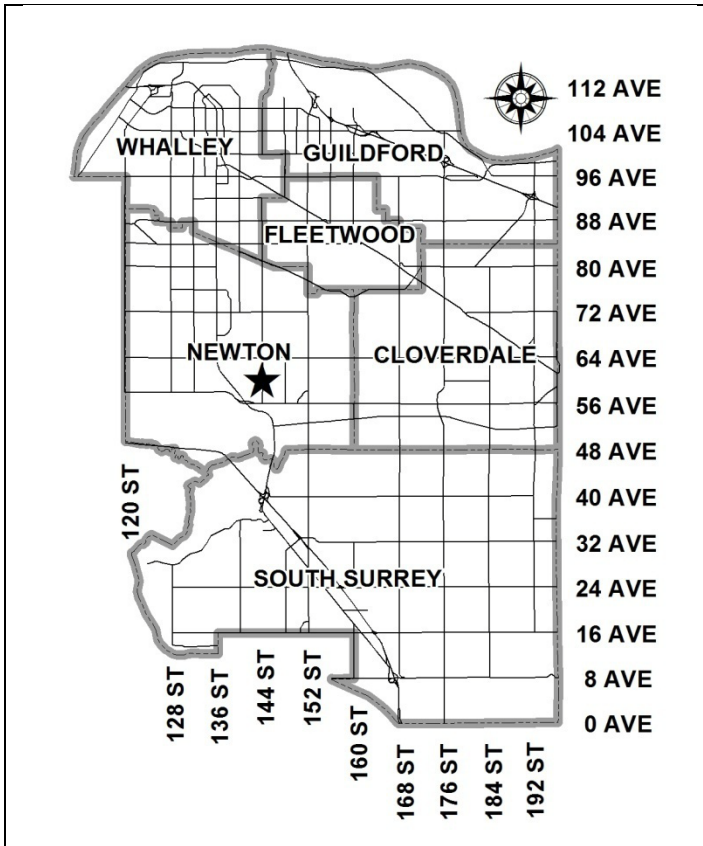


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7910-0279-00

Planning Report Date: June 13, 2011



PROPOSAL:

- **Rezoning** from RA to CD (based on RM-45)
- **Development Permit**

in order to permit the development of a 4-storey apartment building.

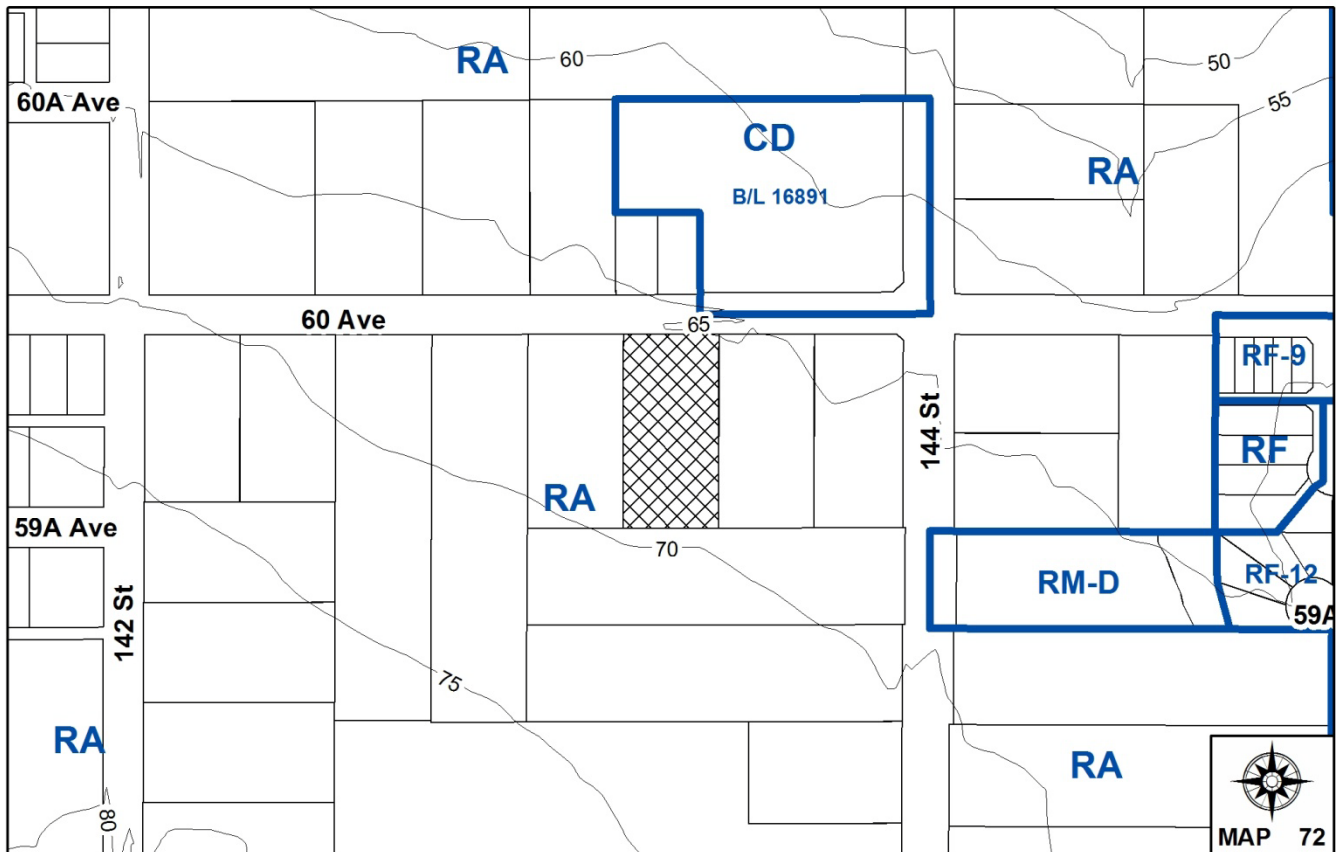
LOCATION: 14344 -60 Avenue

OWNERS: Kenneth P Thiessen
 Debbie M Saito

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Apartments 45 upa max



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- Complies with NCP Designation. The South Newton Neighborhood Concept Plan (NCP) designates the site for apartments at a maximum density of 45 upa.
- The proposed apartment building features high quality architectural design and materials.
- The project provides a substantial amount of outdoor amenity space in the form of an outdoor courtyard.
- The project addresses CPTED principles and features a variety of sustainable design elements.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA) (By-law No. 12000 to "Comprehensive Development Zone (CD) (By-law No. 12000) and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7910-0279-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) registration of a shared access easement with the neighboring property to the east (14388 – 60 Avenue) to accommodate shared driveway access to 60 Avenue when that property redevelops;
 - (h) submission of a financial contribution to cover one quarter of the cost of the future construction of the north-south road (143 Street) through the neighboring property to the west (14318 – 60 Avenue), as identified in the South Newton NCP.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: Projected number of students from this development:

8 Elementary students at Woodward Hill Elementary School
 4 Secondary students at Sullivan Heights Secondary School

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2012.

(Appendix IV)

Parks, Recreation & Culture: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Single family dwelling to be demolished

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 60 Avenue):	Single family dwellings and townhouses under construction	Urban/Townhouses 15 upa max and Townhouses 20 upa max	RA and CD
East:	Single family dwellings	Urban/Apartments 45 upa max	RA
South:	Single family dwellings	Urban/Mixed Com/Res Apartments	RA
West:	Single family dwellings	Urban/Apartments 45 upa max	RA

DEVELOPMENT CONSIDERATIONS

Background and Site Context

- The subject site is located on the south side of 60 Avenue, west of 144 Street. The site is designated "Urban" in the Official Community Plan (OCP) and "Apartments 45 upa max" in the South Newton Neighborhood Concept Plan (NCP), which was approved by Council in 2004. The total site area is approximately 0.47 hectares (1.15 acres).
- The site is currently zoned "One Acre Residential Zone" (RA) (By-law No. 12000) and is occupied by a single family dwelling. The neighboring properties to the east, west and south of the site are also acreage properties designated for future apartments and mixed-use apartments at a density of 45 units per acre in the South Newton NCP. Neighboring properties to the north of the subject site, across 60 Avenue, are designated for future townhouses at a density of 15 to 20 upa in the South Newton NCP. There is a townhouse

project currently under construction to the northeast of the subject site at 14377 – 60 Avenue.

Subject Proposal

- The applicant proposes to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" to permit development of a 52-unit, 4-storey apartment building.

Proposed CD Zone

- A CD Zone is proposed to accommodate the proposed apartment development.
- The proposed CD Zone is based on the RM-45 Zone, with some modifications as illustrated in the table below:

	Proposed CD Zone	RM-45 Zone
Permitted Uses	Multiple unit residential buildings (child care centers permitted as an accessory use)	Multiple unit residential buildings (child care centers permitted as an accessory use)
Density (FAR)	1.15	0.94 (based on sliding scale)
Density (UPA)	130 uph/53 upa	81 uph/33 upa (based on sliding scale)
Lot Coverage	45%	45%
Principal Building Height	15 meters(50 ft.)	15 meters (50 ft.)
Setbacks	Ranges from 4.5 meters to 7.5 meters	7.5 meters from all lot lines

- The net area of the subject site, after road dedication, is 0.40 hectares (1 acre). As such, the resultant maximum density permitted under the sliding scale density of the RM-45 Zone (for sites less than 1.00 hectare/2.47 acres in size), is 0.94 floor area ratio (FAR) and 81 units per hectare(33 upa). The proposed density under the CD Zone is 1.15 FAR and 130 units per hectare (53 upa).
- The sliding scale density provisions of the RM-45 Zone are designed to promote land assembly and comprehensive development projects, by linking permissible density with lot area. The permissible density increases proportionally as the lot size increases to a maximum density of 1.30 FAR and 111 units per hectare (45 upa).
- The two neighboring properties to the east of the subject site (14388 – 60 Avenue and 5959 – 144 Street), as well as the neighboring property to the west of the subject site (14318 – 60 Avenue), are all designated for future apartment development. As such, ideally all of these properties would redevelop concurrently under one comprehensive development application. The applicant attempted to consolidate the properties to the east and west of the subject site but neither property owner is interested in developing at this time. As such, an analysis was undertaken to determine appropriate development potential for each of these properties developing on their own.

- The 4 neighboring properties are relatively equal in size and share an equal proportion of road dedication under the South Newton NCP. The only exception to this, is the property at 14318 – 60 Avenue, which will be required to dedicate an additional north-south half road for a future 143 Street. The applicant has volunteered to contribute $\frac{1}{4}$ of the cost of construction of this road. These funds will be held by the City until such time as the property at 14318 – 60 Avenue redevelops. It is expected that the two properties to the east will also contribute $\frac{1}{4}$ the cost of construction of this road when they proceed to redevelop such that the cost of this additional road dedication is shared equally among the four property owners.
- The proposed density of 1.15 FAR is considered appropriate for all 4 properties as it allows for a reasonably sized building for all of the properties but does not reach the full redevelopment potential achievable if all four properties were consolidated.
- The proposed unit density of 130 units per hectare (53 upa) is based on the net site area (after road dedication). The unit density based on the gross site area (before road dedication) is 111 units per hectare (45 upa), which is compliant with the South Newton NCP which designates the site for apartments at a maximum unit density of 45 upa.
- The proposed maximum lot coverage of 45% and maximum principal building height of 15 meters (50 ft.) are identical to the RM-45 Zone.
- The proposed building setbacks range from 4.5 meters (15 ft.) to 7.5 meters (25 ft.). The east and west yard setbacks are 7.5 meters (25 ft.), which meets the minimum 7.5 meter (25 ft.) setback required under the RM-45 Zone. The north yard setback has been reduced to 7.0 meters (23 ft.) to accommodate a building projection above the front entry. The remainder of the building is setback 7.5 meters (25 ft.) from the north property line. The building projection adds depth and visual interest to the building and highlights the entry. The south yard setback has been reduced to 4.5 meters (15 ft.) to accommodate a decorative wrought iron enclosure around an exit stairway from the underground parkade and a building projection above the rear building entry. The remainder of the building is setback 7.5 meters (25 ft.) from the south property line. The exit stair enclosure and building projection are decorative features that add to the architectural character and quality of the building.
- Unlike the RM-45 Zone, the proposed CD Zone allows two (2) visitor parking stalls to be located within the east yard setback. This is to accommodate two visitor parking stalls at the end of the entry drive aisle leading into the underground parkade. These two visitor parking stalls are provided for convenience purposes, all other visitor parking is located within the underground parkade. The two visitor stalls will be decoratively paved and screened by landscaping.

