

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7910-0302-00

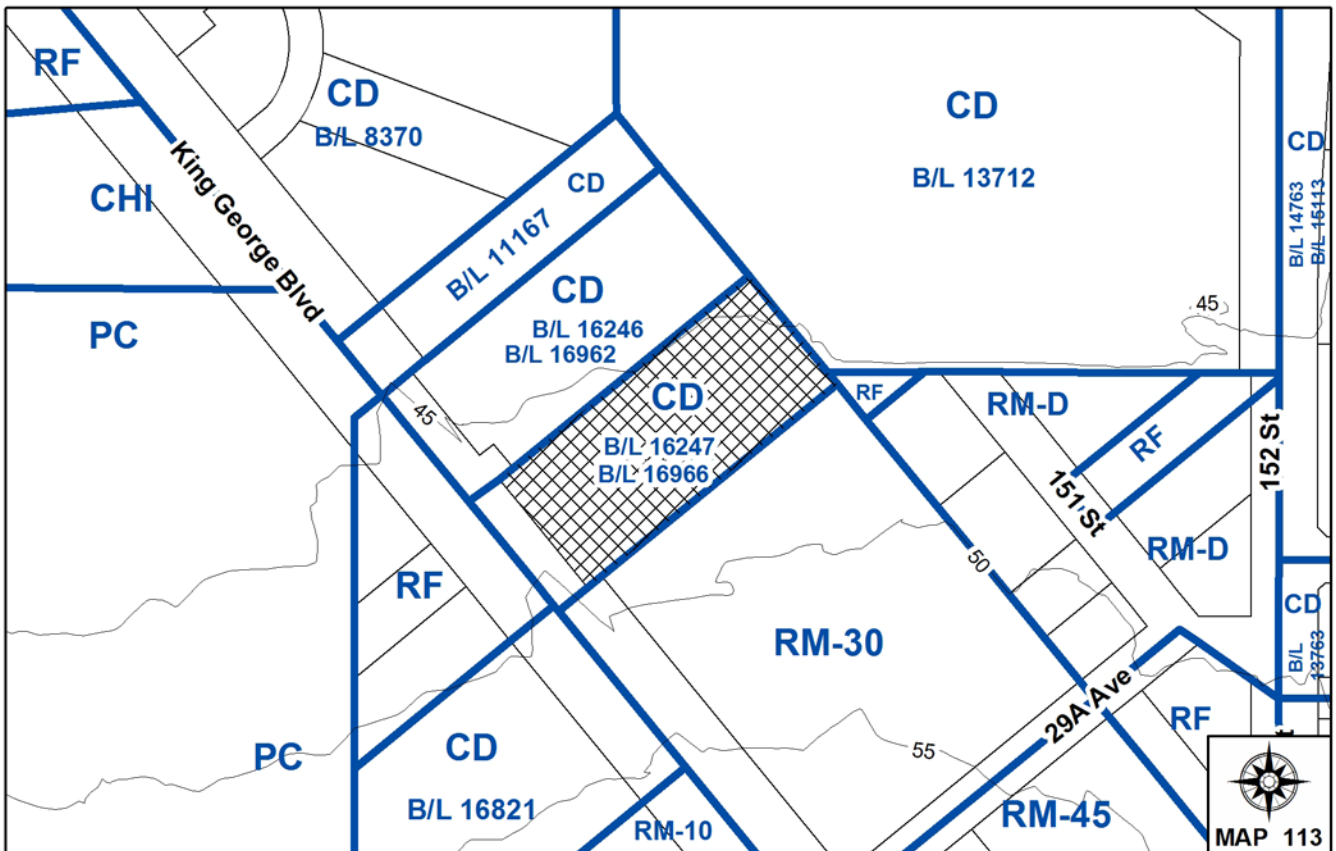
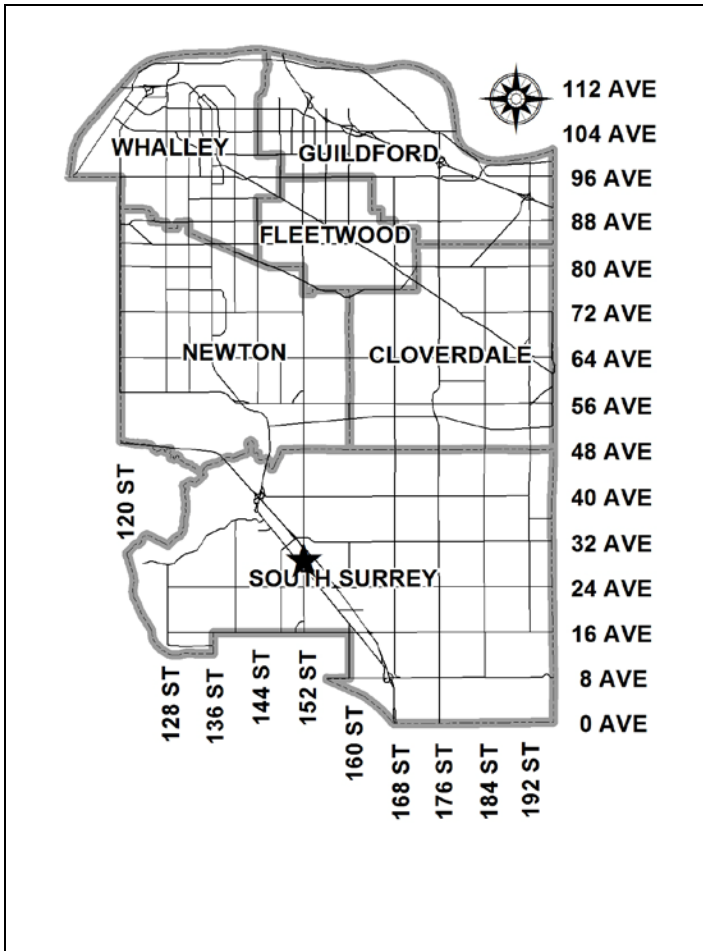
Planning Report Date: April 4, 2011

PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

in order to vary the minimum setback requirement to permit a free-standing sign for an existing multi-tenant commercial business complex.

LOCATION: 2950 King George Boulevard
OWNER: KGH BT Holdings Limited, Inc.
 No. 725293
ZONING: CD (By-law Nos. 16247 and 16966)
OCP DESIGNATION: Multiple Residential
NCP/LAP DESIGNATION: Multi-family Residential



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The proposed free-standing sign requires a variance to reduce the minimum setback requirement from 2.0 metres (6 ft.) to 0.66 metre (2.2 ft.).

RATIONALE OF RECOMMENDATION

- The free-standing sign conforms to all requirements of the Surrey Sign By-law.
- The free-standing sign will provide advertising exposure for commercial tenants by targeting passing motorists travelling along King George Boulevard.
- The design of the proposed free-standing sign complements the design of the existing commercial/residential buildings. The applicant is proposing to install additional landscaping around the base of the free-standing sign.
- The proposed variance will eliminate sight-line concerns and potential conflicts between motorists entering the subject property from the right-in/right-out access on King George Boulevard and motorists exiting the parking area adjacent to King George Boulevard.
- The overall width of the road right-of-way on King George Boulevard is substantial; therefore, the reduced sign setback will have a negligible visual impact on passing motorists.
- The proposed variance will avoid conflicts with underground services and a hydro utility pole located on-site. In addition, the proposed sign location will not conflict with on-site parking or future sidewalks.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7910-0302-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7910-0302-00 (Appendix II), varying the following, to proceed to Public Notification:
 - (a) to vary the Sign By-law to reduce the minimum setback requirement for a free-standing sign from 2 metres (6 ft.) to 0.66 metre (2.2 ft.).

REFERRALS

Engineering:

The Engineering Department has no objection to the project subject to the completion of the following Engineering requirements:

- The proposed free-standing sign be located 1.5 metres (5 ft.) from the curb of the adjacent parking stall to preserve sight lines for motorists; and
- The applicant install a painted stop bar at the parking lane exit.

Terasen Gas:

No concerns.

BC Hydro:

The free-standing sign must maintain a minimum clearance distance of 3 metres (9.8 ft.) between the top of the free-standing sign and the overhead power lines.

SITE CHARACTERISTICS

Existing Land Use: Multiple residential buildings with ground floor commercial units.

Adjacent Area:

| Direction | Existing Use | OCP/NCP Designation | Existing Zone |
|--------------------------------------|--|---------------------------------------|---------------------------------|
| North: | Multiple residential buildings with ground floor commercial units. | Multi-family Residential | CD (By-law No. 16246 and 16962) |
| East: | Retail shopping centre. | Commercial/Highway Tourist Commercial | CD (By-law No. 13712) |
| South: | Multi-family residential. | Multi-family Residential | RM-30 |
| West (Across King George Boulevard): | Single family residential. | Urban/Multiple Residential (Low) | RF |

