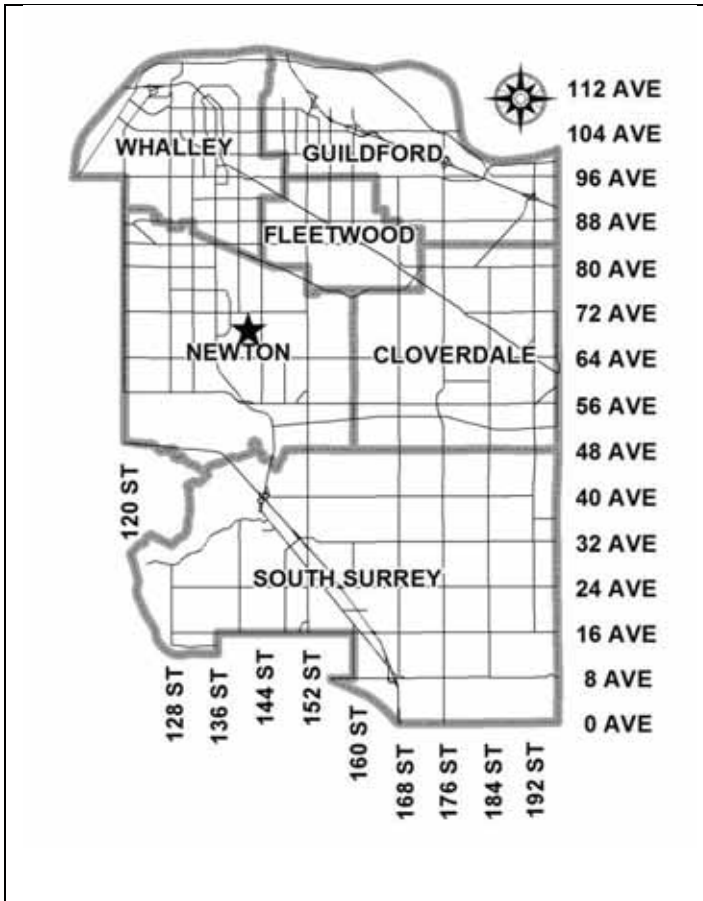


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7910-0271-00

Planning Report Date: June 27, 2011



PROPOSAL:

- **Rezoning** from RF to CD (based on RM-15)
- **Development Permit**

in order to permit the development of 24 townhouse units.

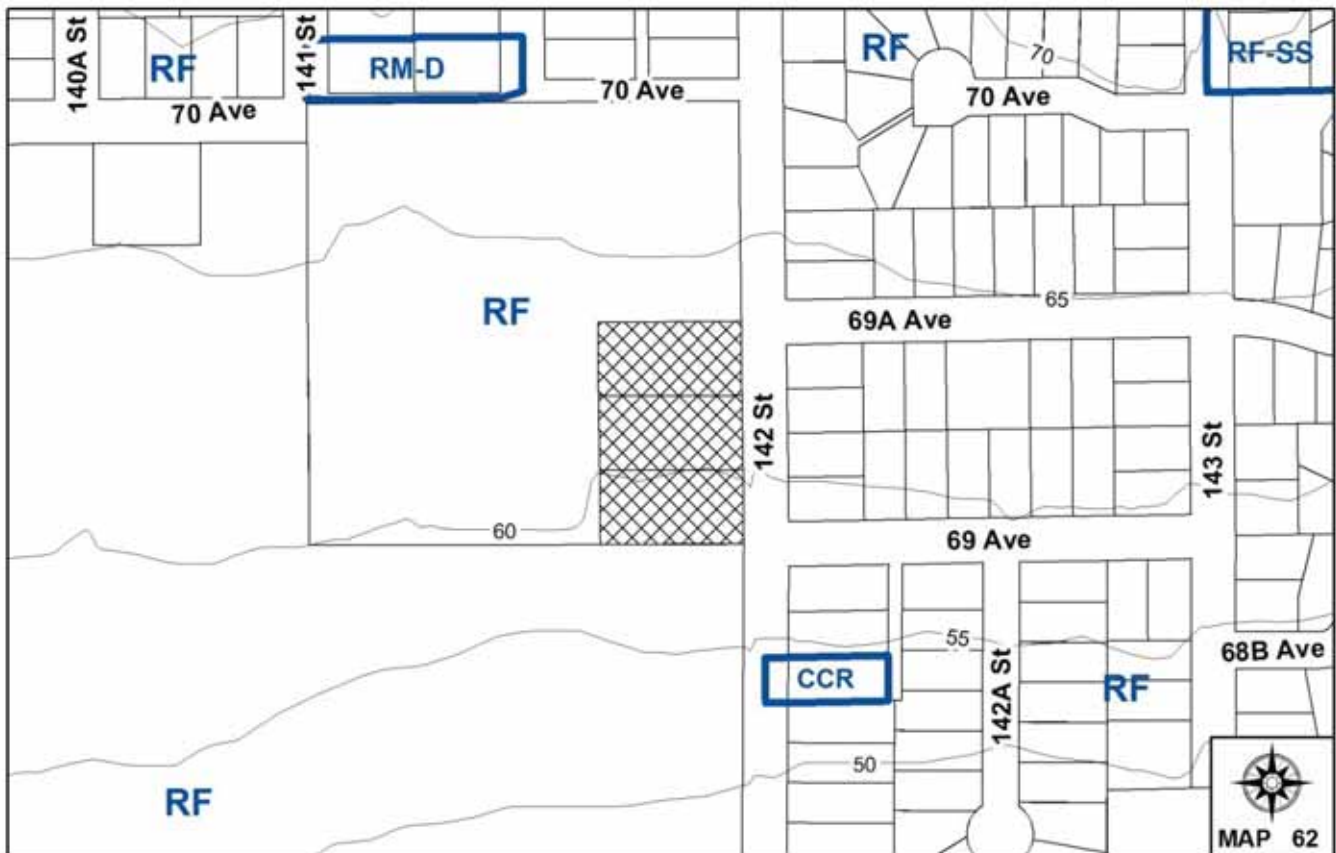
LOCATION: 6915, 6931 and 6951 - 142 Street

OWNERS: Narinder Singh Garcha
 Narinder Kaur Garcha

ZONING: RF

OCP DESIGNATION: Urban

LAP DESIGNATION: Urban Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Requires an amendment to the Newton Local Area Plan from "Urban Residential" to "Multiple Residential (Townhouse)".

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- Despite the increase in proposed density the design is sensitive to its surroundings, is complementary to existing housing forms in the area and proposes a significant amount of tree preservation.
- The proposed townhouse development provides a more affordable housing type in this neighbourhood and will suit the needs of families with children, as it is in close proximity to a school and park.
- The site is isolated in that it is bounded on three sides by park, school and road; because of this relative isolation, multi-family housing is considered appropriate as it allows for some intensification with minimal impact to the existing single family neighbourhood.
- The proposal is consistent with the City's *Sustainability Charter* socio-cultural goal to "promote the development of a range of affordable and appropriate housing to meet the needs of households of varying incomes and household compositions and for people with special needs."
- The proposed townhouse project has a site coverage of 31 percent, which is significantly lower than the lot coverage of 41 percent that would be permitted under a typical RM-15-zoned townhouse project. The low site coverage allows for a significant number of mature trees to be retained on the site.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7910-0271-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture; and
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department.
5. Council pass a resolution to amend Newton Local Area Plan to redesignate the land from "Urban Residential" to "Multiple Residential (Townhouse) when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: Projected number of students from this development:

4 Elementary students at Georges Vanier Elementary School
2 Secondary students at Frank Hurt Secondary School

The applicant has advised that the dwelling units in the first phase of this project are expected to be constructed and ready for occupancy by September 2012.

(Appendix IV)

Parks, Recreation & Culture:

Parks have some concern about the pressure the project will place on existing Parks, Recreation and Culture facilities in the neighbourhood. The applicant is required to address this concern prior to Final Adoption.

Fire Department:

The Fire Department has no concerns with the subject proposal.

SITE CHARACTERISTICS

Existing Land Use: The site consists of three lots, each just over half an acre in size. Each of the three lots contains one single family dwelling.

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
North and West:	Georges Vanier Elementary School	Urban/School	RF
South:	Hazelnut Meadows Community Park	Urban/Open Space	RF
East (Across 142 Street):	Single Family Dwellings	Urban/Urban Residential	RF

JUSTIFICATION FOR PLAN AMENDMENT

- Despite the increase in proposed density the design is sensitive to its surroundings, is complementary to existing housing forms in the area and proposes a significant amount of tree preservation.
- The proposed townhouse development provides a more affordable housing type in this neighbourhood and will suit the needs of families with children, as it is in close proximity to a school and park.
- The site is isolated in that it is bounded on three sides by park, school and road; because of this relative isolation, multi-family housing is considered appropriate as it allows for some intensification with minimal impact to the existing single family neighbourhood.

- The proposal is consistent with the City's *Sustainability Charter* socio-cultural goal to "promote the development of a range of affordable and appropriate housing to meet the needs of households of varying incomes and household compositions and for people with special needs."
- The proposed townhouse project has a site coverage of 31 percent, which is significantly lower than the lot coverage of 41 percent that would be permitted under a typical RM-15-zoned townhouse project. The low site coverage allows for a significant number of mature trees to be retained on the site.
- Staff have received no concerns regarding the proposed increased density through the pre-notification process.

DEVELOPMENT CONSIDERATIONS

Subject Proposal

- The 0.646 hectare (1.6 acre) site contains three parcels zoned "Single Family Residential (RF)". The applicant proposes to consolidate the three parcels into one and rezone to a "Comprehensive Development Zone (CD)" (based on "Multiple Residential 15 Zone (RM-15)") to accommodate a proposed 24 unit townhouse development. A Development Permit is also required to all the development.
- The project proposes a unit density of 37 units per hectare (15 units per acre). The area is currently designated "Urban Residential" in the Newton Local Area Plan (LAP); therefore, an LAP amendment is required to redesignate the site to "Multiple Residential (Townhouses)".

Background and Site Context

- The subject site is located between 69 Avenue and 70 Avenue, on 142 Street. The site is within an existing single-family area, predominantly zoned "Single Family Residential (RF)". The site is bounded by 142 Street to the east, Georges Vanier Elementary School to the north and west, and Hazelnut Meadows Community Park to the south.
- The subject proposal is to develop family-oriented townhouse units. As the site is bounded on 3 sides by school and park, and separated from single family uses by a road (142 Street), it is considered an appropriate location for townhouses.

CD Zone

- The proposed CD By-law (Appendix VII) is similar to the RM-15 Zone, except the unit density does not take into consideration the sliding density scale for sites less than 1 hectare (2.47 acres), the maximum floor area ratio (FAR) is 0.64, and the setbacks have been reduced.

- The proposed CD Zone is compared to the RM-15 Zone in the table below:

	RM-15 Zone		Proposed CD Zone (Based on RM-15)	
Unit Density	≥ 1.0 ha: < 1.0 ha: {21 + (lot area [ha] x 16.6)}	37 uph / 15 upa 32 uph / 13 upa	37 uph / 15 upa	
FAR	≥ 1.0 ha: < 1.0 ha: {0.40 + (lot area [ha] x 0.2)}	0.60 0.53	0.64 (not including garage)	
Lot Coverage	≥ 1.0 ha: < 1.0 ha: {33% +(lot area [ha] x 12.5)}	45% 41%	31%	
Setbacks	7.5 metres (25 ft.) from all lot lines		Front (142 St.): Rear (West): Side (North): Side (South):	5 metres (16 ft.) 3 metres (10 ft.) 4.5 metres (15 ft.) 3 metres (10 ft.)
Principal Building Height	11 metres		11 metres	

- Because the site is less than 1 hectare (2.47 acres) in size, the maximum permitted unit density and FAR under RM-15 zoning are not achievable. There is a sliding density scale for sites less than 1 hectare (2.47 acres); taking into account this sliding scale, the maximum density would be 32 units per hectare (13 upa), the maximum FAR would be 0.53, and the maximum lot coverage would be 41%. The purpose of this sliding density scale is to encourage developers to consolidate land in order to achieve an adequately sized multi-family site. In this case, there are no additional parcels of land to acquire, as the site is bounded on all sides by park, school, and road (142 Street). Therefore, staff consider allowing a density similar to what would be in the RM-15 Zone, without taking into consideration the sliding density scale, to be appropriate.
- An FAR of 0.60 is permitted in the RM-15 Zone, with the garage included in the FAR. The RM-15 Zone includes a clause that indicates that, notwithstanding the definition of FAR, garages should be included in the calculation. The applicant is proposing an FAR of 0.64, not including the garage. The CD Zone does not include the clause that specifies that garages must be included in the FAR calculation.
- Permitted RM-15 site coverage is 41%, and the applicant is proposing site coverage of only 31% with the reduction included in the proposed CD By-law. While the FAR is slightly over what would be allowed in the RM-15 Zone, the site coverage is well below the RM-15 requirement.
- The RM-15 Zone requires 7.5 metre (25 ft.) setbacks from all lot lines. The applicant is proposing reduced setbacks from what is typically required in the RM-15 Zone, as noted in the zone comparison table above. The siting of buildings within the development have been chosen in consideration of the location of existing mature trees proposed for retention; because of this, relaxations from the standard RM-15 setback requirements are required in some instances.

- The townhouse units along the west edge of the site are set back a minimum of 7.9 metres (26 ft.) from the east property line. The only building closer than 7.9 metres (26 ft.) to the property line is the amenity building, which is set back 3 metres (10 ft.). The siting of the amenity building has been chosen in consideration of existing trees within the site which are proposed for retention.
- The proposed reduced minimum north and south side yard setbacks are considered appropriate considering the adjacent land uses: the elementary school parking lot is located to the north, and the park is located to the south of the subject site.
- The proposed 5 metre (16 ft.) front yard setback to 142 Street is considered appropriate as it allows for an improved pedestrian experience and surveillance of the public realm, while also providing a sensitive interface with the single family homes across the street.

PRE-NOTIFICATION

Pre-notification letters were sent on February 10, 2011, and staff received one letter in response.

- The respondent expressed concern regarding the proliferation of secondary suites in the neighbourhood.

(The subject proposal is for the development of townhouses, which typically do not have same problems with regards to secondary suites. Secondary suites are not permitted in either the RM-15 Zone or the proposed CD Zone.)

DESIGN PROPOSAL AND REVIEW

Context

- The site is within an existing single family neighbourhood in central Newton, approximately 665 metres (2,180 ft.) to the edge of the Newton Town Centre. Subdivisions into urban-sized single family lots occurred from the 1950s to 1990s. The subject site consists of the three largest parcels in the surrounding area, with each being just over half an acre in size.
- The site is bounded by Georges Vanier Elementary School to the north and west, and Hazelnut Meadows Community Park to the south. On the east side, across 142 Street, are single family dwellings on RF zoned lots.

Access

- There is one vehicular access proposed off of 142 Street, aligned in a central location on the site. The vehicular access has been chosen in consideration of significant trees proposed to be preserved.

Form & Character

- All of the 24 proposed townhouse units are 3-bedroom units, with an average floor area of 174 square metres (1,870 sq. ft.) per dwelling unit. All the units feature an outdoor patio on the ground floor and a deck on second level.
- All units have double, side-by-side garages. In addition, 5 visitor parking spaces have been provided, bringing the total parking count to 58 stalls.
- Buildings have been sited in consideration of significant trees on the site, which are proposed to be retained.
- Cladding materials primarily include horizontal vinyl siding, vinyl cedar shingles, cultured stone and wood trim. The colour scheme consists of cool earth tones to complement the landscaping on site. Cultured stone elements have been included on the fronts of most buildings with extensive use of cultured stone on street fronting elevations. Asphalt shingles are proposed as the roofing material.
- A one-storey 72 square metres (775 sq. ft.) amenity building is proposed which will house a lounge area with a kitchen and washrooms for use by residents. The indoor amenity building meets the size requirement stipulated in the Zone.

Tree Retention, Landscaping & Sustainability Principles

- The applicant retained Peter Mennel and Mike Fadum of Mike Fadum & Associates to conduct a site inspection and prepare an arborist report for the site. The arborist report identified 54 mature, by-law sized trees on the site, of which 17 are proposed to be retained and 37 are proposed to be removed. Of the trees to be removed, 12 are Red Alder or Black Cottonwood, with little retentive value, 14 are poor quality trees, and 11 are proposed to be removed to accommodate construction. The 17 trees proposed to be retained are located around the edges of the site and clustered in groups in the outdoor amenity areas.
- The table below provides a summary of the tree retention and removal on the subject site:

Tree Species	Total No. of Mature Trees (On-site)	Total proposed for retention (On-site)	Total proposed for removal (On-site)
Red Alder / Black Cottonwood	12	0	12
European Birch	1	0	1
Paper Birch	1	0	1
Deodar Cedar	1	1	0
Western Red Cedar	6	5	1
Cherry	1	0	1
Falsecypress	3	1	2
Sawara Falsecypress	1	0	1
Douglas Fir	13	6	7
Western Hemlock	2	0	2
Bigleaf Maple	2	1	1
Norway Maple	1	1	0
Oak	1	0	1
Austrian Pine	1	0	1
Shore Pine	5	0	5

Tree Species	Total No. of Mature Trees (On-site)	Total proposed for retention (On-site)	Total proposed for removal (On-site)
Purple Leaf Plum	1	0	1
Spruce	1	1	0
Walnut	1	1	0
Total	54	17	37

- To complement the retained trees on the site, the applicant proposes substantial landscaping. The landscaping plan includes a combination of trees and shrubs in a variety of species. A total of 62 replacement trees are required, and the applicant is meeting this requirement by providing a total of 62 replacement trees on site.
- Other plantings include a variety of flowering shrubs, grasses and ground cover that soften the hard surfaces of the site, mark walkways and driveways and help define the transitions between private and semi private spaces.
- There are three outdoor amenity areas, designed to encourage use by families and residents. The open spaces promote active and passive recreation and the use of mixed planting softens the hard landscape and reduces runoff. The proposed total outdoor amenity space of 582.1 square metres (6,266 sq. ft.) significantly exceeds the minimum 72 square metres (775 sq. ft.) outdoor amenity space requirement for this site under the Zoning By-law. The outdoor amenity spaces on site include a large space at the southwest corner of the property, adjacent to the indoor amenity building, and two smaller spaces at the north end of the site. All of the outdoor amenity spaces have been designed with families in mind, with play equipment for children, benches, and passive landscaping, as well as a number of large trees to be retained.
- Sustainable drainage elements are proposed, including permeable pavers on all visitor parking stalls, and a bioswale leading into the large indoor/outdoor amenity space area.
- The entrance into the main indoor/outdoor amenity space will include a bioswale with permeable cobblestones at the surface level, with an interlocking paver pathway leading to the indoor amenity building. Boulders provide a hard edge to the bioswale area, and on the other side of the boulders are a mix of mature existing trees, newly planted trees, and shrubs. These features all act to provide a sense of entry into the amenity space.

ADVISORY DESIGN PANEL

- The application was not referred to the ADP for review. The design and landscaping were reviewed by staff and found acceptable.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets and Survey Plan
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation

Appendix VI. Newton Local Area Plan
Appendix VII. Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Barnett Dembek Architects Inc. and DMG Landscape Architects, respectively, dated June 2011.

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

HK/kms

\\file-server1\net-data\csdc\generate\areaproduct\save\17484312017.doc
. 6/22/11 1:45 PM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Maciej Dembek, Barnett Dembek Architects Inc.
Address: #135 7536 130 St
Surrey BC V3W 1H8
Tel: 604-597-7100 - Work
604-597-7100 - Cellular

2. Properties involved in the Application

(a) Civic Address: 6951, 6931 and 6915 - 142 Street

(b) Civic Address: 6951 - 142 Street
Owners: Narinder Singh Garcha
Narinder Kaur Garcha
PID: 004-947-142
Lot 143 Section 16 Township 2 New Westminster District Plan 51445

(c) Civic Address: 6931 - 142 Street
Owner: Narinder Singh Garcha
PID: 004-947-169
Lot 144 Section 16 Township 2 New Westminster District Plan 51445

(d) Civic Address: 6915 - 142 Street
Owner: Narinder Singh Garcha
PID: 004-947-100
Lot 145 Section 16 Township 2 New Westminster District Plan 51445

3. Summary of Actions for City Clerk's Office

(a) Introduce a By-law to rezone the property.

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RM-15)

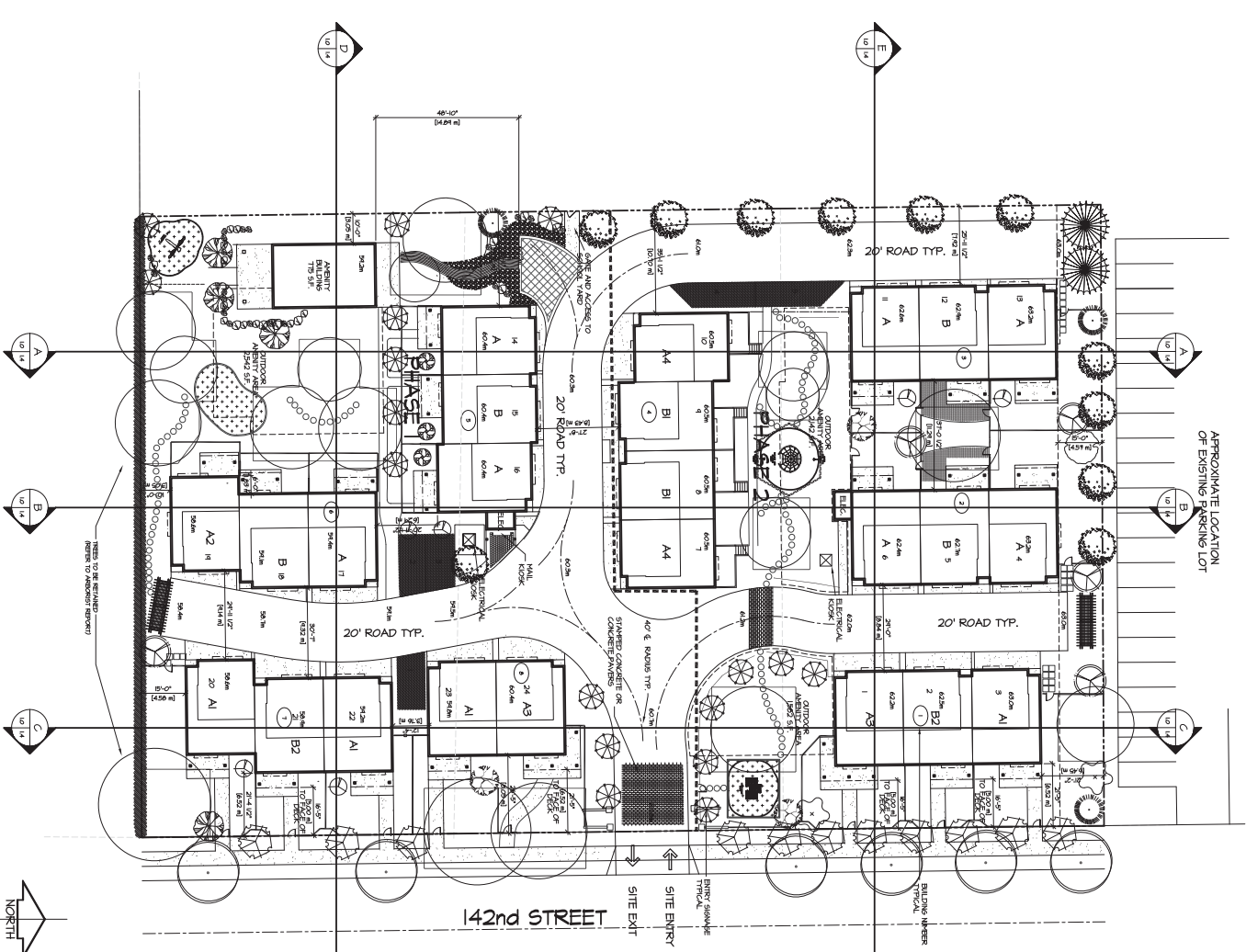
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		6,460 m ²
Road Widening area		
Undevelopable area		
Net Total		6,460 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	41%	31%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (East)	7.5 m	5.0 m
Rear (West)	7.5 m	3.0 m
Side #1 (North)	7.5 m	4.5 m
Side #2 (South)	7.5 m	3.0 m
BUILDING HEIGHT (in metres/storeys)		
Principal	11 m	10.2 m (3 storey)
Accessory	4.5 m	3.6 m (1 storey)
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		24 units
Total		24 units
FLOOR AREA: Residential		4,158.4 m ²
FLOOR AREA: Amenity Building		72.6 m ²
FLOOR AREA: Garages		1,003.4 m ²
TOTAL BUILDING FLOOR AREA		5,234.4 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		37 uph / 15 upa
# of units/ha /# units/acre (net)		37 uph / 15 upa
FAR (gross)		0.64
FAR (net)		0.64
FAR (garages included)		0.79
AMENITY SPACE (area in square metres)		
Indoor	72 m ²	72.6 m ²
Outdoor	72 m ²	582.1 m ²
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	48	48
Residential Visitors	4.8	5
Institutional		
Total Number of Parking Spaces	53	53
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----



DRAWING LIST

AC-10	SITE PLAN AND DEVELOPMENT DATA	AC-41	FLOOR & ROOF PLANS - BUILDING #1
AC-11	GRADING PLAN	AC-42	FLOOR & ROOF PLANS - BUILDING #2
AC-12	CONTENT PLAN	AC-43	FLOOR & ROOF PLANS - BUILDING #3
AC-13	SITE SECTIONS	AC-44	FLOOR & ROOF PLANS - BUILDING #4
AC-21	UNIT PLANS - UNIT TYPE A	AC-45	FLOOR & ROOF PLANS - BUILDING #5
AC-22	UNIT PLANS - UNIT TYPE A2	AC-46	FLOOR & ROOF PLANS - BUILDING #6
AC-23	UNIT PLANS - UNIT TYPE A2	AC-47	FLOOR & ROOF PLANS - BUILDING #7
AC-24	UNIT PLANS - UNIT TYPE A2	AC-48	FLOOR & ROOF PLANS - BUILDING #8
AC-25	UNIT PLANS - UNIT TYPE B		
AC-26	UNIT PLANS - UNIT TYPE B		
AC-27	UNIT PLANS - UNIT TYPE B1		
AC-28	UNIT PLANS - UNIT TYPE B2		
AC-29	AMENITY BUILDINGS - PLANS, SECTIONS & ELEVATIONS		
AC-31	ELEVATIONS - BUILDING #1		
AC-32	ELEVATIONS - BUILDING #2		
AC-33	ELEVATIONS - BUILDING #3		
AC-34	ELEVATIONS - BUILDING #4		
AC-35	ELEVATIONS - BUILDING #5		
AC-36	ELEVATIONS - BUILDING #6		
AC-37	ELEVATIONS - BUILDING #7		
AC-38	ELEVATIONS - BUILDING #8		

DEVELOPMENT DATA

SITE AREA: 64,939 S.F. 1,516 AC. 0,646 HA.
DENSITY: 15.0 UP/A. 37.0 UP/HA. (24 UNITS)
F.A.R. 0.644 (44,760 S.F.) (NOT INCLUDING GARAGE)
 0.794 (55,560 S.F.) (INCLUDING GARAGE)
SITE COVERAGE: 30.79% (21,477 S.F.)
AMENITY:
 REQUIRED:
 INDOOR: T75 S.F.
 OUTDOOR: T75 S.F.
 PROVIDED:
 INDOOR: T81 S.F.
 OUTDOOR: 6,286 S.F.

PARKING:

REQUIRED:
 2 PER UNIT X 24 = 48 SPACES
 VISITOR 0.2 X 24 = 4.8 SPACES
TOTAL: 52.8 SPACES
PROVIDED:
 2 PER UNIT X 24 = 48 SPACES
 VISITOR 5 SPACES
TOTAL: 53 SPACES

ENTRY SIGNAGE

SCALE: 1/4" = 1'-0"

SCALE: 1" = 20'-0"



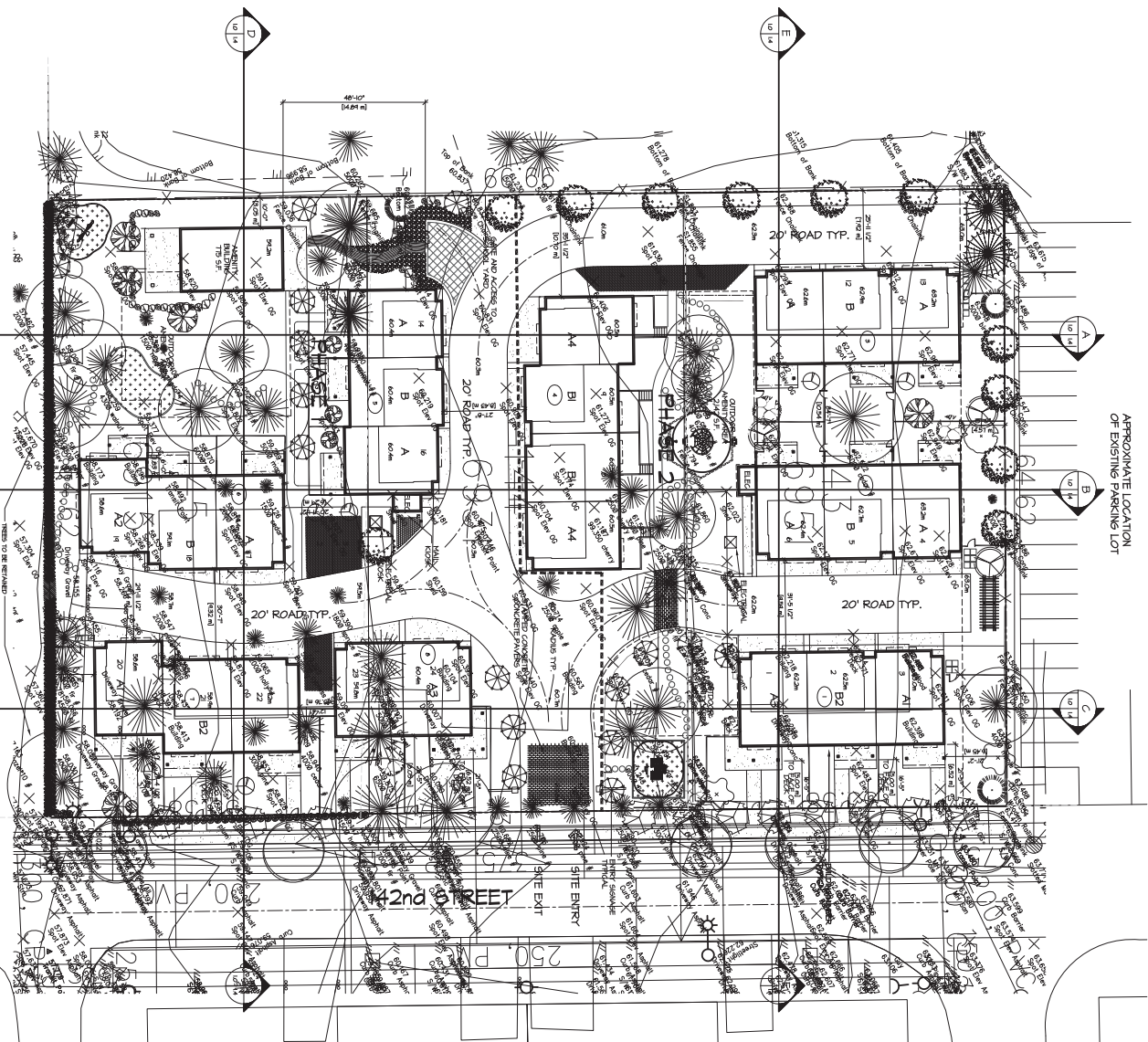
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

DESIGN:	M.D.
DRAWN:	X
DATE:	June 20 11
SCALE:	1" = 20'-0"

CLIENT:	PARKSIDE HOLDINGS INC.
PROJECT:	"HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS:	SITE PLAN

Dornett dembek
 UNIT 135,
 SUITE 1300 STREET,
 VAN TRU
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@dornettdembek.com

PROJECT NO.	AC-110
CLIENT NO.	AC-110
ISSUE NO.	10016



APPROXIMATE LOCATION
OF EXISTING PARKING LOT

GRADING PLAN
SCALE: 1" = 20'-0"

Dornett dembek
UNIT 135,
2505 1300 STREET,
VAN TRU
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@dornettdembek.com

CLIENT: PARKSIDE HOLDINGS INC.
PROJECT: "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS:
GRADING PLAN

DESIGN: M.D.
DRAWN: X
DATE: June 9 11
SCALE: 1" = 20'-0"

REV#	DATE	DRN	CR'D	ISSUE	DATE	BY	ISSUED FOR

DISCLAIMER: ALL SURVEYS AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF DORNETT DEMBEK INC. AND SHALL BE KEPT CONFIDENTIAL. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DORNETT DEMBEK INC. © 2011



NORTH
CONTEXT PLAN

SUBJECT PROPERTY

UNIT 135,
7008 142ND STREET
SURREY, BC V4N 1H8
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@cornett.com

Cornett dembek

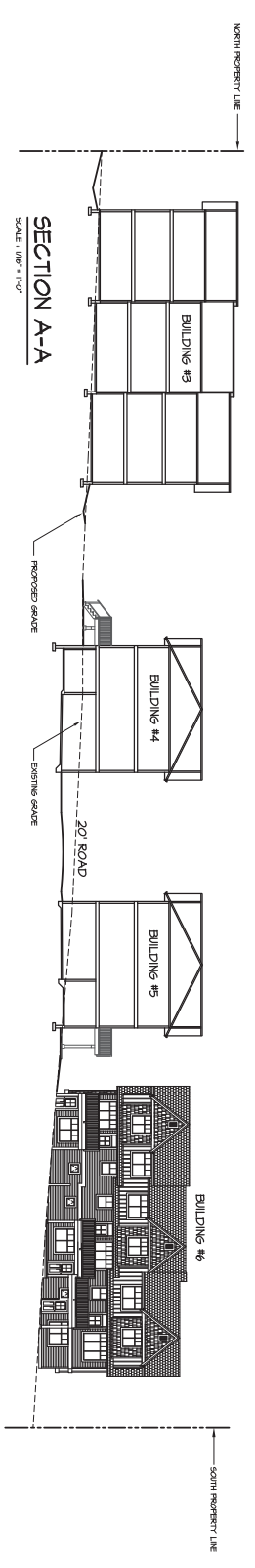
CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :
CONTEXT PLAN

DESIGN :
M.D.
DRAWN :
X
DATE :
June 17 11
SCALE :
N.T.S.

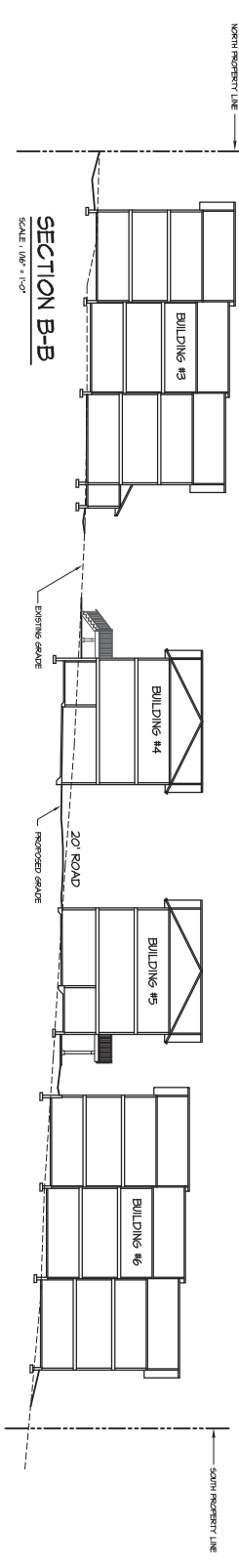
DATE

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

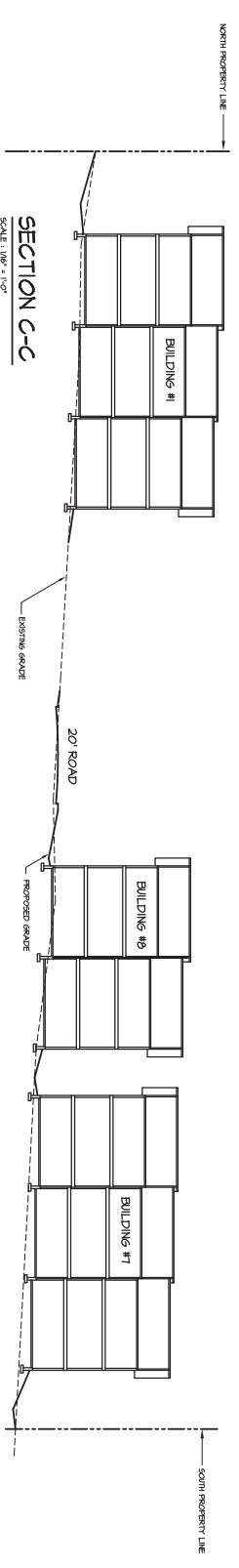
GOVERNMENT, ALL RIGHTS ARE RESERVED.
NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CORNETT DEMBEK ARCHITECTS INC. (CDA) COMPANY REG. B.C. 9781



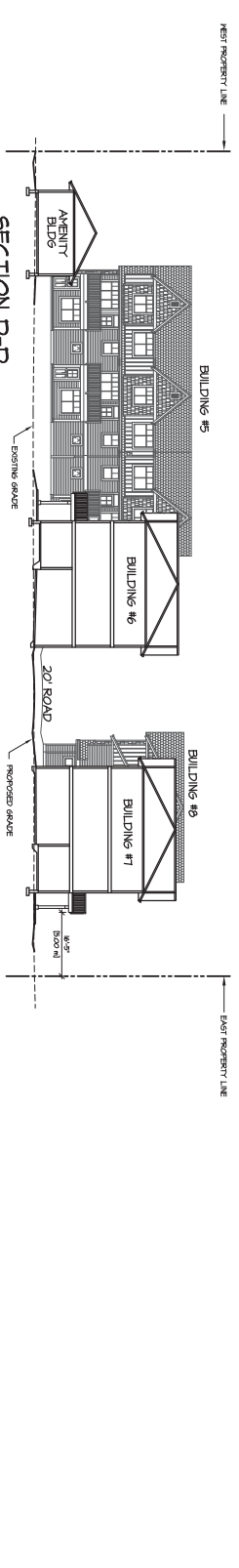
SECTION A-A
SCALE: 1/8" = 1'-0"



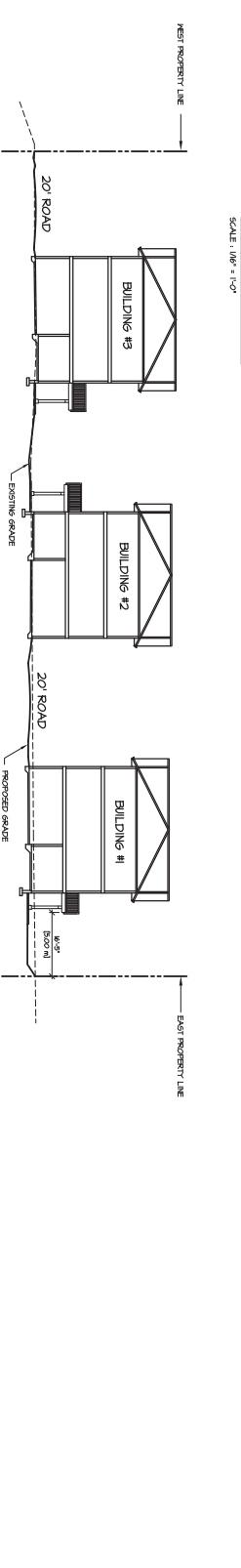
SECTION B-B
SCALE: 1/8" = 1'-0"



SECTION C-C
SCALE: 1/8" = 1'-0"



SECTION D-D
SCALE: 1/8" = 1'-0"



SECTION E-E
SCALE: 1/8" = 1'-0"

FOR INFORMATION: ALL WORKS AND THE
 NORTH PROPERTY LINE, SOUTH PROPERTY LINE,
 EXISTING AND PROPOSED GRADE LEVELS,
 AND ALL OTHER INFORMATION SHOWN ON THIS
 PLAN SHALL BE THE PROPERTY OF THE
 CLIENT. THE CLIENT SHALL BE RESPONSIBLE
 FOR OBTAINING ALL NECESSARY PERMITS
 AND APPROVALS FROM THE LOCAL
 GOVERNMENT AND ALL OTHER
 AFFECTED AGENCIES.

