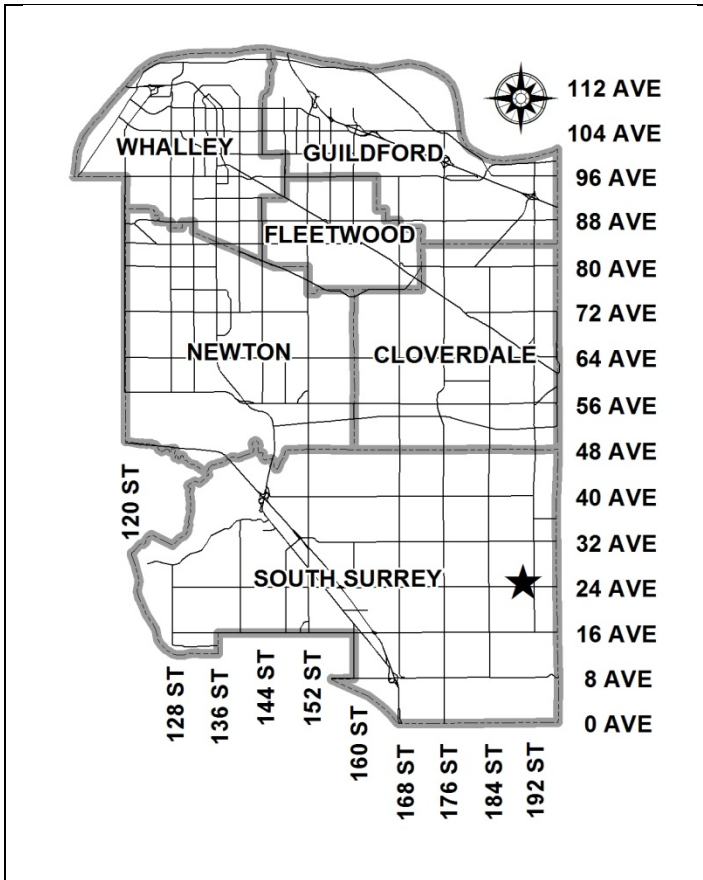


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7910-0308-00

Planning Report Date: June 25, 2012



**PROPOSAL:**

- **Rezoning** from IB-1 and A-2 to CD (based on IB-1)
- **Development Permit** (General)

to enable the expansion of the Loblaws site and permit the development of four new lots along 24 Avenue

**LOCATION:**

18917 - 24 Avenue; 2755 - 190 Street and 2456 - 188 Street

**OWNER:**

661903 British Columbia Ltd., Inc.  
 No. 0661903

**ZONING:**

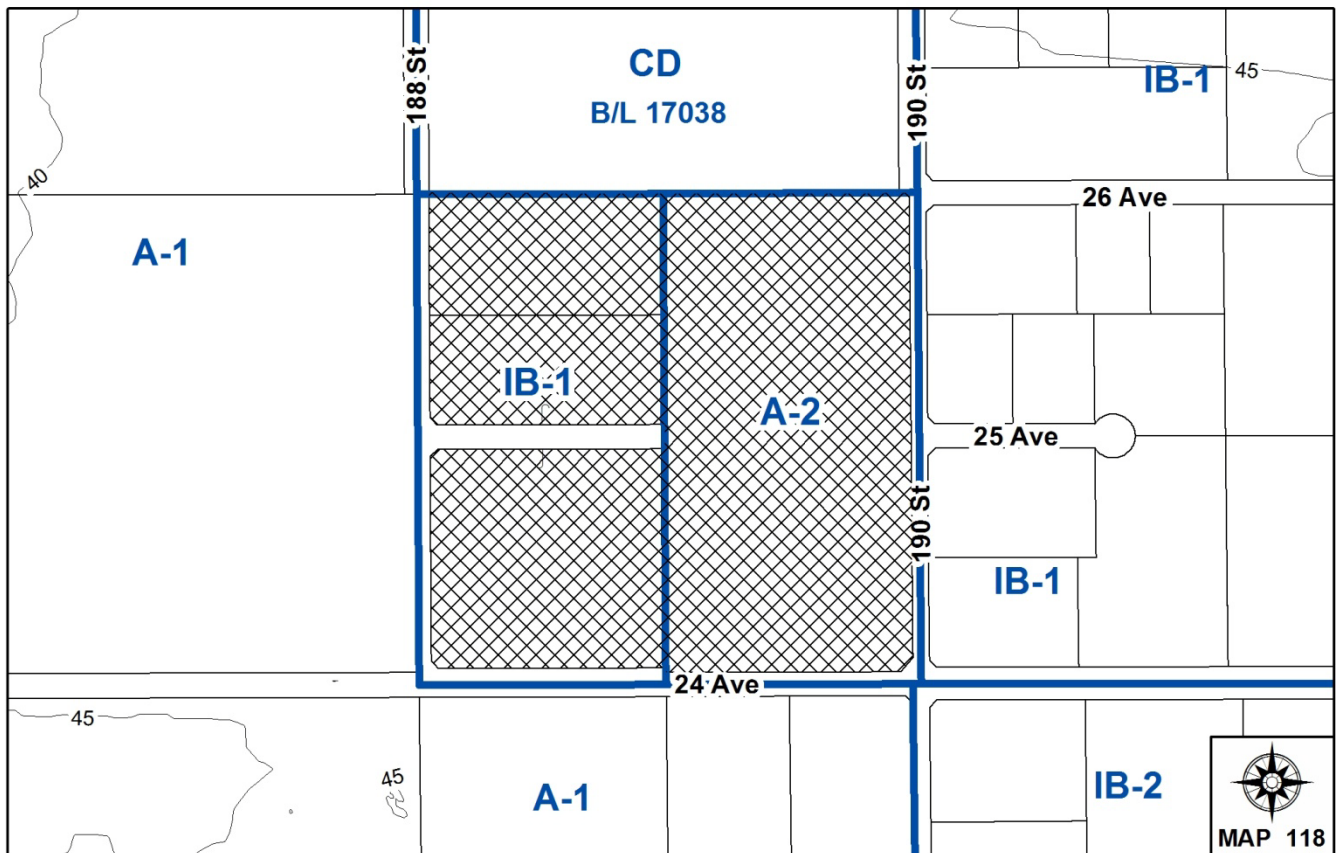
IB-1, A-2

**OCP DESIGNATION:**

Industrial

**LAP DESIGNATION:**

Technology or Business Park



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning
- Approval to draft general Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with Official Community Plan (OCP) Designation
- Complies with the Campbell Heights Business Park Local Area Plan.
- The general Development Permit guidelines for the site reflect the Phase I Campbell Heights Design Guidelines and other City policies to address significant elements of site design.

### RECOMMENDATION

The Planning & Development Department recommends that:

1. By-laws be introduced as follows:
  - (a) to amend CD Zone By-law No. 17038 by including the portions of land shown as Block A in Appendix II;
  - (b) to rezone Block B from "Business Park Zone (IB-1)" and "Intensive Agriculture Zone (A-2)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and
  - (c) a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7910-0308-00 generally in accordance with the attached Block A and Block B Design Guidelines (Appendix V).
3. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (d) the applicant adequately address the shortfall in tree replacement; and
  - (e) completion of the General DP guidelines to the satisfaction of the General Manager of Planning and Development.

### REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Agricultural and Food Security Advisory Committee (AFSAC):	At their April 5, 2012 meeting, the AFSAC received an information memo concerning this application and the proposed DP guidelines. The site is 'kitty-corner' to the ALR.

SITE CHARACTERISTICS

Existing Land Use: Vacant undeveloped lands with some forest cover along the eastern portion of the site.

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
North :	Loblaws cold storage and warehousing site	Industrial/Technology Park or Business Park	CD
East: (Across 190 Street):	Campbell Heights Phase I industrial development	Industrial/Technology Park or Business Park	IB-1
South (Across 24 Avenue):	Vacant lots	Industrial/Business Park, Open Space Corridors	A-1
West (Across 188 Street):	Vacant lot, under application #7910-0301-00	Industrial/ Technology Park or Business Park, Open Space Corridors/Buffer	A-1

DEVELOPMENT CONSIDERATIONSBackground and Site Context

- The development site consists of three (3) properties located between 188 and 190 Street, north of 24 Avenue in Campbell Heights. The properties are designated ‘Industrial’ in the Official Community Plan (OCP) and ‘Technology Park or Business Park’ in the Campbell Heights Local Area Plan. The development site has a total area of 15.4 hectares (38 acres).
- The property at 18917 - 24 Avenue is zoned for “Intensive Agriculture Zone (A-2)” use, while the property at 2456 - 188 Street is zoned “Business Park Zone (IB-1)”. The Loblaws site at 2755 - 190 Street is zoned under CD By-law No. 17038. The southwest corner of the development site is located kitty-corner to the ALR.

Proposal

- The applicant is proposing to:
  - Rezone ‘Block A’ (the development site north of 25 Avenue) from 1B-1 and A-2 to CD By-law No. 17038 to consolidate the property with the existing Loblaws facility at 2755 190 Street, and to
  - Rezone ‘Block B’ (the development site south of 25 Avenue) from 1B-1 and A-2 to a new CD zone based on IB-1. The new CD zone will provide for traditional IB-1 uses, with increased outdoor storage.
- Through the application, Block B will be subdivided into four 1.73 ha (4.27 acre) parcels (See Appendix II). As part of the application, 25 Avenue will be constructed and completed between 188 and 190 Street.

- Because no building is proposed at this time, the applicant has been asked to complete a General Development Permit. This involves creating a comprehensive set of development guidelines for Blocks A and B to be registered on title. The guidelines, based on City policy and the Phase I Campbell Heights Design Guidelines, will address significant elements of site design.

### Rezoning – CD Zones

- The proposal is to rezone the northern portion of the site (Block A) to CD By-law No. 17038 and to consolidate it with the Loblaws site under the same zone (CD By-law # 17038 is included in Appendix VI). Block A is 5.94 ha (14.67 acres) in area; and once it has been consolidated with the developed portion of the Loblaws site, the new parcel will measure a total of 22.35 ha (55.22 acres) in area.
- The southern portion of the site (Block B) measuring 7.55 ha (18.53 acres) in area will be zoned to a new CD zone based on the IB-1 zone. Unlike the traditional IB-1 zone, the new zone will provide for limited outdoor storage.
- Under the new zone, Block B will be divided into two areas - Area A and Area B. In Area A, the outdoor storage of goods, materials or supplies will be prohibited. No outdoor will be permitted within at least 80 metres of 188 Street, 24 Avenue or 190 Street.
- In Area B, however, the outdoor display and storage of any goods, materials or supplies, along with truck and trailer parking will be permitted; subject to being screened by either 2.5 metre [8 ft] high buildings or solid decorative fencing, combined with substantive landscaped strips at least 2.5 metres [8 ft.] in height and 1.5 metres [5 ft.] in width. In no cases are materials to be piled up on site higher than 3.5 meters [12 ft.]. Outdoor storage is also not permitted within any required front, rear or side yard setbacks.
- Collectively, these provisions will ensure that outdoor storage is appropriately screened and treated in order to achieve the intent of the Campbell Heights LAP design guidelines. The provisions for screened storage are consistent with those prepared for the recent applications in the area, including the property west of the current application (# 7910-0301-00) and the B & B site at 3075 188 Street (#7910-0113-00).

### Subdivision of Block B

- Under the current application, the applicant has applied to subdivide Block B into four 1.73 ha (4.27 acre) lots fronting 24 Avenue (See Appendix II). Under the proposed four lot scenario, outdoor storage will be limited to proposed Lots 3 and 4.
- The applicant has, however, requested that the CD zone for Block B allow for the future subdivision of the four lots into smaller 0.88 acre parcels so that a maximum of 16 smaller lots may be achieved.
- Accordingly, the CD zone for Block B has been structured in such a way to ensure any future lots including a portion of Area B must have a minimum area of .88 acres from Area B and a minimum dimension of 40 m x 80 m from Area B. This will ensure that areas for allowing for outdoor storage will be usable areas of a reasonable size, wholly contained within a parcel.

### General Development Permit

- The applicant has agreed to enter into a two General DPs to guide the future development of Block A (the extension to the Loblaws site) and Block B (the four CD lots fronting 24 Avenue) (Appendix V).
- Collectively, the General DP guidelines describe the parameters for the future development of each area and include design requirements pertaining to site building, layout, landscaping, stormwater management and signage. The guidelines also provide for consideration of sustainable site and building design guidelines and CPTED features, and area based on City policy (OCP and LAP) and the Phase I Campbell Heights Design Review process.
- In addition, the Block A and B guidelines make note of the forested area at the east side of development site near 190 Street. The area is identified as an ecosystem site under the City's Ecosystem Management Study (EMS). The guidelines therefore note that all existing mature healthy trees should be preserved and incorporated into the final layout, landscaping and design of each site, wherever possible, to help retain natural features and functions.
- Prior to development of any of the proposed lots, a site specific DP must be applied for and approved.

### ALR Interface at Block B

- The Block B design guidelines also make reference to the interface required at the Agricultural Land Reserve (ALR) boundary. The southwest corner of the development site (2456 188 Street) is located kitty corner to the ALR at the northeast corner of 188 Street and 24 Avenue.
- The Block B guidelines recognize the importance of an ALR interface by referencing the policies of the OCP and Campbell Heights LAP, which require a minimum 30 metre (100 ft) building setback from the edge of the ALR and 15 metres of landscaping within the setback area.
- The guidelines therefore call for a landscaped buffer or corner feature on the site at 188 and 24 Avenue, along with a 6-metre (20-ft) wide planted bio-swale adjacent to 24 Avenue. Together, these features should provide an adequate interface between the agricultural edge and the development site in keeping with City policy. Any building on proposed Lot 2 will likely be more than 30 metres (98 ft.) from the ALR boundary, given the ultimate road width of 24 Avenue, required bio-swale and building setback.
- On April 5, 2012, the City's AFSAC received a memo on the Block B design guidelines for information. While a review and analysis of the site will be forwarded to the AFSAC for approval when a future DP application for a building is submitted, the Committee noted the treatment of the site should adhere to the same criteria as neighbouring properties in the area. The proposed bio-swale should be consistent with that proposed on the site to the west, across 188 Street, which is under application (#7910-0301-00).

### Tree Retention

- On March 28, 2011 Mike Fadum and Associates Ltd. submitted a preliminary arborist report for the site. In total, the report identifies 211 protected mature trees on-site. The majority of these trees are located along the eastern portion of the site in the 'ecosystem site' identified under City's EMS.

- While the applicant is not applying for a DP at this time, - the majority of trees (162) will remain on site until a DP for a building is issued - 49 of the mature on-site trees will need to be removed to accommodate required road works.
- In all, 13 trees will need to be removed as a result of the completion of 25 Avenue, 20 trees will require removal along 24 Avenue and 16 trees will need to be removed from 190 Street. (See Appendix IV). The breakdown of these trees by species is listed below.

Tree Species	Total Trees to be removed as a result of Road Works/Serviceing
Bigleaf Maple	2
Black Cottonwood	28
Fir	1
Red Alder	8
Western Red Cedar	10
<b>TOTAL</b>	<b>49</b>

- Of the 49 trees to be removed, 36 trees are to be replaced on a 1:1 basis, while 13 trees will be replaced on a 2:1 basis. Cash-in lieu will be collected for 62 trees from the applicant for the City's Green Fund. A final arborist report providing of the removal of trees due to road works, along with a raptor study will be required.

#### PRE-NOTIFICATION

- Pre-notification letters for this application were first sent out January 4, 2011. To date, staff have not received any calls or inquiries concerning the site.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I	Lot Owners, Action Summary and Project Data Sheets and Survey Plan
Appendix II	Proposed Block Plan and Subdivision Layout
Appendix III	Engineering Summary
Appendix IV	Summary of Tree Survey and Tree Preservation
Appendix V	Proposed Development Permit Guidelines Block A and Block B
Appendix VI	Existing CD Zone for Block A (Bylaw No. 17038)
Appendix VII	Proposed CD Zone for Block B

*original signed by Nicholas Lai*

Jean Lamontagne  
General Manager  
Planning and Development

HP/kms

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                    Pacific Land Resource Group Inc  
                          Address:                    101 - 7485 - 130 Street  
                                                             Surrey, BC  
                                                             V3W 1H8  
  
                          Tel:                                    604-501-1624 -Work
  
2.      Properties involved in the Application
  - (a)      Civic Addresses:            18917 - 24 Avenue, 2755 - 190 Street and 2456 - 188 Street
  
  - (b)      Civic Address:            18917 - 24 Avenue  
                  Owner:                                    661903 British Columbia Ltd., Inc. No. 0661903  
                                                     Director Information:  
                                                     David C.S. Longcroft  
                                                     David L. Mydske  
  
                                                     Officer Information as at January 13, 2012  
                                                     David C.S.. Longcroft (Secretary)  
                                                     David L. Mydske (President)  
  
                  PID:                                    009-190-121  
                  East Half of the South Half of the West Half of the South East Quarter Section 21  
                  Township 7 New Westminster District, Except Part Dedicated Road on Plan BCP14662
  
  - (c)      Civic Address:            2755 - 190 Street  
                  Owner:                                    661903 British Columbia Ltd., Inc. No. 0661903  
                                                     Director Information:  
                                                     David C.S. Longcroft  
                                                     David L. Mydske  
  
                                                     Officer Information as at January 13, 2012  
                                                     David C.S.. Longcroft (Secretary)  
                                                     David L. Mydske (President)  
  
                  PID:                                    027-933-644  
                  Lot 1 Section 21 Township 7 New Westminster District Plan BCP41000



- (d) Civic Address: 2456 - 188 Street  
Owner: 661903 British Columbia Ltd., Inc. No. 0661903  
Director Information:  
David C.S. Longcroft  
David L. Mydske  
  
Officer Information as at January 13, 2012  
David C.S.. Longcroft (Secretary)  
David L. Mydske (President)  
PID: 027-933-652  
Lot 2 Section 21 Township 7 New Westminster District Plan BCP41000

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to rezone the property.
- (b) Introduce a By-law to rezone a portion of the property (and a portion of road allowances).

