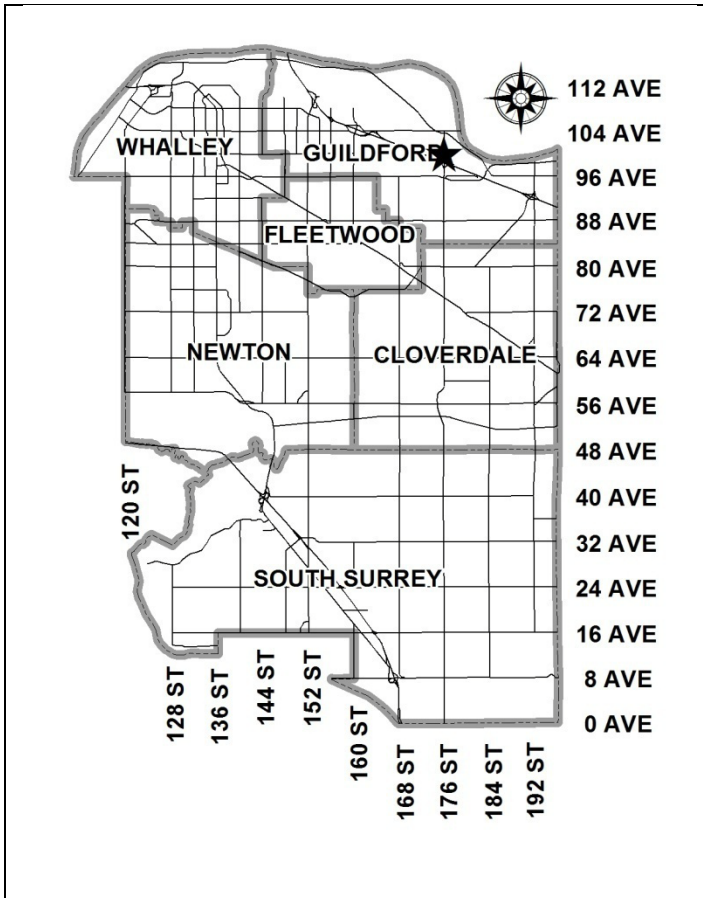


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7910-0316-00

Planning Report Date: July 11, 2011

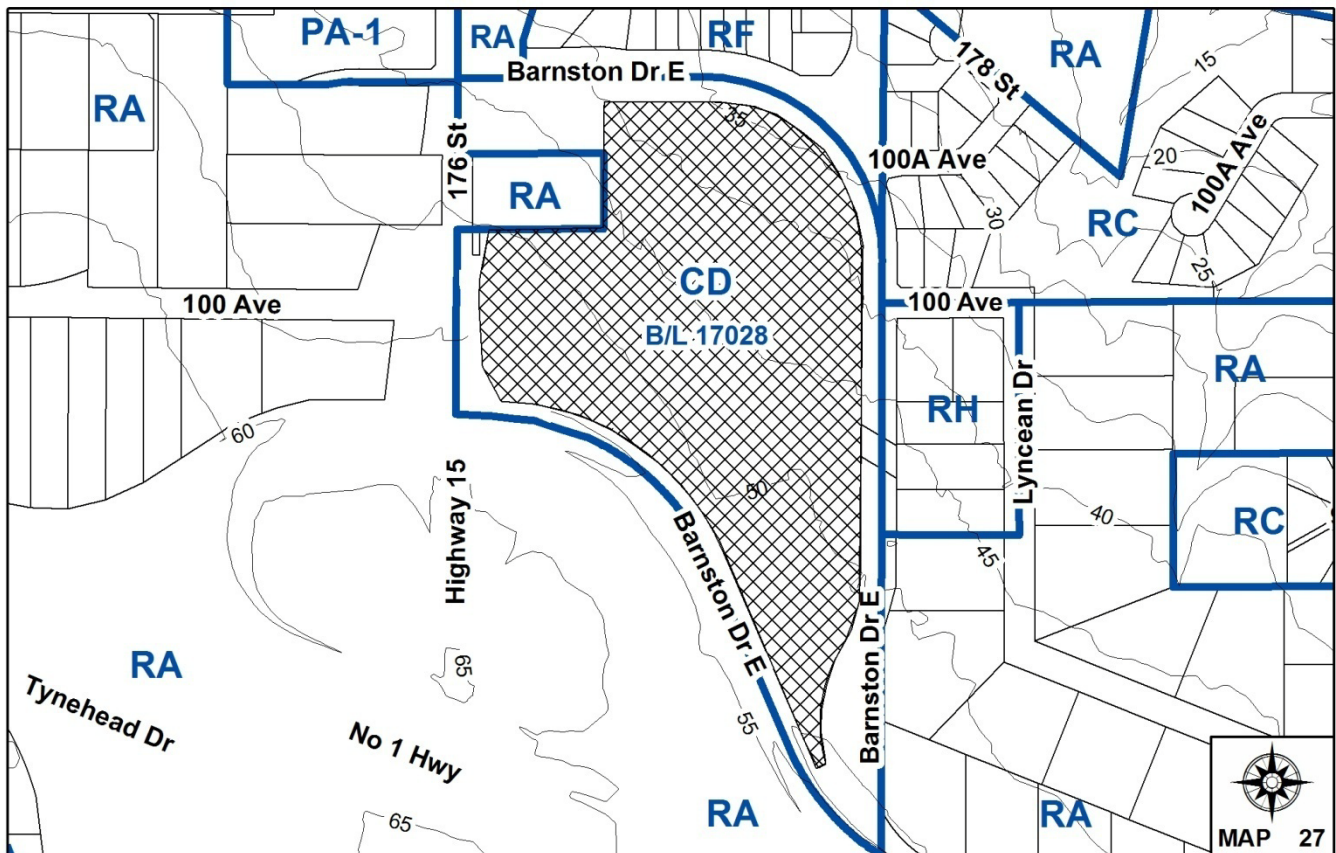


PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

in order to permit the development of a 71-unit, 4-storey apartment building and an 80-unit townhouse development.

LOCATION: 17626 Barnston Drive East
OWNER: 0794043 B.C. Ltd.
ZONING: CD (By-law No. 17028)
OCP DESIGNATION: Multiple Residential



RECOMMENDATION SUMMARY

- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking relaxation of setbacks for stairs.

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- Due to significant slope, more than 3 stairs are required within the setback area, at the front of some proposed townhouse units.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to reduce the amount of required indoor amenity space from 453 square metres (4,876 square feet) to 269 square metres (2,895 square feet).
2. Council authorize staff to draft Development Permit No. 7910-0316-00 generally in accordance with the attached drawings (Appendix II).
3. Council approve Development Variance Permit No. 7910-0316-00 (Appendix VIII) varying the following, to proceed to Public Notification:
 - (a) to vary the Zoning By-law to increase the number of stairs that may encroach within the building setback area from 3 to 11.
4. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
 - (e) the applicant adequately address the impact of reduced indoor amenity space;
 - (f) resolution of acceptable landscaping within the sightline right-of-way area adjacent 177A Street to the satisfaction of the General Manager, Engineering; and
 - (g) issuance of Development Variance Permit No. 7910-0316-00.

REFERRALS

Engineering: The Engineering Department has no objection to the project as outlined in Appendix III.

School District: **Projected number of students from this development:**

17 Elementary students at Bothwell Elementary School
9 Secondary students at Fraser Heights Secondary School

(Appendix V)

The applicant has advised that the first phase of units, consisting of 28 units is expected to be constructed and ready for occupancy by December 2012.

Phase 2, consisting of 28 units is expected to be completed and ready for occupancy in June 2013; Phase 3, consisting of 24 units will be completed and ready for occupancy in December 2013; and Phase 4, consisting of 71 units will be completed and ready for occupancy in June 2014.

SITE CHARACTERISTICS

Existing Land Use: Vacant lot.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across Barnston Drive East):	Single family homes	Urban	RF
East (Across 177A Street):	Single family homes on large lots	Suburban	RA, RH and RC
South (Across Highway No. 1):	Anniedale Traditional School	Suburban	RA
West:	Vacant lot	Multiple Residential	CD (By-law No. 17028)

DEVELOPMENT CONSIDERATIONSBackground

- On June 27, 2011, Council approved an Official Community Plan (OCP) amendment from Suburban and Commercial to Multiple Residential and a rezoning from the Combined Service Gasoline Station Zone (CG-2) and Comprehensive Development Zone (By-law No. 14876) to

Comprehensive Development Zone By-law No. 17028 (based on CG-2, C-8 and RM-70) for a 6.04-hectare (14.9-acre) site at 176 Street and Barnston Drive East (File No. 7908-0052-00). In addition, Council approved a General Development Permit No. 7908-0052-00 for a Master Plan that would guide the future development of the site (Appendix II showing overall master plan).

- The subject application is for the lands shown as Block C under General Development Permit No. 7908-0052-00 and is the first phase of a multi-phased development.
- Phase I is a 1.97-hectare (4.87-acre) site located at 17626 Barnston Drive East on the southeast corner of the 176 Street and Barnston Drive East intersection in Fraser Heights. It is designated Multiple Residential in the Official Community Plan (OCP), and is zoned Comprehensive Development (CD) By-law No. 17028.

Current Application

- The subject application proposes a Development Permit in order to permit the development of a 71-unit, 4-storey apartment building, with ground-oriented units and 80 townhouse units.
- The proposal indicates a total floor area of 20,608 square metres (221,823 sq. ft.), representing a floor area ratio (FAR) of 1.05 which complies with the maximum 1.25 FAR for Block C of the CD Zone (By-law No. 17028).
- The development proposes to reduce the amount of required indoor amenity space from 453 square metres (4,876 sq. ft.), based on the standard 3 square metres (32 sq.ft.) per dwelling unit to 269 square metres (2,895 square feet). The applicant has agreed to pay cash-in-lieu for the deficient amenity space (61 units) in accordance with City Policy.
- The development proposes an outdoor amenity area encompassing a total of 554 square metres (5,963 sq. ft.) which exceeds the CD By-law No. 17028 requirement of 453 square metres (4,876 sq. ft.), based on the standard 3 square metres (32 sq.ft.) per dwelling unit.
- The applicant is proposing a combination of underground and surface parking totalling 296 parking spaces which exceeds the standards in the Zoning By-law.
- There are no By-law sized trees located on the subject site.

PRE-NOTIFICATION

Pre-notification letters were sent on February 7, 2011. In response, correspondence was received from 8 local residents, 6 of which were opposed to the proposal and identified the following concerns:

- Four of the six residents noted that an apartment building was not appropriate in this area and that the area should remain primarily single family in nature. Additionally three residents noted the impact that the apartment building will have on available views in the area.

(The current zoning allows for apartment buildings on the subject site. It is important to note, however, that the applicant has chosen to build only one apartment building and the remainder of the site as townhouses, as additional apartment buildings could be proposed under the current zoning.)

(Effort has been made to minimize offsite impacts from the height of the proposed apartment building, including stepping the building at the fourth floor.)

- Three residents noted a lack of capacity at the local schools, and in particular Bothwell Elementary, which would be impacted further as additional residential units are added.

(The Surrey School District has advised that Bothwell Elementary School is significantly under capacity and is expected to remain so through the forecast period (Appendix V). Similarly Fraser Heights Secondary School is reportedly below its functional capacity and will remain so as well.)

- Three of the residents identified increased traffic in the area resulting from the development.

(The proposal has been reviewed and accepted by both the Ministry of Transportation and Infrastructure and the City of Surrey's Transportation Division relative to the functioning of the local road network.)

The applicant has also agreed to partially pay for the improvements to 177A Street north of the subject site to a collector standard. This upgrading should help mitigate some of the traffic issues that may otherwise arise.)

- Two of the residents also noted that there is a lack of local amenities available that can help support new residents.

(While the initial phases of development do not provide any commercial uses, the approved Master Plan provides for approximately 5,873 square metres (63,000 sq. ft.) of commercial space in Block A to the south of the subject site. With regards to recreational amenities, a public pathway will be constructed along the Kinder Morgan right-of-way, in a future phase, in accordance with the Master Plan.)

DESIGN PROPOSAL AND REVIEW

Overall Design Considerations

- The current application is part of a larger Master Plan for the area that includes 9998 – 176 Street and 10020 – 176 Street. The Master Plan incorporates a mix of commercial and multiple residential uses on a 6.04-hectare (14.9-acre) site.
- The current application (Block C in the overall Master Plan) proposes a total of 151 units, which is comprised of a 71-unit, 4-storey apartment building and 80 townhouse units.
- Block C is intended to be constructed in four phases (see Appendix III) with the townhouse units along 177 A Street and Barnston Drive constructed first. Two additional phases of development will follow to complete the development of the townhouse portion of the

application. It is expected that the apartment building will be completed as part of the fourth and final phase of development.

- Three accesses are proposed to the site: one from Barnston Drive East along the north property line; and two from 177A Street along the east property line.

Townhouse Building Design

- The townhouse portion of the development contains 80, three-storey townhouse units that are housed within 14 buildings and indicates a total floor area of 14,155 square metres (152,363 sq. ft.). This represents a floor area ratio (FAR) of 0.72 in Block C and a total FAR of 1.05 when the townhouse and apartment components are combined.
- The majority of the units will have three bedrooms, with the exception of six two-bedroom units and sixteen four-bedroom units. All of the units provide two resident parking spaces.
- Parking is provided through a combination of tandem and side-by-side garages. Unit types B, B2, C, C2, D and D2 have tandem garages (44 units, 55 percent of total) while unit types A, A2, E and E1 will have side-by-side garages (35 units, 45 percent of total).
- The majority of the living areas are proposed on the upper floors, with the exception of a small flex room that is proposed on the ground floor of unit types A and A2 (20 units). Similarly, unit types E and E1, which front onto Barnston Drive East/177 Street which have their garages on the main floor, provide a games/media room, a bar area and an additional office/bedroom on the ground floor (16 units, 20% of total units).
- The number of units within the individual buildings range from four to seven.
- Units range in size from 135 square metres (1,453 sq.ft.) to 303 square metres (3,262 sq.ft.).
- Building materials include the extensive use of cultured stone veneer (pewter grey colour) at the base, horizontal and shingle hardi siding and hardi-board and batten siding (beige and grey colour) for all façades.
- The roof will be clad in asphalt shingles and includes a series of slanting and projecting roofs over individual units which are complemented by knee brackets on both the front and rear elevations. The roof line articulation, together with the proposed building materials result in a very modern townhouse form.
- 179 parking spaces are provided, which is comprised of 160 resident and 19 visitor parking spaces, satisfying the parking requirements of the Zoning By-law.

Landscaping

- Each unit has access to either a patio or balcony, thus providing private outdoor space for residents' use and further helping the development to engage with the public realm.
- A pedestrian pathway will be provided in the first phase through the central portion of the site from Barnston Drive East on the north property line which connects to a separate pathway (future) within the Kinder Morgan oil pipeline right-of-way on the adjacent property to the

south. The pathway will be constructed from paver stones and will increase pedestrian connectivity through the site.

- Hydro kiosks, that are located throughout the site, will be screened from public view by 0.80 metre (2.5 ft.) high shrubs that are layered with other planting.
- Fencing between units and along the exterior of the site adjacent City roads will be of a high quality 1 metre (3.5 ft.) high metal picket fences. Similarly, metal picket gates will provide access to individual units.

Apartment Building Design

- The 71-unit, 4-storey apartment building is proposed at the southeast corner of the site adjacent 177A Street and contains a total floor area of 6,452 square metres (69,452 sq. ft.), representing a floor area ratio (FAR) of 0.33 in Block C and a total FAR of 1.05 when the townhouse and apartment components are combined.
- The building will be L-shaped and feature prominently along 177A Street with 2-storey townhomes proposed at grade. The ground-oriented units will provide a more urban streetscape along this frontage.
- Vehicular access to the building's underground parking entrance will be provided from an internal driveway. Access will be controlled by security gates to minimize potential conflicts. The resident and visitor parking areas will be separated by additional security gates.
- Units range in size from 56 square metres (604 sq. ft.) to 161 square metres (1,730 sq. ft.) and comprise a mix of one- to four-bedroom units with variations that incorporate dens.
- The main entrance to the building is located adjacent the southernmost internal driveway. Additional entries are proposed that will provide direct connection to an outdoor patio from the indoor amenity space. An exit is also proposed from the main floor on the west side of the building.
- The building is stepped back at the fourth storey to help reduce its massing and should reduce the impact on the existing single family homes on the east side of 177A Street.
- Building materials include the extensive use of painted hardi-board (beige and grey colour) with brick veneer at the base of the building (pewter grey). Additional detailing is provided through the provision of glass railings on decks.
- As with the townhouse units, specific sections of the roof will be tilted up from the building and supported by knee brackets. The roof line articulation together with the proposed building materials result in a very modern building design.
- 117 parking spaces are provided, in two levels of underground parking which is comprised of 99 resident and 18 visitor parking spaces, which comply with the Zoning By-law requirements.

Indoor and Outdoor Amenity Spaces

- Under CD By-law No. 17028, the applicant is required to provide 453 square metres (4,876 sq. ft.) of both indoor and outdoor amenity spaces. This is based on 3.0 square metres (32 sq. ft.) being provided for each indoor and outdoor amenity space per dwelling unit.
- Due to the scale of the development, it is not possible for the applicant to provide all of the required indoor amenity space. Instead, 269 square metres (2,895 sq. ft.) of space is proposed. The applicant has agreed to pay cash-in-lieu for the deficient amenity space (61 units) in accordance with City Policy.
- The indoor amenity space for both the townhouses and the apartment building will be provided within the apartment building. The indoor amenity spaces will be provided in the form of a fitness room, a lounge/party room and as meeting space.
- Two outdoor amenity areas are proposed comprising a total of 554 square metres (5,963 sq. ft.), one of which is adjacent the indoor amenity space. The amenity spaces are defined by patio space and two separate children's play areas over an engineered wood base.

ADVISORY DESIGN PANEL

ADP Date: April 7th, 2011

This project had few ADP recommendations and was generally supported by the ADP. The ADP recommendations have already been resolved to the satisfaction of the Planning and Development Department.

The applicant has been provided a list of outstanding issues which were identified by staff. The applicant has agreed to resolve these issues prior to the application being considered for Final Approval.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- The applicant seeks to vary Part 4 General Provisions of Surrey Zoning By-law No. 12000, to increase the number of stairs that may encroach within the building setback area from 3 to 11.

Applicant's Reasons:

- The stairs are required to address the significant grading challenges of the site which slopes steeply. Additionally they provide a better interface with the newly constructed road system and provide the townhouse units with a street frontage.

Staff Comments:

- The variance pertains to proposed Buildings 1, 2, 3 and 4 (townhouses) that front 177 A Street/Barnston Drive East along the north and east property lines. Grading is significantly pronounced adjacent proposed Building 2 and 3, which is the lowest point and results in the need for 11 risers at this location. Buildings 1 and 4 require a maximum of 7 and 4 risers respectively.
- Staff support the proposed variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Approved General Development Permit (Master Plan)
Appendix III.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix IV.	Engineering Summary
Appendix V.	School District Comments
Appendix VI.	ADP Comments
Appendix VII.	Development Variance Permit No. 7910-0316-00

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

SML/kms

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DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 17028)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		19,705.9 m ²
Road Widening area		
Undevelopable area		
Net Total		19,705.9 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	43 %	42.34 %
Paved & Hard Surfaced Areas		21.22 %
Total Site Coverage		63.56 %
SETBACKS (in metres)		
North	4.6 m	6.1 m
South	3.0 m	3.0 m
East	4.6 m	6.1 m
West	3.0 m	3.0 m
BUILDING HEIGHT (in metres/storeys)		
Principal	15 m	15 m (4 storeys)
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		41
Two Bedroom		30
Three Bedroom +		80 (TH)
Total		151
FLOOR AREA: Residential		20,608 m ²
TOTAL BUILDING FLOOR AREA		20,608 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		76.63 upha /31.01 upa
FAR (gross)		
FAR (net)	1.25	1.05
AMENITY SPACE (area in square metres)		
Indoor	453 m ²	269 m ²
Outdoor	453 m ²	554 m ²
PARKING (number of stalls)		
Residential Bachelor + 1 Bedroom	53.3	
2-Bed	45	
3-Bed	160 (TH)	
Residential Visitors	30.2	41
Institutional		
Total Number of Parking Spaces	289	296
Number of disabled stalls		4
Number of small cars		2
Tandem Parking Spaces: Number / % of Total Number of Units		88 / 29.7 %
Size of Tandem Parking Spaces width/length		3.2 m x 12.20 m

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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*NOTE: SITE C PLAN PREPARED BY BARNETT DEMBEK ARCHITECTS

1 SITE PLAN SCALE: 1" = 100' NORTH

DEVELOPMENT DATA

GR256 SITE AREA: 2,211.9 SF (4.87 AC) (0.47 HA) (0.47054 SQ.HJ)
 SITE COVERAGE: 42.34% (0.91814 SF.)
 DENSITY: 3.0 U.P.A., 16.63 U.P.Ha. (15 UNITS)
 F.A.R. 1.05 (262,475 SF.) (EXCLUDES TOWNHOUSE GARAGES AND CONDO AMENITY ROOMS)
 AMENITY SPACE: INDOOR: 2,849 SF.
 OUTDOOR: 5,469 SF.
 BICYCLE STORAGE CONDO #1

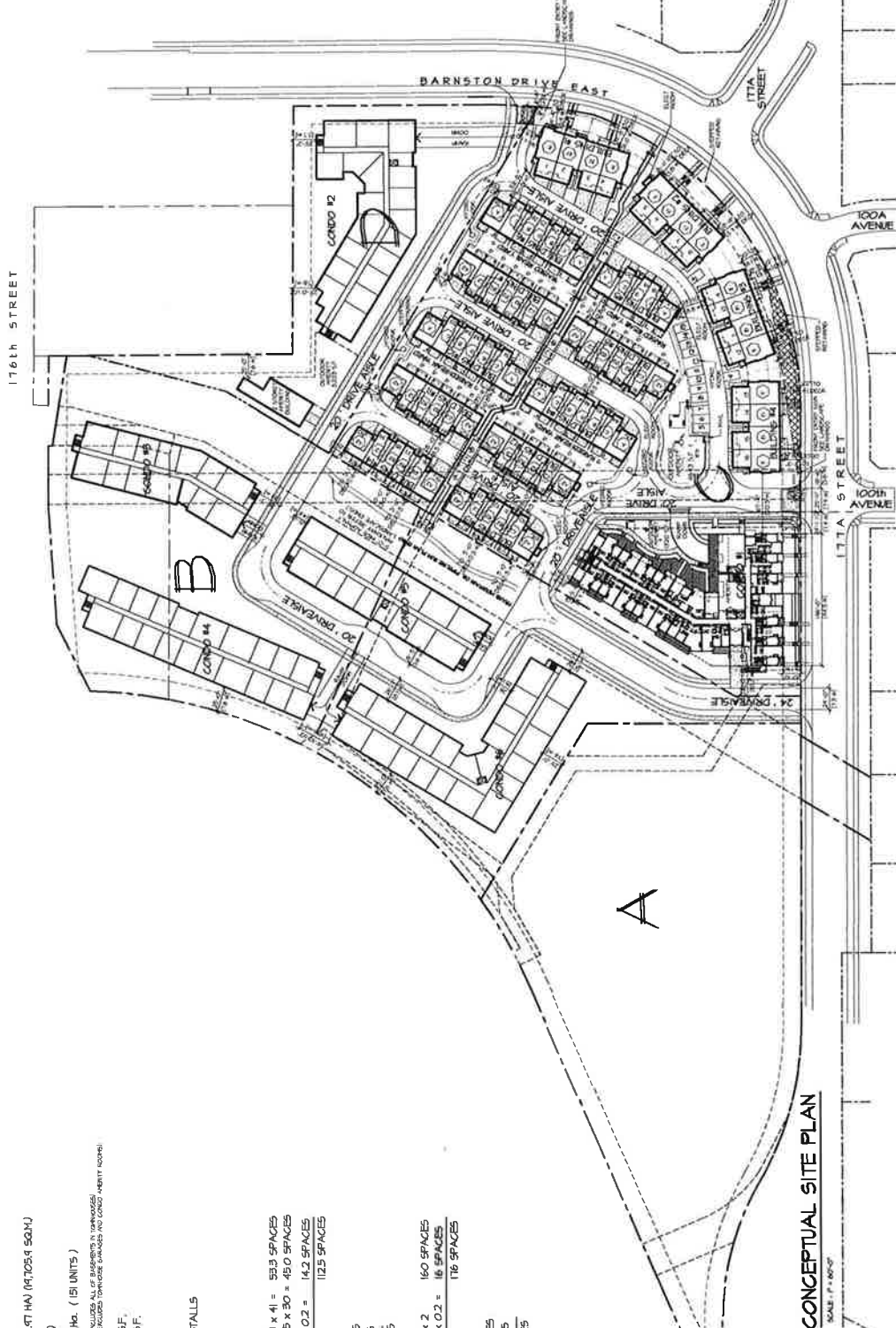
REQUIRED,
 12 SPACEMANIT x 11 UNITS = 65 STALLS
 PROVIDED:
 115 BICYCLE STORAGE SPACES

PARKING:
 REQUIRED CONDO #1,
 RESIDENTIAL: 1 BED 1.3 x 4.1 = 59.3 SPACES
 2 BED + 1.5 x 3.0 = 45.0 SPACES
 VISITOR: 11 UNITS x 0.2 = 14.2 SPACES
 TOTAL: 112.5 SPACES

PROVIDED CONDO #1,
 RESIDENTIAL: 91 SPACES
 VISITOR: 10 SPACES
 TOTAL: 111 SPACES

REQUIRED TOWNHOUSE,
 RESIDENTIAL: 80 UNITS x 2 = 160 SPACES
 VISITOR: 80 UNITS x 0.2 = 16 SPACES
 TOTAL: 176 SPACES

PROVIDED TOWNHOUSE,
 RESIDENTIAL: 160 SPACES
 VISITOR: 14 SPACES
 TOTAL: 174 SPACES



UNIT TYPE	A	B	C	D	E	F	G	TOTAL
UNIT TYPE	1 BDRM	2 BDRM	3 BDRM	4 BDRM	2 BDRM	1 BDRM	2 BDRM	171
UNIT TYPE	A1	A2	A3	A4	A5	A6	A7	171
UNIT TYPE	604 SF. x 31 UNITS = 18,724 SF.	712 SF. x 1 UNITS = 712 SF.	596 SF. x 1 UNITS = 596 SF.	719 SF. x 1 UNITS = 719 SF.	666 SF. x 1 UNITS = 666 SF.	797 SF. x 2 UNITS = 1,594 SF.	479 SF. x 1 UNITS = 479 SF.	17,486 SF.
UNIT TYPE	1,229 SF. x 4 UNITS = 4,916 SF.	1,229 SF. x 4 UNITS = 4,916 SF.	1,229 SF. x 4 UNITS = 4,916 SF.	1,229 SF. x 4 UNITS = 4,916 SF.	1,229 SF. x 4 UNITS = 4,916 SF.	1,229 SF. x 4 UNITS = 4,916 SF.	1,229 SF. x 4 UNITS = 4,916 SF.	19,600 SF.
UNIT TYPE	1,717 SF. x 1 UNITS = 1,717 SF.	1,717 SF. x 1 UNITS = 1,717 SF.	1,717 SF. x 1 UNITS = 1,717 SF.	1,717 SF. x 1 UNITS = 1,717 SF.	1,717 SF. x 1 UNITS = 1,717 SF.	1,717 SF. x 1 UNITS = 1,717 SF.	1,717 SF. x 1 UNITS = 1,717 SF.	17,170 SF.
UNIT TYPE	1,344 SF. x 1 UNITS = 1,344 SF.	1,344 SF. x 1 UNITS = 1,344 SF.	1,344 SF. x 1 UNITS = 1,344 SF.	1,344 SF. x 1 UNITS = 1,344 SF.	1,344 SF. x 1 UNITS = 1,344 SF.	1,344 SF. x 1 UNITS = 1,344 SF.	1,344 SF. x 1 UNITS = 1,344 SF.	13,440 SF.
UNIT TYPE	1,540 SF. x 1 UNITS = 1,540 SF.	1,540 SF. x 1 UNITS = 1,540 SF.	1,540 SF. x 1 UNITS = 1,540 SF.	1,540 SF. x 1 UNITS = 1,540 SF.	1,540 SF. x 1 UNITS = 1,540 SF.	1,540 SF. x 1 UNITS = 1,540 SF.	1,540 SF. x 1 UNITS = 1,540 SF.	15,400 SF.
UNIT TYPE	741 SF. x 1 UNITS = 741 SF.	741 SF. x 1 UNITS = 741 SF.	741 SF. x 1 UNITS = 741 SF.	741 SF. x 1 UNITS = 741 SF.	741 SF. x 1 UNITS = 741 SF.	741 SF. x 1 UNITS = 741 SF.	741 SF. x 1 UNITS = 741 SF.	7,410 SF.
TOTAL								171 UNITS = 54,026 SF. (EXCLUDES COMMON AREAS)

UNIT TYPE	A	B	C	D	E	F	G	TOTAL
UNIT TYPE	3 BDRM	3 BDRM	3 BDRM	3 BDRM	3 BDRM	3 BDRM	3 BDRM	80
UNIT TYPE	A8	A9	A10	A11	A12	A13	A14	80
UNIT TYPE	1,437.6 SF. x 1 UNITS = 1,437.6 SF.	2,154.4 SF. x 1 UNITS = 2,154.4 SF.	10,206 SF. x 1 UNITS = 10,206 SF.	17,446 SF. x 1 UNITS = 17,446 SF.	10,149 SF. x 1 UNITS = 10,149 SF.	5,760 SF. x 1 UNITS = 5,760 SF.	22,854 SF. x 1 UNITS = 22,854 SF.	3,249 SF. x 1 UNITS = 3,249 SF.
UNIT TYPE	3,240 SF. x 1 UNITS = 3,240 SF.	3,240 SF. x 1 UNITS = 3,240 SF.	3,240 SF. x 1 UNITS = 3,240 SF.	3,240 SF. x 1 UNITS = 3,240 SF.	3,240 SF. x 1 UNITS = 3,240 SF.	3,240 SF. x 1 UNITS = 3,240 SF.	3,240 SF. x 1 UNITS = 3,240 SF.	32,400 SF.
UNIT TYPE	3,267 SF. x 1 UNITS = 3,267 SF.	3,267 SF. x 1 UNITS = 3,267 SF.	3,267 SF. x 1 UNITS = 3,267 SF.	3,267 SF. x 1 UNITS = 3,267 SF.	3,267 SF. x 1 UNITS = 3,267 SF.	3,267 SF. x 1 UNITS = 3,267 SF.	3,267 SF. x 1 UNITS = 3,267 SF.	32,670 SF.
TOTAL								80 UNITS = 152,046 SF. (INCLUDES GARAGE AREAS)

UNIT TYPE	A	B	C	D	E	F	G	TOTAL
UNIT TYPE	3 BDRM	3 BDRM	3 BDRM	3 BDRM	3 BDRM	3 BDRM	3 BDRM	80
UNIT TYPE	A15	A16	A17	A18	A19	A20	A21	80
UNIT TYPE	1,437.6 SF. x 1 UNITS = 1,437.6 SF.	2,154.4 SF. x 1 UNITS = 2,154.4 SF.	10,206 SF. x 1 UNITS = 10,206 SF.	17,446 SF. x 1 UNITS = 17,446 SF.	10,149 SF. x 1 UNITS = 10,149 SF.	5,760 SF. x 1 UNITS = 5,760 SF.	22,854 SF. x 1 UNITS = 22,854 SF.	3,249 SF. x 1 UNITS = 3,249 SF.
UNIT TYPE	3,240 SF. x 1 UNITS = 3,240 SF.	3,240 SF. x 1 UNITS = 3,240 SF.	3,240 SF. x 1 UNITS = 3,240 SF.	3,240 SF. x 1 UNITS = 3,240 SF.	3,240 SF. x 1 UNITS = 3,240 SF.	3,240 SF. x 1 UNITS = 3,240 SF.	3,240 SF. x 1 UNITS = 3,240 SF.	32,400 SF.
UNIT TYPE	3,267 SF. x 1 UNITS = 3,267 SF.	3,267 SF. x 1 UNITS = 3,267 SF.	3,267 SF. x 1 UNITS = 3,267 SF.	3,267 SF. x 1 UNITS = 3,267 SF.	3,267 SF. x 1 UNITS = 3,267 SF.	3,267 SF. x 1 UNITS = 3,267 SF.	3,267 SF. x 1 UNITS = 3,267 SF.	32,670 SF.
TOTAL								80 UNITS = 152,046 SF. (INCLUDES GARAGE AREAS)

REVN	DATE	BY	CHKD	DATE	BY	CHKD

DATE: 11/11/11
 SCALE: 1/8" = 1'-0"
 SHEET: 0014

CLIENT: JOE DHALIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT
 ADDRESS: BARNSTON DRIVE E & ITTA ST., SURREY, B.C.
 DRAWING NO: 11/11/11-0014

barnett dembek
 ARCHITECTS
 7538 136 STREET
 VANCOUVER, B.C. V6P 4R4
 PHONE: (604) 597-7100
 FAX: (604) 597-2059
 EMAIL: info@barnett.com

CLIENT NO: 10014
 PROJECT NO: AC-12
 DRAWING NO: 10014

EXCEPT WHERE SHOWN OTHERWISE, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE CLIENT ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

DEVELOPMENT DATA

GROSS SITE AREA: 212,119 SF. (4.81 AC) (1,917 HA) (14,705.9 SQ.M.)
 SITE COVERAGE: 42.34% (89,814 SF.)
 DENSITY: 31.01 U.P.A., 16.63 U.P.Ha. (151 UNITS)
 F.A.R. 1.05 (202,419 SF.) INCLUDES ALL OF EXISTING & TOWNHOUSE
 AMENITY SPACE: INDOOR: 2,905 SF.
 OUTDOOR: 5,169 SF.

BICYCLE STORAGE CONDO #1:
 REQUIRED: 1.2 SPACES/UNIT x 71 UNITS = 85 STALLS
 PROVIDED: 115 BICYCLE STORAGE SPACES

PARKING:
 REQUIRED CONDO #1:
 RESIDENTIAL: 1 BED 1.9 x 41 = 59.3 SPACES
 VISITOR: 2 BED + 1.5 x 30 = 45.0 SPACES
 TOTAL: 71 UNITS x 0.2 = 14.2 SPACES
 112.5 SPACES

PROVIDED CONDO #1:
 RESIDENTIAL: 94 SPACES
 VISITOR: 19 SPACES
 TOTAL: 113 SPACES

REQUIRED TOWNHOUSE:
 RESIDENTIAL: 80 UNITS x 2 = 160 SPACES
 VISITOR: 80 UNITS x 0.2 = 16 SPACES
 TOTAL: 176 SPACES

PROVIDED TOWNHOUSE:
 RESIDENTIAL: 160 SPACES
 VISITOR: 14 SPACES
 TOTAL: 174 SPACES

CONTRACTOR: ALL RECORDS ARE THE PROPERTY OF THE ARCHITECT AND SHALL REMAIN HIS OR HER PROPERTY. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

DATE	BY	REVISION

DESIGN	DATE	SCALE	W/S

CLIENT: JOE DHALIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
 BARSTON DRIVE E & 177A ST, SURREY, B.C.
 SHEET CONTENTS: TOWNHOUSE STATISTICS
 DATE:

barnett dembek
 UNIT 135, STREET VISION, SURREY, B.C.
 PHONE: (604) 597-7100
 FAX: (604) 597-2059
 EMAIL: mail@barnettdembek.com

PROJECT NO: AC-11
 SHEET NO: 10029A



CONCEPTUAL SITE PLAN
 SCALE: 1/8" = 1'-0"

UNIT BREAKDOWN (CONDO #1)

UNIT TYPE A	1 BDRM	604 SF. x 31 UNITS =	18,724 SF.
UNIT TYPE A1	1 BDRM	712 SF. x 1 UNITS =	712 SF.
UNIT TYPE A2	1 BDRM	546 SF. x 1 UNITS =	546 SF.
UNIT TYPE A3	1 BDRM	719 SF. x 1 UNITS =	719 SF.
UNIT TYPE A4	1 BDRM	666 SF. x 1 UNITS =	666 SF.
UNIT TYPE A5	1 BDRM	791 SF. x 2 UNITS =	1,582 SF.
UNIT TYPE A6	2 BDRM	475 SF. x 1 UNITS =	475 SF.
UNIT TYPE B	2 BDRM	844 SF. x 8 UNITS =	6,752 SF.
UNIT TYPE B1	2 BDRM	1,239 SF. x 4 UNITS =	4,956 SF.
UNIT TYPE B2	2 BDRM	463 SF. x 4 UNITS =	1,852 SF.
UNIT TYPE B3	2 BDRM	1,344 SF. x 2 UNITS =	2,688 SF.
UNIT TYPE B4	3 BDRM	1,711 SF. x 1 UNITS =	1,711 SF.
UNIT TYPE C	3 BDRM	1,344 SF. x 1 UNITS =	1,344 SF.
UNIT TYPE C1	3 BDRM	1,680 SF. x 1 UNITS =	1,680 SF.
UNIT TYPE C2	3 BDRM	1,548 SF. x 1 UNITS =	1,548 SF.
UNIT TYPE C3	1 BDRM	741 SF. x 1 UNITS =	741 SF.
UNIT TYPE D	2 BDRM	1,021 SF. x 1 UNITS =	1,021 SF.
UNIT TYPE E	4 BDRM	1,724 SF. x 1 UNITS =	1,724 SF.
UNIT TYPE F	2 BDRM	823 SF. x 1 UNITS =	823 SF.
UNIT TYPE G	3 BDRM	1,431 SF. x 1 UNITS =	1,431 SF.
UNIT TYPE H	1 BDRM	714 SF. x 1 UNITS =	714 SF.
UNIT TYPE I	2 BDRM	1,093 SF. x 1 UNITS =	1,093 SF.
UNIT TYPE J	1 BDRM	1,026 SF. x 1 UNITS =	1,026 SF.
UNIT TYPE K	2 BDRM	686 SF. x 1 UNITS =	686 SF.
UNIT TYPE L	1 BDRM	919 SF. x 1 UNITS =	919 SF.
UNIT TYPE M	2 BDRM	814 SF. x 1 UNITS =	814 SF.
UNIT TYPE N	2 BDRM		
UNIT TYPE P	2 BDRM		
TOTAL		71 UNITS =	54,289 SF.

