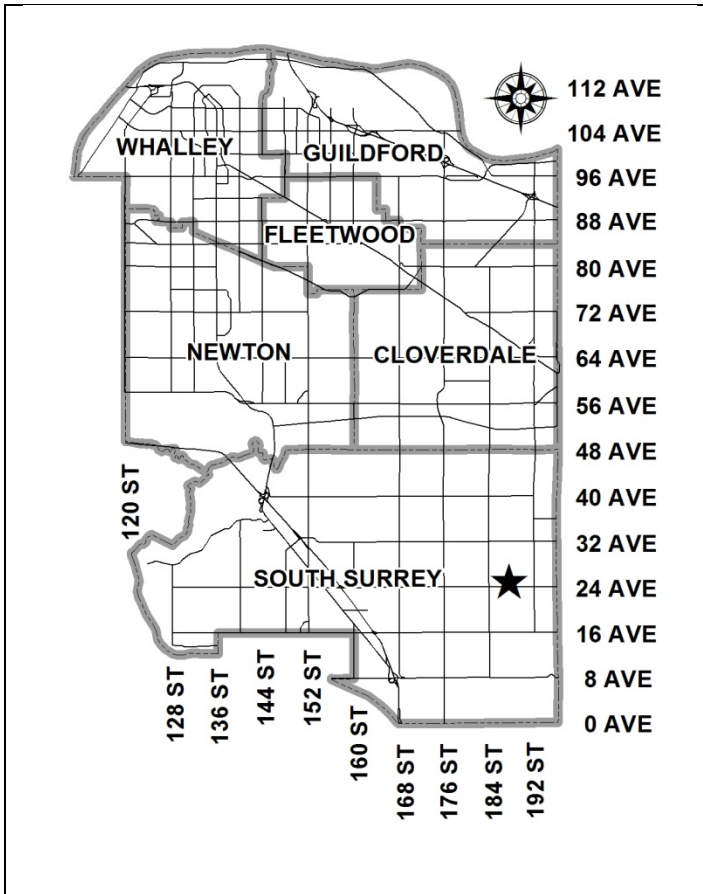


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7910-0301-00

Planning Report Date: December 12, 2011

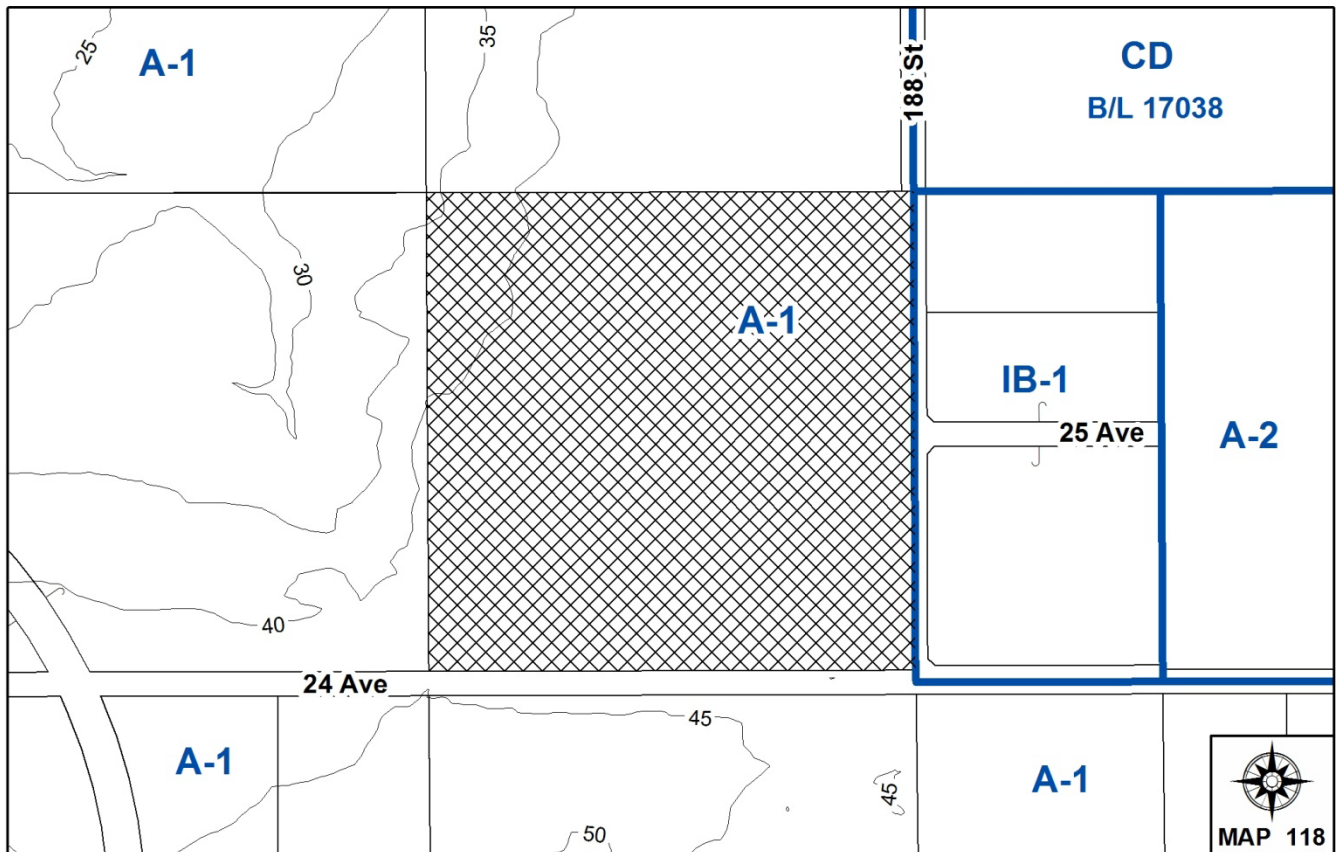


**PROPOSAL:**

- **Rezoning** from A-1 to CD
- **Development Permit** (General)

in order to allow subdivision into eight (8) business park lots and one (1) remainder lot to facilitate the development of industrial businesses

**LOCATION:** 18749 - 24 Avenue  
**OWNER:** 0727386 BC Ltd., Inc. No. 0727386  
**ZONING:** General Agriculture Zone (A-1)  
**OCP DESIGNATION:** Industrial  
**NCP DESIGNATION:** Technology Park and Open Space Corridor/Buffer with Tree Preservation Opportunities



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- Complies with the Campbell Heights Business Park Land Use Plan
- The applicant proposes to retain a significant number of trees on the west side of the property, in compliance with the Campbell Heights Land Use Plan and in consideration of the Ecosystem Management Study (EMS) mapping.

### RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "General Agricultural Zone (A-1)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7910-0301-00 generally in accordance with the attached drawings (Appendix VII).
3. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) input from Senior Government Environmental Agencies;
  - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (g) dedication of 1.8 hectares (4.5 acres) on the west side of the property for park land;
  - (h) registration of a Section 219 Restrictive Covenant for "no build" on proposed Lot 9 until after future subdivision of that lot;
  - (i) registration of a Section 219 Restrictive Covenant to advise future owners of adjacent agricultural uses; and
  - (j) provision of cash in-lieu of a black chain-link fence along the west property line, to the satisfaction of the Parks Department.

### REFERRALS

Engineering:

The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

**Parks, Recreation & Culture:** The Parks Department requests park dedication in compliance with the Campbell Heights plan, with sufficient width at the south end to allow a nature trail without encroaching into the riparian area.

**Department of Fisheries and Oceans (DFO):** The portion of Erickson Creek on the subject property is Class B and C. The watercourse has been affected by unauthorized modifications made on the neighbouring property to the west, which is in the ALR. DFO has authorized the applicant to divert the headwaters (Class C) to a bio-swale and re-establish the Class B portion of the creek through the dedicated park area. The applicant is required to maintain the form and function of the watercourse and retain drainage to the Class A watercourse downstream.

**Agricultural Advisory Committee (AAC):** The Agricultural Advisory Committee made the following recommendations:

- That the applicant provide cash-in-lieu of installation of a black chain-link fence on the west property line, so that the fence may be constructed in the future if required;
- That a notice be registered on title to advise owners of possible agricultural activities in the area;
- That the buffer be as densely coniferous as possible.

It was also noted that future subdivision of the remnant lot will be referred to the AAC for comment.

### SITE CHARACTERISTICS

Existing Land Use: Vacant lot with forest coverage and agricultural use.

#### Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Large forested lot with a portion being used for agriculture.	Industrial in the OCP, Technology Park in the Campbell Heights Land Use Plan	A-1
East (Across 188 Street):	Vacant lots, currently under application (project no. 7910-308-00).	Industrial in the OCP, Technology Park in the Campbell Heights Land Use Plan	IB-1
South (Across 24 Avenue):	Forested agricultural land, within the ALR.	Agricultural in the OCP	A-1
West:	Agricultural land, within the ALR.	Agricultural in the OCP	A-1

## DEVELOPMENT CONSIDERATIONS

### Context

- The property is approximately 15.7 hectares (39 acres) in size. It is on the northwest corner of 24 Avenue and 188 Street in Campbell Heights and is designated “Industrial” in the Official Community Plan. The Campbell Heights Business Park Land Use Plan designates the majority of the property for “Technology Park,” with some area along the west boundary designated “Open Space Corridor/Buffer.” The Plan also identifies “Tree Preservation Opportunities.”
- The site is located at the edge of the Campbell Heights Plan area. Lands to the west and south are outside Campbell Heights and within the Agricultural Land Reserve (ALR).
- The northwest half of the site is heavily forested.

### Proposal

- The applicant proposes to rezone the property from General Agriculture Zone (A-1) to Comprehensive Development Zone (CD) to allow the creation of business park lots.
- No detailed development permits are proposed at this time, but the application does include a General Development Permit to prescribe parameters for the detailed site, building and landscape design of the lands.
- The current application will create eight (8) business park lots fronting 188 Street, with one large remainder parcel. The business park lots will be approximately 3,472 to 4,380 m<sup>2</sup> (0.9 to 1.1 acres) in size. Subdivision of the remainder lot will occur in the future.

### Zoning

- The CD Zone is based on the IB-1 zone, but will allow for additional outdoor storage towards the interior of the site.
- Because 24 Avenue and 188 Street are major roads within the Campbell Heights plan area, the areas adjacent to them are not appropriate for outdoor storage. The CD By-law does not permit any outdoor storage within an area 80m (260 ft) wide adjacent to these roads (see Appendix VIII). In the interior of the site, outdoor storage will be permitted, but must be screened.
- On the entire site, permitted uses will be consistent with the IB-1 zone.

### Open Space Corridor/Buffer

- The Campbell Heights Land Use Plan designates an area on the west side of the property for an “Open Space Corridor/Buffer.” The applicant proposes to dedicate a corridor in this location, in compliance with the plan.
- The proposed corridor ranges in width from 40 m (130 ft) to 55 m (180 ft) and is heavily forested throughout. The buffer area is 1.8 hectares (4.5 acres) in total and represents 12%

of the subject property. The trees retained in this location are adjacent to a large forested area on the agricultural property to the west. Taken together, these comprise a significant wildlife habitat area.

- A portion of Erickson Creek, which is on the property, will be relocated to the buffer area.
- The Parks Department will also require a pathway to run north/south within the buffer. This will connect to a similar pathway to the north which will be secured when that property develops.

#### Erickson Creek

- The headwaters of Erickson Creek are on the property, where the watercourse is assessed as Class B and C (yellow and green). Erickson Creek becomes Class A (red) on the agricultural land to the west.
- Because the creek does not have significant wildlife value on this property, the applicant will relocate and reinstate the watercourse in a bio-swale adjacent to the south property line. It will continue to a channel and pond within the dedicated buffer area, then flow to the western property. This arrangement has been approved by the Department of Fisheries and Oceans.

#### ALR Interface

- The property borders the ALR on both the west and south sides. The interface with agricultural lands must be considered, though buffering requirements outlined in the OCP are not as rigorous for industrial lands as they are for residential.
- Both the OCP and the Campbell Heights Land Use Plan require a minimum 30m (100 ft) building setback from the edge of the ALR. Landscaping is required within the building setback.
- To the west, agricultural lands are immediately adjacent to the subject site. On this side, the dedicated buffer area, which is 40-55 m (130-180 ft) wide, exceeds the ALR interface requirements.
- To the south, the property is separated from agricultural lands by 24 Avenue. Because of the road location and zoning setback requirements, buildings on the subject site will be a minimum of 37.5 m (123 ft) from the edge of the agricultural land. Again, this distance exceeds the ALR interface requirements.
- The AAC recommends that notice be registered on title to advise future owners of the adjacent agricultural uses. They also recommend that the applicant contribute cash in lieu of constructing a chain-link fence along the western property line. The fence is desirable to prohibit the public from entering the agricultural land. It was noted, however, that installation of a fence at this time would require removal of trees between the two properties. In the future, if the existing trees are cleared from the agricultural land, the City will be able to install a fence on the property line.

### EMS Mapping

- The recently-adopted EMS mapping shows that the forested portion of the site is within a significant environmental hub. The hub was identified for its habitat values and extensive tree cover.
- While approximately half of the subject property is within the hub identified in the EMS mapping, the hub encompasses a larger area outside of the property. The property to the north within the Campbell Heights Land Use Plan, and some adjacent ALR properties are also within the hub area.
- Approximately 58% of the property is within the EMS hub area. The proposed park dedication covers 12% of the property, almost all of which is within the identified hub (see Appendix IX). At the time of future development, additional preservation of trees within the hub will be sought. The General Development Permit indicates that additional tree preservation for lots adjacent to the buffer will be an objective at the Development Permit stage.
- Dedication of the habitat area will meet and exceed the required 5% for park land. Due to the ecological significance of the land, the applicant proposes to dedicate the full 12% at no cost to the City.
- The applicant proposes planting around the realigned watercourse, which will enhance the habitat value of the dedicated lands.
- The applicant has submitted an environmental report on the subject property. The report states that there are a number of significant tree clusters on the site, concentrated mainly on the western side. The forested area contains habitat for urban animal species such as coyotes, deer, raccoons, rodents and rabbits, as well as birds. The limited food sources on the property and the proximity to adjacent industrial development make the overall wildlife habitat value fairly low.

### Tree Retention

- The site contains approximately 1200 trees, most of which are located on the remainder parcel and within the park dedication area.
- In order to create the proposed eight business park lots and required road, the applicant proposes to remove 80 trees. The remaining trees on the site will be preserved at this time. The table below illustrates the number and species of trees proposed to be removed:

Tree Species	Total # of Trees
Apple	2
Bigleaf Maple	2
Cherry	12
Douglas Fir	15
Paper Birch	39
Red Alder	4
Western Hemlock	1
Western Red Cedar	5
<b>Total</b>	<b>80</b>

Table 1: Tree Species and Number of Trees for Phase 1 of the development

- The Campbell Heights Land Use Plan identifies “Tree Preservation Opportunities” on this property. At the time of future development, tree preservation on Lot 9 will be evaluated in further detail. It is anticipated that the greatest opportunity for tree preservation will be adjacent to the dedicated buffer area.

#### Development Permit

- Although the applicant does not propose development of any industrial buildings as part of this application, a General Development Permit is required to establish guidelines for future development (see Appendix VII).
- The General Development Permit will prescribe parameters for the future development of the site and include design requirements pertaining to building, landscaping, ALR interface, tree protection, signage and drainage.

#### PRE-NOTIFICATION

- Pre-notification letters were sent on July 14, 2011. Staff received the following responses:
- Some respondents were concerned about the expansion of industrial development in this area, particularly on to land that is currently zoned for agricultural use.
  - *(Staff responded to these comments by pointing out that the lands are outside the ALR and are designated for industrial use in the Official Community Plan. The Campbell Heights Plan identifies this property for business park development.)*
- Staff received comments from farmers in the area who opposed the development because of possible impacts on drainage and wildlife. Farmers have seen increases in wildlife affecting their crops as other previously agricultural lands in the area have developed. Wildlife has the potential to damage crops. Farmers have also witnessed more fluctuations in flow to irrigation ponds and streams in recent years.
  - *(Drainage requirements in Campbell Heights are designed to maintain pre-development stormwater flow levels as much as possible. Also, 1.8 hectares (4.5 acres) of the site will be preserved and dedicated as park land to maintain wildlife habitat and allow for infiltration of rain water.)*



- Some respondents are concerned about the loss of wildlife habitat and ecological values associated with the removal of a large number of trees from this site.
  - *(According to the applicant's environmental consultant, the portion of the site with the highest habitat value is the area that is being dedicated as park land. Additional tree preservation opportunities will be explored as a component of future development on the lands.)*
- The application was referred to the Little Campbell Watershed Society (LCWS) for comment. The LCWS believes the proposed development will have little potential impact on the Little Campbell River. They have a general interest in maintaining drainage flows and promoting ecological values within the Campbell Heights area.

### ADVISORY DESIGN PANEL

The General Development Permit was reviewed by the Advisory Design Panel (ADP) on September 15, 2011. The ADP provided general comments about the wording and content of the development permit, which will be addressed prior to approval of the DP.

### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Subdivision Layout
Appendix III.	Engineering Summary
Appendix IV.	Agricultural Advisory Committee Minutes
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	ADP Comments
Appendix VII.	Proposed Development Permit Guidelines
Appendix VIII.	Proposed CD By-law
Appendix IX.	EMS Hub Area

### INFORMATION AVAILABLE ON FILE

- Environmental Report Prepared by Pacific Land Group, Dated June 15, 2011

*original signed by Nicholas Lai*

Jean Lamontagne  
General Manager  
Planning and Development

MJ/kms

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. 12/8/11 11:35 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                    Oleg Verbenkov  
   Pacific Land Resource Group Inc.  
   Address:                    Unit 101 - 7485 - 130 Street  
   Surrey BC V3W 1H8  
   Tel:                            604-501-1624

2.      Properties involved in the Application

(a)      Civic Address:                    18749 - 24 Avenue

(b)      Civic Address:                    18749 - 24 Avenue  
   Owner:                        0727386 BC Ltd., Inc. No. 0727386

Director Information:  
Kanwalpreet Singh Rajasansi

Officer Information as at June 15, 2011  
Kanwalpreet Singh Rajasansi (President, Secretary)

PID:    009-190-058  
Legal Subdivision 3 Section 21 Township 7 New Westminster District

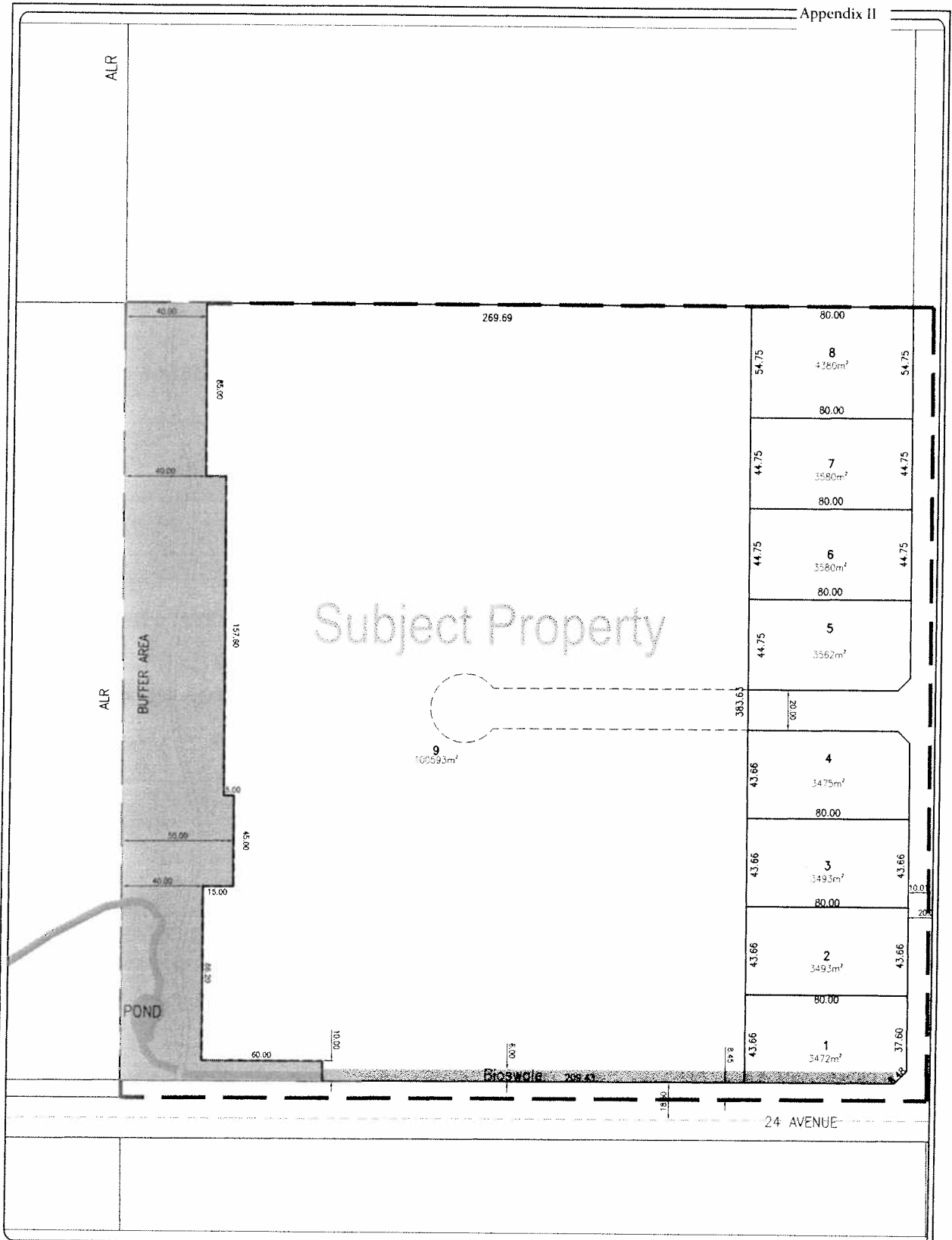
3.      Summary of Actions for City Clerk's Office

(a)      Introduce a By-law to rezone the property.