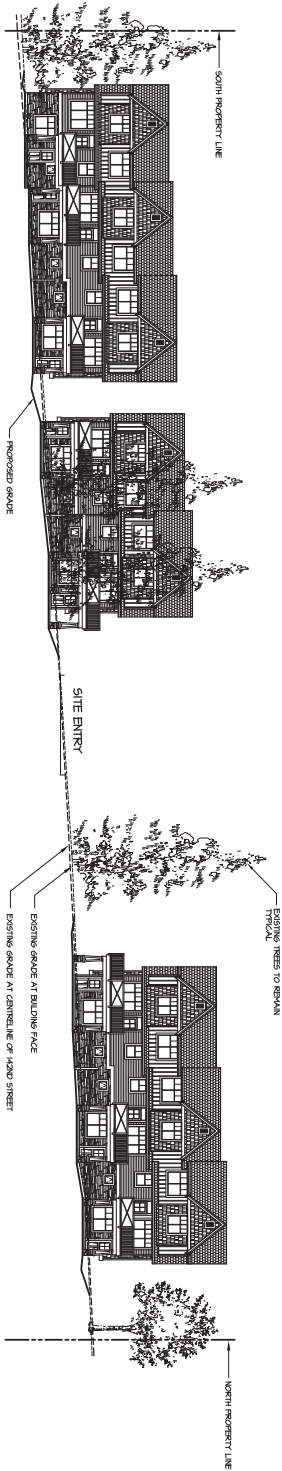
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

DESIGN : M.D.
 DRAWN : X
 DATE : June 17 11
 SCALE : 1/8" = 1'-0"

CLIENT : PARKSIDE HOLDINGS INC.
 PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
 6415, 6431 & 6451, 142ND STREET, SURREY
 SHEET CONTENTS : STREET ELEVATION

Dornett dembek
 UNIT 135,
 2150 130 STREET,
 SURREY, BC V3R 4G1,
 CANADA
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@dornett.com

CLIENT NO. AC-13
 PROJECT NO. 10016



STREET ELEVATION - VIEW ALONG 142ND STREET

SCALE: 1/8" = 1'-0"

FOR INFORMATION: ALL DECISIONS AND THE
 NORTH PROPERTY LINE, SOUTH PROPERTY LINE
 AND THE PROPOSED GRADE AT BALCONY FACE
 AND THE EXISTING GRADE AT CENNELINE OF
 142ND STREET. THE ARCHITECT ASSUMES
 THAT THE CLIENT HAS OBTAINED ALL NECESSARY
 PERMITS AND APPROVALS FROM THE
 RELEVANT AUTHORITIES. THE ARCHITECT
 DOES NOT GUARANTEE THE ACCURACY OF
 THE INFORMATION PROVIDED BY THE CLIENT.
 CANADA (PROFESSIONAL ACT 1976)

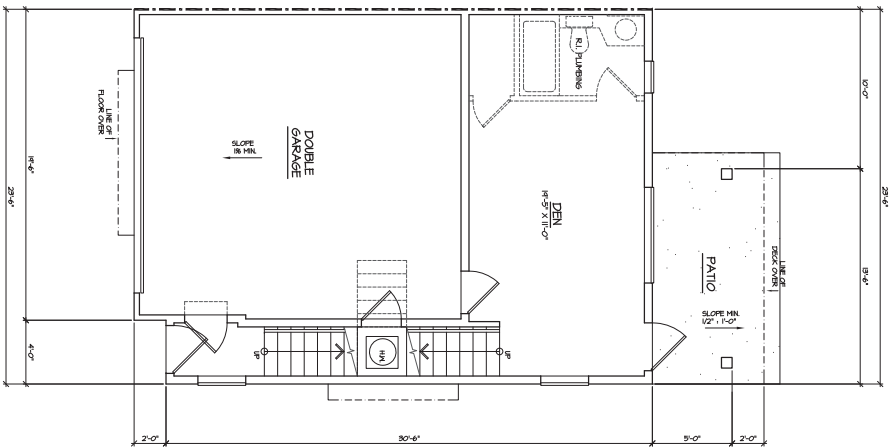
REV#	DATE	DRN	OK'D	ISSUE	DATE	BY	ISSUED FOR

DESIGN : M.D.
 DRAWN : X
 DATE : June 17 11
 SCALE : 1/8" = 1'-0"

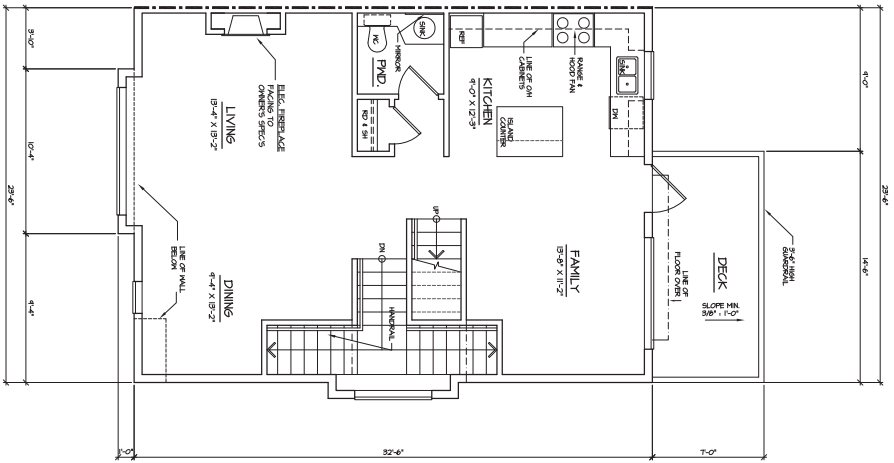
CLIENT : PARKSIDE HOLDINGS INC.
 PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
 6415, 6431 & 6451, 142ND STREET, SURREY
 SHEET CONTENTS : STREET ELEVATION

Dornett dembek
 ARCHITECTS
 UNIT 135,
 2150 130 STREET,
 SURREY, B.C.
 V3W 7H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@dornettdembek.com

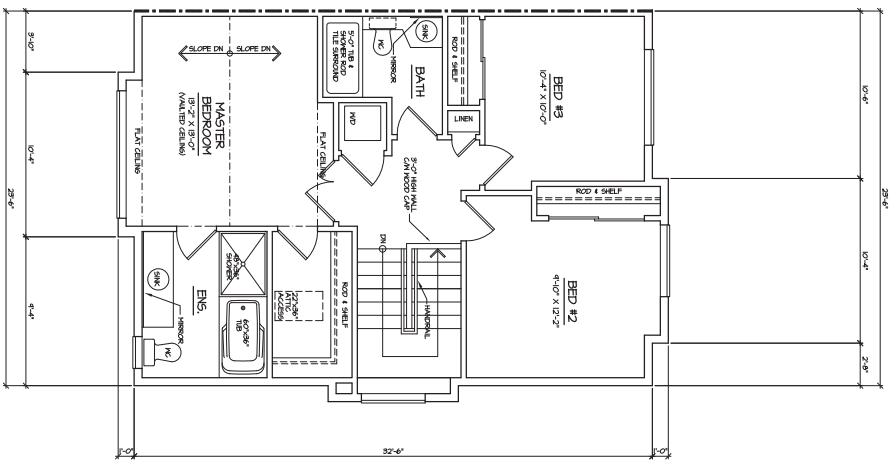
CLIENT NO. AC-14
 SHEET NO. REV. NO.
 PROJECT NO. 10016



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"
BAGMENT 277 S.F.
FOYER 30 S.F.
GARAGE 450 S.F.



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
182 S.F.



UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"
112 S.F.

UNIT TYPE 'A'
1891 S.F.

UNIT 135,
2135 130 STREET
SURREY, BC
V3W 1T8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@dnrtel.com

Dornett dembek

DESIGN NO. 2016-0001
PROJECT NO. A-21
REV. NO. 00/06

CLIENT : PARKSIDE HOLDINGS INC.

PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY

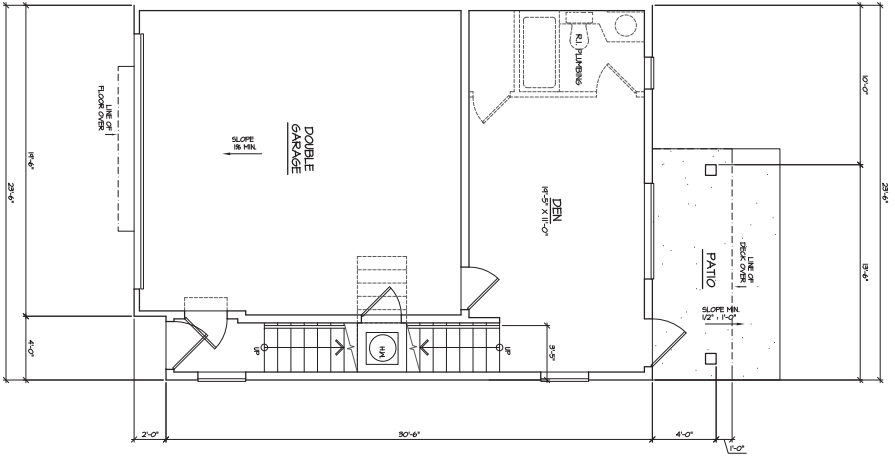
SHEET CONTENTS:
UNIT PLANS
UNIT TYPE 'A'

DESIGN : H.D.
DRAWN :
DATE : June 16 11
SCALE : 1/4" = 1'-0"

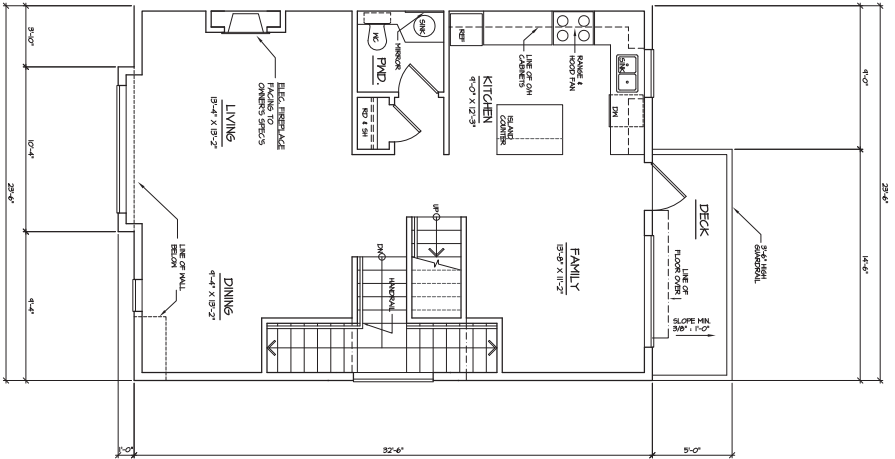
REV#	DATE	DRN	CRD

ISSUE	DATE	BY	ISSUED FOR

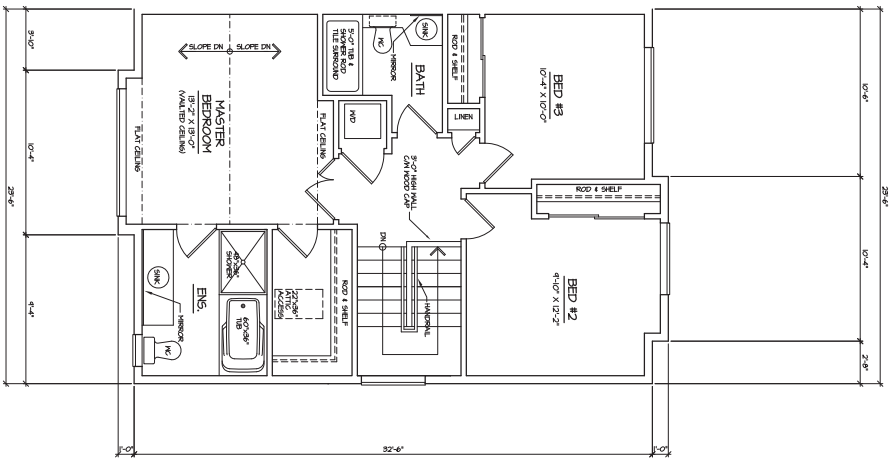
DISCLAIMER: ALL WORK AND THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF DORNETT DEMBEK AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DORNETT DEMBEK. THIS DOCUMENT IS THE PROPERTY OF DORNETT DEMBEK AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DORNETT DEMBEK.



BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 BAGMENT 277 SF.
 FOTER 30 SF.
 GARAGE 450 SF.



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 714 SF.



UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 704 SF.

UNIT TYPE 'A1'
 1965 SF.

AGREEMENT, ALL RIGHTS AND THE
 NORTH END PROJECT, "SERIES A"
 UNIT TYPE "A1" PROJECT, 6915, 6931 & 6951, 142ND STREET, SURREY
 BRITISH COLUMBIA, CANADA
 THIS DOCUMENT IS THE PROPERTY OF
 DORNETT DENBEK ARCHITECTS INC.
 IT IS TO BE USED ONLY FOR THE PROJECT
 IDENTIFIED HEREIN. NO PART OF THIS
 DOCUMENT IS TO BE REPRODUCED,
 COPIED, STORED, RETRIEVED, TRANSMITTED,
 OR OTHERWISE DISCLOSED IN ANY MANNER
 WITHOUT THE WRITTEN PERMISSION OF
 DORNETT DENBEK ARCHITECTS INC. (D.D.A.)
 CANADA (CORPORATE #27533 1978)

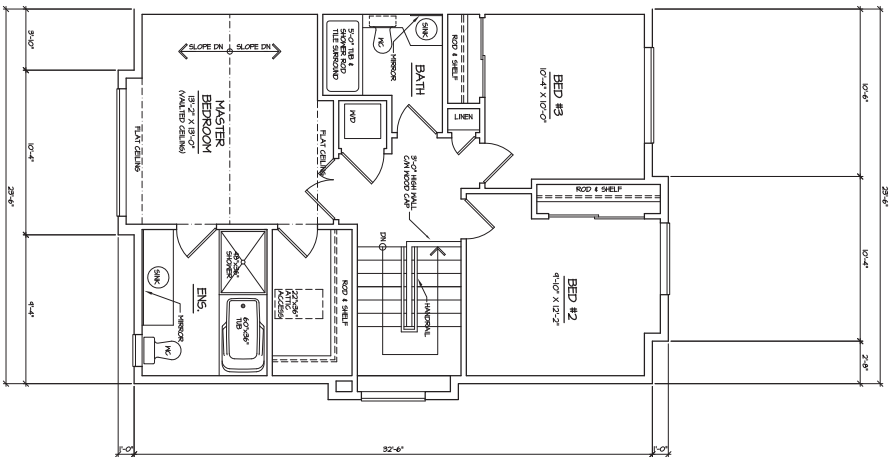
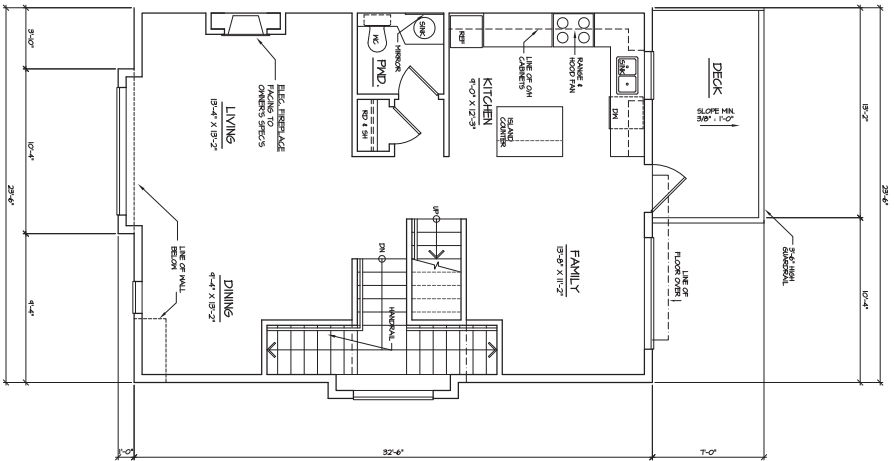
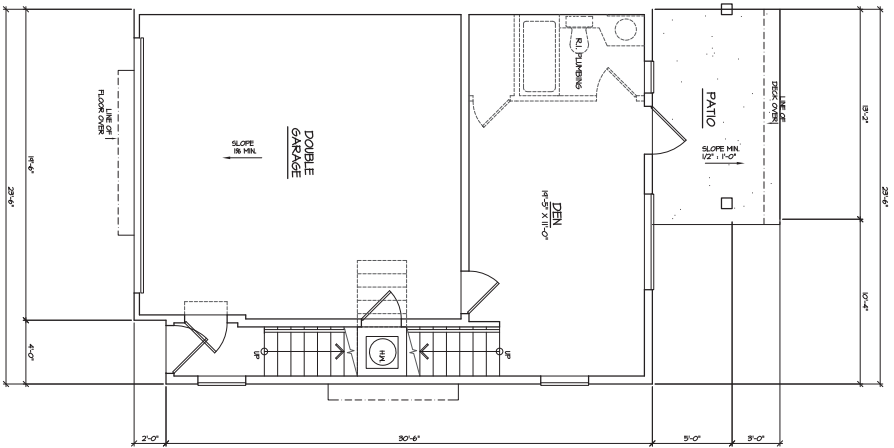
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

CLIENT : PARKSIDE HOLDINGS INC.
 PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
 6915, 6931 & 6951, 142ND STREET, SURREY
 SHEET CONTENTS :
 UNIT PLANS
 UNIT TYPE 'A1'

DESIGN : H.D.
 DRAWN :
 DATE : June 16 11
 SCALE : 1/4" = 1'-0"
 Dornett denbek
 2150 135th Street
 Surrey, BC V4A 4L1
 TEL: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@dornettk.com

UNIT 135,
 2150 135th Street,
 Surrey, BC V4A 4L1
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@dornettk.com
 Dornett denbek
 2150 135th Street
 Surrey, BC V4A 4L1
 TEL: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@dornettk.com

PROJECT NO. A-2.2
 REV. NO. 10016



UNIT TYPE 'A2'
 1065 SF.

CLIENT : PARKSIDE HOLDINGS INC. PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY SHEET CONTENTS : UNIT PLANS UNIT TYPE 'A2'		DESIGN : H.D. DRAWN : H.D. DATE : June 16 11 SCALE : 1/4" = 1'-0"	REVISIONS: <table border="1"> <thead> <tr> <th>REV#</th> <th>DATE</th> <th>DRN</th> <th>CRD</th> <th>ISSUE</th> <th>DATE</th> <th>BY</th> <th>ISSUED FOR</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR																																																																																
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR																																																																																				

Dornett dembek
 UNIT 135,
 2150 STREET,
 VAN TRU
 V6W 1T8

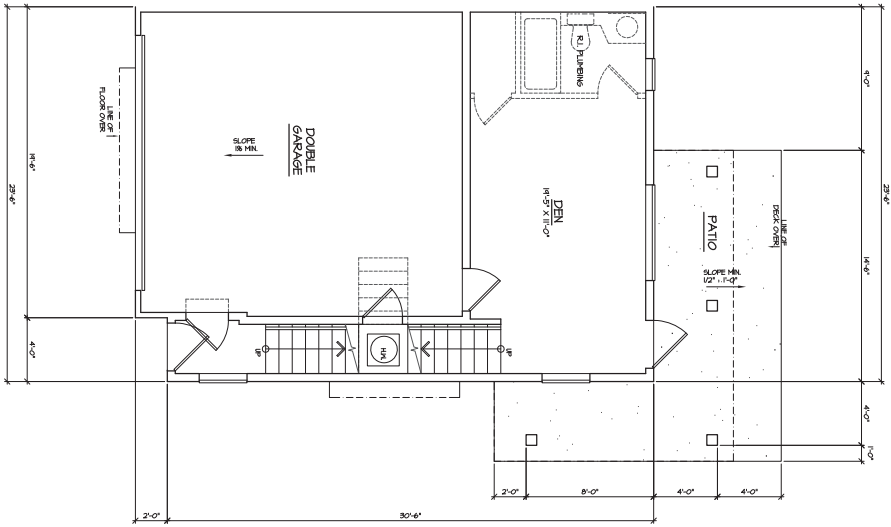
PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@dornettdembek.com

CLIENT NO. A-23
 PROJECT NO. 10016

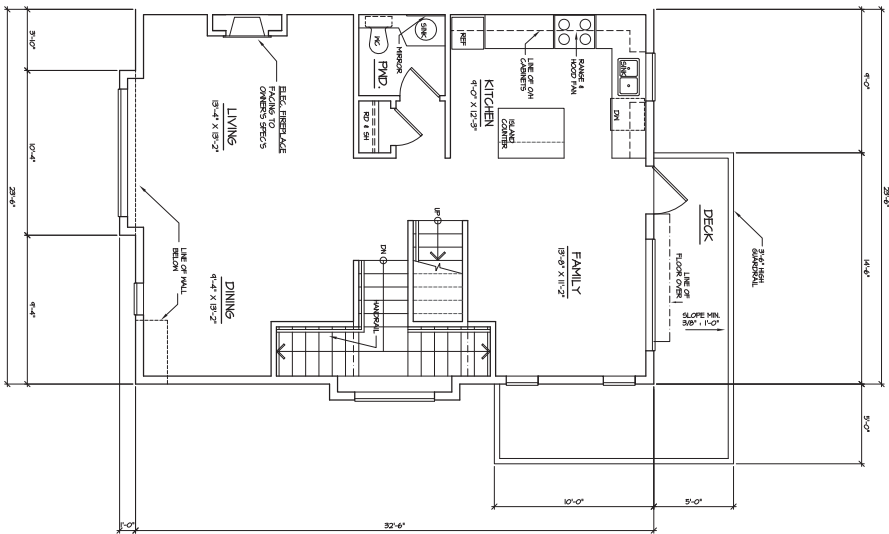
DISCLAIMER: ALL RIGHTS AND THE
 INFORMATION CONTAINED HEREIN IS
 THE PROPERTY OF DORNETT DEMBEK
 AND IS NOT TO BE REPRODUCED OR
 TRANSMITTED IN ANY FORM OR BY
 ANY MEANS, ELECTRONIC OR MECHANICAL,
 INCLUDING PHOTOCOPYING, RECORDING,
 OR BY ANY INFORMATION STORAGE AND
 RETRIEVAL SYSTEM, WITHOUT THE
 WRITTEN PERMISSION OF DORNETT
 DEMBEK. CONSULT ANY COMPETITION
 BEFORE USING THIS INFORMATION.
 CANADA (PROVINCE) ACT R.S.C. 1970.

BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

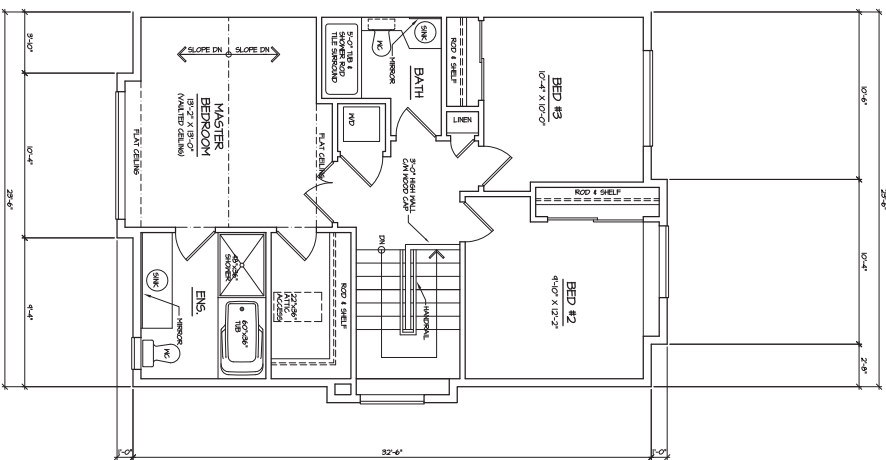
BASEMENT
FOYER
GARAGE



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



UNIT TYPE 'A3'
1965 SF.

DESIGN NO.	PROJECT NO.
DATE	REV. NO.
SCALE	UNIT NO.
1/4" = 1'-0"	A-24
	REV. NO.
	10016

UNIT 135,
7825 130 STREET,
SURREY, BC V4N 1B8
VIEW T18

Dornett dembek

CLIENT :	PARKSIDE HOLDINGS INC.
PROJECT :	"HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :	UNIT PLANS UNIT TYPE 'A3'

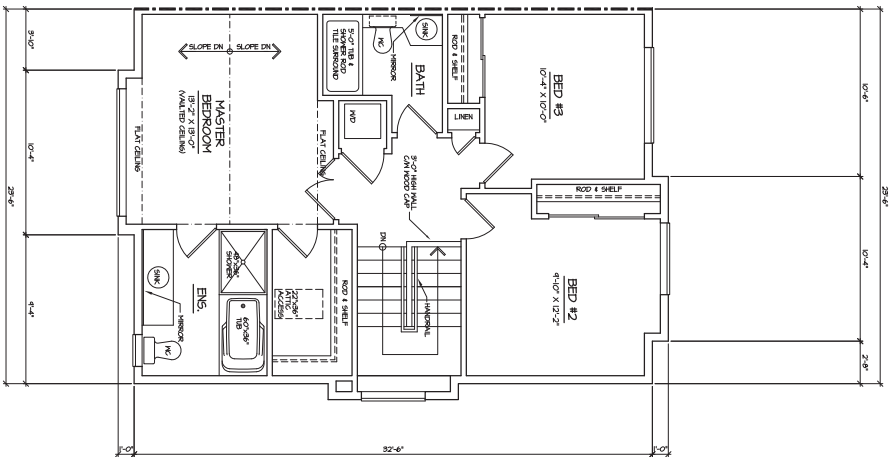
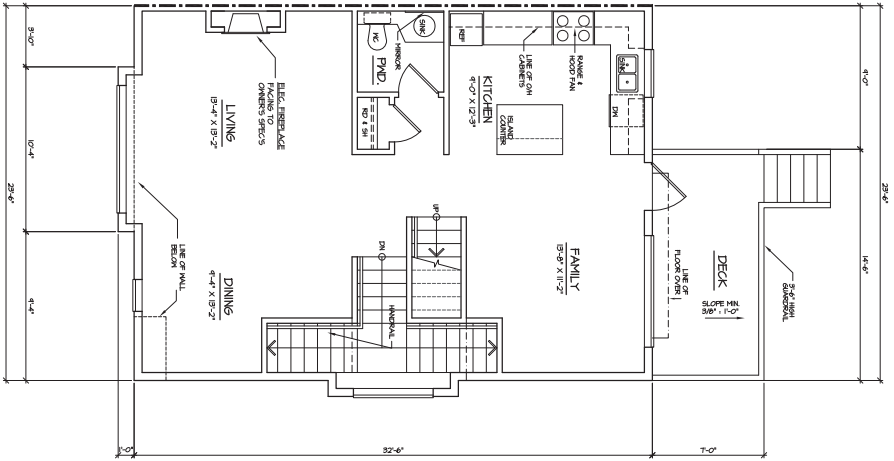
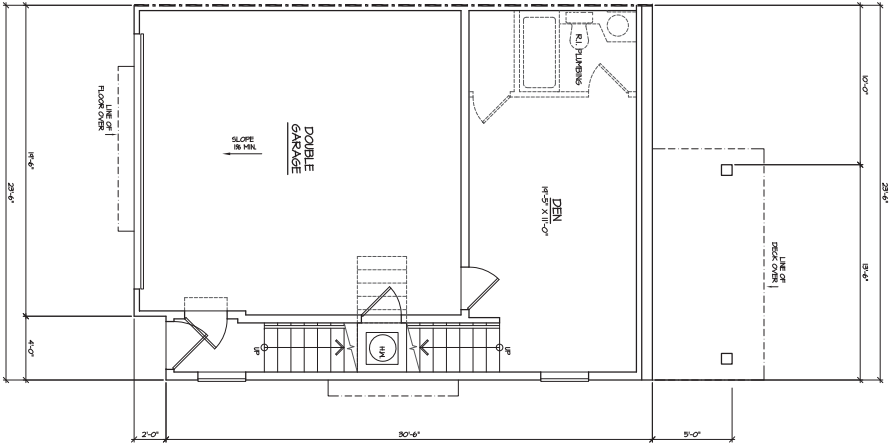
DESIGN :	M.D.
DRAWN :	
DATE :	June 16 11
SCALE :	1/4" = 1'-0"

DATE

REV#	DATE	DRN	CRD

ISSUE	DATE	BY	ISSUED FOR

DISCLAIMER: ALL DRAWINGS AND THE INFORMATION CONTAINED THEREIN ARE THE PROPERTY OF DORNETT DEMBEK INC. AND SHALL BE USED ONLY FOR THE PROJECT AND UNIT IDENTIFIED THEREIN. NO OTHER REPRODUCTION OR TRANSMISSION IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF DORNETT DEMBEK INC. THIS DRAWING AND INFORMATION IS TO BE USED ONLY IN CONNECTION WITH THE PROJECT IDENTIFIED THEREIN. (CIVIL ENGINEER REG. NO. 12530)

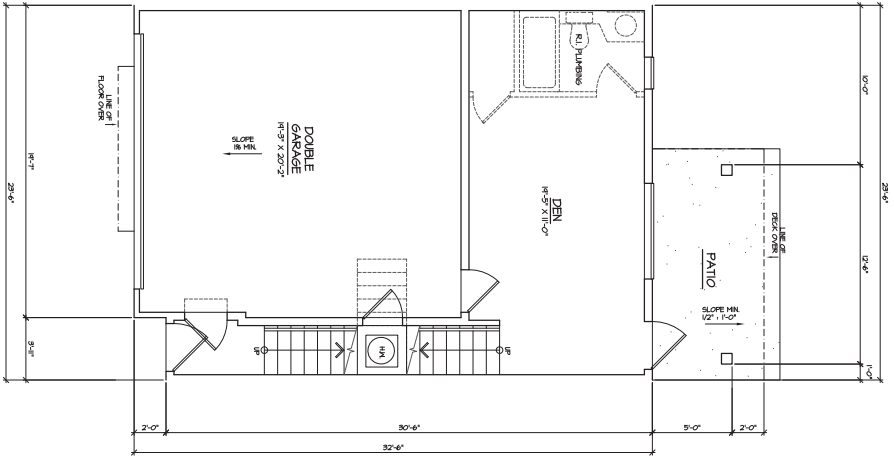


UNIT TYPE 'A4'
 1891 SF.

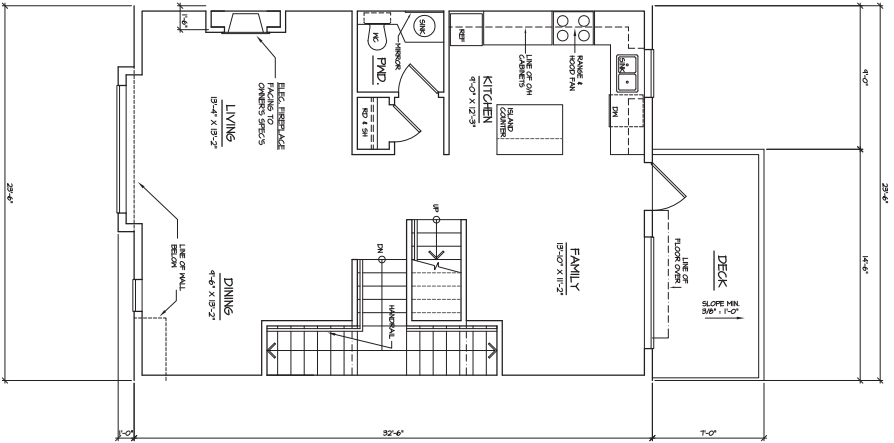
DESIGN : H.D.	CLIENT : PARKSIDE HOLDINGS INC.	REVISIONS	ISSUE	DATE	BY	ISSUED FOR
DRAWN :	PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY	DATE : June 16 11				
SCALE : 1/4" = 1'-0"	SHEET CONTENTS : UNIT PLANS UNIT TYPE 'A4'					
<p>DISCLAIMER: ALL RIGHTS AND THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF DORNETT DEMBEK INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DORNETT DEMBEK INC. THIS DOCUMENT IS THE PROPERTY OF DORNETT DEMBEK INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DORNETT DEMBEK INC. (REV. 01/06)</p>						

Dornett dembek
 UNIT 135,
 2150 130 STREET,
 SURREY, BC V4A 4L1
 TEL: 604-597-7100
 FAX: 604-597-2099
 EMAIL: info@dornett.com

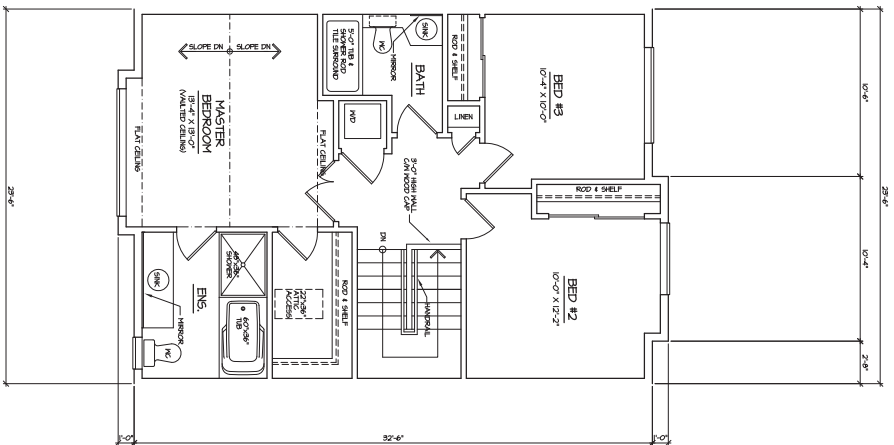
PROJECT NO. A-25
 REV. NO. 10016



BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 BAGMENT 277 SF.
 FOTER 30 SF.
 GARAGE 450 SF.



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 714 SF.



UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 704 SF.

UNIT TYPE 'B'
 1965 SF.

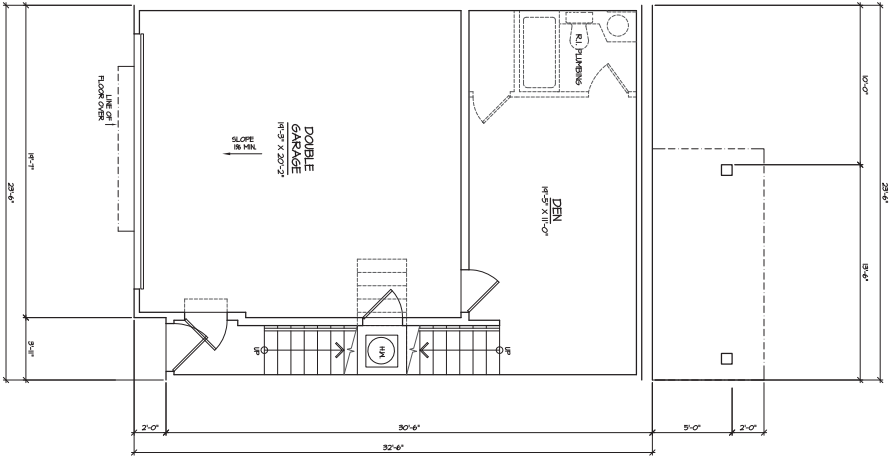
UNIT NO.	135
STREET NO.	230
STREET NAME	VIEW
VIEW NO.	118
PHONE:	(604) 597-7100
FAX:	(604) 597-2099
EMAIL:	mail@dnrtek.com
CLIENT NO.	A-210
PROJECT NO.	10016

CLIENT :	PARKSIDE HOLDINGS INC.
PROJECT :	"HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :	UNIT PLANS UNIT TYPE 'B'
DESIGN :	H.D.
DRAWN :	
DATE :	June 16 11
SCALE :	1/4" = 1'-0"

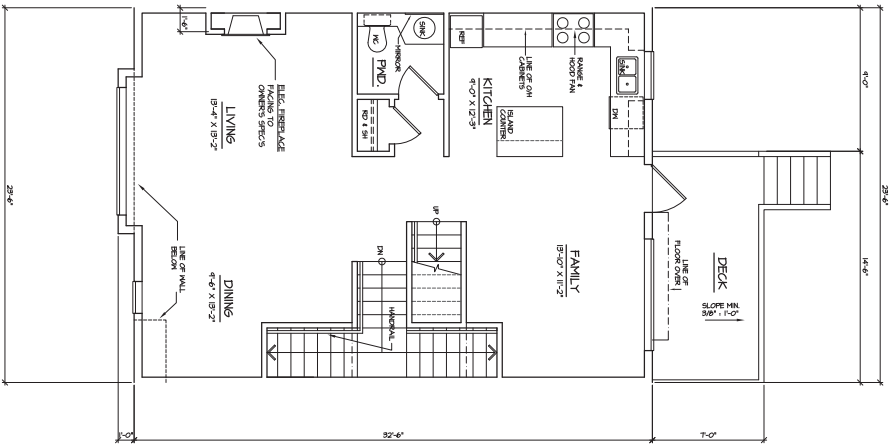
REVISIONS

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

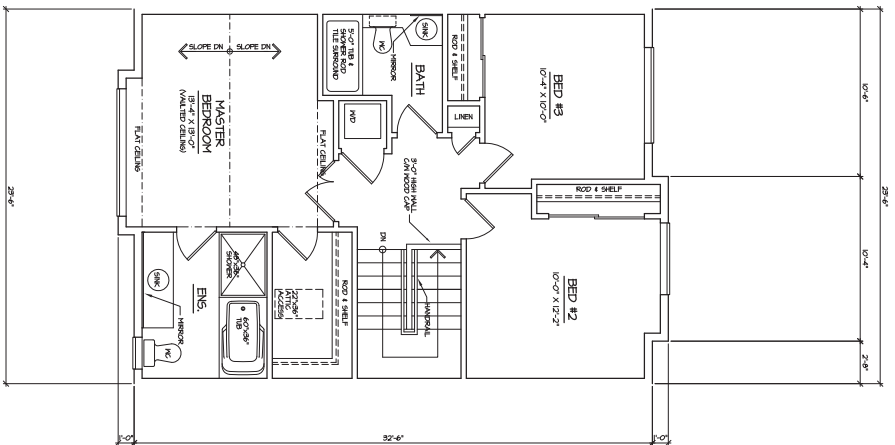
AGREEMENT, ALL RIGHTS AND THE
 UNITS TO BE CONSTRUCTED IN ACCORDANCE WITH THE
 PLAN AND SPECIFICATIONS AND THE
 CONTRACT DOCUMENTS AND THE
 BUILDING REGULATIONS AND THE
 NATIONAL BUILDING CODE OF CANADA
 AND THE NATIONAL PLUMBING
 CODE, CANADA AND COMMISSION
 CANADA (CPM) ACT R.S.C. 1985.



BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 BAGMENT 277 SF.
 FOTER 30 SF.
 GARAGE 450 SF.



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 714 SF.



UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 704 SF.

UNIT TYPE 'B1'
 1965 SF.