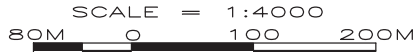
## SUBDIVISION DATA SHEET

**Block B**  
**Proposed Zoning: CD**

Requires Project Data	Proposed
<b>GROSS SITE AREA</b>	
Acres	18.65
Hectares	7.55
<b>NUMBER OF LOTS</b>	
Existing	1
Proposed	3
<b>SIZE OF LOTS</b>	
Range of lot widths (metres)	94.59 – 96.58 m (310 – 316 ft.)
Range of lot areas (square metres)	16,470.70 – 16,834.92 sq.m (177289 – 181,209 sq.ft.)
<b>DENSITY</b>	
Lots/Hectare & Lots/Acre (Gross)	21 ha/ 0.52 acres
Lots/Hectare & Lots/Acre (Net)	.24 ha/0.59 acre
<b>SITE COVERAGE (in % of gross site area)</b>	
Maximum Coverage of Principal & Accessory Building	N/A
Estimated Road, Lane & Driveway Coverage	
Total Site Coverage	
<b>PARKLAND</b>	
Area (square metres)	N/A
% of Gross Site	
	<b>Required</b>
<b>PARKLAND</b>	
5% money in lieu	YES/NO
<b>TREE SURVEY/ASSESSMENT</b>	
	YES/NO
<b>MODEL BUILDING SCHEME</b>	
	NO
<b>HERITAGE SITE Retention</b>	
	NO
<b>BOUNDARY HEALTH Approval</b>	
	NO
<b>DEV. VARIANCE PERMIT required</b>	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW No. \_\_\_\_\_ OF LOT 2 Sec 21 Tp 7 PLAN BCP41000 AND EAST HALF OF THE SOUTH HALF OF THE WEST HALF OF THE SE QUARTER Sec 21 Tp 7, EXCEPT PART DEDICATED ROAD ON PLAN BCP14662 ALL IN NEW WESTMINSTER DISTRICT**

CITY OF SURREY  
B.C.G.S. 92G.007



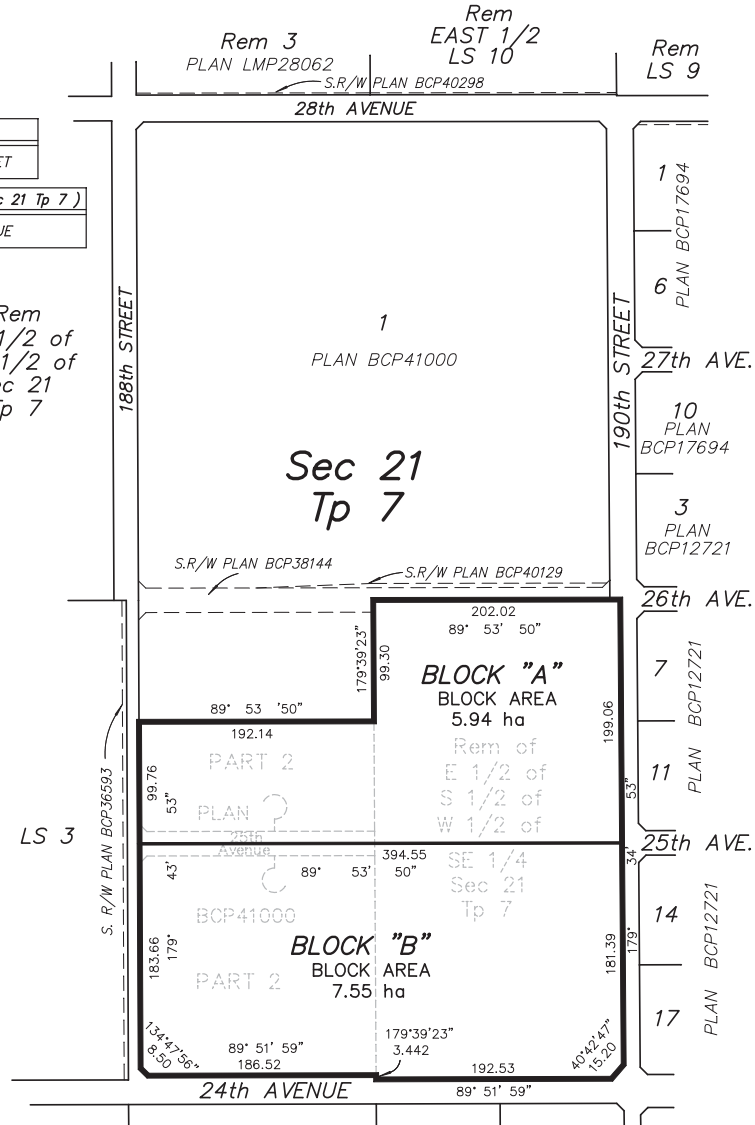
"ALL DISTANCES ARE IN METRES"

BOOK OF REFERENCE		PLAN	AREA	BLOCK
LOT	DESCRIPTION			
PART OF LOT 2 and Rem SE 1/4	SECTION 21 TOWNSHIP 7	BCP41000	5.94 ha	BLOCK A
PART OF LOT 2 and Rem SE 1/4	SECTION 21 TOWNSHIP 7	BCP41000	7.55 ha	BLOCK B

P.I.D. 027-933-652 ( LOT 2 )
CIVIC ADDRESS: #2456 - 188th STREET
P.I.D. 009-180-121 ( Rem SE 1/4 Sec 21 Tp 7 )
CIVIC ADDRESS: #18917 - 24th AVENUE



Rem  
E 1/2 of  
N 1/2 of  
Sec 21  
Tp 7



**Sec 16 Tp 7**

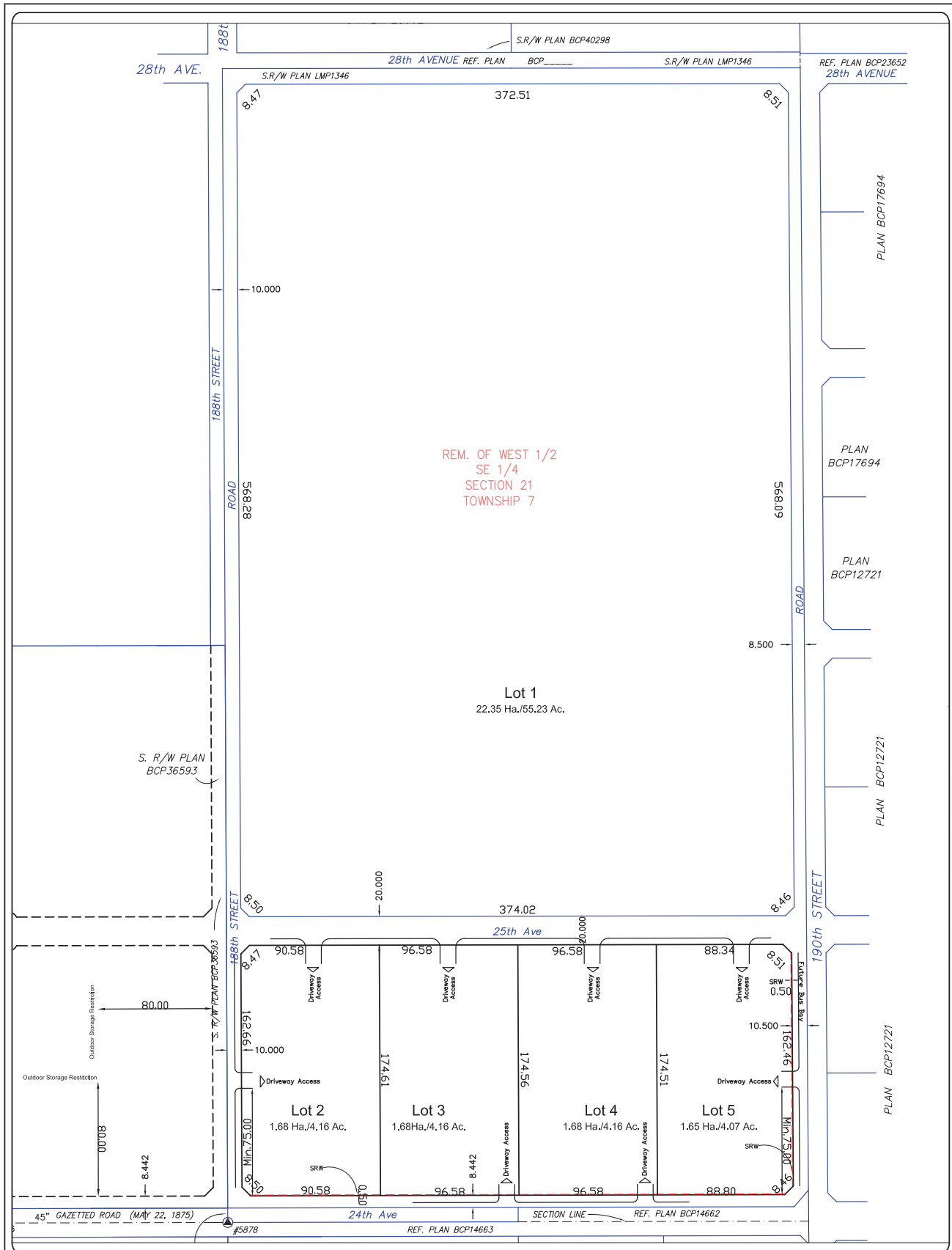
CERTIFIED CORRECT ACCORDING TO  
LAND TITLE OFFICE RECORDS DATED  
THIS 21st DAY OF JUNE, 2012

SOUTH FRASER LAND SURVEYING LTD.  
B.C. LAND SURVEYORS  
SUITE 101 - 7485 130th STREET  
SURREY, B.C. V3W 1H8  
TELEPHONE: 604 599-1886  
FILE: 07463-2012-ZON-2

THIS PLAN LIES WITHIN THE  
GREATER VANCOUVER REGIONAL DISTRICT

SIGNATURE OF B.C.L.S.

07463-2012-ZON-2



CLIENT: <b>0661903 BC Ltd.</b>			
PROJECT: <b>188 St. &amp; 25 Ave., Surrey</b>			
DRAWING TITLE: <b>Proposed Subdivision Plan &amp; Driveway Locations</b>			
PROJECT No. <b>10-852</b>	DATE: <b>March 14, 2012</b>	DRAWING: <b>01</b>	SCALE: <b>1:2500</b>



**PACIFIC LAND GROUP**  
*Land Use, Development & Environmental Strategists*

**Pacific Land Resource Group Inc.**  
Suite 101 - 7485 130 Street  
Surrey, British Columbia  
Canada V3W 1H8

Tel: 604-501-1624  
Fax: 604-501-1625  
www.pacificlandgroup.ca  
info@pacificlandgroup.ca

PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES

INTER-OFFICE MEMO

---

TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **March 20, 2012** PROJECT **7810-0308-00**  
FILE:

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RE: **Engineering Requirements (Industrial)  
Location: 2456-188 Street, 2755-190 Street, 18917-24 Avenue**

**REZONE/SUBDIVISION**

***Property and Statutory Right-of-Way (SRW) Requirements***

- dedicate 24 Avenue, 25 Avenue, and 190 Street; and
- register SRW along 24 Avenue and 190 Street.

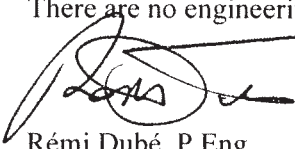
***Works and Services***

- construct 25 Avenue, 190 Street, and bus bay on 24 Avenue;
- install storm sewer on 24 and 25 Avenues, and watermain on 25 Avenue;
- verify requirement for and construct sanitary sewer on 25 Avenue; and
- construct sanitary sewer on 188 Street north of 28 Avenue to 3000 Block.

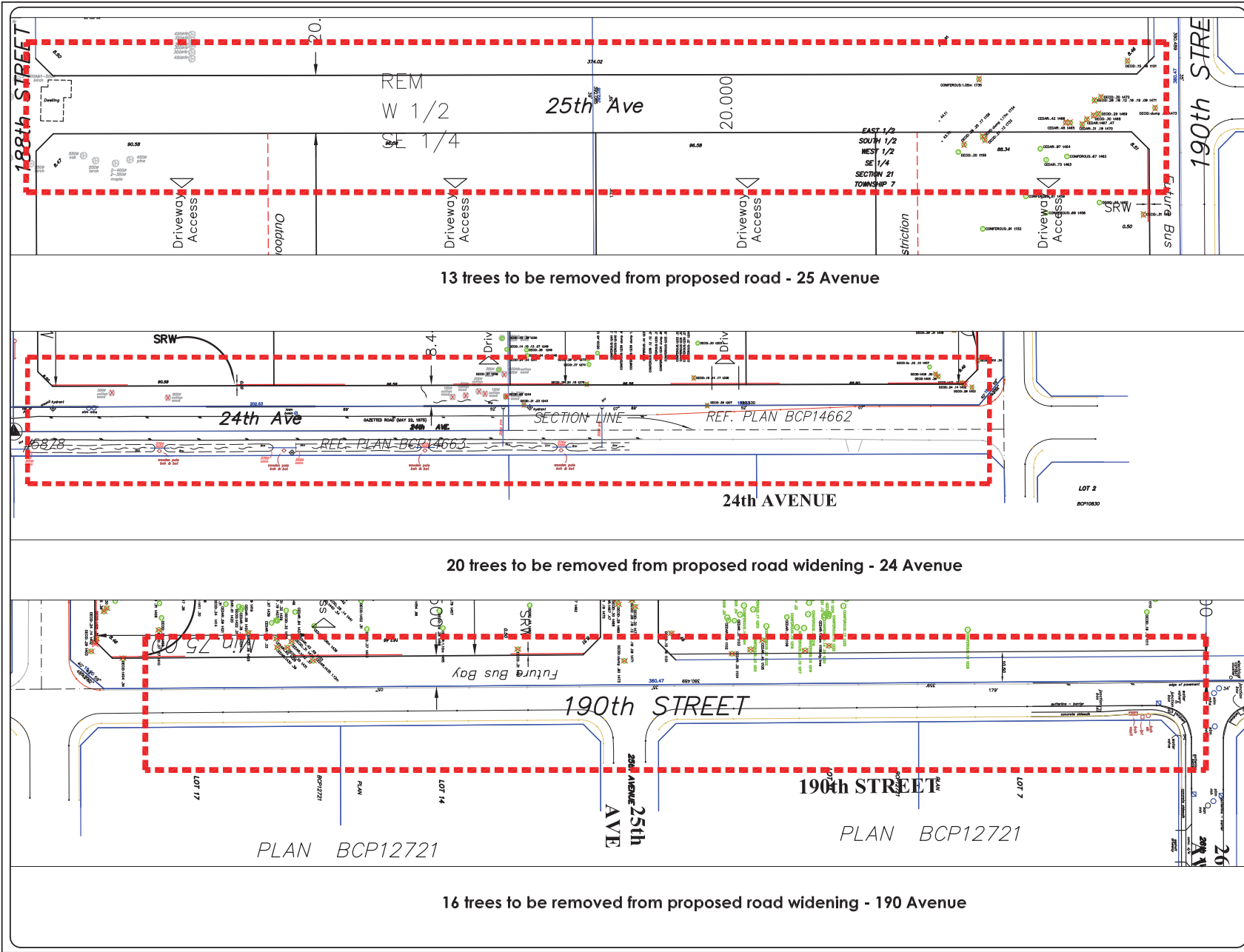
A Servicing Agreement is required prior to Rezone/Subdivision.


**GENERAL DEVELOPMENT PERMIT**

There are no engineering requirements relative to issuance of the General Development Permit.

  
Rémi Dubé, P.Eng.  
Development Services Manager

KH



 <p><b>Pacific Land Group Inc.</b> Land Use, Development &amp; Environmental Strategists</p> <p>Suite 101 - 7485 130 Street Surrey, British Columbia Canada V3W 1H8 Tel: 604-501-1624 Fax: 604-501-1625 www.pacificlandgroup.ca info@pacificlandgroup.ca</p>	
PROJECT:	
<b>188 St. &amp; 25 Ave. , Surrey</b>	
DRAWING TITLE:	
<b>Tree Removal Plan</b>	
PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES	
CLIENT:	
<b>0661903 BC Ltd.</b>	
SCALE:	
<b>NTS</b>	
DATE:	
<b>June 14, 12</b>	
PROJECT No:	
<b>10-852</b>	
DRAWING No:	
<b>00</b>	
DESIGNED BY:	CHECKED BY:
<b>EW</b>	<b>OV</b>

# CAMPBELL HEIGHTS SOUTH INDUSTRIAL SUBDIVISION BLOCK A DESIGN GUIDELINES



Date: June 13, 2012

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## 1.0 APPLICATION AND INTENT

### 1.1 Intent

- The intent of these guidelines is to provide overall direction, guidance and context to the planning and design of Block A, Campbell Heights South Industrial Subdivision in order to ensure the compatibility of the overall urban design for the future expansion of the existing food distribution facility.

