

City of Surrey PLANNING & DEVELOPMENT REPORT File: 7910-0281-00

Planning Report Date: July 25, 2011

PROPOSAL:

• Development Permit

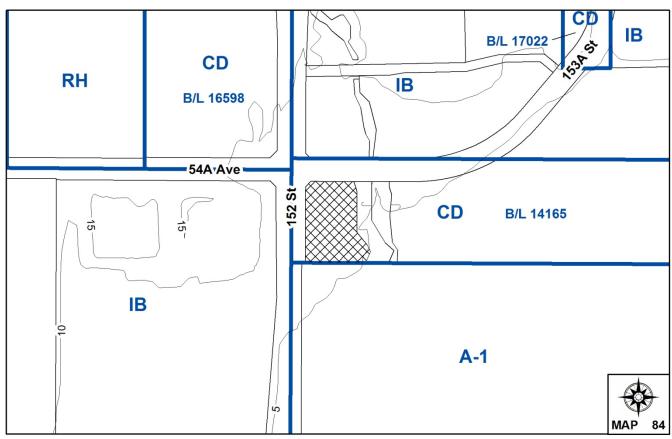
in order to permit the development of a 2758 sq. m. (29,690 sq. ft.) office building.

LOCATION: 5446 - 152 Street

OWNER: Panorama Business Centre Ltd.

ZONING: CD By-law No. 14165

OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

• Approval to execute Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

None.

RATIONALE OF RECOMMENDATION

- Complies with OCP designation.
- Complies with the zoning.
- The proposal is generally consistent with the previously approved Development Permit No. 7900-0163-00 for the subject lands which expired in July 2009.
- The landscape plan for the Agricultural Land Reserve buffer to the south and the riparian buffer to the east is appropriate.
- The proposed building form is appropriate for the surrounding area and the building incorporates a number of sustainability features.

RECOMMENDATION

The Planning & Development Department recommends that:

1. the Mayor and Clerk be authorized to execute Development Permit No. 7910-0281-00.

NOTE: If the Development Permit as presented is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project

subject to the completion of Engineering servicing requirements as

outlined in Appendix II.

Department of Fisheries and Oceans (DFO):

The riparian zone planting along the eastern property boundary is

acceptable.

Agricultural Advisory

Committee:

The proposed development was presented to the Agricultural Advisory Committee on July 5, 2011, for their consideration

(Appendix III).

The AAC recommended that no "Vaccinium" species be used in the ALR buffer and that a chain-link fence (lower maintenance) be provided in the buffer instead of the proposed wooden fence. (Note: Vaccinium species may be problematic as they can be a host

for disease.)

The applicant has accepted these recommendations and modified

the landscape plan for the ALR buffer accordingly.

SITE CHARACTERISTICS

Existing Land Use: Private school, (Roots and Wings Montessori) permitted under a

Temporary Use Permit.

Adjacent Area:

Direction	Existing Use	OCP	Existing Zone
North (Across 54A Ave):	Office Building – 3	Industrial	IB
	storey		
East:	Private School	Industrial	CD Zone/By-law
	proposed (Roots and		No. 14165
	Wings Montessori)		

Direction	Existing Use	ОСР	Existing Zone
South:	Agricultural Land	Agriculture –	A-1
		(Agricultural Land	
		Reserve)	
West (Across 152 St):	Warehouse Industrial	Industrial	IB
	Building		

DEVELOPMENT CONSIDERATIONS

Background

- The subject property is located at the southeast corner of 152 Street and 54A Avenue and is 4,007 sq. m. (0.99 acres) in area. The property slopes (gently) to the south and has 77 metres (253 feet) frontage on 152 Street and 47 metres (154 feet) frontage along 54A Avenue. There are no mature trees on the property.
- In 2007 an office building was approved under Development Permit No. 7900-0163-00 in conjunction with a proposed private school (Roots and Wings Montessori School) on the lands to the east. This Development Permit expired in July 2009 and the owner submitted a new application generally based on the concept in the original Development Permit with respect to the uses (office space), building footprint, parking configuration, setbacks, and buffers.
- The lots for the office building and for the school development were created under subdivision application 7906-0146-00 (subdivision completed 2007). At the time of subdivision Restrictive Covenants were established to protect the riparian zone to the east and for the ALR landscape buffer along the southern property boundary.

Proposal

- The proposal is to develop a 2,758 sq. m. (29,690 sq. ft.) three-storey office building. The building is proposed to be stratified.
- The building meets all the setback requirements (7.5 metres/25 feet) for all property lines. The building height is 12 metres (39 ft.) and 65 parking spaces are being provided. The building satisfies the site coverage and FAR requirements and all other zoning requirements.

Riparian Zone protections Requirements

• There is an existing Restrictive Covenant between the owner and the Federal Department of Fisheries and Oceans for the protection of a fish-bearing intermittent stream on the property to the east. On the west side of the stream the area protected by the covenant is 20 metres (66 feet) wide and is located mostly on the lands adjacent to the east but includes a narrow ribbon of land along the eastern property boundary of the subject property.

• For the riparian zone covered by the covenant on the subject land, a narrow strip generally 2 to 5 metres in width, plantings will consist of native plants that are recommended under the BC Ministry of Environment Riparian Restoration Guidelines. The Department of Fisheries and Oceans and the Surrey Environmental Co-ordinator have reviewed and approved the planting plan. A 1.8 metre (6 feet) high chain link fence will be erected along the west side of the riparian zone to provide additional protection from encroachment into the area and to allow the plantings to get fully established.

ALR Setbacks and Buffers

- The proposed building is setback 21 metres (70 feet), and there is a 3 metre (10 ft.) buffer adjacent to the ALR which is generally consistent with Agricultural Land Commission buffer specifications. For the landscape buffer, trees proposed are a row of Western Red Cedar along with a number of Antarctic Beech, and there are two rows of shrubs (Barberry and Rhododendron) and a 1.8 metre (6 feet) chain link fence. A Restrictive Covenant is required for the landscape buffer.
- There are no doors on the south side, no windows that open in the building, and the outdoor amenity space is facing 152 Street approximately 38 m (125 feet) from the ALR boundary.

Landscaping

- There are no mature trees on the site.
- The landscaping plan prepared for the site includes a combination of new trees, shrubs and groundcover in a variety of species throughout the site.
- A 3 metre (10 ft.) landscaping buffer is proposed along the southerly property line as described above.
- The plan proposes a distinctive corner feature with plantings and a trellis and a pedestrian ramp at the northwest corner of the building (at 152 Street and 54 A Avenue). A sloped sidewalk with tiered landscaping is provided as a corner feature with sweeping edges that create a smooth transition to the walkways that are continuous and surround the building.
- A narrow strip along the eastern property boundary is protected under a Restrictive Covenant between the owner and the Department of Fisheries and Oceans for the protection of a fish-bearing intermittent stream on the property to the east as described above.

DESIGN PROPOSAL AND REVIEW

Access

• Access for the site is from 54A Avenue at the northeast property boundary with a 10 metre (33 feet) queuing distance from the property line to the parking area. A sliding parking gate is proposed to restrict access after regular business hours.

• 64 parking spaces are required and 65 parking spaces are provided; this includes one handicapped parking stall and 17 small parking spaces.

• The plan provides pedestrian access from the northwest with sidewalks that surround the building.

Building Design

- The building is a 3 storey tilt up building with "low E" (energy efficient) curtain wall glazing with green tinting and clear anodized window frames. The exterior walls will have a natural concrete gray finish. There is an open canopy along the west elevation.
- The east and west elevations each have 5 doors to the exterior, there are no doors on the north and south elevations.
- Outdoor amenity space is to be provided on the west side of the building with access to this space from the ground floor and all upper floor units.

Sustainability Features

The following sustainability features are included in the building and landscaping design:

- o Low water usage irrigation;
- o A high efficiency heating and cooling system in conjunction with "Low E" glazing;
- o Exterior shading and interior reflective blinds to reduce the air conditioning load;
- o A recycling program including cardboard recycling;
- o Riparian zone planting with native plants to enhance the riparian buffer.

<u>Signage</u>

- The proposed signage conforms to the Surrey Sign by-law, By-law 13656, as amended.
- A free standing sign is proposed at the northwest corner of the site with a sign height of 4.6 metres (15 feet) and a sign area of 27.4 square metres (296 square feet). The Sign Bylaw permits a maximum sign height of 6 metres (20 feet) and maximum sign area of 27.8 square metres (300 square feet). The free standing sign has a concrete base to match the exterior of the office building with back lit panel signage. The sign panels will have cut out letters on an opaque background.
- Canopy signage with channel lettering is proposed for the office units facing west onto 152 Street. The Sign By-law allows up to 43.9 square metres (474 square feet) of sign area for the canopy signage. The total signage area proposed for the canopy signs is 5.8 square metres (62 square feet).

ADVISORY DESIGN PANEL

The Advisory Design Panel (ADP) provided comments in regard to context and site
planning, vehicle and pedestrian circulation, form and character, landscaping, CPTED,
accessibility and sustainability.

• Planning staff met with the project architect and provided follow-up to the ADP review. The project architect has provided detailed written comments outlining how each issue raised in the ADP meeting has been addressed and has resubmitted the design drawings reflecting the changes (Appendix IV). The City Architect has reviewed the revised plans and has indicated that the concerns raised by the ADP have been satisfactorily addressed.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I	Lot Owners, Action Summary and Project Data Sheets and Survey Plan
Appendix II	Engineering Summary
Appendix III	Agricultural Advisory Committee Minutes
Appendix IV	ADP Comments with Applicant's Response
Appendix V	Development Permit No. 7910-0281-00

original signed by Nicholas Lai

Jean Lamontagne General Manager Planning and Development

SG/kms

<u>Information for City Clerk</u>

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Peter Lovick

PJ Lovick Architect

Address: 3707 East 1st Avenue Suite 200

Burnaby, BC V₅C₃V₆

Tel: 604-298-3700 - Work

604-298-3700 - Fax

2. Properties involved in the Application

(a) Civic Address: 5446 - 152 Street

(b) Civic Address: 5446 152 St

Owner: Panorama Business Centre Ltd., Inc. No. BCo804464

PID: 027-239-586

Lot 1 District Lot 167 Group 2 New Westminster District Plan BCP32709

3. Summary of Actions for City Clerk's Office

DEVELOPMENT DATA SHEET

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA*		4007 sq m
LOT COVERAGE (in % of net lot area)	45%	23%
F.A.R.	0.75	0.69
SETBACKS (in metres)		
Front	7.5 m	7.5 m
Rear	7.5 m	20.0 M
North Side	7.5 m	7.5 m
South Side	7.5 m	21.5 m
BUILDING HEIGHT (in metres/storeys)	12.0 m	12.0 m – 3 storeys
FLOOR AREA: Office and other mixed uses		2758 sq m (29,690 sq ft)
TOTAL BUILDING FLOOR AREA		2758 sq m (29,690 sq ft)
PARKING (number of stalls)	64	65
Number of Disabled Stalls	1	1
Number of Small Car Stalls	16 (25 per cent of required spaces)	17 (one extra small space provided, this is over and above parking requirements)
OUTDOOR AMENITY SPACE		Yes

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TO:

Manager, Area Planning & Development

- South Surrey Division

Planning and Development Department

FROM:

Development Project Engineer, Engineering Department

DATE:

July 18, 2011

PROJECT FILE:

7810-0281-00

RE:

Engineering Requirements (Commercial/Industrial)

Location: 5446 152 St.