DEVELOPMENT CONSIDERATIONS

Background Information

- The subject property is located at 2950 King George Boulevard. The property is currently zoned “Comprehensive Development (CD)” (By-law No. 16247 and 16966) and designated “Multiple Residential” in the Official Community Plan (OCP).
- The property is occupied by two multiple residential buildings with ground-floor oriented retail units. The development was constructed in two separate phases with Council issuing the Development Permit (No. 7906-0329-00) for the mixed-use commercial/residential component on June 26, 2007. The multiple residential buildings comprise a total floor area of 10,231 square metres (110,128 sq. ft.). The buildings are stratified into 88 residential dwellings and 13 retail units with vehicle access provided to King George Boulevard.
- Several tenants occupying the ground-floor oriented retail units do not have advertising exposure to passing motorists. Therefore, the applicant proposes to install a free-standing sign along King George Boulevard for advertising purposes.

Proposed Development Permit Amendment

- The previously approved Development Permit (No. 7906-0329-00) for the commercial component included provisions for fascia signage for individual businesses but did not include provisions for a free-standing sign on King George Boulevard. As a result, the applicant is proposing to amend the Development Permit in order to allow for installation of a free-standing sign.

DESIGN PROPOSAL AND REVIEW

Proposed Free-Standing Sign

- The proposed free-standing sign will be 4.6 metres (15 ft.) high, which is lower in height than the permitted 7.6 metres (25 ft.) height for free-standing signs along King George Boulevard. The sign complies fully with the Surrey Sign By-law, 1999.
- The free-standing sign is 2.5 metres (8.3 ft.) wide and double-sided resulting in a total sign area of approximately 23 square metres (248 sq. ft.). The Sign By-law permits a total sign area of 27.8 square metres (300 sq. ft.).
- The proposed free-standing sign will consist of a metal frame with sheet metal cladding in a light grey colour and black vinyl faux reveals which matches the present building exterior. The frame will be supported on both sides by two decorative poles with sheet metal cladding and concrete footings located primarily below ground.
- The sign area will consist of a routed aluminium cabinet with push-thru graphics painted bronze and black with black and white plexiglas-backed graphics. The tenant section includes a white lexan surface coated in black vinyl with white text permitted within the copy area. In addition, the sign area will have twenty (20) individual channels (10 per side) and background illumination for advertising purposes.

- City staff have worked closely with the applicant to ensure the free-standing sign reflects the design features of the existing building fronting King George Boulevard.
- The applicant is proposing to introduce additional landscaping around the base of the free-standing sign in order to improve the overall appearance. The proposed landscaping will consist of several small shrubs with additional ground cover around the perimeter of the sign base.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum setback requirement in the Surrey Sign By-law for a free-standing sign from 2.0 metres (6 ft.) to 0.66 metre (2.2 ft.).

Applicant's Reasons:

- The proposed variance will eliminate conflicts with underground services located on-site.

Staff Comments:

- The requested variance will eliminate line-of-sight concerns and potential conflicts between motorists entering the subject property from the right-in access off King George Boulevard and motorists exiting the on-site parking area located adjacent to King George Boulevard.
- The requested variance will prevent future conflicts with underground services as well as a hydro utility pole located within the vicinity of the proposed free-standing sign. In addition, the requested variance will not impact the future sidewalk along King George Boulevard.
- Relaxing the minimum setback requirement will have a negligible visual impact on passing motorists given the overall width of the road right-of-way for King George Boulevard.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Lot Owners and Action Summary
Appendix II. Development Variance Permit No. 7910-0302-00

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

MRJ/kms

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CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO. 7910-0302-00

Issued To: KGH BT HOLDINGS LIMITED, INC. NO. 725293
(the "Owner")

Address of Owner: 2000 - 1040 West Georgia Street
Vancouver, BC
V6E 4H1

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-027-370
Air Space Parcel 1 Section 22 Township 1 New Westminster District Air Space Plan
BCP42171

2950 King George Boulevard

(the "Land")

3. Surrey Sign By-law, 1999, No. 13656, as amended is varied as follows:

(a) Part 5 "Signs in Commercial/Industrial Zones" Section 27, Sub-section 1(e) to allow a reduction in the minimum setback requirement for a free-standing sign from 2.0 metres (6 ft.) to 0.66 metre (2.2 ft.).

4. The landscaping and the siting of buildings and structures shall be in accordance with the drawings numbered 7910-0302-00 (A) through to and including 7910-0302-00(B) (the "Drawings") which are attached hereto and form part of this development variance permit.

5. This development variance permit applies to only the proposed free-standing sign shown on Schedule A which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction within two (2) years after Development Permit No. 7910-0302-00 is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan

