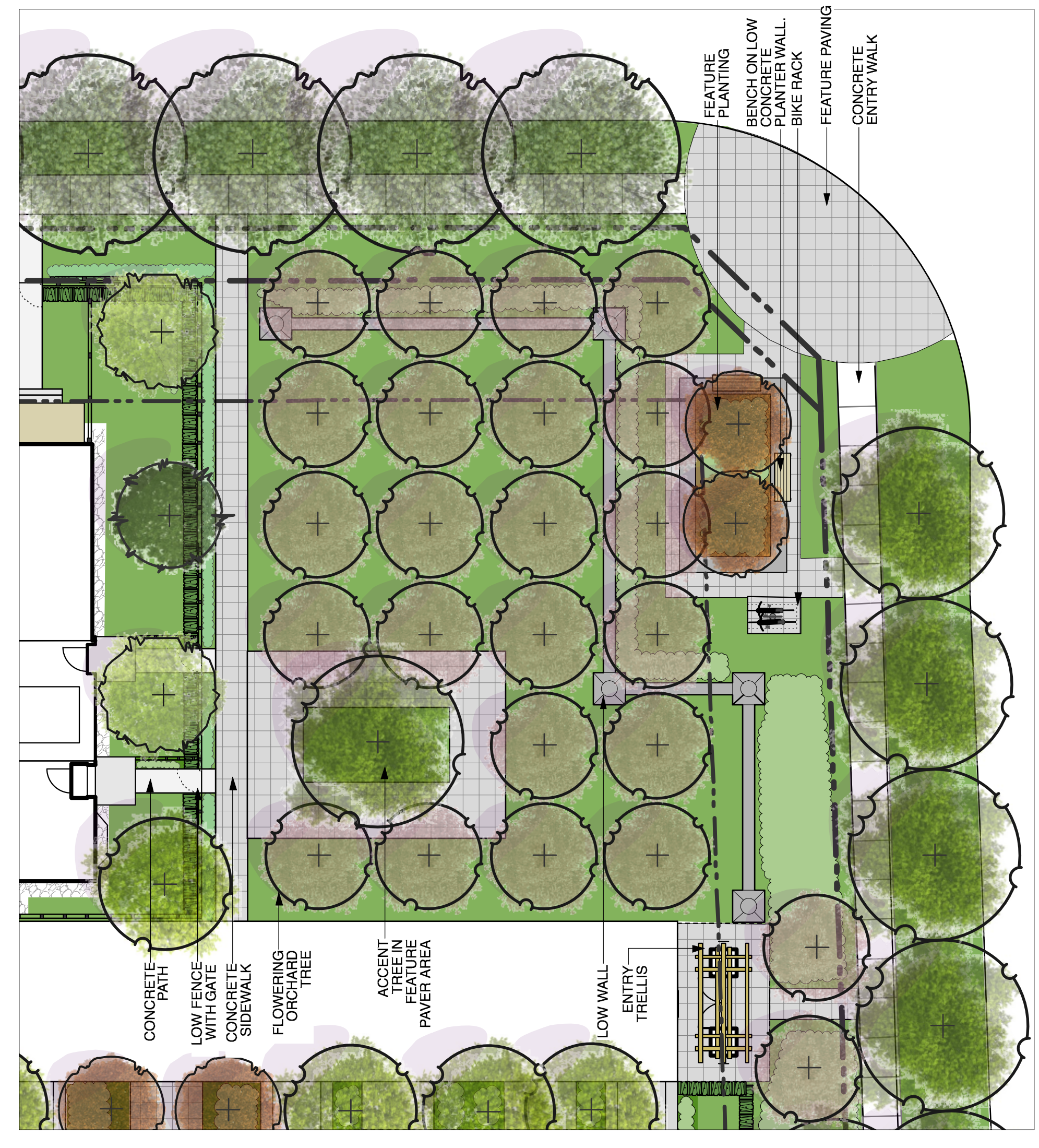
SHARP & DIAMOND
 LANDSCAPE ARCHITECTURE PLANNING INC.
 502 - 12th Street East
 Coquitlam, BC
 V3K 6K6
 TEL: 604-681-2222
 FAX: 604-681-2223

DRAWING
Landscape Enlargements
 DRAWING NUMBER
L1.1

DRAWN	PROJECT NUMBER
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CHECKED	SCALE
DS	AS SHOWN



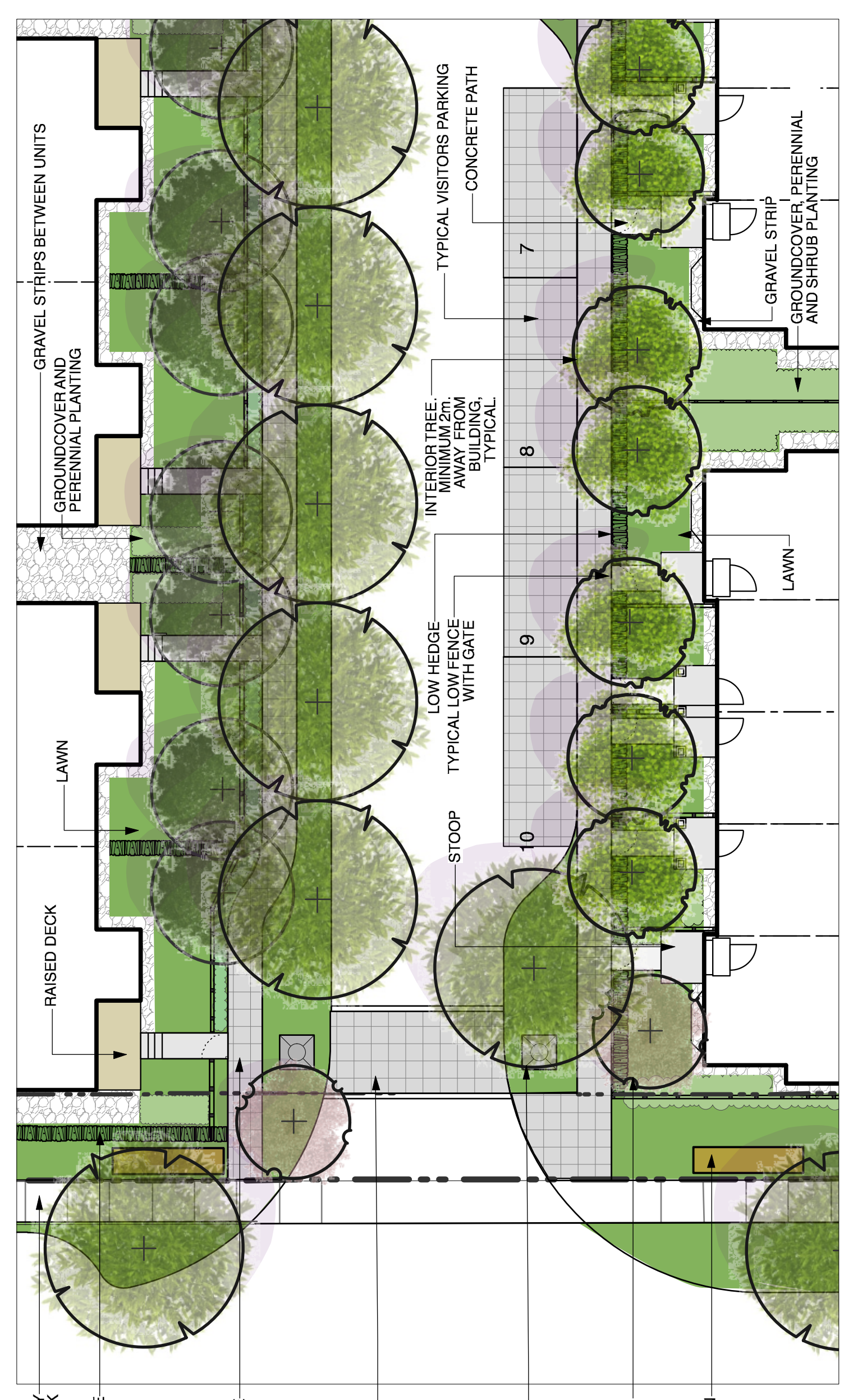
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 Scale 1:150



4 ORCHARD - PLAN ENLARGEMENT
 Scale 1:150



1 LANDSCAPE - PLAN ENLARGEMENT
 Scale 1:150



2 LANDSCAPE - PLAN ENLARGEMENT
 Scale 1:150

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NO.	DATE	REVISIONS/ISSUE
1	10.10.20	ISSUED FOR DP APPLICATION
2	10.10.21	REVISED FOR DP
3	10.21.01	DP RE-SUBMISSION