Arborist Report and Tree Preservation

- The applicant retained Michael Mills (certified arborist) to conduct a tree survey and prepare an arborist report for the site. The report identifies 26 mature trees on the site and concludes that 24 will have to be removed. The table below provides a summary of the tree retention and removal on the subject site:

Tree Species	Total No. of Protected Trees	Total Proposed for Retention	Total Proposed for Removal
Western Red Cedar	5	0	5
Sawara Cypress	1	1	0
Douglas Fir	4	0	4
Big Leaf Maple	3	0	3
Paper Birch	3	0	3
English Oak	1	0	1
Lombardy Poplar	1	0	1
Shore Pine	1	0	1
Purple Leaf Plum	1	0	1
Lawson Cypress	1	0	1
Butternut	1	1	0
Fruiting Cherry	2	0	2
Apple	1	0	1
Ponderosa Pine	1	0	1
Total	26	3	24

- Of the 24 trees proposed for removal, nine (9) are in poor health. The remaining 15 trees to be removed are located within the proposed building envelope or within areas of the site where substantial re-grading will be required. The two (2) trees to be retained (Butternut & Cypress) are located around the perimeter of the site.
- The applicant proposes approximately 49 replacement trees as part of the overall landscaping plan for the project. This exceeds the 48 replacement trees required under the Tree By-law.
- The City landscape architect has reviewed the tree survey and arborist report and found the information acceptable.

PRE-NOTIFICATION

Pre-notification letters were mailed on January 26, 2011 (31 total letters) and a development proposal sign was erected on the property. Staff received the following comments:

- Staff received 2 letters and 2 phone calls from neighboring property owners who shared the following concerns with the proposal:
 - building height and interface;
 - traffic generation;
 - noise generation;
 - school impacts;
 - environmental impacts;
 - site drainage; and
 - impacts on property values.

(The proposed apartment development is consistent with the South Newton Neighborhood Concept Plan, approved by Council in 2004, which designates the site for apartments at a maximum density of 45 units per acre.)

(The proposed building height of 15 metres (50 ft.) (4-storey) is the same as that permitted under the RM-45 Zone. The east and west yard setbacks, which are adjacent residential properties, are 7.5 meters (25 ft.), which is the same as that required under the RM-45 Zone. All yards are landscaped to provide a soft interface and to address screening and privacy).

(The City's Transportation Engineer has reviewed the proposal and does not expect additional traffic to be generated beyond what was anticipated in the South Newton NCP.)

(The Surrey School District has reviewed the proposal and anticipates that the project will generate approximately 8 elementary students at Woodward Hill Elementary School and 4 secondary students at Sullivan Heights Secondary School. The School District has no concerns with this increase.)

(There are 24 mature trees identified on the site, nine (9) of which are considered in poor condition. Of the remaining 15 trees, thirteen (13) are located within the underground parkade or within areas of the site where substantial re-grading is required. To offset tree removal on the site, substantial replanting is proposed as part of the landscaping plan for the project, including 49 replacement trees.)

(The City's Engineering Department will ensure that drainage impacts are addressed as part of the overall engineering servicing design/plan for the project.)

(The proposal is not anticipated to negatively impact property values. The subject property and neighboring properties on the south side of 60 Avenue are designated for apartment development in the South Newton NCP.)

DESIGN PROPOSAL AND REVIEW

Architectural design, Access and Parking

- The proposed 4-storey apartment building provides 52 residential dwelling units all focused around a central landscaped courtyard. All of the 52 units are accessed by exterior covered walkways, which give the units a "townhouse-like" quality of individuality and allows for increased exterior light penetration and natural cross ventilation.
- All of the dwelling units include outdoor patios or balconies.
- All of the required residential parking and the majority of the required visitor parking is provided in an underground parkade. Two (2) visitor parking stalls are proposed outside the parkade at the end of the entry drive-aisle, for convenience purposes. A total of 78 resident stalls and 10 visitor stalls are provided which meets the requirements of the Zoning By-law based on the number of dwelling units proposed.
- Access to the underground parkade is from 60 Avenue via a single drive-aisle which will be shared with the neighboring property to the east (14388 – 60 Avenue) when that property develops. An access easement will be registered prior to final adoption of the rezoning by-law to accommodate the future shared access.

- The proposed building character is modern, with flat roofs, simplified massing and earth tone colors. The building features high quality materials including cement cladding and brick. The covered walkway areas are framed with aluminum guardrails with glazed balustrades.
- The proposed building will eventually front two streets; 60 Avenue to the north, and a future 59A Avenue to the south. The applicant will dedicate their portion of 59A Avenue as part of the subject development application but will provide cash-in-lieu of construction. The road will be constructed when the properties to the east, west, or south develop and the road can be connected through to 144 Street or 60 Avenue. The project architect has designed both the north and south sides of the building to appear as front facades in anticipation of the future double-fronting situation.

Accessibility, CPTED and Sustainability

- Six (6) of the 52 units proposed are designed to be adaptable housing units as per the BC Building Code adaptable housing standards.
- Access to the lobby, parking, amenity areas, and all residential units, has been designed to accommodate wheelchairs and scooters.
- Handicapped parking stalls (2 provided) are located within close proximity of the elevators.
- The following Crime Prevention Through Environmental Design (CPTED) principals have been incorporated into the project:
 - Access to the courtyard area and all building entries will be though intercom, monitored by cameras;
 - The entry doors into building lobbies are accessed by enterphone only; and
 - The parking garage has controlled access and cameras in appropriate locations.
- The project addresses sustainability in the following ways:
 - All but two of the parking stalls are covered, reducing the heat island effect and providing more opportunities for landscaping on the site;
 - The heat island effect of the project will be further reduced by providing a light colored (high albedo) roof;
 - A community garden is proposed;
 - Exterior building lighting will only be incorporated where necessary, and fixtures have been selected that minimize off site or upward illumination;
 - A high efficiency irrigation system will be used to reduce potable water consumption;
 - The garbage room, as well as each unit, will be provided with specialized recycling containers ;
 - During the construction of the project, the contractor will reduce site waste, incorporate recycled content materials, and give preference to the use of regionally manufactured and wood based materials ;

- The provision of operable windows at either end of the dwelling units enhances the natural ventilation of the spaces ;
- Low emitting indoor finishes will be selected that minimize the impact on indoor air quality;
- Windows provided at either end of the dwelling units improve the natural day lighting of the homes; and
- The energy efficiency of the building is increased by using individual hot water tanks for each home rather than a central system for the building.

Indoor Amenity Space

- Indoor amenity space includes an exercise room and lounge room. The total indoor amenity space of 156 square meters (1,680 sq.ft.) meets the zoning by-law requirements for the number of dwelling units proposed.

Landscaping

- The landscaping plan for the project includes a generous combination of trees and shrubs in a variety of species. Plantings are particularly dense around the perimeter of the site to soften the edges, provide privacy, and address interface issues with adjacent properties.
- Ground floor residential units feature private yard areas delineated with privacy fencing and landscaping.
- Fencing includes a decorative picket fence along street fronting property lines and a solid cedar privacy fence along property lines adjacent neighboring residential properties.
- Pedestrian walkways and visitor parking stalls are delineated with decorative paving.
- Fifteen (15) private garden plots are proposed on the site for future use by residents.
- A decorative entry/building identification sign is proposed along the northern property line fronting 60 Avenue. The sign is 1.7 meters (5.5 ft.) in height and 2.3 meters (7.5 ft.) in width and meets the Sign By-law. The sign is framed in brick to match the building façade.

Outdoor Amenity Space

- A large outdoor courtyard area is proposed, which includes a patio area, play area for children, and a seating area with decorative arbors. The proposed outdoor amenity area of 688 square meters (7,400 sq.ft.) exceeds the 156 square meters (1,680 sq.ft.) of outdoor amenity space required under the zoning by-law based on the number of dwelling units proposed.

ADVISORY DESIGN PANEL

- The subject development proposal was presented to the Advisory Design Panel (ADP) on February 17, 2011 and April 28, 2011. The majority of the comments received from the panel have been addressed. The remaining minor issues and details will be addressed prior to final adoption of the rezoning by-law.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV	School District Comments
Appendix V	Summary of Tree Survey and Tree Preservation
Appendix VI	ADP Comments
Appendix VII	NCP Plan
Appendix VIII	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by H.R. Hatch Architect Ltd. and DMG Landscape Architects, respectively, dated April 26, 2011 and June 3, 2011.

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

RG/kms

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DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RM-45)

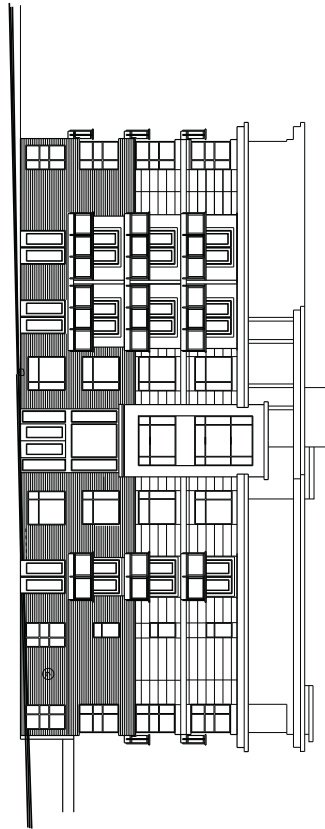
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square meters)		
Gross Total		4,672 m ²
Road Widening area		575 m ²
Undevelopable area		
Net Total		4,097 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	44%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in meters)		
North	7.0 m	7.0 m
South	4.5 m	4.5 m
East	7.5 m	7.5m
West	7.5m	7.5m
BUILDING HEIGHT (in meters/storeys)		
Principal	15m/4 storey	15m/ 4 storey
Accessory	4.5m	4.5m
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		14
Three Bedroom +		38
Total	52	52
FLOOR AREA: Residential	4,730 m ²	4,730 m ²
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA	4,730 m ²	4,730 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	111 uph/45 upa	130 uph/ 53 upa
# of units/ha /# units/acre (net)	130 uph/53 upa	130 uph/ 53 upa
FAR (gross)		1.01
FAR (net)	1.15	1.15
AMENITY SPACE (area in square meters)		
Indoor	156 m ²	156 m ²
Outdoor	156 m ²	688 m ²
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed	21	21
3-Bed	57	57
Residential Visitors	10	10
Institutional		
Total Number of Parking Spaces	88	88
Number of disabled stalls	1	2
Number of small cars	0	0
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

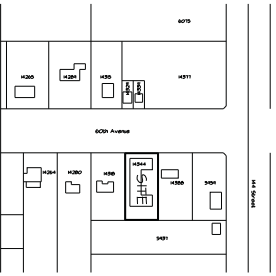
Heritage Site	NO	Tree Survey/Assessment Provided	YES
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14344 60TH AVENUE, SURREY, BC

PROPOSED 52 UNIT CONDOMINIUM PROJECT
 ISSUED FOR DEVELOPMENT PERMIT AND REZONING APPLICATION JUNE 3RD 2011

CONTEXT PLAN (NTS):



PROJECT DATA:

DATA
 ADDRESS: 14344 60TH AVENUE
 LEGAL DESCRIPTION: L1 24 SEC 4 TWP 2 R 24 DIV 10 PLAN NO 6238
 ZONE: M-45
 LOT AREA: 4432 M²
 GROSS VOLUME: 220 M³
 MAXIMUM PERCENTAGE COVERAGE: 20%
 MAXIMUM HEIGHT: 10.7 M
 FLOOR AREA RATIO: ALLOWABLE: 0.40
 LOT COVERAGE: 0.40
 MAXIMUM HEIGHT: 10.7 M
 BALANCE HEIGHT: 0.00
 MAXIMUM HEIGHT: 10.7 M
 MAXIMUM HEIGHT: 10.7 M
 MAXIMUM HEIGHT: 10.7 M
 MAXIMUM HEIGHT: 10.7 M
 MAXIMUM HEIGHT: 10.7 M

DESCRIPTION	NO
TOTAL	52

CLIENT:

PORTE DEVELOPMENT CORP.
 380 - 1665 WEST BROADWAY
 R. BC, V6J 1X1
 TEL. 604-732-7651

LIST OF CONSULTANTS:

ARCHITECTURAL:
 H. R. HATCH ARCHITECT LTD.
 302 - 228 GEORGIA STREET
 VANCOUVER, BC, V6A 1Z1
 TEL. 604-261-2347

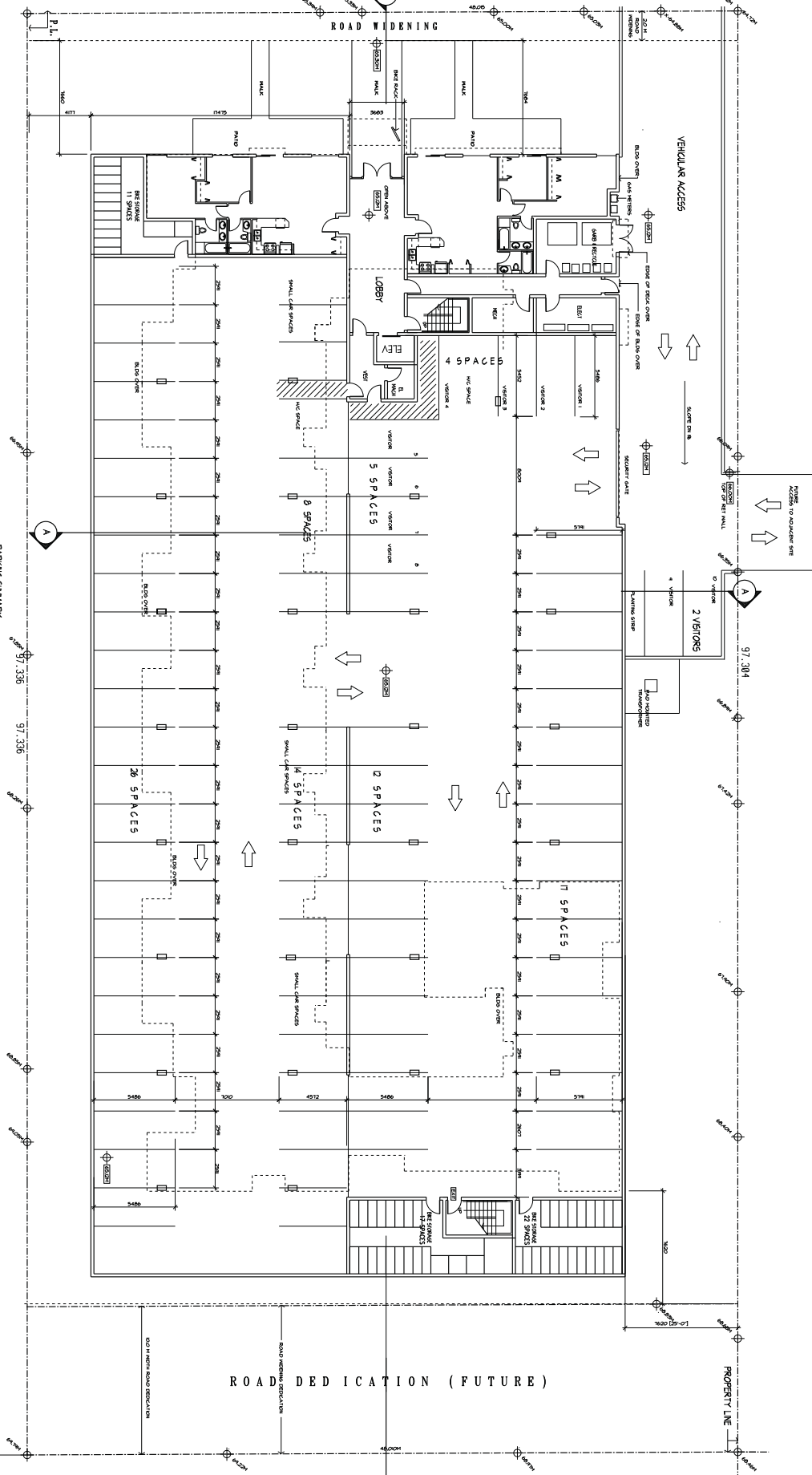
LANDSCAPING:
 DMG LANDSCAPE ARCHITECTS
 600-485 STILL CREEK DRIVE
 BURNABY BC, V5C 6E4
 TEL. 604-437-3442

LIST OF DRAWINGS:

- A1 COVER SHEET AND PROJECT DATA
- A2 SITE PLAN & 1ST FLOOR PLAN
- A3 UNDERGROUND PARKING PLAN
- A4 2ND FLOOR PLAN
- A5 3RD FLOOR PLAN
- A6 4TH FLOOR PLAN
- A7 ROOF PLAN
- A8 NORTH & EAST ELEVATIONS
- A9 SOUTH & WEST ELEVATIONS
- A0 BUILDING SECTIONS THROUGH COURTYARD
- A1 UNIT FLOOR PLANS
- A2 UNIT FLOOR PLANS
- A3 PATIO / ENTRY & BUILDING DETAILS

- 60th AVENUE -

UNDERGROUND PARKING PLAN



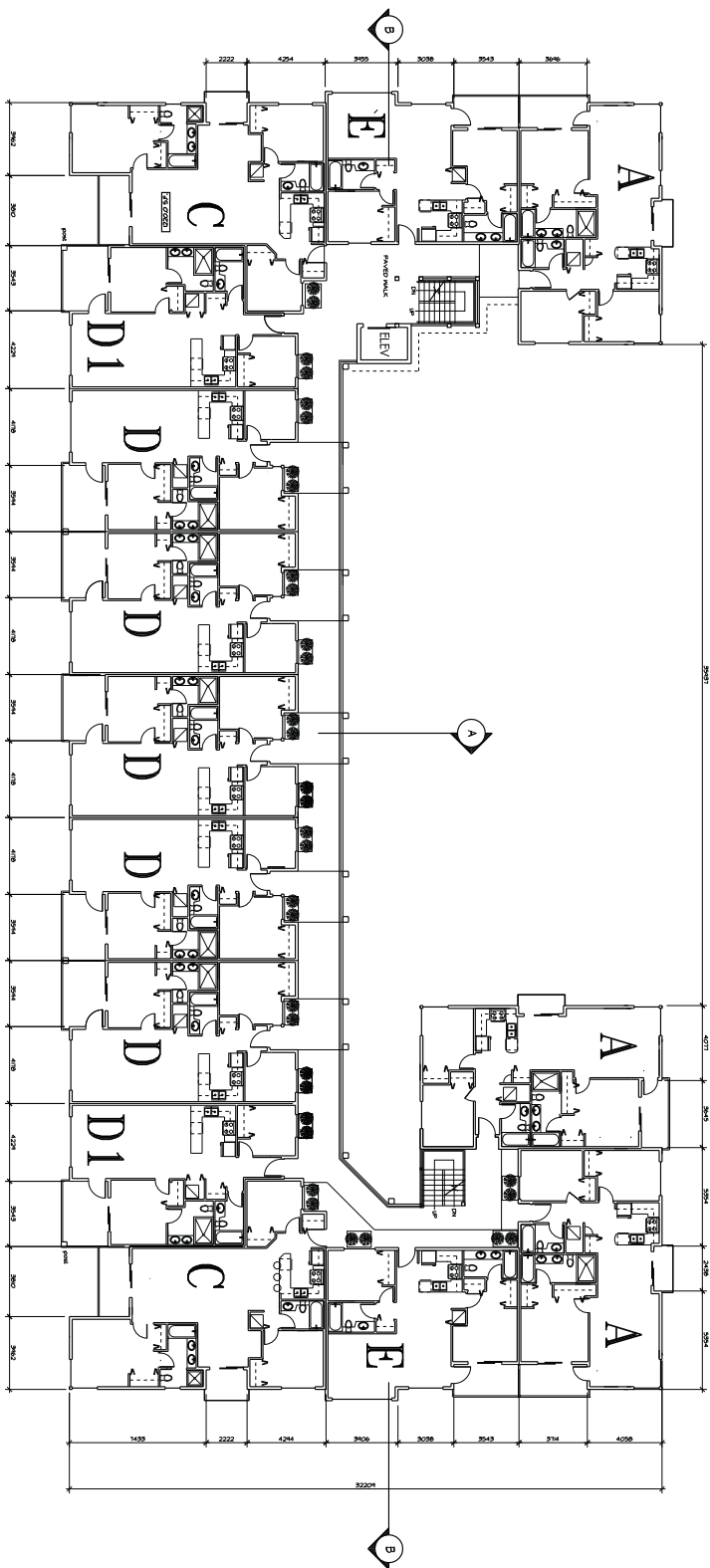
PARKING SUMMARY:

DESCRIPTION	REQUIRED	PROPOSED
RESIDENCE	78 SPACES	78 SPACES
VISITOR	10 SPACES	10 SPACES
TOTALS	88 SPACES	88 SPACES

BIKE STORAGE PROVIDED: 88 SPACES

<p>4. DATE: 3/11/11 ISSUED FOR PERMITTING</p> <p>3. DATE: 12/21/10 REVISION TO PERMITTING</p> <p>2. DATE: 12/21/10 REVISION TO PERMITTING</p> <p>1. DATE: 8/20/10 SUBMITTION FOR PRELIMINARY REVIEW FOR PERMITTING</p>		<p>Copyright Reserved</p> <p>This plan and design are, and all their contents are, the exclusive property of H.R. Hatch Architect, Ltd. and may not be used or reproduced without written consent. All dimensions and conditions on this job are the responsibility of the contractor and shall be verified by the contractor. Contractor shall verify and be responsible for all dimensions and conditions on the job and this plan. Dimensions and conditions shown on the drawings.</p>
<p>No. Date Description</p> <p>Revisions</p>	<p>Consultant</p>	<p>Scale</p>
<p>H. R. HATCH ARCHITECT, LTD. Design - Permitting - Research</p> <p>307-228 E. Georgia Street, Vancouver, B.C. V6A 1Z7 Tel: (604) 261-2347 Fax: (604) 261-2349</p>		<p>Project</p> <p>PROPOSED 53 UNIT CONDOMINIUM PROJECT Location 14344 60th Avenue Surrey, B.C. Porte Development Corp.</p>
<p>Drawing Title</p> <p>UNDERGROUND PARKING PLAN</p>		<p>Project No.</p> <p>2010-11</p>
<p>Scale</p> <p>AS</p>	<p>Issue Date</p> <p>May 8, 2011</p>	<p>Project No.</p> <p>2010-11</p>
<p>Reproduction Scale</p> <p>AS</p>	<p>Issue Date</p> <p>May 8, 2011</p>	<p>Project No.</p> <p>2010-11</p>

A3



LEGEND

- Finished ceiling or plaster cornice wall
- Entrance step profile edge
- Proposed change of use or proposed change of use on proposed floor plan

No.	Date	Description	Drawn
1		FOR APPROVAL - PRELIMINARY DESIGN	
2		FOR APPROVAL - PRELIMINARY DESIGN	
3		FOR APPROVAL - PRELIMINARY DESIGN	
4		FOR APPROVAL - PRELIMINARY DESIGN	
5		FOR APPROVAL - PRELIMINARY DESIGN	

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 Design - Planning - Research
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 Tel: (604) 261-2347
 Fax: (604) 261-2349

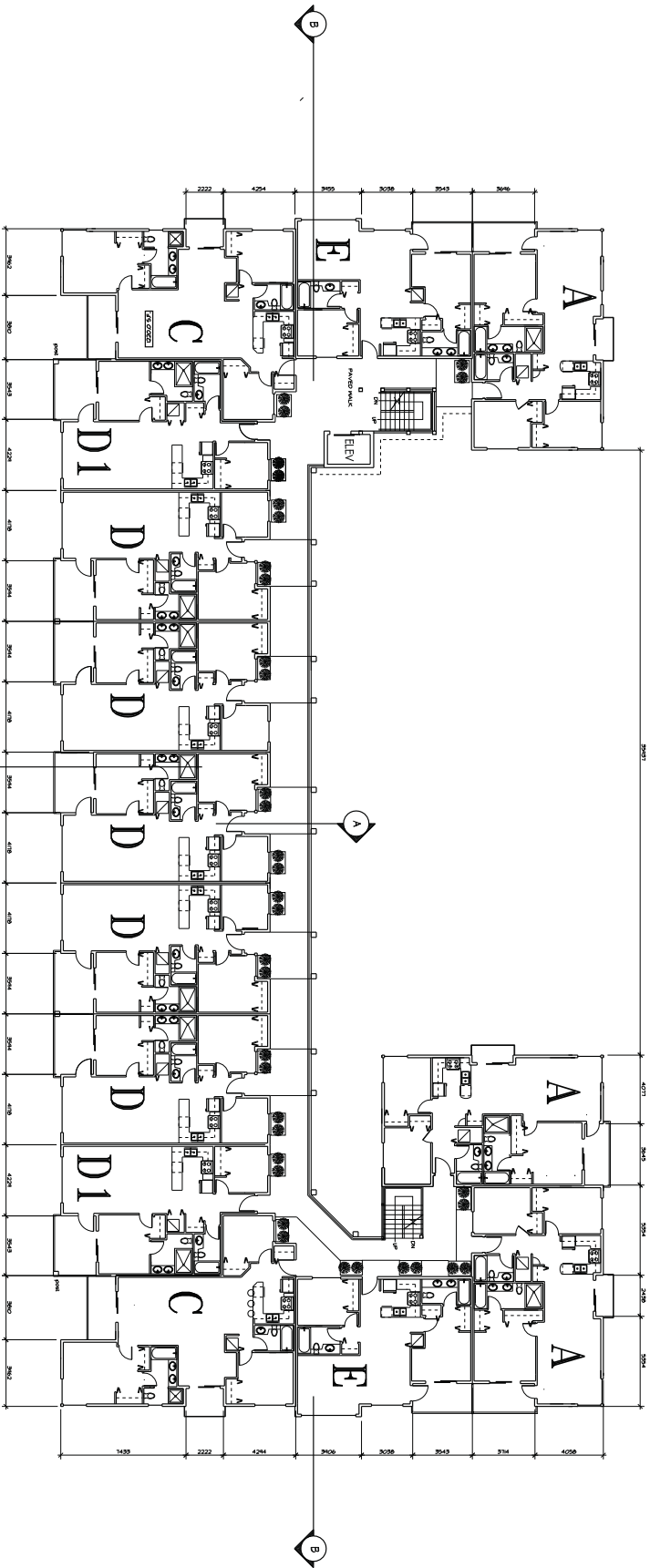
Project
PROPOSED 53 UNIT CONDOMINIUM PROJECT
 Location
 14344 60th Avenue
 Surrey, B.C.
 Porte Development Corp.

Drawing Title
2ND FLOOR PLAN

Drawn	Checked	Approved
Scale	1:50	
Reproduction Scale		

Project No. **2010-11**
 Drawing No. **A4**





3RD FLOOR

LEGEND

- Structural member or member connection
- Fire-rated floor or fire-rated ceiling
- Fire-rated wall or fire-rated partition
- Fire-rated door or fire-rated window
- Fire-rated glass or fire-rated glazing
- Fire-rated window or fire-rated door
- Fire-rated glass or fire-rated glazing
- Fire-rated window or fire-rated door

No.	Date	Description	Drawn
1		Issue for construction	
2		Issue for construction	
3		Issue for construction	
4		Issue for construction	
5		Issue for construction	
6		Issue for construction	
7		Issue for construction	
8		Issue for construction	
9		Issue for construction	
10		Issue for construction	

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 for all dimensions and conditions shown on this drawing.
 Dimensions and conditions shown on this drawing.

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 Tel: (604) 261-2347
 Fax: (604) 261-2349

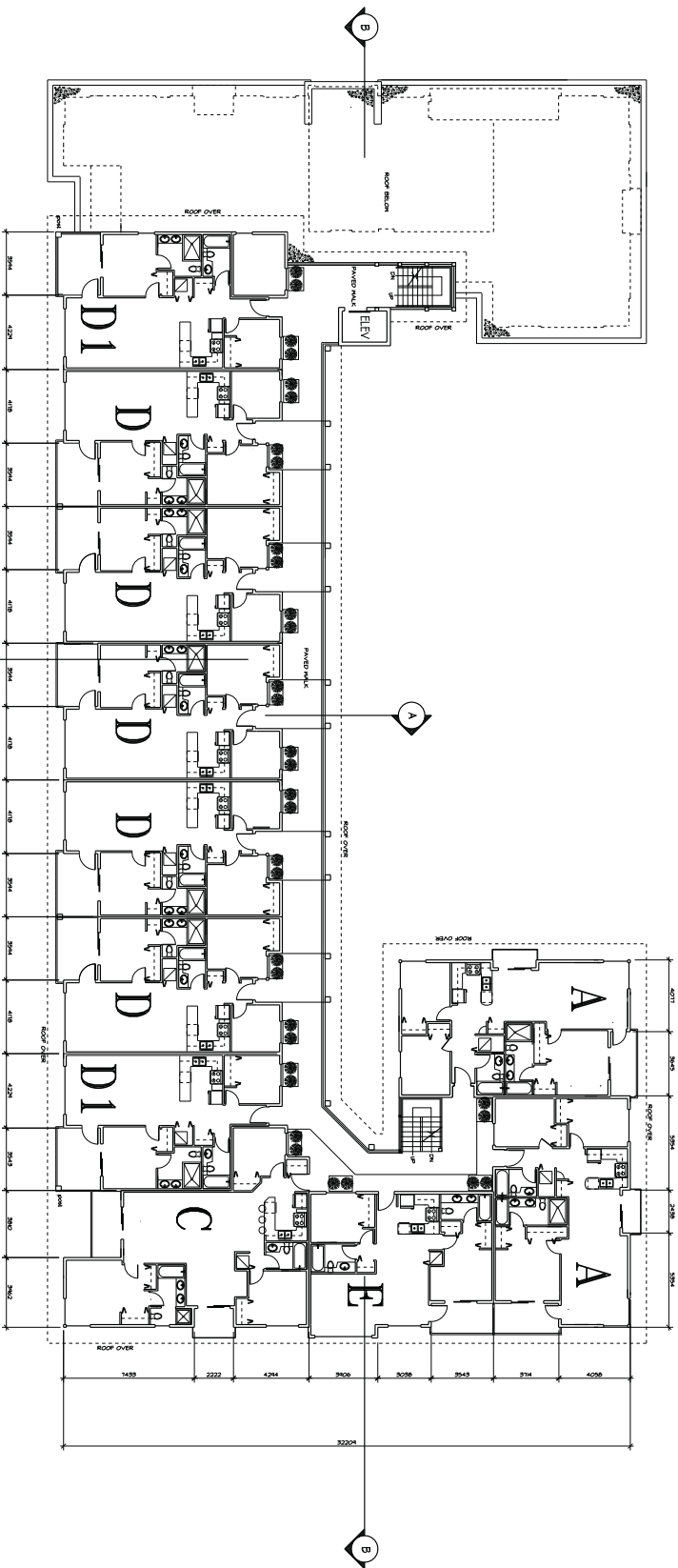
Project
PROPOSED 53 UNIT
CONDOMINIUM PROJECT
 Location
 14344 60th Avenue
 Surrey, B.C.
 Portia Development Corp.

Drawing Title
3RD FLOOR

Drawn	Checked	Project No.
AS		2010-11
Scale	Scale	Project No.
Reproduction Scale	Scale	Project No.



A5



4th Floor

LEGEND

- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- PROPOSED STRUCTURE ON ROOF
- PROPOSED STRUCTURE ON ROOF

No.	Date	Description	Drawn
1		FOR SUBMISSION - PRELIMINARY DESIGN	
2		FOR SUBMISSION - PRELIMINARY DESIGN	
3		FOR SUBMISSION - PRELIMINARY DESIGN	
4		FOR SUBMISSION - PRELIMINARY DESIGN	
5		FOR SUBMISSION - PRELIMINARY DESIGN	

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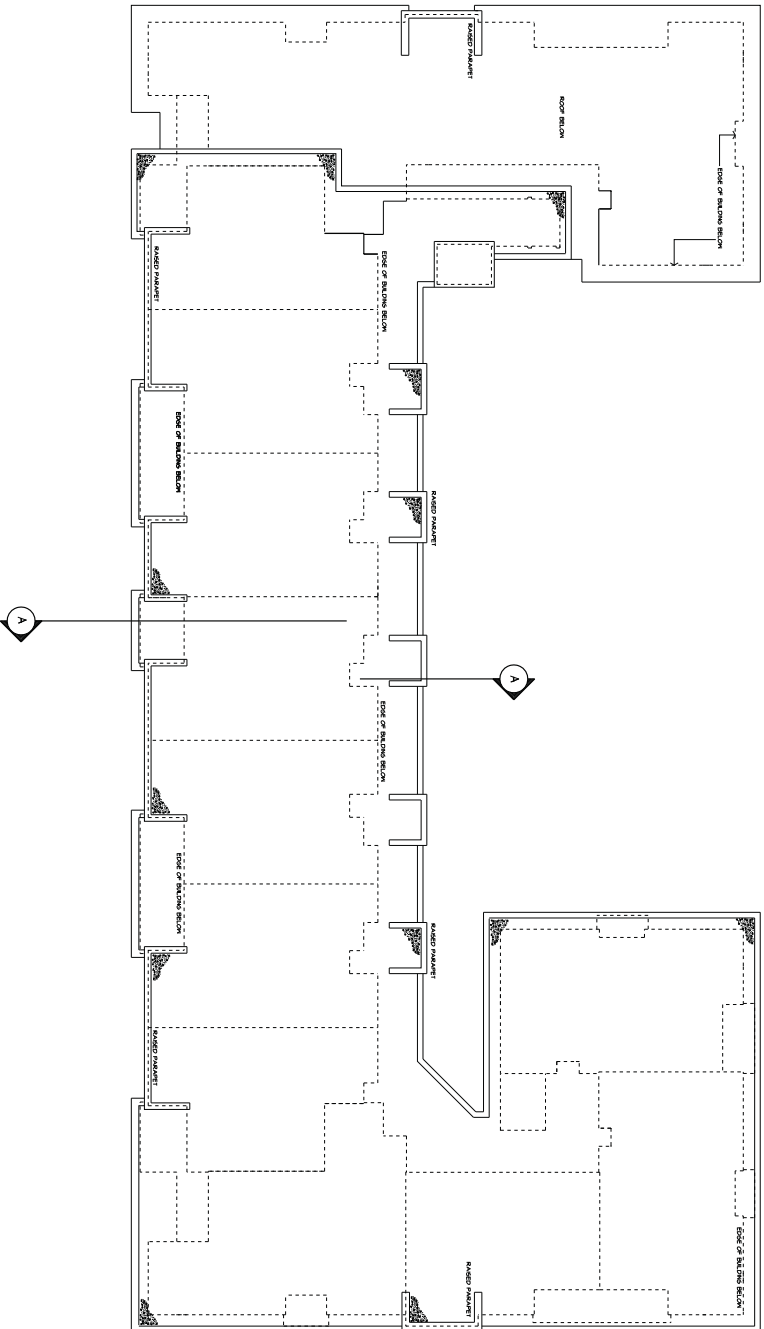
Project
PROPOSED 53 UNIT CONDOMINIUM PROJECT
 Location
 14344 60th Avenue
 Surrey, B.C.
 Porte Development Corp.

Drawing Title
4TH FLOOR

Drawn	Checked	Approved	Project No.
			2010-11
Scale	AS SHOWN	Date	APR 27 2010
Reproduction Scale			


A6

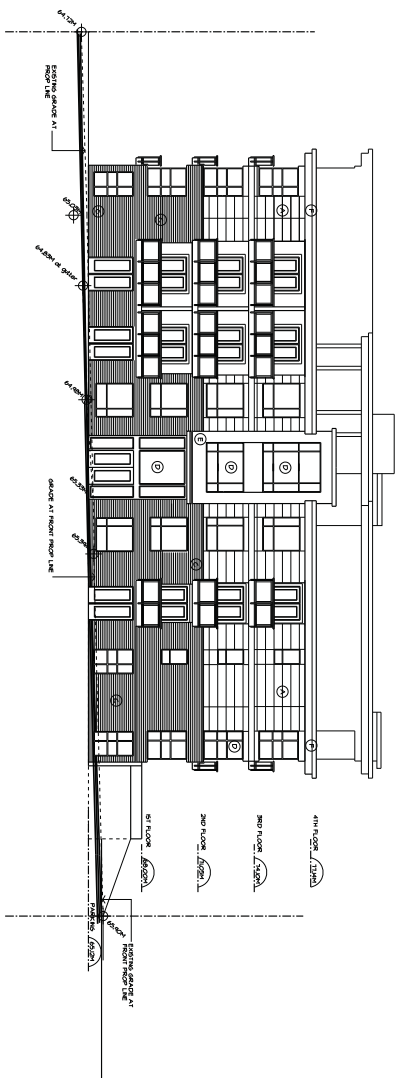




ROOF PLAN



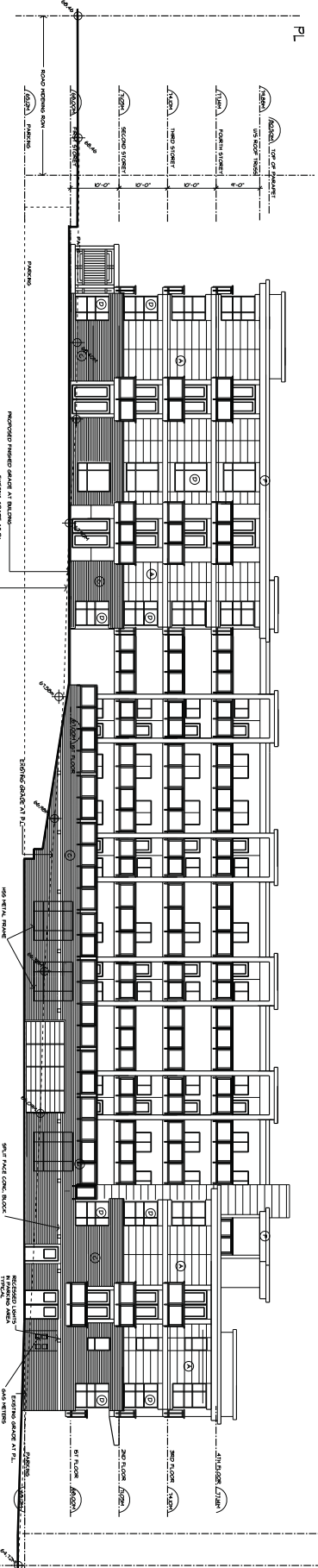
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4	DATE: 07/11	ISSUED FOR: RECORDING							
3	DATE: 12/11	BY: SHERIDAN							
2	DATE: 07/11	BY: SHERIDAN							
1	DATE: 07/11	BY: SHERIDAN							
No.	Date	Description	Drawn	Checked	Reviewed	Approved	Scale	Reproduction Scale	Project No.