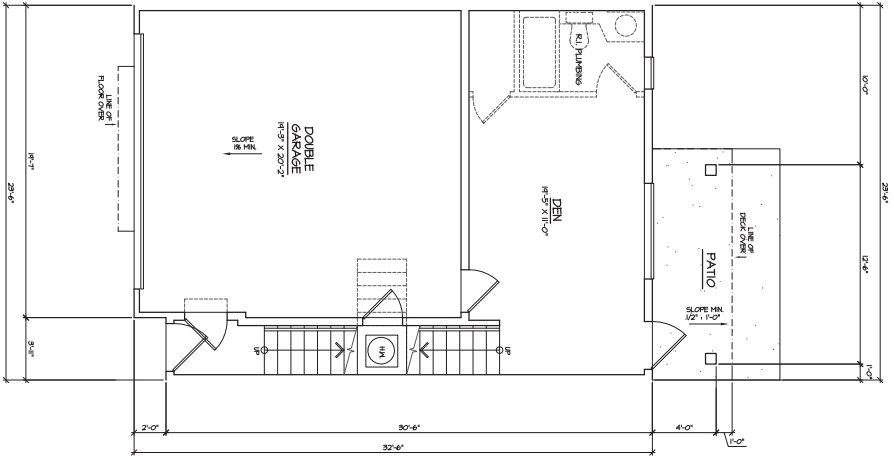
AGREEMENT, ALL RIGHTS AND THE
 NORTH END PROJECT, "UNIT TYPE B1"
 PROJECT, 6915, 6931 & 6951, 142ND STREET, SURREY
 2011. ALL RIGHTS RESERVED. NO PART
 OF THIS DOCUMENT MAY BE REPRODUCED
 OR TRANSMITTED IN ANY FORM OR BY
 ANY MEANS, ELECTRONIC OR MECHANICAL,
 INCLUDING PHOTOCOPYING, RECORDING,
 OR BY ANY INFORMATION STORAGE AND
 RETRIEVAL SYSTEM, WITHOUT THE
 WRITTEN PERMISSION OF DORNETT
 DEMBEK ARCHITECTS INC. (P. 01/10)

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

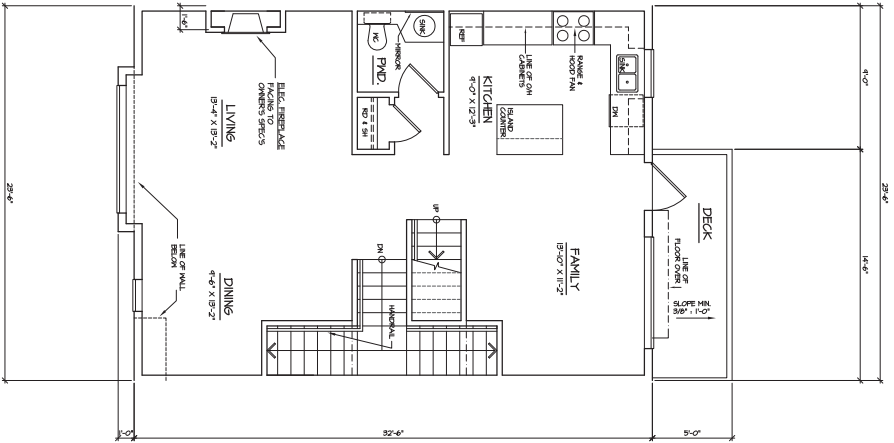
CLIENT : PARKSIDE HOLDINGS INC.
 PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
 6915, 6931 & 6951, 142ND STREET, SURREY
 SHEET CONTENTS :
 UNIT PLANS
 UNIT TYPE 'B1'

DESIGN : H.D.
 DRAWN :
 DATE : June 16 11
 SCALE : 1/4" = 1'-0"
 Dornett dembek

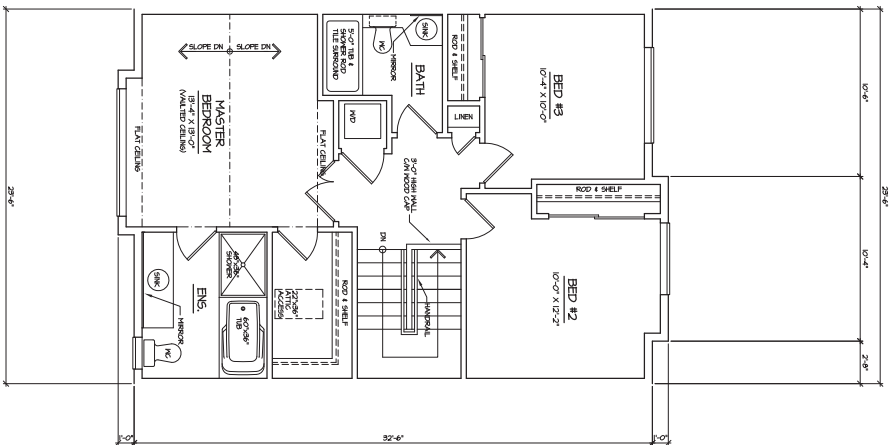
UNIT 135,
 2150 130 STREET,
 SURREY, BC V3W 7H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@dornettdembek.com
 Dornett dembek
 PROJECT NO. A-2.1
 REV. NO. 10016



BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 BAGMENT 277 S.F.
 FOTER 30 S.F.
 GARAGE 450 S.F.



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 714 S.F.



UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 704 S.F.

UNIT TYPE 'B2'
 1065 S.F.

AGREEMENT, ALL RIGHTS AND THE
 NORTH END PROJECT, "UNIT TYPE B2"
 PROJECT, 6915, 6931 & 6951, 142ND STREET, SURREY
 BRITISH COLUMBIA, CANADA
 THIS DOCUMENT IS THE PROPERTY OF
 DORNETT DENBEK ARCHITECTS INC. AND SHALL
 REMAIN THE PROPERTY OF DORNETT DENBEK
 ARCHITECTS INC. UNLESS OTHERWISE
 STATED. NO PART OF THIS DOCUMENT
 SHALL BE REPRODUCED OR TRANSMITTED
 IN ANY FORM OR BY ANY MEANS,
 ELECTRONIC OR MECHANICAL, WITHOUT
 PERMISSION IN WRITING FROM DORNETT
 DENBEK ARCHITECTS INC. © 2016

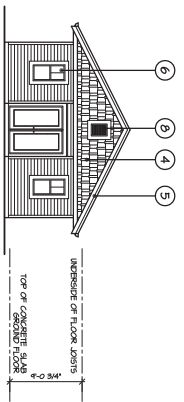
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

DESIGN : H.D.
 DRAWN :
 DATE : June 16 11
 SCALE : 1/4" = 1'-0"

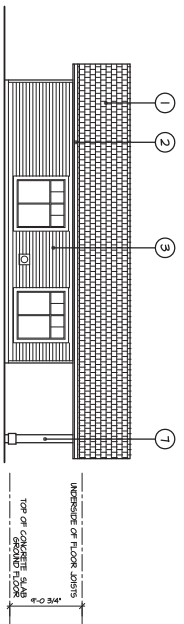
CLIENT : PARKSIDE HOLDINGS INC.
 PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
 6915, 6931 & 6951, 142ND STREET, SURREY
 SHEET CONTENTS :
 UNIT PLANS
 UNIT TYPE 'B2'

Dornett denbek
 UNIT 135,
 2150 STREET,
 SURREY, BC
 V3W 7H8

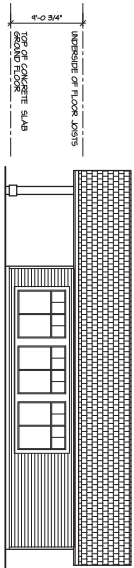
PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@dornettdenk.com
 PROJECT NO. A-29
 REV. NO. 10016



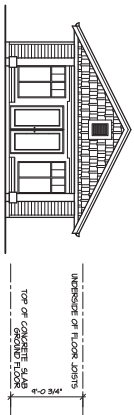
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



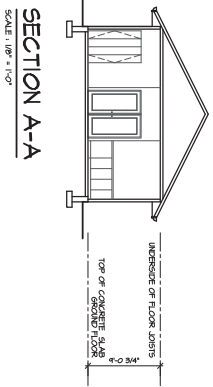
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



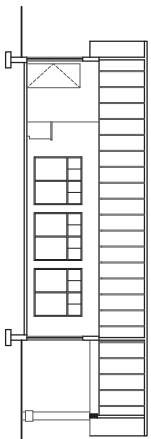
REAR ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

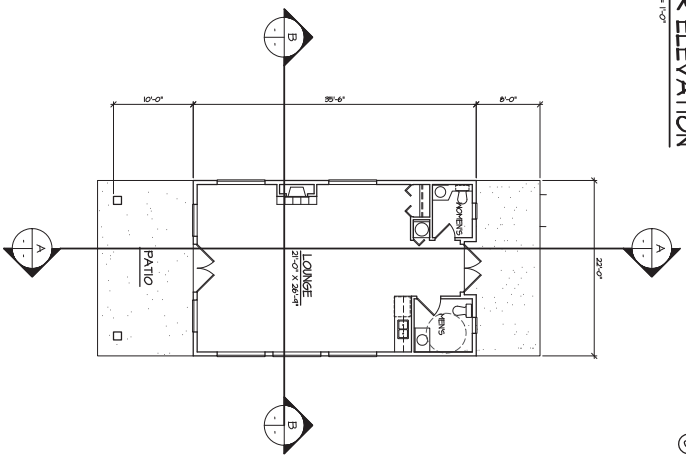
- ① ASPHALT SHINGLES
- ② PRE-FINISHED ALUMINUM GUTTER ON 2" X 6" WOOD FASCIA
- ③ HORIZONTAL VINYL SIDING
- ④ VINYL SHINGLE SIDING
- ⑤ 1" X 4" WOOD TRIM ON 2" X 10" WOOD FASCIA
- ⑥ VINYL WINDOWS, C/M
- ⑦ BUILT UP WOOD COLUMN
- ⑧ 1/8" X 2 1/4" VINYL GABLE VENT C/M | 1 X 6 WOOD TRIM



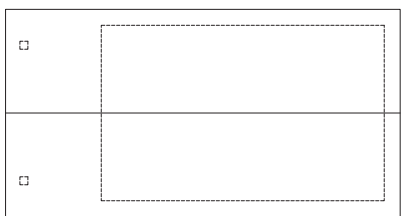
SECTION A-A
SCALE: 1/8" = 1'-0"



SECTION B-B
SCALE: 1/8" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"
781 SF.



ROOF PLAN
SCALE: 1/8" = 1'-0"

AMENITY BUILDING

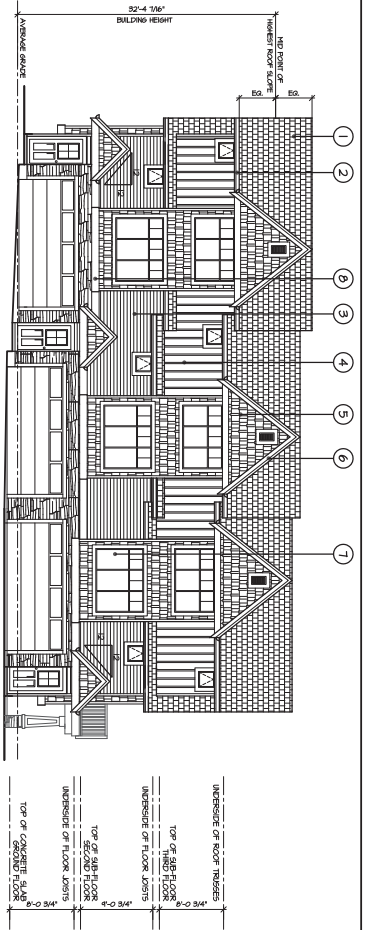
FOR THE PROJECT: "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS:
AMENITY BUILDING

REV#	DATE	DRN	CR'D	ISSUE	DATE	BY	ISSUED FOR

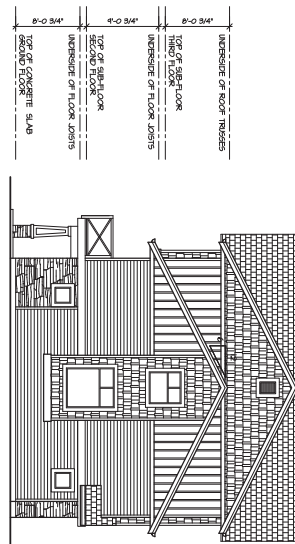
DESIGN : H.D.
DRAWN :
DATE : June 17 11
SCALE : 1/8" = 1'-0"

CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS : AMENITY BUILDING

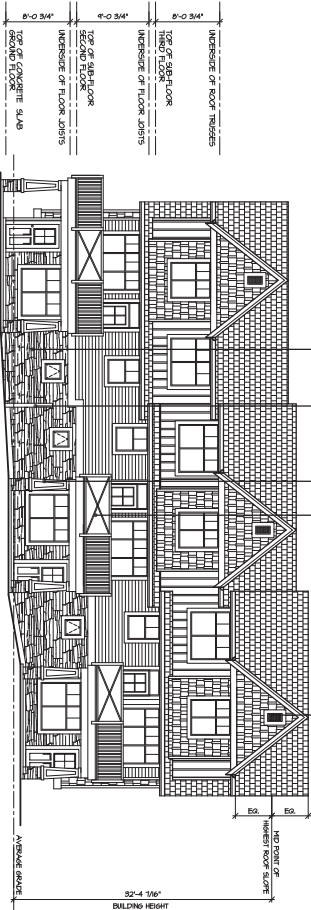
Dornett dembek
UNIT 135,
2155 130 STREET,
VAN TRU
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@dornettdembek.com
PROJECT NO. A-219
REV. NO.



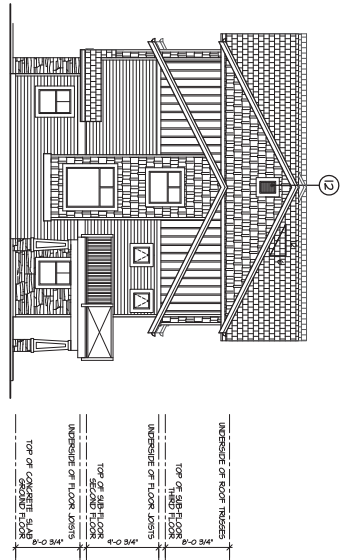
WEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- 1 ASPHALT SHINGLES
- 2 PRE-FINISHED ALUMINUM GUTTER ON 2 X 8 WOOD FASCIA
- 3 HORIZONTAL VINYL SIDING
- 4 VINYL VERTICAL BOARD AND BATTEN SIDING
- 5 VINYL SHINGLE SIDING
- 6 1 X 4 WOOD TRIM ON 2 X 6 WOOD FASCIA
- 7 VINYL WINDOWS C/M
- 8 2 X 12 WOOD TRIM
- 9 PRIVACY SCREEN
- 10 BUILT UP WOOD COLUMN
- 11 ALUMINUM SAILING
- 12 1 1/2" X 2 1/4" VINYL GABLE VENT C/M
- 13 12" X 1 1/2" VINYL GABLE VENT C/M
- 14 CULTURED STONE

BUILDING # 1

FOR THE ARCHITECT: ALL RIGHTS ARE RESERVED. THIS DOCUMENT IS THE PROPERTY OF BARNETT DEMBEK ARCHITECTS INC. AND SHALL REMAIN THE PROPERTY OF BARNETT DEMBEK ARCHITECTS INC. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BARNETT DEMBEK ARCHITECTS INC. IS PROHIBITED.

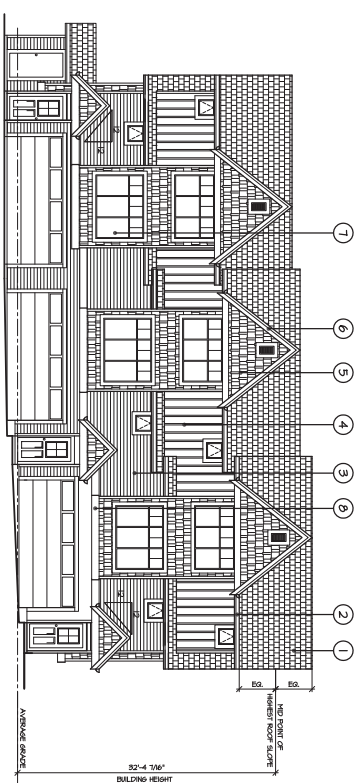
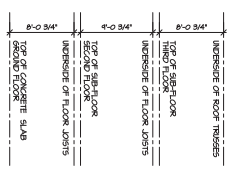
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

DESIGN : M.D.
DRAWN :
DATE : June 08
SCALE : 1/8" = 1'-0"

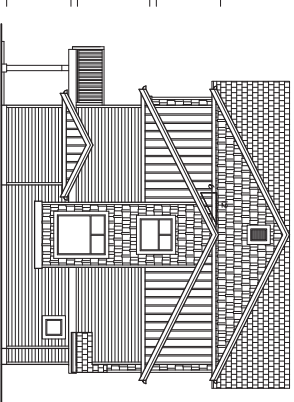
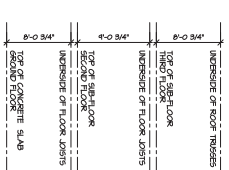
CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS : BUILDING ELEVATIONS

Barnett dembek
UNIT 135, 600 STREET
SURREY, BC V3R 5G1
VIEW 718
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@barnett.com

CLIENT NO. AC-31
PROJECT NO. 10016
REV. NO.

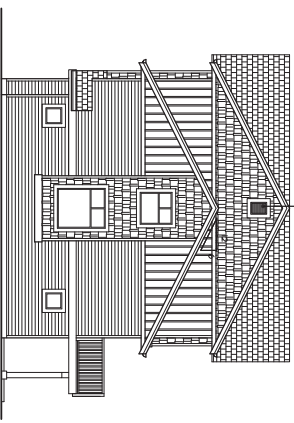


EAST ELEVATION
SCALE: 1/8" = 1'-0"

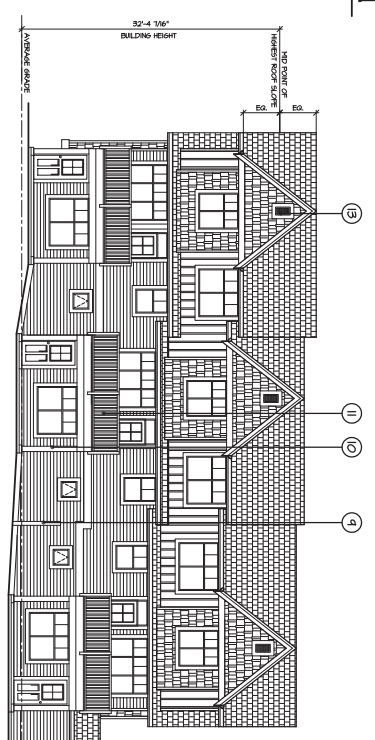
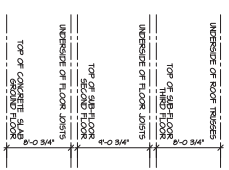


SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

- SCHEDULE OF FINISHES**
- ① ASPHALT SHINGLES
 - ② FREE-FINISHED ALUMINUM GUTTER ON 2 X 8 WOOD FASCIA
 - ③ HORIZONTAL VINYL SIDING
 - ④ VINYL VERTICAL BOARD AND BATTEN SIDING
 - ⑤ VINYL SHINGLE SIDING
 - ⑥ 1 X 4 WOOD TRIM ON 2 X 6 WOOD FASCIA
 - ⑦ VINYL WINDOWS C/M 1 X 6 WOOD TRIM
 - ⑧ 2 X 12 WOOD TRIM
 - ⑨ PRIVACY SCREEN
 - ⑩ BUILT UP WOOD COLUMN
 - ⑪ ALUMINUM SAILING
 - ⑫ 1 1/2" X 2 1/4" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM
 - ⑬ 12" X 1 1/2" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING # 2

AGREEMENT: ALL RIGHTS AND THE...
 PROJECT: "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
 6415, 6431 & 6451, 142ND STREET, SURREY

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

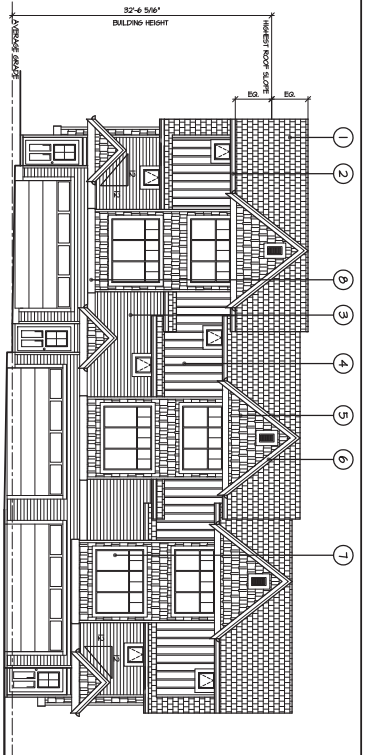
CLIENT :	PARKSIDE HOLDINGS INC.
PROJECT :	"HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :	BUILDING ELEVATIONS
DESIGN :	M.D.
DRAWN :	
DATE :	June 01 11
SCALE :	1/8" = 1'-0"

dornett dembek

UNIT 135,
 7258 130 STREET,
 VAN TRU
 V1W 7H8 B.C.

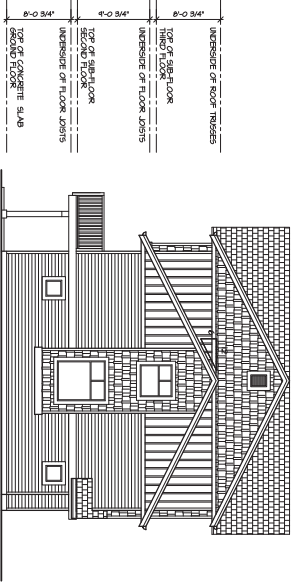
PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@dornettdem.com

CLIENT NO. AC-32
 PROJECT NO. 10016
 REV. NO.

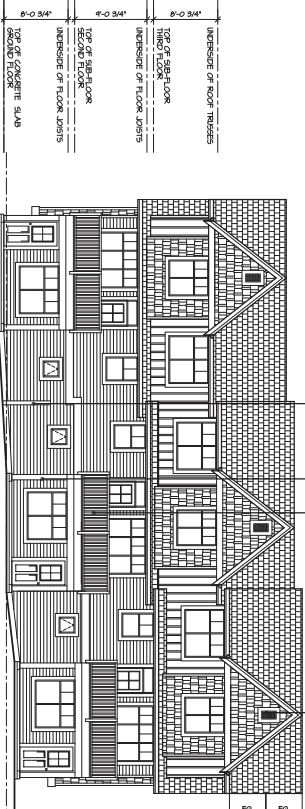


WEST ELEVATION
SCALE: 1/8" = 1'-0"

SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



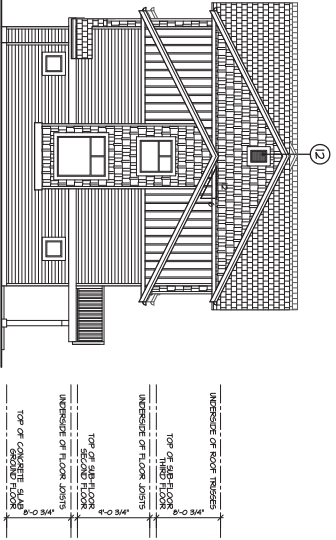
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① ASPHALT SHINGLES
- ② FREE-FINISHED ALUMINUM GUTTER ON 2 X 8 WOOD FASCIA
- ③ HORIZONTAL VINYL SIDING
- ④ VINYL VERTICAL BOARD AND BATTEN SIDING
- ⑤ VINYL SHINGLE SIDING
- ⑥ 1 X 4 WOOD TRIM ON 2 X 6 WOOD FASCIA
- ⑦ VINYL WINDOWS C/M
- ⑧ 2 X 12 WOOD TRIM
- ⑨ PRIVACY SCREEN
- ⑩ BUILT UP WOOD COLUMN
- ⑪ ALUMINUM RAILING
- ⑫ 1 1/2" X 2 1/4" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM
- ⑬ 12" X 1 1/2" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING # 3

dornett dembek
UNIT 135,
7356 130 STREET,
VANCOUVER, BC
V6P 4C9
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@dornettdembek.com

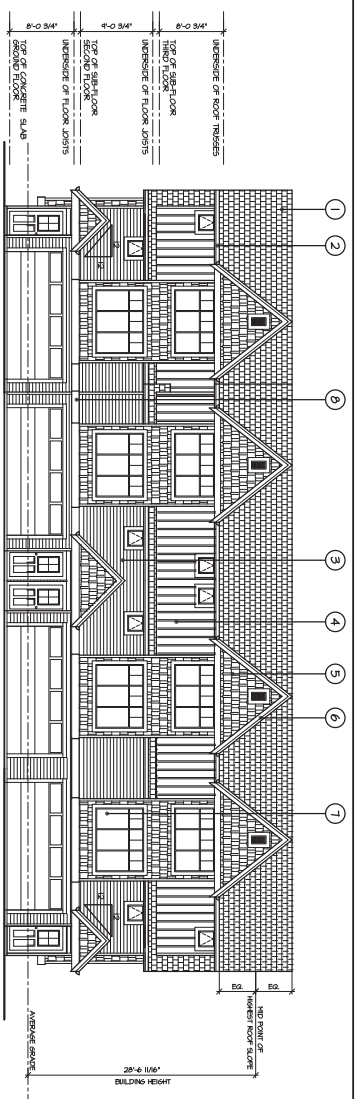
CLIENT: PARKSIDE HOLDINGS INC.
PROJECT: "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS: BUILDING ELEVATIONS

REVN	DATE	DRN	CRD

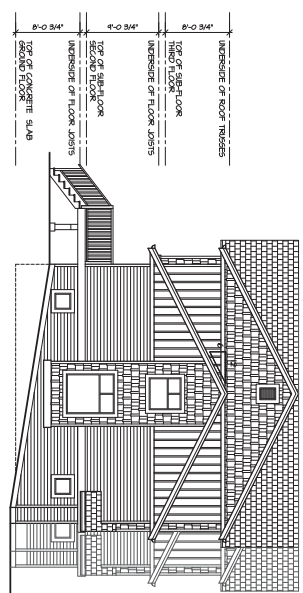
ISSUE	DATE	BY	ISSUED FOR

DESIGN: M.D.
DRAWN: June 011
DATE: June 011
SCALE: 1/8" = 1'-0"
PROJECT NO: 10016
SHEET NO: AC-33
REV. NO:

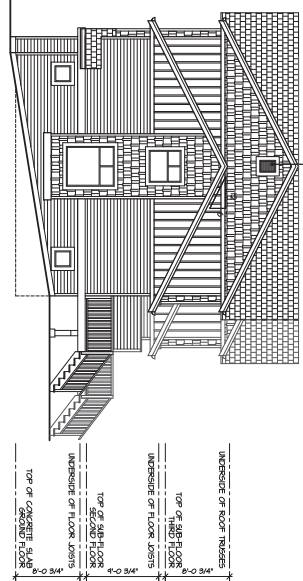
DISCLAIMER: ALL SKETCHES AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF DORNETT DEMBEK INC. AND SHALL REMAIN THE PROPERTY OF DORNETT DEMBEK INC. EVEN IF THEY ARE LOANED TO ANY OTHER PARTY. THIS INFORMATION IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DORNETT DEMBEK INC. CANADA (P) 2009, INC. B.C. 1978.



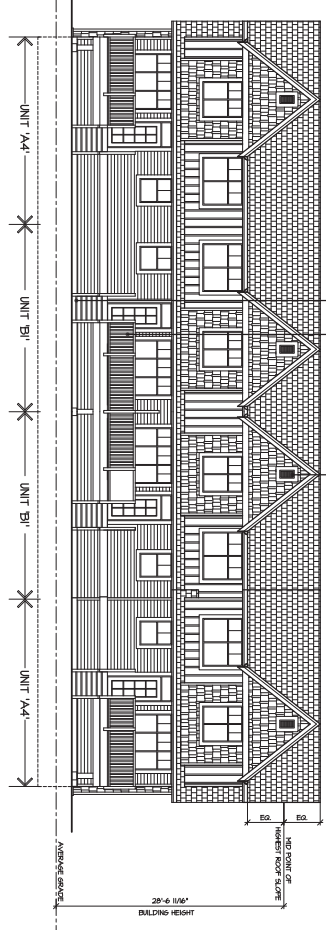
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① ASPHALT SHINGLES
- ② PRE-FINISHED ALUMINUM GUTTER ON 2 X 8 WOOD FASCIA
- ③ HORIZONTAL VINYL SIDING
- ④ VINYL VERTICAL BOARD AND BATTEN SIDING
- ⑤ VINYL SHINGLE SIDING
- ⑥ 1 X 4 WOOD TRIM ON 2 X 10 WOOD FASCIA
- ⑦ VINYL MINIONS C/M 1 X 6 WOOD TRIM
- ⑧ 2 X 12 WOOD TRIM
- ⑨ PRIVACY SCREEN
- ⑩ BUILT UP WOOD COLUMN
- ⑪ ALUMINUM RAILING
- ⑫ 1/8" X 2 1/2" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM
- ⑬ 1 1/2" X 1/2" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM

BUILDING # 4

UNIT 135,
2758 130 STREET,
VAN TRU
VIEW TRU
8111

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dnrtek.com

CLIENT NO. AC-34
PROJECT NO. 10016

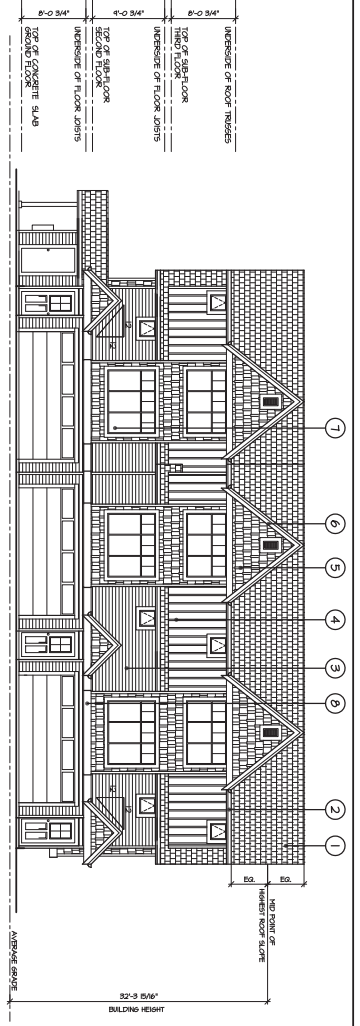
dnrtek dembek

CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS : BUILDING ELEVATIONS

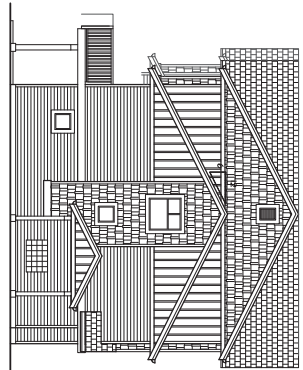
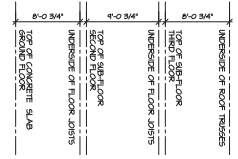
DESIGN : M.D.
DRAWN :
DATE : June 08
SCALE : 1/8" = 1'-0"

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

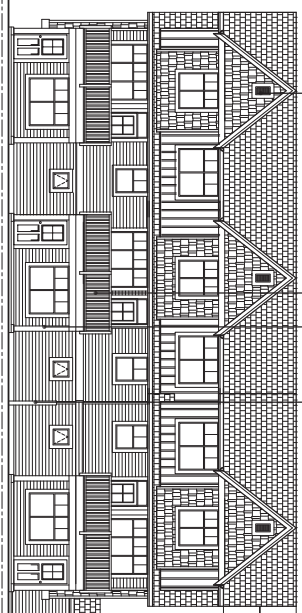
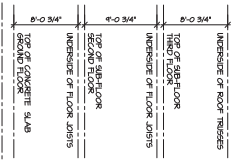
DATE PLOTTED: 2008-06-11 10:00:00 AM
PLOTTER: HP DesignJet 2400C
PLOT DEVICE: HP DesignJet 2400C
PLOT SCALE: 1/8" = 1'-0"
PLOT SHEET: 10016.dwg
PLOT SHEET NO.: 10016.dwg
PLOT SHEET TOTAL: 10016.dwg



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

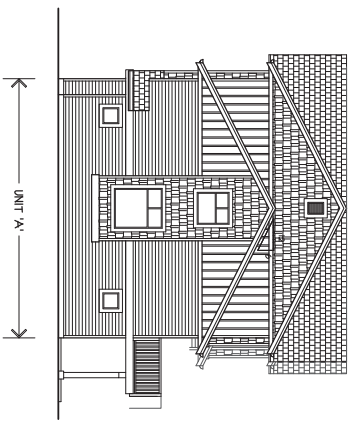


EAST ELEVATION
SCALE: 1/8" = 1'-0"

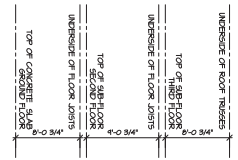


SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

- SCHEDULE OF FINISHES**
- ① ASPHALT SHINGLES
 - ② PRE-FINISHED ALUMINUM GUTTER ON 2 X 8 WOOD FASCIA
 - ③ HORIZONTAL VINYL SIDING
 - ④ VINYL VERTICAL BOARD AND BATTEN SIDING
 - ⑤ VINYL SHINGLE SIDING
 - ⑥ 1 X 4 WOOD TRIM ON 2 X 8 WOOD FASCIA
 - ⑦ VINYL WINDOWS C/M 1 X 6 WOOD TRIM
 - ⑧ 2 X 12 WOOD TRIM
 - ⑨ PRIVACY SCREEN
 - ⑩ BUILT UP WOOD COLUMN
 - ⑪ ALUMINUM RAILING
 - ⑫ 1 1/2" X 2 1/4" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM
 - ⑬ 12" X 18" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM



WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING # 5

dornett dembek

UNIT 135,
7356 130 STREET,
VANCOUVER, BC
V6P 4R1

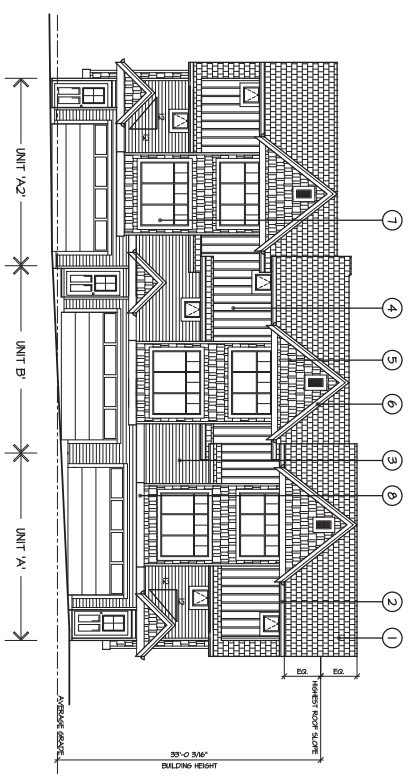
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@dornettdembek.com

CLIENT: PARKSIDE HOLDINGS INC.
PROJECT: "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
SHEET CONTENTS: BUILDING ELEVATIONS

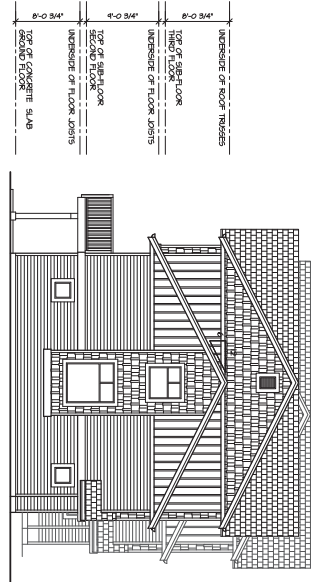
DESIGN: M.D.
DRAWN: DATE: June 01 11
SCALE: 1/8" = 1'-0"

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

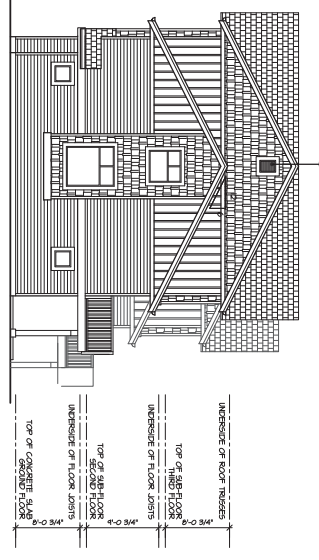
DISCLAIMER: ALL SERVICES AND MATERIALS PROVIDED BY DORNETT DEMBEK ARCHITECTURE INC. ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE PROFESSIONAL FEE SCHEDULE AND THE STANDARD AGREEMENT FOR PROFESSIONAL SERVICES. THIS DOCUMENT IS THE PROPERTY OF DORNETT DEMBEK ARCHITECTURE INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DORNETT DEMBEK ARCHITECTURE INC. © 2011



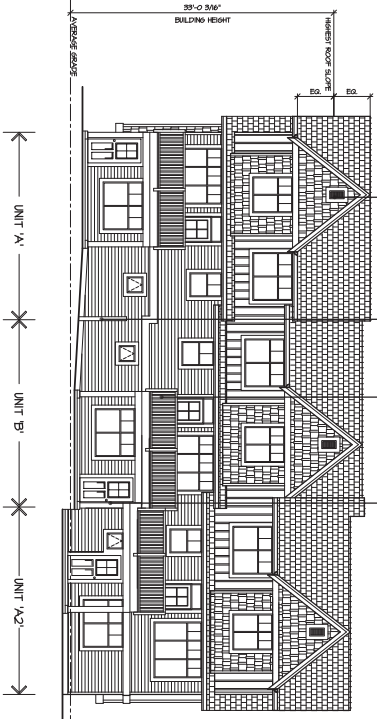
EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① ASPHALT SHINGLES
- ② FREE-FINISHED ALUMINUM GUTTER ON 2 X 8 WOOD FASCIA
- ③ HORIZONTAL VINYL SIDING
- ④ VINYL VERTICAL BOARD AND BATTEN SIDING
- ⑤ VINYL SHINGLE SIDING
- ⑥ 1 X 4 WOOD TRIM ON 2 X 4 WOOD FASCIA
- ⑦ VINYL WINDOWS C/M 1 X 6 WOOD TRIM
- ⑧ 2 X 12 WOOD TRIM
- ⑨ PRIVACY SCREEN
- ⑩ BUILT UP WOOD COLUMN
- ⑪ ALUMINUM RAILING
- ⑫ 1 1/2" X 2 1/4" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM
- ⑬ 12" X 1 1/2" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM

BUILDING # 6

dornett dembek
UNIT 135,
2156 130 STREET
VAN TRU
VAN TRU

CLIENT: PARKSIDE HOLDINGS INC.
PROJECT: "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS: BUILDING ELEVATIONS

DESIGN: M.D.
DRAWN: DATE: June 0 11
SCALE: 1/8" = 1'-0"

CLIENT NO. AC-36
PROJECT NO. 10016

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@dornettdembek.com

REVISIONS
REV# DATE DRN CRD

ISSUE DATE BY ISSUED FOR

DATE: June 0 11
SCALE: 1/8" = 1'-0"

CLIENT NO. AC-36
PROJECT NO. 10016

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@dornettdembek.com

REVISIONS
REV# DATE DRN CRD

ISSUE DATE BY ISSUED FOR

DATE: June 0 11
SCALE: 1/8" = 1'-0"

CLIENT NO. AC-36
PROJECT NO. 10016

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@dornettdembek.com

REVISIONS
REV# DATE DRN CRD

ISSUE DATE BY ISSUED FOR

DATE: June 0 11
SCALE: 1/8" = 1'-0"

CLIENT NO. AC-36
PROJECT NO. 10016

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@dornettdembek.com

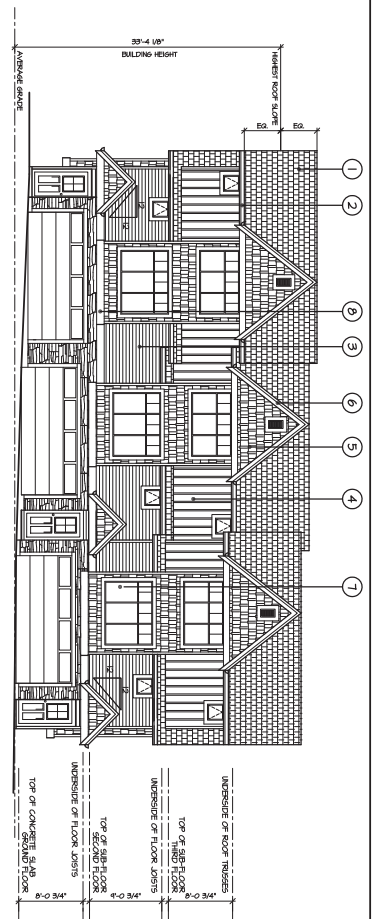
REVISIONS
REV# DATE DRN CRD

ISSUE DATE BY ISSUED FOR

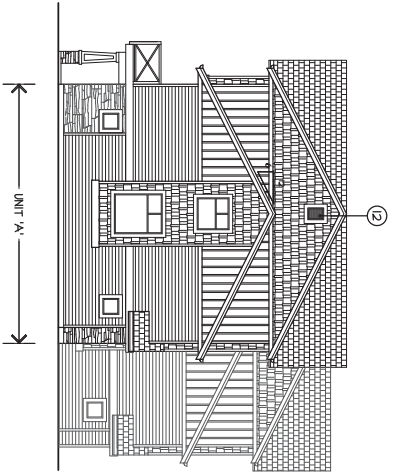
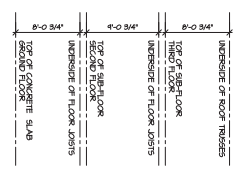
DATE: June 0 11
SCALE: 1/8" = 1'-0"

CLIENT NO. AC-36
PROJECT NO. 10016

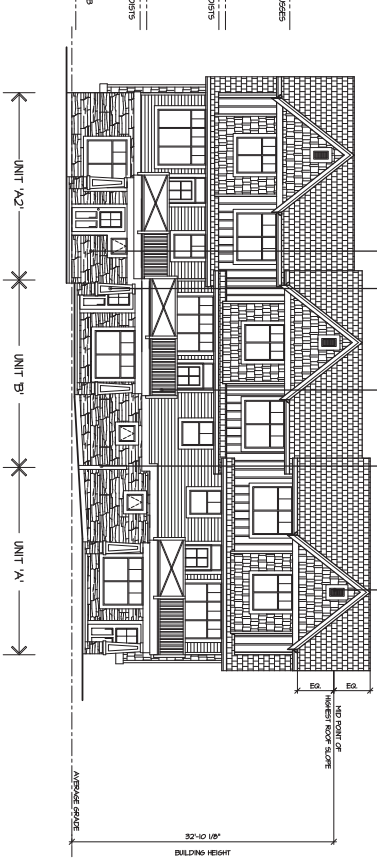
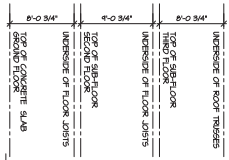
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@dornettdembek.com



WEST ELEVATION
SCALE: 1/8" = 1'-0"

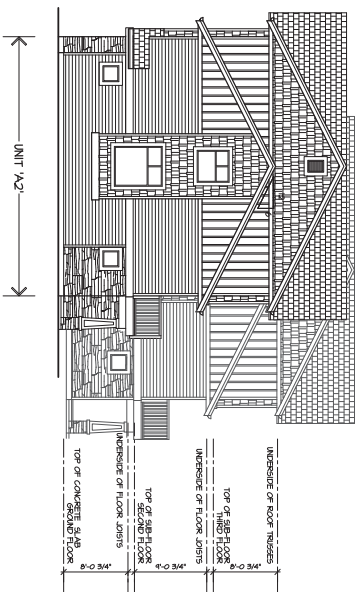


NORTH ELEVATION
SCALE: 1/8" = 1'-0"

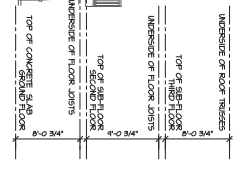


EAST ELEVATION
SCALE: 1/8" = 1'-0"

- SCHEDULE OF FINISHES**
- 1 ASPHALT SHINGLES
 - 2 PRE-FINISHED ALUMINUM GUTTER ON 2 X 6 WOOD FASCIA
 - 3 HORIZONTAL VINYL SIDING
 - 4 VINYL VERTICAL BOARD AND BATTEN SIDING
 - 5 VINYL SHINGLE SIDING
 - 6 1 X 4 WOOD TRIM ON 2 X 10 WOOD FASCIA
 - 7 1 X 6 WOOD TRIM
 - 8 2 X 12 WOOD TRIM
 - 9 PRIVACY SCREEN
 - 10 BUILT UP WOOD COLUMN
 - 11 ALUMINUM RAILING
 - 12 1/2" X 2 1/4" VINYL GABLE VENT
 - 13 1/2" X 1/2" VINYL GABLE VENT
 - 14 CULTURED STONE



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING # 7

FOR INFORMATION ONLY: THIS DOCUMENT IS THE PROPERTY OF BARNETT DENMBEK ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BARNETT DENMBEK ARCHITECTS INC. (C) 2016

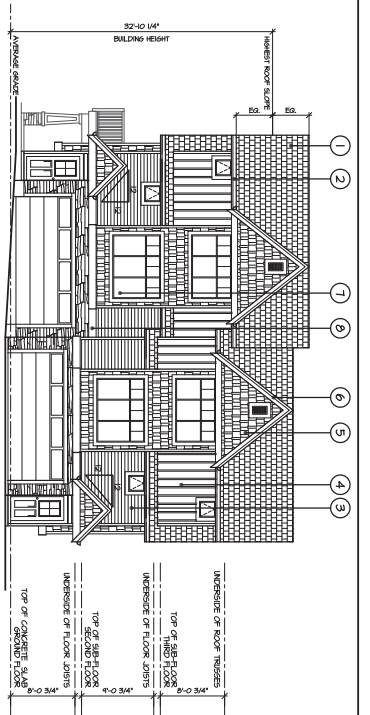
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

DESIGN : M.D.
DRAWN :
DATE : June 8 11
SCALE : 1/8" = 1'-0"

CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS : BUILDING ELEVATIONS

Barnett denmbek
UNIT 135,
2158 130 STREET,
SURREY, BC
V4A 1H8
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@denmbek.com

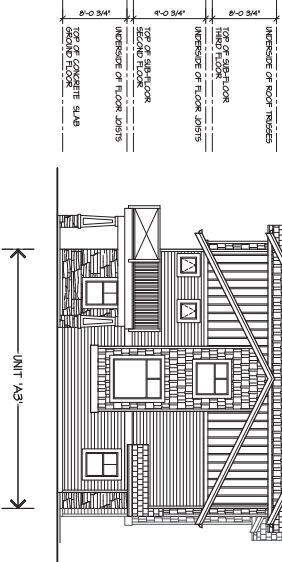
CLIENT NO. AC-3-1
PROJECT NO. 10016
REV. NO.