### 1.2 Application

- These guidelines are to be used in conjunction with:
  - The development policies and design guidelines for the Campbell Heights industrial area contained within the Campbell Heights Local Area Plan; and
  - The Development Permit Area Guidelines contained in the Surrey Official Community Plan.



Site Context

## 2.0 BACKGROUND

The Campbell Heights South Industrial Subdivision is located in the South-East area of Surrey, BC. It is located within the Greater Vancouver Regional District, and is part of the larger Campbell Heights Industrial area.

Comprised of approximately 37.8 acres (15.3 Ha) of land, it is bounded generally by 24 Avenue to the south, 188 Street to the west, 190 Street to the east. The objective of the City with the Campbell Heights Industrial Plan Area is to create an internationally recognized industrial business park that is competitively positioned and marketed to be a catalyst for significant business investment and job creation in the City of Surrey.



Regional Context

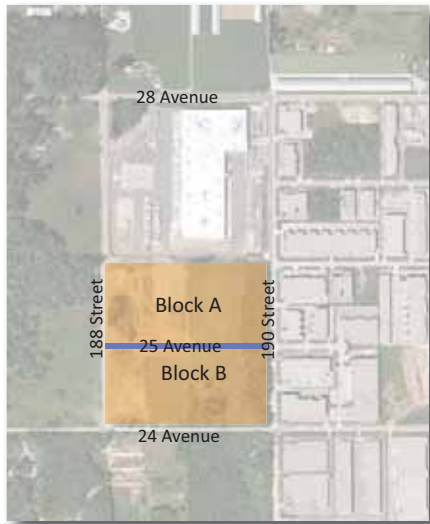


Local Area Context

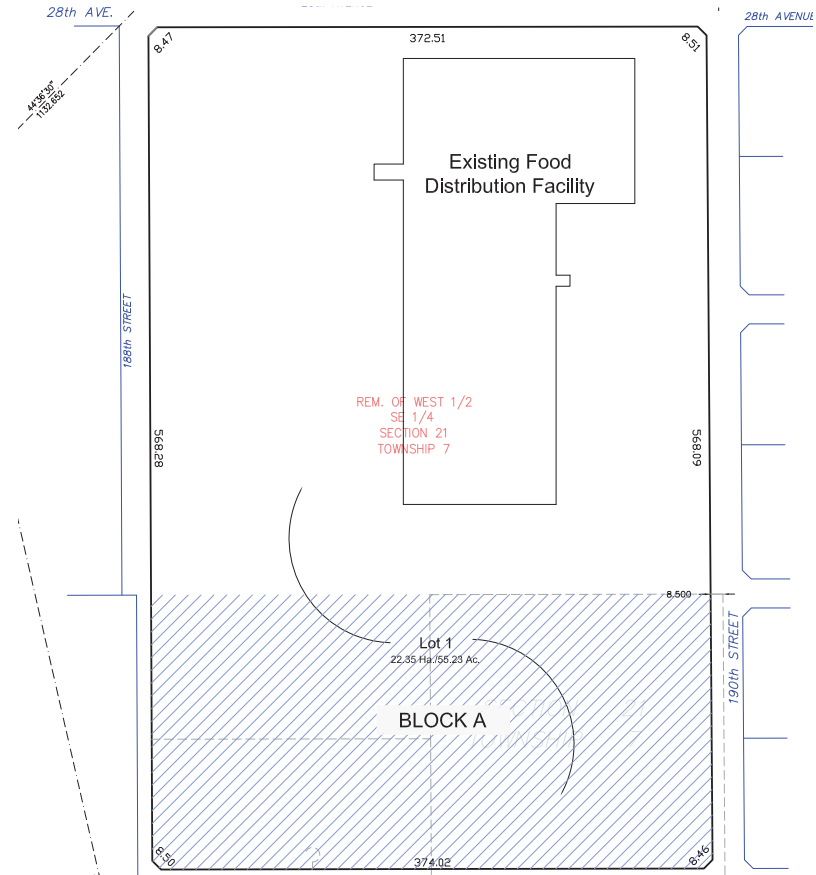
## 2.1 Block A

Campbell Heights South Industrial Subdivision is divided into Block A (north of 25 Avenue), and Block B (south of 25 Avenue).

Block A is comprised of approximately 19 Acres (7.7 Ha.) of land, it is bounded by 25 Avenue to the south, 188 Street to the west and 190 Street to the east. Block A is being consolidated with an existing food distribution facility located to the north of Block A, Campbell Heights Industrial Subdivision.



Site Context

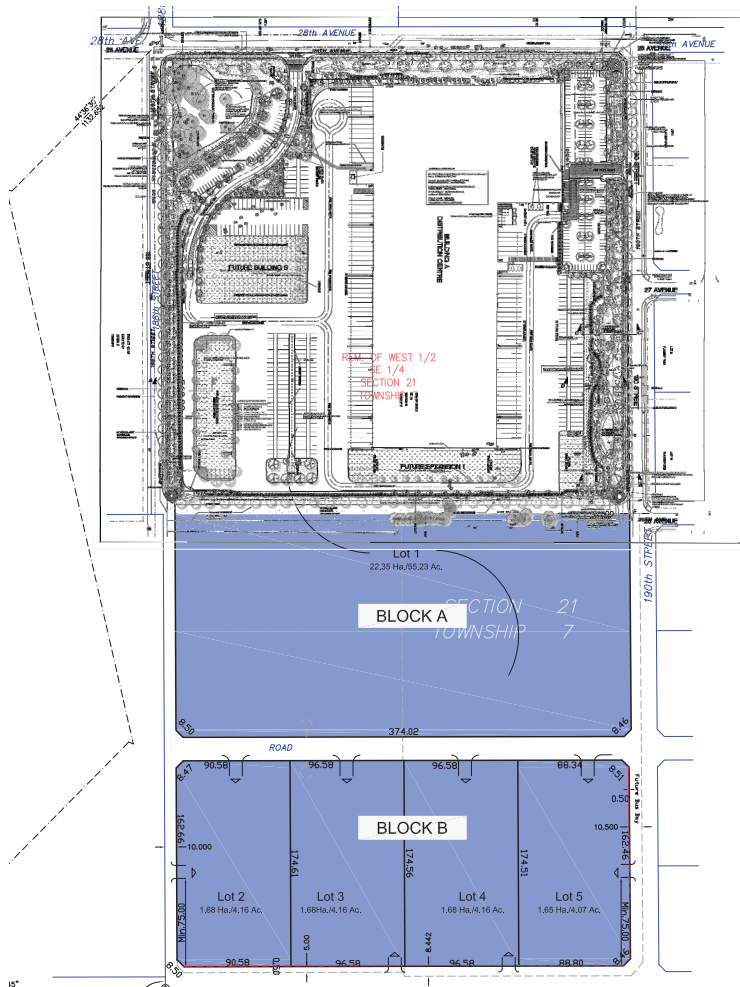


Lot Consolidation Plan

### 3.0 VISION

#### 3.1 Development Concept

- The overall development concept for Block A recognizes the existing food distribution facility to the north and is intended to create a high quality, sustainable business park environment.



Conceptual Subdivision Plan

### 3.2 Design Objectives

The design objectives for the Block A, Campbell Heights South Industrial Subdivision are to:

- Respect the significance of the architecture and landscape design of the existing food distribution facility and continue an appropriate building form and landscape setting.
- Accommodate a wide range of land uses within the context of the Campbell Heights Land Use Plan.
- Encourage a pedestrian-friendly environment and connect with existing boulevard pathway.
- Respond to adjacent context features, e.g. existing treed area at the northwest and east area.



Existing Food Distribution Facility

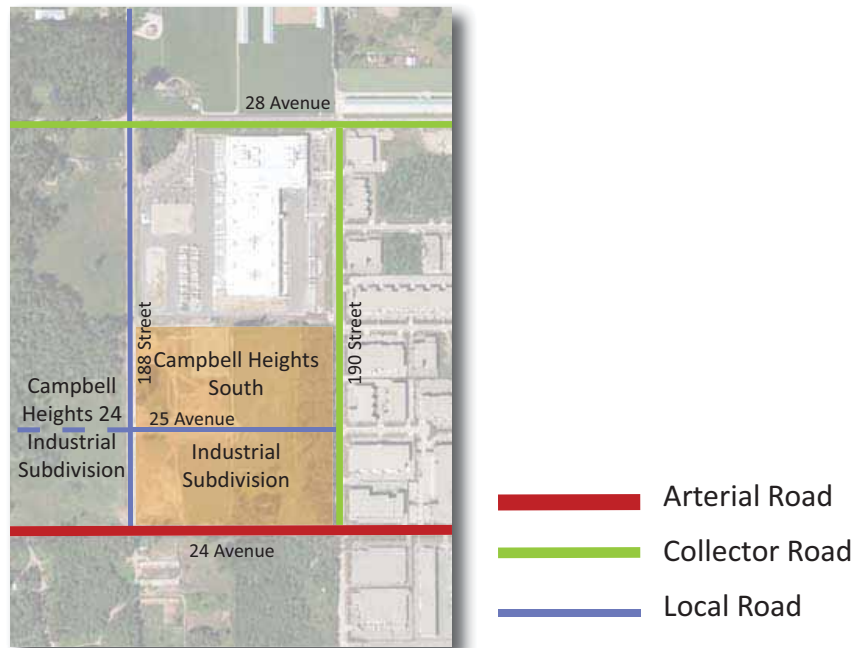
## 4.0 TRANSPORTATION

### 4.1 Campbell Heights Road Network

The Campbell Heights area is served by a number of arterial roads, including 40 Avenue, 32 Avenue, 24 Avenue and 16 Avenue for east-west traffic, and 192 Street and 184 Street for north-south movement.

A multi-use trail is proposed in the southern part of Campbell Heights. The walking and cycling pathways are proposed to be incorporated in the landscaping strips to be provided along 28 Avenue, 32 Avenue, 192 Street, 196 Street, and the section of 188 Street between 28 Avenue and 32 Avenue.

The proposed Campbell Heights South Industrial Subdivision will provide pedestrian walkways along 188 Street, 190 Street and 24 Avenue and link to future transit bus stop.



### 4.2 Street Types

- Roads shall be designed and built in accordance with City of Surrey Engineering Department standards and requirements.
- 190 Street is designated as a collector road with a 24 metre dedication width.
- 180 Street and 25 Avenue are designated as Local roads with a 20 metre dedication width.



## 5.0 SITE DESIGN

This section is intended to assist developers in the planning and design of Block A within the Campbell Heights South Industrial Subdivision.

It will provide guidance towards creating an aesthetically pleasing and functional relationship between physical site elements such as buildings, parking, loading areas, landscaping, and open spaces.

Overall, the design of new development shall be reflective of the characteristics of the existing food distribution facility while enhancing the area through quality architecture, landscaping and site layout.

### 5.1 Site Layout

- A greater architectural emphasis should apply to building articulation, facade elements and building entry which address the fronting street ( 190 Street).
- Buildings shall be oriented towards the street with the primary public functions located at the front of the building.
- Cooperation and coordination is encouraged between sites in terms of layout and design to ensure a harmonious and compatible interface, e.g. consider setbacks, massing, landscape response to adjacent site.
- Main building entries are to be clearly identifiable from public roads and on-site car parking areas.
- Outdoor amenities are encouraged such as small plazas with seating where appropriate, and pedestrian paths in order to enhance the environment for workers by providing areas to eat lunch, take breaks, go for a walk, etc.

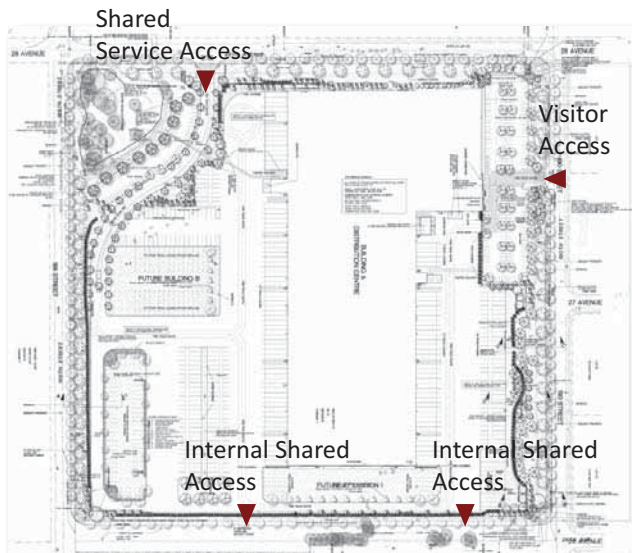
- On corner sites locate building at the corner.
- Outdoor Storage and loading areas should not be readily visible to public view. Screen large areas of parking and loading from view at public streets, e.g. with planting, berms, or buildings,etc.



Site Context

## 5.2 Site Vehicle Access

- All site access points shall conform to City of Surrey Engineering standards, and be located to provide the most efficient and functional flow of traffic while mitigating potential conflicts with adjacent streetscapes, intersections, and site features.
- Site access must not be located within 3.5 metres of the side property line, except in a shared access arrangement.
- Site access should be integrated with existing site circulation of food distribution facility.
- Where high volume heavy truck access is required, provisions may be made for a shared service entry point, provided it is clearly identified as such and is separated from visitor / on site parking.
- The pedestrian path system shall consider weather protection at the building face, and links or loops to encourage walking, if possible.



Existing Food Distribution Facility Site Plan

## 5.3 On-Site Circulation

- Parking lots and driveways shall be designed so as to minimize conflicts between vehicles and pedestrians.
- All truck turning movements must be accommodated on site.
- Walkways shall be provided for pedestrian movement to and from building entrances, connecting to parking areas and public sidewalks.

## 5.4 Parking Requirements

- Parking should conform to the City of Surrey Off-Street Parking and Loading/Unloading By-law.
- Parking spaces at the end of the row shall be protected from turning movements of other vehicles by a curbed landscaped area with a minimum of 1.5 metres width.
- Parking for persons with disabilities shall be located near building entrances. Provide curb ramps outside of vehicle drive aisles and avoid creating obstacles along sidewalks with curb ramps.
- At grade bicycle storage should be provided close to building entrances in areas with good lighting and visibility from the office area of the building.
- Permeable paving should be used in suitable areas and integrated into an onsite storm water management plan.



## 5.5 Off Street Loading

- Loading in the front yard setback and flanking side yard setbacks on arterial roads is not permitted. Loading areas are permitted in the rear or side yards of buildings and flanking side yards on collector and local roads only.
- Active loading areas must be separated from vehicle parking.
- Loading areas shall be screened to a height of at least 2.5 metres (8 feet) by buildings, a landscape screen, a solid decorative fence, or a combination thereof (see Section 7.0 – Landscaping).
- Loading Areas on flanking side streets should be recessed into the building.



## 5.6 Outside Storage, Staging, and Display Areas

- Outdoor storage or staging areas shall not be located in any yard facing a street. Where permitted, outdoor storage may be located in the rear or interior side yard, subject to appropriate screening by a building, landscaping or fence. Site specific designs will be considered in the event of varying lot configurations.
- Screening for storage shall be detailed to integrate with building and/or landscape design.
- Such areas should not encroach on required minimum front / side setbacks and should not exceed a total area greater than 1.5 times the principal building and up to a maximum of 40% lot coverage.
- Storage or staging of supplies, materials, products, and/or vehicles shall be adequately screened.
- Outdoor displays shall be limited to examples of equipment, products, or other items directly related to the business or industry located on the site.
- Outside displays, if permitted, shall be located so as not to detract from the character of the building. All outside display areas shall be adequately screened and landscaped.
- Garbage and recycling bins shall not be located within the front yard setback and flanking yard setback on arterial roads or visible from public streets.
- Garbage and recycling bins shall be screened to a height of at least 2.5 metres (8 feet) by buildings, a landscaping screen, solid decorative fence, or a combination thereof. Where garbage enclosures may be viewed from above they shall include screening at the top, e.g. provide an arbour element.

## 6.0 ARCHITECTURAL DESIGN

This section is intended to guide owners and their consultants in the design of buildings to ensure that building design in terms of scale, architectural character, rooflines and building mass is compatible with the existing food distribution facility and other buildings on neighbouring sites.

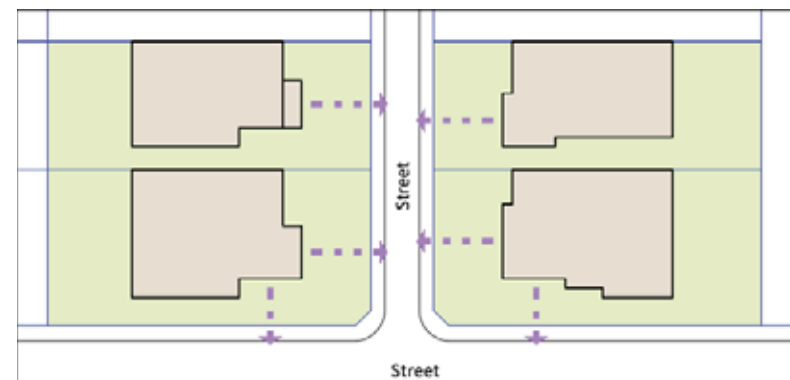


Existing Food Distribution Facility

### 6.1 Form and Articulation

- The desired built form for the Block A, Campbell Heights South Industrial Subdivision shall be in concert with existing industrial development to the east and north, i.e. of comparable quality and compatible.
- Building facades to 190 Street should be given special attention by:
  - Articulating the facade alignment and height;
  - Varying the materials and colours;
  - The use of sun shading devices;
  - Appropriate sized roof overhangs;
  - Expressing the interior function;
  - Cantilevered or overhanging elements;
  - Breaking up the facade with windows or the use of structural features.