DEVELOPMENT PERMIT

The following issues are to be addressed as a condition of issuance of the Development Permit:

• Register a 1.50 m wide Statutory Right-of-Way on 152 Street for an Arterial Road standard;

Register a 1.00 m wide Statutory Right-of-Way on 54A Avenue for a Collector Road standard.

Bob Ambardar, P.Eng.

Development Project Engineer

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LAND DEVELOPMENT ENGINEERING REVIEW

(Commercial/Industrial)

File:	7810-0281-00						
Location:	5446 152 St.						
	Applicant: Address: Phone: Fax: Email: Owner:	PJ Lovick A 3707 East 1 604-298-37 604-298-60 tdewar@p Panorama	st Av 00 81 ilovi	venue Sui ck.com			
	OCP An	nendment		NCP Am	endment		ALR Exclusion
	Rezone Existing Land U Proposed Land	•	law 1	LUC Am 14165	endment		Subdivision ting Lots: posed Lots:
				DVP			
L	604-591-4140	Developmer , IKosa@sur ar, P.Eng., D	nt Se rey.c evel	rvices Pro a opment P	ntacts: ject Supervisor roject Engineer		
Attachments: Project Layout Road Right-of-		nents Sketch					
Distribution: Applicant Transportation	•	nager					
Sewer Enginee Water Enginee						-	
Drainage Plant						_	
Development S	~ ~	t Supervisor		No.	July 18, 2011 Date		Original Revision

LAND DEVELOPMENT ENGINEERING REVIEW

File 7810-0281-00, Map #084

Background

The applicant is proposing a Development Permit to allow for the development of a 3 storey, 2758 sq.m concrete building. These comments are based on the attached site layout prepared by PJ Lovick Architect Ltd., dated May 25, 2011.

This Review represents the key issues that the Engineering Department is aware of at this time. The issues listed may not be fully comprehensive and exhaustive and the applicant is required, as part of the planning and design process (including Public Hearing) to identify and resolve all items relating to the proposed land development.

Property and Right-of-Way Requirements

The following road right-of-way dedication, as illustrated on the attached Site Plan, is required on existing roads fronting the site:

- 1.5 metre wide Statutory Right-of-Way on 152 Street for an ultimate 30-metre wide Arterial Road.
- 1.0 metre wide Statutory Right-of-Way on 54A Avenue for an ultimate 24-metre wide Major Collector.

The applicant should address all road dedication and rights-of-way issues prior to finalizing layout or commencing legal survey or detailed design.

Servicing Requirements

These Works are required as a condition of the subsequent Building Permit.

Transportation/Traffic Management

The following road works are required on proposed roads within the site:

• Construct a pedestrian connection from the on-site sidewalk to the southeast corner intersection.

Driveway access is not permitted to 152 Street; the lots fronting this road, including existing dwellings, must have access from 54A Avenue.

The proposed driveway access to 54A Avenue is acceptable but must be provided with a minimum 10.00 metres queuing distance, as measured from the property line.

Drainage/Environmental

The following City storm drainage facilities are located in the vicinity to the site:

- 900mm storm sewer on 152 Street.
- 1050mm storm sewer crossing 54A Avenue.

The applicant is advised that any increase in flows to the downstream creek may create erosion and flooding. Protection of the creek and approvals are required for any works in and around the creek. Rights-of-way, setbacks, and access to the storm system are to be addressed. The applicant is advised that if filling is proposed then a Gray Creek Pump Station charge is applicable. Filling costs relative to the Gray Creek Pump Station are \$4.50 per sq. metre.

The applicant must demonstrate that they have previously contributed to the pump station works, or to pay applicable landfill charges if filling of the site is proposed.

Our records indicate that a 250mm storm service connection has been provided for the site under project 7800-0163-00.

The applicant is required to confirm that the existing service connection is adequate for the proposed development. If not adequate, the applicant will be required to provide an adequately-sized service connection, complete with inspection chamber, to service the proposed development

A stormwater management plan must be completed to the satisfaction of Surrey Drainage Engineering to assess the 5 year post development flows (minor system) and 100 year post development flows (major system) within the catchment.

A red coded creek has been identified along the east property line of this site, which requires protection in accordance with DFO/MWLAP Land Development Guidelines and Best Management Practices.

A water quality/sediment control inlet chamber is to be installed as a component of the on-site drainage system before discharge at the inspection chamber. A restrictive covenant is required to be registered on the title of the land to require the owner/operator to maintain and keep functional the water quality/sediment control inlet chamber.

The applicant will be required to obtain an Erosion & Sediment Control (ESC) Permit, under Bylaw 2006, No. 16138, from the Engineering Department, **prior to issuance of the Building Permit**. The process requires submission and approval of an ESC Plan that minimizes sediment and sediment-laden water from entering the City drainage system, during building construction and servicing.

Water

The following City water facilities are located in the vicinity to the site:

- 300mm main on 54A Avenue
- 150mm main on 152 Street.
- 100mm private main exists on 152 Street

This existing water system on 54A Avenue has adequate capacity to meet the domestic and fire flow requirements of the proposed development.

This site is within an area where the corrosion protection and seismic design standards are to be applied. The applicant may submit a geotechnical report for further review by the City's

consultant, at the applicant's expense, to confirm if seismic design standards are necessary. The review and recommendation of the City's consultant is final.

Our records indicate that a 100mm water service connection has been provided for the site under project 7800-0163-00.

The applicant will be required to confirm that the existing service connection is adequate for the intended use. Metering features can be located at the property line or within the building, in accordance with the Engineering Water Meter Installation Standards and Specifications. Calculations are to be submitted to confirm the size of the metered domestic service connection and the size of the fire service required for the proposed development.

Through normal processing by the Planning and Development Department - Building Division, the on-site fire protection requirements will be reviewed at building permit application stage and may require additional improvements to the building to meet the B.C. Building Code.

Sanitary Sewer

The following City sanitary sewer facilities are located in the vicinity to the site:

- 75mm low pressure force main on 54A Avenue.
- 50mm low pressure force main on 152 Street.

An adequately-sized service connection, complete with inspection chamber, must be provided to the proposed development. Connection to a low-pressure sanitary sewer requires the registration of a restrictive covenant for the maintenance of the on-site pump by the property owner.

Commercial Utilities

The development must be serviced with hydro, gas, telecommunication, and cablevision in accordance with utility company requirements and City standards.

Project Management

A Servicing Agreement is not required for the proposed Development Permit. The driveway crossing, sanitary and storm connections can be constructed subject to issuance of a City Road and Right-of-Way Permit obtainable as part of the Building Permit review and processing by Engineering which includes payment of securities and permit fees. City crews will do the installation of the water service once payment has been made and a work order has been issued.

The following legal documents are known at this time to be required for this project:

- 1.5 metre wide Statutory Right-of-Way on 152 Street.
- 1.0 metre wide Statutory Right-of-Way on 54A Avenue.

All Engineering legal documents required for this project must be executed prior to issuance of the Development Permit.

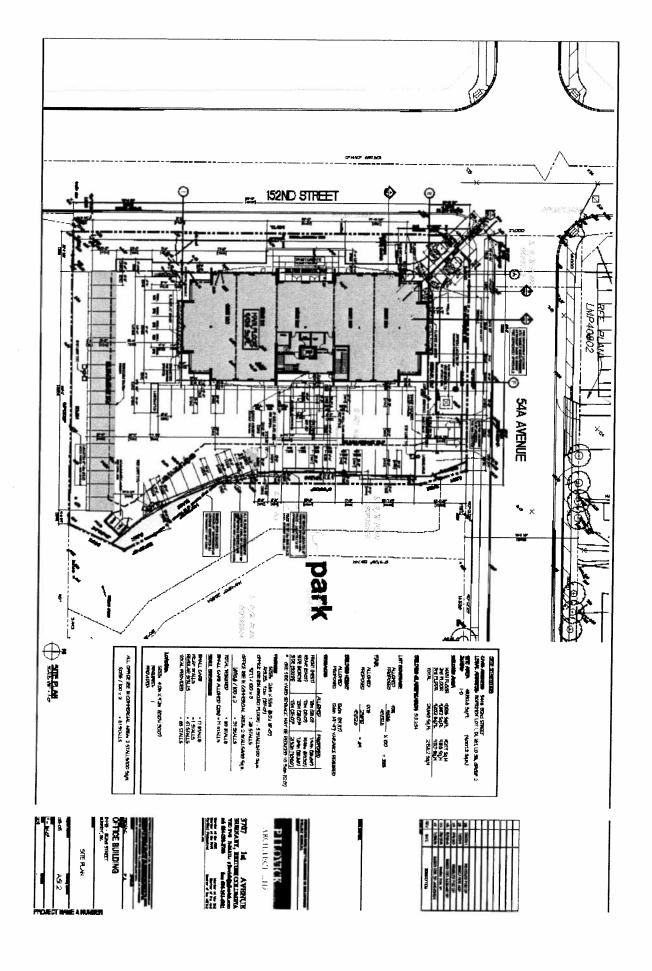
Financial

A Servicing Agreement for this application is not required; however, a processing fee of \$1,220.80 (HST included) is required to administer the storm water review, water flow analysis and/or legal document requirements.

The following charges and levies must be paid as a condition of the building permit:

• pay land filling charges related to the Gray Creek Pump station, if required

An application fee of \$420 (HST exempt) is required for administration of the ESC Permit process.





APPENDIX III

arks' Boardroom #1

City Hall

14245 - 56 Avenue

Surrey, B.C.