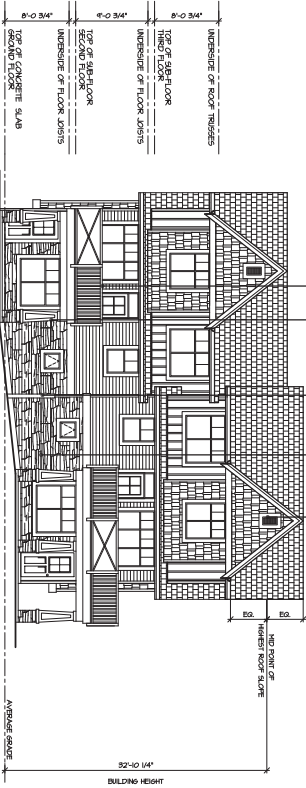
WEST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

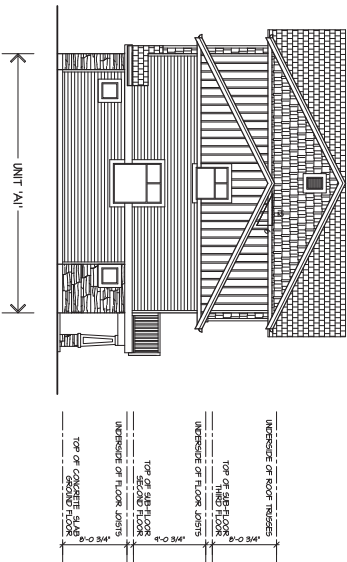
- 1 ASPHALT SHINGLES
- 2 PRE-FINISHED ALUMINUM GUTTER ON 2 X 8 WOOD FASCIA
- 3 HORIZONTAL VINYL SIDING
- 4 VINYL VERTICAL BOARD AND BATTEN SIDING
- 5 VINYL SHINGLE SIDING
- 6 1 X 4 WOOD TRIM ON 2 X 6 WOOD FASCIA
- 7 VINYL WINDOWS C/M
- 8 2 X 12 WOOD TRIM
- 9
- 10 PRIVACY SCREEN
- 11 BUILT UP WOOD COLUMN
- 12 ALUMINUM RAILING
- 13 1 1/2" X 2 1/4" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM
- 14 12" X 1 1/2" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM
- 15 CULTURED STONE



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING # 8

AGREEMENT, ALL RIGHTS ARE RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT AND IS TO BE KEPT IN CONFIDENCE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED HEREIN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED HEREIN.

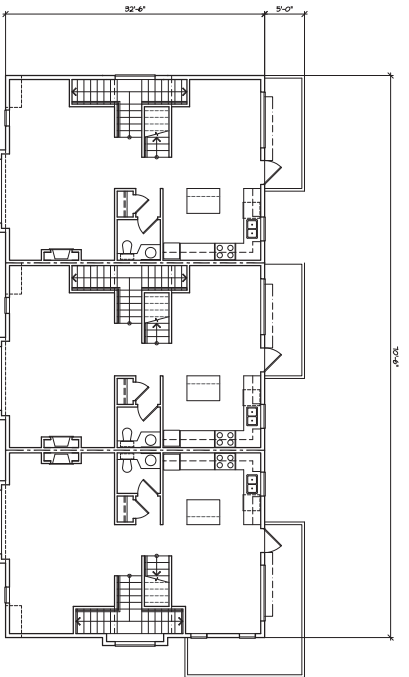
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

CLIENT :	PARKSIDE HOLDINGS INC.
PROJECT :	"HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :	BUILDING ELEVATIONS
DESIGN :	M.D.
DRAWN :	
DATE :	June 08
SCALE :	1/8" = 1'-0"

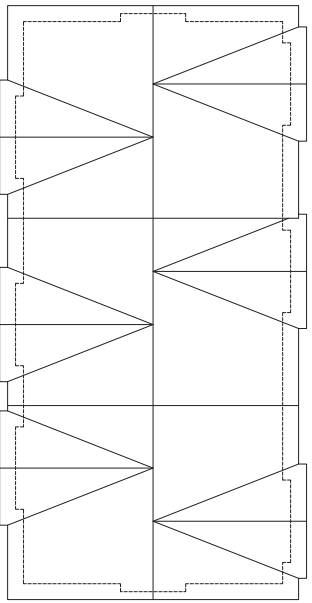
dornett dembek
 UNIT 135,
 7358 130 STREET,
 VAN TRU
 V1W 7H8 BC

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@dornett.com

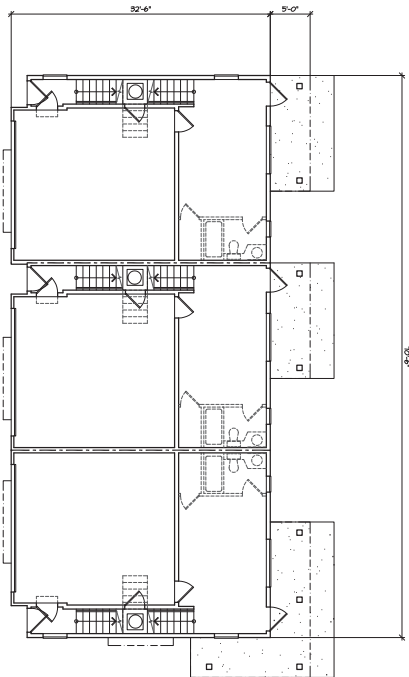
CLIENT NO. AC-3-B
 PROJECT NO. 10016



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 1

GOVERNMENT, ALL RIGHTS ARE RESERVED. THIS DOCUMENT IS THE PROPERTY OF DORNETT DENMBEK ARCHITECTURE INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM DORNETT DENMBEK ARCHITECTURE INC. THIS DOCUMENT IS THE PROPERTY OF DORNETT DENMBEK ARCHITECTURE INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM DORNETT DENMBEK ARCHITECTURE INC.

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

DATE: 2016.06.08

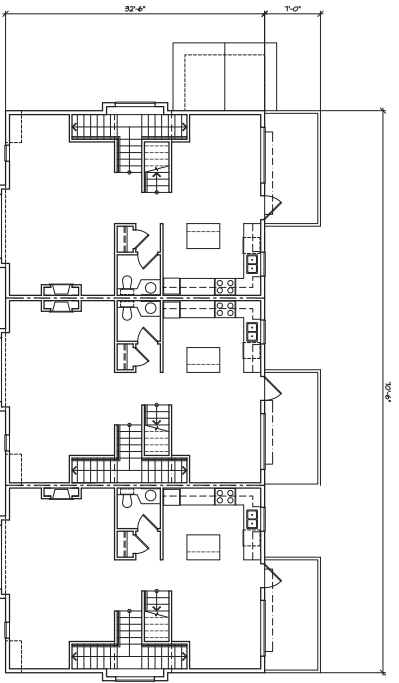
CLIENT : PARKSIDE HOLDINGS INC.
 PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
 6415, 6431 & 6451, 142ND STREET, SURREY
 SHEET CONTENTS :
 FLOOR & ROOF PLANS

DESIGN : M.D.
 DRAWN :
 DATE : June 8 11
 SCALE : 1/8" = 1'-0"

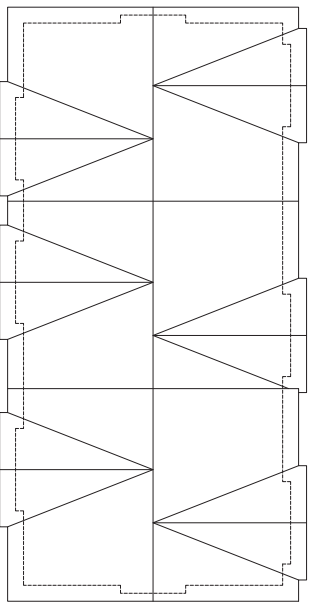
UNIT 135,
 7538 130 STREET,
 SURREY, BC V3W 1T8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@dornettdenmbek.com

Dornett denmbek

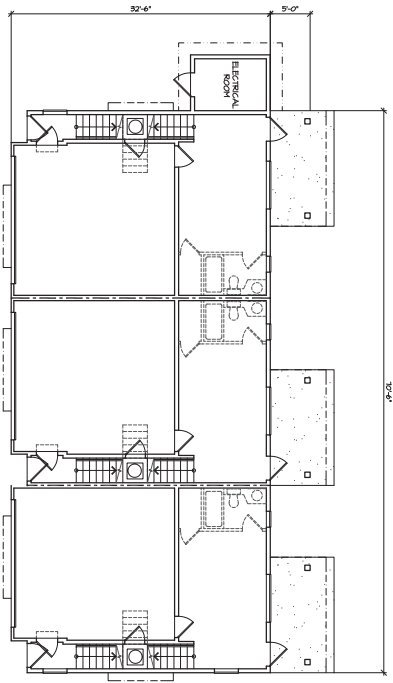
CLIENT NO. AC-41
 PROJECT NO. 10016
 SHEET NO. REV. NO.



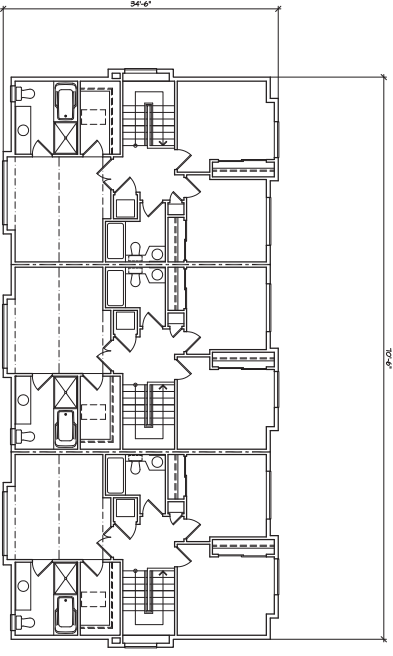
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 2

UNIT 135
2535 130 STREET
VAN TR 811
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dornettdembek.com

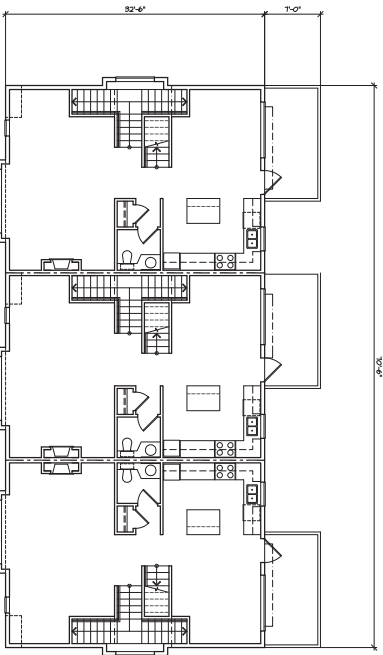


CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :
FLOOR & ROOF PLANS

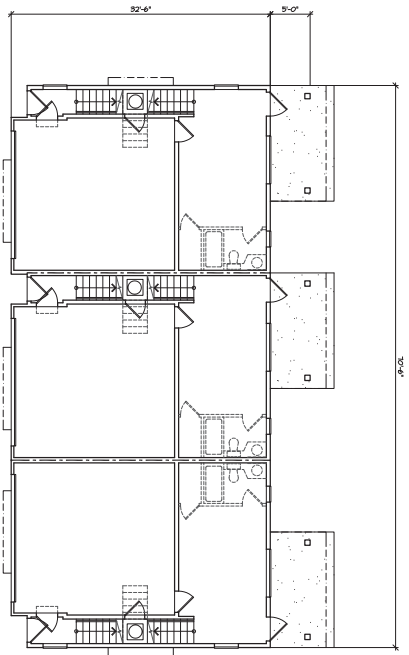
DESIGN : M.D.
DRAWN :
DATE : June 0 11
SCALE : 1/8" = 1'-0"

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

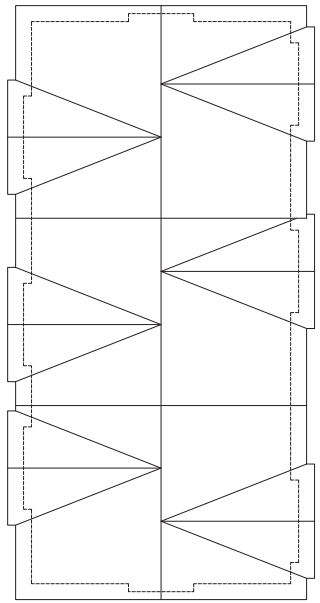
DISCLAIMER: ALL SERVICES AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF DORNETT DEMBEK INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DORNETT DEMBEK INC. THIS DOCUMENT IS UNCLASSIFIED AND IS NOT TO BE RELEASED TO THE PUBLIC OR OTHERS WITHOUT THE WRITTEN PERMISSION OF DORNETT DEMBEK INC. 1998



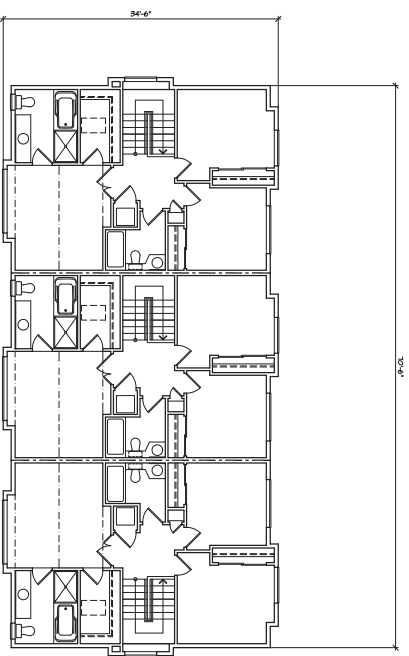
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 3

CONTRACT: ALL SERVICES AND THE
 WORK SHALL BE COMPLETED BY THE
 DATE SPECIFIED IN THE CONTRACT
 AND SHALL BE SUBJECT TO THE
 TERMS AND CONDITIONS OF THE
 CONTRACT AND ANY AMENDMENTS
 THEREON. THE CONTRACTOR SHALL
 BE RESPONSIBLE FOR OBTAINING
 ALL NECESSARY PERMITS AND
 APPROVALS FROM THE LOCAL
 AUTHORITY. THE CONTRACTOR SHALL
 BE RESPONSIBLE FOR THE COST OF
 ALL MATERIALS AND LABOR.
 CONTRACT: 10/15/06

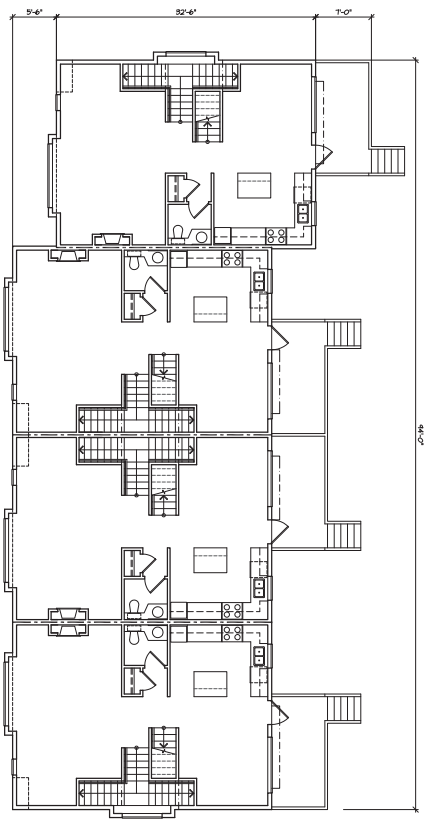
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

DESIGN :
 M.D.
 DRAWN :
 DATE :
 June 0 11
 SCALE :
 1/8" = 1'-0"

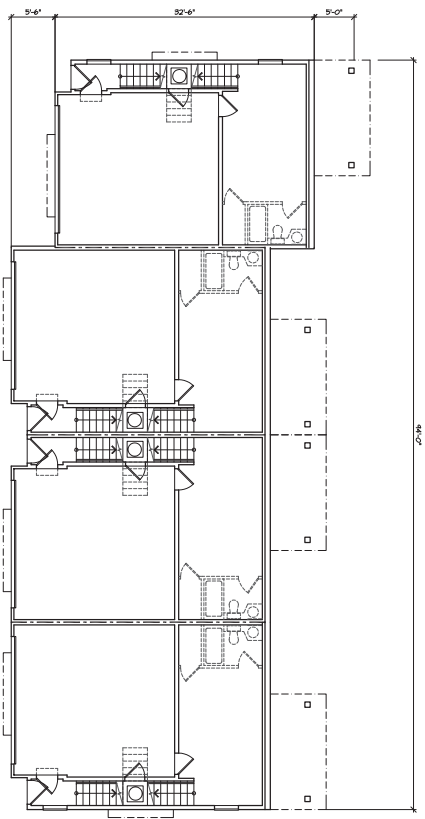
CLIENT : PARKSIDE HOLDINGS INC.
 PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
 6415, 6431 & 6451, 142ND STREET, SURREY
 SHEET CONTENTS :
 FLOOR & ROOF PLANS

dornett dembek
 UNIT 135,
 2150 130 STREET,
 VAN TRU
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@dornettdembek.com

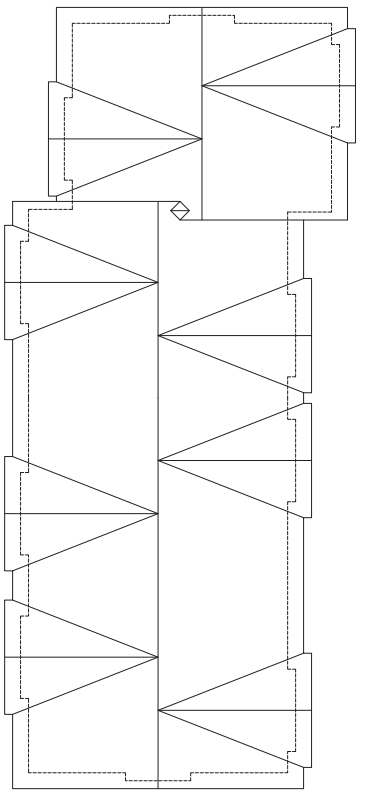
CLIENT NO. AC-43
 PROJECT NO. 10016
 REV. NO.



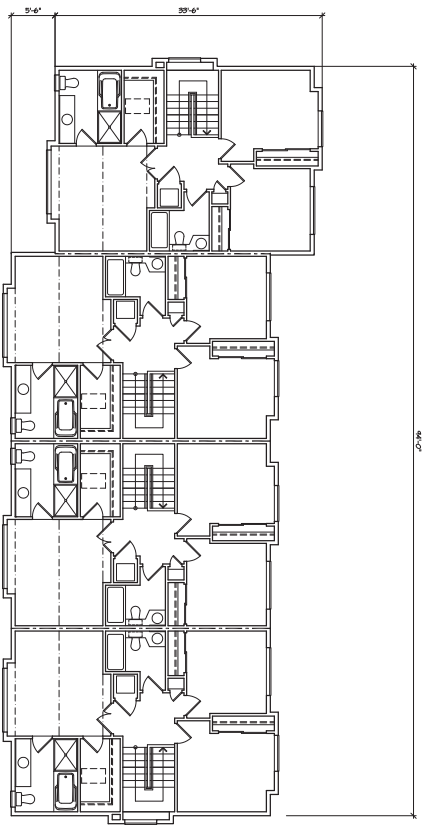
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 4

UNIT 135,
2358 130 STREET,
VAN TRU
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dnrdemtek.com

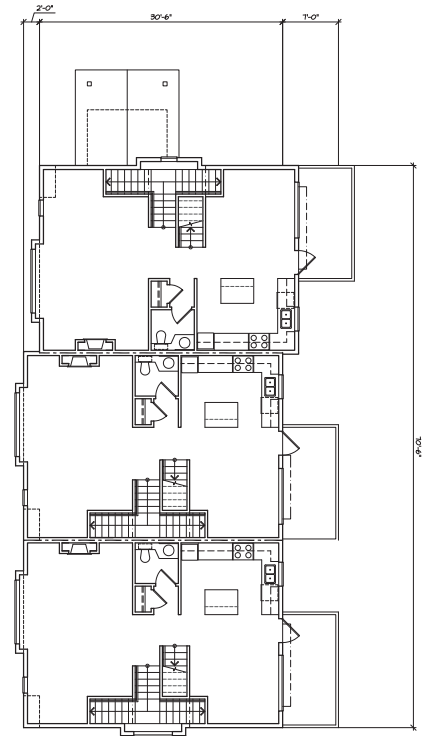


CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :
FLOOR & ROOF PLANS

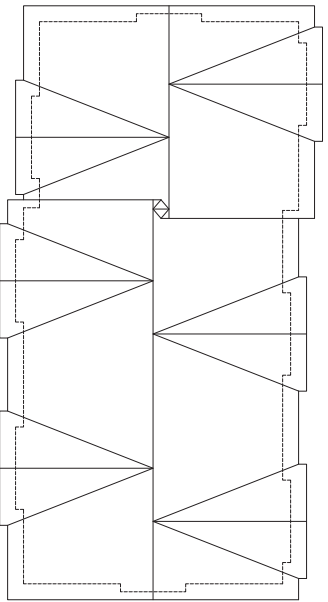
DESIGN : M.D.
DRAWN :
DATE : June 01 11
SCALE : 1/8" = 1'-0"

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

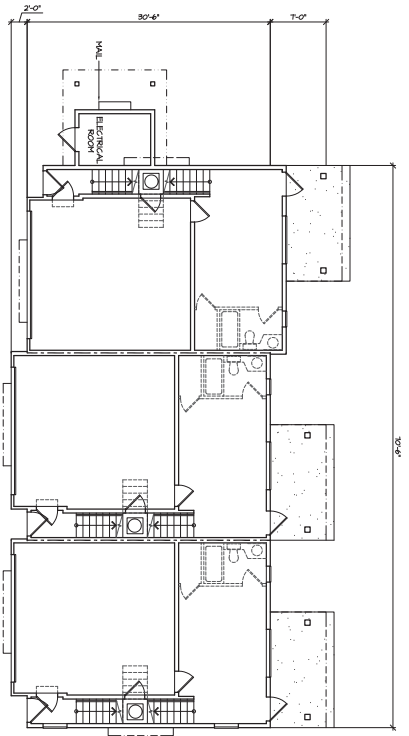
REGISTRATION: ALL SERVICES ARE PROVIDED BY THE ARCHITECT AND NOT THE ENGINEER. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE STRUCTURE OR THE PERFORMANCE OF THE STRUCTURE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL, ELECTRICAL, OR PLUMBING SYSTEMS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE INTERIORS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE LANDSCAPE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE SITEWORK. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE UTILITIES. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE TRANSPORTATION. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE ENVIRONMENTAL. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE HISTORICAL. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE MONUMENTAL. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE MEMORIAL. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE LANDMARK. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE SCULPTURE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE FOUNTAIN. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE GARDEN. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE PARK. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE PLAZA. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE SQUARE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE MARKET. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE THEATRE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE MUSEUM. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE LIBRARY. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE SCHOOL. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE UNIVERSITY. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE HOSPITAL. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE OFFICE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE STORE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE FACTORY. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE WAREHOUSE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE GARAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE DRIVEWAY. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE PORCH. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE PATIO. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE DECK. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE BALCONY. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE TERRACE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE STAIRS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE ELEVATOR. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE RAMP. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE CURB CUT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE DRIVEWAY. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE PORCH. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE PATIO. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE DECK. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE BALCONY. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE TERRACE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE STAIRS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE ELEVATOR. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE RAMP. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE CURB CUT.



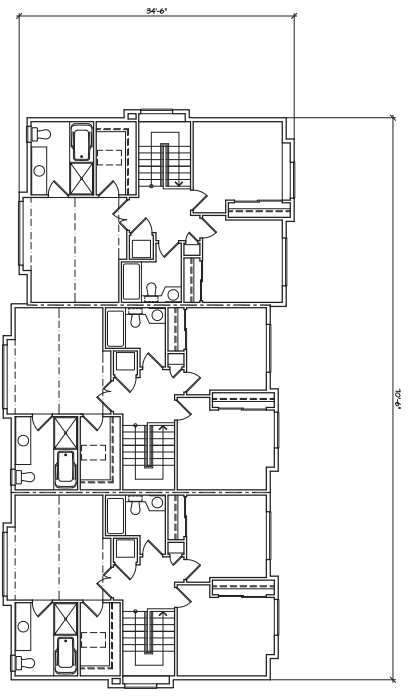
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 5

UNIT 135,
2325 130 STREET,
VAN TRU
VIEW TRU
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dnrtek.com

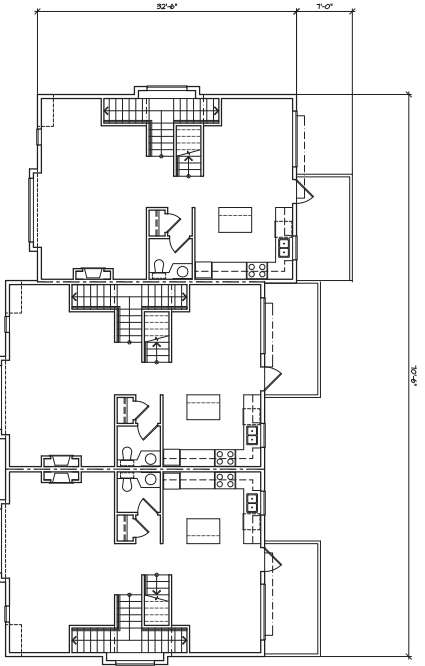
dnrtek dembek

CLIENT :	PARKSIDE HOLDINGS INC.	DESIGN :	M.D.
PROJECT :	"HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY	DRAWN :	
SHEET CONTENTS :	FLOOR & ROOF PLANS	DATE :	June 01 11
		SCALE :	1/8" = 1'-0"

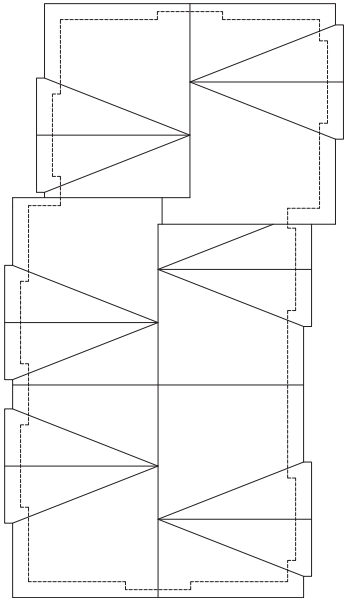
REV#	DATE	DRN	CRD

ISSUE	DATE	BY	ISSUED FOR

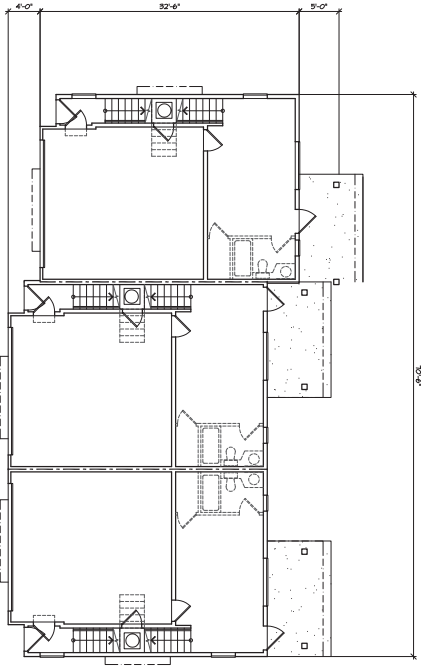
FOR INFORMATION, ALL SERVICES AND THE
DRAWING IS THE PROPERTY OF DNRTEK AND
SHOULD NOT BE REPRODUCED OR
TRANSMITTED IN ANY FORM OR BY ANY
MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE
WRITTEN PERMISSION OF DNRTEK.
DNRTEK INC. 1000 WEST 10TH AVENUE
VANCOUVER, BC V6H 3G9



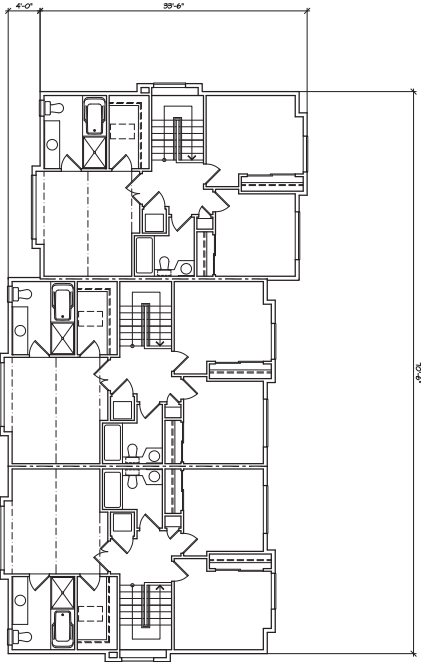
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 6

FOR INFORMATION, ALL SERVICES AND THE
MATERIALS AND METHODS TO BE USED IN THE
CONSTRUCTION OF THIS PROJECT ARE
BASED ON THE ASSUMPTIONS AND
CONDITIONS SET FORTH IN THE
CONTRACT DOCUMENTS. THE ARCHITECT
DOES NOT WARRANT OR GUARANTEE
THE ACCURACY OF THE INFORMATION
CONTAINED HEREIN. THE ARCHITECT
SHALL BE RESPONSIBLE FOR OBTAINING
ALL NECESSARY PERMITS AND
COMPLIANCE WITH ALL APPLICABLE
CODES AND REGULATIONS.

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

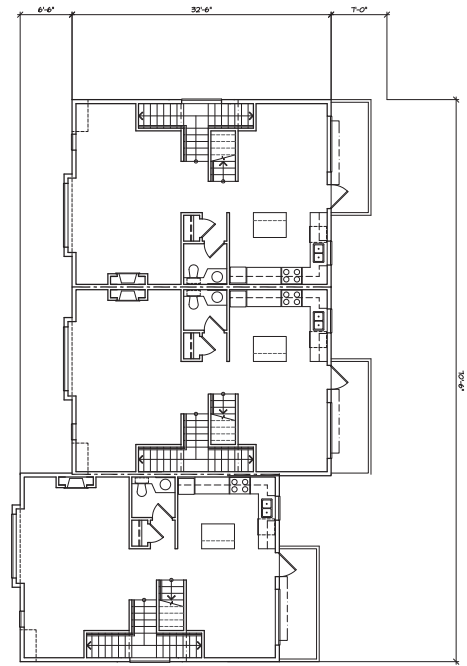
CLIENT :	PARKSIDE HOLDINGS INC.	DESIGN :	M.D.
PROJECT :	"HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY	DRAWN :	
SHEET CONTENTS :	FLOOR & ROOF PLANS	DATE :	June 01 11
		SCALE :	1/8" = 1'-0"

dornett dembek

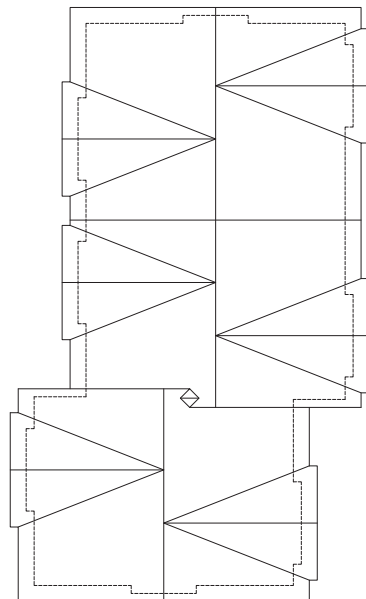
UNIT 135,
2535 130 STREET,
SURREY, BC
V4W 1T8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dornett.com

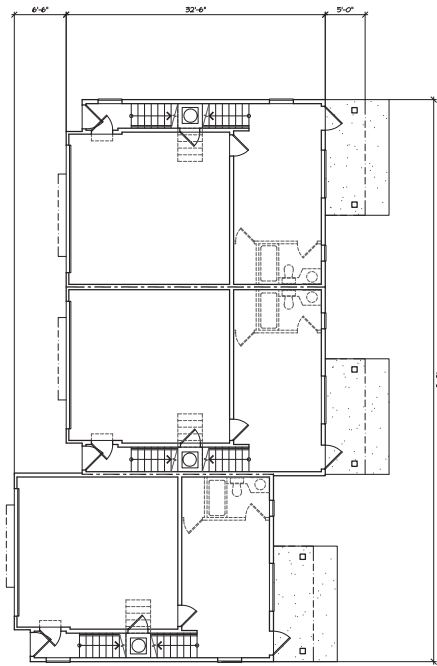
CLIENT NO.	PROJECT NO.	SHEET NO.
	AC-46	
PROJECT NO.	REV. NO.	
10016		



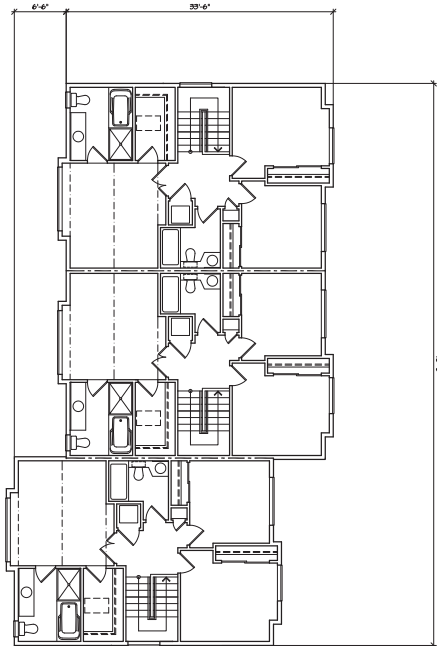
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 7

UNIT 135,
2538 130 STREET,
VAN TRU
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dornett.com



dornett dembek

CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :
FLOOR & ROOF PLANS

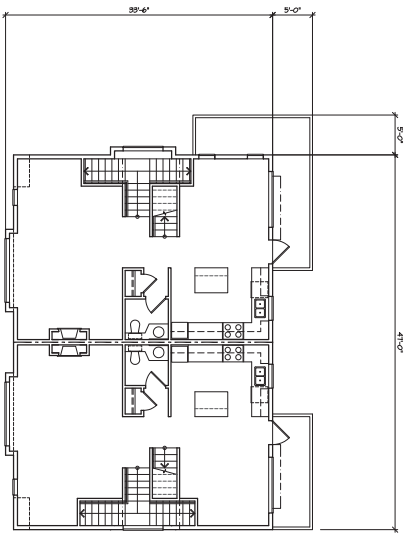
DESIGN : M.D.
DRAWN :
DATE : June 01 11
SCALE : 1/8" = 1'-0"

DATE

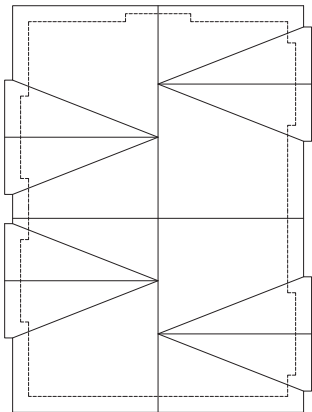
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

FOR INFORMATION, ALL SERVICES AND THE
DRAWING CONTRACTOR SHALL BE
THESE SERVICES SHALL BE PROVIDED
BY THE CLIENT AND CONTRACTOR
AND CONTRACTOR SHALL BE
CANADA (PROVIDER) ACT 1985, 1986

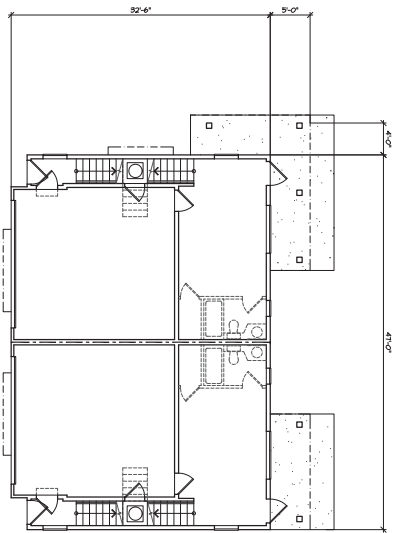
CLIENT NO.	PROJECT NO.	REV. NO.
AC-4-1	10016	



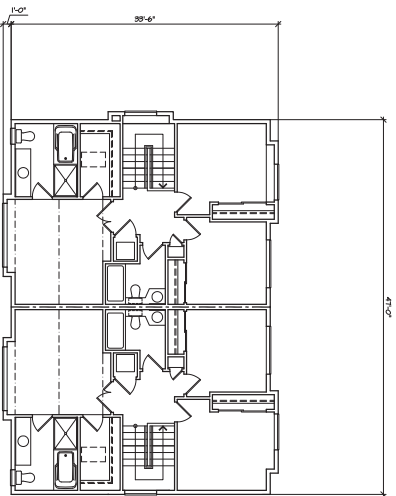
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 8

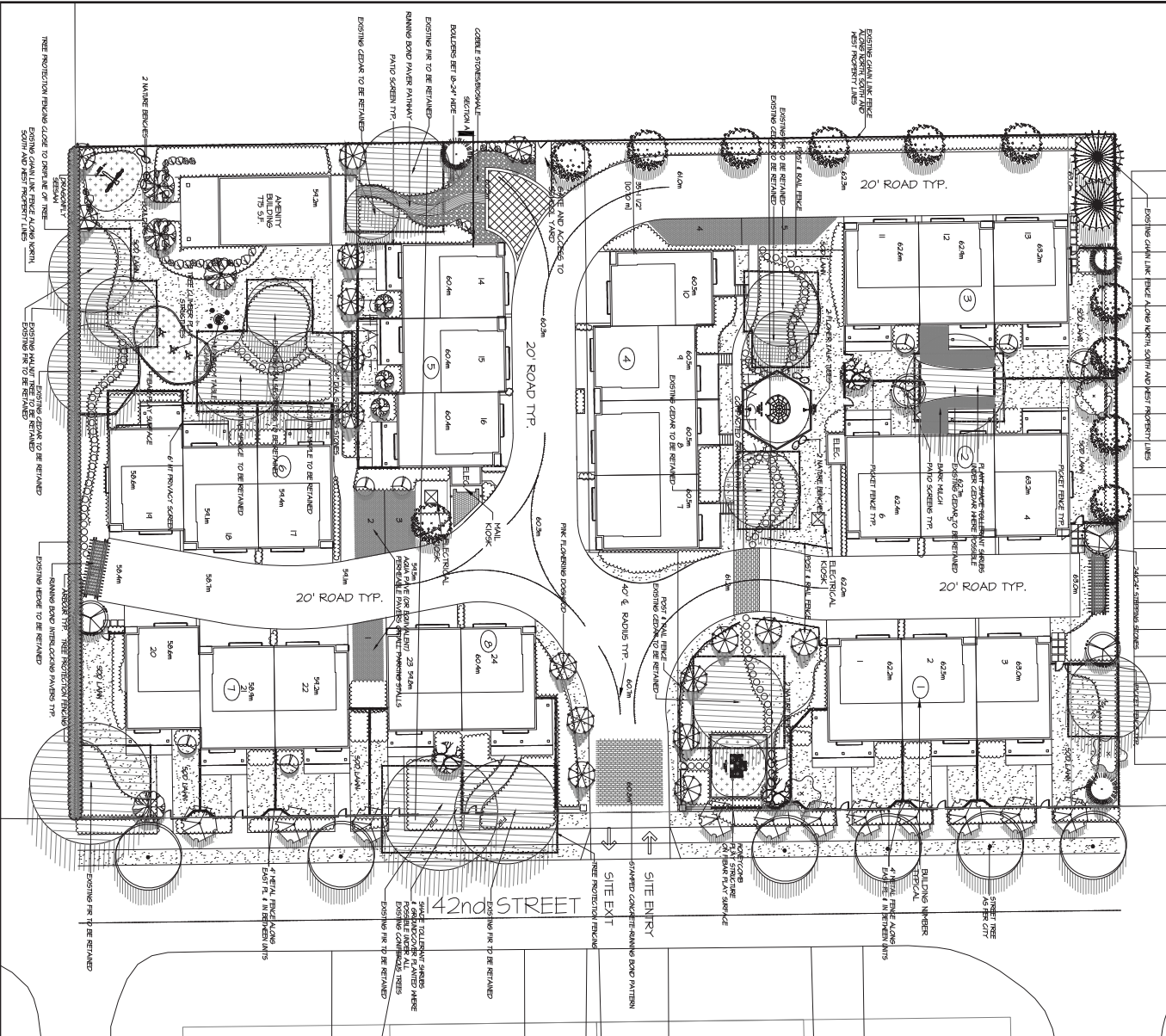
CONTRACT: ALL RIGHTS ARE RESERVED BY THE ARCHITECT. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. CANADA (PROVIDED) ACT 1976.