PROJECT
Baptist Church Site
Rowhouses
Surrey, BC

FOR

MOSAIC
500-2608 GRANVILLE STREET
VANCOUVER, BC

RAMSAY WARDEN
355 KINGSWAY @ 11th Avenue
Tel: 604-758-8639
Fax: 604-758-8639
Web: ramseywarden.com

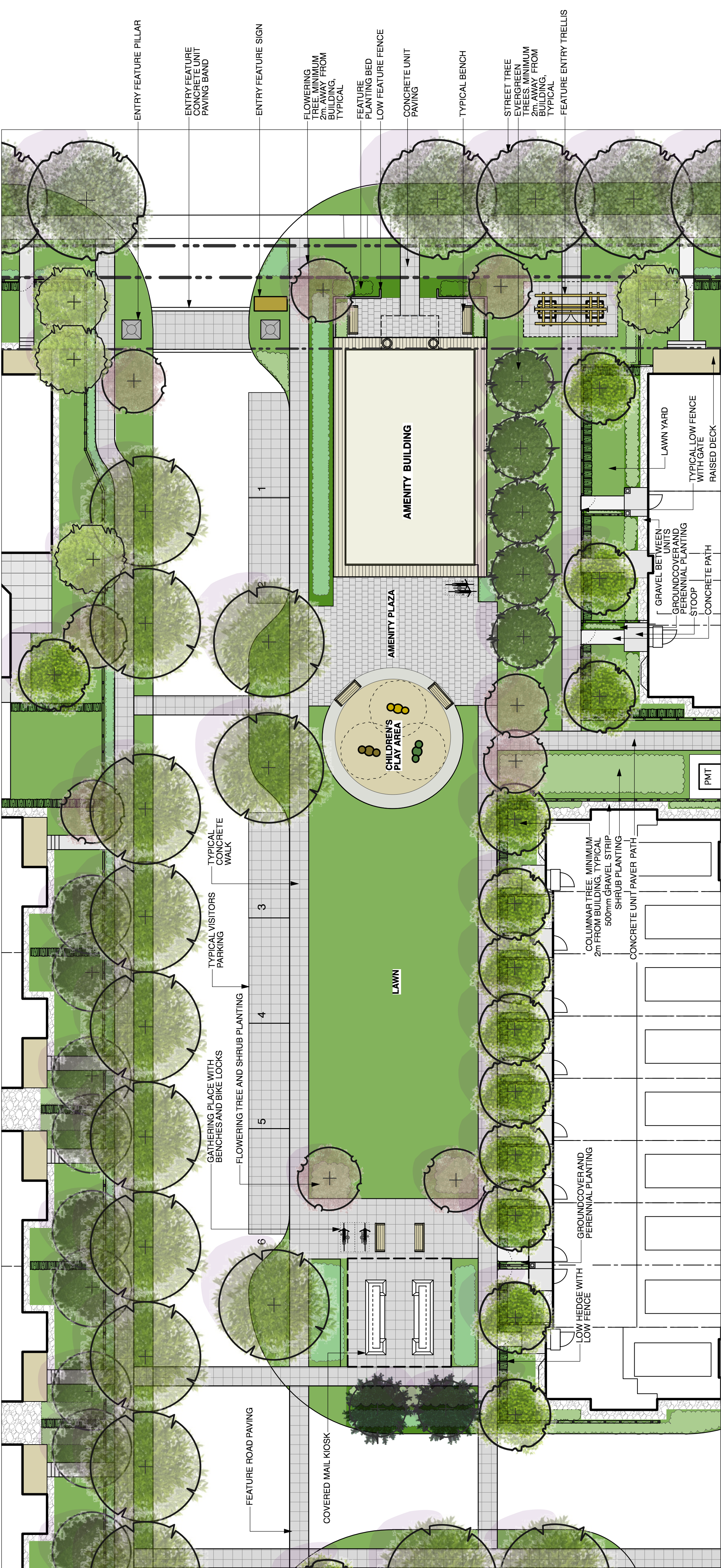
SHARP & DIAMOND
LANDSCAPE ARCHITECTURE & PLANNING
822 SHERBOURNE STREET
VANCOUVER, BC
V6Z 2K4
Tel: 604-681-3222
Fax: 604-681-3223
Web: sharpanddiamond.com

SHARP & DIAMOND
LANDSCAPE ARCHITECTURE & PLANNING
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VANCOUVER, BC
V6Z 2K4
Tel: 604-681-3222
Fax: 604-681-3223
Web: sharpanddiamond.com

DRAWING NUMBER
L1.2

PROJECT NUMBER
06-220

SCALE
AS SHOWN



5 SITE ENTRANCE - OPEN SPACE - PLAN ENLARGEMENT
Scale 1:150

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NO.	DATE	REVISIONS/ISSUE	SEAL
3	10.21.01	DP RE-SUBMISSION	
2	10.10.01	REISSUED FOR DP	
1	10.10.20	ISSUED FOR DP APPLICATION	

PROJECT
Baptist Church Site
 Rowhouses
 Surrey, BC

FOR
MOSAIC
 500-2608 GRANVILLE STREET
 VANCOUVER, BC
 V6H 3J0

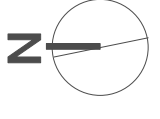
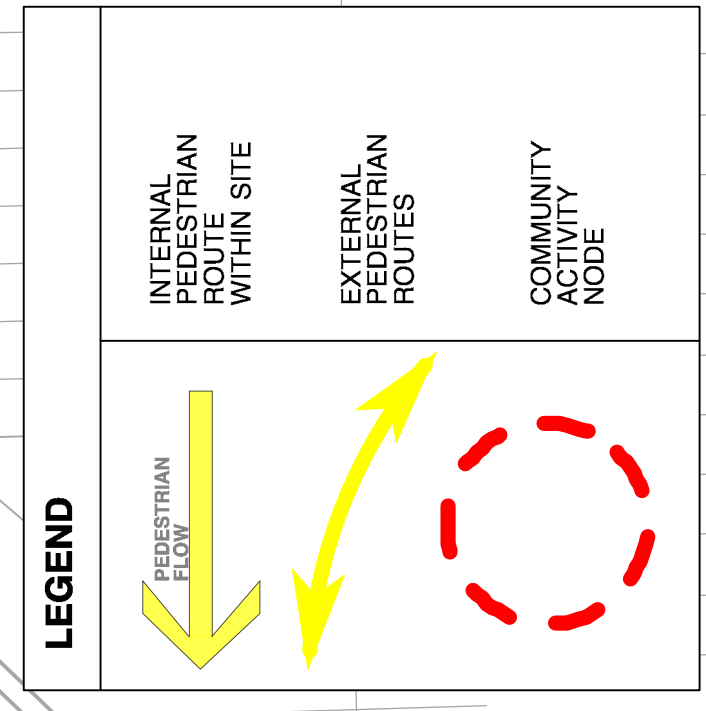
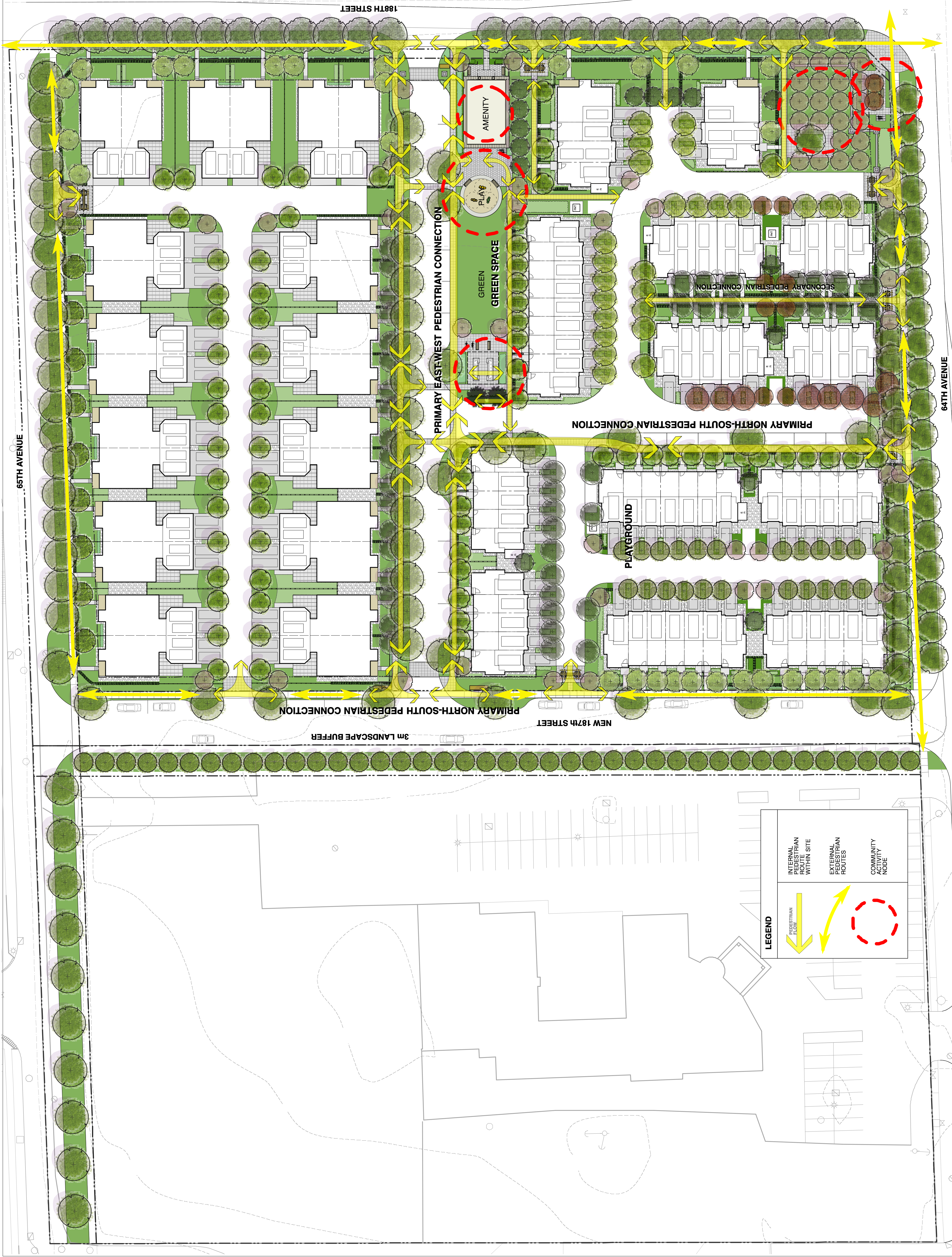
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SHARP & DIAMOND
 LANDSCAPE ARCHITECTURE PLANNING INC.
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DRAWING
Landscape Pedestrian Circulation
 DRAWING NUMBER
L1.3