TUESDAY, JULY 5, 2011 Time: 9:06 am

File: 9:00 am

Present:

M. Bose - Chair D. Arnold P. Harrison

B. Sandhu Councillor Hunt

Regrets:

B. Aulakh M. Hilmer K. Thiara S. VanKeulen

T. Pellett, Agricultural Land Commission

B. Stewart, Environmental Advisory Committee Representative

Staff Present:

R. Dubé, Engineering

C. Baron, Engineering

C. Stewart, Planning & Development M. Kischnick, Planning & Development

L. Anderson, Legislative Services

Agency Representative:

K. Zimmerman, Ministry of Agriculture

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G. INFORMATION ITEMS

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2. Development Adjacent to the ALR – Lands Designated "AGR – Agriculture" in OCP 5446 - 152 Street

File No.: 7910-0281-00

Steve Gormley, Planner, was in attendance to review his memo, dated June 27, 2011, regarding the subject application. Comments were as follows:

- The proposal is for a three storey office building at the southeast corner of 152 Street and 54A Avenue, which is adjacent to ALR lands to the south.
- The use is permitted under the OCP as "Industrial" and under the current CD zoning.
- When the proposal was first considered in 2000, the AAC (July 7, 2000) did not support the project largely on the basis of interface issues with a school, Roots and Wings Montessori School, which was a significant component of the proposal on lands directly to the east of the office building. It was forwarded to Council in November 2000 and received first, second and third reading for the rezoning. The zoning and DP were given final approval in 2007.
- The DP expired in July 2009.
- The proponent submitted detailed building plans in mid-2008 and was preparing to initiate construction in early 2009 but the project was then put on hold.
- A new application to proceed on the basis of the earlier proposal was submitted in the fall of 2010.
- The current proposal is generally consistent with the original DP approved in 2007 with respect to building footprint, parking area and the width of the ALR

buffer. While it does not satisfy the maximum setback and buffer width guidelines (including a 15m landscape buffer and a 30m building setback from the property line), the OCP does allow for a reduction in the landscape buffer to 3m (10 feet) and building setback requirements to 7.5m (25 feet) where there is no further subdivision potential.

- For this current proposal the building is setback 21m (70 feet), and there is a 3m buffer adjacent to the ALR which is consistent with minimum ALC buffer specifications.
- There are no doors on the south side, no windows that open in the building and outdoor amenity space is facing 152 Street, approximately 38m (125 feet) from the ALR boundary.
- There is also a riparian area to the east that is being protected by a Restrictive Covenant.
- Staff is proposing to take this application forward for Council's consideration recommending approval on July 25, 2011.

A brief discussion regarding the types of plants used for buffers ensued. It was noted that the AAC had recommended that Council remove all Vaccinium species from the allowable plants listed on the planting scheme near agricultural land, which was adopted by Council at their October 18, 2010, meeting (Res.R10-1867). As such, the Committee requested that the *Vaccinium ovatum* (Evergreen Huckleberry) be removed from the buffer planting. It was suggested that Rhododendrons or Azaleas would be suitable evergreen plants, and/or something from the Rose family would be suitable to prohibit trespassing.

It was further noted that a six foot black chain-link fence would be a much better solution than a wooden fence as a wooden fence becomes a maintenance issue for those that own the building.

It was

Moved by D. Arnold Seconded by P. Harrison

That the Agricultural Advisory Committee

recommend to the G.M. Planning and Development approval of Application No. 7910-0281-00 with the removal of the *Vaccinium ovatum* species from the landscape buffer and the installation of a six foot black chain link fence.

Carried

H. OTHER BUSINESS

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Advisory Design Panel Minutes

Parks Boardroom #1

City Hall

14245 - 56 Avenue Surrey, B.C.

THURSDAY, APRIL 7, 2011

Time: 4:10 p.m.

Chair:

John Makepeace

<u>Guests:</u> Joe Dhaliwal Hans Rawlins **Staff Present:**

T. Ainscough, Planning & Development

H. Bello, Planning & Development

M. B. Rondeau, Planning & Development

H. Dmytriw, Legislative Services

Misty Jorgenson

Panel Members:

Ron Meyers Robert Ciccozzi Cpl M. Searle T. Wolf S. Lyon

EXCERP T FROM MINUTES

B. SUBMISSIONS

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

5446 - 152 Street

File No. 7910-0281-00

It was Moved by S. Lyon

Seconded by T. Wolf

That the Advisory Design Panel (ADP)

recommends that the applicant address the following recommendations and revise and resubmit to the Planning staff.

Carried

STATEMENT OF REVIEW COMMENTS

Context and Site Planning

Consider access to lobby from front of building for pedestrian access.

The entrance lobby has been reconfigured slightly to allow for stronger connection to the front tenant spaces with glazing and visual cues to allow the units to have front and back entry spaces. Pedestrian access, if required, is provided by surrounding sidewalks leading to this space.

 Provide strong pedestrian connections to the path to bring the public in from the corner and to suite 103/102. The strong corner connection continues through the front building pathway along the entire building frontage and around to the parking lot.

Amenity area - don't see much success with outdoor amenity area in front of a suite.
 Opening up the lobby would help that unit.

The exit stair that provided access/egress from the upper stories has been relocated to the street side of the building to allow for direct access for all tenants to the amenity space along 152nd.

Provide better pedestrian connection from corner and circulation round building.

A sloped sidewalk with tiered landscaping is provided as a corner feature with sweeping edges that create a smooth transition to the walkways that are continuous and surround the building.

Vehicle and Pedestrian Circulation

• Parking in stalls directly south of garbage enclosure may be difficult. Ensure there are sufficient turning radii.

The garbage enclosure has been reoriented slightly to allow for easier parking in this area.

Monument sign shrubs should be pulled aside to allow pedestrian access.

The monument sign has been moved from the corner to allow for pedestrian access and connection. The low level shrubs around the sign can have been relocated to allow for better sign visibility.

Form and Character

• Suites behind elevator are really suffering from extensive entry lobby.

The entrance lobby has been reconfigured slightly to allow for stronger access to the front tenant spaces with glazing and visual cues.

- Amenity in front compounds the problem. Entry to the lobby and elevator could be pulled to the side to ensure some nice frontage to lobby for these suites and would connect it to front entry. Other units have front and back entry.
- Upper floor move elevator over to side to open it up.

The location of the elevator is to provide a multi storey opening and feature for the entry lobby. The elevator has remained in its existing configuration.

A very practical building, totally functional with windows all around, elevator, and stairs.
 Look at details that would give building personality. Have opening windows, canopy, add sun shades, and reveal lines to make it more fun and unique.

We have added colour to the concrete in various locations to add further character to the facade.

The canopy at the entry has been increased in size and detail. The entry plaza has an additional planter and trellis.

Wall mounted building lighting has been added around the building.

To address energy features that are a requirement of the building permit, opening windows are not a practical addition as they will negate any energy saving in the building systems. In lieu of these windows and exterior sunshades, we have proposed low 'E' glazing and internal reflective blinds (a requirement of all lease spaces to designers specification) to complement the high efficiency heating and cooling system. (See attached letter from the mechanical designer).

• Lighting – ensure attention to detail and provide strong lighting around base.

Refer to the revised building elevations showing lighting locations to enhance the building features.

Building looks stern and rigid. Concrete walls give it a dated look and no playfulness in the
facade. Hard to identify the main entrance. There is an opportunity to bring out a bay to
see and identify the entrance.

A stronger identity to the main entrance from the parking lot has been provided in the form of an entry canopy. The upper portion of this facade has also been built out.

• Shading needed on south side.

Interior reflective blinds will accomplish this and are a requirement for all interior spaces.

 Consider providing stronger element at main entrance compared to individual shop entrances.

A stronger identity to the main entrance from the parking lot has been provided in the form of an entry canopy, a planter and trellis feature.

• Consider the following detail enhancements:

Sun screening on appropriate elevations/windows.

In lieu of exterior sunshades, we have proposed low 'E' glazing and internal reflective blinds.

Unique concrete revealing

The concrete reveals are quite numerous and we have provided accent colours at the corners in a deep green to reflect the quality of the green tinted spandrel glazing.

Unique canopy

The canopy has been raised to the main floor fascia height to allow for signage to be mounted to the walls below.

Landscaping

- Plant material is appropriate.
- Consider moving outdoor amenity to more 'public' location away from building tenant frontage. Question the location of amenity with respect to privacy to suites 103 or 102.

We believe that the amenity area will be used in the front of the building by the tenants and tables and chairs have been added to enhance the user experience. The peak usage period for this area will be midday through early afternoon when the sun is at its peak. This is the time when the unit's will most likely have their required interior blinds partially or completely closed so privacy should not be an issue.

Partially substitute permeable paving for asphalt.

Permeable paving has been provided along the south parking configuration for the width of the parking lot and will complement the site drainage system.

Provide storm water management.

By providing a permeable paving system on site, we are providing a significant amount of storm water management.

Bring landscaping into parking.

Landscaping is provided on available islands though out the parking lot.

Lighting in parking lot is minimal.

Lighting in the parking lot is to be as per the electrical consultant design to meet all CPTED requirements and has been reviewed and approved by the electrical consultant. We have added an additional fixture across from the main entry.

Provide tables and chair in amenity area outside of building.

Tables and chairs have been added to enhance the user experience.

Low water usage irrigation. Don't want water flowing along property.

Irrigation is low water usage.

CPTED

- There is not a strong criminal profile in that area.
- Have after hours bollards or a gate to lock parking area up after hours.

A gate has been proposed at the entry in the original DP submission and as per fire department comments; we will provide a lock box at this location for their access.

Accessibility

Improve access to units behind elevator core.

The entrance lobby has been reconfigured slightly to allow for stronger access to the front tenant spaces with glazing and visual cues.

Sustainability

Sufficient room for recycling in garbage enclosure?

A recycling program will be available to the building tenants to allow for proper disposal of sensitive documents. Cardboard recycling is provided in the garbage enclosure. See the revised enclosure drawings for a slightly enlarged plan.

 Consider higher efficiency heating and cooling system than standard rooftop equipment and split system.

A high efficiency system is provided with the current mechanical design as per the attached letter from the mechanical engineer and refers directly to the drawings that are currently in for building permit review.

• Exterior shading would save air conditioning load over the years.

See comments above.

Additional comments were brought up at a meeting with planning staff and we address those issues as follows:

- 1 The monument sign will have lighting for the letters only. The surround for all signage will be opaque. Signage on the building will have individual lit letters on a raceway as well.
- 2 The stamped asphalt and stamped concrete has been replaced with scored concrete at the request of city staff.
- 3 All building lighting is now shown on the elevations.
- 4 Landscaping restrictive covenant along the south property line is in the process of being registered.
- 5 We are still waiting for engineering and transportation to confirm the size of the required statutory right of way along 152nd and 54A Ave.

CITY OF SURREY



(the "City")

DEVELOPMENT PERMIT

NO.: 7910-0281-00

Issued To: PANORAMA BUSINESS CENTRE LTD., INC. NO. BCo804464

("the Owner")

Address of Owner: 13188 - 13 Avenue

Surrey, BC V₄A ₁B8

- 1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
- 2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 027-239-586 Lot 1 District Lot 167 Group 2 New Westminster District Plan BCP32709

5446 - 152 Street

(the "Land")

- 3. This development permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development permit.
- 4. The Land has been designated as a Development Permit Area in Surrey Official Community Plan, 1996, No. 12900, as amended.
- 5. The character of the development including landscaping and the siting, form, exterior design and finish of buildings and structures shall be in accordance with the drawings numbered 7910-0281-00(A) through to and including 7910-0281-00(Q) (the "Drawings") which are attached hereto and form part of this development permit.
- 6. Minor changes to the Drawings that do not affect the general form and character of the landscaping and the siting, form, exterior design and finish of buildings and structures on the Land, may be permitted subject to the approval of the City.

