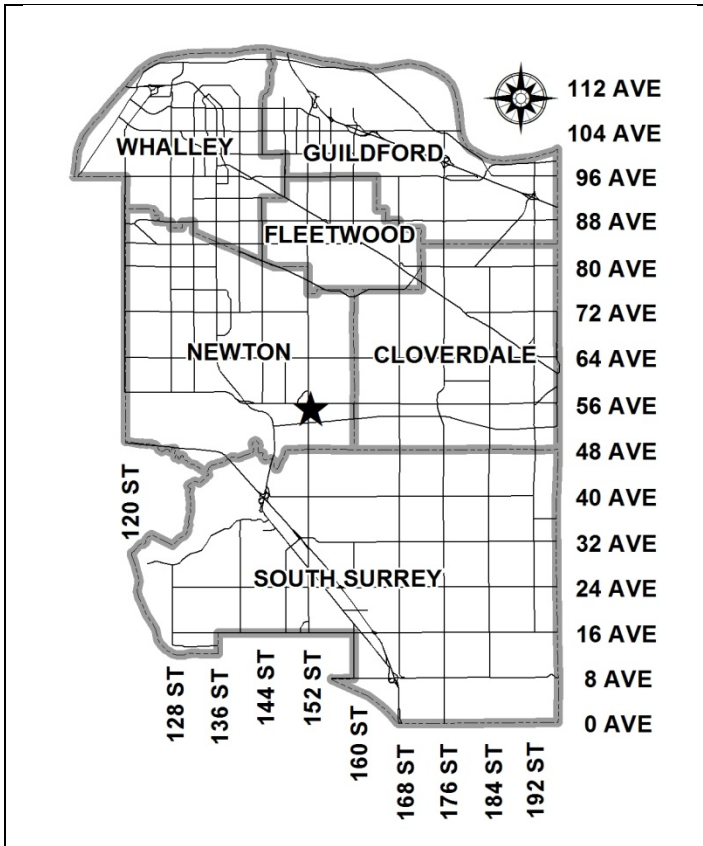


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7910-0281-00

Planning Report Date: July 25, 2011

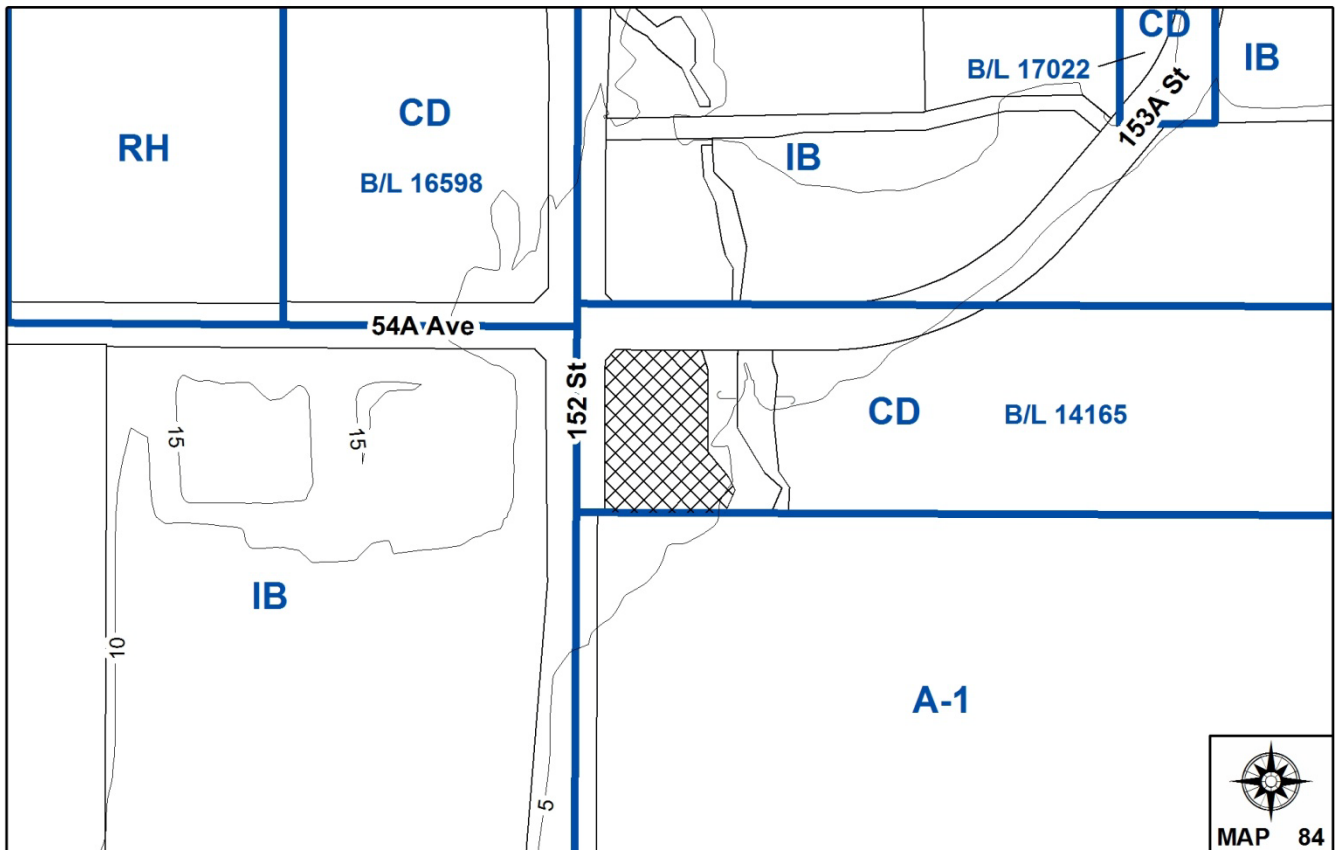


PROPOSAL:

- **Development Permit**

in order to permit the development of a 2758 sq. m. (29,690 sq. ft.) office building.

LOCATION: 5446 - 152 Street
OWNER: Panorama Business Centre Ltd.
ZONING: CD By-law No. 14165
OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

- Approval to execute Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with OCP designation.
- Complies with the zoning.
- The proposal is generally consistent with the previously approved Development Permit No. 7900-0163-00 for the subject lands which expired in July 2009.
- The landscape plan for the Agricultural Land Reserve buffer to the south and the riparian buffer to the east is appropriate.
- The proposed building form is appropriate for the surrounding area and the building incorporates a number of sustainability features.

RECOMMENDATION

The Planning & Development Department recommends that:

1. the Mayor and Clerk be authorized to execute Development Permit No. 7910-0281-00.

NOTE: If the Development Permit as presented is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

Department of Fisheries and Oceans (DFO): The riparian zone planting along the eastern property boundary is acceptable.

Agricultural Advisory Committee: The proposed development was presented to the Agricultural Advisory Committee on July 5, 2011, for their consideration (Appendix III).

The AAC recommended that no "Vaccinium" species be used in the ALR buffer and that a chain-link fence (lower maintenance) be provided in the buffer instead of the proposed wooden fence. (Note: Vaccinium species may be problematic as they can be a host for disease.)

The applicant has accepted these recommendations and modified the landscape plan for the ALR buffer accordingly.

SITE CHARACTERISTICS

Existing Land Use: Private school, (Roots and Wings Montessori) permitted under a Temporary Use Permit.

Adjacent Area:

Direction	Existing Use	OCP	Existing Zone
North (Across 54A Ave):	Office Building – 3 storey	Industrial	IB
East:	Private School proposed (Roots and Wings Montessori)	Industrial	CD Zone/By-law No. 14165

Direction	Existing Use	OCP	Existing Zone
South:	Agricultural Land	Agriculture – (Agricultural Land Reserve)	A-1
West (Across 152 St):	Warehouse Industrial Building	Industrial	IB

DEVELOPMENT CONSIDERATIONS

Background

- The subject property is located at the southeast corner of 152 Street and 54A Avenue and is 4,007 sq. m. (0.99 acres) in area. The property slopes (gently) to the south and has 77 metres (253 feet) frontage on 152 Street and 47 metres (154 feet) frontage along 54A Avenue. There are no mature trees on the property.
- In 2007 an office building was approved under Development Permit No. 7900-0163-00 in conjunction with a proposed private school (Roots and Wings Montessori School) on the lands to the east. This Development Permit expired in July 2009 and the owner submitted a new application generally based on the concept in the original Development Permit with respect to the uses (office space), building footprint, parking configuration, setbacks, and buffers.
- The lots for the office building and for the school development were created under subdivision application 7906-0146-00 (subdivision completed 2007). At the time of subdivision Restrictive Covenants were established to protect the riparian zone to the east and for the ALR landscape buffer along the southern property boundary.

Proposal

- The proposal is to develop a 2,758 sq. m. (29,690 sq. ft.) three-storey office building. The building is proposed to be stratified.
- The building meets all the setback requirements (7.5 metres/25 feet) for all property lines. The building height is 12 metres (39 ft.) and 65 parking spaces are being provided. The building satisfies the site coverage and FAR requirements and all other zoning requirements.

Riparian Zone protections Requirements

- There is an existing Restrictive Covenant between the owner and the Federal Department of Fisheries and Oceans for the protection of a fish-bearing intermittent stream on the property to the east. On the west side of the stream the area protected by the covenant is 20 metres (66 feet) wide and is located mostly on the lands adjacent to the east but includes a narrow ribbon of land along the eastern property boundary of the subject property.

- For the riparian zone covered by the covenant on the subject land, a narrow strip generally 2 to 5 metres in width, plantings will consist of native plants that are recommended under the BC Ministry of Environment Riparian Restoration Guidelines. The Department of Fisheries and Oceans and the Surrey Environmental Co-ordinator have reviewed and approved the planting plan. A 1.8 metre (6 feet) high chain link fence will be erected along the west side of the riparian zone to provide additional protection from encroachment into the area and to allow the plantings to get fully established.

ALR Setbacks and Buffers

- The proposed building is setback 21 metres (70 feet), and there is a 3 metre (10 ft.) buffer adjacent to the ALR which is generally consistent with Agricultural Land Commission buffer specifications. For the landscape buffer, trees proposed are a row of Western Red Cedar along with a number of Antarctic Beech, and there are two rows of shrubs (Barberry and Rhododendron) and a 1.8 metre (6 feet) chain link fence. A Restrictive Covenant is required for the landscape buffer.
- There are no doors on the south side, no windows that open in the building, and the outdoor amenity space is facing 152 Street approximately 38 m (125 feet) from the ALR boundary.

Landscaping

- There are no mature trees on the site.
- The landscaping plan prepared for the site includes a combination of new trees, shrubs and groundcover in a variety of species throughout the site.
- A 3 metre (10 ft.) landscaping buffer is proposed along the southerly property line as described above.
- The plan proposes a distinctive corner feature with plantings and a trellis and a pedestrian ramp at the northwest corner of the building (at 152 Street and 54 A Avenue). A sloped sidewalk with tiered landscaping is provided as a corner feature with sweeping edges that create a smooth transition to the walkways that are continuous and surround the building.
- A narrow strip along the eastern property boundary is protected under a Restrictive Covenant between the owner and the Department of Fisheries and Oceans for the protection of a fish-bearing intermittent stream on the property to the east as described above.

DESIGN PROPOSAL AND REVIEW

Access

- Access for the site is from 54A Avenue at the northeast property boundary with a 10 metre (33 feet) queuing distance from the property line to the parking area. A sliding parking gate is proposed to restrict access after regular business hours.

- 64 parking spaces are required and 65 parking spaces are provided; this includes one handicapped parking stall and 17 small parking spaces.
- The plan provides pedestrian access from the northwest with sidewalks that surround the building.

Building Design

- The building is a 3 storey tilt up building with "low E" (energy efficient) curtain wall glazing with green tinting and clear anodized window frames. The exterior walls will have a natural concrete gray finish. There is an open canopy along the west elevation.
- The east and west elevations each have 5 doors to the exterior, there are no doors on the north and south elevations.
- Outdoor amenity space is to be provided on the west side of the building with access to this space from the ground floor and all upper floor units.

Sustainability Features

The following sustainability features are included in the building and landscaping design:

- Low water usage irrigation;
- A high efficiency heating and cooling system in conjunction with "Low E" glazing;
- Exterior shading and interior reflective blinds to reduce the air conditioning load;
- A recycling program including cardboard recycling;
- Riparian zone planting with native plants to enhance the riparian buffer.

Signage

- The proposed signage conforms to the Surrey Sign by-law, By-law 13656, as amended.
- A free standing sign is proposed at the northwest corner of the site with a sign height of 4.6 metres (15 feet) and a sign area of 27.4 square metres (296 square feet). The Sign By-law permits a maximum sign height of 6 metres (20 feet) and maximum sign area of 27.8 square metres (300 square feet). The free standing sign has a concrete base to match the exterior of the office building with back lit panel signage. The sign panels will have cut out letters on an opaque background.
- Canopy signage with channel lettering is proposed for the office units facing west onto 152 Street. The Sign By-law allows up to 43.9 square metres (474 square feet) of sign area for the canopy signage. The total signage area proposed for the canopy signs is 5.8 square metres (62 square feet).

ADVISORY DESIGN PANEL

- The Advisory Design Panel (ADP) provided comments in regard to context and site planning, vehicle and pedestrian circulation, form and character, landscaping, CPTED, accessibility and sustainability.

- Planning staff met with the project architect and provided follow-up to the ADP review. The project architect has provided detailed written comments outlining how each issue raised in the ADP meeting has been addressed and has resubmitted the design drawings reflecting the changes (Appendix IV). The City Architect has reviewed the revised plans and has indicated that the concerns raised by the ADP have been satisfactorily addressed.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I	Lot Owners, Action Summary and Project Data Sheets and Survey Plan
Appendix II	Engineering Summary
Appendix III	Agricultural Advisory Committee Minutes
Appendix IV	ADP Comments with Applicant's Response
Appendix V	Development Permit No. 7910-0281-00

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

SG/kms

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. 7/21/11 11:32 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Peter Lovick
 PJ Lovick Architect
 Address: 3707 East 1st Avenue Suite 200
 Burnaby, BC V5C 3V6

 Tel: 604-298-3700 - Work
 604-298-3700 - Fax

2. Properties involved in the Application

 - (a) Civic Address: 5446 - 152 Street

 - (b) Civic Address: 5446 152 St
 Owner: Panorama Business Centre Ltd., Inc. No. BCo804464
 PID: 027-239-586
 Lot 1 District Lot 167 Group 2 New Westminster District Plan BCP32709

3. Summary of Actions for City Clerk's Office

DEVELOPMENT DATA SHEET

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA*		4007 sq m
LOT COVERAGE (in % of net lot area)	45%	23%
F.A.R.	0.75	0.69
SETBACKS (in metres)		
Front	7.5 m	7.5 m
Rear	7.5 m	20.0 m
North Side	7.5 m	7.5 m
South Side	7.5 m	21.5 m
BUILDING HEIGHT (in metres/storeys)	12.0 m	12.0 m – 3 storeys
FLOOR AREA: Office and other mixed uses		2758 sq m (29,690 sq ft)
TOTAL BUILDING FLOOR AREA		2758 sq m (29,690 sq ft)
PARKING (number of stalls)	64	65
Number of Disabled Stalls	1	1
Number of Small Car Stalls	16 (25 per cent of required spaces)	17 (one extra small space provided, this is over and above parking requirements)
OUTDOOR AMENITY SPACE		Yes

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

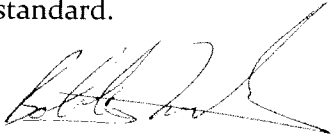
DATE: **July 18, 2011** PROJECT FILE: **7810-0281-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 5446 152 St.**

DEVELOPMENT PERMIT

The following issues are to be addressed as a condition of issuance of the Development Permit:

- Register a 1.50 m wide Statutory Right-of-Way on 152 Street for an Arterial Road standard;
- Register a 1.00 m wide Statutory Right-of-Way on 54A Avenue for a Collector Road standard.