DRAWN
 CM
 PROJECT NUMBER
 09-220

CHECKED
 DS
 SCALE
 1:350



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PROJECT
Baptist Church Site
 Rowhouses
 Surrey, BC

FOR
MOSAIC
 500-2609 GRANVILLE STREET
 VANCOUVER, BC
 V6H 3J0

RAMSAY WOODEN
 2525 Kingsway @ 11th Avenue
 Tel: 604-736-8639
 Fax: 604-736-8639
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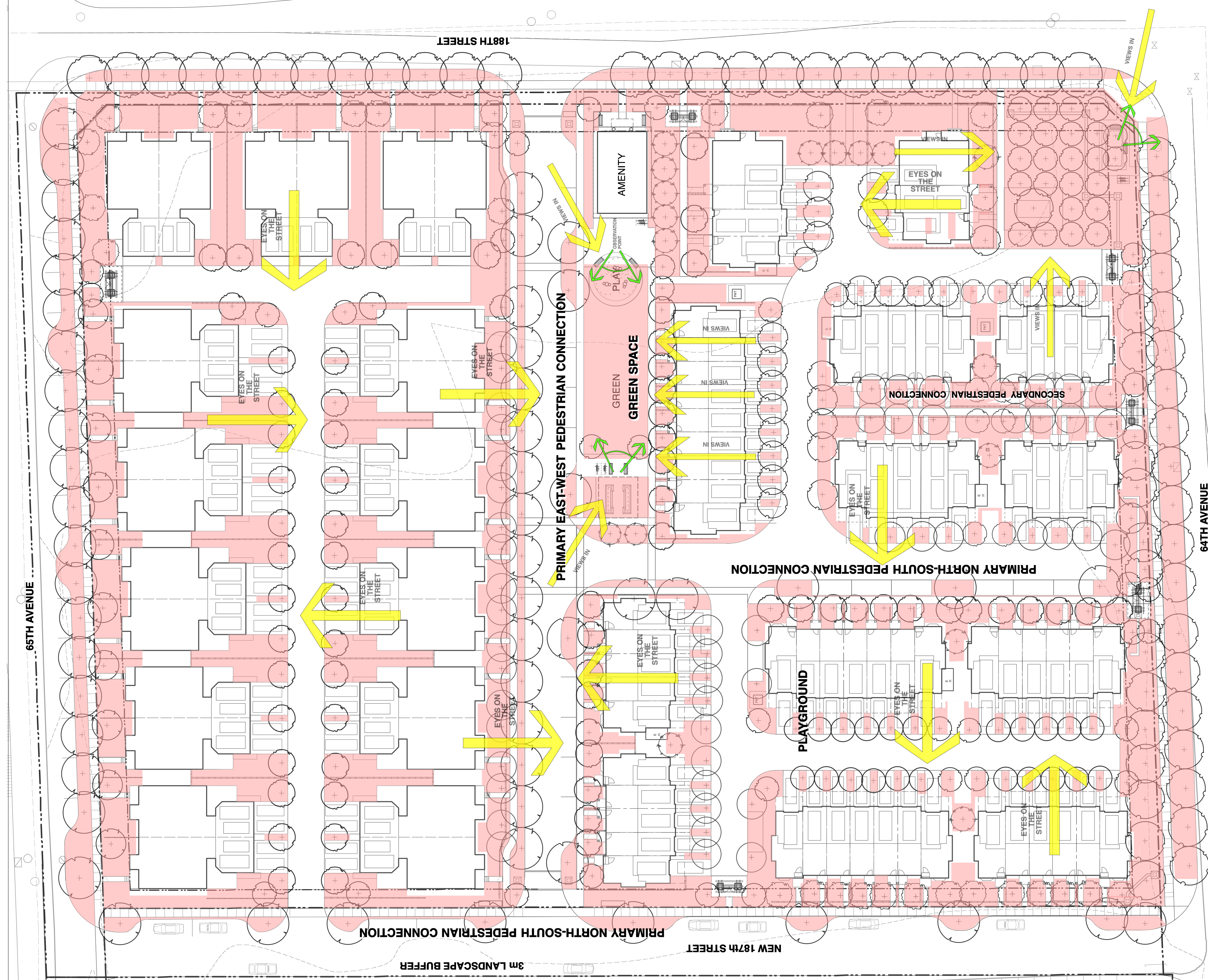
SHARP & DIAMOND
 LANDSCAPE ARCHITECTURE PLANNING
 522 - 45th Street
 Vancouver, BC
 V6M 2M2
 Tel: 604-271-1111
 Fax: 604-271-1112
 WWW.SHARPDANDI.COM

DRAWING
CPTED
 Diagram

DRAWING NUMBER
L1.4

DRAWN
 CM
 PROJECT NUMBER
 09-220

CHECKED
 DS
 SCALE
 1:350



LANDSCAPE CPTED DESIGN CONCEPTS

1- Visibility: All open space areas are designed with maximum visibility in mind, with clear view lines from streets and other public areas. Walls, landscape elements, features, fencing and planting are all designed to prevent the creation of hiding places. Most open space areas will be visible from inhabited building areas, ensuring proper monitoring. All public spaces are seamlessly integrated with the sidewalks and streets to encourage pedestrian flow and visibility. The residential buildings have windows and balconies facing the amenity spaces and the street, providing twenty-four hour monitoring.