(EXCLUDES COMMON AREAS)

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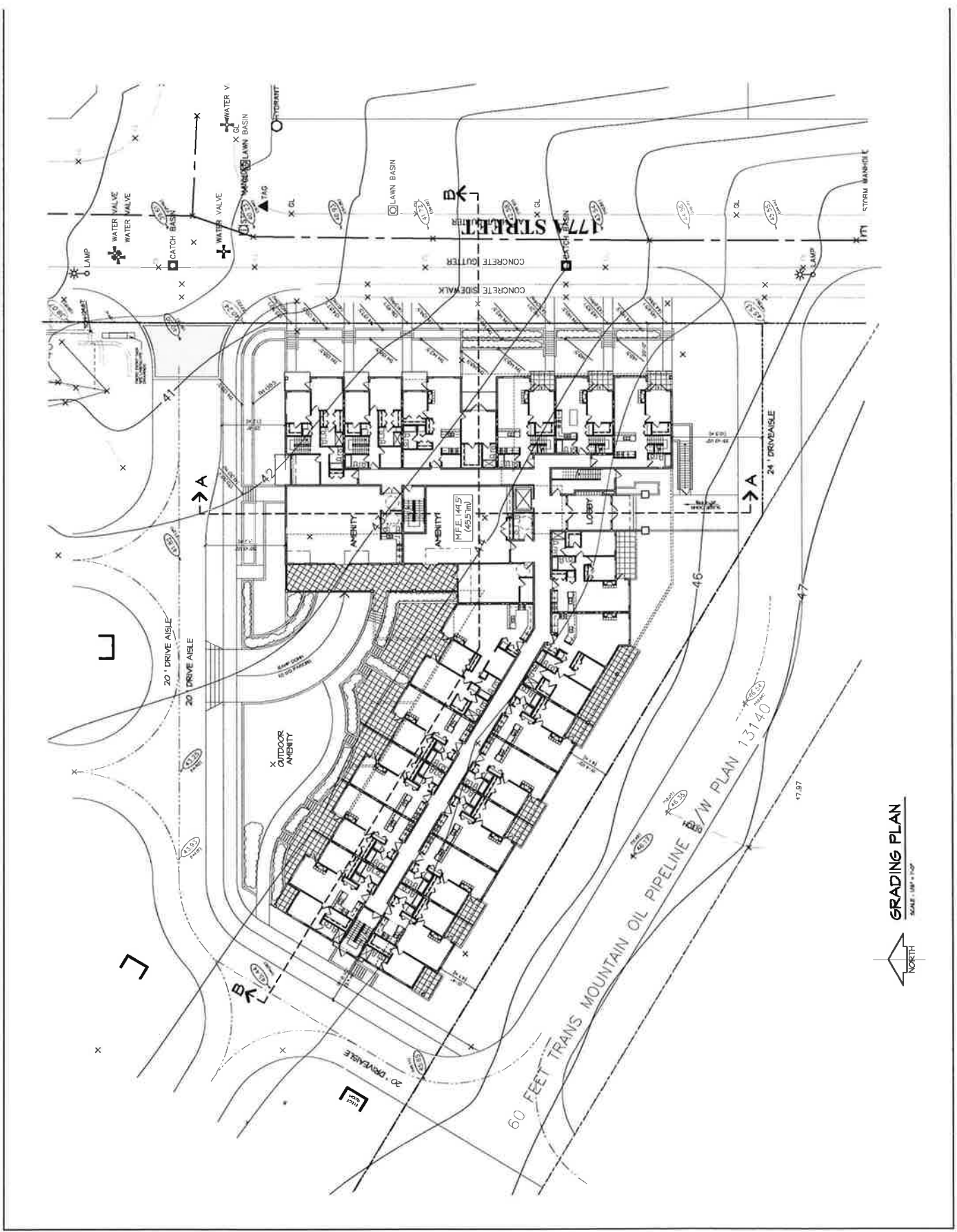
REV	DATE	BY	CHKD	DESC



CLIENT: JOE DHALLIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
 BAYNSTON DRIVE E & 177A ST, SURREY, B.C.
 SHEET CONTENTS:
 GRADING PLAN
 SCALE: 1" = 10'-0"
 DATE: July 31, 2010
 DESIGN: [unintelligible]
 DRAWN: [unintelligible]

barnett dembek
 ARCHITECTURE LTD.
 UNIT 125, 135 STREET 1
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2699
 EMAIL: info@barnettdembek.com

CURRY NO. AC-12
 PROJECT NO. 10034



GRADING PLAN
 SCALE: 1/8" = 1'-0"

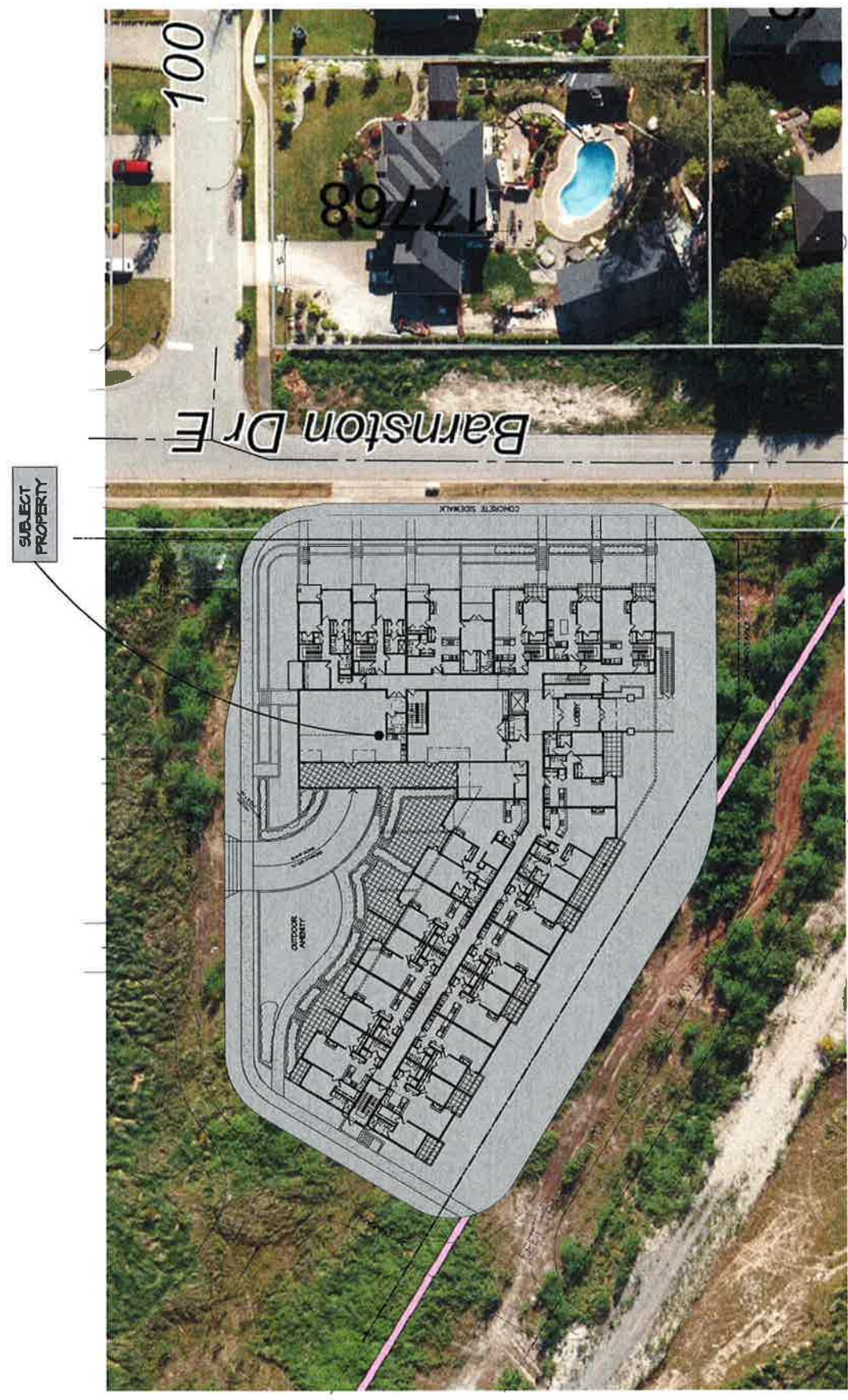
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REV	DATE	BY	REASON FOR

CLIENT: JOE DHALIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
 BARNSTON DRIVE E. & 117A ST., SURREY, B.C.
 SHEET CONTENTS:
 CONTEXT PLAN
 SCALE: 1/8" = 1'-0"
 DATE: 11/15/11
 DRAWN: [Name]
 L.S.: [Name]
 O.S.: [Name]

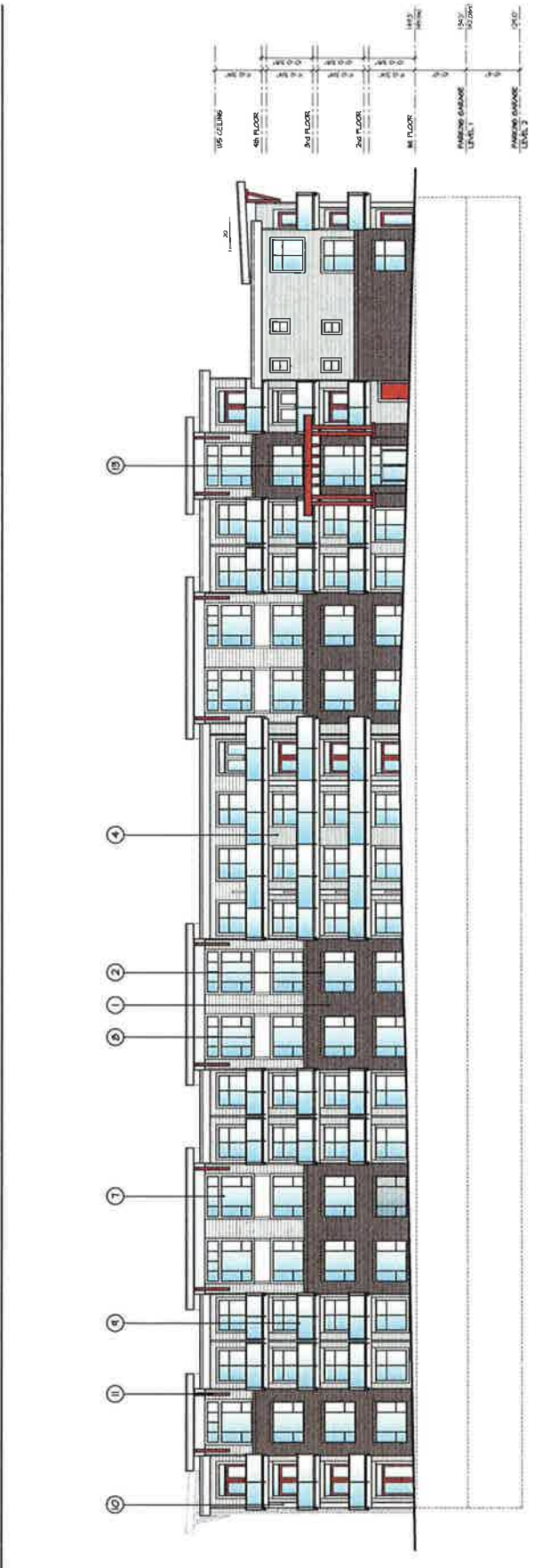
PROJECT NO.	SHEET NO.	REV. NO.
10034	AC-13	

barnett dembek
 ARCHITECTS LTD. INC.
 UNIT 135, 555 STREET
 SURREY, B.C.
 VOW 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2059
 EMAIL: mail@barnett.com

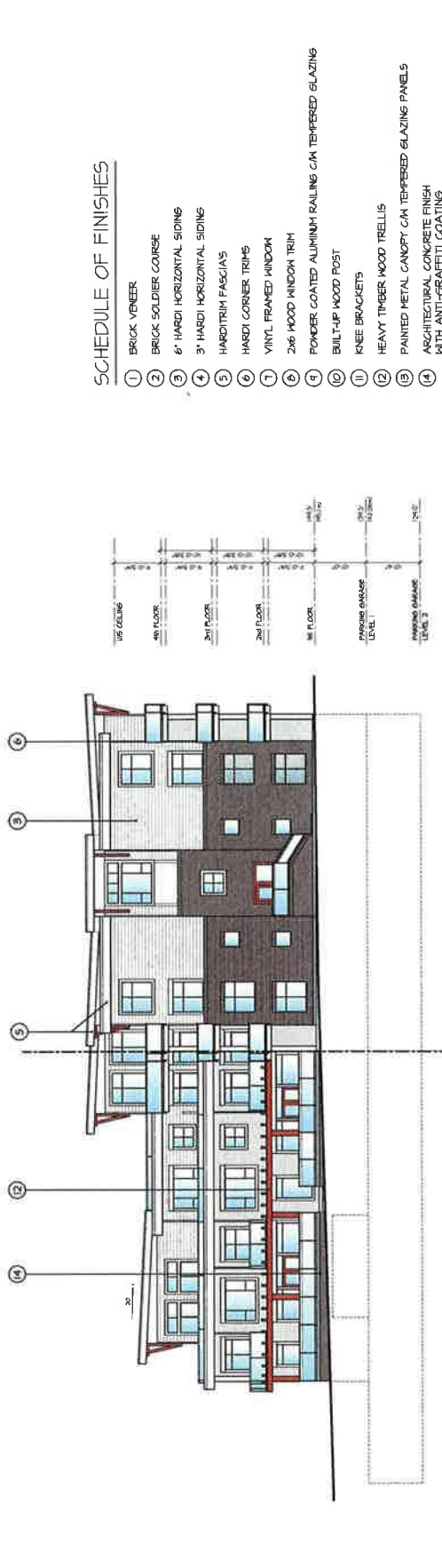


CONTEXT PLAN
 SCALE: 1/8" = 1'-0"

DESIGN	DATE	BY	SCALE	APPROVED FOR CONSTRUCTION BY: [Signature] PROJECT ARCHITECT: [Signature] [Signature] PROJECT ARCHITECT: [Signature] [Signature] PROJECT ARCHITECT: [Signature] [Signature] PROJECT ARCHITECT: [Signature] [Signature] PROJECT ARCHITECT: [Signature] [Signature] PROJECT ARCHITECT: [Signature] [Signature] PROJECT ARCHITECT: [Signature] [Signature] PROJECT ARCHITECT: [Signature]
DESIGN	DATE	BY	SCALE	
DESIGN	DATE	BY	SCALE	
DESIGN	DATE	BY	SCALE	



SOUTH ELEVATION
SCALE 3/32" = 1'-0"



WEST ELEVATION
SCALE 3/32" = 1'-0"

SCHEDULE OF FINISHES

- 1 BRICK VENEER
- 2 BRICK SOLDIER COURSE
- 3 6" HARDI HORIZONTAL SIDING
- 4 3" HARDI HORIZONTAL SIDING
- 5 HARDITRIM FASCIA'S
- 6 HARDI CORNER TRIMS
- 7 VINYL FRAMED WINDOW
- 8 2x6 WOOD WINDOW TRIM
- 9 POWDER COATED ALUMINUM RAILING ON TEMPERED GLAZING
- 10 BUILT-UP WOOD POST
- 11 KNEE BRACKETS
- 12 HEAVY TIMBER WOOD TRELLIS
- 13 PAINTED METAL CANOPY ON TEMPERED GLAZING PANELS
- 14 ARCHITECTURAL CONCRETE FINISH WITH ANTI-GRAFFITI COATING

CLIENT	JOE DYALIMVAL
PROJECT	RESIDENTIAL DEVELOPMENT - CONDO #1
ADDRESS	BARSTON DRIVE E & 17A ST. SURREY, B.C.
DATE	JAN 11
SCALE	3/32" = 1'-0"
BUILDING ELEVATIONS	
DESIGN	DATE
DATE	BY
SCALE	BY

barnett dembek
 ARCHITECTS LTD.
 UNIT 105
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H6
 PHONE: (604) 597-7100
 FAX: (604) 597-7101
 WWW: www.barnett-dembek.com
 EMAIL: info@barnett.com

CLIENT	SHEET NO.
PROJECT NO.	AC-42
100354	REV. NO.

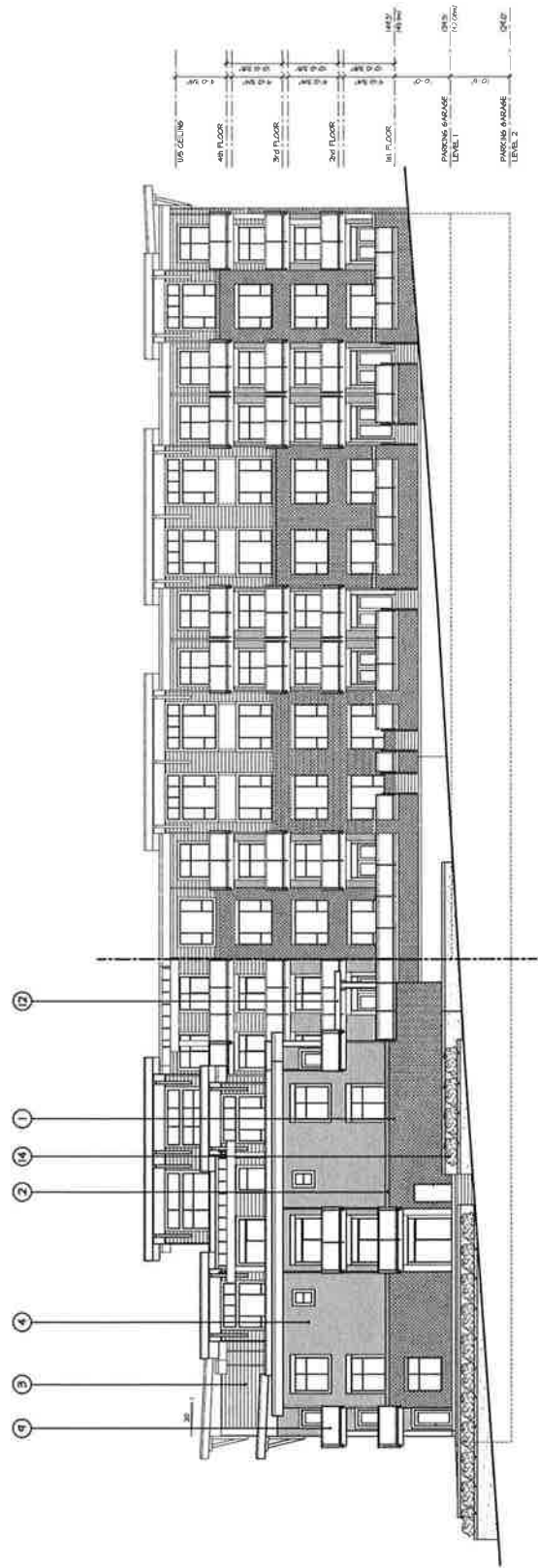
REV	DATE	BY	REASON

CLIENT: JOE CHALWAL
 PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
 BARGENTON DRIVE E & 11TH ST., SURREY, B.C.
 SHEET NO: AC-41
 REV. NO: 10034

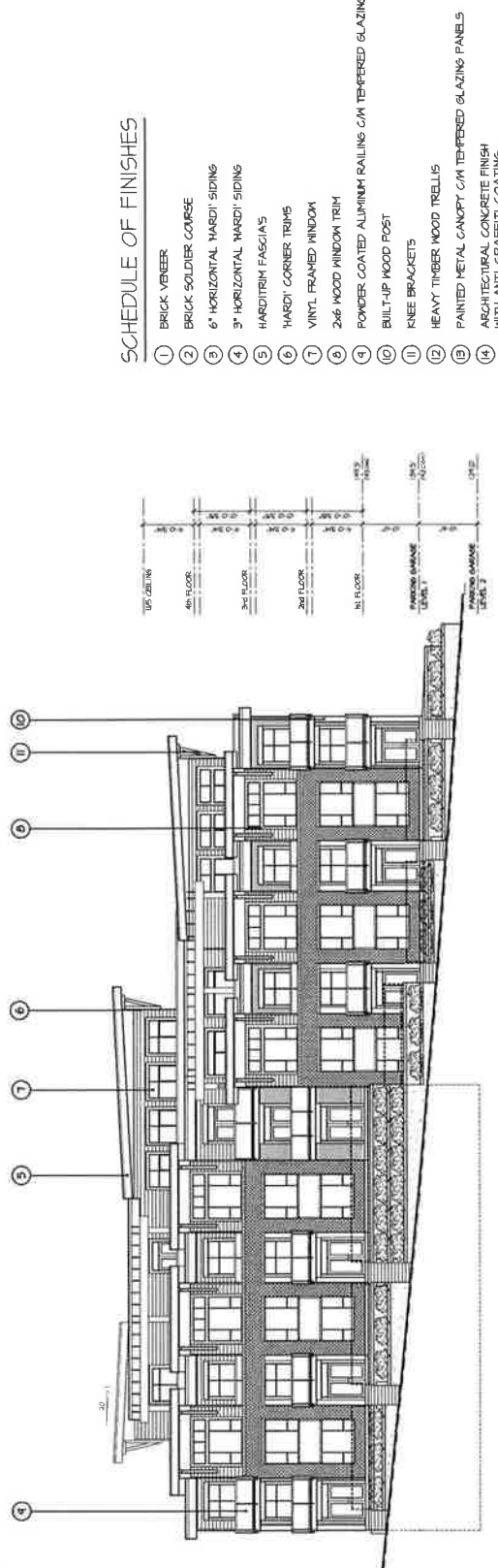
CLIENT	JOE CHALWAL
PROJECT	RESIDENTIAL DEVELOPMENT - CONDO #1
ADDRESS	BARGENTON DRIVE E & 11TH ST., SURREY, B.C.
SHEET NO.	AC-41
REV. NO.	10034

barnett dembek
 UNIT 135, 7535 130 STREET, VANICU, B.C. V0M 1T6
 PHONE: (604) 697-7100
 FAX: (604) 697-2099
 EMAIL: mail@barnettdembek.com

CLIENT	JOE CHALWAL
PROJECT	RESIDENTIAL DEVELOPMENT - CONDO #1
SHEET NO.	AC-41
REV. NO.	10034



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

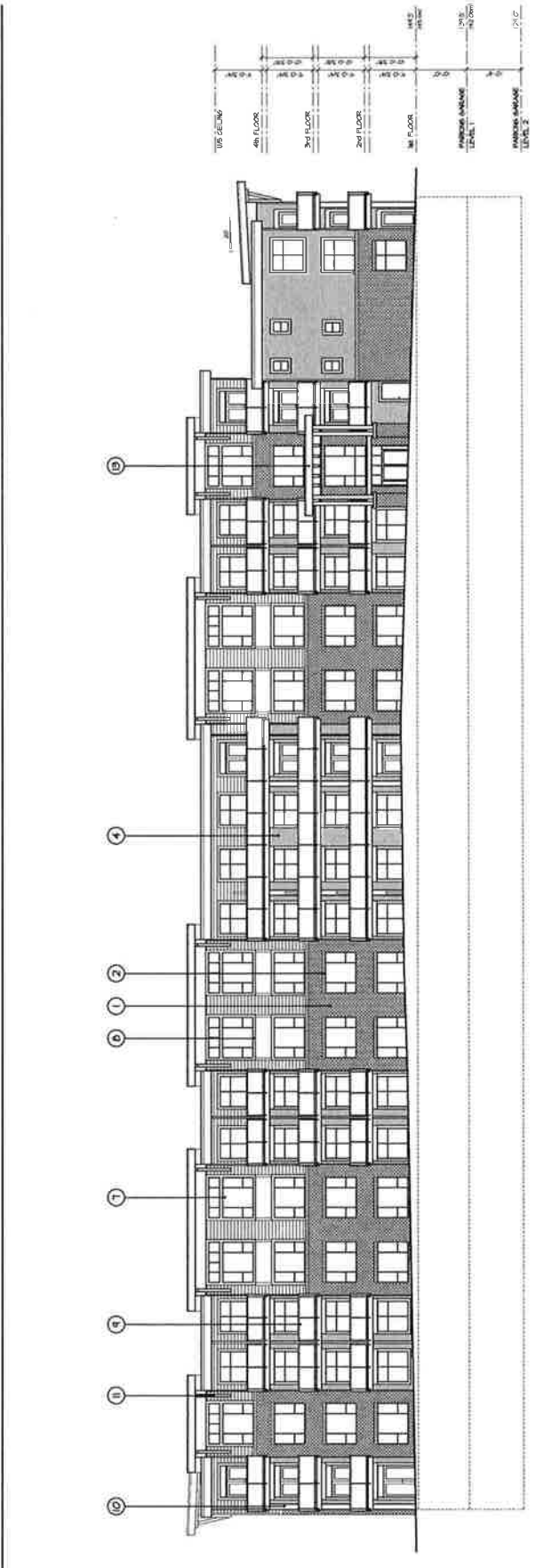


EAST ELEVATION
 SCALE: 1/8" = 1'-0"

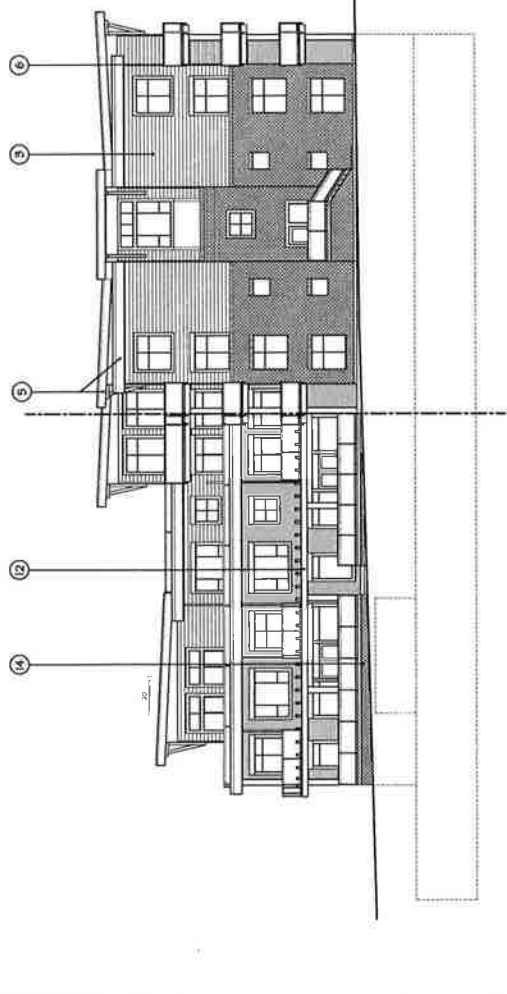
SCHEDULE OF FINISHES

- 1 BRICK VENEER
- 2 BRICK SOLDIER COURSE
- 3 6" HORIZONTAL HARDY SIDING
- 4 3" HORIZONTAL HARDY SIDING
- 5 HARDY TRIM FASCIA
- 6 HARDY CORNER TRIMS
- 7 VINYL FRAMED WINDOW
- 8 2x6 WOOD WINDOW TRIM
- 9 POWDER COATED ALUMINUM RAILING C/M TEMPERED GLAZING
- 10 BUILT-UP WOOD POST
- 11 KNEE BRACKETS
- 12 HEAVY TIMBER WOOD TRELIS
- 13 PAINTED METAL CANOPY C/M TEMPERED GLAZING PANELS
- 14 ARCHITECTURAL CONCRETE FINISH WITH ANTI-GRAFFITI COATING

DESCRIPTION	QUANTITY	UNIT	DATE	BY	CSG/ED/PM



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① BRICK VENEER
- ② BRICK SOLDIER COURSE
- ③ 6" HORIZONTAL HARDY SIDING
- ④ 3" HORIZONTAL HARDY SIDING
- ⑤ HARDY CORNER TRIMS
- ⑥ HARDY CORNER TRIMS
- ⑦ VINYL FRAMED WINDOW
- ⑧ 2x6 WOOD WINDOW TRIM
- ⑨ POWDER COATED ALUMINUM RAILING 6x4 TEMPERED GLAZING
- ⑩ BUILT-UP WOOD POST
- ⑪ KNEE BRACKETS
- ⑫ HEAVY TIMBER WOOD TRELIS
- ⑬ PAINTED METAL CANOPY 6x4 TEMPERED GLAZING PANELS
- ⑭ ARCHITECTURAL CONCRETE FINISH WITH ANTI-GRAFFITI COATING

DATE: JUN 10 2010
SCALE: 1/8" = 1'-0"

CLIENT: JOE DHALIWAL
PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
DRAWN BY: [blank]
DATE: JUN 10 2010
SCALE: 1/8" = 1'-0"

BUILDINGS ELEVATIONS

barnett dembek
ARCHITECTS

UNIT 135, 137, 139 STREET 1, 2, 3
7206 130 STREET S.C.
VICTORIA B.C. V8M 1H8
PHONE: (250) 597-7100
FAX: (250) 597-2088
EMAIL: info@barnett-dem-bek.com

SHEET NO: AC-4.2
PROJECT NO: 10034

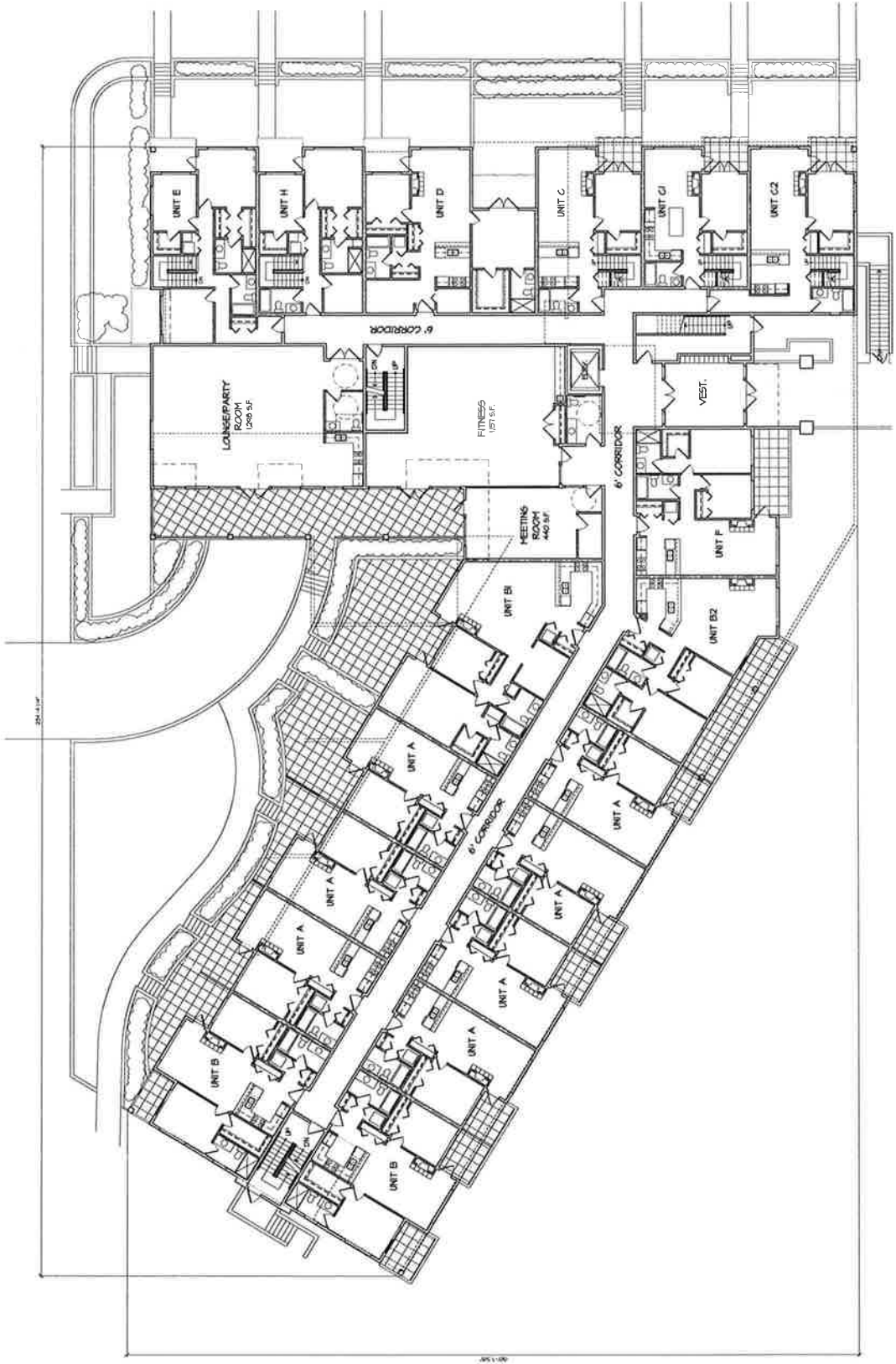
REV#	DATE	BY	CHKD	REASON

DESIGN :	JOE CHALWAL
L.I.P. :	
DATE :	
SCALE :	1/8" = 1'-0"
PROJECT :	RESIDENTIAL DEVELOPMENT - CONDO IN BARRINGTON DRIVE E. & 177A ST. SURREY, B.C.
SHEET CONTENTS :	FIRST FLOOR PLAN

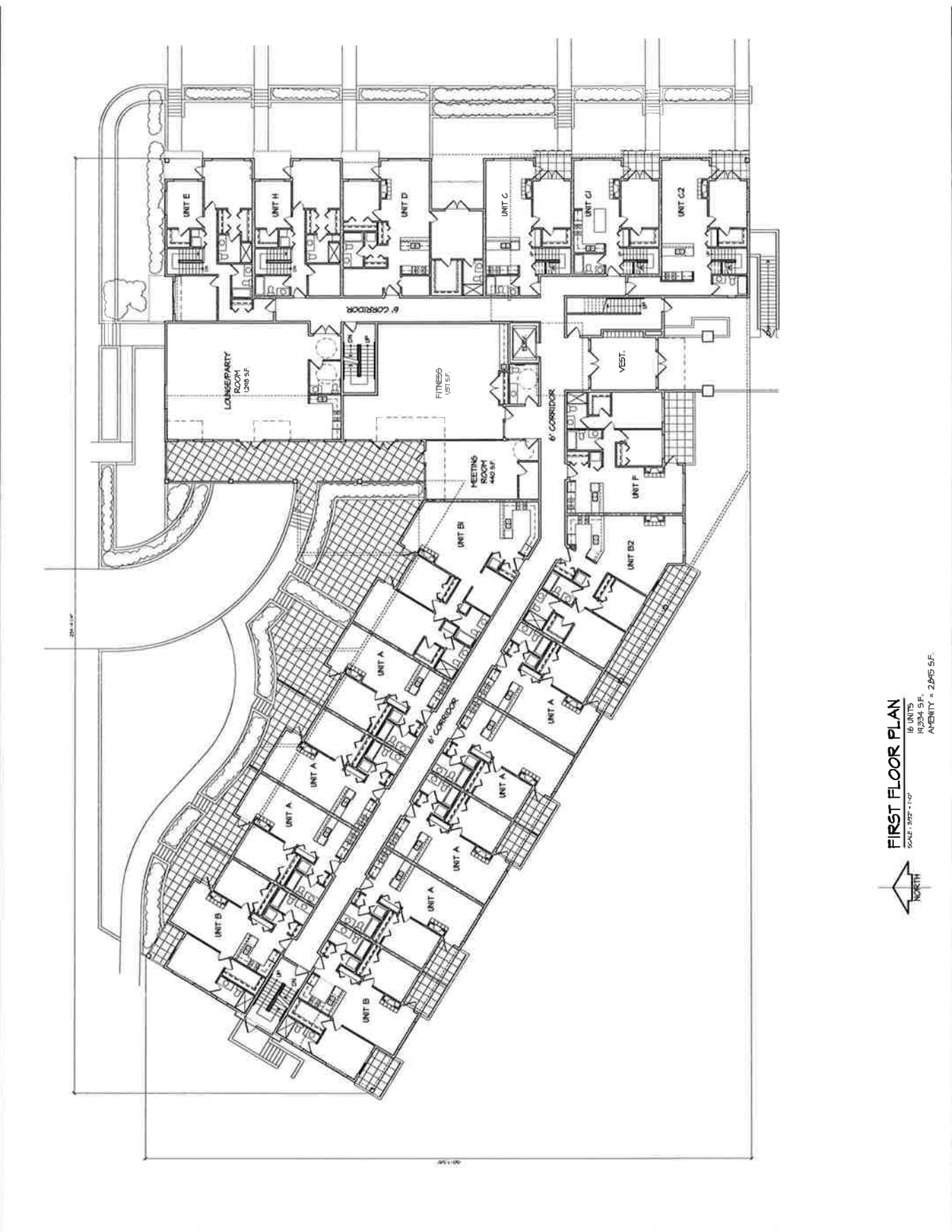
CUSTOMER :	
------------	--

CLIENT :	JOE CHALWAL
PROJECT :	RESIDENTIAL DEVELOPMENT - CONDO IN BARRINGTON DRIVE E. & 177A ST. SURREY, B.C.
SHEET CONTENTS :	FIRST FLOOR PLAN
SCALE :	1/8" = 1'-0"
L.I.P. :	
DATE :	
DESIGN :	

UNIT 1351 7536 130 STREET, S.C. VAN VU 116	barnett dembek ARCHITECTS & ENGINEERS
PHONE : (604) 877-7100 FAX : (604) 877-2099 EMAIL : mtd@barnett-dembek.com	CLIENT No. : AC-33 PROJECT No. : 10004 REV. No. :



FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 16 UNITS
 45204 SF
 AREA = 2345 SF



CLIENT: JOE CHALIVAL
 PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
 BARNSTON DRIVE E & 177A ST., SURREY, B.C.
 SHEET CONTENTS:
 SHEET NO. AC-34
 REV. NO. 10034

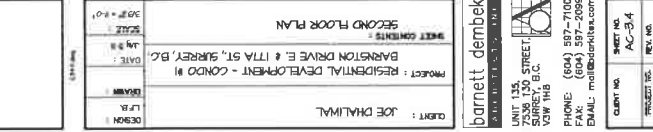
REV#	DATE	BY	REASON FOR

DESIGN
 L.P.R.
 DRAWN
 M.G.H.
 SCALE
 1/8" = 1'-0"

CLIENT: JOE CHALIVAL
 PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
 BARNSTON DRIVE E & 177A ST., SURREY, B.C.
 SHEET CONTENTS:
 SHEET NO. AC-34
 REV. NO. 10034

UNIT 135
 7536 130 STREET
 SURREY, B.C.
 V3W 1Y6
 PHONE (604) 897-7100
 FAX (604) 897-2099
 EMAIL: mcd@barnstone.com

UNIT 135
 7536 130 STREET
 SURREY, B.C.
 V3W 1Y6
 PHONE (604) 897-7100
 FAX (604) 897-2099
 EMAIL: mcd@barnstone.com



SECOND FLOOR PLAN
 14 UNITS
 14,250 SF.
 SCALE: 1/8" = 1'-0"



10034

OWNER: JOE DHALIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
 BARSTON DRIVE E & 177A ST, SURREY, B.C.
 SHEET CONTENTS:
 THIRD FLOOR PLAN
 2007.10.01
 DATE: 10/01/07
 DRAWN BY: [blank]
 CHECKED BY: [blank]

REV	DATE	BY	REASON

OWNER: [blank]

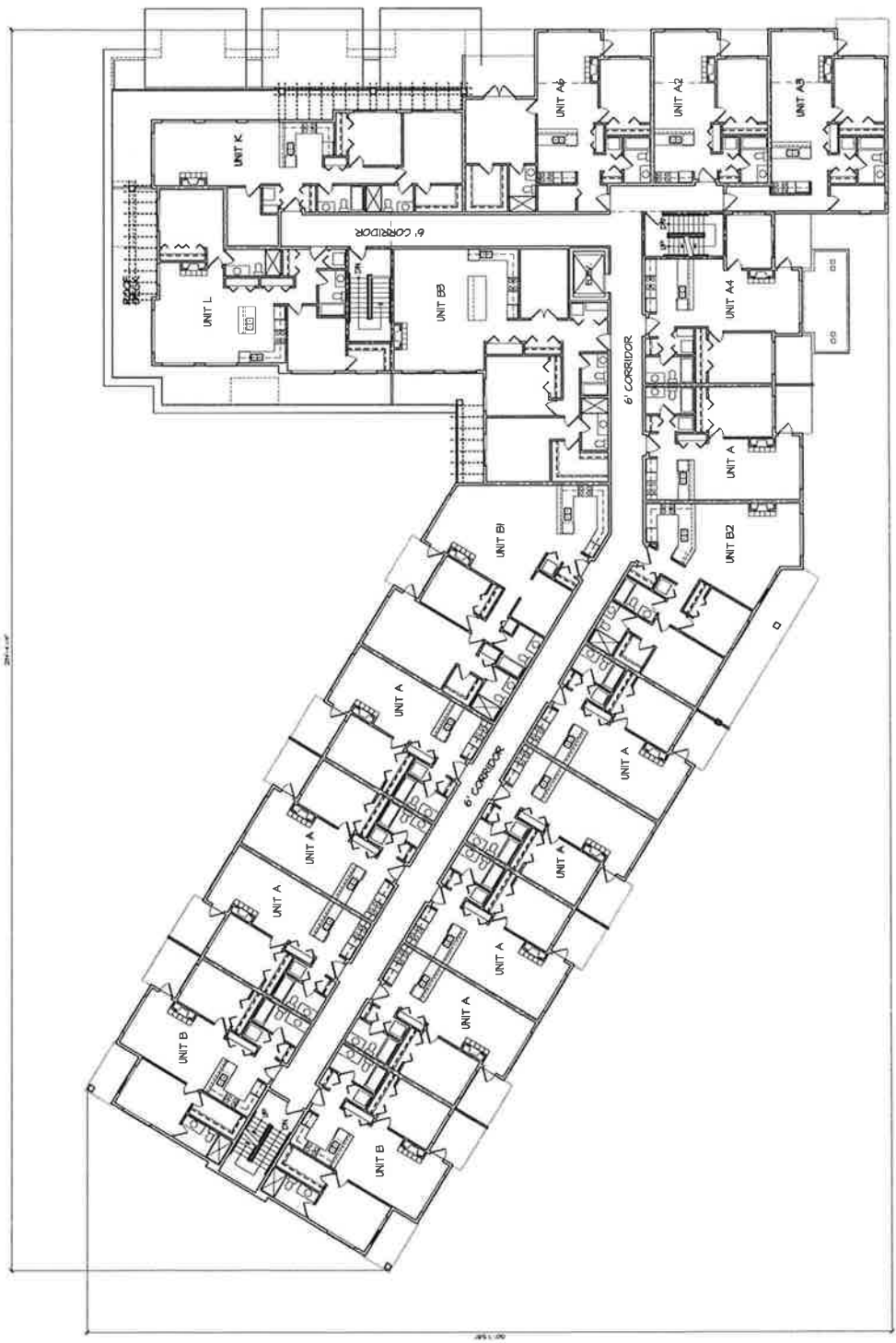
CLIENT: JOE DHALIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
 BARSTON DRIVE E & 177A ST, SURREY, B.C.
 SHEET CONTENTS:
 THIRD FLOOR PLAN
 2007.10.01
 DATE: 10/01/07
 DRAWN BY: [blank]
 CHECKED BY: [blank]

barnett dembek
 ARCHITECTS
 1011 161 ST
 SURREY, B.C. V3V 1H6
 PHONE: (604) 597-7100
 FAX: (604) 597-2059
 EMAIL: mail@barnett.com

UNIT 135,
 7206 129 STREET
 SURREY, B.C.
 V3W 1H6

PHONE: (604) 597-7100
 FAX: (604) 597-2059
 EMAIL: mail@barnett.com

SHEET NO.
 AC-25
 PROJECT NO.
 10024
 REV. NO.
 [blank]



THIRD FLOOR PLAN
 SCALE: 3/32" = 1'-0"
 14 UNITS
 11,504 SF.