Bob Ambardar, P.Eng.
Development Project Engineer

IK1

File: 7810-0281-00

Location: 5446 152 St.

Applicant: PJ Lovick Architect
Address: 3707 East 1st Avenue Suite 200
Phone: 604-298-3700
Fax: 604-298-6081
Email: tdewar@pjlovick.com
Owner: Panorama Business Centre Ltd.

- | | | |
|--|--|--|
| <input type="checkbox"/> OCP Amendment | <input type="checkbox"/> NCP Amendment | <input type="checkbox"/> ALR Exclusion |
| <input type="checkbox"/> Rezone | <input type="checkbox"/> LUC Amendment | <input type="checkbox"/> Subdivision |
| Existing Land Use: CD By-law 14165 | | Existing Lots: |
| Proposed Land Use: | | Proposed Lots: |
| <input checked="" type="checkbox"/> DP | <input type="checkbox"/> DVP | |

Land Development Engineering Contacts:

Ileana Kosa, Development Services Project Supervisor
 604-591-4140, IKosa@surrey.ca
 Bob Ambardar, P.Eng., Development Project Engineer
 604-598-5893, BAmardar@surrey.ca

Attachments:

- Project Layout
- Road Right-of-Way Requirements Sketch

Distribution:

- Applicant
- Transportation Planning Manager
- Sewer Engineer
- Water Engineer
- Drainage Planning Manager
- Development Services Project Supervisor

1	July 18, 2011	Original
No.	Date	Revision

LAND DEVELOPMENT ENGINEERING REVIEW

File 7810-0281-00, Map #084

Background

The applicant is proposing a Development Permit to allow for the development of a 3 storey, 2758 sq.m concrete building. These comments are based on the attached site layout prepared by PJ Lovick Architect Ltd., dated May 25, 2011.

This Review represents the key issues that the Engineering Department is aware of at this time. The issues listed may not be fully comprehensive and exhaustive and the applicant is required, as part of the planning and design process (including Public Hearing) to identify and resolve all items relating to the proposed land development.

Property and Right-of-Way Requirements

The following road right-of-way dedication, as illustrated on the attached Site Plan, is required on existing roads fronting the site:

- 1.5 metre wide Statutory Right-of-Way on 152 Street for an ultimate 30-metre wide Arterial Road.
- 1.0 metre wide Statutory Right-of-Way on 54A Avenue for an ultimate 24-metre wide Major Collector.

The applicant should address all road dedication and rights-of-way issues prior to finalizing layout or commencing legal survey or detailed design.

Servicing Requirements

These Works are required as a condition of the subsequent Building Permit.

Transportation/Traffic Management

The following road works are required on proposed roads within the site:

- Construct a pedestrian connection from the on-site sidewalk to the southeast corner intersection.

Driveway access is not permitted to 152 Street; the lots fronting this road, including existing dwellings, must have access from 54A Avenue.

The proposed driveway access to 54A Avenue is acceptable but must be provided with a minimum 10.00 metres queuing distance, as measured from the property line.

Drainage/Environmental

The following City storm drainage facilities are located in the vicinity to the site:

- 900mm storm sewer on 152 Street.
- 1050mm storm sewer crossing 54A Avenue.

The applicant is advised that any increase in flows to the downstream creek may create erosion and flooding. Protection of the creek and approvals are required for any works in and around the creek. Rights-of-way, setbacks, and access to the storm system are to be addressed. The applicant is advised that if filling is proposed then a Gray Creek Pump Station charge is applicable. Filling costs relative to the Gray Creek Pump Station are \$4.50 per sq. metre.

The applicant must demonstrate that they have previously contributed to the pump station works, or to pay applicable landfill charges if filling of the site is proposed.

Our records indicate that a 250mm storm service connection has been provided for the site under project 7800-0163-00.

The applicant is required to confirm that the existing service connection is adequate for the proposed development. If not adequate, the applicant will be required to provide an adequately-sized service connection, complete with inspection chamber, to service the proposed development

A stormwater management plan must be completed to the satisfaction of Surrey Drainage Engineering to assess the 5 year post development flows (minor system) and 100 year post development flows (major system) within the catchment.

A red coded creek has been identified along the east property line of this site, which requires protection in accordance with DFO/MWLAP Land Development Guidelines and Best Management Practices.

A water quality/sediment control inlet chamber is to be installed as a component of the on-site drainage system before discharge at the inspection chamber. A restrictive covenant is required to be registered on the title of the land to require the owner/operator to maintain and keep functional the water quality/sediment control inlet chamber.

The applicant will be required to obtain an Erosion & Sediment Control (ESC) Permit, under By-law 2006, No. 16138, from the Engineering Department, **prior to issuance of the Building Permit**. The process requires submission and approval of an ESC Plan that minimizes sediment and sediment-laden water from entering the City drainage system, during building construction and servicing.

Water

The following City water facilities are located in the vicinity to the site:

- 300mm main on 54A Avenue
- 150mm main on 152 Street.
- 100mm private main exists on 152 Street

This existing water system on 54A Avenue has adequate capacity to meet the domestic and fire flow requirements of the proposed development.

This site is within an area where the corrosion protection and seismic design standards are to be applied. The applicant may submit a geotechnical report for further review by the City's

consultant, at the applicant's expense, to confirm if seismic design standards are necessary. The review and recommendation of the City's consultant is final.

Our records indicate that a 100mm water service connection has been provided for the site under project 7800-0163-00.

The applicant will be required to confirm that the existing service connection is adequate for the intended use. Metering features can be located at the property line or within the building, in accordance with the Engineering Water Meter Installation Standards and Specifications. Calculations are to be submitted to confirm the size of the metered domestic service connection and the size of the fire service required for the proposed development.

Through normal processing by the Planning and Development Department - Building Division, the on-site fire protection requirements will be reviewed at building permit application stage and may require additional improvements to the building to meet the B.C. Building Code.

Sanitary Sewer

The following City sanitary sewer facilities are located in the vicinity to the site:

- 75mm low pressure force main on 54A Avenue.
- 50mm low pressure force main on 152 Street.

An adequately-sized service connection, complete with inspection chamber, must be provided to the proposed development. Connection to a low-pressure sanitary sewer requires the registration of a restrictive covenant for the maintenance of the on-site pump by the property owner.

Commercial Utilities

The development must be serviced with hydro, gas, telecommunication, and cablevision in accordance with utility company requirements and City standards.

Project Management

A Servicing Agreement is not required for the proposed Development Permit. The driveway crossing, sanitary and storm connections can be constructed subject to issuance of a City Road and Right-of-Way Permit obtainable as part of the Building Permit review and processing by Engineering which includes payment of securities and permit fees. City crews will do the installation of the water service once payment has been made and a work order has been issued.

The following legal documents are known at this time to be required for this project:

- 1.5 metre wide Statutory Right-of-Way on 152 Street.
- 1.0 metre wide Statutory Right-of-Way on 54A Avenue.

All Engineering legal documents required for this project must be executed prior to issuance of the Development Permit.

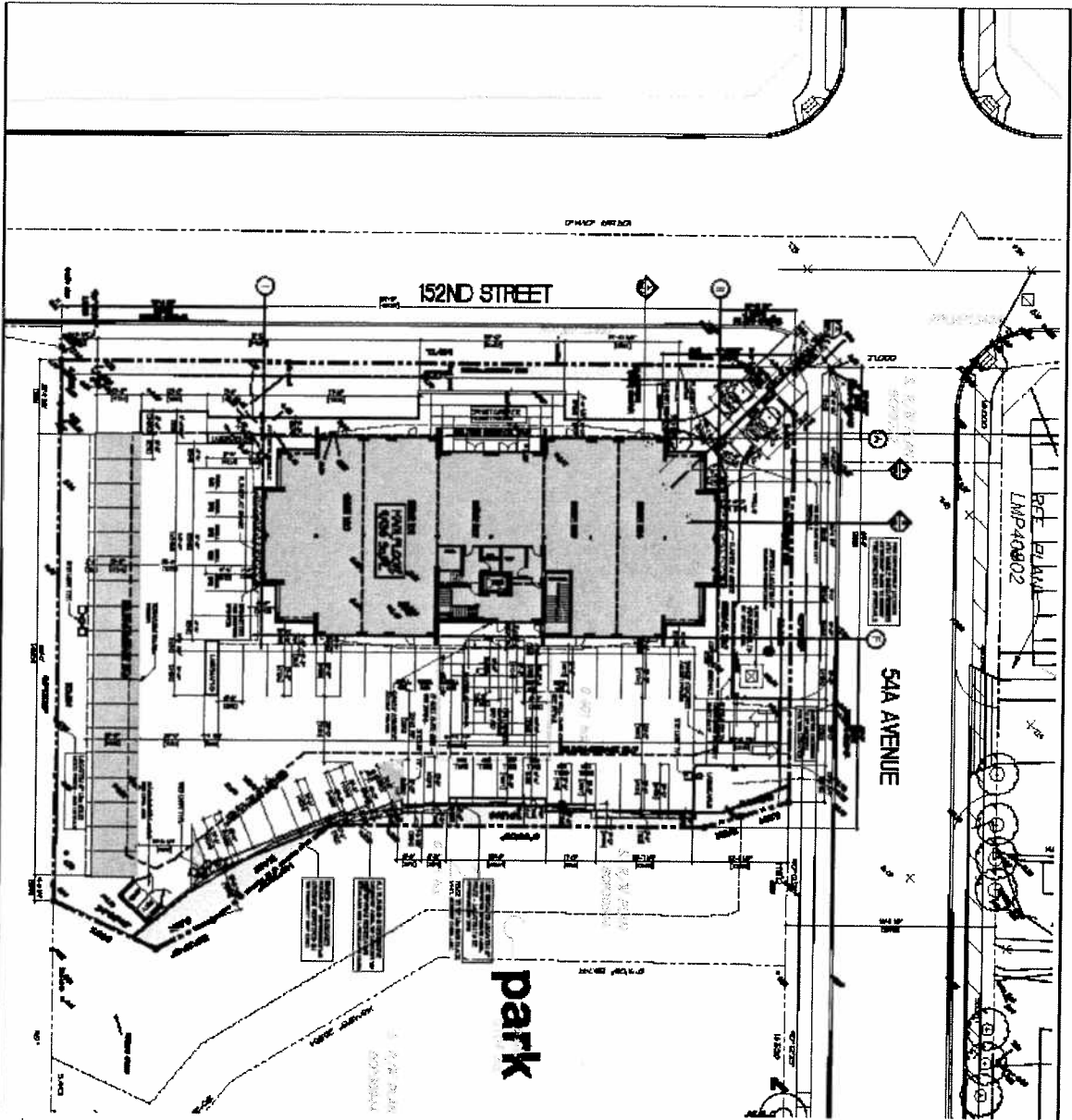
Financial

A Servicing Agreement for this application is not required; however, a processing fee of \$1,220.80 (HST included) is required to administer the storm water review, water flow analysis and/or legal document requirements.

The following charges and levies must be paid as a condition of the building permit:

- pay land filling charges related to the Gray Creek Pump station, if required

An application fee of \$420 (HST exempt) is required for administration of the ESC Permit process.



SITE INFORMATION	
LOT NO.	463454 SQ. FT. (NORTH SIDE)
STREET FRONTAGE	150'
STREET FRONT	108' 6"
STREET SIDE	108' 6"
STREET BACK	108' 6"
TOTAL	208' 6"
AREA	20,800 SQ. FT.
PERMITTED	20,800 SQ. FT.
AREA	20,800 SQ. FT.
PERMITTED	20,800 SQ. FT.
AREA	20,800 SQ. FT.
PERMITTED	20,800 SQ. FT.
AREA	20,800 SQ. FT.
PERMITTED	20,800 SQ. FT.
AREA	20,800 SQ. FT.
PERMITTED	20,800 SQ. FT.
AREA	20,800 SQ. FT.

PILOTWORK ARCHITECTS LTD.
314 AVENUE
WESTERN CENTRAL
152ND STREET

OFFICE BUILDING
 152ND STREET
 152ND STREET

SITE PLAN
 AS 2

PROJECT NAME & NUMBER



Agricultural Advisory Committee Minutes

Present:

M. Bose - Chair
D. Arnold
P. Harrison
B. Sandhu
Councillor Hunt

Regrets:

B. Aulakh
M. Hilmer
K. Thiara
S. VanKeulen
T. Pellett, Agricultural Land Commission
B. Stewart, Environmental Advisory
Committee Representative

Staff Present:

R. Dubé, Engineering
C. Baron, Engineering
C. Stewart, Planning & Development
M. Kischnick, Planning & Development
L. Anderson, Legislative Services

Agency Representative:

K. Zimmerman, Ministry of Agriculture

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G. INFORMATION ITEMS

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2. **Development Adjacent to the ALR – Lands Designated “AGR – Agriculture” in OCP
5446 - 152 Street
File No.: 7910-0281-00**

Steve Gormley, Planner, was in attendance to review his memo, dated June 27, 2011, regarding the subject application. Comments were as follows:

- The proposal is for a three storey office building at the southeast corner of 152 Street and 54A Avenue, which is adjacent to ALR lands to the south.
- The use is permitted under the OCP as “Industrial” and under the current CD zoning.
- When the proposal was first considered in 2000, the AAC (July 7, 2000) did not support the project largely on the basis of interface issues with a school, Roots and Wings Montessori School, which was a significant component of the proposal on lands directly to the east of the office building. It was forwarded to Council in November 2000 and received first, second and third reading for the rezoning. The zoning and DP were given final approval in 2007.
- The DP expired in July 2009.
- The proponent submitted detailed building plans in mid-2008 and was preparing to initiate construction in early 2009 but the project was then put on hold.
- A new application to proceed on the basis of the earlier proposal was submitted in the fall of 2010.
- The current proposal is generally consistent with the original DP approved in 2007 with respect to building footprint, parking area and the width of the ALR

buffer. While it does not satisfy the maximum setback and buffer width guidelines (including a 15m landscape buffer and a 30m building setback from the property line), the OCP does allow for a reduction in the landscape buffer to 3m (10 feet) and building setback requirements to 7.5m (25 feet) where there is no further subdivision potential.