Exterior Finish Legend

- ① FINEST GRADE (ANTIQUE BRICK)
- ② FINEST GRADE (ANTIQUE BRICK)
- ③ BRICK
- ④ VINYL
- ⑤ FINISH GRADE
- ⑥ FINISH GRADE
- ⑦ FINISH GRADE
- ⑧ FINISH GRADE
- ⑨ FINISH GRADE
- ⑩ FINISH GRADE

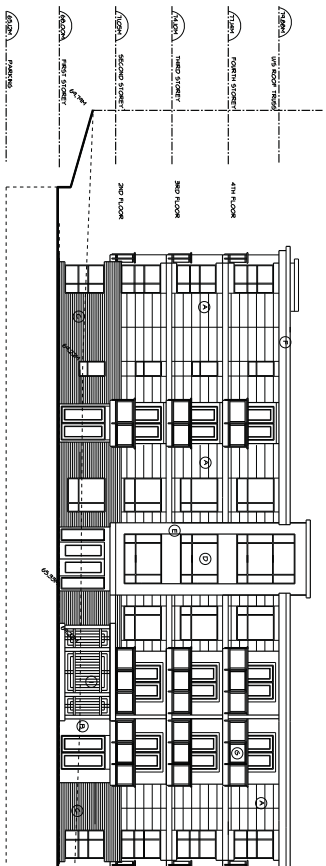
NORTH ELEVATION (60th Avenue)



EAST ELEVATION

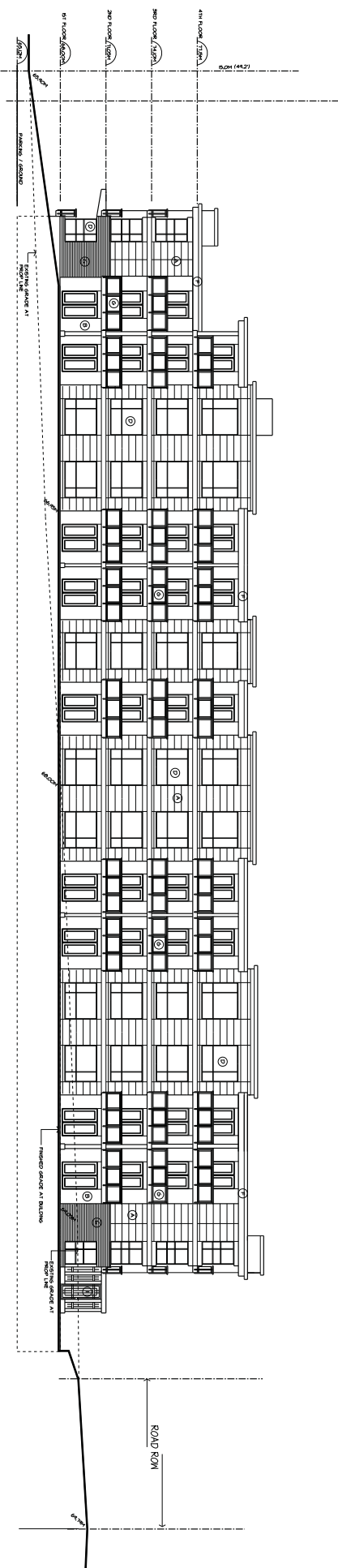
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No. 1 Date: 10/20/10 Description: 57 Unit Condominium Development - ELEVATIONS	No. 2 Date: 10/20/10 Description: 57 Unit Condominium Development - ELEVATIONS	No. 3 Date: 10/20/10 Description: 57 Unit Condominium Development - ELEVATIONS	No. 4 Date: 10/20/10 Description: 57 Unit Condominium Development - ELEVATIONS	No. 5 Date: 10/20/10 Description: 57 Unit Condominium Development - ELEVATIONS	No. 6 Date: 10/20/10 Description: 57 Unit Condominium Development - ELEVATIONS

A8




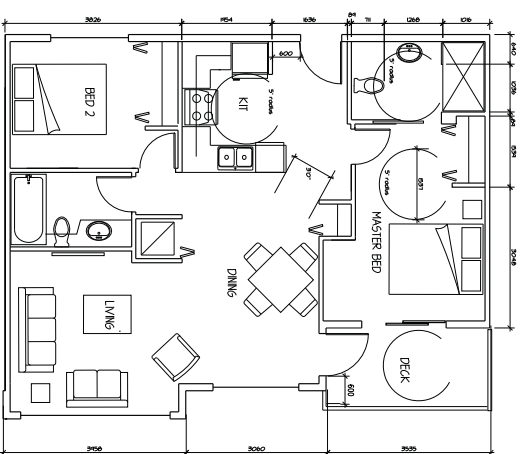
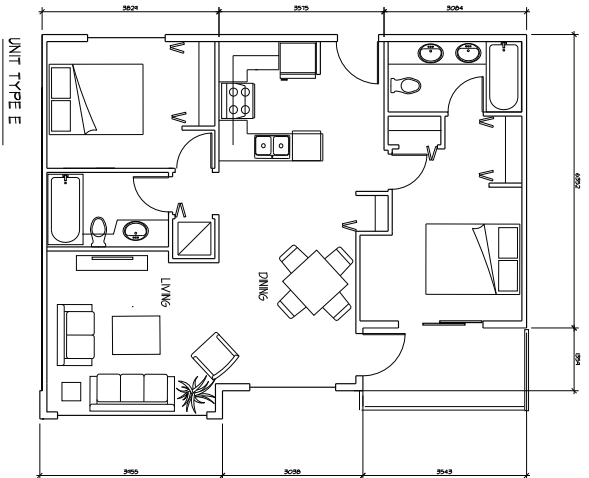
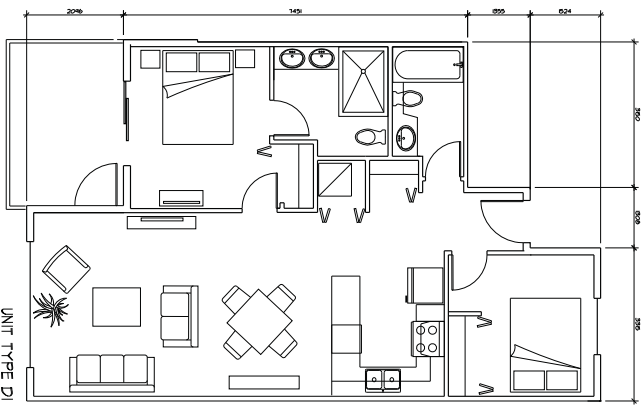
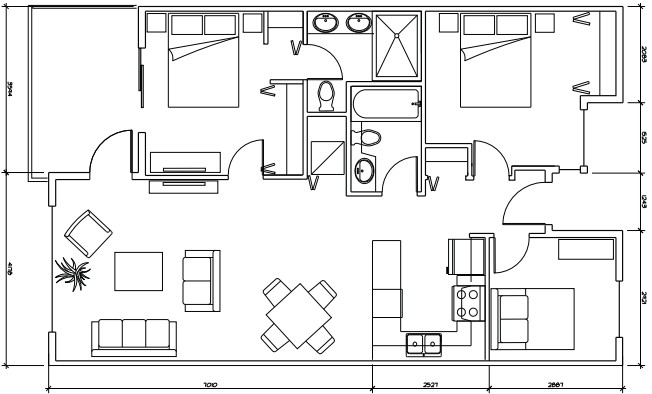
SOUTH ELEVATION

Exterior Finish Legend	
1	ALUMINUM CLADDING - SAND AT STAIR
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18	ALUMINUM CLADDING - SAND AT STAIR
19	ALUMINUM CLADDING - SAND AT STAIR
20	ALUMINUM CLADDING - SAND AT STAIR



WEST ELEVATION

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NOTE: ADAPTED UNIT TO BE TO SUITE ADAPTABLE
INCLUDES FINISHINGS AS ADAPTED BY THE CTR OF SURREY

No.	Date	Description	By
1	JUNE 5/11	ISSUED FOR PERMITTING	Ben
2			
3			
4			
5			
6			
7			
8			
9			
10			

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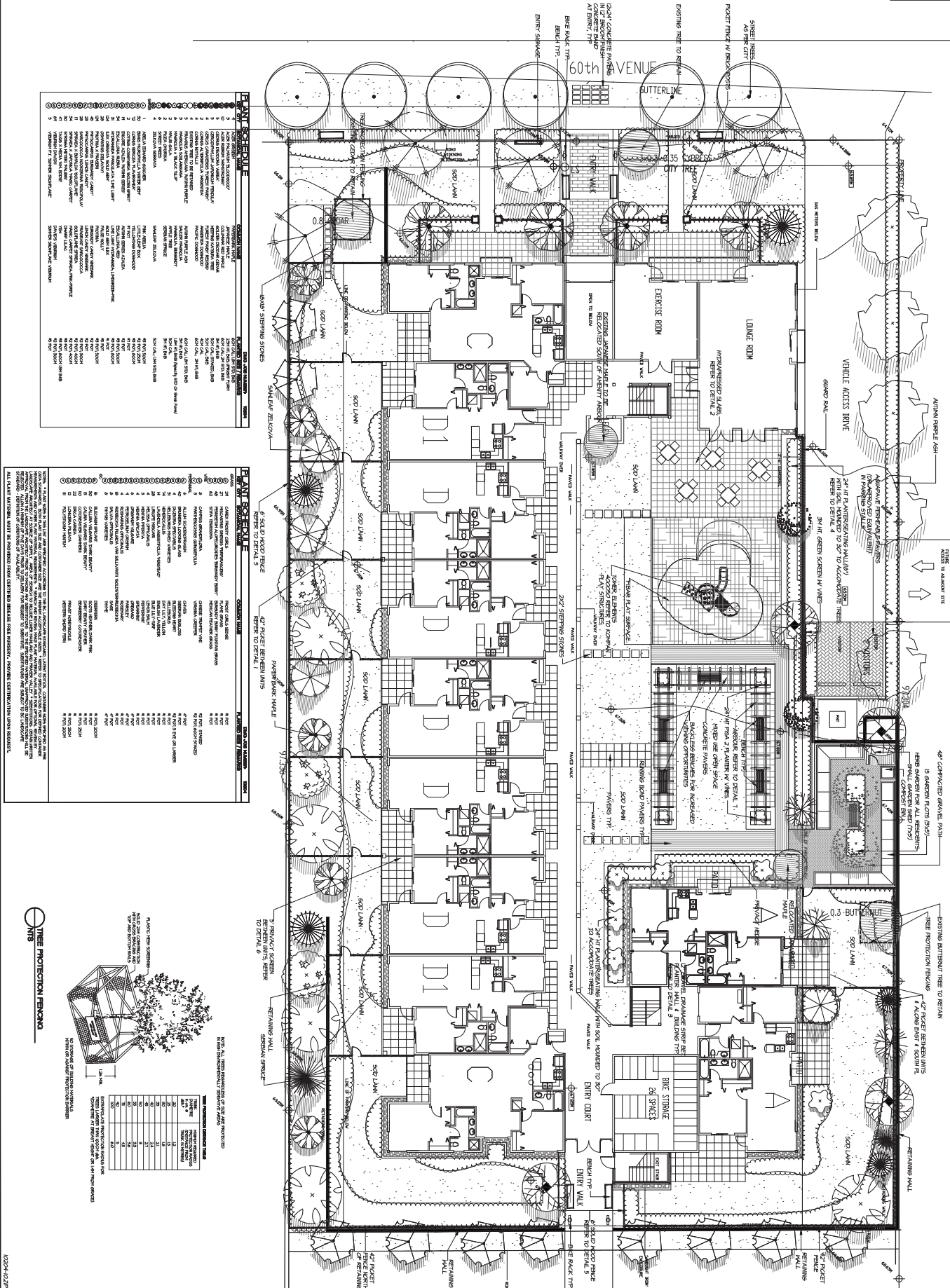
107-1507 West 8th Avenue, Vancouver, B.C. V6J 1T5
Tel: (604) 281-2347
Fax: (604) 281-2349

Client: **PROPOSED 52 UNIT CONDOMINIUM PROJECT**
14944 60th Avenue
Surrey, B.C.
Porte Development Corp.