## SUBDIVISION DATA SHEET

Proposed Zoning: CD

Requires Project Data	Proposed
<b>GROSS SITE AREA</b>	
Acres	38.62
Hectares	15.64
<b>NUMBER OF LOTS</b>	
Existing	1
Proposed	9
<b>SIZE OF LOTS</b>	
Range of lot widths (metres)	44-54 (Phase 1)
Range of lot areas (square metres)	3472 - 4380 (Phase 1)
<b>DENSITY</b>	
Lots/Hectare & Lots/Acre (Gross)	2.5 & 1.0
Lots/Hectare & Lots/Acre (Net)	2.5 & 1.0
<b>SITE COVERAGE (in % of gross site area)</b>	
Maximum Coverage of Principal & Accessory Building	
Estimated Road, Lane & Driveway Coverage	
Total Site Coverage	
<b>PARKLAND</b>	
Area (square metres)	18,212
% of Gross Site	12%
<b>Required</b>	
<b>PARKLAND</b>	
5% money in lieu	NO
<b>TREE SURVEY/ASSESSMENT</b>	
	YES
<b>MODEL BUILDING SCHEME</b>	
	NO
<b>HERITAGE SITE Retention</b>	
	NO
<b>BOUNDARY HEALTH Approval</b>	
	NO
<b>DEV. VARIANCE PERMIT required</b>	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO



CLIENT: <b>Puran Construction Ltd.</b>			
PROJECT: <b>24 Ave &amp; 188 St., Surrey</b>			
DRAWING TITLE: <b>Subdivision Plan</b>			
PROJECT No. <b>10-884</b>	DATE: <b>December 7, 2011</b>	DRAWING: <b>01</b>	SCALE: <b>1:1750</b>
PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES			





**Pacific Land Resource Group Inc.**

Suite 101 - 7485 130 Street  
Surrey, British Columbia  
Canada V3W 1H8  
Tel: 604-501-1624  
Fax: 604-501-1625  
www.pacificlandgroup.ca  
info@pacificlandgroup.ca

# INTER-OFFICE MEMO

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TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **November 30, 2011** PROJECT **7810-0301-00**  
FILE:

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RE: **Engineering Requirements (Industrial)  
Location: 18749-24 Avenue**

## REZONE/SUBDIVISION

### *Property and Statutory Right-of-Way (SRW) Requirements*

- dedicate 24 Avenue, 25 Avenue, and 188 Street; and
- register SRW for 25 Avenue on the Phase II lands, and confirm off-site SRW for fish habitat area.

### *Works and Services*

- construct 25 Avenue within the Phase I lands, 188 Street for the site frontage, and bus bay on 24 Avenue;
- extend watermain on 24 and 25 Avenues, sanitary and storm sewers within 25 Avenue (Phase I), and complete ultimate drainage features on 24 Avenue at the nearest natural drainage channel; and
- install sanitary sewer on 188 Street between 28 and 32 Avenues.

A Servicing Agreement is required prior to Rezone/Subdivision.

## DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Master Development Permit.



Rémi Dubé, P.Eng.  
Development Services Manager

KH

**Present:**

M. Bose - Chair  
D. Arnold  
P. Harrison  
M. Hilmer  
B. Sandhu  
S. VanKeulen  
Councillor Hunt

**Regrets:**

B. Aulakh  
K. Thiara  
T. Pellett, Agricultural Land Commission

**Staff Present:**

R. Dubé, Engineering  
C. Stewart, Planning & Development  
M. Kischnick, Planning & Development  
D. Merry, Planning & Development  
L. Anderson, Legislative Services

**Environmental Advisory Committee****Representative:**

B. Stewart

**Agency Representative:**

K. Zimmerman, Ministry of Agriculture

**Also Present:**

O. Verbenkov, Pacific Land Group

It was requested that the following items be added to the Agenda:

- C.1 Illegal Truck Parking Update
- F.1 Bylaws – Farm Market Sales
- G.6 CleanFARMS BC Pesticide Disposal Program

**A. ADOPTION OF MINUTES**

It was

Moved by M. Hilmer

Seconded by P. Harrison

That the minutes of the Agricultural

Advisory Committee meeting held on July 5, 2011, be adopted.

Carried

**B. DELEGATIONS****C. OUTSTANDING BUSINESS****1. Illegal Truck Parking Update**

Further to the request of the Chair that there be an update with regard to illegal truck parking in the ALR, C. Stewart, Senior Planner, reported on the various active Bylaws' files pertaining to illegal truck parking and noted that a further update will be provided by Bylaws' staff at the October or November AAC meeting.

Some discussion ensued regarding the increase of illegal truck parking.

**D. NEW BUSINESS****1. Proposed Rezoning, Subdivision and General Development Permit**  
18749 – 24 Avenue (Campbell Heights)  
File No. 7910-0301-00

M. Johnson, Planner, was in attendance to provide a review of her memo, dated August 25, 2011, regarding the subject application, and to receive feedback from the Committee. Comments were as follows:

- The site is approximately 15 ha (38 acres) located at the northwest corner of 24 Avenue and 188 Street. It borders ALR land to the west and is separated from ALR land on the south by 24 Avenue.
- The property is designated for business park use in the Campbell Heights LAP; it will be rezoned from A-1 to CD zone based on the IB-1 and IB-2 zones.
- The applicant will create business park lots in two phases. Phase 1 will create eight lots fronting 188 Street with one large remainder parcel and will include dedication of the protected lands adjacent to the west property line. Phase 2 will occur in the future; the concept is for five lots in Phase 2.
- Phase 1 subdivision will be completed as part of the current application.
- No building construction is proposed at this time.
- The applicant must comply with the buffer requirements of the Campbell Heights LAP which calls for an Open Space Corridor/Buffer adjacent to the west property line and that the corridor should serve to protect the vegetation on the western ridge and provide a wildlife corridor approximately 50-60m wide. The plan also requires a buffer from the edge of the agricultural land, made up of a minimum building setback of 30m within which a landscaped strip of a minimum width of 15m is provided for sites that abut the ALR.
- Compliance of the City's OCP setback of 30m is exceeded by a minimum of 7.5m. As 24 Avenue separates the site from the agricultural lands to the south, buildings will be located more than 30m from the edge of the ALR (cross-sections of three scenarios, all with an absolute minimum setback of 37.5m across 24 Avenue, were reviewed). Setbacks could be greater, depending on how future owners design their sites.
- A protection area is required, ranging from 40-55m wide. Existing vegetation will be retained and Parks will require construction of a pathway. A portion of an existing class-B watercourse will be relocated to this preservation area.
- Planting requirements for the bio-swale/buffer area adjacent to 24 Avenue will be included in the development permit.
- City policies are not explicit about buffering requirements when industrial development is separated from agricultural lands by a road, and there is little precedent for this situation elsewhere in Surrey. The proposed bio-swale, planting, and large setback are intended to provide appropriate distance and screening between future development and the agricultural lands to the south.
- Previously driveways were not permitted, however the Transportation Department have permitted two driveways as a right-in right-out driveway access. Those same lots would also have to have truck access to the road. In addition, the applicant has taken the future road dedication in to account.

The Committee's comments were as follows:

- We have a detailed drawing, but no detail of what the buffer is to the ALR.
  - *The buffer itself will retain the vegetation presently there.*
- We have to find out what our ALR buffer is going to be between industrial property and the ALR. Is this distance and width going to be a standard as we continue on?
- The buffer should also be more impervious of evergreens.
- A fence should be recommended between the park and farmland. In addition, a notice should be put on Title so that future occupants are aware of regular farming activities, odours, etc.
- There has not been any discussion with the applicant with regard to fencing.
- The application right now is only for the eight lots along 188 Street. Unsure of when Phase 2 will be pursued.
- The present drawings are preliminary, in a general stage, which could change.
- The standard drainage mitigation for Campbell Heights infiltrations has been factored in and applied.

It was

Moved by S. VanKeulen

Seconded by P. Harrison

That the Agricultural Advisory Committee

recommends to the G. M. Planning and Development, approval of Application No. 7910-0301-00, with the following requirements:

1. A black chain link fence to be installed on the western property line before the start of construction of the buildings;
2. A Notice on Title regarding possible agricultural activities in the area (associated smell, noise, etc.) be added to this and any future subdivisions; and
3. The buffer be as densely coniferous as possible.

Before the motion was put, discussion ensued as follows:

- What about the maintenance of the fence? Perhaps the fence should not be on the property line, rather it be one foot east of the property line.
- The fence would provide further protection for the agricultural land.
- Installation of the fence would require the removal of trees in order to gain access for the fencing equipment.
- It may not be necessary to go in and take down trees at this point in time, but at some point it may be necessitated. Therefore the principle that there should be a fence is right, however it may be better to hold off on building the fence right away and to hold money in lieu until the fence is needed, at which point the provisions would be in place for the City to then install.



It was Moved by S. VanKeulen  
 Seconded by P. Harrison  
 That the Agricultural Advisory Committee recommends to the G. M. Planning and Development, approval of Application No. 7910-0301-00, with the following requirements:

1. A black chain link fence be provided along the western property line and that the costs associated with the installation of the fence be provided to the City in lieu of the fence being built now so that the fence can be built at a future date by the City, when necessitated.
2. A Notice on Title regarding possible agricultural activities in the area (associated smell, noise, etc.) be added to this and any future subdivisions; and
3. The buffer be as densely coniferous as possible.

Carried

It was Moved by S. VanKeulen  
 Seconded by D. Arnold  
 That the Agricultural Advisory Committee recommends to the G. M. Planning and Development, that staff come back to the Committee regarding Application No. 7910-0301-00 once there has been a concrete plan developed for the buffering for the subdivision of the remainder lot.

Carried

2. **Proposed Rezoning, Official Community Plan Amendment and Subdivision within the 300 Metre Farm-Sensitive Area to the ALR**  
 17339 – 64 Avenue  
 File No. 7911-0136-00

J. Denney, Associate Planner, was in attendance to review his memo, dated August 10, 2011, regarding the subject application and to receive feedback from the Committee. Comments were as follows:

- The property is split designated Suburban and Urban in the OCP.
- The applicant is proposing to subdivide the subject property into six single family lots, similar to the lots to the west and the east. Two of the proposed lots back onto ALR land.
- A 20m landscape buffer at the rear of both lots that back onto the ALR, similar to the buffers approved to the east and west properties, is proposed.
- An additional 6m “no-build” RC is proposed on lots 5 and 6 to create further separation between the ALR and future homes on these two lots. This RC is consistent with adjacent approved projects that have homes backing onto the ALR.

The Committee’s comments were as follows:

- There is no buffer on the neighbouring properties. This is the area that facilitated the buffer requirement that all future buffers be put in before buildings are finished.

- This property is the only remaining access to the back to ensure/enforce the buffer requirement for all the properties bordering the ALR to the west and east of this property.
- We should address the issue of the lack of buffering on the properties surrounding. The Committee's original discussion with regard to the all of these properties bordering the ALR was that the buffering be planted before construction of the homes.
- The City should enforce and/or use the monies being held as deposit to ensure all the buffering is done before this application goes through.
  - *Not aware of any funds still available for this, and if there are, it will not be as much as needed.*
- The issue is that the developer does install a buffer but the builder comes in soon after and removes the buffer, which is left unchecked until the building is completed, at which time it is hard to rectify.
- We need to find a way to transfer the deposit monies for the buffer to the builder and then to the owner.

It was

Moved by S. VanKeulen

Seconded by M. Hilmer

That the Agricultural Advisory Committee

recommends to the G.M. Planning and Development, approval of Application No. 7911-0136-00, with the appropriate landscape buffer being planted before the Building Permit is issued.

Carried

- The proposed buffer is undulating from 10m to 15m. The only instance of this type of buffer being supported was for an application on 4 Avenue that had a pre-existing, non-conforming house on the property, and it was for the area immediately around that house. Other than that, the Committee has never supported undulating buffers. We have to have consistency.
- The buffer is a necessity and should be densely planted with conifers and deciduous trees. As a planning principle, selling the view of the ALR should not be supported.

It was

Moved by S. VanKeulen

Seconded by P. Harrison

That the Agricultural Advisory Committee

recommends to the G.M. Planning and Development, regarding Application No. 7911-0136-00, that:

1. The City should take this opportunity to complete the buffering on the surrounding lands that were not completed at the time of development;
2. The buffering should be consistent and not undulating; and
3. That the buffering, as proposed, is not acceptable and never has been acceptable.

Carried

**3. Proposed Rezoning and Subdivision**

7626 – 155 Street and 7628 – 156 Street  
File No. 7911-0085-00

C. Atkins, Planner, was in attendance to review his memo, dated September 6, 2011, regarding the subject application and to seek feedback from the Committee.

Comments were as follows:

- The proposal for the two lots (11 acres total) is to rezone from A1 and RA to CD (based on Cluster Residential (RC) Zone) in order to allow a subdivision into approximately 24 single family lots, at a gross density of 2 upa, and to dedicate approximately 46% of the gross area as parkland.
- The site is adjacent to ALR land to the south and west. The ALR lands to the south are separated from the site by the unopened 76 Avenue. The ALR lands to the west are currently operating as a golf course (Eagle Quest). To the north are Suburban-designated acreage parcels, and to the east is Fleetwood Park. The eastern portion of the site is heavily treed and the western portion is encumbered by BC Hydro ROW and therefore mostly cleared of trees.
- The proposed dedication of parkland (approximately 2.06 hectares) to the City will result in an ALR buffer that will be almost exclusively City owned land. The parkland will abut the unopened 76 Avenue to the South and the ALR designated golf course to the east. The park design for that land is to let the land remain a natural area with no formal trails within the buffer portion of the parkland, although there is currently a trail there.
- The applicant will be required to build any fencing on parkland used as buffering.
- A tree retention plan has yet to be provided by the applicant for the developable area, which is beyond the 37.5-metre ALR buffer.
- The Engineering Department has stated that 76 Avenue will remain unopened.

The Committee's comments were as follows:

- The buffer must remain and not be cut down.
- There should be no access to the buffer from those properties.
- A black chain link fence should be required along the southern property line to prevent access.
- Of major concern are any future pathways, bike lanes, etc. and that the buffer is protected now before anything else can take place.
- It could be argued that there is no need for a trail through the buffer because there is access from 155 Street, which includes the BC Hydro ROW and is already cleared, 156 Street already has a trail going down it, and there is a proposal for access from the new road from Fleetwood Park to the east (76A Avenue). There is no need for Parks' to create anything in the buffer and that all the trees should easily be retained.

It was Moved by S. VanKeulen  
Seconded by B. Sandhu  
That the Agricultural Advisory Committee recommends to the G.M. Planning and Development approval of Application No. 7911-0085-00, with the following requirements:

1. a black chain link fence be installed along the southern property line; and
2. the dedicated buffer remain as a buffer with no access other than at three dedicated areas: the end of 155 and 156 Streets and the east end of the new lot at 76A Avenue.

Carried

## **E. ITEMS REFERRED BY COUNCIL**

## **F. CORRESPONDENCE**

### **1. Bylaws - Farm Market Sales**

The Chair provided a copy of the e-correspondence he received from Mr. Ron Tamis, Rondriso Farms, regarding Surrey's bylaws pertaining to farm market sales and business license requirements. Comments were as follows:

- Mr. Tamis is a young startup farmer, trying to make a go of mixed farming. He sells 100% of what he grows on his farm.
- Aside from the poor weather experienced by all farmers this summer, Mr. Tamis has also endured further setbacks from having his business broken into and all of the (pre-sold) beef stolen. In addition, he also received a visit from the RCMP to request that he remove all of his signs as they are not permitted. The signs have since been destroyed, however that was not done by Mr. Tamis.
- Mr. Tamis has now been visited by a Surrey bylaw officer who informed him that he cannot sell product from his farm and that he could not continue his operation without a business license.
- This type of misunderstanding and blatant disregard for a legitimate farming operation that is operating within the regulations needs to be addressed.
- A substantial amount of bylaw officers' visits are complaint driven. It can be assumed that there must have been a complaint filed. Why the bylaw officer proceeded as he/she did in shutting down Mr. Tamis' operation needs to be understood. Mr. Tamis is working within the guidelines and regulations.
- On the basis of the correspondence received from Mr. Tamis, bylaws should be invited to the next meeting of the Committee to help us with their understanding and to hear our concerns so that we may clarify the situation.
- Agreed. It would be good to know what it is we, as farmers, are doing that is driving the complaints and we need to know sooner than later.

Some discussion ensued with regard to farm market size, shelf space, product restrictions and whether there was a requirement for a business license

It was Moved by S. VanKeulen  
Seconded by B. Stewart  
That the Agricultural Advisory Committee  
send a copy of the letter from Mr. Tamis to the Manager, Bylaws, and request that  
a representative from the Bylaws Department attend the October 6, 2011 AAC  
meeting to discuss bylaws surrounding farm markets.

Carried

## G. INFORMATION ITEMS

### 1. Development Adjacent to the ALR

442 – 188 Street and 435 – 192 Street

File No.: 7910-0256-00

S. Gormley, Planner, was in attendance to review his memo, dated September 6, 2011, regarding the subject development. Comments were as follows:

- A nine (large) agricultural/residential subdivision is proposed with eight lots that are 2 hectares (5 acres) in size and one lot at 1.8 hectare (4.4 acres).
- The 442 - 188 Street property abuts the ALR along its northern and western boundary.
- The subdivision is permitted by the OCP and by the Zoning By-law.
- The subject lands are designated “AGR”, Agriculture, in the OCP and zoned “A-1”, General Agriculture Zone, by the Zoning By-law.
- The Zoning By-law provides for a minimum lot size of 2 hectares (5 acres) allowing for one undersized lot of 1.8 hectares (4.4 acres).
- A rezoning is not needed as the A-1 zone permits the use and the proposed lots are in conformity with the minimum permitted lot size.
- An easterly and north-easterly portion of the two properties are identified as a hub area in the Surrey Ecosystem Management Study. The applicant has agreed to protect the hub area with a Restrictive Covenant for building footprints and land clearing provisions.
- The lands directly to the south with three properties are also under a development application.
- As the subject lands are designated AGR in the OCP the policies pertaining to buffering outlined in the OCP do not apply in this situation. However, the proposal does provide for a minimum 37.5m setback for the principal residential building from the ALR boundary consistent with Policy O-23. Lots 3 to 7 also allow for a significantly greater setback from the ALR boundary as their lot depths are generally over 200m. The A-1 zone requires at least a 15 m setback for accessory buildings.
- The Highland Creek corridor will provide a buffer at the northeast portion of the site (Lots 6 and 7). Future Lot 8 (435 192 Street) is approximately 100m from the ALR boundary at its nearest point.