1. ALL ROOMS ARE TO BE FINISHED TO THE STANDARD OF WORK SHOWN ON THESE PLANS AND SHALL BE IN ACCORDANCE WITH THE BUILDING CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

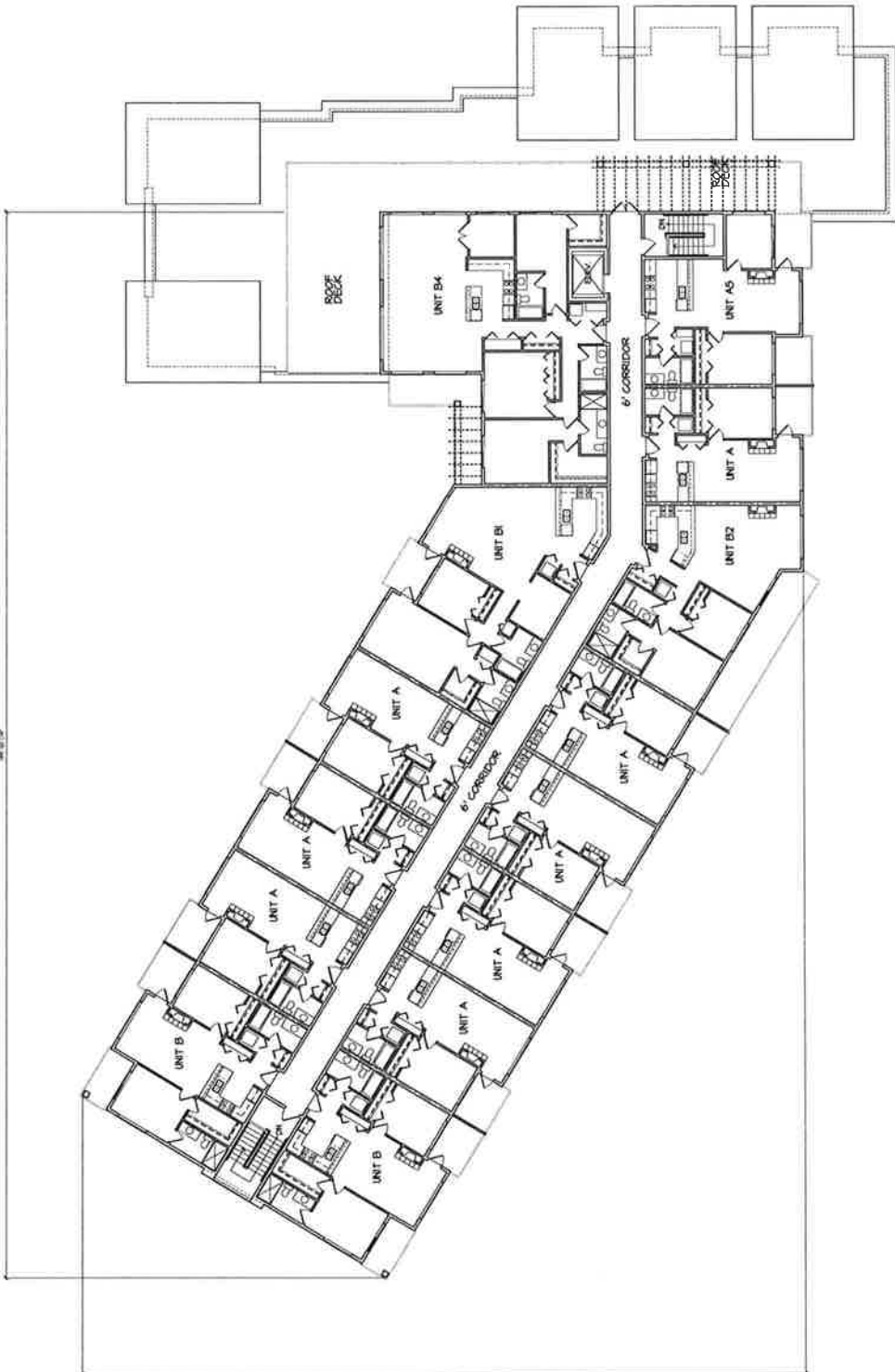
REV	DATE	BY	REASON FOR REV.

DESIGN: JOE CHAUHAN
 DRAWN: [Blank]
 DATE: 2022-09-15
 SCALE: 1/8" = 1'-0"

CLIENT: JOE CHAUHAN
 PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
 BARRINGTON DRIVE E & 177A ST., SURREY, B.C.
 SHEET CONTENTS:
 FOURTH FLOOR PLAN

barnett dembek
 2100 125 STREET
 SUITE 120
 SURREY, B.C.
 V3W 1R5
 PHONE: (604) 897-7100
 FAX: (604) 897-8099
 EMAIL: info@barnettdembek.com

UNIT NO.: AC-316
 REV. NO.: 10034



FOURTH FLOOR PLAN
 14 UNITS
 12,744 SF.
 SCALE: 3/32" = 1'-0"

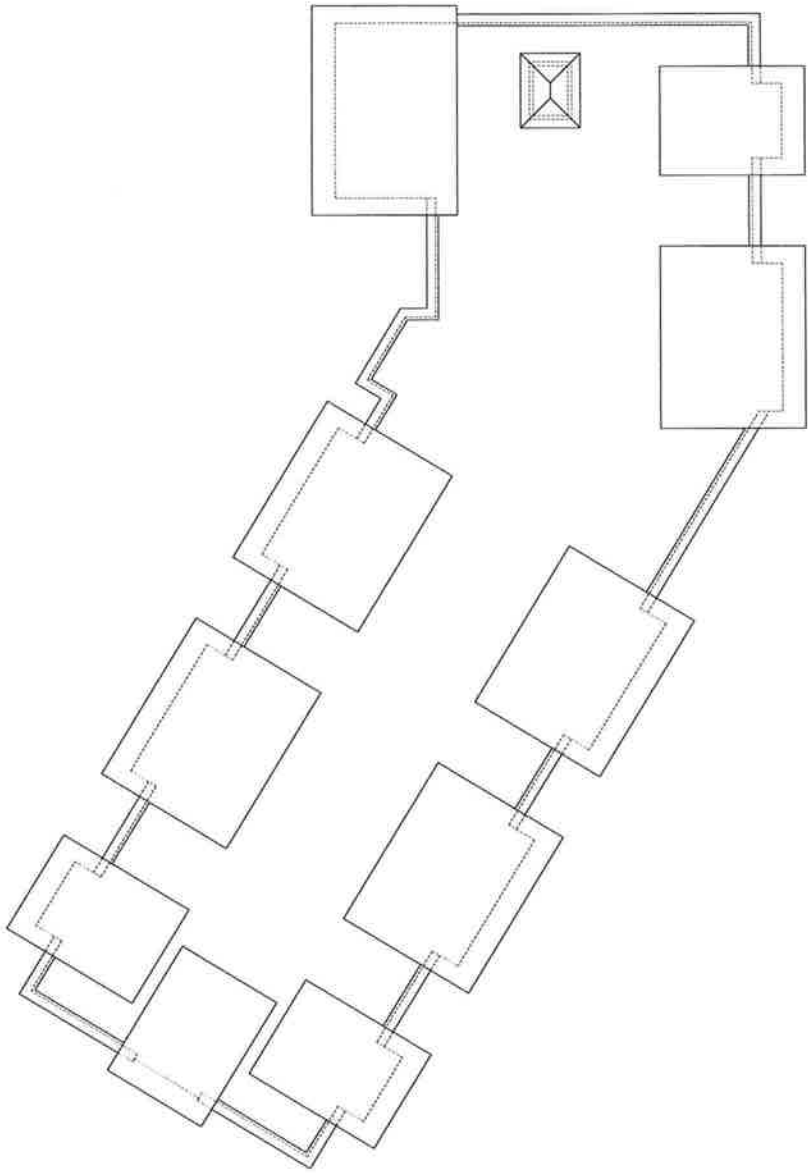
REV	DATE	BY	CHKD	DESCRIPTION



CLIENT: JOE CHALIVAL
 PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
 BARGTON DRIVE E & 177A ST, SURREY, B.C.
 SHEET CONTENTS:
 ROOF PLAN
 105' x 140'

barnett dembek
 ARCHITECTS LTD. INC.
 UNIT 103, 3300 STREET
 2500
 VANCOUVER, B.C.
 V6M 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@barnett.com

CLIENT NO: AC-37
 PROJECT NO: 10034
 SHEET NO: REV. NO.



ROOF PLAN
 SCALE: 1/8" = 1'-0"
 NORTH

CLIENT: JOE DHALIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
 BARSTON DRIVE E & 177A ST., SURREY, B.C.
 SHEET COMMENTS:
 PARKING GARAGE LEVEL 1 PLAN
 SCALE: 1/8" = 1'-0"
 DATE: MAY 25, 2022
 DRAWN: [Redacted]
 DESIGNED: [Redacted]

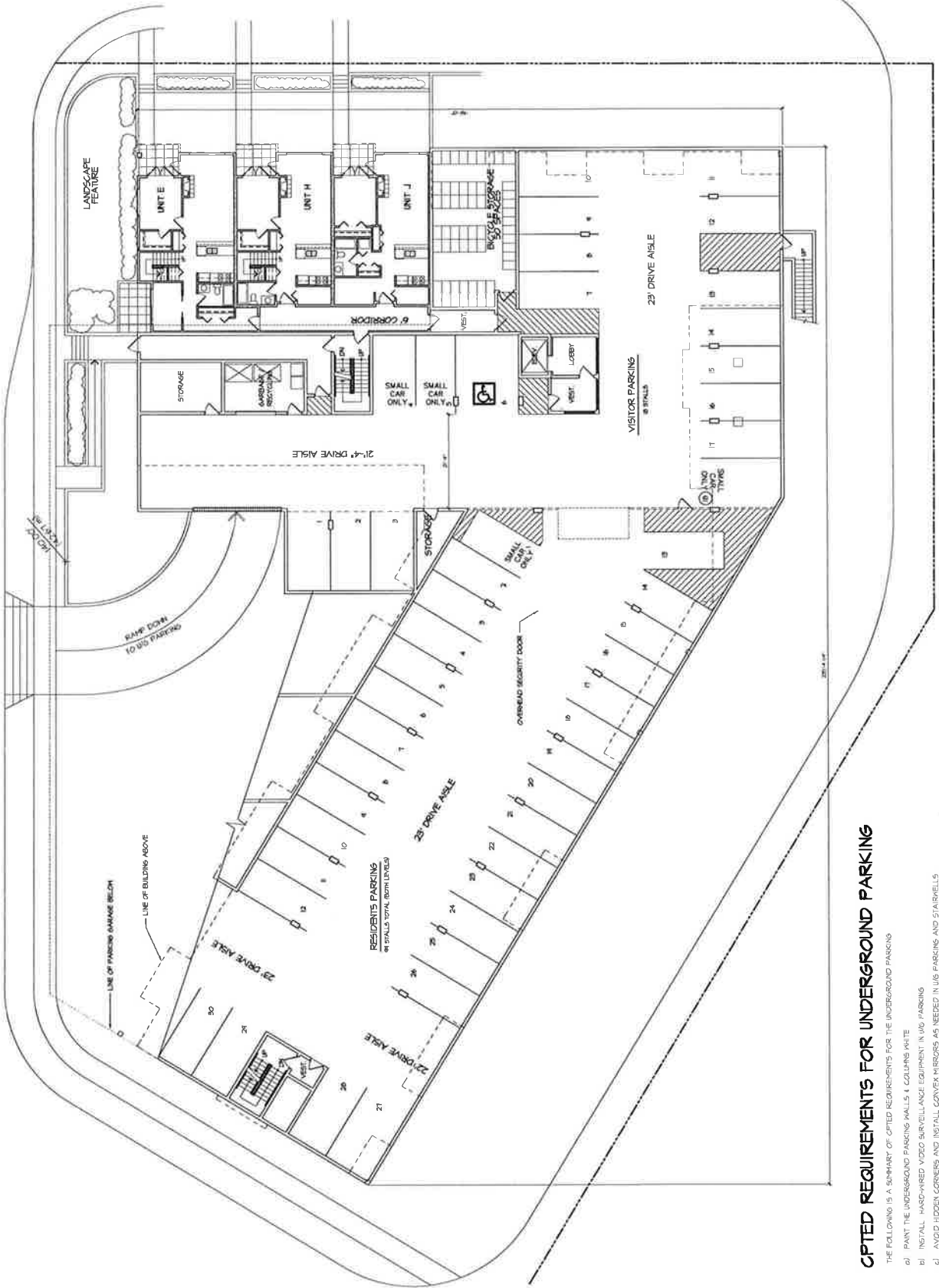
NO.	DATE	BY	REASON

COMPONENT: ALL WORKING AND NOT BEING CARRIED OVER TO THE NEXT SHEET. THIS SHEET IS TO BE USED AS A REFERENCE ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE GIVEN TO THE CENTERLINE OF WALLS UNLESS OTHERWISE NOTED. DIMENSIONS ARE GIVEN TO THE CENTERLINE OF WALLS UNLESS OTHERWISE NOTED. DIMENSIONS ARE GIVEN TO THE CENTERLINE OF WALLS UNLESS OTHERWISE NOTED.

CLIENT: JOE DHALIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
 BARSTON DRIVE E & 177A ST., SURREY, B.C.
 SHEET COMMENTS:
 PARKING GARAGE LEVEL 1 PLAN
 SCALE: 1/8" = 1'-0"
 DATE: MAY 25, 2022
 DRAWN: [Redacted]
 DESIGNED: [Redacted]

UNIT 1331
 7536 130 STREET
 VANCOUVER, B.C.
 V6M 1Y8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@beddell.ca

CURT NO. AC-3-2
 PLANET NO. 10034
 REV. NO.



OPTED REQUIREMENTS FOR UNDERGROUND PARKING

- THE FOLLOWING IS A SUMMARY OF OPTED REQUIREMENTS FOR THE UNDERGROUND PARKING
- a) PAINT THE UNDERGROUND PARKING WALLS & COLLARS WHITE
 - b) INSTALL HAND-HELD VIDEO SURVEILLANCE EQUIPMENT IN UG PARKING
 - c) AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED IN UG PARKING AND STAIRWELLS
 - d) PROVIDE VISION PANELS IN ALL DOORS IN UG PARKING LEADING TO PUBLICLY ACCESSIBLE AREAS
 - e) ELEVATOR LOBBY IN UG PARKING AREA SHOULD BE GLAZED TO PERMIT NATURAL SURVEILLANCE
 - f) ENSURE ADEQUATE LIGHTING THROUGHOUT THE UG PARKING
 - g) PROVIDE ROUGH SURFACE FINISH ON RAMP TO DETER SKATEBOARDERS

PARKING GARAGE LEVEL 1
 SCALE: 1/8" = 1'-0"
 3 UNITS
 3 DOCS SF.

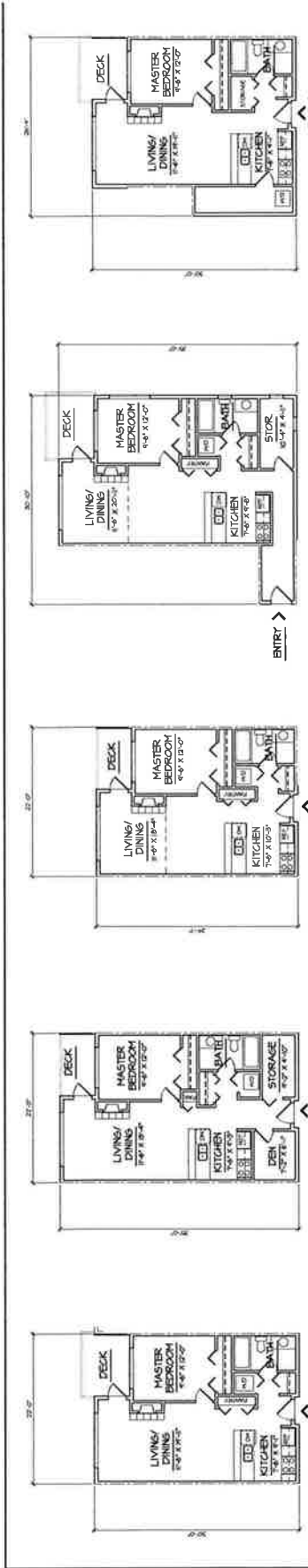


NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC

DESIGN :	UNIT PLANS
DATE :	10/11/11
SCALE :	1/8" = 1'-0"
BY :	J. DEMBEK
CHECKED :	J. DEMBEK

CLIENT : JOE DHALIWAL
 PROJECT : RESIDENTIAL DEVELOPMENT - CONDO #1
 BAYVIEW DRIVE E & 174A ST, SURREY, B.C.
 SHEET CONTAINS : UNIT PLANS

barnett dembek
 ARCHITECTS
 2500 136 STREET
 VANCOUVER, B.C. V6M 1S6
 PHONE: (604) 597-7100
 FAX: (604) 597-2059
 EMAIL: mail@barnett.com



UNIT A | 1 BEDROOM | 604 SF. SCALE: 1/8" = 1'-0"

UNIT A1 | 1 BEDROOM & DEN | 712 SF. SCALE: 1/8" = 1'-0"

UNIT A2 | 1 BEDROOM | 596 SF. SCALE: 1/8" = 1'-0"

UNIT A3 | 1 BEDROOM | 775 SF. SCALE: 1/8" = 1'-0"

UNIT A4 | 1 BEDROOM | 666 SF. SCALE: 1/8" = 1'-0"

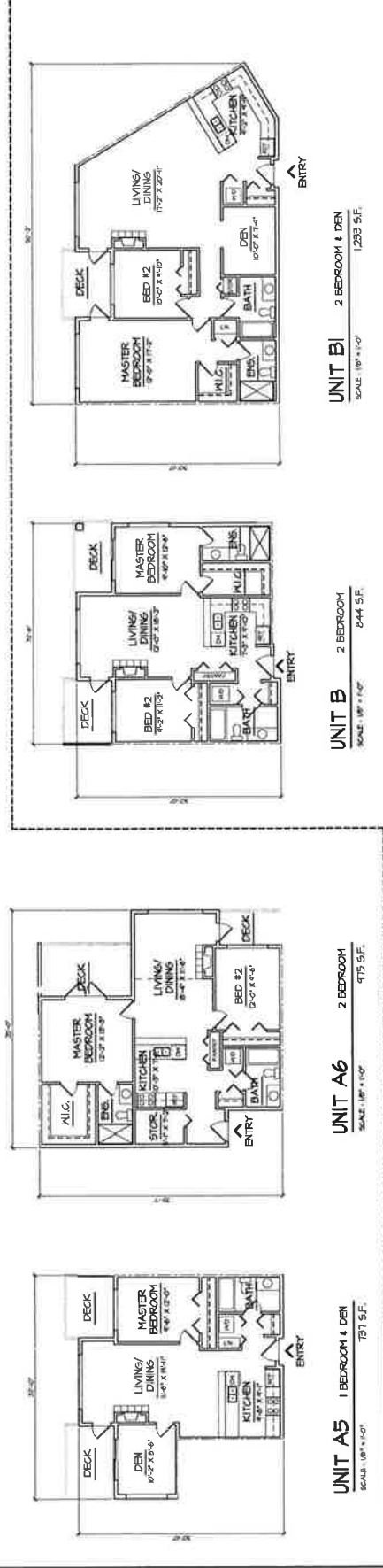
UNIT B | 2 BEDROOM | 844 SF. SCALE: 1/8" = 1'-0"

UNIT B1 | 2 BEDROOM & DEN | 1233 SF. SCALE: 1/8" = 1'-0"

UNIT B3 | 2 BEDROOM & DEN | 1244 SF. SCALE: 1/8" = 1'-0"

UNIT B4 | 3 BEDROOM & DEN | 1717 SF. SCALE: 1/8" = 1'-0"

UNIT B6 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

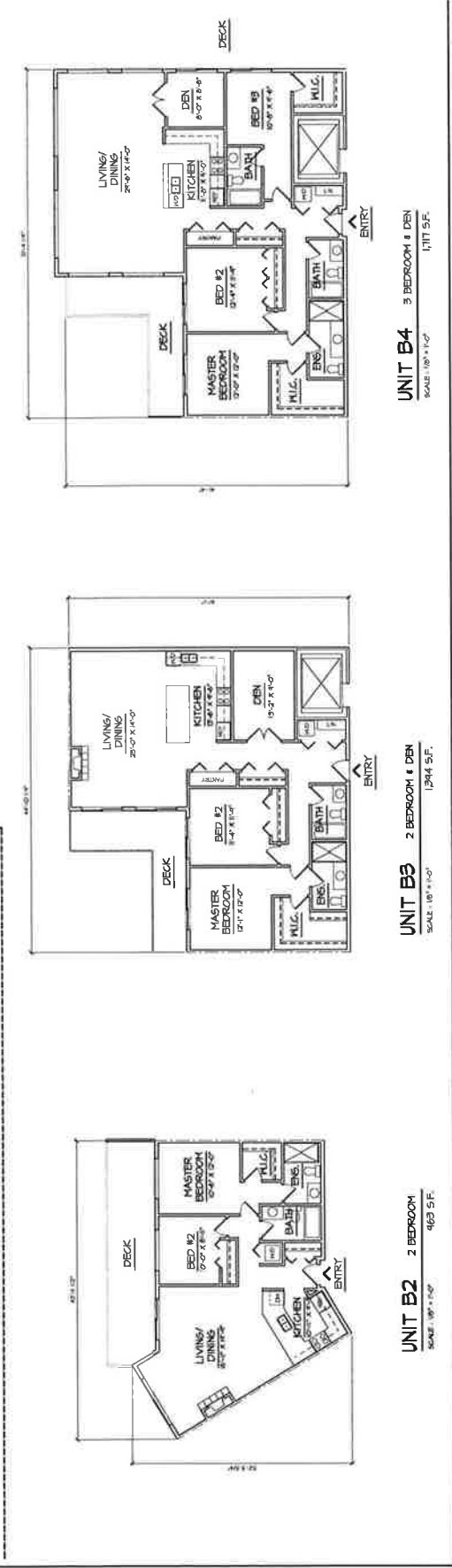


UNIT A5 | 1 BEDROOM & DEN | 791 SF. SCALE: 1/8" = 1'-0"

UNIT A6 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B2 | 2 BEDROOM | 844 SF. SCALE: 1/8" = 1'-0"

UNIT B5 | 2 BEDROOM & DEN | 1244 SF. SCALE: 1/8" = 1'-0"



UNIT B7 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B8 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B9 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B10 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B11 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B12 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B13 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B14 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B15 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B16 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B17 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B18 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B19 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B20 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B21 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B22 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B23 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B24 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B25 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B26 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B27 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B28 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B29 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B30 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B31 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B32 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B33 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B34 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B35 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B36 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B37 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B38 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B39 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B40 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B41 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B42 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B43 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B44 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B45 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B46 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B47 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B48 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B49 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B50 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B51 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B52 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B53 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B54 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B55 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B56 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B57 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B58 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B59 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B60 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B61 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B62 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B63 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B64 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B65 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B66 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B67 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B68 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B69 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B70 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B71 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B72 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B73 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B74 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B75 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B76 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B77 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B78 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B79 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B80 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B81 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B82 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B83 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B84 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B85 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B86 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B87 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B88 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B89 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B90 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B91 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B92 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B93 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B94 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B95 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B96 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B97 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B98 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B99 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

UNIT B100 | 2 BEDROOM | 975 SF. SCALE: 1/8" = 1'-0"

REVISION	DATE	BY	DESCRIPTION

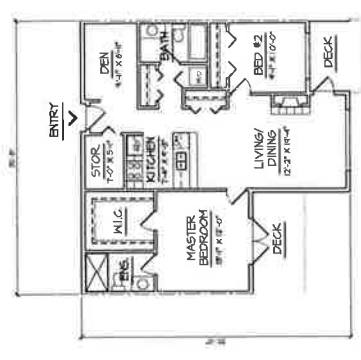
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CLIENT: JOE DHALIWAL
PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
 PARSONS DRIVE & TTA ST, SARGENT, B.C.
DATE: _____
SCALE: 1/8" = 1'-0"
UNIT PLANS

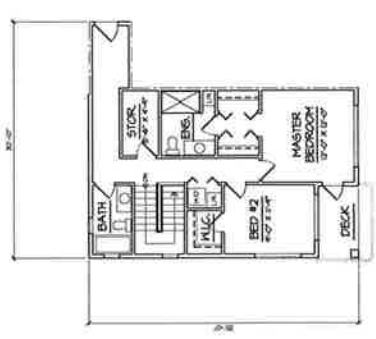
arnett dembek
 ARCHITECTS
 135, STREET
 VANCOUVER, B.C.
 V6W 1H8
 PHONE: (604) 587-7100
 FAX: (604) 587-2089
 EMAIL: mail@arnett.com
CLIENT: _____
PROJECT: _____
DATE: _____



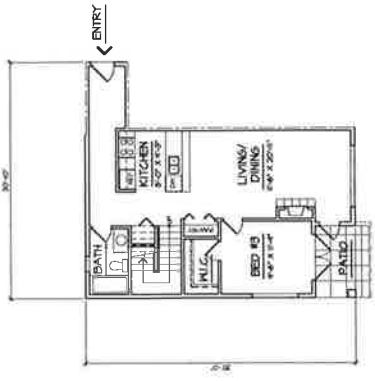
UNIT C3
1 BEDROOM
SCALE: 1/8" = 1'-0" 741 S.F.



UNIT D
2 BEDROOM & DEN
SCALE: 1/8" = 1'-0" 1021 S.F.

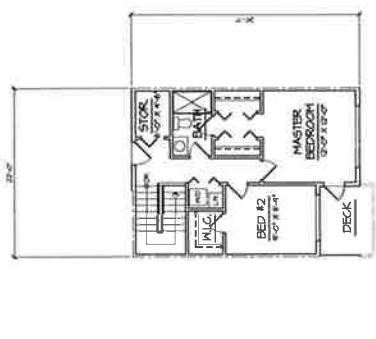


UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0" 114 S.F.

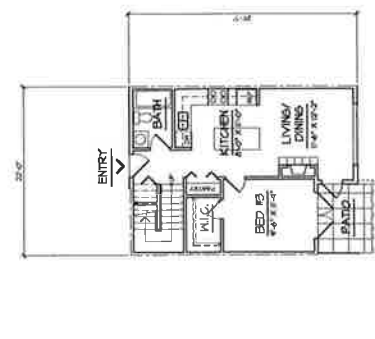


MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0" 114 S.F.

UNIT C2
3 BEDROOM
SCALE: 1/8" = 1'-0" 1548 S.F. TOTAL

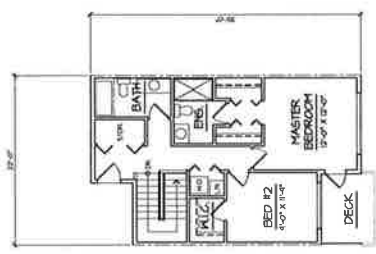


UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0" 589 S.F.

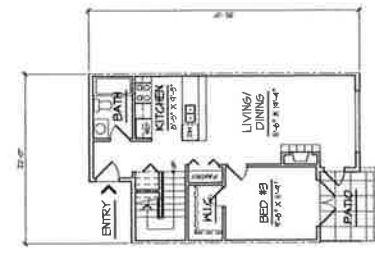


MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0" 589 S.F.

UNIT C1
3 BEDROOM
SCALE: 1/8" = 1'-0" 1180 S.F. TOTAL



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0" 612 S.F.



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0" 612 S.F.

UNIT C
3 BEDROOM
SCALE: 1/8" = 1'-0" 1344 S.F. TOTAL

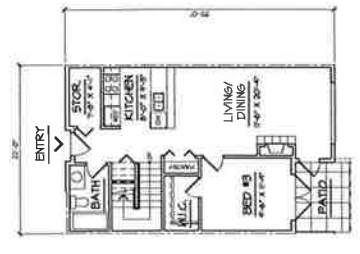
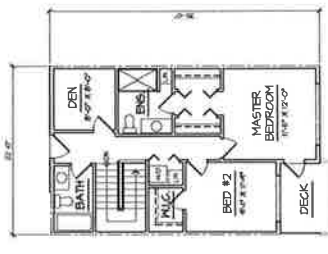
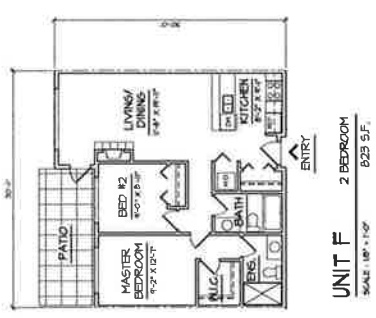
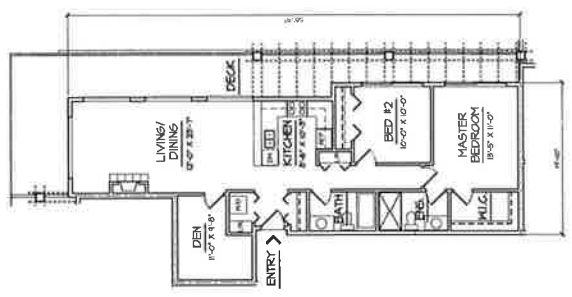
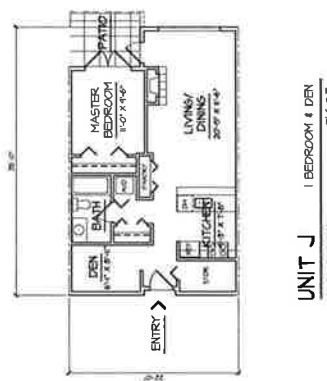
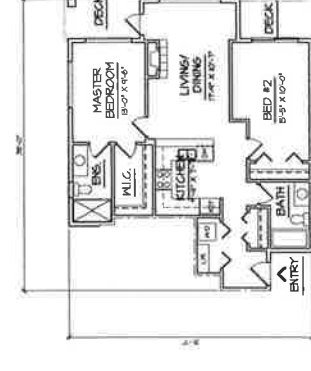
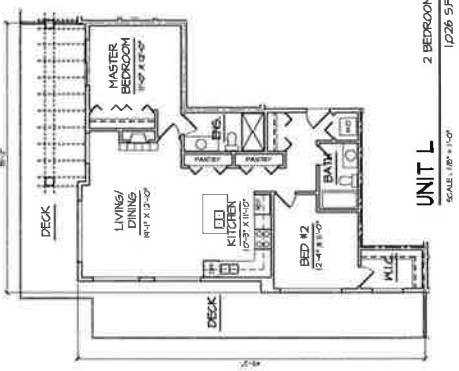
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NO.	DATE	BY	ISSUE	DATE	BY	DESCRIPTION

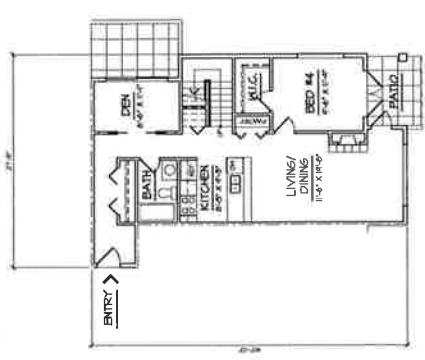
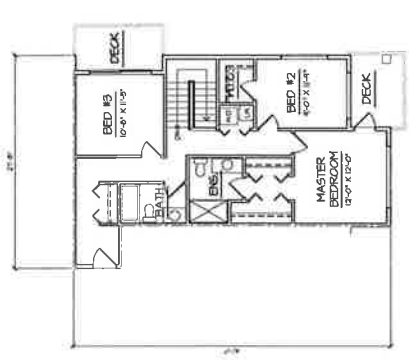
CLIENT: JOE DHALIVAL
 PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
 BARSTON DRIVE E & 17TH ST, SURREY, B.C.
 SHEET CONTENTS:
 UNIT PLANS
 SCALE: 1/8" = 1'-0"

DESIGN: L.B.
 DRAWING: J.M.
 DATE: 11/11/11
 SCALE: 1/8" = 1'-0"

barnett denk
 UNIT 135,
 7536 136 STREET,
 VANCOUVER, B.C.
 V6V 1Y8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnettdenk.com
 SHEET NO: AC-23
 PROJECT NO: 10034
 REV. NO:



UNIT H
 SCALE: 1/8" = 1'-0"
 9 BEDROOM & DEN
 1431 SF. TOTAL



UNIT E
 SCALE: 1/8" = 1'-0"
 4 BEDROOM & DEN
 1,729 SF. TOTAL

REVISION	DATE	BY	CHK	DATE	BY	CHK	DATE	BY	CHK

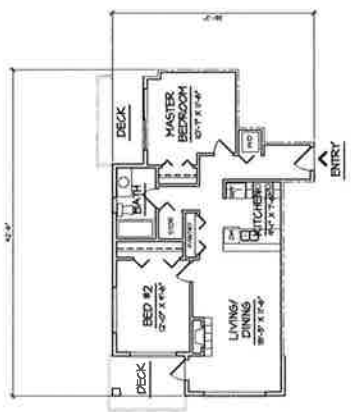
DATE: _____

CLIENT :	JOE DHALIWAL
DESIGN :	
DATE :	
PROJECT :	RESIDENTIAL DEVELOPMENT - CONDO #1
ADDRESS :	BARGTON DRIVE E & TTA ST, SAREY, D.C.
UNIT PLANS :	
DATE :	
SCALE :	
DATE :	

barnett dembek
ARCHITECTS P.C.

UNIT 135
7335 130 STREET
DALLAS, TX 75241
PHONE: (972) 977-7100
FAX: (972) 977-7099
EMAIL: mbd@barnett.com

PROJECT NO. AC-24
REV. NO. 003A



UNIT P
SCALE: 1/8" = 1'-0"
2 BEDROOM
614 SF.