- Building design should be appropriate to the use intended and responsive to site opportunities and conditions, e.g. respond to sun orientation, view, topography, etc
- Office components at the front face of buildings should be visually distinguished.
- Facades facing the street in particular must be articulated to establish scale and identity.
- Developments should avoid the use of large, undifferentiated wall areas; therefore, textures, patterns, colours, secondary materials and building form variations must be incorporated into expansive building elevations.
- Glazing is encouraged on all street facades.
- Elements to which the public relate, such as the main entries, should be located and designed so as to be clearly identified from the public entry drive.
- Stairs and vertical circulation elements should be expressed and stairs should have maximum glazed area for natural light, orientation, and security.



Typical Building Orientation and Articulation



## 6.2 Exterior Material, Massing and Detailing

- The exterior of buildings shall be coordinated in design on all elevations with regard to colours, materials, architectural form and detailing to achieve design harmony.

## 6.3 Architectural Lighting

- Entrances to buildings should be illuminated to enhance their impact.
- Where building facades comprise significant area of opaque materials visible to public roads and paths, decorative floodlighting is encouraged to accent recessed or articulated surfaces.
- Where building mounted lighting is proposed on the front facade, it must be integrated with the architectural expression of the building , i.e. high quality, full cut off fixtures are required and shall be shown on the elevations.

## 6.4 Windows and Entrances

- Façade articulation such as recessed window and door areas are encouraged to create depth and variation.
- Window sizes should respond to interior functions (i.e. the expression of showrooms with large windows).
- Residential style windows are not permitted.
- A main public entrance must be easily identifiable from the street.
- Employee and service entrances must be clearly marked by architectural as well as graphic means, e.g. provide canopy and detail to integrate with building design.

## 6.5 Roofscapes

- Roof top equipment must be placed to minimize the view from the streets and public access routes.
- Roof vents and stacks must be grouped if possible.
- Utilize living green roofs where possible.
- Encourage roof designs that promote sustainability and outdoor use if possible.

## 7.0 LANDSCAPING

This section is intended to assist owners and their consultants in the design and installation of landscape works that will enhance the character of Campbell Heights South Industrial Subdivision. The general landscape intent is to create a coherent landscape which responds to and reinforces the character of adjacent streetscapes and open spaces.

### 7.1 General

- Retain existing significant trees on lot where possible. At the final layout and design stage, consideration should be given to the tree preservation area identified by Surrey's Ecosystem Management Study.
- Selection of plant materials should be compatible with existing planting to the north in terms of their form, texture and shape. The use of native species that enhance environmental qualities and provide wildlife habitat is encouraged.
- Landscaping adjacent to places where people move should have a clear zone from 1 metre above the ground to 2.5 metre in order to promote visibility.
- Deciduous and coniferous planting should be alternated for variety and to ensure that all areas have a significant amount of evergreen plant material.
- Site elements such as outdoor lighting, signage, garbage disposal and fencing should be included on the landscaping plans since they are integral elements of the landscape.
- Locate pad mounted transformers and gas metres out of the front yard setback (where possible) and screen with planting or landscape structures.

- All landscape and plant materials shall meet B.C. Society of Landscape Architect/B.C. Nursery Trades Association Standards.
- All landscape work shall be completed within one year of the start of construction and include a one year material guarantee.

### 7.2 Front Yard Landscaping

- A continuous landscape strip of not less than 6.0 metres (20 feet) in width shall be provided within the lot along the developed side of properties fronting 190 Street. Landscaping should retain, where possible, site features and functions.
- Areas not surfaced with driveway or walkway paving shall be landscaped.
- Highlight trees, highlight shrubs, and perennials/annuals shall be installed adjacent to signage, entry plazas, drive aisle entries, and pedestrian accesses from the sidewalk.

### 7.3 Side/Rear Yard

- A continuous landscape strip of not less than 1.5 metres (5 feet) in width shall be provided along all side lot lines measured from the front property line to 3.0 metres (10 feet) back from the front face of the closest principle building fronting the street.



## 7.5 Parking Area Landscaping

- Different colour or texture material shall be used to define primary pedestrian access way on site.
- Pedestrian access ways and vehicles access ways are to be separated and clearly distinguishable.
- Provide landscaping within and at the periphery of surface parking lots in order to visually break up and partially screen parking from public streets and neighbouring properties. Landscaping should also be used to define parking clusters, highlight pedestrian routes, increase human comfort, provide visual relief, and interrupt paved surfaces to increase natural drainage.
- In addition to the landscaping and trees required at the periphery of surface parking areas, landscaping and shade trees (6 centimetres [2.5 inches] caliper preferred) should be provided within parking areas. The following should also be considered:
  - Provide shade trees and landscaping at the ends of each parking rank (i.e. a group of parking spaces separated by driving aisles) within a landscaping strip located along the side of parking spaces. At least one shade tree at the ends of a single row of parking spaces and two shade trees at the ends of two adjoining rows (front to front) of parking spaces.
  - A maximum distance of approximately 15 metres or 6 parking stalls should be maintained between trees within a fronting street parking lot.
  - Each landscaping strip should be curbed and at least 1.5 metres (5 feet) in width. It should contain a combination of shrubs and ground covering plants in addition to shade trees.
- Reduce the amount of asphalt paving in large fronting street parking areas by introducing decorative paving such as sawcut and tinted concrete or unit pavers. Decorative paving shall be used at all vehicle entries from public streets, pedestrian crossings and disabled parking adjacent to the building entry to define pedestrian area.



## 7.6 Screening and Fencing

- Loading areas, outdoor storage, service areas, garbage containers, and utility boxes shall be integrated into the landscaping and screened from view.
- Avoid using fences along property lines that abut streets to screen the development. When a fence is unavoidable, a transparent fence (e.g. full lattice, wrought iron fence etc.) should be used. Transparent fences combined with landscaping (such as hedge or shrubs) can be provided at the property line.
- Fencing should only be installed where required for specific screening, security and safety reasons.



## 7.7 Site Lighting

- All site lighting must be designed to minimize glare to adjacent properties or streets. Full cut-off fixtures are required.
- Sidewalk lighting should be mounted as to direct light onto the walking surfaces. Bollard lighting is recommended for pedestrian areas.
- For consistency between developments, the type of street lamps on public streets, their height, intensity, and spacing, etc., will be co-coordinated by the Engineering Department through the servicing agreement process.
- Public spaces, entrances, outdoor amenities, and pedestrian routes should be well lit.
- In landscaped open spaces, particular attention should be given to relationship between lighting and planting.
- Where appropriate, consider installing outdoor lighting activated by photocells and/or timers.
- Design, location, and distribution of lighting to ensure even illumination where needed.



## 8.0 SIGNAGE

This section is intended to assist owners and their consultants in accommodating development signage requirements within an overall signage system that will both contribute to and reinforce the character and image of the Business Park.

- All signage shall meet the requirements of the City of Surrey.
- Integrate signs into the building design and design signs to present a unified appearance.
- Avoid backlit acrylic or plastic “box” type signs unless they are integrated into the overall building design. Avoid locating illuminated signs next to residential sites.
- The signage system for any development shall integrate the various types of signs into a single aesthetic concept.
- Animated electronic signs are not permitted.
- Building facade signs shall be oriented to a single fronting street. Double-fronting developments are anomalies and signage may be oriented accordingly subject to the requirements of the Surrey Sign By-law.
- The area of a building facade sign shall reflect the scale and proportion of the building subject to the requirements of the Surrey Sign By-law.
- Free standing signs should be integrated into the site landscaping and designed to complement the architecture of the buildings on site.
- Both single and double pole freestanding pylon signs are not permitted.

- The maximum height of any free-standing sign is 2.4 metres (8 feet) above grade. The grade at the base of the sign should not exceed the average adjacent grade by more than 0.6 metres (2 feet).



Proportional building façade sign



Free standing sign integrated into landscaping



## 9.0 ENVIRONMENT/SUSTAINABILITY

A primary goal in the development of the Campbell Heights South Industrial Subdivision is to be a leader in the implementation of sustainable design measures.

### 9.1 Sustainable Buildings and Design

- New development should strive to achieve LEED (Leadership in Energy and Environmental Design) Silver or similar standards by incorporating sustainable site design materials and resources, energy and water efficiency, and indoor environmental quality.
- Utilize materials which have been manufactured from renewable or recycled materials for building construction or landscape design (e.g. structural components manufactured from wood chips or plywood waste, paving blocks made from recycled or discarded tires, recycled asphalt, etc.)

### 9.2 Energy and Water Efficiency

- Buildings should be designed to reduce energy consumption by incorporating passive design features such as solar access, shading, maximizing daylight in interior spaces, and providing operable windows. For example:
  - Maximize shading devices at south and west elevations to minimize penetration of the interior by the summer sun;
  - maximize the amount of glazing and windows on the exterior walls;
  - Use passive ventilation features such as operable windows, stack effect, cross ventilation, etc.
  - incorporate skylights, interior courtyards, or provide terracing that allows for daylight penetration into the interior, etc.

- Explore opportunities for the use of low-energy appliances and fixtures such as such as LED lighting, and low-flow plumbing.
- incorporate alternative and renewable energy production systems geothermal heat pumps, solar heating, wind turbines, or district heating in large developments, etc.) at the outset of the design stage to reduce dependence on traditional energy sources for heating, lighting and cooling purposes. Consider integrating the proposed new energy source into the overall design (e.g., a wind turbine as an architectural or visual art feature).



### 9.3 Vegetation and Landscaping

- Maximize the quantity of native species, and plant trees that provide shade.
- Drought resistant landscaping should be used where possible to minimize the need for irrigation.

### 9.4 Stormwater Management

- Reduce stormwater run-off and maximize pervious surfaces through the use of features such as bio-swales and rain gardens. The onsite stormwater management plan shall be developed as a comprehensive plan and integrated with the landscape design.
- Use permeable materials for outdoor surfaces such as parking areas (subject to consideration of the water table in the area, and approval by the Engineering Department.)
- Promote living green roofs and green walls where appropriate.
- Drainage from developed portions of the Campbell Heights South Business Park shall not flow into the environmentally sensitive conservation area.



### 9.5 Alternative Transportation Options

- Provide incentives for alternative transportation methods such as carpool, cycling, by incorporating bike racks (covered where possible) and on-site shower facilities into building and site design.
- Developers to provide walkways to public sidewalks especially in locations near future transit stop(s).



## 10.0 CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN

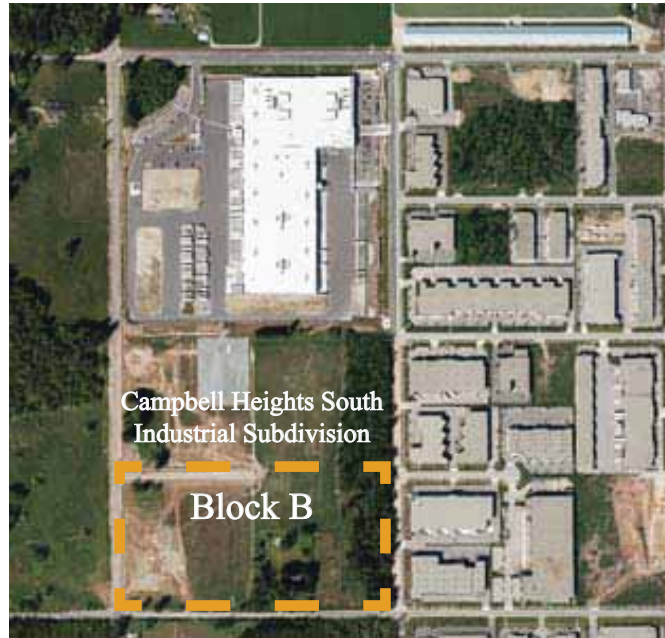
Design of the built environment has a significant impact on crime, nuisance behaviour and citizens' sense of well-being. Implementing Crime Prevention Through Environmental Design (CPTED) principles is a proactive approach to addressing crime-related issues at the design stage.

- To address CPTED concerns, consideration at the design stage should occur towards building massing, location of windows, bollards, window grilles and landscaping etc. Some general recommendations from the Surrey OCP are:
  - Avoid “no-man’s land” at rear of buildings, particularly for external exit corridors. In these cases, consider use of zero lot line solutions and internal corridors which are often more desirable from a CPTED perspective.
  - Minimize opportunity for climbing onto the roof in industrial and commercial/industrial warehouse buildings.
  - On-grade parking areas not readily visible from the street should be designed with gate(s) to restrict access after-hours.
  - Consider security cameras at main lobby entrances and parking lot.
  - Open Space areas should be designed with reference to CPTED principles, e.g., territoriality, public/private open space transition, sight lines to support formal and informal supervision, access control, durable materials designed to resist vandalism and graffiti.
  - Avoid large areas of blank walls and use planting, glazing, and articulation to discourage graffiti.





# CAMPBELL HEIGHTS SOUTH INDUSTRIAL SUBDIVISION BLOCK B DESIGN GUIDELINES



Date: June 15, 2012

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## 1.0 APPLICATION AND INTENT

### 1.1 Intent

- The intent of these guidelines is to provide overall direction, guidance and context to the planning and design of Block B, Campbell Heights South Industrial Subdivision in order to promote a sustainable, cohesive, high quality business park.

### 1.2 Application

- These guidelines will assist the design of Block B within the Campbell Heights South Industrial Subdivision to ensure the compatibility of the overall urban design concept and principles with development on adjacent lands.
- These guidelines are to be used in conjunction with:
  - The development policies and design guidelines for the Campbell Heights industrial area contained within the Campbell Heights Local Area Plan; and
  - The Development Permit Area Guidelines contained in the Surrey Official Community Plan.



Campbell Heights South Industrial Subdivision - Existing



## 2.0 BACKGROUND

The Campbell Heights South Industrial Subdivision is located in the South-East area of Surrey, BC. It is located within the Greater Vancouver Regional District, and is part of the larger Campbell Heights Industrial area.

Comprised of approximately 37.8 acres (15.3 Ha) of land, the site is bounded generally by 24 Avenue to the south, 188 Street to the west, 190 Street to the east. The objective of the City with the Campbell Heights Industrial Plan Area is to create an internationally recognized industrial business park that is competitively positioned and marketed to be a catalyst for significant business investment and job creation in the City of Surrey.



Regional Context

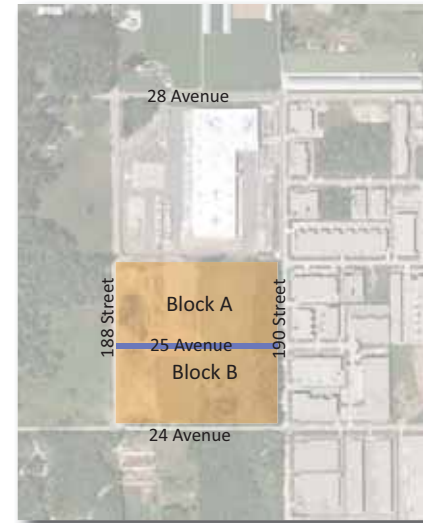


Local Area Context

## 2.1 Block B

Campbell Heights South Industrial Subdivision is divided into Block A (north of 25 Avenue), and Block B (south of 25 Avenue). Block A is consolidated with an existing food distribution facility.

Block B is comprised of approximately 17 Acres (6.9 Ha.) of land, it is bounded by 24 Avenue to the south, 188 Street to the west, 190 Street to the east and 25 Avenue to the north.