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

CLIENT :	PARKSIDE HOLDINGS INC.	DESIGN :	M.D.
PROJECT :	"HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY	DRAWN :	
SHEET CONTENTS :	FLOOR & ROOF PLANS	DATE :	June 01 11
		SCALE :	1/8" = 1'-0"

dornett dembek
 UNIT 135,
 7358 130 STREET,
 SURREY, B.C. V3W 1T8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@dornettdembek.com

CLIENT NO.	PROJECT NO.	SHEET NO.
AC-4-B		



PLANT SCHEDULE	COMMON NAME	PLANTING SIZE / NOTES	QTY
1	ADONIS	600 CAL. 1.800 SIB	1
2	ADONIS	600 CAL. 1.800 SIB	1
3	ADONIS	600 CAL. 1.800 SIB	1
4	ADONIS	600 CAL. 1.800 SIB	1
5	ADONIS	600 CAL. 1.800 SIB	1
6	ADONIS	600 CAL. 1.800 SIB	1
7	ADONIS	600 CAL. 1.800 SIB	1
8	ADONIS	600 CAL. 1.800 SIB	1
9	ADONIS	600 CAL. 1.800 SIB	1
10	ADONIS	600 CAL. 1.800 SIB	1
11	ADONIS	600 CAL. 1.800 SIB	1
12	ADONIS	600 CAL. 1.800 SIB	1
13	ADONIS	600 CAL. 1.800 SIB	1
14	ADONIS	600 CAL. 1.800 SIB	1
15	ADONIS	600 CAL. 1.800 SIB	1
16	ADONIS	600 CAL. 1.800 SIB	1
17	ADONIS	600 CAL. 1.800 SIB	1
18	ADONIS	600 CAL. 1.800 SIB	1
19	ADONIS	600 CAL. 1.800 SIB	1
20	ADONIS	600 CAL. 1.800 SIB	1
21	ADONIS	600 CAL. 1.800 SIB	1
22	ADONIS	600 CAL. 1.800 SIB	1
23	ADONIS	600 CAL. 1.800 SIB	1
24	ADONIS	600 CAL. 1.800 SIB	1
25	ADONIS	600 CAL. 1.800 SIB	1
26	ADONIS	600 CAL. 1.800 SIB	1
27	ADONIS	600 CAL. 1.800 SIB	1
28	ADONIS	600 CAL. 1.800 SIB	1
29	ADONIS	600 CAL. 1.800 SIB	1
30	ADONIS	600 CAL. 1.800 SIB	1
31	ADONIS	600 CAL. 1.800 SIB	1
32	ADONIS	600 CAL. 1.800 SIB	1
33	ADONIS	600 CAL. 1.800 SIB	1
34	ADONIS	600 CAL. 1.800 SIB	1
35	ADONIS	600 CAL. 1.800 SIB	1
36	ADONIS	600 CAL. 1.800 SIB	1
37	ADONIS	600 CAL. 1.800 SIB	1
38	ADONIS	600 CAL. 1.800 SIB	1
39	ADONIS	600 CAL. 1.800 SIB	1
40	ADONIS	600 CAL. 1.800 SIB	1
41	ADONIS	600 CAL. 1.800 SIB	1
42	ADONIS	600 CAL. 1.800 SIB	1
43	ADONIS	600 CAL. 1.800 SIB	1
44	ADONIS	600 CAL. 1.800 SIB	1
45	ADONIS	600 CAL. 1.800 SIB	1
46	ADONIS	600 CAL. 1.800 SIB	1
47	ADONIS	600 CAL. 1.800 SIB	1
48	ADONIS	600 CAL. 1.800 SIB	1
49	ADONIS	600 CAL. 1.800 SIB	1
50	ADONIS	600 CAL. 1.800 SIB	1

DMG landscape architects
 J.D. Madril & Associates Ltd.
 4186 S. 16th St.
 Vancouver, BC V6P 2G9
 Tel: 604.275.8888
 Fax: 604.275.8889
 Email: info@dmg.ca

PROJECT: HAZELNUT MEADOWS TOWNHOUSES
 6915, 6931 & 6951 142ND STREET SURREY, BC

DATE: 04/20/2014
 SCALE: 1/8" = 1'-0"
 DRAWN: RM
 DESIGN: RM
 CHECK: DM

DRAWING NUMBER: L1
 OF 4

DMG PROJECT NUMBER: 11-055

Copyright reserved. This drawing and design is the property of DMG and is not to be reproduced or used for other projects without their permission.



NO	DATE	REVISION OR DESCRIPTION	DR
1		ISSUED FOR PERMIT	RM
2		REVISION AS PER CITY	RM
3		ISSUED FOR PERMIT	RM
4		REVISION AS PER CITY	RM
5		ISSUED FOR PERMIT	RM
6		REVISION AS PER CITY	RM
7		ISSUED FOR PERMIT	RM
8		REVISION AS PER CITY	RM
9		ISSUED FOR PERMIT	RM
10		REVISION AS PER CITY	RM
11		ISSUED FOR PERMIT	RM
12		REVISION AS PER CITY	RM
13		ISSUED FOR PERMIT	RM
14		REVISION AS PER CITY	RM
15		ISSUED FOR PERMIT	RM
16		REVISION AS PER CITY	RM
17		ISSUED FOR PERMIT	RM
18		REVISION AS PER CITY	RM
19		ISSUED FOR PERMIT	RM
20		REVISION AS PER CITY	RM

DMG
 landscape architects
 A British Columbia
 J.D. Maitland & Associates Ltd.
 1000 West 10th Street
 Vancouver, BC V6H 2G6
 Tel: (604) 681-2822 Fax: (604) 681-2823

PROJECT:
**HAZELNUT MEADOWS
 TOWNHOUSES**
 6915, 6931 & 6951
 142ND STREET
 SURREY, BC

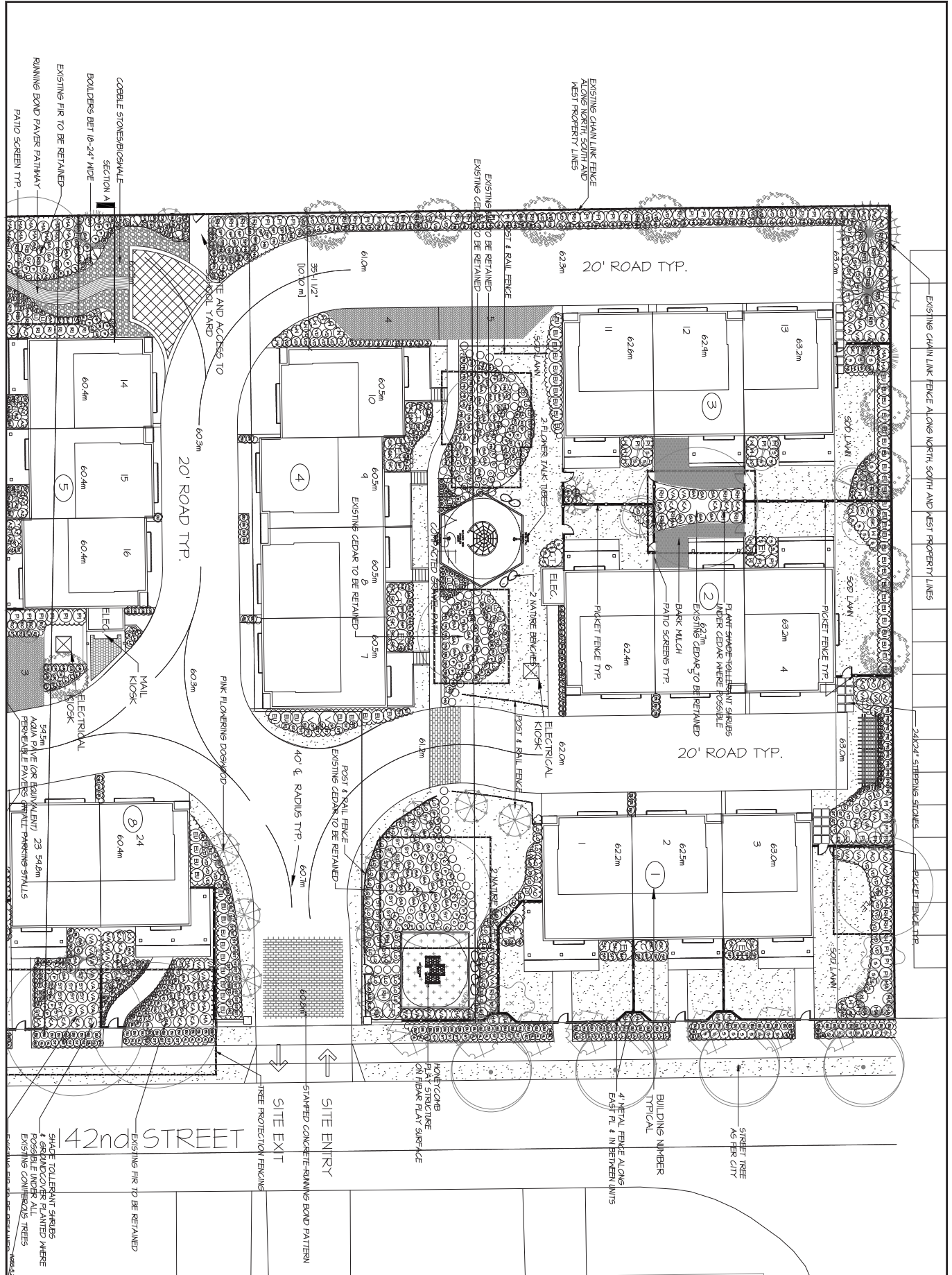
DESIGNED BY:
**SHRUB
 PLAN**

DRAWING TITLE:
**SHRUB
 PLAN**

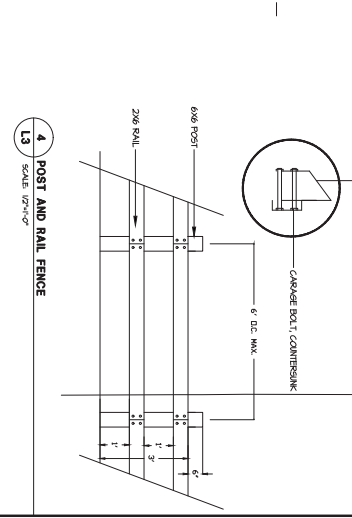
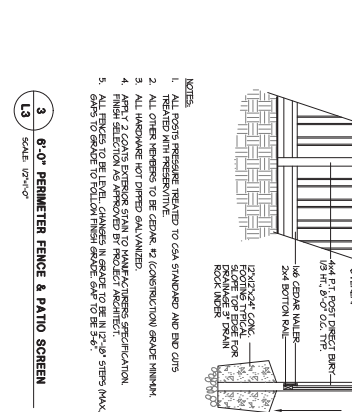
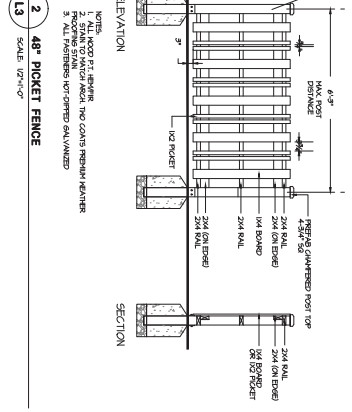
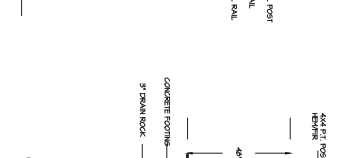
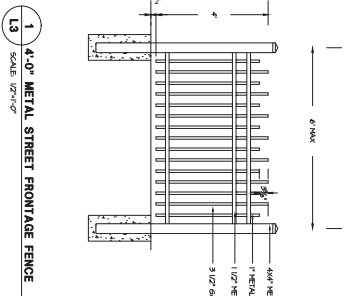
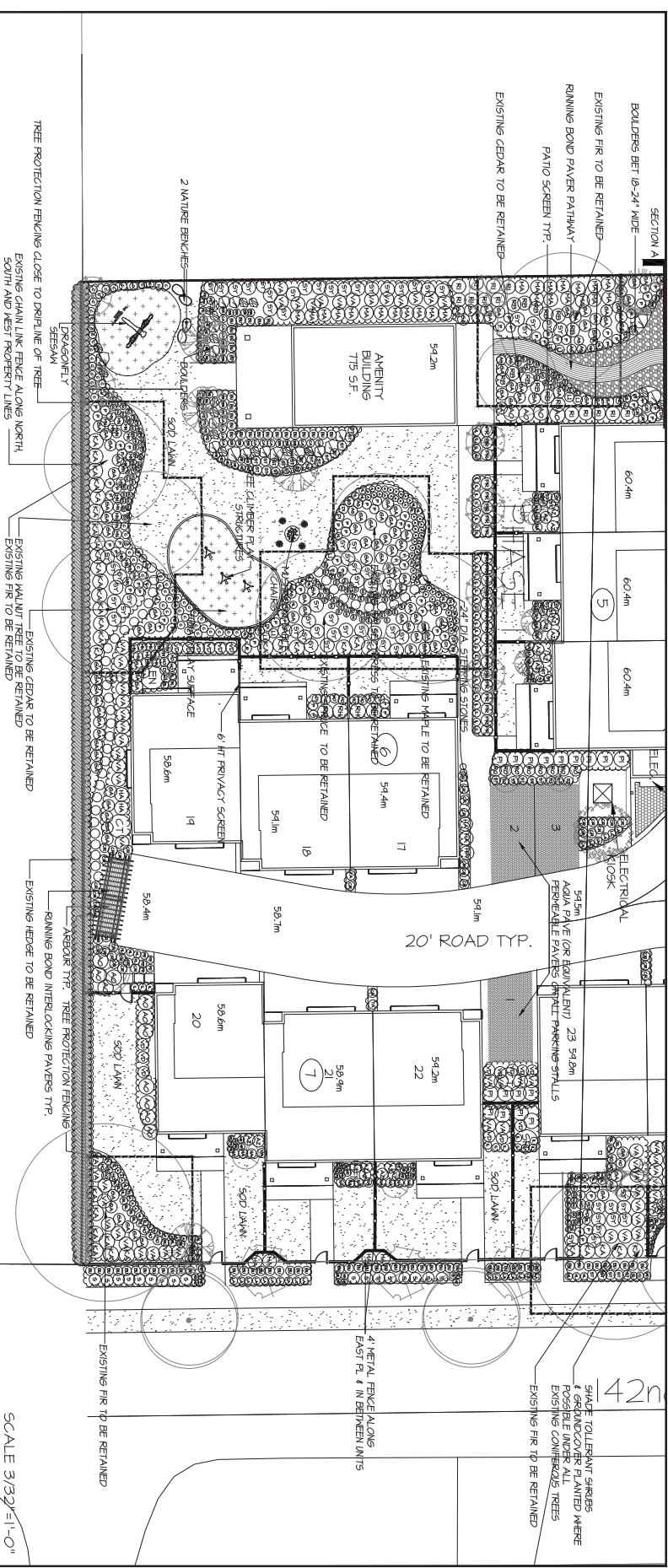
DATE: 1/20/2024
 SCALE: 3/32" = 1'-0"
 DRAWING NO: L2
 DESIGN: RM
 CHECK: DM

DRAWING NUMBER:
L2
 OF 4

DWG PROJECT NUMBER:
11-025



SECTION A-A



NOTES:
 1. TREATED WITH PRESERVATIVE
 2. ALL OTHER MEMBERS TO BE GRADE TO CONSTRUCTION GRADE MINIMUM
 3. ALL UNGRADE NOT SHOWN TO BE GRADED
 4. FINAL ELEVATION AND DIMENSIONS TO BE DETERMINED BY PROJECT ARCHITECT
 5. GAPS TO BRIDGE TO FOLLOW FINISH GRADE SHOWN TO BE 3'-6"

SCALE 3/32"=1'-0"

DMG
 landscape architects
 A Corporation
 J.D. Nelson & Associates Ltd
 1100 West 10th Street
 Vancouver, BC V6H 2G6
 (604) 437-3942, (604) 437-8723

PROJECT:
HAZELNUT MEADOWS TOWNHOUSES
 6915, 6931 & 6951
 142ND STREET
 SURREY, BC

DRAWING TITLE:
SHRUB PLAN & DETAILS

DATE: 1/25/2023
 SCALE: AS SHOWN
 DRAWN: RL
 DESIGN: RL
 CHECK: PM

DWG PROJECT NUMBER: **L3** OF 4
 11-055



NO.	DATE	REVISION DESCRIPTION	DR
1	1/25/2023	ISSUE FOR PERMITS	RL
2	1/25/2023	REVISED PERMITS	RL
3	1/25/2023	REVISED PERMITS	RL
4	1/25/2023	REVISED PERMITS	RL



NO	DATE	REVISION DESCRIPTION	DR
1		REVISED DRAWING	DR
2		REVISED DRAWING	DR
3		REVISED DRAWING	DR
4		REVISED DRAWING	DR
5		REVISED DRAWING	DR
6		REVISED DRAWING	DR
7		REVISED DRAWING	DR
8		REVISED DRAWING	DR
9		REVISED DRAWING	DR
10		REVISED DRAWING	DR

DMG
landscape architects
A Division of
J.D. Mottrell & Associates Ltd.
1000 West Beaver Creek Road
Richmond Hill, Ontario L4B 3N2
Tel: (905) 882-8888
Fax: (905) 882-8889
www.dmg.ca

PROJECT:
**HAZELNUT MEADOWS
TOWNHOUSES**
6915, 6931 & 6951
142ND STREET
SURREY, BC
DRAWING TITLE:
**LANDSCAPE ARCHITECTURE
DETAILS**

DATE	ISSUED	DRAWING NUMBER
SCALE	AS SHOWN	L4
DRAWN BY	RI	
CHECKED BY	DM	
DATE		

DMG PROJECT NUMBER: **11-095** OF 4



HONEYCOMB



FLOWER TALK TUBE



MUSHROOM TABLE & CHAIRS



INCLINED WEB CRAWLER



MUSHROOM CHAIR



TREE CLIMBER



NATURE BIKE RACK



DRAGONFLY SEESAW



NATURE BENCH



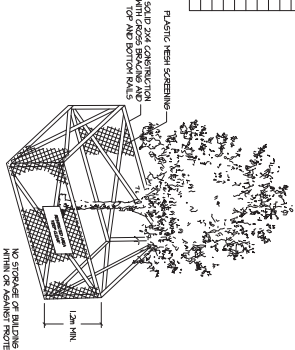
FIBAR PLAY SURFACE
(ENGINEERED WOOD FIBER)

PLAY STRUCTURES-REFER TO PLAYTRAILS AT WWW.GAMETIME.COM

N.T.S.

TREES PROTECTED BY DESIGN

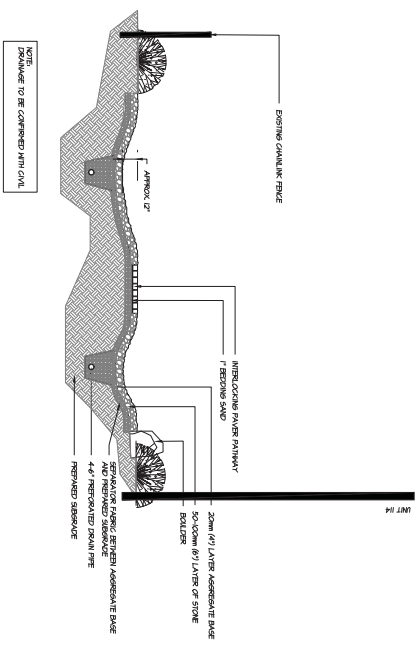
TREE #	DATE	STATUS
1	2010	PROTECTED
2	2010	PROTECTED
3	2010	PROTECTED
4	2010	PROTECTED
5	2010	PROTECTED
6	2010	PROTECTED
7	2010	PROTECTED
8	2010	PROTECTED
9	2010	PROTECTED
10	2010	PROTECTED



5 TREE PROTECTION BARRIER
L4 NTS

TREE PROTECTION DISTANCE TABLE

TREE DIAMETER (DBH)	MINIMUM PROTECTION DISTANCE (METERS)
1.2	1.5
2.0	2.1
2.5	2.7
3.0	3.3
4.0	4.5
5.0	5.7
6.0	6.9
7.0	8.1
8.0	9.3
9.0	10.5
10.0	11.7



SECTION A
L4 3/4"=1'-0"

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **June 16, 2011** PROJECT FILE: **7810-0271-00**

RE: **Engineering Requirements
Location: 6915/31/51 - 142 Street**

REZONE/SUBDIVISION

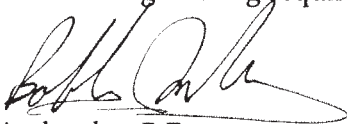
Works and Services

- Construct the west half of 142 Street.
- Provide on-site interim detention.
- Provide water, storm and sanitary connections.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Bob Ambardar, P.Eng.
Development Project Engineer

LR



SCHOOL DISTRICT #36 (SURREY)

Thursday, April 21, 2011
Planning

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at the elementary school and no new capital projects identified for the secondary school. The proposed development will have positive impact on these projections. Capacity in the table below is adjusted for the inclusion of full day Kindergarten and a "Strongstart" program (which uses one classroom) at Georges Vanier Elementary and includes a modular complex for Frank Hurt Secondary with a capacity of 150.

THE IMPACT ON SCHOOLS

APPLICATION #: 7910-0271-00

SUMMARY

The proposed 25 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	4
Secondary Students:	2

September 2010 Enrolment/School Capacity

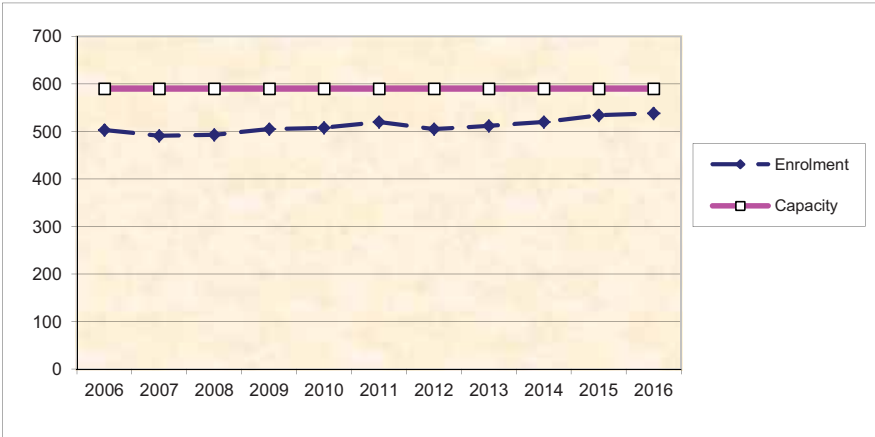
Georges Vanier Elementary

Enrolment (K/1-7):	68 K + 440
Capacity (K/1-7):	40 K + 550

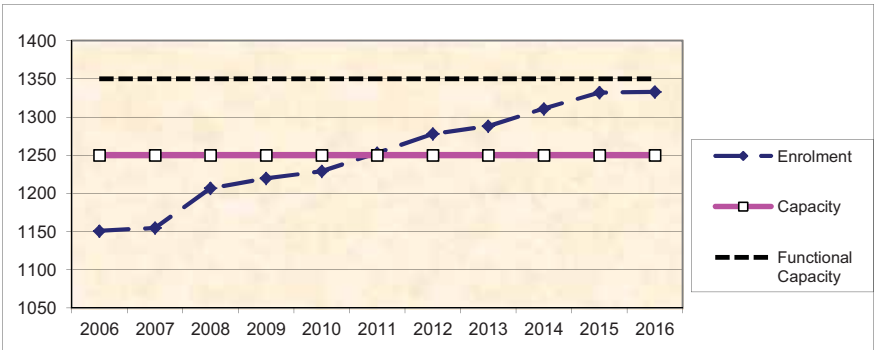
Frank Hurt Secondary

Enrolment (8-12):	1229
Nominal Capacity (8-12):	1250
Functional Capacity*(8-12):	1350

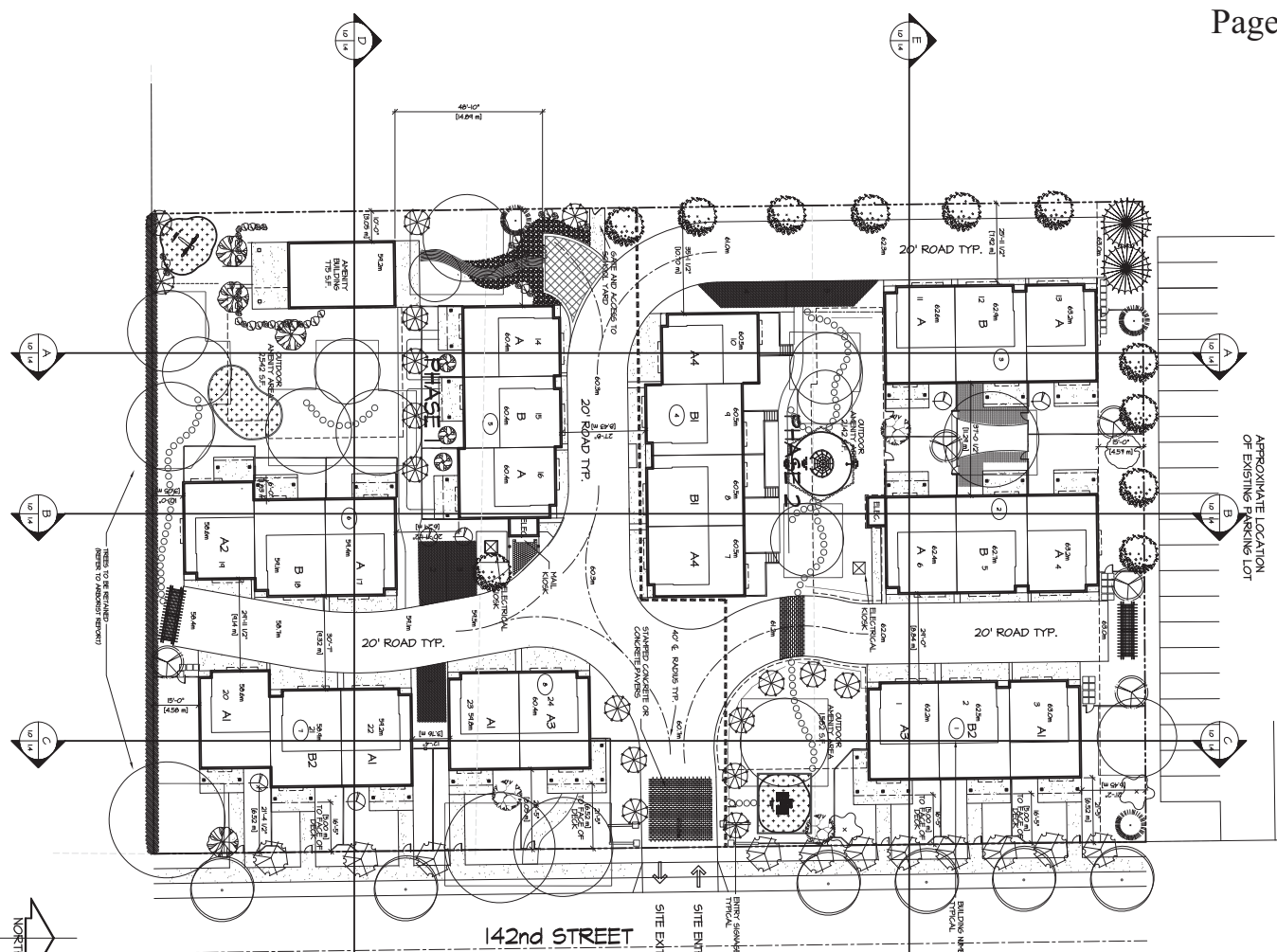
Georges Vanier Elementary



Frank Hurt Secondary

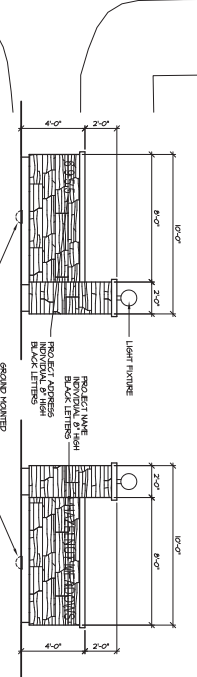


*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.



APPROXIMATE LOCATION OF EXISTING PARKING LOT

CONCEPTUAL SITE PLAN
SCALE: 1" = 20'-0"



ENTRY SIGNAGE
SCALE: 1/4" = 1'-0"

DRAWING LIST

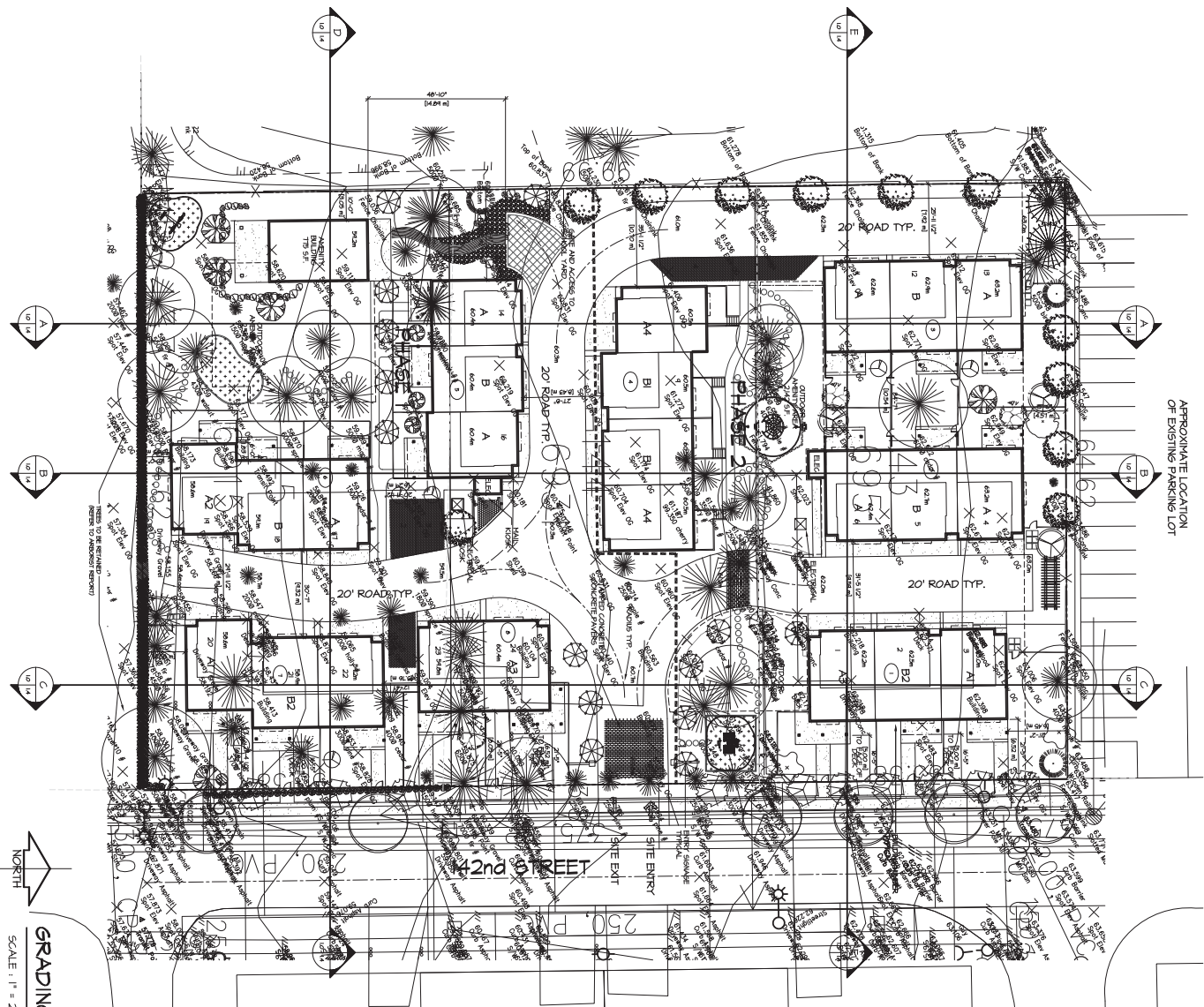
AC-10	SITE PLAN AND DEVELOPMENT DATA	AC-41	FLOOR & ROOF PLANS - BUILDING #1
AC-11	GRADING PLAN	AC-42	FLOOR & ROOF PLANS - BUILDING #2
AC-12	CONTENT PLAN	AC-43	FLOOR & ROOF PLANS - BUILDING #3
AC-13	SITE SECTIONS	AC-44	FLOOR & ROOF PLANS - BUILDING #4
AC-21	UNIT PLANS - UNIT TYPE A	AC-45	FLOOR & ROOF PLANS - BUILDING #5
AC-22	UNIT PLANS - UNIT TYPE A1	AC-46	FLOOR & ROOF PLANS - BUILDING #6
AC-23	UNIT PLANS - UNIT TYPE A2	AC-47	FLOOR & ROOF PLANS - BUILDING #7
AC-24	UNIT PLANS - UNIT TYPE A3	AC-48	FLOOR & ROOF PLANS - BUILDING #8
AC-25	UNIT PLANS - UNIT TYPE A4		
AC-26	UNIT PLANS - UNIT TYPE B		
AC-27	UNIT PLANS - UNIT TYPE B1		
AC-28	UNIT PLANS - UNIT TYPE B2		
AC-29	AMENITY BUILDINGS - PLANS, SECTIONS & ELEVATIONS		
AC-31	ELEVATIONS - BUILDING #1		
AC-32	ELEVATIONS - BUILDING #2		
AC-33	ELEVATIONS - BUILDING #3		
AC-34	ELEVATIONS - BUILDING #4		
AC-35	ELEVATIONS - BUILDING #5		
AC-36	ELEVATIONS - BUILDING #6		
AC-37	ELEVATIONS - BUILDING #7		
AC-38	ELEVATIONS - BUILDING #8		

DEVELOPMENT DATA

SITE AREA: 64,593 S.F. 1,516 AC. 0,646 HA.
DENSITY: 15.0 UP/A. 37.0 UP/HA. (24 UNITS)
F.A.R. 0.644 (44,160 S.F.) (NOT INCLUDING GARAGE)
 0.794 (55,560 S.F.) (INCLUDING GARAGE)
SITE COVERAGE: 30.79% (21,471 S.F.)
AMENITY:
 REQUIRED:
 INDOOR: TTS S.F.
 OUTDOOR: TTS S.F.
 PROVIDED:
 INDOOR: 781 S.F.
 OUTDOOR: 6,286 S.F.