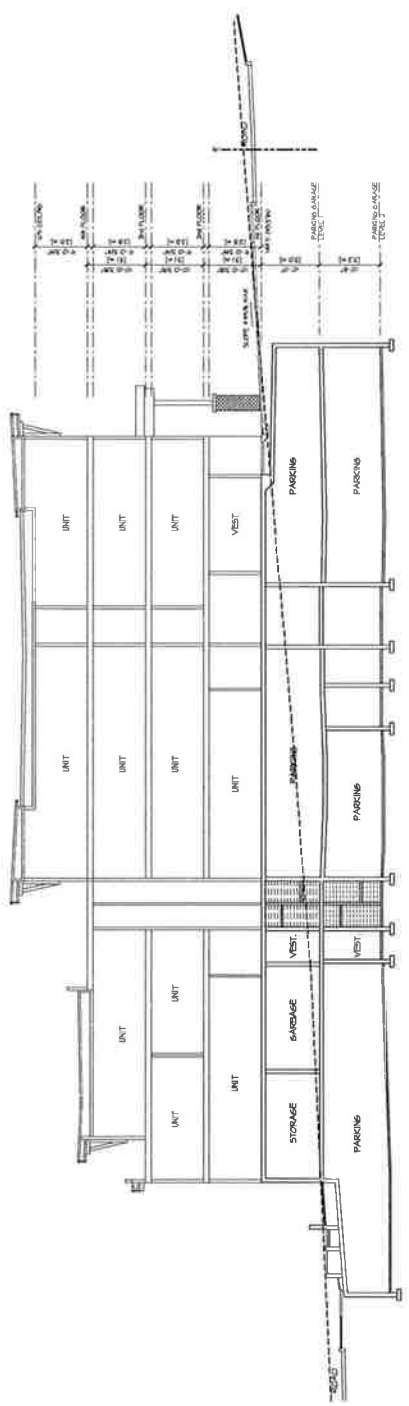
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DARBEEK INC. 2590 130 STREET, S.S.
VANUVER, B.C. V2V 1T8
PH: (604) 577-7100
FAX: (604) 577-2099
EMAIL: info@barnettdarbEEK.com
PROJECT NO. 10034

DATE	BY	DESCRIPTION

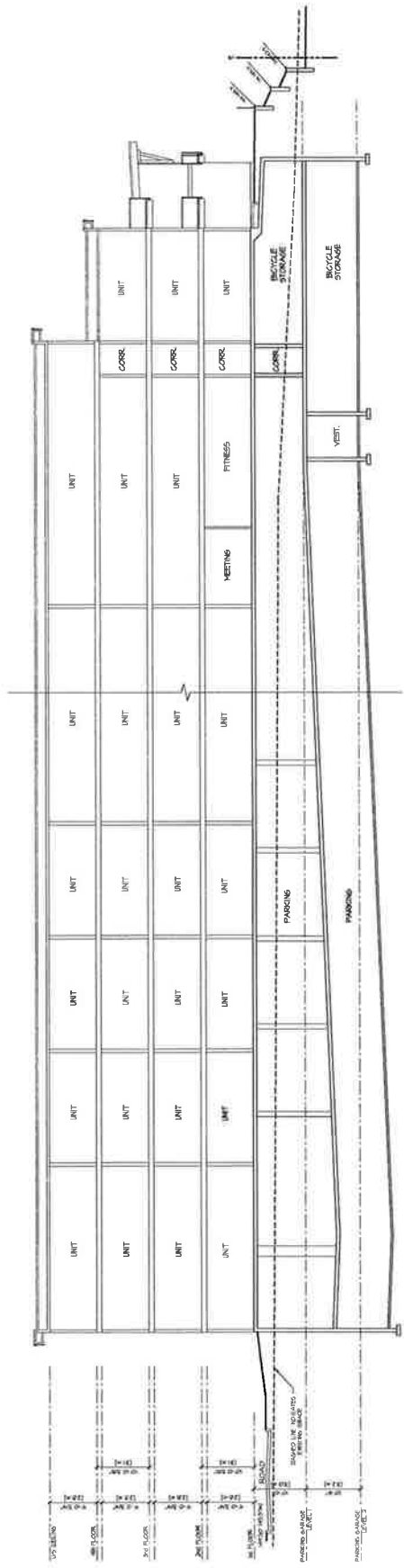
CLIENT: JOE DHALIHAL
PROJECT: RESIDENTIAL DEVELOPMENT - CONDO #1
SHEET COMMENTS:
DATE: 10/27/10
SCALE: 1/8" = 1'-0"

UNIT 135, 2590 130 STREET, S.S., VANUVER, B.C.
PHONE: (604) 577-7100
FAX: (604) 577-2099
EMAIL: info@barnettdarbEEK.com

CLIENT: JOE DHALIHAL
PROJECT NO: 10034
SHEET NO: A-51
REV. NO.



SECTION A-A
SCALE: 3/8\"/>



SECTION B-B
SCALE: 3/8\"/>

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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 9. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

REV#	DATE	BY	CHKD	DESC



CLIENT : JOE DHALMAL
 PROJECT : RESIDENTIAL DEVELOPMENT
 BARSNTON DRIVE & 17TA ST., SURREY, B.C.
 SHEET CONTENTS :

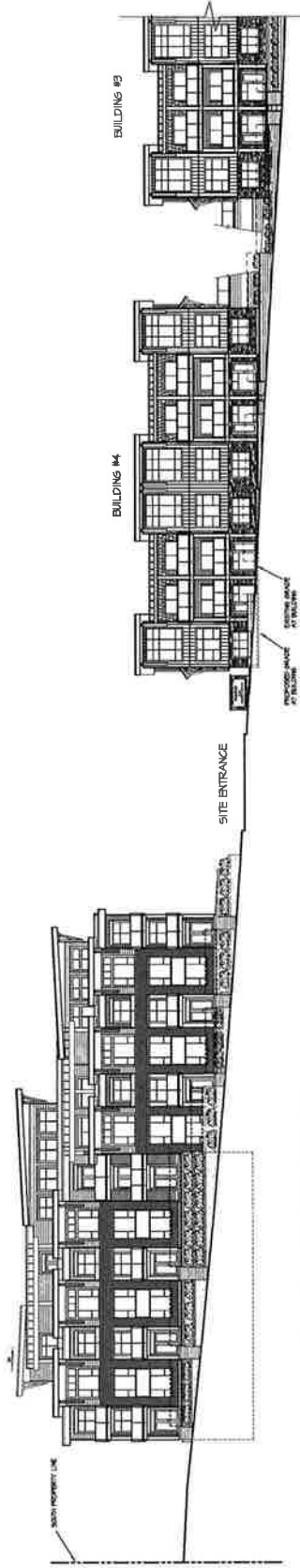
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2	17TH ST. STREET ELEVATION
3	17TH ST. STREET ELEVATION
4	17TH ST. STREET ELEVATION
5	17TH ST. STREET ELEVATION
6	17TH ST. STREET ELEVATION
7	17TH ST. STREET ELEVATION
8	17TH ST. STREET ELEVATION
9	17TH ST. STREET ELEVATION
10	17TH ST. STREET ELEVATION

SCALE : 1/8" = 1'-0"
 DATE : 11/11/11
 DRAWN BY : [Name]
 CHECKED BY : [Name]
 PROJECT NO. : [Number]

barnett dembek
 ARCHITECTS

UNIT 135
 7536 136 STREET
 VANCOUVER, B.C.
 V6P 6K6
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnett.com

CLIENT NO. : [Number]
 SHEET NO. : AC-14
 PROJECT NO. : [Number]
 10014



BARSNTON DRIVE ELEVATION
 SCALE: 1/8" = 1'-0"

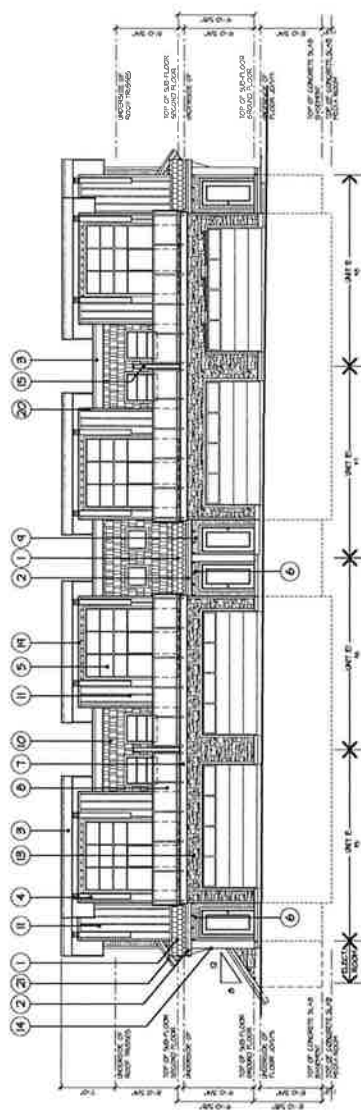
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DESIGN :	
DRAWN :	
CHECKED :	
DATE :	
SCALE :	
PROJECT :	
SHEET :	
TITLE :	

CLIENT : JOE CHAIYAL
 PROJECT : RESIDENTIAL DEVELOPMENT
 BARSTON DRIVE E. & 177A ST. SURREY, B.C.
 SHEET COMMENTS : BUILDING #2
 ELEVATIONS

barnett dembek
 ARCHITECTS LTD.
 UNIT 135,
 2758 130 STREET,
 VANICUO, B.C.
 V0N 1H6
 PHONE: (604) 897-7100
 FAX: (604) 897-2099
 EMAIL: info@barnett.com

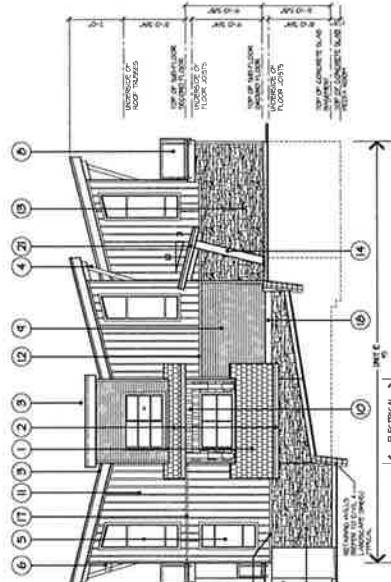
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 PROJECT NO. :
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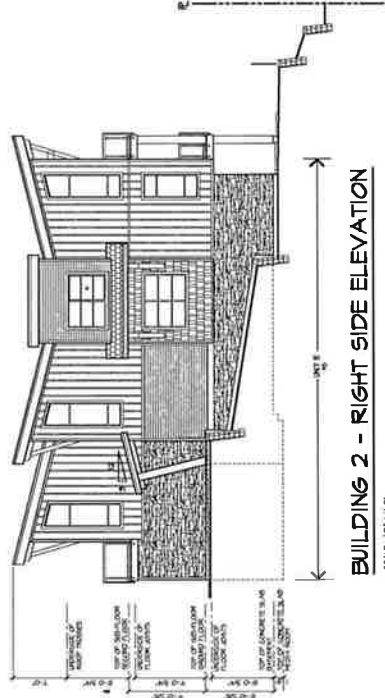
BUILDING 2 - FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

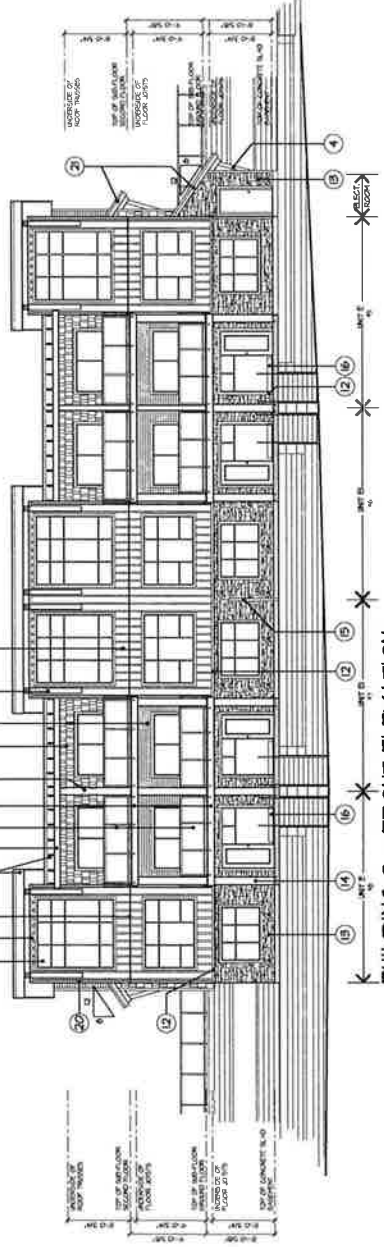
- 1 ASPHALT SHINGLE ROOFING
- 2 PREFINISHED ALUMINUM GUTTER ON 2" X 10 MOOD FASCIA
- 3 1/4" ON 18" HAND-TRIM FASCIA
- 4 DECORATIVE IRON BRACKET
- 5 VINYL FRAMED WINDOWS WITH 1/4" MOOD TRIM
- 6 MOOD TRELLIS (REFER TO DETAILS)
- 7 2 X 12 MOOD TRIM AT DECKS
- 8 3/4" HIGH POWDER COATED ALUMINUM TIPPED GLASS GUARDRAIL
- 9 HORIZONTAL HAND-TRIM SIDING
- 10 SHINGLE HAND-TRIM SIDING
- 11 HANDY BONDED & BATTEN SIDING
- 12 3/12" HAND-TRIM
- 13 CALIBURED STONE VENEER
- 14 12" X 12" BUILT-UP MOOD COLUMN
- 15 PRIVACY SCREEN
- 16 HAND-PANEL, INFILL PANEL
- 17 TRIM-HALL METAL FLASHING
- 18 2 X 10 TRIM BOARD
- 19 VINYL FRIEZE TRIM
- 20 VINYL CORNER TRIM
- 21 1/4" ON 2X10 MOOD FASCIA



BUILDING 2 - LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



BUILDING 2 - RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



BUILDING 2 - FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

BUILDING #2

NOT TO BE USED FOR CONSTRUCTION

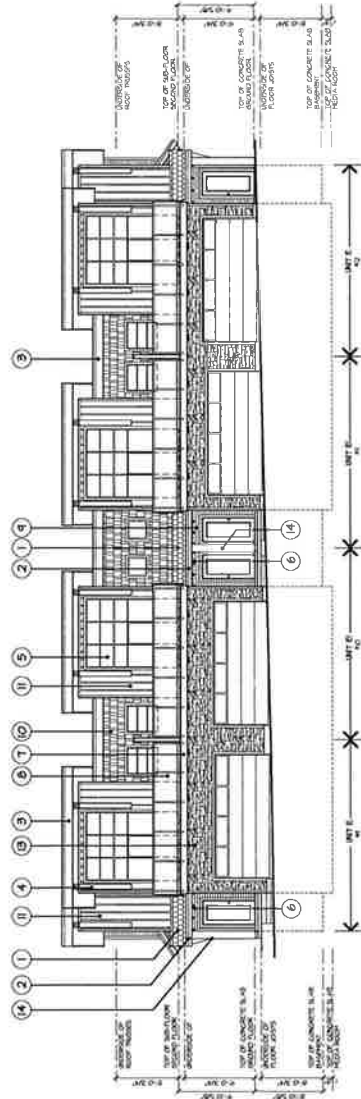
NO.	DATE	BY	REVISION

DESIGN	
L.P.S.	
DATE	
SCALE	

CLIENT: JOE DHALIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT
 BARGENTON DRIVE E. & 17TH ST., SURREY, B.C.
 SHEET CONTENTS:
 BUILDING #3
 ELEVATIONS

barnett dembek
 ARCHITECTS
 UNIT 135,
 2536 136 STREET,
 VANCOUVER, B.C.
 V6V 1Y8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnettdem.com

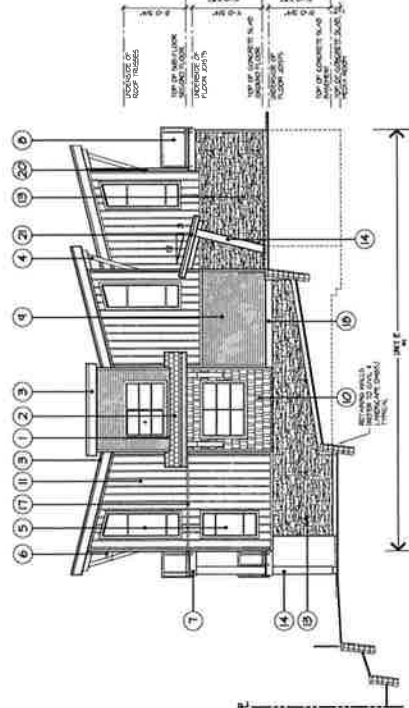
CURR. NO. AC-53
 PROJECT NO. 10014
 REV. NO.



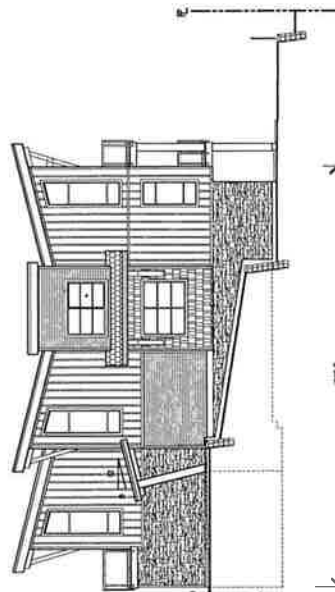
BUILDING 3 - FRONT ELEVATION

SCHEDULE OF FINISHES

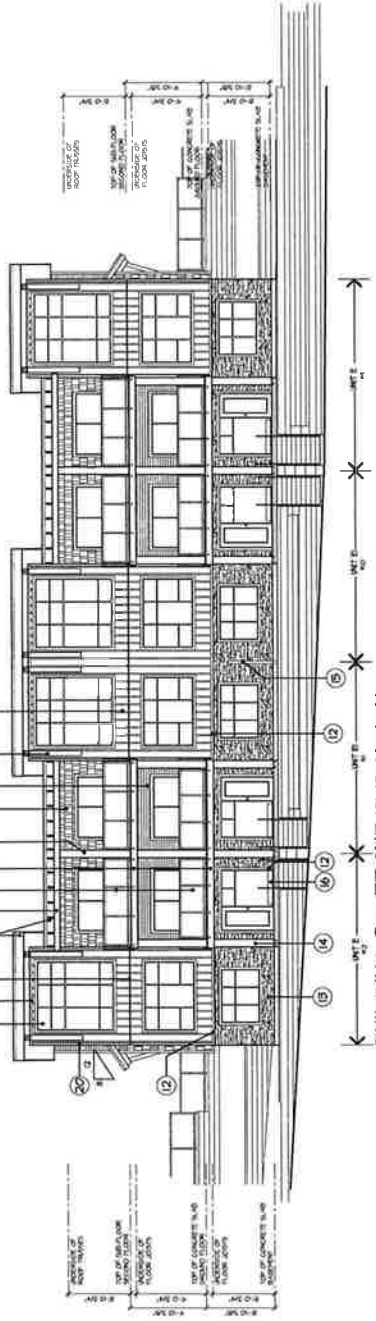
- 1 ASPHALT SHINGLE ROOFING
- 2 PREFINISHED ALUMINUM GUTTERS OR 2 X 10 WOOD FASCIA
- 3 1/4" ON 1/4" HARD-TRIM FASCIA
- 4 DECORATIVE KNEE BRACKET
- 5 VINYL TRIMMED WINDOWS WITH 1/4" WOOD TRIM
- 6 MOOD TRELLIS (REFER TO DETAILS)
- 7 2 X 12 WOOD TRIM AT PECKAS
- 8 3/4" HIGH POWDER COATED ALUMINUM TRIMMED SLATS W/SHARDAL
- 9 HORIZONTAL HARDY SIDING
- 10 SHINGLE HARDY SIDING
- 11 HARDY BOARD & BATTEN SIDING
- 12 9 1/2" HARDY-RIM
- 13 CULTURED STONE VINER
- 14 12" X 12" BUILT-UP WOOD COLLAR
- 15 PRIVACY SCREEN
- 16 HAND-PANEL METAL FLASHING
- 17 THROUGH-PANEL METAL FLASHING
- 18 2 X 10 TRIM BOARD
- 19 VINYL FREEZE TRIM
- 20 VINYL CORNER TRIM
- 21 1/4" ON 2x10 WOOD FASCIA
- 22



BUILDING 3 - LEFT SIDE ELEVATION



BUILDING 3 - RIGHT SIDE ELEVATION



BUILDING 3 - FRONT ELEVATION

BUILDING #3

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

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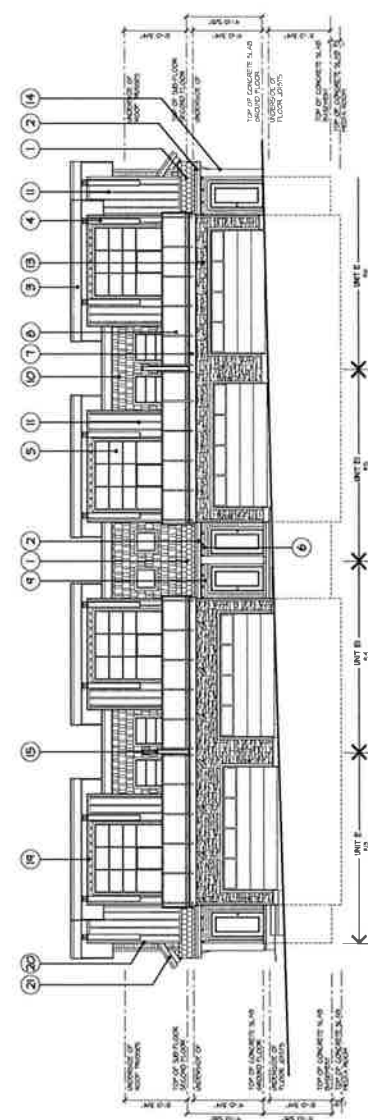
REV.	DATE	BY	CHK.	DESCRIPTION

CLIENT : JOE DHALWAL
PROJECT : RESIDENTIAL DEVELOPMENT
 BARNSTON DRIVE E. & 177A ST., SURREY, B.C.
DESIGN : L.P.A.
DATE : JAN 21 11
SCALE : 1/8" = 1'-0"

SHEET CONTENTS : BUILDINGS #4
 ELEVATIONS

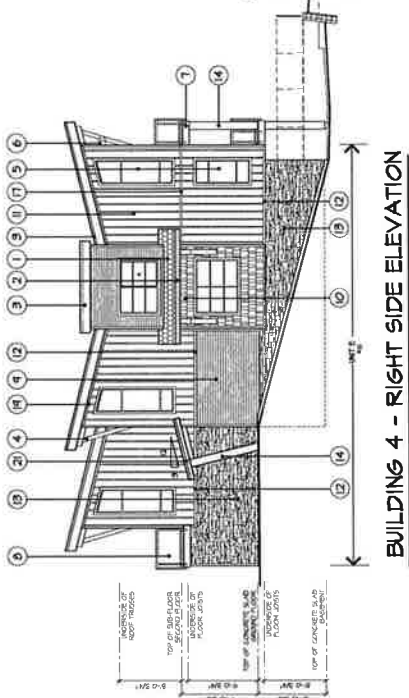
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PROJECT NO. : AC-5-4
CLIENT NO. : AC-5-4
DATE : 01/21/11
SCALE : 1/8" = 1'-0"

UNIT NO. : 10014
PROJECT NO. : AC-5-4
CLIENT NO. : AC-5-4
DATE : 01/21/11
SCALE : 1/8" = 1'-0"

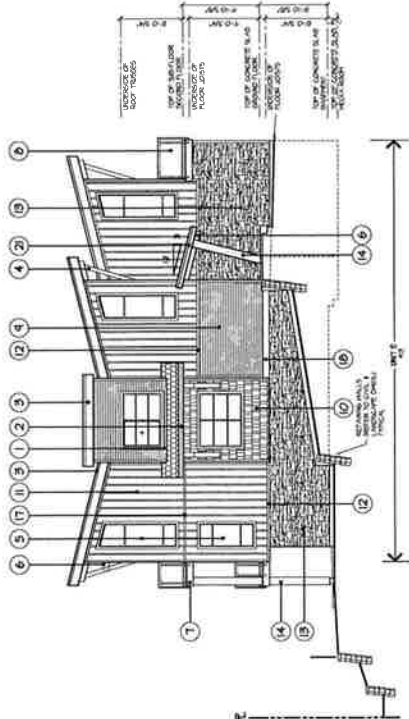


BUILDING 4 - FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

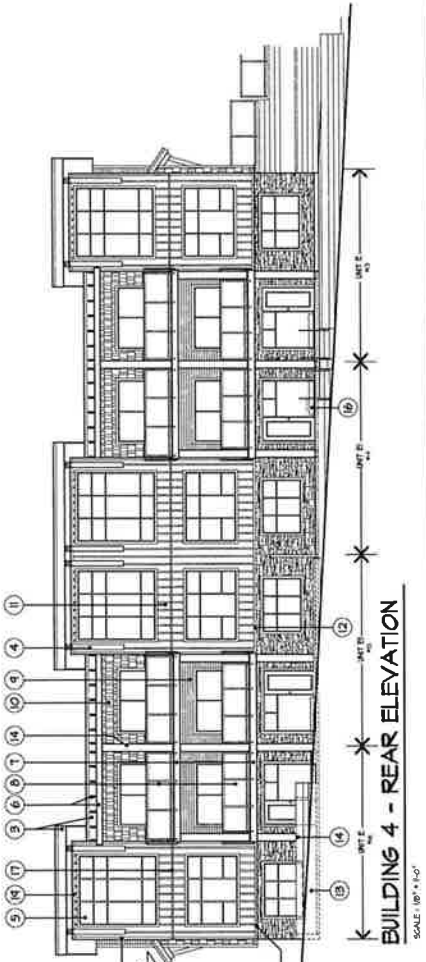
- SCHEDULE OF FINISHES**
- 1 ASPHALT SHINGLE ROOFING
 - 2 PREFINISHED ALUMINUM GUTTER ON 2" X 10" WOOD FASCIA
 - 3 1/4" ON 1/2" HARD-TRIM FASCIA
 - 4 DEGENERATIVE KNEE BRACKET
 - 5 VINYL FRAMED WINDOWS WITH 1/4" WOOD TRIM
 - 6 WOOD TRUSS (REFER TO DETAILS)
 - 7 2" X 10" WOOD TRIM AT DECK
 - 8 3'-6" HIGH POWDER COATED ALUMINUM THERM-BREAK GLASS GUARDRAIL
 - 9 HORIZONTAL HARDY SIDING
 - 10 SINGLE HARDY SIDING
 - 11 HARDY BOARD & BATTEN SIDING
 - 12 3/4" HARD-TRIM
 - 13 CULTURED STONE VENEER
 - 14 12" X 12" BUILT-UP WOOD COLUMN
 - 15 PRIVACY SCREEN
 - 16 MATCH-PANEL INFILL PANEL
 - 17 TRIM-HALL METAL FLASHING
 - 18 2" X 10" TRIM BOARD
 - 19 VINYL FREEZE TRIM
 - 20 VINYL CORNER TRIM
 - 21 1/4" ON 2X10 WOOD FASCIA
 - 22



BUILDING 4 - RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



BUILDING 4 - LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



BUILDING 4 - REAR ELEVATION
 SCALE: 1/8" = 1'-0"

BUILDING #4

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REV	DATE	BY	CHKD	DESCR

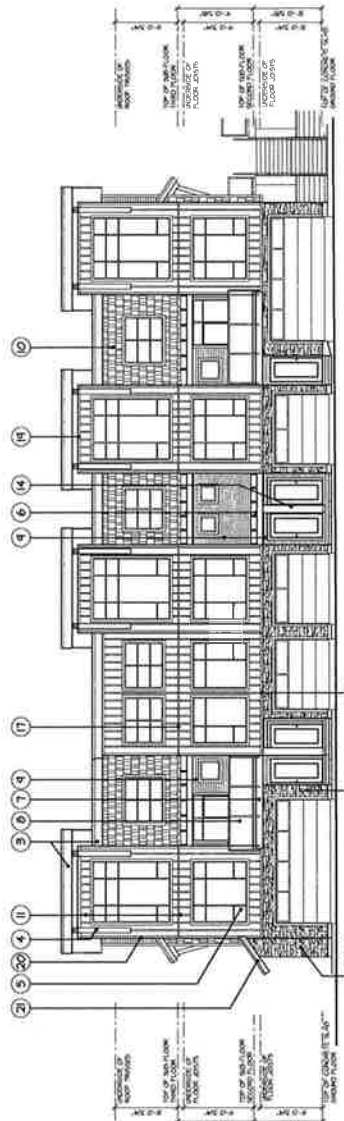
DESIGN: J.P.A.
 DRAWN: J.P.A.
 DATE: JUN 11 11
 SCALE: 1/8" = 1'-0"

CLIENT: JOE DHALIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT
 BARNSTON DRIVE E. & 177A ST., SURREY, B.C.
 SHEET CONTENTS:
 BUILDING #5
 ELEVATIONS

barnett derbek
 ARCHITECTS
 200-1111-1111

UNIT 135, STREETVIEW COURT, SURREY, B.C. V0W 1T8
 PHONE: (604) 597-7100
 FAX: (604) 597-2999
 EMAIL: mtd@barnettderbek.com

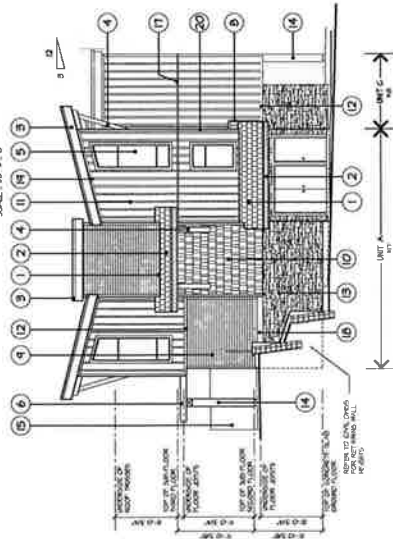
SHEET NO. AC-55
 PROJECT NO. 10014
 REV. NO.



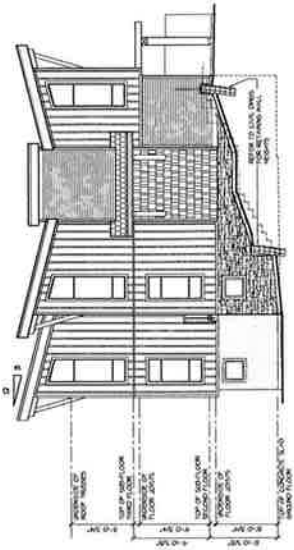
BUILDING 5 - FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

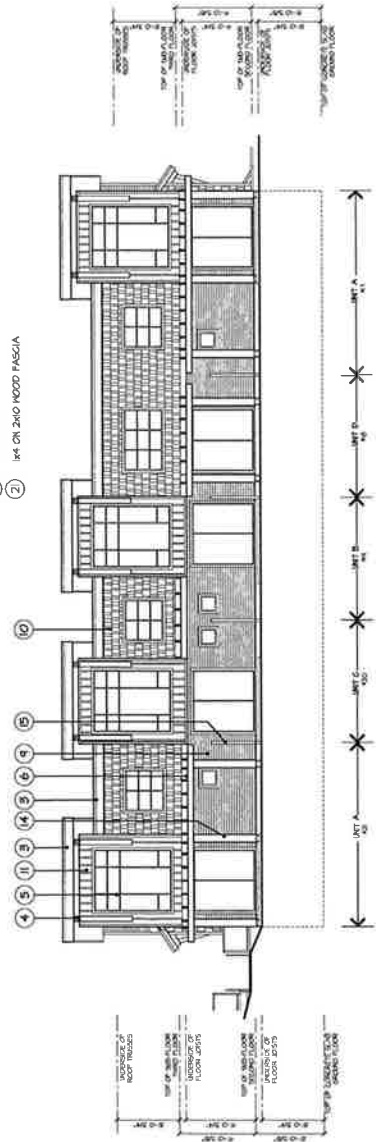
- 1 ASPHALT SHINGLE ROOFING
- 2 REFINISHED ALUMINUM GUTTER ON 2" X 10" WOOD FASCIA
- 3 1X4 ON 16" HARD-TRIM FASCIA
- 4 DECORATIVE KNEE BRACKET
- 5 VINYL FRAMED WINDOWS WITH 1/4" WOOD TRIM
- 6 WOOD TRELLIS (REFER TO DETAILS)
- 7 2" X 12" WOOD TRIM AT DECKS
- 8 3/4" HIGH POWDER-COATED ALUMINUM 1" TAPERED GLASS HANDRAIL
- 9 HORIZONTAL WOOD SIDING
- 10 SHINGLE HARDY SIDING
- 11 WOOD BOARD & BATTEN SIDING
- 12 3/2" HARD-TRIM
- 13 GALVANIZED STONE VENEER
- 14 12" X 12" BUILT-UP WOOD COLUMN
- 15 PRIVACY SCREEN
- 16 HARD-PANEL INFILL PANEL
- 17 THROUGH-WALL METAL FLASHING
- 18 2" X 10" TRIM BOARD
- 19 VINYL FREEZE TRIM
- 20 VINYL CORNER TRIM
- 21 1X4 ON 2X10 WOOD FASCIA



BUILDING 5 - LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



BUILDING 5 - RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



BUILDING 5 - REAR ELEVATION
 SCALE: 1/8" = 1'-0"

BUILDING #5

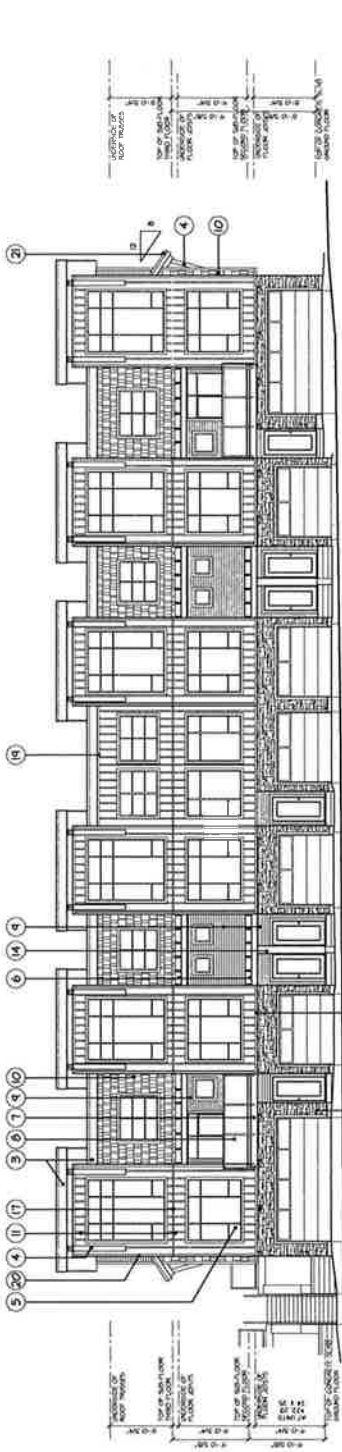
UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE THE NET DIMENSIONS OF THE BUILDING. THE NET DIMENSIONS OF THE BUILDING SHALL BE THE DIMENSIONS OF THE BUILDING AS SHOWN ON THIS DRAWING. THE DIMENSIONS OF THE BUILDING SHALL BE THE DIMENSIONS OF THE BUILDING AS SHOWN ON THIS DRAWING. THE DIMENSIONS OF THE BUILDING SHALL BE THE DIMENSIONS OF THE BUILDING AS SHOWN ON THIS DRAWING.

REV	DATE	BY	CHKD	REASON FOR



CLIENT: JOE DHALIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT
 BARSTON DRIVE E. & 17TA ST. SURREY, B.C.
 SHEET: BUILDING #6
 ELEVATIONS
 DRAWN: []
 DATE: []
 SCALE: 1/8" = 1'-0"

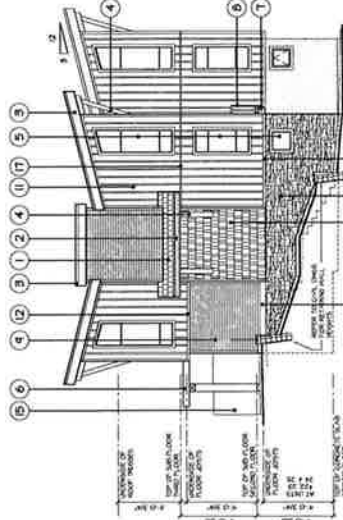
barnett dembek
 UNIT 153, STREET 12, SURREY, B.C.
 VAW 118
 PHONE: (604) 597-7100
 FAX: (604) 597-2089
 EMAIL: m.dembek@barnett.com
 CLIENT NO. AC-56
 PROJECT NO. 10014
 REV. NO.