The Committee commented as follows:

- With regard to the north property line, is there any of this land, particularly the north boundary, that is so gently sloping that it should actually be in the ALR rather than be out of?

M. Hilmer left the meeting at 10:51 a.m.

- This area is designated AGR in the OCP and is remaining AGR designated, it is just not in the ALR. The lands adjacent to the ALR had been actively farmed and will likely now become estate homes or hobby farms.
- We want to encourage farming to continue on the property. It would be preferred if, by the way of the land, hobby farm type uses could be encouraged.
- What happens if a chicken barn is built on one of these properties or in the ALR? It should be known that there is agricultural land within the ALR next door that has the 'Right to Farm'. It is imperative that there be a Notice on Title that refers to all the nuisances that are there now and may be in the future.
- Realizing that these lands are north facing, etc., as such it would not be unreasonable to suggest that Planning staff talk to the owners about the possibilities of compacting the residential uses so that a larger agricultural lot could be on the property.
- Agree that there should not be an agricultural buffer constructed, because the lands could also be agricultural, but should consider it if the land use ever changes to smaller residential lots in the future.

#### COMMITTEE RECOMMENDATION:

It was

Moved by Councillor Hunt

Seconded by B. Stewart

That the Agricultural Advisory Committee

recommends to Council that staff be directed to continue to look for the opportunities for land that is outside of the ALR to be available for future inclusion into the ALR.

Carried

#### **2. Update: Anniedale-Tynehead Buffer Adjacent to ALR**

P. Heer, Planner, was in attendance to provide an update on the Anniedale-Tynehead buffer consideration adjacent to the ALR. A short PPT presentation that included potential buffer and development drawings was also provided. Comments were as follows:

- The last update to the AAC, which was the introduction (Stage 1) of the Anniedale-Tynehead NCP, was specifically with regard to the NCP in relation to the ALR and the preferred buffer.
- A different approach has been taken for this NCP because of the fair bit of slopes and environmentally sensitive areas next to the ALR. As such, a cluster design was considered with the owner dedicating more land as parkland at the ALR boundary for a larger buffer, in order to gain additional density above (a sliding scale).
- When looking at the new buffer consideration in more detail (roads, servicing, etc.) some issues were identified with one of the roads that would be required to accommodate some of the development. The topography lines are fairly close because of the ridgeline. 178 Street is the tightest area of



all with more than a 15% slope, which is important in terms of roads where typically there is never more than 8%.

- It was determined that 178 Street would be too difficult to do. One of the issues is the length of the road without any other access to it (emergency vehicles, etc.). Development would also be difficult, as such each row of townhouses would have to have their own road in order to achieve the density. Developers are not sure it is worth it for the extra density.
- Additionally, along the tight area (ridgeline) is where most of the trees are. Development would require those trees to be removed. The buffer area at the bottom, closest to the ALR, is the flattest and doesn't have any trees, and as such, would require buffer planting from ALR.
- Needless to say, other alternatives to having enough developable land and still being able to make cluster densities work is being looked at. (An example was shown with the dedicated parkland moving, the trees being retained and the ALR buffer reduced to a minimum of 30m wide instead of the originally anticipated 50-100m.)
- Potentially the lands at the bottom could be held by strata and maintained by Parks.
- An Open House on this NCP is planned for October.
- Planning Staff noted that an agricultural buffer workshop will be held with the AAC in October or November of this year to discuss Buffer Policies and Development Permit Guidelines. Possible dates for the workshop will be discussed at the October AAC meeting.

Councillor Hunt left the meeting at 11:25 a.m.

The Committee commented as follows:

- We shouldn't stray from the policy we already have in place for buffers.
- All this has done is design more parkland, but doesn't help agriculture. Not acceptable.
- What about a couple of high-rises?
  - *We have to remember what people are looking for. People moving to Surrey are not going to move to a high-rise in this area.*
  - *What we have done, is to have the apartments, etc. moved further along where the transit is, as that is typically where the highest densities are.*
  - *Something to keep in mind is that whatever we do, we want to make sure the Policy works. With the NCP, trying to balance a number of things. For example, we can have a policy like O-23 or we can take a look at having a policy that is designated for the area we are looking in.*
- We still want to have the buffer. The concern is that this type of buffering (whether strata or parkland) will be used as examples for other areas. It should be recognized that this area is unique and documented as such that it doesn't apply anywhere else.
- Park ownership of the buffer is preferred over strata.
  - *We know for sure that there is a big portion that would be parkland.*
- From a farmer's perspective, if it is parkland it is accessible to all, if it is private then it doesn't have the desired effect.
  - *Preet – except in stratas; it works with stratas, they maintain it.*

- It is probably not enough of a buffer, when you consider the cannon issue, tractors running at night and the drift issues, the farmer has limited spraying opportunities as it is. It limits the farmer.
- This is an NCP, we don't even know what is happening with the adjacent lands to the west. If we agree, developers will then come in with their own interpretation and expected changes.
  - *This is going to be an area designated for development, we want to have a plan in place so we don't have this problem.*
- There is still a concern that the 30m minimum buffer is not enough for the amount of density being considered.
- We should look at this again with the comments from the Open House.

It was

Moved by B. Stewart

Seconded by P. Harrison

That the Agricultural Advisory Committee receive a further presentation on the Anniedale-Tynehead buffer considerations at the November meeting, which will include the Comments from the AAC's September meeting as well as the comments received from the public Open House.

Carried

3. **BC Food Processors Association Pamphlet: "Producing Livestock for Meat in British Columbia"**

4. **Ministry of Agriculture: "A Guide to Starting and Growing a Small or Medium Sized Farm Business in British Columbia"**

5. **Ministry of Agriculture: Climate Action**

Ministry of Agriculture website excerpt regarding renewable energy feasibility studies on farms in BC.

6. **CleanFARMS BC Pesticide Disposal Program**

It was

Moved by B. Stewart

Seconded by P. Harrison

That items G.3, G.4, G.5 and G.6 be received as information.

Carried

## H. OTHER BUSINESS

### 1. Flavours of Surrey Update

A brief update was provided noting that a final meeting of the sub-committee is still to be scheduled. Some comments were as follows:



- The weather was extremely detrimental and completely soaked our area. It was the main complaint and really was what drove people away on the Saturday. Sunday proved to be a much better day with the cow and chicken trailers being over-the-top successful.
- The cooking demonstration stage was a huge success.
- There were issues with the layout which made it too easy to be passed by.
- What we wanted to promote wasn't in the most visible area.
- Most of the chefs agreed they would come back again.
- Overall, it was highly successful when the attendance numbers are compared to the last three Flavours' events.
- From the point of view of getting the word out about agriculture in Surrey, it did that very well.

2. AAC Meeting Date for November 2011

It was confirmed that the AAC meeting for November will be held on Friday, November 4, 2011.

J. NEXT MEETING

The next meeting of the Agricultural Advisory Committee will be held on **Thursday, October 6, 2011**, in **Parks Boardroom #1**.

K. ADJOURNMENT

It was

Moved by P. Harrison

Seconded by B. Sandhu

That the Agricultural Advisory Committee

meeting do now adjourn.

Carried

The Agricultural Advisory Committee adjourned at 12:10 a.m.

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Jane Sullivan, City Clerk

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Mike Bose, Chair  
Surrey Agricultural Advisory Committee

<b>TREE PRESERVATION SUMMARY</b>
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Surrey Project No.:	<u>7910-0301</u>
Project Location:	<u>18689 24<sup>th</sup> Avenue, Surrey BC</u>
Registered Arborist:	Trevor Cox, MCIP ISA Certified Arborist (PN1920A) Certified Tree Risk Assessor (43) BC Parks Wildlife and Danger Tree Assessor

Detailed Assessment of the existing trees of an Arborist's Report is submitted on file. The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment of the Subject Site: 38.96 acre parcel with no residence upon it. The assessment area includes the trees impacted by phase one of the development along the Eastern edge of the site (12.08 acres). Significant stands of timber are found on the site. Protected sized pioneer species trees found within site.

2. Summary of Proposed Tree Removal and Placement:

The summary will be available before final adoption.

Number of Protected Trees Identified	<u>80</u>	(A)
Number of Protected Trees declared high risk due to natural causes	<u>0</u>	(B)
Number of Protected Trees to be removed	<u>80</u>	(C)
Number of Protected Trees to be Retained (A-B-C)	<u>0</u>	(D)
Number of Replacement Trees Required (C-B) (4 at 1:1 and 76 at 2:1)	<u>156</u>	(E)
Number of Replacement Trees Proposed	<u>          </u>	(F)
Number of Replacement Trees in Deficit (E-F)	<u>          </u>	(G)
Total Number of Protected and Replacement Trees on Site (D+F)	<u>          </u>	(H)
Number of Lots Proposed in the Project	<u>          </u>	(I)
Average Number of Trees per Lot (H/I)	<u>          </u>	

3. Tree Survey and Preservation / Replacement Plan

Tree Survey and Preservation / Replacement Plan is attached

This plan will be available before final adoption

Summary prepared and submitted by:

Arborist

March 31, 2011

Date

# Advisory Design Panel Minutes - draft

**Present:**

Chair - L. Mickelson

**Panel Members:**

T. Ankenman

S. Lyon

T. Wolf

R. Myers

Cpl. Marc Searle

K. Newbert

D. Lee (did not attend; provided written comments)

**Staff Present:**

T. Ainscough, City Architect, Planning &amp; Development

M. B. Rondeau, Senior Urban Designer, Planning &amp; Development

H. Dmytriw, Legislative Services

Agenda was varied:

**C. RECEIPT OF MINUTES**

It was

Moved by Ken Newbert

Seconded by Ron Myers

That the minutes of the Advisory Design

Panel meeting held on August 18, 2011 be received.

Carried**A. RESUBMISSION**

1. **File No.:** 7907-0215-00  
**New or Resubmit:** Re-submit (prev. July 28, 2011)  
**Description:** Proposed Commercial Development  
**Address:** South West Corner of 128 Street and  
King George Boulevard, South Westminster  
**Developer:** Bhajan Rai, Gurdev Kahlop  
**Architect:** Anatoly Morgulis, Morgulis Architect Inc.  
**Landscape Architect:** Patricia Campbell, DMG Landscape Architects  
**Planner:** Lee-Anne Pitcairn  
**Urban Design Planner:** Mary Beth Rondeau

The Urban Design Planner clarified the SkyTrain guideway location above the site.

The City Architect noted that the meeting minutes from July 28, 2011 for 7907-0215-00 were included with the ADP package and that the ADP's review of the revised drawings should be limited to the issues noted in the previous meeting minutes.

The Project Architect responded to the July 28, 2011 Statement of Review:

- Pick-up window - clarified that the drive-through restaurant pick-up window is on the King George side.

- Bicycle parking - there are three possible locations for the bicycle parking: close to 111 Avenue, close to King George, and also close to main entrance of the office building.
- Building A curved roof – from the north and east side the slope is in the middle, one long curve line from both elevations north to south.
- Corner of Building B has no curve and did not address the street corner. Redesigned as one little curved line with a profile that works together with the roof.
- Material quality and detailing – the whole building is of steel, glass and concrete.
- Visibility into the King George Building B retail area – added windows on the King George side and from corner side.
- Fascia signage – now a glass canopy with clean fascias with signage underneath, flush with storefront.
- Patio landscaping now has landscaping surrounding the patio.
- Handicapped parking relocated from south east corner closer to Building B and one added at Building A.
- Two wheelchair accessible washrooms are provided on the 2<sup>nd</sup> floor, adjacent to elevator.
- Window in office area – sliding windows along elevations and side elevations.
- Major changes – The buildings have been reduced in floor area to accommodate more landscaping and changed dormer shape from curved dormer to simplify roof details.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- The site plan has more landscape in the parking area. Concentrated trees in areas where they do not interfere with the guideway.
- Looked at a strong pedestrian network from bikeway at 111A Avenue and east-west one at Building B. All have let downs, and marked crosswalks. Hoping the drainage will be picked up in those areas.
- Sunny site. Not pleasant now, but preparing with a picnic table and some shading from tracks; and bench and bike racks on either end of the connection.
- All plantings are drought tolerant.
- Street trees will be in grass boulevards; conifers along King George.

Question - on picnic bench area – Picnic table is wheelchair accessible.

*T. Ankenman joined the meeting at 4:20 pm.*

**ADVISORY DESIGN PANEL STATEMENT OF REVIEW**  
**South West Corner of 128 Street and King George Boulevard, South**  
**Westminster**  
**File No. 7907-0215-00**

It was Moved by S. Lyon  
Seconded by K. Newbert  
That the Advisory Design Panel (ADP)  
recommends that the applicant address the following issues to the satisfaction of  
the Planning Department.

Carried

**STATEMENT OF REVIEW COMMENTS**

- Pedestrian Circulation - Sidewalk requires connection to the intersection of King George Highway and 128<sup>th</sup> Street and at 111-A Ave. and 128<sup>th</sup> Street. Provide either material change or other visual cue where sidewalk crosses over bike path.
- Ensure that sidewalk frontages leave at least 5' clearance with cars parked in adjacent stalls. May need wheel stops.

**Form and Character**

- Windows are right thing in commercial unit. Sliding windows may not be functional.
- Massing, exterior finish materials, durability, colour, fenestration, articulation, character are much improved.
- Revised design has responded well to comments from previous panel. All items have been considered.

**Landscaping**

- Improve the arrangement and orientation of site furniture, particularly at southwest corner of site. Consider a seating alcove that is surrounded with planting. Add more fixed outdoor seating – application shows only one picnic table. Indicate locations for trash and recycling.
- Coordinate sidewalk design along King George Highways with Municipal Standards. Decorative sidewalk treatment should be concentrated within the property areas (e.g., unit paving, decorative concrete etc.)
- Comments made at July 28, 2011 meeting have been addressed.

**CPTED**

- Provide locations for pedestrian lighting to achieve adequate lighting along walkways.

**Accessibility**

- Disabled concerns have been addressed.

**Sustainability**

- Along perimeter of surface parking, provide curb breaks and grade the parking to allow drainage into landscaped areas. Incorporate rain gardens into perimeter planting scheme using native plant material.

**The Project Architect and Landscape Architect were invited to comment or ask questions:**

- No comment.

**B. NEW SUBMISSION**

1.	<b>File No.:</b>	<b>7910-0301-00</b>
	<b>New or Resubmit:</b>	<b>New</b>
	<b>Description:</b>	<b>Business Park – Master Development Permit</b> For a phased subdivision; CD based on IB-1 and IB-2
	<b>Address:</b>	18749 24 Avenue, Campbell Heights
	<b>Developer:</b>	Gurdev Sandhu, Puran Construction Ltd.
	<b>Architect:</b>	Wally P. Semenovoff, Pacific Land Group
	<b>Landscape Architect:</b>	N/A
	<b>Planner:</b>	Melissa Johnson
	<b>Urban Design Planner:</b>	Hernan Bello/Tom Ainscough

The City Architect presented an overview of the proposed project and highlighted the following:

- Master DP was prepared by consulting planning firm - Pacific Land Group.
- This application is for an assembly of several lots. A Master Development Permit is required to outline urban design requirements for future applications on each development site.
- Site location - in the Campbell Heights Industrial Park, in the south-east corner of Surrey, at 188 Street and 24 Avenue.
- To the east of the site in Langley there are commercial nodes along 200 Street at 24 Ave. and 28 Ave.; to the west is Morgan Crossing where 24 Ave. intersects with Hwy. 99. The area around the site is crisscrossed by a grid of arterial roads.
- Site is subject to the Campbell Heights NCP which was approved in 2000.
- The overall Campbell Heights area is almost 2,000 acres. This particular site is 38 acres and the subject site is located adjacent to an ESA.
- This area lies outside of the Campbell Heights Phase 1 lands and so will require a DP; sites within the Phase 1 area do not.
- Green area on the Campbell Heights land use map is ALR. Riparian area has an extra wide buffer set aside to protect it. Creek relocation and restoration is part of this master DP.
- NCP gateway features are required on 192 St. at the north and south and on 32 Ave. at the east and west. The master DP guidelines require entrance features and a response in building siting and orientation for corner sites, but no specific design for a “gateway feature”.
- The site includes 9 business park lots.
- The design guidelines included in the NCP are high level guidelines. There are more detailed guidelines in this Master DP.

- Although the site is outside the Campbell Heights Phase 1 area, the Master DP design guidelines are based on the Campbell Heights design guidelines.
- Typically industrial buildings are not submitted to the ADP unless they are on highly visible sites or include commercial buildings. For example, the Loblaw Distribution Warehouse was submitted to the ADP.
- Photos of spandrel treatments for industrial buildings illustrate one of the design principles required for Campbell Heights and other industrial park areas.
- Typical buildings in this area fall into 3 categories:
  1. Special purpose warehouse combined with corporate office at the front - the Guidelines ask for the office to be expressed separately.
  2. Industrial multiple - these are usually larger buildings so we ask the applicant to articulate the buildings to reflect the individual units.
  3. Office - the original concept for Campbell Heights was to develop a kind of high end business park, with high tech uses.
- Design guideline objectives in the Campbell Heights NCP were to develop a unique character, comprehensive design, provide street beautification, ensure environmental protection, provide a pedestrian oriented environment, and to develop a green network, with multi use paths and pedestrian connections on site and off site.

Input requested from the design panel:

- Does the Master DP meet the NCP objectives?
- Are there issues that have not been addressed, and does the Panel have recommendations for modification, enhancement or revisions?
- The panel asked for an example of a high end industrial project in Surrey: e.g., Colebrook at 152 Street and Hwy. 10 would be a good example of an "industrial multiple."
- Another area is the Cloverdale Industrial Park at 53 Avenue and 184 Street.

The planning consultant, Wally Semenoff, Pacific Land Group, presented an overview of the proposal and highlighted the following:

- 38 acre site in Campbell Heights.
- Adjacent to agricultural land reserve (ALR) and Loblaw Distribution Centre.
- To be developed in phases. The smaller lots on 188 St. to be the second phase. Project to be done under CD zone.
- No outdoor storage is allowed on the smaller parcels.
- Intent of guidelines is to provide overall direction and guidance to project.
- Individual development to ensure accountability and documents to ensure compatibility with Campbell Heights NCP.
- An overall concept of high quality and eco industrial business park.
- Intent to accommodate a wide range of user types, integrating urban design, maintaining and enhancing environmental issues: e.g., redirect stream and preserve a 40-50 meter natural buffer on west of property.
- Design Guidelines - criteria for site design to ensure building articulation and variation to building at streetscapes.
  - Architectural design to be in consistent with projects elsewhere in Campbell Heights. Special attention to articulating facade materials and colours.
  - Extensive landscaping with 6 meter bioswale along 24 Ave. and along natural areas.

- Sustainability in building design to enhance existing natural habitat to 'green' standards.
- On site storm water retention. Area has good drainage.
- Signage will be integrated throughout development.
- Ensure that CPTED standards are maintained with proper on site lighting.
- Question: Site has potential for 13 lots approximately. Can the lot layout vary?  
Response: there are clients that have indicated they want to move to this location. If able to attract those clients, they would want larger land area. Are keeping it flexible enough in case of negotiation. Typical building footprint is 10,000 sq. ft. Smaller lots would not accommodate larger trucks. Bigger lots will take Class C tandem trailers.

### ADVISORY DESIGN PANEL STATEMENT OF REVIEW

18749 24 Avenue, Campbell Heights

File No. 7910-0301-00

It was

Moved by K. Newbert

Seconded by R. Myers

That the Advisory Design Panel (ADP)

recommends that the applicant address the following issues to the satisfaction of the Planning Department..

Carried

### STATEMENT OF REVIEW COMMENTS

#### Context and Site Planning

- Guidelines are designed for individual lots but lack overall design principles for the property as a whole.
- Consider integrated approach to the site planning; connecting all lots with spine; pedestrian walkways.
- Locate transit routes and bus stops in relation to the building entrances.
- Public Space – guidelines should encourage public space outside buildings for enjoyment of workers, e.g., lunches, walking, etc.
- Larger public space for entire site, e.g., small park would be valuable.
- Trails for lunch time walks. Circuit trail for fitness walks. Park like setting required for employee enjoyment.
- Consider retaining existing vegetation beyond buffer zone and extend inside the property.
- Consider showing form of development in the master DP – options for siting building and how these connect, public realm, etc.
- Consider how the buildings will be connected and movement of cars going to work.