- For this current proposal the building is setback 21m (70 feet), and there is a 3m buffer adjacent to the ALR which is consistent with minimum ALC buffer specifications.
- There are no doors on the south side, no windows that open in the building and outdoor amenity space is facing 152 Street, approximately 38m (125 feet) from the ALR boundary.
- There is also a riparian area to the east that is being protected by a Restrictive Covenant.
- Staff is proposing to take this application forward for Council's consideration recommending approval on July 25, 2011.

A brief discussion regarding the types of plants used for buffers ensued. It was noted that the AAC had recommended that Council remove all *Vaccinium* species from the allowable plants listed on the planting scheme near agricultural land, which was adopted by Council at their October 18, 2010, meeting (Res.R10-1867). As such, the Committee requested that the *Vaccinium ovatum* (Evergreen Huckleberry) be removed from the buffer planting. It was suggested that Rhododendrons or Azaleas would be suitable evergreen plants, and/or something from the Rose family would be suitable to prohibit trespassing.

It was further noted that a six foot black chain-link fence would be a much better solution than a wooden fence as a wooden fence becomes a maintenance issue for those that own the building.

It was Moved by D. Arnold
Seconded by P. Harrison
That the Agricultural Advisory Committee
 recommend to the G.M. Planning and Development approval of Application
 No. 7910-0281-00 with the removal of the *Vaccinium ovatum* species from the
 landscape buffer and the installation of a six foot black chain link fence.
Carried

H. OTHER BUSINESS

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Advisory Design Panel Minutes

Parks Boardroom #1
City Hall
14245 - 56 Avenue
Surrey, B.C.
THURSDAY, APRIL 7, 2011
Time: 4:10 p.m.

Chair:
John Makepeace

Guests:
Joe Dhaliwal
Hans Rawlins

Staff Present:
T. Ainscough, Planning & Development
H. Bello, Planning & Development
M. B. Rondeau, Planning & Development
H. Dmytriw, Legislative Services
Misty Jorgenson

Panel Members:
Ron Meyers
Robert Ciccozzi
Cpl M. Searle
T. Wolf
S. Lyon

EXCERPT FROM MINUTES

B. SUBMISSIONS

ADVISORY DESIGN PANEL STATEMENT OF REVIEW
5446 - 152 Street
File No. 7910-0281-00

It was Moved by S. Lyon
Seconded by T. Wolf
That the Advisory Design Panel (ADP)
recommends that the applicant address the following recommendations and revise
and resubmit to the Planning staff.

Carried

STATEMENT OF REVIEW COMMENTS

Context and Site Planning

- Consider access to lobby from front of building for pedestrian access.

The entrance lobby has been reconfigured slightly to allow for stronger connection to the front tenant spaces with glazing and visual cues to allow the units to have front and back entry spaces. Pedestrian access, if required, is provided by surrounding sidewalks leading to this space.

- Provide strong pedestrian connections to the path to bring the public in from the corner and to suite 103/102.

The strong corner connection continues through the front building pathway along the entire building frontage and around to the parking lot.

- Amenity area - don't see much success with outdoor amenity area in front of a suite. Opening up the lobby would help that unit.

The exit stair that provided access/egress from the upper stories has been relocated to the street side of the building to allow for direct access for all tenants to the amenity space along 152nd.

- Provide better pedestrian connection from corner and circulation round building.

A sloped sidewalk with tiered landscaping is provided as a corner feature with sweeping edges that create a smooth transition to the walkways that are continuous and surround the building.

Vehicle and Pedestrian Circulation

- Parking in stalls directly south of garbage enclosure may be difficult. Ensure there are sufficient turning radii.

The garbage enclosure has been reoriented slightly to allow for easier parking in this area.

- Monument sign shrubs should be pulled aside to allow pedestrian access.

The monument sign has been moved from the corner to allow for pedestrian access and connection. The low level shrubs around the sign can have been relocated to allow for better sign visibility.

Form and Character

- Suites behind elevator are really suffering from extensive entry lobby.

The entrance lobby has been reconfigured slightly to allow for stronger access to the front tenant spaces with glazing and visual cues.

- Amenity in front compounds the problem. Entry to the lobby and elevator could be pulled to the side to ensure some nice frontage to lobby for these suites and would connect it to front entry. Other units have front and back entry.
- Upper floor – move elevator over to side to open it up.

The location of the elevator is to provide a multi storey opening and feature for the entry lobby. The elevator has remained in its existing configuration.

- A very practical building, totally functional with windows all around, elevator, and stairs. Look at details that would give building personality. Have opening windows, canopy, add sun shades, and reveal lines to make it more fun and unique.

We have added colour to the concrete in various locations to add further character to the facade.

The canopy at the entry has been increased in size and detail. The entry plaza has an additional planter and trellis.

Wall mounted building lighting has been added around the building.

To address energy features that are a requirement of the building permit, opening windows are not a practical addition as they will negate any energy saving in the building systems. In lieu of these windows and exterior sunshades, we have proposed low 'E' glazing and internal reflective blinds (a requirement of all lease spaces to designers specification) to complement the high efficiency heating and cooling system. (See attached letter from the mechanical designer).

- Lighting – ensure attention to detail and provide strong lighting around base.

Refer to the revised building elevations showing lighting locations to enhance the building features.

- Building looks stern and rigid. Concrete walls give it a dated look and no playfulness in the facade. Hard to identify the main entrance. There is an opportunity to bring out a bay to see and identify the entrance.

A stronger identity to the main entrance from the parking lot has been provided in the form of an entry canopy. The upper portion of this facade has also been built out.

- Shading needed on south side.

Interior reflective blinds will accomplish this and are a requirement for all interior spaces.

- Consider providing stronger element at main entrance compared to individual shop entrances.

A stronger identity to the main entrance from the parking lot has been provided in the form of an entry canopy, a planter and trellis feature.

- Consider the following detail enhancements:

- Sun screening on appropriate elevations/windows.

In lieu of exterior sunshades, we have proposed low 'E' glazing and internal reflective blinds.

- Unique concrete revealing

The concrete reveals are quite numerous and we have provided accent colours at the corners in a deep green to reflect the quality of the green tinted spandrel glazing.

- Unique canopy

The canopy has been raised to the main floor fascia height to allow for signage to be mounted to the walls below.

Landscaping

- Plant material is appropriate.
- Consider moving outdoor amenity to more 'public' location away from building tenant frontage. Question the location of amenity with respect to privacy to suites 103 or 102.

We believe that the amenity area will be used in the front of the building by the tenants and tables and chairs have been added to enhance the user experience. The peak usage period for this area will be midday through early afternoon when the sun is at its peak. This is the time when the unit's will most likely have their required interior blinds partially or completely closed so privacy should not be an issue.

- Partially substitute permeable paving for asphalt.

Permeable paving has been provided along the south parking configuration for the width of the parking lot and will complement the site drainage system.

- Provide storm water management.

By providing a permeable paving system on site, we are providing a significant amount of storm water management.

- Bring landscaping into parking.

Landscaping is provided on available islands though out the parking lot.

- Lighting in parking lot is minimal.

Lighting in the parking lot is to be as per the electrical consultant design to meet all CPTED requirements and has been reviewed and approved by the electrical consultant. We have added an additional fixture across from the main entry.

- Provide tables and chair in amenity area outside of building.

Tables and chairs have been added to enhance the user experience.

- Low water usage irrigation. Don't want water flowing along property.

Irrigation is low water usage.

CPTED

- There is not a strong criminal profile in that area.
- Have after hours bollards or a gate to lock parking area up after hours.

A gate has been proposed at the entry in the original DP submission and as per fire department comments; we will provide a lock box at this location for their access.

Accessibility

- Improve access to units behind elevator core.

The entrance lobby has been reconfigured slightly to allow for stronger access to the front tenant spaces with glazing and visual cues.

Sustainability

- Sufficient room for recycling in garbage enclosure?

A recycling program will be available to the building tenants to allow for proper disposal of sensitive documents. Cardboard recycling is provided in the garbage enclosure. See the revised enclosure drawings for a slightly enlarged plan.

- Consider higher efficiency heating and cooling system than standard rooftop equipment and split system.

A high efficiency system is provided with the current mechanical design as per the attached letter from the mechanical engineer and refers directly to the drawings that are currently in for building permit review.

- Exterior shading would save air conditioning load over the years.

See comments above.

Additional comments were brought up at a meeting with planning staff and we address those issues as follows:

1 – The monument sign will have lighting for the letters only. The surround for all signage will be opaque. Signage on the building will have individual lit letters on a raceway as well.

2 – The stamped asphalt and stamped concrete has been replaced with scored concrete at the request of city staff.

3 – All building lighting is now shown on the elevations.

4 – Landscaping restrictive covenant along the south property line is in the process of being registered.

5 – We are still waiting for engineering and transportation to confirm the size of the required statutory right of way along 152nd and 54A Ave.

(the "City")

DEVELOPMENT PERMIT

NO.: 7910-0281-00

Issued To: PANORAMA BUSINESS CENTRE LTD., INC. NO. BC0804464
("the Owner")

Address of Owner: 13188 - 13 Avenue
Surrey, BC
V4A 1B8

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 027-239-586
Lot 1 District Lot 167 Group 2 New Westminster District Plan BCP32709

5446 - 152 Street

(the "Land")

3. This development permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development permit.
4. The Land has been designated as a Development Permit Area in Surrey Official Community Plan, 1996, No. 12900, as amended.
5. The character of the development including landscaping and the siting, form, exterior design and finish of buildings and structures shall be in accordance with the drawings numbered 7910-0281-00(A) through to and including 7910-0281-00(Q) (the "Drawings") which are attached hereto and form part of this development permit.
6. Minor changes to the Drawings that do not affect the general form and character of the landscaping and the siting, form, exterior design and finish of buildings and structures on the Land, may be permitted subject to the approval of the City.

7. (a) The landscaping shall conform to drawings numbered 7910-0281-00(M) through to and including 7910-0281-00(Q) (the "Landscaping").
- (b) The Landscaping shall be completed within six (6) months after the date of the final inspection of the buildings and structures referred to in the Drawings.
- (c) Prior to the issuance of the building permit for this development, security is to be submitted to ensure satisfactory completion of the Landscaping. The security for the Landscaping is to be submitted as follows:

Cash in the amount of \$141,809.60 OR

An Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$141,809.60

(the "Security")

- (d) The Security is for:
 - i. General Landscaping \$125,957.83
 - ii. Riparian zone landscaping \$15,851.77
- (e)
 - i. When the Landscaping is substantially complete as determined by the City, without the City having to use the Security, 90% of the original Security will be returned. When the Landscaping receives final approval by the City, not earlier than twelve (12) months after the date of substantial completion of the Landscaping, 10% of the original Security will be returned.
 - ii. If final approval of the Landscaping is not given by the City, the City has the option of using the Security to complete the Landscaping and any remaining money shall be returned. The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Landscaping.
 - iii. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.

8. This development permit replaces Development Permit No. 7900-0163-00.

9. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.

10. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued, within two (2) years after the date this development permit is issued.

- 11. The terms of this development permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

- 12. This development permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Authorized Agent: (Signature)

Name: (Please Print)

OR

Owner: (Signature)

Name: (Please Print)

SCHEDULE A

7910-0281-00 (A)



OFFICE BUILDING 5446 152ND, SURREY, B.C.

ARCHITECTURAL
P.J. LOVICK ARCHITECT LTD.
2nd Floor - 3707 1st Avenue
Burnaby, B.C.
604 298 3700

LANDSCAPE
DMG LANDSCAPE ARCHITECTS
C100 4185 Still Creek Drive
Burnaby, B.C.
604 437 3942

A0 TITLE SHEET
A1 CONTEXT PLAN
AS1 SITE SURROUNDINGS & PHOTOS
AS1.1 SITE PLAN
AS1.2 SITE PLAN
AS1.3 SITE SCHEMATIC PLAN
AS1.4 GRADING PLAN
AS2 SITE DETAILS
AS3 SITE SIGNAGE DETAILS
A1 MAIN FLOOR PLAN
A2 SECOND FLOOR PLAN
A3 THIRD FLOOR PLAN
-- RENDERING
A5 BUILDING ELEVATIONS
A6 BUILDING ELEVATIONS
A7 BUILDING SECTIONS
-- COLOUR SAMPLE BOARD

L1 LANDSCAPE PLAN
L2 LANDSCAPE SHRUB PLAN
L3 LANDSCAPE SHRUB PLAN
L4 LANDSCAPE DIMENSIONS
L5 LANDSCAPE SPECIFICATIONS
-- RIPARIAN LANDSCAPE PLAN

NO.	DESCRIPTION	AMOUNT	UNIT	DATE
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P.ILOVICK ARCHITECT LTD
 3707 1st AVENUE
 BURNABY, BRITISH COLUMBIA
 V5C 3Y6 E-MAIL: p.lovick@p.lovick.com
 tel: 604-298-3700 fax: 604-298-6081

Member of the ABC
 Certified Professional
 Member of the NFAA
 International

PROJECT NO.	7910-0281-00(B)
DATE	08-05
SCALE	1" = 16'-0"
PROJECT NAME	OFFICE BUILDING
CLIENT	544 544 AVENUE, SURREY, B.C.
DATE	08-05
SCALE	1" = 16'-0"
PROJECT NAME	OFFICE BUILDING
CLIENT	544 544 AVENUE, SURREY, B.C.

SITE STATISTICS
 CIVIC ADDRESS: 5446 152nd STREET
 LEGAL ADDRESS: PORTICIA LOT 1, L1, L1, L2, L3, GROUP 2
 SITE AREA: 49,929 sq.ft. (4,007.3 sq.m.)
 ZONING: HB

BUILDING AREA
 MAIN FLOOR: 9,196 sq.ft.
 2ND FLOOR: 4,926 sq.ft.
 3RD FLOOR: 4,926 sq.ft.
 TOTAL: 29,048 sq.ft. 2,750.2 sq.m.

BUILDING CLASSIFICATION: 3.2.2.54

LOT COVERAGE
 ALLOWED: 45%
 PROPOSED: 49,929 x 100 = 25%

F.A.R.
 ALLOWED: 0.15
 PROPOSED: 29,048 / 49,929 = .61

BUILDING HEIGHT
 ALLOWED: 12.0m (39.37')
 PROPOSED: 12.6m (41.47') VARIANCE REQUIRED

SETBACKS

	ALLOWED	PROPOSED
FRONT (WEST)	1.5m (25.0')	1.4m (26.04')
REAR (EAST)	1.5m (25.0')	1.4m (26.50')
SIDE (NORTH)	1.5m (25.0')	1.4m (25.98')
SIDE (SOUTH)	1.5m (25.0')	2.15m (70.60')

* ONE SIDE YARD SETBACK MAY BE REDUCED TO 3.6m (12.0')

PARKING
 SIZES: 2.6m x 5.5m (8.5x 18'-0")
 AISLES: 7.0m (23'-0")

OFFICE USE (ON GROUND FLOOR): 9 STALLS/100 sq.m.
 9271 / 100 x 3 = 28 STALLS

OFFICE USE IN COMMERCIAL AREA: 2 STALLS/100 sq.m.
 18206 / 100 x 2 = 37 STALLS

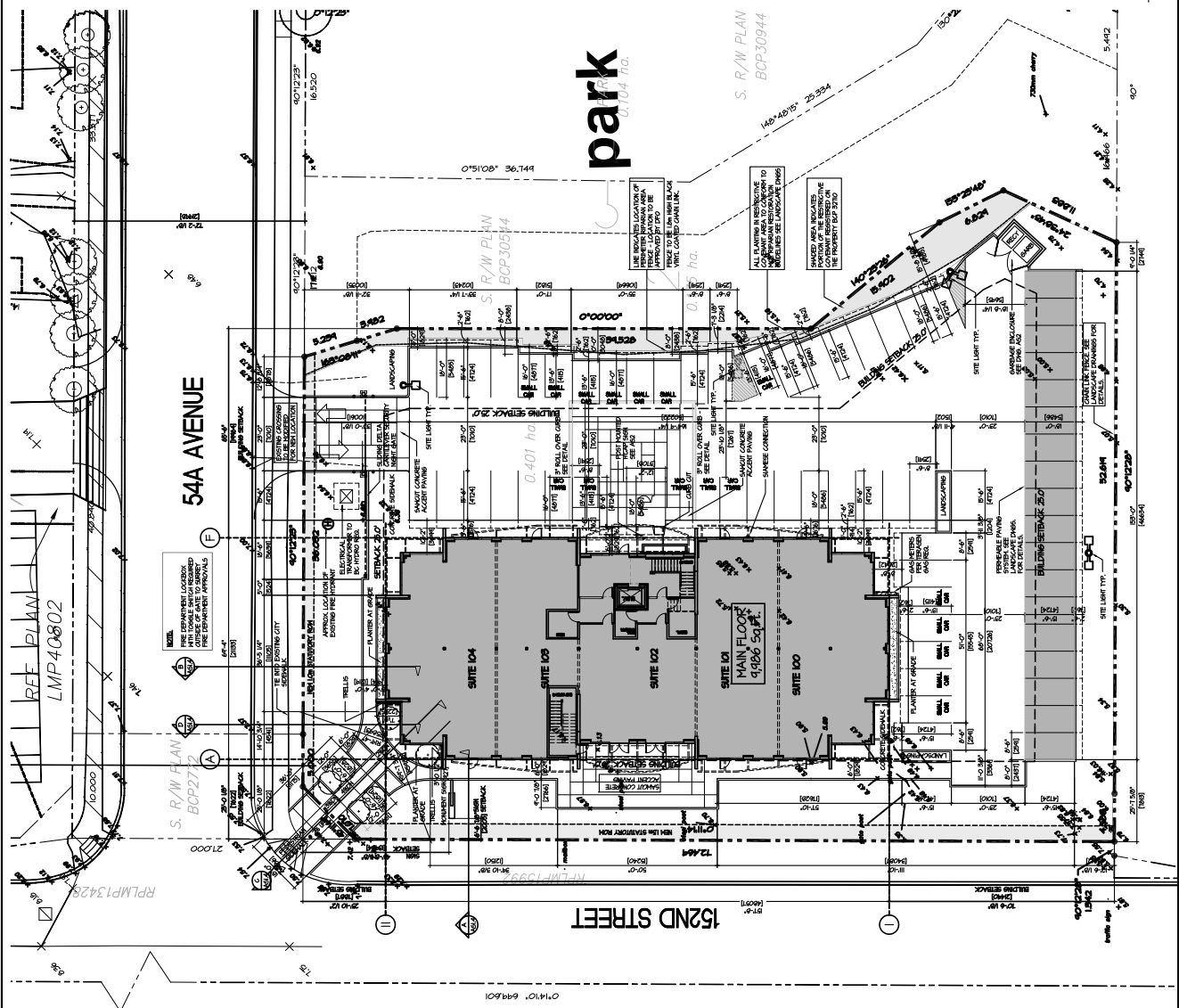
TOTAL REQUIRED: = 65 STALLS

SMALL CARS ALLOWED (250): = 11 STALLS

SMALL BREAKDOWN
 SMALL CARS = 11 STALLS
 HCAP STALLS = 1 STALLS
 REGULAR STALLS = 47 STALLS
 TOTAL PROVIDED = 65 STALLS

LOADING:
 SIZES: 4.0m x 9.2m (13.0x 30.0')
 REQUIRED: 1
 PROVIDED: 1

ALL OFFICE USE IN COMMERCIAL AREA: 2 STALLS/100 sq.m.
 3036 / 100 x 2 = 61 STALLS



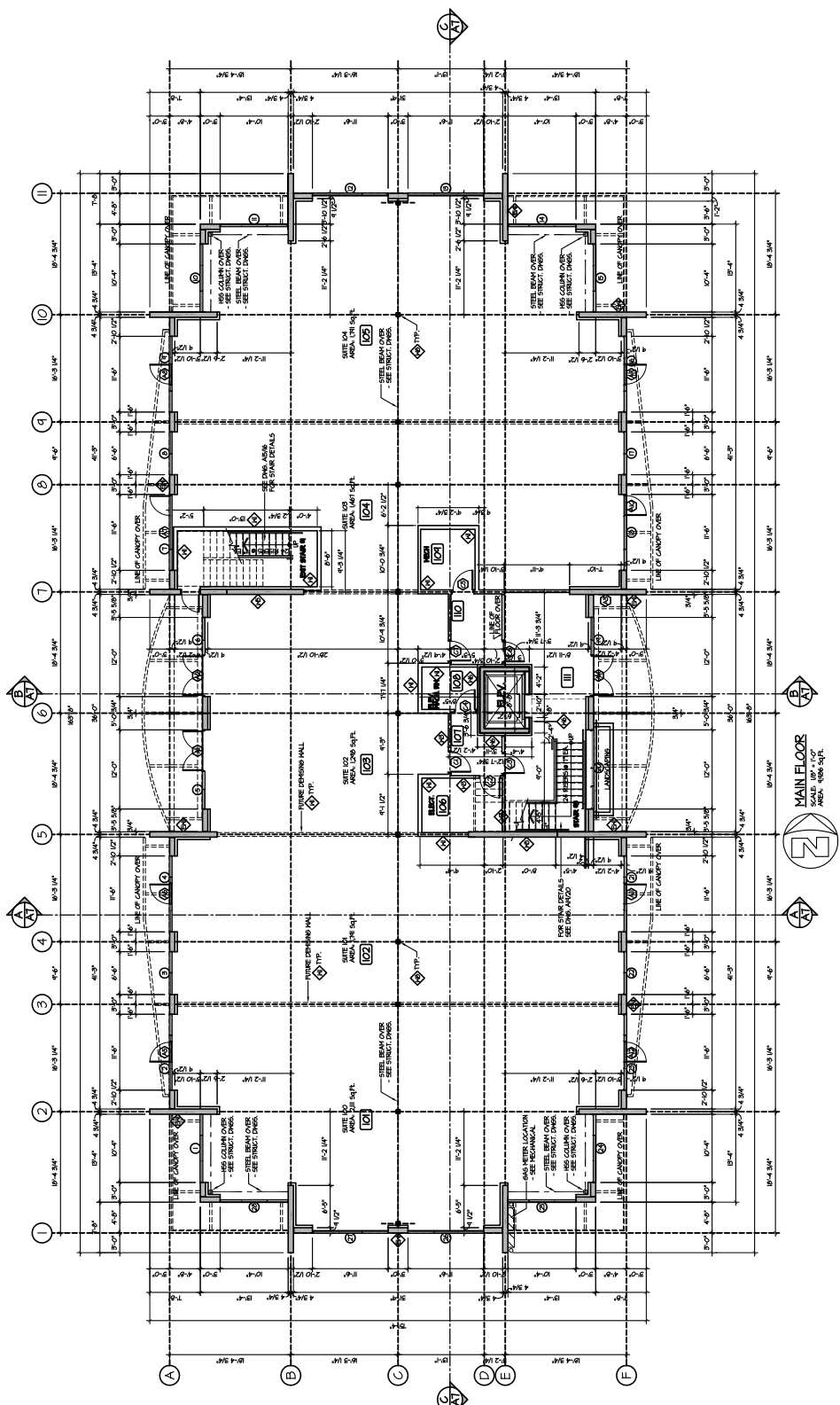
SITE PLAN
 SCALE: 1/8" = 1'-0"

7910-0281-00(C)

DATE: JUNE 09
 REVISION:
 DRAWING: MAIN FLOOR PLAN
 PROJECT: OFFICE BUILDING
 DRAWING NUMBER: 06-05
 SHEET: 10A - 11-C
 SCALE: 1/4" = 1'-0"
 AREA: 4986 S.F.T.
 5446 157ND STREET
 SHERREY, B.C.
 DRAWING APPROVE:
 PROJECT APPROVE:

P J LOVICK
 ARCHITECT
 L T D.
 3707
 1st
 AVENUE
 VANCOUVER
 BRITISH COLUMBIA
 V6J 1M7, TEL: 604-278-8888
 (604) 286-8700 FAX: 604-288-8881

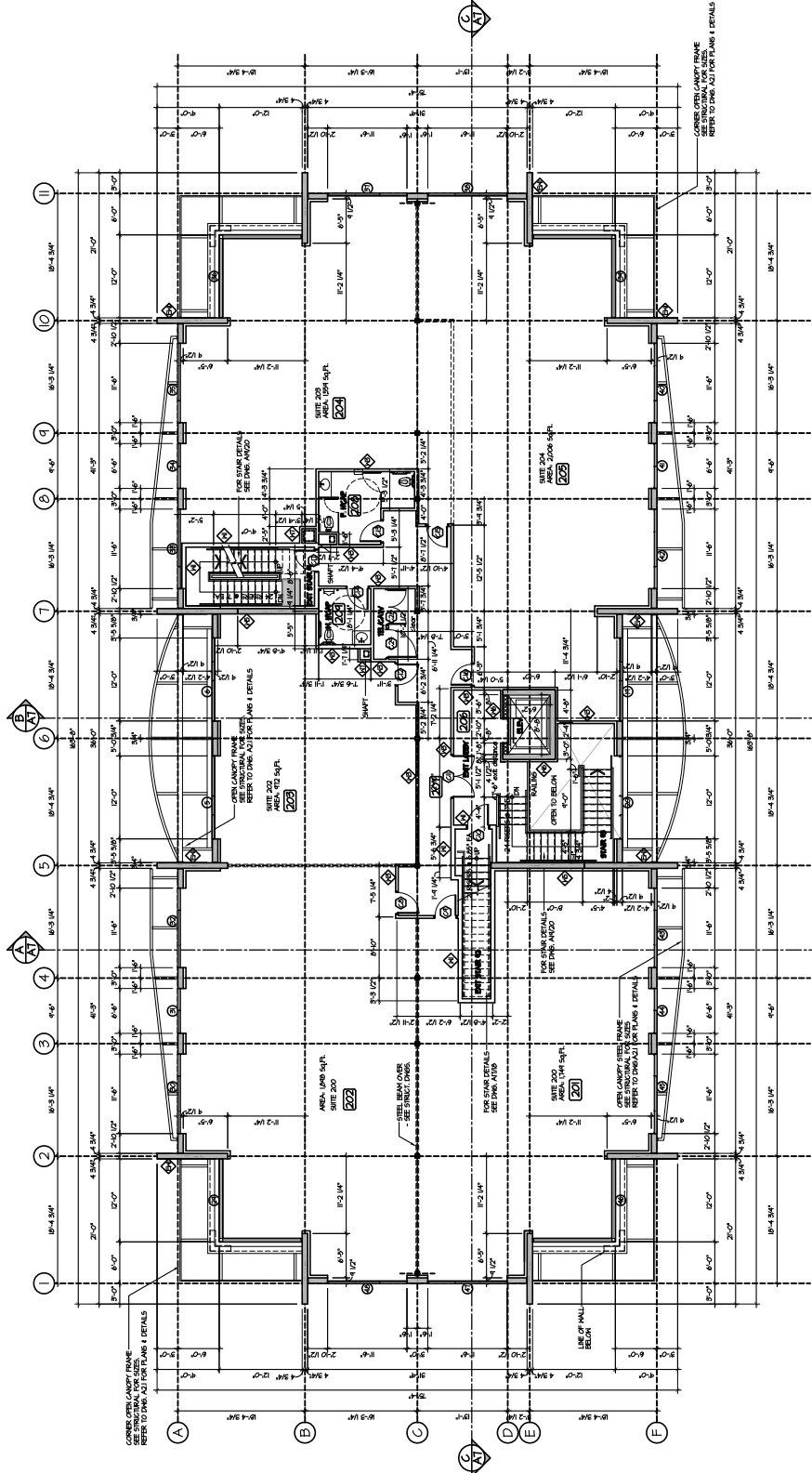
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DATE: JUNE 09
 REVISION:
 DRAWING: A2
 PROJECT NUMBER: 08-05
 DRAWING: SECOND FLOOR PLAN
 PROJECT: OFFICE BUILDING
 5446 157ND STREET
 SURREY, B.C.
 DRAWN: APPROVE:

NO.	DESCRIPTION	DATE
01	ISSUED FOR PERMITS	07/27/05
02	ISSUED FOR PERMITS	11/29/05
03	ISSUED FOR PERMITS	11/29/05
04	ISSUED FOR PERMITS	11/29/05
05	ISSUED FOR PERMITS	11/29/05
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18	ISSUED FOR PERMITS	11/29/05
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20	ISSUED FOR PERMITS	11/29/05