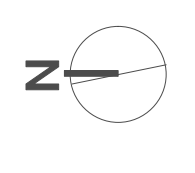
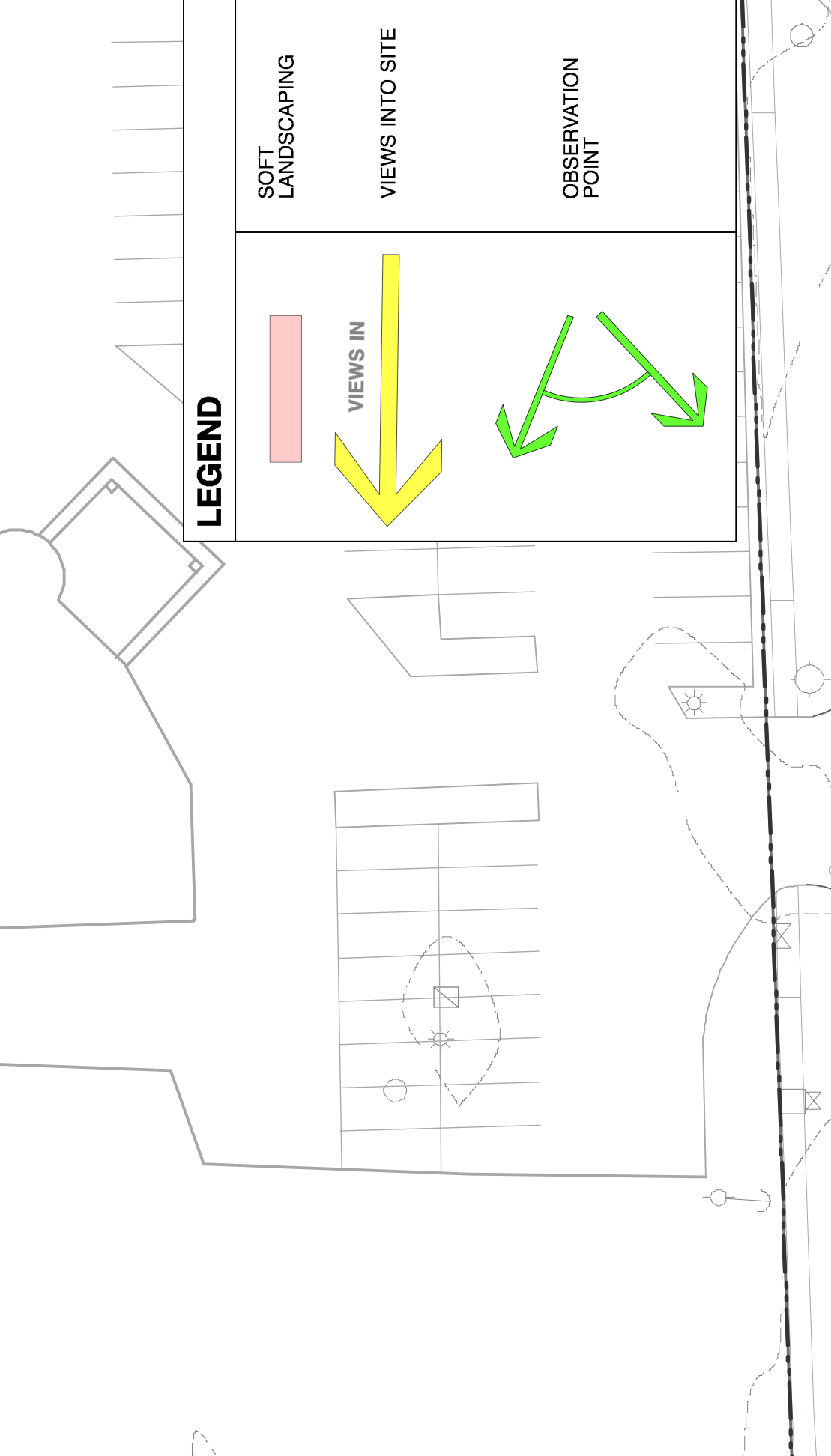
2- Lighting: Landscape areas are fully lit. Trees and other landscape elements will be coordinated with street and pedestrian lighting to prevent dark areas. Amenity areas will be lit from either in-ground lighting, lights on the buildings, or pole lights as needed if street lighting does not provide proper illumination.

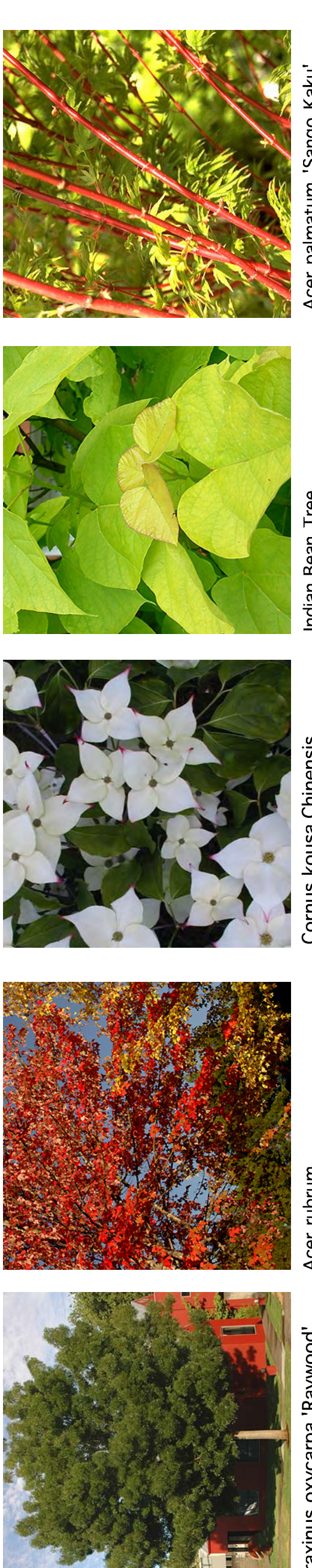
3- Planting: Planting has been designed with visibility in mind. Low plant materials are used in urban areas and close to all pedestrian zones. Taller plants are used further away from where people are walking or driving, and only where screening is desired, to insure hiding places are not created. All trees will be planted on a 7 foot standard, and maintained to allow view underneath the tree canopies.

4- Seating: Seating is provided at key places to encourage informal and engaged watching. Seating is arranged in places that can be observed from walkways, buildings, and vehicles. Public spaces provide additional seating to further encourage use of the spaces.

5- Design Elements: Furnishings, signage, walls, and other landscape elements will be designed to be vandal resistant, but not at the expense of aesthetic values. Graffiti coatings and appropriate types of surfaces will deter marker and paint vandalism. Elements will be strong and durable, but have a high-quality appearance that does not appear armoured.

These basic principals, in coordination with the architecture, is helping to design a residential environment that will feel safe and inviting. The landscape areas are being designed to encourage as much resident use as possible, and to create a strong sense of community.





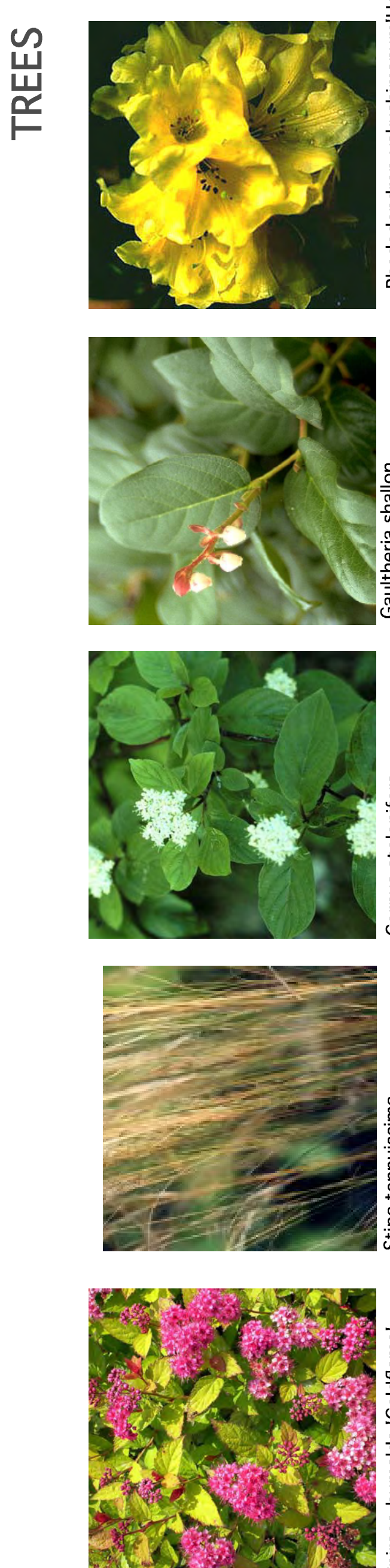
Raywood Ash
Fraxinus oxycarpa 'Raywood'

Red Maple
Acer rubrum

Flowering Crab Apple
Malus zumi calocarpa

Paper Bark Maple
Acer griseum

Serbian Spruce
Picea omorika



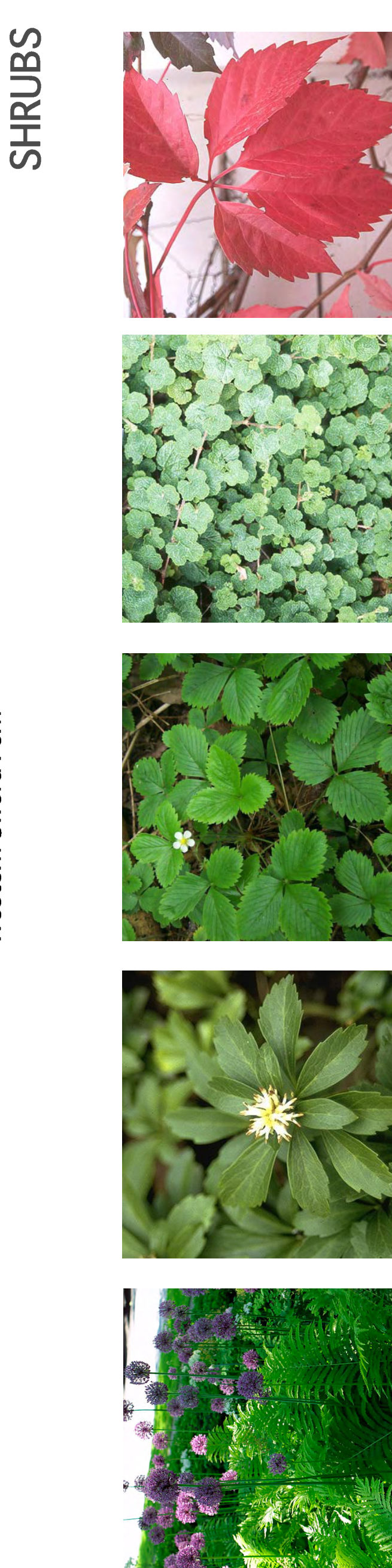
Fastigiata Dawyck Beech
Fagus sylvatica 'Dawyckii'