- 7. (a) The landscaping shall conform to drawings numbered 7910-0281-00(M) through to and including 7910-0281-00(Q) (the "Landscaping").
 - (b) The Landscaping shall be completed within six (6) months after the date of the final inspection of the buildings and structures referred to in the Drawings.
 - (c) Prior to the issuance of the building permit for this development, security is to be submitted to ensure satisfactory completion of the Landscaping. The security for the Landscaping is to be submitted as follows:

Cash in the amount of \$141,809.60 OR

An Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$141,809.60

(the "Security")

(d) The Security is for:

i. General Landscaping \$125,957.83ii. Riparian zone landscaping \$15,851.77

- (e) i. When the Landscaping is substantially complete as determined by the City, without the City having to use the Security, 90% of the original Security will be returned. When the Landscaping receives final approval by the City, not earlier than twelve (12) months after the date of substantial completion of the Landscaping, 10% of the original Security will be returned.
 - ii. If final approval of the Landscaping is not given by the City, the City has the option of using the Security to complete the Landscaping and any remaining money shall be returned. The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Landscaping.
 - iii. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.
- 8. This development permit replaces Development Permit No. 7900-0163-00.
- 9. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
- 10. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued, within two (2) years after the date this development permit is issued.

11.	The terms of this development permit or any who acquire an interest in the Land.	amendment to it, are binding on all persons
12.	This development permit is not a building per	mit.
	ORIZING RESOLUTION PASSED BY THE COD THIS DAY OF , 20 .	UNCIL, THE DAY OF , 20 .
		Mayor – Dianne L. Watts
		City Clerk – Jane Sullivan
OTHE THE T	NSIDERATION OF COUNCIL'S APPROVAL C IR GOOD AND VALUABLE CONSIDERATION ERMS AND CONDITIONS OF THIS DEVELO WE HAVE READ AND UNDERSTOOD IT.	, I/WE THE UNDERSIGNED AGREED TO
		Authorized Agent: (Signature)
OR		Name: (Please Print)
		Owner: (Signature)
		Name: (Please Print)

SCHEDULE A



OFFICE BUILDING 5446 152ND, SURREY, B.C.

P.J. LOVICK ARCHITECT LTD. 2nd Floor - 3707 1st Avenue Burnaby, B.C. 604 298 3700 ARCHITECTURAL

TITLE SHEET
CONTEXT PLAN
SITE SURROUNDINGS & PHOTOS
SITE PLAN
SITE SCHEMATIC PLAN
4 GRADING PLAN

AS1.1 AS1.1 AS1.2 AS1.3 AS1.3 AS1.4 AS2 AS3

LANDSCAPE PLAN
LANDSCAPE SHRUB PLAN
LANDSCAPE SHRUB PLAN
LANDSCAPE DIMENSIONS
LANDSCAPE SPECIFICATIONS
RIPARIAN LANDSCAPE PLAN

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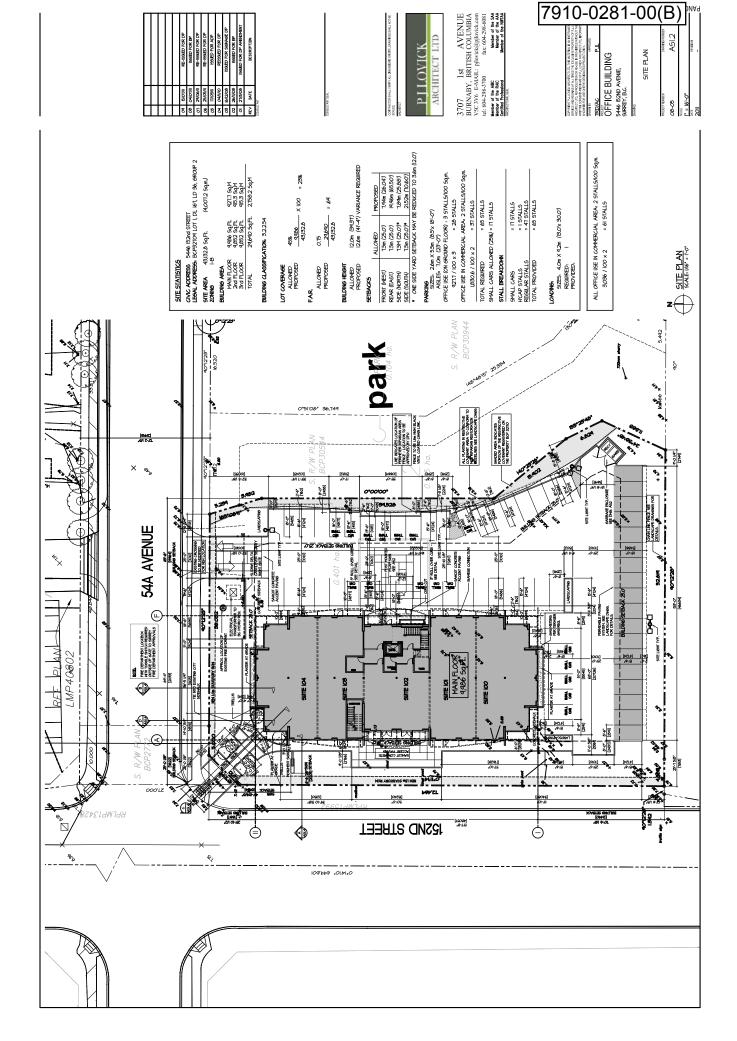
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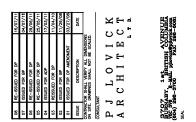
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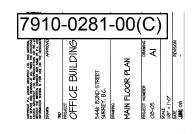
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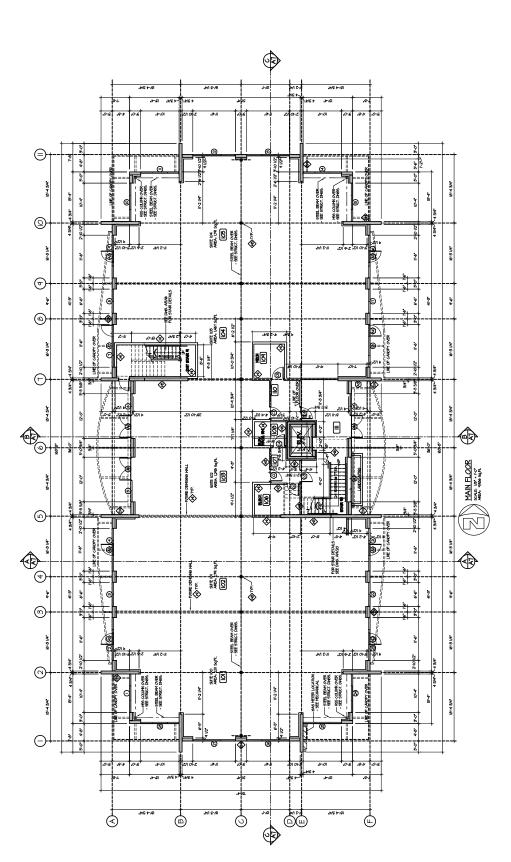
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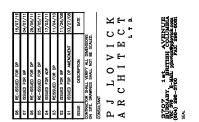
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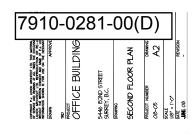