PARKING:
 REQUIRED:
 2 PER UNIT X 24 = 48 SPACES
 VISITOR 0.2 X 24 = 4.8 SPACES
 TOTAL: 52.8 SPACES
 PROVIDED:
 2 PER UNIT X 24 = 48 SPACES
 VISITOR 5 SPACES
 TOTAL: 53 SPACES

<p>CLIENT: PARKSIDE HOLDINGS INC.</p> <p>PROJECT: "HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY</p> <p>SHEET CONTENTS: SITE PLAN</p>	<p>DESIGN: [] M.D. DRAWN: X DATE: June 20 11 SCALE: 1" = 20'-0"</p>	<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>REV#</th> <th>DATE</th> <th>DRN</th> <th>CRD</th> <th>ISSUE</th> <th>DATE</th> <th>BY</th> <th>ISSUED FOR</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR									<p>UNIT 135, SUITE 1300 STREET, VAN TRU PHONE: (604) 597-7100 FAX: (604) 597-2099 EMAIL: info@dnrtek.com</p> <p>Dornett dembek</p> <p>PROJECT NO. AC-110 SHEET NO. AC-110 JOB NO. 10016</p>	<p>DISCLAIMER: ALL RIGHTS AND INTERESTS ARE RESERVED BY THE AUTHOR. THIS DOCUMENT IS THE PROPERTY OF THE AUTHOR AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE AUTHOR. THE AUTHOR ASSUMES NO LIABILITY FOR ANY DAMAGE OR LOSS OF PROFITS, BUSINESS, OR REPUTATION, OR FOR ANY SPECIAL, INCIDENTAL, OR CONSEQUENTIAL DAMAGES, WHETHER IN CONTRACT OR TORT, ARISING FROM THE USE OF THIS DOCUMENT.</p>
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR													



APPROXIMATE LOCATION
OF EXISTING PARKING LOT

GRADING PLAN
SCALE: 1" = 20'-0"

Dornett dembek
UNIT 135,
2505 130th STREET,
VAN TRIS B.C.
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@dornett.com

CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :
GRADING PLAN

DESIGN : M.D.
DRAWN : X
DATE : June 9 11
SCALE : 1" = 20'-0"

REV#	DATE	DRN	CR'D	ISSUE	DATE	BY	ISSUED FOR

DISCLAIMER: ALL SURVEY AND MEASUREMENTS ARE THE PROPERTY OF THE CLIENT AND ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE CLIENT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE DESIGNER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN OR ANY INFORMATION THEREON. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN.



CLIENT NO. AC-12
 PROJECT NO. 10016

UNIT 135,
 7358 130 STREET
 VANIC 118
 PHONE: (604) 597-7100
 FAX: (604) 597-2999
 EMAIL: info@dnemba.com

Dornett demba

CLIENT : PARKSIDE HOLDINGS INC.
 PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
 6415, 6431 & 6451, 142ND STREET, SURREY
 SHEET CONTENTS :
 CONTEXT PLAN

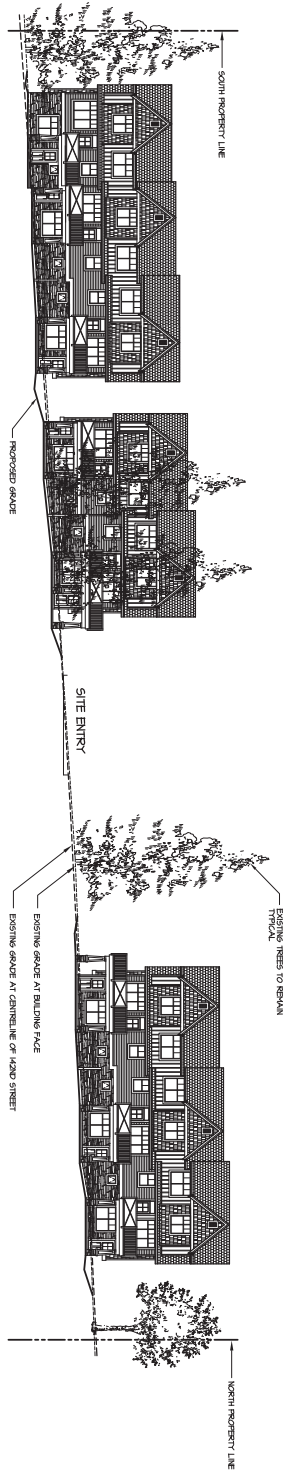
DESIGN :
 M.D.
 DRAWN :
 X
 DATE :
 June 17 11
 SCALE :
 N.T.S.

Revisions

--	--	--	--

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

FOR INFORMATION: ALL SERVICES AND THE
 NORTH PROPERTY, 7358 130 STREET,
 VANIC 118, ARE THE PROPERTY OF
 DORNETT DEMBA INC. AND NOT BE
 REPRODUCED OR TRANSMITTED IN
 ANY FORM OR BY ANY MEANS,
 ELECTRONIC, MECHANICAL, PHOTOCOPYING,
 RECORDING, OR BY ANY INFORMATION
 STORAGE AND RETRIEVAL SYSTEM,
 WITHOUT THE WRITTEN PERMISSION OF
 DORNETT DEMBA INC. (C) 2011
 DORNETT DEMBA INC. (C) 2011



STREET ELEVATION - VIEW ALONG 142ND STREET

SCALE: 1/8" = 1'-0"

FOR INFORMATION ONLY: ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF DORNETT DENMBEK ARCHITECTURE INC. AND MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM DORNETT DENMBEK ARCHITECTURE INC. 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025.

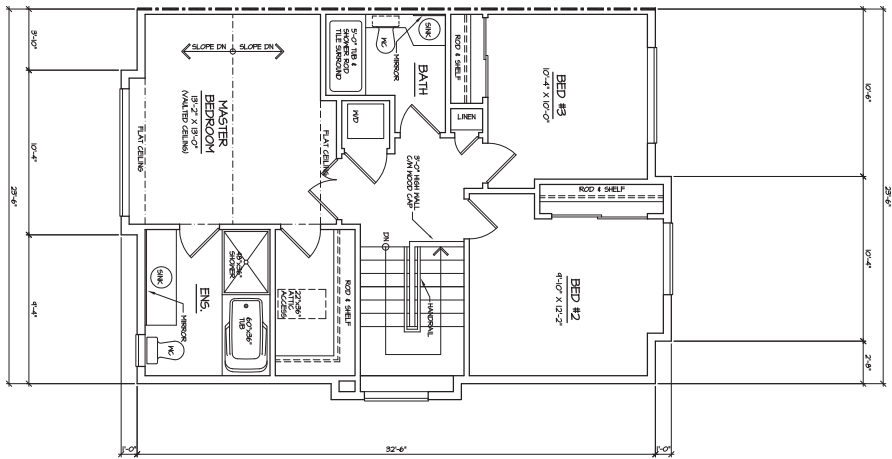
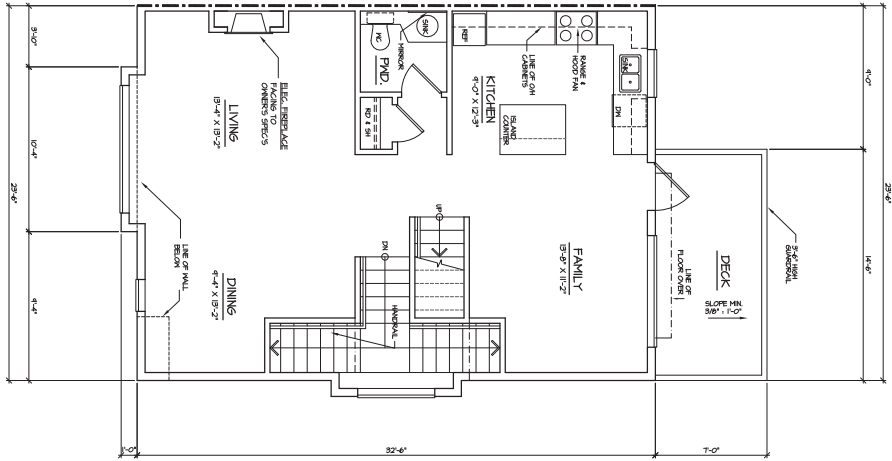
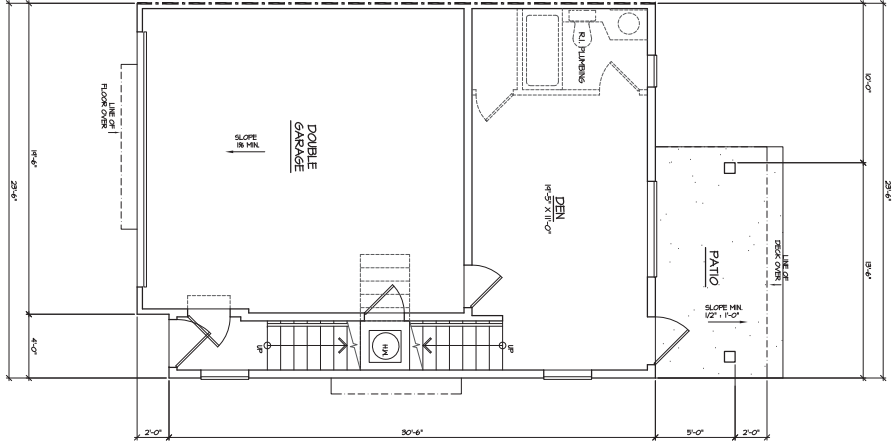
REV#	DATE	DRN	CR'D	ISSUE	DATE	BY	ISSUED FOR

DESIGN : M.D.
 DRAWN : X
 DATE : June 17 11
 SCALE : 1/8" = 1'-0"

CLIENT : PARKSIDE HOLDINGS INC.
 PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
 6415, 6431 & 6451, 142ND STREET, SURREY
 SHEET CONTENTS : STREET ELEVATION

Dornett denmbek
 UNIT 135,
 2150 130 STREET,
 SURREY, BC V3W 7H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@dornett.com
 CLIENT NO. AC-14
 PROJECT NO. 10016



UNIT TYPE 'A'
 1891 SF.

CLIENT : PARKSIDE HOLDINGS INC. PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY SHEET CONTENTS : UNIT PLANS UNIT TYPE 'A'		DESIGN : H.D. DRAWN : DATE : June 16 11 SCALE : 1/4" = 1'-0"	REVISIONS: <table border="1"> <thead> <tr> <th>REV#</th> <th>DATE</th> <th>DRN</th> <th>CRD</th> <th>ISSUE</th> <th>DATE</th> <th>BY</th> <th>ISSUED FOR</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR																																																																																
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR																																																																																				

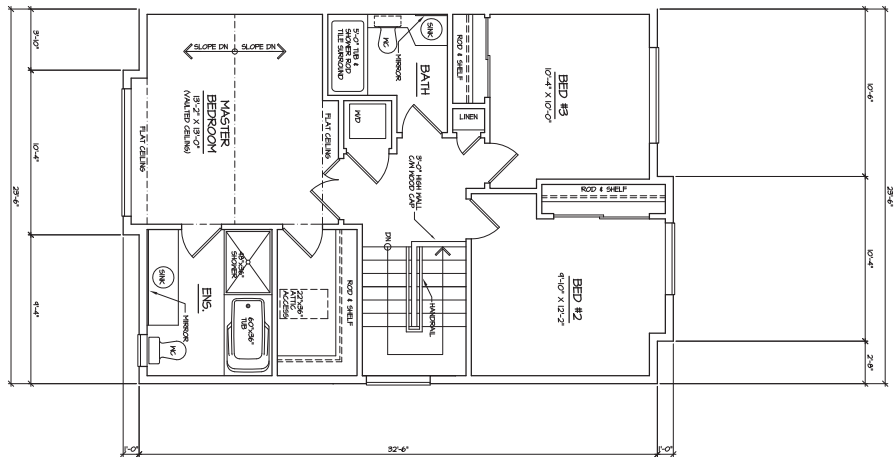
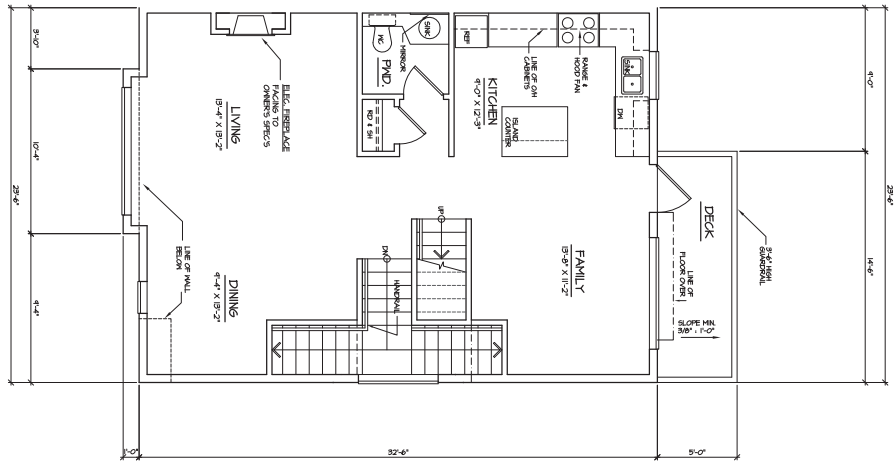
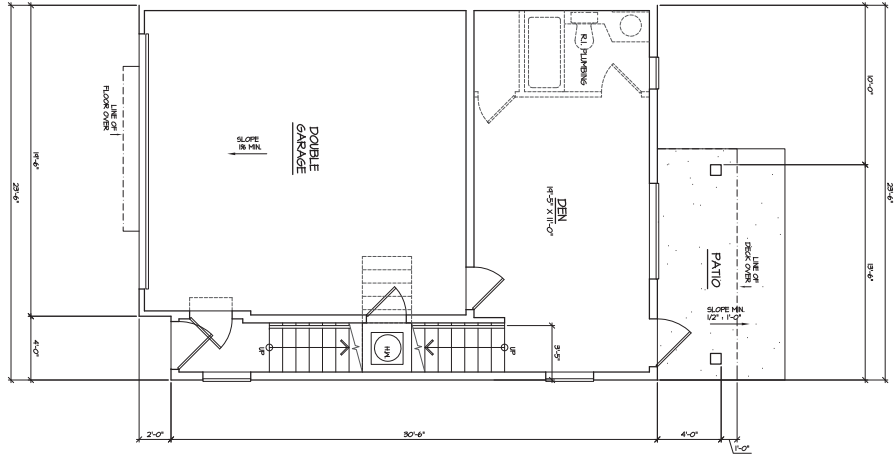
UNIT 135,
 2135 130 STREET
 SURREY, BC
 V3W 1T8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@dnrtek.com

Dornett dembek
 ARCHITECTS
 1000 100 STREET
 SURREY, BC
 V3W 1T8

10016
 PROJECT NO. A-21
 REV. NO. 10016

10016

10016



UNIT TYPE 'A1'
 1965 SF.

CLIENT : PARKSIDE HOLDINGS INC. PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY SHEET CONTENTS : UNIT PLANS UNIT TYPE 'A1'		DESIGN : H.D. DRAWN : DATE : June 16 11 SCALE : 1/4" = 1'-0"	REVISIONS: <table border="1"> <thead> <tr> <th>REV#</th> <th>DATE</th> <th>DRN</th> <th>CRD</th> <th>ISSUE</th> <th>DATE</th> <th>BY</th> <th>ISSUED FOR</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR																																																																																
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR																																																																																				

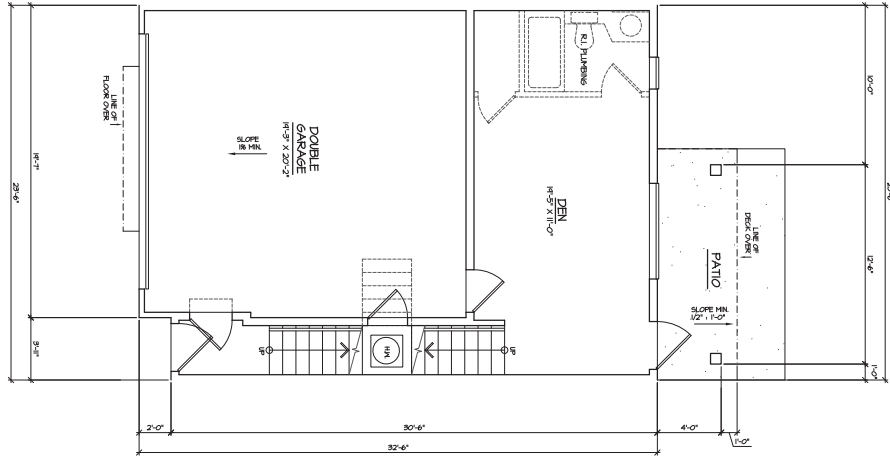
Dornett dembek
 135, 2350 STREET
 2350 STREET
 V2W 1T8

UNIT 135:
 2350 STREET
 2350 STREET
 V2W 1T8

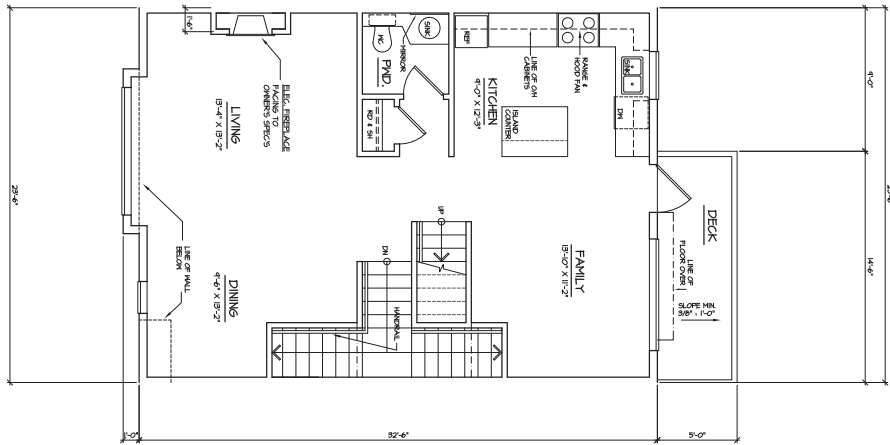
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dornettdem.com

CLIENT NO.: A-2-2
PROJECT NO.: 10016
REV. NO.:

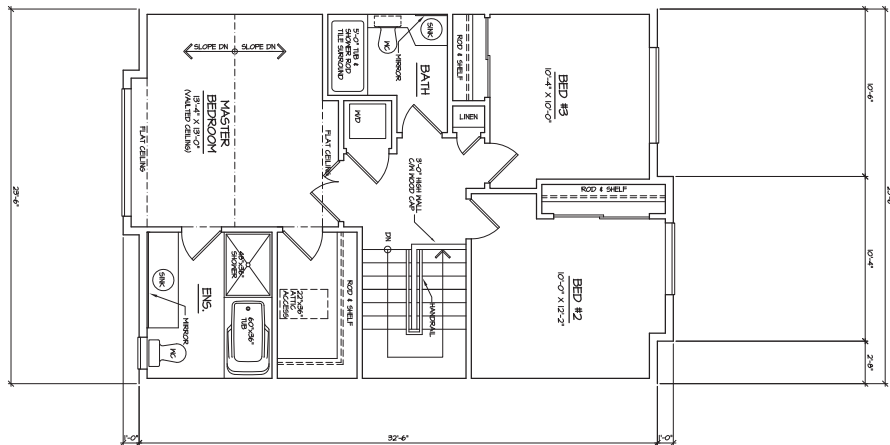
DISCLAIMER: ALL WORKS AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF DORNETT DEMBEK INC. AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DORNETT DEMBEK INC. © 2011



BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 BAGMENT 277 S.F.
 FOTER 30 S.F.
 GARAGE 450 S.F.



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 774 S.F.



UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 704 S.F.

UNIT TYPE 'B2'
 1065 S.F.

CLIENT : PARKSIDE HOLDINGS INC. PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY SHEET CONTENTS : UNIT PLANS UNIT TYPE 'B2'		DESIGN : H.D. DRAWN : DATE : June 16 11 SCALE : 1/4" = 1'-0"	REVISIONS: <table border="1"> <thead> <tr> <th>REV#</th> <th>DATE</th> <th>DRN</th> <th>CRD</th> <th>ISSUE</th> <th>DATE</th> <th>BY</th> <th>ISSUED FOR</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR																																																																																
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR																																																																																				

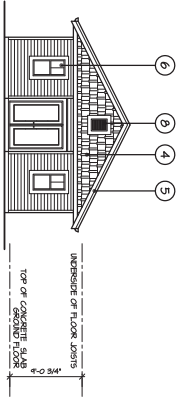
UNIT 135,
2150 STREET
VIEW T18
1065 S.F.

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dnrtek.com

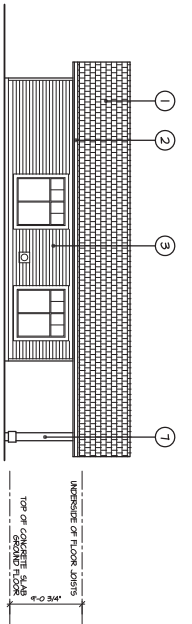
PROJECT NO.: A-29
REV. NO.: 10016

DNORTELL dembek

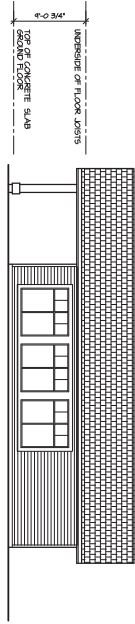
I AGREE TO THE TERMS AND CONDITIONS OF THIS CONTRACT. ALL RIGHTS AND INTERESTS IN THIS PROJECT ARE RESERVED BY THE ARCHITECT. NO PART OF THIS PROJECT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THIS CONTRACT IS VOID WHERE PROHIBITED BY LAW.



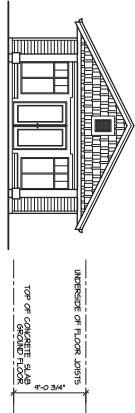
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



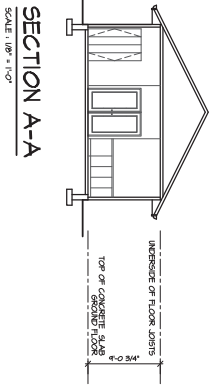
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



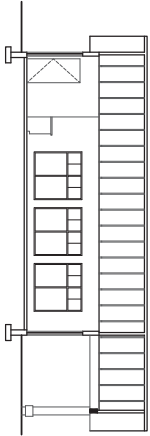
REAR ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

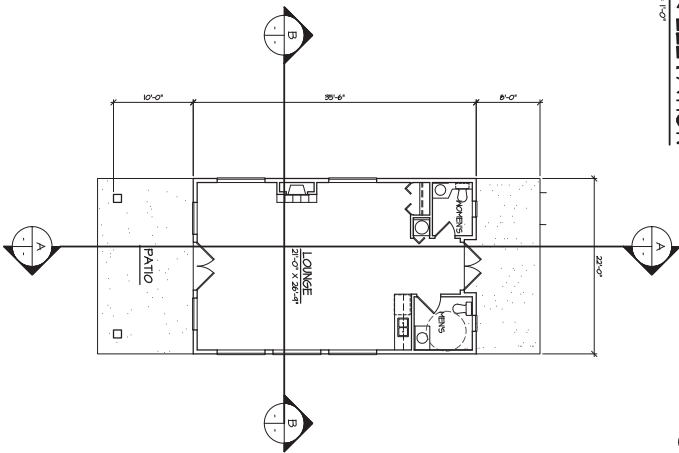
- ① ASPHALT SHINGLES
- ② PRE-FINISHED ALUMINUM GUTTER ON 2" X 6" WOOD FASCIA
- ③ HORIZONTAL VINYL SIDING
- ④ VINYL SHINGLE SIDING
- ⑤ 1" X 4" WOOD TRIM ON 2" X 10" WOOD FASCIA
- ⑥ VINYL WINDOWS, C/M
- ⑦ BUILT UP WOOD COLUMN
- ⑧ 1/2" X 2 1/4" VINYL GABLE VENT C/M | 1" X 6" WOOD TRIM



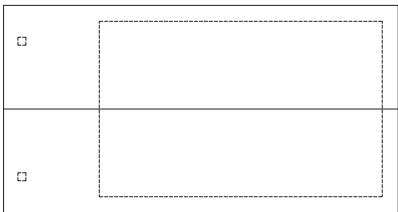
SECTION A-A
SCALE: 1/8" = 1'-0"



SECTION B-B
SCALE: 1/8" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"
781 SF.



ROOF PLAN
SCALE: 1/8" = 1'-0"

AMENITY BUILDING

FOR THE PROJECT: "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6915, 6931 & 6951, 142ND STREET, SURREY
SHEET CONTENTS:
AMENITY BUILDING

REV#	DATE	DRN	CR'D	ISSUE	DATE	BY	ISSUED FOR

DESIGN : H.D.	CLIENT : PARKSIDE HOLDINGS INC.
DRAWN : DATE : June 17 11	PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6915, 6931 & 6951, 142ND STREET, SURREY
SCALE : 1/8" = 1'-0"	SHEET CONTENTS : AMENITY BUILDING

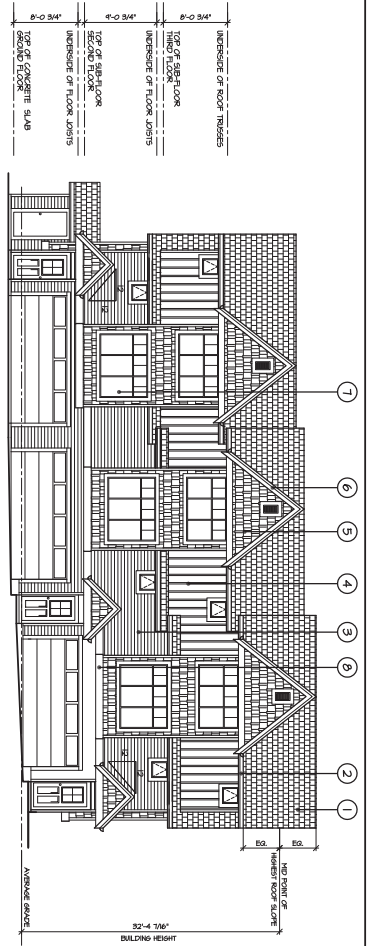
Dornett dembek

UNIT 135,
2155 130 STREET,
VAN TRU
V6V 1T8

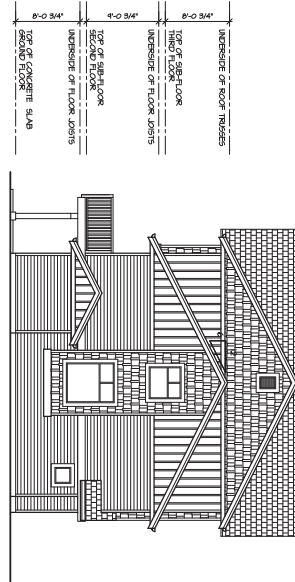
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dornettek.com

CLIENT NO.:
PROJECT NO.:
SHEET NO.:
REV. NO.:

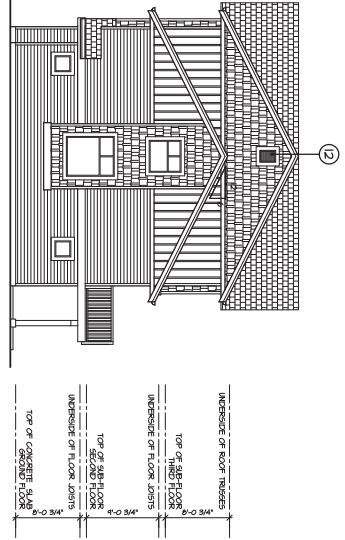
A-219



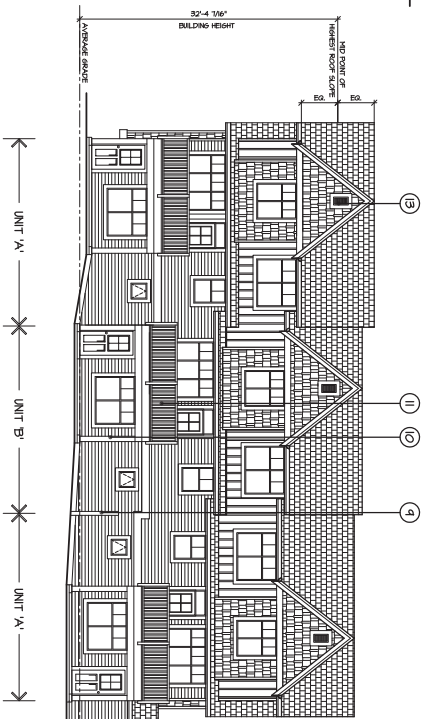
EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

- SCHEDULE OF FINISHES**
- 1 ASPHALT SHINGLES
 - 2 FREE-FINISHED ALUMINUM GUTTER ON 2 X 8 WOOD FASCIA
 - 3 HORIZONTAL VINYL SIDING
 - 4 VINYL VERTICAL BOARD AND BATTEN SIDING
 - 5 VINYL SHINGLE SIDING
 - 6 1 X 4 WOOD TRIM ON 2 X 4 WOOD FASCIA
 - 7 VINYL WINDOW CASING
 - 8 2 X 12 WOOD TRIM
 - 9 PRIVACY SCREEN
 - 10 BUILT UP WOOD COLUMN
 - 11 ALUMINUM SAILING
 - 12 1 1/2" X 2 1/4" VINYL GABLE VENT
 - 13 12" X 1 1/2" VINYL GABLE VENT
 - 14 1 X 6 WOOD TRIM
 - 15 2 X 4 WOOD TRIM

BUILDING # 2

UNIT 135,
7258 130 STREET
VAN TRU
VIEW TRU
VAN TRU

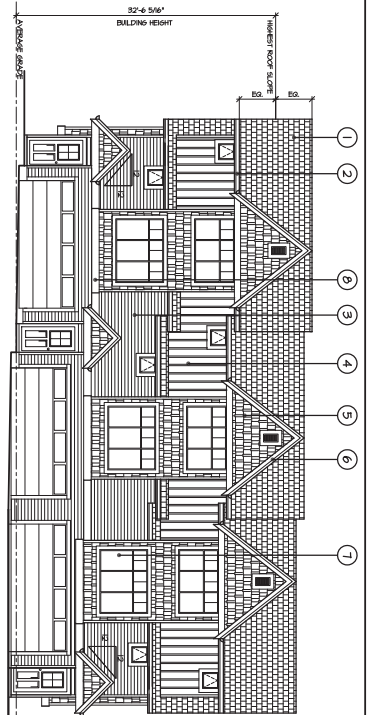
dornett dembek

CLIENT :	PARKSIDE HOLDINGS INC.
PROJECT :	"HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :	BUILDING ELEVATIONS
DESIGN :	M.D.
DRAWN :	
DATE :	June 08
SCALE :	1/8" = 1'-0"

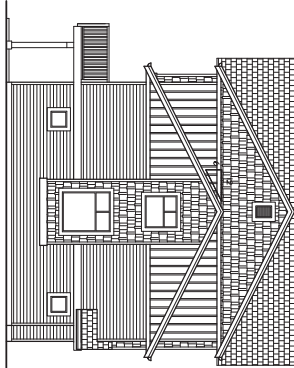
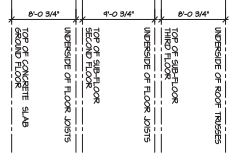
REVN	DATE	DRN	CRD

ISSUE	DATE	BY	ISSUED FOR

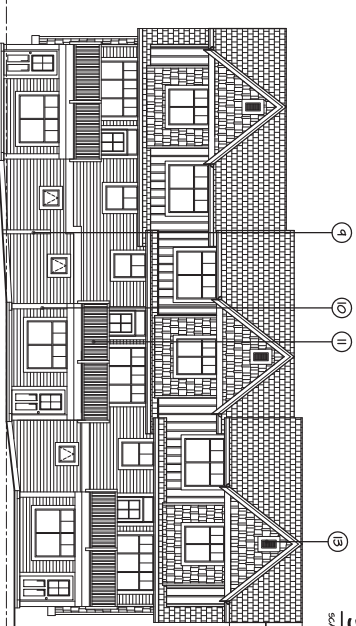
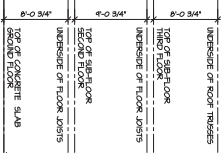
DISCLAIMER: ALL RIGHTS ARE RESERVED BY THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S SERVICES ARE LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.



WEST ELEVATION
SCALE: 1/8" = 1'-0"



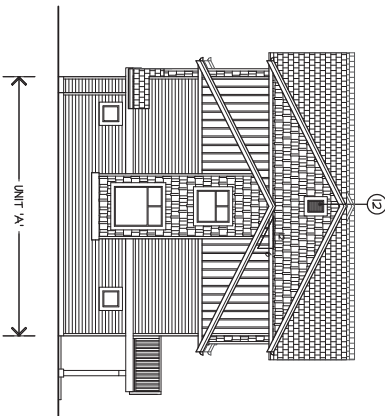
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



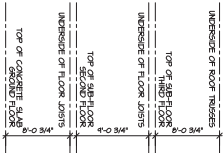
EAST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- 1 ASPHALT SHINGLES
- 2 FREE-FINISHED ALUMINUM GUTTER ON 2 X 6 WOOD FASCIA
- 3 HORIZONTAL VINYL SIDING
- 4 VINYL VERTICAL BOARD AND BATTEN SIDING
- 5 VINYL SHINGLE SIDING
- 6 1 X 4 WOOD TRIM ON 2 X 6 WOOD FASCIA
- 7 VINYL WINDOWS C/M
- 8 2 X 12 WOOD TRIM
- 9 PRIVACY SCREEN
- 10 BUILT UP WOOD COLUMN
- 11 ALUMINUM SAILING
- 12 1 1/2 X 2 1/4 VINYL GABLE VENT C/M
- 13 1 1/2 X 1 1/2 VINYL GABLE VENT C/M
- 14 1 X 6 WOOD TRIM
- 15 2 X 12 WOOD TRIM



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING # 3

DISCLAIMER: ALL SKETCHES AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF BARNETT DENBEK ARCHITECTURE INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BARNETT DENBEK ARCHITECTURE INC. CANADA (P. 01/11) INC. 1978

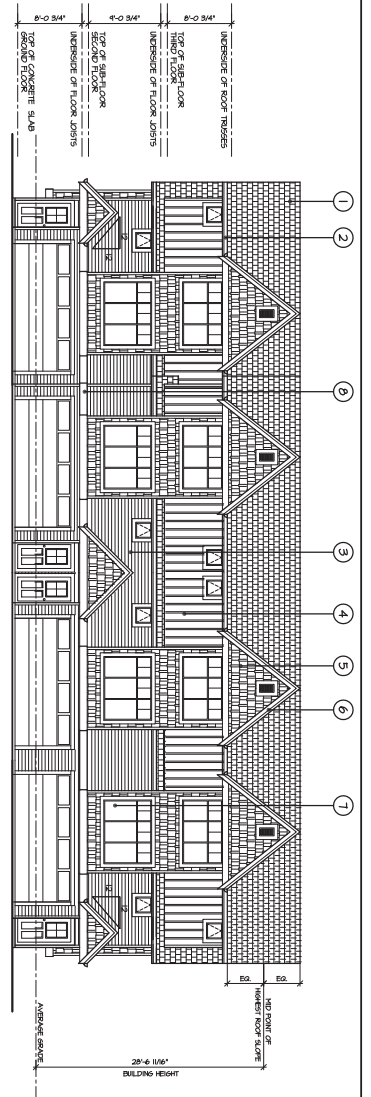
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

CLIENT : PARKSIDE HOLDINGS INC.
 PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
 6415, 6431 & 6451, 142ND STREET, SURREY
 SHEET CONTENTS : BUILDING ELEVATIONS

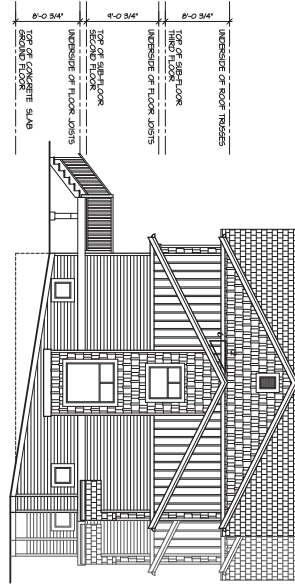
Barnett denbek
 UNIT 135,
 7258 130 STREET,
 SURREY, BC V3W 7H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@denbek.com

DESIGN : M.D.
 DRAWN :
 DATE : June 08
 SCALE : 1/8" = 1'-0"

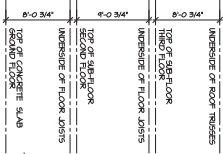
CLIENT NO. AC-33
 PROJECT NO. 10016



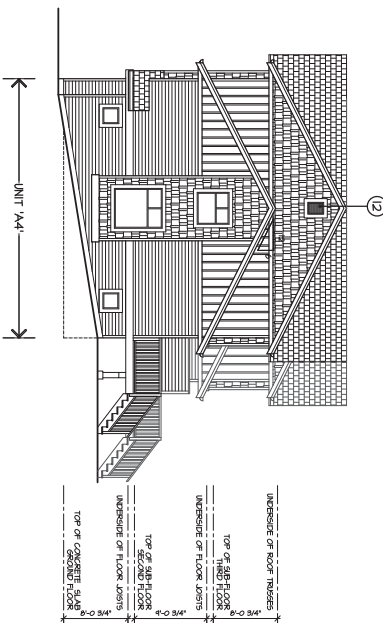
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



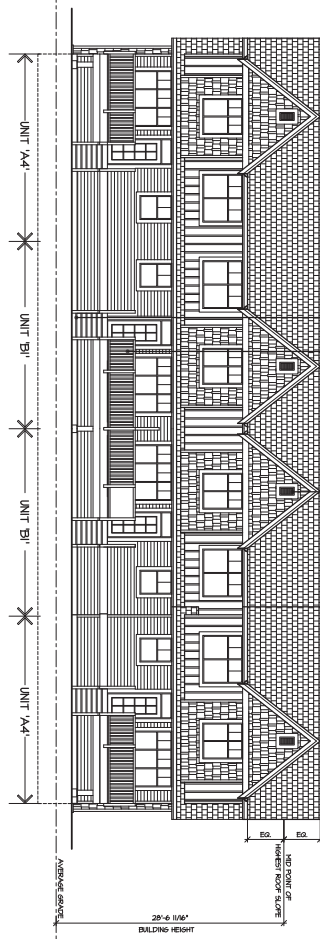
WEST ELEVATION
SCALE: 1/8" = 1'-0"



- SCHEDULE OF FINISHES**
- ① ASPHALT SHINGLES
 - ② PRE-FINISHED ALUMINUM GUTTER ON 2 X 8 WOOD FASCIA
 - ③ HORIZONTAL VINYL SIDING
 - ④ VINYL VERTICAL BOARD AND BATTEN SIDING
 - ⑤ VINYL SHINGLE SIDING
 - ⑥ 1 X 4 WOOD TRIM ON 2 X 10 WOOD FASCIA
 - ⑦ VINYL WINDOVS C/M 1 X 6 WOOD TRIM
 - ⑧ 2 X 12 WOOD TRIM
 - ⑨ PRIVACY SCREEN
 - ⑩ BUILT UP WOOD COLUMN
 - ⑪ ALUMINUM RAILING
 - ⑫ 1/8" X 2 1/4" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM
 - ⑬ 1 1/2" X 1/2" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM



EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING # 4

© COPYRIGHT, ALL RIGHTS ARE RESERVED BY BARNETT DENBEK ARCHITECTURE INC. FOR THE PROJECT AND SHEET. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM BARNETT DENBEK ARCHITECTURE INC. THIS DOCUMENT IS THE PROPERTY OF BARNETT DENBEK ARCHITECTURE INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SHEET SPECIFICALLY IDENTIFIED HEREON. OTHER THAN AS AUTHORIZED BY BARNETT DENBEK ARCHITECTURE INC. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SHEET.