Site Context

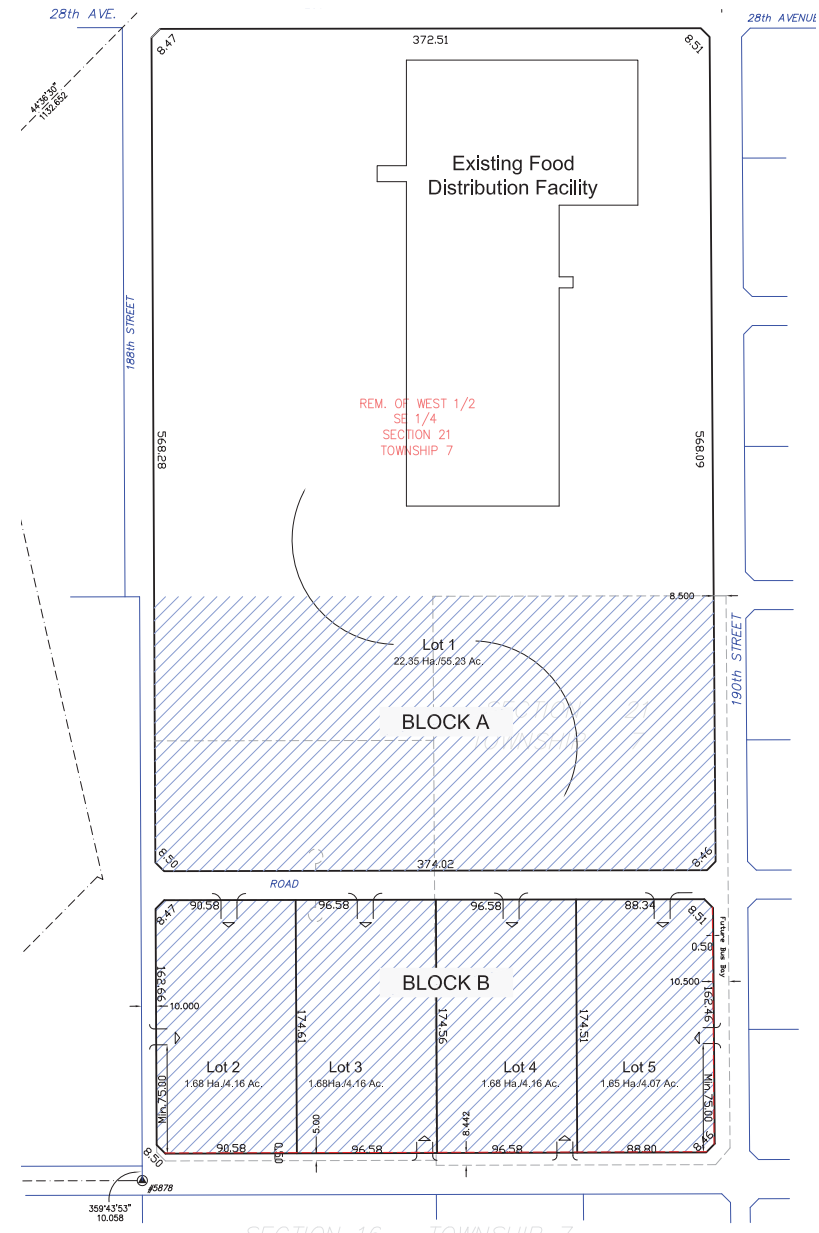


Existing Food Distribution Facility

### 3.0 VISION

#### 3.1 Development Concept

- The overall development concept for Block B Campbell Heights South Industrial Subdivision should recognize design elements of the existing buildings to the east and the distribution facility to the north. The development concept will create a high quality, sustainable, eco-industrial/ business park environment that:
  - provides functional yet modern commercial industrial uses in a landscape setting that will contribute to the overall identity of the business community;
  - supports a mix of commercial, office, warehouse and service functions for the various users;
  - utilizes technology to reduce the ecological footprint of individual sites;
  - provides for employment and business investment opportunities;
  - reflects and is compatible with the natural characteristics of its setting and adjacent land uses;
  - is aesthetically pleasing, through quality design, architecture and landscaping;
  - contributes to a balanced resident to business property tax base ratio in the City of Surrey.
- Individual site owners / users will be encouraged to develop a travel / commute proposal to reduce the use of single occupancy vehicles and encourage the use of public and alternative transportation.
- Lots may be consolidated or reconfigured by the developer in concert with the City to accommodate specific site requirements which are appropriate to the zoning and individual needs of businesses.



Conceptual Subdivision Plan

### 3.2 Design Objectives

The design objectives for the Block B, Campbell Heights South Industrial Subdivision are to:

- Promote business investment and increase the attractiveness of Campbell Heights through high quality sustainable design, and good planning principles.
- Respect the significance of the architecture and landscape design of the existing food distribution facility and establish appropriate building form and landscape setting.
- Accommodate a wide range of user types within the context of the Campbell Heights Land Use Plan.
- Maintain a high quality standard in landscape and building design.
- Integrate urban design and environmental stewardship within the development process by maintaining, preserving and enhancing the natural environment where possible.
- Encourage a pedestrian-friendly environment.
- Ensure appropriate and compatible interfacing with adjacent non-industrial land uses.
- Respond to adjacent Agricultural Land Reserve at south west corner by providing a landscaped buffer or feature at the corner in accordance with the Official Community Plan and Campbell Heights Local Area Plan.
- Promote a harmonious and cohesive character of development.

- Ensure that the integrity of the public and private domains within the park are not compromised by the development of any particular lot.





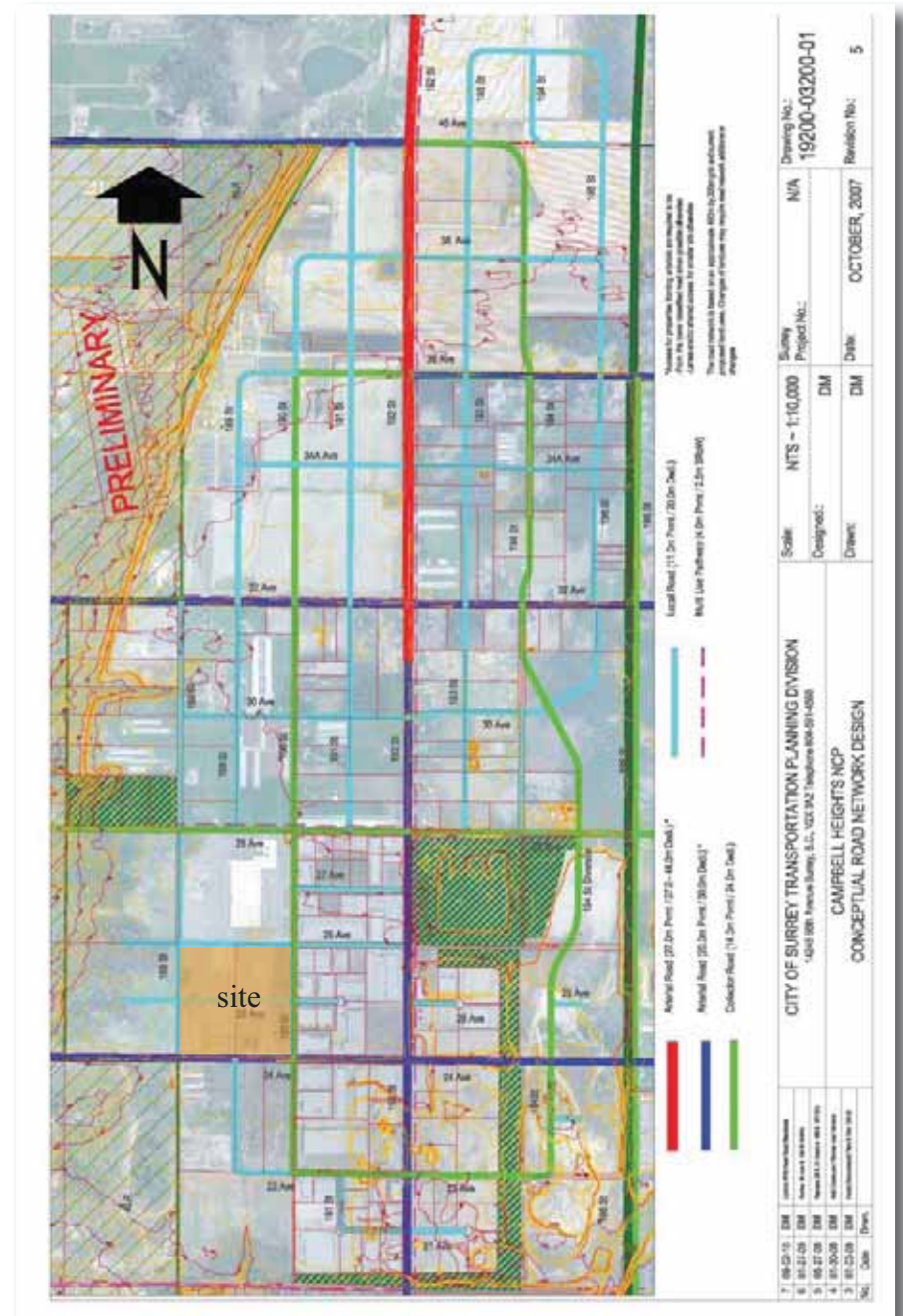
## 4.0 TRANSPORTATION

### 4.1 Campbell Heights Road Network

The Campbell Heights area is served by a number of arterial roads, including 40 Avenue, 32 Avenue, 24 Avenue and 16 Avenue for east-west traffic, and 192 Street and 184 Street for north-south movement.

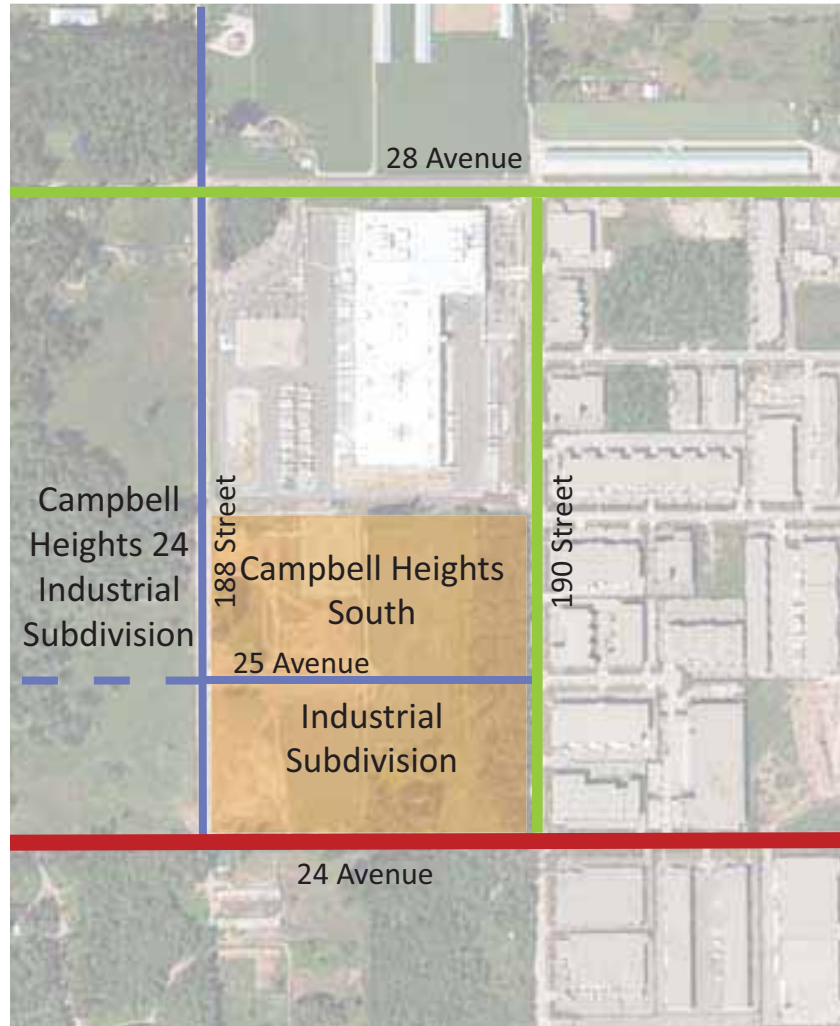
A multi-use trail is proposed in the southern part of Campbell Heights. The walking and cycling pathways are proposed to be incorporated in the landscaping strips to be provided along 28 Avenue, 32 Avenue, 192 Street, 196 Street, and the section of 188 Street between 28 Avenue and 32 Avenue.



The proposed Campbell Heights South Industrial Subdivision will provide pedestrian walkways along 188 Street, 190 Street and 24 Avenue and a link to a future transit bus stop.



Campbell Heights Conceptual Road Network

## 4.2 Street Types



-  Arterial Road
-  Collector Road
-  Local Road

- Roads shall be designed and built in accordance with City of Surrey Engineering Department standards and requirements.
- 24 Avenue is designated as an arterial road with a 37 metre dedication width.
- 190 Street is designated as a collector road with a 24 metre dedication width.
- 180 Street and 25 Avenue are designated as Local roads with a 20 metre dedication width.

## 4.3 Boulevards

- The landscape concept for local roads is a regular row of street trees at intervals within a grassed boulevard strip. Tree planting is constrained at the cul-de-sac ends due to driveway access locations.
- Street trees shall be installed at an interval of 10 metres on centre, with minor variations to suit entry driveways and site servicing.





## 5.0 SITE DESIGN

This section is intended to assist developers in the planning and design of Block B within the Campbell Heights South Industrial Subdivision.

It will provide guidance towards creating an aesthetically pleasing and functional relationship between physical site elements such as buildings, parking, loading areas, landscaping, and open spaces.

Overall, the design of new development shall be reflective of the characteristics of the surrounding development while enhancing the area through quality architecture, landscaping and site layout.

### 5.1 Site Layout

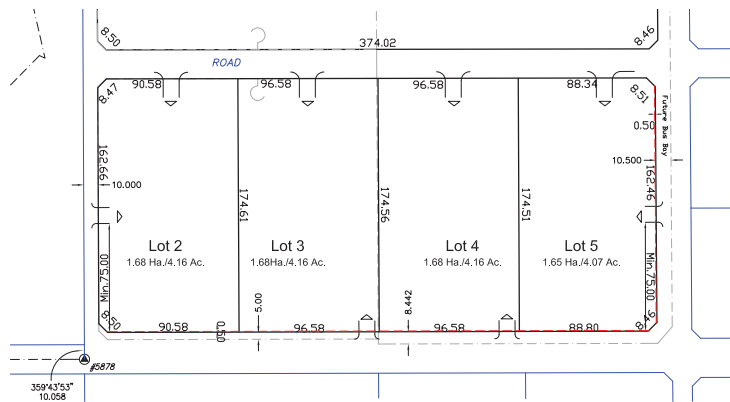
- A greater architectural emphasis should apply to building articulation, facade elements and building entry which addresses the fronting street ( 24 Avenue).
- On corner sites, the principal buildings shall be anchored at the corner and designed to be visually attractive from both abutting streets.
- Buildings shall be oriented towards the street with the primary public functions located at the front of the building.
- Cooperation and coordination is encouraged between sites in terms of layout and design to ensure a harmonious and compatible interface, e.g. consider setbacks, massing, landscape response to adjacent site.
- Main building entries are to be clearly identifiable from public roads and on-site car parking areas.
- Screen large areas of parking and loading from view at public streets, e.g. with planting, berms, or buildings, etc.

- Outdoor amenities are encouraged such as small plazas with seating where appropriate, and pedestrian paths in order to enhance the environment for workers by providing areas to eat lunch, take breaks, go for a walk, etc.
- Outdoor storage area should not be located within 80 metres from 188 Street, 190 Street and 24 Avenue, and must not be readily visible from the street.



## 5.2 Site Vehicle Access

- All site access points shall conform to City of Surrey Engineering standards, and be located to provide the most efficient and functional flow of traffic while mitigating potential conflicts with adjacent streetscapes, intersections, and site features.
- Site access must not be located within 3.5 metres of the side property line, except in a shared access arrangement.
- A single point of entry to individual lot is preferred. Where high volume heavy truck access is required, provisions may be made for a shared service entry point, provided it is clearly identified as such and is separated from visitor / on site parking.
- Lots 3 and 4 should consider access from 25 Ave. Right in and Right out access will be considered by Surrey if needed from 24 Avenue.
- Lots 2 and 5 will not take vehicle access from 24 Avenue. Access should be considered from 25 Avenue or flanking streets ( 188 Street or 190 Street).



Site Access

## 5.3 On-Site Circulation

- Parking lots and driveways shall be designed so as to minimize conflicts between vehicles and pedestrians.
- All truck turning movements must be accommodated on site.
- Different colour or texture shall be used to define primary pedestrian access from the fronting street.
- Walkways shall be provided for pedestrian movement to and from building entrances, connecting to parking areas and public sidewalks.
- The pedestrian path system shall consider weather protection at the building face, and links or loops to encourage walking.



#### 5.4 Parking Requirements

- Parking should conform to the City of Surrey Off-Street Parking and Loading/Unloading By-law.
- Parking spaces at the end of the row shall be protected from turning movements of other vehicles by a curbed landscaped area with a minimum of 1.5 metres width.
- Parking for persons with disabilities shall be located near building entrances. Provide curb ramps outside of vehicle drive aisles and avoid creating obstacles along sidewalks with curb ramps.
- At grade bicycle storage should be provided close to building entrances in areas with good lighting and visibility from the office area of the building.
- Permeable paving should be used in suitable areas and integrated into an onsite storm water management plan.



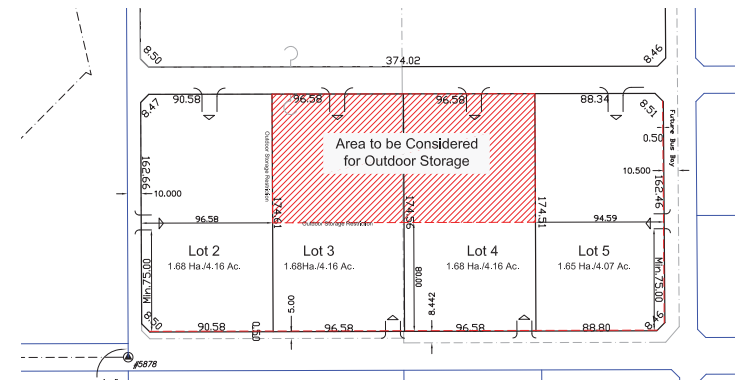
#### 5.5 Off Street Loading

- Loading areas in the front yard setback and flanking yard setbacks on arterial roads is not permitted. Loading areas are permitted in the rear or side yards of buildings and flanking side yards on collector and local roads only.
- Active loading areas must be separated from vehicle parking.
- Loading areas shall be screened to a height of at least 2.5 metres (8 feet) by buildings, a landscape screen, a solid decorative fence, or a combination thereof (see Section 7.0 – Landscaping).
- Loading Areas on flanking side streets should be recessed into the building.



## 5.6 Outdoor Storage, Staging, and Display Areas

- Outdoor storage or staging areas shall not be located in any yard facing a street. Where permitted, outdoor storage may be located in the rear or interior side yard, subject to appropriate screening by a building, landscaping or fence as specified in the Bylaw.
- Screening for storage shall be detailed to integrate with building and/or landscape design.
- Such outdoor storage or staging areas should not encroach on required minimum front yard / side yard / rear yard setbacks.
- Storage or staging of supplies, materials, products, and/or vehicles shall be adequately screened.
- Outdoor displays shall be limited to examples of equipment, products, or other items directly related to the business or industry located on the site.
- Outside displays, if permitted, shall be located so as not to detract from the character of the building.
- All outside display areas shall be adequately screened and landscaped.
- Garbage and recycling bins shall not be located within the front yard setback and flanking yard setback on arterial roads or visible from public streets.
- Garbage and recycling bins shall be screened to a height of at least 2.5 metres (8 feet) by buildings, a landscaping screen, solid decorative fence, or a combination thereof. Where garbage enclosures may be viewed from above they shall include screening at the top, e.g. provide an arbour element.



Outdoor Storage Area





## 6.0 ARCHITECTURAL DESIGN

This section is intended to guide owners and their consultants in the design of buildings to ensure that the built form of Campbell Heights is of the highest possible quality within the framework of functional requirements and cost effectiveness so as to create a positive and unique built environment.

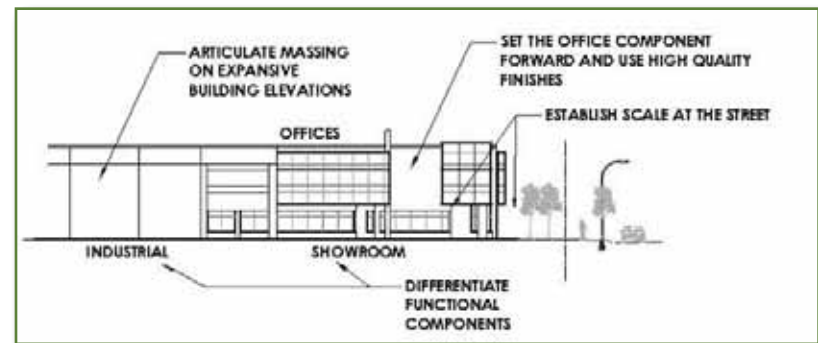


### 6.1 Architectural Design Integrity

- Building design in terms of scale, architectural character, rooflines and building mass shall be of comparable quality and compatible with existing food distribution facility and other buildings on neighbouring sites.
- Ancillary or secondary buildings shall be designed and constructed consistent with the architecture of the principal building.
- The exterior of buildings shall be coordinated in design on all elevations with regard to colours, materials, architectural form and detailing to achieve design harmony and continuity. All doors and windows should be trimmed where compatible with the architectural style of the buildings. Painted or false detailing that detracts from the integrity of structures should be avoided.
- Blank walls facing a street must be avoided. Windows and glazing to allow for a visual connection to the interior space from outside should be considered.

## 6.2 Form and Articulation

- The desired built form for the Block B, Campbell Heights South Industrial Subdivision shall be compatible with existing industrial development to the east and north. i.e. of comparable quality and compatible.
- Building facades to 24 Avenue and 190 Street should be given special attention by:
  - Articulating the facade alignment and height;
  - Varying the materials and colours;
  - The use of sun shading devices;
  - Appropriate sized roof overhangs;
  - Expressing the interior function;
  - Cantilevered or overhanging elements;
  - Breaking up the facade with windows or the use of structural features.
- Building design should be appropriate to the use intended and responsive to site opportunities and conditions, e.g. respond to sun orientation, view, topography, etc.
- Office components at the front face of buildings should be visually distinguished.
- Facades facing the street in particular must be articulated to establish scale and identity.
- Developments should avoid the use of large, undifferentiated wall areas; therefore, textures, patterns, colours, secondary materials and building form variations must be incorporated into expansive building elevations.
- Stairs and vertical circulation elements should be expressed and stairs should have maximum glazed area for natural light, orientation, and security.



Example Building Articulation



- Glazing is encouraged on all street facades.
- Elements to which the public relate, such as the main entries, should be located and designed so as to be clearly identified from the public entry drive.
- Buildings must orient towards the street with the primary functions located at the front of the building.
- On a corner site, buildings are to be oriented towards the corner and be designed to be visually attractive from both abutting streets.
- Promote green 'living walls' to break-up massing, and add visual interest to buildings.
- Mechanical equipment including electrical kiosks, gas metres etc., must be screened from the street.



### 6.3 Exterior Material

- Materials are to be of high quality with a sense of permanence; therefore, entirely pre-engineered or pre-fabricated metal buildings are not acceptable. In addition, the use of sheet and profiled metal cladding is strongly discouraged as a primary cladding material and will not be acceptable except in cases of significant architectural merit.
- All metal products must be preformed, prefinished and installed using the appropriate manufactures' accessories. Panel systems are recommended for office components.
- Other exterior materials are encouraged to be unfinished, clear coated or painted with a "natural" finish. Articulation can be achieved by reveal lines, texturing and recessing of materials.
- Standard concrete block is not acceptable as an exterior finish anywhere on the building. Where concrete block is employed, specific attention should be paid to colour, pattern, texture, and finishing. All block must be installed in compliance with good industry practice.
- The predominant exterior form construction method should be tilt up or poured in place concrete, with quality reveals, and a panel system or curtain wall style glazing for office components. Construction must be detailed to avoid extensive blank or uniform wall surfaces.
- The use of glass and high quality materials and finishes is required of buildings facing the streets. Blank walls should be avoided.
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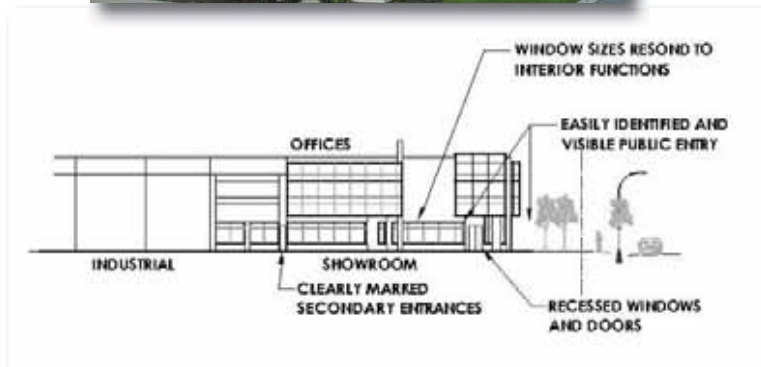
### 6.4 Architectural Lighting

- Entrances to buildings should be illuminated to enhance their impact.
- Where building facades comprise significant area of opaque materials visible to public roads and paths, decorative floodlighting is encouraged to accent recessed or articulated surfaces.
- Where building mounted lighting is proposed on the front facade, it must be integrated with the architectural expression of the building, i.e, high quality full cut off fixtures are required and shall be shown on facade.



## 6.5 Windows and Entrances

- Façade articulation such as recessed window and door areas are encouraged to create depth and variation.
- Window sizes should respond to interior functions (i.e. the expression of showrooms with large windows).
- Residential style windows are not permitted.
- A main public entrance must be easily identifiable from the street.
- Employee and service entrances must be clearly marked by architectural as well as graphic means, e.g. provide canopy and detail to integrate with building design.



Example Windows and Entrances

## 6.6 Roofscapes

- Roof top equipment must be placed to minimize the exposure to the streets and public access routes.
- Roof vents and stacks must be grouped.
- All roof top equipment must be considered as part of the architectural vocabulary.
- Utilize living green roofs where possible.
- Encourage roof designs that promote sustainability and outdoor use.



Living Green Roof - Ford Motor Company, Michigan, USA





## 7.0 LANDSCAPING

This section is intended to assist owners and their consultants in the design and installation of landscape works that will enhance the character of Campbell Heights South Industrial Subdivision. The general landscape intent for private lots is to create a coherent landscape which responds to and reinforces the character of adjacent streetscapes and open spaces.



### 7.1 General

- All existing mature healthy trees on site should be preserved and incorporated into the final layout and design of each site, where possible. In particular, the City of Surrey's Ecosystem Management System (EMS) has identified a larger mature tree stand in Block B; and where possible, the landscaping of the site should retain natural features and function.
- Landscaping adjacent to places where people move should have a clear zone from 1 metre above the ground to 2.5 metre in order to promote visibility.
- Deciduous and coniferous planting should be alternated for variety and to ensure that all areas have an appropriate amount of evergreen plant material.
- Shrubs, flowers, and ground covers are encouraged to be grouped together in clusters rather than in individual scattered locations.
- Consider the mature state of plants in terms of long term maintenance.
- Selection of plant materials should be based on their year-round interests as well as their form, texture and shape. The use of native species that enhance environmental qualities and provide wildlife habitat is encouraged.
- Site elements such as outdoor lighting, signage, garbage disposal and fencing should be included on the landscaping plans since they are integral elements of the landscape.
- Locate pad mounted transformers and gas metres out of the front yard setback (where possible) and screen with planting or

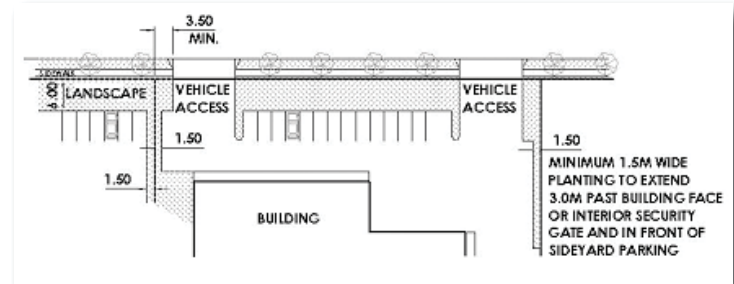
- All landscape and plant materials shall meet B.C. Society of Landscape Architect/B.C. Nursery Trades Association Standards.
- All landscape work shall be completed within one year of the start of construction.
- All landscape works shall include a one year material guarantee.

### 7.3 Front Yard Landscaping

- A continuous landscape strip of not less than 6.0 metres (20 feet) in width shall be provided within the lot along the developed side of properties fronting 190 Street and 24 Avenue. Landscaping should retain, where possible, site features and functions.
- Bioswale should be integrated in the landscape buffer along 24 Avenue.
- A continuous landscape strip of not less than 3.0 metres (10 feet) in width shall be provided within the lot along the developed side of properties fronting all other roadways.
- Areas not surfaced with driveway or walkway paving shall be landscaped.
- Highlight trees, highlight shrubs, and perennials/annuals shall be installed adjacent to signage, entry plazas, drive aisle entries, and pedestrian accesses from the sidewalk.

### 7.4 Side/Rear Yard

- A continuous landscape strip of not less than 1.5 metres (5 feet) in width shall be provided along all side lot lines measured from the front property line to 3.0 metres (10 feet) back from the front face of the closest principle building fronting the street.



Side Yard Landscape Strip



Existing Landscape Strip along 190 Street



## 7.5 Parking Area Landscaping

- Different colour or texture material shall be used to define primary pedestrian access way on site.
- Pedestrian access ways and vehicles access ways are to be separated and clearly distinguishable.
- Provide landscaping within and at the periphery of surface parking lots in order to visually break up and partially screen parking from public streets and neighbouring properties. Landscaping should also be used to define parking clusters, highlight pedestrian routes, increase human comfort, provide visual relief, and interrupt paved surfaces to increase natural drainage.
- In addition to the landscaping and trees required at the periphery of surface parking areas, landscaping and shade trees (6 centimetres [2.5 inches] caliper preferred) should be provided within parking areas. The following should also be considered:
  - Provide shade trees and landscaping at the ends of each parking rank (i.e. a group of parking spaces separated by driving aisles) within a landscaping strip located along the side of parking spaces. At least one shade tree at the ends of a single row of parking spaces and two shade trees at the ends of two adjoining rows (front to front) of parking spaces.
  - A maximum distance of approximately 15 metres or 6 parking stalls should be maintained between trees within a fronting street parking lot, where possible.
  - Each landscaping strip should be curbed and at least 1.5 metres (5 feet) in width. It should contain a combination of shrubs and ground covering plants in addition to shade trees.

- Reduce the amount of asphalt paving in large fronting street parking areas by introducing decorative paving. Decorative paving shall be used at all vehicle entries from public streets, pedestrian crossings and disabled parking adjacent to the building entry to define pedestrian area.
- Permeable paving should be used in suitable areas and integrated into an on site storm water management plan.



## 7.6 Screening and Fencing

- Loading areas, outdoor storage, service areas, garbage containers, and utility boxes shall be integrated into the landscaping and screened from view.
- Avoid using fences along property lines that abut streets to screen the development. When a fence is unavoidable, a transparent fence (e.g. full lattice, wrought iron fence etc.) should be used. Transparent fences combined with landscaping (such as hedge or shrubs) can be provided at the property line.
- Fencing should only be installed where required for specific screening, security and safety reasons.

## 7.7 Site Lighting

- All site lighting must be designed to minimize glare to adjacent properties or streets. Full cut-off fixtures are required.
- Sidewalk lighting should be mounted as to direct light onto the walking surfaces. Bollard lighting is recommended for pedestrian areas.
- Specially lit and landscaped identification signs, ponds, fountains, decorative pavers, and enhanced landscaped medians are encouraged.
- For consistency between developments, the type of street lamps on public streets, their height, intensity, and spacing, etc., will be co-coordinated by the Engineering Department through the servicing agreement process.
- Public spaces, entrances, outdoor amenities, and pedestrian routes should be well lit.
- In landscaped open spaces, particular attention should be given to relationship between lighting and planting.
- Where appropriate, consider installing outdoor lighting activated by photocells and/or timers.
- Design, location, and distribution of lighting to ensure even illumination where needed.
- Consider light intrusion to residences and glare to motorists/ pedestrians when providing appropriate light levels. This may concentrate brighter levels in areas such as entries and paths, and create a transition to lower light levels away from areas where light is not needed.



## 8.0 SIGNAGE

This section is intended to assist owners and their consultants in accommodating development signage requirements within an overall signage system that will both contribute to and reinforce the character and image of the Business Park.

- All signage shall meet the requirements of the City of Surrey.
- Integrate signs into the building design and design signs to present a unified appearance.
- Avoid backlit acrylic or plastic “box” type signs unless they are integrated into the overall building design. Avoid locating illuminated signs next to residential sites.
- The signage system for any development shall integrate the various types of signs into a single aesthetic concept.
- Animated electronic signs are not permitted.
- Building facade signs shall be oriented to a single fronting street. Double-fronting developments are anomalies and signage may be oriented accordingly subject to the requirements of the Surrey Sign By-law.
- The area of a building facade sign shall reflect the scale and proportion of the building subject to the requirements of the Surrey Sign By-law.
- Free standing signs should be integrated into the site landscaping and designed to complement the architecture of the buildings on site.
- Both single and double pole freestanding pylon signs are not permitted.

- The maximum height of any free-standing sign is 2.4 metres (8 feet) above grade. The grade at the base of the sign should not exceed the average adjacent grade by more than 0.6 metres (2 feet).



Proportional building façade sign



Free standing sign integrated into landscaping

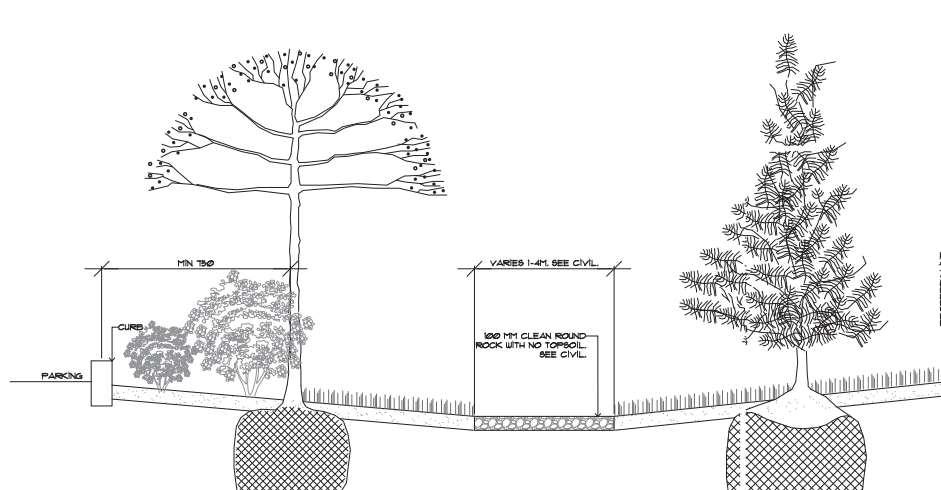
## 9.0 ENVIRONMENT/SUSTAINABILITY

A primary goal in the development of the Campbell Heights South Industrial Subdivision is to be a leader in the implementation of sustainable design measures.

### 9.1 Natural Drainage - Bioswale

Proposed Campbell Heights South Industrial Subdivision is to be constructed on an unconfined aquifer with significant deposits. To protect downstream fisheries watercourses, capture runoff from paved areas and customer parking and offset impact of proposed new developments, a six metre wide planted area with a bioswale is proposed along 24 Avenue.

Bioswales are typically moderate gradient devices (approximately one to five percent in channel slope) and may be covered by grasses, semi-aquatic plants or river rocks.



Typical Bioswale Cross-Section

### 9.2 Sustainable Buildings and Design

- New development should strive to achieve LEED (Leadership in Energy and Environmental Design) Silver or similar standards by incorporating sustainable design, materials and resources, water and energy efficiency, and indoor environmental quality.
- Utilize materials which have been manufactured from renewable or recycled materials during building construction or landscape design (eg. structural components manufactured from wood chips or plywood waste, paving blocks made from recycled or discarded tires, recycled asphalt, etc.
- Incorporate green-screen / living-screen walls that utilize landscaping and vines rather than concrete materials, in conjunction with landscaping features such as berming, as screening.





### 9.3 Energy and Water Efficiency

- Buildings should be designed to reduce energy consumption by incorporating passive design features such as solar access, shading, maximizing daylight in interior spaces, and providing operable windows. For example:
  - Maximize shading devices at south and west elevations to minimize penetration of the interior by the summer sun;
  - Maximize the amount of glazing and windows on the exterior walls;
  - Incorporate skylights, interior courtyards, or provide terracing that allows for daylight penetration into the interior, etc;
  - Use passive ventilation features such as operable windows, stack effect, cross ventilation etc.
- Explore opportunities for the use of low-energy appliances and fixtures such as such as LED lighting, and low-flow plumbing.
- Incorporate alternative and renewable energy production systems (geothermal heat pumps, solar heating, wind turbines, or district heating in large developments, etc.) at the out set of the design tage to reduce dependence on traditional energy sources for heating, lighting and cooling purposes.
- Consider integrating the proposed new energy source into the overall design (e.g., a wind turbine as an architectural or visual art feature).



### 9.4 Vegetation and Landscaping

- Maximize the quantity of native species, and plant trees that provide shade.
- Incorporate green-screen/living-screen walls, that utilize landscaping and vines rather than concrete materials, in conjunction with landscaping features such as berming, as screening.
- Drought resistant landscaping should be used where possible to minimize the need for irrigation.
- A native buffer of at least 3m shall be provided along the rear of the lots adjacent to the environmental conservation area.





## 9.5 Stormwater Management

- Reduce stormwater run-off and maximize pervious surfaces through the use of features such as bio-swales and rain gardens. The onsite stormwater management plan shall be developed as a comprehensive plan and integrated with the landscape design.
- Use permeable materials for outdoor surfaces such as parking areas (subject to consideration of the water table in the area, and approval by the Engineering Department.)
- Promote living green roofs and green walls where appropriate.
- Drainage from developed portions of the Campbell Heights South Business Park shall not flow into the environmentally sensitive conservation area.



## 9.6 Alternative Transportation Options

- Provide incentives for alternative transportation methods such as carpool, cycling, by incorporating bike racks (covered where possible) and on-site shower facilities into building and site design.
- Developers to provide walkways to public sidewalks especially in locations near future transit stop(s).



## 10.0 CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN

Design of the built environment has a significant impact on crime, nuisance behaviour and citizens' sense of well-being. Implementing Crime Prevention Through Environmental Design (CPTED) principles is a proactive approach to addressing crime-related issues at the design stage.

- To address CPTED concerns, consideration at the design stage should occur towards building massing, location of windows, bollards, window grilles and landscaping etc. Some general recommendations from the Surrey OCP are:
  - Avoid “no-man’s land” at rear of buildings, particularly for external exit corridors. In these cases, consider use of zero lot line solutions and internal corridors which are often more desirable from a CPTED perspective.
  - Minimize opportunity for climbing onto the roof in industrial and commercial/industrial warehouse buildings.
  - On-grade parking areas not readily visible from the street should be designed with gate(s) to restrict access after-hours.
  - Consider security cameras at main lobby entrances and parking lot.
  - Open Space areas should be designed with reference to CPTED principles, e.g., territoriality, public/private open space transition, sight lines to support formal and informal supervision, access control, durable materials designed to resist vandalism and graffiti.
  - Avoid large areas of blank walls and use planting, glazing, and articulation to discourage graffiti.



CITY OF SURREYBY-LAW NO. 17038

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended  
 .....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: BUSINESS PARK 1 ZONE (IB-1)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

---

Parcel Identifier: 027-933-644

Lot 1 Section 21 Township 7 New Westminster District BCP41000

2755 - 190 Street

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to permit development of *industrial uses* with a high standard of design consisting of *light impact industrial uses*, warehouse, *distribution centres*, limited offices and service uses carried out in enclosed *buildings*, together with accessory *Transportation Industry* uses limited to truck cleaning and truck refuelling facilities, forming part of a *comprehensive design*.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Light impact industry* including wholesale and retail sales of products produced within the business premises or as part of the wholesale or warehouse operations provided that the total floor area used or intended to be used for retail sales and display to the public shall not exceed 20% of the

*gross floor area* for each individual business or establishment or 460 square metres [5,000 sq.ft.] whichever is less.

2. *Warehouse uses.*
3. *Distribution centres.*
4. Office uses excluding:
  - (a) *Social escort services;*
  - (b) *Methadone clinics; and*
  - (c) Offices of professionals including without limitation, accountants, lawyers, doctors, dentists, chiropractors, physiotherapists, massage therapists and related health care practitioners and notary publics, and the offices of real estate, advertising and insurance.
5. *Accessory uses* including the following:
  - (a) *Transportation Industry* limited to truck cleaning and truck refuelling facilities restricted to on-site operations of a use permitted under Section 2.B of this Zone;
  - (b) *Child care centre; and*
  - (c) *Dwelling unit(s)* provided that the *dwelling unit(s)* is (are):
    - i. Contained within a *principal building;*
    - ii. Occupied by the owner or a caretaker, for the protection of the businesses permitted;
    - iii. Restricted to a maximum number of:
      - a. One *dwelling unit* in each *principal building* less than 2,800 square metres [30,000 sq. ft.] in floor area;
      - b. Two *dwelling units* in each *principal building* of 2,800 square metres [30,000 sq. ft.] or greater in floor area;
      - c. Notwithstanding Sub-sections B.5(c) iii.a. and iii.b., the maximum number shall be two *dwelling units* for *lots* less than 4.0 hectares [10 acres] in area, three *dwelling units* for *lots* equal to or greater than 4.0 hectares [10 acres] in area, and where a *lot* has been subdivided by a strata plan then there shall only be one 140-square metre [1,500-sq. ft.] *dwelling unit* within the strata plan.

- iv. Restricted to a maximum floor area of:
  - a. 140 square metres [1,500 sq. ft.] for one (first) *dwelling unit* on a *lot*;
  - b. 90 square metres [970 sq. ft.] for each additional *dwelling unit*; and
  - c. Notwithstanding Sub-sections B.5(c) iii.a. and iii.b., the maximum floor area shall not exceed 33% of the total floor area of the *principal building* within which the *dwelling unit* is contained.
  
- 6. For the purpose of Subsections B.1 and B.2 of this Zone, parking, storage or service of trucks and trailers on any portion of the *lot* not associated with the uses or operations permitted thereof shall be specifically prohibited.

**C. Lot Area**

The minimum *site area for subdivision* shall be 4 hectares [10 acres], except in the case of a remainder *lot*, where the *lots* including the remainder *lot* which were created by the same plan of subdivision are zoned IB-1.

**D. Density**

In Neighbourhood Concept Plan and Infill Areas as described and outlined on the maps attached as Schedule F attached to this By-law, the maximum *floor area ratio* shall not exceed 0.1 or a *gross floor area* of 300 square metres [3,230 sq. ft.] whichever is smaller. The maximum *floor area ratio* may be increased to 1.00 if amenities are provided in accordance with Schedule G of this By-law.

**E. Lot Coverage**

The *lot coverage* shall not exceed 60%.

**F. Yards and Setbacks**

*Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

<b>Use</b>	<b>Setback</b>	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard</i>	<i>Side Yard on Flanking Street</i>
<i>Principal and Accessory Buildings and Structures</i>		16.0m * [52 ft.]	7.5 m [25 ft.]	7.5 m** [25 ft.]	9.0 m.*** [30 ft.]

Measurements to be determined as per Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.



- \* The *front yard setback* may be reduced to 7.5 m. [25 ft.] if the area between the front face of any *building* or *structure* and a *highway* is not used for parking and is landscaped.
- \*\* One (1) *side yard setback* may be reduced to 3.6 metres [12 ft.] if the *side yard* abuts land which is *commercial* or *industrial*.
- \*\*\* The *side yard setback* on a *flanking street* may be reduced to 7.5 m. [25 ft.] if the area between the *flanking street* face of any *building* or *structure* and a *highway* is not used for parking and is landscaped.

## G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings:* The *building height* shall not exceed 14 metres [45 feet].
2. *Accessory buildings and structures:* The *building height* shall not exceed 6 metres [20 feet].

## H. Off-Street Parking

1. Refer to Table C.3, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Notwithstanding Subsection D.3(a)ii of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, additional areas for parking of trucks and trailers associated with the uses and operations allowed on the *lot* may be permitted within the designated loading/unloading areas provided that:
  - (a) The number of *parking spaces* shall not exceed the number of loading spaces and/or shipping/receiving doors; and
  - (b) The *parking spaces* shall not be visible from the *highways* abutting the *lot*.

## I. Landscaping

1. All developed portions of the *lot* not covered by *buildings*, *structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a Major Road as shown in the *Official Community Plan*, a continuous *landscaping* strip of not less than 6 metres [20 ft.] in width shall be provided within the *lot*.

3. Along the developed sides of the lot which abut all *highways* other than a Major Road, as shown in the *Official Community Plan*, a continuous landscape strip of not less than 3.0 metres [10 ft.] in width shall be provided within the *lot*.
4. A continuous landscape strip of not less than 1.5 metres [5 ft.] in width shall be provided along all *side lot lines* between a *highway* and 3.0 metres [10 ft.] back from the front face of the closest *principal building* fronting a *highway*.
5. A continuous *landscaping* strip of not less than 6.0 metres [20 ft.] shall be created along all *lot lines* separating the developed portion of the *lot* from any *residential lot*.
6. Loading areas, garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

## **J. Special Regulations**

1. Land and *structures* shall be used for the uses permitted in this Zone only if such uses:
  - (a) Constitute no unusual fire, explosion or safety hazard;
  - (b) Do not emit noise in excess of 70 dB measured at any point on any boundary of the *lot* on which the use is located, provided that where a *lot* abuts a *lot* other than an *industrial lot* the noise level shall not exceed 60 dB; and
  - (c) Do not produce heat or glare perceptible from any boundary of the *lot* on which the use is located.
2. Outdoor storage of any goods, materials or supplies is specifically prohibited.
3. Loading areas shall not be located within any required front *yard setback* or flanking street *setback* which abuts a major road, as shown in the *Official Community Plan* or any required *setback* adjacent any *residential lot*.
4. Garbage containers and *passive recycling containers* shall not be located within any required front or *flanking street setback* or any required *setback* adjacent any *residential lot*.
5. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.

**K. Subdivision**

*Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,000 sq. m. [0.5 acre]	30 metres [100 ft]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21, Part 4 General Provisions, of the Surrey Zoning By-law, 1993, No. 12000 as amended.

**L. Other Regulations**

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the IB-1 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking, of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. *Sign* regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2008, No. 16494, as may be amended or replaced from time to time, and the development cost charges shall be based on the IB-1 Zone.
9. Subdivisions shall be subject to the applicable Surrey Development Cost Charge By-law, 2008, No. 16494, as may be amended or replaced from time to time, and the development cost charges shall be based on the IB-1 Zone.

10. Surrey Tree Protection By-law, 2006, No. 16100, as amended.
  11. Development permits may be required in accordance with the Surrey *Official Community Plan, 1996*, By-law No. 12900, as amended.
  12. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2009, No. 17038."

READ A FIRST AND SECOND TIME on the 2nd day of November, 2009

PUBLIC HEARING HELD thereon on the 16th day of November, 2009.

READ A THIRD TIME ON THE 16th day of November, 2009.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the 14th day of December, 2009.

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK

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CITY OF SURREY

BY-LAW NO.

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended  
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

- (a) FROM: BUSINESS PARK 1 ZONE (IB-1)
- TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

---

Portion of Parcel Identifier: 027-933-652  
 Lot 2 Section 21 Township 7 NWD Plan BCP41000 shown in heavy outline on the Survey Plan attached hereto as Schedule A and forming part of this By-law, certified correct by David Dyck, B.C.L.S. on the 23rd day of March 2012, containing 3.65 hectares called Portion of 2.

Portion of 2456 - 188 Street

- (b) FROM: INTENSIVE AGRICULTURE ZONE (A-2)
- TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

---

Portion of Parcel Identifier: 009-190-121  
 East Half of the South Half of the West Half of the SE Quarter Section 21 Township 7, Except Part Dedicated Road on Plan BCP14662 NWD shown in heavy outline on the Survey Plan attached hereto as Schedule B and forming part of this By-law, certified correct by David Dyck, B.C.L.S. on the 23rd day of March 2012, containing 3.90 hectares called Portion of Rem E 1/2 of S 1/2 of W 1/2 of SE 1/4 Sec 21 Tp 7.

Portion of 18917 - 24 Avenue

(hereinafter both 1.(a) and 1.(b) shall be referred to as the "Lands")



2. The following regulations shall apply to the *Lands*:

**A. Intent**

This zone is intended to permit development of industrial business parks with a high standard of design consisting of light impact industry, high technology industry, industry with a significant amount of research and development, *warehouse uses*, limited offices, service uses and regulated outdoor storage forming part of a *comprehensive design*.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Light impact industry* including wholesale and retail sales of products produced within the business premises or as part of the wholesale operations provided that the total floor area used or intended to be used for retail sales and display to the public shall not exceed 20% of the *gross floor area* for each individual business or establishment, or 460 square metres [5,000 sq.ft.], whichever is less.
2. *Warehouse uses*.
3. *Distribution centres*.
4. Office uses excluding:
  - (a) *social escort services*;
  - (b) *Methadone clinics*;
  - (c) offices of professionals including without limitation, accountants, lawyers, doctors, dentists, chiropractors, physiotherapists, massage therapists and related health care practitioners and notary publics, and the offices of real estate, advertising and insurance.
5. *Accessory uses* limited to the following:
  - (a) *General service uses* excluding *drive-through banks*;
  - (b) *Eating establishments* limited to a maximum of 200 seats and excluding *drive-through restaurants*;
  - (c) *Community services*;
  - (d) *Child care centre*; and
  - (e) *Dwelling unit(s)* provided that the *dwelling unit(s)* is (are):
    - i. Contained within a *principal building*;

- ii. Occupied by the owner or a caretaker, for the protection of the businesses permitted;
- iii. Restricted to a maximum number of
  - a. One *dwelling unit* in each *principal building* less than 2,800 square metres [30,000 sq.ft.] in floor area;
  - b. Two *dwelling units* in each *principal building* of 2,800 square metres [30,000 sq.ft.] or greater in floor area;
  - c. Notwithstanding Sub-sections B.5(e)iii.a and iii.b, the maximum number shall be two *dwelling units* for *lots* less than 4.0 hectares [10 acres] in area, three *dwelling units* for *lots* equal to or greater than 4.0 hectares [10 acres] in area, and where a *lot* has been subdivided by a strata plan then there shall only be one 140-square metre [1,500 sq.ft.] *dwelling unit* within the strata plan.
- iv. Restricted to a maximum floor area of
  - a. 140 square metres [1,500 sq.ft.] for one (first) *dwelling unit* on a *lot*;
  - b. 90 square metres [970 sq.ft.] for each additional *dwelling unit*; and
  - c. Notwithstanding Sub-sections B.5.(e)iv.a. and iv.b., the maximum floor area shall not exceed 33% of the total floor area of the *principal building* within which the *dwelling unit* is contained.

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

The *floor area ratio* shall not exceed 0.1 or a gross floor area of 300 square metres [3,230 sq.ft.], whichever is smaller. The maximum *floor area ratio* may be increased to 1.00 if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.

**E. Lot Coverage**

The *lot coverage* shall not exceed 60%.

**F. Yards and Setbacks**

*Buildings and structures shall be sited in accordance with the following minimum setbacks:*

<b>Use</b>	<b>Setback</b>	<i>Front Yard</i> (24 Ave)	<i>Rear Yard</i>	<i>Side Yard</i>	<i>Side Yard on Flanking Street</i>
<i>Principal Buildings and Accessory Buildings and Structures</i>		16.0 m.* [52 ft.]	7.5 m. [25 ft.]	7.5m.** [25 ft.]	9.0m.*** [30 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- \* The *front yard setback* may be reduced to 7.5 metres [25 ft.] if the area between the front face of any *building* or *structure* and a *highway* is not used for parking and is landscaped.
- \*\* One (1) *side yard setback* may be reduced to 3.6 metres [12 ft.] if the *side yard* abuts land which is *commercial* or *industrial*.
- \*\*\* The *side yard setback* on a *flanking street* may be reduced to 7.5 metres [25 ft.] if the area between the *flanking street* face of any *building* or *structure* and a *highway* is not used for parking and is landscaped.

**G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 14 metres [45 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 6 metres [20 ft.].

**H. Off-Street Parking**

1. *Parking spaces* shall be provided as stated in Table C.3 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Notwithstanding Sub-section D.3(a)ii of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-Law, 1993, No. 12000, as amended, additional areas for parking of trucks and trailers associated with the uses and operations allowed on the *lot* may be permitted within the designated loading/unloading areas provided that:

- (a) The number of *parking spaces* shall not exceed the number of loading spaces and/or shipping/receiving doors; and
- (b) The *parking spaces* shall not be visible from the *highways* abutting the *lot*.

## I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* abutting 24 Avenue and 190 Street, a continuous *landscaping strip* of not less than 6.0 metres [20 ft.] in width shall be provided within the *lot*.
3. Along the developed sides of the *lot* which abut all *highways* other than a Major Road, as shown in the "Surrey Major Road Allowance Map," attached as Schedule K to the "Surrey Subdivision and Development By-law, 1986, No. 8830" as amended, a continuous *landscaping strip* of not less than 3.0 metres [10 ft.] in width shall be provided within the *lot*.
4. A continuous *landscaping strip* of not less than 1.5 metres [5ft.] in width shall be provided along all *side lot lines* between a highway and 3.0 meters [10 ft.] back from the front face of the closest *principal building* fronting a *highway*.
5. Loading areas, garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping screen, a solid decorative fence, or a combination thereof*.
6. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.

## J. Special Regulations

1. Lands and *structures* shall be used for the uses permitted in this zone only if such uses
  - (a) Constitute no unusual fire, explosion or safety hazard;
  - (b) Do not emit noise in excess of 70 dB measured at any point on any boundary of the *lot* on which the use is located; and
  - (c) Do not produce heat or glare perceptible from any boundary of the *lot* on which the use is located.

2. In Area A, as shown on Survey Plan attached hereto and forming part of this Bylaw as Schedule C, certified correct by David Dyck, B.C.L.S. on the 13<sup>th</sup> of June 2012, containing 5.53 hectares, the outdoor display and storage of any goods, materials or supplies, is specifically prohibited.
3. In Area B, as shown on Survey Plan attached hereto and forming part of this Bylaw as Schedule C, certified correct by David Dyck, B.C.L.S. on the 13<sup>th</sup> of June 2012, containing 2.02 hectares, the outdoor display and storage of any goods, materials or supplies, and areas for parking of trucks and trailers associated with the uses and operations allowed on the *lot*, other than the loading spaces in front of loading doors, is permitted provided that such storage and parking is:
  - (a) Not located within any required *front, rear or side yard setback*; and
  - (b) Completely screened to a height of at least 2.5 metres [8 ft.] by *buildings* and/or solid decorative fencing and substantial *landscaping* strips of not less than 2.5 metres [8 ft.] in height and not less than 1.5 metres [5 ft.] in width. In no cases shall materials be piled up higher than 3.5 meters [12 ft.] on-site.
4. Loading areas shall not be located within any required *front yard setback* or *flanking street setback* which abuts a major road, as shown in the "Surrey Major Road Allowance Map," attached as Schedule K to the "Surrey Subdivision and Development By-law, 1986, No. 8830" as amended.
5. Garbage containers and *passive recycling containers* shall not be located within any required front or *flanking street setback*.
6. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.
7. Parking, storage or service of trucks and trailers on any portion of the *lot* not associated with the uses or operations permitted thereof shall be specifically prohibited.

**K. Subdivision**

1. Any *lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
0.36 ha [.88 acre]	45 metres [148 ft.]	80 metres [262 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

2. Notwithstanding Section K.1 of this zone, any *lot* that includes Area B must have a minimum area of 3,600 square metres [0.88 acres] within Area B and a minimum dimension of 45 m [148 ft.] by 80 m [262 ft.] within Area B.



## L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the IB-1 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. *Sign* regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
8. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. Subdivisions shall be subject to the applicable Surrey Development Cost Charge By-law, 2012, No. 17539, as may be amended or replaced from time to time, and the development cost charges shall be based on the IB-1 Zone.
8. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
9. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.

10. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

READ A FIRST AND SECOND TIME on the \_\_\_\_\_ th day of \_\_\_\_\_, 20 .

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20 .

READ A THIRD TIME ON THE \_\_\_\_\_ th day of \_\_\_\_\_, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20 .

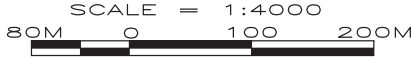
\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK

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SURVEY PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW No. \_\_\_\_\_  
 OF A PORTION OF LOT 2 Sec 21 Tp 7 NWD PLAN BCP41000

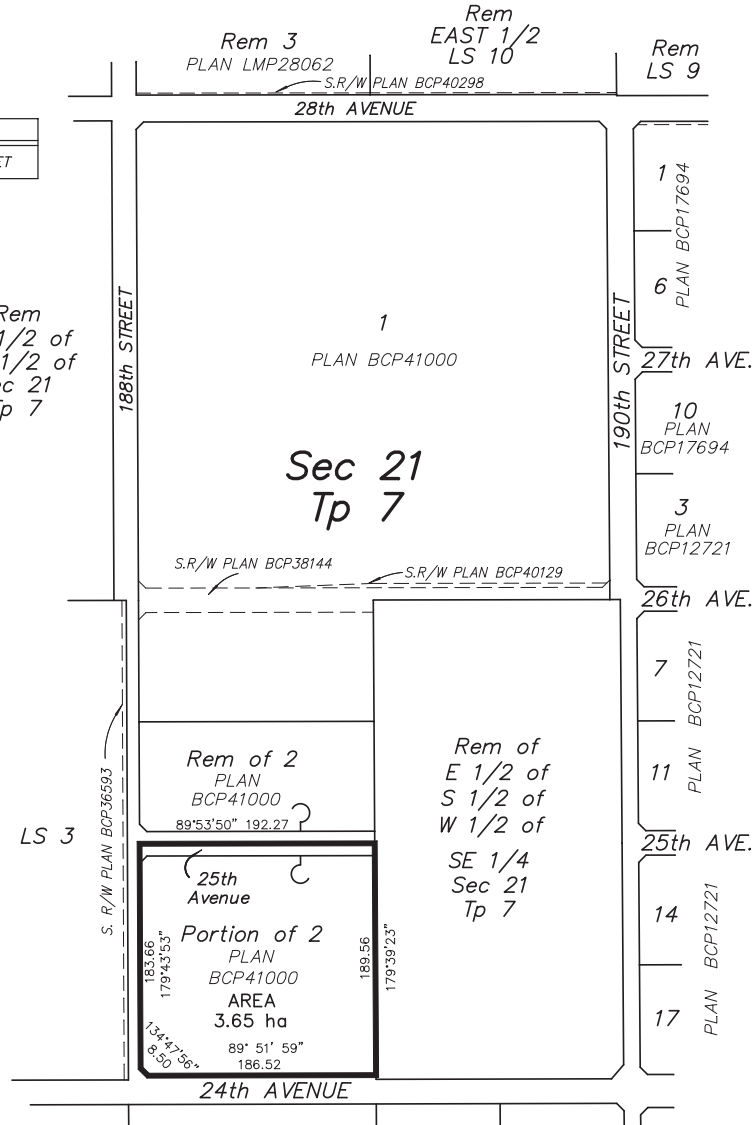
CITY OF SURREY  
 B.C.G.S. 92G.007



"ALL DISTANCES ARE IN METRES"

BOOK OF REFERENCE				
LOT	DESCRIPTION	PLAN	AREA	BLOCK
Portion of LOT 2	SECTION 21 TOWNSHIP 7	BCP41000	3.65 ha	Part of BLOCK B

P.I.D. 027-933-652 ( LOT 2 )  
 CIVIC ADDRESS: #2456 - 188th STREET



Sec 16 Tp 7

CERTIFIED CORRECT ACCORDING TO  
 LAND TITLE OFFICE RECORDS DATED  
 THIS 23rd DAY OF MARCH, 2012

SOUTH FRASER LAND SURVEYING LTD.  
 B.C. LAND SURVEYORS  
 SUITE 101 - 7485 130th STREET  
 SURREY, B.C. V3W 1H8  
 TELEPHONE: 604 599-1886  
 FILE: 07463-2012-ZON-BLOCKB-WEST

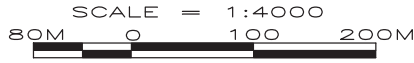
THIS PLAN LIES WITHIN THE  
 GREATER VANCOUVER REGIONAL DISTRICT

SIGNATURE OF B.C.L.S.

07463-2012-ZON-BLOCKB-WEST

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW No. \_\_\_\_\_**  
**OF A PORTION OF EAST HALF OF THE SOUTH HALF OF THE WEST HALF OF THE**  
**SE QUARTER Sec 21 Tp 7, EXCEPT PART DEDICATED ROAD ON PLAN BCP14662**  
**ALL IN NEW WESTMINSTER DISTRICT**

CITY OF SURREY  
 B.C.G.S. 92G.007



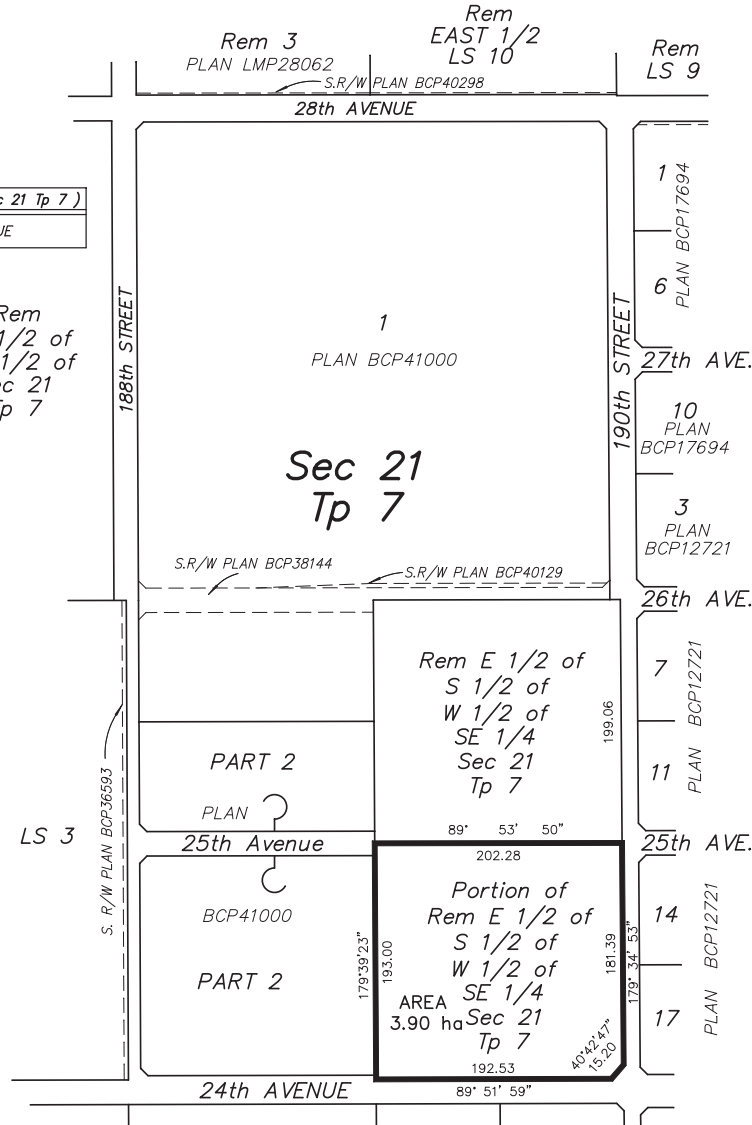
"ALL DISTANCES ARE IN METRES"

BOOK OF REFERENCE				
LOT	DESCRIPTION	PLAN	AREA	BLOCK
Portion of Rem SE 1/4	SECTION 21 TOWNSHIP 7	-----	3.90 ha	Part of BLOCK B

P.I.D. 009-180-121 ( Rem SE 1/4 Sec 21 Tp 7 )  
 CIVIC ADDRESS: #18917 - 24th AVENUE



Rem  
 E 1/2 of  
 N 1/2 of  
 Sec 21  
 Tp 7



**Sec 16 Tp 7**

CERTIFIED CORRECT ACCORDING TO  
 LAND TITLE OFFICE RECORDS DATED  
 THIS 23rd DAY OF MARCH, 2012

SOUTH FRASER LAND SURVEYING LTD.  
 B.C. LAND SURVEYORS  
 SUITE 101 - 7485 130th STREET  
 SURREY, B.C. V3W 1H8  
 TELEPHONE: 604 599-1886  
 FILE: 07463-2012-ZON-BLOCKB-EAST

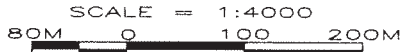
THIS PLAN LIES WITHIN THE  
 GREATER VANCOUVER REGIONAL DISTRICT

SIGNATURE OF B.C.L.S.

07463-2012-ZON-BLOCKB-EAST

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW No. \_\_\_\_\_  
 OF PART OF LOT 2 Sec 21 Tp 7 PLAN BCP41000 AND PART OF  
 EAST HALF OF THE SOUTH HALF OF THE WEST HALF OF THE SE QUARTER  
 Sec 21 Tp 7, EXCEPT PART DEDICATED ROAD ON PLAN BCP14662  
 ALL IN NEW WESTMINSTER DISTRICT**

CITY OF SURREY  
 B.C.G.S. 92G.007

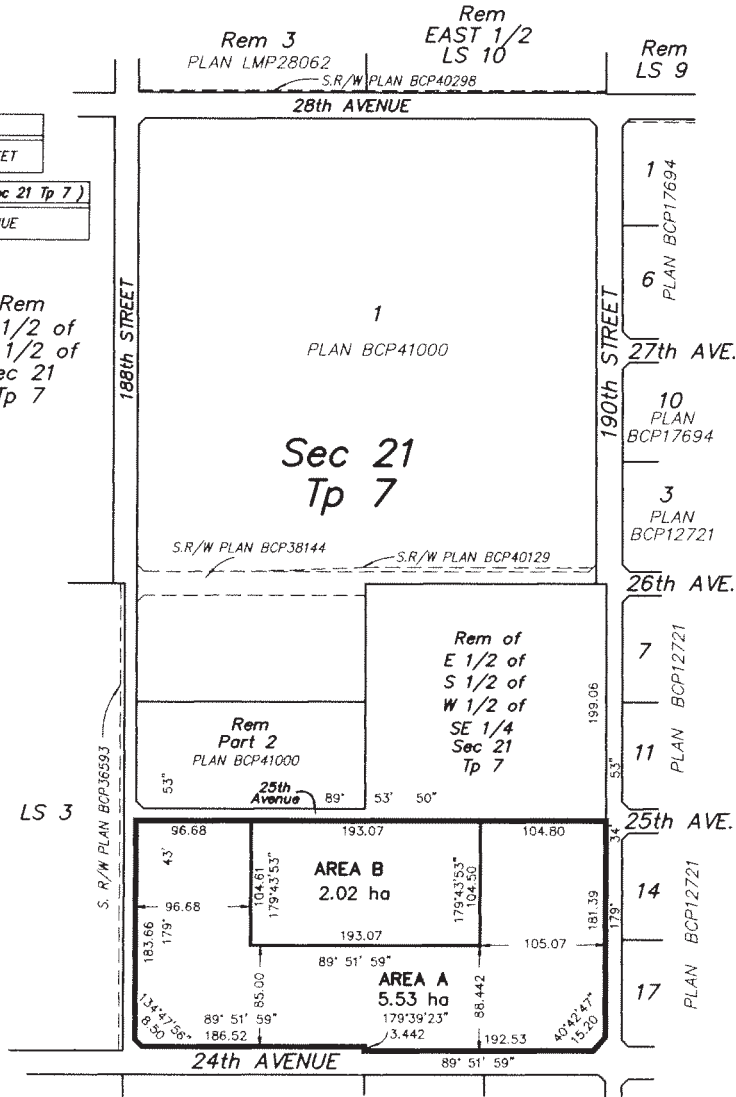


"ALL DISTANCES ARE IN METRES"

BOOK OF REFERENCE				
LOT	DESCRIPTION	PLAN	AREA	AREA LABEL
PARTS of LOT 2 and Rem SE 1/4	SECTION 21 TOWNSHIP 7	BCP41000	5.53 ha	AREA A
PARTS of LOT 2 and Rem SE 1/4	SECTION 21 TOWNSHIP 7	BCP41000	2.02 ha	AREA B

P.I.D. 027-933-652 ( LOT 2 )  
 CIVIC ADDRESS: #2456 - 188th STREET

P.I.D. 009-180-121 ( Rem SE 1/4 Sec 21 Tp 7 )  
 CIVIC ADDRESS: #18917 - 24th AVENUE



Sec 16 Tp 7

CERTIFIED CORRECT ACCORDING TO  
 LAND TITLE OFFICE RECORDS DATED  
 THIS 13th DAY OF JUNE, 2012

SOUTH FRASER LAND SURVEYING LTD.  
 B.C. LAND SURVEYORS  
 SUITE 101 - 7485 130th STREET  
 SURREY, B.C. V3W 1H8  
 TELEPHONE: 604 599-1886  
 FILE: 07463-2012-ZON-AREA\_SCHEDULE-3

THIS PLAN LIES WITHIN THE  
 GREATER VANCOUVER REGIONAL DISTRICT

*[Signature]*  
 SIGNATURE OF B.C.L.S.

07463-2012-ZON-AREA\_SCHEDULE-3