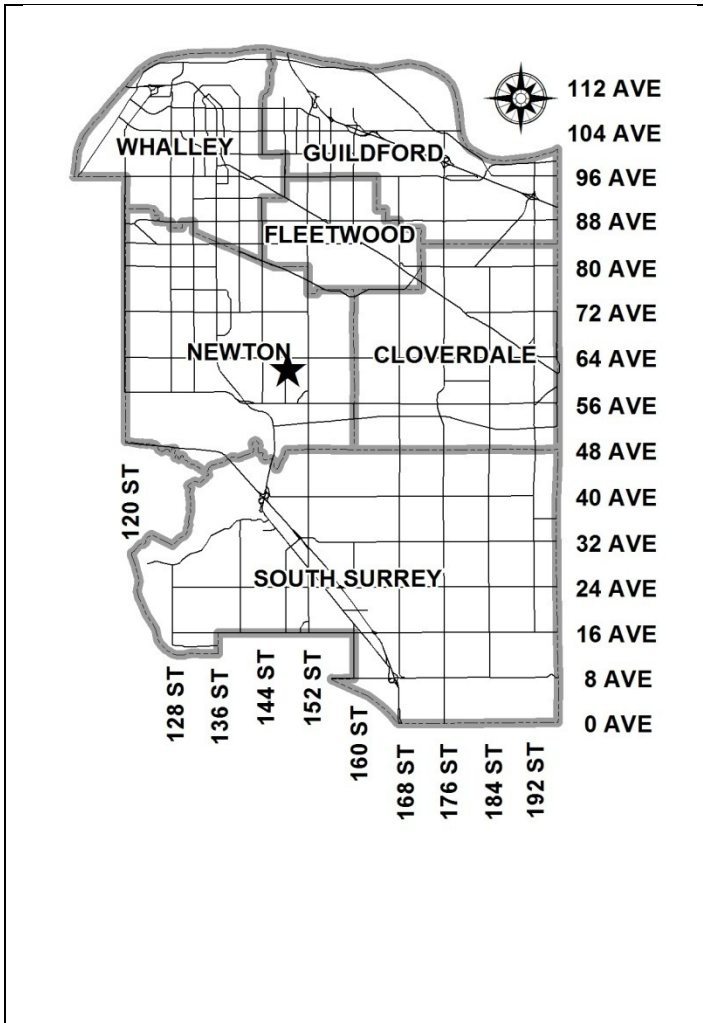


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7910-0293-00

Planning Report Date: July 11, 2011

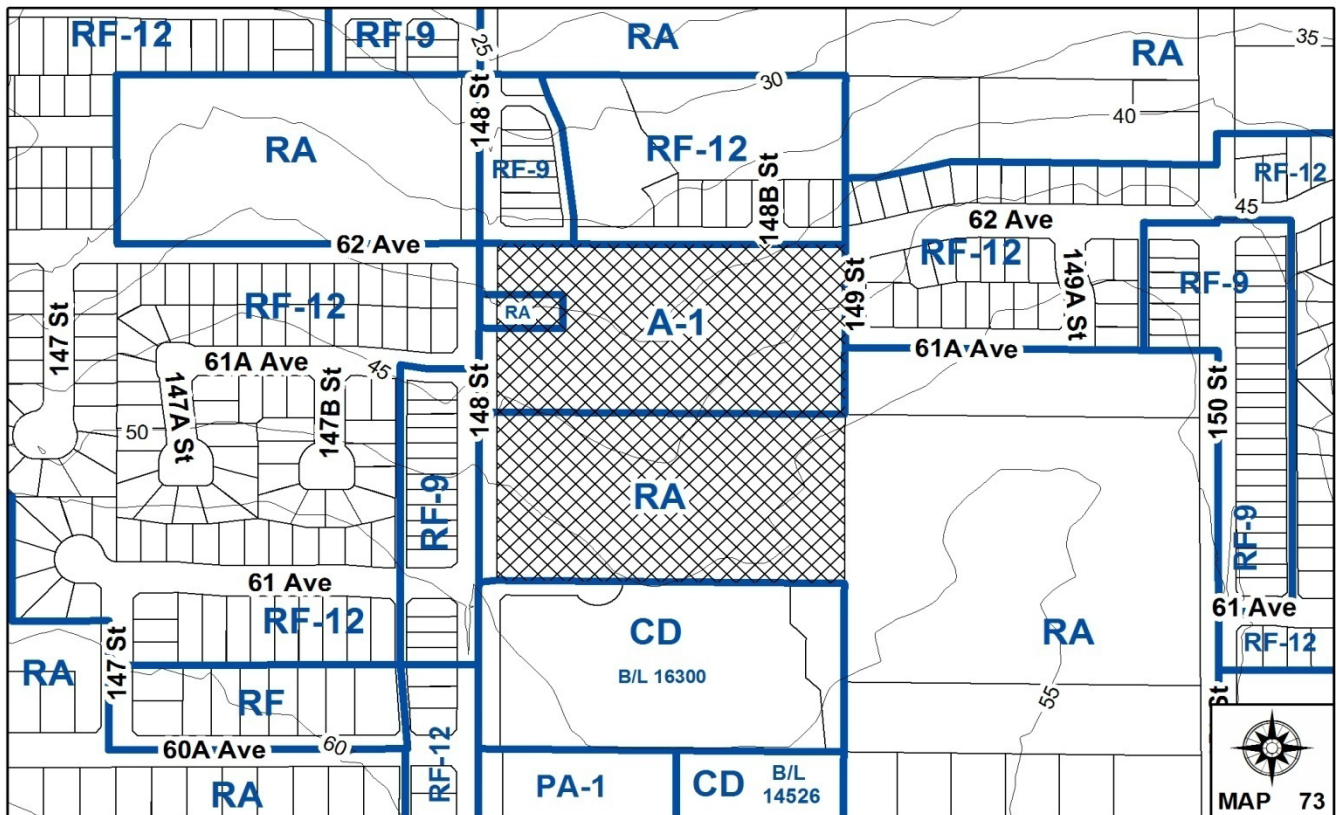


PROPOSAL:

- **Partial NCP amendment** from "Townhouses 15 upa max.", "Proposed Park and Walkway", and "Single Family Residential Flex 6-14.5 upa" to "Townhouses 25 upa Max."
- **Rezoning** from A-1 and RA to RF-12 and CD (based on RM-30)
- **Development Permit**

in order to permit the development of 119 Townhouses and associated amenities, open space and park corridor and subdivision to create six (6) RF-12 lots.

LOCATION: 6106 6146 and 6178 - 148 Street
OWNER: o875134 B C Ltd., Inc. No. o875134
ZONING: A-1 and RA
OCP DESIGNATION: Urban
NCP DESIGNATION: "Townhouses 15 upa max.", "Proposed Park and Walkway", and "Single Family Residential Flex 6-14.5 upa"



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Does not comply with NCP Designation. Needs partial NCP Amendment from "Townhouses 15 upa max.", "Proposed Park and Walkway", and "Single Family Residential Flex 6-14.5 upa" to "Townhouses 25 upa max".

RATIONALE OF RECOMMENDATION

- Complies with the OCP Designation.
- The proposed density and building form are appropriate for this part of South Newton.
- The proposal is consistent with a previously approved NCP Amendment on adjacent site to the south.
- The proposed development is sensitive to its surroundings, is complementary to existing housing forms in the area and proposes reasonable tree retention.
- Proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the South Newton Plan.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone a portion of the subject site from "One-Acre Residential Zone (RA)" (By-law No. 12000) and "General Agricultural Zone (A-1)" (By-law No. 12000) to Comprehensive Development Zone (CD) (By-law No. 12,000) and a date be set for Public Hearing.
2. a By-law be introduced to rezone a portion of the subject site, shown as Block A on Appendix VIII attached, from "General Agricultural Zone (A-1)" (By-law No. 12000) to "Single Family Residential (12) Zone (RF-12)" (By-law No. 12000) and a date be set for Public Hearing.
3. Council approve the applicant's request to reduce the amount of required indoor amenity space from 357 square metres (3,843 square feet) to 80 square metres (861 square feet).
4. Council authorize staff to draft Development Permit No. 7910-0293-00 generally in accordance with the attached drawings (Appendix II).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) input from Senior Government Environmental Agencies;
 - (d) the applicant enter into a P-15 agreement for monitoring and maintenance of replanting in the dedicated riparian areas;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) transfer of riparian area to the City and completion of parkland acquisition process for the park corridor
 - (g) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (h) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (i) completion of a character study and provision of an acceptable building scheme for the RF-12 zoned lots;
 - (j) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;

- (k) registration of a reciprocal access easement with the adjacent property to the south for the drive connection on the eastern portion of the townhouse site; and
 - (l) the applicant adequately address the impact of reduced indoor amenity space.
6. Council pass a resolution to amend the South Newton NCP to re-designate the proposed townhouse portion of the site from "Proposed Park and Walkway", and "Single Family Residential Flex 6-14.5 upa" to "Townhouses 25 upa max." when the project is considered for final adoption.

REFERRALS

- Engineering:** The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- School District:** **Projected number of students from this development:**
- 21 Elementary students at Cambridge Elementary School
10 Secondary students at Sullivan Heights School
- (Appendix IV)
- The applicant has advised that the first phase of dwelling units in this project are expected to be constructed and ready for occupancy by summer 2012.
- Parks, Recreation & Culture:** The Parks Recreation and Culture Department generally supports the proposal.
- A P-15 agreement is required for monitoring and maintenance of replanting in the dedicated riparian areas.
- Department of Fisheries and Oceans (DFO):** A Class B protected watercourse, which is a Hyland Creek tributary, bisects the site in a north-south direction.
- Based on the environmental report prepared for this development proposal by Enkon Environmental Limited DFO has agreed that a riparian setback of a minimum 15.0 metres (49 ft.) and averaging 20 metres (66 ft.) from the top of bank will be established and that the riparian areas will be conveyed to the City, to ensure proper stewardship of the environmentally sensitive area. The applicant will also remove obstructions from the stream bed and re-vegetate the riparian area with appropriate native plantings.

SITE CHARACTERISTICS

Existing Land Use:

The site consists of three parcels having a total area of approximately 3.79 hectares (9.4 acres). Currently vacant, the site is largely wooded with deciduous trees and is bisected by an unnamed Class B tributary of Hyland Creek.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 62 Avenue):	Single family homes.	Urban /Single Family Residential Flex 6-145 upa	RF-9 and RF-12
West (across 148 Street):	Single family homes.	Urban / Single Family Small Lots	RF-9 and RF-12
South (Across 61 Avenue):	Townhouses (under construction).	Urban/ Townhouses 25 upa max.	CD
East:	Cambridge Elementary School and single family homes.	Urban / Schools, Single Family Residential Flex 6-14.5 u.p.a.	RA and RF-12

DEVELOPMENT CONSIDERATIONS

Subject Proposal

- The 3.79 ha (9.4 acres) site is three parcels currently zoned "One-Acre Residential Zone (RA)" and "General Agricultural Zone (A-1)". The application is to rezone to a "Comprehensive Development Zone" (CD) and Single Family Residential (12) Zone (RF-12) to accommodate a proposed 119-unit townhouse development, greenbelt (riparian protection area), park corridor and six single family lots. A Development Permit is also required to allow the townhouse development.
- The applicant proposes to reconfigure the site and subdivide into ten lots, including two development lots for the 119 townhouses, one lot for a parks corridor, one lot for a riparian protection area and six single family lots.
- The project proposes a unit density of 25 upa. This area is currently designated "Townhouses 15 upa max.", "Proposed Park and Walkway", and "Single Family Residential Flex 6-14.5 upa" in the South Newton NCP; therefore, an NCP amendment to re-designate the proposed townhouse portion of the site to "Townhouses 25 upa max." is needed.

Background and Site Context

- The subject site is located east of 148 Street, between 62 and 61 Avenues. The site is adjacent to an existing townhouse project (under construction) that previously achieved an NCP amendment from "Townhouses 15 upa max" to Townhouses 25 upa max. The subject properties had previous application to develop single family lots, which was granted third reading in 2007 (Project No. 7904-0305-00). The properties have since changed hands and the previous application cancelled.

JUSTIFICATION FOR PLAN AMENDMENT

- Despite the increase in proposed density the design is sensitive to its surroundings, is complementary to existing housing forms in the area and proposes reasonable tree retention.
- The proposed density is consistent with the density on the adjacent site to the south that resulted from a previously approved NCP Amendment.
- The proposal results in larger riparian protection area than would be achieved with a single family subdivision. The proposal also results in significant riparian enhancements.
- The site has been designed to mitigate interface issues with adjacent properties through setbacks, building orientation and massing, and tree retention. The inclusion of six RF-12 lots at the northeast corner addresses the interface issues at this location by mirroring the housing type on the opposite side of 149 Street.