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

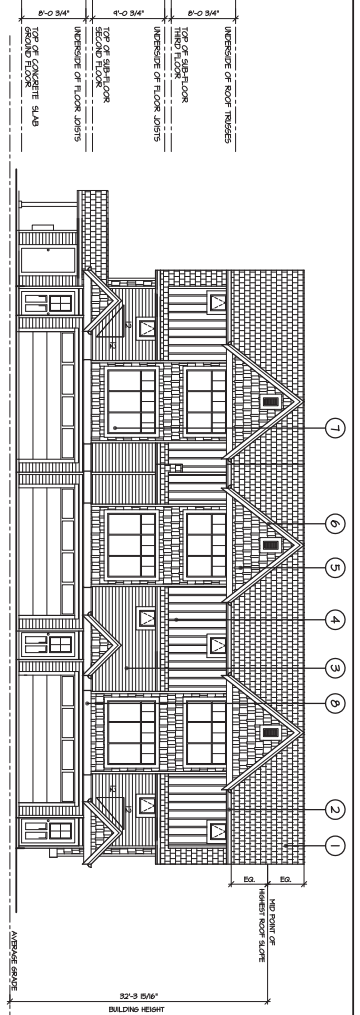
CLIENT :	PARKSIDE HOLDINGS INC.
PROJECT :	"HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :	BUILDING ELEVATIONS
DESIGN :	M.D.
DRAWN :	
DATE :	June 01 11
SCALE :	1/8" = 1'-0"

Barnett denbek

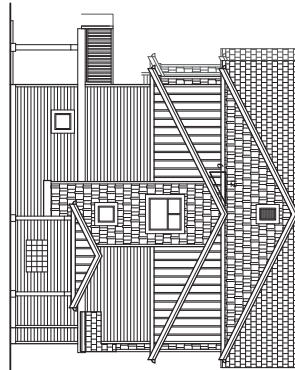
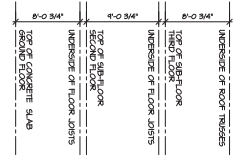
UNIT 135,
7258 130 STREET,
SURREY, BC V3W 7H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@denbek.com

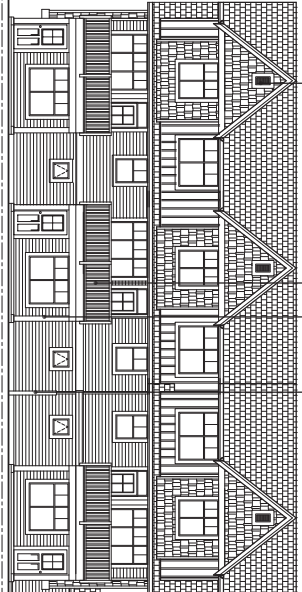
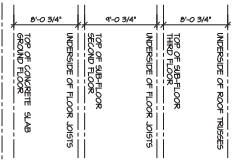
CLIENT NO. AC-34
PROJECT NO. 10016



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



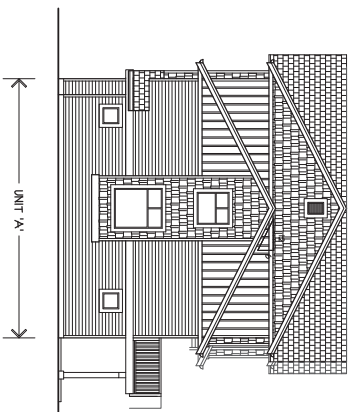
EAST ELEVATION
SCALE: 1/8" = 1'-0"



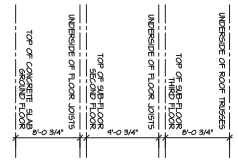
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① ASPHALT SHINGLES
- ② PRE-FINISHED ALUMINUM GUTTER ON 2 X 8 WOOD FASCIA
- ③ HORIZONTAL VINYL SIDING
- ④ VINYL VERTICAL BOARD AND BATTEN SIDING
- ⑤ VINYL SHINGLE SIDING
- ⑥ 1 X 4 WOOD TRIM ON 2 X 8 WOOD FASCIA
- ⑦ VINYL WINDOW CASING
- ⑧ 2 X 12 WOOD TRIM
- ⑨ PRIVACY SCREEN
- ⑩ BUILT UP WOOD COLUMN
- ⑪ ALUMINUM RAILING
- ⑫ 1 1/2" X 2 1/4" VINYL GABLE VENT
- ⑬ 12" X 1 1/2" VINYL GABLE VENT
- ⑭ 1 X 6 WOOD TRIM
- ⑮ 1 X 6 WOOD TRIM
- ⑯ 2 X 12 WOOD TRIM



WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING # 5

dornett dembek

UNIT 135,
7358 130 STREET,
SURREY, BC V4N 1S5,
VIEW 718 811

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dornett.com

CLIENT NO. AC-35
PROJECT NO. 10016

CLIENT : PARKSIDE HOLDINGS INC.

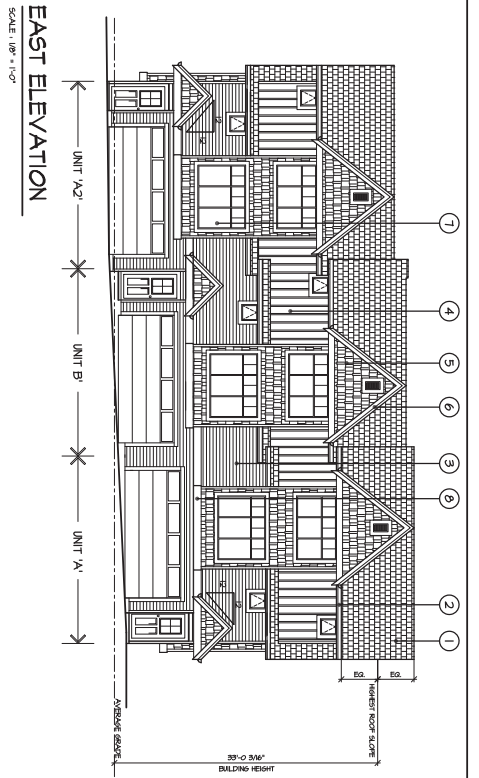
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY

SHEET CONTENTS :
BUILDING ELEVATIONS

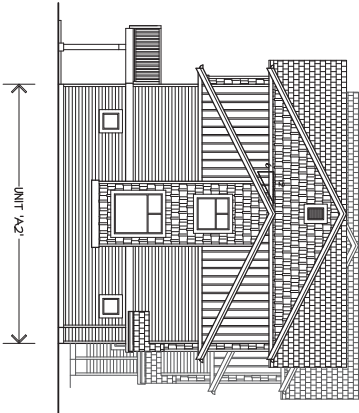
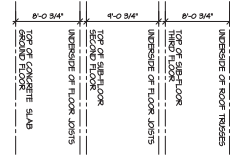
DESIGN : M.D.
DRAWN :
DATE : June 01 11
SCALE : 1/8" = 1'-0"

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

DISCLAIMER: ALL SERVICES AND MATERIALS PROVIDED BY DORNETT DEMBEK ARCHITECTURE INC. ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE AGREEMENT BETWEEN THE CLIENT AND DORNETT DEMBEK ARCHITECTURE INC. THE CLIENT AGREES TO HOLD DORNETT DEMBEK ARCHITECTURE INC. HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THE USE OF THE SERVICES PROVIDED BY DORNETT DEMBEK ARCHITECTURE INC. UNDER THIS AGREEMENT.

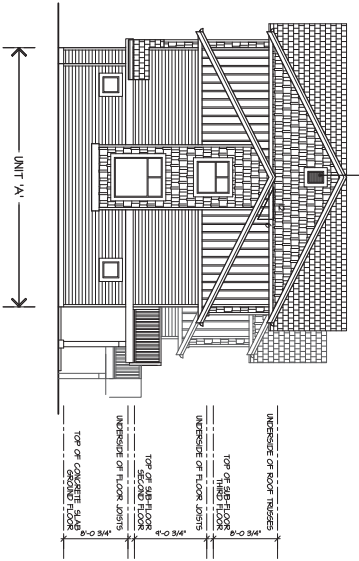


EAST ELEVATION
SCALE: 1/8" = 1'-0"

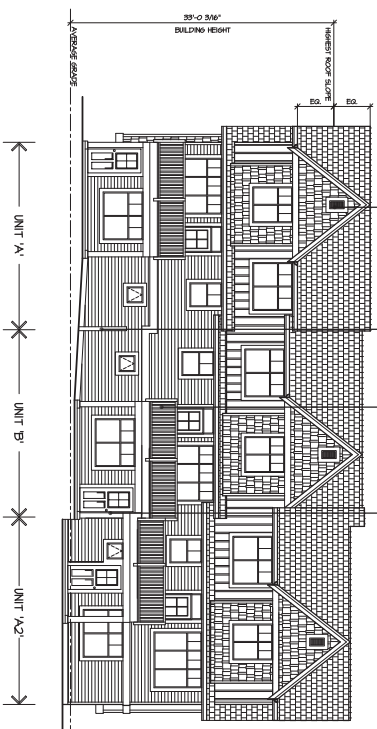


SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

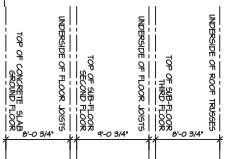
- SCHEDULE OF FINISHES**
- 1 ASPHALT SHINGLES
 - 2 FREE-FINISHED ALUMINUM GUTTER ON 2 X 8 WOOD FASCIA
 - 3 HORIZONTAL VINYL SIDING
 - 4 VINYL VERTICAL BOARD AND BATTEN SIDING
 - 5 VINYL SHINGLE SIDING
 - 6 1 X 4 WOOD TRIM ON 2 X 6 WOOD FASCIA
 - 7 VINYL WINDOWS C/M 1 X 6 WOOD TRIM
 - 8 2 X 12 WOOD TRIM
 - 9 PRIVACY SCREEN
 - 10 BUILT UP WOOD COLUMN
 - 11 ALUMINUM RAILING
 - 12 1 1/2" X 2 1/4" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM
 - 13 12" X 1 1/2" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

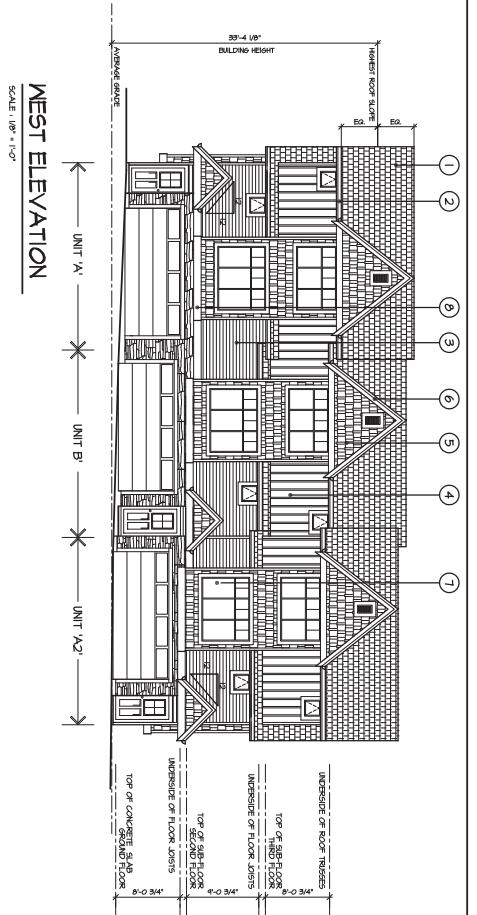


WEST ELEVATION
SCALE: 1/8" = 1'-0"

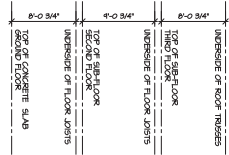


BUILDING # 6

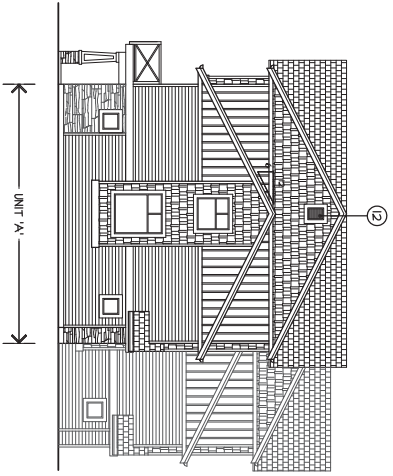
<p>CLIENT : PARKSIDE HOLDINGS INC.</p> <p>PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY</p> <p>SHEET CONTENTS : BUILDING ELEVATIONS</p>	<p>DESIGN : M.D.</p> <p>DRAWN :</p> <p>DATE : June 0 11</p> <p>SCALE : 1/8" = 1'-0"</p>	<p>REVN DATE DRN CRD</p>	<p>ISSUE DATE BY ISSUED FOR</p>	<p>UNITS 135, 2156 130 STREET SURREY, BC V4A 1H8</p> <p>dornett dembek</p> <p>PHONE: (604) 597-7100 FAX: (604) 597-2099 EMAIL: info@dornettdempek.com</p> <p>CLIENT NO. AC-36 PROJECT NO. 10016</p>
--	---	--------------------------	---------------------------------	--



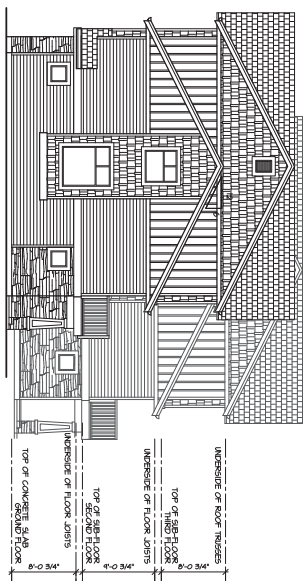
WEST ELEVATION
SCALE: 1/8" = 1'-0"



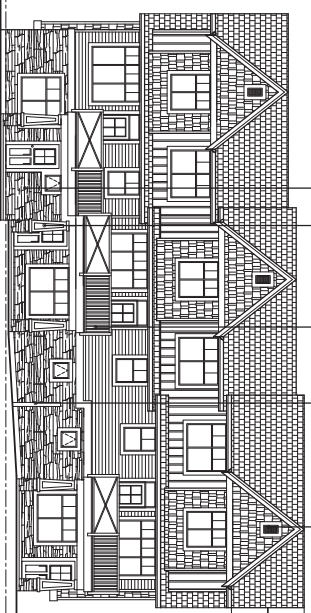
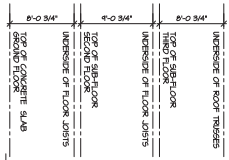
- SCHEDULE OF FINISHES**
- 1 ASPHALT SHINGLES
 - 2 PRE-FINISHED ALUMINUM GUTTER ON 2 X 6 WOOD FASCIA
 - 3 HORIZONTAL VINYL SIDING
 - 4 VINYL VERTICAL BOARD AND BATTEN SIDING
 - 5 VINYL SHINGLE SIDING
 - 6 1 X 4 WOOD TRIM ON VINYL WINDOWS C/M
 - 7 1 X 6 WOOD TRIM
 - 8 2 X 12 WOOD TRIM
 - 9 PRIVACY SCREEN
 - 10 BUILT UP WOOD COLUMN
 - 11 ALUMINUM RAILING
 - 12 1/2" X 2 1/4" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM
 - 13 1 1/2" X 1/2" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM
 - 14 CULTURED STONE



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING # 7

FOR THE ARCHITECT, ALL RIGHTS ARE RESERVED. THIS DRAWING IS THE PROPERTY OF DORNETT DENBEK ARCHITECTURE INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DORNETT DENBEK ARCHITECTURE INC. IN CANADA: DORNETT DENBEK ARCHITECTURE INC. 135 GERRARD STREET EAST, SUITE 200, TORONTO, ONTARIO M5C 1S7, CANADA. PHONE: (416) 461-1111. FAX: (416) 461-1112. EMAIL: info@dornettdenbek.com

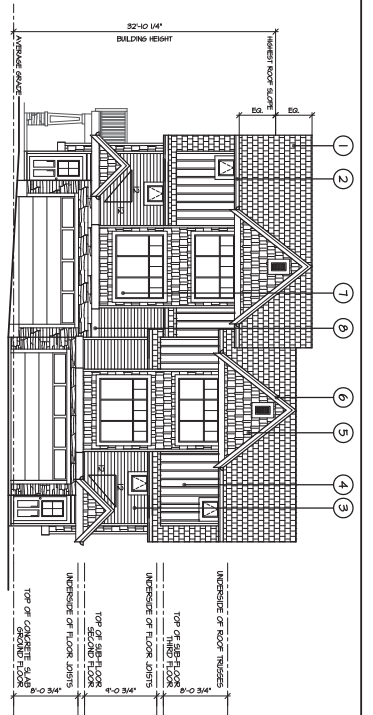
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

DESIGN : M.D.
DRAWN :
DATE : June 01 11
SCALE : 1/8" = 1'-0"

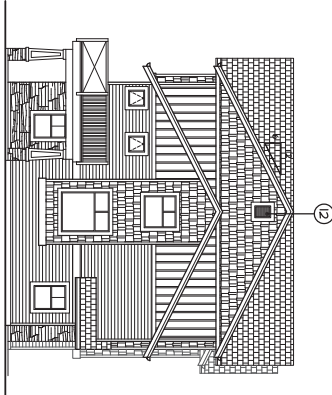
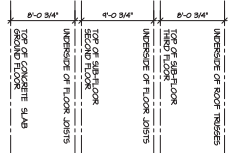
CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS : BUILDING ELEVATIONS

dornett denbek
UNIT 135, GERRARD STREET EAST, SUITE 200, TORONTO, ONTARIO M5C 1S7, CANADA
PHONE: (416) 461-1111
FAX: (416) 461-1112
EMAIL: info@dornettdenbek.com

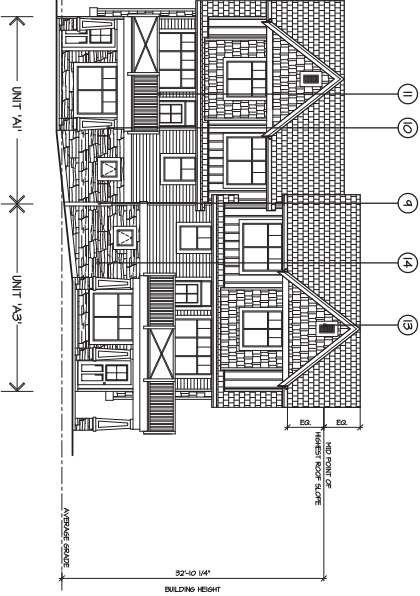
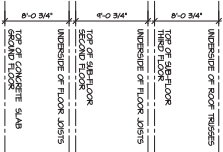
CLIENT NO. AC-3-1
PROJECT NO. 10016
REV. NO.



WEST ELEVATION
SCALE: 1/8" = 1'-0"



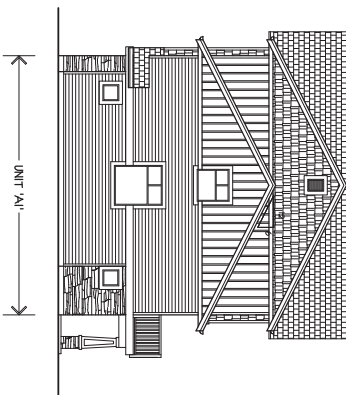
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



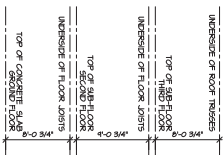
EAST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- 1 ASPHALT SHINGLES
- 2 PRE-FINISHED ALUMINUM GUTTER ON 2 X 8 WOOD FASCIA
- 3 HORIZONTAL VINYL SIDING
- 4 VINYL VERTICAL BOARD AND BATTEN SIDING
- 5 VINYL SHINGLE SIDING
- 6 1 X 4 WOOD TRIM ON 2 X 6 WOOD FASCIA
- 7 VINYL WINDOWS C/M
- 8 2 X 12 WOOD TRIM
- 9 PRIVACY SCREEN
- 10 BUILT UP WOOD COLUMN
- 11 ALUMINUM RAILING
- 12 1 1/2" X 2 1/4" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM
- 13 12" X 1 1/2" VINYL GABLE VENT C/M 1 X 6 WOOD TRIM
- 14 CULTURED STONE



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING # 8

dornett dembek

UNIT 135,
2156 130 STREET,
VAN TRU
VAN TRU

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dornett.com

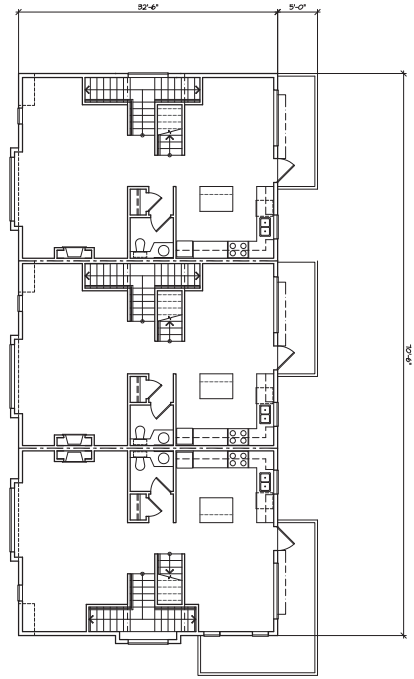
CLIENT NO. AC-3-B
PROJECT NO. 10016

CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS : BUILDING ELEVATIONS

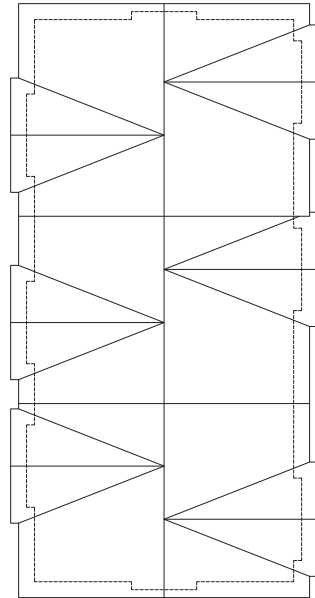
DESIGN : M.D.
DRAWN :
DATE : June 08
SCALE : 1/8" = 1'-0"

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

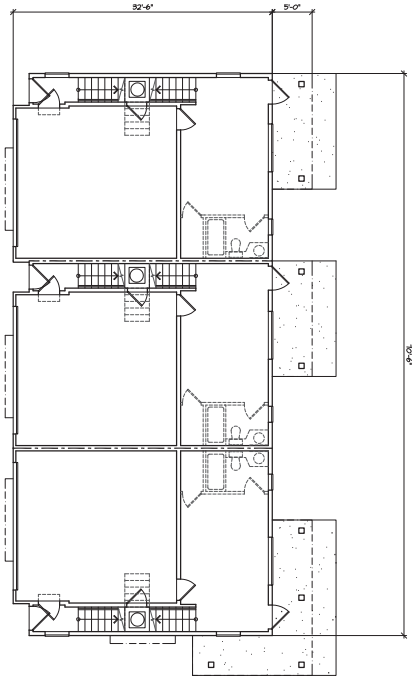
DISCLAIMER: ALL SKETCHES AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF DORNETT DEMBEK ARCHITECTURE INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DORNETT DEMBEK ARCHITECTURE INC. © 2008



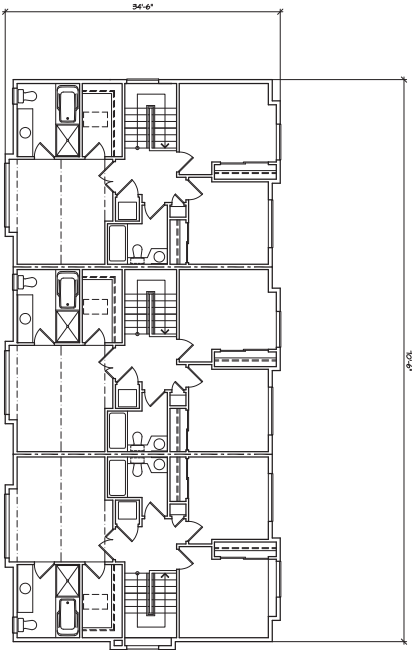
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 1

UNIT 135,
2525 130 STREET,
VAN TRU
VIEW TRU
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dnrtek.com

dnrtek dembek

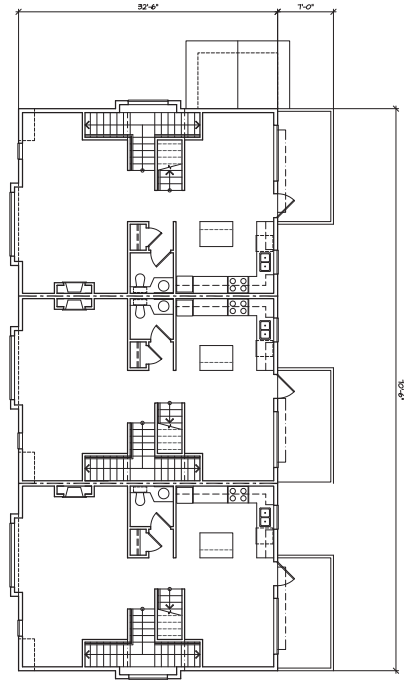
CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :
FLOOR & ROOF PLANS

DESIGN : M.D.
DRAWN :
DATE : June 01 11
SCALE : 1/8" = 1'-0"

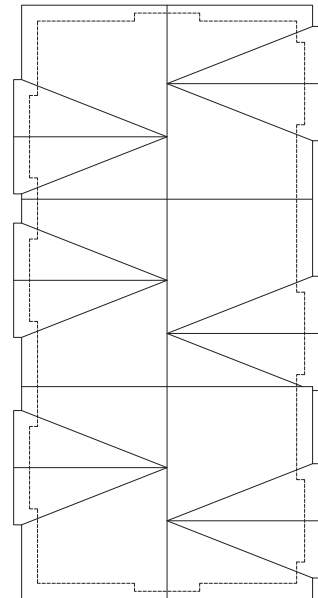
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

GOVERNMENT, ALL RIGHTS ARE RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM DNRTEK. DNRTEK IS NOT RESPONSIBLE FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS DOCUMENT. CANADA COPYRIGHT © 2011 DNRTEK INC.

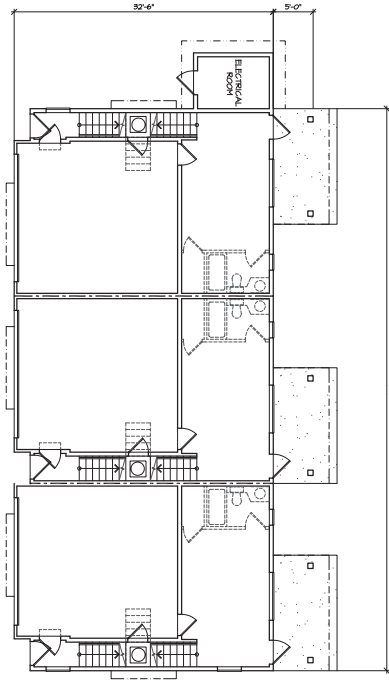
CLIENT NO. AC-41
PROJECT NO. 10016
REV. NO.



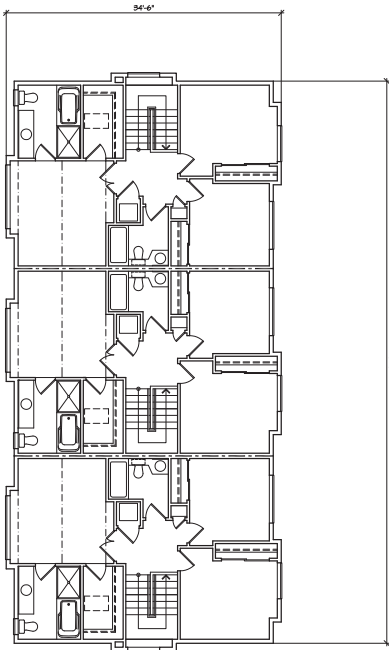
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 2

UNIT 135,
2536 130 STREET,
VAN TRU
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@demtek.com

demtek

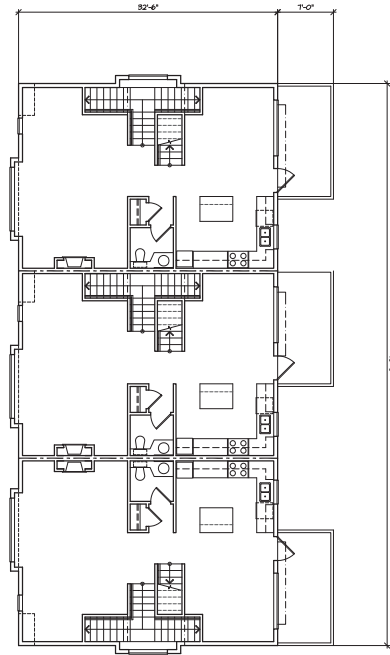
CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :
FLOOR & ROOF PLANS

DESIGN : M.D.
DRAWN :
DATE : June 01 11
SCALE : 1/8" = 1'-0"

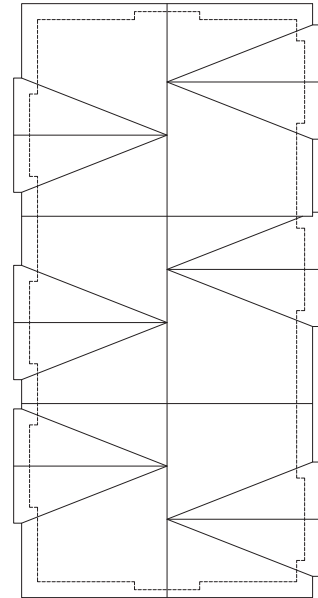
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

CLIENT NO.	PROJECT NO.	REV. NO.
AC-42	10016	

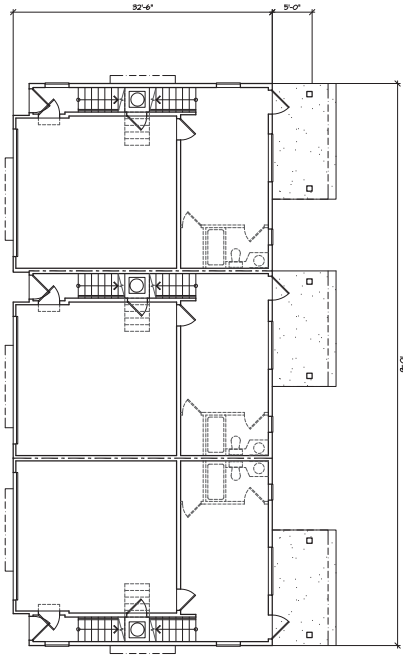
DEMTEK INC. 14200 142ND STREET, SURREY, BC V3R 0G1
 PHONE: (604) 597-7100 FAX: (604) 597-2099
 EMAIL: mail@demtek.com



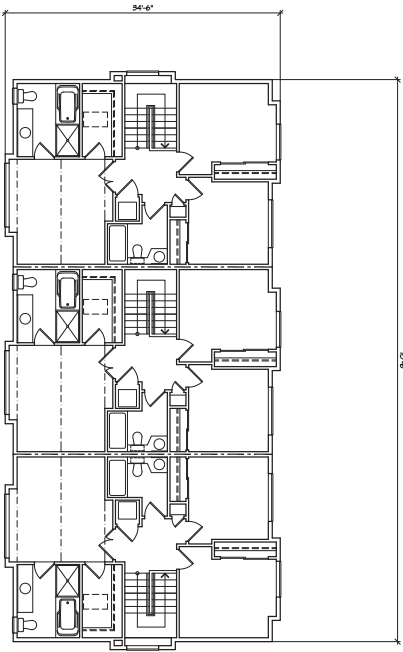
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 3

UNIT 135,
2158 130 STREET,
VAN TRU
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dornettdembek.com

dornett dembek

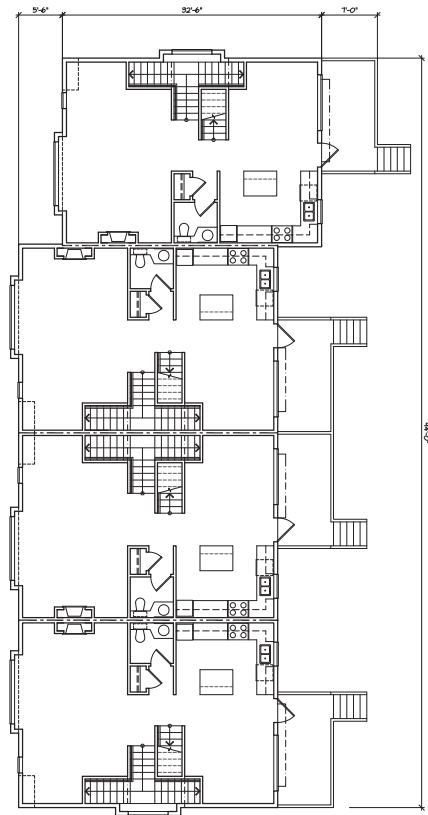
CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :
FLOOR & ROOF PLANS

DESIGN : M.D.
DRAWN :
DATE : June 01 11
SCALE : 1/8" = 1'-0"

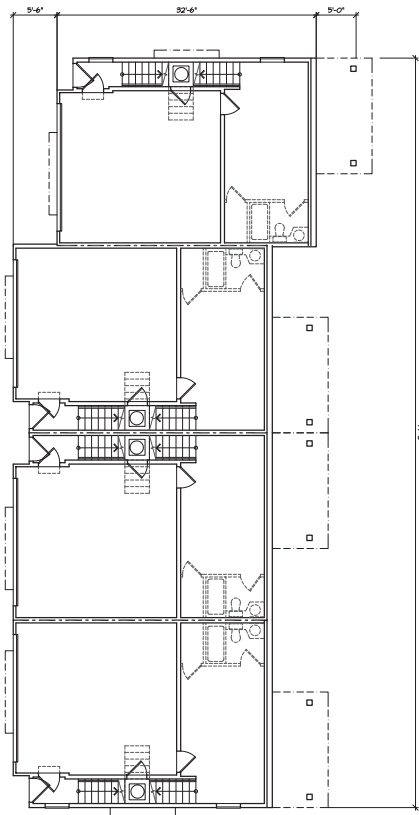
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

FOR INFORMATION, ALL SERVICES AND THE
DRAWING CONTRACTOR SHALL BE
THE RESPONSIBILITY OF THE CLIENT.
THE CLIENT SHALL BE RESPONSIBLE FOR
OBTAINING ALL NECESSARY PERMITS,
LICENSING AND APPROVALS FROM THE
LOCAL, PROVINCIAL AND FEDERAL
AUTHORITIES.
DORNETT DEMBEK ARCHITECTS INC. 1998

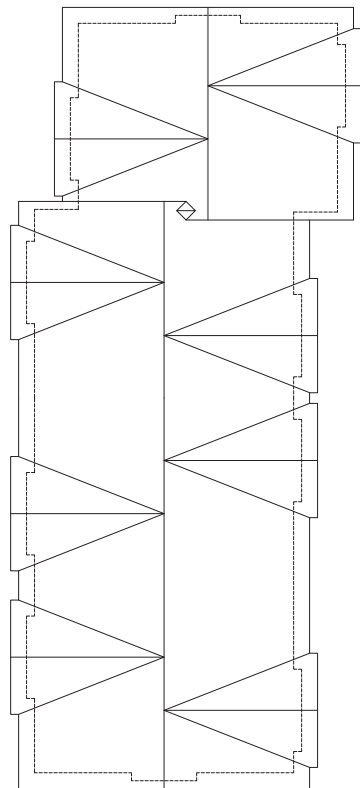
CLIENT NO.	PROJECT NO.	REV. NO.
AC-43	10016	



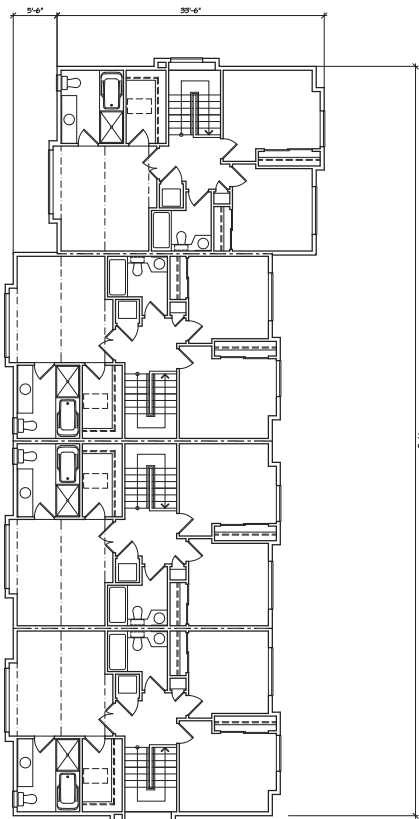
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 4

UNIT 135,
2535 130 STREET,
VAN TRU
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@demtek.com

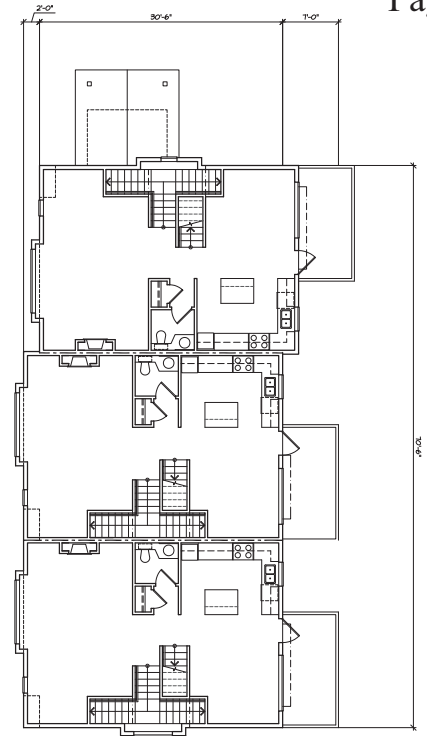
demtek

CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :
FLOOR & ROOF PLANS

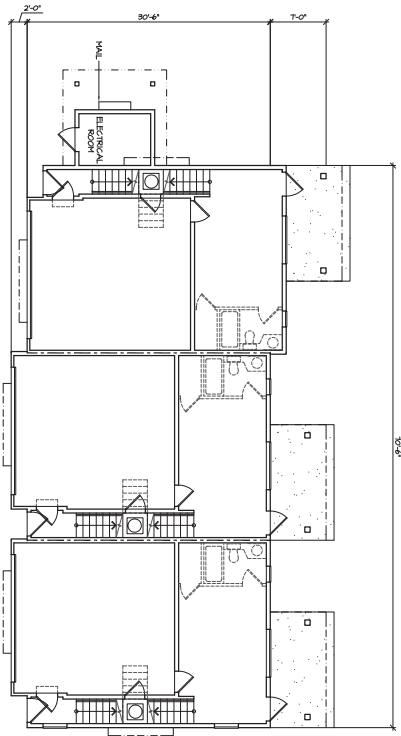
DESIGN : M.D.
DRAWN :
DATE : June 01 11
SCALE : 1/8" = 1'-0"

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

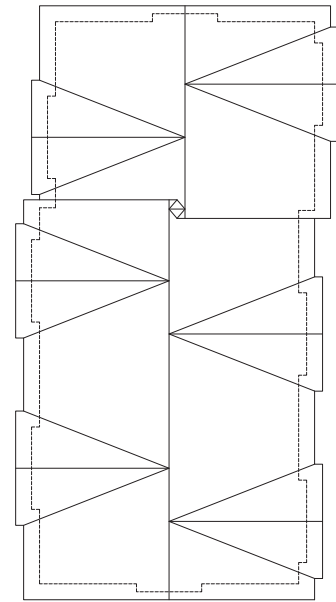
DEMTEK INC. 14200 142ND STREET, SURREY, BC V3R 4G8
TEL: (604) 597-7100 FAX: (604) 597-2099
WWW.DEMTEK.COM
M.D. ARCHITECTURE INC. 14200 142ND STREET, SURREY, BC V3R 4G8
TEL: (604) 597-7100 FAX: (604) 597-2099
WWW.MDARCHITECTURE.COM
M.D. ARCHITECTURE INC. 14200 142ND STREET, SURREY, BC V3R 4G8
TEL: (604) 597-7100 FAX: (604) 597-2099
WWW.MDARCHITECTURE.COM



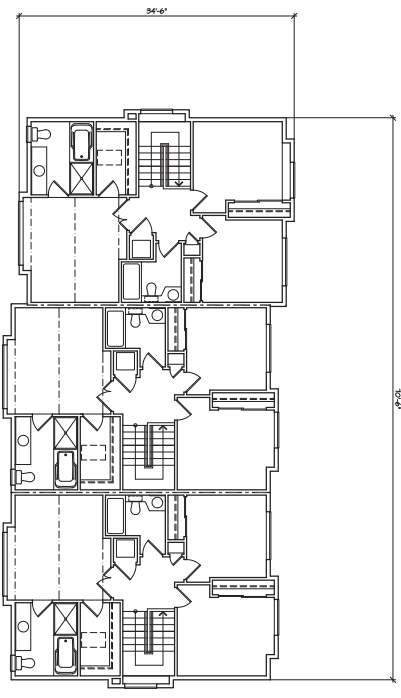
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 5