Opening Title
UNIT FLOOR PLANS

Drawn	Project No.	200-11
Checked	Revision	
Issued Date	Date	
Scale	Drawing No.	
Reproduction Scale		

A12



PLANT SCHEDULE

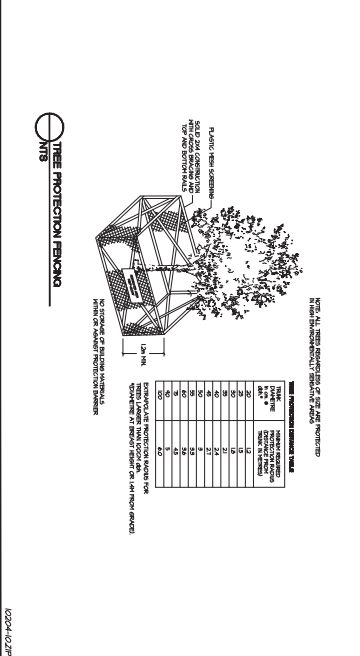
PLANT SCHEDULE

PLANT SCHEDULE

PLANT SCHEDULE

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PLANT SCHEDULE



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Tel: (604) 681-8888
Fax: (604) 681-8889
www.dmg.ca

PROJECT:
52 UNIT CONDOMINIUM
PROJECT
14544 60TH AVENUE
SURREY BC

DRAWING TITLE:
FIRST FLOOR
LANDSCAPE PLAN

DATE: 02/26/24
SCALE: 3/32"=1'-0"
DRAWN BY: L1
DESIGN BY: RM
CHECKED BY: RM

DRAWING NUMBER: 10-204
DWG PROJECT NUMBER: 10-204

REVISIONS:

NO.	DATE	REVISION DESCRIPTION	BY
1	02/26/24	ISSUE FOR PERMIT	RM
2	02/26/24	ISSUE FOR PERMIT	RM
3	02/26/24	ISSUE FOR PERMIT	RM
4	02/26/24	ISSUE FOR PERMIT	RM
5	02/26/24	ISSUE FOR PERMIT	RM
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52	02/26/24	ISSUE FOR PERMIT	RM



52 Unit Condominium Development
14344 60th Avenue Surrey BC

ISSUED FOR DP / REZONING JUNE 3 2011
Porte Development Corp.









TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **June 1, 2011** PROJECT FILE: **7810-0279-00**

RE: **Engineering Requirements
Location: 14344 - 60 Avenue**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 1.942 metres fronting 60 Avenue.
- dedicate 11.500 metres fronting 59A Avenue or dedicate 10.000 metres plus a 1.5 metre offsite statutory right-of-way fronting 59A Avenue.

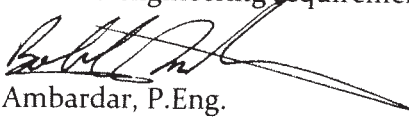
Works and Services

- construct the south half of 60 Avenue to the Major Collector standard
- construct storm and sanitary sewers to service the development.
- Provide 50% cash in lieu for road, sanitary, storm, and water works on 59A Avenue.
- Provide cash-in-lieu for construction and removal of interim extruded asphalt curb extension
- Provide cash-in-lieu for future 143 Street Construction (as agreed by the applicant)

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT

There are no engineering requirements relative to the Development Permit.


Bob Ambardar, P.Eng.
Development Project Engineer

LR



SCHOOL DISTRICT #36 (SURREY)

Wednesday, February 16, 2011
Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 10 0279 00

SUMMARY

The proposed 52 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	8
Secondary Students:	4

September 2010 Enrolment/School Capacity

Woodward Hill Elementary

Enrolment (K/1-7):	56 K + 353
Capacity (K/1-7):	40 K + 450

Sullivan Heights Secondary

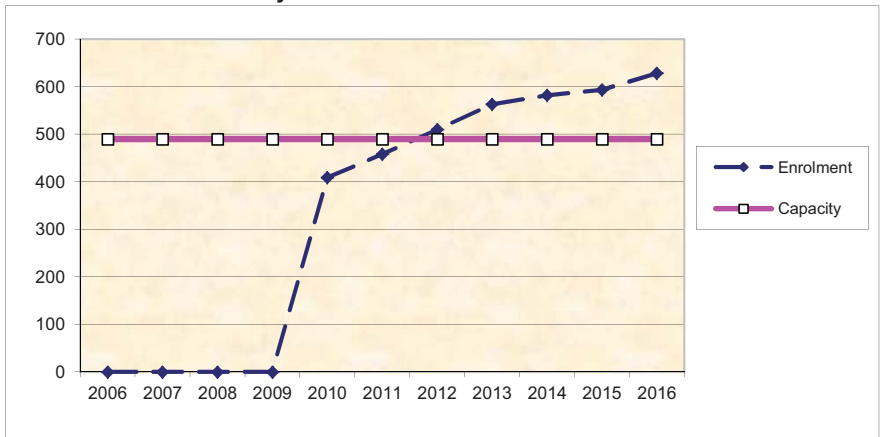
Enrolment (8-12):	1127
Capacity (8-12):	1000

School Enrolment Projections and Planning Update:

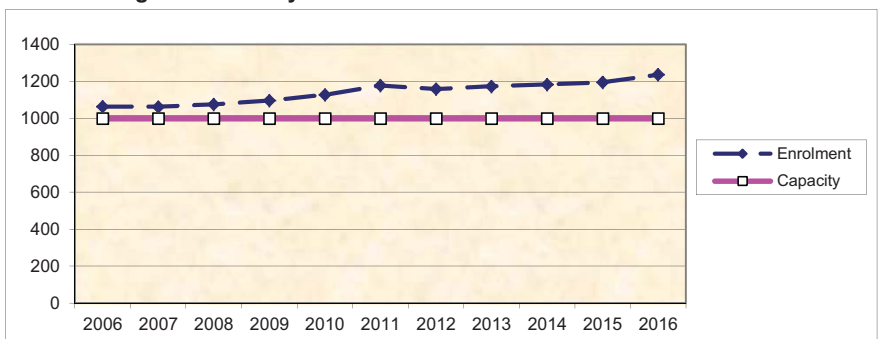
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

A new elementary school (#212 Woodward Hill Elementary) opened in spring 2010. Regular and Early French enrolment from McLeod Road moved to the new Woodward Hill Elementary. McLeod Road Elementary was seismically upgraded and now accommodates a District K-7 Traditional Program. A new elementary school in the South Newton NCP Area, east of Sullivan Heights Secondary is the number two priority in the 2010-2014 Five Year Capital Plan submitted to the province. The Capital plan also includes a proposed addition to Panorama Ridge Secondary to the west of King George Highway and the school district is considering various approaches to address projected overcrowding at Sullivan Heights Secondary (i.e. possible enrolment moves or program change considerations). The proposed development will not have an impact on these projections.

Woodward Hill Elementary



Sullivan Heights Secondary



TREE PRESERVATION SUMMARY

Surrey Project #

Project Location: 14344 – 60th Ave, Surrey

Register Landscape Architect / Arborist Michael Mills DMG Landscape Architects

Detailed Assessment of the existing trees was prepared for this proposal on March 18th 2011.
The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment of the Subject Site

- a. The subject site is located close to the corner of 144th Street on the south side of 60th Ave.
- b. The site is approximately ½ hectare in size and presently contains a single family house with several small outbuildings and horse barns.
- c. The site is dominated with open lawn and fenced paddocks with the majority of the existing tree resource located close to the 60th Ave. frontage.
- d. No individual specimens of unique character or heritage significance were identified.

2. Summary of Proposed Tree Removal and Replacement

○	Number of Protected Trees Identified	26	(A)
○	Number of Protected Trees declared to be hazardous due to natural causes	0	(B)
○	Number of Protected Trees to be Removed	24	(C)
○	Number of Trees to be Retained (A-B-C)	0	(D)
○	Number of Replacement Trees Required @ 2:1	48	(E1)
○	Number of Replacement Trees Required @ 1:1	0	(E2)
○	Total Number of Replacement Trees Required	48	(E3)
○	Number of Replacement Trees Proposed	49	(F)
○	Number of Replacement Trees in Deficit (E – F)	0	(G)
○	Total Number of Protected and Replacement Trees (D+F)	51	(H)
○	Number of Lots Proposed in Project	N/A	(I)
○	Average Number of Trees / Lot (H/I)	N/A	

3. Tree Survey and Preservation Plan

Tree Survey and Replacement Plan is attached.

This plan will be available before final adoption.

Summary and plan prepared and submitted by: **Michael J Mills**
ISA Certified Arborist #PN0392
DMG Landscape Architects
March 18, 2011

APPENDIX VI

Sustainability

- Would like to see more overhangs around perimeter to allow rain protection, to encourage walking, and to reduce solar loads.
- Architect proposes possible heat recovery from refrigeration equipment in grocery to help heat other buildings. This is great if provided, e.g., as a hybrid geothermal system to distribute energy to all buildings. There is a cost premium for this but with cooperation between consultants and building tenants it would be a great system.

5:00 PM

2. File No.: 7910-0279-00
 New or Resubmit: New
 Description: Development Permit for apartment building (4-storey)
 Address: 14344- 60 Avenue, Surrey
 Developer: Victor Setton
 Architect: Harvey Hatch
 Landscape Architect: DMG Landscape Architects
 Planner: Ron Gill
 Urban Design Planner: Hernan Bello

The Urban Design Planner provided an overview of the project:

- Context plan – the site is north of the current City Hall site and near a future park.
- The proposed land use is consistent with the plan for the area.
- Site is currently land locked at south until future road at 59A Ave. is constructed. Project will set precedent for the area.
- NCP - indicates future expansion of a nearby park and notes another nearby area as office park, but an application for a townhouse project has been received for that site.
- Pre-trial Services Centre expansion is proposed next to existing building on the City Hall site.
- External corridor – staff have discussed concerns regarding the exterior corridor with the applicant. Reservations include: durability, weather protection, appearance, potential for break and enter. The applicant is asked to respond to these concerns. The ADP is also asked to comment on this form of access.

The Developers made the following comments:

- Development company has had extensive experience in Surrey.
- Context – it was noted that there are different types of housing in the area. This form of apartment is proposed to offer some variety.
- Building form and character - common driveway is proposed to be shared with neighbour to east
- 81 secure parking spaces
- Land slopes 5% from south to north
- Bike storage in parking garage
- Amenity room - opens to internal courtyard; bike storage is provided on this

- level too
- Secure entry provided onto 59A Ave. and lower level access provided to a 2 storey lobby on 60 Ave.
- Courtyard is up 1 level - railing provided around entry courtyard with trellises.
- Concept is 1 level "town homes"- have built a number of these and see market for them
- Units - 3 bedroom, 2 bedroom and den; to provide alternate lifestyle for buyers looking for larger unit with all the facilities; believe this is missing in Surrey.
- Exterior finishes - brick with plank panel vinyl siding, lots of colour, classical look; will set precedent for the area
- Zoning is R45, so proposing 52 units

The Landscape Architect made the following comments:

- Will keep a lot of existing trees and have added to existing trees so we have good screening
- Adding plant material at the amenity areas, so people have green and active area
- Low planting on front at entry; tried to keep things low for CPTED, with good clearance
- Individual units have yards with gates; hedging proposed for privacy and to provide a green "foundation" to building
- Good lighting and trees along lower area; can see green from off-site rather than walls
- 2 amenity areas provided - active and passive, and both accessible
- Added little patios and lawn in raised areas

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

14344- 60 Avenue, Surrey

File No. 7910-0279-00

It was Moved by S. Lyon

Seconded by R. Ciccozzi

That the Advisory Design Panel (ADP)

recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department and resubmit the project to the ADP for review.