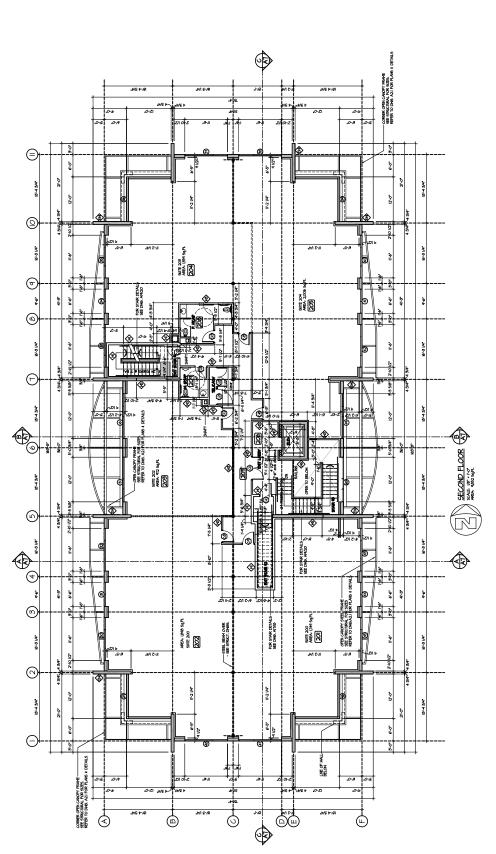


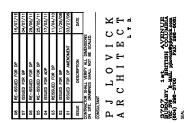




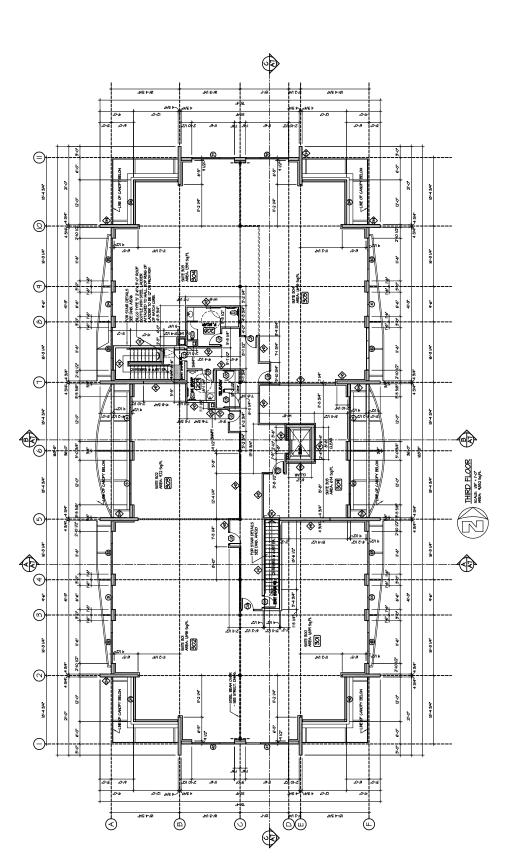


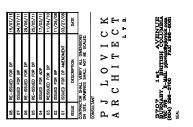


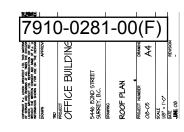


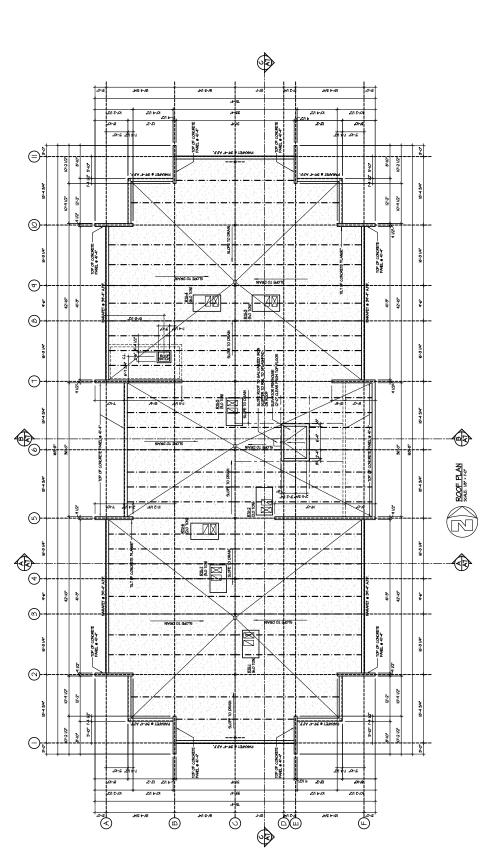




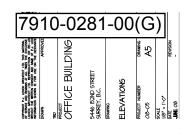


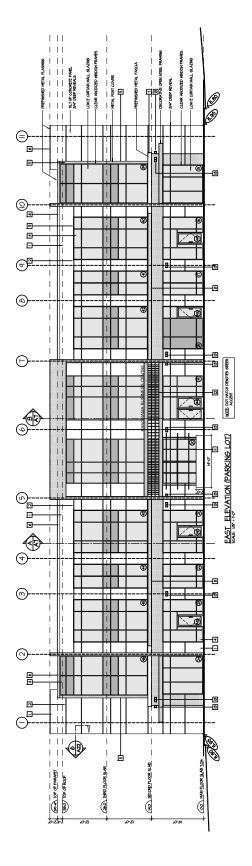


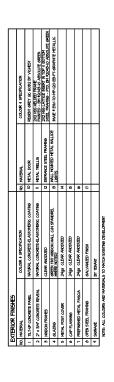


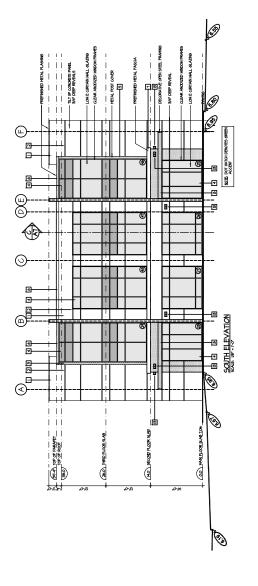


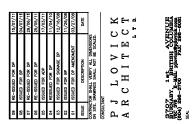




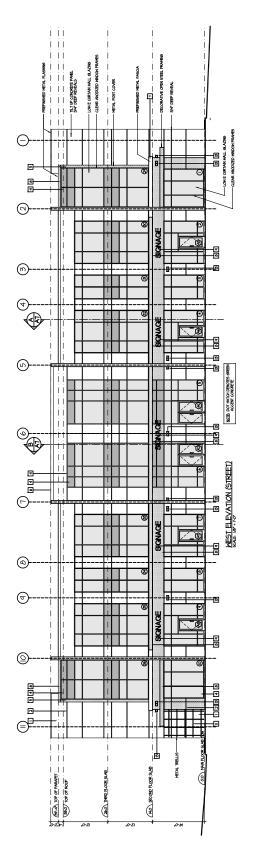


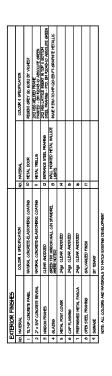


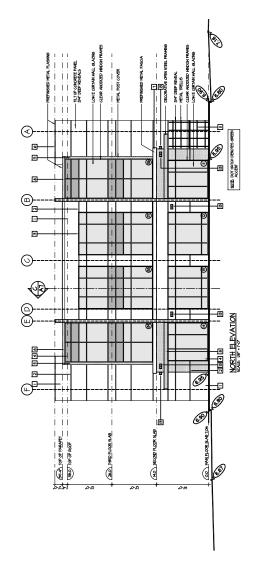


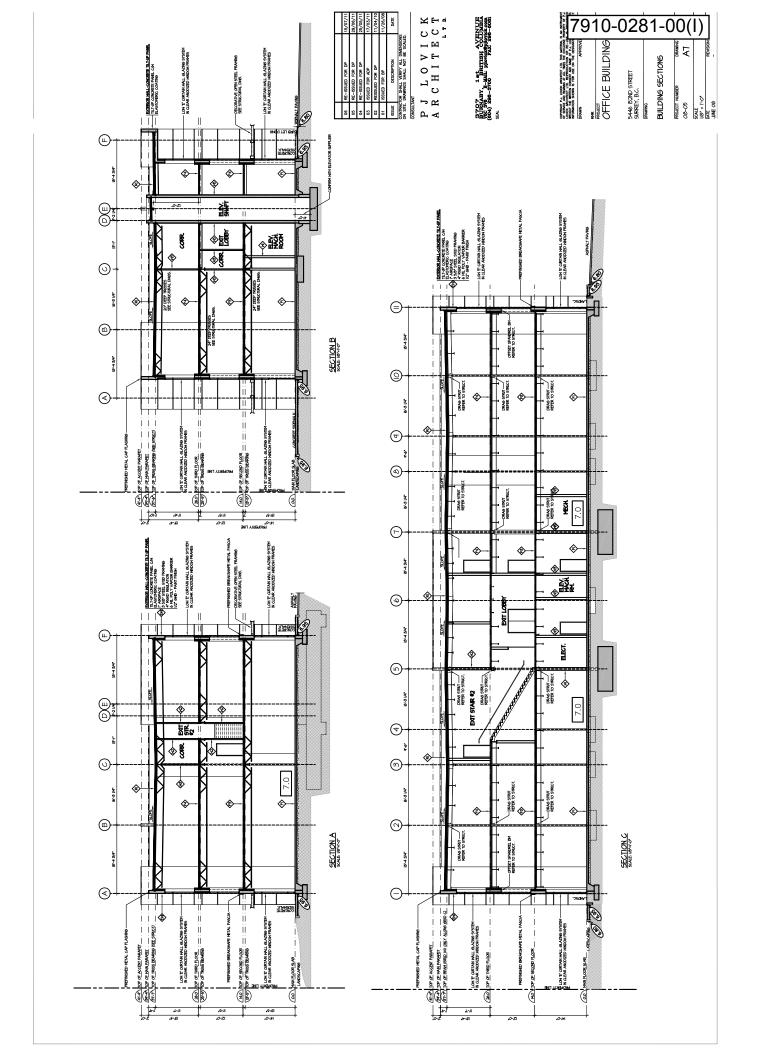


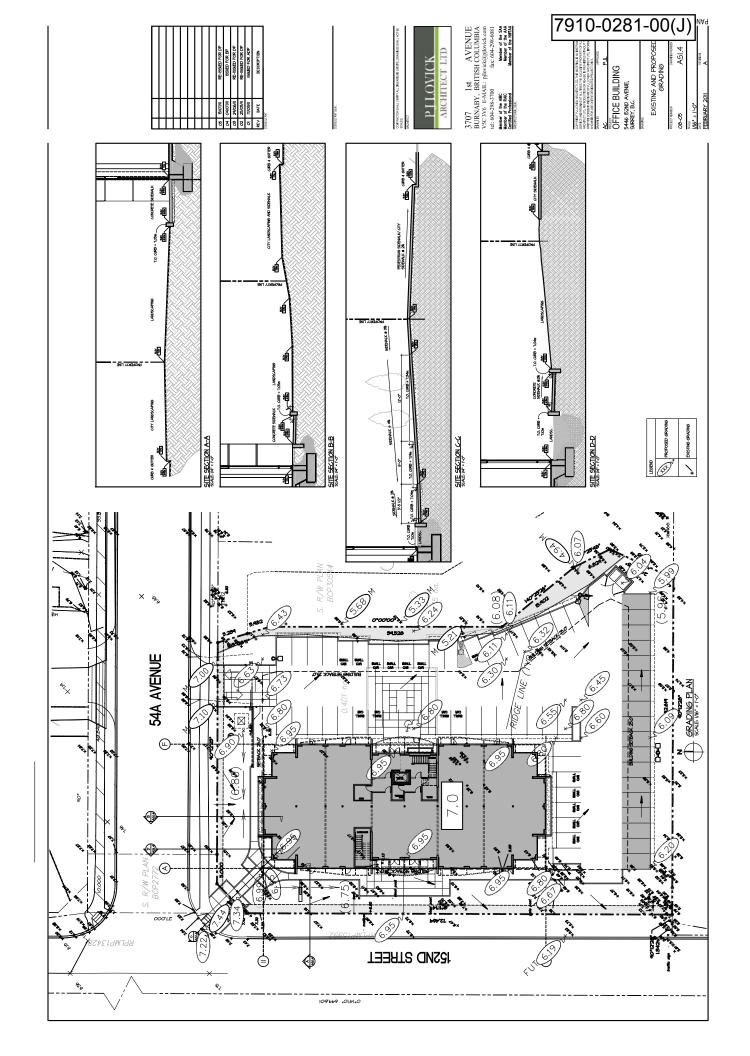
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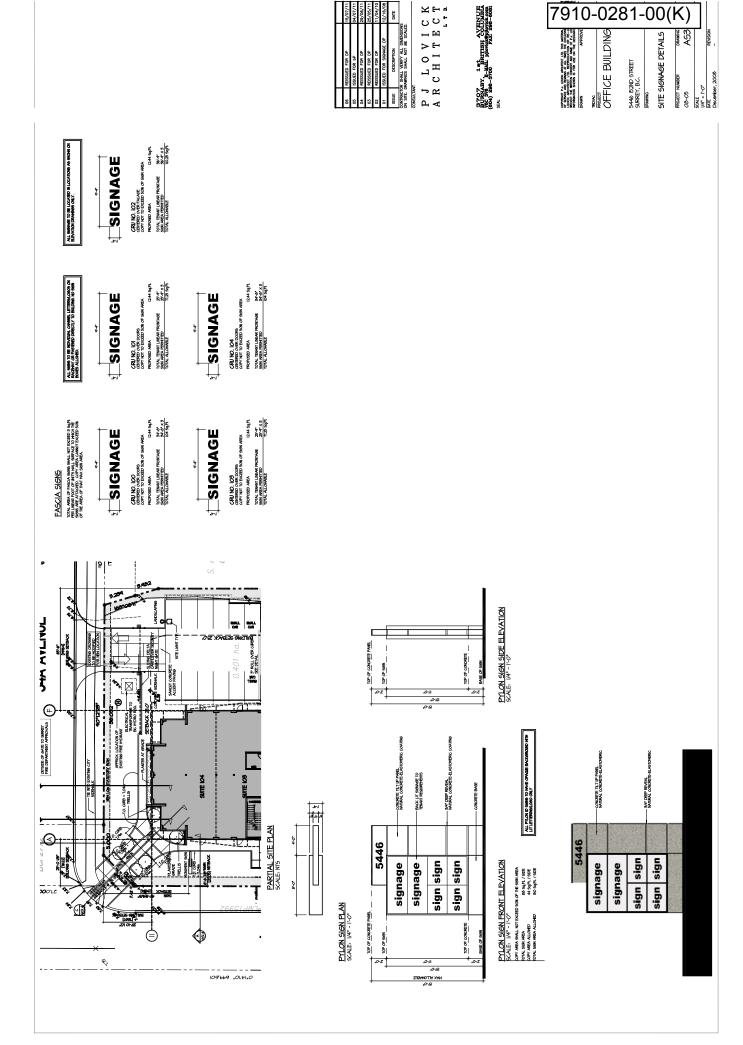