P J LOVICK
 ARCHITECT
 L T D.
 3707 1st FURNISH AVENUE
 VANCOUVER, B.C. V6N 1A7
 (604) 286-3700 FAX: 604-286-6081



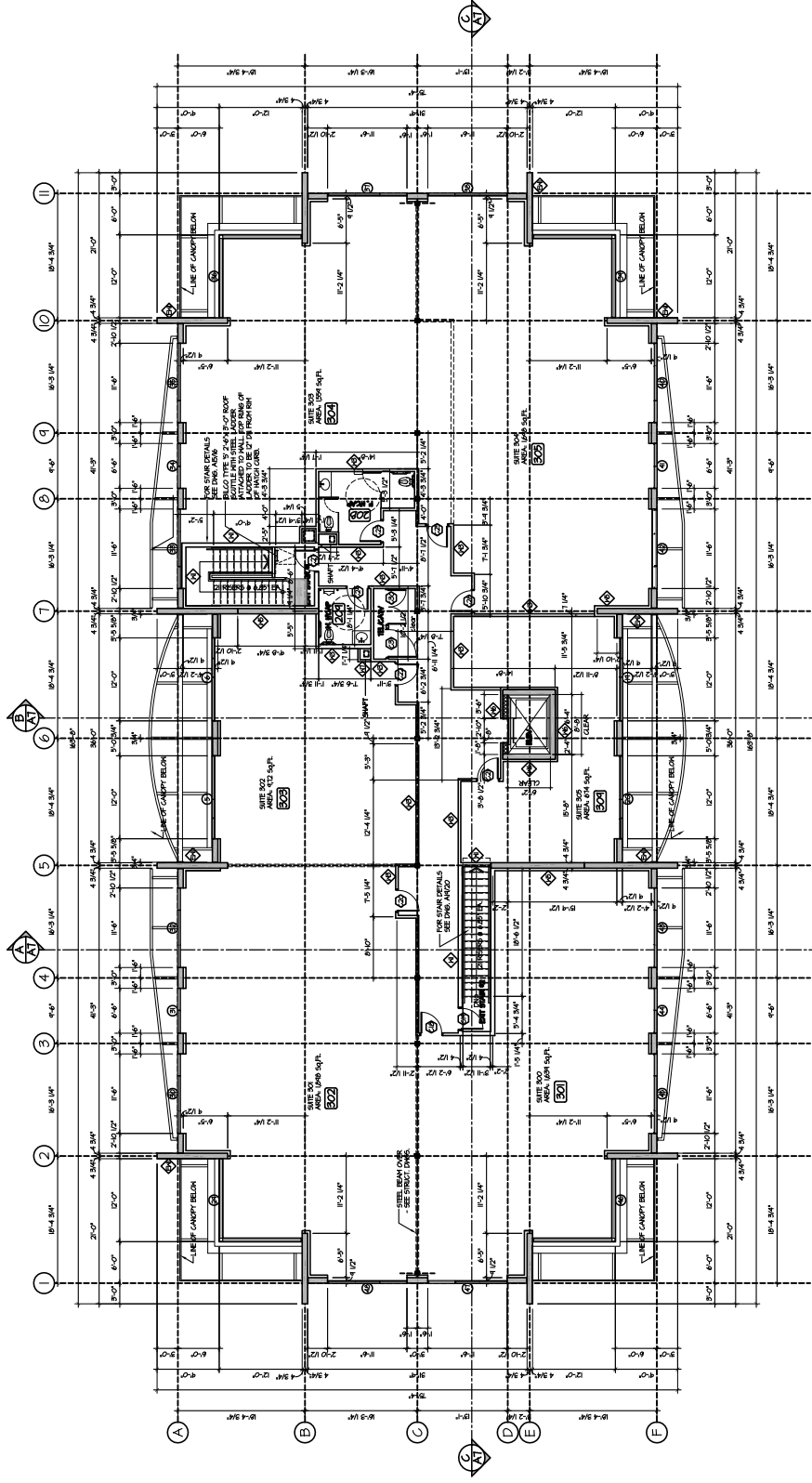
2 SECOND FLOOR
 AREA: 6992.58 SF

7910-0281-00(E)

PROJECT: OFFICE BUILDING
 5446 152ND STREET
 SHREVEPORT, LA 70506
 DRAWING: THIRD FLOOR PLAN
 PROJECT NUMBER: 08-05
 SCALE: 1/8" = 1'-0"
 DATE: JUNE 09

NO.	DESCRIPTION	DATE
01	ISSUED FOR PERMITS	07/27/05
02	ISSUED FOR PERMITS	11/29/05
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P J LOVICK ARCHITECT L P C
 3707 BENTON AVENUE
 SUITE 200
 SHREVEPORT, LA 70506
 (504) 886-5700
 FAX: (504) 886-6681



2 THIRD FLOOR
 SCALE: 1/8" = 1'-0"
 AREA: 6982 SFT.

ISSUE	DESCRIPTION	DATE
01	ISSUED FOR DP	15/07/11
02	ISSUED FOR BP	04/07/11
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10	ISSUED FOR DP	17/02/11

CONSULTANT
P J LOVICK
ARCHITECT
 L T D.

3707 1st AVENUE
 WESTMOUNTAIN COLLEGE
 1000 BURNBY, 5-JULY, 11-11-11
 (004) 286-5700 FAX: 286-6081

SCALE

7910-0281-00(F)

PROJECT: OFFICE BUILDING

5446 162ND STREET
 SURREY, B.C.

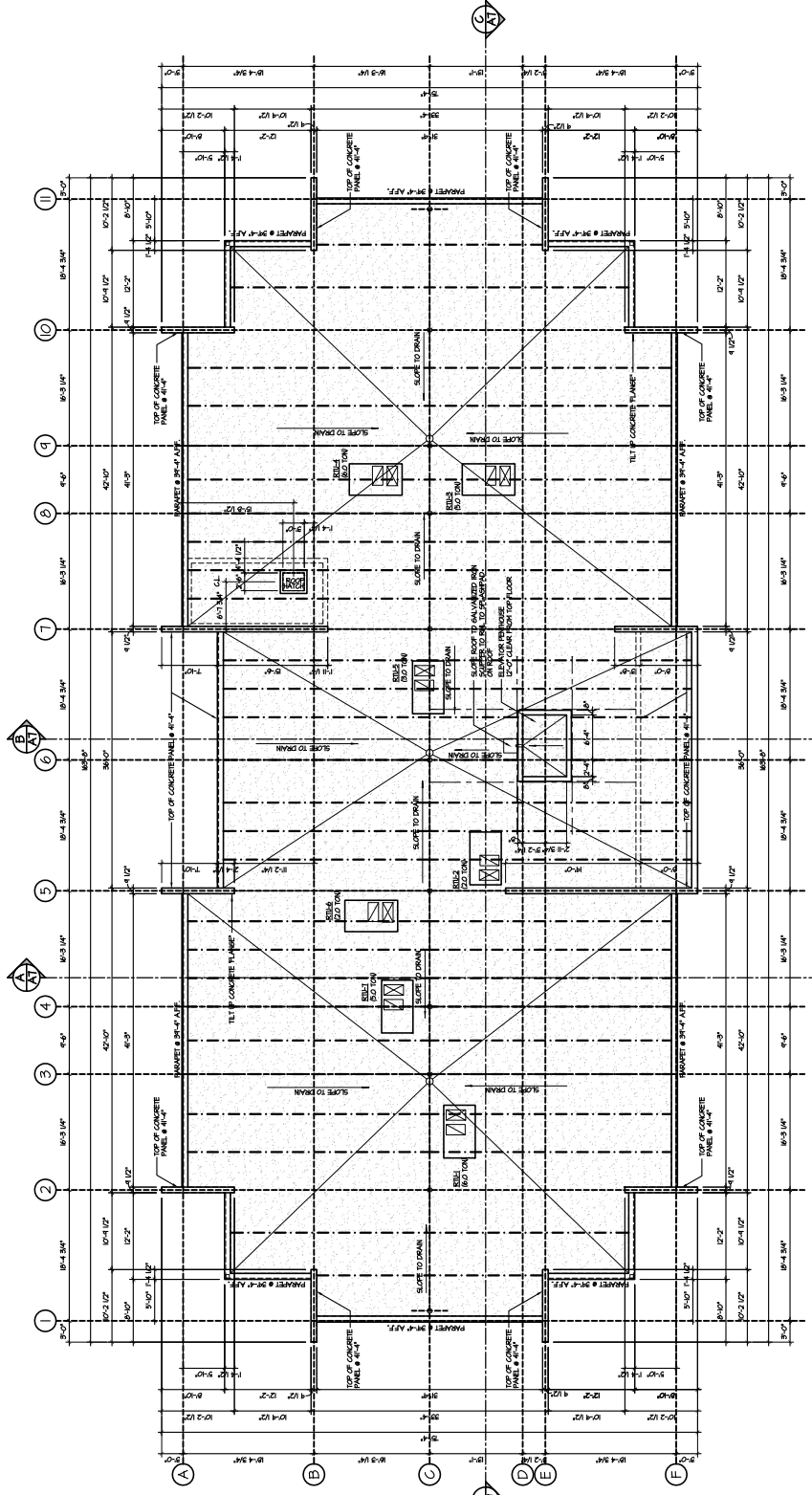
DRAWING: ROOF PLAN

PROJECT NUMBER: 08-05

DRAWING: A4

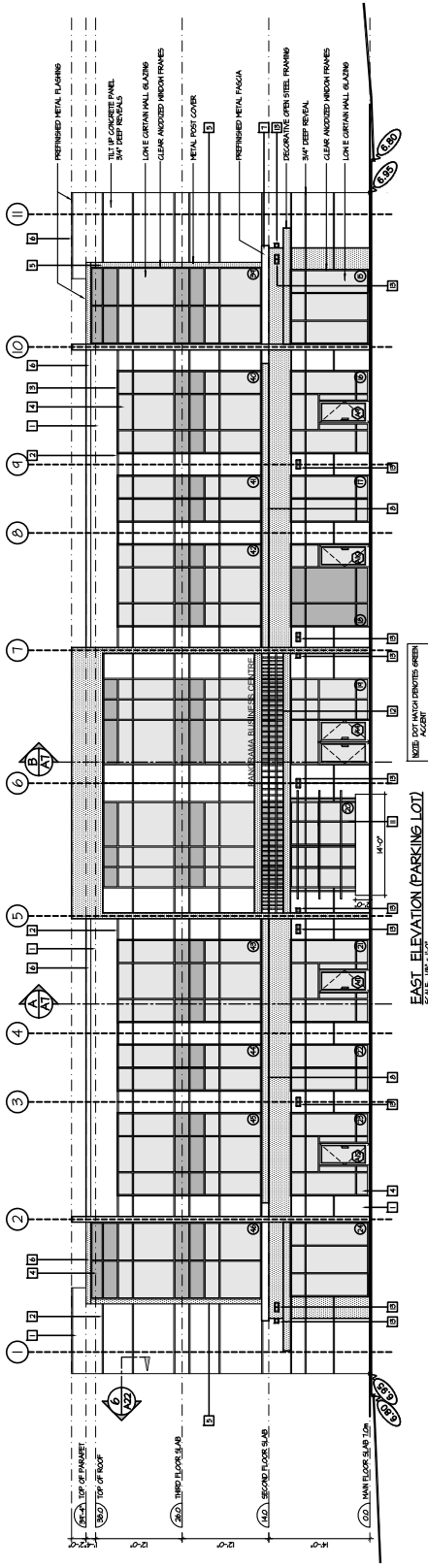
SCALE: 1/8" = 1'-0"

DATE: JUNE 09



ROOF PLAN
 SCALE: 1/8" = 1'-0"

- NOTES**
1. PROVIDE POSITIVE SLOPE TO ALL ROOF FRAMS TO ALLOW DRAINAGE (NO POCKETS ALLOWED)
 2. PROVIDE POSITIVE SLOPE TO ALL ROOF FRAMS TO GRADE
 3. PROVIDE POSITIVE SLOPE TO ALL ROOF FRAMS TO GRADE
 4. ALL MECHANICAL EQUIPMENT SHALL BE DESIGNED AND INSTALLED TO WITHSTAND THE SEISMIC PERFORMANCE AND CORROSION RESISTANCE REQUIREMENTS
 5. ROOF FINISH - BELLO TYPE 5-05 2'-0" x 2'-0" ALUMINUM



EAST ELEVATION (PARKING LOT)
SCALE: 1/8" = 1'-0"

NO.	MATERIAL	COLOR & SPECIFICATION	COLOR & SPECIFICATION
1	TILT UP CONCRETE PANEL	NATURAL CONCRETE ELASTOMERIC COATING	RESIST GRAY OR GOLD BY VICKREY
2	2" x 8" 5/8" CONCRETE REINFORCING	CLEAR ANODIZED	FRAMED - BRASS OR 6063 BY VICKREY
3	IRONON FRAMES	CLEAR ANODIZED	FRAMED - BRASS OR 6063 BY VICKREY
4	GLAZING	3/16" CLEAR ANODIZED	FRAMED - BRASS OR 6063 BY VICKREY
5	METAL POST COVER	2996 CLEAR ANODIZED	FRAMED - BRASS OR 6063 BY VICKREY
6	CAP FLASHING	2996 CLEAR ANODIZED	FRAMED - BRASS OR 6063 BY VICKREY
7	REFINISHED METAL FASCIA	2996 CLEAR ANODIZED	FRAMED - BRASS OR 6063 BY VICKREY
8	OPEN STEEL FRAMING	GALVANIZED FINISH	FRAMED - BRASS OR 6063 BY VICKREY
9	SKIRTING	BY TRIMAT	FRAMED - BRASS OR 6063 BY VICKREY

NOTE: ALL COLORS AND MATERIALS TO MATCH EXISTING DEVELOPMENT.

DATE	DESCRIPTION	DATE
15/07/11	RE-ISSUED FOR DP	15/07/11
08/07/11	ISSUED FOR BP	08/07/11
29/06/11	RE-ISSUED FOR DP	29/06/11
25/06/11	RE-ISSUED FOR DP	25/06/11
17/05/11	ISSUED FOR ADP	17/05/11
17/05/11	ISSUED FOR DP	17/05/11
12/04/08	ISSUED FOR SCHEME DP	12/04/08
11/03/08	ISSUED FOR BP	11/03/08
07/02/08	ISSUED FOR BP	07/02/08
07/02/08	ISSUED FOR BP	07/02/08

CONSULTANT
P J LOVICK
ARCHITECT
L T D.