Carried

STATEMENT OF REVIEW COMMENTS

Context and Site Planning

- Courtyard - a bit like social housing; doesn't add to the project.
- Is relentless in architectural expression - contributing to social housing comment.

Form and Character

- Concerns architecturally - lack of architecture; building is a result of assembling unit plans; haven't taken to the next level to create some elements of significance; it has a long way to go in that area.
- Outdoor walkways – concern with rain; idea is good but can it be executed properly?
- Open corridor can be good for liveability, e.g., extra light and cross ventilation. Very subtle thing to make exterior corridor successful, detailing is critical to success of open corridors and want to see these details. The open corridor has to work to make it a hallmark project.
- Inconsistencies in drawings; design development still being done; lot of things being thought out here.
- Trying to understand drawings elevations; missing details; lack of detail to respond to, e.g., no demarcation where materials change.
- Missing detailing and coordination of that detailing, e.g., windows missing from plans.
- More architectural resolution required throughout.
- Inconsistencies in the drawings reflect in the inconsistencies in the architecture.
- Elevations – where are horizontal mullions? Starting and stopping of materials?
- Where do you propose to locate the garbage room?
- Unit C - only place you can put a bed is in front of a big window, so more thought is required in that respect.
- Corner elements - not sure the big corners are useful or helpful; maybe pull them back and integrate them, making them all glass may not make them a better product. The corner could be another kind of element.
- Roof is struggling - maybe simpler treatment that may be more appealing and more consistent.
- Colour - will either be interesting and exciting or it will be dated. Mixed feeling about possibilities of that expression; consider more timeless expression.
- The colours and materials conflict with the architecture.
- Relentless architectural expression – more variation might be in order.
- Random use of materials needs to be resolved.
- Propose providing some form of coverage over garage ramp, e.g., trellis.
- General massing of building needs a lot more resolution.
- Further development of the following building details required:
 1. Unit C - open up angled corner windows and move bed.
 2. Section and elevation details of open corridor to consider privacy of windows, doors, lighting, courtyard, shallow door recesses.
 3. Flattened roofs may be preferable to sloped forms.
 4. Separation detail between brick and upper siding.
 5. Require windows in exterior corridor wall at bedrooms.
 6. Better treatment of future entrance at south end of site.

Landscaping

- Landscaping - working very well; have taken some great opportunities.
- More design development required to advance the courtyard.

CPTED

- Elevated courtyard is good.
- Most CPTED concerns relate to interaction with surrounding area.
- Development of RCMP detachment over next 12 months will contribute to traffic in this area; confirm how road network to south will work.
- CPTED – include standard Surrey CPTED provisions for underground parking.
- Garage access – ensure people leaving parking garage have line of sight.
- West side of building where lawns are – must have clear delineation of space and how it interacts with future development.
- 2 visitor parking stalls at surface - how connected are they; CPTED and access are concerns.
- Garbage - would heavy vehicles have full access or will bins be wheeled out? Where is pick up located?

Accessibility

- Elevator buttons – mounting height to meet BC Building Code.
- Recommend 5 – 10% of units be wheelchair accessible (especially washrooms).
- Amenities – ensure amenity areas are wheelchair accessible.
- Disabled parking - recommend 1 visitor stall on surface, 2 resident stalls underground.

Sustainability

- Energy performance - appears to be a standard 4 storey wood frame with electric heat, gas domestic hot water and gas corridor pressurization systems. Would like to see something to elevate project above level of electric baseboard heating, e.g., gas hot water heating, heat recovery ventilation,
- Anything to improve on energy efficiency would be a great asset, either:
 1. Gas hot water heating; or
 2. Heat recovery ventilators in each unit; or
 3. Solar domestic preheating; or
 4. Other...

D. NEXT MEETING

The next Advisory Design Panel is scheduled for Thursday, March 3, 2011, at 4:00 p.m. in Parks Meeting Room #1.

2.	File No.:	7910-0279-00
	New or Resubmit:	Resubmit
	Description:	DP for apartment building (4-storey)
	Address:	14344- 60 Avenue
	Developer:	Victor Setton, Porte Realty
	Architect:	Niels Wilde, Harvey Hatch Architect
	Landscape Architect:	DMG Landscape Architects
	Planner:	Ron Gill
	Urban Design Planner:	Hernan Bello

The City Architect reported on follow-up work undertaken in response to the ADP's comments at the February 17, 2011 meeting. The following key improvements were noted:

- Form and character – refinement of elevations
- Detail and coordination of drawings
- Visitors parking – relocated the surface parking to the underground parking

The final major request is to address is the relationship of the ground floor to 60th Avenue and consideration of stepping the building.

The City Architect and the Urban Design Planner also presented a series of photos to illustrate:

- context (recent townhouse development in the area) and
- “precedent” photos to illustrate main entry options and relationship of ground floor units to the street.
- The Planning department’s urban design objectives are to define the main entry and to promote access between the ground floor units and the street.

The Project Architect presented an overview of the design rationale, and changes to the building design, materials, the site plan, and underground parking plan. The following was highlighted:

- The primary concern was the form and character of the building and it has been simplified, the colour scheme was muted (more earth tones and complimentary colours), and have included more quality finish materials.
- Have modified the linear appearance of corridors at each unit to identify the entries
- Roofline of the original building was projected upwards
- Location of visitors parking was outside the building - all parking with the exception of 2 visitor stalls is now inside the building
- Problem if we step the building is the impact on the underground parking and the inside of the courtyard
- To mitigate the change in grade, berming is proposed on 60th Avenue
- Another concern was disabled access and adaptability of suite interiors - we are able to modify unit E to allow the unit to become accessible if so desired
- Sustainability – a central domestic hot water system is proposed

The Landscape Architect highlighted the changes:

- Seating area and children's' play area will be southern exposure now
- Picket fencing will have good air flow
- Fully planted berms will provide transition from the street to the ground floor units
- Good privacy provided for patio units
- Retaining wall is integrated with monument signage
- Walkway is covered

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

14344- 60 Avenue

File No. 7910-0279-00

It was Moved by K. Newbert

Seconded by N. Baldwin

That the Advisory Design Panel (ADP)

recommends that the applicant revise and resubmit the project to the ADP at the discretion of the Planning & Development Department planning staff

Carried

STATEMENT OF REVIEW COMMENTS

Context and Site Planning

- Interesting project
- Stepping the landscaping is a good privacy device
- More formal and textured front yard needed
- May need to consider a new location for the garbage and recycling – there will be a slope at the exterior doors to wheel dumpsters out
- There is not a lot of setback between the sidewalk and the ground floor for the change in grade at the north
- Will want quiet activities and maximum amount of privacy at back yards
- Walkway access - concern is bedroom privacy; a freestanding planter is not doing very much; there is no rigorous strategy in protecting bedroom windows; recommend setting walkway farther away from the wall.
- Exit stairs are open – review Building Code requirements, e.g., confirm limiting distance requirements.

Form and Character

- The project has come a long way, there have been significant improvements; like what was done with unit entrances, roof line is a huge improvement
- Building form and shape - quite like it, very pleasing proportions.
- Want to give more urban curb appeal.
- Detail of the exterior walkway - simplify the detailing to ensure it doesn't rot.
- Detailing such a complex walkway will require extensive detail effort
- Careful detail of corner windows and brick / panel junctions is needed

- Detail of how materials come together is critical and not provided, e.g., corner windows need to go around the corner, suggest have less metal (at roof edge) but use it better; a lot of detail necessary for this building
- Lobby would be better with full glazed door way – very careful interior design is required to mitigate its length
- Front wall is not looking like a front wall yet with different entrances, etc.; needs to be abstracted so it feels like a front door instead of like a service entrance
- Wall next to parking driveway needs to feel less like a service entry
- Consider canopies over the two prime entrances
- Special attention should be paid to the metal cornice detail to avoid oil canning and irregular seams
- Take advantage of third floor roof as a terrace to fourth floor unit above
- Could drop window sills in exercise room closer to grade on 60th Avenue.
- Concern regarding below grade suites – suggest doing anything you can do to fine tune the grading and make it as usable as possible

Landscaping

- Consider a more urban circulation system to access ground oriented units as per slides provided by the planning department along 60th Avenue
- A stronger multi-layer edge treatment of the hedge connecting to the sidewalk so it has an urban expression; tighten up the perimeter expressions, make it a little more urban in design expression
- Outdoor space (at the north) needs a more urban, ordered, gridded expression – less suburban in its expression. Berms should be more formal. Suggest boxwood or yew hedge instead of berm; set up a more formal streetscape, another kind of gridding of the front yard so it feels more formal. Consider fencing with boxwood or yew hedge, brick address marker columns at sidewalk, layering of hard and soft, etc.
- Take care of grading where suites are well below grade
- Introduce perimeter, semi-public walkway west of rear yards with privacy gates at the west fence of each yard accessing walkway (existing design with gates between yards is problematic)
- Courtyard – issue with covered walkway skirting the units; too close to windows; consider setting back walkway from building, even at the expense of eliminating continuous cover over walkway in favour of more privacy separation and a more defined front walkway and patio

Accessibility

- Handicapped parking in the underground is still a fairly long distance to elevator – normally they are adjacent to the elevator
- Consider re-planning the E units and put bedrooms on the outside walls

Sustainability

- Response to sustainability - did not really respond to ADP's previous comments
- Open walkway creates a possibility for cross ventilation for each suite but that also means twice the exterior wall area per suite. It would be nice to have this compensated for by slightly better insulation levels, better window performance. Could also consider heat recovery ventilation, hot water heat,

and solar assisted domestic hot water.

- If options are considered indicate what was reviewed and why something was incorporated or not incorporated.
- Lot of grass; consider more shrubs, groundcover.
- Energy efficiency approach – consider better insulation in the walls, improved window performance, heat recovery ventilators

C. NEXT MEETING

The next Advisory Design Panel is scheduled for Thursday, May 12, 2011, at 4:00 p.m. in Parks Meeting Room #1.

D. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 6:01 pm.

Jane Sullivan, City Clerk

Stu Lyon, Advisory Design Panel

<p>Context and Site Planning</p> <ul style="list-style-type: none"> • Interesting project • Stepping the landscaping is a good privacy device • More formal and textured front yard needed <ul style="list-style-type: none"> • May need to consider a new location for the garbage and recycling – there will be a slope at the exterior doors to wheel dumpsters out • There is not a lot of setback between the sidewalk and the ground floor for the change in grade at the north • Will want quiet activities and maximum amount of privacy at back yards • Walkway access - concern is bedroom privacy; a freestanding planter is not doing very much; there is no rigorous strategy in protecting bedroom windows; recommend setting walkway farther away from the wall. • Exit stairs are open – review Building Code requirements, e.g., confirm limiting distance requirements. 	<ul style="list-style-type: none"> • Building has been raised 3’ and two ground floor homes with patios have been added along 60th with pathways to the homes. • Garbage/recycling location works and is accessible along the drive aisle. • Now that the building has been raised this is no longer an issue. • All ground floor homes have private fenced yards. • The walkway has been widened to 8’ and planters will be used along windows to increase bedroom privacy by pulling people away from the windows. • Has been reviewed and will meet building code requirements.
<p>Form and Character</p> <ul style="list-style-type: none"> • The project has come a long way, there have been significant improvements; like what was done with unit entrances, roof line is a huge improvement • Building form and shape - quite like it, very pleasing proportions. • Want to give more urban curb appeal. <ul style="list-style-type: none"> • Detail of the exterior walkway - simplify the detailing to ensure it doesn’t rot. • Detailing such a complex walkway will require extensive detail effort 	<ul style="list-style-type: none"> • Ground floor homes and the lobby at grade creates a more urban curb appeal. • See enlarged details on drawing A13. • See details on drawing A13.

14344 60th Avenue
 Written response to design panel comments

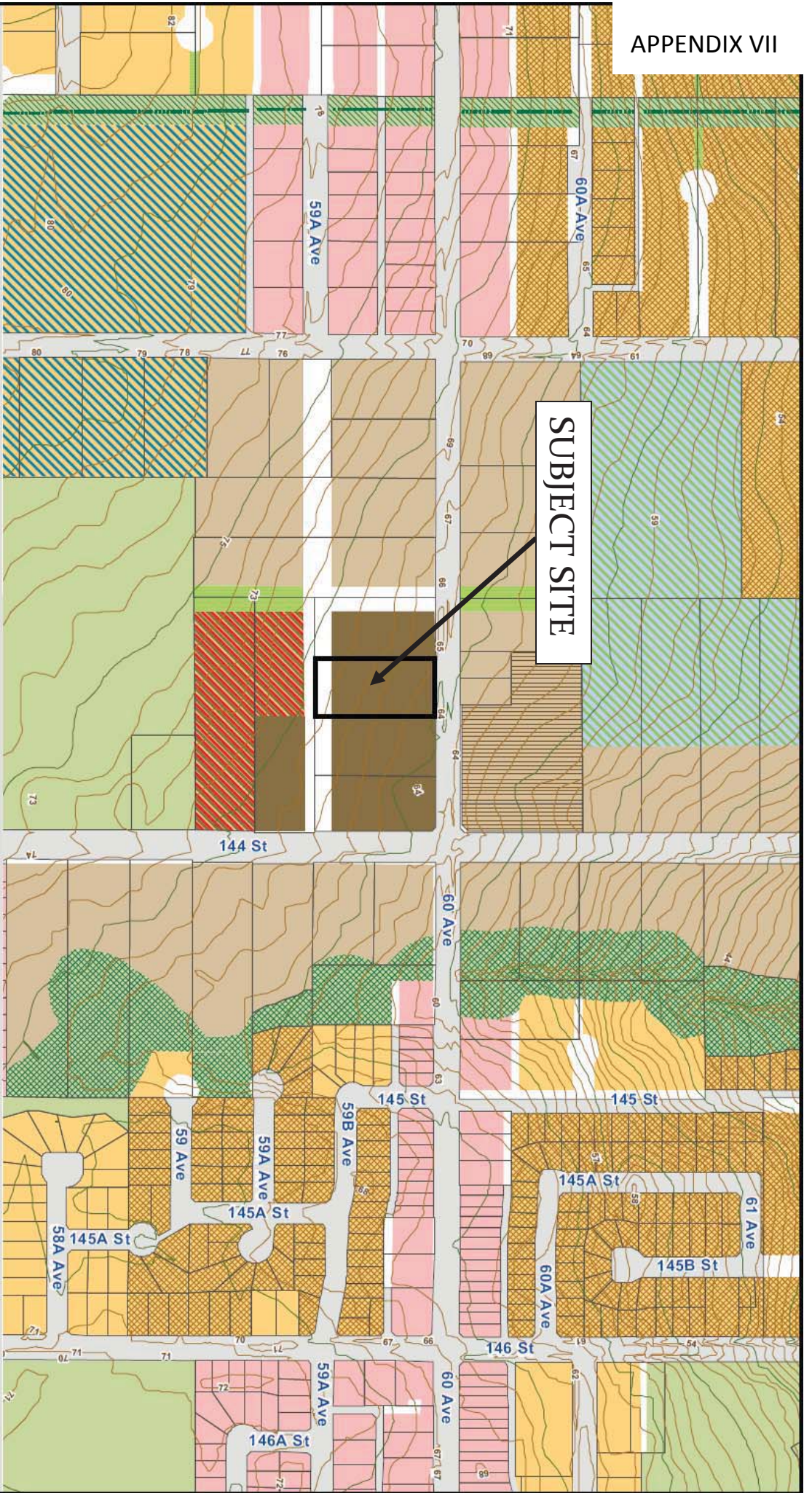
<ul style="list-style-type: none"> • Careful detail of corner windows and brick / panel junctions is needed • Detail of how materials come together is critical and not provided, e.g., corner windows need to go around the corner, suggest have less metal (at roof edge) but use it better; a lot of detail necessary for this building • Lobby would be better with full glazed door way – very careful interior design is required to mitigate its length • Front wall is not looking like a front wall yet with different entrances, etc.; needs to be abstracted so it feels like a front door instead of like a service entrance • Wall next to parking driveway needs to feel less like a service entry • Consider canopies over the two prime entrances • Special attention should be paid to the metal cornice detail to avoid oil canning and irregular seams • Take advantage of third floor roof as a terrace to fourth floor unit above • Could drop window sills in exercise room closer to grade on 60th Avenue. • Concern regarding below grade suites – suggest doing anything you can do to fine tune the grading and make it as usable as possible 	<ul style="list-style-type: none"> • Corner window with mullion will be used. • See details on drawing A13. • Lobby now has more glazing and elevator has been moved forward to shorten the length of the lobby. • The addition of the ground floor homes, the lobby at grade & stepping of the building has changed the look of the entryway. • More landscaping has been added and the brick has been broken up. • Canopy has been added at front entryway but not at the back. • Cornice detail has been changed-see details on drawing A13. • For privacy issues & noise we don't feel that roof decks should be above suites. • The exercise room has been moved. See 60th Avenue elevation drawings A8. • The building has been raised 3' improving the relationship with grade.
<p>Landscaping</p> <ul style="list-style-type: none"> • Consider a more urban circulation system to access ground oriented units as per slides provided by the planning department along 60th Avenue • A stronger multi-layer edge treatment of the hedge connecting to the sidewalk so it has an urban expression; tighten up the perimeter expressions, make it a little more urban in design expression • Outdoor space (at the north) needs a more urban, ordered, gridded expression – less suburban in its 	<ul style="list-style-type: none"> • Landscaping has been improved along 60th, incorporating pathways to both homes along 60th. See landscape drawing L1. • To create a more urban expression the landscaping has been changed implementing pathways on both sides of the entryway and hedging along the sidewalk. See landscape drawing L2. • Elevation along 60th has changed - the building has been raised 3' and two suites have been implemented at grade

14344 60th Avenue
Written response to design panel comments

<p>expression. Berms should be more formal. Suggest boxwood or yew hedge instead of berm; set up a more formal streetscape, another kind of gridding of the front yard so it feels more formal. Consider fencing with boxwood or yew hedge, brick address marker columns at sidewalk, layering of hard and soft, etc.</p> <ul style="list-style-type: none"> • Take care of grading where suites are well below grade • Introduce perimeter, semi-public walkway west of rear yards with privacy gates at the west fence of each yard accessing walkway (existing design with gates between yards is problematic) • Courtyard – issue with covered walkway skirting the units; too close to windows; consider setting back walkway from building, even at the expense of eliminating continuous cover over walkway in favour of more privacy separation and a more defined front walkway and patio 	<p>changing the appearance of the building and diminishing the need for berming and/or hedges along the front of the building.</p> <ul style="list-style-type: none"> • Building has been raised 3' improving the patio space relationship with grade. • We don't feel it is necessary to have a walkway along the rear yards as there is plenty of courtyard space for all of the residents use. We also feel that the privacy of the rear yards is an important feature of our ground floor homes. • Exterior walkways on all floors have been widened; pedestrians are no longer required to walk as close to the suites. By widening the walkways we have also improved the definition of the entryways as the paved area has increased on the ground floor homes.
<p>Accessibility</p> <ul style="list-style-type: none"> • Handicapped parking in the underground is still a fairly long distance to elevator – normally they are adjacent to the elevator • Consider re-planning the E units and put bedrooms on the outside walls 	<ul style="list-style-type: none"> • Handicapped stall has been moved closer to the elevator. • Will consider minor changes.
<p>Sustainability</p> <ul style="list-style-type: none"> • Response to sustainability - did not really respond to ADP's previous comments • Open walkway creates a possibility for cross ventilation for each suite but that also means twice the exterior wall area per suite. It would be nice to have this compensated for by slightly better insulation levels, better window performance. Could also consider heat recovery ventilation, hot water heat, and solar assisted domestic hot 	<p>The project addresses several sustainability issues. LEED credit numbers have been provided in brackets for reference where applicable:</p> <ol style="list-style-type: none"> 1. All but two of the parking stalls are covered, reducing the heat island effect and enhancing the landscaping of the site (SS 7.1). 2. The heat island effect of the project will be further reduced by providing a light coloured (high albedo) roof

14344 60th Avenue
Written response to design panel comments

<p>water.</p> <ul style="list-style-type: none">• If options are considered indicate what was reviewed and why something was incorporated or not incorporated.• Lot of grass; consider more shrubs, groundcover.• Energy efficiency approach – consider better insulation in the walls, improved window performance, heat recovery ventilators	<p>membrane system (SS 7.2).</p> <ol style="list-style-type: none">3. A community garden has been provided which will increase the self-sufficiency of the occupants of the project.4. Exterior building lighting will only be provided where necessary, and fixtures will be selected that minimize off site or upward illumination (SS 8).5. A high efficiency irrigation system will be used to reduce potable water consumption (WE 1.1).6. The garbage room, as well as each home, will be provided with specialized recycling containers (MR Pre 1).7. During the construction of the project, the contractor will reduce site waste, incorporate recycled content materials, and give preference to the use of regionally manufactured and wood based materials (MR 4 – 7).8. The provision of operable windows at either end of the homes enhances the natural ventilation of the spaces (EQ 2).9. Low emitting indoor finishes will be selected that minimize the impact on indoor air quality (EQ 3 – 5).10. Windows provided at either end of the homes improve the natural daylighting of the homes (EQ 8.1).11. The energy efficiency of the building is increased by using individual hot water tanks for each home rather than a central system for the building.
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SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN

PLANNING AND DEVELOPMENT DEPARTMENT

- Apartments 45 upa max
- Townhouses 25 upa max
- Townhouses 20 upa max
- Townhouses 15 upa max
- Single Family Small Lots
- Row Housing

- Single Family Residential Flex 6 to 14.5
- Single Family Residential
- Suburban Residential 1/2 Acre
- Mixed Com/Res Apartments
- Mixed Com/Res Townhouse

- Commercial
- Institutional
- Office Park
- Industrial
- Schools
- Proposed School

- Proposed School and Park
- Parks
- Proposed Park and Walkway
- Recreational
- Creeks and Riparian Set-back

- Buffers
- Detention Ponds
- Utility RW Greenway



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

PRINTED April 11, 2016

CITY OF SURREY

APPENDIX VIII

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 003-412-148
 Lot 89 Section 9 Township 2 New Westminster District Plan 63769
 14344 - 60 Avenue
 (hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density*, medium-rise, *multiple unit residential buildings*, *ground-oriented multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design* where *density* bonus is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. *Multiple unit residential buildings* and *ground-oriented multiple unit residential buildings*.
- 2. *Child care centres*, provided that such centres:

- (a) Do not constitute a singular use on the *lot*; and
- (b) Do not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

C. Lot Area

Not applicable to this Zone.

D. Density

For the purpose of *building* construction:

1. The *density* shall not exceed a *floor area ratio* of 0.1 or *building* area of 300 square metres [3,230 sq. ft.] whichever is smaller. The maximum *density* may be increased to that prescribed in Sub-sections D.2 and D.3 of this Zone if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Multiple Unit Residential Buildings:
 - (a) The *floor area ratio* shall not exceed 1.15; and
 - (b) The unit *density* shall not exceed 130 *dwelling units* per hectare [53 u.p.a.].
3. Indoor Amenity Space: The *amenity space* required in Sub-section J.1(b) of this Zone, is excluded from the calculation of the *floor area ratio*.

E. Lot Coverage

The *lot coverage* shall not exceed 45%.

F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

	Setback	North	South	East	West
		Yard	Yard	Yard	Yard
Use					
<i>Principal and Accessory Buildings and Structures</i>		7.0 m * [23 ft.]	4.5 m [15 ft.]	7.5 m [25 ft.]	7.5 m [25 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- * The north *yard setback* may be reduced to a minimum of 5.2 metres (17 ft.) for a canopy.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings: The *building height* shall not exceed 15 metres [50 feet].
2. Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [15 feet].

H. Off-Street Parking

1. Resident, visitor and employee *parking spaces* as stated in Table C.6, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. One-hundred percent (100%) of all required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.
3. A maximum of 2 visitor *parking spaces* may be permitted within the required east *yard setback*. No other parking within the required *setbacks* is permitted.
4. No parking shall be permitted in the front of the main entrance of a *multiple unit residential building*, except for the purpose of short term drop-off or pick-up and parking for the disabled.
5. *Tandem parking* is not permitted.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping strip* of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping screen, a solid decorative fence, or a combination thereof*.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*, of which a maximum of 1.5 square metres [16 sq.ft.] per *dwelling unit* may be devoted to a *child care centre*.
2. *Child care centres* shall be located on the *lot* such that these centres:
 - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
 - (b) Have direct access to an *open space* and play area within the *lot*.
3. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq.ft.] per *dwelling unit*, whichever is greater.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
3,000 sq. m. [0.75 acre]	40 metres [130 ft.]	70 metres [230 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-45 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2010, No. 17111, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-45 Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.

11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

READ A THIRD TIME ON THE _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK

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