PROPOSED CD BY-LAW

- The proposed CD By-law (Appendix VII) is divided in to "Block A" and "Block B".
- Block A and Block B will be similar to the RM-30 Zone. The requirements for each block vary slightly but taken together conform to the following requirements:
 - The unit density is 25 upa, which is less than the 30 upa permitted under RM-30 but is consistent with the proposed "Townhouses 25 upa max." NCP designation.
 - The FAR of 0.90 is permitted in the RM-30 Zone. The applicant is proposing an actual FAR of 0.77, which is below this standard.
 - Permitted RM-30 site coverage is 45%, the applicant is proposing overall site coverage of only 42% with the reduction included in the proposed CD Bylaw.
- The proposed minimum setbacks for principal and accessory buildings in the CD By-law are reduced from the RM-30 Zone. The setbacks have been reduced to varying degrees in different locations. In each case the reduction was considered in light of streetscape impacts, CPTED, adjacent existing or proposed land uses, building orientation, privacy and liveability of proposed units. Staff feel that the following setbacks are supportable:

- Block A (West of Riparian Area):

	<i>Front Yard (62 Avenue)</i>	<i>Front Yard (61 Avenue)</i>	<i>Side Yard (148 Street)</i>	<i>Side Yard (East)</i>
Setback	7.5 m [25 ft]	3.0 m [10 ft]	4.0 m [13 ft]	5.0 m [16 ft]

- **Block B** (East of Riparian Area):

	<i>Front Yard (62 Avenue)</i>	<i>Rear Yard (South)</i>	<i>Side Yard (East)</i>	<i>Side Yard (West)</i>
Setback	4.5 m [15 ft]	3.6 m [12 ft]	4.0 m [13 ft]	7.1 m [23 ft]

- The proposed CD-Zone is compared to the RM-30 Zone in the table below:

	RM-30 Zone	Proposed CD Zone (Based on RM-30)
Density (unit density and FAR)	30 units per acre 0.9 FAR	25 units per acre (max) 0.77 FAR (max)
Lot Coverage	45%	42% (max)
Setbacks (Block A)	7.5 m (25 ft)	North: 7.5 m (25 ft) South: 3.0 m (10 ft) East: 5.0 m (16 ft) West: 4.0 m (13 ft)
Setbacks (Block B)	7.5 m (25 ft)	North: 4.5 m (15 ft) South: 3.6 m (12 ft) East: 4.0 m (13 ft) West: 7.1 m (23 ft)
Principal Building Height	13 metres (43 ft)	11 metres (36 ft)

SUBDIVISION LAYOUT

- The applicant proposes to reconfigure the site and subdivide into ten lots, including two development lots for the 119 townhouses, one lot for a 10-metre wide parks corridor, one lot for a riparian protection area and six single family residential lots.
- The two townhouse lots are located on either side of the riparian area and parks corridor and have a total area of 1.9 hectares (4.7 acres)
- The riparian area and adjacent park corridor will be located on separate legal parcels and both will be transferred to the city after development.
- The six single family lots front onto 149 Street and conform to the requirements of the RF -12 Zone. These lots range in size from 322 square metres (3,461 ft²) to 376 square metres (4,045 ft²). Prior to final adoption, the applicant will be required to submit a character study and register a building scheme on these lots to ensure that the homes constructed are compatible with the existing neighbourhood.

DESIGN PROPOSAL AND REVIEW

Context

- The surrounding neighbourhood is newly developed with a mix of townhouses (existing and under construction) and single family small lots (RF-9 and RF-12). The southern portion of the property bounds Cambridge Elementary to the east.

Access & Pedestrian Circulation

- Block A:
 - This block is located on the west side of the site with frontage on 62 Avenue, 61 Avenue and 148 Street. The block has a single internal driveway running the length of the site in a north-south direction, parallel to 148 Street. The units facing 148 Street each have an individual walkway to the ground level front doors. An outdoor amenity area on the west side of the site also provides a mid-block pedestrian connection to the sidewalk on 148 Street.
- Riparian Area/ Park Corridor:
 - This portion includes a 10 metre (33 foot) wide linear park corridor running along the east side of the riparian area. The corridor will include pathway running its length that will connect to existing pathways previously constructed to the south. Once in place, this corridor will complete an off-street trail network running from 60 Avenue in the south to 62 Avenue in the north with a connection to the cul-de-sac at 61 Avenue.
- Block B:
 - This block is located to the east of the riparian area and park corridor. The block has a north-south driveway connection running from 62 Avenue to connect with an existing driveway on the townhouse site to the south. This connection will need to be secured with a reciprocal access easement prior to final adoption. Pedestrians will have access to the off-street trail network and the units fronting 62 Avenue have individual walkways to the ground level front doors.

Form & Character

- The proposed 119 unit townhouse project consists of 39, 2-bedroom, and 80, 3-bedroom units in 23 buildings, with an average floor area of 124 square metres (1,335 sq.ft.) per dwelling unit. All the units feature an outdoor patio or deck.
- Of the 119 units, 14 have double, side by side, garages and the remainder have a tandem parking arrangement. All of the side-by side garage units are located on the eastern portion (Block C) of the site. In addition, 24 visitor stalls have been provided, bringing the total parking count to 262 stalls.
- The site is relatively steep. On the east half of the site the buildings have been stepped into the hillside allowing many of the units to have walkout rear yards from the main living level. On the west half of the site the buildings are oriented north-south and are stepped down in blocks of two, which creates a roofline and building pattern that mimics the pattern of the RF-9 lots across 148 Street.

- The design incorporates significant detailing such as boxed windows, shutters, projecting dormers, wooden brackets, porticos, columns and pilasters that add depth and interest to the facades of the buildings.
- Cladding materials include a variety of different materials in two distinct colour palettes. The primary cladding consists of vinyl siding products, though a variety of bevel widths and colours are provided and the design makes use of significant amounts of vinyl shingles.
- Strong brick elements have been included on the fronts of many buildings with extensive use of brick on the street fronting elevations, and areas of painted wood and fibre board.
- Wooden trim has been included around all doors and windows and on all building corners which further contains and breaks up the areas of vinyl siding. The roof will be covered with "Pewter Grey" asphalt shingles.

Tree Retention, Landscaping & Sustainability Principles

- The applicant retained Michael J Mills Consulting to conduct a site inspection and prepare an arborist report for the site. The arborist report identified 187 protected trees in the developable portion of the site of which 17 are to be retained and 170 are to be removed. A finalized tree management plan must be submitted prior to final adoption.
- In addition to the on-site trees, the Arborist identified 149 trees within the surrounding municipal lands, riparian protection zone and park corridor. Many of these trees will also be saved.
- The chart below provides a summary of the tree retention and removal on the subject site:

Tree Species	Protected Trees	Proposed for Retention	Proposed for Removal
Big Leaf Maple	24	5	19
Cottonwood	11	0	11
Douglas Fir	20	9	11
Paper Birch	7	0	7
Lombardy Poplar	3	0	3
Western Red Cedar	12	0	12
Alder	106	2	104
Sitka Spruce	1	1	0
Cascara	1	0	1
Lawson Cypress	1	0	1
Grand Fir	1	0	1
TOTALS	187	17	170

- To complement the retained trees on the site, the applicant proposes substantial landscaping. The landscaping plan includes a combination of trees (276 replacement trees) and shrubs in a variety of species.

- Other plantings include a variety of flowering shrubs, grasses and ground covers that soften the hard surfaces of the site, mark walkways and driveways and help define the transitions between private and semi private spaces.
- There are two outdoor amenity areas, designed to encourage use by families and residents. The open spaces promote active and passive recreation and the use of mixed planting softens the hard landscape and reduces runoff. The proposed outdoor amenity space of 358 square metres (3,853 sq.ft.) meets the outdoor amenity space requirement for this site under the Zoning By-law. A portion of the outdoor amenity space is provided on each of the development areas.

Environmental Requirements

- The applicant retained Enkon Environmental Limited to undertake a site inspection and prepare an environmental report for consideration by the City's Environmental Review Committee (ERC).
- The environmental report was considered by the ERC at the January 19, 2011 and February 23, 2011 ERC meetings. At the meetings it was agreed that a riparian setback of not less than 15 m (49 ft) and averaging 20.0 m (66 ft) would be established and that the riparian areas would be conveyed to the City, to ensure proper stewardship of the environmentally sensitive area.
- The applicant will also re-vegetate the riparian area with appropriate native plantings and improve the stream by removing blockages and clearing out the non-natural debris that has accumulated over time. A P-15 agreement will be required for monitoring and maintenance of replanting in the dedicated riparian areas.

ADVISORY DESIGN PANEL

The application was not referred to the ADP for review. The design and landscaping were reviewed by staff and found acceptable.

PRE-NOTIFICATION /CONSULTATION

- Pre-notification letters were sent on February 28, 2011. No comments from the public were received.
- A development sign outlining the proposed project and required NCP Amendment was installed on the property on March, 2011. No comments from the public were received.
- The proposed NCP Amendment uses also required additional public consultation in the form of a Public Information Meeting (PIM). This meeting was held on March 28, 2011. The applicant reports that a total of 5 residents signed in to the meeting. Four comment sheets were submitted with general concerns being expressed about traffic and safety on 62 Avenue and 148 Street and lack of capacity at local schools. Another common comment was a preference for single family dwellings on the site rather than Multi-family Townhouses.

(The applicant will be dedicating addition road width to facilitate the completion of 148-Street to its ultimate, arterial standard, which would improve congestion in the area. The 62 Avenue has previously had traffic calming measures (speed humps) installed. The applicant advises that the previous single family development proposed for the site was not viable and consequently did not proceed past third reading.)

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets and Survey Plan
Appendix II.	Proposed Subdivision Layout, Site Plan, Building Elevations, and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	NCP Plan
Appendix VII.	Proposed CD By-law
Appendix VIII.	Zoning Block Plan

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Formworks Architectural and Durante Kreuk Ltd., respectively, dated May, 2011.
- Watercourse Assessment prepared by Enkon Environmental Ltd., dated December 6, 2010.

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

MN/kms

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Chris Kay ~ Fairborne Homes
 Address: 1450-1090 West Georgia Street
 Vancouver, BC
 V6E3V7

 Tel: 604-687-8686

2. Properties involved in the Application
 - (a) Civic Addresses: 6178, 6146 and 6106 - 148 Street

 - (b) Civic Address: 6178 - 148 Street
 Owners: 0875134 BC Ltd., Inc. No. 0875134
 Director Information:
 Christopher Philps

 Officer Information as at March 3, 2011
 Christopher Philps (President, Secretary)
 PID: 012-136-107
 Parcel "One" (Reference Plan 21815) Lot 40 Section 10 Township 2 New Westminster
 District Plan 1361

 - (c) Civic Address: 6146 - 148 Street
 Owners: 0875134 BC Ltd., Inc. No. 0875134
 Director Information:
 Christopher Philps

 Officer Information as at March 3, 2011
 Christopher Philps (President, Secretary)
 PID: 012-136-115
 Lot 41 Except: Parcel "One" (Reference Plan 21815) Section 10 Township 2 New
 Westminster District Plan 1361

 - (d) Civic Address: 6106 - 148 Street
 Owners: 0875134 BC Ltd., Inc. No. 0875134
 Director Information:
 Christopher Philps

 Officer Information as at March 3, 2011
 Christopher Philps (President, Secretary)
 PID: 007-276-630
 Lot 41 Section 10 Township 2 New Westminster District Plan 1361

3. Summary of Actions for City Clerk's Office

- (c) Introduce a By-law to rezone the property.

SUBDIVISION DATA SHEET (Single Family)

Proposed Zoning: RF-12

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	0.7 ac
Hectares	0.28 ha
NUMBER OF LOTS	
Existing	1
Proposed	6
SIZE OF LOTS	
Range of lot widths (metres)	
Range of lot areas (square metres)	322 – 376 sq. m.
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	21.0 upa / 8.5 upa
Lots/Hectare & Lots/Acre (Net)	28.8 uph / 11.6 upa
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	
Estimated Road, Lane & Driveway Coverage	
Total Site Coverage	
PARKLAND	
Area (square metres)	
% of Gross Site	
	Required
PARKLAND	
5% money in lieu	NO
TREE SURVEY/ASSESSMENT	YES
MODEL BUILDING SCHEME	YES
HERITAGE SITE Retention	NO
BOUNDARY HEALTH Approval	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO

DEVELOPMENT DATA SHEET (Townhouse)

Proposed zoning: CD (based on RM-30)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		3.79 ha [9.36 acres]
Road Widening area		3,471 sq. m. [37,363 sq. ft.]
Undevelopable area		1.54 ha [3.8 acres]
Net Total		1.90 ha [4.7 acres]
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	42%
Paved & Hard Surfaced Areas		
Total Site Coverage	45%	42%
SETBACKS (Minimum)		
148 -Street	7.5 m [25 ft]	4.0 m [13 ft]
62 - Avenue	7.5 m [25 ft]	4.5 m [15 ft]
61 - Avenue	7.5 m [25 ft]	3.0 m [10 ft]
South	7.5 m [25 ft]	3.65 m [12 ft]
BUILDING HEIGHT (in metres/storeys)		
Principal	13.0 m [43 ft] / 3 storeys	13.0 m [43 ft] / 3 storeys
Accessory	4.5 m [15 ft] / 1 storey	4.5 m [15 ft] / 1 storey
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		39
Three Bedroom +		80
Total		119
FLOOR AREA: Residential		14,737 sq.m. [158,632 sq. ft.]
TOTAL BUILDING FLOOR AREA		14,737 sq.m. [158,632 sq. ft.]

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	62.99 uph	62.49 uph
# of units/ha /# units/acre (net)	25 upa	25 upa
FAR (net)	0.90	0.77
AMENITY SPACE (area in square metres)		
Indoor	357 sq m [3,843 sq ft]	80 sq m [861 sq ft]
Outdoor	357 sq m [3,843 sq ft]	358 sq m [3,853 sq ft]
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed	78	78
3-Bed	160	160
Residential Visitors	24	24
Institutional		
Total Number of Parking Spaces	210	210
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		105 / 88%
Size of Tandem Parking Spaces width/length	6.1 m x 3.2 m [20 ft x 10.5 ft]	6.1 m x 3.2 m [20 ft x 10.5 ft]

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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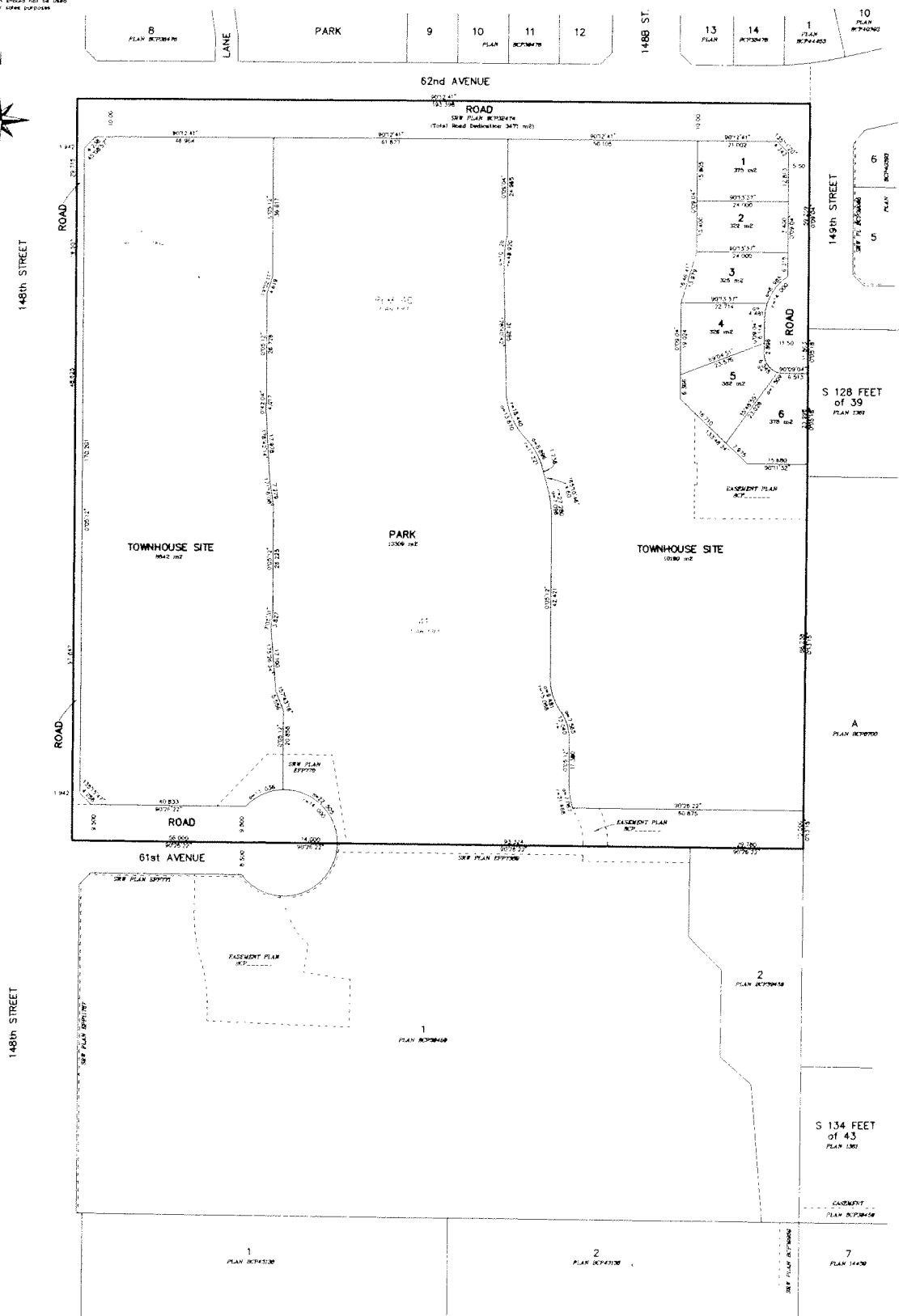
**PROPOSED SUBDIVISION PLAN OF PARCEL 1 (REF PLAN 21815),
REM LOT 40 PLAN 1361 AND LOT 41 PLAN 1361
ALL OF SECTION 10 TOWNSHIP 2 N.W.D.**

SCALE 1:500

All Distances are in Metres

CMC ADDRESS
62nd AVE. & 148th St
SUBPLY B.C.
P.L.D. PLAN 1 012-136-167
P.L.D. PLAN 40 272-136-115
P.L.D. PLAN 41 272-136-150

Note: This plan is only a proposal which may not be approved by the City of Surrey. This plan should not be used for marketing or sales purposes.



CONTRACTOR'S RESPONSIBILITY
 The plan and design are, and shall remain, the property of the Architect. No part of this plan or design shall be used for any other project without the written consent of the Architect. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities. The Contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.

REVISED DATES
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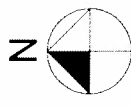
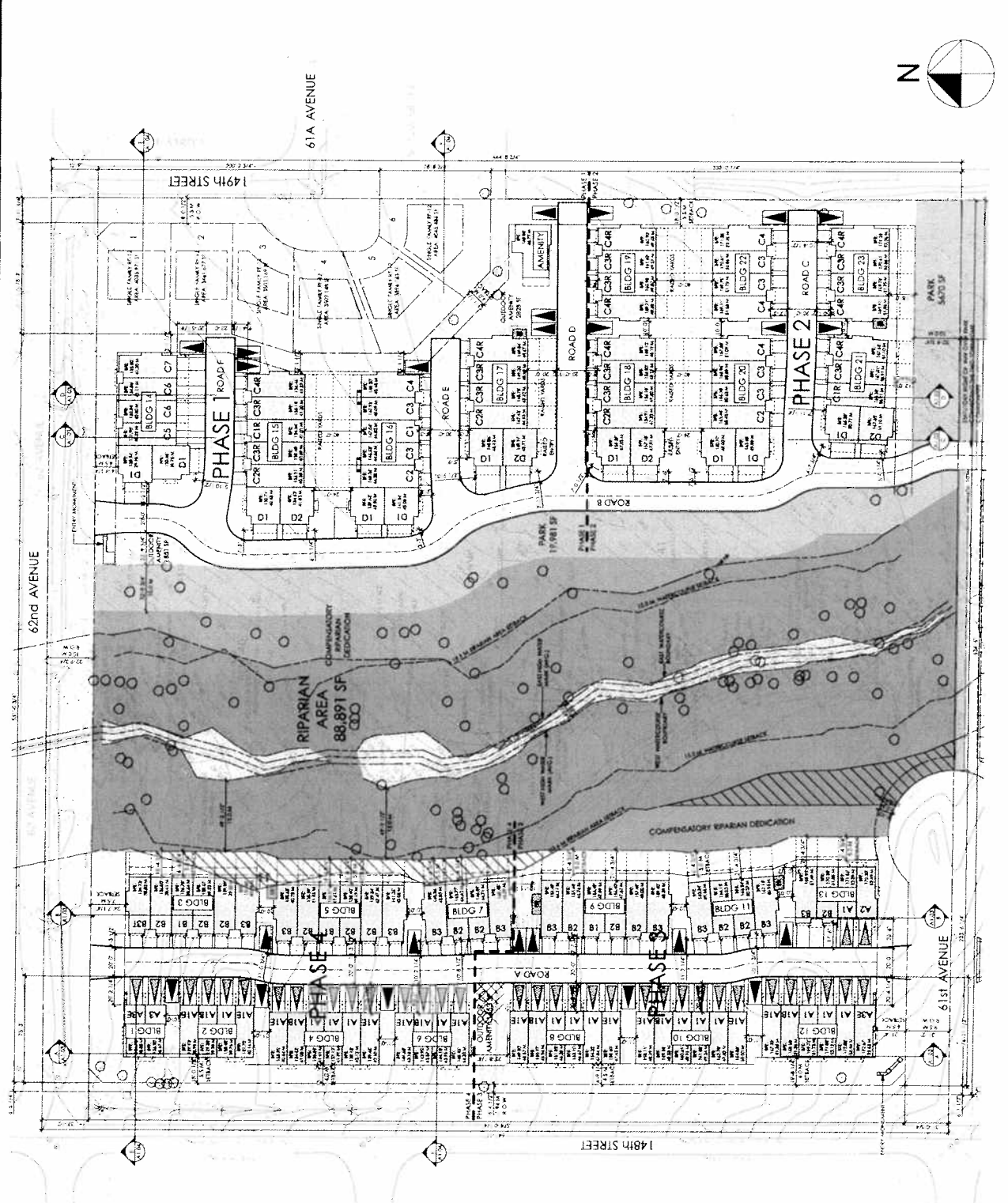
NOT FOR CONSTRUCTION
 FORMWERKS ARCHITECTURAL

PROJECT
PANORAMA NORTH
 6106, 6146, & 6176
 148TH STREET SURREY
 SURREY, B.C.

DRAWING
SITE PLAN

SCALE
 1:100
 DATE
 MAY 2018

SHEET
A1.02

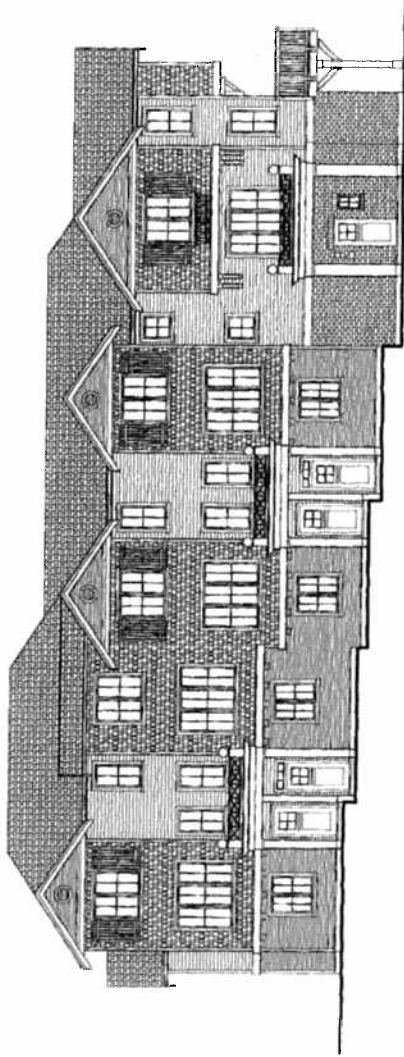


PANORAMA NORTH SURREY, BC

DRAWING LIST

DATE SHEET

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A312	CONTRACT AGREEMENT



CONTRACT AGREEMENT
 The client and design firm agree to all terms and conditions set forth in this contract. This contract is a legal document and shall be binding on both parties. It is the responsibility of the client to ensure that all information provided is accurate and complete. The design firm shall not be held responsible for any errors or omissions in the design or construction of the project. The client shall pay for all design and construction fees as outlined in this contract. The design firm shall not be held responsible for any delays or cost overruns caused by the client or third parties. The design firm shall not be held responsible for any damage to property or persons caused by the design or construction of the project. The design firm shall not be held responsible for any environmental or regulatory issues. The design firm shall not be held responsible for any insurance or liability issues. The design firm shall not be held responsible for any other issues not specifically mentioned in this contract.

REVISIONS
 NO. DATE DESCRIPTION
 1 10/15/2014 INITIAL DESIGN
 2 11/10/2014 REVISED DESIGN
 3 12/15/2014 FINAL DESIGN

NOT FOR CONSTRUCTION



PROJECT
PANORAMA NORTH
 6108, 6146, & 6178
 148TH STREET SURREY
 SURREY, BC

DRAWING
COVER SHEET

SCALE SHEET
 DATE 10/15/2014
A1.00

CONTRACT REVIEW:
 The plans and design are based on all information provided to the architect. The architect is not responsible for the accuracy of the information provided. The architect is not responsible for the accuracy of the information provided. The architect is not responsible for the accuracy of the information provided.

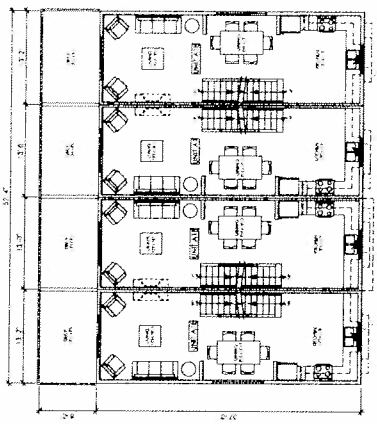
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 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: PANORAMA NORTH



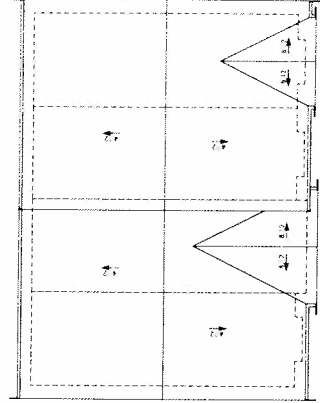
PANORAMA NORTH
 6104 VICTORIA TRAIL
 148TH STREET SURREY
 SURREY, BC

BUILDING 2 PLANS

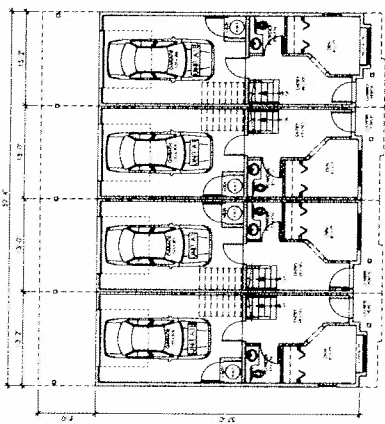
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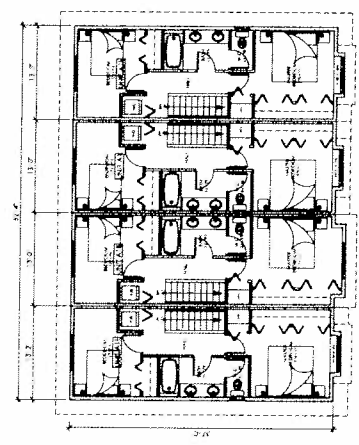
LEVEL 2 PLAN
 BUILDING 2



ROOF PLAN
 BUILDING 2



LEVEL 1 PLAN
 BUILDING 2



LEVEL 3 PLAN
 BUILDING 2

COMPASS DESIGN

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REV. 01/2015
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SCALE FOR EXTERIOR ELEVATION: 1/8" = 1'-0"

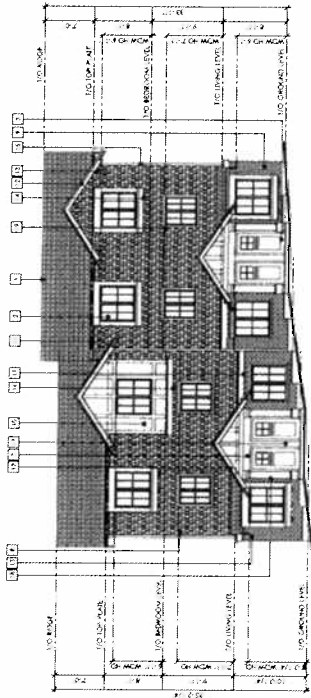
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FORMWERKS ARCHITECTURAL

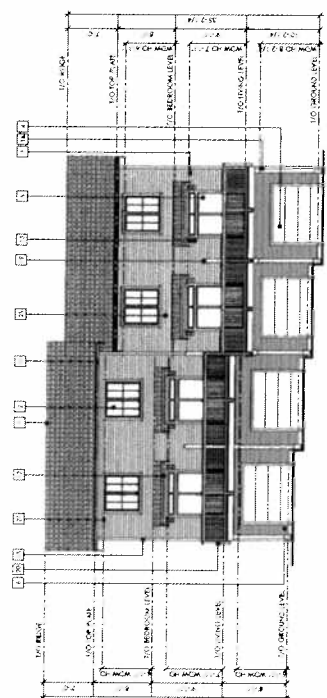
PROJECT
PANORAMA NORTH
6106, 6146, & 6178
1481A STREET SURREY
SURREY, BC

DRAWING
BUILDING 2 ELEVATIONS

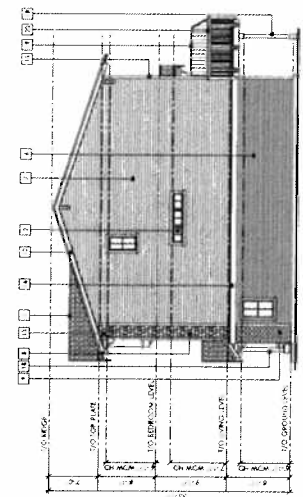
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SHEET: **A2.03**



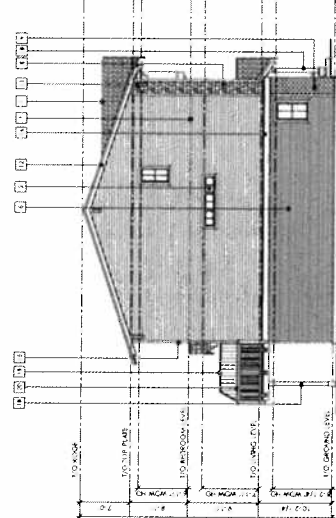
FRONT ELEVATION
BUILDING 2



REAR ELEVATION
BUILDING 2



UNIT 1A INTERIOR SIDE ELEVATION
BUILDING 2



UNIT 1A INTERIOR SIDE ELEVATION
BUILDING 2

FINISH SCHEDULE

1. EXTERIOR WALLS	2. EXTERIOR WALLS	3. EXTERIOR WALLS	4. EXTERIOR WALLS	5. EXTERIOR WALLS	6. EXTERIOR WALLS	7. EXTERIOR WALLS	8. EXTERIOR WALLS	9. EXTERIOR WALLS	10. EXTERIOR WALLS	11. EXTERIOR WALLS	12. EXTERIOR WALLS	13. EXTERIOR WALLS	14. EXTERIOR WALLS	15. EXTERIOR WALLS	16. EXTERIOR WALLS	17. EXTERIOR WALLS	18. EXTERIOR WALLS	19. EXTERIOR WALLS	20. EXTERIOR WALLS	21. EXTERIOR WALLS	22. EXTERIOR WALLS	23. EXTERIOR WALLS	24. EXTERIOR WALLS	25. EXTERIOR WALLS	26. EXTERIOR WALLS	27. EXTERIOR WALLS	28. EXTERIOR WALLS	29. EXTERIOR WALLS	30. EXTERIOR WALLS	31. EXTERIOR WALLS	32. EXTERIOR WALLS	33. EXTERIOR WALLS	34. EXTERIOR WALLS	35. EXTERIOR WALLS	36. EXTERIOR WALLS	37. EXTERIOR WALLS	38. EXTERIOR WALLS	39. EXTERIOR WALLS	40. EXTERIOR WALLS	41. EXTERIOR WALLS	42. EXTERIOR WALLS	43. EXTERIOR WALLS	44. EXTERIOR WALLS	45. EXTERIOR WALLS	46. EXTERIOR WALLS	47. EXTERIOR WALLS	48. EXTERIOR WALLS	49. EXTERIOR WALLS	50. EXTERIOR WALLS	51. EXTERIOR WALLS	52. EXTERIOR WALLS	53. EXTERIOR WALLS	54. EXTERIOR WALLS	55. EXTERIOR WALLS	56. EXTERIOR WALLS	57. EXTERIOR WALLS	58. EXTERIOR WALLS	59. EXTERIOR WALLS	60. EXTERIOR WALLS	61. EXTERIOR WALLS	62. EXTERIOR WALLS	63. EXTERIOR WALLS	64. EXTERIOR WALLS	65. EXTERIOR WALLS	66. EXTERIOR WALLS	67. EXTERIOR WALLS	68. EXTERIOR WALLS	69. EXTERIOR WALLS	70. EXTERIOR WALLS	71. EXTERIOR WALLS	72. EXTERIOR WALLS	73. EXTERIOR WALLS	74. EXTERIOR WALLS	75. EXTERIOR WALLS	76. EXTERIOR WALLS	77. EXTERIOR WALLS	78. EXTERIOR WALLS	79. EXTERIOR WALLS	80. EXTERIOR WALLS	81. EXTERIOR WALLS	82. EXTERIOR WALLS	83. EXTERIOR WALLS	84. EXTERIOR WALLS	85. EXTERIOR WALLS	86. EXTERIOR WALLS	87. EXTERIOR WALLS	88. EXTERIOR WALLS	89. EXTERIOR WALLS	90. EXTERIOR WALLS	91. EXTERIOR WALLS	92. EXTERIOR WALLS	93. EXTERIOR WALLS	94. EXTERIOR WALLS	95. EXTERIOR WALLS	96. EXTERIOR WALLS	97. EXTERIOR WALLS	98. EXTERIOR WALLS	99. EXTERIOR WALLS	100. EXTERIOR WALLS
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CONTRACT NOTES

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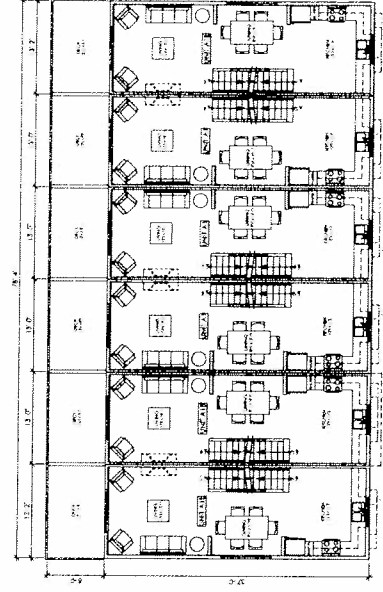
REVISED FOR SUBMITTAL
 01/10/2011
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 01/10/2011



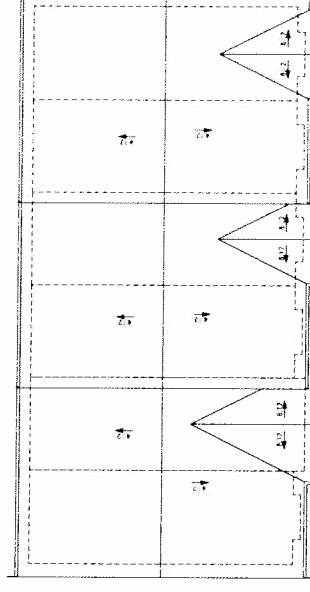
PANORAMA NORTH
 PROJECT
 8104, 8145 & 8178
 148TH STREET SURREY
 SURREY, BC

DRAWING
BUILDING 4 PLANS

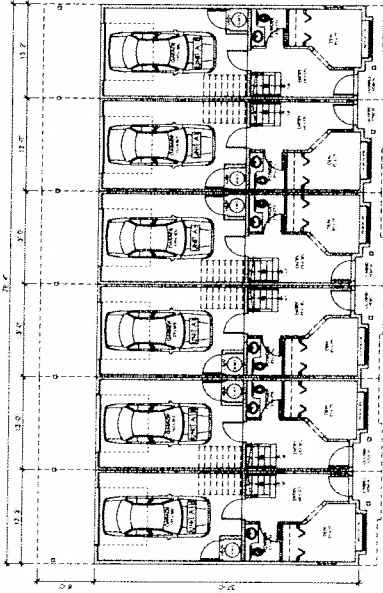
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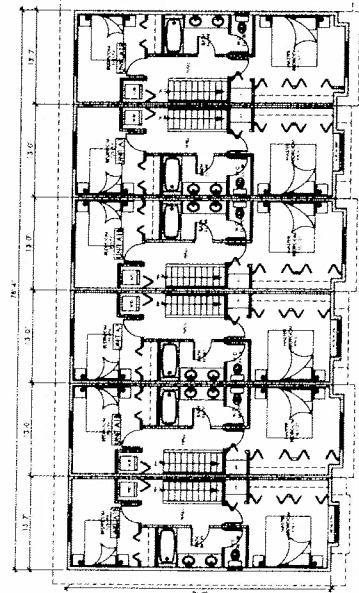
LEVEL 2 PLAN
 BUILDING 4



ROOF PLAN
 BUILDING 4



LEVEL 1 PLAN
 BUILDING 4



LEVEL 3 PLAN
 BUILDING 4

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PROJECT: PANORAMA NORTH
1481st STREET SURREY, BC
DATE: APR 26, 2019
SCALE: 1/4" = 1'-0"

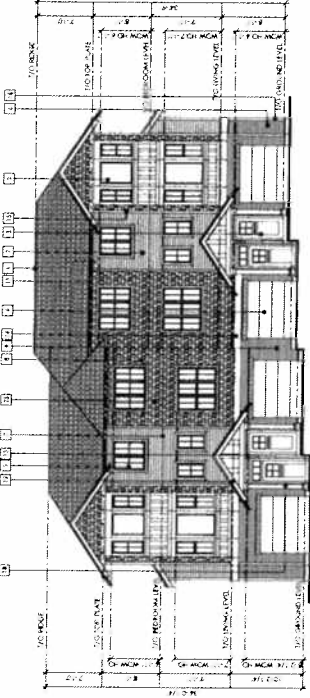
NOT FOR CONSTRUCTION

FORMWERKS ARCHITECTURAL
1481st STREET SURREY, BC

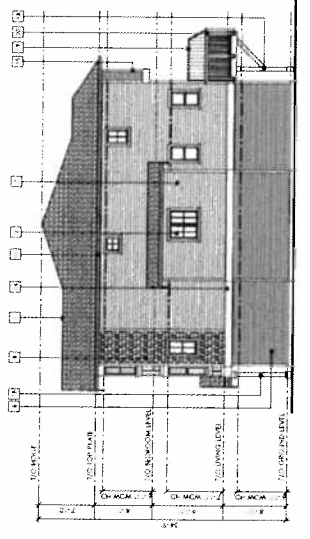
PANORAMA NORTH
6106, 6146, & 6178
1481st STREET SURREY
SURREY, BC

BUILDING 7
ELEVATIONS

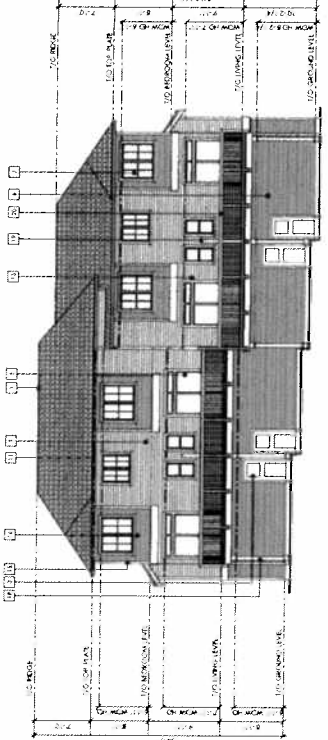
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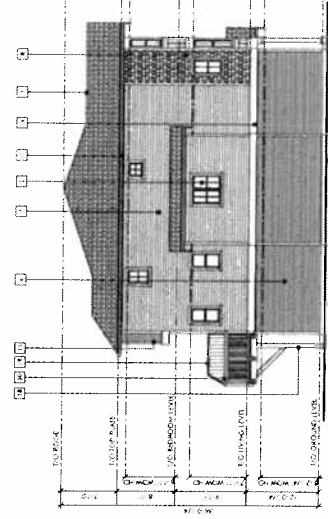
FRONT ELEVATION
BUILDING 7



UNIT B3 INTERIOR SIDE ELEVATION
BUILDING 7



REAR ELEVATION
BUILDING 7



UNIT B3 INTERIOR END SIDE ELEVATION
BUILDING 7

FINISH SCHEDULE			
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485			

CONCEPT ILLUSTRATION

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DATE: 04/15/2018
DRAWN BY: J. CHEN
CHECKED BY: J. CHEN
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

FORMWERKS ARCHITECTURAL

PROJECT

PANORAMA NORTH
6106, 6145, & 6178
1481st STREET SURREY
SURREY, BC

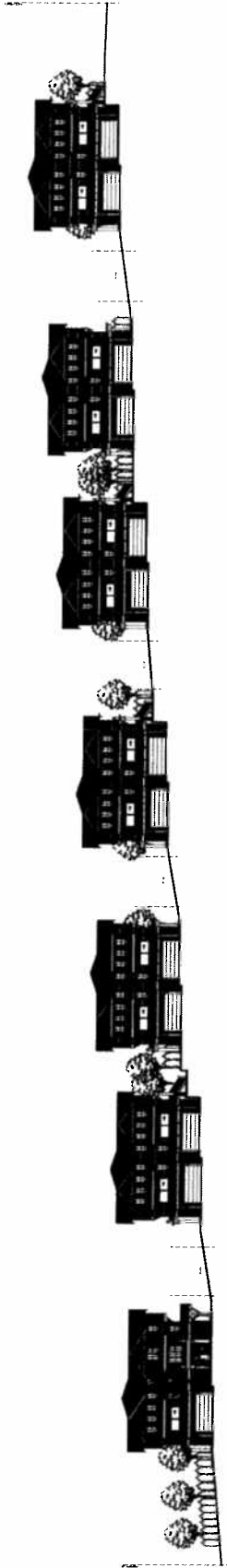
DRAWING

STREETSCAPES

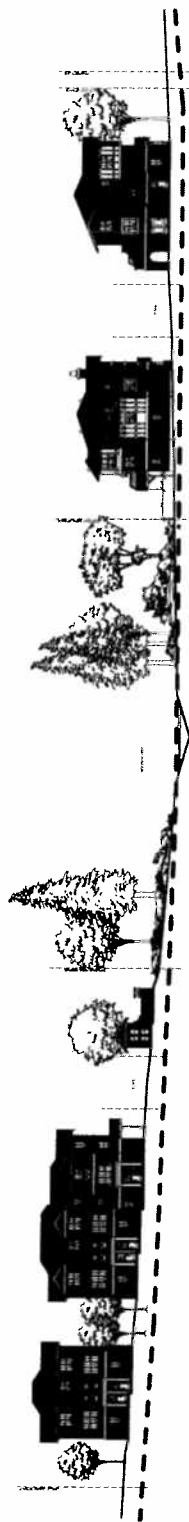
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DATE

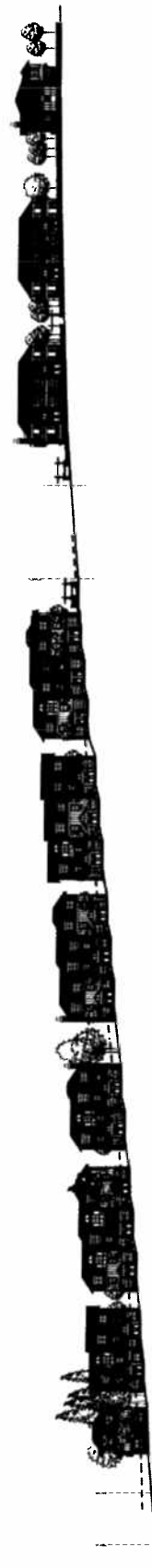
1/8" = 1'-0"
A3.00



STREETSCAPE
FERNHILL ROAD



STREETSCAPE
62ND AVENUE



STREETSCAPE
148TH STREET

CONSENT TO BUILD
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REVISIONS
 NO. DATE
 1 10/10/10
 2 10/10/10
 3 10/10/10

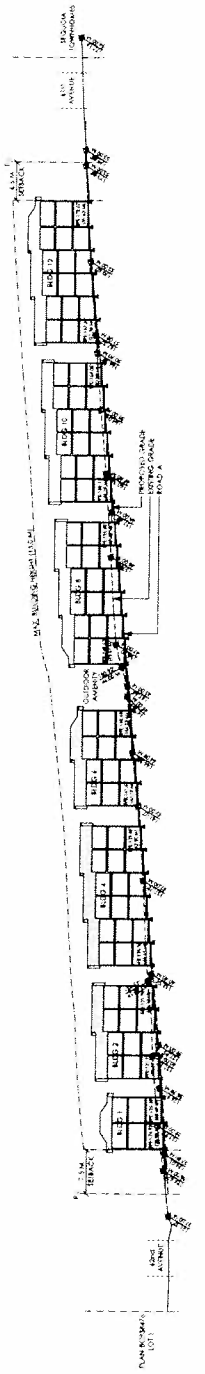
NOT FOR CONSTRUCTION

FORMWERKS ARCHITECTURAL

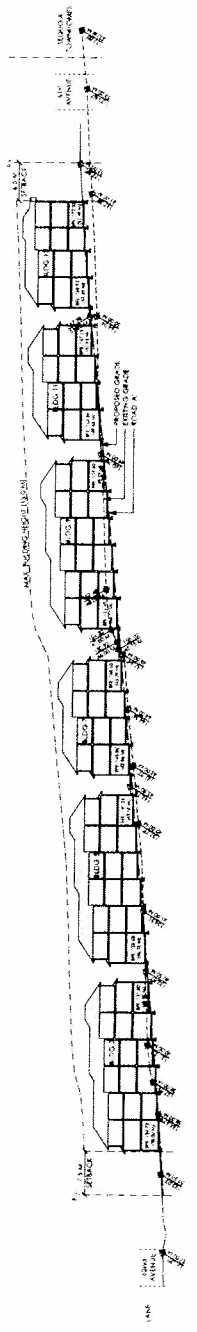
PANORAMA NORTH
 6106, 6148, & 6178
 148TH STREET SURREY
 SURREY, B.C.

SITE SECTIONS

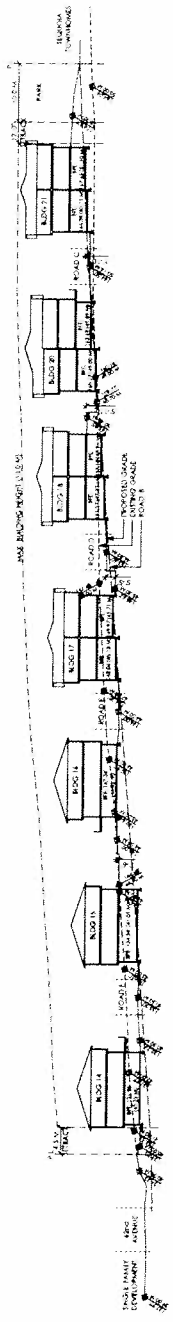
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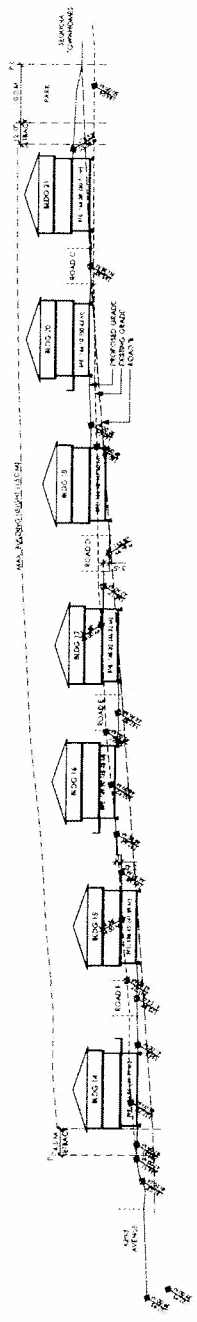
SITE SECTION A-A
1/32" = 1'-0"



SITE SECTION B-B
1/32" = 1'-0"



SITE SECTION C-C
1/32" = 1'-0"



SITE SECTION D-D
1/32" = 1'-0"

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REVISED
 DATE: 04/11/2011
 DRAWN BY: J. G. GIBSON
 CHECKED BY: J. G. GIBSON

NOT FOR CONSTRUCTION

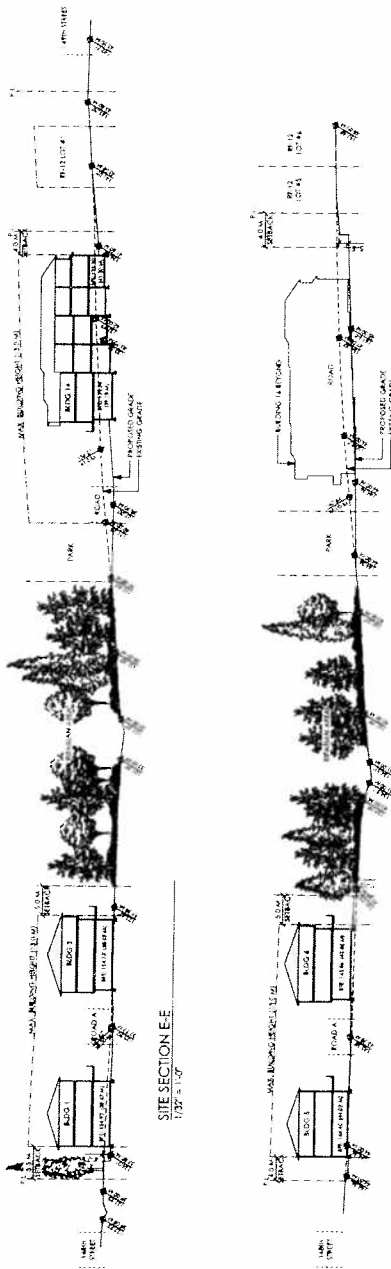
FORMWERKS ARCHITECTURAL

PANORAMA NORTH
 6104 VALAS L
 1480H STREET SURREY
 SURREY, BC

DRAWING

SITE SECTIONS

SCALE: 1" = 10'-0"
 SHEET: A3.02
 DATE: MAY 2011



SITE SECTION E-E
 1/2" = 1'-0"

SITE SECTION F-F
 1/2" = 1'-0"

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REVISED:
DATE: 04.25.2021
BY: J.S. [Signature]
DATE: 05.10.2021
BY: J.S. [Signature]

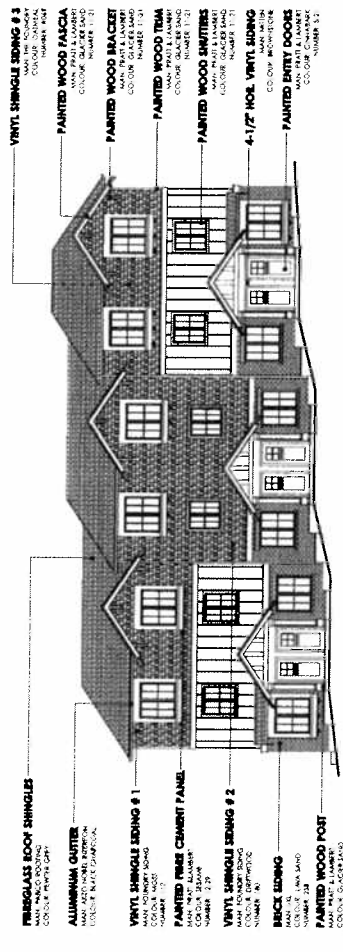
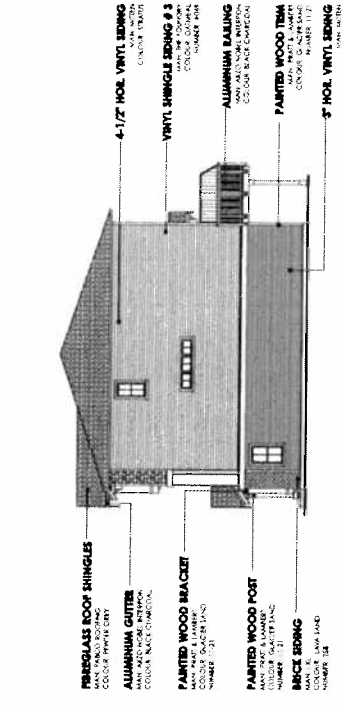
NOT FOR CONSTRUCTION

FORMWERKS ARCHITECTURAL

PANORAMA NORTH
4106 6145 A 4178
14819 STREET SURREY
SURREY, B.C.

COLOUR SCHEME A ELEVATIONS

SCALE: 1/8" = 1'-0"
DATE: MAY 2021
SHEET: **A3.04**

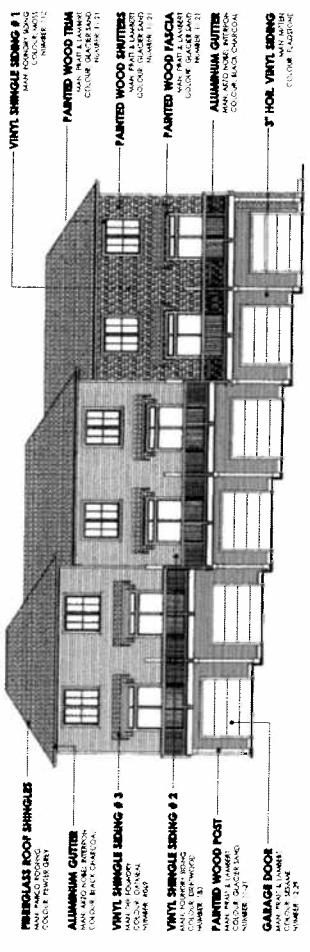
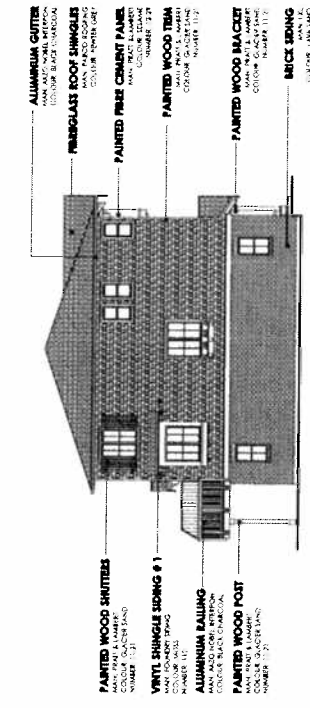


COLOUR SCHEME A REAR ELEVATION

COLOUR SCHEME A FRONT ELEVATION WITH PORCH

NOTE FOR BUILDINGS 9, 13, 14, 16, 18, 21 AND 22 VINYL SHINGLE SIDING IS ALWAYS THE FOUNDARY #12 MOSS [TYPE 1]

NOTE FOR BUILDINGS 9, 13, 14, 16, 18, 21 AND 22 VINYL SHINGLE SIDING IS ALWAYS THE FOUNDARY #12 MOSS [TYPE 1]



COLOUR SCHEME A SIDE ELEVATION

COLOUR SCHEME A SIDE ELEVATION WITH PORCH

NOTE FOR BUILDINGS 9, 13, 14, 16, 18, 21 AND 22 VINYL SHINGLE SIDING IS ALWAYS THE FOUNDARY #12 MOSS [TYPE 1]

NOTE FOR BUILDINGS 9, 13, 14, 16, 18, 21 AND 22 VINYL SHINGLE SIDING IS ALWAYS THE FOUNDARY #12 MOSS [TYPE 1]

PERGOLAS ROOF SHINGLES
MAIN PART LAMBERT
COLOR: PINE CITY
NUMBER 121

ALUMINUM GUTTER
MAIN PART LAMBERT
COLOR: BLACK CHARCOAL
NUMBER 121

VINYL SHINGLE SIDING #1
MAIN PART LAMBERT
COLOR: MOSS
NUMBER 121

PAINTED FIBRE CEMENT PANEL
MAIN PART LAMBERT
COLOR: WHITE
NUMBER 121

VINYL SHINGLE SIDING #2
MAIN PART LAMBERT
COLOR: BLACK CHARCOAL
NUMBER 121

BRICK SIDING
MAIN PART LAMBERT
COLOR: BUCKLE UP
NUMBER 121

PAINTED WOOD POST
MAIN PART LAMBERT
COLOR: WHITE
NUMBER 121

4-1/2" HOE VINYL SIDING
MAIN PART LAMBERT
COLOR: BUCKLE UP
NUMBER 121

PAINTED ENTRY DOORS
MAIN PART LAMBERT
COLOR: WHITE
NUMBER 121

PERGOLAS ROOF SHINGLES
MAIN PART LAMBERT
COLOR: PINE CITY
NUMBER 121

ALUMINUM GUTTER
MAIN PART LAMBERT
COLOR: BLACK CHARCOAL
NUMBER 121

VINYL SHINGLE SIDING #3
MAIN PART LAMBERT
COLOR: MOSS
NUMBER 121

PAINTED WOOD BRACKET
MAIN PART LAMBERT
COLOR: BLACK CHARCOAL
NUMBER 121

PAINTED WOOD POST
MAIN PART LAMBERT
COLOR: WHITE
NUMBER 121

BRICK SIDING
MAIN PART LAMBERT
COLOR: BUCKLE UP
NUMBER 121

PAINTED WOOD TRIM
MAIN PART LAMBERT
COLOR: BLACK CHARCOAL
NUMBER 121

4-1/2" HOE VINYL SIDING
MAIN PART LAMBERT
COLOR: BUCKLE UP
NUMBER 121

PAINTED WOOD TRIM
MAIN PART LAMBERT
COLOR: BLACK CHARCOAL
NUMBER 121

PERGOLAS ROOF SHINGLES
MAIN PART LAMBERT
COLOR: PINE CITY
NUMBER 121

ALUMINUM GUTTER
MAIN PART LAMBERT
COLOR: BLACK CHARCOAL
NUMBER 121

VINYL SHINGLE SIDING #3
MAIN PART LAMBERT
COLOR: MOSS
NUMBER 121

VINYL SHINGLE SIDING #2
MAIN PART LAMBERT
COLOR: BLACK CHARCOAL
NUMBER 121

PAINTED WOOD POST
MAIN PART LAMBERT
COLOR: WHITE
NUMBER 121

GARAGE DOOR
MAIN PART LAMBERT
COLOR: WHITE
NUMBER 121

ALUMINUM GUTTER
MAIN PART LAMBERT
COLOR: BLACK CHARCOAL
NUMBER 121

PERGOLAS ROOF SHINGLES
MAIN PART LAMBERT
COLOR: PINE CITY
NUMBER 121

PAINTED WOOD SHITTERS
MAIN PART LAMBERT
COLOR: WHITE
NUMBER 121

VINYL SHINGLE SIDING #1
MAIN PART LAMBERT
COLOR: MOSS
NUMBER 121

ALUMINUM RAILING
MAIN PART LAMBERT
COLOR: BLACK CHARCOAL
NUMBER 121

PAINTED WOOD POST
MAIN PART LAMBERT
COLOR: WHITE
NUMBER 121

PAINTED WOOD BRACKET
MAIN PART LAMBERT
COLOR: BLACK CHARCOAL
NUMBER 121

BRICK SIDING
MAIN PART LAMBERT
COLOR: BUCKLE UP
NUMBER 121

NOTE FOR BUILDINGS 9, 13, 14, 16, 18, 21 AND 22 VINYL SHINGLE SIDING IS ALWAYS THE FOUNDARY #12 MOSS [TYPE 1]

NOTE FOR BUILDINGS 9, 13, 14, 16, 18, 21 AND 22 VINYL SHINGLE SIDING IS ALWAYS THE FOUNDARY #12 MOSS [TYPE 1]

CONTRACT HISTORY

The client and drawings are the sole property of Formwerks Architectural Inc. and shall remain the property of Formwerks Architectural Inc. No part of this drawing shall be used or reproduced in any form without the written consent of Formwerks Architectural Inc. The client and Formwerks Architectural Inc. shall be responsible for all dimensions and quantities shown on this drawing. The client shall be responsible for any variation from the dimensions and quantities shown on this drawing.

REVISIONS
 DATE: 07/27/2011
 BY: J. W. WILSON
 REVISION: 1.00
 DESCRIPTION: 1.00

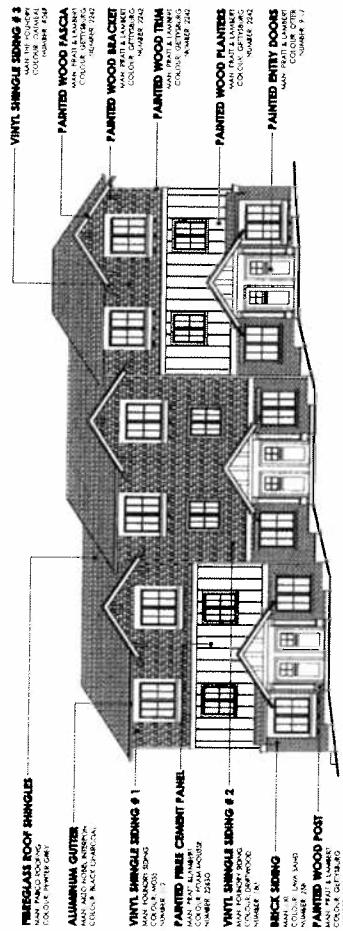
NOT FOR CONSTRUCTION

FORMWERKS ARCHITECTURAL

PROJECT
PANORAMA NORTH
 6106 - 6146 & 6178
 148TH STREET SURREY
 SURREY, B.C.

DRAWING
COLOUR SCHEME B ELEVATIONS

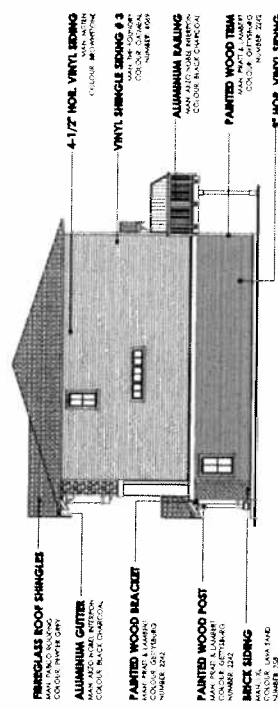
SCALE 1/8" = 1'-0"
DATE MAY 2011
NUMBER A3.05



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MAIN PARTS & LABELS
COLOR: FIBERGLASS
- ALUMINUM GUTTER
MAIN PARTS & LABELS
COLOR: BLACK CHARCOAL
- VINYL SHINGLE SIDING # 1
MAIN PARTS & LABELS
COLOR: MOSS
- PAINTED FIRE CHIMNEY PANEL
MAIN PARTS & LABELS
NUMBER: 2510
- VINYL SHINGLE SIDING # 2
MAIN PARTS & LABELS
COLOR: BLACK CHARCOAL
- BRICK SIDING
MAIN PARTS & LABELS
NUMBER: 2510
- PAINTED WOOD POST
MAIN PARTS & LABELS
COLOR: LIGHT WOOD
NUMBER: 2510

NOTE FOR BUILDINGS 3, 7, 11, 15, 17, 19, 20 AND 23 VINYL SHINGLE SIDING IS ALWAYS THE FOUNDARY - #18 DIRTWOOD (TYPE 2)

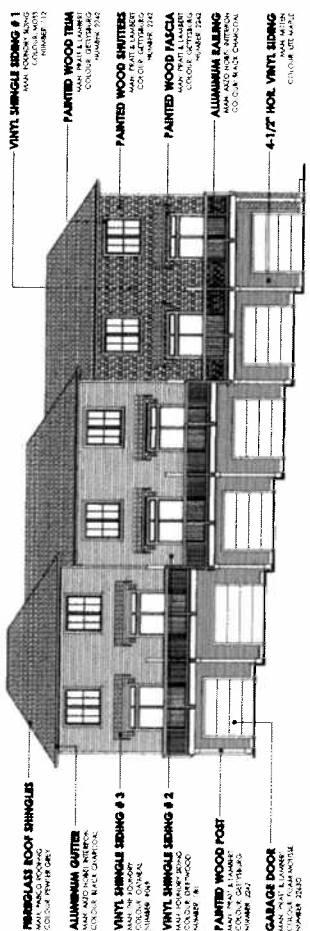
COLOUR SCHEME B
 SIDE ELEVATION WITH BRICK



- FIBERGLASS ROOF SHINGLES
MAIN PARTS & LABELS
COLOR: FIBERGLASS
- ALUMINUM GUTTER
MAIN PARTS & LABELS
COLOR: BLACK CHARCOAL
- VINYL SHINGLE SIDING # 3
MAIN PARTS & LABELS
NUMBER: 2510
- PAINTED WOOD BRACKET
MAIN PARTS & LABELS
NUMBER: 2510
- PAINTED WOOD POST
MAIN PARTS & LABELS
COLOR: LIGHT WOOD
NUMBER: 2510
- BRICK SIDING
MAIN PARTS & LABELS
NUMBER: 2510
- 4-1/2" HOE VINYL SIDING
COLOR: LIGHT WOOD

NOTE FOR BUILDINGS 3, 7, 11, 15, 17, 19, 20 AND 23 VINYL SHINGLE SIDING IS ALWAYS THE FOUNDARY - #18 DIRTWOOD (TYPE 2)

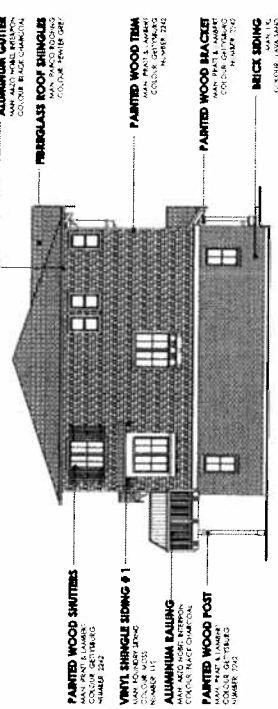
COLOUR SCHEME B
 SIDE ELEVATION



- FIBERGLASS ROOF SHINGLES
MAIN PARTS & LABELS
COLOR: FIBERGLASS
- ALUMINUM GUTTER
MAIN PARTS & LABELS
COLOR: BLACK CHARCOAL
- VINYL SHINGLE SIDING # 3
MAIN PARTS & LABELS
NUMBER: 2510
- VINYL SHINGLE SIDING # 2
MAIN PARTS & LABELS
NUMBER: 2510
- PAINTED WOOD POST
MAIN PARTS & LABELS
COLOR: LIGHT WOOD
NUMBER: 2510
- GARAGE DOOR
MAIN PARTS & LABELS
COLOR: LIGHT WOOD
NUMBER: 2510

NOTE FOR BUILDINGS 3, 7, 11, 15, 17, 19, 20 AND 23 VINYL SHINGLE SIDING IS ALWAYS THE FOUNDARY - #18 DIRTWOOD (TYPE 2)

COLOUR SCHEME B
 REAR ELEVATION



- FIBERGLASS ROOF SHINGLES
MAIN PARTS & LABELS
COLOR: FIBERGLASS
- ALUMINUM GUTTER
MAIN PARTS & LABELS
COLOR: BLACK CHARCOAL
- PAINTED WOOD SHUTTERS
MAIN PARTS & LABELS
COLOR: 2510
- VINYL SHINGLE SIDING # 1
MAIN PARTS & LABELS
NUMBER: 2510
- ALUMINUM RAILING
MAIN PARTS & LABELS
COLOR: BLACK CHARCOAL
- PAINTED WOOD POST
MAIN PARTS & LABELS
COLOR: LIGHT WOOD
NUMBER: 2510
- BRICK SIDING
MAIN PARTS & LABELS
NUMBER: 2510

NOTE FOR BUILDINGS 3, 7, 11, 15, 17, 19, 20 AND 23 VINYL SHINGLE SIDING IS ALWAYS THE FOUNDARY - #18 DIRTWOOD (TYPE 2)

COLOUR SCHEME B
 SIDE ELEVATION WITH BRICK

CONTRACTOR'S RESPONSIBILITY
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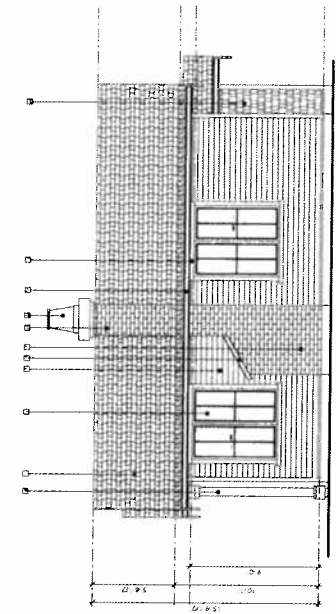
DATE: 11/10/2011
 DRAWN BY: J. WILSON
 CHECKED BY: J. WILSON
 PROJECT NO.: 11-001



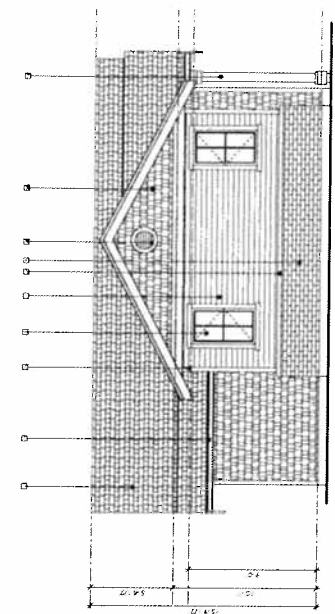
PROJECT
PANORAMA NORTH
 6106 6146 & 6178
 14810 STREET SURREY
 SURREY, B.C.

DRAWING
AMENITY ELEVATIONS

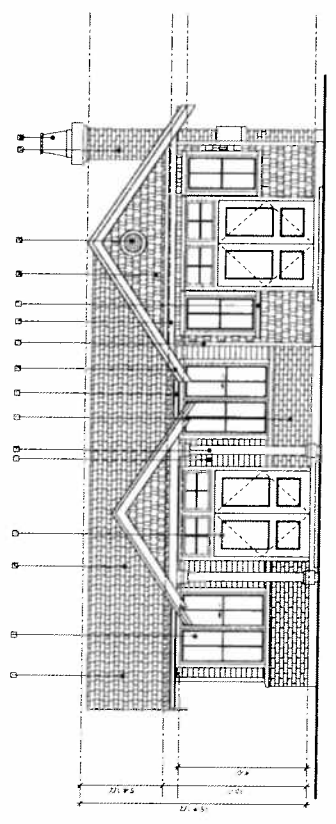
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 SHEET: **A5.02**



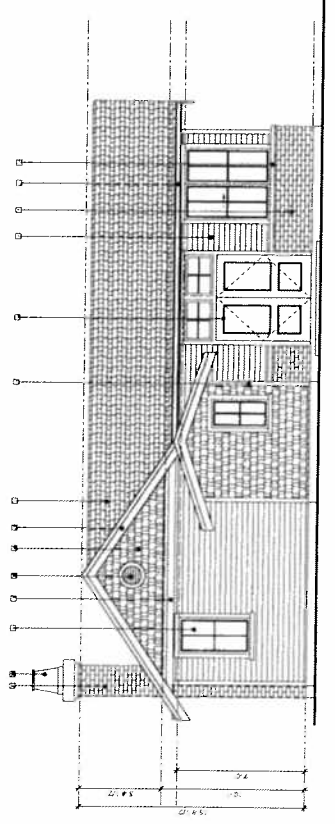
AMENITY FRONT ELEVATION
 1/4" = 1'-0"



AMENITY REAR ELEVATION
 1/4" = 1'-0"



AMENITY SIDE ELEVATION
 1/4" = 1'-0"



AMENITY SIDE ELEVATION
 1/4" = 1'-0"

FINISH SCHEDULE	
<input type="checkbox"/> BRICK	<input type="checkbox"/> 2. BRICK, RANDOM
<input type="checkbox"/> BRICK, HALF BRICK	<input type="checkbox"/> 3. BRICK, RANDOM
<input type="checkbox"/> BRICK, FULL BRICK	<input type="checkbox"/> 4. BRICK, RANDOM
<input type="checkbox"/> BRICK, HALF BRICK	<input type="checkbox"/> 5. BRICK, RANDOM
<input type="checkbox"/> BRICK, FULL BRICK	<input type="checkbox"/> 6. BRICK, RANDOM
<input type="checkbox"/> BRICK, HALF BRICK	<input type="checkbox"/> 7. BRICK, RANDOM
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<input type="checkbox"/> BRICK, HALF BRICK	<input type="checkbox"/> 29. BRICK, RANDOM
<input type="checkbox"/> BRICK, FULL BRICK	<input type="checkbox"/> 30. BRICK, RANDOM



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **April 1, 2011** PROJECT FILE: **7810-0293-00**

RE: **Engineering Requirements
Location: 6106/46/78 148 St.**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.942 metres on 148 Street;
- Dedicate 9.500 metres along with 14.0 metre radius cul-de-sac on 61 Avenue;
- Dedicate 10.000 metres on 62 Avenue;
- Dedicate 5.500 metres on 149 Street and appropriate additional dedication, if required;
- Dedicate 3.0m x 3.0m corner cut at the intersections of 148 Street with 61 and 62 Avenue;
- Dedicate 3.0m x 3.0m corner cut at the intersection of 149 Street and 62 Avenue.

Works and Services

- Construct and complete north side of 61 Avenue roadwork's including concrete sidewalk if these works are not completed under Servicing Agreement for project 7805-0182-00;
- Construct south side of 62 Avenue to the Modified Urban Forest Through Local standard
- Construct 2.25 metre wide curb extension at 62 Avenue and 149 Street;
- Construct west side of 149 Street to Neo Traditional Through Local standard
- Construct concrete sidewalk on 148 Street under DCW;
- Pay all applicable latecomer charges, 100% cash payment for Drainage DCC, and SDR fee;
- Provide reciprocal access and services easement for Form P phasing;
- Provide reciprocal access easement with 14838 – 61 Avenue; and
- Provide 0.5 metre wide statutory right-of-way along north property line at 62 Avenue.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

Bob Ambardar, P.Eng.
Development Project Engineer
HB

NOTE: Detailed Land Development Engineering Review available on file



Wednesday, March 09, 2011

THE IMPACT ON SCHOOLS

APPLICATION #: 7910 0056 00

SUMMARY

The proposed 119 townhouse units and 6 single family lots are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	21
Secondary Students:	10

September 2010 Enrolment/School Capacity

Cambridge Elementary	
Enrolment (K/1-7):	72 K + 590
Capacity (K/1-7):	80 K + 450
Sullivan Heights Secondary	
Enrolment (8-12):	1127
Capacity (8-12):	1000

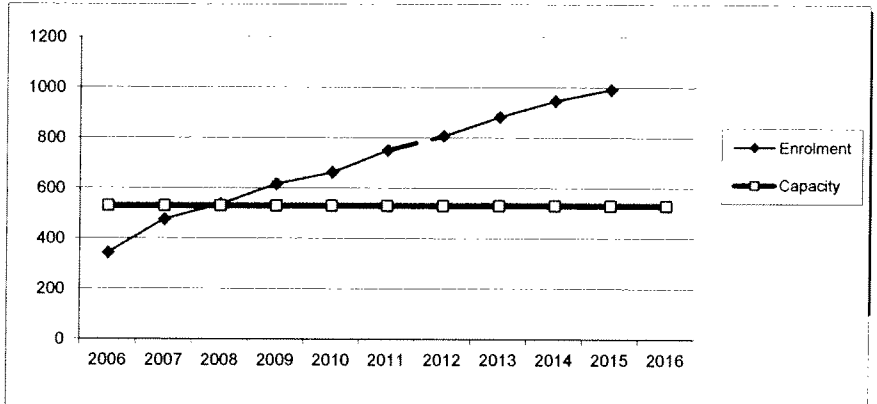
SCHOOL DISTRICT #36 (SURREY)

School Enrolment Projections and Planning Update:

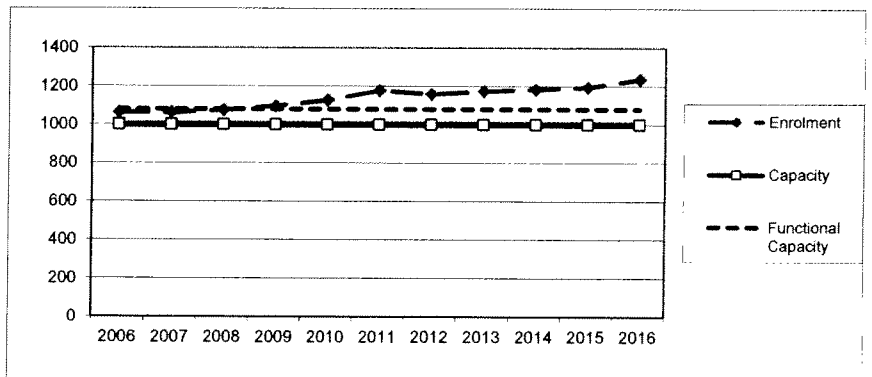
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Cambridge Elementary opened in September 2006 and enrolment has grown rapidly resulting in portables on site. The School District's #2 priority in the 2010-2014 Five Year Capital Plan is the construction of a new elementary school on Site #211 located in the 6200 block of 146th Street. The Cambridge Elementary projection below does not show an enrolment move to the proposed new school as the District is awaiting approval from the Ministry. The capacity in the table does include a four classroom addition approved for Cambridge Elementary to help accommodate full day Kindergarten implementation to be completed in 2011-12 school year. Enrolment moves or other measures may be needed to reduce future overcrowding at Sullivan Heights Secondary. The proposed development will not have an impact on these projections.

Cambridge Elementary



Sullivan Heights Secondary



TREE PRESERVATION SUMMARY
(Revised June 23rd 2011)

Surrey Project # DP#10 0293
Project Location: 148th Street & 68th Ave
Certified Arborist **Michael J Mills Consulting / MJM File #1030**

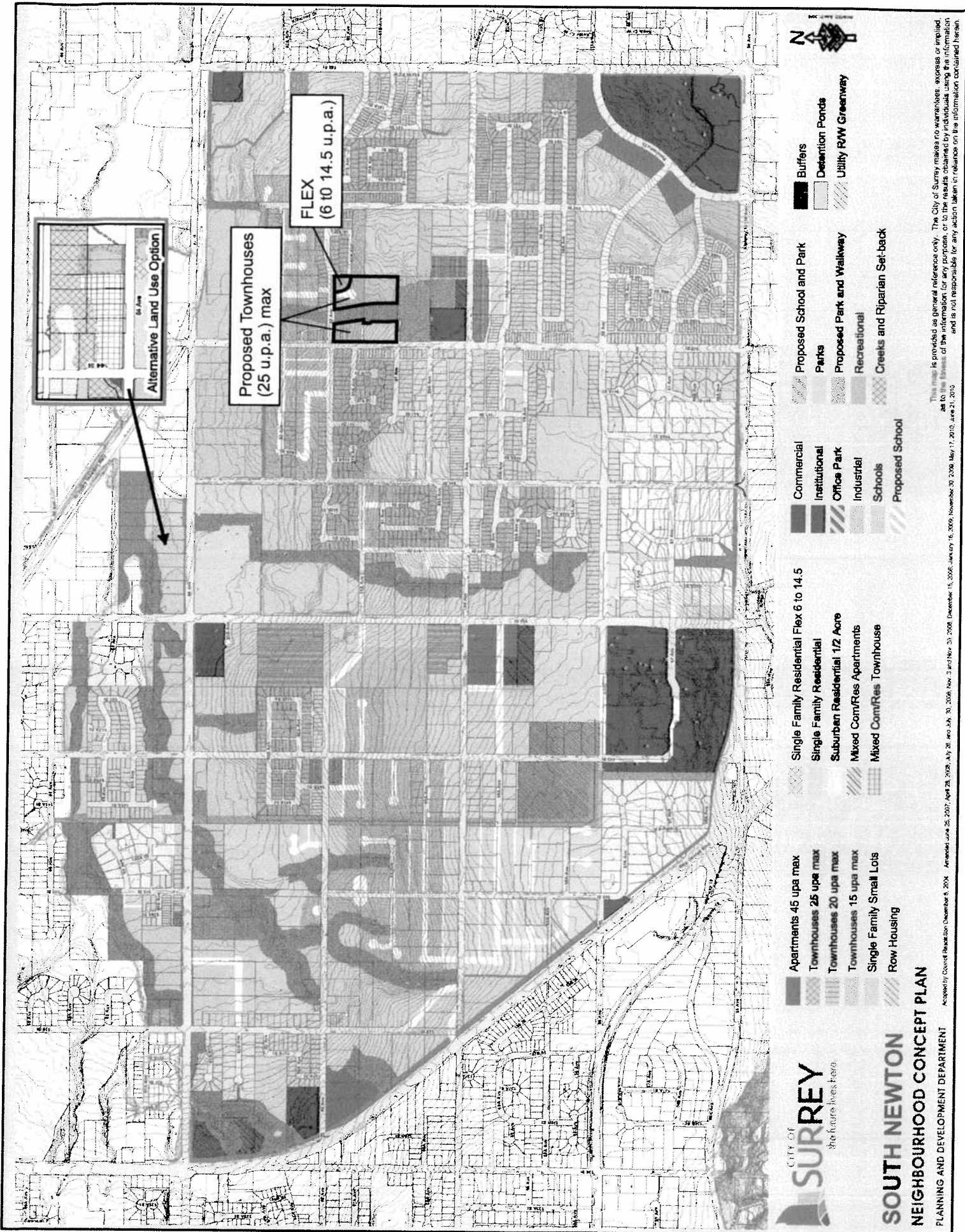
Detailed Assessment of the existing trees was prepared for this proposal in April of 2011. The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment of the Subject Site

- a. The subject site is located at the south east intersection of 148th Street and 68th Ave in the panorama area of Surrey.
- b. 119 townhouses in 23 building blocks and 6 single family lots are proposed.
- c. The site is reported to be 9.35 Acres in size. 4.45 acres of this area will be set aside for creek protection and park dedication. Extensive tree preservation will occur within these dedicated areas.
- d. On site tree retention will be limited due to the forest grown character of the existing trees in combination with the density proposed and grading required to address the topography.

2. Summary of Proposed Tree Removal and Replacement

○	Number of Protected Trees Identified	187	(A)
○	Number of Protected Trees declared to be hazardous due to natural causes (dead)	2	(B)
○	Number of Protected Trees to be Removed	170	(C)
○	Number of Trees to be Retained (A-B-C)	17	(D)
○	Number of Replacement Trees Required		
○	1:1 replacement = 127 tree	127	
○	2:1 replacement = 70	<u>140</u>	
○	Total number of replacement trees	267	(E)
○	Number of Replacement Trees Proposed	213	(F)
○	Number of Replacement Trees in Deficit (E – F)	54	(G)
○	Total Number of Protected and Replacement Trees (D+F)	230	(H)
○	119 townhouse units and 6 single family lots in Project	125	(I)
○	Average Number of Trees / unit- Lot (H/I)	1.84	

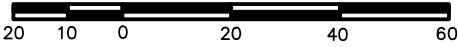


This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the accuracy of the information. Users of this information and is not responsible for any action taken in reliance on the information contained herein.

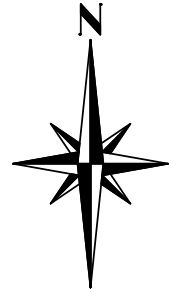
Approved by Council Resolution: December 6, 2004. Amended June 25, 2007, April 28, 2009, July 28, 2009, July 30, 2009, Nov. 3, 2009, Nov. 23, 2009, December 18, 2009, January 16, 2009, November 30, 2008, May 17, 2010, June 21, 2010.

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW _____
OF PART OF LOT 40 EXCEPT: PARCEL 'ONE' (REF PLAN 21815)
SECTION 10 TOWNSHIP 2 NWD PLAN 1361**

SCALE 1:1250

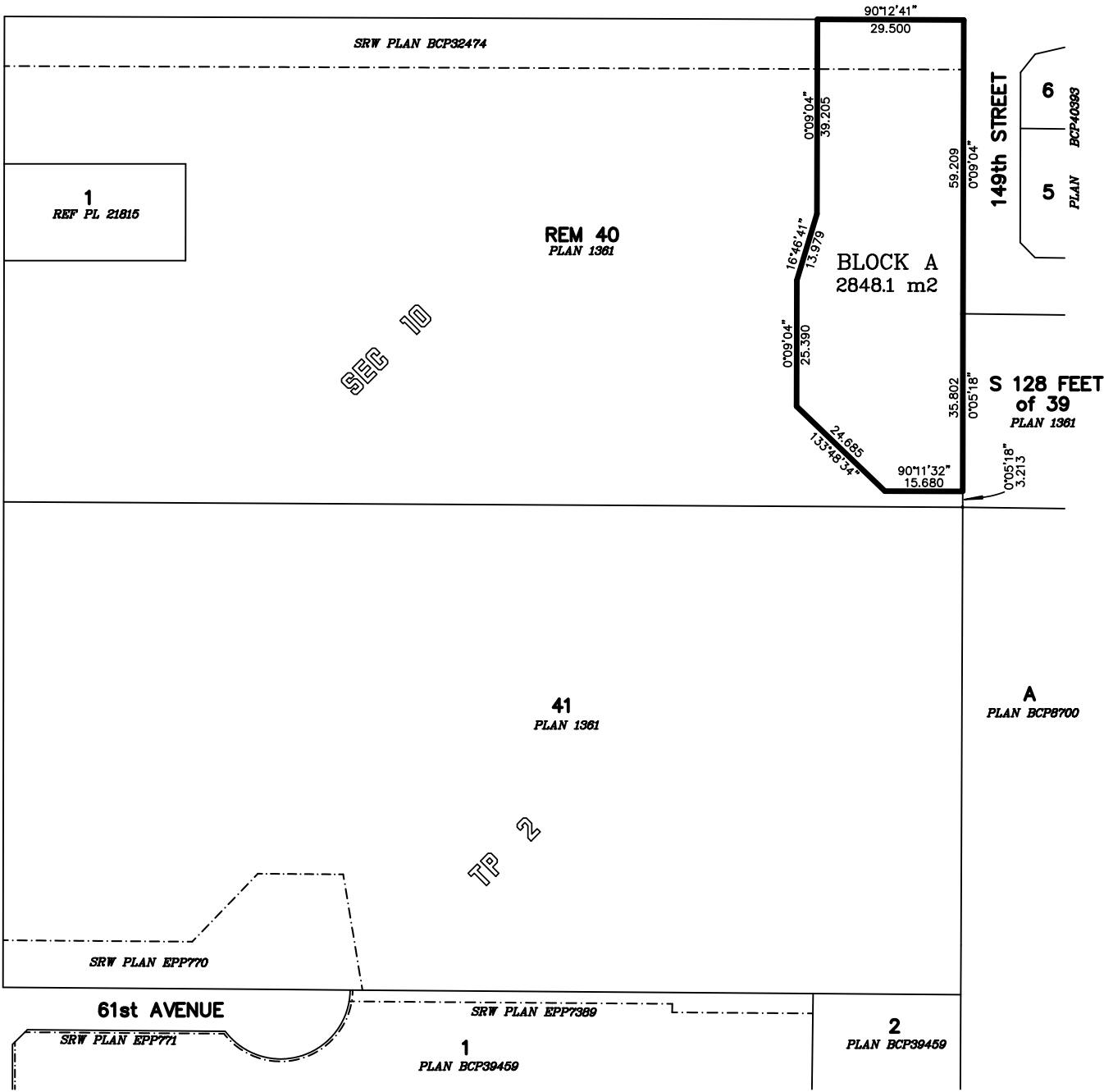


All Distances are in Metres.
CITY OF SURREY
Grid Bearings are derived from
OCMS 8637 & 5605



62nd AVENUE

148th STREET



Onderwater Land Surveying
B.C. Land Surveyors
#104-5830 176A Street
Cloverdale B.C.
FILE: JS1156_RZ1

© Certified correct, completed on
the 20th day of May, 2011.

*This Plan Lies Within The
Greater Vancouver Regional District*

B.C.L.S.