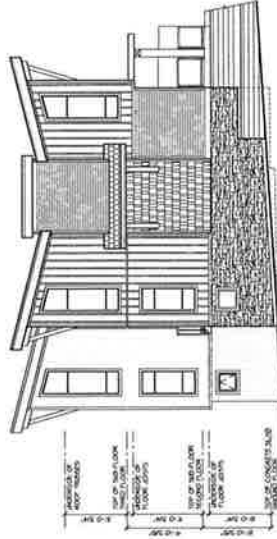
BUILDING 6 - FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

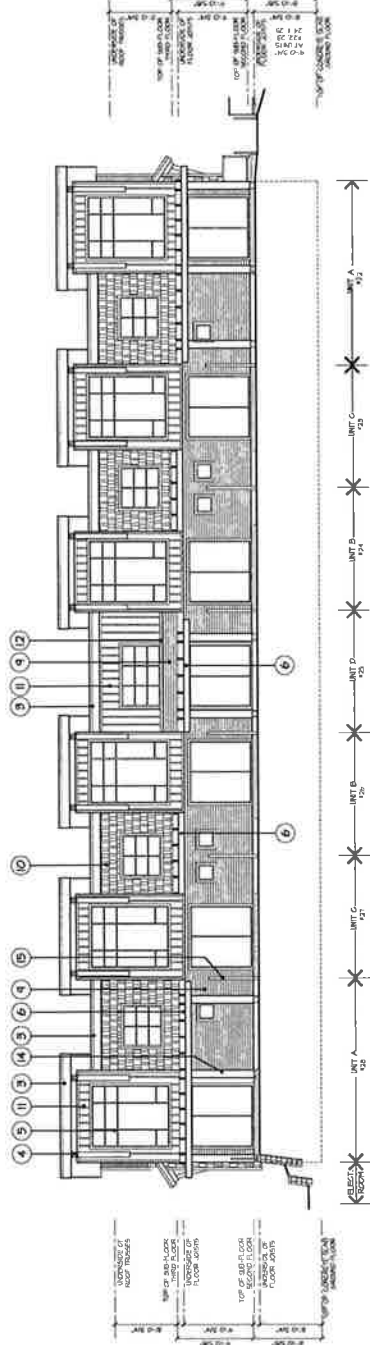
- 1 ASPHALT SHINGLE ROOFING
- 2 PREENFINISHED ALUMINUM GUTTER ON 2" X 10" MOOD FASCIA
- 3 1/4" ON 1/2" HAND-TRIM FASCIA
- 4 DECORATIVE KNEE BRACKET
- 5 VINYL FRAMED WINDOWS WITH 1/4" MOOD TRIM
- 6 MOOD TRELLIS (REFER TO DETAILS)
- 7 2" X 12" MOOD TRIM AT DECKS
- 8 3'-6" HIGH POWDER COATED ALUMINUM & TYPED GLASS GUARDRAIL
- 9 HORIZONTAL HANDY SIDING
- 10 SINGLE HANDY SIDING
- 11 HARDY BOARD & BATTEN SIDING
- 12 3/12" HANDY TRIM
- 13 CULTURED STONE VENEER
- 14 12" X 12" BUILT-UP MOOD COLUMN
- 15 PRIVACY SCREEN
- 16 HARD-PANEL INFILL PANEL
- 17 THROUGH-HALL METAL FLASHING
- 18 2" X 10" TRIM BOARD
- 19 VINYL FREEZE TRIM
- 20 VINYL CORNER TRIM
- 21 1/4" ON 2x10 MOOD FASCIA



BUILDING 6 - LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



BUILDING 6 - RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



BUILDING 6 - REAR ELEVATION
 SCALE: 1/8" = 1'-0"

BUILDING #6

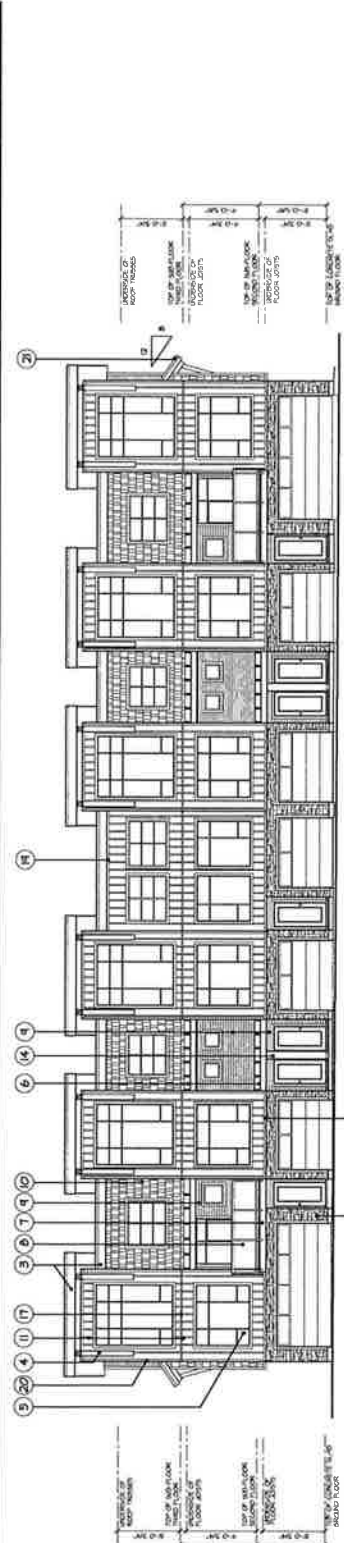
REVISION	DATE	BY	REASON

DESIGN :
 DRAWN :
 DATE :
 SCALE :
 UNIT :

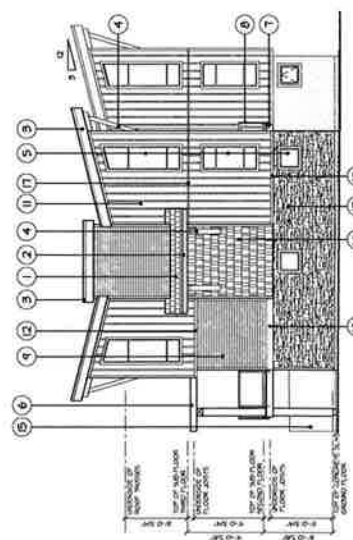
CLIENT : JOE DHAIJVAL
 PROJECT : RESIDENTIAL DEVELOPMENT
 BARBITION DRIVE E & 177A ST, SURREY, BC
 SHEET COMMENTS :
 BUILDINGS #7
 ELEVATIONS

UNIT 135,
 2038A 120 STREET
 SURREY, B.C.
 V4W 1H9
 PHONE: (604) 897-7100
 FAX: (604) 897-2099
 EMAIL: mat@barnettec.com

PROJECT NO. AC-51
 DRAWING NO. 10014
 SHEET NO. REV. NO.



BUILDING 7 - FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



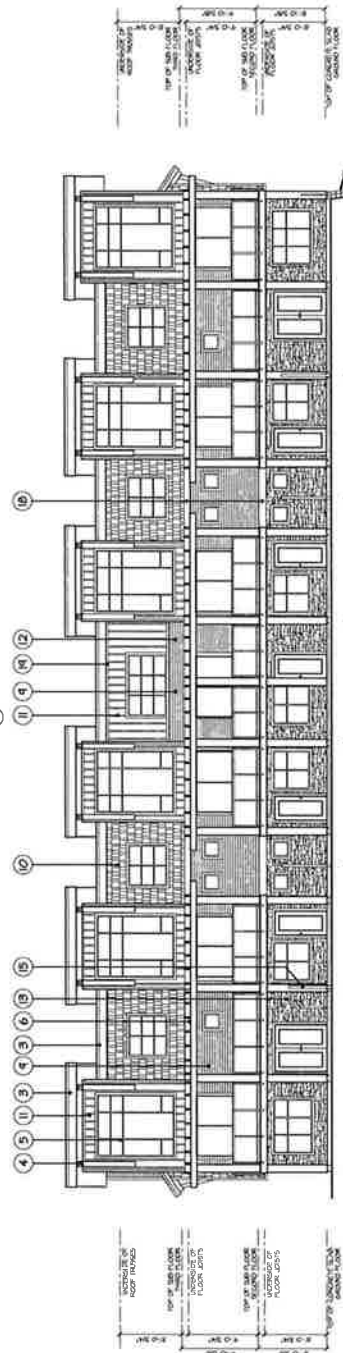
BUILDING 7 - LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- 1 ASPHALT SINGLE ROOFING
- 2 PRE-FINISHED ALUMINUM GUTTER ON 2" X 4" FASCIA
- 3 1/4" ON 1/2" HARD-TRIM FASCIA
- 4 DECORATIVE KNEE BRACKET
- 5 VINYL FINISHED WINDOWS WITH 1/2" X 1/2" X 1/4" MOOD TRIM
- 6 MOOD TRILLIS REFER TO DETAILS
- 7 2" X 1/2" MOOD TRIM AT DECKS
- 8 3/4" HIGH POWDER COATED ALUMINUM 1" TEMPERED GLASS GUARDRAIL
- 9 HORIZONTAL HARDY SIDING
- 10 SHINGLE WARD SIDING
- 11 WARDY BOARD & BATTERY SIDING
- 12 3/4" 1/2" HARD-TRIM
- 13 CULTURED STONE VENEER
- 14 1/2" X 1/2" BULL-HIP MOOD COLUMN
- 15 PRIVACY SCREEN
- 16 HATCH-PANEL INFILL PANEL
- 17 TRIM-HALL METAL FLASHING
- 18 2" X 4" TRIM BOARD
- 19 VINYL PRIZEE TRIM
- 20 VINYL CORNER TRIM
- 21 1/4" ON 2x10 MOOD FASCIA



BUILDING 7 - RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



BUILDING 7 - REAR ELEVATION
 SCALE: 1/8" = 1'-0"

EXAMINATION ALL CROSS AND BE
 SECTIONAL DRAWINGS OF PROJECT
 1. APPROVED FOR ARCHITECT
 2. APPROVED FOR ENGINEER
 3. APPROVED FOR PLUMBER
 4. APPROVED FOR ELECTRICAL
 5. APPROVED FOR MECHANICAL
 6. APPROVED FOR STRUCTURAL
 7. APPROVED FOR CIVIL
 8. APPROVED FOR LANDSCAPE ARCHITECT
 9. APPROVED FOR OTHER PROFESSIONAL

REVISION	DATE	BY	REASON

DATE: 01/11/11

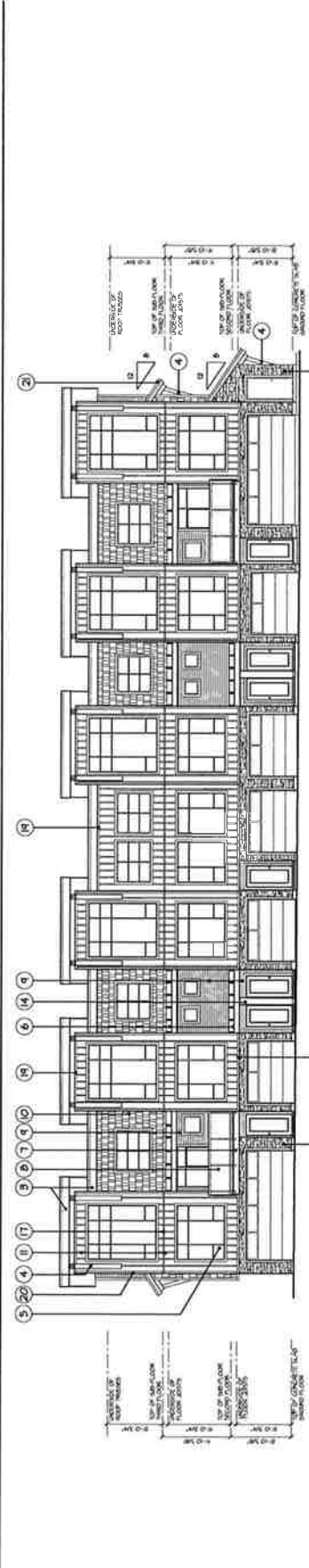
CLIENT: JOE DHALIWAL
PROJECT: RESIDENTIAL DEVELOPMENT BARSTON DRIVE E. & 177A ST., SURREY, B.C.
SHEET CONTENTS: BUILDINGS #8
SCALE: 1/8" = 1'-0"
DATE: APR 27 11
DRAWN: [Blank]
DESIGN: [Blank]

barnett dembek
ARCHITECTS
1111 1111 1111

UNIT 125, 125 STREET
2030 125 STREET
VANICUO, B.C.
VAN V1B 1H8

PHONE: (604) 897-7100
FAX: (604) 897-2699
EMAIL: info@barnettdembek.com

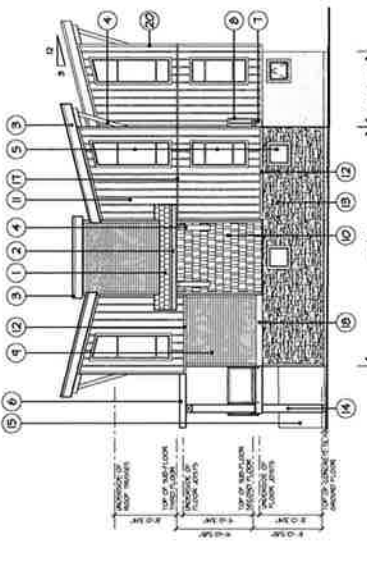
SHEET NO. AC-5.0
PROJECT NO. U0014
REV. NO.



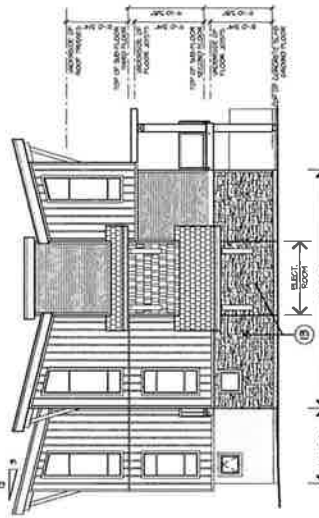
BUILDING 8 - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

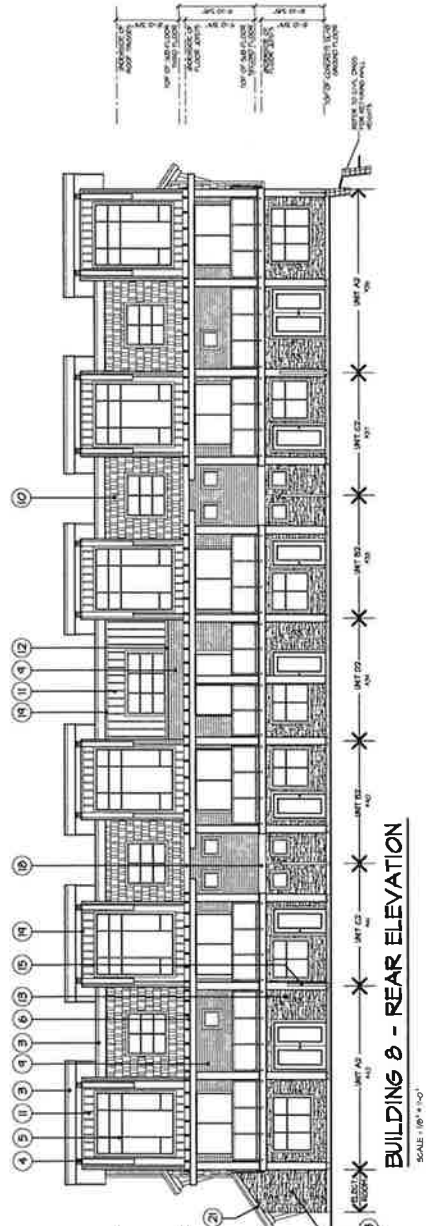
- 1 ASPHALT SINGLE ROOFING
- 2 PREFINISHED ALUMINUM GRITTERS ON 2" X 10" WOOD FASCIA
- 3 1/4" ON 16" HARD-TRIM FASCIA
- 4 DECORATIVE KNEE BRACKET
- 5 VINYL FRAMED WINDOWS WITH 1/4" WOOD TRIM
- 6 WOOD TRELLIS (REFER TO DETAILS)
- 7 2" X 12" WOOD TRIM AT DECKS
- 8 3/4" HIGH POWDER COATED ALUMINUM FINISHED GLASS GUARDRAIL
- 9 HORIZONTAL HARDY SIDING
- 10 SINGLE HARDY SIDING
- 11 HARDY BOARD & BATTEN SIDING
- 12 3/4" HARD-TRIM
- 13 CALIBRATED STONE VENEER
- 14 12" X 12" BUILT-UP WOOD COLUMN
- 15 PRIVACY SCREEN
- 16 INSIDER-PANEL INFILL PANEL
- 17 THERM-HALL METAL FLASHING
- 18 2" X 10" TRIM BOARD
- 19 VINYL FRIEZE TRIM
- 20 VINYL CORNER TRIM
- 21 1/4" ON 2x4 WOOD FASCIA



BUILDING 8 - LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

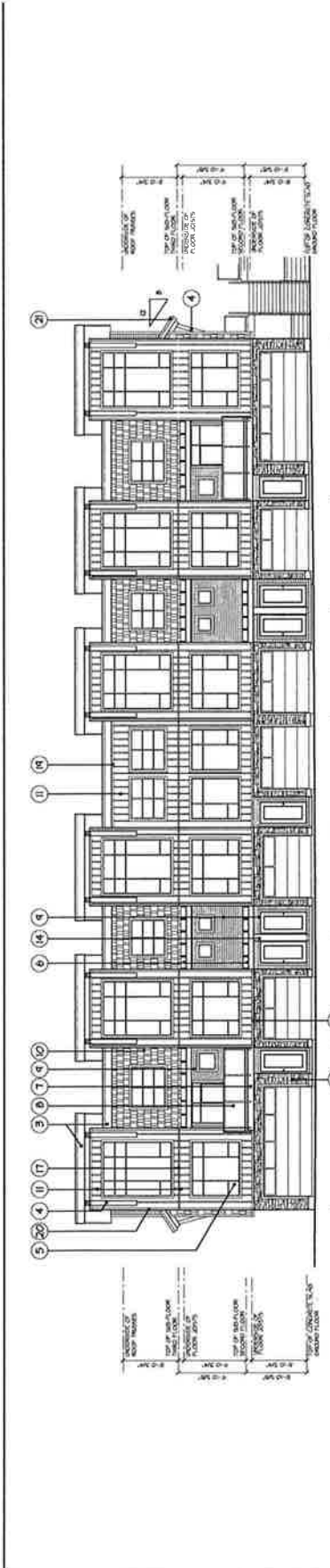


BUILDING 8 - RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 8 - REAR ELEVATION
SCALE: 1/8" = 1'-0"

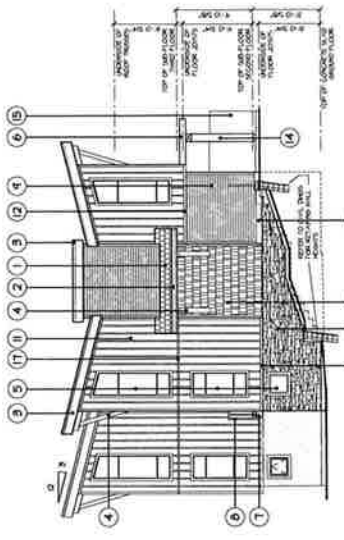
NO.	DATE	BY	CHKD BY	REVISION



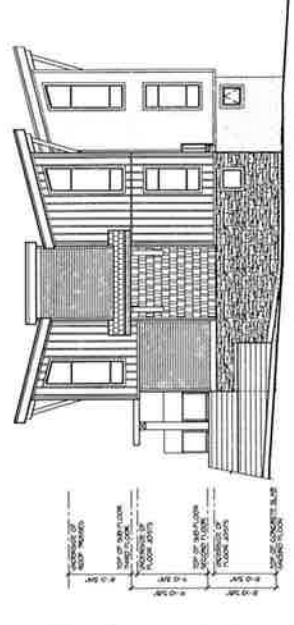
BUILDING 9 - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

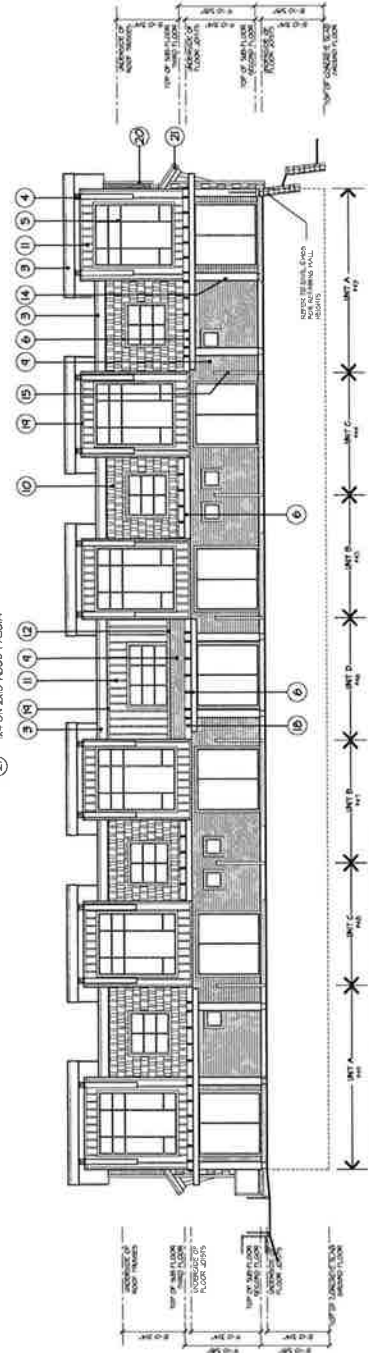
- 1 ASPHALT SINGLE ROOFING
- 2 PREFINISHED ALUMINUM GUTTER ON 2" X 12" MOOD FASCIA
- 3 1/4" ON 1/4" HARD-TRIM FASCIA
- 4 DECORATIVE KNEE BRACKET
- 5 VINYL FRAMED WINDOWS WITH 1/4" MOOD TRIM
- 6 MOOD TRELLIS (REFER TO DETAILS)
- 7 2" X 12" MOOD TRIM AT PEGS
- 8 3/4" HIGH POWDER COATED ALUMINUM 4" SPACED BRACES BRACKET
- 9 HORIZONTAL HARDY SIDING
- 10 SHINGLE HARDY SIDING
- 11 HARDY BOARD & BATTEN SIDING
- 12 1/2" HARDY-TRIM
- 13 CULTURED STONE VENER
- 14 12" X 12" BUILT-UP MOOD COLUMN
- 15 PRIVACY SCREEN
- 16 HARD-PANEL NEILL PANEL
- 17 THRU-HALL METAL FLASHING
- 18 2" X 12" TRIM BOARD
- 19 VINYL FRIEZE TRIM
- 20 VINYL CORNER TRIM
- 21 1/4" ON 2X10 MOOD FASCIA
- 22



BUILDING 9 - RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 9 - LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 9 - REAR ELEVATION
SCALE: 1/8" = 1'-0"

DESIGN JOE DHALIWAL
DRAWN
CHECKED
DATE JAN 21 13
SCALE 1/8" = 1'-0"
SHEET 101

PROJECT: RESIDENTIAL DEVELOPMENT
BARSTON DRIVE E. & 177A ST., SURREY, B.C.

BUILDING 9
ELEVATIONS

CLIENT: BARNETT DEMBEK
UNIT 133, 1336 STREET 10, SUITE 101, VOW WAW 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2059
EMAIL: info@barnettdebek.com

SHEET NO. AC-54
PROJECT NO. 1004
REV. NO.

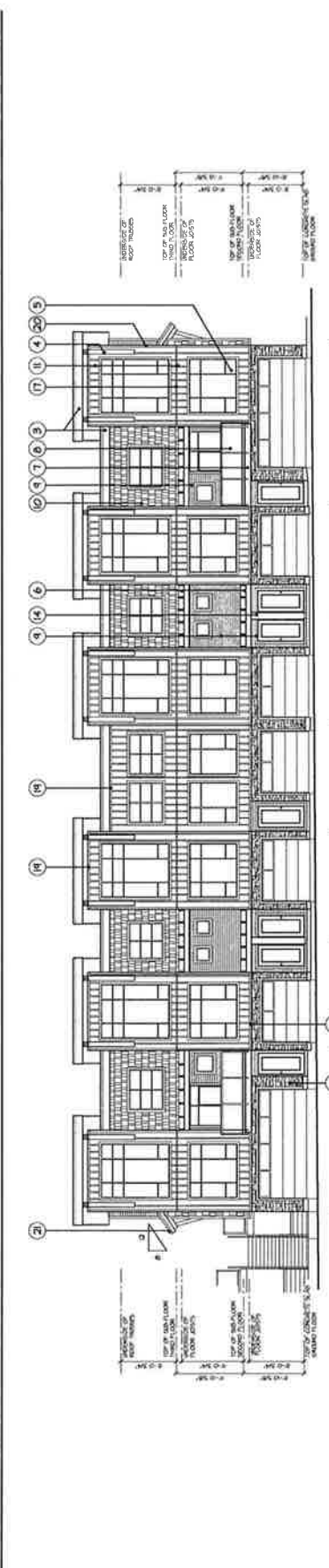
BUILDING #9

REVISION	DATE	BY	REASON

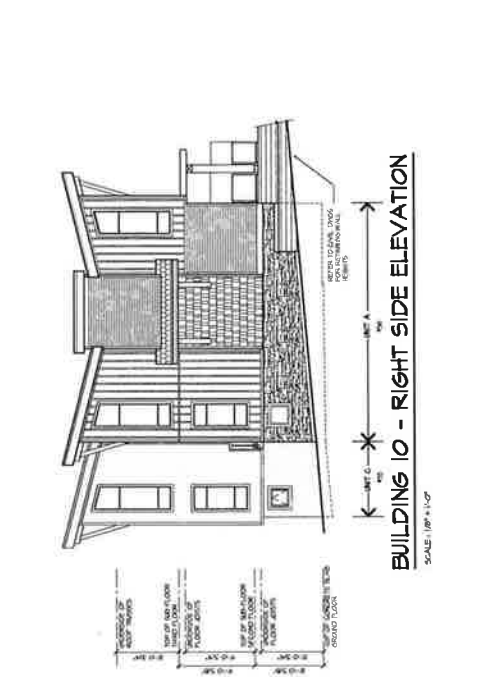
PROJECT: RESIDENTIAL DEVELOPMENT
 BARGISTON DRIVE E & 17TH ST. SURREY, B.C.
 SHEET CONTENTS: BUILDINGS #10
 SCALE: 1/8" = 1'-0"
 DATE: JAN 21 11
 DRAWN BY: [blank]
 DESIGNED BY: [blank]

CLIENT: JOE DHALIWAL
 ARCHITECT: barnett dembek
 UNIT 1205, 1206 STREET
 SURREY, B.C. V3W 1T8
 PHONE: (604) 597-7100
 FAX: (604) 597-2699
 EMAIL: info@barnett.com

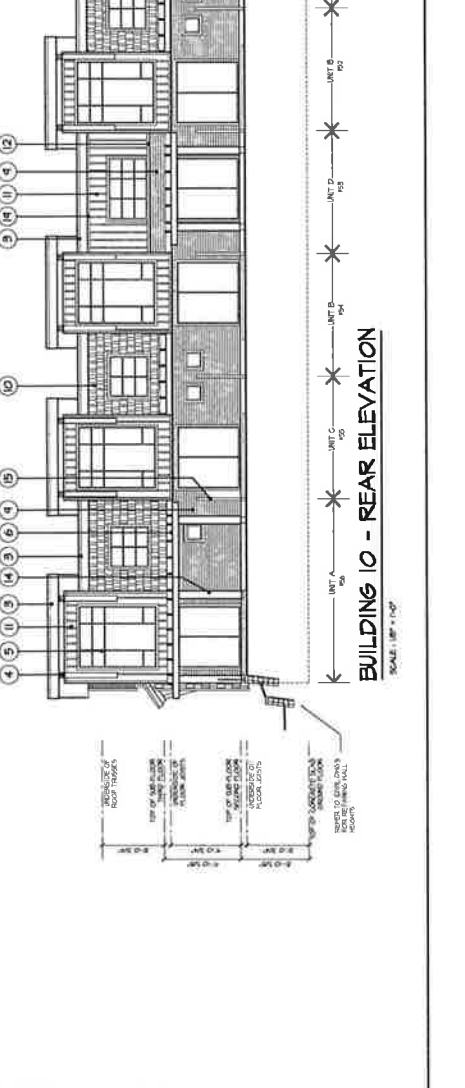
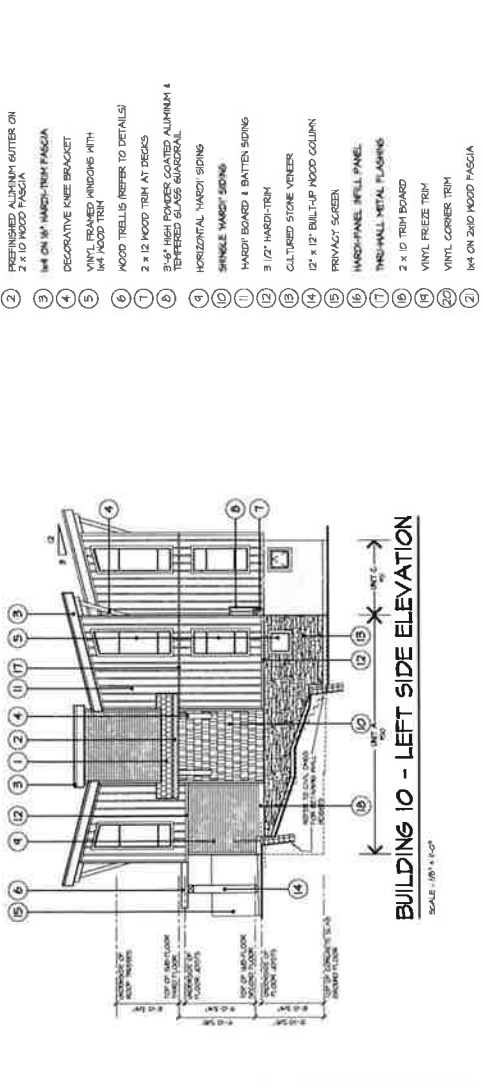
SHEET NO.	REV. NO.
AC-510	10014



BUILDING 10 - FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



BUILDING 10 - RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



BUILDING 10 - LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

BUILDING 10 - REAR ELEVATION
 SCALE: 1/8" = 1'-0"

- SCHEDULE OF FINISHES**
- 1 ASPHALT SINGLE ROOFING
 - 2 REFINISHED ALUMINUM BUTTER ON 2 X 10 WOOD FASCIA
 - 3 1/4" ON 1" WOOD-TRIM FASCIA
 - 4 DECORATIVE KNEE BRACKET
 - 5 VINYL FRAMED WINDOWS WITH 1/4" FLOOR TRIM
 - 6 WOOD TRILLIS (REFER TO DETAILS)
 - 7 2 X 12 WOOD TRIM AT DECKS
 - 8 2 X 4 HIGH POWER COATED ALUMINUM 4 TEMPERED GLASS GARAGE DOOR
 - 9 HORIZONTAL WOOD SIDING
 - 10 SHINGLE WOOD SIDING
 - 11 HARDY BOARD 1 BATTEN SIDING
 - 12 3/4" WOOD-TRIM
 - 13 CULTURED STONE VENEER
 - 14 12" X 12" BUILT-UP WOOD COLLAR
 - 15 PRIVACY SCREEN
 - 16 1/2" WOOD-TRIM
 - 17 1/2" WOOD-TRIM
 - 18 2 X 10 TRIM BOARD
 - 19 VINYL CORNER TRIM
 - 20 1/4" ON 2X10 WOOD FASCIA
 - 21
 - 22

NOTES: ALL FINISHES ARE TO BE APPLIED TO THE EXTERIOR SURFACE UNLESS OTHERWISE NOTED. FINISHES TO BE APPLIED TO THE INTERIOR SURFACE UNLESS OTHERWISE NOTED. FINISHES TO BE APPLIED TO THE EXTERIOR SURFACE UNLESS OTHERWISE NOTED. FINISHES TO BE APPLIED TO THE INTERIOR SURFACE UNLESS OTHERWISE NOTED.

REVISION	DATE	BY	CHECKED BY

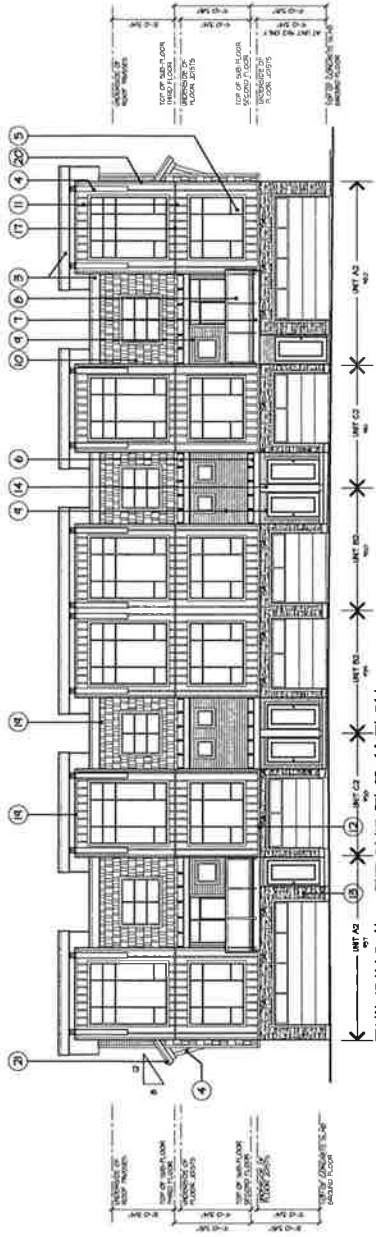
DESIGN	DATE

CLIENT	PROJECT
JOE DHALIWAL	RESIDENTIAL DEVELOPMENT

barnett dembek
 ARCHITECTS
 7500 130 STREET
 VANCOUVER, B.C.
 V6W 1H6
 PHONE: (604) 597-7100
 FAX: (604) 597-2059
 EMAIL: info@barnett.com

CAD FILE NO.	PROJECT NO.

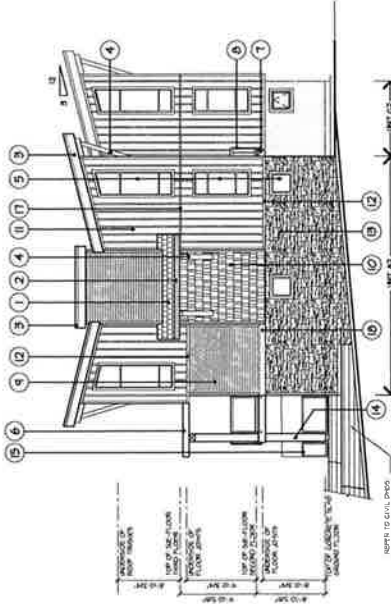
BUILDING #11



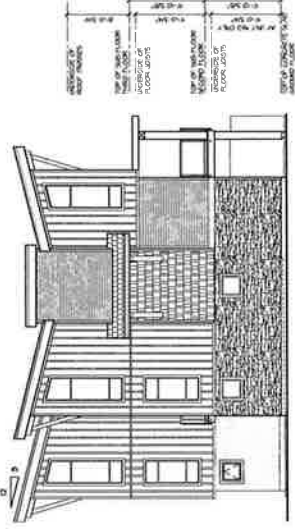
BUILDING II - FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

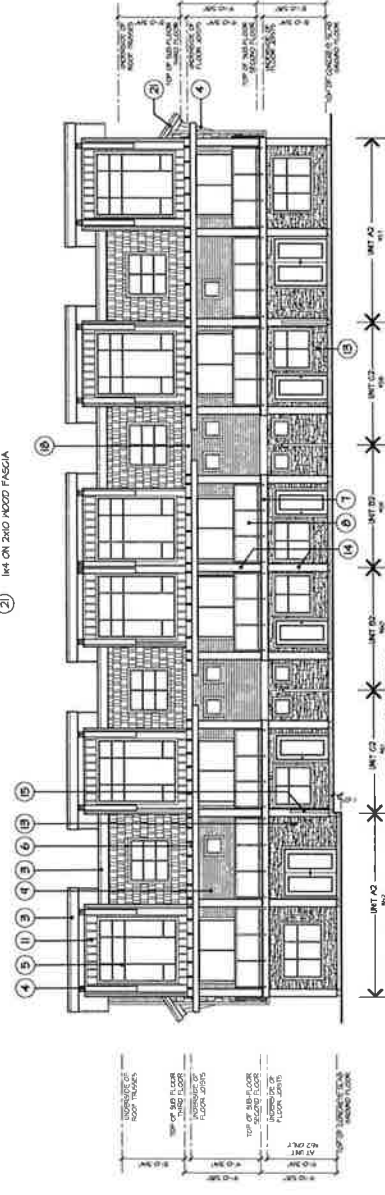
- 1 ASPHALT SHINGLE ROOFING
- 2 PREFINISHED ALUMINUM GUTTERS ON 2" X 10" WOOD FASCIA
- 3 1/4" ON 1/4" HAND-TRIM FASCIA
- 4 DECORATIVE KNEE BRACKET
- 5 VINYL FRAMED WINDOWS WITH 1/4" WOOD TRIM
- 6 WOOD TRELLIS (REFER TO DETAILS)
- 7 2 X 12 WOOD TRIM AT DECKS
- 8 3/4" HIGH POWDER COATED ALUMINUM THERMO-BREAK GLASS GLAZING
- 9 HORIZONTAL HAND-TRIM SIDING
- 10 SINGLE HAND-TRIM SIDING
- 11 HAND-TRIM BOARD & BATTEN SIDING
- 12 3/2" HAND-TRIM
- 13 CULTURED STONE VENEER
- 14 12" X 12" BUILT-UP WOOD CORNICE
- 15 PLYWOOD SCREEN
- 16 HAND-PANEL INFILL PANEL
- 17 TRIB-HULL METAL FLASHING
- 18 2 X 10 TRIM BOARD
- 19 VINYL FREEZE TRIM
- 20 VINYL CORNER TRIM
- 21 1/4" ON 2X10 WOOD FASCIA



BUILDING II - LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



BUILDING II - RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

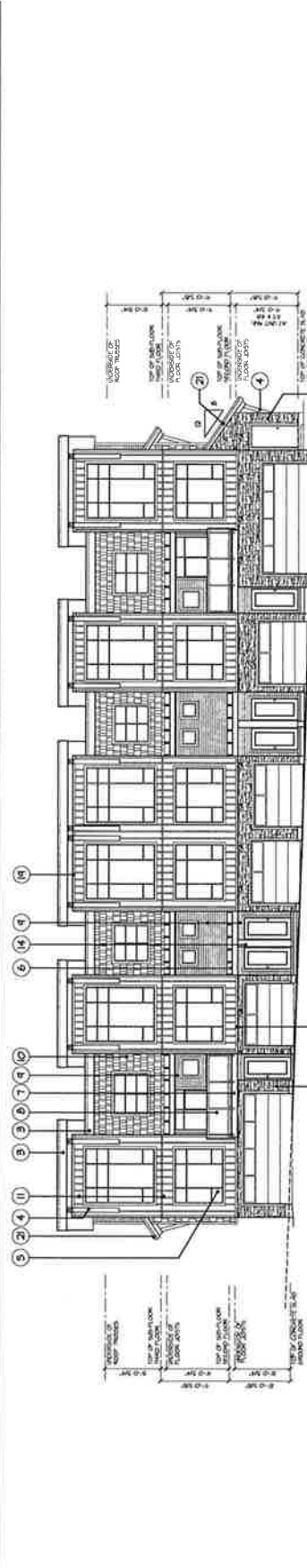


BUILDING II - REAR ELEVATION
 SCALE: 1/8" = 1'-0"

REVISION	DATE	BY	CHECKED	DATE

DESIGN	DATE	SCALE	SHEET CONTENTS

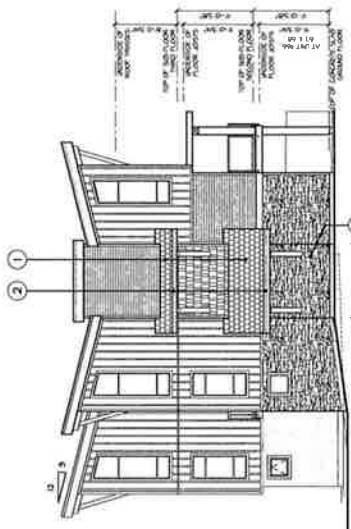
CLIENT	CADRE NO.	SHEET NO.	PROJECT NO.