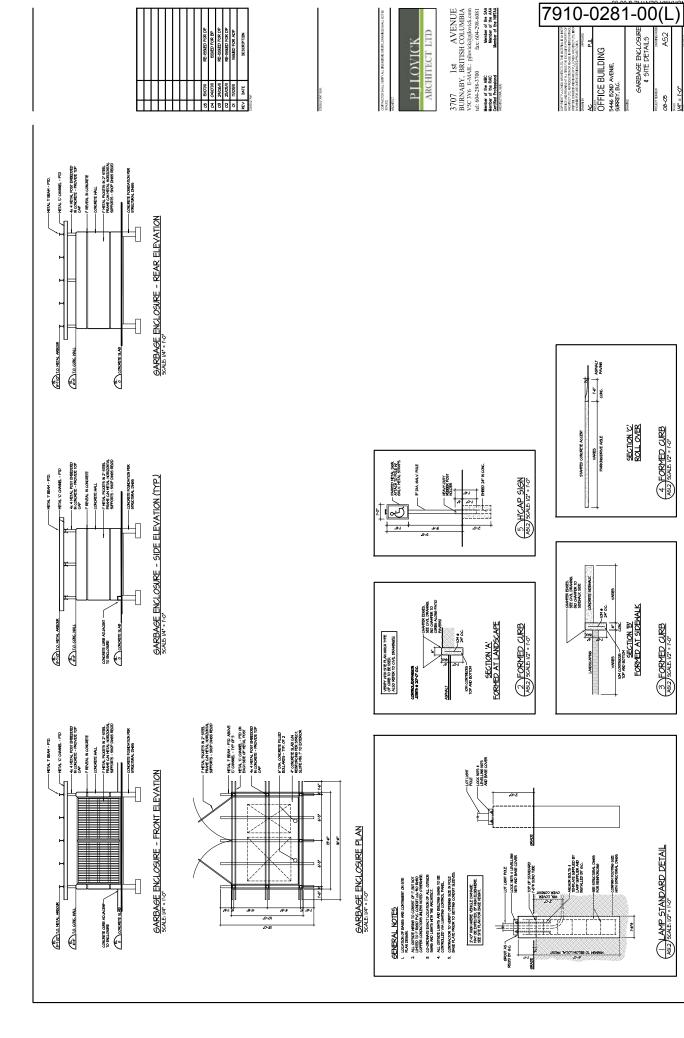




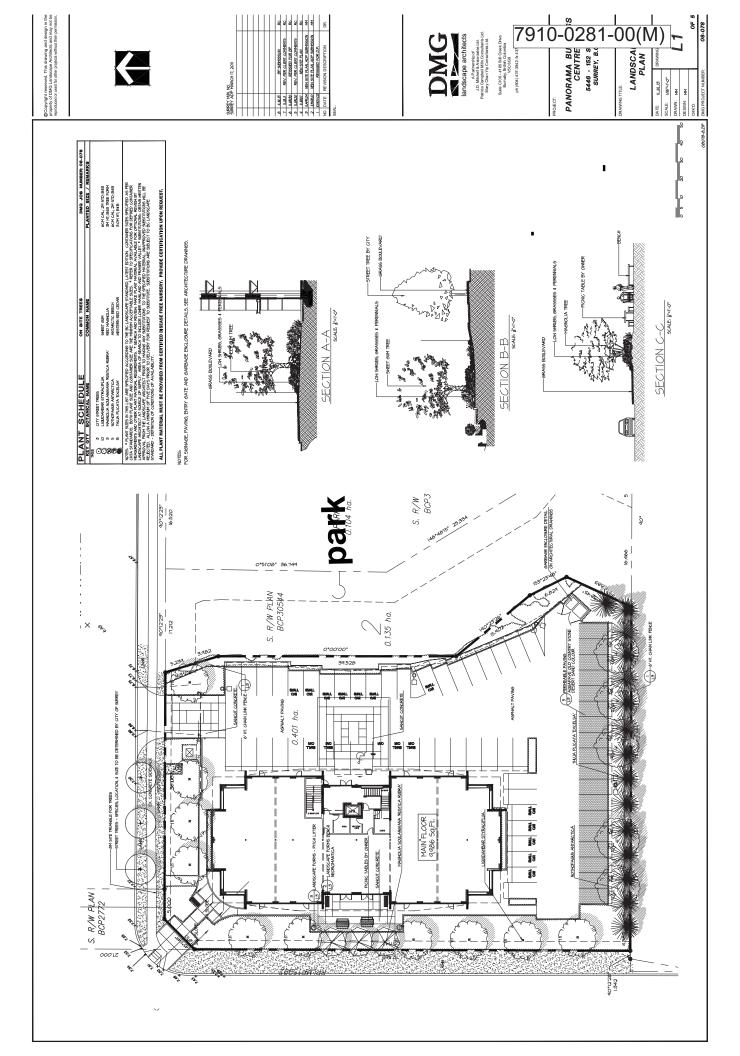






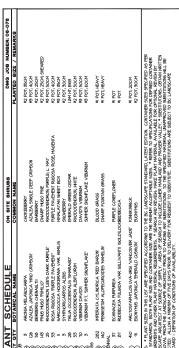


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PLA	FZ	PLANT SCHEDULE	RIPARIAN PLANT LIST	DMG JOB NUMBER: 08-078
KEY	KEY GTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
0	91	ACER CIRCINATUM	VINE MAPLE	35M HT, B4B, 3 STEM CLUMP
O	9	PSEUDOTSUGA MENZIESII	DOJGLAS FIR	L2M HT, B4B
(3	2	ARONIA MELANOCARPA	CHOKEBERRY	#2 POT, 35CM
Œ	=	MAHONIA AGUIFOLIUM	OREGON GRAPE HOLLY	#2 POT; 40CM
Q	2	ROSA RUGOSA	SHRIB ROSE	#2 POT, 40CM
E	-	SYMPHORICARPOS ALBUS	SNOWBERRY	#2 POT; 30CM
ß				
(E)	20	РОГҮБТІСНАМ МІМПІМ	MESTERN SMORD FERN	#I POT; 25CM
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Sule C100 - 4185 Sill Creak Burnaby, British Columbi V5C 6G9 ph (604) 437-3942; fx 437-8

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PANORAMA BUS CENTRE 5446 - 152 ST SURREY, B.C.