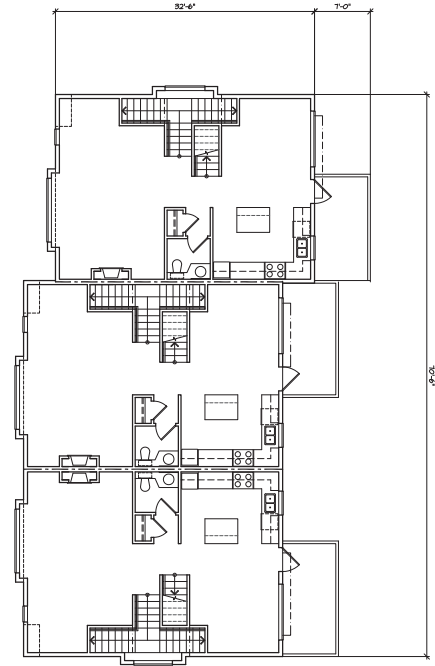
UNIT 135,
2325 130 STREET,
VAN TRU
VIEW TRU
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dnrtek.com

dnrtek dembek

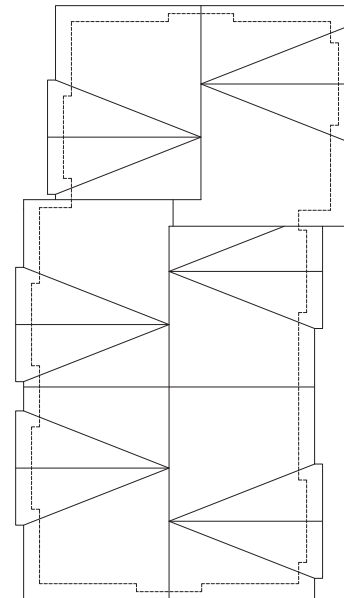
CLIENT :	PARKSIDE HOLDINGS INC.	DESIGN :	M.D.
PROJECT :	"HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY	DRAWN :	
SHEET CONTENTS :	FLOOR & ROOF PLANS	DATE :	June 01 11
		SCALE :	1/8" = 1'-0"

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

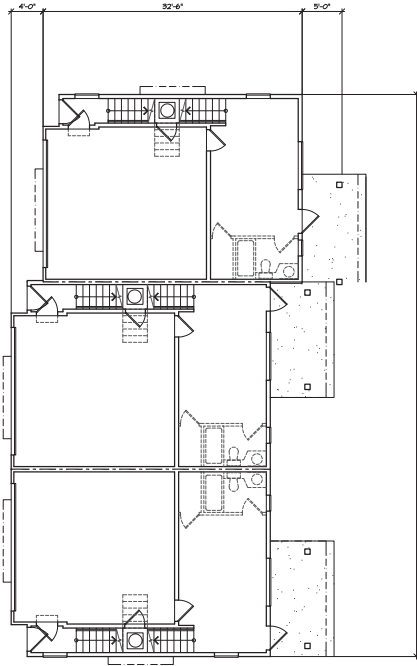
FOR INFORMATION, ALL SERVICES AND THE
DRAWING IS THE PROPERTY OF DNRTEK AND
SHALL BE KEPT IN CONFIDENCE. NO PART
HEREOF IS TO BE REPRODUCED OR
TRANSMITTED IN ANY FORM OR BY ANY
MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE
WRITTEN PERMISSION OF DNRTEK.
DNRTEK, VAN TRU, VAN TRU HOLDINGS
INC., VAN TRU, VAN TRU HOLDINGS
INC., VAN TRU HOLDINGS INC. VAN TRU
CANADA COMPANY INC. VAN TRU



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 6

UNIT 135,
2328 130 STREET,
VAN TRU
VIA TRU 811
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@demtek.com

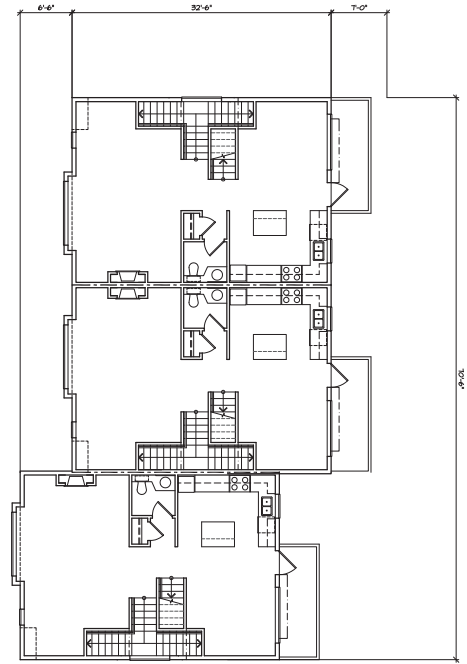
demtek

CLIENT : PARKSIDE HOLDINGS INC.	DESIGN : M.D.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY	DRAWN :
SHEET CONTENTS : FLOOR & ROOF PLANS	DATE : June 01 11
	SCALE : 1/8" = 1'-0"

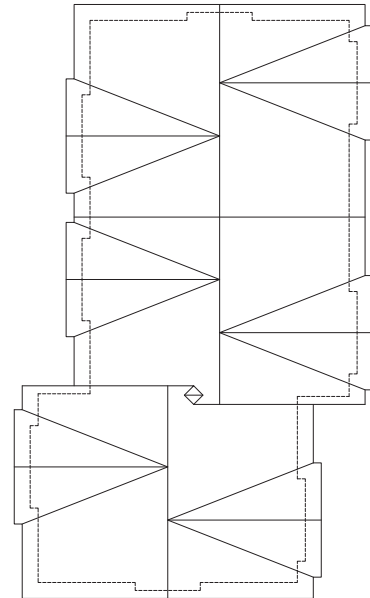
REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

CLIENT NO.	PROJECT NO.	REV. NO.	DATE	BY	ISSUED FOR

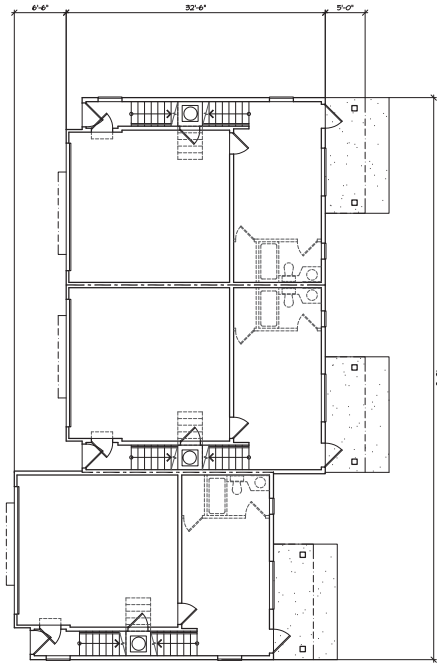
DEMTEK INC. 1100 WEST 10TH AVENUE, SUITE 100, VANCOUVER, BC V6H 2G6
 TEL: (604) 597-7100 FAX: (604) 597-2099
 WWW.DEMTEK.COM
 100% CANADIAN OWNED & OPERATED
 100% CANADIAN EMPLOYMENT
 100% CANADIAN PRODUCTS



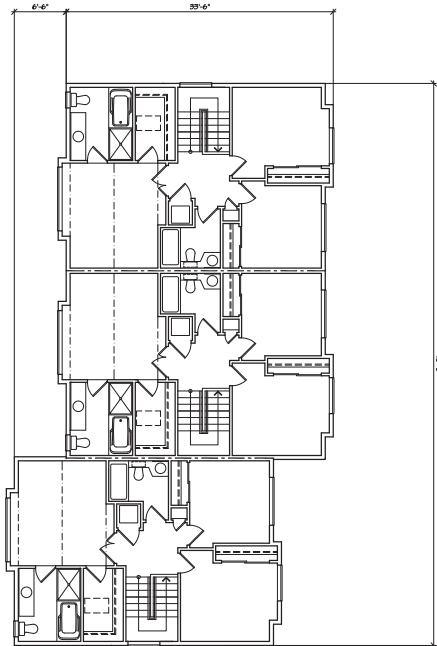
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 7

UNIT 135,
2538 130 STREET,
VAN TRU
VIEW TRU
ST.

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dornett.com

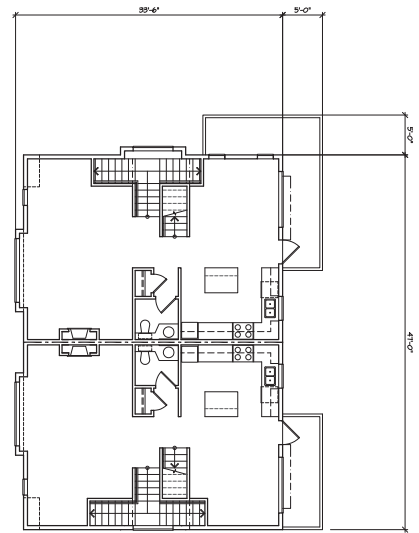
dornett dembek

CLIENT : PARKSIDE HOLDINGS INC.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT
6415, 6431 & 6451, 142ND STREET, SURREY
SHEET CONTENTS :
FLOOR & ROOF PLANS

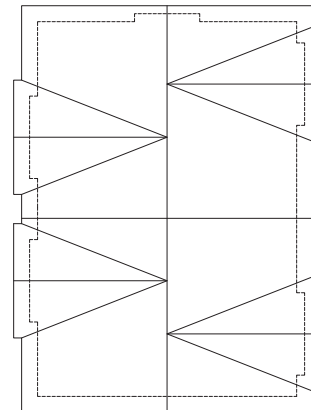
DESIGN : M.D.
DRAWN :
DATE : June 01 11
SCALE : 1/8" = 1'-0"

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

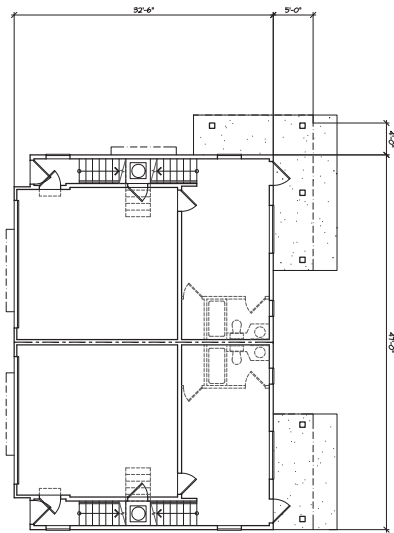
CLIENT NO.	AC-4-1
PROJECT NO.	REV. NO.
10016	



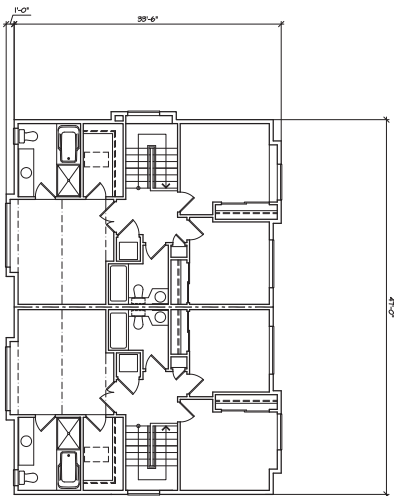
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

BUILDING # 8

dornett dembek

UNIT 135,
2525 130 STREET,
VAN TRU
VIA 718 811-1111

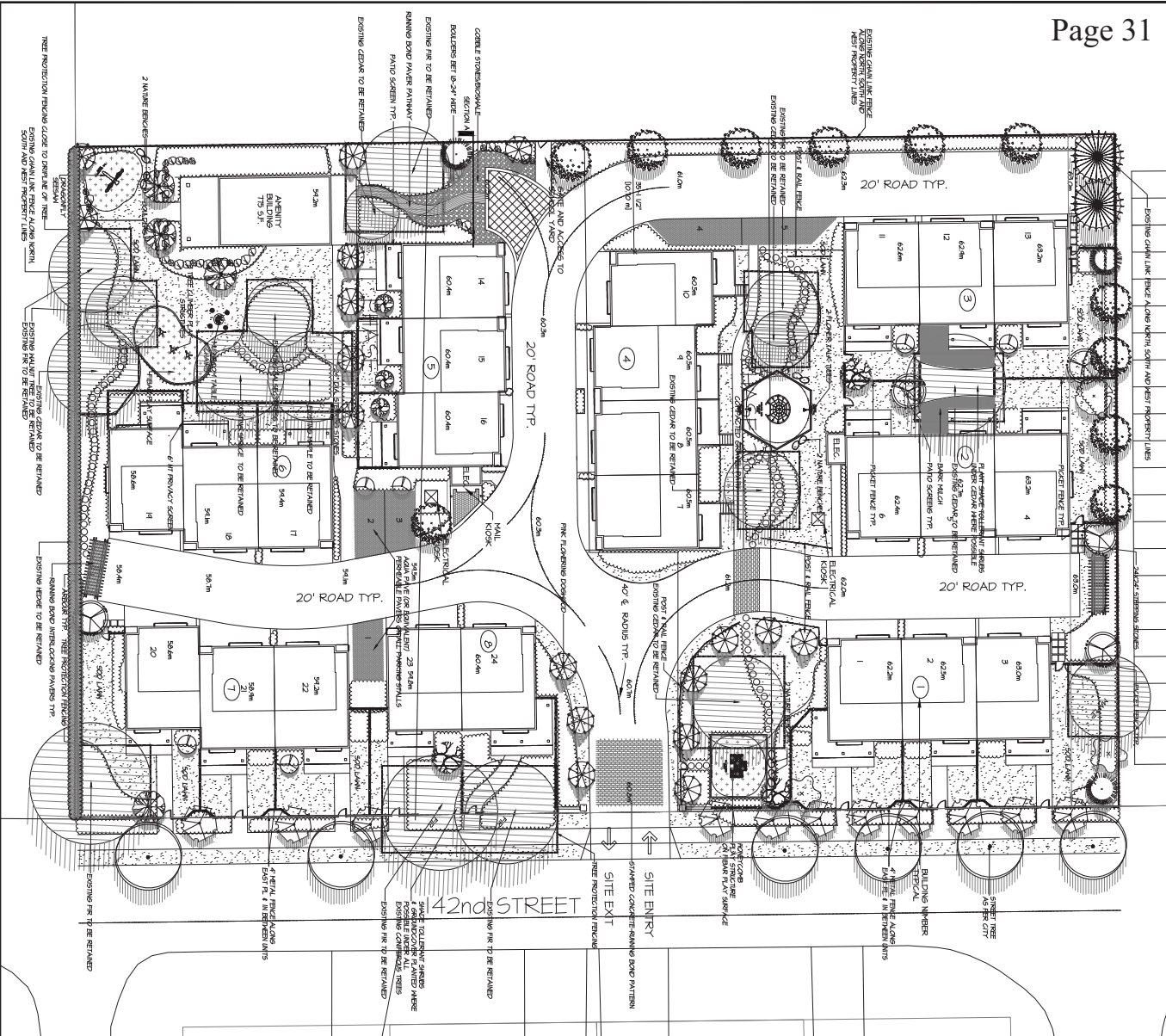
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dornett.com

CLIENT NO. AC-4-B
PROJECT NO. 10016
REV. NO.

CLIENT : PARKSIDE HOLDINGS INC.	DESIGN : M.D.
PROJECT : "HAZELNUT MEADOWS" TOWNHOUSE PROJECT 6415, 6431 & 6451, 142ND STREET, SURREY	DRAWN :
SHEET CONTENTS : FLOOR & ROOF PLANS	DATE : June 01 11
	SCALE : 1/8" = 1'-0"

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

FOR INFORMATION, ALL SERVICES AND THE
DRAWING IS THE PROPERTY OF DORNETT
AND SHALL REMAIN THE PROPERTY OF
DORNETT AND SHALL NOT BE REPRODUCED
OR TRANSMITTED IN ANY FORM OR BY
ANY MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE
WRITTEN PERMISSION OF DORNETT
DORNETT DEMBEK ARCHITECTS INC.
VAN TRU, BC CANADA
DORNETT DEMBEK ARCHITECTS INC. 1998



PLANT SCHEDULE

NO.	SYM.	COMMON NAME	PLANTING RATE / NOTES
1	1	ADONIS	600 CAL, 1000 BAR
2	2	ADONIS	600 CAL, 1000 BAR
3	3	ADONIS	600 CAL, 1000 BAR
4	4	ADONIS	600 CAL, 1000 BAR
5	5	ADONIS	600 CAL, 1000 BAR
6	6	ADONIS	600 CAL, 1000 BAR
7	7	ADONIS	600 CAL, 1000 BAR
8	8	ADONIS	600 CAL, 1000 BAR
9	9	ADONIS	600 CAL, 1000 BAR
10	10	ADONIS	600 CAL, 1000 BAR
11	11	ADONIS	600 CAL, 1000 BAR
12	12	ADONIS	600 CAL, 1000 BAR
13	13	ADONIS	600 CAL, 1000 BAR
14	14	ADONIS	600 CAL, 1000 BAR
15	15	ADONIS	600 CAL, 1000 BAR
16	16	ADONIS	600 CAL, 1000 BAR
17	17	ADONIS	600 CAL, 1000 BAR
18	18	ADONIS	600 CAL, 1000 BAR
19	19	ADONIS	600 CAL, 1000 BAR
20	20	ADONIS	600 CAL, 1000 BAR
21	21	ADONIS	600 CAL, 1000 BAR
22	22	ADONIS	600 CAL, 1000 BAR
23	23	ADONIS	600 CAL, 1000 BAR
24	24	ADONIS	600 CAL, 1000 BAR
25	25	ADONIS	600 CAL, 1000 BAR
26	26	ADONIS	600 CAL, 1000 BAR
27	27	ADONIS	600 CAL, 1000 BAR
28	28	ADONIS	600 CAL, 1000 BAR
29	29	ADONIS	600 CAL, 1000 BAR
30	30	ADONIS	600 CAL, 1000 BAR
31	31	ADONIS	600 CAL, 1000 BAR
32	32	ADONIS	600 CAL, 1000 BAR
33	33	ADONIS	600 CAL, 1000 BAR
34	34	ADONIS	600 CAL, 1000 BAR
35	35	ADONIS	600 CAL, 1000 BAR
36	36	ADONIS	600 CAL, 1000 BAR
37	37	ADONIS	600 CAL, 1000 BAR
38	38	ADONIS	600 CAL, 1000 BAR
39	39	ADONIS	600 CAL, 1000 BAR
40	40	ADONIS	600 CAL, 1000 BAR
41	41	ADONIS	600 CAL, 1000 BAR
42	42	ADONIS	600 CAL, 1000 BAR
43	43	ADONIS	600 CAL, 1000 BAR
44	44	ADONIS	600 CAL, 1000 BAR
45	45	ADONIS	600 CAL, 1000 BAR
46	46	ADONIS	600 CAL, 1000 BAR
47	47	ADONIS	600 CAL, 1000 BAR
48	48	ADONIS	600 CAL, 1000 BAR
49	49	ADONIS	600 CAL, 1000 BAR
50	50	ADONIS	600 CAL, 1000 BAR

DMG
landscape architects

J.D. Madril & Associates Ltd.
1000 West Beaver Creek Road
Richmond Hill, Ontario L4B 1N2
Tel: (905) 882-2222

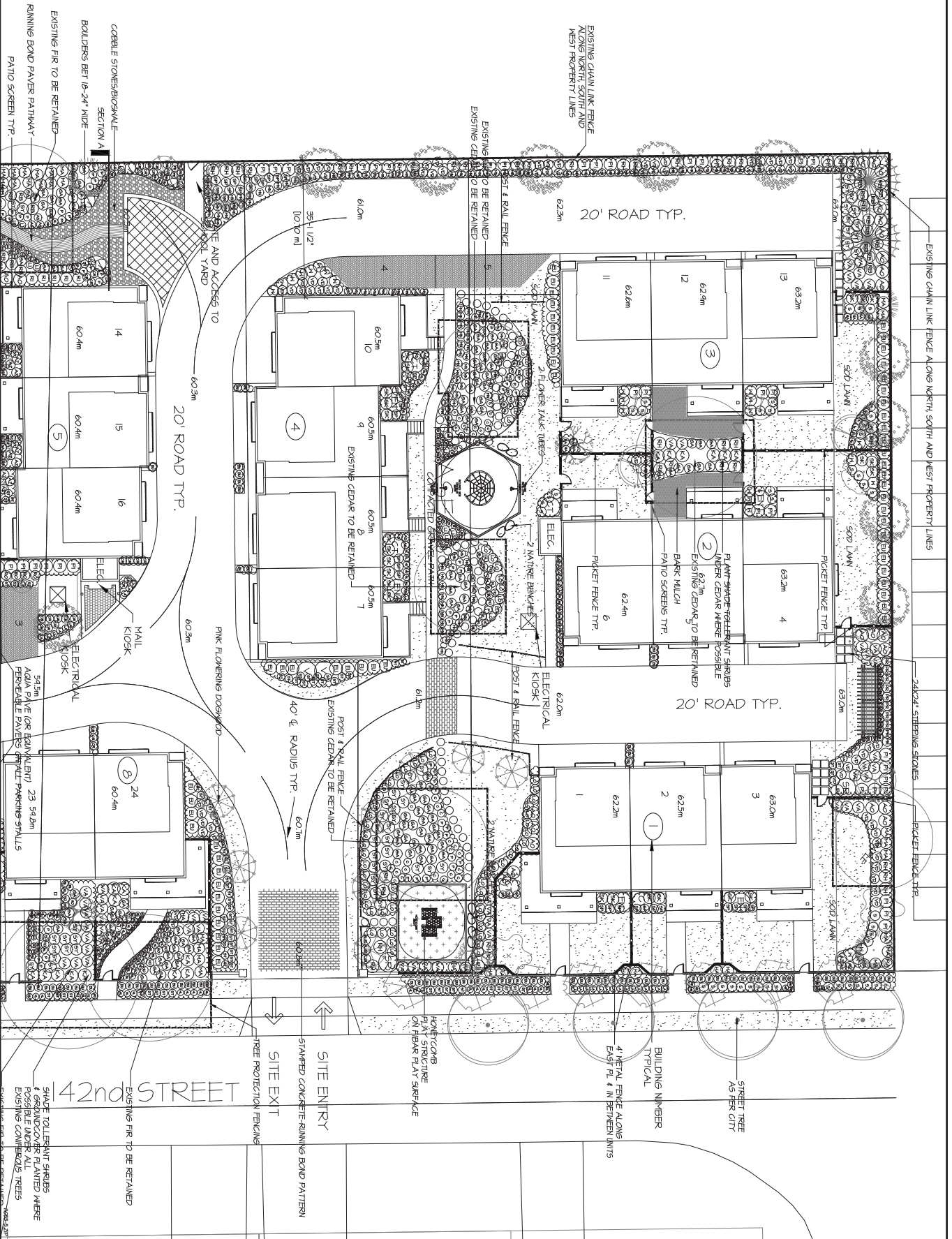
Scale: 1/8" = 1'-0"
Date: 06/25/07
Drawing: L1
Design: RM
Check: DM

PROJECT:
**HAZELNUT MEADOWS
TOWNHOUSES**
6915, 6931 & 6951
142ND STREET
SURREY, BC

DRAWING TITLE:
**LANDSCAPE
PLAN**

DATE: 06/25/07
SCALE: 1/8" = 1'-0"
DRAWING: L1
DESIGN: RM
CHECK: DM

DMG PROJECT NUMBER: **11-055**



<p>DMG landscape architects</p> <p>A British Columbia Professional Association Ltd. Inc. 1000 West Broadway V6C 6B9 PH (604) 673-2612 FAX (604) 673-2723</p>		<p>PROJECT: HAZELNUT MEADOWS TOWNHOUSES 142ND STREET SURREY, BC</p>	
<p>DATE: 1/24/2025 SCALE: 3/32" = 1'-0" DRAWN: RM DESIGN: RM CHKD: DM</p>		<p>DRAWING TITLE: SHRUB PLAN</p>	
<p>DRAWING NUMBER: L2</p>		<p>DATE: 1/24/2025 SCALE: 3/32" = 1'-0" DRAWN: RM DESIGN: RM CHKD: DM</p>	

Copyright reserved. This drawing and design is the intellectual property of DMG. It is not to be reproduced or used for other projects without their permission.



NO	DATE	REVISION OR DESCRIPTION	BY
1	1/24/25	ISSUE FOR PERMIT	RM
2	1/24/25	REVISION AS PER CITY	RM
3	1/24/25	LANDSCAPE TREE PROTECTION DETAILS	RM
4	1/24/25	REVISION DESCRIPTION	RM



HONEYCOMB



FLOWER TALK TUBE



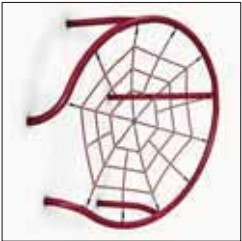
MUSHROOM TABLE & CHAIRS



NATURE BIKE RACK



NATURE BENCH



INCLINED WEB CRAWLER



TREE CLIMBER



DRAGONFLY SEESAW



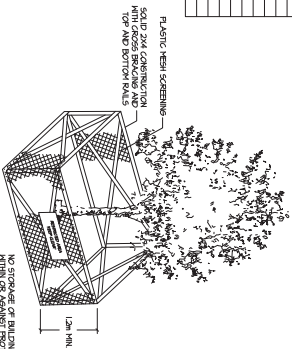
FIBER PLAY SURFACE
(ENGINEERED WOOD FIBER)

PLAY STRUCTURES-REFER TO PLAYTRAILS AT WWW.GAMETIME.COM

N.T.S.

TREES PROTECTED BY BARRIERS

TREES PROTECTED BY BARRIERS
GRANT OAK
PAVING DOCKWOOD
REDWING WHITE PINE
GRAND PINE
COAST REDWOOD
GRANT REDWOOD
GRAND SEEDLING
GRAND PINE



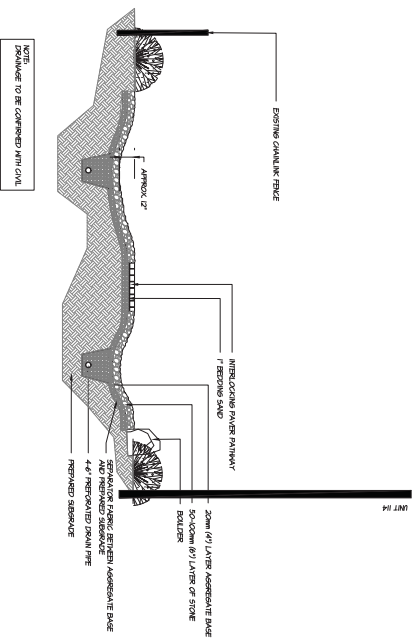
NO STORAGE OF BUILDING MATERIALS
OR OTHER DEBRIS TO BE ALLOWED WITHIN
BARRIERS OR NEARBY

5 TREE PROTECTION BARRIER

TREE PROTECTION DISTANCE TABLE

TREE DRAINING PROTECTION DISTANCE (M)	MINIMUM PROTECTION DISTANCE (M)
1.2	1.2
2.0	1.5
2.5	1.8
3.0	2.1
4.0	2.4
5.0	2.7
6.0	3.0
7.0	3.3
8.0	3.6
9.0	3.9
10.0	4.2

EMBAJANTE PROTECTION BARRIERS FOR
TOUCHABLE AT POINT OF CONTACT OR 1.4M FROM GRABBLE



NOTE: SAND TO BE COMPACTED WITH ROLLER

SECTION A

1:4

1025-5-2P

DATE	1/14/2025	DRAWING NUMBER	
SCALE	AS SHOWN		
DRAWN BY	RM		
DESIGN BY	RM		
CHECKED BY	DM		
DWG PROJECT NUMBER		OF 4	
			11-025

PROJECT:
HAZELNUT MEADOWS
TOWNHOUSES
6915, 6931 & 6951
142ND STREET
SURREY, BC
CANADA V4N 1K6

DMG
landscape architects
A Division of
J.D. Mottrell & Associates Ltd.
1000 West 10th Avenue
V6C 0B9
Surrey, BC V4N 1K6
Tel: (604) 571-2421 Fax: (604) 571-2422



Copyright Reserved: This drawing and design is the property of DMG and is not to be reproduced or used for other projects without their permission.

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **June 16, 2011** PROJECT FILE: **7810-0271-00**

RE: **Engineering Requirements
Location: 6915/31/51 - 142 Street**

REZONE/SUBDIVISION

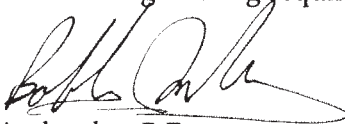
Works and Services

- Construct the west half of 142 Street.
- Provide on-site interim detention.
- Provide water, storm and sanitary connections.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Bob Ambardar, P.Eng.
Development Project Engineer

LR



SCHOOL DISTRICT #36 (SURREY)

Thursday, April 21, 2011
Planning

School Enrolment Projections and Planning Update:
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at the elementary school and no new capital projects identified for the secondary school. The proposed development will have positive impact on these projections. Capacity in the table below is adjusted for the inclusion of full day Kindergarten and a "Strongstart" program (which uses one classroom) at Georges Vanier Elementary and includes a modular complex for Frank Hurt Secondary with a capacity of 150.

THE IMPACT ON SCHOOLS

APPLICATION #: 7910-0271-00

SUMMARY

The proposed 25 townhouse units are estimated to have the following impact on the following schools:

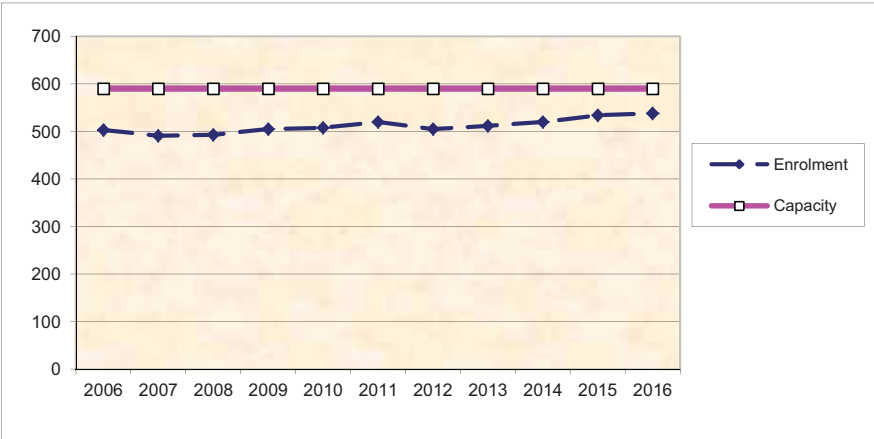
Projected # of students for this development:

Elementary Students:	4
Secondary Students:	2

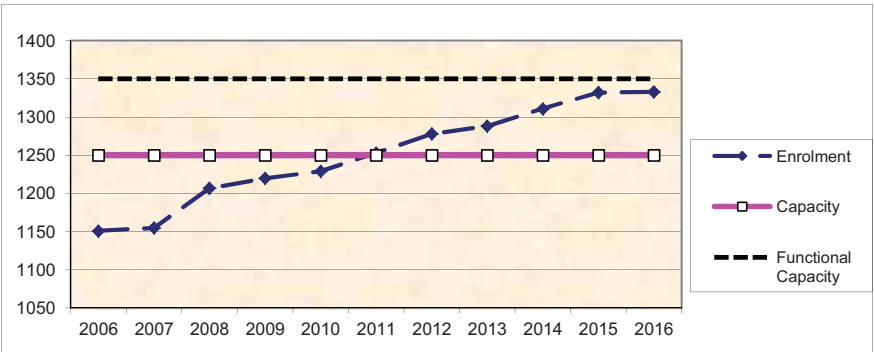
September 2010 Enrolment/School Capacity

Georges Vanier Elementary	
Enrolment (K/1-7):	68 K + 440
Capacity (K/1-7):	40 K + 550
Frank Hurt Secondary	
Enrolment (8-12):	1229
Nominal Capacity (8-12):	1250
Functional Capacity*(8-12):	1350

Georges Vanier Elementary



Frank Hurt Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

SURREY TREE PRESERVATION SUMMARY

Surrey Project No: 10-0271-00

Project Location: 6915 / 31 / 51 - 142 Street

Arborist: Peter Mennel ISA (PN-5611A)

Detailed Assessment of the existing trees or an Arborist's Report is submitted on file.
The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment

Primarily native coniferous species found around the perimeters of the existing lots along with a closed canopy stand of red alder (*Alnus rubra*) and black cottonwood (*Populus trichocarpa*).

2. Summary of Proposed Tree Removal and Replacement

The summary will be available before final adoption.

Number of Protected Trees identified	(A) 54
Number of Protected Trees declared hazardous due to natural causes	(B) 0
Number of Protected Trees to be removed	(C) 37
Number of Protected Trees to be retained (A-C)	(D) 17
Number of Replacement Trees required (12 alder and cottonwood X 1 and 25 others X 2)	(E) 62
Number of Replacement Trees proposed	(F) 62
Number of Replacement Trees in deficit (E-F)	(G) 0
Total number of Prot. and Rep. Trees on site (D+F)	(H) 79
Number of lots proposed in the project	(I) NA
Average number of Trees per Lot (H/I)	(J) NA

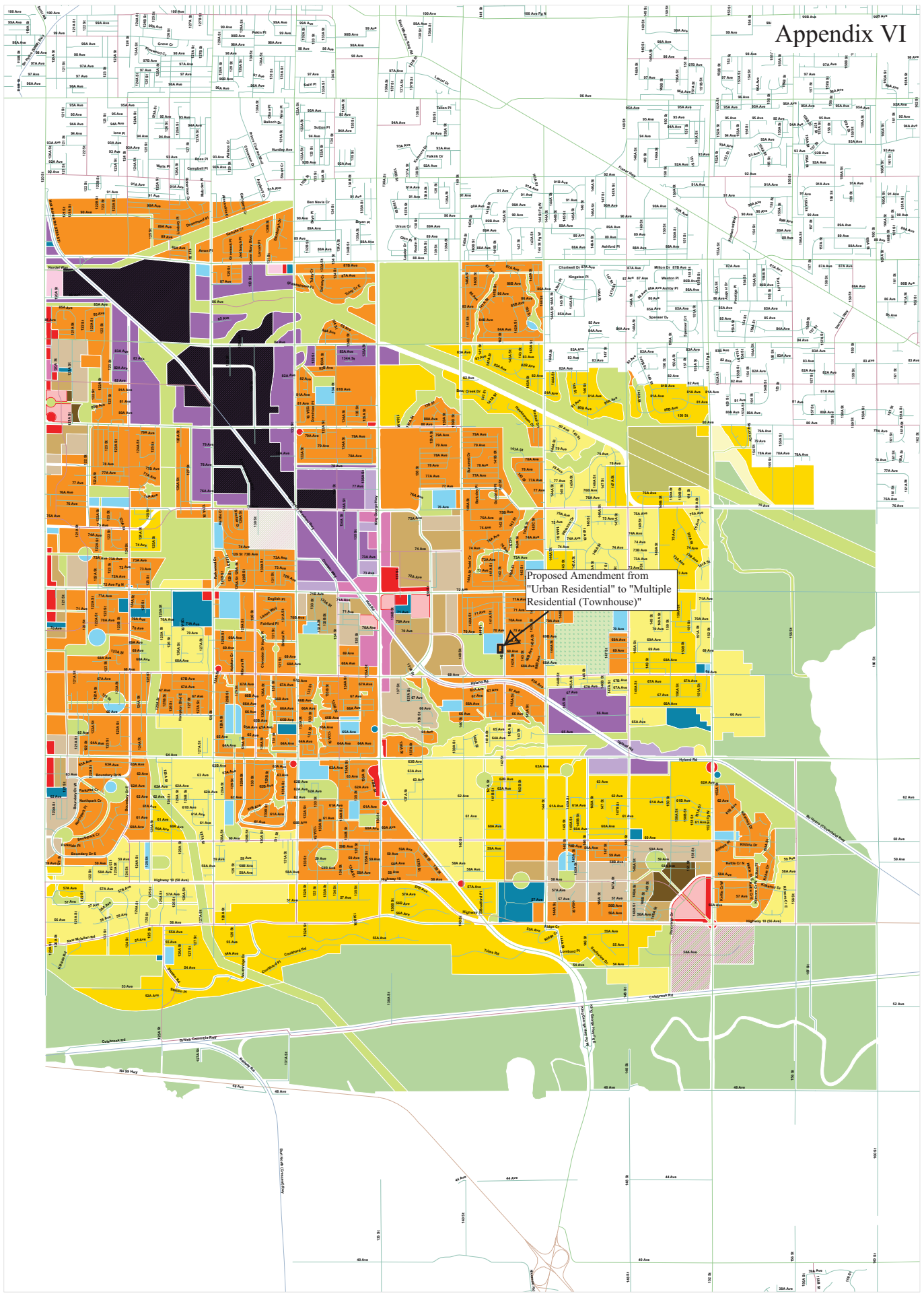
3. Tree Survey and Preservation/Replacement Plan

Tree Survey and Preservation/Replacement Plan is attached






































Summary and plan prepared and submitted by Mike Fadum and Associates Ltd.

Date: June 21, 2011





Proposed Amendment from
 "Urban Residential" to "Multiple
 Residential (Townhouse)"

		Legend			
	AGRICULTURAL		MOBILE HOME		SCHOOL
	SUBURBAN RESIDENTIAL (5 ACRE)		MULTIPLE RESIDENTIAL (TOWNHOUSE)		CEMETERY
	SUBURBAN RESIDENTIAL (1 ACRE)		MULTIPLE RESIDENTIAL (MEDIUM RISE)		SHOPPING CENTRE
	SUBURBAN RESIDENTIAL (1/2 ACRE)		MULTIPLE RESIDENTIAL (HIGH RISE)		RETAIL COMMERCIAL
	URBAN RESIDENTIAL		INSTITUTIONAL		TOURIST COMMERCIAL
					HIGHWAY COMMERCIAL
					CORE COMMERCIAL
					SERVICE INDUSTRIAL
					GENERAL INDUSTRIAL
					HIGH IMPACT INDUSTRIAL
					SALVAGE INDUSTRIAL
					INDUSTRIAL PARK
					AGRO INDUSTRIAL
					RECREATIONAL
					OPEN SPACE
					SPECIAL STUDY AREA

City of Surrey - Planning and Development Services
Official Community Plan
 NEWTON L.A.P.
SURREY 1986

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 004-947-142
 Lot 143 Section 16 Township 2 New Westminster District Plan 51445
 6951 - 142 Street

Parcel Identifier: 004-947-169
 Lot 144 Section 16 Township 2 New Westminster District Plan 51445
 6931 - 142 Street

Parcel Identifier: 004-947-100
 Lot 145 Section 16 Township 2 New Westminster District Plan 51445
 6915 - 142 Street

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *family-oriented, low density, ground-oriented multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses provided such uses are part of a *comprehensive design*:

1. *Ground-oriented multiple unit residential buildings.*
2. *Child care centres, provided that such centres:*
 - (a) Do not constitute a singular use on the *lot*; and
 - (b) Do not exceed a total area of 3.0 square metres [32 sq. ft.] per *dwelling unit*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. (a) The *floor area ratio* shall not exceed 0.65; and
- (b) The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.
2. The maximum *unit density* shall not exceed 37 *dwelling units* per hectare [15 u.p.a.].

E. Lot Coverage

The *lot coverage* shall not exceed 31%.

F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard (North)</i>	<i>Side Yard (South)</i>
<i>Principal and Accessory Buildings and Structures</i>		5.0 m. [16 ft.]	3.0 m. [25 ft.]	4.5 m. [15 ft.]	3.0 m. [10 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings: The *building height* shall not exceed 11 metres [36 ft.].
2. Accessory buildings and structures:
 - (a) *Indoor amenity space buildings*: The *building height* shall not exceed 11 metres [36 ft.]; and
 - (b) *Other accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided as stated in Table C.6. of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.
3. Parking within the required *setbacks* is not permitted.
4. *Tandem parking* is permitted, subject to the following:
 - (a) *Parking spaces* provided as *tandem parking* must be enclosed and attached to each *dwelling unit*;
 - (b) *Parking spaces* provided as *tandem parking* must be held by the same owner; and
 - (c) Access to *parking spaces* provided as *tandem parking* is not permitted within 6 metres [20 ft.] from *lot* entrances/exits.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping strip* of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.

4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping screen*, a solid decorative fence, or a combination thereof.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
2. *Child care centres* shall be located on the *lot* such that these centres:
 - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
 - (b) Have direct access to an *open space* and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
0.6 ha [1.5 acre]	100 metres [328 ft.]	64 metres [210 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-15 Zone as set forth

in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.

3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2010, No. 17111, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-15 Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

READ A THIRD TIME ON THE _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

MAYOR

CLERK