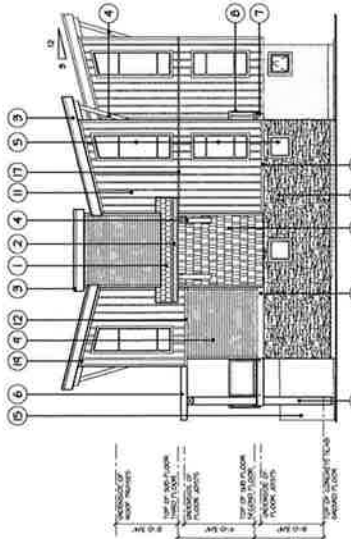
BUILDING 12 - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

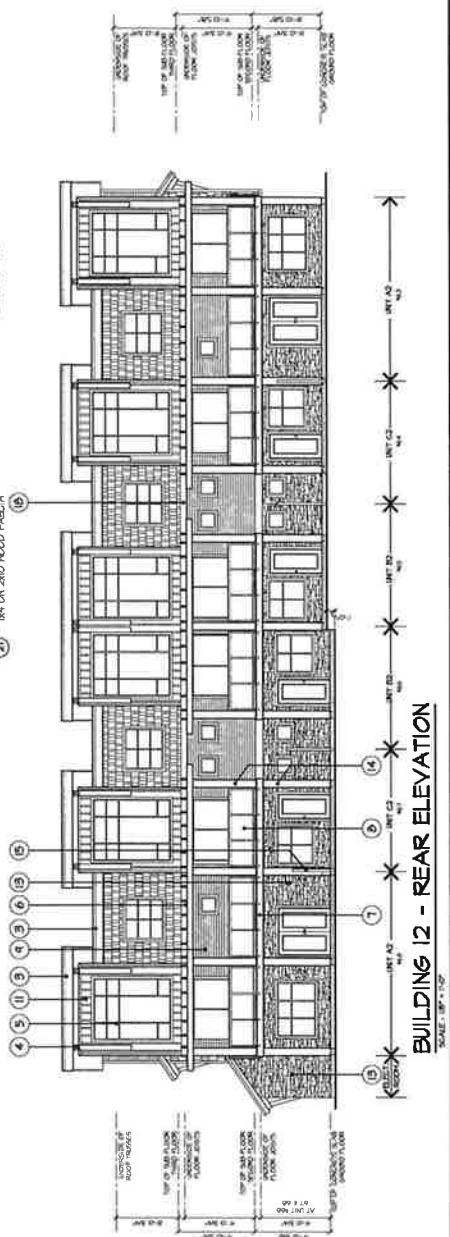
- 1 ASPHALT SHINGLE ROOFING
- 2 PREFINISHED ALUMINUM SITTER ON 2" X 10" WOOD FASCIA
- 3 1/4" ON 1/4" HARD-TIM FASCIA
- 4 DECORATIVE KNEE BRACKET
- 5 VINYL FRAMED WINDOWS WITH 1/4" WOOD TRIM
- 6 WOOD TRILLIS REFER TO DETAILS
- 7 2" X 12" WOOD TRIM AT DECKS
- 8 3/4" HIGH POWDER COATED ALUMINUM TEMPERED GLASS GLAZING
- 9 HORIZONTAL HARDWOOD SIDING
- 10 SHINGLE WOOD SIDING
- 11 HARDY BOARD & BATTEN SIDING
- 12 3/2" HARD-TIM
- 13 CULTURED STONE VENEER
- 14 12" X 12" BUILT-UP WOOD COLUMN
- 15 PRIVACY SCREEN
- 16 HAND-PANEL INFILL PANEL
- 17 TRIM-WALL METAL FLASHING
- 18 2" X 10" TRIM BOARD
- 19 VINYL FRIEZE TRIM
- 20 VINYL CORNER TRIM
- 21 1/4" ON 2x10 WOOD FASCIA



BUILDING 12 - RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 12 - LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 12 - REAR ELEVATION
SCALE: 1/8" = 1'-0"

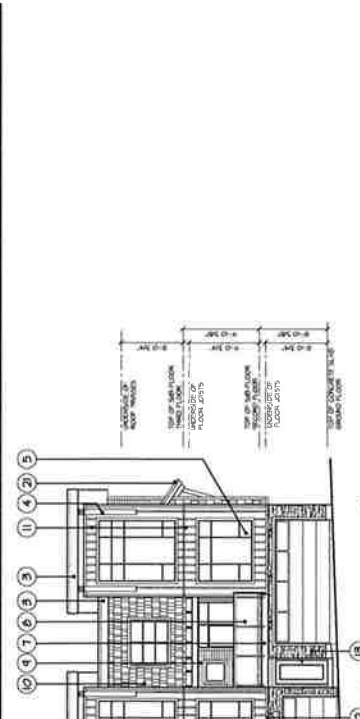
REV	DATE	BY	CHKD	APP

OWNER: AL BROWN INC
 ARCHITECT: JOE CHAIWAL
 PROJECT NO.: AC-513
 DRAWING NO.: 10014

CLIENT: JOE CHAIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT
 BARSTON DRIVE E & 177A ST, SURREY, B.C.
 SHEET CONTENTS:
 BUILDING #13
 UNIT 211
 DATE: 11.18
 SCALE: 1/8" = 1'-0"
 UNIT: 1'-0"

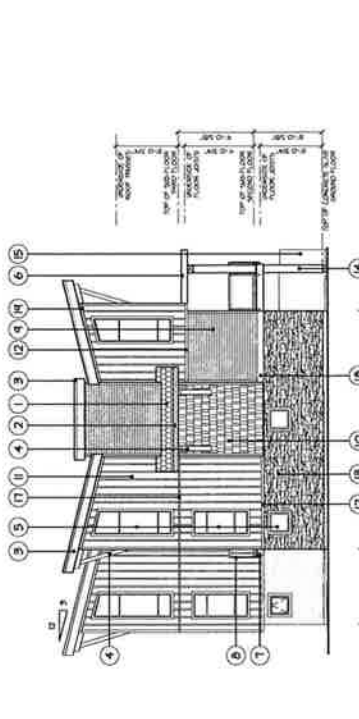
UNIT 135
 2038 120 STREET
 VICTORIA, B.C.
 V8W 1H6
 PHONE: (604) 597-7100
 FAX: (604) 597-2059
 EMAIL: info@donette.ca

CLIENT: JOE CHAIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT
 BARSTON DRIVE E & 177A ST, SURREY, B.C.
 SHEET CONTENTS:
 BUILDING #13
 UNIT 211
 DATE: 11.18
 SCALE: 1/8" = 1'-0"
 UNIT: 1'-0"

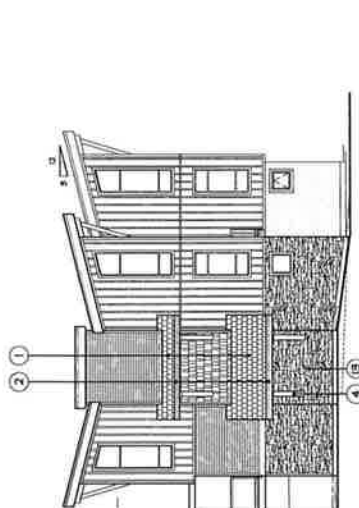


BUILDING 13 - FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

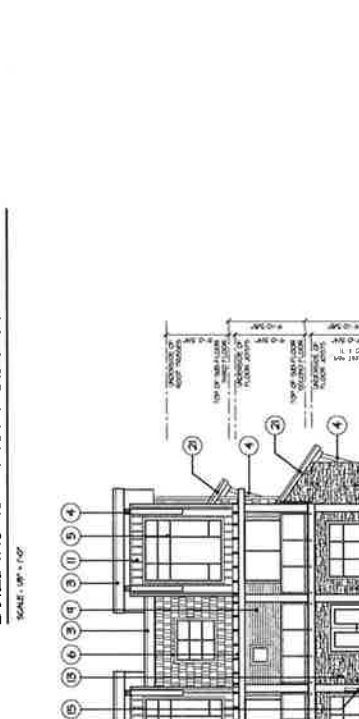
- SCHEDULE OF FINISHES**
- 1 ASPHALT SINGLE ROOFING
 - 2 PREFINISHED ALUMINUM GUTTER ON 2 X 10 WOOD FASCIA
 - 3 1/4" ON 16" HARD-TREK FASCIA
 - 4 DECORATIVE KNEE BRACKET
 - 5 VINYL FRAMED WINDOWS WITH 1/4" WOOD TRIM
 - 6 WOOD TRELLIS (REFER TO DETAILS)
 - 7 2 X 12 WOOD TRIM AT DECKS
 - 8 3/4" HIGH POWDER COATED ALUMINUM / THERMOPLASTIC GLASS GARAGE
 - 9 HORIZONTAL HARDY SIDING
 - 10 SHINGLE HARDY SIDING
 - 11 HARDY BOARD & BATTLED SIDING
 - 12 9 1/2" HARD-TREK
 - 13 CULTURED STONE VENEER
 - 14 12" X 12" BUILT-UP WOOD COLUMN
 - 15 PRIVACY SCREEN
 - 16 HAND-PAINTED WOOD PANEL
 - 17 TRIMMABLE METAL FLASHING
 - 18 2 X 10 TRIM BOARD
 - 19 VINYL FREEZE TRIM
 - 20 VINYL CORNER TRIM
 - 21 1/4" ON 2X10 WOOD FASCIA



BUILDING 13 - RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

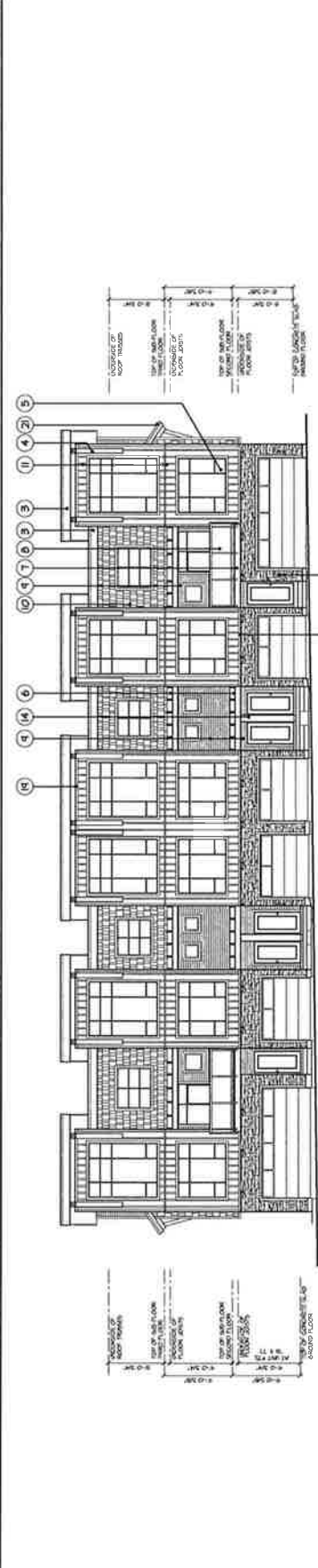


BUILDING 13 - LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



BUILDING 13 - REAR ELEVATION
 SCALE: 1/8" = 1'-0"

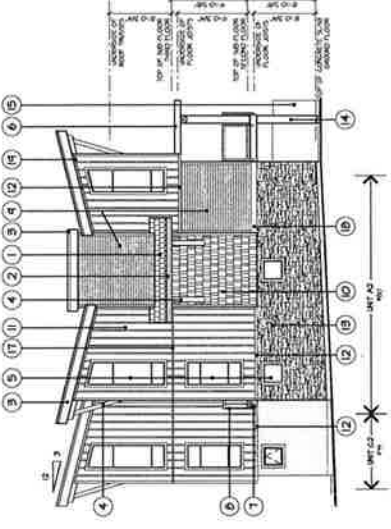
BUILDING #13



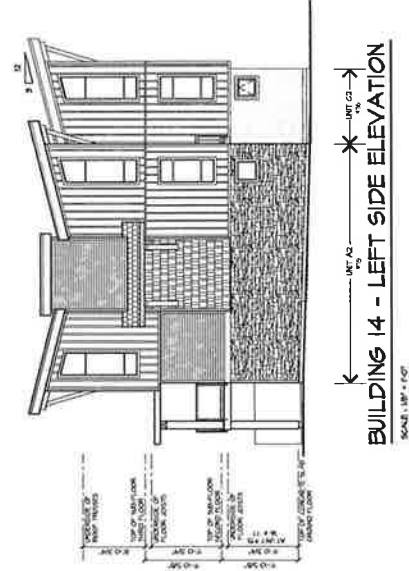
BUILDING 14 - FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

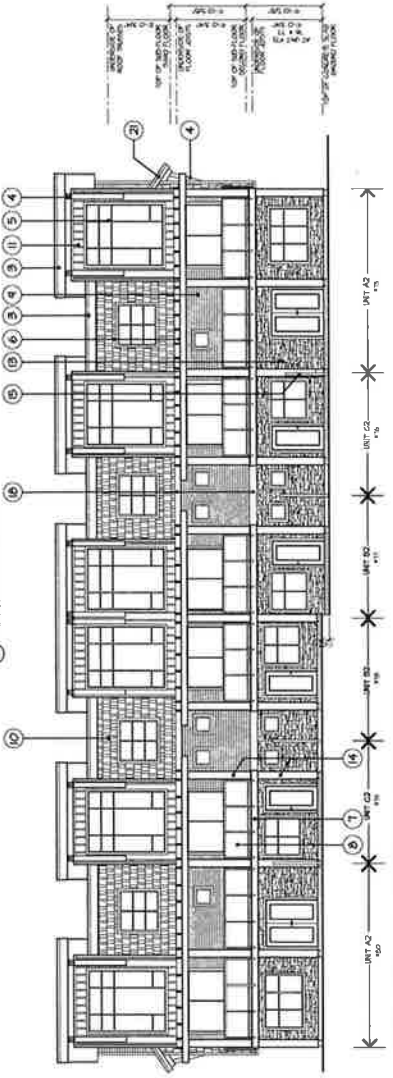
- 1 ASPHALT SHINGLE ROOFING
- 2 PRIMERED ALUMINUM GUTTERS ON 2" X 10" WOOD FASCIA
- 3 1/4" ON 1/4" HARD-TRIM FASCIA
- 4 DECORATIVE KNEE BRACKET
- 5 VINYL FRAMED WINDOWS WITH 1/4" WOOD TRIM
- 6 WOOD TRELLIS (REFER TO DETAILS)
- 7 2" X 12" WOOD TRIM AT DECKS
- 8 3"-4" HIGH POWDER COATED ALUMINUM 4 TYPED GLASS GLAZING
- 9 HORIZONTAL HARDY SIDING
- 10 SINGLE HARDY SIDING
- 11 HARDY BOARD & BATTEN SIDING
- 12 3/4" HARD-TRIM
- 13 CALTRED STONE VENEER
- 14 12" X 12" BUILT-UP WOOD COLUMN
- 15 PRIVACY SCREEN
- 16 HALF-PANEL IRON PANEL
- 17 THROUGH METAL FLASHING
- 18 2" X 10" TRIM BOARD
- 19 VINYL FREEZE TRIM
- 20 VINYL CORNER TRIM
- 21 1/4" ON 2x4 WOOD FASCIA



BUILDING 14 - RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

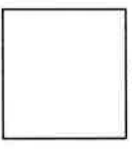


BUILDING 14 - LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



BUILDING 14 - REAR ELEVATION
 SCALE: 1/8" = 1'-0"

REV	DATE	BY	CHK	DESCRIPTION



DESIGN: JOE DHALIWAL
 DRAWN: [Blank]
 DATE: [Blank]
 SCALE: 1/8" = 1'-0"
 SHEET CONTENTS:
 BUILDING #14
 ELEVATIONS

barnett dembek
 UNIT 135, CORBETT
 SURVEY, B.C.
 V3W 1H8
 PHONE: (604) 587-7100
 FAX: (604) 587-2099
 EMAIL: info@barnettdem.com

SHEET NO.: AC-514
 PROJECT NO.: 10014

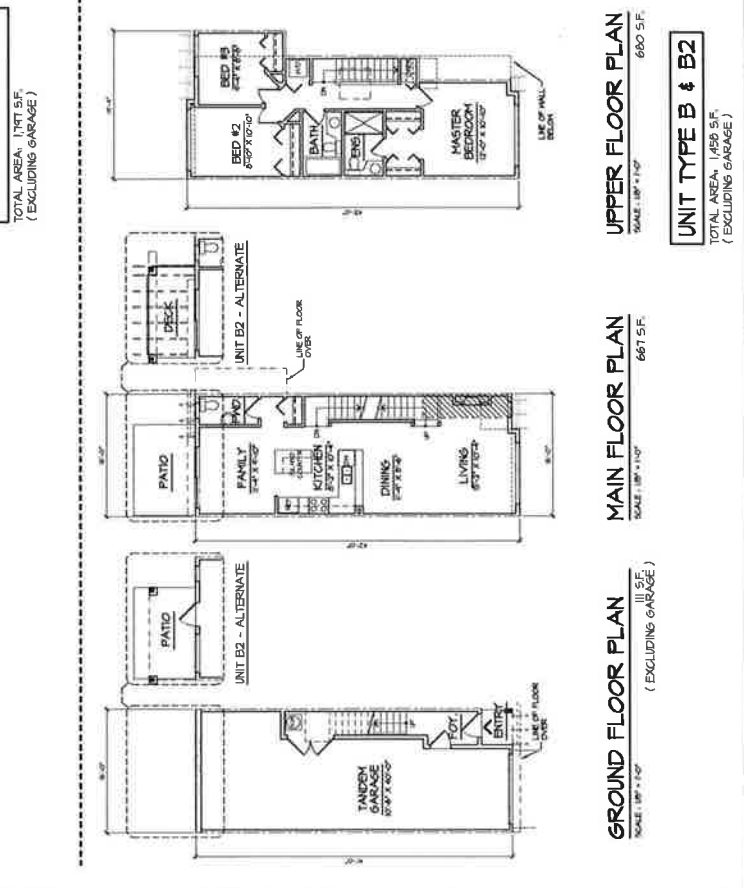
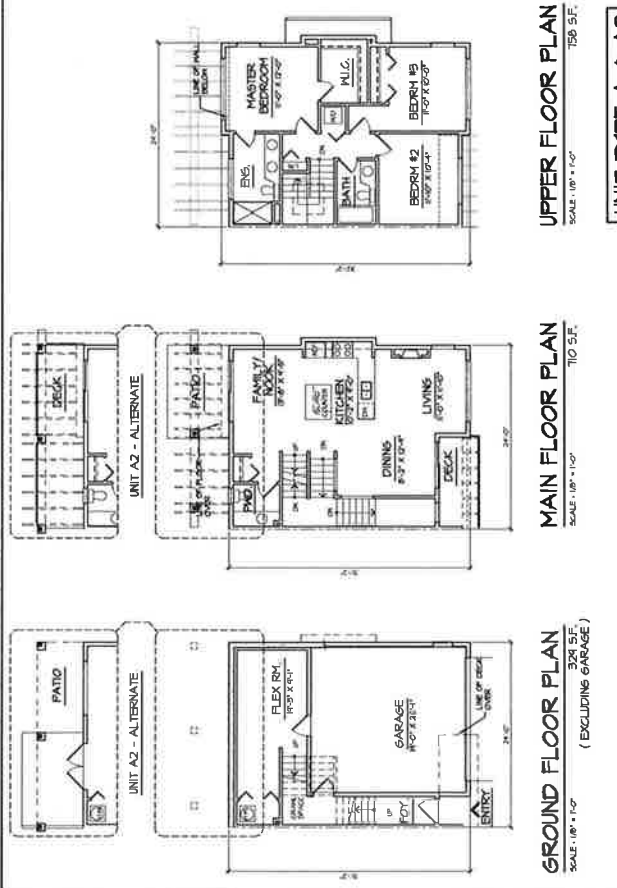
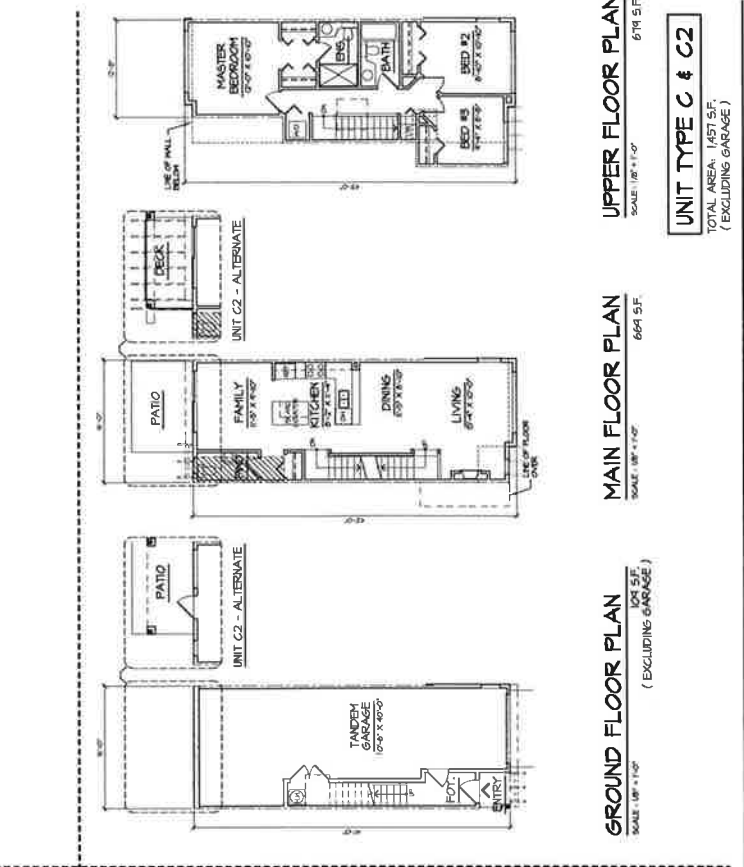
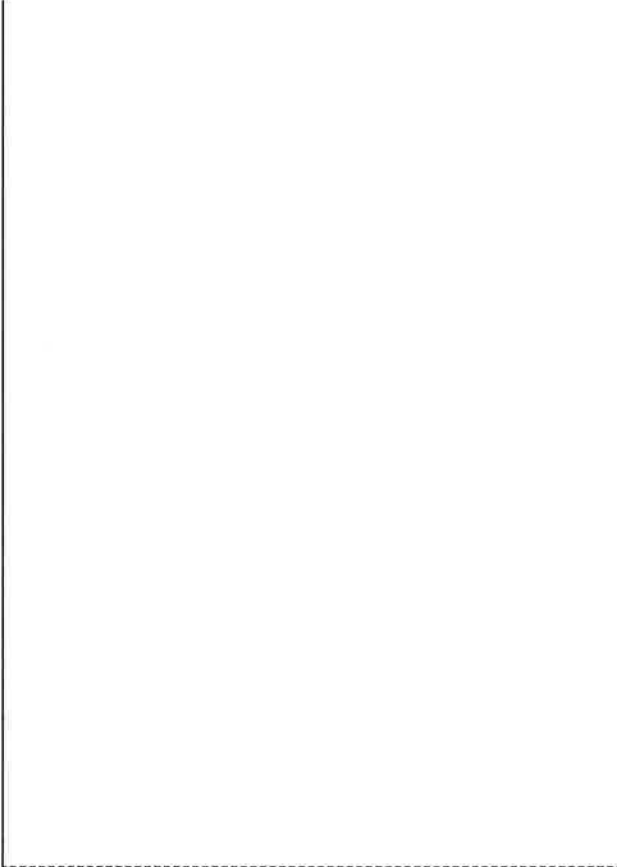
EXCEPT AS NOTED AND THE
 CONTRACT DOCUMENTS, THE
 ARCHITECT'S RESPONSIBILITY IS LIMITED
 TO THE DESIGN OF THE BUILDING
 AND THE WORK SHOWN ON THE PLANS.
 THE ARCHITECT DOES NOT WARRANT
 THE ACCURACY OF THE INFORMATION
 PROVIDED FOR THE DESIGN, NOR THE
 PERFORMANCE OF THE WORK SHOWN
 THEREON. THE ARCHITECT'S DESIGN
 SHALL BE SUBJECT TO THE APPROVAL
 OF THE LOCAL AUTHORITY.

NO.	DATE	DESCRIPTION	BY	DATE	BY

DESIGN :	DATE :	SCALE :	NO. :

CLIENT : JOE CHAIJAL
 PROJECT : RESIDENTIAL DEVELOPMENT
 BARGENTON DRIVE E & 171A ST. SURREY, B.C.
 SHEET CONTENTS : UNIT PLANS
 UNIT NO. :
 SCALE : 1/8" = 1'-0"
 DATE :
 DRAWN BY :
 CHECKED BY :
 NO. :

barnett dembek
 ARCHITECTS
 UNIT 135,
 7536 136 STREET,
 VANCOUVER, B.C.
 PHONE : (604) 597-7100
 PHONE : (604) 597-2039
 FAX : (604) 597-2039
 EMAIL : mail@barnett.com
 CLIENT NO. :
 UNIT NO. : AC-21
 PROJECT NO. : 10004
 REV. NO. :



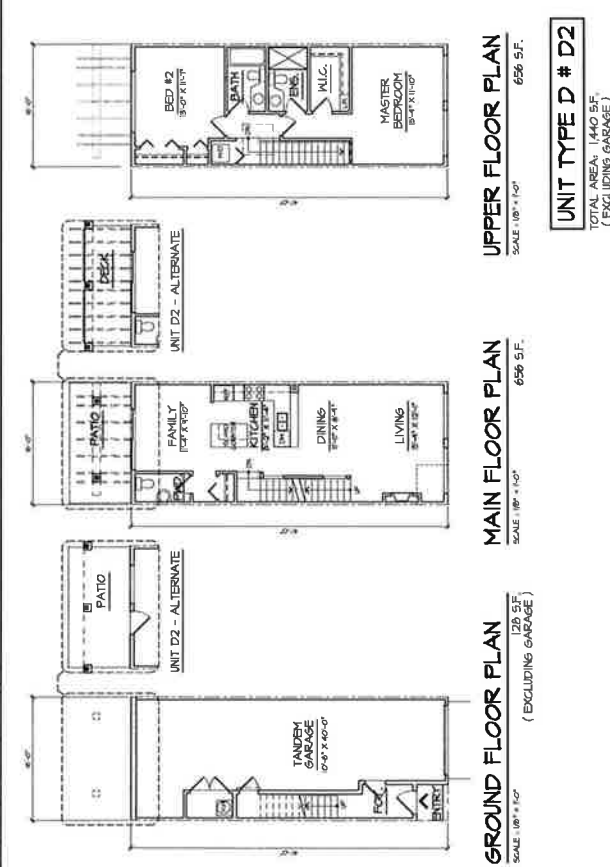
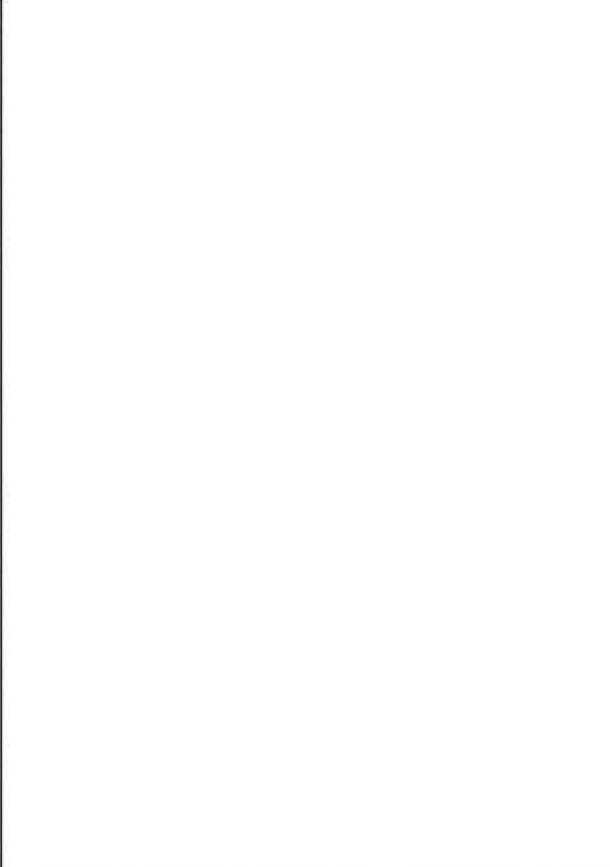
UNIT TYPE C & C2
 TOTAL AREA: 1457 S.F.
 (EXCLUDING GARAGE)

UNIT TYPE B & B2
 TOTAL AREA: 1458 S.F.
 (EXCLUDING GARAGE)

UNIT TYPE C & C2
 TOTAL AREA: 1457 S.F.
 (EXCLUDING GARAGE)

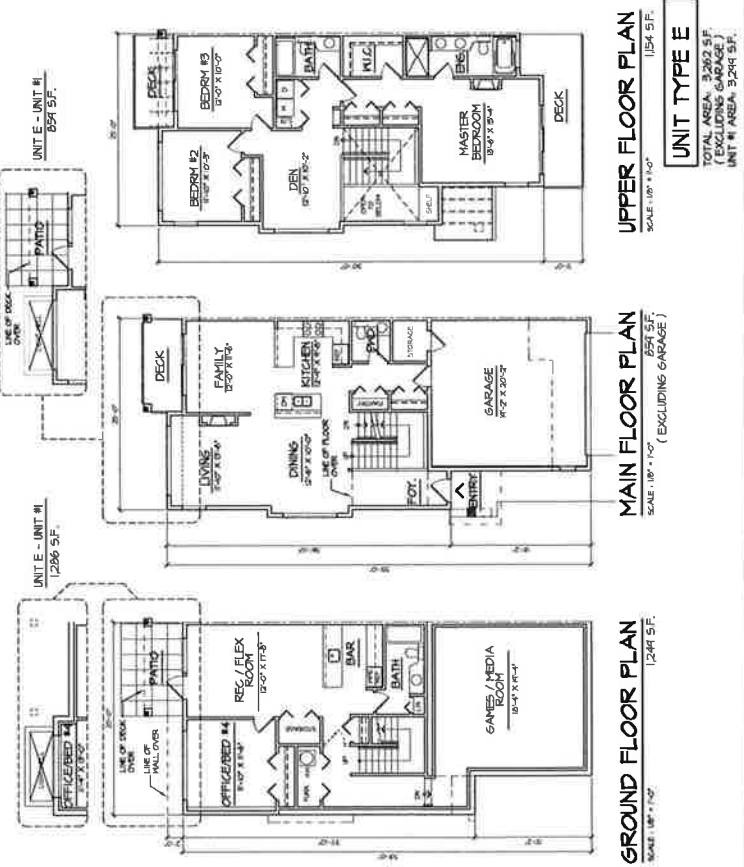
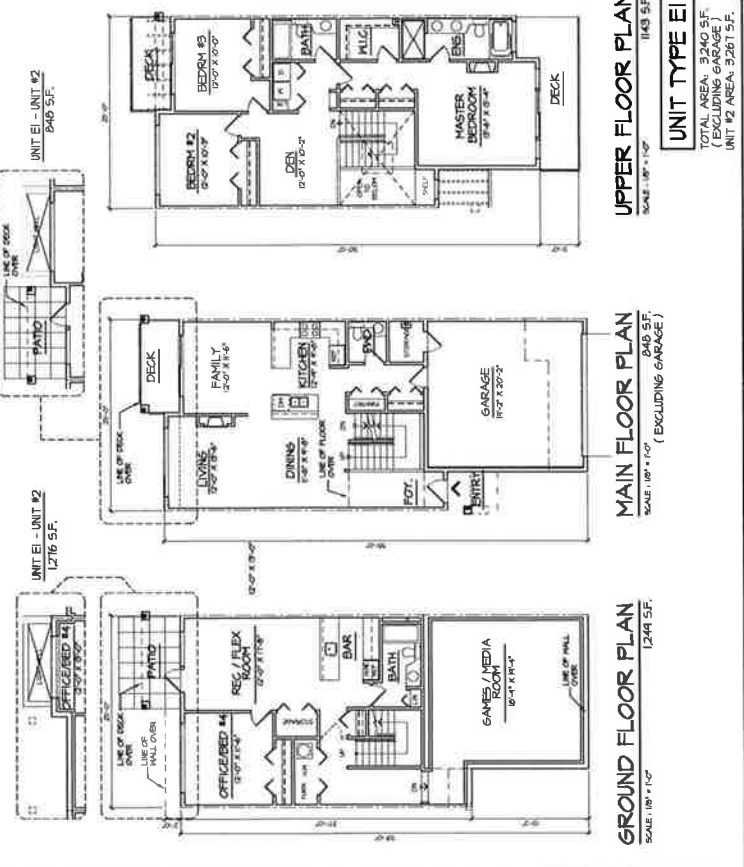
REVISIONS

NO.	DATE	BY	DESCRIPTION



CLIENT: JOE DHALIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT - BARNSTON DRIVE E. & 175A ST., SURREY, B.C.
 DESIGN: BARNETT DEMBEK ARCHITECTS
 DATE: 10/20/11
 SHEET NO.: UNIT PLANS
 UNIT NO.: 10014
 REV. NO.: AC-2.2

UNIT 125,
 7538 175A STREET,
 SURREY, B.C.
 PHONE: (604) 597-7100
 FAX: (604) 597-2059
 EMAIL: info@barnett.com

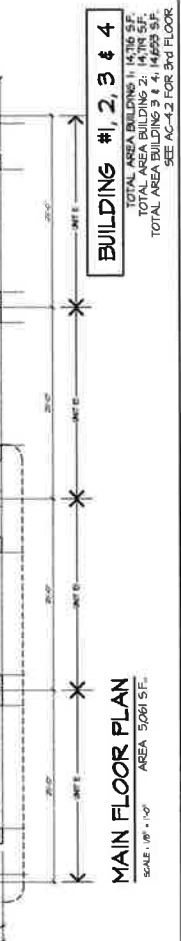
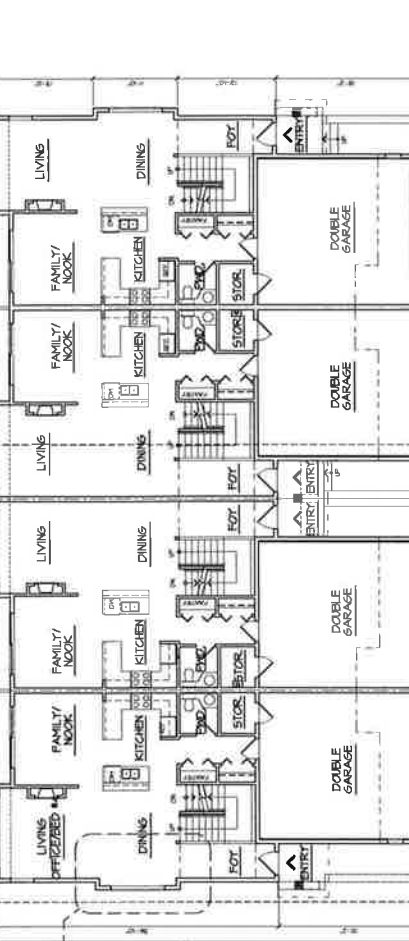
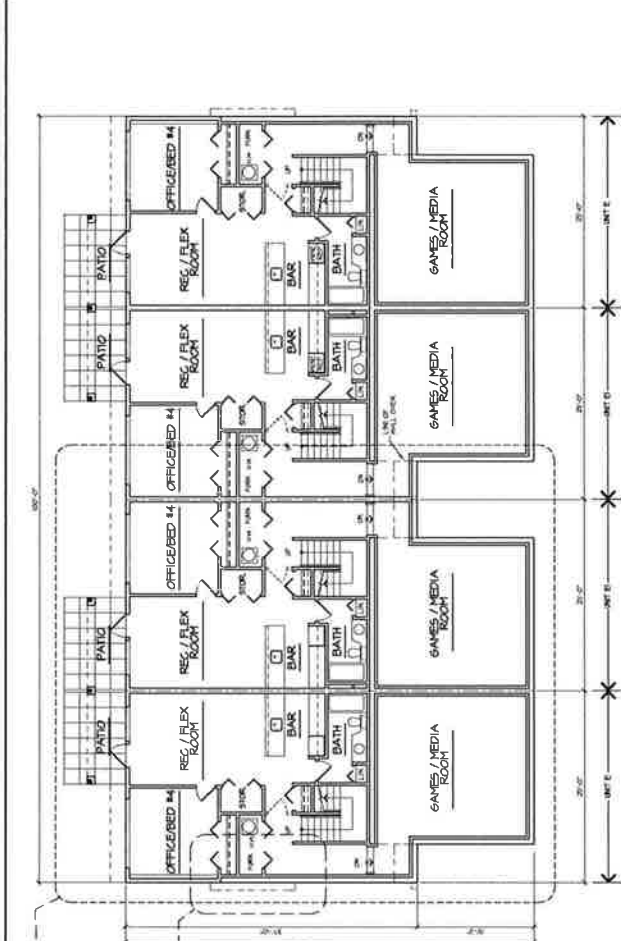


REV	DATE	BY	CHKD	DATE	BY	CHKD	REMARKS

--	--	--	--	--	--	--	--

CLIENT : JOE DRALIMAL
 PROJECT : RESIDENTIAL DEVELOPMENT
 BARMENTON DRIVE E & LITTA ST, SURREY, B.C.
 BERT COMMENTS :
 BUILDINGS #1, 2, 3 & 4
 DATE :
 SCALE : 1/8" = 1'-0"
 DRAWN :
 CHECKED :

barnett dembek
 UNIT 135,
 7636 136 STREET,
 VANCOUVER, B.C.
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnett.com
 UNIT NO.: AC-41
 PROJECT NO.: 10014
 REV. NO.:



BASEMENT FLOOR PLAN
BUILDINGS #1, 2, 3 & 4
 TOTAL AREA BUILDING #1: 14,716 SF.
 TOTAL AREA BUILDING #2: 14,716 SF.
 TOTAL AREA BUILDING #3 & 4: 14,659 SF.
 SEE AC-42 FOR 3RD FLOOR.

REVISION	DATE	BY	DESCRIPTION

--

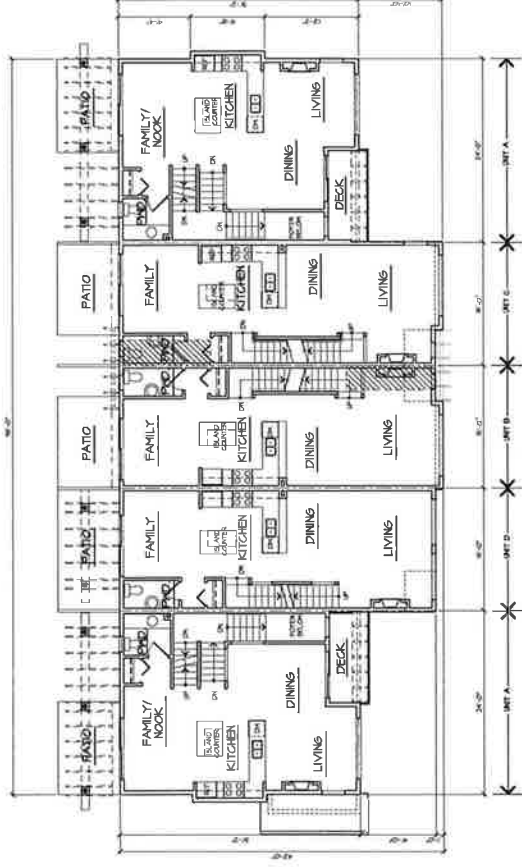
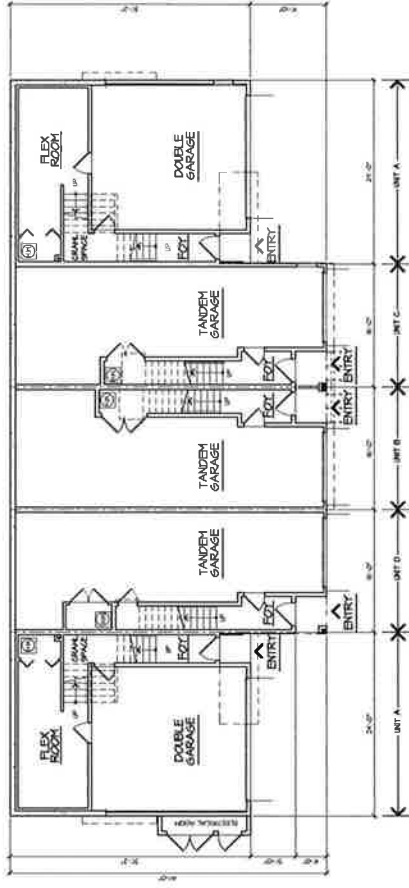
CLIENT: JOE DHALWAL
PROJECT: RESIDENTIAL DEVELOPMENT
BARSTON DRIVE E & 171A ST., SURREY, B.C.
SHEET CONTENTS: BUILDING PLANS
BUILDING #5
DATE: 11/17/14
SCALE: 1/8" = 1'-0"
DESIGN: L.P.B.
DRAWN: [Signature]

barnett dembek

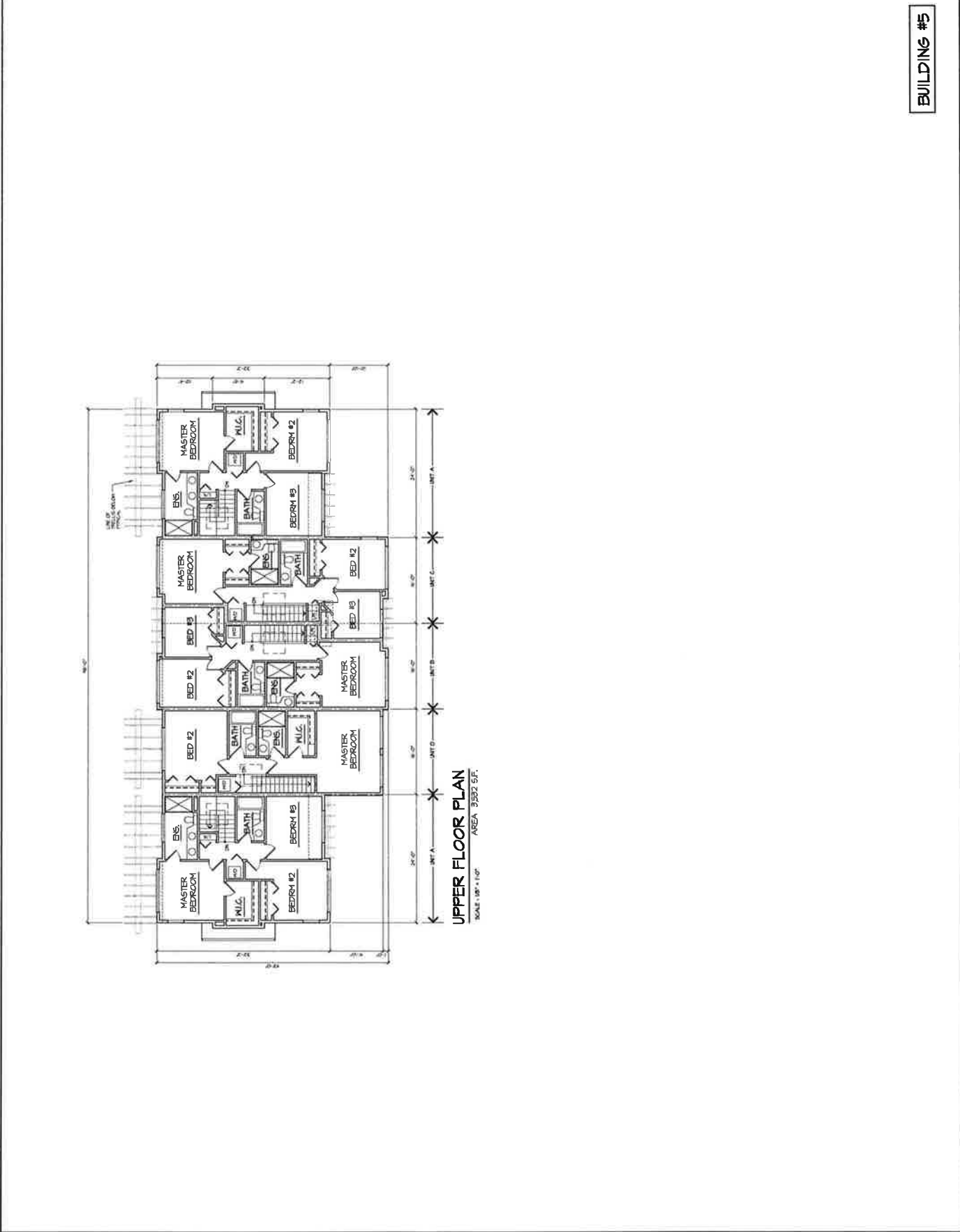
UNIT 135
7250 130 STREET
SURREY, B.C.
V0V 1H6

PHONE: (604) 597-2100
FAX: (604) 597-2059
EMAIL: info@barnett-dembek.com

CAD FILE NO.	DATE
10014	AC-43
PROJECT NO.	REV. NO.



BUILDING #5
TOTAL BUILDING AREA: 10354 SF.
SEE AC-46 FOR 3rd FLOOR.



UPPER FLOOR PLAN

SCALE: 1/8" = 1'-0" AREA: 3592 S.F.

REV#	DATE	BY	CHK	DATE	BY	CHK	DATE	BY	CHK

CONTRACTOR: ALL WORK AND NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

--

DESIGN:	JOE DHALWAL
DATE:	SEP 27 11
SCALE:	1/8" = 1'-0"
PROJECT:	RESIDENTIAL DEVELOPMENT BARINGTON DRIVE E & 177A ST, SURREY, B.C.
SHEET CONTAINS:	BUILDING PLANS BUILDING #5

barnett dembek
 UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V0W 1P1B
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: matt@barnett.com

CLIENT: AC-14
 PROJECT: 1004

BUILDING #5

OWNER: Mr. Joseph and
Mrs. Mary Jane Smith
2000 W. 100th Street
Edmonton, Alberta
T6E 6M1
PH: 780-443-1111
FAX: 780-443-1112
EMAIL: joe@josephsmith.com
mjm@josephsmith.com

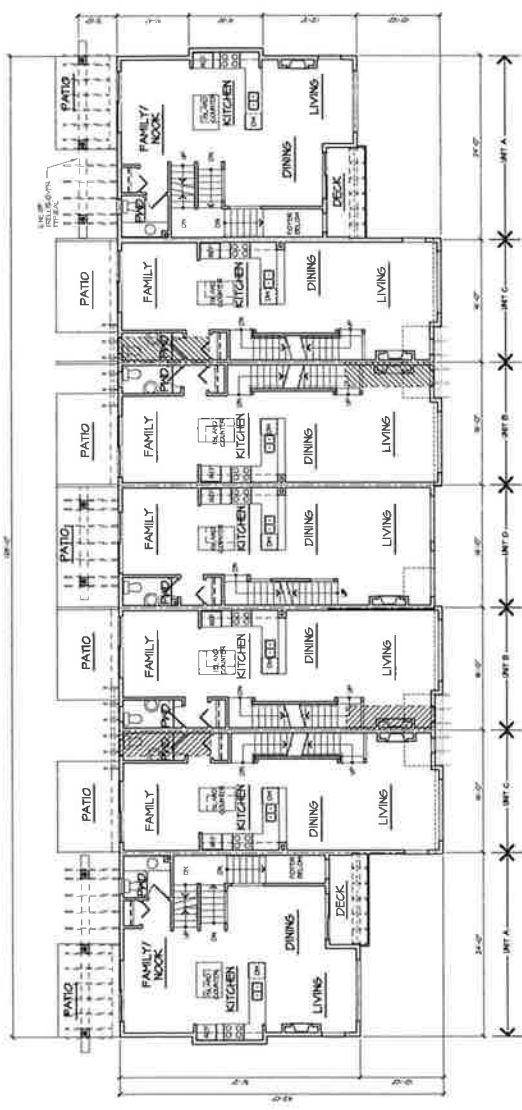
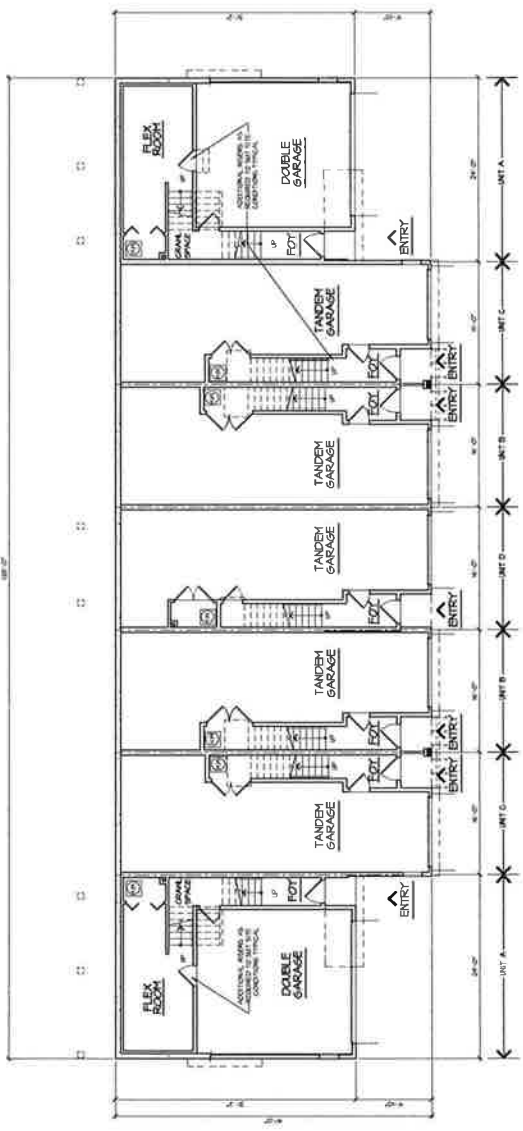
REV.	DATE	BY	CHKD.	DESCRIPTION

DESIGN:
L.P.F.
DWARF:
DATE: 11/11/11
SCALE: 1/8" = 1'-0"
SHEET NO. 01
BUILDING #6, 9 & 10

CLIENT: JOE DHALWAL
PROJECT: RESIDENTIAL DEVELOPMENT
BARSTON DRIVE E & 77A ST, SURREY, B.C.
SHEET CONTENTS
BUILDING #6, 9 & 10
SCALE: 1/8" = 1'-0"
DATE: 11/11/11

barnett dembek
ARCHITECTS INC.
UNIT 135,
7238 130 STREET
VANCOUVER, B.C.
V6V 1H8
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: info@barnettdembek.com

SHEET NO. AC-45
REV. NO. 10014



BUILDINGS #6, 9 & 10
TOTAL AREA BUILDINGS 9 & 10: 14,201 SF.
SEE AC-45 FOR 3RD FLOOR.

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REV	DATE	BY	CHK	DATE	BY	CHK	DATE	BY	CHK



CLIENT: JOE DHALIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT
 BARNSTON DRIVE E & 177A ST. SURREY, B.C.
 SHEET CONTENTS:
 BUILDINGS #6, 9 & 10
 BUILDINGS #6, 9 & 10
 SCALE: 1/8" = 1'-0"
 DATE: JUNE 27, 2009
 DRAWN: L.F.N.
 DESIGN: L.F.N.

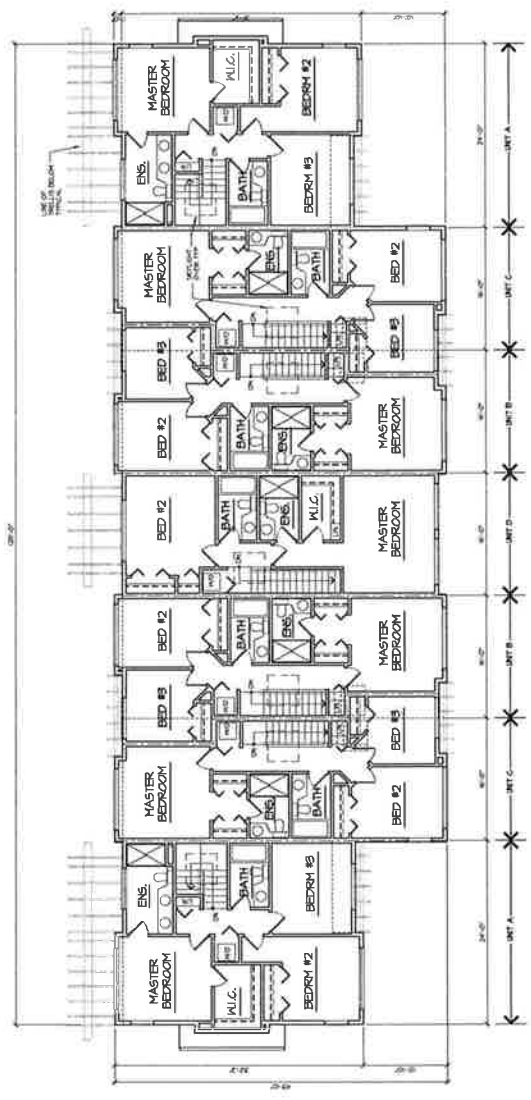
barnett dermick
 ARCHITECTS

UNIT 135,
 2150 170TH STREET,
 SURREY, B.C.
 V0W 1H1B

PHONE: (604) 597-7100
 FAX: (604) 597-2059
 EMAIL: mail@barnettdermick.com

SHEET NO.	AC-4.6
PROJECT NO.	10014
REV. NO.	

BUILDINGS #6, 9 & 10



UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0" AREA: 4,988 SF.

REV	DATE	BY	CHKD	APP'D

DESIGN	J.P.B.
DRWN	
DATE	
SCALE	
SHEET NO.	
BUILDING #	
PROJECT	

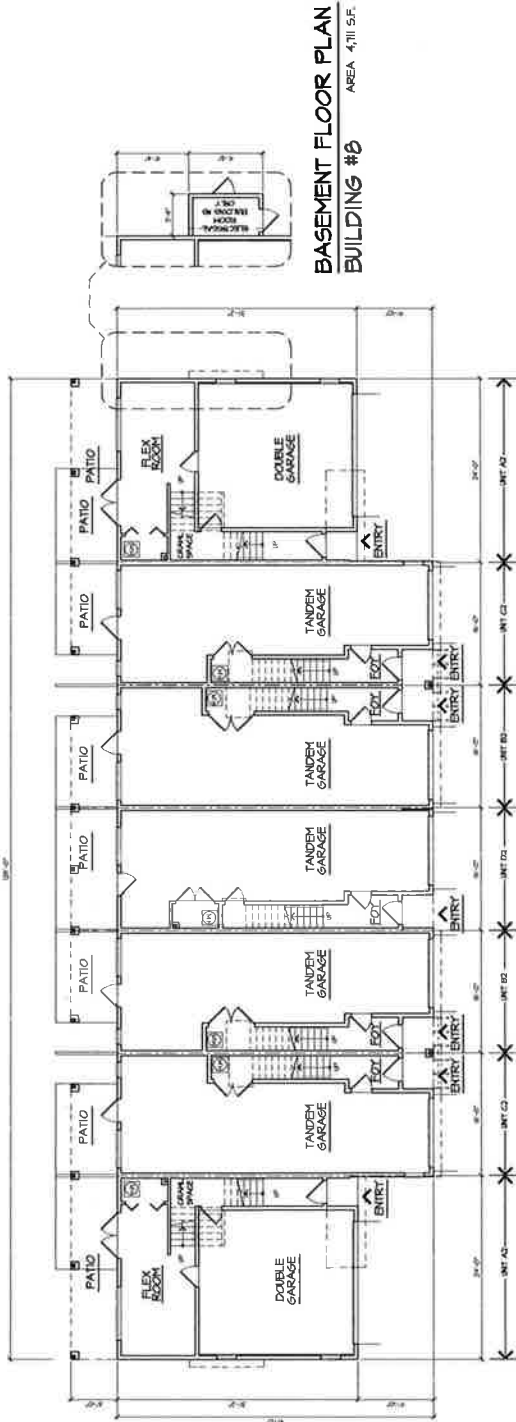
CLIENT:	JOE DHALWAL
PROJECT:	RESIDENTIAL DEVELOPMENT BARINGTON DRIVE E. & 177A ST., SURREY, B.C.
SHEET CONTENTS:	BUILDING # 7 & 8

barnett dembek
ARCHITECTS INC.

UNIT 135
7536 130 STREET
VANICUVER, B.C.
VAN V1W 1Y8

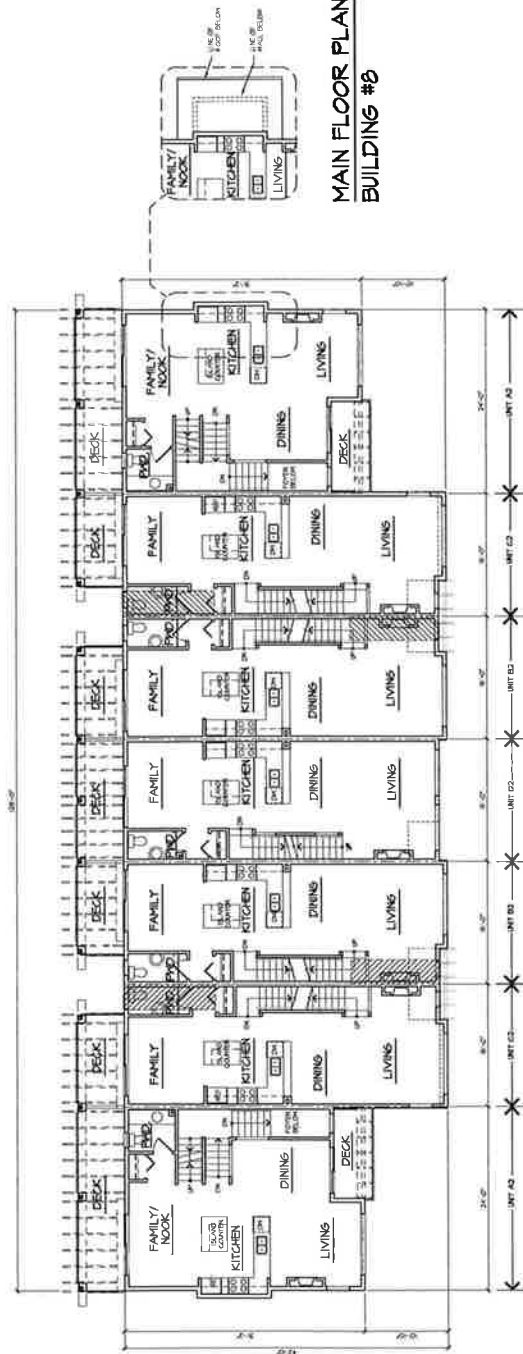
PHONE: (604) 697-7100
FAX: (604) 697-2059
EMAIL: mald@dembek.com

CADWALDRER REG. NO. AC-17
REGISTERED ARCHITECT
10004



**BASEMENT FLOOR PLAN
BUILDING #8** AREA 4,711 SF.

BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"
AREA 4,650 SF.



**MAIN FLOOR PLAN
BUILDING #8**

MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"
AREA 4,751 SF.

BUILDINGS # 7 & 8
TOTAL AREA BUILDING #1: 14,977 SF.
TOTAL AREA BUILDING #2: 14,550 SF.
SEE AC-110 FOR 3rd FLOOR

CLIENT: JOE DHAIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT
 BARNSTON DRIVE E & 17TH ST., SURREY, B.C.

DATE	BY	REVISION

UNIT NO. AC-4.0
 PROJECT NO. 10014
 SHEET NO. 10014

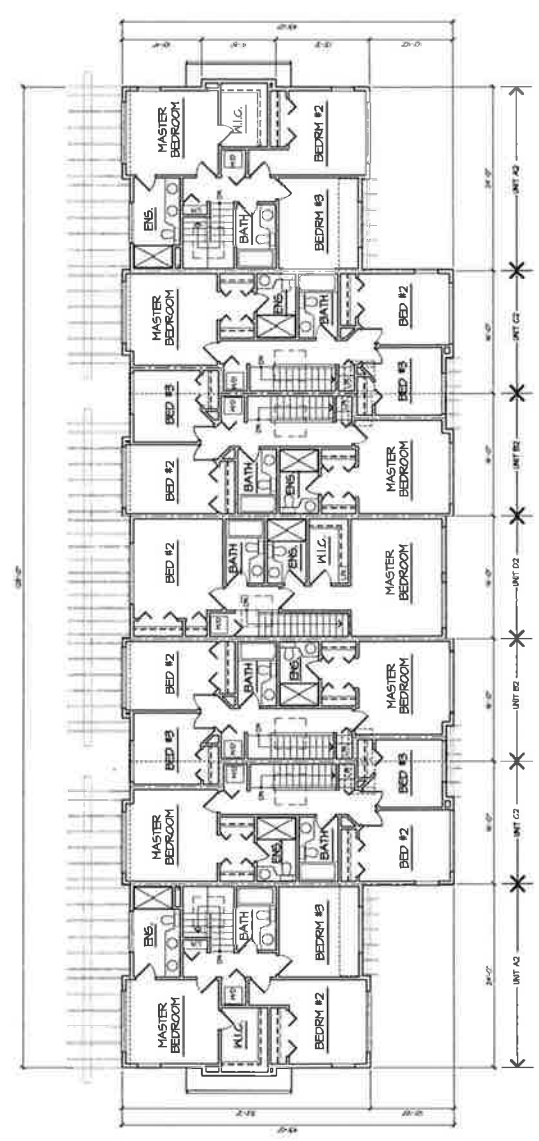
UNIT 135,
 7056 135 STREET,
 VANCOUVER, B.C.
 V6W 1H6

PHONE: (604) 597-7100
 FAX: (604) 597-2059
 EMAIL: matt@dembeck.com

CLIENT: JOE DHAIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT
 BARNSTON DRIVE E & 17TH ST., SURREY, B.C.

DATE: 10/21/11
 DRAWN BY: [Signature]
 SCALE: 1/8" = 1'-0"

UNIT A1
 UNIT A2
 UNIT C1
 UNIT C2
 UNIT D1
 UNIT D2
 UNIT E1
 UNIT E2
 UNIT G1
 UNIT G2



UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 AREA: 4,200 SF.

BUILDINGS # 7 & 8

OWNER: AL BOWMAN INC.
 10015 W. 130th Street, Suite 100
 Overland Park, KS 66204
 PHONE: (913) 646-1100
 FAX: (913) 646-1101
 ARCHITECT: BARNETT DEMBEK ARCHITECTS, P.C.
 10015 W. 130th Street, Suite 100
 Overland Park, KS 66204
 PHONE: (913) 646-1100
 FAX: (913) 646-1101
 DATE: 08/11/11

NO.	DATE	DESCRIPTION
1	08/11/11	ISSUED FOR PERMITS
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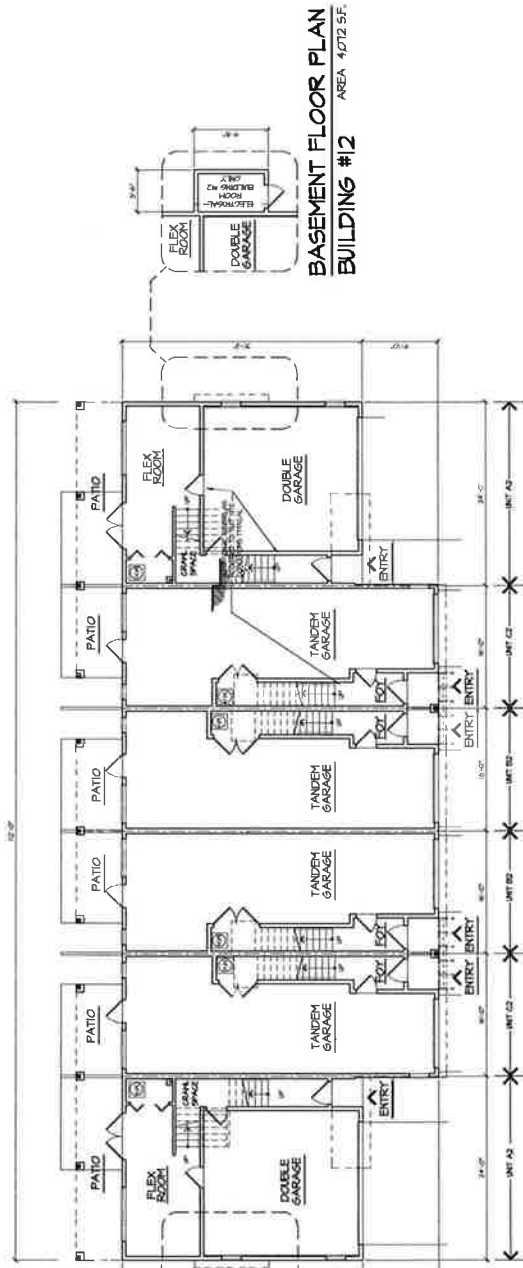
DESIGN	JOE DHALIWAL
DATE	08/11/11
SCALE	1/8" = 1'-0"
PROJECT	RESIDENTIAL DEVELOPMENT BARSTON DRIVE E & 177A ST., SURREY, B.C. BUILDINGS #1, 2, 3 & 4
SHEET	CONTRACT PLANS

CLIENT: JOE DHALIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT
 BARSTON DRIVE E & 177A ST., SURREY, B.C.
 BUILDINGS #1, 2, 3 & 4
 SHEET CONTENTS:
 CONSTRUCTION PLANS
 BUILDINGS #1, 2, 3 & 4

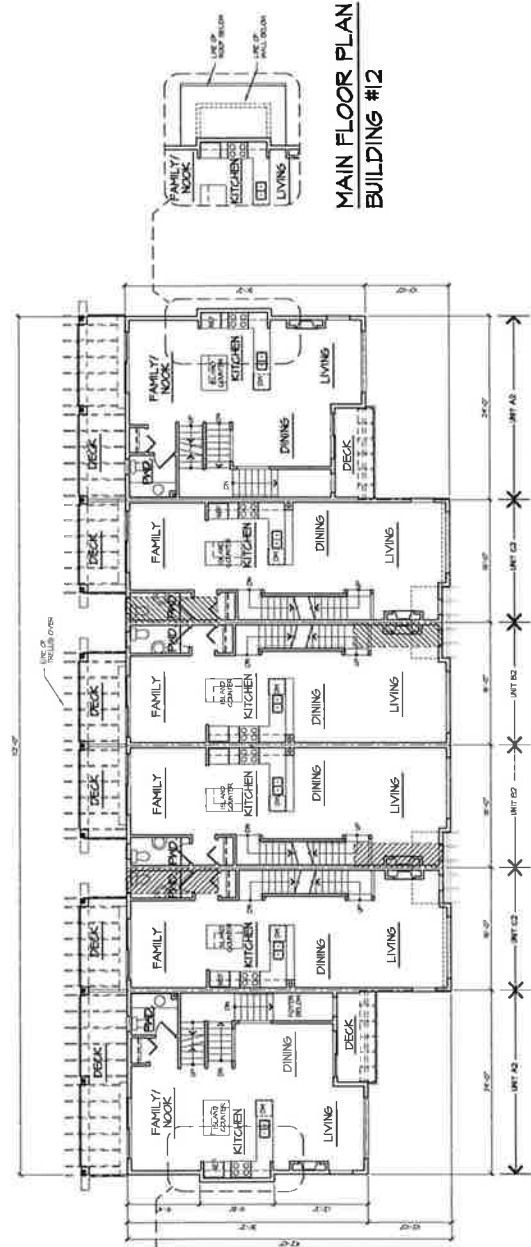
barnett dembek
 ARCHITECTS, P.C.

UNIT 135,
 7036 130th STREET,
 OVERLAND PARK, KS 66204
 PHONE: (913) 646-1100
 FAX: (913) 646-1101
 EMAIL: info@barnett.com

CADWAL	AC-4.1
PROJECT NO.	10014
REV. NO.	



BASEMENT FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 AREA: 4,072 SF



MAIN FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 AREA: 4,072 SF

BUILDINGS #1, 2, 3 & 4
 TOTAL AREA BUILDINGS #1 & 4: 12,346 SF
 TOTAL AREA BUILDINGS #2 & 3: 12,348 SF
 TOTAL AREA: 24,694 SF
 SEE AC-4.12 FOR 3rd FLOOR

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SHEET NUMBER

- L1 - COVER SHEET
- L2 - LAYOUT PLAN
- L3 - LANSCAPE PLAN CONDO 1
- L4 - LANSCAPE PLAN CONDO 2
- L5 - LANSCAPE PLAN CONDO 3
- L6 - LANSCAPE PLAN CONDO 4
- L7 - LANSCAPE PLAN CONDO 5
- L8 - LANSCAPE PLAN CONDO 6
- L9 - LANSCAPE PLAN CONDO 7
- L10 - LANSCAPE PLAN CONDO 8
- L11 - LANSCAPE PLAN CONDO 9
- L12 - LANSCAPE PLAN CONDO 10
- L13 - LANSCAPE PLAN CONDO 11
- L14 - LANSCAPE PLAN CONDO 12
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- L99 - LANSCAPE PLAN CONDO 97
- L100 - LANSCAPE PLAN CONDO 98
- L101 - LANSCAPE PLAN CONDO 99
- L102 - LANSCAPE PLAN CONDO 100

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PROJECT
RES. DEVELOPMENT
BARRINGTON DR. & 177A ST.
SURREY, BC

DRAWING TITLE
CONTEXT PLAN

DATE	SCALE	DRAWN BY	CHECKED BY	DATE	DWG. NO.

L1

OF 7



PLANT SCHEDULE	COMMON NAME ONLY	UNIVERSITY NUMBER TO BSA	PLANTER SIZE / HEIGHT
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NOTES - CONFER ALL GRADING/ELEVATIONS WITH CIVIL/ARCH DRAWINGS
 - THERE ARE NO EXISTING TREES TO BE PROTECTED OR REMOVED
 - CONTRACTOR TO PROVIDE DESIGN-BUILD HIGH EFFICIENCY IRRIGATION SYSTEM FOR ALL PLANTED AREAS

DMG PROJECT NUMBER 10-104

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- SHEET INDEX**
- L1 - CONCEPT MAP
 - L2A - LANDSCAPE PLAN CONDO 1
 - L2B - LANDSCAPE PLAN CONDO 1
 - L3 - STREET PLAN HATFIELD BNG
 - L4 - STREET PLAN HATFIELD BNG
 - L5 - DETAILS
 - L6 - SPECIFICATIONS PLAN

NORTH

NO.	DESCRIPTION	DATE
1	CONCEPT MAP	01/15/12
2	LANDSCAPE PLAN CONDO 1	02/15/12
3	LANDSCAPE PLAN CONDO 1	02/15/12
4	STREET PLAN HATFIELD BNG	02/15/12
5	STREET PLAN HATFIELD BNG	02/15/12
6	DETAILS	02/15/12
7	SPECIFICATIONS PLAN	02/15/12

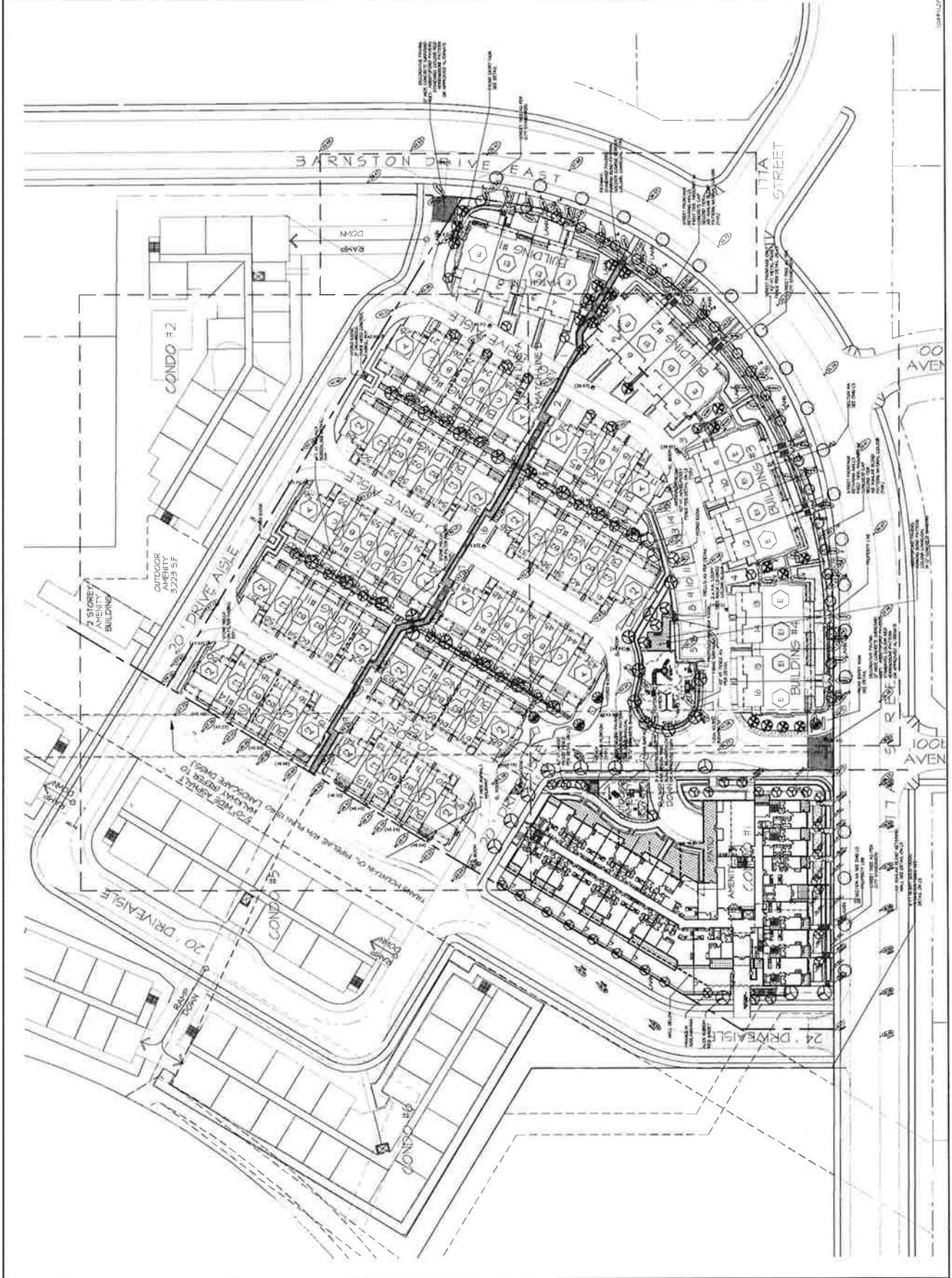
DMG
landscape architects

1000 Kingsway West, Suite 100
P.O. Box 1000
Richmond, BC V6X 1A1
Tel: 604-273-1111
Fax: 604-273-1112
www.dmg.ca

PROJECT
RES. DEVELOPMENT
BARNSTON DR. & 177A ST.
SURREY, BC

LANDSCAPE PLAN

DATE	02/15/12	DRAWING NUMBER	L2
SCALE	1/8"=1'-0"	DRAWN BY	DMG
DRAWN BY	DMG	CHECKED BY	DMG
DATE	02/15/12	PROJECT NUMBER	10-164



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- SHEET INDEX**
- 11 - CONCEPT PLAN
 - 12 - CONCEPT PLAN
 - 13 - LANDSCAPE PLAN (GOOD)
 - 14 - SHED PLAN (MACHINE B/C)
 - 15 - SHED PLAN (MACHINE A)
 - 16 - DETAILS
 - 17 - SPECIFICATION PLAN

NORTH

NO.	DESCRIPTION	DATE	BY	CHECKED
1	CONCEPT PLAN	2014.01.15	J.D.	J.D.
2	CONCEPT PLAN	2014.01.15	J.D.	J.D.
3	CONCEPT PLAN	2014.01.15	J.D.	J.D.
4	CONCEPT PLAN	2014.01.15	J.D.	J.D.
5	CONCEPT PLAN	2014.01.15	J.D.	J.D.
6	CONCEPT PLAN	2014.01.15	J.D.	J.D.
7	CONCEPT PLAN	2014.01.15	J.D.	J.D.
8	CONCEPT PLAN	2014.01.15	J.D.	J.D.
9	CONCEPT PLAN	2014.01.15	J.D.	J.D.
10	CONCEPT PLAN	2014.01.15	J.D.	J.D.
11	CONCEPT PLAN	2014.01.15	J.D.	J.D.
12	CONCEPT PLAN	2014.01.15	J.D.	J.D.
13	CONCEPT PLAN	2014.01.15	J.D.	J.D.
14	CONCEPT PLAN	2014.01.15	J.D.	J.D.
15	CONCEPT PLAN	2014.01.15	J.D.	J.D.
16	CONCEPT PLAN	2014.01.15	J.D.	J.D.
17	CONCEPT PLAN	2014.01.15	J.D.	J.D.