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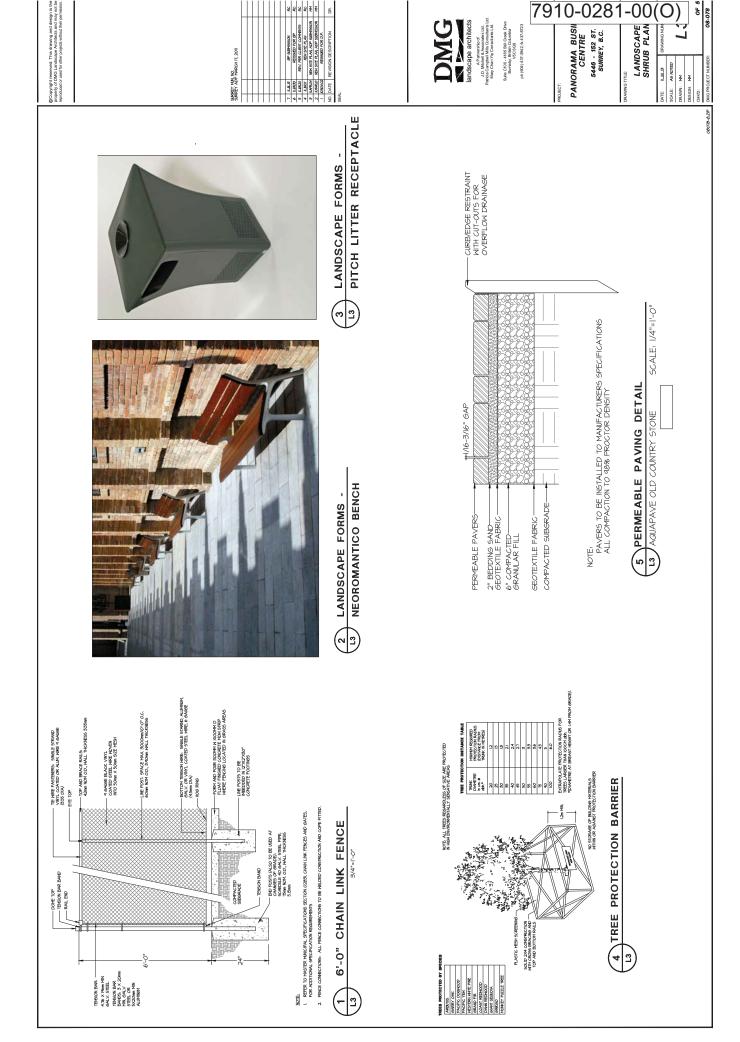
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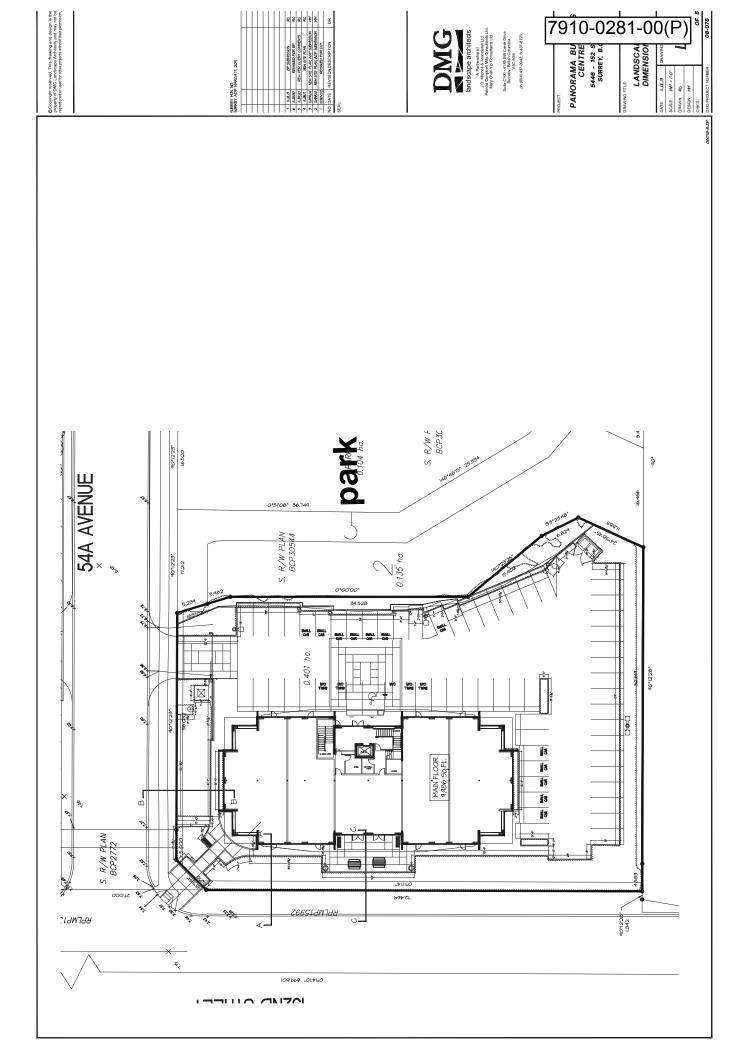
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PART ONE GENERAL REQUIREMENTS	PART THREE SOFT LANDSCAPE DEVELOPMENT	PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT	PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT
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ir this meding. 3. Propres St Wolfe is absent advertisated as were asset in copy the curre of the work. Review of defences support of the work may be dealt with on	Course that all planting areas are smeathly contented offer light compaction to finished grades. A. Eliminate stands unter from all chained crades. Provide a smeath firm and even surface and conferm is under shown on the Landscane Develops. De not exceed	Section 8, B.C. Standard for Turf	2. Mandenance Perside maintenance of instituted tendercaping for 12 months full most advantable completion.
any study must consider a company and a company of the study of the st	naciona and minima graditest defined by the B.C. Lendonage Stradard.	5 Specified lurigyess by over Befer in Table 2 below.	 respect acceptor as a Light-specified and service remains the remains the properties of the parameter period, there absold to little other. A. She Savine is addition to the impactions at substantial completion, all fault progress drux application, and at the ord of the guarantee period, there absold to little other.
freeing ken-instruct with and shall, their bands 1.4. Septemble Performance Perion of the "experience of the publishmen, decisions, pare touch, propertiens of decisions for semicondrians for comparison. 1.5. Confession of Consolition from the instruction of Consolition of Consolition for the Sections of The Consolition for the Decision of Consolition of Consolit	State of the categories for the major of the state o	TABLE 2 SPECIFED TURFORASS BY AREA Kees Description They Species The	reviews damy the It ments attended by the Contraction and a designated representative of the Chamir. Maintain a Jugbook and reporting procedures and submit to the designated representative.
Certifier at defined in the central. In Deficiency Device Poer to the completion of the budgest period, doubt for completion of deficiency. Once completed, a Schedule Y' will be bost where required.	- 8		 Schedung, Prepare a schedule of antiquent wints and submit to designated representation at text—ap. Neutronoce operations shall be carried out predominately during the growing account between Neur his and lavenables 20th, beavener violits at other lines of the year may be required.
THE MANUAL FOR A VEHICLE OF THE VEHICLE OF THE VEHICLE OF THE VEHICLE OF VEHI	Inform Landscape Architect of compaction of finish grade prior to placement of seed, used, plants or mulch. 1.1. ARRY COMMANDER 1.1. ARRY COMMANDER	see hydroseeding	6 Markenson Levis Comply with B. C. Landsongs Stradons, Section 13, Table 7, Nationalses Level Medium.
15 when haven. 1. Unless other-like activated in the Central Decembra. The proparation of the subgrade shall be the responsibility of the General Centralin. Placement of grading reclaim.	3. Nathed Work: Growing medium and Fishsh Grading, Grass areas, Trees Strubs and Grownforwers, Flashers, Crib Walds.	4. Uses The line shall be as defined in Section 22.3. Materials, Jodin of ratios recommended in required sall best. Selver to Section 3.4 for nethod.	 Instrument coupy with arm is on time approximation. Tertitizers in the requirements of the B.C. Lendocage Standard formulations and rather an required by and testing.
unitaries expresses a retropped of an exemple contact. Any exemple controller, in softies, all personal applies better settlers and the exemple of the exemp	A men above the transport of the source analyst indication of all analyst places are not an indicate pairs and above the source of the source	Cultivate into growing	3. Note the fact that shakes the second water new plants at least every few little days between April 514 and every hearty [XII days between Appil 524 and every hearty [XII days between Appil 124 and e
current tense haard by the appropriate authorities. 1. (Approximate transfer that approximate continue before states and before that and an annual continues to the states and before the	22 Detentie exict knotine if all existing viliables and shoulters and underground utilities give in connecting verit, which may not be include on drawlegs and conduct verit as an in perpendimental information of the include on drawlegs and conduct verit in the perpendimental information of the include on drawlegs and conduct verit in the include on drawlegs and conduct verit in the include on drawlegs and conduct verity in the include on drawlegs and conduct verification.	2	and described laget to and degreese that I ago above a set of critical properties and described laget to the degree of the set of the set of critical properties and described laget to the degree of the set of the set of critical properties and degree of the set of
A. Control learlies of all services before proceeding with any work.	3. Securities		or has not been completely included. Combacted applications of value milk to missed any when rainfall has preserved that yet required. A.2. Natio Reinstein nubbers in the england applications of water and applications are required. A.3. Which Reinstein nubbers in the england application of the england depths. A.3. Which Control Research in the england are now and the foreign encounter baseds are null solder to an another hand the based malled as a "F
Notify Leedscape Anchitect of any discrepancies. Online approval from Landacape Architect prior to deviating from the giams.	3.1 Ob trenches and bouldlass in scrueters with regiments of childs and specifications. 3.2 Lay chairs on prepared bod, from to line and grade with inverts smooth and free of sapp or high points. Ensure harrist of each pipe is in contact with bod throughout full jumps.		mension, by the use of includes. A. Pert and Dispose Control, larger of all practed areas for petst and disposes periodically and at least every two months during the graving presson by an experienced.
3	33. Conneces taking pipe at waiter and present in upstream describin. 33. A tay professible doubt an layer for the file and sub-participant. 35. Their interful into its concrete with manufacture of execution.	mercan manary instants parameters and provide a major in several FLAZ. And the L. Charles and an experience in section and appropriate and the several providers and places. Paper any denight next, re-pile to accesser, Learlin may be request in the Leadurge Architec's option, defining through the sed lone medium is impried.	AS The Signer is the factor of the control of the c
 Collect and dispose of all dobris motive motive motivation beam backcape operations. Temp paved surfaces down and require damage resulting from backcape uver. Supairs are to be completed prior to final exceptance. 	36 Do not allow when though the open during construction entage is approved by Engineer. 3.7 The autority of construction to entiting debate, over we entitling numbrates are catchesiates where indicated or as directled by Lendscape Architect. 3.8 The autority of construction to entiting numbrates are catchesiates where indicated or as directled by Lendscape Architect.	.3) Acceptance of Leve Areas The hart shall be reasonably well established, with no apparent food spoks or bare spoks and shall be reasonably free of weeds the BC. Landscape Standard, Section 19 Maintenance Level 3 Laparences, Use herboden if mentalary for weed remove, when when conclusion of control clocked from the land of the fiber.	is spanner in a parabolism course, as analysis or gry win about when are now only as a parabolism course, and the sale of the sale of the parabolism of the plant, carried and of the plant, carried and other plant, and objeting only if required in the maintenant contract in specific varieties or confirms.
3. Where new work connects with existing, and where existing work is altered, make good to maich existing undesturbed condition.	3.4 Polytomes may a term were per one or cap. 3.5 Servend and ever pipe will their new term of many respect to account of their account of their per per per per per per per per per pe	ast hide, areas meeting the conditions above will be taken over by the Gweer.	 Fertilating than draighte hadre much period of subdishment axierance fertiles shrate, tree and grandcovers according to soil analysis requirements. Force, Januar Couldishment
16 MARANTES Summers all maleriels and understocks for a minima serial of one MR war from the date of Certificials of Combidies.	3.11 Asservablent deringen. 3.12 Bod fill respirator in indicated. 3.83 Pretett sudewait (ven Intaktivo deriving bitstänken.	33 PANTS MPLANMS Contacts to distribution to the form and substant Book	 Water of the face of specifier, frighting system or other earthein to specifier to Gins I water of the 2 ground meet it is the face of th
	34. GOLNEN REJUN 155196. 34. GADAT representative souther souther research fee sou on this creater it as inchessed best results as Indicate Inflant state to	sparation of planting prior to commencement of planting operations.	an exposer in terrest, organization promise research in the man of the first an extension in the presspondence field opposity to the field depth of the green people. Apply when the substruction for field opposity, and field opposition of the green field opposition of the field opposition of the field opposition of the field of the field opposition of the field opposition of the field of the f
PART TWO SCOPE OF WORK	placing. Test result is include: 11 Project properties of content of years, cost, still, day and expect. 12 Project properties of these contents are contents to the contents and the contents and the contents are contents.		mand mithod, et in the teas of chemicals no majarors with the BLESLA MILLEA, Lendardy Estatroi Listed cellular Throughouse week in grande tens by a govern application of a suitable benicked if the week population careeds all breadest weeks or sweek grants govern enters. This application shall reduce the week application to serve.
2.3 SCHE OF MERK 3. Other conditions of Control into seats, Confine Scene of Ward of time of Hender.	33 Market levels of infestigate and tree elements and recommendations for required tool menufacets. 3. Carbon/Brogen level.	 These of Pearlings The Pearlings of proofcorers only desiry parties has an ental for such wark as determined by lack weather confilms when seasonal confilms are likely to overs exceeded admittable of pasts to their switchin. 	 Relitings London best and sales. Lining According to sold analysis. Lining According to sold analysis. Resign and Element. Resign and Element.
to omplete the work in accordance with the drawings and specifications and generally	35 Grinnia RIDIAN STRYY JUDPALICIBIST I Sopping in greeks and an experience of the Contract. Do not had, transport or spread growing median when it is so well that its structure is likely to be deapped. Galagoa.		who always ned or their mears when the great reaches a high of ideas. Now to a height of dam. Ogo with a mechanical verified ceiting obger more per year in Norch, sheaves at great objecting with the web call. As the chief a Learlian on treatment in the three greating sections, in the second greating search that with a sub-label mechanical cores. Core to a 1.6.
	2. Supply all grants median administers as required by the soil less. Amended grants median must meet the specification for grants median as defined in Table One for the	 Meire in B.C. Landscape Standard, Section 9, Plants and Paralley and in Section 12, BCLM, Standard Food for minimar shadderds. She for in May shadder in specific that are detailment these many with requirement of many shadders of the section of shadders from some of the section o	depth of Milms, K1, and reserve cores.
2.3. Finish Gening and Lenkrope Dismage. 2.3. Supply and personal of graving modes. 2.4. Februari Insperied graving modes and well as the februaries. 2.5. Februaries Insperied graving modes and well as februaries.	arrows and the required amendments into the full depth of the growing medium. 22. Special mines may be required for sarrious situatives. Refer to directloses.		THANGON THE GRAND SEASON, IN-LAND BETWEEN APPLYING AND APPLYING FOR EACH SQUARGE TO AN ORIGINATE THE PROPERTY OF SEASON WAS MANY UNTIL THE FIFTH AND AND THE SEASON OF THE
25 Supply and tecopyschion of definition to mark requirements of suit less and Table Dec. 25 Temperation for a thirting before, supply of parts independ and the last and Table Dec. 27 Properation of visual perso errors, could visual visual visual and seeding.	3 Pace the amended greating and an in all gross and plateling areas. Spread greating medium is soften layers not exceeding if 195mms, ever activates subgrade free of standing valves.	A recent of the country double constraint paint ones not present backquerir registria if any or as partially price, at the size, 3. Anashadity.	
2.3 Programment in the man in the second of a management of the second o	A. Mohiman depths of graving medium placed and compacted to \$256.	3.1 Area of secto incides the Lower Mission and Frazer Video, Refer to Ray Schools for any extension of area. 3.2 Supply proved of the availability of the specified plant enterial within 30 days of the award of the Contract.	
2.11 SEPAUL PRICE EL BARBARINA MAININANCE, Section 3.11. 2.12 Offere wars is not other than this last, not specified by Leadscape Architect.	A.1.1 Seeden and noticed from	 Supplication Substitution and a landscape Architect prior on adults are admitted in the specified and resid. Non-approved substitutions will be rejected. Also, a relation of 5 date rather to extend the substitution. 	
22 MATGAILS 1. Commander of the comment of the desirability of the comment of th	A.S. Tree Lings shirtle pits. Apply to conform to dayth of reethall - width shall be at least halot the reet hall with season shaped to the conformation of the reethall with season shaped to the conformation of the conformatio	A.3. Sabathatines are subject in M. Landscape Standard - definition of Conditions of Availability. 3. Plane Seviene & Lauritien.	
THE ONE PROPERTY OF GRANDE WITH THE CHILD'S COUNCING TO THE PROPERTY OF THE STATE O	A21 impated laws ————————————————————————————————————	3.1 Ranks shallbe from to some and of the height, calgacr and since of real half as above on the instrumentable plan plant schedule. Calgacr of front is to be liken of 15cm) above grade.	
Condon System of Sel Construction Leaves Cosmit Seaf in "Sendy Law". Applications Applications Leaves Leav	A.2.3 Leve althost extensit tripgine	3.2 Plant all specified species in the leading to show on the landscape drawing. Marify Landscape Architect if conficing reds or undergrand-freehood services are excountered of deep specified species will not be allowed after review of the proposed denistion for the Landscape Architect.	
Greeky Median Types 21. 20 20 20 20 20 20 20 20 20 20 20 20 20	Her fabri	3) Expension 1971 (September 2015) (Sept	
Tentur Percent Of Dry Meight of Teled Greekey Medium Course Genetic	5. Manually spread growing and annihilating soll annuh existing from, shrubs and obstacles.	The original grade the free sale green at	
Legar the Stee 1 - Th	6. In perimeter seeded grass areas, feather growing medium out its authing all edges and blood into existing grades.	 Desirange of Parting Nature reguland is an signed condition, break out the side of the planting pill to allow desirange down signer, and in first conditions, neural to relate the regular planting that single that independ preferred should be about and desirand index. In latest. 	
Percent Of Bry Weight of Growing Weitlan Excluding Gravel		2 Parking and Ferilibing Procedures	
John Till State Communication St - 80% Th - 90% 44 - 60% stabler than 20mm	 General, Rough great area or neted on the drawlegs as "Neigh Great." Treat all areas defined as rough great between all property lines of the project tectuating all businesseds to edge of reads and lates. 	3.1. There is received with the number of section of section of the section of	
St): 10 - 555 0 - 555	Proparation of Seritocar (n RELL Labstrage Standard Dats 3 Areas Rough gread Section 11.13 Debts entiting ship and productation and entities or Standard Dats and Reference and	3.2 This pathog bets by going from by the young modes are not prefer the wide the first with what is done to required to meet finish grade, Leave or air-viole. When 2.3 of the hypotal has been placed, apply cheficiar and the required on local this psycial relate. 3.3 Howe patholy infortion algorithm is noting rivers, any specied con a recommendation of the rest of space or altering from the state of the contract of the psycial contract of the psycial contract of the psychiatric and the psych	
X9 - 0 XX - 0	3 Time of Seeding Seed from early spring Speerical April hal had be lead Reptender Shish of each year. Further extensions may be obtained on concurrence of the Landscape Leadure.	23.4 Where trees are in lawn areas, previde a clean cal mathed 90hm IS 113 cleanter circle converse on the tree. 33. Stables of Trees	
npolepin 35X	A. Seed Soppile Testings. All seed mast he obtained from a recognised seed supplier and shall be No. I grass stitutes delinered in containers bearing the fedously informations.	 Use har 2's2'55 takes, uses supersed by markipal requirements. Set stakes minima 21t. in set. Do not drive stake through reviball. I have the true registry extraction of markipal registration and the set of the second research in the second research research in the second research resear	
35-58	A. Perenting of anti-seed type	33. Conferent Trees over 6.11 height Op, with three 2-citized wires IT gapgel. Drive these equilibriar around the love completely belon grade. 33. Three 6.11 is with off extremely belone, for an above using three designs (los, 72.73.71 barried to the auditors passible depth tests for a taken.	
foreign. Perculates will be such that he standing under in violate 60 minutes of the stand of minutes of moderate in heavy take or implates.	3. New Findlers, and less than the Thole do STIVely participants in the Politic Awartness's and as subject to code to approve. 335. Amenal Pape. 235. Amenal Pape.	And when the state were well regards sending.	
2. Fertition: An expant and/or incepant companed containing Niregen PM, Phosphain (DS), and Potent load backs (2) in propertions required by sail test.	SS Starm Processis lipe SS Kenterly inches and some of Wildinsers will librof feaces (Terraini, Gestra Wildinsers) with librof feace or pro-apported alternate. For Wildinser freats use anishne of Wildinsers will librof feaces (Terraini, Gestra Wildinsers) with librof feace or pro-apported alternate.	3.1. Link plants in the minute hotelasty to remove one or spiral areas are some and a spiral, a bit or in lease, out any ones, range that. Name all cats clean and of it is the brach collaries in a suites. Sugar effected areas so as not in reliable actor. Reserve damping material.	
 Line Union appointed Intesting free Inquirements of the Bit, Landscape Standard, the dation and pre-approace by the Landscape Architect. Recommended A Organiz Additive Commercial composed product to the requirements of the Bit, Landscape Standard, the dation and pre-approace by the Landscape Architect. Recommended 	 Fertiber: Recharics seeding App) a complete synthetic close-release fertilizer with maxima 55X valve suitable altrages and a formulation ratio of 19-19-19-1555. Soldmer area control. 25 and MISTABLE corter close and abstraction serveder. 	 Making Makin al plaining areas with an even layer of main in 2-122 - 2765 Sand depth. Confirm planes in a second press of the second press of the first planes of makin is even labeled. "Greenforce Iven" on Granings, Malch a 3.17 (White I depth of the green in laws second press of the fight. 	
suppliers the Auser Garben-Products, Frazer Statemed Seld at Flave, Stream Departer, Navagement. 5. Send Clean, verable group send to need requirements of the BLL Landscape Renderd.	3 Seeding, Agily seed at a raths of 195AH 1950s / sood with a mechanical squader, incorporate seed into the log VVV listed of sell and lightly compact.	36. Acceptance . Si.1. The exhibitiones of sit plant national is the responsibility of the Landscape Contractor.	
 Comparted Back Nation. Stem CLOTT inters for Newtonian Start Original forms, and exists, dark larmen in colours and free and all stall, stemes, revit or other colorations analiser. Fresh orange in colour harm will be rejected. 	3		
 Introduce and Pesticides: If used, most conform to sall referse, premoted and local citatives. Appliers must haif correct increase issued by the appropriate authorities in the area. 	Not be used as an alternate to enchanced seeding in rough gross areas. Not not be used to nesse at least relection assessment for the Landonson Anthritism of the National	22. Vehing (orders hSL Leatings Stands, School SSL -Maring and paramal) in falson. 22.1 Vehing (orders hSL Leating) Stands, School SSL -Maring and paramal in falson. 22.1 Vehing supplement institutional and hint he will extra careful in 19 XSR in SMS or filed capacity. When to the still depth of the not zone each files. The Owner or couponable in supply when it has noted in the Central C. Orden source of water pair in he pairs in which and the couponable with.	
 Filt From A non-badgedable banks or where filtering members has will allow the passage of water but not the and particles. Such as Mistal subset, GCORINA OR ANXES ASS or different product pre-approved by the Landacego Architect? 	3. Properties and Grounds Helders. 3. In series of Phoping Perform 2.5 About Gross.	3.3 We approprie among the control part of effects desaying all market. Confroit had links governing substant and publication control. 3.1. Para station design fails service after regional to the east public services and electronic by the Landscape Lectricis. 3.5 Application and the services and page services are applications and electronic by the Landscape Lectricis.	
Devise Pfring if replace Solvade 42 PTC vening sizes.	32 When appriend for one in ents of laws, coming with Section 34 Laws Areas Sedding. A. Prelection Ensure That Ferfilier in subdisin does not contact with the fellings of any frees, shrubs, or other seasopilities regardline. Do not spray seed or much on	All Abstracts received the control of the control o	
3. Unable Country, Andrea, Ser here a sension both if me and contrans on any and any any and any and any any and any any and any any any any any and any	objects an expected to grav grass. Provider exciting sits equipment, conducing, enforcess points, announcests, anchess and sirectores from damage. Where confamilyine secure, receive execting sizery is satisfaction of and by mean agrowed by the Landonger Architect	 New Yorks at insatisfying plant askenis cross from daugeabod "Sections" for a period of one Ill your after the Certificate of Congoline. Regions at unsatisfactory and regions at insatisfying plant askenis consistent of the Certificate of Completion. Suppose at unsatisfying the section for the new part of the certificate of Completion. Suppose at unsatisfying a period of two Ill years after the Certificate of Completion. 	
22 See Refer to Individual sections in this specification.	 Man David cannel of region or respect page three designed in Papental seeds of memory application. Il may respect page material for wall the state of the state o	specified for the expectations and the constitution in the contract of the constitution of the constitutio	
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5. Merillanear, Let after natural necessary is consider the excited as channes the drawing and described benits.	eligibles. It is placed to the former or exponent was more than the majorist will be applied. The discharge purps and gas notices shall be capalle of applied the natural anticerity over the designated area.	The same of the	

SURREY ANN NO. SURREY ADP MARCH 11, 2011

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