Catalpa bignonioides
Catalpa bignonioides

Indian Bean Tree
Catalpa bignonioides

Coral Bark Japanese Maple
Acer palmatum 'Sango Kaku'

Yellow Rhododendron
Rhododendron yakushimense 'Hotel'



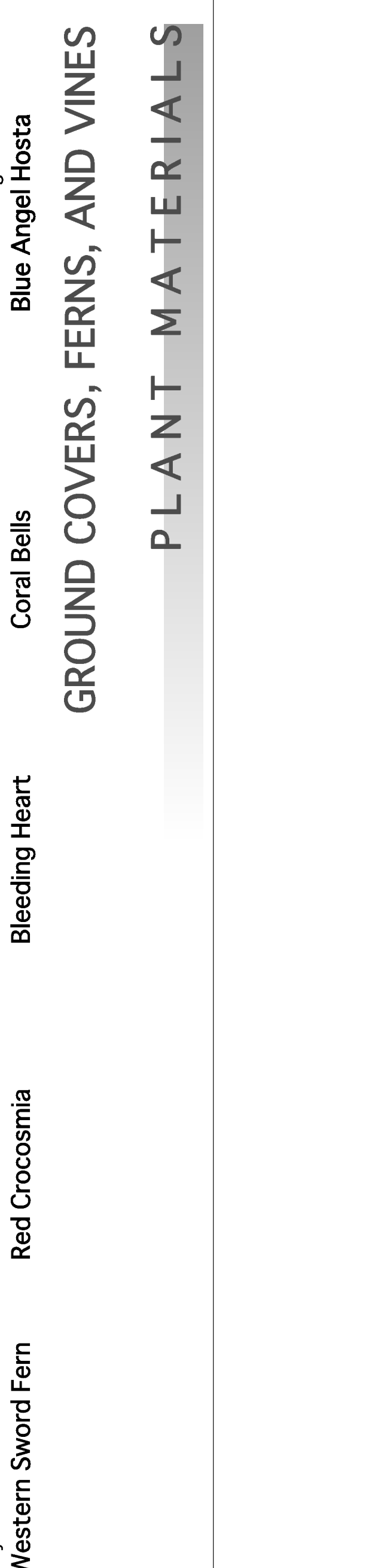
Mexican Feather Grass
Stipa tenuissima

Himalayan Sweet Box
Sarcococca hookeriana 'Humilis'

Japanese Spurge
Pachysandra terminalis

Bleeding Heart
Dicentra formosa

Blue Angel Hosta
Hosta Blue Angel



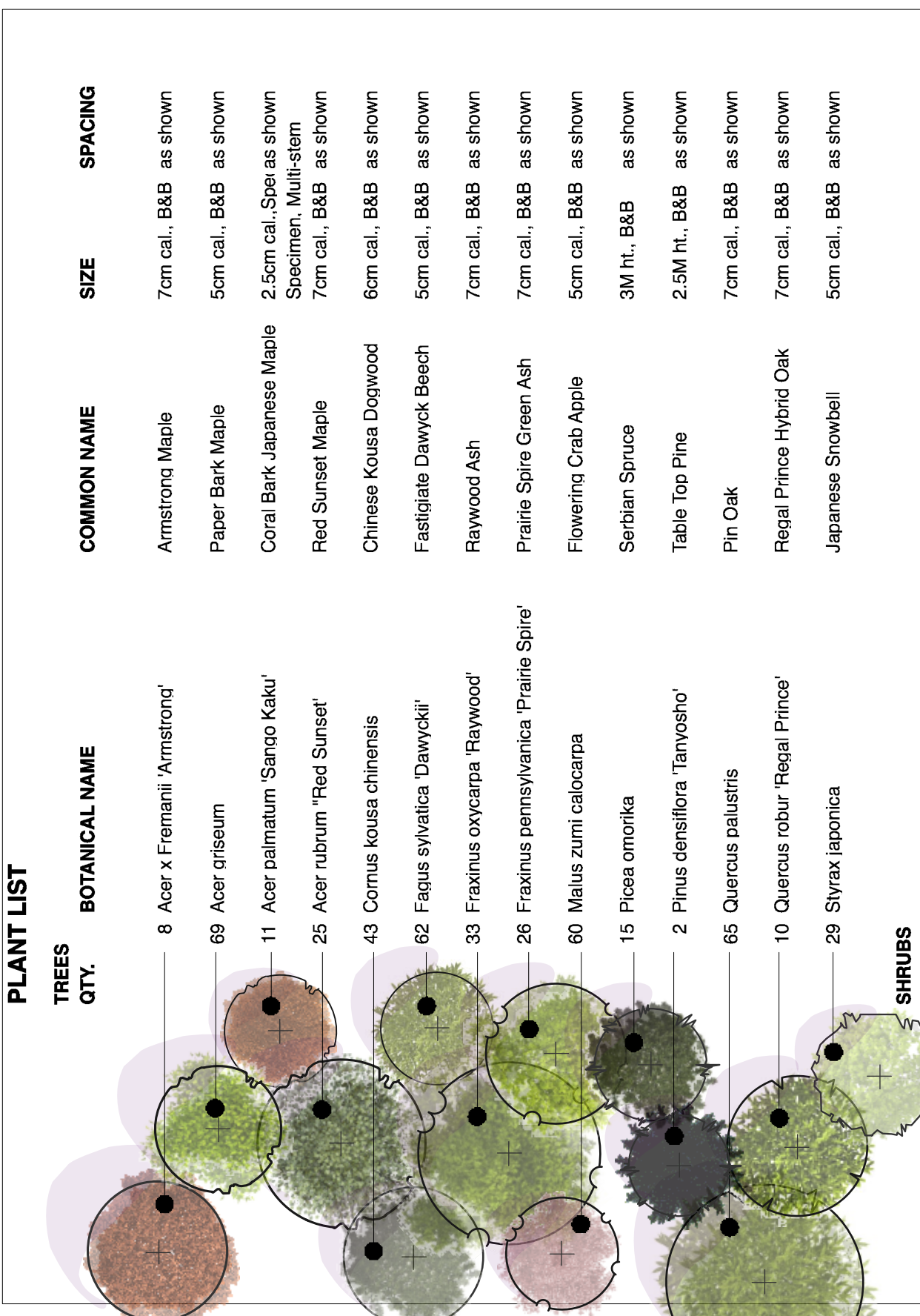
Western Sword Fern
Polystichum munitum

Red Crocosmia
Crocosmia 'Lucifer'

Emerald Carpet
Rubea calycioides

Coral Bells
Heuchera micrantha

Virginia Creeper
Parthenocissus quinquefolia



TREES
QTY. BOTANICAL NAME COMMON NAME SIZE SPACING

- 8 Acer 'Fremont' 'Armstrong'
- 60 Acer platanum 'Sango Kaku'
- 25 Acer rubrum 'Red Sunset'
- 45 Cornus kousa chinensis
- 30 Fraxinus oxycarpa 'Raywood'
- 28 Fraxinus pennsylvanica 'Principe Sinye'
- 60 Malus zumi calocarpa
- 15 Picea omorika
- 2 Pinus densiflora 'Tan-yoshio'
- 65 Quercus prinus
- 10 Quercus robur 'Royal Prince'
- 28 Syringa laciniata

SHRUBS
QTY. BOTANICAL NAME COMMON NAME SIZE SPACING

- 10 Actinidia chinensis
- 10 Buxus macrocarpa
- 10 Cornus stolonifera
- 20 Gaulltheria shallon
- 10 Phloxia x 'Harriet'
- 10 Pieris japonica 'Forest Flame'
- 10 Polystichum munitum
- 10 Rhododendron 'Crisp'
- 10 Rhododendron 'Hotel'
- 10 Sarcococca hookeriana 'Humilis'
- 10 Spiraea x burmalida 'Goldflame'
- 10 Stipa tenuissima
- 10 Thuja 'Green Fish'

GROUND COVERS AND VINES
QTY. BOTANICAL NAME COMMON NAME SIZE SPACING

- 10 Conoclinium donnell-smithii
- 10 Fragaria chionoides
- 10 Parthenocissus terminalis
- 10 Parthenocissus quinquefolia
- 10 Rubea calycioides

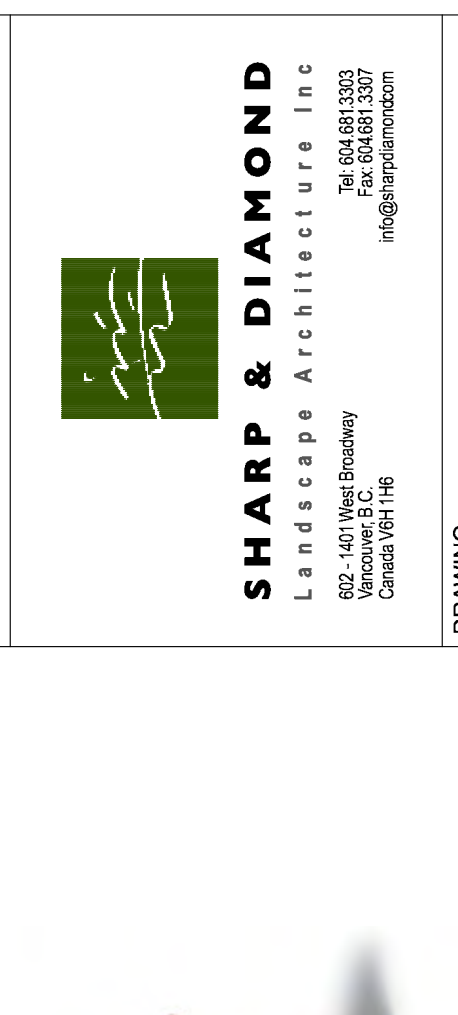
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3	10.21.01	DP REVISIONS
2	10.10.01	REISSUED FOR DP
1	10.10.20	ISSUED FOR DP APPLICATION

PROJECT
Baptist Church Site
Surrey, BC



FOR
RAMSAY WARDEN
525 Kingsway @ 11th Avenue
Tel: 604-758-8639
Fax: 604-758-8639
VPO: 604-758-8639

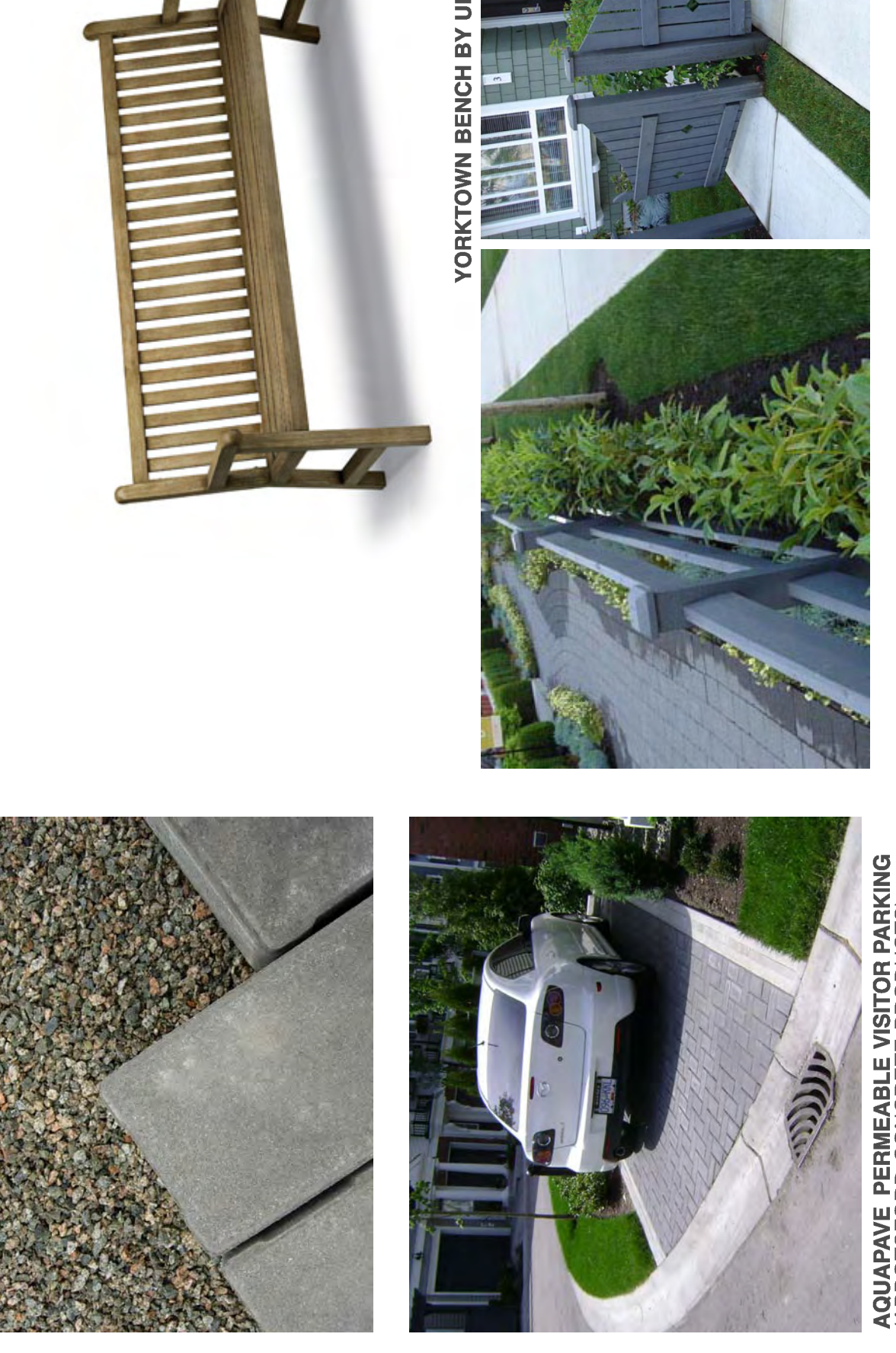


DRAWING
Materials +
Plant Palette

DRAWING NUMBER
L2.0

DRAWN	PROJECT NUMBER
CM	06-220
CHECKED	SCALE
DS	AS SHOWN

PLANT LIST



YORKTOWN BENCH BY URBANSCAPE

AQUAPAVE PERMEABLE VISITOR PARKING (REBOSIPAD CONCRETE PRODUCTS)