#### Form and Character

- Picked up on all the points, but not strong enough.
- Background sheet – “internationally recognized business park” – leads you to expect great things.



- High end project –developments at front (188 St.) should be high-end to set a standard for whole project. Larger tenants might require outdoor storage, then it starts to get away from being high-end. Should be commercial space at 188 St., not industrial.
- Strengthen the wording on the guidelines to ensure a better response – don't use "consider". Use stronger wording for sustainability, building design, etc., in design guidelines.
- Consider mechanism for adherence to the guidelines during planning and construction phases.
- Ensure building heights are not excessive.
- Signage – Consider common material language for signage backgrounds, or plinths.
- Pg. 16 –notes that standard concrete block is not acceptable anywhere; assume the intent is to allow split face or "architectural" block.

### Landscaping

- Generally some of the landscape guidelines are vague and open to interpretation as to who is building what. Needs to be clearer.
- Public space and semi private space to use during breaks, etc. needed for people enjoy. Both on site on properties and off site in public realm are highly appreciated in these types of parks.
- Is there a mandate for us to do more comprehensive design for the site? Individual sites are connected by road and pathway, but it needs a spine for avenues for walking and picnicking and connecting the area to the green space. Lots of vegetation in the green space and don't want site to be less developed. More green vegetation for integration.
- Guidelines drive a fairly nice product but have seen nothing that struck as different from other nice complexes. See a lot of green grass and landscape setbacks. Give consideration for buildings to be closer to release more land to be naturally landscaped.
- Screening and Fencing – along development frontages encourage an alternating composition of soft landscape elements (e.g., hedging, border planting, lines of trees) with architecturally designed landscape elements (e.g., fencing with concrete or stone posts, low stone or concrete walls, trellises, pergola structures at corners / nodes) to provide a more defined streetscape environment.
- Provide picnic tables for lunch, staff amenity, etc.
- Consider more specific descriptions of materials for the public realm or, if more general descriptions are desired, ensure that there is a consistency in product specifications for the public realm (e.g., site furnishings, paving materials, planting and lighting).
- Consider a two tiered lighting system in the public realm that includes vehicular and pedestrian lighting.
- Lighting – In addition to accent lighting on buildings, encourage accent lighting in feature landscaped areas.
- Missing a pedestrian loop. It is a big property could have a north-south link and east-west link through to walk. Would be nice to get to green space to enjoy and nothing in site plan encourages that. Take a 10-20' right of way to enhance marketability of these developments. Have short cuts between

- buildings to ensure short cuts to transit and encourage movement of people. This will set project above the norm and attract the higher echelon to the site.
- Don't know if access to riparian area is permitted. If not, could pull back to allow walking along edge.
  - Consider pedestrian ways through the site.
  - Guideline comments:
    - Pg. 4 – Design Objectives – objectives are very general and open to interpretation. May be a problem.
    - Pg. 5 – Multi use trail – good opportunity to walk and cycle around site very important. Link system to industrial park
    - Pg. 7 – Design guidelines should ensure that underground utilities are not installed in conflict with planting buffer.
    - Pg. 19 – 7.1 General –
      - General comments are vague with much interpretation required.
      - Need maintenance plans with landscape plans.
      - Irrigation of some areas may be appropriate.
      - Sign off by Landscape Architect.
      - Tree retention plans required.
      - Landscape work guarantee on year or one growing season from substantial completion.
      - Require a more detailed description of plant material and quality for front end side, rear yards.
    - Pg. 21 –
      - Provide rain gardens, bioswales, and permeable paving in parking areas.
    - Pg. 22
      - Standardize materials for fencing, furnishings, site lighting

### **CPTED**

- Target hardening beyond locks and doorways but look at roof and entries through walls, etc. Store frontages with glass should have bollards as barriers.
- Opportunities for video surveillance, WIFI. Are finding that with large industrial areas some kind of alarm systems or mechanical alarm systems and audio alarms are not responded to as a significant percentage of audio alarms are false. Verified alarms are the most secure.

### **Accessibility**

- Bus stops are where TransLink puts them, but a bus stop should be here for accessibility. This is a far off area for transit. Won't see too much in the way of busses.
- More details required for wheelchair and disabled access.
- Ensure project (DP) includes disabled access, e.g., parking, paths, washrooms, curb let downs.

### **Sustainability**

- Need to write the guidelines more as requirements than considerations. Also have specific performance requests for rain water, etc.
- No compelling new format to project. Are looking for interpretation for development community, e.g. Pg. 27 – "structuring of the requirements: storm water management *aim* is to reduce storm water runoff." The word '*aim*' is

feeble and doesn't compel something different; "Consider using permeable materials"— 'Use' is much more affirmative language.

- Sustainability has no control over it; it says promote but there is no mechanism for control.
- Site is heavily treed. Take advantage of the trees and use the wood for something for the property, gazebo, benches. Require LEED or equivalent.
- Consider district energy, e.g., solar loop or something to let everyone contribute and draw from for energy use. Consider some site wide systems such as ambient loop, solar loop.
- Suggest more day lighting be required on all sides of the structures.
- Commend the applicant on the consideration of green roofs and living walls in the guidelines. Living walls should include a number of options including cables and trellis that can allow for climbing plants, and/or horizontally oriented linear planters on upper levels of building. Recent studies suggest that soil-based modular living walls can require higher than normal volumes of irrigation and have a tendency to dry out and compromise the health of vegetation – If a soil based modular system is used, care should be taken to orient them on the north sides of building to maintain soil moisture content.
- Consider continuous rain gardens along parking ranks; encourage wheel stops and curbless edges adjacent to rain gardens.
- Parking lot light standards – 30' tall. Why not do bollard lighting and incorporate dark sky principles, e.g., lights that don't shine upwards, parking lot light poles to not exceed 30' height. Can turn a project into a very elegant by mere fact of lighting.
- Sustainability section is hitting on all right notes. All design guidelines could be more firmly worded, if what you are after is a high end developer. If you go the extra mile, then so will everyone else.

#### D. OTHER COMPETENT BUSINESS

#### E. NEXT MEETING

The next Advisory Design Panel is scheduled for Thursday, September 29, 2011 **at the New Central Library, Multi purpose room**, at 4:00 pm.

#### F. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 5:35 pm.

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Jane Sullivan, City Clerk

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Leroy Mickelson, Chairperson

# CAMPBELL HEIGHTS 24

## Design Guidelines

December 7, 2011



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## 1.0 APPLICATION AND INTENT

### 1.1 Intent

- The intent of these guidelines is to provide overall direction, guidance and context to the planning and design of Campbell Heights 24 Industrial Subdivision (hereafter Campbell Heights 24) in order to promote a sustainable, cohesive, high quality business park.

### 1.2 Application

- These guidelines will assist the design of individual developments within the Campbell Heights 24 to ensure the compatibility of the overall urban design concept and principles with development on adjacent lands.
- These guidelines are to be used in conjunction with:
  - The development policies and design guidelines for the Campbell Heights industrial area contained within the Campbell Heights Local Area Plan; and
  - The Development Permit Area Guidelines contained in the Surrey Official Community Plan.



Campbell Heights 24 Industrial Subdivision - Existing

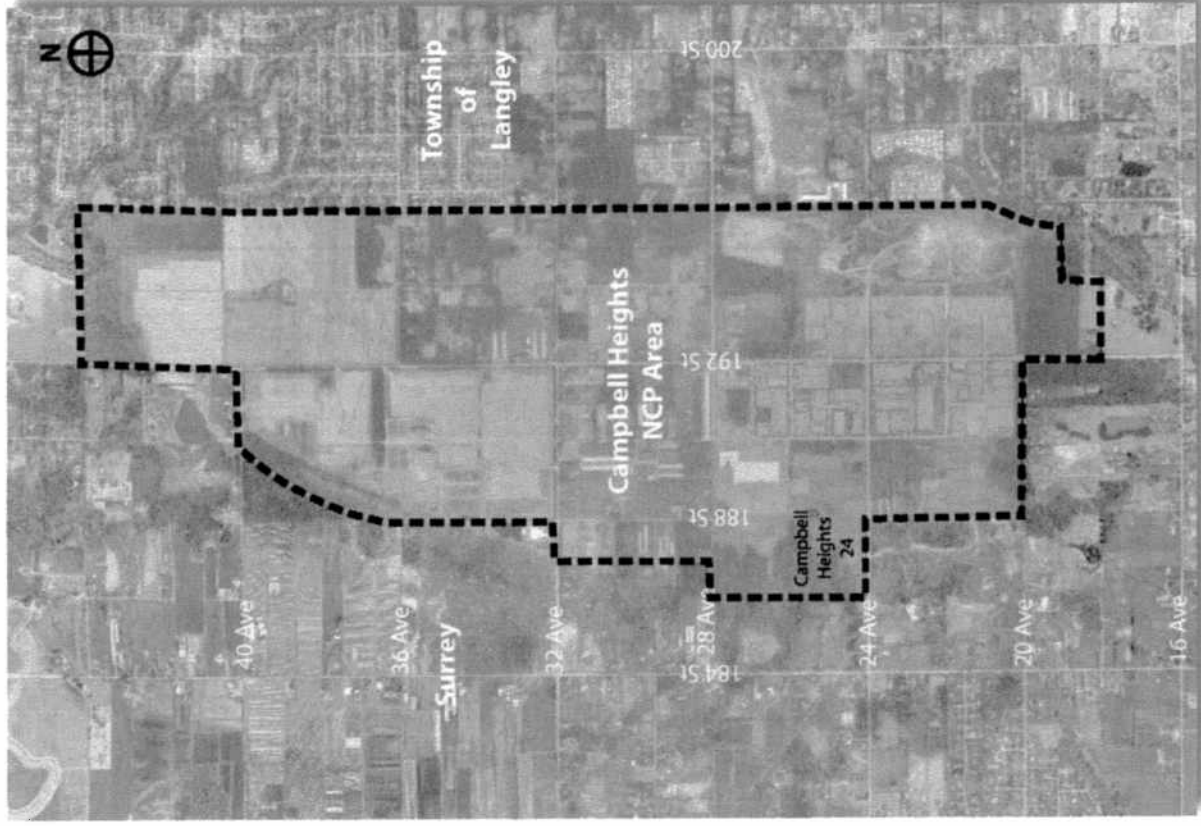
## 2.0 BACKGROUND

The Campbell Heights 24 is located in the South-East area of Surrey, BC. It is located within the Greater Vancouver Regional District, and is part of the larger Campbell Heights Industrial area.

Comprised of approximately 38.8 acres (15.7 Ha) of land, it is bounded generally by 24 Avenue to the south, ALR to the west, 188 Street to the east. The objective of the City with the Campbell Heights Industrial Plan Area is to create an industrial business park that is competitively positioned and marketed to be a catalyst for significant business investment and job creation in the City of Surrey.



Regional Context



Local Area Context

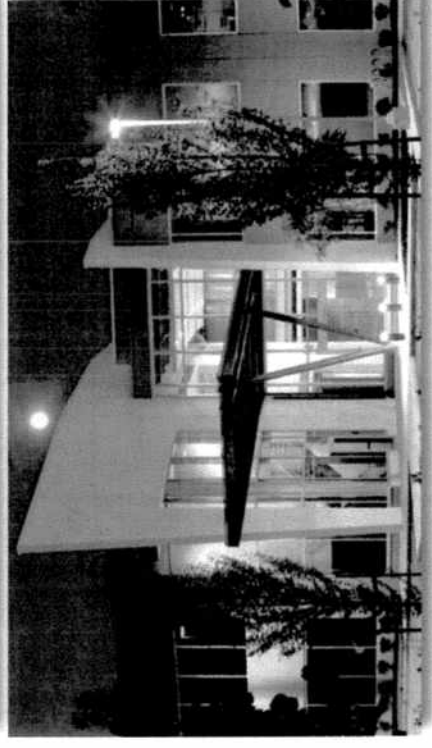
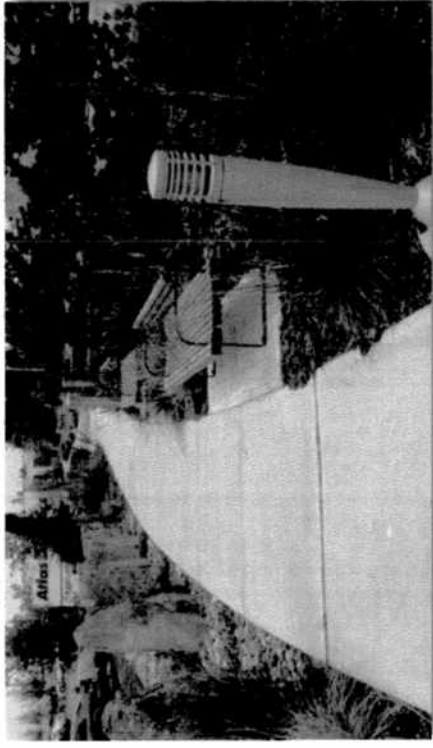




### 3.2 Design Objectives

The design objectives for the Campbell Heights 24 are to:

- Promote business investment and increase the attractiveness of Campbell Heights through high quality sustainable design, and good planning principles.
- Accommodate a wide range of user types within the context of the Campbell Heights Land Use Plan.
- Maintain a high quality standard in landscape and building design.
- Integrate urban design and environmental stewardship within the development process by maintaining, preserving and enhancing the natural environment where possible.
- Encourage a pedestrian-friendly environment.
- Coordinate and maintain the continuity of wildlife corridors, buffers, landscaped strips, and multi-use trails from one development site to another.
- Ensure appropriate and compatible interfacing with adjacent non-industrial land uses.
- Promote a harmonious and cohesive character of development.
- Ensure that the integrity of the public and private domains within the park are not compromised by the development of any particular lot.



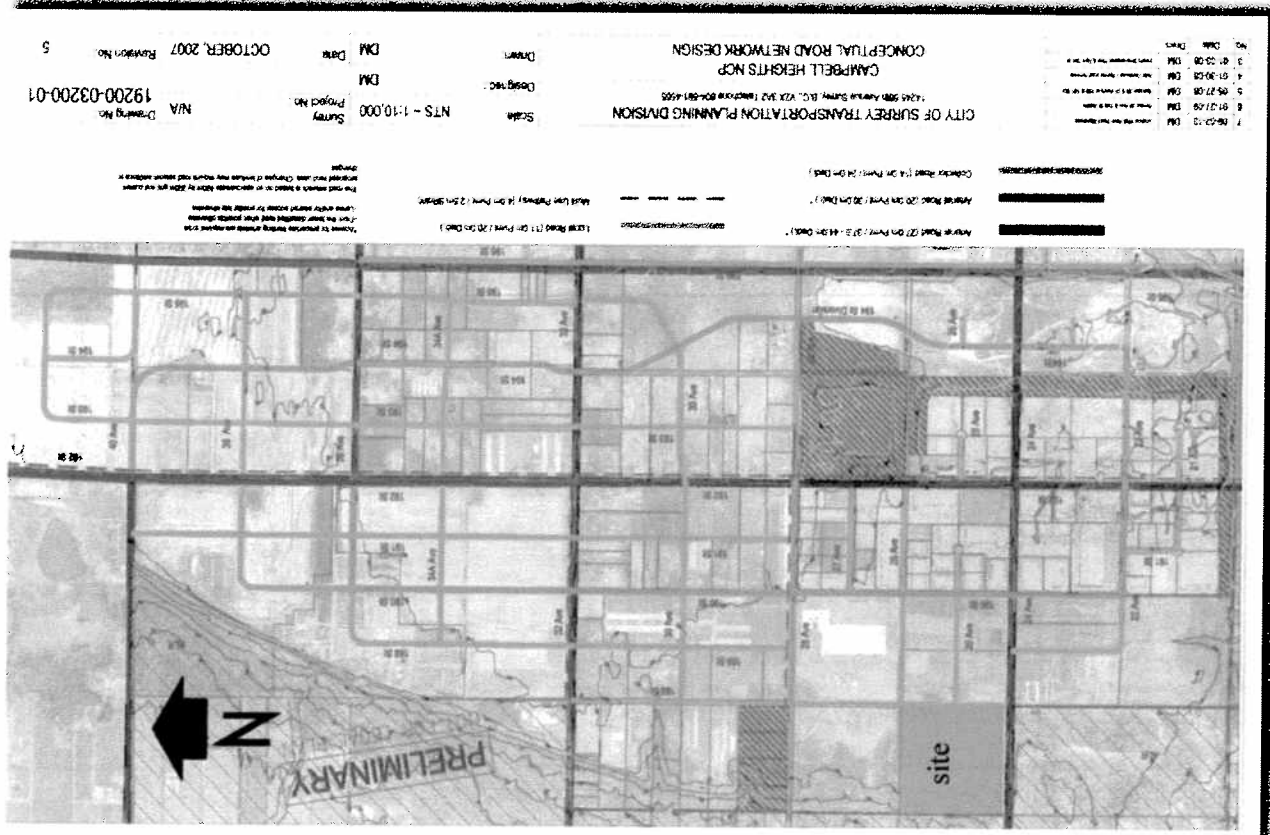
## 4.0 TRANSPORTATION

### 4.1 Campbell Heights Road Network

The Campbell Heights area is served by a number of arterial roads, including 40 Avenue, 32 Avenue, 24 Avenue and 16 Avenue for east-west traffic, and 192 Street and 184 Street for north-south movement.

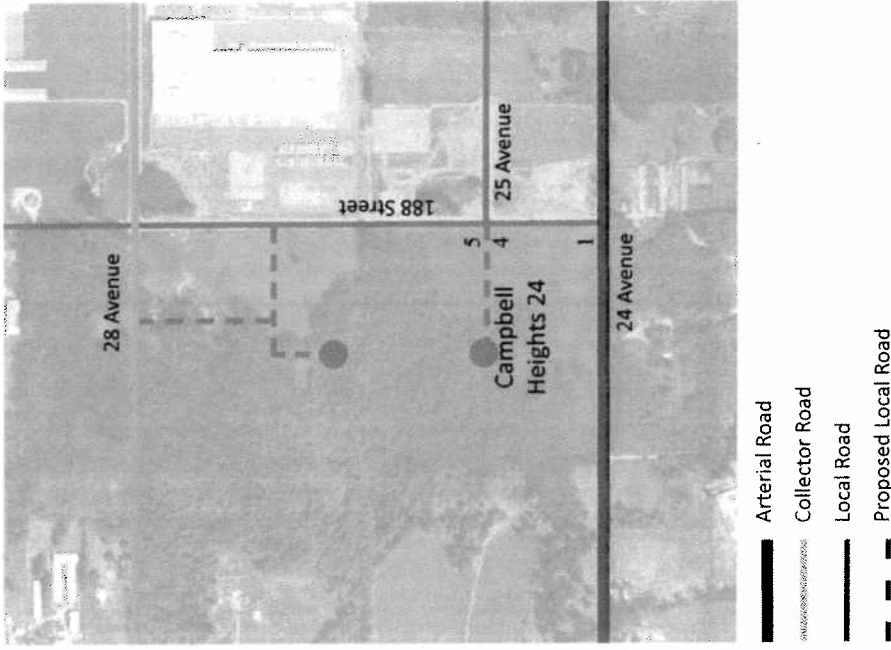
A multi-use trail system is proposed in the southern part of Campbell Heights. The walking and cycling pathways are proposed to be incorporated in the landscaping strips to be provided along 28 Avenue, 32 Avenue, 192 Street, 196 Street, and the section of 188 Street between 28 Avenue and 32 Avenue.

The proposed Campbell Heights 24 Industrial Subdivision will provide pedestrian walkways along 188 Street / 24 Avenue and internal road, which lead to the conservation area and link to future transit bus stop locations.