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1100 West Beaver Creek Drive
Richmond Hill, Ontario L4B 3N2
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www.dmg.ca

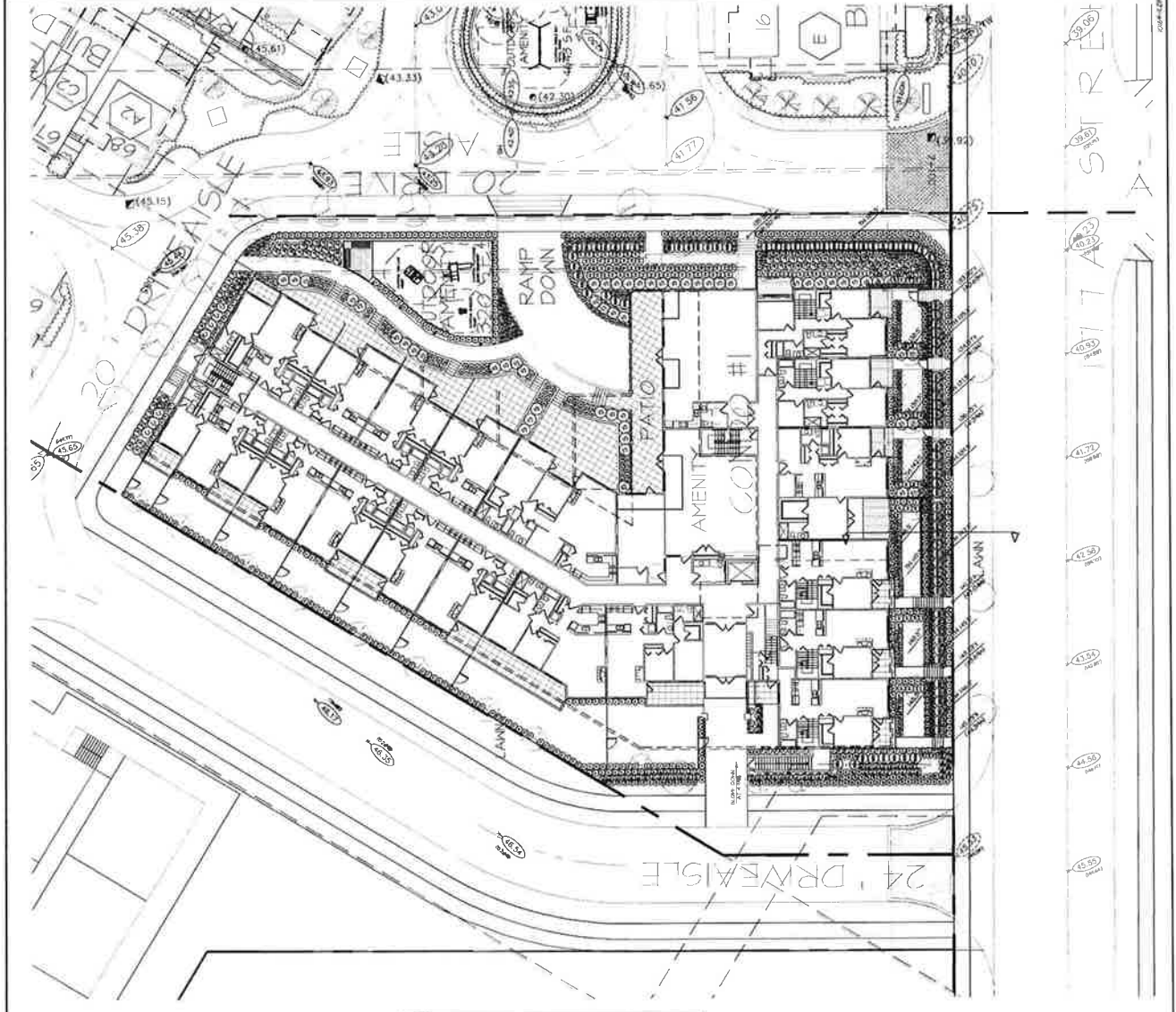
RES. DEVELOPMENT
BARNSTON DR & 177A ST.
SURREY, BC

DRAWING TITLE
CONDO 1 SHRUB PLAN

DATE: 04/21/14
SCALE: 1/8" = 1'-0"
DRAWN: JH
CHECKED: JH
PROJECT NUMBER: 10-184

DRAWING NUMBER
L2B

SHEET NUMBER
OF 7



PLANT SCHEDULE

NO.	SYMBOL	SCIENTIFIC NAME	COMMON NAME	PLANTED SIZE / SPACING	QTY
1	(Symbol)	SPERMATOPHYTES	RED MAPLE	18" x 18" @ 10' x 10'	1
2	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
3	(Symbol)	ANGIOSPERMS	YELLOW PINE	18" x 18" @ 10' x 10'	1
4	(Symbol)	ANGIOSPERMS	RED PINE	18" x 18" @ 10' x 10'	1
5	(Symbol)	ANGIOSPERMS	SPRING BURNING BUSH	18" x 18" @ 10' x 10'	1
6	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
7	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
8	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
9	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
10	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
11	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
12	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
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14	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
15	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
16	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
17	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
18	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
19	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
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24	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
25	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
26	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
27	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
28	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
29	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1
30	(Symbol)	ANGIOSPERMS	DOGWOOD	18" x 18" @ 10' x 10'	1

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

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- SHEET INDEX**
- L1 - CONCEPT PLAN
 - L2 - LANDSCAPE PLAN CONDO #1
 - L3 - SHED PLAN MATCHLINE B1 C
 - L4 - SHED PLAN MATCHLINE A
 - L5 - DETAILS
 - L6 - SPECIFICATION PLAN

NORTH

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DMG
landscape architects

110 - 10th Avenue SE
Surrey, BC V4A 4L1
Phone: 604.591.1111
Fax: 604.591.1112
www.dmg.ca

PROJECT
RES. DEVELOPMENT
BARNSTON DR. & 177A ST.
SURREY, BC

DRAWING TITLE
TOWNHOUSES
SHRUB PLAN

DATE	09/17	DRAWING NUMBER	L4
DESIGN	BM		
PERIOD	BM		
SCALE	1:1		

10-104
OF 7

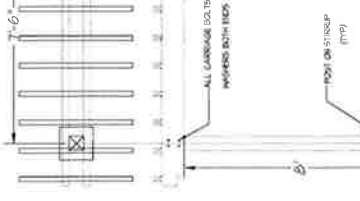
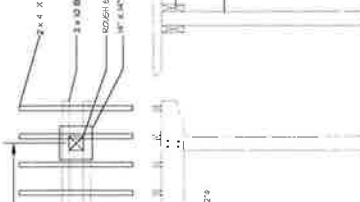
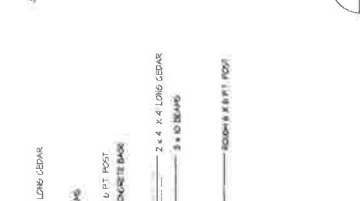
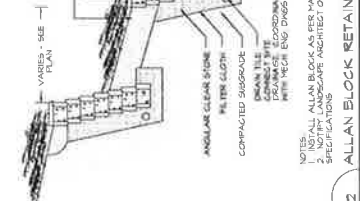
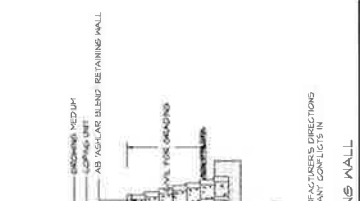
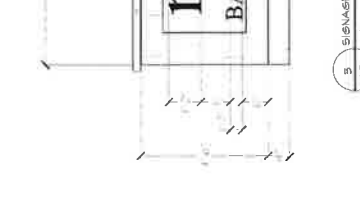
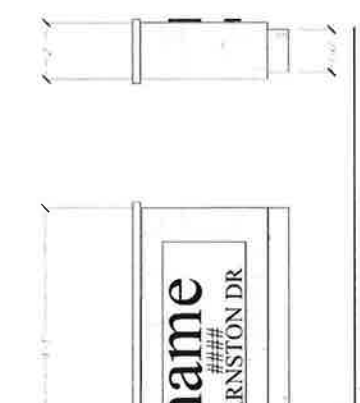


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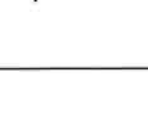
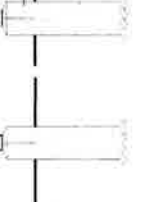
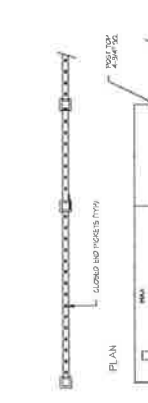
SHEET INDEX

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NORTH



NO.	DESCRIPTION	DATE
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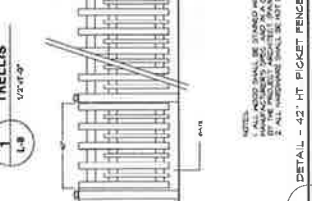
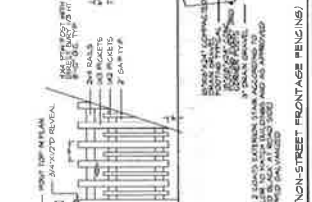
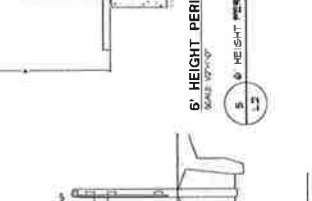
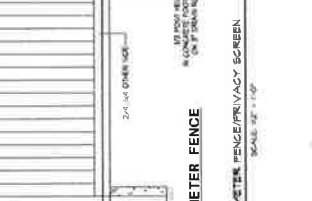
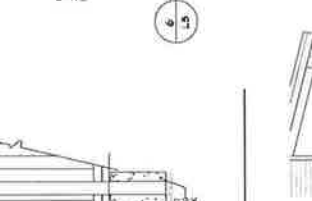
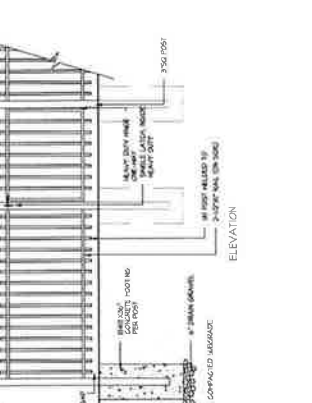


DMG
landscape architects

1000 University Ave.
Victoria, BC V8W 2G2
Phone: 250.383.1111
Fax: 250.383.1112
www.dmg.ca

PROJECT:
**RES. DEVELOPMENT
BARNSTON DR. & 177A ST.
SURREY, BC**

DATE: 08/27/24
SCALE: AS NOTED
SECTION: 101
SHEET: 15
OF 7



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **July 5, 2011** PROJECT FILE: **7810-0316-00**

RE: **Engineering Requirements
Location: 17626 Barnston Drive E.**

DEVELOPMENT PERMIT

All Engineering requirements are being addressed under project 7808-0052-00 which was given final approval by council on June 27, 2011.



Rémi Dubé, P.Eng.
Acting Development Services Manager

SSA

.../attachment



Friday, June 17, 2011
Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 10 0316 00

SUMMARY

The proposed 71 lowrise units and 80 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	16
Secondary Students:	9

September 2010 Enrolment/School Capacity

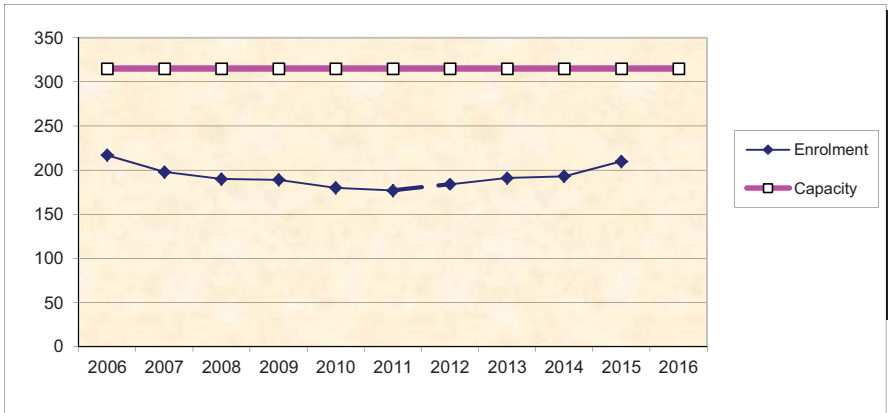
Bothwell Elementary	
Enrolment (K/1-7):	19 K + 161
Capacity (K/1-7):	40 K + 275
Fraser Heights Secondary	
Enrolment (8-12):	1528
Capacity (8-12):	1000

School Enrolment Projections and Planning Update:

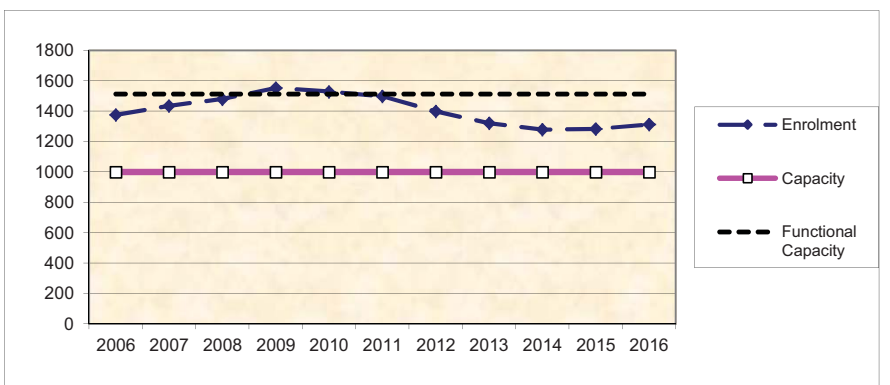
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no capital projects proposed for Bothwell Elementary. An addition to Fraser Heights Secondary is proposed as #3 priority in the 2010-2014 Five Year Capital Plan (subject to approval by Minister of Education). The proposed development will not have a significant impact on projections.

Bothwell Elementary



Fraser Heights Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.



Advisory Design Panel Minutes

Parks Boardroom #1
City Hall
14245 - 56 Avenue
Surrey, B.C.
THURSDAY, APRIL 7, 2011
Time: 4:10 p.m.

Chair:

John Makepeace

Guests:

Joe Dhaliwal
Hans Rawlins

Staff Present:

T. Ainscough, Planning & Development
H. Bello, Planning & Development
M. B. Rondeau, Planning & Development
H. Dmytriw, Legislative Services
Misty Jorgenson

Panel Members:

Ron Meyers
Robert Ciccozzi
Cpl M. Searle
T. Wolf
S. Lyon

B. SUBMISSIONS

4:00 pm

- | | | |
|----|-----------------------|---|
| 1. | File No.: | 7910-0316 |
| | New or Resubmit: | New |
| | Description: | 4 storey apartment building |
| | Address: | 1726 Barnston Drive, Fraser Heights |
| | Developer: | Joe Dhaliwal |
| | Architect: | Lance Barnett, Barnet Dembek Architects |
| | Landscape Architect: | DMG Landscape Architects |
| | Planner: | Shawn Low |
| | Urban Design Planner: | Mary Beth Rondeau |

The Urban Design Planner and the City Architect presented background information and an overview of the proposed project:

- First phase is townhouses and one apartment building which is the subject of the Panel's review.
- The apartment building integrates three storey townhouses fronting Barnston Drive to provide a continuation of the townhouse streetscape and due to the single family context across the street.
- Behind the townhouses, the 4 storey apartment building angles to follow the utility right of way which also allows views of the Fraser River.
- Future phases will include a commercial centre south of the utility right of way and the remainder of the site is proposed for apartment buildings.

The Project Architect presented an overview of the site plan, parkade floor plan, and building elevations and highlighted the following:

- Master Plan was designed by Chris Dikeakos Architects Inc. and now Barnet Dembek Architects are on board. Owner: Joe Dhaliwal.
- Intent of the design is for a contemporary feel.
- The whole site is ultimately to be developed. A Fire station is situated between Highway 15 and Highway 1.

- The area is large properties with single family houses.
- Condos to be interfaced with the single family properties across the street.
- 4 story design steps down to 3 levels along 177A Street, with 3 units along the end and a break to the street.
- 71 units are proposed; 72,000 sq.ft.; 54,000 sq.ft. of that is residential; and 2,500 sq.ft. amenity space on one level. The challenge is the significant slope from the far back corner of the site to front: a 5 meter grade change.
- Buildings are close to the existing grade. The parking access is straight, almost flat, with a 2% grade into the building.
- There are two entry points to the building: one for those with accessibility issues located at the north side, and one entry located at the front which is higher on the second level.
- Still tweaking the grade by another 2.5 – 3 ft particularly to address the front entry grades.
- Roofing material – roof built up to a 3.5 slope, asphalt shingles.
- Sample board provided: materials are white on white and brick with hardie board.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- The plan is for plenty of planters on slab along the perimeter, a good sized play area for children, slightly elevated for lots of eyes onto the space from all around.
- Units have individual yards. Plants on each individual unit patio.
- Stair landings are large.
- Retaining wall on front to provide screening in a terraced manner with a fair amount of trees and shrubs. Plantings along fencing at back.
- Right front corner of building to be heavily planted. Are working on pushing down the grades and retaining walls heights to ensure to maintain the character of the building.
- Certain level of green, landscaping to follow and mirror the other side of the street, with lots of colour and texture and open for view.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

1726 Barnston Drive, Fraser Height

File No. 7910-0316-00

It was

Moved by S. Lyon

Seconded by R. Ciccozzi

That the Advisory Design Panel (ADP)

recommends that the applicant address the following recommendations and revise and resubmit to Planning staff.

Carried

STATEMENT OF REVIEW COMMENTS

General

- In general, the proposal was supported with the integrated townhouses considered to be a positive contribution to the scheme.

Form and Character

- The main entrance to the building needs design improvement. This can be achieved by dropping the entry elevation and reducing the number of stairs.

(The building entrance has been relocated to the south side of the building to provide a more unified and visible entry.)

- Rescale and lower the main entry canopy and make entry more visible from road.

(The entry canopy has been rescaled to provide for a more pronounced entry feature.)

- Consider calming the roof features by dropping the angles of the tipped roofs.

(The slopping roof elements have been dropped slightly as per the panel's recommendation.)

- Utilize the roof to create lofted ceilings and windows for those units as well as careful attention to materials used on the exterior.

(The living area windows have been increased and loft ceilings have been added on the top floor.)

- Consider hardie siding rather than hardie panel; the battens required for hardie panel can be problematic; siding may provide more richness.

(The panel siding has been revised to horizontal hardie siding as per the panels suggestion.)

- Consider redesign of corner units to place living rooms at corner to take better advantage of strategic locations around building and daylight access.

(Unit plans have been revised and additional windows have been added, where possible, on the corner units.)

- Look at more glazing on building corners wherever possible.

(Additional windows have been added, where possible, on the corner units.)

- Service areas within suites could be manipulated to allow views from three ways and cross ventilation around suites.

(Unit plans have been revised and additional windows have been added where possible.)

- Consider relocating the exterior staircases to the interior to permit unit windows.

(The egress stair has been relocated within the volume of the building as per the panel's recommendation.)

- Consider decreasing length of corridors.

(The length of the corridor has been decreased with the relocation of the egress stair.)

- Improve detailing of wood brackets; carry brackets down further to tie roofs into main mass of building more.

(The decorative brackets have been increased in length as per the panel's recommendation.)

Landscaping

- Soft landscape should respond to retaining walls.

(A mix of evergreen shrubs and trailing groundcover are included to enhance screening of retaining walls.)

- Evergreen material for screening on walls for year round coverage.

(Evergreen shrubs are specified on retaining wall terraces for year round coverage.)

CPTED

- Underground parking – incorporate City's CPTED design guidelines at underground parking area.

(CPTED notes have been added to the underground parking level drawings.)

- Sequential build up of complexes does cause concern, provides road access into a field or cleared area. The south side is open and would provide opportunity for illegal dumping of trash. Recommend controlled access to the site during phased construction.

(Access will be regulated for the site during construction.)

- Interior paths – good structures. Eyes on the inside.

- Complex is going to rely upon itself for security. Not much associated traffic could be advantageous.

Accessibility

- Improve entry element. Locate main entrance at lower level to reduce the number of stairs.

(The stairs have been eliminated by moving the entrance to the south side of the building.)

- Disabled access is a significant issue. Combine front entry accesses into one to have stroller and wheelchair accesses and intercoms at each entry.

(The revised entry location allows for improved accessibility for the residences and visitors who have mobility challenges.)

- Have fully accessible pathway located near playground to allow accessibility of strollers to play area.

(An accessible pathway has been provided from the principle entry to the outdoor amenity area.)

- Need better direct access from units to landscape, particularly to play area.

(Access for all residences can be achieved through the indoor amenity area, from the egress stairs or by the accessible pathway from the principle entry.)

Sustainability

- Look at improving heating system, heat recovery system, corridor pressurization system.

(The mechanical and heating system for the project will be designed and constructed in accordance with the requirements of the British Columbia building Code.)

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7910-0316-00

Issued To: 0794043 B.C. LTD., INC. NO. 079043
("the Owner")

Address of Owner: 305 - 9288 - 120 Street
Surrey B.C.
V3V 4B8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 024-203-700
 Lot 3, District Lots 389A & 390A, Group 2, New Westminster District Plan, LMP38539,
 Except Plans BCP28915, EPP5626, and EPP5625

17626 Barnston Drive East

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title has been issued, as follows:

Parcel Identifier:

- (b) If the civic address changes, the City Clerk is directed to insert the new civic address for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) Part 4 General Provisions of Surrey Zoning By-law No. 12000, to increase the number of stairs that may encroach within the building setback area from 3 to 11.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan

REVISION	DATE	BY	ISSUED FOR

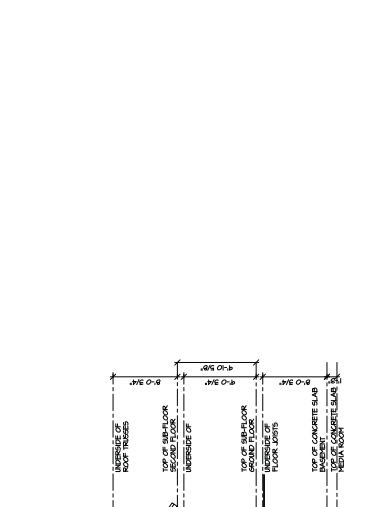
CLIENT: JOE DHALIWAL
 PROJECT: RESIDENTIAL DEVELOPMENT
 BARSTON DRIVE E & 177A ST. SURREY, B.C.
 SHEET CONTAINS: BUILDING #1
 ELEVATIONS
 SCALE: 1/8" = 1'-0"
 DATE: JAN 21 11
 DRAWN: []
 DESIGN: []
 L.P.F. []
 C.A.M.B.A. []

CLIENT NO. AC-51
 PROJECT NO. 10014
 REV. NO. []

UNIT 135, STREET
 SURREY, B.C.
 VAW 1118

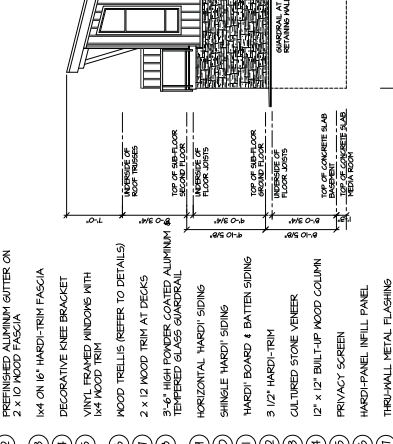
PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mal@darlinox.com

barnett dembek
 ARCHITECTS



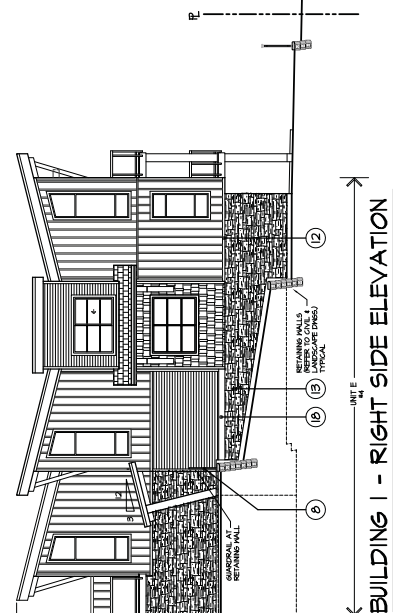
BUILDING 1 - FRONT ELEVATION

- SCHEDULE OF FINISHES**
- 1 ASPHALT SHINGLE ROOFING
 - 2 PREFINISHED ALUMINUM GUTTER ON 2 X 10 WOOD FASCIA
 - 3 1/4" ON 18" HARDY-TRIM FASCIA
 - 4 DECORATIVE KNEE BRACKET
 - 5 VINYL FRAMED WINDOWS WITH 1/4" WOOD TRIM
 - 6 WOOD TRELLIS (REFER TO DETAILS)
 - 7 2 X 12 WOOD TRIM AT PECKS
 - 8 3/4" HIGH POWDER COATED ALUMINUM TEMPERED GLASS SANDRILL
 - 9 HORIZONTAL HARDY SIDING
 - 10 SHINGLE HARDY SIDING
 - 11 HARDY BOARD & BATTEN SIDING
 - 12 3 1/2" HARDY-TRIM
 - 13 CULTURED STONE VENEER
 - 14 12" X 12" BUILT-UP WOOD COLUMN
 - 15 PRIVACY SCREEN
 - 16 HARDY-PANEL INFILL PANEL
 - 17 TRIBU-PANEL METAL FLASHING
 - 18 2 X 10 TRIM BOARD
 - 19 VINYL FRIEZE TRIM
 - 20 VINYL CORNER TRIM
 - 21 1/4" ON 2X10 WOOD FASCIA

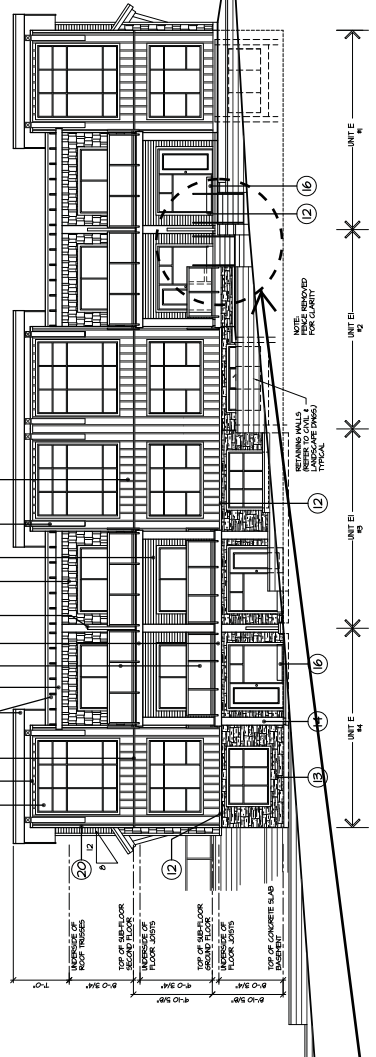


BUILDING 1 - LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



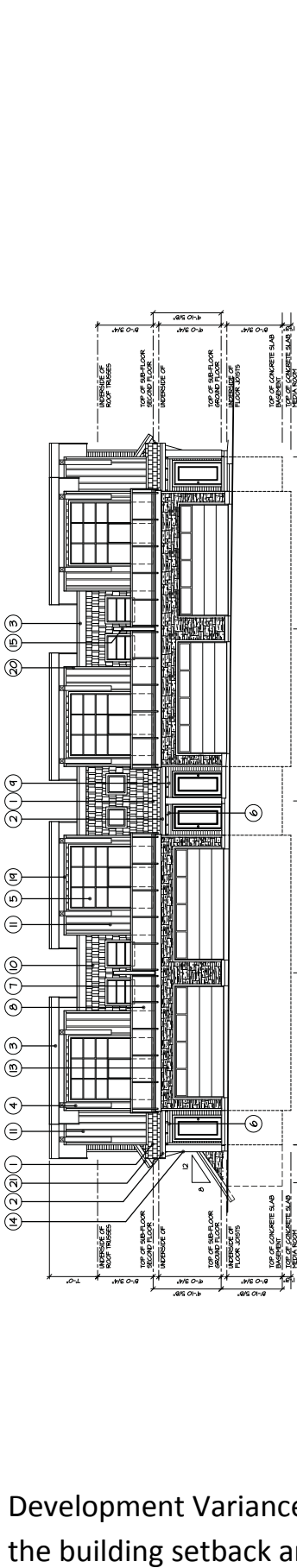
BUILDING 1 - RIGHT SIDE ELEVATION



BUILDING 1 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"

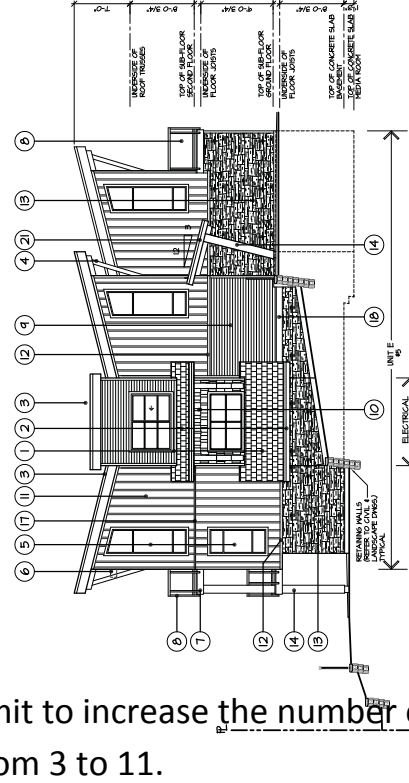
Development Variance Permit to increase the number of stairs that may encroach within the building setback area from 3 to 11.



BUILDING 2 - FRONT ELEVATION

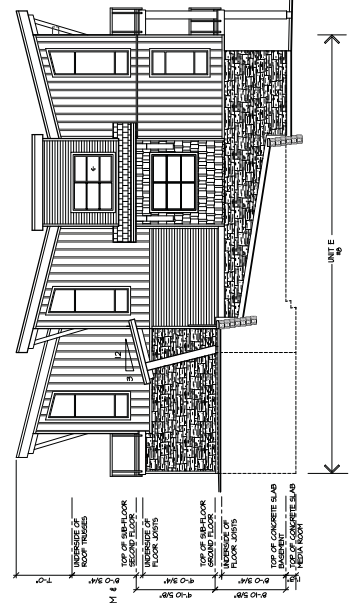
SCHEDULE OF FINISHES

- 1 ASPHALT SHINGLE ROOFING
- 2 PREFINISHED ALUMINUM GUTTER ON 2 X 10 MOOD FASCIA
- 3 1X4 ON 1/2" HARDY-TRIM FASCIA
- 4 DECORATIVE KNEE BRACKET
- 5 VINYL-FRAMED WINDOWS WITH 1X4 MOOD TRIM
- 6 MOOD TRELLIS (REFER TO DETAILS)
- 7 2 X 12 MOOD TRIM AT DECK/S
- 8 3/4" HIGH PONGER COATED ALUMINUM & TEMPERED GLASS GUARDRAIL
- 9 HORIZONTAL HARDY SIDING
- 10 SHINGLE HARDY SIDING
- 11 HARDY BOARD & BATTEN SIDING
- 12 3 1/2" HARDY-TRIM
- 13 CULTURED STONE VENEER
- 14 12" X 12" BUILT-UP MOOD COLUMN
- 15 PRIVACY SCREEN
- 16 HARD-PANEL, IVELL PANEL
- 17 THRU-WALL METAL FLASHING
- 18 2 X 10 TRIM BOARD
- 19 VINYL FRIEZE TRIM
- 20 VINYL CORNER TRIM
- 21 1X4 ON 2X10 MOOD FASCIA



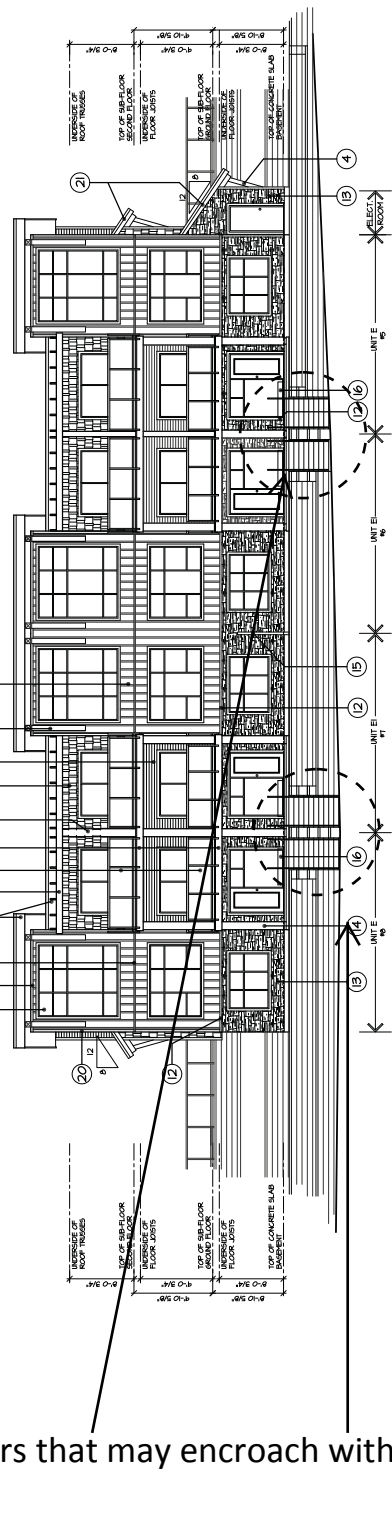
BUILDING 2 - LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING 2 - RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



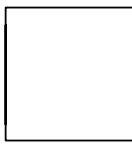
BUILDING 2 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"

NOTE: PLYS REMOVE FOR CLARITY

BUILDING #2

REV#	DATE	BY	CHK'D	ISSUE



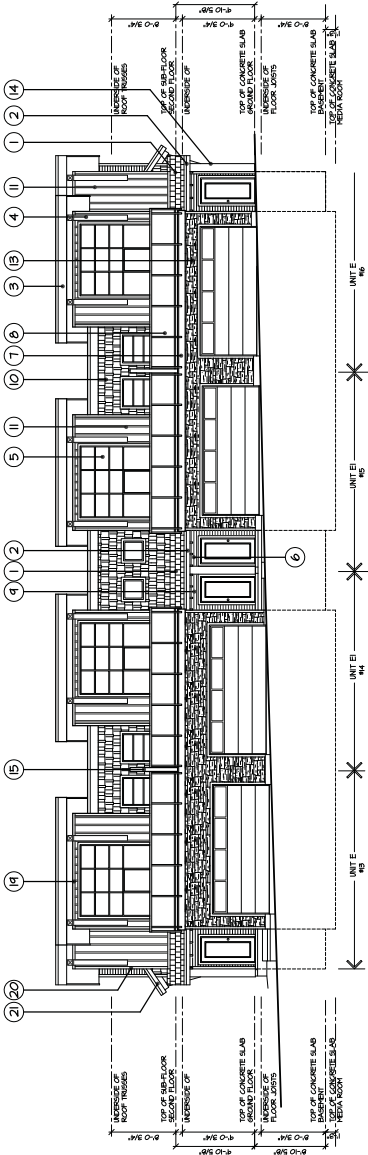
CLIENT : JOE DHALWAL
 PROJECT : RESIDENTIAL DEVELOPMENT @ 177A ST. SUDBURY, B.C.
 DESIGN : barnett dembek
 DRAWN :
 DATE :
 SCALE :
 SHEET CONTAINS BUILDING #2 ELEVATIONS

UNIT 135, STREET 177A ST. SUDBURY, B.C. V5W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnett.com

CLIENT NO. AC-52
 PROJECT NO. 10014
 REV. NO.

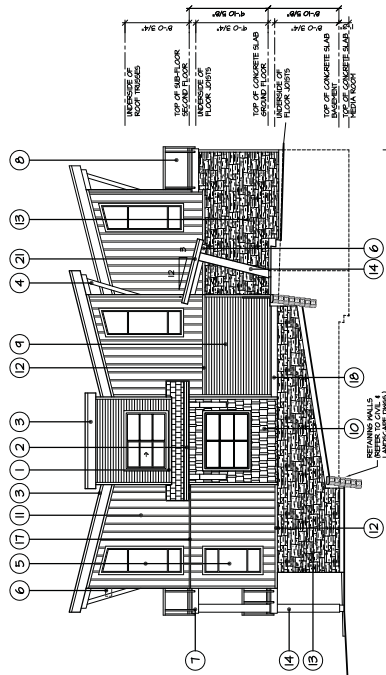
Development Variance Permit to increase the number of stairs that may encroach within the building setback area from 3 to 11.

Development Variance Permit to increase the number of stairs that may encroach within the building setback area from 3 to 11.

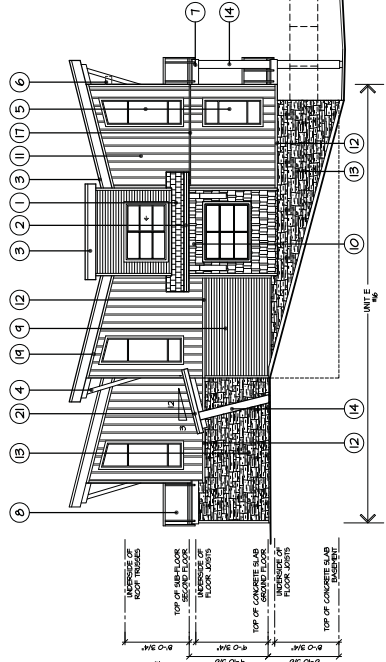


BUILDING 4 - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

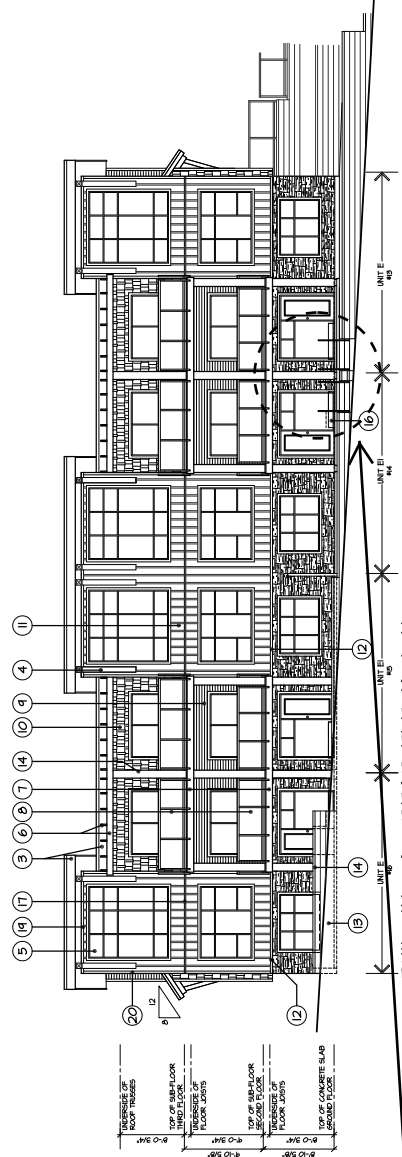
- SCHEDULE OF FINISHES**
- 1 ASPHALT SHINGLE ROOFING
 - 2 PREFINISHED ALUMINUM GUTTER ON 2" X 10 FASCIA
 - 3 1/4" ON 16" HARDY-TRIM FASCIA
 - 4 DECORATIVE KNEE BRACKET
 - 5 VINYL FRAMED WINDOWS WITH 1/4" FROST TRIM
 - 6 WOOD TRELLIS (REFER TO DETAILS)
 - 7 2" X 12 WOOD TRIM AT DECKS
 - 8 3/4" HIGH POWDER COATED ALUMINUM 4 TYPED GLASS CORNER/AIL
 - 9 HORIZONTAL HARDY SIDING
 - 10 SHINGLE HARDY SIDING
 - 11 HARDY BOARD 4 BATTEN SIDING
 - 12 3 1/2" HARDY-TRIM
 - 13 CULTURED STONE VENEER
 - 14 12" X 12" BULL-UP WOOD COLUMN
 - 15 PRIVACY SCREEN
 - 16 HARDY-PANEL INFILL PANEL
 - 17 THRU-WALL METAL FLASHING
 - 18 2" X 10 TRIM BOARD
 - 19 VINYL FRIEZE TRIM
 - 20 VINYL CORNER TRIM
 - 21 1/4" ON 2x10 WOOD FASCIA



BUILDING 4 - LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 4 - RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 4 - REAR ELEVATION
SCALE: 1/8" = 1'-0"

REV#	DATE	DRN	CRD	ISSUE	DATE	BY	ISSUED FOR

DISCLAIMER: ALL DIMENSIONS AND THE MATERIALS LISTED ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE DESIGNER. THE DESIGNER HAS NOT CONDUCTED A VISUAL VERIFICATION OF THE INFORMATION PROVIDED BY THE CLIENT AND THE DESIGNER. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT AND THE DESIGNER. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT AND THE DESIGNER.

DESIGN: JOE DHALIWAL
L.P.R.
PROJECT: RESIDENTIAL DEVELOPMENT BARSTON DRIVE E & 177A ST. SURREY, B.C.
SHEET CONTAINS: BUILDING #4 ELEVATIONS
SCALE: 1/8" = 1'-0"
DATE: 10/27/11

CLIENT: JOE DHALIWAL
PROJECT: RESIDENTIAL DEVELOPMENT BARSTON DRIVE E & 177A ST. SURREY, B.C.
SHEET CONTAINS: BUILDING #4 ELEVATIONS
SCALE: 1/8" = 1'-0"
DATE: 10/27/11

barnett dembek
UNIT 135, STREET LEVEL, 177A ST. SURREY, B.C.
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@barnett.com
CLIENT NO. AC-54
PROJECT NO. 10014
REV. NO.

BUILDING #4