3707 1st FLOOR
MONTAGNA AVENUE
MONTAGNA AVENUE
MONTAGNA AVENUE
(04) 298-3700

7910-0281-00(G)

PROJECT: OFFICE BUILDING

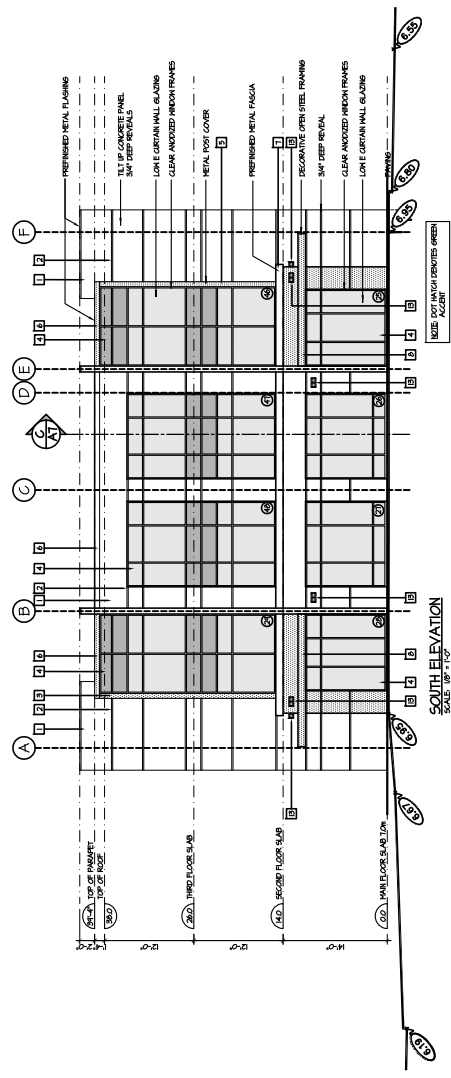
5446 BEND STREET
SURREY, B.C.

DRAWING: ELEVATIONS

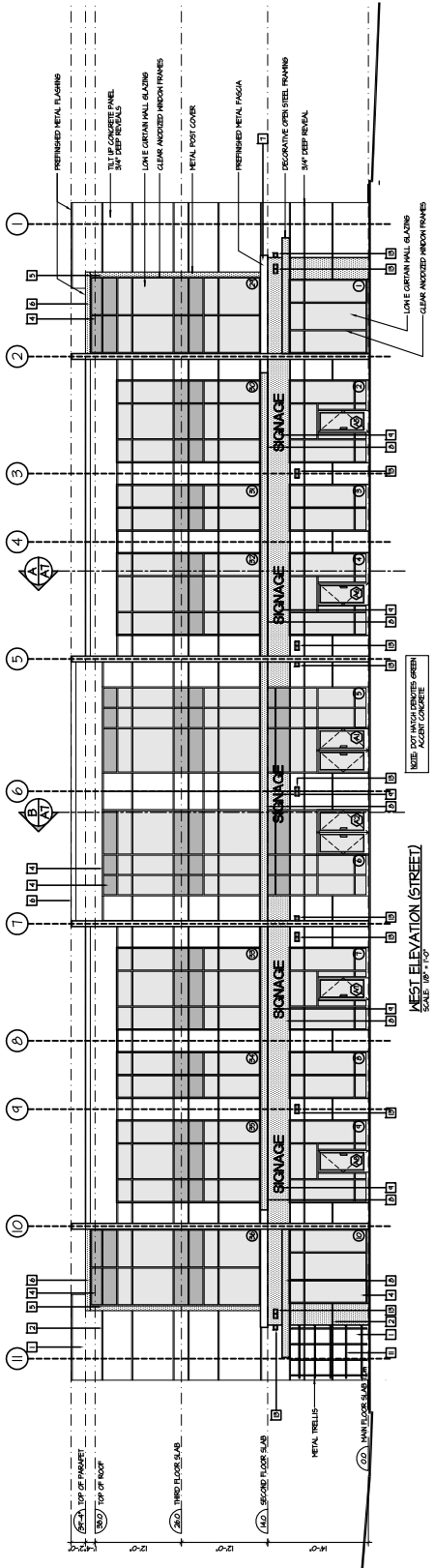
PROJECT NUMBER: 08-05
DRAWING: A5

SCALE: 1/8" = 1'-0"

DATE: JUNE 09



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NO	MATERIAL	COLOR & SPECIFICATION	COLOR & SPECIFICATION
1	TEL UP CONCRETE PANEL	MATERIAL CONCRETE-ELASTOMERIC COATING	RESIST GREY OR 6002 BY VICKREY
2	2" x 8" SIP CONCRETE PANEL	CLEAR ANODIZED	FRONTED - 1/4" CLEAR ANODIZED GREEN
3	WINDOW FRAMES	GLAZING METAL TRUSS	FRONTED - 1/4" CLEAR ANODIZED GREEN
4	GLAZING	REFINISHED METAL TRUSS	FRONTED - 1/4" CLEAR ANODIZED GREEN
5	METAL POST COVER	2X6 CLEAR ANODIZED	FRONTED - 1/4" CLEAR ANODIZED GREEN
6	CAP FLASING	2X6 CLEAR ANODIZED	FRONTED - 1/4" CLEAR ANODIZED GREEN
7	REFINISHED METAL FASCIA	2X6 CLEAR ANODIZED	FRONTED - 1/4" CLEAR ANODIZED GREEN
8	OPEN STEEL FRAMING	GALVANIZED FINISH	FRONTED - 1/4" CLEAR ANODIZED GREEN
9	SIGNAGE	BY TRADE	FRONTED - 1/4" CLEAR ANODIZED GREEN

NOTE: ALL COLORS AND MATERIALS TO MATCH EXISTING DEVELOPMENT.

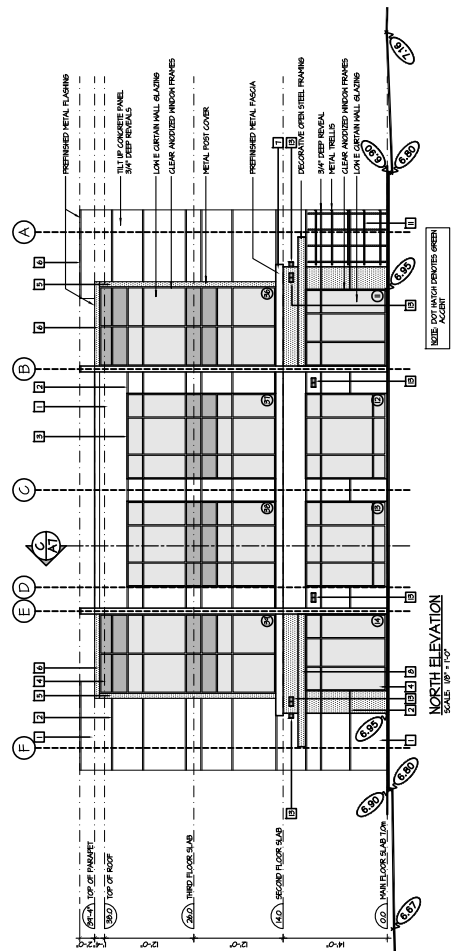
ISSUE	DESCRIPTION	DATE
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02	ISSUED FOR BP	26/07/11
03	ISSUED FOR BP	29/06/11
04	ISSUED FOR BP	25/06/11
05	ISSUED FOR BP	17/05/11
06	ISSUED FOR BP	17/05/11
07	ISSUED FOR BP	17/05/11
08	ISSUED FOR BP	17/05/11
09	ISSUED FOR BP	17/05/11
10	ISSUED FOR BP	17/05/11
11	ISSUED FOR BP	17/05/11

ALL CHANGES SHALL BE RECORDED ON THE DRAWING. REVISED DRAWINGS SHALL NOT BE ISSUED.

CONSULTANT
**P J LOVICK
ARCHITECT
L T R.**

3707 1st AVENUE
STURGEON ROY, COVINGTON, LA 70424
(504) 296-3700 FAX: 504-296-6681

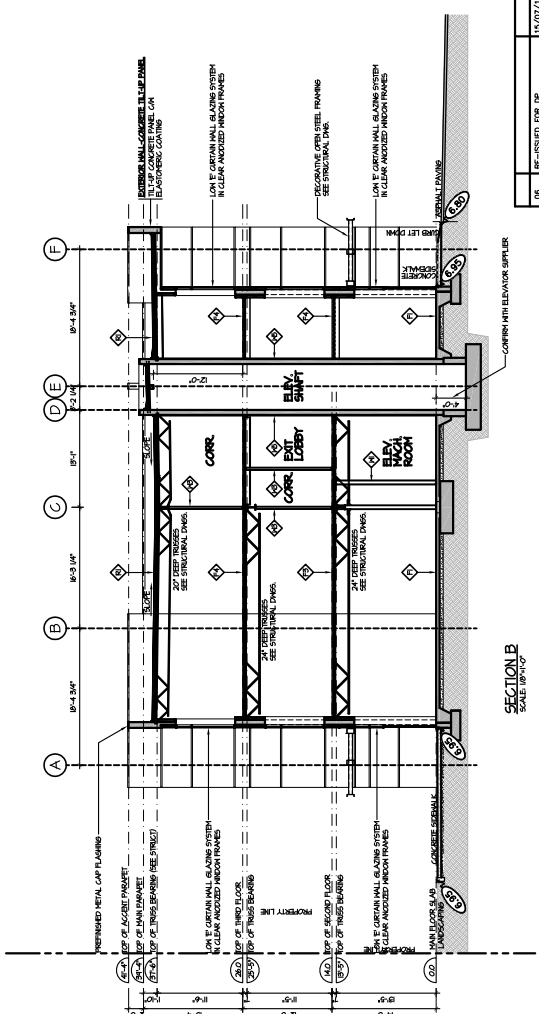
7910-0281-00(H)	
PROJECT	OFFICE BUILDING
LOCATION	5446 BEND STREET, SHREVEPORT, LA
DATE	JUNE 09
PROJECT NUMBER	06-05
SCALE	1/8" = 1'-0"
DATE	JUNE 09



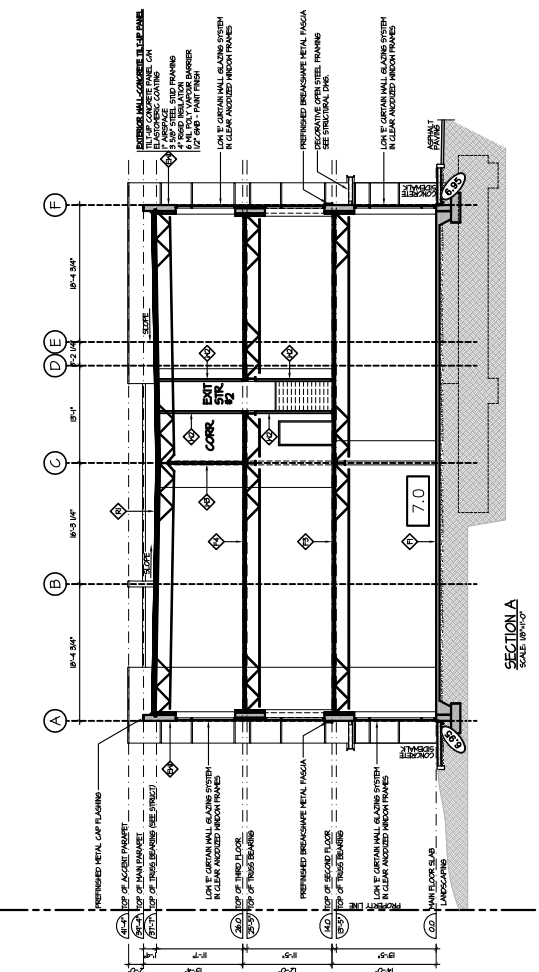
NO.	REVISION	DATE
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02	ISSUED FOR DP	29/08/11
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05	ISSUED FOR DP	17/03/11
06	ISSUED FOR DP	17/03/11
07	ISSUED FOR DP	17/03/11
08	ISSUED FOR DP	17/03/11
09	ISSUED FOR DP	17/03/11

P J LOVICK ARCHITECT L T D.
 3707 BRITISH COLUMBIA ROAD VANCOUVER, B.C. V6L 2M7
 TEL: 604-286-5700 FAX: 604-286-5881

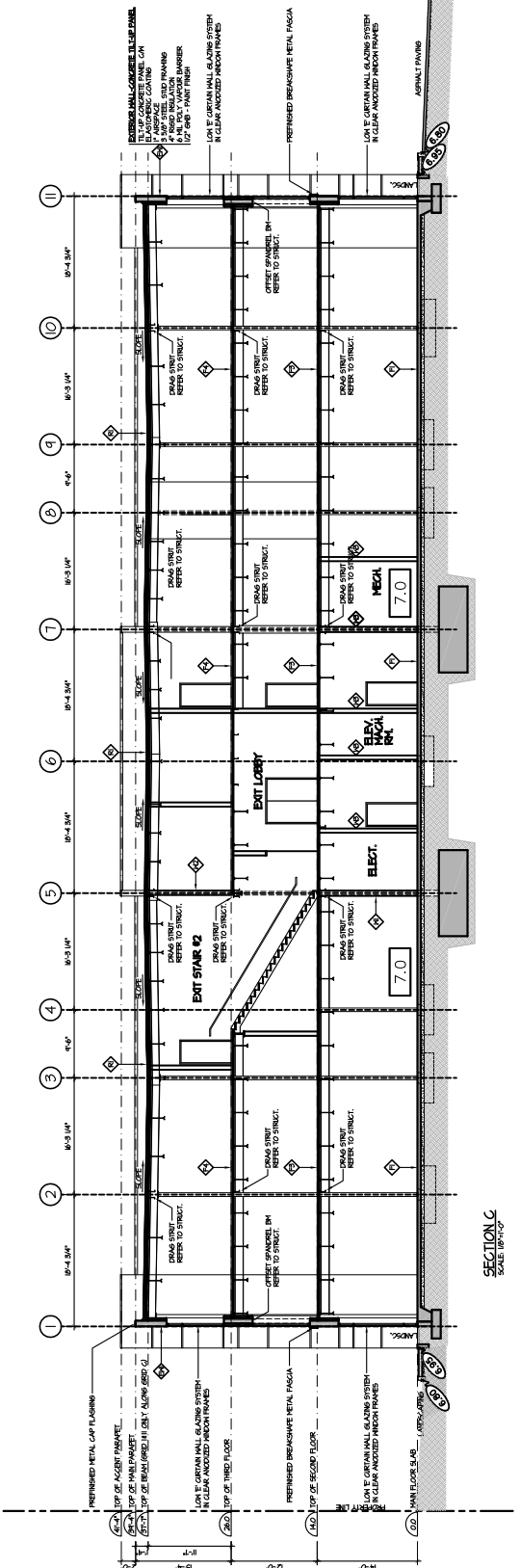
CONSULTANT ON SITE DRAWINGS SHALL NOT BE SEALED.



SECTION B
SCALE: 1/4" = 1'-0"



SECTION A
SCALE: 1/4" = 1'-0"



SECTION C
SCALE: 1/4" = 1'-0"

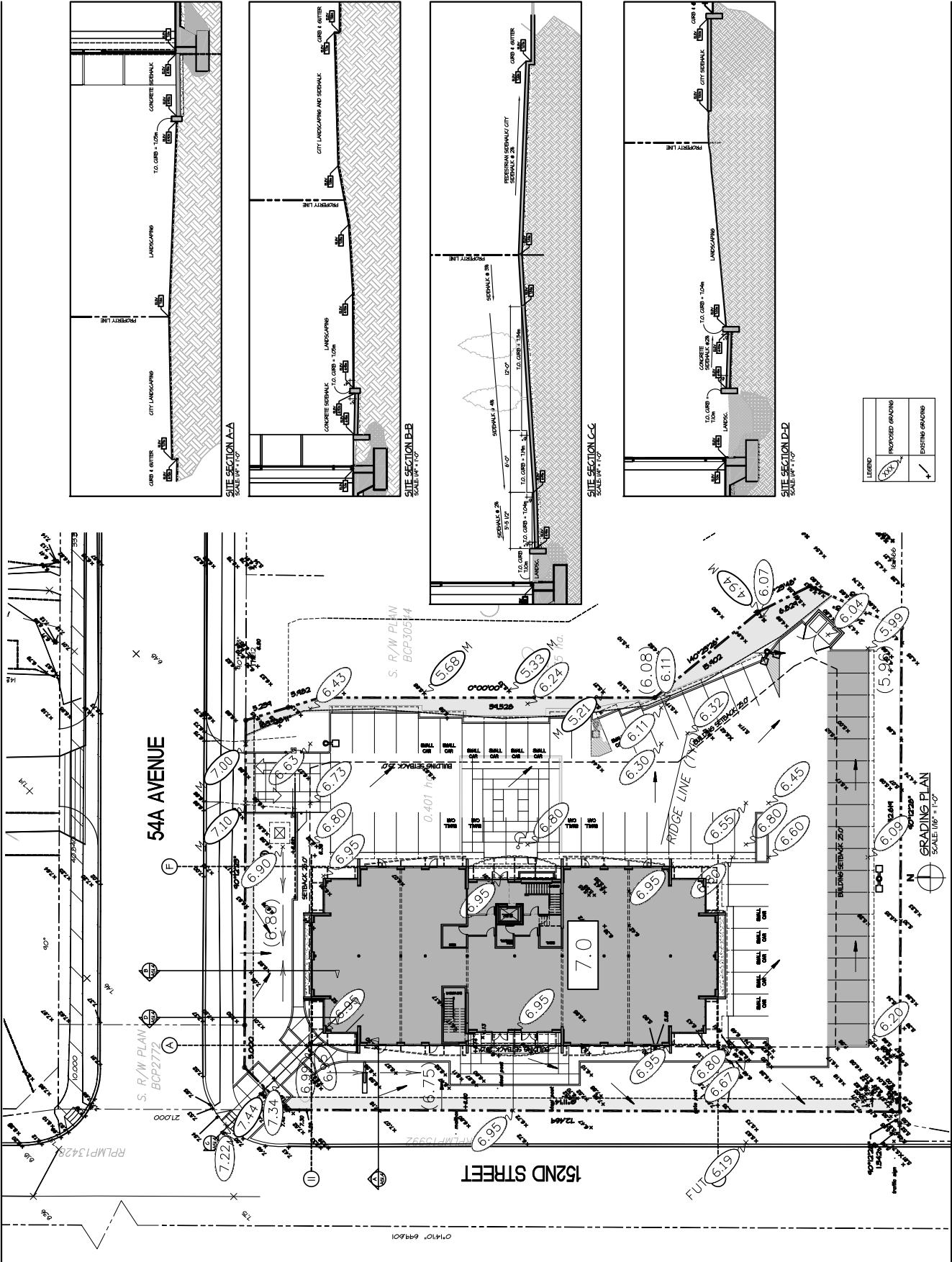
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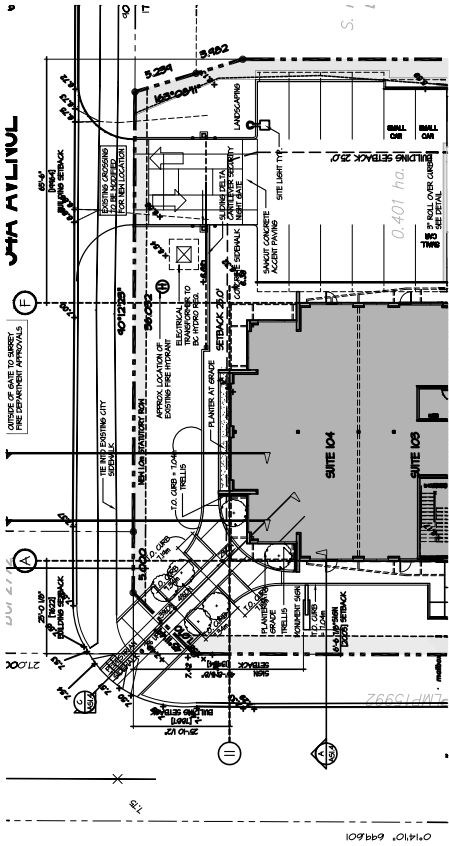
3707 1st AVENUE
 BURNABY, BRITISH COLUMBIA
 V5C 3Y6 E-MAIL: plovlvck@plovlvck.com
 tel: 604-298-3700 fax: 604-298-6081
 Member of the ABC
 Certified Professional
 Member of the NFAA
 ARCHITECTURE

PROJECT: 7910-0281-00(J) OFFICE BUILDING
 544, 509, AVENUE,
 SURREY, B.C.
 DATE: 08-05
 SCALE: 1/8" = 1'-0"
 SHEET: A

EXISTING AND PROPOSED GRADING
 DATE: 08-05
 SCALE: A5/4
 SHEET: A
 FEBRUARY, 2011

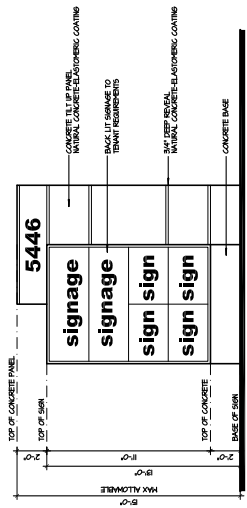
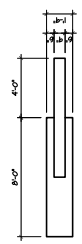


LEGEND	PROPOSED GRADING	EXISTING GRADING
(Circle with elevation)	✓	✗
(Circle with elevation)	✗	✓



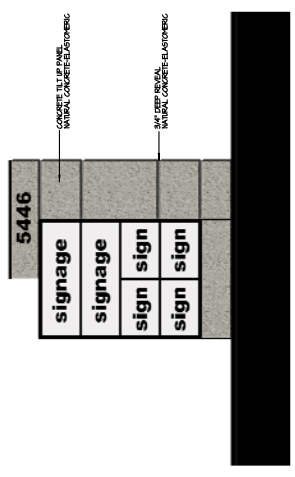
PARTIAL SITE PLAN
SCALE: N15

PYLON SIGN PLAN
SCALE: 1/4" = 1'-0"



PYLON SIGN FRONT ELEVATION
SCALE: 1/4" = 1'-0"

ALL PYLON SIGN AREAS SHALL NOT EXCEED 50% OF THE SIGN AREA
50 SQ. FT. / SIDE
TOTAL SIGN AREA
100 SQ. FT. / SIDE
TOTAL SIGN AREA ALLOWED
200 SQ. FT. / SIDE



PYLON SIGN SIDE ELEVATION
SCALE: 1/4" = 1'-0"

FASCIA SIGNS

TOTAL AREA OF FASCIA SIGNS SHALL NOT EXCEED 3 SQ. FT. PER SIGN AREA ATTACHED. COPY AREA CANNOT EXCEED 50% OF THE AREA OF THAT SIGN AREA.



CRU NO. 100
COPY NOT TO EXCEED 50% OF SIGN AREA
PROPOSED AREA 12'-0"
TOTAL TENANT LINEAR FRONTAGE 24'-0"
SIGN AREA RESTRICTED 24'-0" X 3'-0"
TOTAL ALLOWABLE 120 SQ. FT.



CRU NO. 103
CONTINUED OVER DOORS
COPY NOT TO EXCEED 50% OF SIGN AREA
PROPOSED AREA 12'-0"
TOTAL TENANT LINEAR FRONTAGE 24'-0"
SIGN AREA RESTRICTED 24'-0" X 3'-0"
TOTAL ALLOWABLE 120 SQ. FT.

ALL SIGNS TO BE REMOVED CHANNEL LETTERS LOGOS OR SIGNAGE ARE ATTACHED. COPY AREA CANNOT EXCEED 50% OF THE AREA OF THAT SIGN AREA.



CRU NO. 101
COPY NOT TO EXCEED 50% OF SIGN AREA
PROPOSED AREA 12'-0"
TOTAL TENANT LINEAR FRONTAGE 24'-0"
SIGN AREA RESTRICTED 24'-0" X 3'-0"
TOTAL ALLOWABLE 120 SQ. FT.



CRU NO. 104
CONTINUED OVER DOORS
COPY NOT TO EXCEED 50% OF SIGN AREA
PROPOSED AREA 12'-0"
TOTAL TENANT LINEAR FRONTAGE 24'-0"
SIGN AREA RESTRICTED 24'-0" X 3'-0"
TOTAL ALLOWABLE 120 SQ. FT.

ALL SIGNS TO BE LOCATED IN LOCATIONS AS SHOWN OR OTHERWISE INDICATED ON THIS DRAWING.



CRU NO. 102
COPY NOT TO EXCEED 50% OF SIGN AREA
PROPOSED AREA 12'-0"
TOTAL TENANT LINEAR FRONTAGE 24'-0"
SIGN AREA RESTRICTED 24'-0" X 3'-0"
TOTAL ALLOWABLE 120 SQ. FT.

ISSUE	DESCRIPTION	DATE
01	ISSUED FOR DP	12/10/20
02	ISSUED FOR DP	12/10/20
03	ISSUED FOR DP	12/10/20
04	ISSUED FOR DP	12/10/20
05	ISSUED FOR DP	12/10/20
06	ISSUED FOR DP	12/10/20
07	ISSUED FOR DP	12/10/20
08	ISSUED FOR DP	12/10/20
09	ISSUED FOR DP	12/10/20
10	ISSUED FOR DP	12/10/20

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L T R.

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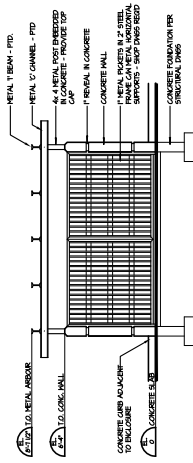
7910-0281-00(K)

OFFICE BUILDING

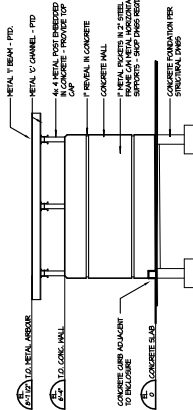
5446 BOND STREET
SURREY, B.C.

SITE SIGNAGE DETAILS

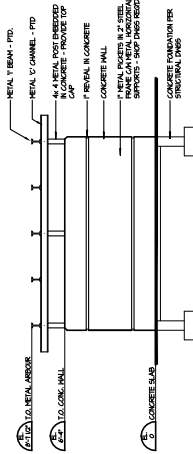
PROJECT NUMBER: 5446
DRAWING: A53
SCALE: 1/4" = 1'-0"
DATE: December, 2020



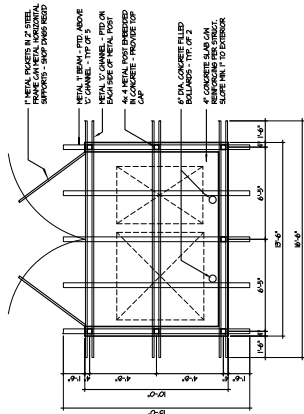
GARBAGE ENCLOSURE - FRONT ELEVATION
SCALE: 1/4" = 1'-0"



GARBAGE ENCLOSURE - SIDE ELEVATION (NTP)
SCALE: 1/4" = 1'-0"



GARBAGE ENCLOSURE - REAR ELEVATION
SCALE: 1/4" = 1'-0"



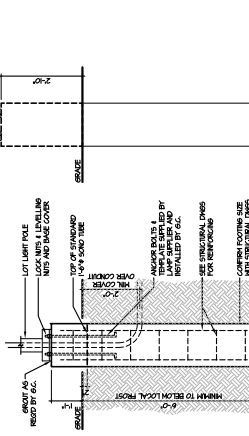
GARBAGE ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

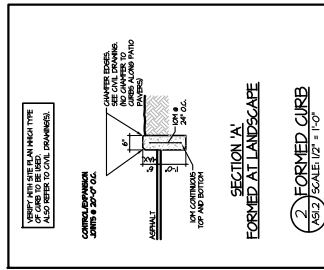
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.
2. METAL BEAMS TO BE COMPLETED BY DATE OF POORING CONCRETE. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.
4. ALL CONCRETE JOISTS AND BELLINGS SHALL BE REINFORCED WITH REINFORCING BARS AS SHOWN.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.

BASE PLATE PRIOR TO SETTING CONCRETE BELLINGS.

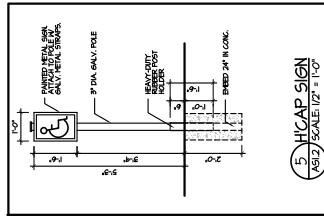
SEE SITE PLAN FOR BLUE HATCH.



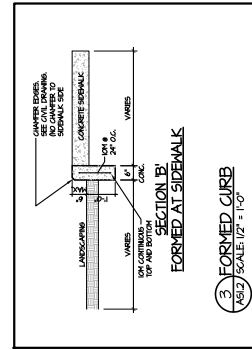
LAMP STANDARD DETAIL
SCALE: 1/2" = 1'-0"



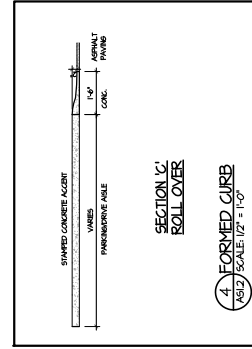
SECTION A' - FORMED CURB FORMED AT LANDSCAPE
SCALE: 1/2" = 1'-0"



SECTION B' - HCAP SIGN
SCALE: 1/2" = 1'-0"



SECTION C' - FORMED CURB FORMED AT SIDEWALKS
SCALE: 1/2" = 1'-0"



SECTION D' - FORMED CURB ROLL-OVER
SCALE: 1/2" = 1'-0"

NO.	DATE	DESCRIPTION
01	2011	ISSUED FOR ITP
02	2011	ISSUED FOR ITP
03	2011	ISSUED FOR ITP
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18	2011	ISSUED FOR ITP
19	2011	ISSUED FOR ITP
20	2011	ISSUED FOR ITP

CONTRACT NO. 10000000000000000000

CONTRACT NO. 10000000000000000000



P. ILOVICK ARCHITECT LTD.
3707 1st AVENUE
BURNABY, BRITISH COLUMBIA
V5C 3V6 E-MAIL: p.lovick@p.lovick.com
tel: 604-298-3700 fax: 604-298-6081

Member of the ABC
Member of the B.C.A.
Member of the NFAA
Professional Architect

7910-0281-00(L)

PROJECT: OFFICE BUILDING, 5444 BURNS AVENUE, SURREY, B.C.
CLIENT: GARBAGE ENCLOSURE & SITE DETAILS
DATE: 08-09
SCALE: 1/4" = 1'-0"
DATE: FEBRUARY, 2011
REVISION: A

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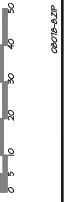
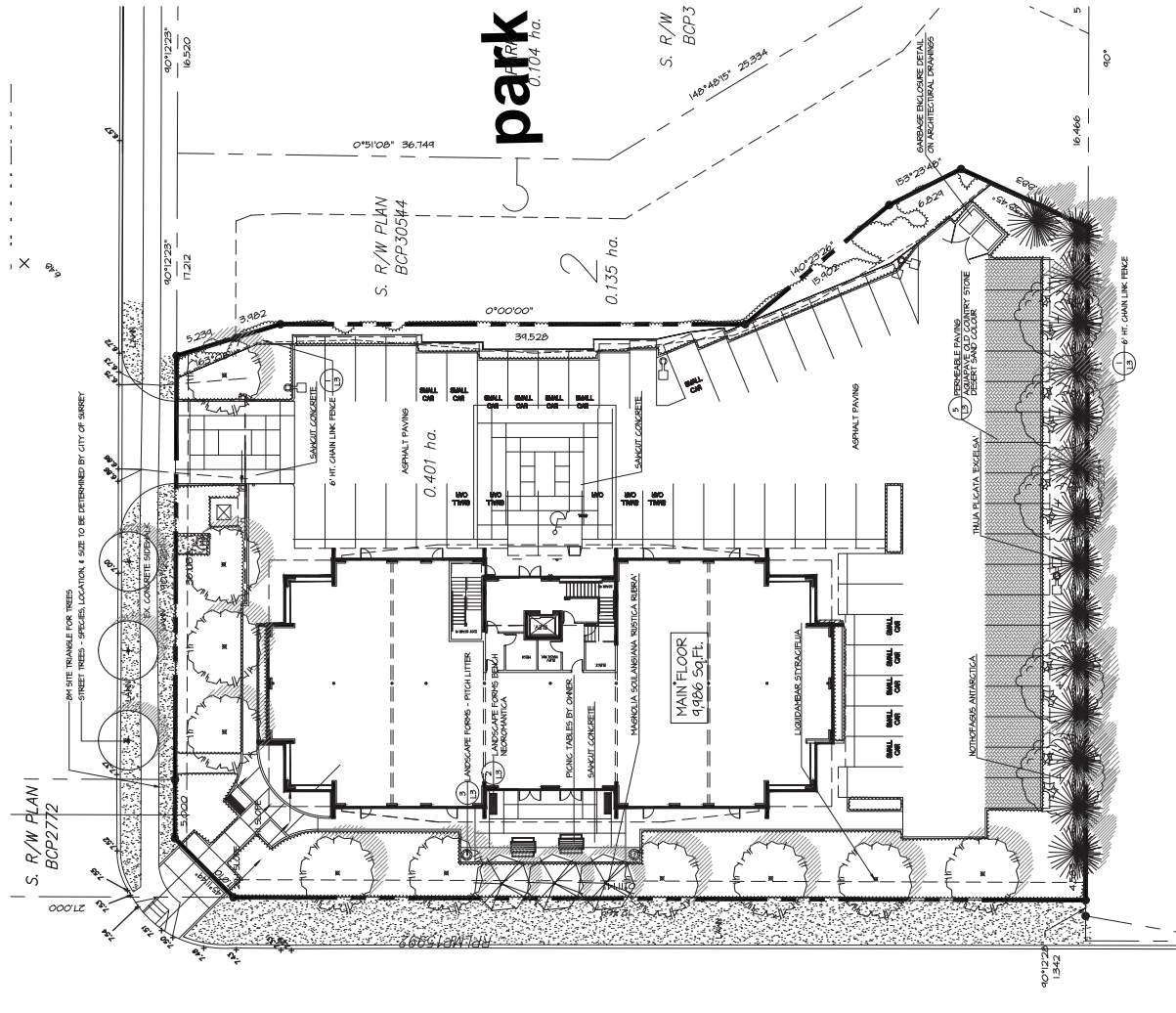
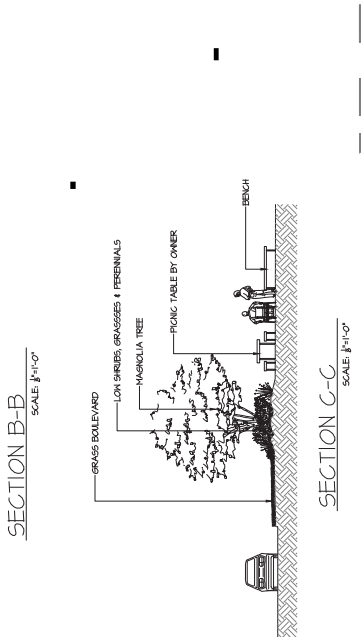
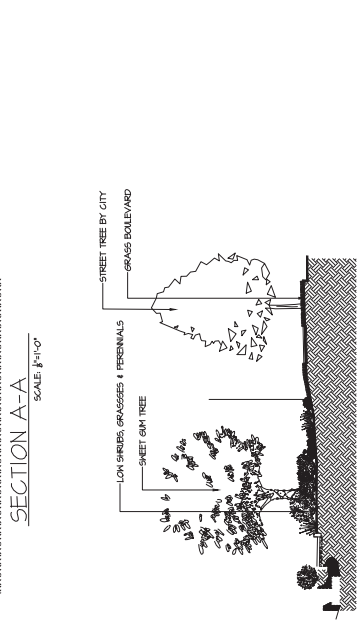
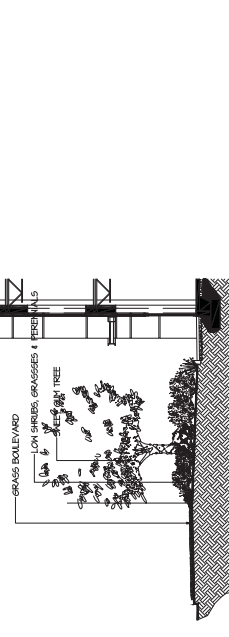


PLANT SCHEDULE		ON SITE TREES	DMG JOB NUMBER: 08-078
TREE KEY	CITY	BOTANICAL NAME	COMMON NAME
1	0	CITY STREET TREES	
2	0	LIGUNIBARUS STRIOSQUILLA	60" CAL. 24" STD. HDB
3	0	MANGROVA ANTARCTICA	60" CAL. 24" STD. HDB
4	0	NOTODIPASIS ANTARCTICA	60" CAL. 24" STD. HDB
5	0	TRILIA PLIKATA EXCELSA	30" HI. HDB
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NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE LATEST EDITION. CONTAINERS SIZES SPECIFIED AS PER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS * BENCH AND SEVEN PLANT MATERIAL AVAILABLE FOR OPTIONAL SEED BY APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. IMPROVED SUBSTITUTIONS SHALL BE STANDARD. APPROVAL OF COSTS FOR ANY AVAILABLE MATERIALS SHALL BE SUBJECT TO SEPARATE SUBMITTALS. SUBSTITUTIONS ARE SUBJECT TO BE LANDSCAPE ARCHITECT'S APPROVAL.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

FOR SIGNAGE, PAVING, ENTRY GATE AND GARBAGE ENCLOSURE DETAILS, SEE ARCHITECTURE DRAWINGS.



7910-0281-00(M)

PANORAMA BU CENTRE
5446 - 162 S SURREY, B.C.

LANDSCAPE PLAN
L1
OF 5
DMG PROJECT NUMBER: 08-078

DATE: 11/15/11
SCALE: 1/8"=1'-0"
DRAWN: PM
DESIGN: PM
CHECK: PM

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NO	DATE	REVISION / DESCRIPTION	DR.
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SHEET 1611 NO. 1
SURREY APRIL 11, 2011



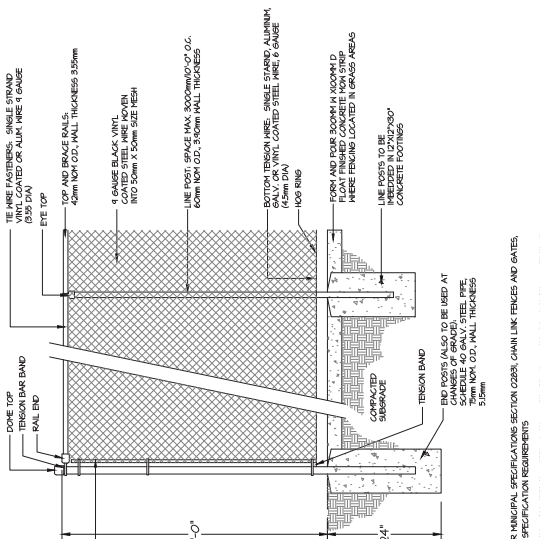
PROJECT: PANORAMA BUSH CENTRE
5446 - 162 ST. SURREY, B.C.
DRAWING TITLE: LANDSCAPE SHRUB PLAN
DATE: 11/10/11
SCALE: AS NOTED
DESIGN: PH
DRAWING NO: 1611
DMG PROJECT NUMBER: 08-078



3 LANDSCAPE FORMS - PITCH LITTER RECEPTACLE
L3



2 LANDSCAPE FORMS - NEOROMANTICO BENCH
L3



1 6'-0" CHAIN LINK FENCE
L3
3/4" x 1'-0"

- NOTE:
- REFER TO MASTER DIMENSIONS SECTION FOR POST AND RAIL DIMENSIONS.
 - REFER TO MASTER DIMENSIONS SECTION FOR POST AND RAIL DIMENSIONS.
 - REFER TO MASTER DIMENSIONS SECTION FOR POST AND RAIL DIMENSIONS.
 - REFER TO MASTER DIMENSIONS SECTION FOR POST AND RAIL DIMENSIONS.

TRUNK PROTECTION DISTANCE TABLE

TRUNK DIAMETER	MINIMUM REQUIREMENTS
1-3"	1/2"
3-4"	1/2"
4-5"	1/2"
5-6"	1/2"
6-8"	1/2"
8-10"	1/2"
10-12"	1/2"
12-14"	1/2"
14-16"	1/2"
16-18"	1/2"
18-20"	1/2"
20-24"	1/2"
24-30"	1/2"
30-36"	1/2"
36-42"	1/2"
42-48"	1/2"
48-54"	1/2"
54-60"	1/2"
60-72"	1/2"
72-84"	1/2"
84-96"	1/2"
96-108"	1/2"
108-120"	1/2"
120-144"	1/2"
144-168"	1/2"
168-192"	1/2"
192-216"	1/2"
216-240"	1/2"
240-300"	1/2"



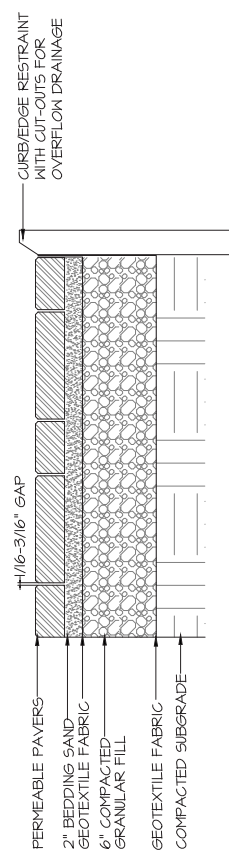
4 TREE PROTECTION BARRIER
L3

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS.

PLASTIC MESH SCREENING
SOLID 2X4 CONSTRUCTION WITH 2X6S BRACING AND 1/2" x 4" x 6" STAKES

NO STORAGE OF BUILDING MATERIALS WITHIN OR AGAINST PROTECTION BARRIER

- TREES PROTECTED BY BARRIERS:
- PACIFIC DOGWOOD
 - WESTERN WHITE PINE
 - GRAND PINE
 - DOUGLASS SPRUCE
 - GLAD STAGHOLE
 - MOUNTAIN DOGWOOD
 - SPURGE PRAIRIE TREE



5 PERMEABLE PAVING DETAIL
L3
AQUAPAVE OLD COUNTRY STONE
SCALE: 1/4" = 1'-0"

NOTE:
PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS
ALL CONSTRUCTION TO 48% PROCTOR DENSITY

PERMEABLE PAVERS
1/16-3/16" GAP
CURBEDGE RESTRAINT WITH CUT-OUTS FOR OVERFLOW DRAINAGE
2" BEDDING SAND
GEOTEXTILE FABRIC
6" COMPACTED GRANULAR FILL
GEOTEXTILE FABRIC
COMPACTED SUBGRADE

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PROJECT: PANORAMA BU CENTRE
 6448 - 152 STREET, SURREY, B.C.

DRAWING TITLE: LANDSCAPE DIMENSION

DATE	SCALE	DRAWN	DESIGN	CHECK
11/13/13	1/8" = 1'-0"	RC	MM	

NO	DATE	REVISION DESCRIPTION	DR
1			
2			
3			
4			
5			
6			
7			

SEAL:



PROJECT: PANORAMA BU CENTRE
 6448 - 152 STREET, SURREY, B.C.

DRAWING TITLE: LANDSCAPE DIMENSION

DATE: 11/13/13
 SCALE: 1/8" = 1'-0"
 DRAWN: RC
 DESIGN: MM
 CHECK:

DMG PROJECT NUMBER: 06-078 OF 5