Campbell Heights Conceptual Road Network

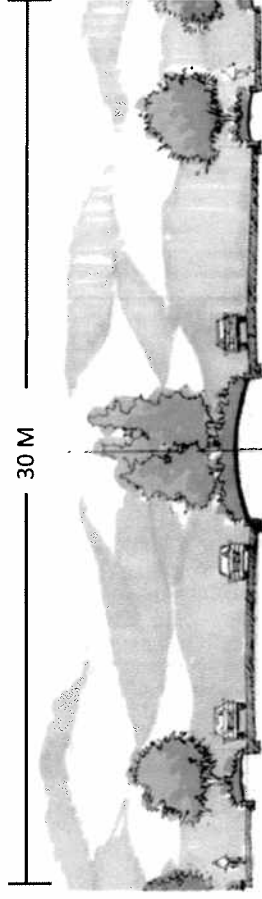
## 4.2 Street Types



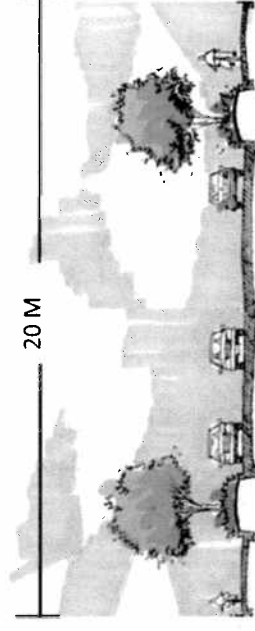
Developments on Lots 1 (corner lot of 24 Avenue and 188 Street), 4 & 5 (corner lots of 25 Avenue and 188 Street) should be designed to a high standard, with consideration their corner locations.

## 4.3 Street Cross-Sections

- Roads shall be designed and built in accordance with City of Surrey Engineering Department standards and requirements.
- 24 Avenue is designated as an arterial road with a 30 metre dedication width.
- 188 Street and 25 Avenue are to be designated as Local roads with a 20 metre dedication width.



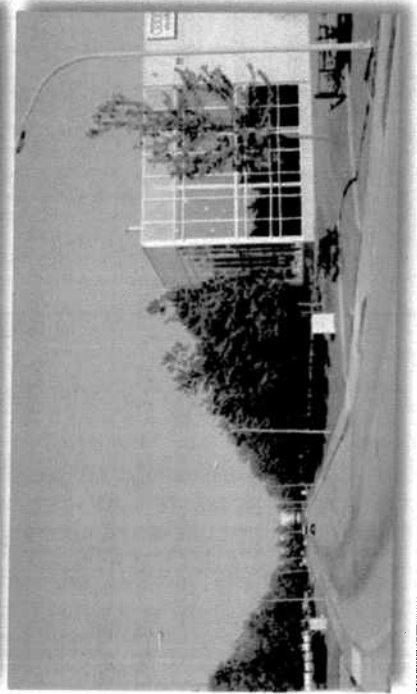
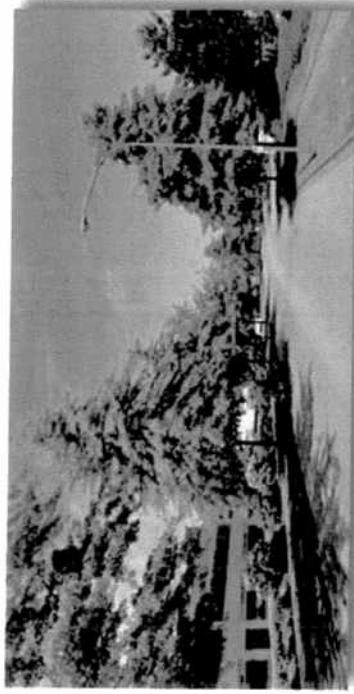
Conceptual Cross-section of An Arterial Road (24 Avenue)



Conceptual Cross-section of A Local Industrial Road (188 Street & 25 Ave)

#### 4.4 Boulevards

- The streetscape of arterial road throughout the business park shall feature a landscaped boulevard with a public sidewalk on both sides of the street.
- The landscape concept for local roads is a regular row of street trees at intervals within a grassed boulevard strip. Tree planting is constrained at the cul-de-sac ends due to driveway access locations.
- Street trees shall be installed at an interval of 10 metres on centre, with minor variations to suit entry driveways and site servicing.



#### 5.0 SITE DESIGN

This section is intended to assist developers in the planning and design of individual sites within the Campbell Heights 24.

It will provide guidance towards creating an aesthetically pleasing and functional relationship between physical site elements such as buildings, parking, loading areas, landscaping, and open spaces.

Overall, the design of new development shall be reflective of the characteristics of surrounding development while enhancing the area through quality architecture, landscaping and site layout.

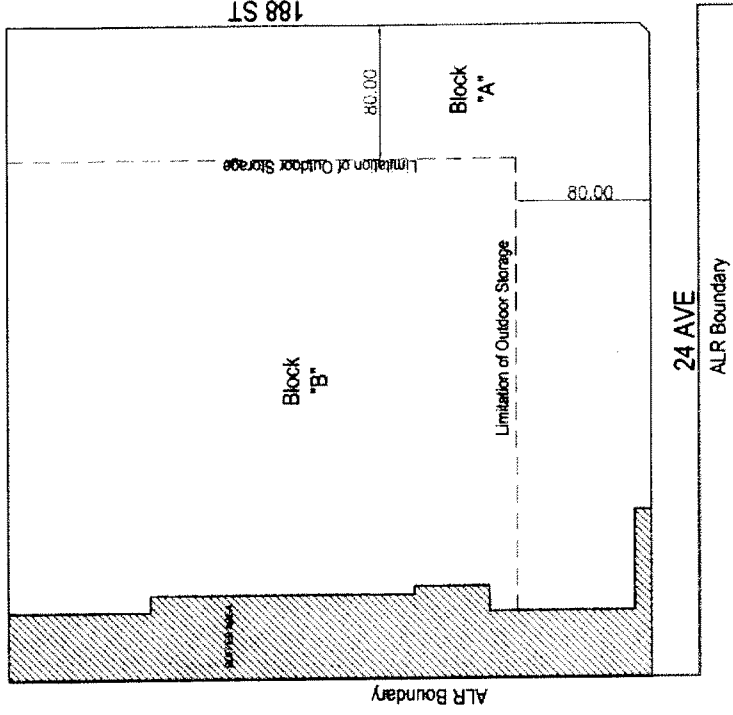


5.1 Site Layout

- A greater architectural emphasis should apply to building articulation, facade elements and building entry which address the fronting streets ( 24 Avenue & 188 Street).
- On corner sites, the principal building shall be anchored at the corner and designed to be visually attractive from both abutting streets.
- Buildings shall be oriented towards the street with the primary public functions located at the front of the building.
- Cooperation and coordination is encouraged between sites in terms of layout and design to ensure a harmonious and compatible interface.
- Building locations on site shall be determined in accordance with the setbacks outlined in the Surrey Zoning Bylaw. A minimum 30 M setback shall be provided between buildings and adjacent ALR lands where applicable.
- Main building entries are to be clearly identifiable from public roads and on-site car parking areas.
- Outdoor amenities are encouraged such as small plazas with seating where appropriate, in order to enhance the environment for workers by providing areas to eat lunch, etc.
- Protect the environmental buffer along the new west property line with a black chain link fence.
- Maximizing wildlife movements should be considered at the site planning stage.

- In Area "Block A" identified in the CD bylaw, outdoor storage is prohibited.

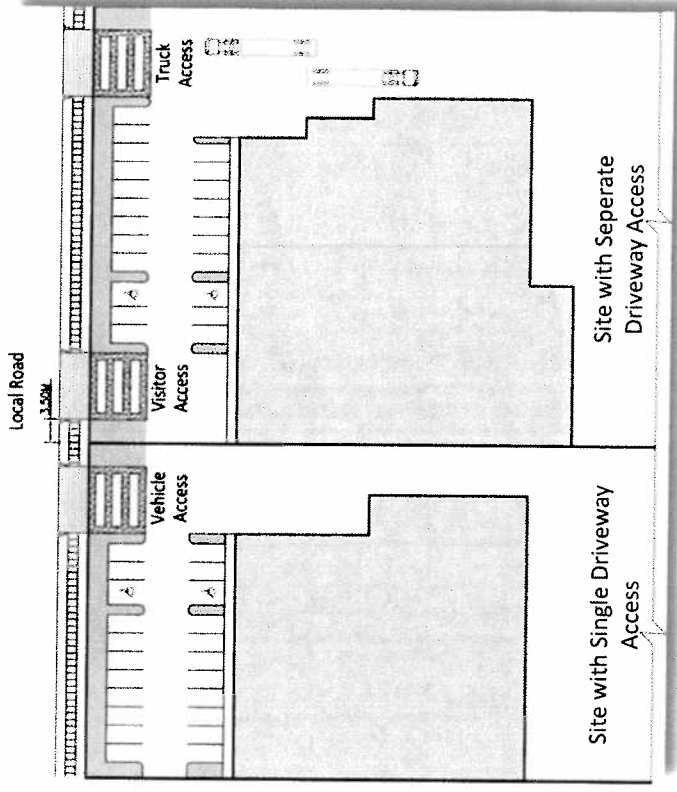
- In Area "Block B" identified in the CD bylaw, outdoor storage, display, parking of truck and trailers associated with the uses and operation on the lot, shall
  - not be located within any front or side yard;



CD Bylaw Plan -Outdoor Storage

## 5.2 Site Access

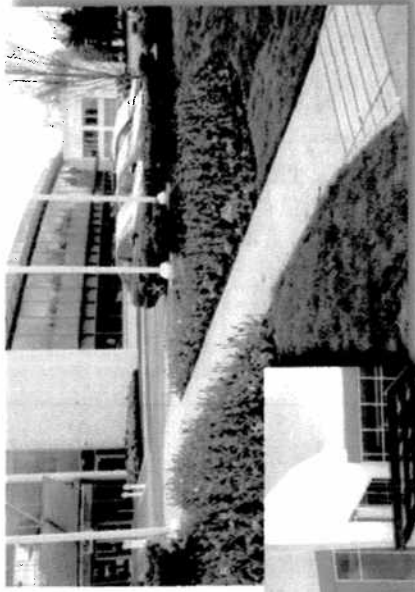
- All site access points shall conform to City of Surrey Engineering standards, and be located to provide the most efficient and functional flow of traffic while mitigating potential conflicts with adjacent streetscapes, intersections, and site features.
- Site access must not be located within 3.5 metres of the side property line, except in a shared access arrangement.
- A single point of entry to individual sites is preferred. Where high volume heavy truck access is required, provisions may be made for a shared service entry point, provided it is clearly identified as such and is separated from visitor / on site parking.
- No more than one independent driveway access will be permitted for each lot fronting 24 Avenue.
- Common easements for shared entrances between adjacent sites are encouraged.



Single Driveway Access

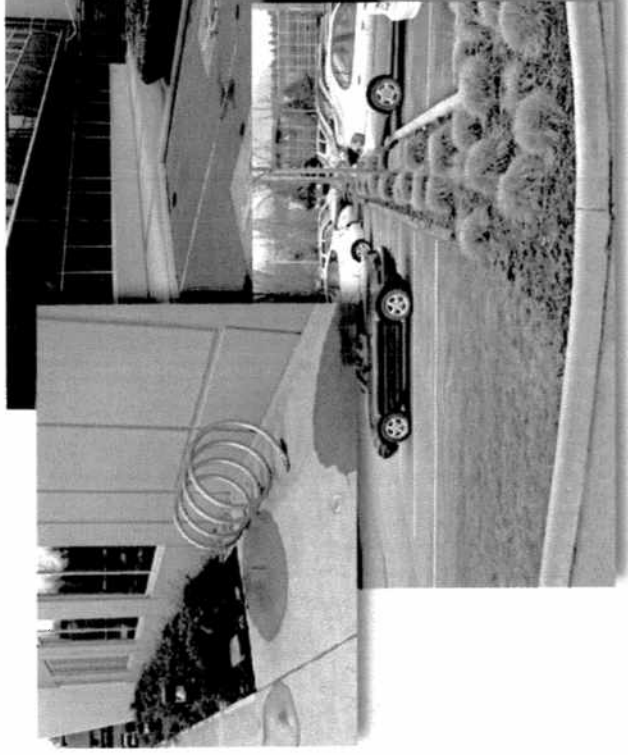
### 5.3 On-Site Circulation

- Parking lots and driveways shall be designed so as to minimize conflicts between vehicles and pedestrians.
- All truck turning movements must be accommodated on site.
- Different colour or texture shall be used to define primary pedestrian access from the fronting street.
- Walkways shall be provided for pedestrian movement to and from entrances, connecting to parking areas and public sidewalks.



### 5.4 Parking Requirements

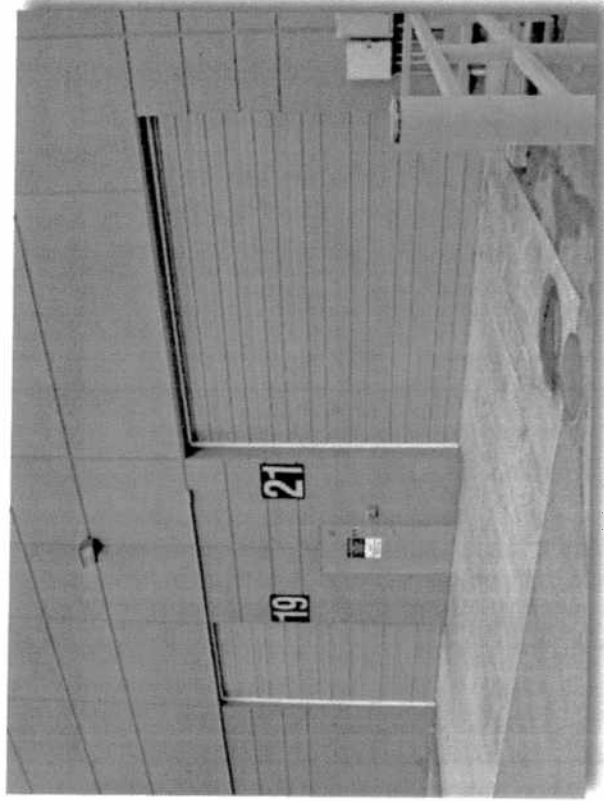
- Parking should be provided in accordance with the City of Surrey Off-Street Parking and Loading/Unloading requirements.
- Landscaping every six parking stalls is recommended as per Schedule C: Development Permit Area Guidelines of Surrey Official Community Plan.
- Parking spaces at the end of the row shall be protected from turning movements of other vehicles by a curbed landscaped area with a minimum of 1.5 metres width.
- Parking for persons with disabilities shall be located near building entrances.
- At grade bicycle storage should be provided close to building entrances in areas with good lighting and visibility.
- Permeable paving should be used wherever applicable.



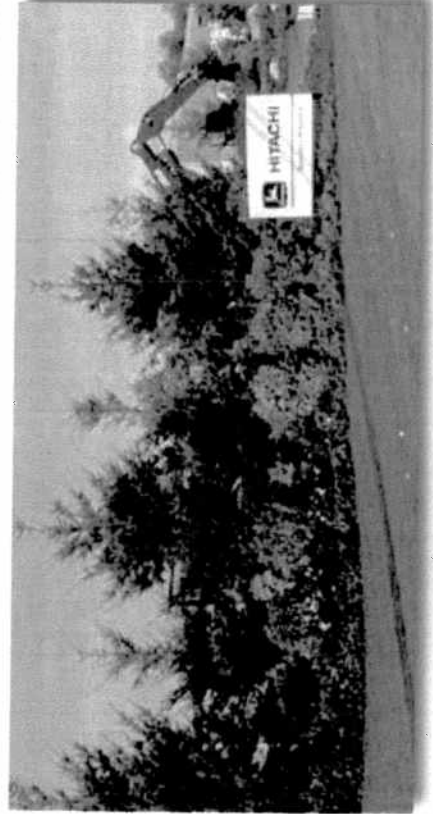
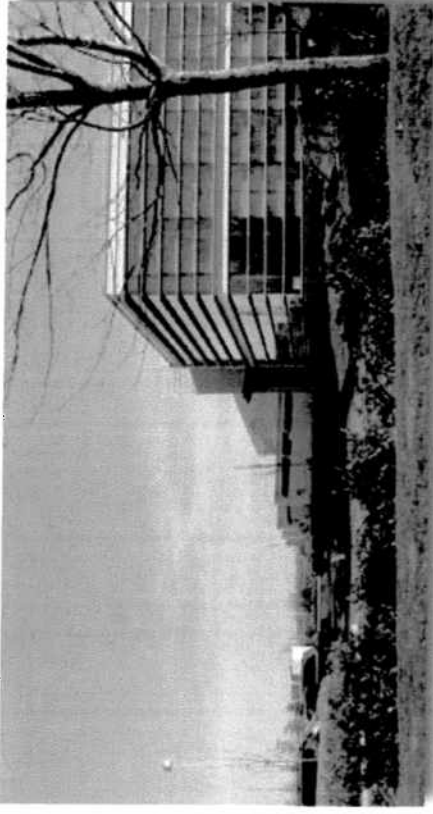


## 5.5 Off Street Loading

- Loading areas in the front yard setback and flanking side yard setback on arterial roads are not prohibited. Loading areas are permitted in the rear or side yards of buildings and flanking side yards on collector and local roads only.
- Active loading areas must be separated from vehicle parking.
- Loading areas shall be screened to a height of at least 2.5 metres (8 feet) by buildings, a landscape screen, a solid decorative fence, or a combination thereof (see Section 7.0 – Landscaping).
- Loading areas on flanking side streets should be recessed into the building.



Typical loading bays at the back





## 5.6 Outside Storage, Staging, and Display Areas

- In Area "Block A" identified in the CD bylaw, outdoor storage is prohibited.
- In Area "Block B" identified in the CD bylaw, outdoor storage, display, parking of truck and trailers associated with the uses and operations on the lot.
- Where permitted, outdoor storage, display, parking of truck and trailers may be located in the rear or interior side yard, subject to appropriate screening by a building, landscaping or fence. Site specific designs will be considered in the event of varying lot configurations.
- Outside displays, if permitted, shall be located so as not to detract from the character of the building.
- All outside display areas shall be adequately screened and landscaped.
- Garbage and recycling bins shall not be located within the front yard setback and flanking side yard setback on arterial roads.
- Garbage and recycling bins shall be screened to a height of at least 2.5 metres (8 feet) by buildings, a landscaping screen, solid decorative fence, or a combination thereof.



Significant landscape for outdoor storage

Example Outdoor Storage Screening



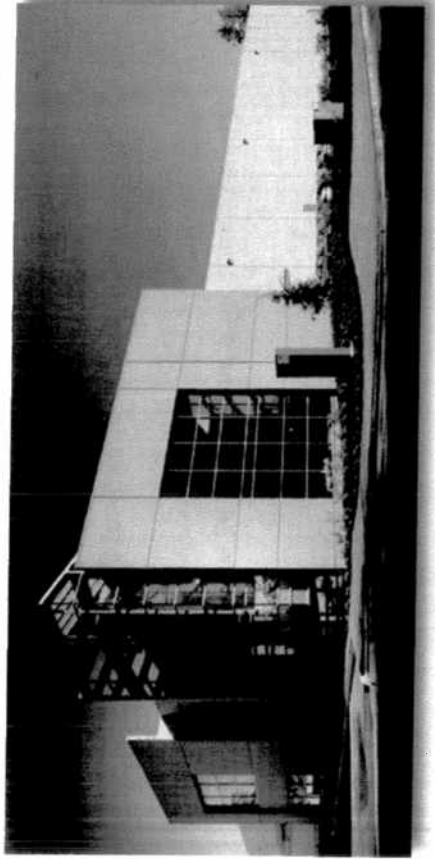
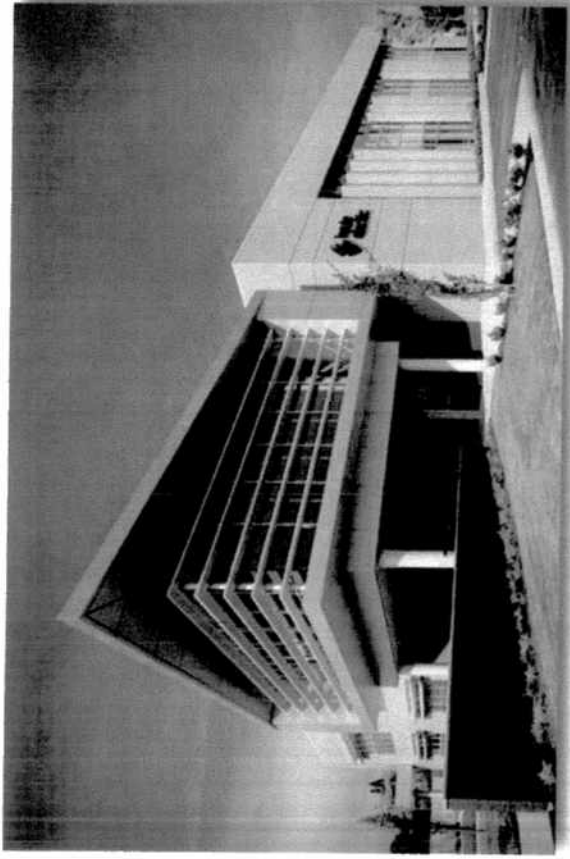
Example Landscaped Screening Wall



Example Garbage Screening

## 6.0 ARCHITECTURAL DESIGN

This section is intended to guide owners and their consultants in the design of buildings to ensure that the built form of Campbell Heights is of the highest possible quality within the framework of functional requirements and cost effectiveness so as to create a positive and unique built environment.



### 6.1 Architectural Design Integrity

- Building design in terms of scale, architectural character, rooflines and building mass shall be compatible with other buildings on neighbouring sites.
- Ancillary or secondary buildings shall be designed and constructed consistent with the architecture of the principal building.
- The exterior of buildings shall be coordinated in design on all elevations with regard to colours, materials, architectural form and detailing to achieve design harmony and continuity. All doors and windows should be trimmed whenever such treatment would be compatible with the architectural style of the buildings. Painted or false detailing that detracts from the integrity of structures should be avoided.
- Blank walls facing a street must be avoided. Windows and glazing to allow for a visual connection to the interior space from outside should be considered.

## 6.2 Form and Articulation

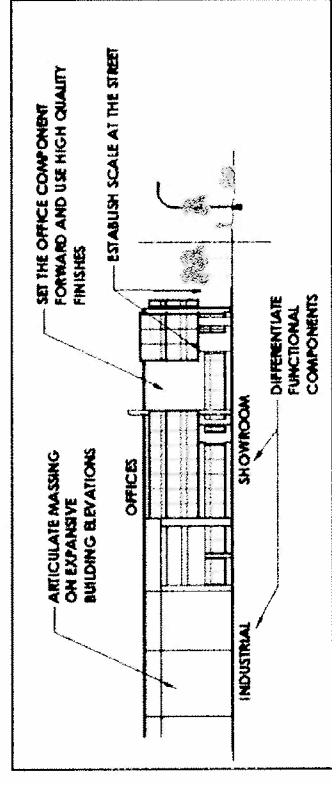
- The desired built form for the Campbell Heights 24 Business Park shall be in concert with existing industrial development to the east.
- Building facades on 24 Avenue and 188 Street should be given special attention by:
  - Articulating the facade alignment and height;
  - Varying the materials and colours;
  - The use of sun shading devices;
  - Appropriate sized roof overhangs;
  - Cantilevered or overhanging elements;
  - Expressing the interior function;
  - Breaking up the facade with windows or the use of structural features.

- Building design should be appropriate to the use intended and responsive to site opportunities and conditions.

- Office components at the front face of buildings should be visually distinguished.

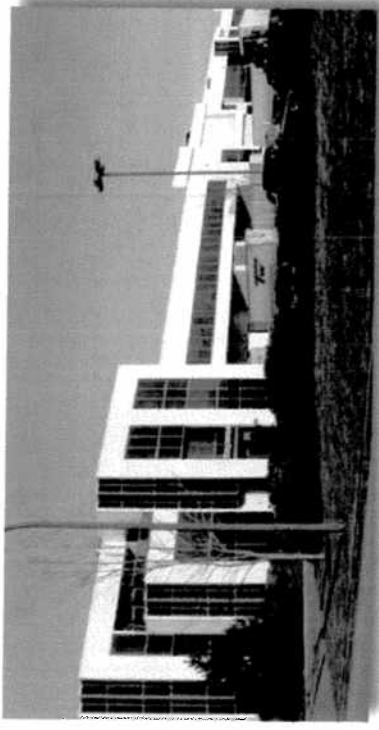
- Facades facing the street in particular must be articulated to establish scale and identity.

- Developments should avoid the use of large, undifferentiated wall areas; therefore, textures, patterns, colours, secondary materials and building form variations must be incorporated into expansive building elevations.



Example Building Articulation

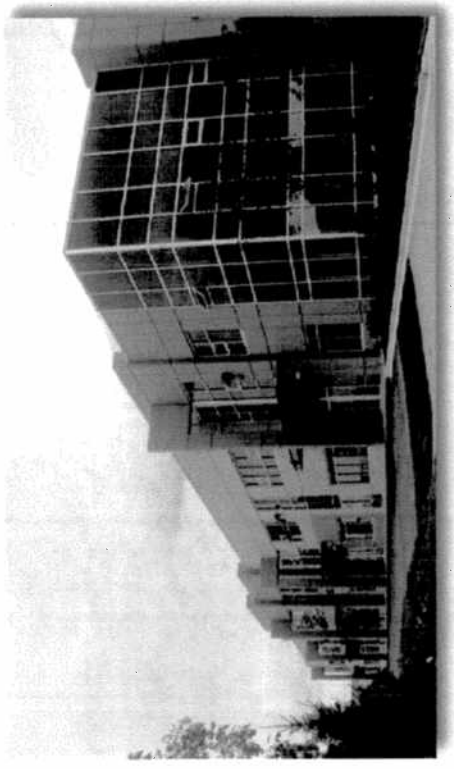
- Glazing is encouraged on all street facades.
- Elements to which the public relate, such as the main entries, should be located and designed so as to be clearly identified from the public entry.
- Buildings must orient towards the street with the primary functions located at the front of the building.
- On a corner site, the principal building shall be oriented towards the corner and be designed to be visually attractive from both abutting streets.
- Promote green 'living walls' to break-up massing, and add visual interest to buildings.
- Mechanical equipment including electrical kiosks, gas metres etc., must be screened from the street.



### 6.3 Exterior Material

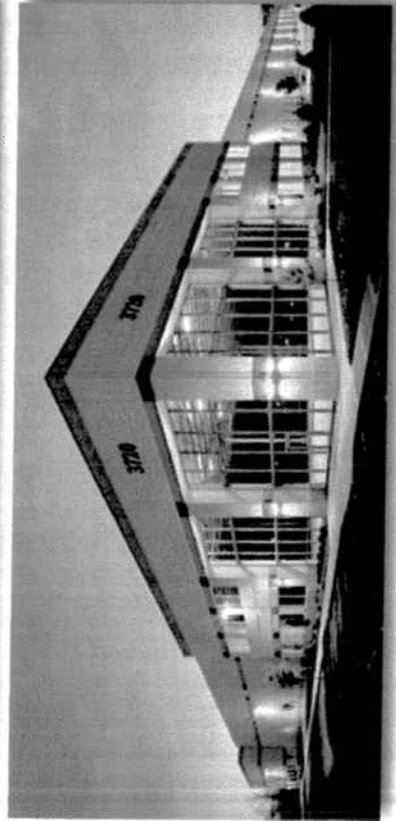
- Materials are to be of high quality with a sense of permanence; therefore, entirely pre-engineered or pre-fabricated metal buildings are not acceptable. In addition, the use of sheet and profiled metal cladding is strongly discouraged as a primary cladding material and will not be acceptable except in cases of significant architectural merit.
- All metal products must be preformed, prefinished and installed using the appropriate manufactures' accessories. Panel systems are recommended for office components.
- Other exterior materials are encouraged to be unfinished, clear coated or painted with a "natural" finish. Articulation can be achieved by reveal lines, texturing and recessing of materials.
- Standard concrete block is not acceptable as an exterior finish anywhere on the building.
- The predominant exterior form construction method should be tilt up or poured in place concrete, with quality reveals, and a panel system or curtain wall style glazing for office components. Construction must be detailed to avoid extensive blank or uniform wall surfaces.
- Stucco use is to be limited and must be applied in conformance with good industry practice, paying particular attention to joint details and potential staining problems arising from the local climate.

- The use of stucco is not acceptable on the office component.
- Wood siding may be used as an accent material only and protected by a roof overhang.
- The use of glass and high quality materials and finishes is required of buildings facing the streets. Blank walls should be



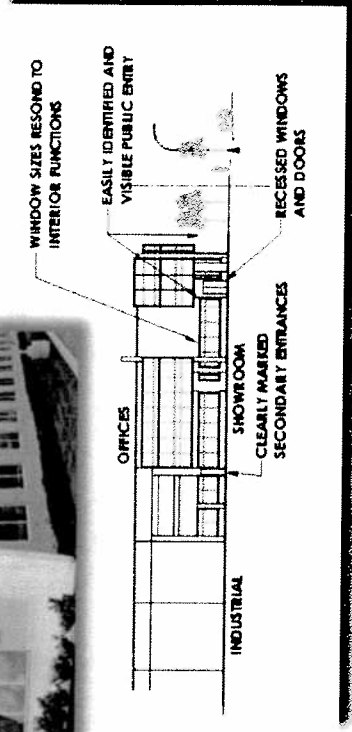
#### 6.4 Architectural Lighting

- Entrances to buildings should be illuminated to enhance their impact.
- Where building facades comprise significant area of opaque materials visible to public roads and paths, decorative floodlighting is encouraged to accent recessed or articulated surfaces.
- Where building mounted lighting is proposed on the front facade, it must be integrated with the architectural expression of the building.



#### 6.5 Windows and Entrances

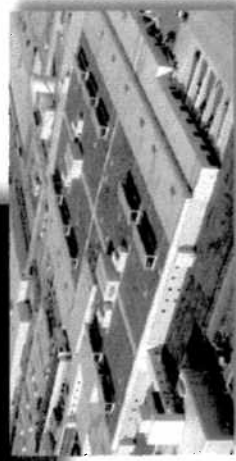
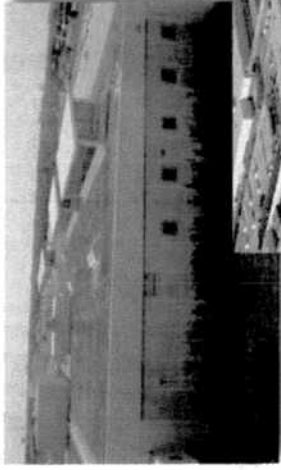
- Façade articulation such as recessed window and door areas are encouraged to create depth and variation.
- Window sizes should respond to interior functions (i.e. the expression of showrooms with large windows).
- Residential style windows are not permitted.
- A main public entrance must be easily identifiable from the street.
- Employee and service entrances must be clearly marked by architectural as well as graphic means.



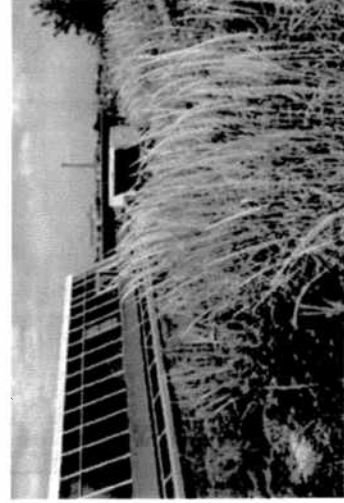
Example Windows and Entrances

## 6.6 Roofscapes

- Place roof top equipment to minimize the exposure to the streets and public access routes.
- Roof vents and stacks must be grouped.
- All roof top equipment must be considered as part of the architectural vocabulary.
- Utilize living green roofs where possible.
- Encourage roof designs that promote sustainability and outdoor use.



Living Green Roof - Ford Motor Company, Michigan, USA



## 7.0 LANDSCAPING

This section is intended to assist owners and their consultants in the design and installation of landscape works that will enhance the character of Campbell Heights 24. The general landscape intent for private lots is to create a coherent landscape which responds to and reinforces the character of adjacent streetscapes and open spaces. Of particular importance will be maintaining and enhancing tree retention at the edge of the park area.

### 7.1 General

- Retain existing significant trees on lots where applicable. Consideration should be given to tree retention along the edge of the buffer if such area is not utilized for parking or operations.
- Landscaping adjacent to places where people move should have a clear zone from 1 metre above the ground to 2.5 metre in order to promote visibility.
- Deciduous and coniferous planting should be alternated for variety.
- Shrubs, flowers, and ground covers are encouraged to be grouped together in clusters rather than in individual scattered locations.
- Consider the mature state of plants in terms of long term maintenance.
- Selection of plant materials to be based on their year-round interests as well as their form, texture and shape. The use of native species that enhance environmental qualities and provide wildlife habitat is encouraged.
- Site elements such as outdoor lighting, signage, garbage disposal and fencing should be included on the landscaping plans since they are integral elements.

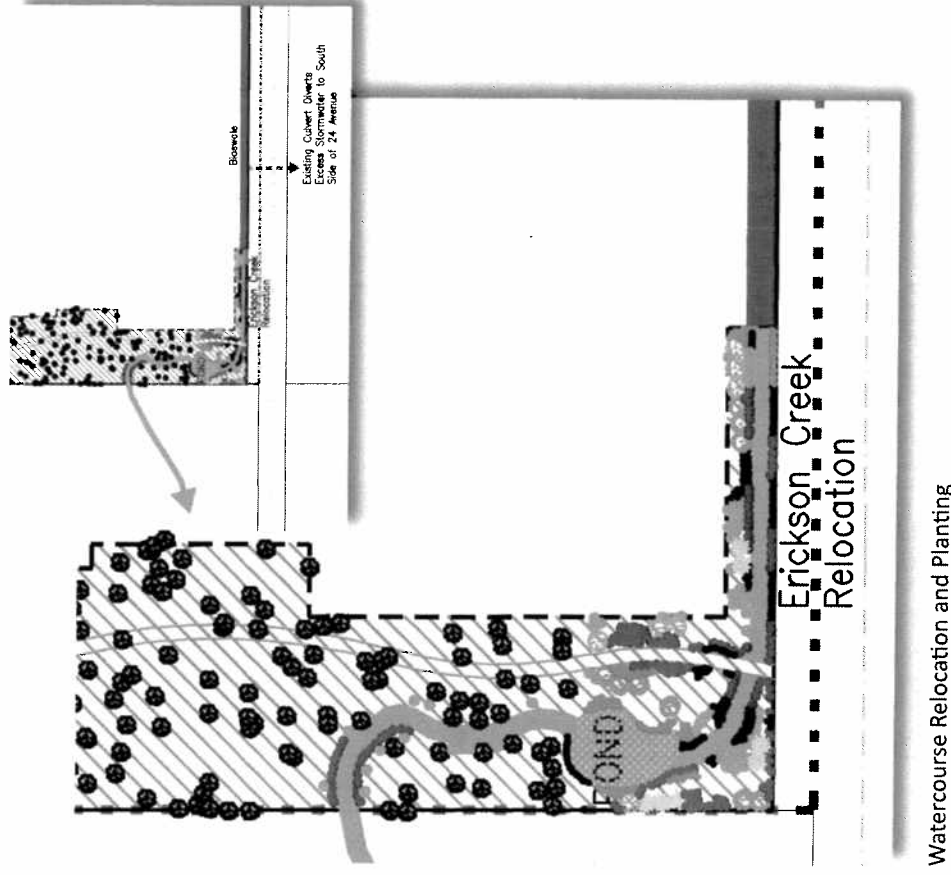
- All landscape and plant materials shall meet B.C. Society of landscape Architect/B.C. Nursery Trades Association Standards.
- All landscape work shall be completed within one year of the start of construction.

### 7.2 Tree Preservation

The City of Surrey has identified a tree preservation area at this location through its Ecosystem Management Study. In addition to the dedicated buffer along the west boundary, additional tree preservation for lots adjacent to the buffer will be an objective at Development Permit stage.

### 7.3 Watercourse Relocation and Bioswale

- Relocate green portion of watercourse into a 6 metre wide landscape strip with a bioswale along 24 Avenue;
- Bioswale to feed water into a 10 meter wide yellow-coded portion of watercourse;
- Yellow-coded watercourse to be relocated into ALR / wildlife buffer and to be enhanced with native planting.

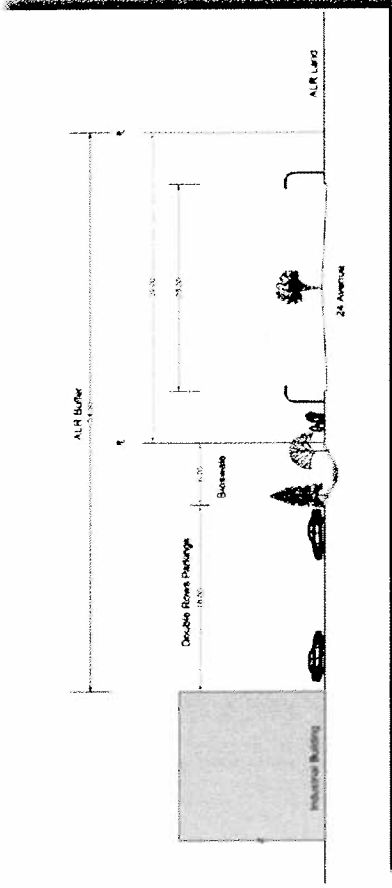




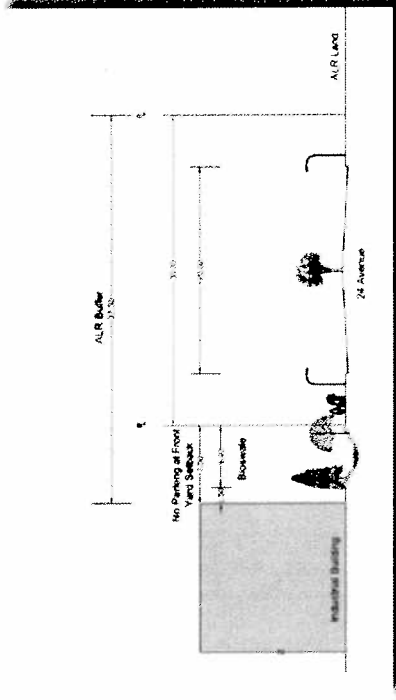
## 7.4 ALR Buffer

Additional landscaping along 24 Avenue to provide buffer between industrial development and ALR to be integrated with bioswale design and consider the following species recommended by ALC:

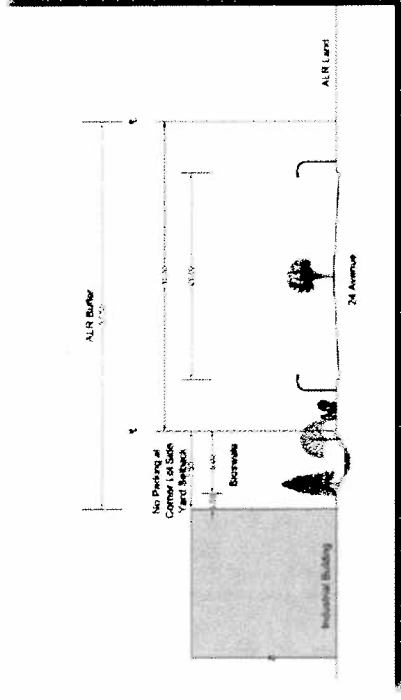
- Acer Circinatum/Vine Maple "A"
- Acer Rubrum/Red Maple "B"
- Carpinus-Betulus Fastigiata/Pyramidal European Hornbeam
- Cercis Canadensis/Eastern Redbud
- Pseudotsuga-Menziesii/Douglas Fir
- Quercus Palustris/Pin Oak
- Thuja Plicata/Western Red Cedar
- Tsuga Heterophylla/Western Hemlock



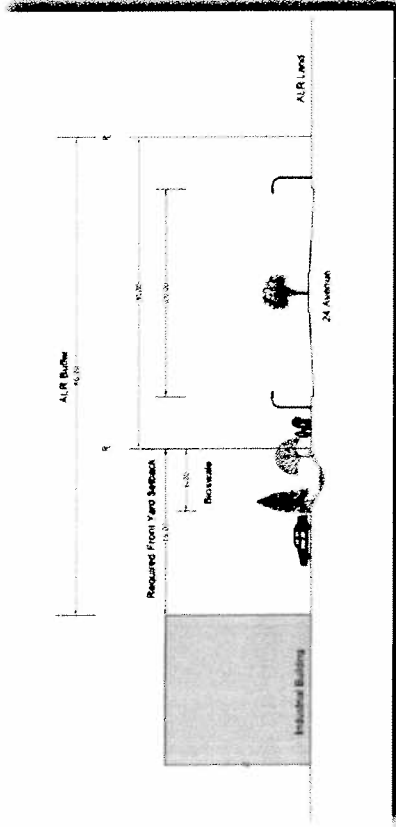
Option 2 - ALR Buffer - 54 M



Option 3 ALR Buffer - 37.5 M



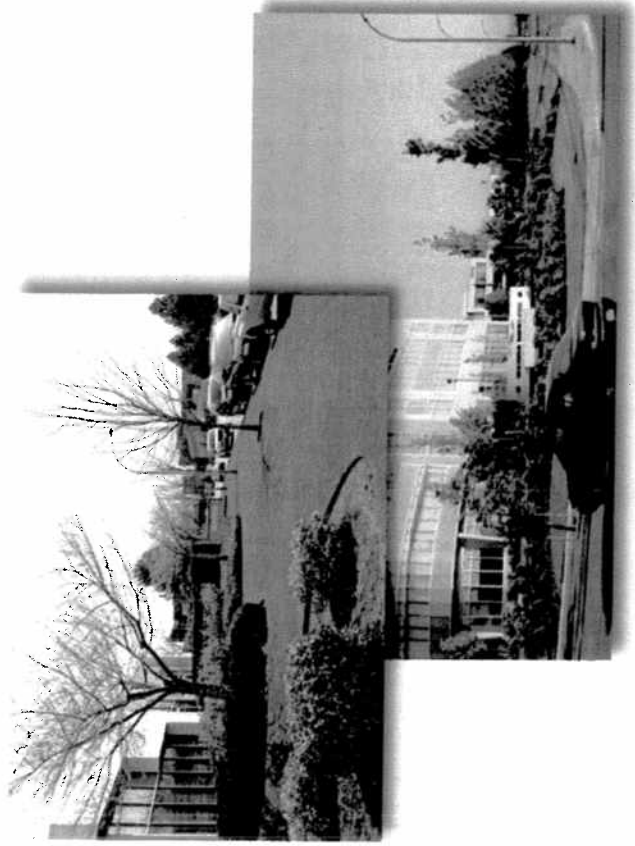
Option 4 ALR Buffer - 37.5 M



Option 1 ALR Buffer - 46 M

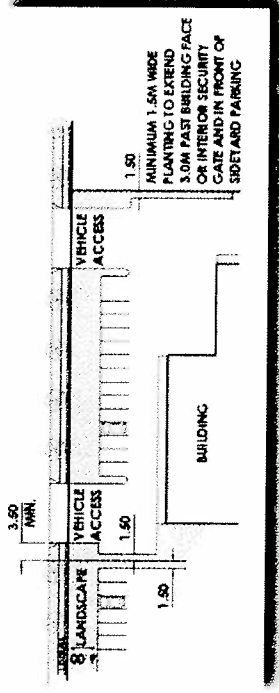
7.5 Front Yard Landscaping

- A continuous landscape strip of not less than 6.0 metres (20 feet) in width shall be provided within the lot along the developed side of properties fronting 188 Street and 24 Avenue.
- A continuous landscape strip of not less than 3.0 metres (10 feet) in width shall be provided within the lot along the developed side of properties fronting all other roadways.
- Areas not surfaced with driveway or walkway paving or ornamental planting shall be lawn.
- Highlight trees, highlight shrubs, and perennials/annuals shall be installed adjacent to signage, entry plazas, drive aisle entries, and pedestrian accesses from the sidewalk.



7.6 Side/Rear Yard

- A continuous landscape strip of not less than 1.5 metres (5 feet) in width shall be provided along all side lot lines measured from the front property line to 3.0 metres (10 feet) back from the front face of the closest principle building fronting the street.



Side Yard Landscape Strip

## 7.7 Parking Area Landscaping

- Different colour or texture material shall be used to define primary pedestrian access ways on site.
- Pedestrian access ways and vehicles access ways are to be separate and clearly distinguishable.
- Provide landscaping within and at the periphery of surface parking lots in order to visually break up and partially screen parking from public streets and neighbouring properties. Landscaping should also be used to define parking clusters, highlight pedestrian routes, increase human comfort, provide visual relief, and interrupt paved surfaces to increase natural drainage.
- In addition to the landscaping and trees required at the periphery of surface parking areas, landscaping and shade trees (6 centimetres [2.5 inches] caliper preferred) should be provided within parking areas. The following should also be considered:

- Provide shade trees and landscaping at the ends of each parking rank (i.e. a group of parking spaces separated by driving aisles) within a landscaping strip located along the side of parking spaces. At least one shade tree at the ends of a single row of parking spaces and two shade trees at the ends of two adjoining rows (front to front) of parking spaces.
- Landscaping every six parking stalls is recommended as per Schedule C: Development Permit Area Guidelines of Surrey Official Community Plan.

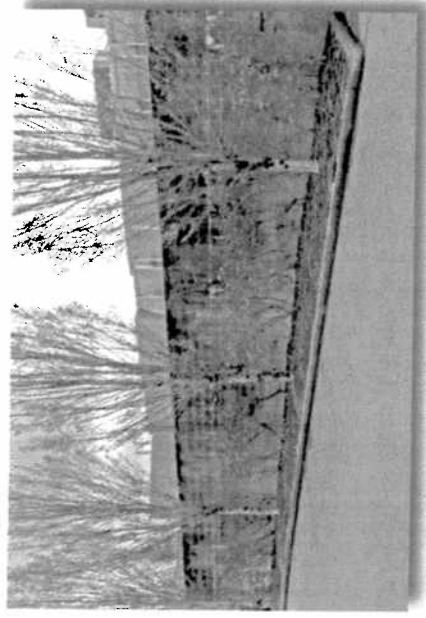
- Each landscaping strip should be curbed and at least 1.5 metres (5 feet) in width. It should contain a combination of shrubs and ground covering plants in addition to shade trees.

- Consider reducing the amount of asphalt paving in large fronting street parking areas by introducing variation in paving materials.



## 7.8 Screening and Fencing

- Loading areas, outdoor storage, service areas, garbage containers, and utility boxes shall be integrated into the landscaping and screened from view.
- Avoid using fences along property lines that abut streets to screen the development. When a fence is unavoidable, a transparent fence (e.g. full lattice, wrought iron fence etc.) should be used. Transparent fences combined with landscaping (such as hedge or shrubs) can be provided at the property line.
- Fencing should only be installed where required for specific screening, security and safety reasons.
- A chain-link fence shall be provided adjacent to any environmental conservation area.



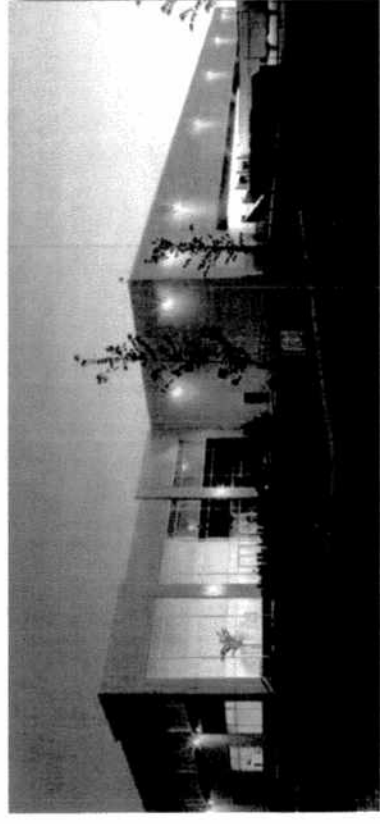
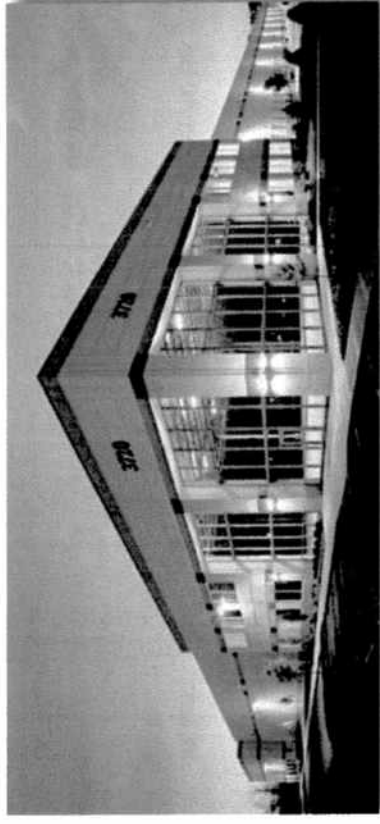
## 7.9 Site Lighting

- All site lighting must be designed to minimize glare to adjacent properties or streets. Full cut-off fixtures are required.
- Sidewalk lighting should be mounted as to direct light onto the walking surfaces. Bollard lighting is recommended for pedestrian areas.
- Specially lit and landscaped identification signs, ponds, fountains, decorative pavers, and enhanced landscaped medians are encouraged.
- For consistency between developments, the type of street lamps on public streets, their height, intensity, and spacing, etc., will be co-ordinated by the Engineering Department through the servicing agreement process.
- Public spaces, entrances, outdoor amenities, and pedestrian routes should be well lit.
- In landscaped open spaces, particular attention should be given to relationship between lighting and planting.
- Where appropriate, consider installing outdoor lighting activated by photocells and/or timers.
- Design, location, and distribution of lighting to ensure even illumination where needed.
- Consider light intrusion to residences and glare to motorists/pedestrians when providing appropriate light levels. This may concentrate brighter levels in areas such as entries and paths, and create a transition to lower light levels away from areas where light is not needed.

- Luminary design should take vulnerability to vandalism into account. In high-risk areas, the body and refractors should be virtually unbreakable (i.e. metal body with polycarbonate lens).
- Lamps to be located in stairwells should protect the bulb from removal and breakage.
- Vandal-proof bollard fixtures are often suitable for walkways. Where security and identification are primary importance, post-top units 3-6 metres in height may be more appropriate.
- In landscaped open spaces, particular attention should be given to relationship between lighting and planting.
- Lighting along pedestrian pathways is recommended and should not exceed 4 metres (13 feet) in height. Fixtures and poles should be in a colour that complements the building architecture and parking lot lighting.
- Parking lot light standards are not to exceed 9 metres (30 feet) in height. Fixtures and poles should be in a colour that compliments the building's architecture.
- For consistency between developments, the type of street lamps on public streets, their height, intensity, and spacing, etc., will be co-ordinated by the Engineering Department through the servicing agreement process.
- Building lighting should be considerate of potential impacts on wildlife corridors, and sensitive to the interfacing adjacent environmental areas.

- Locate luminaries in difficult to reach places. Mount fixtures high on walls, in inaccessible locations or recessed into the building structure.

- Consider limiting building lighting on upper stories and use motion sensors where possible.

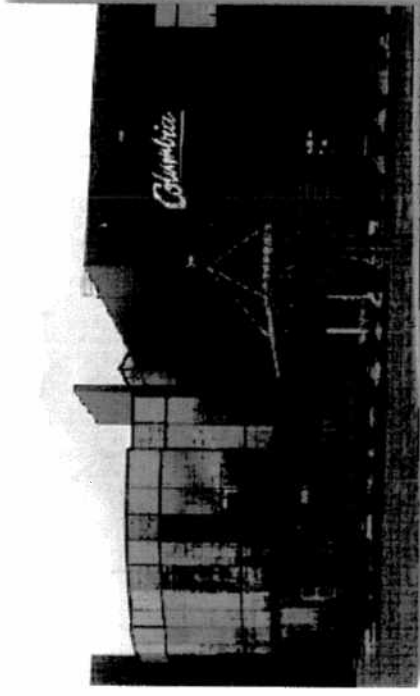


## 8.0 SIGNAGE

This section is intended to assist owners and their consultants in accommodating development signage requirements within an overall signage system that will both contribute to and reinforce the character and image of the Business Park.

- All signage shall meet the requirements of the City of Surrey.
- Integrate signs into the building design and design signs to present a unified appearance.
- Avoid backlit acrylic or plastic “box” type signs unless they are integrated into the overall building design. Avoid locating illuminated signs next to residential sites.
- The signage system for any development shall integrate the various types of signs into a single aesthetic concept.
- Animated electronic signs are not permitted.
- Building facade signs shall be oriented to a single fronting street. Double-fronting developments are anomalies and signage may be oriented accordingly subject to the requirements of the Surrey Sign By-law.
- The area of a building facade sign shall reflect the scale and proportion of the building subject to the requirements of the Surrey Sign By-law.
- Free standing signs should be integrated into the site landscaping and designed to complement the architecture of the buildings on site.
- Both single and double pole freestanding pylon signs are not permitted.

- The maximum height of any free-standing sign is 2.4 metres (8 feet) above grade. The grade at the base of the sign should not exceed the average adjacent grade by more than 0.6 metres (2 feet).



Proportional building façade sign



Free standing sign integrated into landscaping

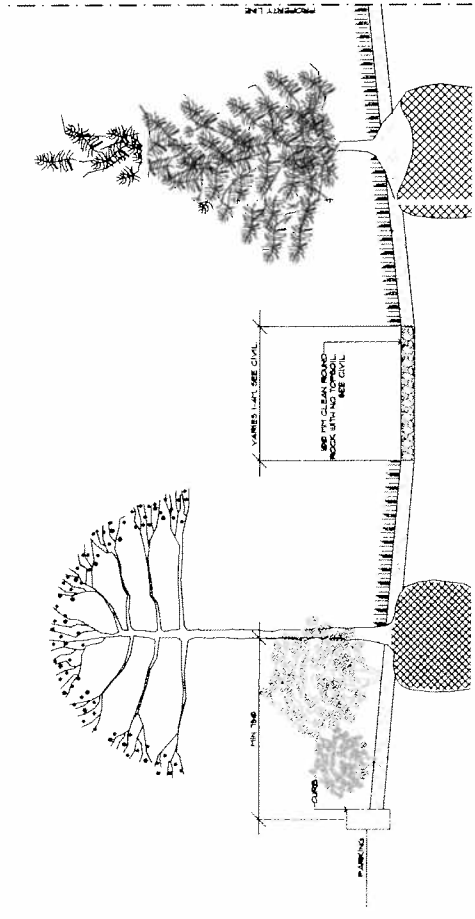
## 9.0 ENVIRONMENT/SUSTAINABILITY

A primary goal in the development of the Campbell Heights 24 is to be a leader in the implementation of sustainable design measures while acting on opportunities to preserve and enhance the natural environment where possible.

### 9.1 Natural Drainage - Bioswale

Proposed Campbell Heights 24 is to be constructed on an unconfined aquifer with significant deposits. To protect downstream fisheries watercourses, capture runoff from paved areas and customer parking and offset impact of proposed new developments, a six to ten metre wide planted area with a bioswale is proposed along 24 Avenue.

Bioswales are typically moderate gradient devices (approximately one to five percent in channel slope) and may be covered by grasses, semi-aquatic plants or river rocks.



Typical Bioswale Cross-Section

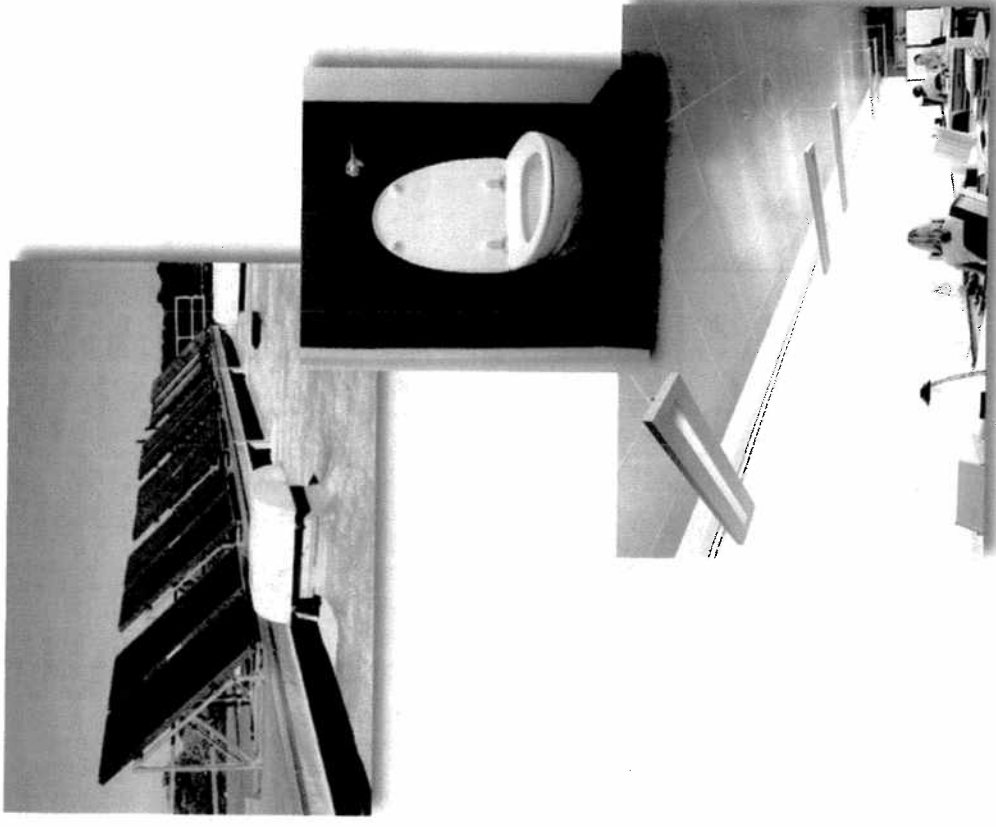
### 9.2 Sustainable Buildings and Design

- New development is strive to achieve Build Green or LEED (Leadership in Energy and Environmental Design) Silver or similar standards in areas such as sustainable sites, materials and resources, water efficiency, and indoor environmental quality.
- Utilize materials which have been manufactured from recycled or waste materials for use during building construction or for outdoor paved areas. (eg. structural components manufactured from wood chips or plywood waste, paving blocks made from recycled or discarded tires, recycled asphalt, etc.
- Incorporate green-screen/living-screen walls, that utilize landscaping and vines rather than concrete materials, in conjunction with landscaping features such as berming, as screening.



### 9.3 Energy and Water Efficiency

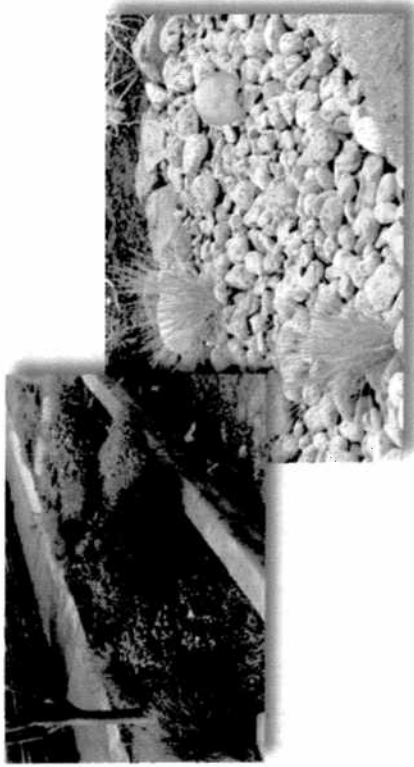
- Buildings should be designed to reduce energy consumption by incorporating such considerations as solar access, shading, maximizing the amount of daylight into the interior spaces, and providing windows that can open. For example:
  - maximize the southern exposure with shading devices to minimize penetration of the interior by the high summer sun;
  - maximize the amount of glazing and windows on the exterior walls
  - incorporate skylights, interior courtyards, or provide terracing that allows for daylight penetration into the interior, etc.
- Explore opportunities for the use of low-energy appliances and fixtures such as LED lighting, and low-flow plumbing.
- Incorporate alternative and renewable energy production systems (geothermal heat pumps, solar heating, wind turbines, or district heating in large developments, etc.) at the outset of the design stage to reduce dependence on traditional energy sources for heating, lighting and cooling purposes. Consider integrating the proposed new energy source into the overall design (e.g., a wind turbine as an architectural or visual art features).





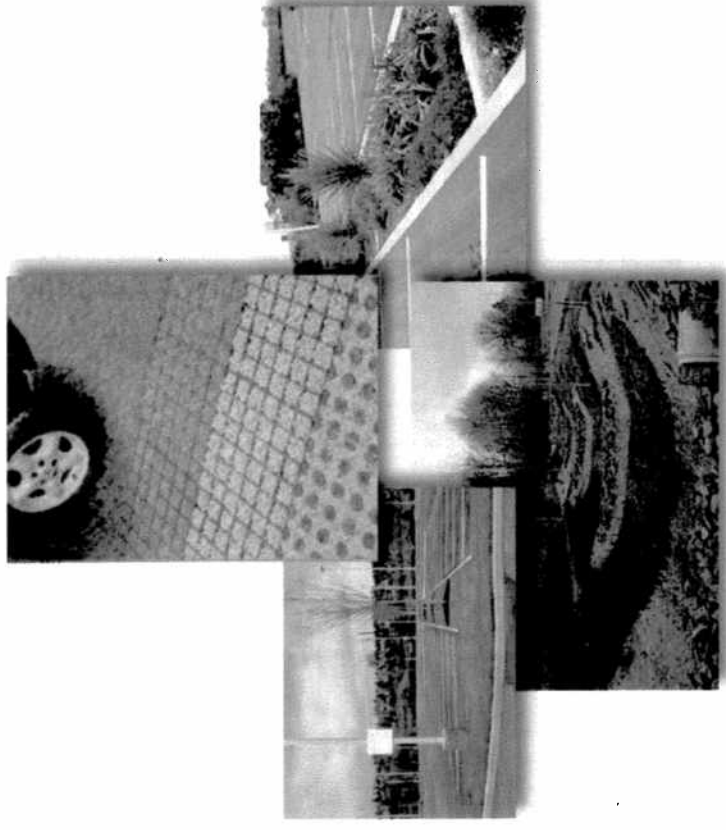
#### 9.4 Vegetation and Landscaping

- Maximize the quantity of native species, and plant trees that provide shade.
- Drought resistant landscaping should be used where possible to minimize the need for irrigation.
- A native buffer of at least 3m shall be provided along the rear of the lots adjacent to the environmental conservation area.



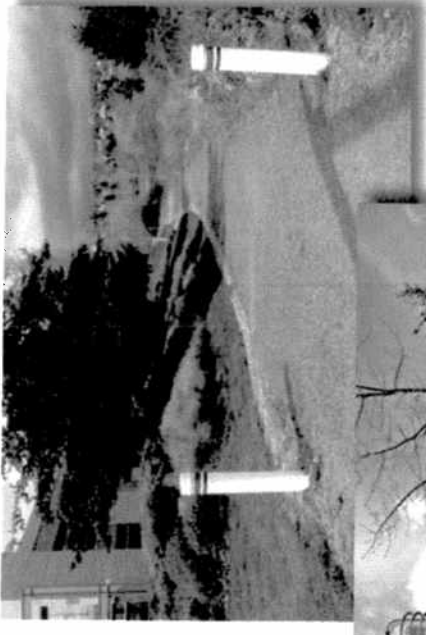
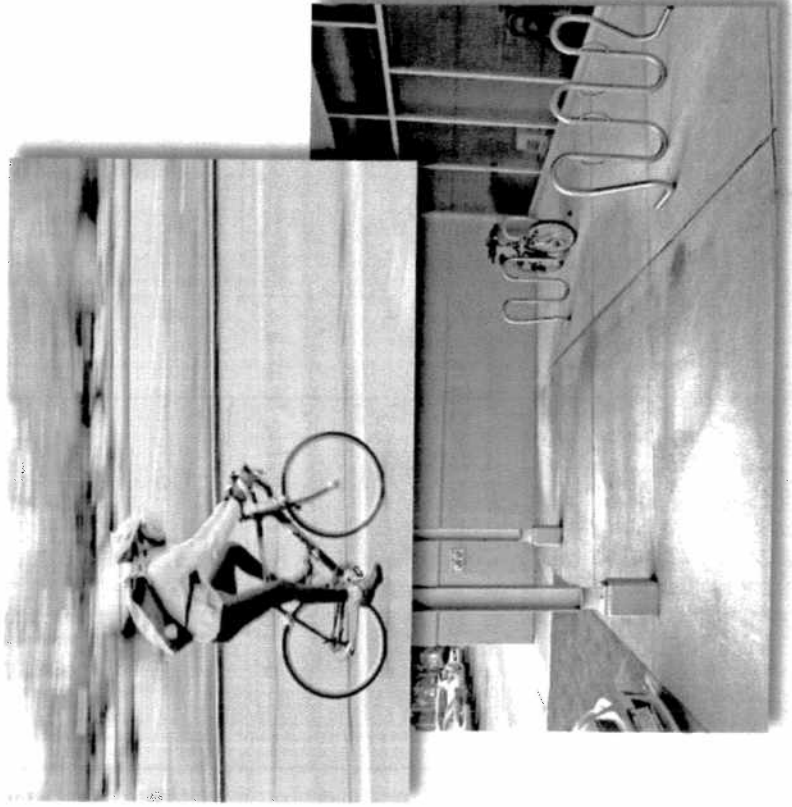
#### 9.5 Stormwater Management

- Reduce stormwater run-off and maximize pervious surfaces through the use of features such as bio-swales and rain gardens.
- Use permeable materials for outdoor surfaces such as parking areas (subject to consideration of the water table in the area, and approval by the Engineering Department.)
- Promote living green roofs and green walls.
- Drainage from developed portions of the Campbell Heights North 24 Business Park shall not flow into the environmentally sensitive conservation area.



## 9.6 Alternative Transportation Options

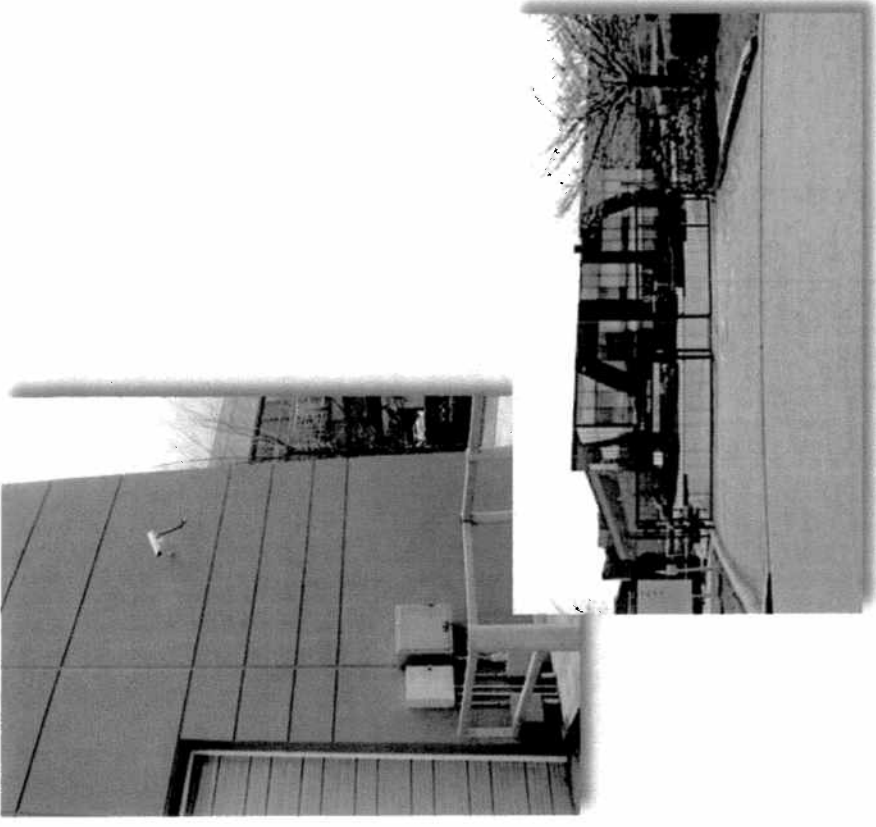
- Provide incentives for alternative transportation methods such as carpool, cycling, by incorporating bike racks (covered where possible) and on-site shower facilities into building and site design.
- A pathway shall be provided along the east side of the Environmental Conservation Area to connect with 32 Avenue.
- Developers to provide walkways to public sidewalks especially in locations near future transit stop(s).



## 10.0 CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN

Design of the built environment has a significant impact on crime, nuisance behaviour and citizens' sense of well-being. Implementing Crime Prevention Through Environmental Design (CPTED) principles is a proactive approach to addressing crime-related issues at the design stage.

- To address CPTED concerns, consideration at the design stage should occur towards building massing, location of windows, bollards, window grilles and landscaping etc. Some general recommendations from the Surrey OCP are:
  - Avoid “no-man’s land” at rear of buildings, particularly for external exit corridors. In these cases, consider use of zero lot line solutions and internal corridors which are often more desirable from a CPTED perspective.
  - Minimize opportunity for climbing onto the roof in industrial and commercial/industrial warehouse buildings.
  - On-grade parking areas not readily visible from the street should be designed with gate(s) to restrict access after-hours.
  - Consider security cameras at main lobby entrances and parking lot.
  - Open Space areas should be designed with reference to CPTED principles.



CITY OF SURREY

BY-LAW NO. \_\_\_\_\_

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended  
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: GENERAL AGRICULTURE ZONE (A-1)  
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

---

Parcel Identifier: 009-190-058  
 Legal Subdivision 3 Section 21 Township 7 New Westminster District  
 18749 - 24 Avenue  
 (hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

**A. Intent**

This zone is intended to permit development of industrial business parks with a high standard of design consisting of light impact industrial uses, high technology industry, industry with a significant amount of research and development, warehouse uses, limited offices and service uses forming part of a *comprehensive design*.

The *Lands* are divided into Areas A and B as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A, certified correct by D.J. Dyck, B.C.L.S. on the 20th day of September, 2011.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Light impact industry* including wholesale and retail sales of products produced within the business premises or as part of the wholesale operations provided that the total floor area used or intended to be used for retail sales and display to the public shall not exceed 20% of the *gross floor area* for each individual business or establishment, or 460 square metres [5,000 sq.ft.], whichever is less.
2. *Warehouse uses.*
3. *Distribution centres.*
4. Office uses excluding:
  - (a) Social escort services;
  - (b) Methadone clinics; and
  - (c) Offices of professionals including without limitation, accountants, lawyers, doctors, dentists, chiropractors, physiotherapists, massage therapists and related health care practitioners and notary publics, and the offices of real estate, advertising and insurance.
5. *Accessory uses* including the following:
  - (a) *General service uses* excluding *drive-through banks*;
  - (b) *Eating establishments* limited to a maximum of 200 seats and excluding *drive-through restaurants*;
  - (c) *Community services*;
  - (d) *Child care centre*; and
  - (e) *Dwelling unit(s)* provided that the *dwelling unit(s)* is (are)
    - i. Contained within a *principal building*;
    - ii. Occupied by the owner or a caretaker, for the protection of the businesses permitted;
    - iii. Restricted to a maximum number of
      - a. One *dwelling unit* in each *principal building* less than 2,800 square metres [30,000 sq.ft.] in floor area;
      - b. Two *dwelling units* in each *principal building* of 2,800 square metres [30,000 sq.ft.] or greater in floor area;

- c. Notwithstanding Sub-sections B.5(e)iii.a and iii.b, the maximum number shall be two *dwelling units* for *lots* less than 4.0 hectares [10 acres] in area, three *dwelling units* for *lots* equal to or greater than 4.0 hectares [10 acres] in area, and where a *lot* has been subdivided by a strata plan then there shall only be one 140-square metre [1,500 sq.ft.] *dwelling unit* within the strata plan.
  - iv. Restricted to a maximum floor area of
    - a. 140 square metres [1,500 sq.ft.] for one (first) *dwelling unit* on a *lot*;
    - b. 90 square metres [970 sq.ft.] for each additional *dwelling unit*; and
    - c. Notwithstanding Sub-sections B.5(e)iv.a. and iv.b., the maximum floor area shall not exceed 33% of the total floor area of the *principal building* within which the *dwelling unit* is contained.
- 6. For the purpose of Sub-sections B.1 and B.2 of this Zone, parking, storage or service of trucks and trailers on any portion of the *lot* not associated with the uses or operations permitted thereof shall be specifically prohibited.

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

The *floor area ratio* shall not exceed 0.1 or a gross floor area of 300 square metres [3,230 sq.ft.], whichever is smaller. The maximum *floor area ratio* may be increased to 1.00 if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.

**E. Lot Coverage**

The *lot coverage* shall not exceed 60%.

**F. Yards and Setbacks**

*Buildings and structures* shall be sited in accordance with the following minimum setbacks:

<b>Use</b>	<b>Setback</b>	<b>Front Yard</b>	<b>Rear Yard</b>	<b>Side Yard</b>	<b>Side Yard on Flanking Street</b>
<i>Principal and Accessory Buildings and Structures</i>		16.0 m.* [52 ft.]	7.5 m. [25 ft.]	7.5m.** [25 ft.]	9.0m.*** [30 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- \* The *front yard setback* may be reduced to 7.5 metres [25 ft.] if the area between the front face of any *building* or *structure* and a *highway* is not used for parking and is landscaped.
- \*\* One (1) *side yard setback* may be reduced to 3.6 metres [12 ft.] if the *side yard* abuts land which is *commercial* or *industrial*.
- \*\*\* The *side yard setback* on a *flanking street* may be reduced to 7.5 metres [25 ft.] if the area between the *flanking street* face of any *building* or *structure* and a *highway* is not used for parking and is landscaped.

**G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 14 metres [45 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 6 metres [20 ft.].

**H. Off-Street Parking**

1. Resident and visitor *parking spaces* shall be provided as stated in Table C.3. of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Notwithstanding Sub-section D.3(a)ii of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-Law, 1993, No. 12000, as amended, additional areas for parking of trucks and trailers associated with the uses and operations allowed on the *lot* may be permitted within the designated loading/unloading areas provided that
  - (a) The number of *parking spaces* shall not exceed the number of loading spaces and/or shipping/receiving doors; and

- (b) The *parking spaces* shall not be visible from the *highways* abutting the *lot*.

## I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a Major Road as shown in the "Surrey Major Road Allowance Map," attached as Schedule K to the "Surrey Subdivision and Development By-law, 1986, No. 8830" as amended, a continuous *landscaping* strip of not less than 6.0 metres [20 ft.] in width shall be provided within the *lot*.
3. Along the developed sides of the *lot* which abut all *highways* other than a Major Road, as shown in the "Surrey Major Road Allowance Map," attached as Schedule K to the "Surrey Subdivision and Development By-law, 1986, No. 8830" as amended, a continuous *landscaping* strip of not less than 3.0 metres [10 ft.] in width shall be provided within the *lot*.
4. A continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided along all *side lot lines* between a *highway* and 3.0 metres [10 ft.] back from the front face of the closest *principal building* fronting a *highway*.
5. Loading areas, garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping screen, a solid decorative fence, or a combination thereof*.
6. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.

## J. Special Regulations

1. Land and *structures* shall be used for the uses permitted in this By-law only if such uses
  - (a) Constitute no unusual fire, explosion or safety hazard;
  - (b) Do not emit noise in excess of 70 dB measured at any point on any boundary of the *lot* on which the use is located; and
  - (c) Do not produce heat or glare perceptible from any boundary of the *lot* on which the use is located.
2. In Area A, outdoor storage of any goods, materials or supplies is specifically prohibited.
3. In Area B, area for outdoor display and storage of any goods, materials or supplies, and areas for parking of trucks and trailers associated with the



uses and operations allowed on the *lot*, other than the loading spaces in front of loading doors, shall be in compliance with the following:

- (a) Not located within any *front yard setback* or *side yard setback*; and
  - (b) Completely screened to a height of at least 2.5 metres [8 ft.] by *buildings* and/or solid decorative fencing and/or substantial *landscaping* strips of not less than 2.5 metres [8 ft.] in height and not less than 1.5 metres [5 ft.] in width. No display or storage of material shall be piled up to a height of 2.5 metres [8 ft.] within 5 metres [16 ft.] of the said screen and in no case shall these materials be piled up to the height of more than 3.5 metres [12 ft.].
4. Loading areas shall not be located within any required *front yard setback* or *flanking street setback* which abuts a major road, as shown in the “Surrey Major Road Allowance Map,” attached as Schedule K to the “Surrey Subdivision and Development By-law, 1986, No. 8830” as amended.
  5. Garbage containers and *passive recycling containers* shall not be located within any required front or *flanking street setback*.
  6. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.

**K. Subdivision**

*Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,000 sq. m. [0.5 acre]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

**L. Other Regulations**

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the IB-1 Zone as set forth in

the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.

3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. *Sign* regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2011, No. 17330, as may be amended or replaced from time to time, and the development cost charges shall be based on the IB-1 Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

READ A FIRST AND SECOND TIME on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

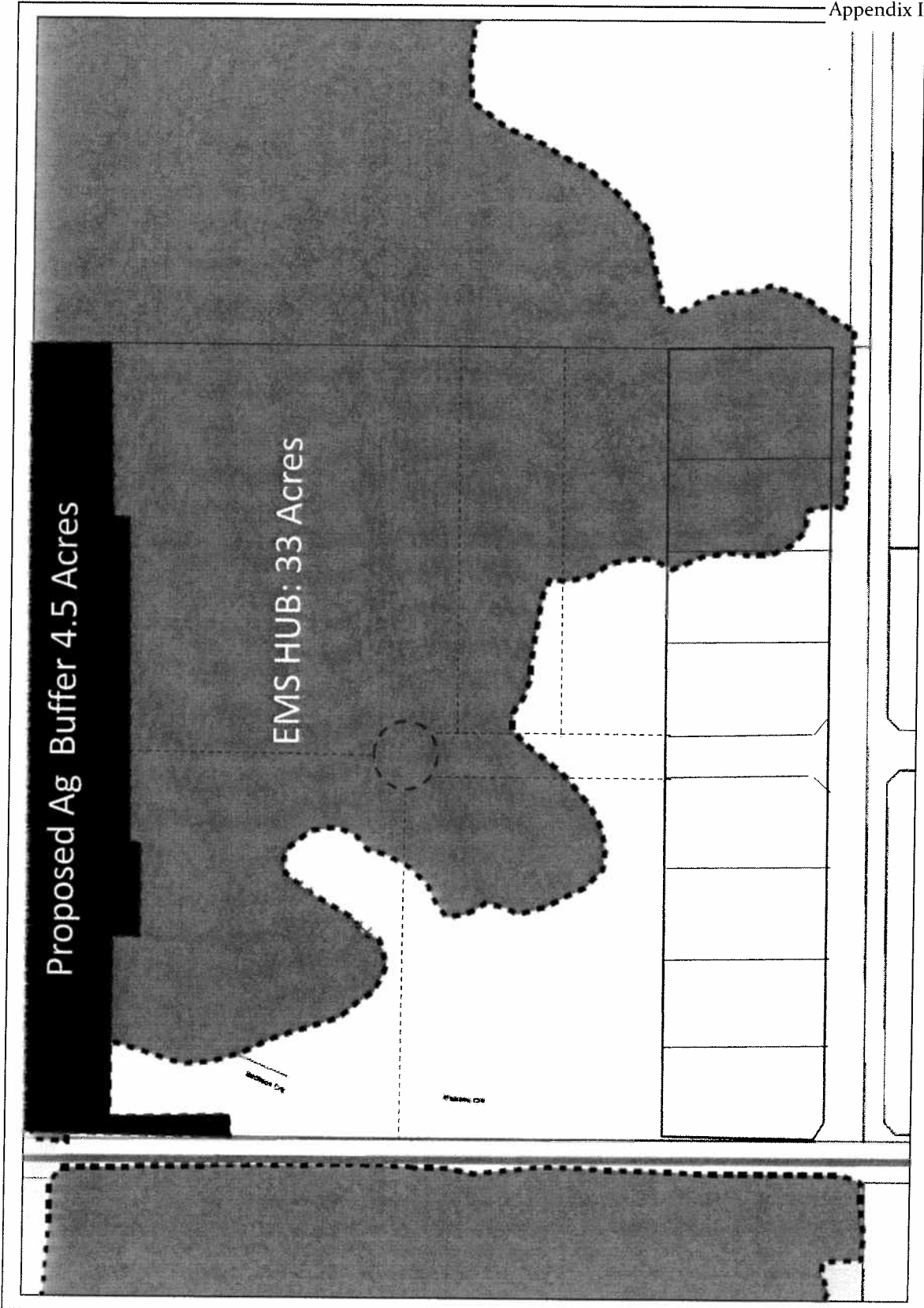
READ A THIRD TIME ON THE \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK





**CAMPBELL HEIGHTS  
LAND USE PLAN**

**Legend**

- Campbell Heights Local Area Plan
- Business Park (Office)
- Technology Park
- Business Park
- Technology Park or Business Park
- Commercial
- Business Park or Office Work in Cluster Housing Form
- Campbell Heights Local Area Plan (City Park)
- Open Space (Community/Buffer)
- Landscaping Zones
- Administrative Management Facilities
- Streets and Drives