POST AND RAIL FENCES, FORMAL PLANTINGS

CONCRETE FRONT WALKS AND DRIVEWAYS

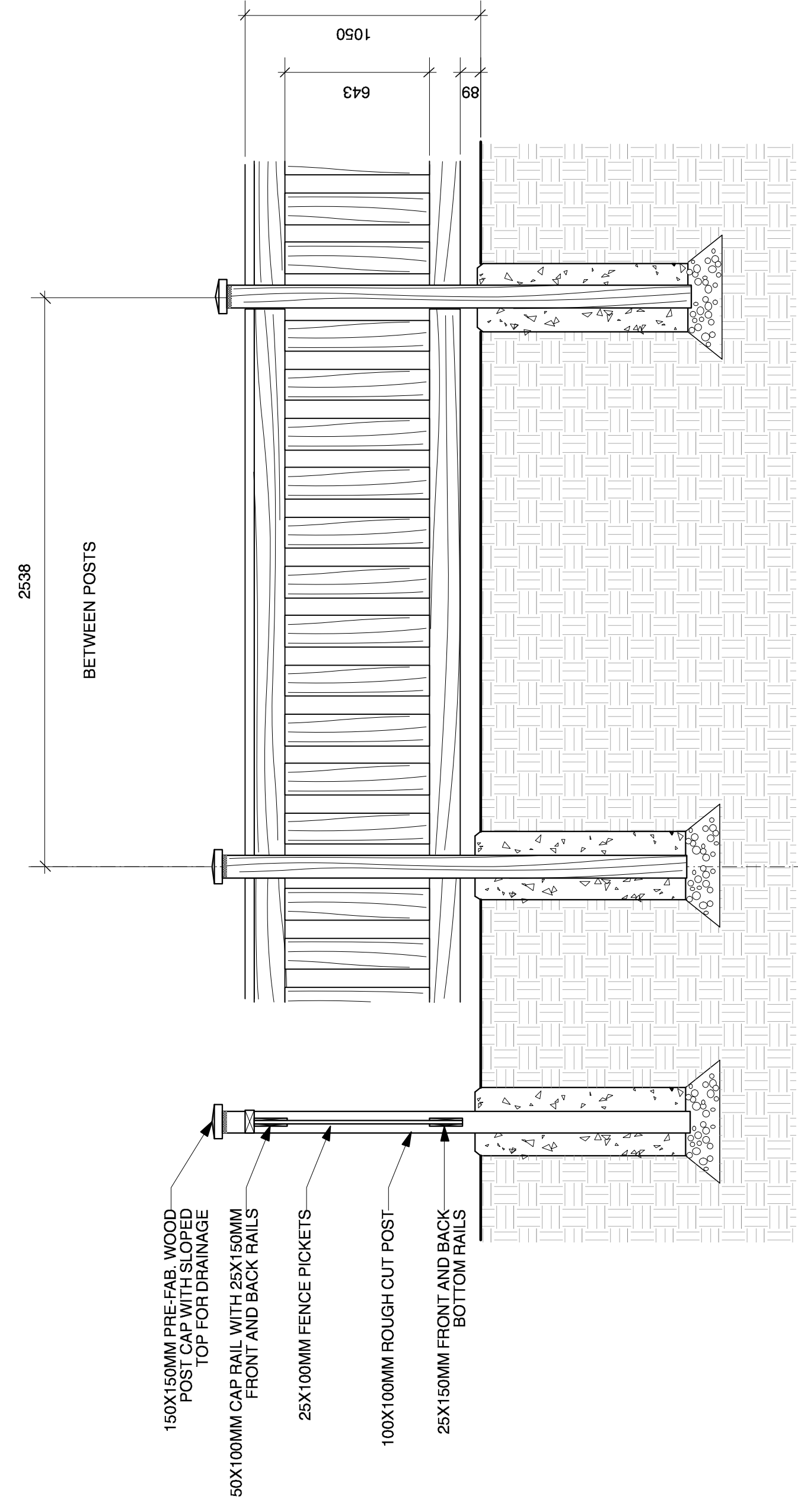
FURNISHINGS

MATERIALS AND PRECEDENTS

GROUND COVERS, FERNS, AND VINES

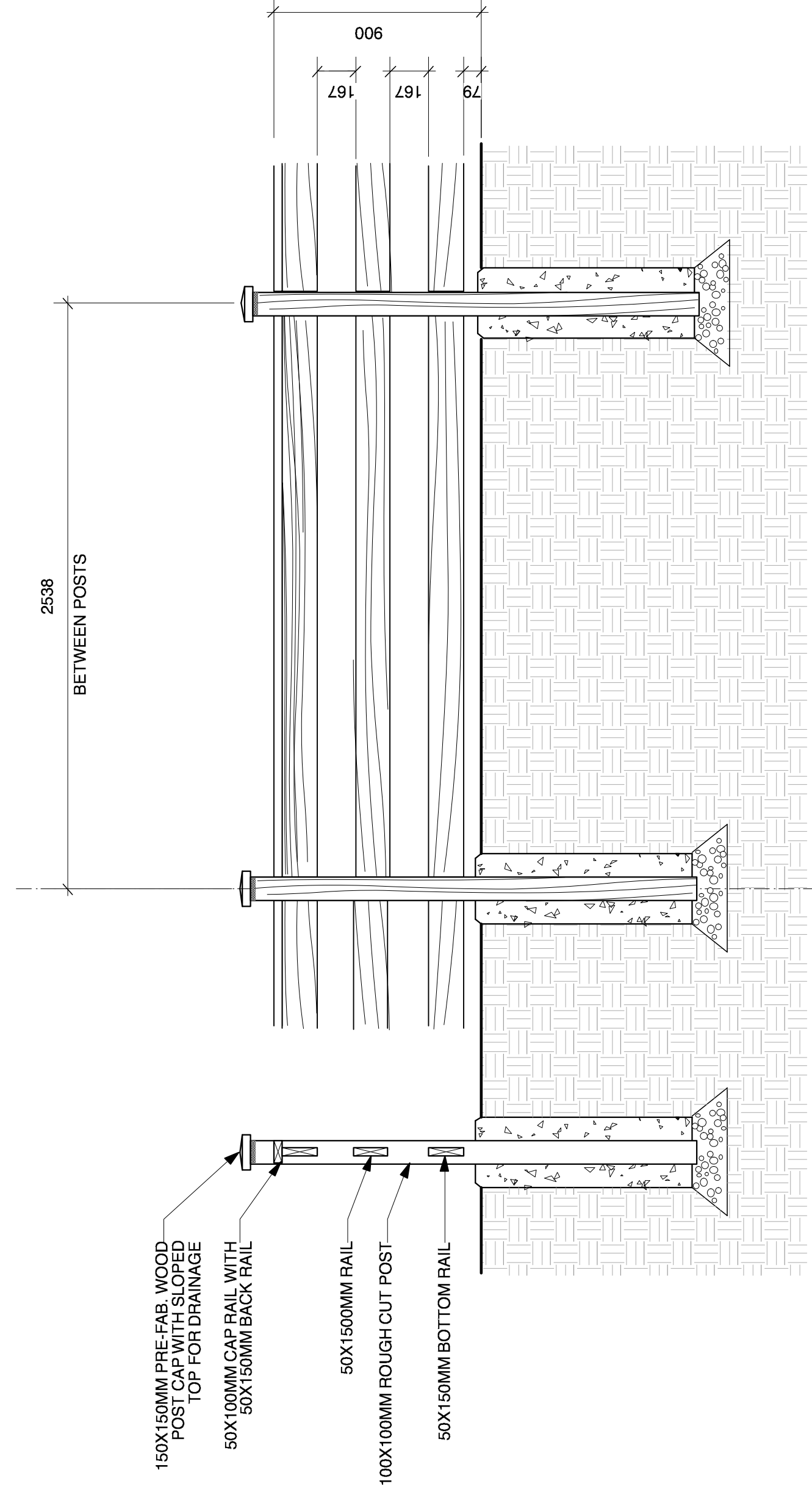
PLANT MATERIALS

- NOTES:
 - ALL WOOD TO BE PRESSURE-TREATED HEMLOCK/SPR
 - ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE.
 - ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE.
 - ALL EXPOSED WOOD TO BE STAINED (SOLID). COLOUR TO BE DETERMINED.

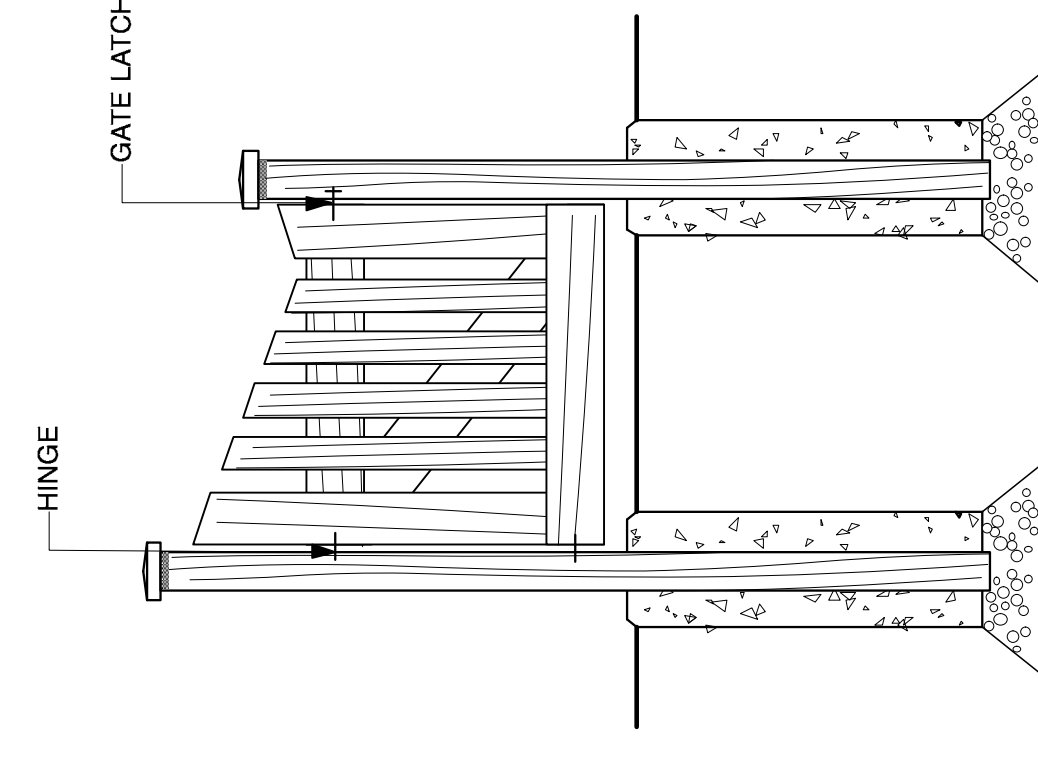


1 AMENITY AREA FENCE
 Scale: 1:20

- NOTES:
 - ALL WOOD TO BE PRESSURE-TREATED HEMLOCK/SPR
 - ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE.
 - ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE.
 - ALL EXPOSED WOOD TO BE STAINED (SOLID). COLOUR TO BE DETERMINED.



2 UNIT YARD FENCE
 Scale: 1:20



3 UNIT ENTRY GATE
 Scale: 1:20

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SEAL

PROJECT
 Baptist Church Site
 Rowhouses
 Surrey, BC

FOR
MOSAIC
 500-2609 GRANVILLE STREET
 VANCOUVER, BC

RAMSAY WARDEN
 255 Kingsway @ 11th Avenue
 Tel: 604-758-8691
 Fax: 604-758-8699
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SHARP & DIAMOND
 LANDSCAPE ARCHITECTURE
 502-5000 Bransford
 Burnaby, BC
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 Fax: 604-431-2320
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DRAWING
**Fence & Gate
 Details**

DRAWING NUMBER
L2.1

DRAWN	PROJECT NUMBER
CM	06-220
CHECKED	SCALE
DS	AS SHOWN



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **January 5, 2011** PROJECT FILE: **7810-0264-00**

RE: **Engineering Requirements
Location: 18725 64 Ave.**

REZONE***Property and Right-of-Way Requirements***

- Dedicate 1.942 m on 188 Street;
- Dedicate 10.00 m on 65 Avenue;
- Dedicate 11.5 m for the new 187 Street on the west side of this site;
- Dedicate 3m x 3m corner cuts at 65 Avenue/188 Street, 65 Ave/187 Street and 64 Avenue/187 Street; and
- Dedicate 5m x 5m corner cut at 64 Avenue/188 Street intersection.

Works and Services

- Construct south half of 65 Avenue to Through Local standard;
- Construct west half of 188 Street to Major Collector standard;
- Provide cash-in-lieu payment of \$300,000.00 and detailed road design including road drainage and for the new 187 Street construction;
- Design and Construct required modifications to the intersections of 64 Avenue/187 Street and 65 Avenue/188 Street.
- Construct 300mm water main on 64 Avenue; and

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

Bob Ambardar, P.Eng.
Development Project Engineer

RSS

NOTE: Detailed Land Development Engineering Review available on file



November 17, 2010

THE IMPACT ON SCHOOLS

APPLICATION #: 10 0264 00

SUMMARY

The proposed 70 townhouse units and 26 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	15
Secondary Students:	8

September 2010 Enrolment/School Capacity

Hillcrest Elementary	
Enrolment (K/1-7):	66 K + 493
Capacity (K/1-7):	80 K + 400
Clayton Heights Secondary	
Enrolment (8-12):	1239
Capacity (8-12):	1000

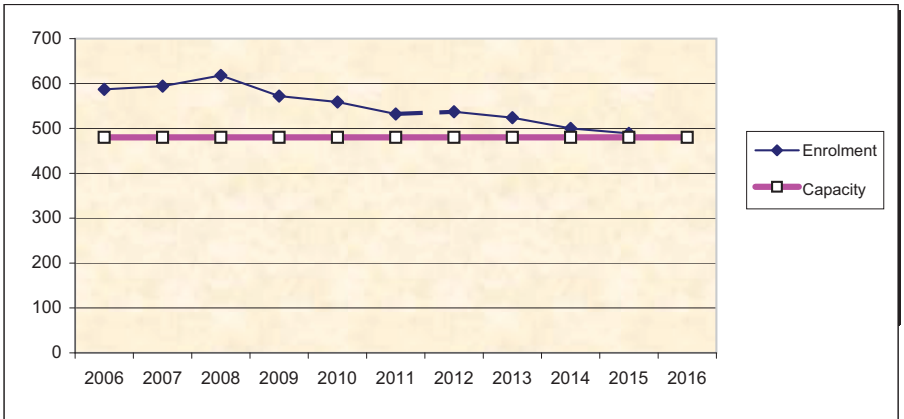
SCHOOL DISTRICT #36 (SURREY)

School Enrolment Projections and Planning Update:

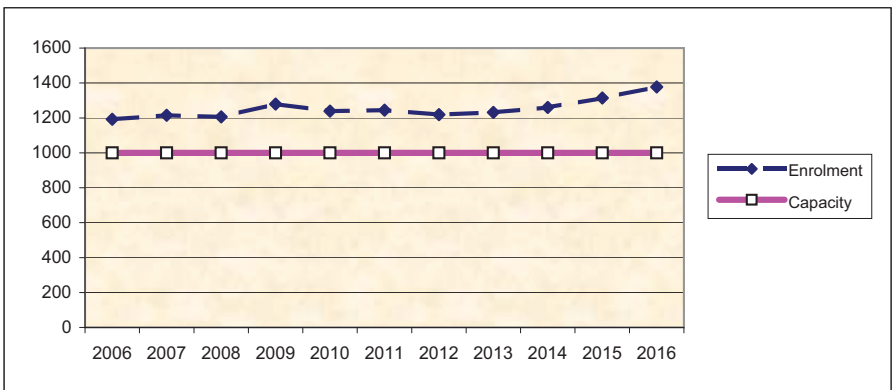
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

A new elementary school, Adams Road Elementary and a boundary move approved to Latimer Road Elementary will help relieve projected overcrowding at Hillcrest. The capacity in the table includes a four (4) classroom addition approved for Hillcrest Elementary, with full day Kindergarten implementation, for completion by 2011. The school district is also in the process of assembling land for a proposed future secondary school in North Clayton Area. The construction of a new secondary school is subject to proposed capital project approval by the Province in the future. The proposed development will not have an impact on these projections.

Hillcrest Elementary



Clayton Heights Secondary



CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 006-127-461

Lot 13 Except: Part Dedicated Road on Plan LMP40532; Section 16 Township 8 New Westminster District Plan 59668

18725 – 64 Avenue

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *ground-oriented multiple unit residential buildings* and related *amenity spaces* which are to be developed in accordance with a *comprehensive design* where *density* bonus is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for *ground-oriented multiple unit residential buildings*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The maximum *floor area ratio* shall not exceed 0.10 and the maximum *unit density* shall not exceed 2.5 *dwelling units* per hectare [1 u.p.a.]. The maximum *density* may be increased to that prescribed in Sections D.2 and D.3 of this Zone if *amenities* are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
2.
 - (a) The *floor area ratio* shall not exceed 0.64; and
 - (b) Despite the definition of *floor area ratio* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, all covered areas used for parking shall be included in the calculation of *floor area ratio*; and
 - (c) The indoor *amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.
3. The maximum *unit density* shall not exceed 40 *dwelling units* per hectare [16 u.p.a.].

E. Lot Coverage

The *lot coverage* shall not exceed 36%.

F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

	<i>Setback</i>	East	West	North	South
		<i>Yard</i>	<i>Yard</i>	<i>Yard</i>	<i>Yard</i>
Use					
<i>Principal Buildings</i> and <i>Accessory Buildings</i> and <i>Structures</i>		4.5 m [15 ft.]	3.0 m [10 ft.]	4.5 m [15 ft.]	4.5 m [15 ft.]

Measurements to be determined as per Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*:
 - (a) The *building height* shall not exceed 11 metres [36 ft]; and

(b) Despite Sub-section G.1(a), the *building height* shall not exceed 7.5 metres [25 ft.] for *dwelling units* fronting 65 Avenue and 188 Street.

2. *Accessory buildings and structures:*

(a) Indoor *amenity space buildings*: The *building height* shall not exceed 11 metres [36 ft.]; and

(b) Other *accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided as stated in Table C.6, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. All required resident *parking spaces* shall be provided as follows:

(a) A minimum of 1 *parking space* must be enclosed and attached to each *dwelling unit*; and

(b) Despite Sub-section H.2(a), 2 *parking spaces* must be enclosed and attached to each *dwelling unit* for a minimum of 40% of the *dwelling units*, and 18% of the *parking spaces* may be small car.

3. *Tandem parking* is permitted, subject to the following:

(a) A maximum of 70 *dwelling units* with *tandem parking* are permitted;

(b) *Parking spaces* provided as *tandem parking* must be held by the same owner; and

(c) Access to *parking spaces* provided as *tandem parking* is not permitted within 6 metres [20 ft.] from *lot* entrances/exits.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.

2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping strip* of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.

3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.

4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping screen*, a solid decorative fence, or a combination thereof.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2 hectares [5.0 acres]	150 metres [492 ft]	100 metres [330 ft.]

Dimensions shall be measured in accordance with Section E.21, Part 4 General Provisions, of the Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-15 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking, of Surrey Zoning By-law, 1993, No. 12000, as amended.

5. *Sign* regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2010, No. 17111, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-15 Zone.
9. Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

READ A THIRD TIME ON THE _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK