

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7911-0006-00

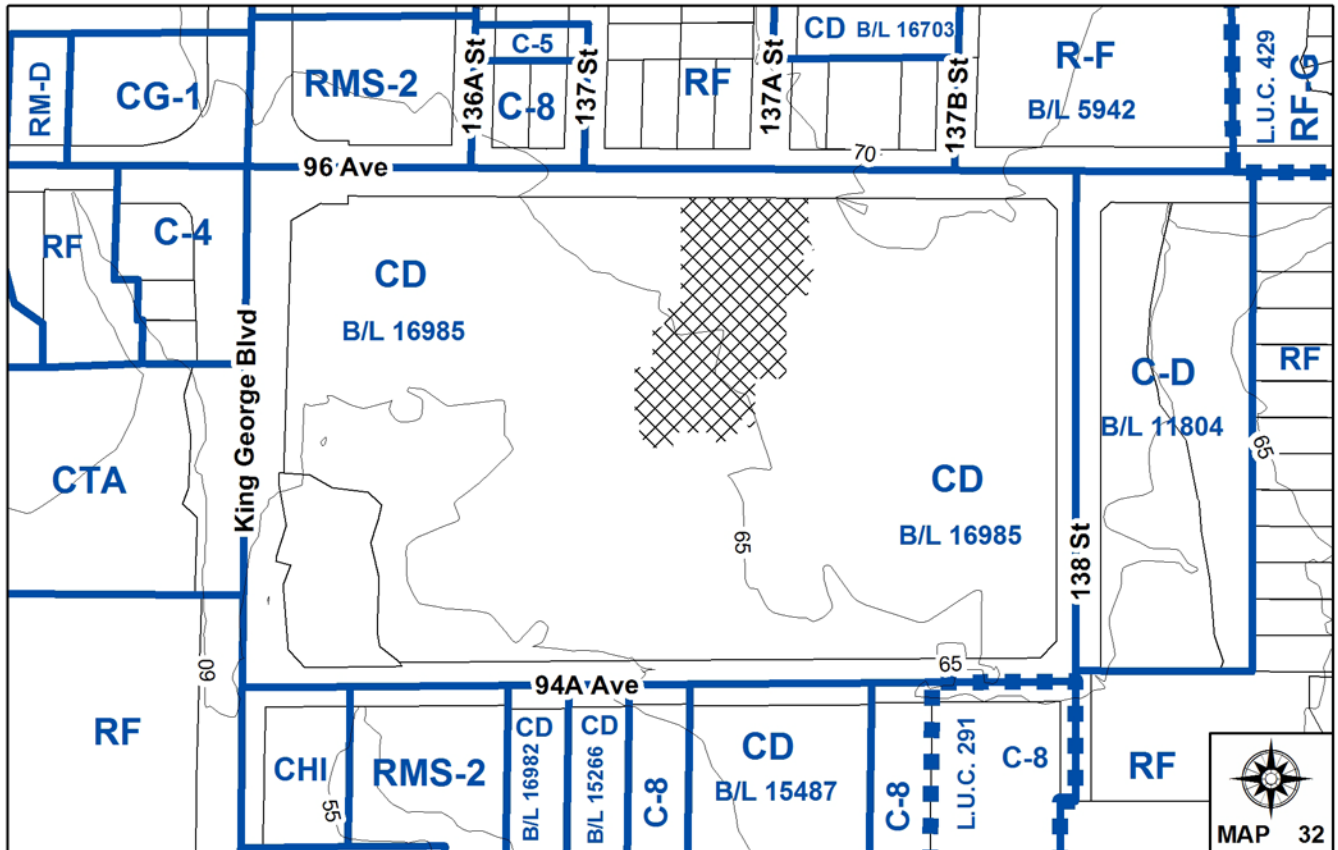
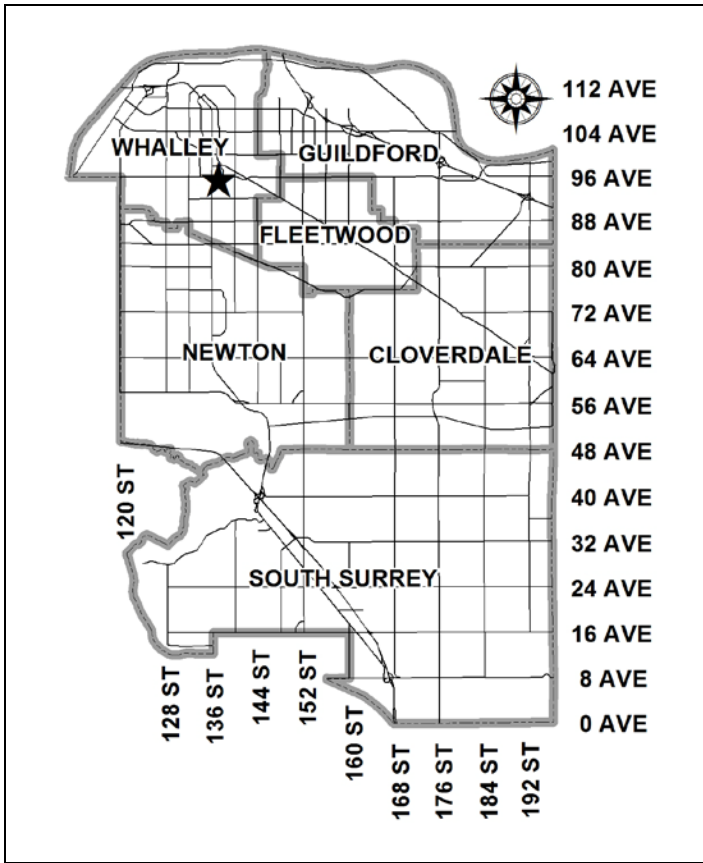
Planning Report Date: February 28, 2011

**PROPOSAL:**

- **Development Permit**

in order to permit the expansion and renovation of the Surrey Memorial Hospital North Lobby.

**LOCATION:** Portion of 13750 – 96 Avenue  
**OWNER:** Fraser Health Authority  
**ZONING:** CD (By-law No. 16985)  
**OCP DESIGNATION:** City Centre



RECOMMENDATION SUMMARY

- Execution of Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposed renovations and additions complement the existing building design.

RECOMMENDATION

1. The Planning & Development Department recommends that the Mayor and Clerk be authorized to execute Development Permit No. 7911-0006-00 (Appendix IV).

NOTE: If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

BC Hydro: BC Hydro has no concerns.

SITE CHARACTERISTICS

Existing Land Use: Surrey Memorial Hospital.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 96 Avenue):	Medical facility, medical clinic, temporary parking lots and single family homes.	Commercial	RMS-2, C-8 and RF
East (Across 138 Street):	Vacant lot with Development Permit No. 7904-0139-00 approved on June 29, 2008, for medical office building.	Commercial	CD (By-law No. 11804)
South (Across 94A Avenue):	Variety of medically-related office buildings and medical support related facilities.	Commercial	CHI, RMS-2, CD (By-law No. 16982), CD (By-law No. 15266), C-8, CD (By-law No. 15487) and LUC No. 291 (underlying C-8)
West (Across King George Boulevard):	Tim Hortons, mobile home park and Queen Elizabeth Secondary School.	Urban	C-4, CTA and RF

## DEVELOPMENT CONSIDERATIONS

### Background

- In early 2009, the Provincial Government announced the first phase of a long-term, redevelopment and expansion of Surrey Memorial Hospital (SMH) in Surrey City Centre.
- Phase 1 of the redevelopment and expansion consists of an eight-storey critical care tower with 40,844 square metres (440,000 sq. ft.) of floor area. Phase 1 also includes the renovation and expansion of existing hospital buildings to support the new construction and services.
- Council recently approved two Development Permit applications associated with the Phase 1 redevelopment and expansion of SMH: Development Permit No. 7910-0253-00 was approved on November 29, 2010, for the renovation and expansion the South Building and the Support Services Building along 94A Avenue; and Development Permit No. 7910-0261-00 was approved on December 13, 2010, for the proposed critical care tower.

### Proposal

- The current application is proposing the renovation and expansion of the SMH North Lobby located in the North Building along 96 Avenue as part of the Phase 1 work (Appendix II).
- The proposed project involves a 1,342-square metre (14,445 sq. ft.) interior renovation and expansion of the North Lobby. The expanded area includes the first floor lobby and a lower basement area. The first floor lobby will have a total floor area of 534 m<sup>2</sup> (5,748 sq. ft.) and will contain a large reception and waiting area, office space and a small cafe.

### Parking

- Zoning By-law No. 12000 requires parking to be provided at the rate of one (1) parking space for every 100 square metres (1,076 sq. ft.) of institutional building area.
- The proposed North Lobby project will add an additional 1,342 square metres (14,445 sq. ft.) of floor area to the site, thereby requiring a total of 13 additional parking spaces.
- A total of six (6) parking spaces to accommodate drop-off and pick-up will be provided in front of the lobby entrance. The other seven (7) required parking spaces for the project will be accommodated in the existing 1,613 parking spaces on the hospital campus, which provides 189 more parking spaces than required under the Zoning By-law for the site.

## DESIGN PROPOSAL AND REVIEW

### Building Design

- The existing outdoor space in front of the existing lobby area will be enclosed to provide the additional 1,342 square metres (14,445 sq. ft.) of floor area for the North Lobby expansion and renovation project.
- The expanded lobby will have a new roof and parapet with a large skylight that is almost half the area of the new roof. The exterior of the new lobby will be clad in a neutral-coloured aluminum metal panel, a corrugated metal panel in a brown tone and a glazed curtain wall for the front entrance.
- A large metal and glass canopy will be located in front of the lobby entrance to provide weather protection and architectural interest. In addition, two large reclaimed timber and concrete canopies will be located on either side of the metal and glass canopy to provide pedestrians with covered linkages to the drop-off area and existing parking garage.

### Vehicular Access

- The existing driveway access from 96 Avenue will remain unchanged; however, the existing parking islands will be reconfigured to feature updated landscaping and wider drive-aisles. New pavement signs will also help to guide traffic and parking near the front lobby entrance.

### Landscaping

- The existing landscaping in front of the North Lobby area has been redesigned with a new outdoor amenity area, landscaped traffic islands and raised planters. The proposed landscaping has been designed to retain as many of the existing trees as possible.
- The proposed outdoor amenity area will be located to the west of the driveway entrance, and will be accessible from the sidewalk along 96 Avenue through two (2) pathway entrances. The outdoor amenity area will consist of existing and newly planted trees and shrubs, bench seating, lighting, basalt paving stones and an area for a future public art installation.
- The three (3) landscaped traffic islands in the lobby driveway entrance will be planted with trees, shrubs and grasses to soften an otherwise hard-surfaced and high-traffic area.
- The first traffic island fronting 96 Avenue will contain landscaping and the free-standing directional sign for the North Lobby. The second traffic island will be landscaped with trees and shrubs and a space for the future installation of a public art piece. The third and largest traffic island directly in front of the lobby entrance will be planted with trees and shrubbery to screen the proposed drop-off parking spaces.
- The existing landscaped raised planter to the east of the North Lobby entrance will remain unchanged.

### Tree Preservation and Replacement

- The applicant has submitted an Arborist Report and Tree Preservation and Replacement Plan prepared by Glenn Murray of Froggers Creek Tree Consultants Ltd. (Appendix III). The report identified nine (9) mature trees and 26 undersized trees. In total, the Arborist Report identified 35 existing trees in the North Lobby project area.
- The report recommends that all six (6) mature Dawn Redwoods and fourteen undersized trees be retained. Three (3) mature trees and nine (9) undersized trees are proposed to be removed because they are located within the proposed building envelope, driveway or new sidewalk. A number of the undersized trees to be removed will be transplanted to other locations on the hospital campus.
- The chart below provides a summary of the tree retention and removal by species:

<b>Tree Species</b>	<b>Number of Trees</b>	<b>Number to be Retained</b>	<b>Number to be Removed</b>
Cherry	3	0	3
Black Pine	1	0	1
Dawn Redwood	6	6	0
Dawyck Beech	1	1	0
English Oak	1	0	1
English Walnut	1	0	1
Japanese Maple	1	1	0
Katsura	2	2	0
Kousa Dogwood	1	0	1
Norway Maple	5	5	0
Norway Spruce	5	4	1
Saucer Magnolia	2	2	0
Scot Pine	2	0	2
Serbian Spruce	1	0	1
Star Magnolia	2	2	0
Southern Magnolia	1	0	1
<b>TOTAL</b>	<b>35</b>	<b>23</b>	<b>12</b>

- Based on Tree Protection By-law (No. 16100), six (6) replacement trees are required. A total of 22 replacement trees are proposed for the North Lobby project site.

### Signage

- An existing sign will be relocated to the parking island in front of 96 Avenue. The proposed free-standing directional sign is mainly blue with white lettering, and made of wood, metal and concrete. The proposed free-standing directional sign meets the provisions under Sign By-law No. 13656.

- SMH is currently developing a comprehensive sign design for the entire hospital campus. Any additional signage for the North Lobby will be included in a future Development Permit application for all proposed signage on the hospital campus.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Surrey Memorial Hospital Overall Current Site Plan
Appendix III.	Summary of Tree Survey and Tree Preservation
Appendix IV.	Development Permit No. 7911-0006-00

#### INFORMATION AVAILABLE ON FILE

- Parking Study prepared by IBI Group dated November 2009.

*Original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

LC/kms/dlg

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                 Milton Gardner, Kasian Architecture Interior Design & Planning  
                               Address:             350 – 1555 West Pender Street  
  Vancouver, BC  
  V6G 2T1  
                               Tel:                    604-683-4145

2.       Properties involved in the Application

- (a)       Civic Address:             Portion of 13750 – 96 Avenue
- (b)       Civic Address:             Portion of 13750 – 96 Avenue  
              Owner:                    Fraser Health Authority  
              Portion of PID:         007-207-972  
              Parcel A Section 33 Township 2 New Westminster District Plan 74177 Except  
              Bylaw Plan 82111 and Plans LMP49509 and EPP4049

3.       Summary of Actions for City Clerk's Office



## DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 16985)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		8.57 ha
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	75%	
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS ( in metres)		
North	4.5 m	46 m
South	4.5 m	
West	4.5 m	
East	4.5 m	
BUILDING HEIGHT (in metres/storeys)		
Principal	50 m	7.5 m
Accessory	6 m	
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
FLOOR AREA: Industrial		
FLOOR AREA: Existing SMH Campus		141,128 m <sup>2</sup>
FLOOR AREA: North Lobby		1,342 m <sup>2</sup>
TOTAL BUILDING FLOOR AREA	299,978 m <sup>2</sup>	142,470 m <sup>2</sup>

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

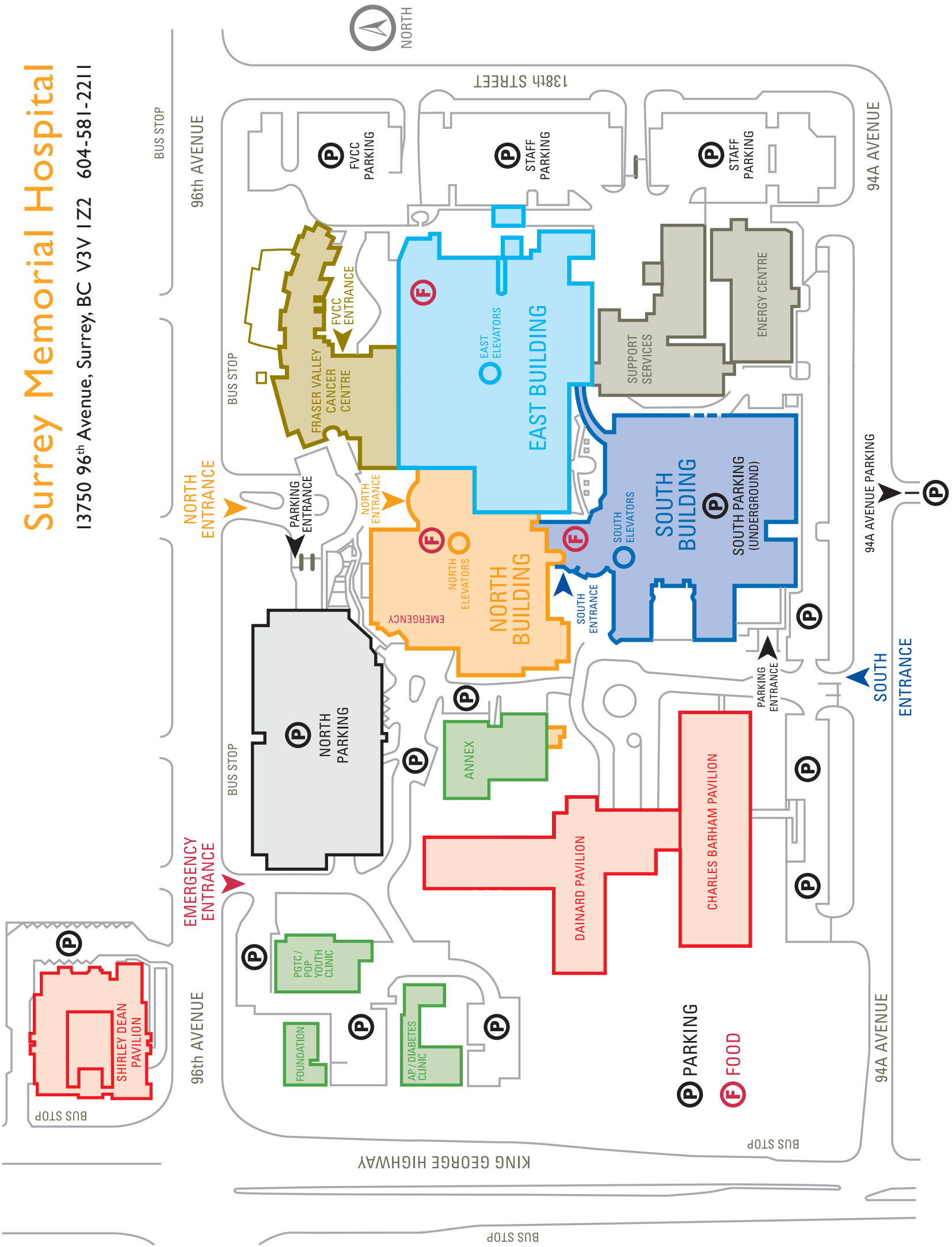
## Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	3.5 FAR	1.66 FAR
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Existing SMH Campus	1,411	1,613
North Lobby - Expansion	13	6
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	1,424	1,619
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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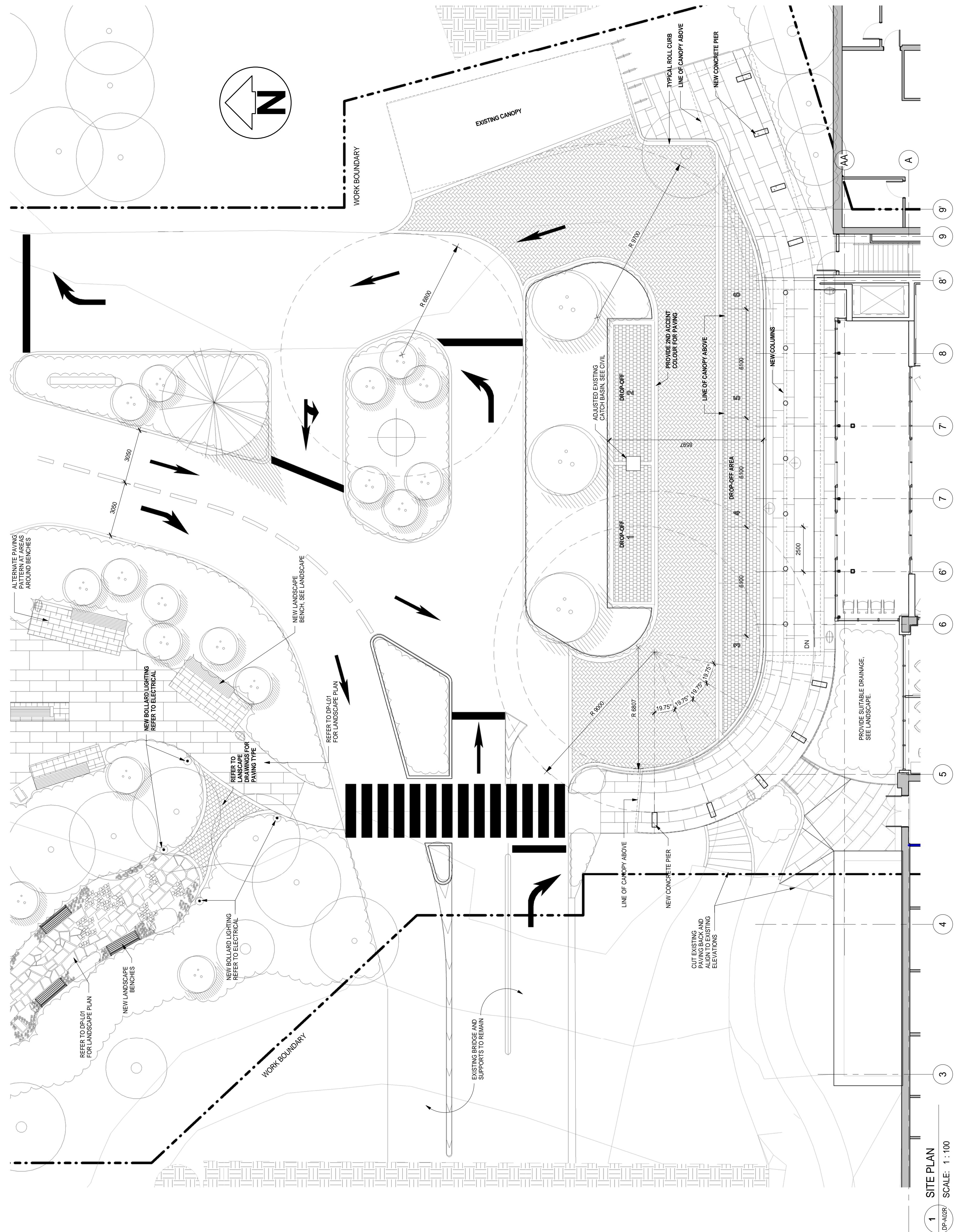
# Surrey Memorial Hospital

13750 96<sup>th</sup> Avenue, Surrey, BC V3V 1Z2 604-581-2211



**SITE PLAN NOTES:**

- ALL LANDSCAPE ELEMENTS TO BE IN ACCORDANCE WITH 2006 BRITISH COLUMBIA BUILDING CODE AND TO THE SATISFACTION OF THE AUTHORITIES.
- LANDSCAPE CONTRACTOR TO VERIFY ALL DIMENSIONS AND CHECK ALL DIMENSIONS ON SITE & REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY.
- REFER TO LANDSCAPE DRAWINGS FOR FINISHED GRADES AND ELEVATIONS.
- DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATIONS (SEPARATE DOCUMENT).
- ALL EXISTING EXIT PATHS LEADING TO A SAFE AREA SHALL BE MAINTAINED AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION.



1 SITE PLAN  
 DP-A02R SCALE: 1 : 100

# TREE PRESERVATION SUMMARY

**Surrey Project No:**

**Project Location:** Surrey Memorial Hospital, 13750 96th Avenue, Surrey BC

**Project Arborist:** Glenn Murray for Froggers Creek Tree Consultants Ltd.  
I.S.A. Certification # PN-0795B

NOTE: A detailed assessment of the existing trees, submitted by the Arborist, is on file. The following is a summary of the Tree Assessment Report for quick reference.

**1. General assessment of the site and tree resource:**

Surrey Memorial Hospital is proposing to renovate their main entrance lobby. There are thirty-five trees that could be impacted by this renovation. I have been provided with a tree survey of the area adjacent to the lobby and a proposed Site Plan and Landscape Plan

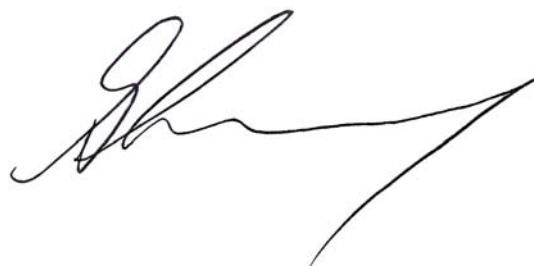
**2. Summary of Proposed Tree Removal and Replacement:**

- The summary will be available before final adoption.

A	Number of Protected Trees Identified	9
B	Number of Protected Trees assessed as Hazardous	0
C	Number of Protected Trees to be Removed	3
D	Number of Protected Trees to be Retained	6
E	Number of Replacement Trees Required (C-B) X 2 or (I) X 3	6
F	Number of Replacement Trees Proposed	6+
G	Number of Replacement Trees in Deficit (E-F)	0
H	Number of Retained and Replacement Trees on Site (D+F+3)	12+
I	Number of Lots Proposed in the Project	1
J	Average Number of Trees per Lot (H/I)	12+

**3. Tree Protection and Tree Replacement Plans**

- The Tree Protection Plan is attached.



Dated: January 27, 2011

Glenn Murray – Board Certified Master Arborist  
I.S.A. Certification # PN-0795B  
Certified Tree Risk Assessor #0049  
Froggers Creek Tree Consultants Ltd.

CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO. 7911-0006-00

Issued To: FRASER HEALTH AUTHORITY

(the "Owner")

Address of Owner: #300, 10233 - 153 Street  
Surrey, BC V3R 0Z7

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 007-207-972

Parcel A Section 33 Township 2 New Westminster District Plan 74177 Except Bylaw Plan 82111 and Plans LMP49509 and EPP4049

13750 - 96 Avenue

(the "Land")

3. This development permit applies to only to that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development permit.
4. The Land has been designated as a Development Permit Area in Surrey Official Community Plan, 1996, No. 12900, as amended.
5. The character of the development including landscaping and the siting, form, exterior design and finish of buildings and structures shall be in accordance with the drawings numbered 7911-0006-00 (A) through to and including 7911-0006-00 (U) (the "Drawings") which are attached hereto and form part of this development permit.

6. Minor changes to the Drawings that do not affect the general form and character of the landscaping and the siting, form, exterior design and finish of buildings and structures on the Land, may be permitted subject to the approval of the City.
7.
  - (a) The landscaping shall conform to drawings numbered 7911-0006-00 (P) through to and including 7911-0006-00 (U) (the "Landscaping").
  - (b) The Landscaping shall be completed within six (6) months after the date of the final inspection of the buildings and structures referred to in the Drawings.
  - (c) Prior to the issuance of the building permit for this development, security is to be submitted to ensure satisfactory completion of the Landscaping. The security for the Landscaping is to be submitted as follows:

An Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$297,611.16.
  - (d)
    - i. When the Landscaping is substantially complete as determined by the City, without the City having to use the Security, 90% of the original Security will be returned. When the Landscaping receives final approval by the City, not earlier than twelve (12) months after the date of substantial completion of the Landscaping, 10% of the original Security will be returned.
    - ii. If final approval of the Landscaping is not given by the City, the City has the option of using the Security to complete the Landscaping and any remaining money shall be returned. The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Landscaping.
    - iii. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.
8. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
9. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued, within two (2) years after the date this development permit is issued.
10. The terms of this development permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

11. This development permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .  
ISSUED THIS DAY OF , 20 .

\_\_\_\_\_  
Mayor - Dianne L. Watts

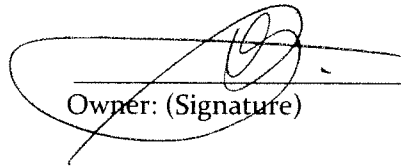
\_\_\_\_\_  
City Clerk - Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

\_\_\_\_\_  
Authorized Agent: (Signature)

\_\_\_\_\_  
Name: (Please Print)

OR

  
\_\_\_\_\_  
Owner: (Signature)

ALAN CHENG  
Name: (Please Print) *on behalf of FERRIS HEALTH  
in RCG/SMH project  
Norm Leiby Renos.*



# NORTH LOBBY EXPANSION

## Surrey Memorial Hospital

13750 96 AVENUE, SURREY, BRITISH COLUMBIA

### LEGAL DESCRIPTION

007-207-972 PARCEL A SECTION 33 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 74177 EXCEPT BY-LAW PLAN 82111 AND PLANS LMP 49509 AND E004049

### PROJECT DIRECTORY

#### ARCHITECTURAL:

**KASIAN ARCHITECTURE**  
350-1555 West Pender Street  
Vancouver, BC V6G 2T1  
CONTACT: Sylvie Gagnon  
TEL: 604-683-4145  
FAX: 604-683-2827

#### STRUCTURAL:

**CWMM**  
1412 West 7th Ave  
Vancouver, BC V6H 1C1  
CONTACT: John Peddle  
TEL: 604-731-6584  
FAX: 604-738-5110

#### MECHANICAL:

**GENIVAR**  
200-1985 W Broadway,  
Vancouver BC Canada V6J 4Y3  
CONTACT: Phillip Fung  
TEL: 604-736-5421  
FAX: 604-736-1519

#### ELECTRICAL:

**GENIVAR**  
200-1985 W Broadway,  
Vancouver BC Canada V6J 4Y3  
CONTACT: Randa Khalil  
TEL: 604-736-5421 x 171  
CEL: 604-551-7240

#### CODE CONSULTANT:

Gage Babcock & Associates Ltd.  
Suite 228 - 1195 West Broadway  
Vancouver, BC V6H 3X5  
CONTACT: Randa Kovacs  
TEL: 604-732-3751 x 229  
FAX: 604-732-1277

#### CIVIL CONSULTANT:

**MMM GROUP**  
Suite 600, 1455 West Georgia St  
Vancouver, BC V6G 2T3  
CONTACT: Valentino Tjia  
TEL: 604-685-9381 x4006  
FAX: 604-683-8655

#### LANDSCAPE:

**PDGroup**  
CONTACT: David Rose  
TEL: 604-904-9803  
FAX: 604-904-9813

### DRAWING INDEX

#### DP DRAWING LIST - ARCHITECTURAL

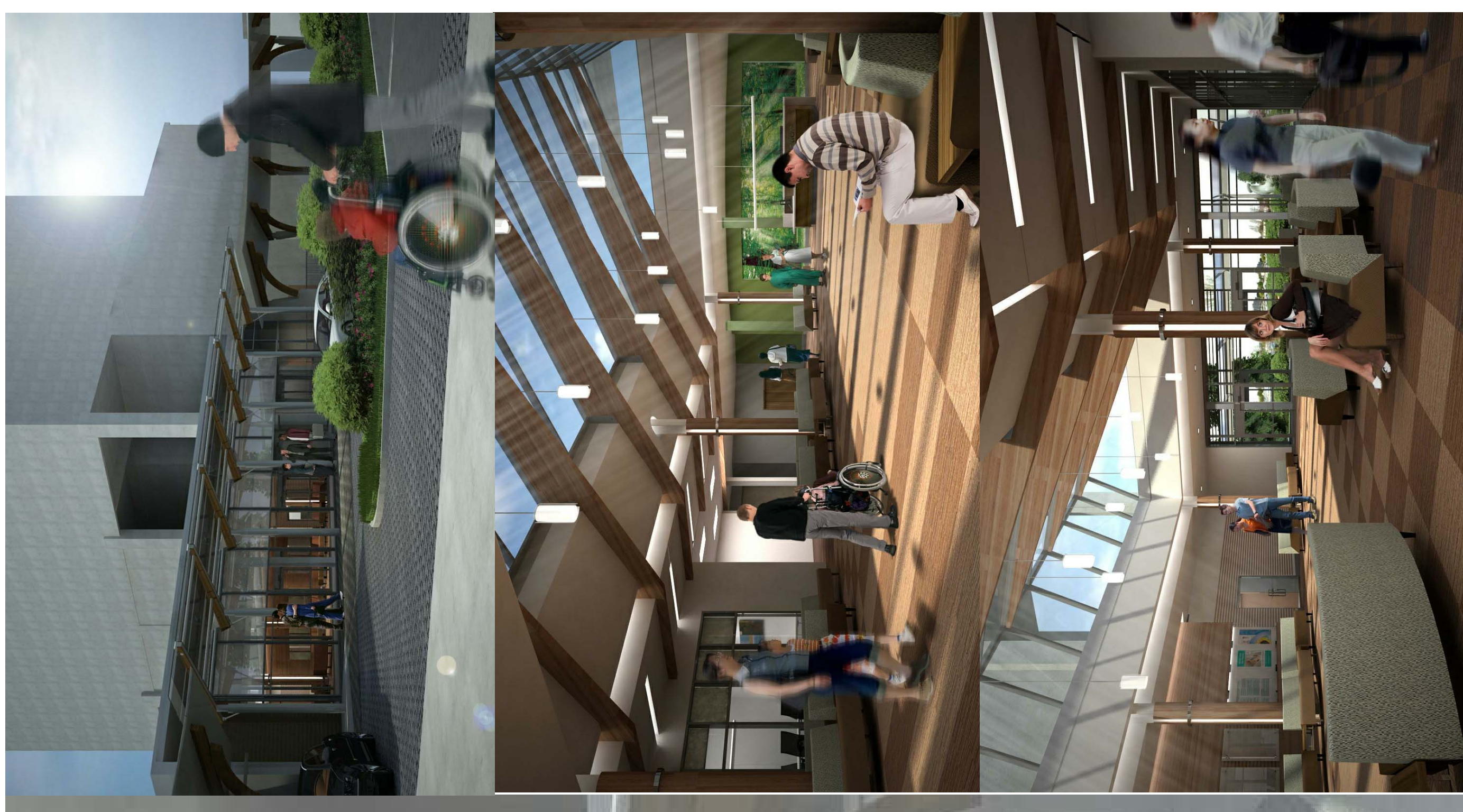
Revision	Date	Description
DP-A00R	02/18/11	COVER SHEET
DP-A01R	02/18/11	OVERALL SITE PLAN
DP-A02R	02/11/11	SITE PLAN
DP-A03R	02/11/11	ELECTRICAL SITE PLAN
DP-A04R	02/11/11	LEVEL 1 PLAN
DP-A05R	02/11/11	LEVEL 2 PLAN
DP-A06R	02/11/11	ROOF PLAN
DP-A07R	02/18/11	EXTERIOR ELEVATIONS WITH CANOPY & HANDRAIL
DP-A08R	02/18/11	EXTERIOR ELEVATIONS WITH CANOPY & HANDRAIL
DP-A09R	02/18/11	EXTERIOR ELEVATIONS WITH CANOPY & HANDRAIL
DP-A10R	02/18/11	EXTERIOR LANDSCAPE PERSPECTIVES
DP-A11R	02/18/11	FRONT CANOPY PLANS & ELEVATIONS
DP-A12R	02/18/11	FRONT CANOPY DETAILS

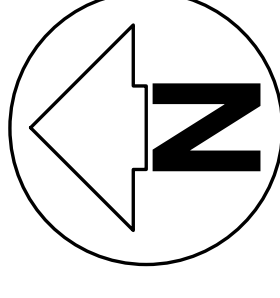
#### DRAWING LIST - LANDSCAPE

Revision	Date	Description
DP-L01R	02/18/11	LANDSCAPE PLAN
DP-L02R	02/18/11	THREE RETENTION, RELOCATION, & REMOVAL
DP-L03R	02/18/11	LANDSCAPE PLATING PLAN
DP-L04R	02/18/11	LANDSCAPE DETAILS
DP-L05R	02/18/11	LANDSCAPE DETAILS
DP-L06R	02/18/11	LIGHTING & SIGNAGE

#### DP DRAWING LIST - CIVIL

Revision	Date	Description
DP-C01R	02/18/11	SITE GRADING & DRAINAGE
DP-C02R	02/18/11	SIGNING AND PAVEMENT MARKINGS



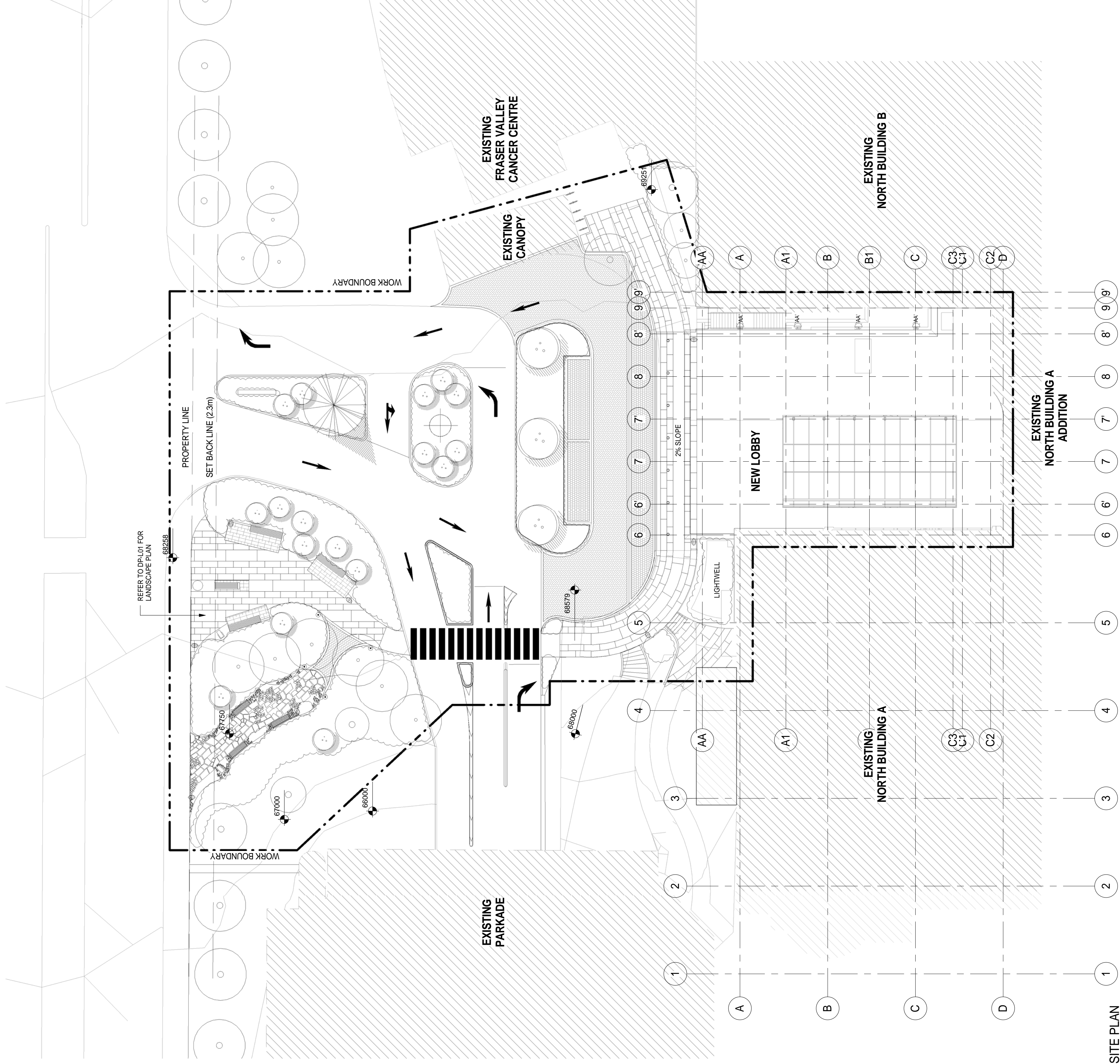


**SITE PLAN NOTES**

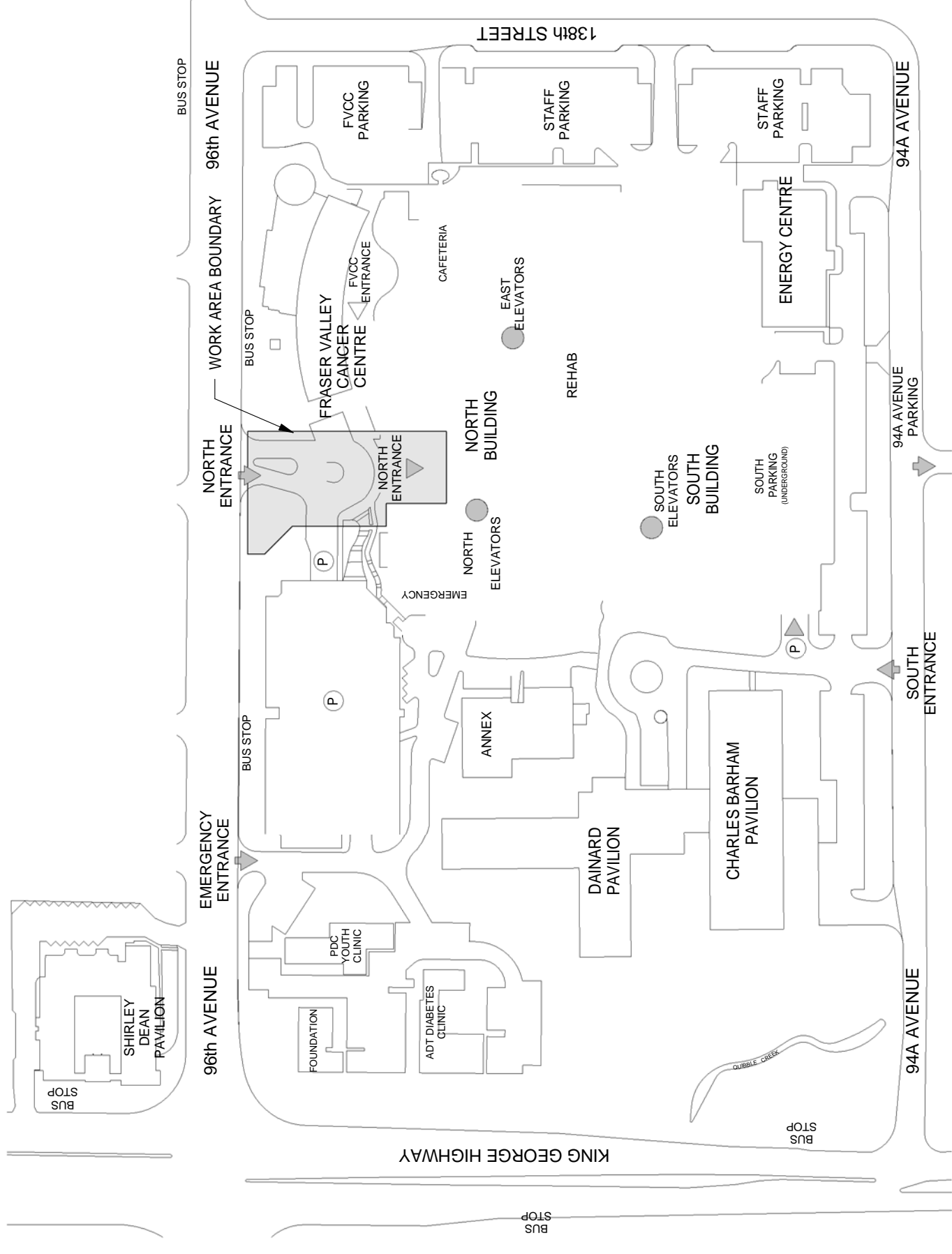
- ALL LANDSCAPE ELEMENTS TO BE CONSTRUCTED IN ACCORDANCE WITH 2006 BRITISH COLUMBIA BUILDING CODE AND TO HAVING JURISDICTION. THE AUTHORITIES CONTRACTOR TO CONFIRM SCOPE OF WORK AND CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION. REFER TO LANDSCAPE DRAWINGS FOR MATERIALS AND FINISHES. CONSTRUCTION WITH APPROPRIATE SPECIFICATIONS (SEPARATE DOCUMENT) LEADING TO A SAFE PUBLIC WAY SHALL BE MAINTAINED AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION.

**DEVELOPMENT DATA SHEET INFORMATION**

LOT AREA : 85708 m<sup>2</sup>  
 TOTAL SITE COVERAGE: WILL NOT EXCEED 75%  
 SET BACKS:  
 FRONT > 46m  
 REAR > N/A  
 SIDE > N/A  
 BUILDING HEIGHT: ONE STOREY, 7.5m  
 FLOOR AREA:  
 COMMERCIAL / RETAIL > 66m<sup>2</sup>  
 COMMERCIAL / OFFICE > 250m<sup>2</sup>  
 INSTITUTIONAL > 1,026m<sup>2</sup>  
 TOTAL RENOVATION / EXPANSION AREA > 1,342m<sup>2</sup>



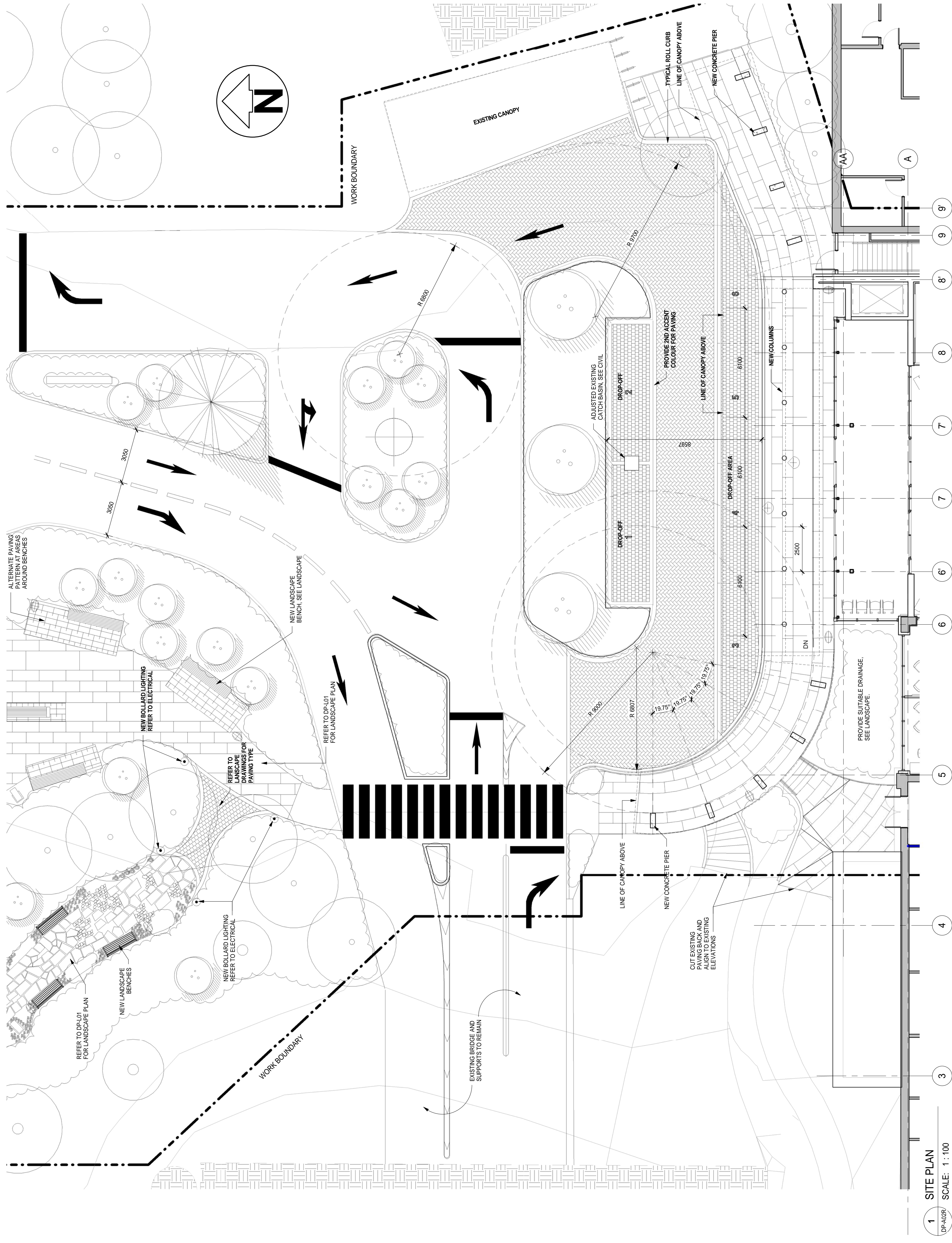
**1 SITE PLAN**  
 DP-A01R/ SCALE: 1 : 200



**2 Key Plan**  
 DP-A01R/ SCALE: 1 : 50000

SITE PLAN NOTES:

- ALL LANDSCAPE ELEMENTS TO BE COMPLETED BY THE END OF CONSTRUCTION AND TO THE SATISFACTION OF THE AUTHORITIES.
- LANDSCAPE CONTRACTORS TO VERIFY ALL DIMENSIONS AND CHECK ALL DIMENSIONS ON SITE & REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY.
- FINISHED GRADES AND ELEVATIONS TO BE OBTAINED FROM THE ARCHITECT'S FINISHED GRADES AND ELEVATIONS DRAWINGS TO BE READ IN CONJUNCTION WITH THE ARCHITECT'S SEPARATE DOCUMENT (SEPARATE DOCUMENT).
- ALL EXISTING EXIT PATHS LEADING TO A SAFE AREA SHALL BE MAINTAINED AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION.



1 SITE PLAN  
 DP-A02R  
 SCALE: 1 : 100



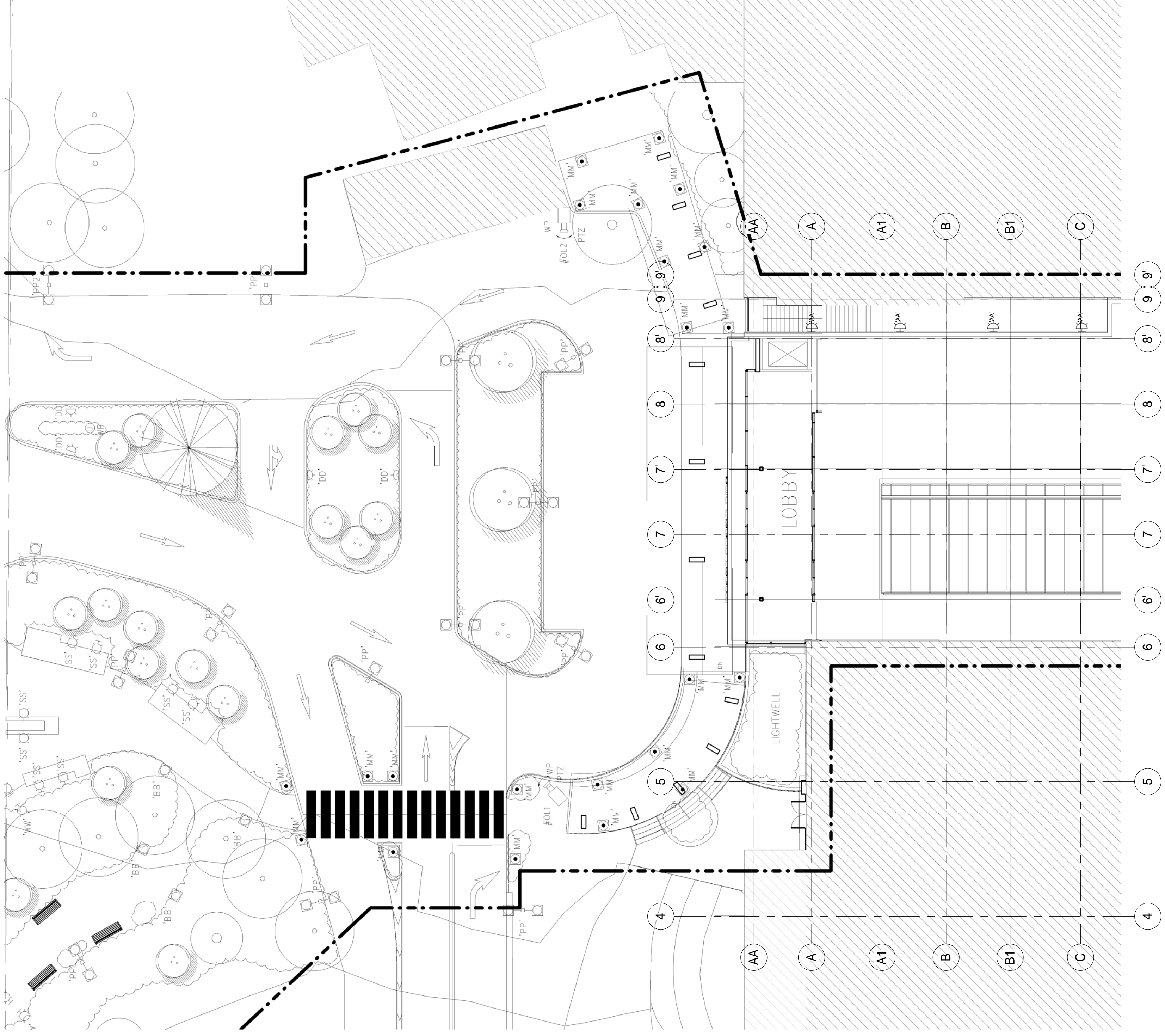
**fraserhealth**  
 Better health. Best in health care.

**SITE PLAN**  
 Surrey Memorial Hospital North Lobby Expansion  
 13750 - 96th Avenue  
 Surrey, British Columbia, Canada







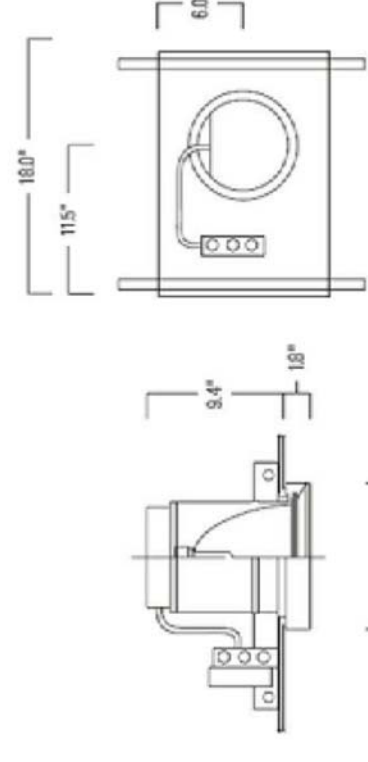
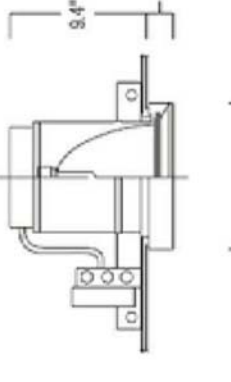



DP-A02R  
 As indicated  
 2011-02-18

DRAWN: KC  
 REVIEWED: NN



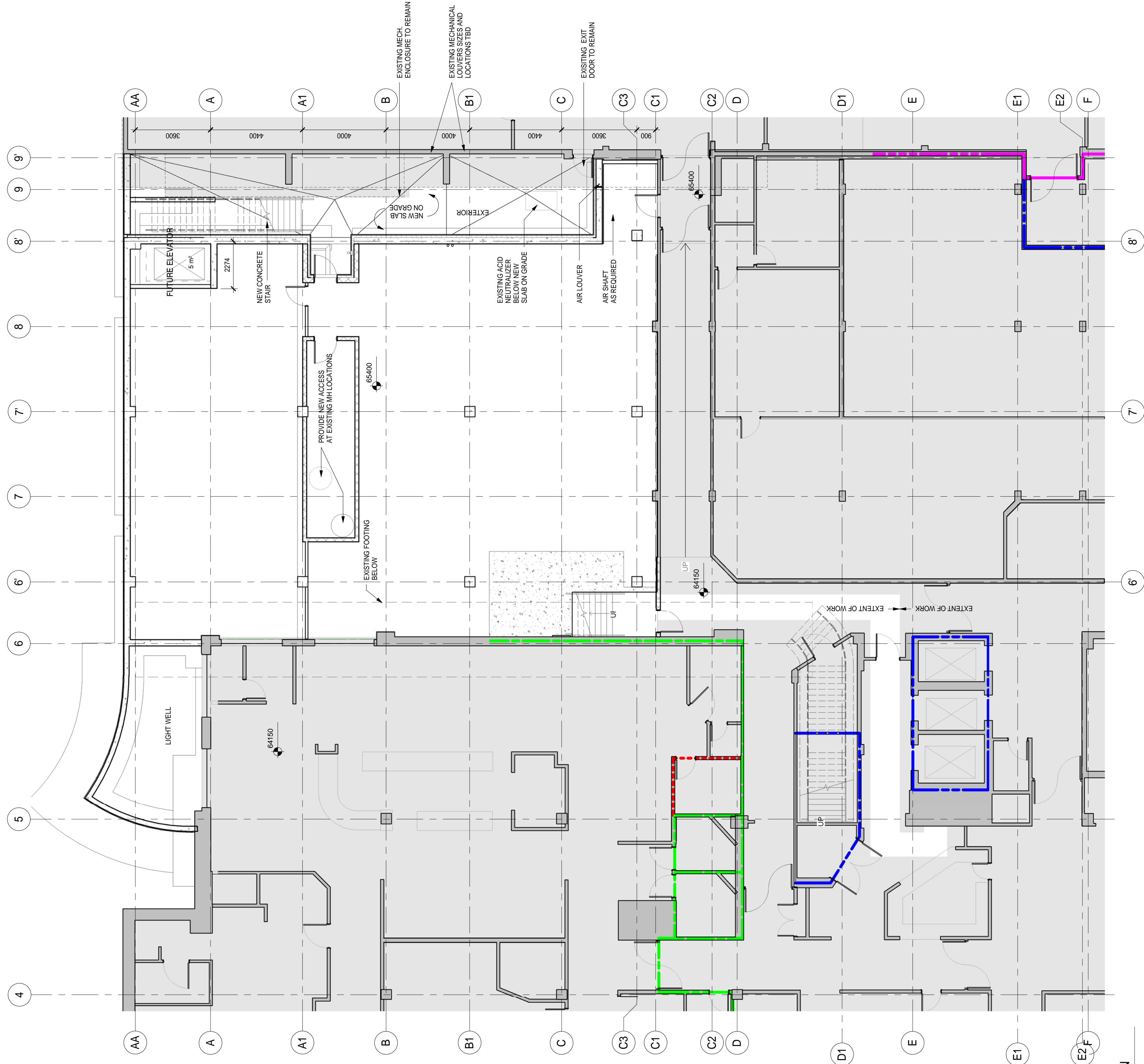


1 ELECTRICAL SITE PLAN  
DP-A03R SCALE: 1 : 150

<b>MM</b>		Landscape LED marker
<b>SS</b>		Step lighting housing compact fluorescent lamp
<b>DD</b>		Flood light housing metal halide
<b>BB</b>		Bollard housing compact fluorescent
<b>WW</b>		Wall recessed outdoor lighting fixture housing compact fluorescent
<b>FF</b>	  	<ul style="list-style-type: none"> <li>• Recessed outdoor lighting fixture</li> <li>• Wide Beam distribution</li> <li>• <b>Housing 50 Watt CMH</b> IP65. Marine grade die-cast aluminum construction</li> <li>• Anodized aluminum reflector.</li> <li>• Tempered glass lens.</li> <li>• 120V</li> </ul>
<b>PP</b>	 	<p>Two head indirect pole mounted lighting fixtures on 4 m pole Housing 70Watt metal halide.</p>
<b>AA</b>		<ul style="list-style-type: none"> <li>• Wall mounted outdoor lighting fixture, complete cut-off housing 50 Watt metal halide lamp-IP 65</li> <li>• Glass diffuser</li> </ul>

Acceptable Products  
WE-EF  
SISTAMALUX

- GENERAL NOTES:**
- ALL BUILDING ELEMENTS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE AND TO THE SATISFACTION OF THE AUTHORITIES HAVING JURISDICTION.
  - CHECK ALL DIMENSIONS ON SITE & REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCING CONSTRUCTION.
  - FINISHES AND INTERIOR WALL TYPES TO BE INDICATED ON DRAWINGS FOR DOCUMENTATION. (SEPARATE DOCUMENTS FOR FINISHES AND INTERIOR WALL TYPES).
  - DRAWINGS TO BE READ IN CONJUNCTION WITH DOCUMENTS AND SPECIFICATIONS. SEPARATE DOCUMENTS FOR FINISHES AND INTERIOR WALL TYPES.
  - WHERE EXISTING WALLS HAVE BEEN ALTERED, MATCH EXISTING FIRE RATING AND SEAL ALL PENETRATIONS TO ATTAIN FIRE RESISTANCE RATING.
  - CONTRACTOR TO ENSURE A "LIGHT TIGHT/Acoustical" CONNECTION WHEREVER THERE IS AN INTERSECTION OF WALLS, CORE WALLS, INDUCTION UNITS, WINDOW MULLIONS, ETC. INSTALL INSUL-TAPE OR EQUAL IN ORDER TO MAINTAIN ACUSTICAL INTEGRITY OF THE BUILDING.
  - REFER TO GENERAL REQUIREMENTS FOR INFECTION CONTROL DURING CONSTRUCTION IN ORDER TO MAINTAIN THE INTEGRITY OF THE SIGNAGE IS INTERRUPTED, CONCEALED OR REMOVED AS A PRODUCT OF CONSTRUCTION.
  - MATCH EXISTING FIRE RATING AND SEAL ALL PENETRATIONS.
  - ALL MECHANICAL FIRE DAMPERS IN DUCTS ON MECHANICAL DRAWINGS TO BE TYPICAL FOR ALL DUCTS.
  - ALL HOARDING AND DUST BARRIERS TO BE INSPECTED THOROUGHLY ON A DAILY BASIS. ALL NECESSARY REPAIRS TO HOARDING ARE TO BE COMPLETED BEFORE COMMENCEMENT OF WORK IN ADJACENT AREAS.
  - INTERIOR HOARDING TO BE CONSTRUCTED AS REFRIGERATED ENVELOPE TO PREVENT CONDENSATION. HOARDING IN EXIT STAIRS TO BE 1 HOUR FIRE RATED (6mm STEEL STUD & 2 LAYERS OF TYPE 'X' GYPSUM BOARD).
  - FLOOR, CEILING AND WALLS CONNECTION MAKE GOOD (PATCH & PAINT) WHERE EXISTING WALLS AND CEILING HAVE BEEN ALTERED. NEW FLOORING TO BE INSTALLED TO MAINTAIN DUST CONTROL INSIDE OF CONSTRUCTION SITE. AS PER SPECIFICATIONS.
  - ALL PUBLIC AND ADJACENT AREAS ARE TO BE KEPT CLEAN AND DUST FREE AT ALL TIMES.
  - MAINTAIN NEGATIVE AIR PRESSURE WITHIN CURRENT SHELL SPACE. MECHANICAL AND ELECTRICAL SERVICE. OPEN SPACE. NO FINISHED CEILING. CONCRETE FLOOR.
  - REFER TO GENERAL REQUIREMENTS FOR MECHANICAL AND ELECTRICAL SCOPE OF WORK. REFER TO STRUCTURAL CIVIL, LANDSCAPE, MECHANICAL AND ELECTRICAL DOCUMENTATION FOR STRUCTURAL BRACING PLEASE REFER TO STRUCTURAL DOCUMENTATION.
  - PROVIDE PROTECTIVE CURBS FOR ALL ROOF TOP UNITS. CURB ROOF MEMBRANE AND FILL FLASHING. CRICKET TO MAINTAIN ALL SLOPES TO DRAIN.



1 LEVEL 1 PLAN  
DP-A04R/ SCALE: 1 : 100

GENERAL NOTES:

- ALL BUILDING ELEMENTS TO BE CONSTRUCTED IN ACCORDANCE WITH 2008 BRITISH COLUMBIA BUILDING CODE AND TO THE SATISFACTION OF THE ARCHITECT.
- CONTRACTOR TO CONFIRM SCOPE OF WORK AND CHECK ALL DIMENSIONS ON SITE & REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES AND INTERIOR WALL TYPES.
- DRAWINGS TO BE READ IN CONJUNCTION WITH DOCUMENT SPECIFICATIONS (SEPARATE DOCUMENT).
- WHERE EXISTING WALLS HAVE BEEN ALTERED, MATCH EXISTING FIRE RATING AND SEAL ALL PENETRATIONS TO MATCH FIRE RESISTANCE RATING.
- CONTRACTOR TO ENSURE A LIGHT PARTITION WALL IS INSTALLED WHERE NECESSARY TO BUILD UP INTO COLUMNS PERIMETER WALLS, CORE WALLS, INDUCTION UNITS, WINDOW MULLIONS, ETC. INSTALL INSULATION OR EQUAL IN ALL NEW WALL CONSTRUCTION.
- REFER TO GENERAL REQUIREMENTS FOR INTERIOR FINISHES AND WALLS FOR FINISHES AND WALL TYPES.
- PROVIDE TEMPORARY SIGNAGE WHERE EXISTING SIGNAGE IS DISRUPTED, CONCEALED OR REMOVED.
- MATCH EXISTING WALLS HAVE BEEN ALTERED, MATCH EXISTING FIRE RATING AND SEAL ALL PENETRATIONS.
- WHERE EXISTING WALLS HAVE BEEN ALTERED, MATCH EXISTING FIRE RATING AND SEAL ALL PENETRATIONS.
- MECHANICAL DRAWINGS TO BE TYPICAL FOR ALL DUCTS.
- ALL HOARDINGS AND DUST BARRIERS TO BE INSPECTED THOROUGHLY ON A DAILY BASIS. ALL NECESSARY REPAIRS TO HOARDINGS ARE TO BE COMPLETED PRIOR TO THE NEXT WORK DAY EACH DAY TO PREVENT DUST PROPAGATION TO ADJACENT AREAS.
- INTERIOR HOARDING TO BE CONSTRUCTED AS SHOWN ON DRAWINGS.
- HOARDING IN EXISTING STAIRS TO BE 1 HOUR FIRE RATED (4mm S1 GEL STUDS & 2 LAYERS OF TYPE 'X' GYPSUM BOARD).
- FLOOR, CEILING AND WALLS CONNECTION, MAKE GOOD (PATCH & PAINT) WHERE EXISTING WALLS ARE DAMAGED BY HOARDING.
- POLY BARRIER TO BE ERECTED TO MAINTAIN DUST CONTROL INSIDE OF CONSTRUCTION SITE. AS PER DRAWINGS.
- ENSURE THAT ALL PUBLIC AND ADJACENT AREAS ARE KEPT CLEAN AND DUST FREE AT ALL TIMES.
- MAINTAIN NEGATIVE AIR PRESSURE WITHIN CURRENT SHELL SPACE. MECHANICAL AND ELECTRICAL SERVICE OPEN SPACE, NO FINISHED FLOORING TO BE INSTALLED.
- REFER TO STRUCTURAL CIVIL LANDSCAPE MECHANICAL AND ELECTRICAL SCOPE OF WORK, AS ENCLOSED FORMING PART OF THIS DOCUMENT, FOR STRUCTURAL BRACING RELEASE REFER TO STRUCTURAL DOCUMENTATION.
- PROVIDE PROTECTIVE FLASHING FOR ALL ROOF TOP UNITS CW/ ROOF MEMBRANE AND FULL FLASHING. CRICKET TO MAINTAIN ALL SLOPES TO DRAIN.



1 LEVEL 2 PLAN  
DP-A05R/ SCALE: 1:100



DRAWN: KC  
REVIEWED: NN

DP-A05R

As indicated  
2011-02-18

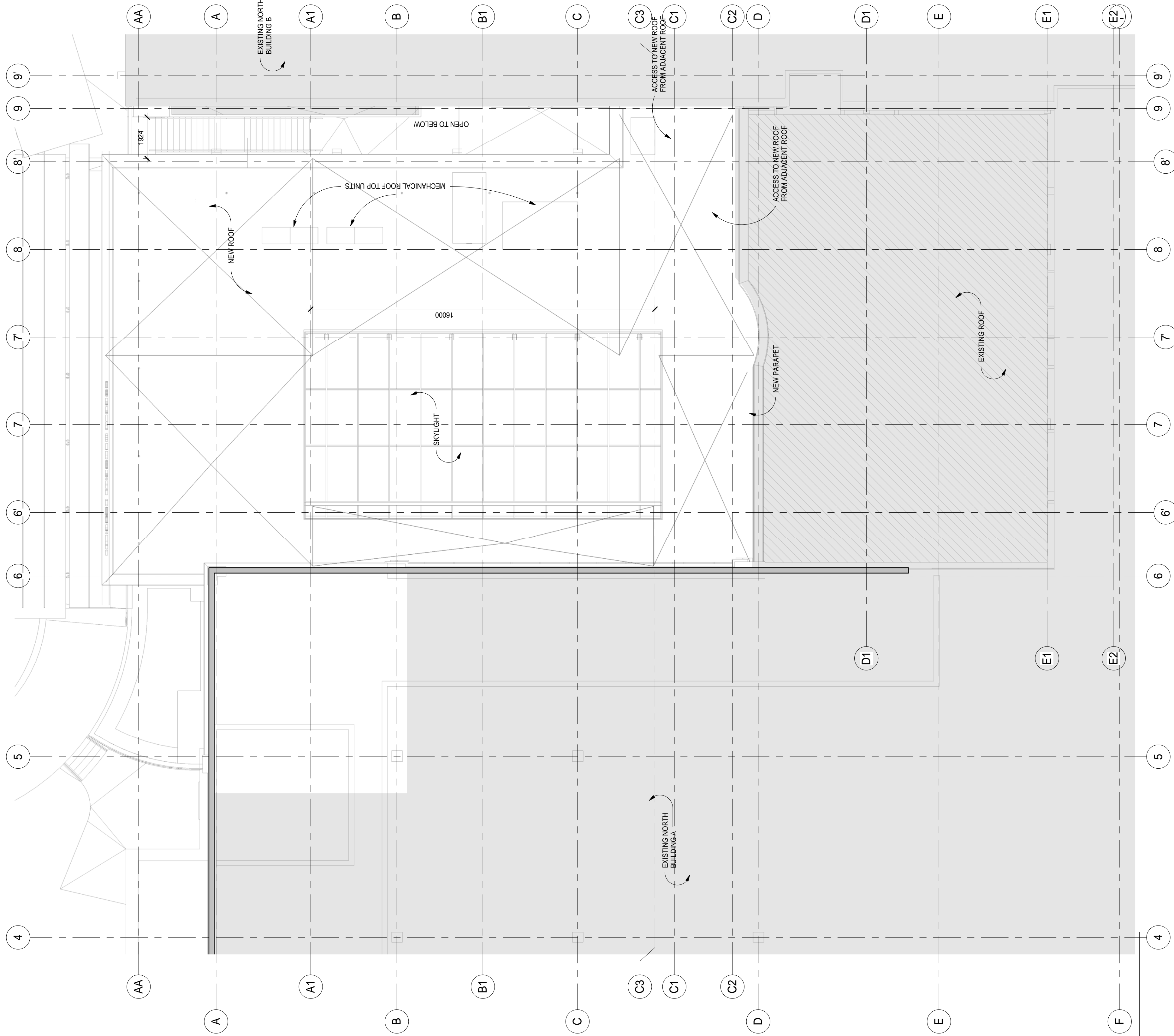
LEVEL 2 PLAN  
Surrey Memorial Hospital North Lobby Expansion

13750 - 96th Avenue  
Surrey, British Columbia, Canada

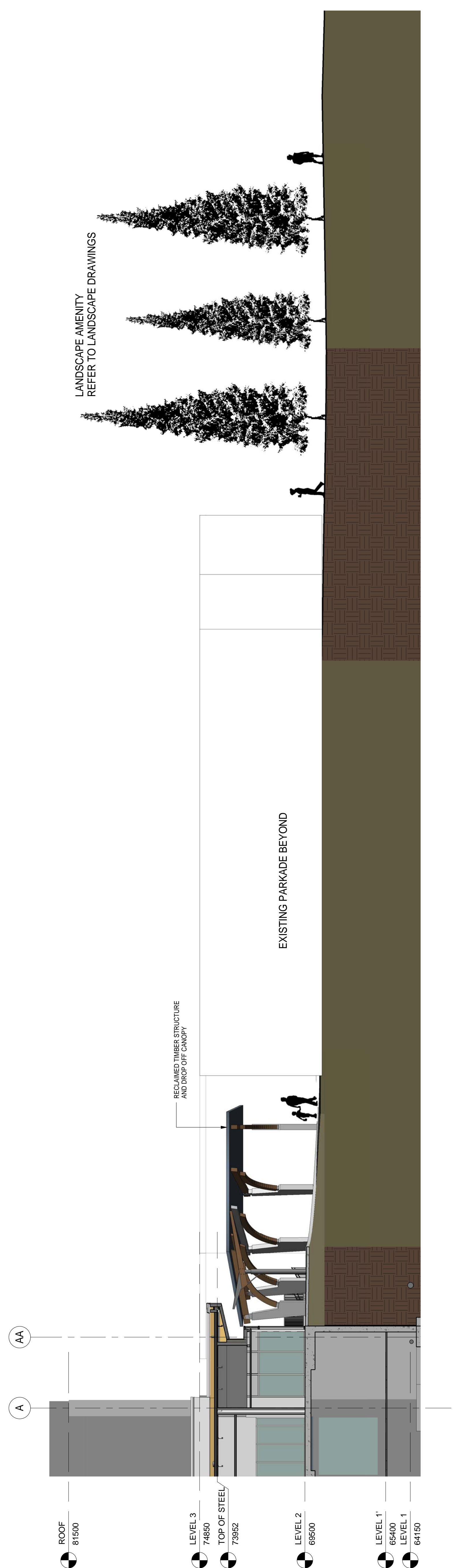
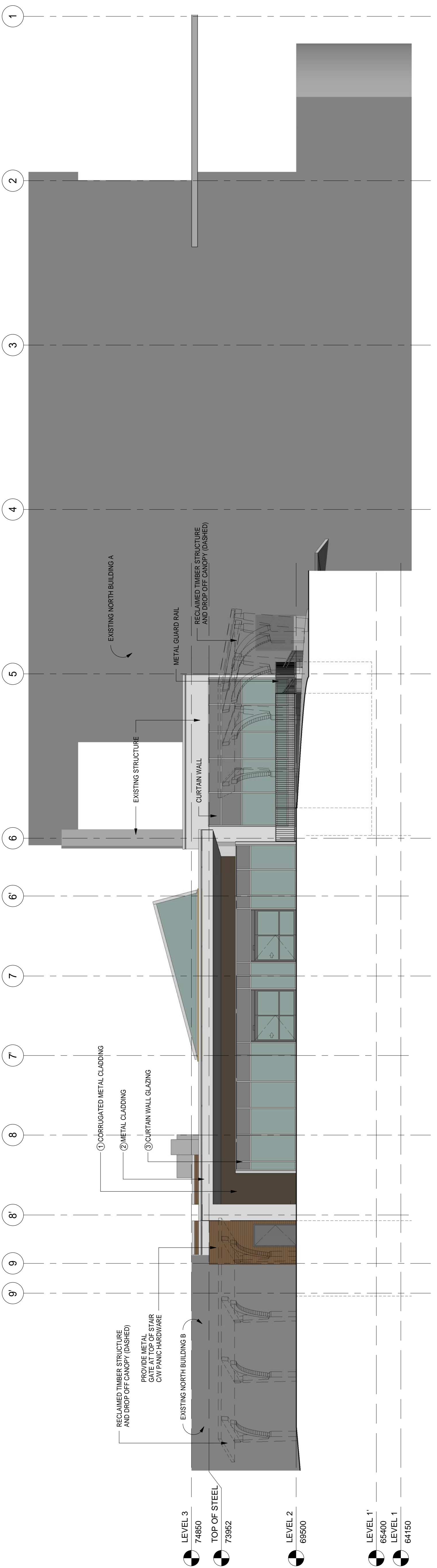


GENERAL NOTES:

- ALL BUILDING ELEMENTS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BC RESIDENTIAL BUILDING CODE AND TO THE SATISFACTION OF THE AUTHORITIES HAVING JURISDICTION.
- ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BC BUILDING DEPARTMENT'S WORK AND CHECK ALL DIMENSIONS ON SITE & REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCING CONSTRUCTION.
- ALL FINISHES AND INTERIOR WALL TYPES TO BE SHOWN ON DRAWINGS FOR CONSTRUCTION.
- DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL SPECIFICATIONS (SEPARATE DOCUMENT).
- WHERE EXISTING WALLS HAVE BEEN ALTERED, MATCH EXISTING FIRE RATING AND SEAL ALL PENETRATIONS TO ATTAIN FIRE RESISTANCE RATING.
- CONTRACTOR TO ENSURE A "LIGHT TIGHT" ACOUSTICAL CONNECTION WHENEVER EXISTING WALLS ARE ALTERED. THIS INCLUDES WALLS, CORE WALLS, INDUCTION UNITS, WINDOW MULLIONS, ETC. INSTALL INSUL-TAPE OR EQUAL IN ORDER TO MAINTAIN THE ACOUSTICAL INTEGRITY OF THE BUILDING.
- REFER TO GENERAL REQUIREMENTS FOR INFECTON CONTROL DURING CONSTRUCTION IN ARCHITECTURAL SPECIFICATIONS.
- SIGNAGE IS DISRUPTED, CONCEALED OR REMOVED AS A RESULT OF CONSTRUCTION, CONTRACTOR TO REPAIR, ALTERED, OR REPLACE AS APPLICABLE.
- MATCH EXISTING FIRE RATING AND SEAL ALL PENETRATIONS.
- METAL THRU FIRE DAMPERS IN DUCTS ON EXISTING ROOFS TO BE TYPICAL FOR ALL DUCTS.
- ALL HOARDING AND DUST BARRIERS TO BE CONSTRUCTED TO MAINTAIN ALL AREAS TO BE INSPECTED THOROUGHLY ON A DAILY BASIS. ALL NECESSARY REPAIRS TO HOARDING ARE TO BE COMPLETED BEFORE COMMENCEMENT OF WORK IN ANY AREA. ALL HOARDING IS TO BE MAINTAINED TO PREVENT DUST PROPAGATION TO ADJACENT AREAS.
- INTERIOR HOARDING TO BE CONSTRUCTED AS SEPARATE WALLS TO PREVENT DUST PROPAGATION.
- HOARDING IN EXIT STAIRS TO BE 1 HOUR FIRE RATED (6mm STEEL STUD & 2 LAYERS OF TYPE 'X' GYPSUM BOARD).
- ALL NEW FLOORING TO BE INSTALLED TO MATCH EXISTING FLOORING.
- FLOOR, CEILING AND WALL CONNECTION MAKE GOOD (PATCH & PAINT) WHERE EXISTING WALLS AND CEILING HAVE BEEN ALTERED. NEW FLOORING TO BE INSTALLED TO MATCH EXISTING FLOORING.
- POLY BARRIER TO BE ERECTED TO MAINTAIN DUST CONTROL INSIDE OF CONSTRUCTION SITE, AS PER SPECIFICATIONS.
- MAINTAIN PUBLIC AND ADJACENT AREAS ACCESSIBLE AT ALL TIMES.
- AREAS KEPT CLEAN AND DUST FREE AT ALL TIMES.
- MAINTAIN NEGATIVE AIR PRESSURE WITHIN CONSTRUCTION AREAS.
- CURRENT SEALED SPACE, MECHANICAL AND ELECTRICAL SERVICE, OPEN SPACE, NO FINISHED CEILING, CONCRETE FLOOR, ETC.
- CONTRACTOR TO OBTAIN ALL NECESSARY MECHANICAL AND ELECTRICAL SCOPE OF WORK, REFER TO STRUCTURAL, CIVIL, LANDSCAPE, MECHANICAL, AND ELECTRICAL DOCUMENTATION FOR ALL WORK TO BE COMPLETED.
- FOR STRUCTURAL BRACING PLEASE REFER TO STRUCTURAL DOCUMENTATION.
- PROVIDE ALL NECESSARY PARAPETS FOR ALL ROOF TOP UNITS. ROOF MEMBRANE AND FILL FLASHING, CRICKET TO MAINTAIN ALL SLOPES TO DRAIN.



1 ROOF PLAN  
DP-A06R SCALE: 1:100



**fraserhealth**  
Better health. Best in health care.

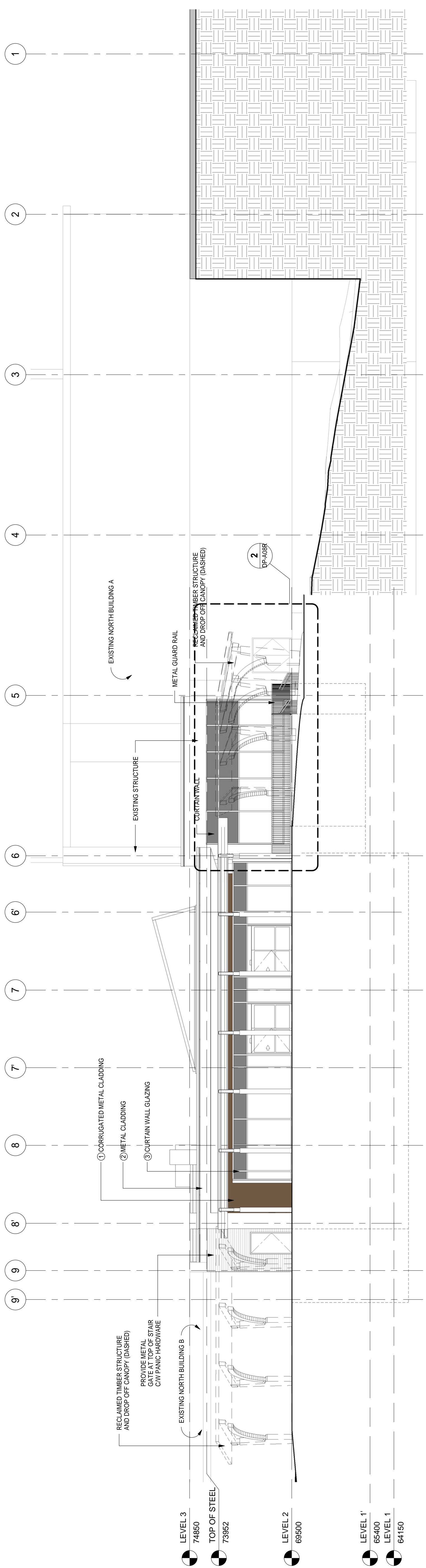
**EXTERIOR ELEVATIONS**  
Surrey Memorial Hospital North Lobby Expansion  
13750 - 96th Avenue  
Surrey, British Columbia, Canada

DP-A07R  
1 : 100  
2011-02-18

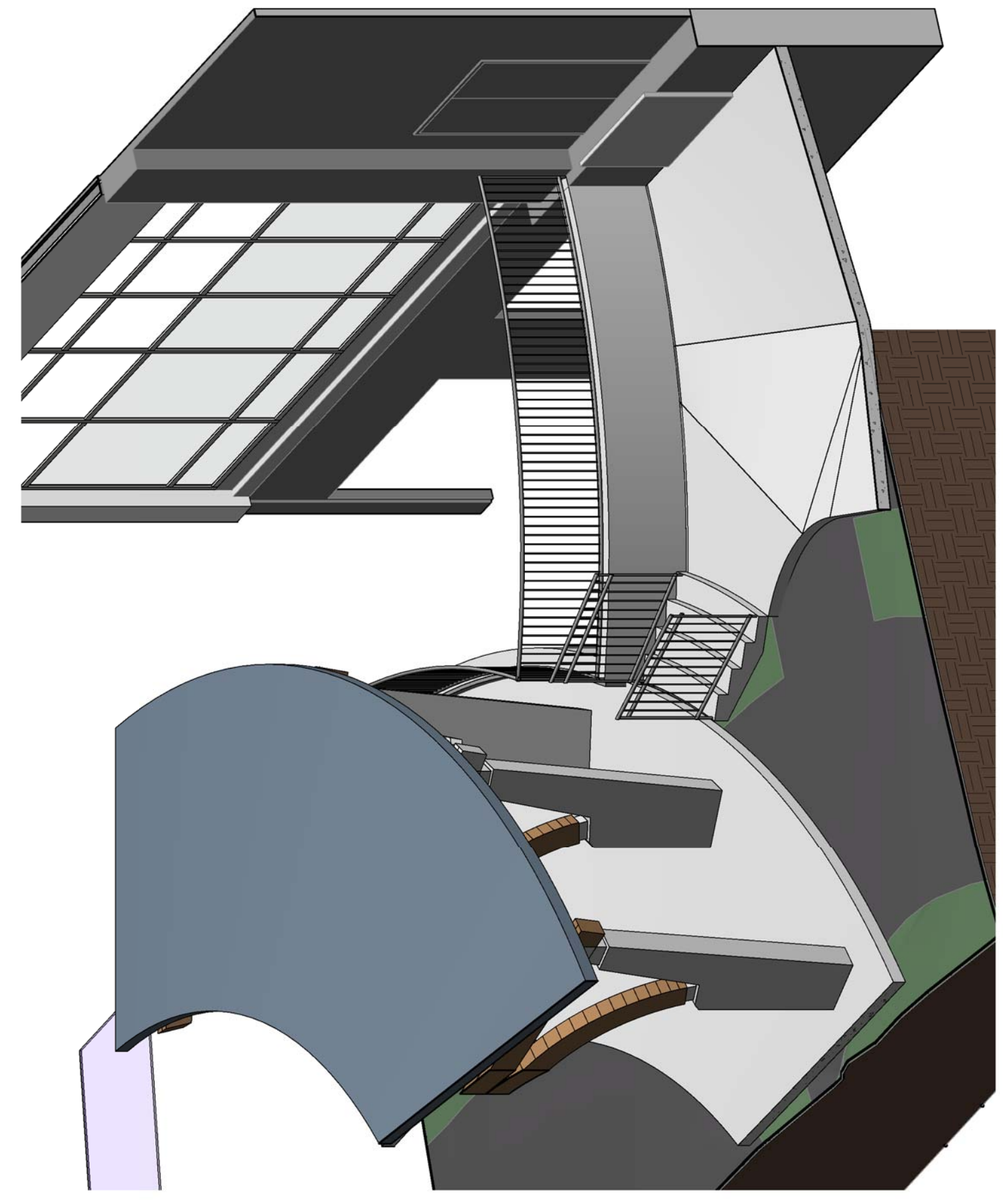
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REVIEWED: NN



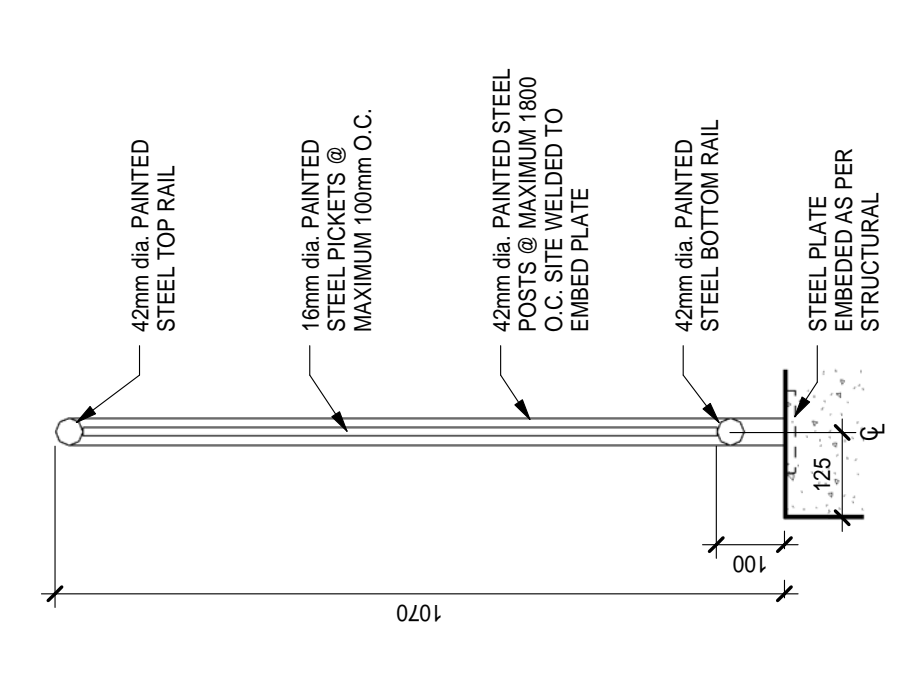




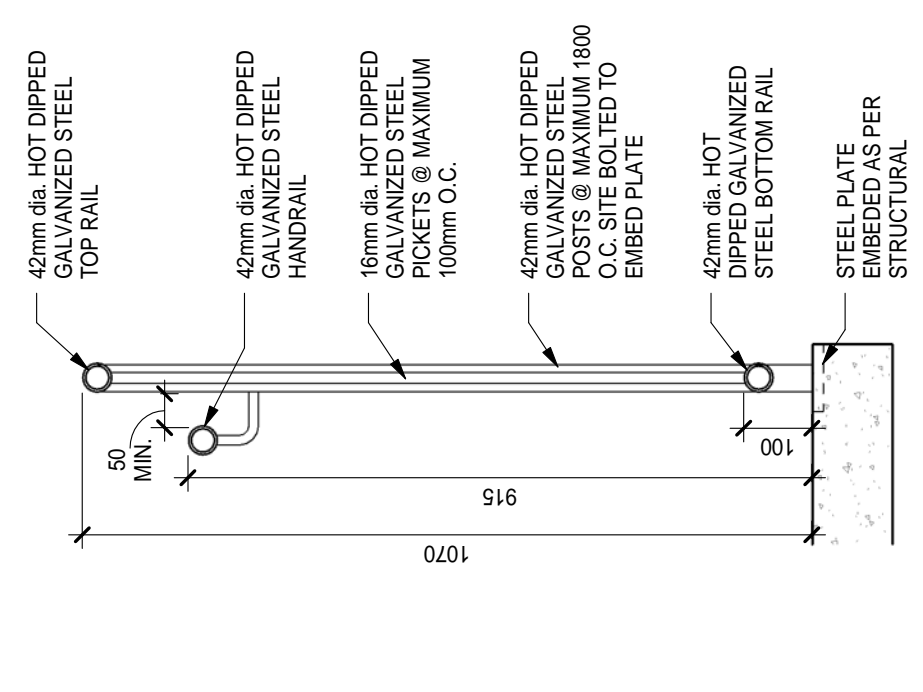
1 FRONT ELEVATION WITH CANOPY  
DP-A08R SCALE: 1 : 100



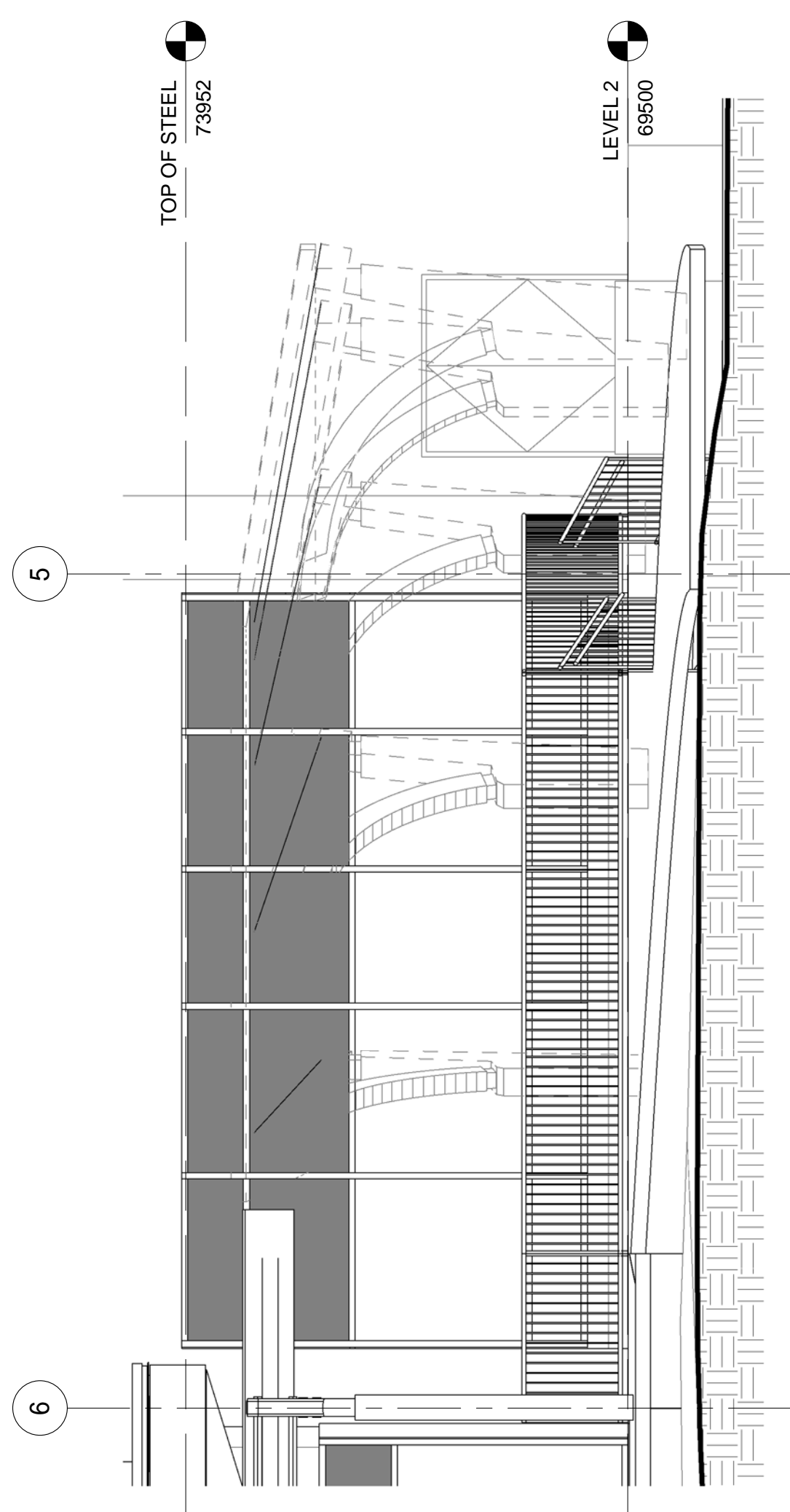
5 EXTERIOR HANDRAIL  
DP-A08R SCALE



4 TYPICAL GUARDRAIL SECTION  
DP-A08R SCALE: 1 : 10

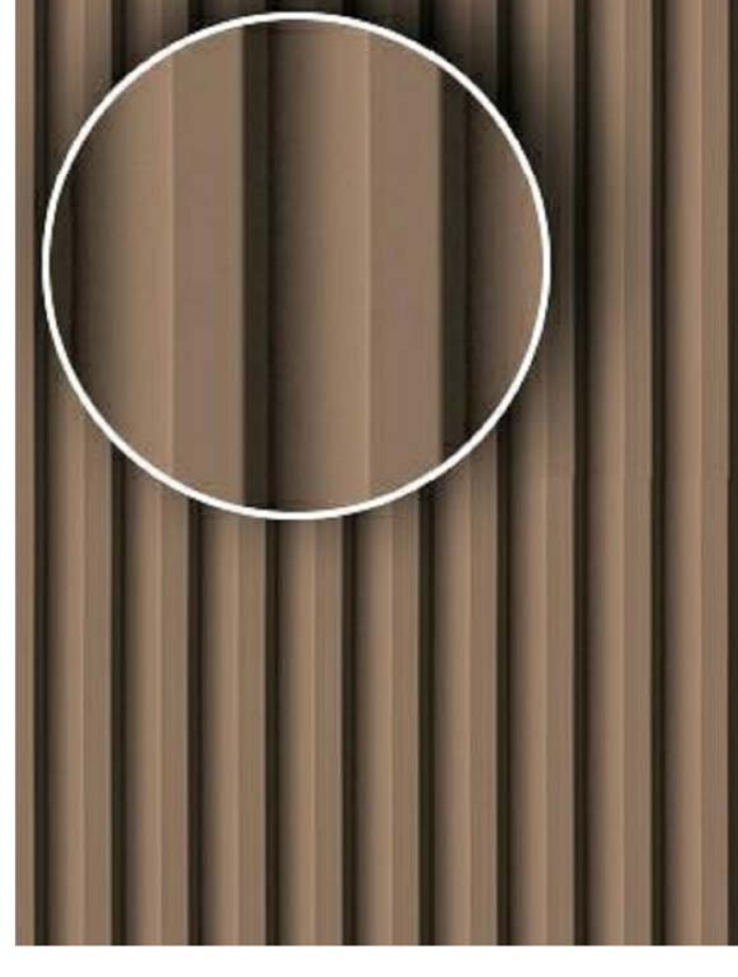


3 EXTERIOR HANDRAIL SECTION  
DP-A08R SCALE: 1 : 10



2 EXTERIOR HANDRAIL ELEVATION  
DP-A08R SCALE: 1 : 50

EXTERIOR FINISHES



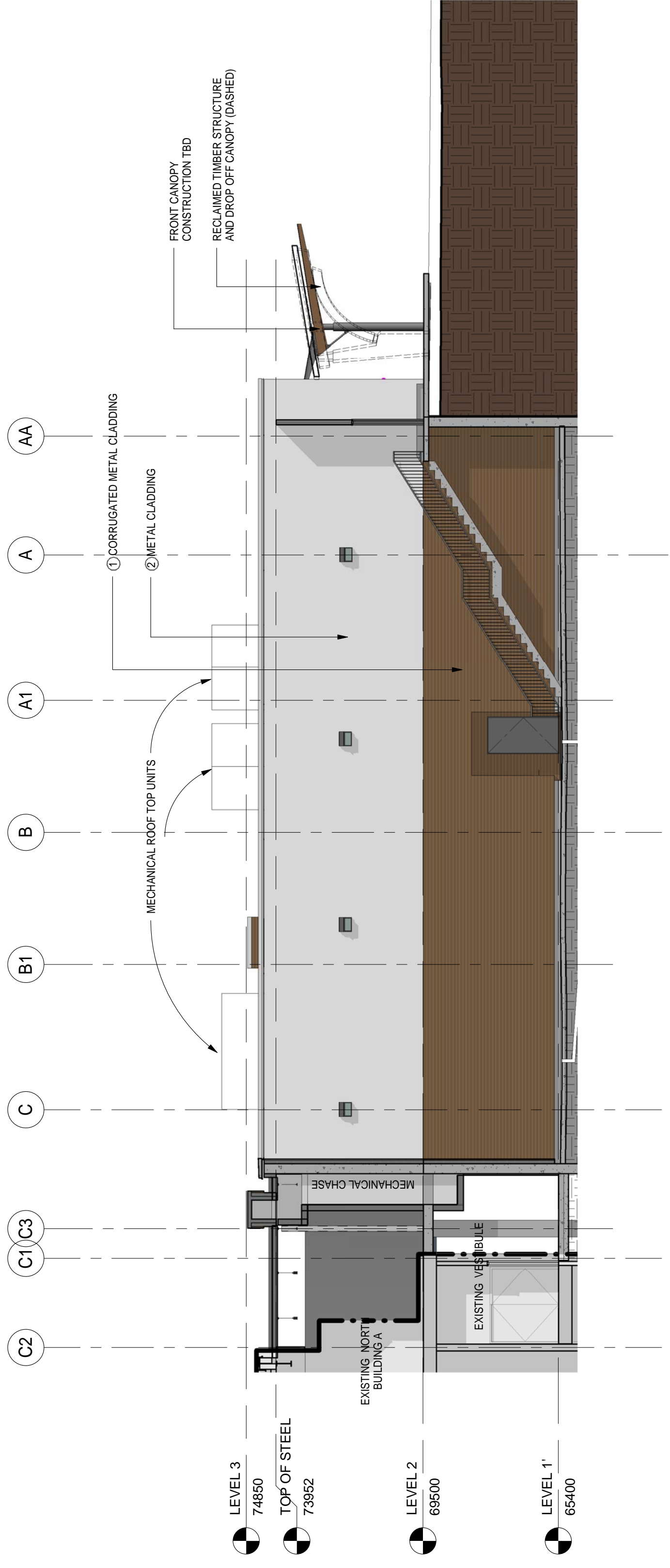
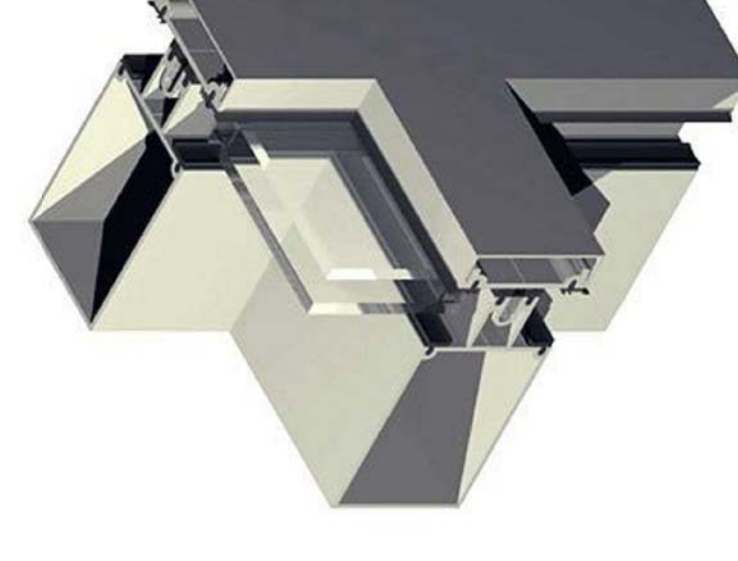
① CORRUGATED METAL PANEL



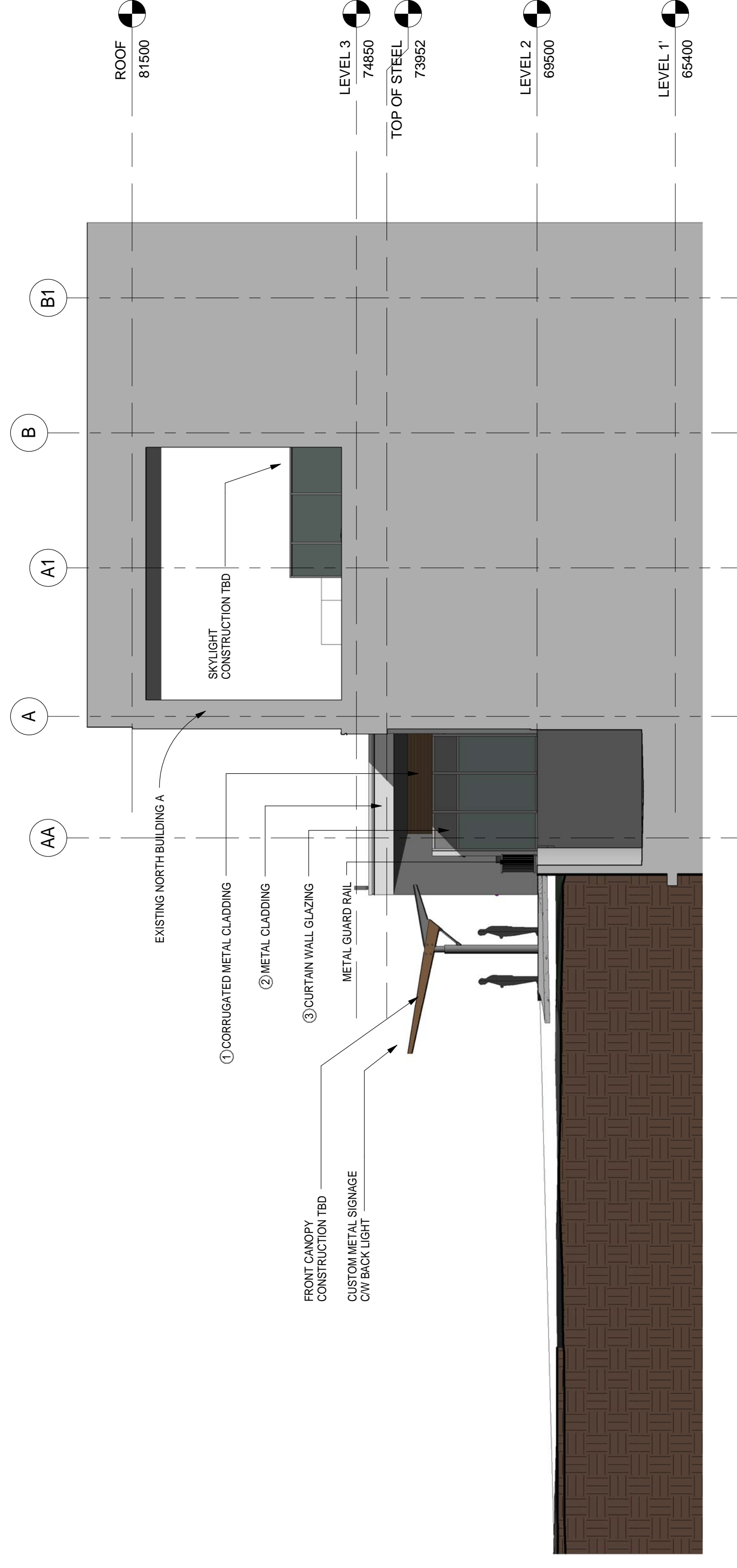
② METAL PANEL CLADDING (COMPOSITE ALUMINUM PANEL)



③ GLAZED CURTAIN WALL SYSTEM



1 EAST ELEVATION  
DP-A09R SCALE: 1 : 100



2 WEST ELEVATION  
DP-A09R SCALE: 1 : 100



AERIAL VIEW



AERIAL VIEW



FRONT PERSPECTIVE



DROP-OFF AREA PERSPECTIVE



FRONT ENTRANCE PERSPECTIVE



PERSPECTIVE FROM 96 AVE.



PERSPECTIVE FROM 96 AVE.



LANDSCAPE PEDESTRIAN PATH



LANDSCAPE AMENITY



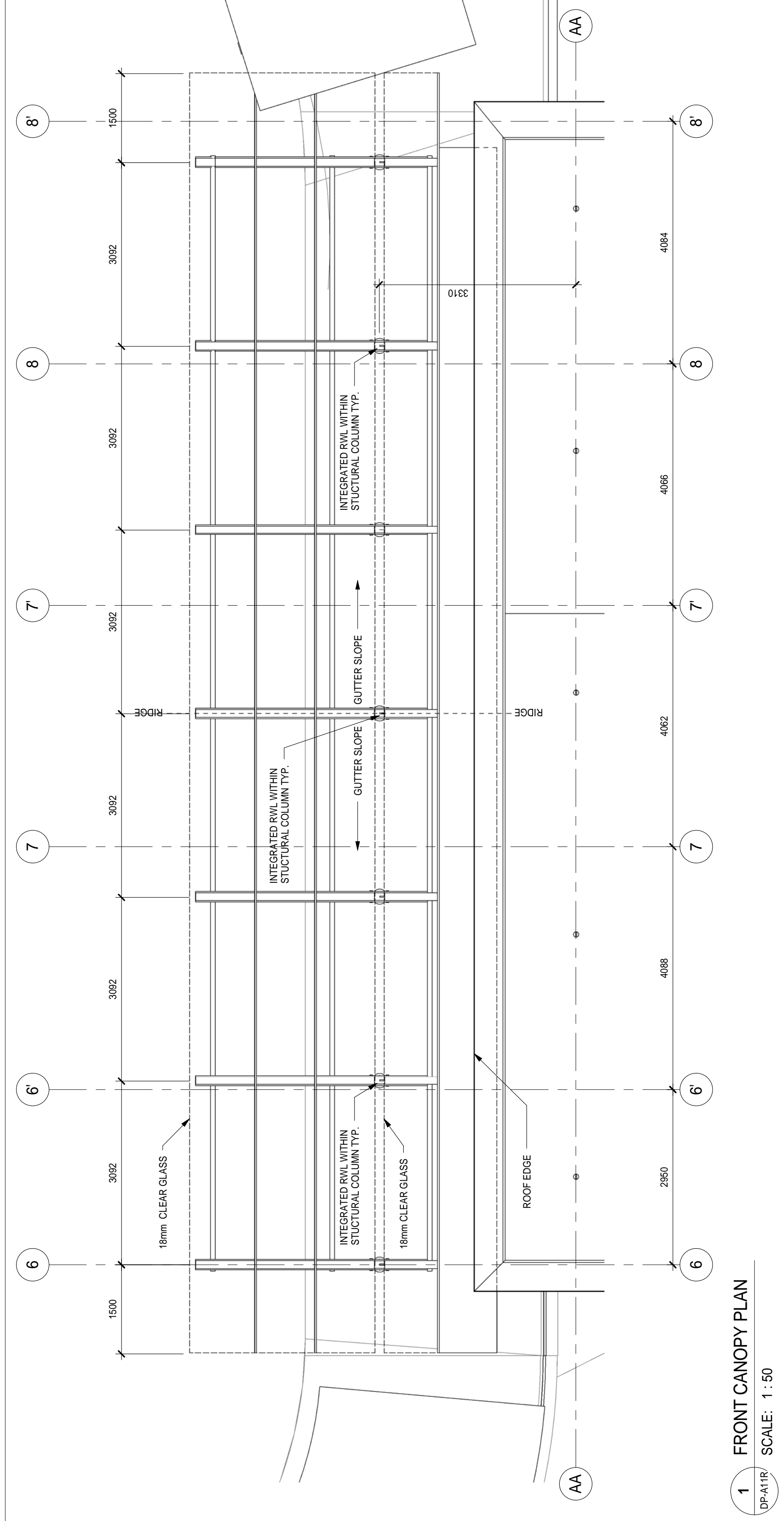
**EXTERIOR / LANDSCAPE PERSPECTIVES**  
Surrey Memorial Hospital North Lobby Expansion  
13750 - 96th Avenue  
Surrey, British Columbia, Canada

DP-A10R

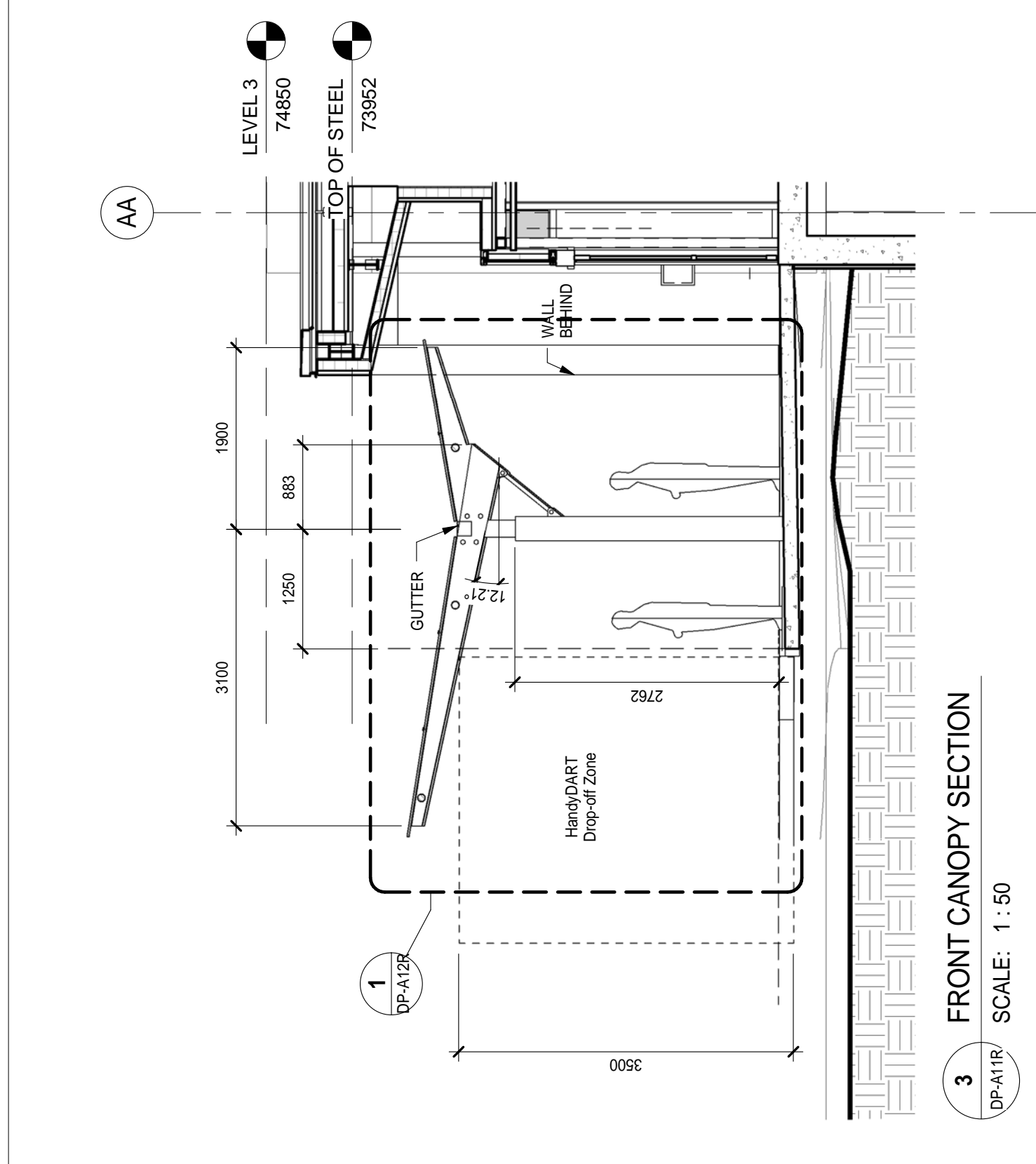
2011-02-18

DRAWN: KC  
REVIEWED: NN

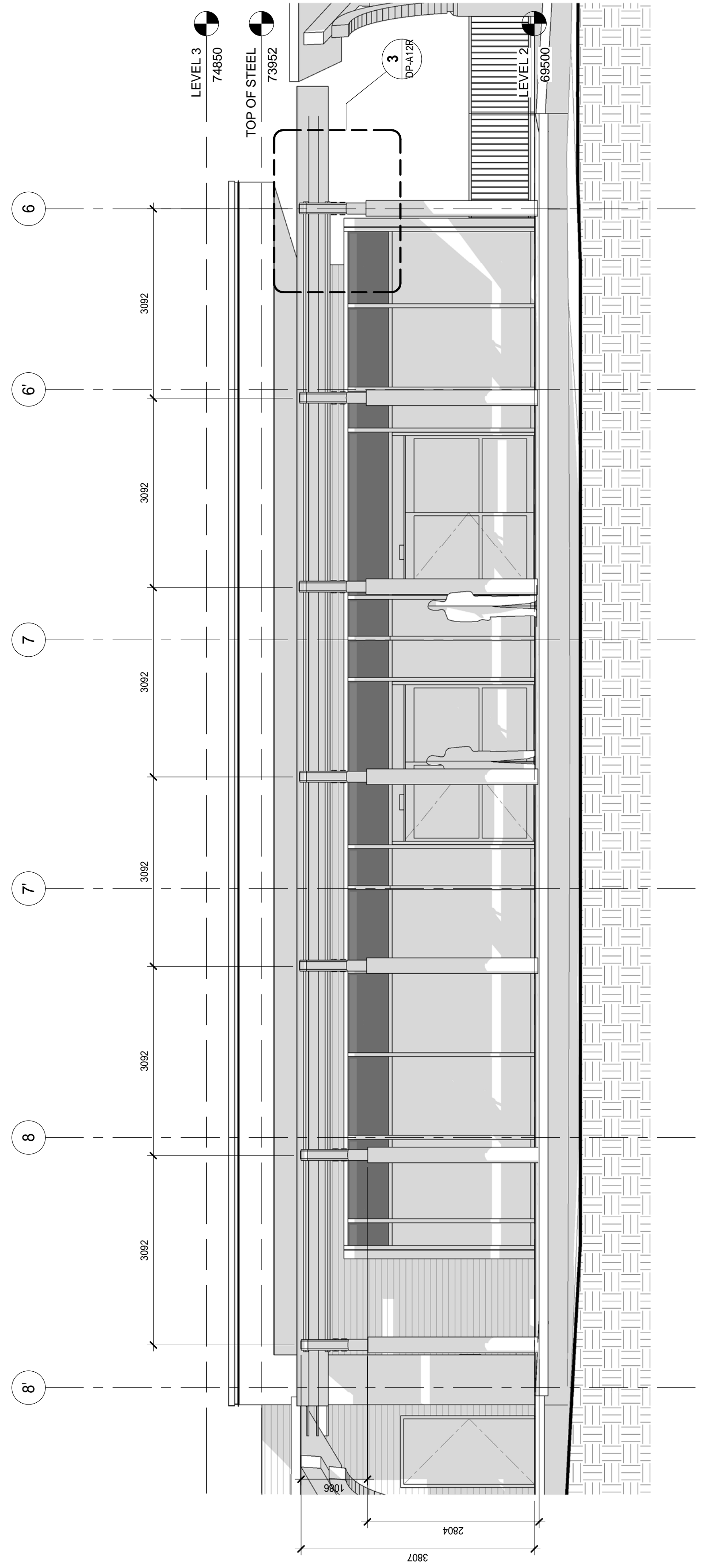




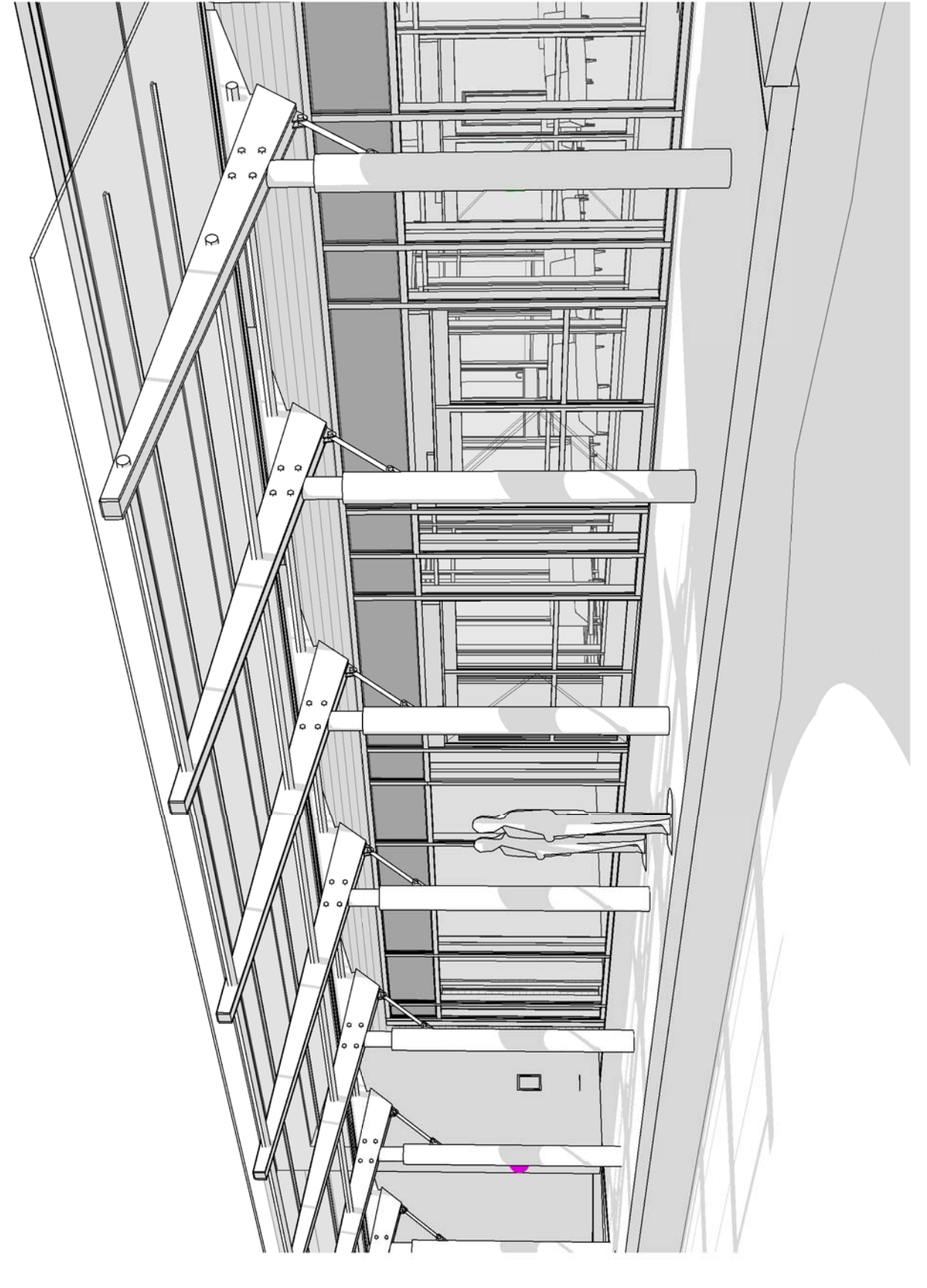
1 FRONT CANOPY PLAN  
DP-A11R/ SCALE: 1 : 50



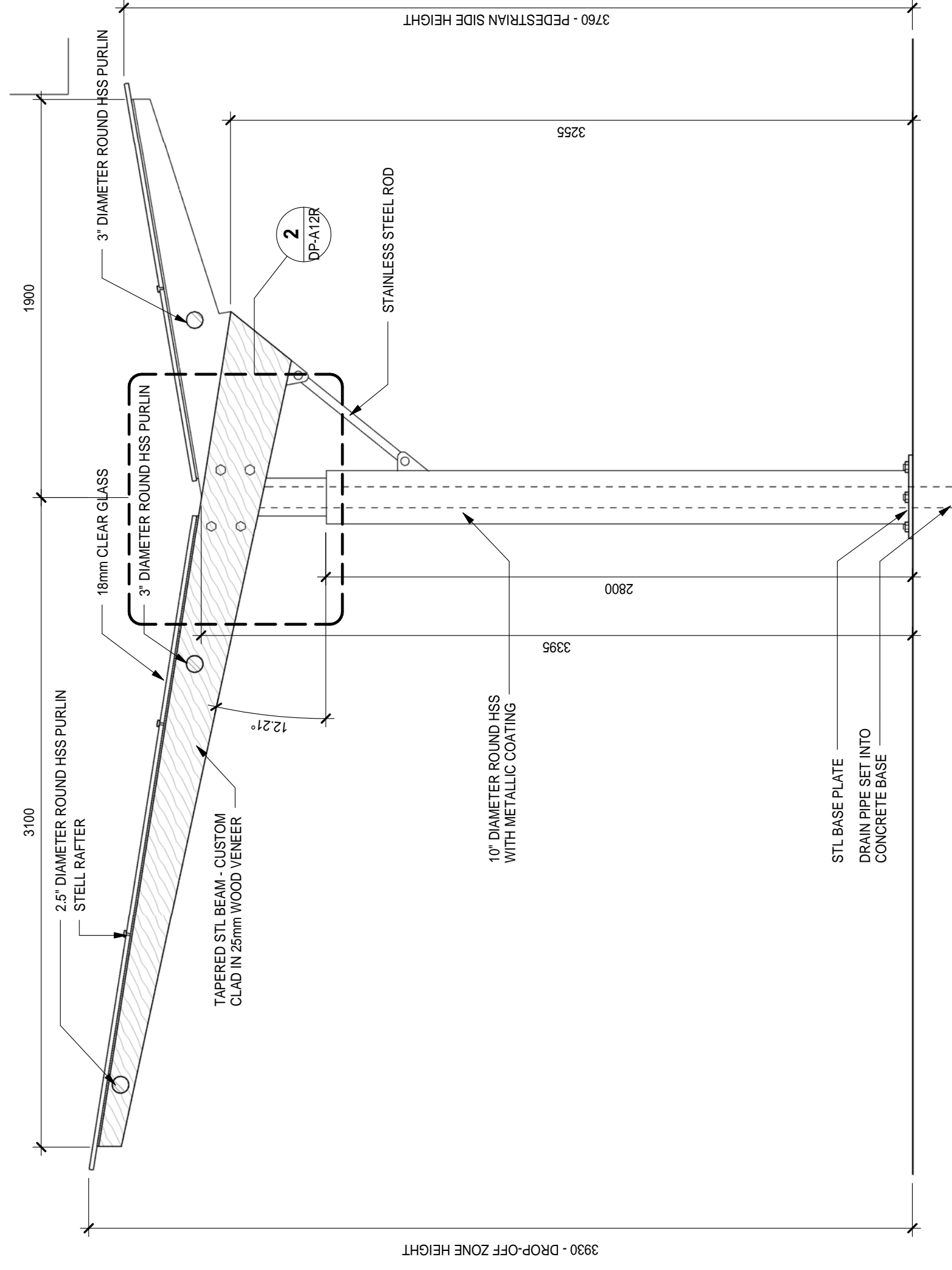
3 FRONT CANOPY SECTION  
DP-A11R/ SCALE: 1 : 50



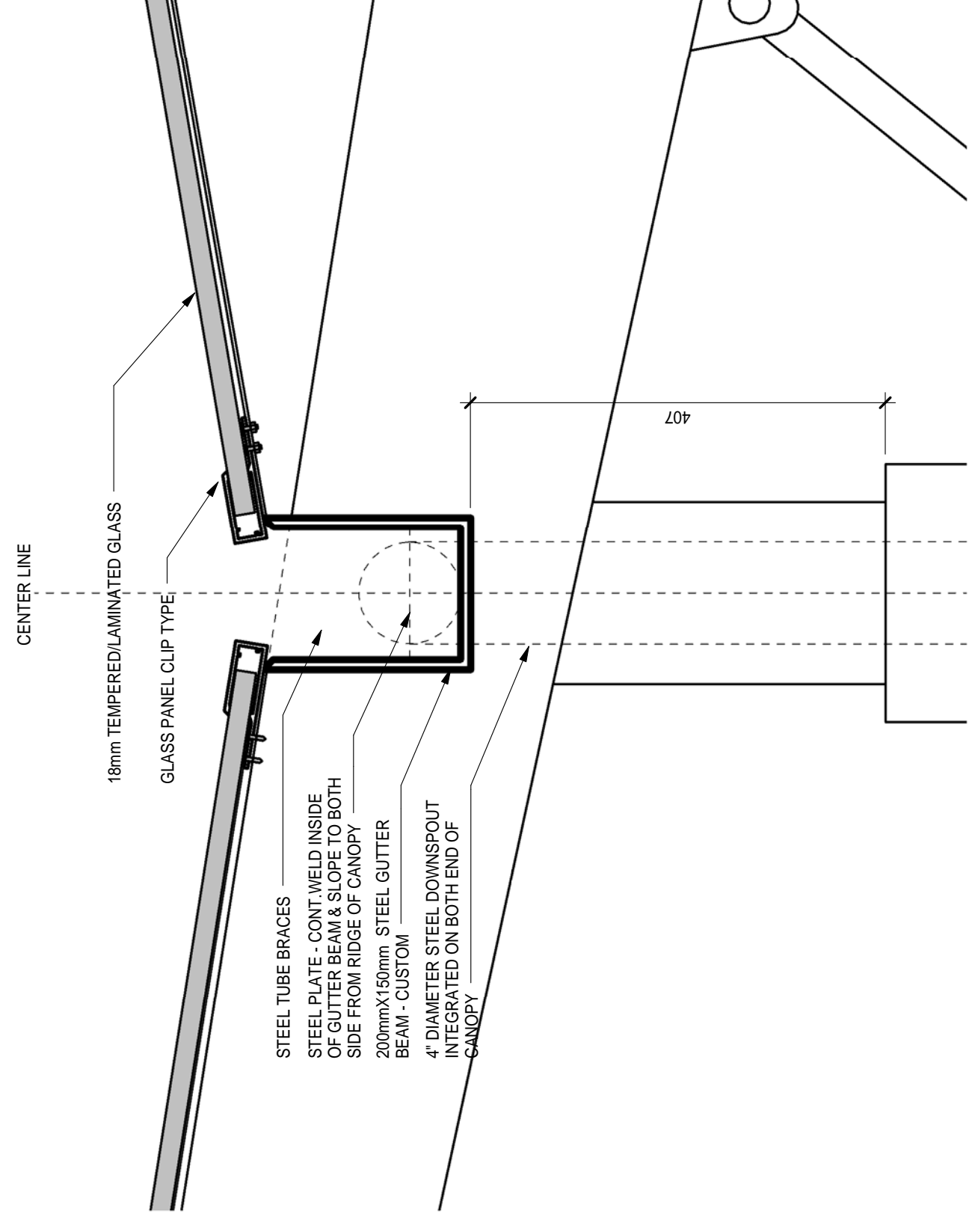
2 FRONT CANOPY ELEVATION  
DP-A11R/ SCALE: 1 : 50



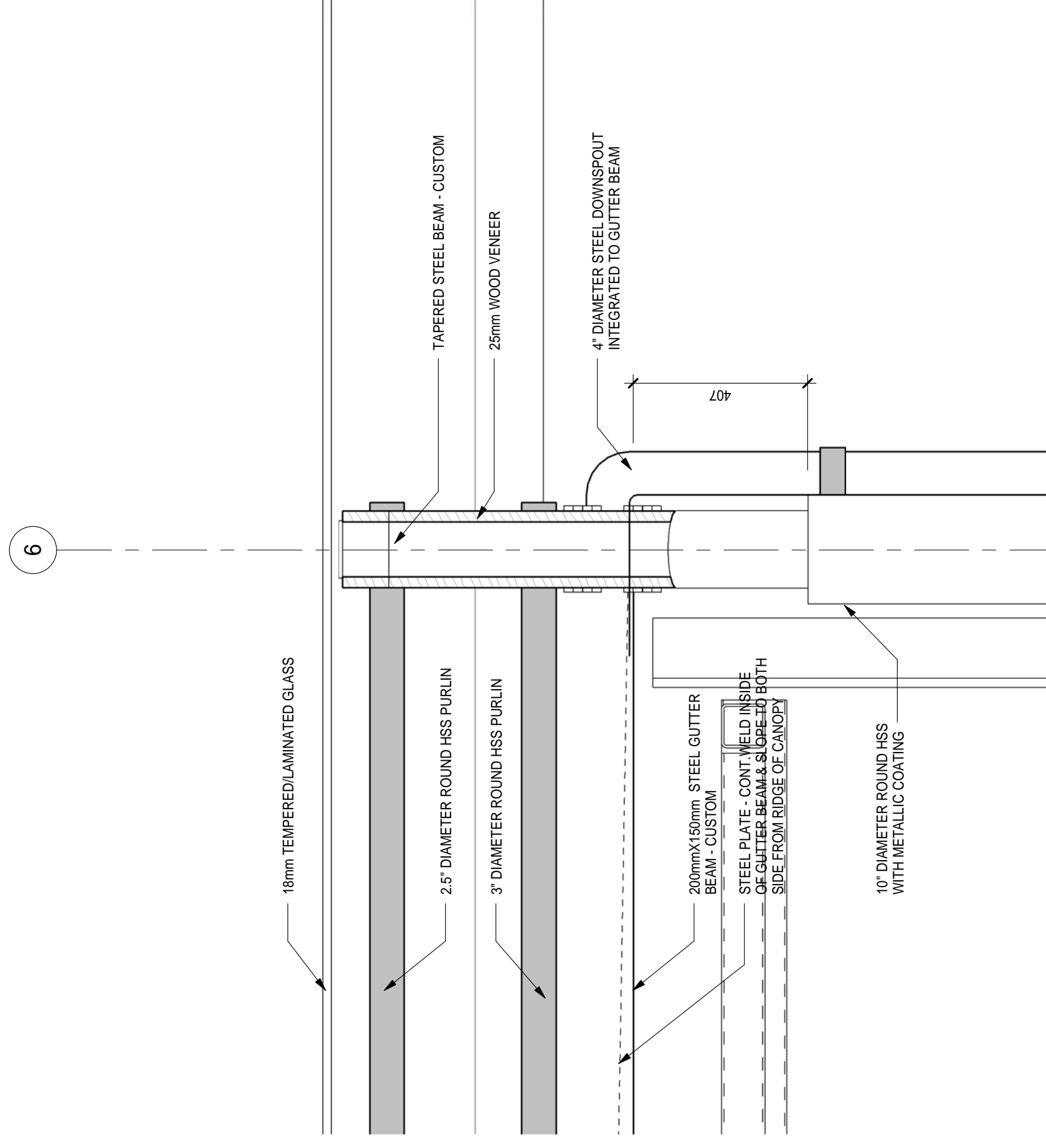
4 FRONT CANOPY PERSPECTIVE  
DP-A11R/ SCALE: 1 : 50



1 FRONT CANOPY SECTION DETAIL  
DP-A12R SCALE: 1 : 20



2 FRONT CANOPY SECTION DETAIL  
DP-A12R SCALE: 1 : 5



3 FRONT CANOPY SECTION DETAIL  
DP-A12R SCALE: 1 : 10



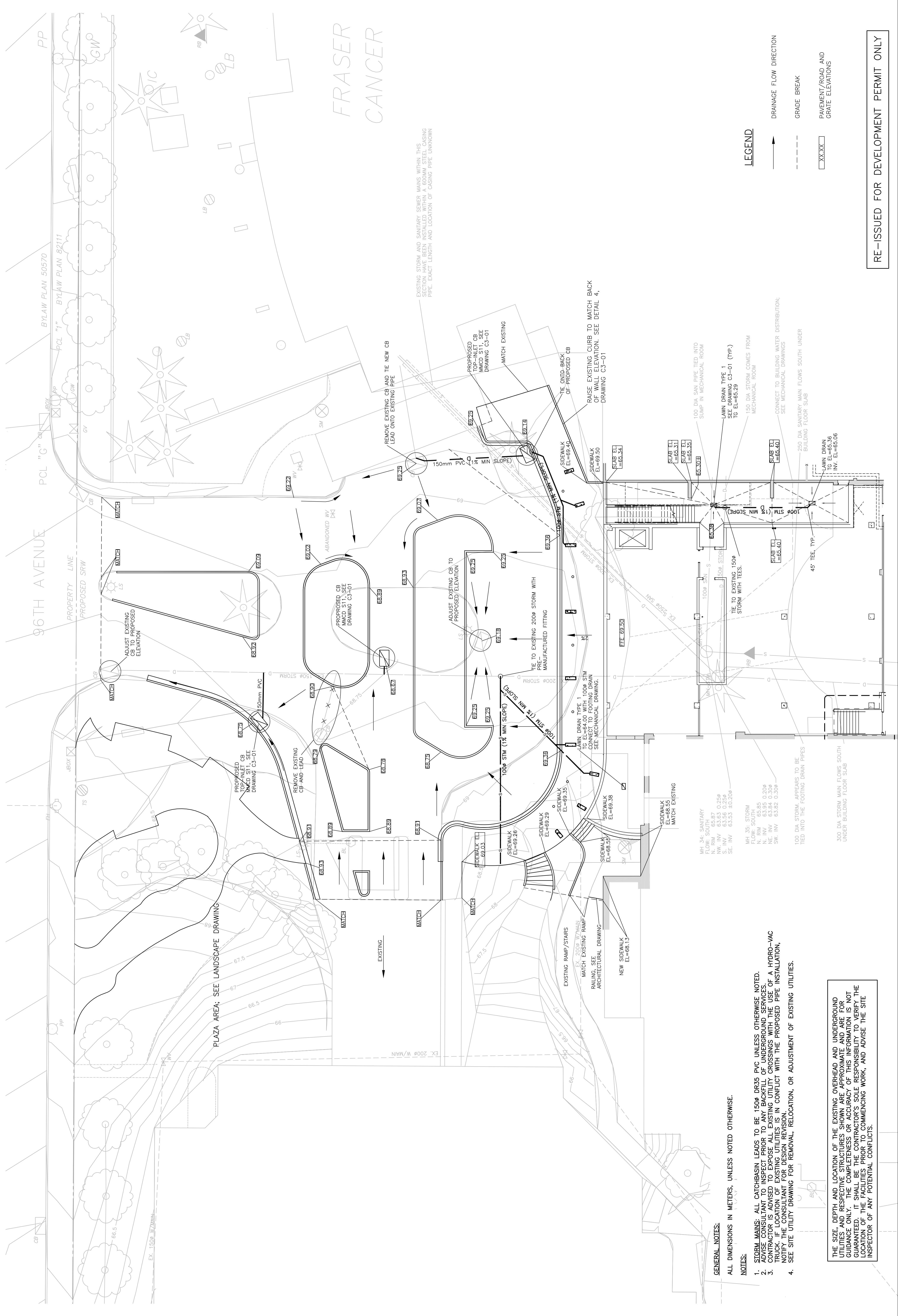
Photograph of South Canopy



Rendering of Reused South Canopy

NEW CONCRETE PIER  
REUSED TIMBER STRUCTURE  
NEW WOOD TONGUE & GROOVE SOFFIT  
SBS ROOF MEMBRANE ON STEEL DECK & FRAMING

RE-ISSUED FOR DEVELOPMENT PERMIT ONLY



**LEGEND**

	DRAINAGE FLOW DIRECTION
	GRADE BREAK
	PAVEMENT/ROAD AND GRADE ELEVATIONS

**GENERAL NOTES:**  
 ALL DIMENSIONS IN METERS, UNLESS NOTED OTHERWISE.

- NOTES:**
1. STORM MAINS: ALL CATCHBASIN LEADS TO BE 150Ø DR35 PVC UNLESS OTHERWISE NOTED.
  2. ADVISE CONSULTANT TO INSPECT PRIOR TO ANY BACKFILL OF UNDERGROUND SERVICES.
  3. CONTRACTOR IS ADVISED TO EXPOSE ALL EXISTING UTILITY CROSSINGS WITH THE USE OF A HYDRO-VAC TRUCK. IF LOCATION OF EXISTING UTILITIES IS IN CONFLICT WITH THE PROPOSED PIPE INSTALLATION, NOTIFY THE CONSULTANT FOR DESIGN REVISION.
  4. SEE SITE UTILITY DRAWING FOR REMOVAL, RELOCATION, OR ADJUSTMENT OF EXISTING UTILITIES.

THE SIZE, DEPTH AND LOCATION OF THE EXISTING OVERHEAD AND UNDERGROUND UTILITIES AND RESPECTIVE STRUCTURES SHOWN ARE APPROXIMATE AND ARE FOR GUIDANCE ONLY. THE COMPLETENESS OR ACCURACY OF THIS INFORMATION IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY THE LOCATION OF THE FACILITIES PRIOR TO COMMENCING WORK, AND ADVISE THE SITE INSPECTOR OF ANY POTENTIAL CONFLICTS.

MH 34: SANITARY FLOW: SOUTH

Flow	0.25Ø
NW. INV.	63.63 0.25Ø
S. INV.	63.56 0.25Ø
SE. INV.	63.53 0.20Ø

MH 35: STORM FLOW: SOUTH

Flow	Ø.65
N. INV.	63.95 0.20Ø
NE. INV.	63.84 0.30Ø
SW. INV.	63.82 0.30Ø

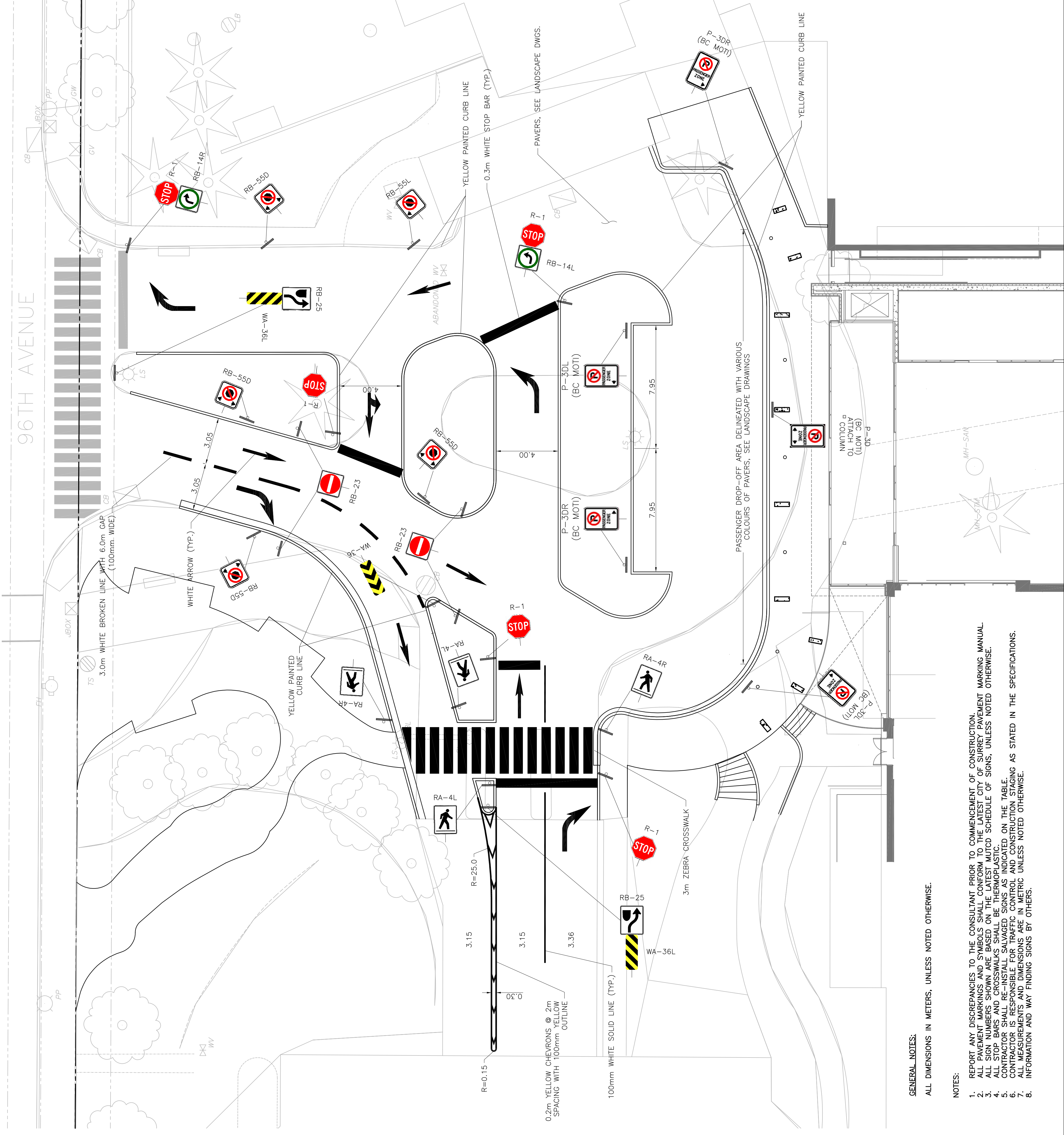
100 DIA. STORM APPEARS TO BE TIED INTO THE FOOTING DRAIN PIPES

300 DIA. STORM MAIN FLOWS SOUTH UNDER BUILDING FLOOR SLAB

ISSUED FOR DEVELOPMENT PERMIT ONLY

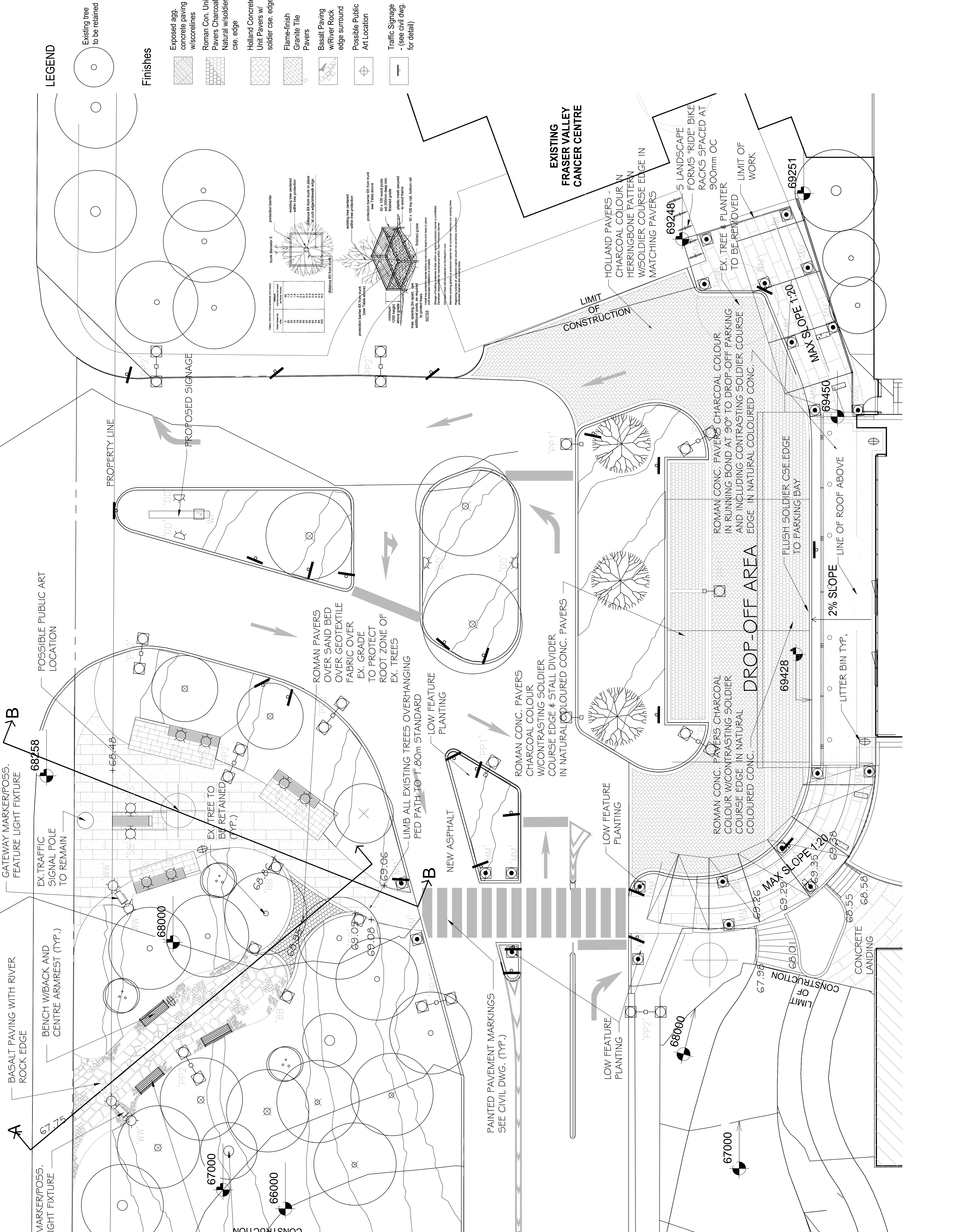
SIGN CODE	NO. REQ'D	POSTS REQ'D	DESCRIPTION
P-3D (BC MOTI)	1	1 METAL	NO PARKING (PASSENGER ZONE)
P-3DL (BC MOTI)	2	2 METAL	NO PARKING (PASSENGER ZONE - LEFT)
P-3DR (BC MOTI)	2	2 METAL	NO PARKING (PASSENGER ZONE - RIGHT)
R-1	5	5 METAL	STOP SIGN
RA-4L	2	2 METAL	PEDESTRIAN CROSSING (LEFT)
RA-4R	2	2 METAL	PEDESTRIAN CROSSING (RIGHT)
RB-14L	1	SHARED W/ R-1	LEFT TURN
RB-14R	1	SHARED W/ R-1	RIGHT TURN
RB-23	4	4 METAL	DO NOT ENTER
RB-25	4	4 METAL	AVOID OBSTACLE (RIGHT)
RB-55D	4	4 METAL	NO PARKING (BOTH WAYS)
RB-55L	1	1 METAL	NO PARKING (LEFT)
WA-36	1	1 METAL	WARNING STRIPES (CHEVRONS)
WA-36L	2	SHARED W/ RB-25	WARNING STRIPES (LEFT)

SEE NOTE 3 FOR SIGNS' DIMENSIONS



GENERAL NOTES:  
 ALL DIMENSIONS IN METERS, UNLESS NOTED OTHERWISE.

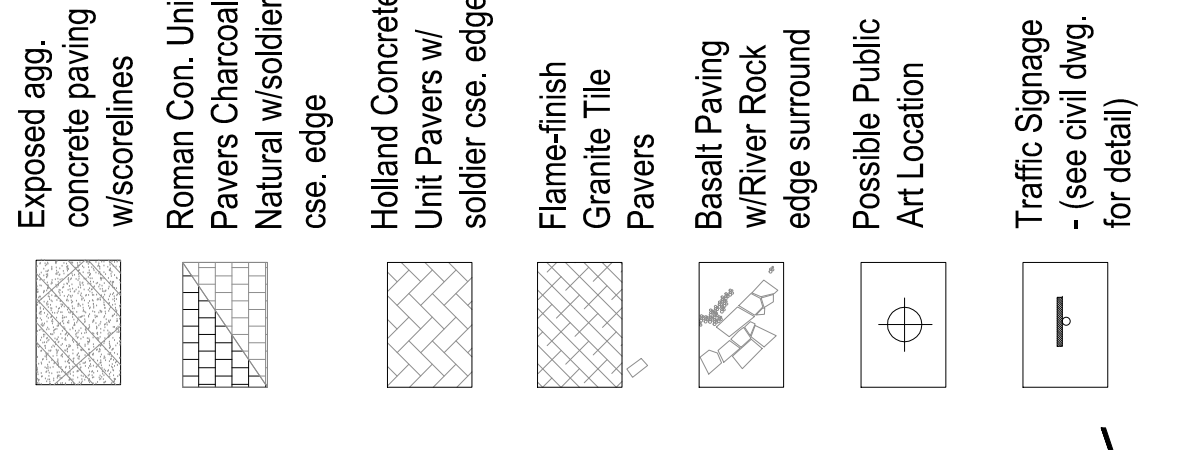
- NOTES:
1. REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  2. ALL PAVEMENT MARKINGS AND SYMBOLS SHALL CONFORM TO THE LATEST CITY OF SURREY PAVEMENT MARKING MANUAL.
  3. ALL SIGN NUMBERS SHOWN ARE BASED ON THE LATEST MUTCD SCHEDULE OF SIGNS, UNLESS NOTED OTHERWISE.
  4. ALL STOP BARS AND CROSSWALKS SHALL BE THERMOPLASTIC.
  5. CONTRACTOR SHALL RE-INSTALL SALVAGED SIGNS AS INDICATED ON THE TABLE.
  6. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL AND CONSTRUCTION STAGING AS STATED IN THE SPECIFICATIONS.
  7. ALL PAVEMENT MARKINGS AND DIMENSIONS ARE METRIC UNLESS NOTED OTHERWISE.
  8. INFORMATION AND WAY FINDING SIGNS BY OTHERS.



LEGEND

- Existing tree to be retained
- Exposed agg. concrete paving w/scorelines
- Roman Con. Unit Pavers Charcoal Natural w/soldier cse. edge
- Holland Concrete Unit Pavers w/ soldier cse. edge
- Flame-finish Granite Tile Pavers
- Basalt Paving w/River Rock edge surround
- Possible Public Art Location
- Traffic Signage - (see civil dwg. for detail)

FINISHES



REVISIONS	
REV.	DESCRIPTION
1	18 Feb 11
2	21 Feb 11

ISSUE	
No.	DESCRIPTION
1	04 FEB 11 85% COMPLETION
2	18 FEB 11 DP RE-SUBMISSION

NORTH

**fraserhealth**  
Better health. Best in health care.

SEAL

**PD GROUP**  
Landscape Architecture Ltd.  
North Vancouver, BC, Canada, V7N 3G8  
p: 604 904 9803 fax: 604 904 9813

CLIENT: **Fraser Health**

PROJECT: **Surrey Memorial Hospital North Lobby**  
13750 58th Avenue  
Surrey, British Columbia, Canada

DWG. TITLE: **LANDSCAPE PLAN**

DESIGNED	DR/LG
DRAWN	DR/LG
CHECKED	DR
SCALE	1:100
DATE	15 JAN 2011

PROJECT No. **1009** DWG. No. **L101** REV. **2**



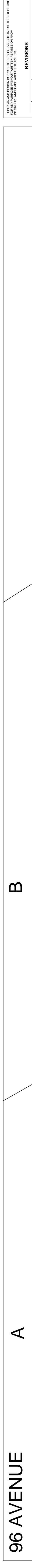
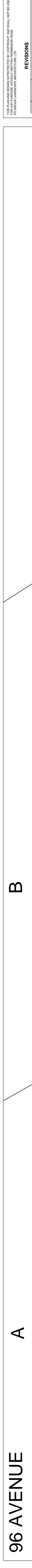
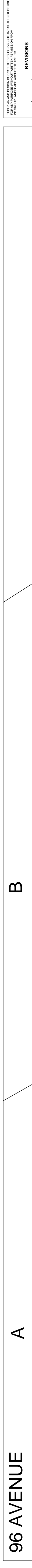
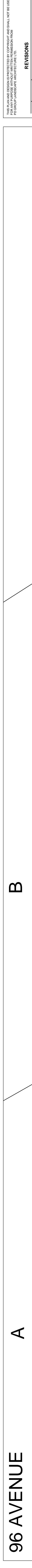


**NOTES:**  
 1.-All landscape work shall be undertaken in accordance with the current edition of the BC Landscape Standard.  
 2. Plants shall be guaranteed for a period of 12 months after planting. All plant material will be hand-watered for the first year after installation. Maintenance shall include deep watering during prolonged dry periods to maintain root balls in turgid condition. The contractor shall be responsible for replacement of plants either dead or not thriving at the end of the guarantee period.  
 3. Growing medium shall be provided as per specified constituent mix to depths required. 450mm shrubs, 300mm ground covers and 150mm grass areas.

QTY	BOTANICAL NAME	COMMON NAME	SIZE
3	Acer canadense	Norway Spruce	2.5m
3	Acer ginnala Flamingo	Flamingo Maple	6cm Call
3	Acer palmatum	Japanese Maple	2.5m
3	Acer rubrum Autumn Blaze	Autumn Blaze Maple	7cm Call
2	Quercus laevis	White Oak	6cm Call
1	Comus nudiflora	Western Flowering Dogwood	6cm Call
3	Magnolia kobus	Kobus Magnolia	6cm Call
3	Thalictrum aquilegifolium	Delphinium	2.5m
3	Thalictrum aquilegifolium	Delphinium	3.0m
<b>Shrubs / Groundcover / Perennials / Vines</b>			
269	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot
322	Azalea japonica Elae Debut	Dwarf Evergreen Azalea	#2 pot
27	Begonia cordifolia	Heartleaf Begonia	#2 pot
25	Chenopodium minus	Red Top	#2 pot
393	Chocoma Loder	Chocoma	#2 pot
18	Chamaenerion	Scarlet Plover	#2 pot
89	Callibothris salina	Salina	#1 pot
16	Hebe	Blue Hill Hebe	#2 pot
9	Hemerocallis Stella D'Oro	Day-Lily	#2 pot
15	Hydrangea petiolaris	Climbing Hydrangea	#2 pot staked
73	Lavandula angustifolia	Lavender	#2 pot
10	Mitella acutifolia	Canada Oregan	#2 pot
3	Phlox subulata	Subulna	#2 pot
26	Phlox subulata	Subulna	#2 pot
65	Prunus laurocerasus Zabalana	Laurel	#2 pot
91	Samolus rooseae	Samolus	#2 pot
57	Spiraea x bumalda Anthony Waterer	A.W.s Spiraea	#2 pot
48	Wibicium nutans	Evergreen Huckleberry	#2 pot

No.	DATE	DESCRIPTION	ISSUE
1.	04FEB11	85% COMPLETION	
2.	10FEB11	DP PRE-SUBMISSION	

REV	DATE	DESCRIPTION	REVISIONS
1.	18FEB11	REVISED PER CITY COMMENT	
2.	21FEB11	REVISED PER CITY COMMENT	



SEAL

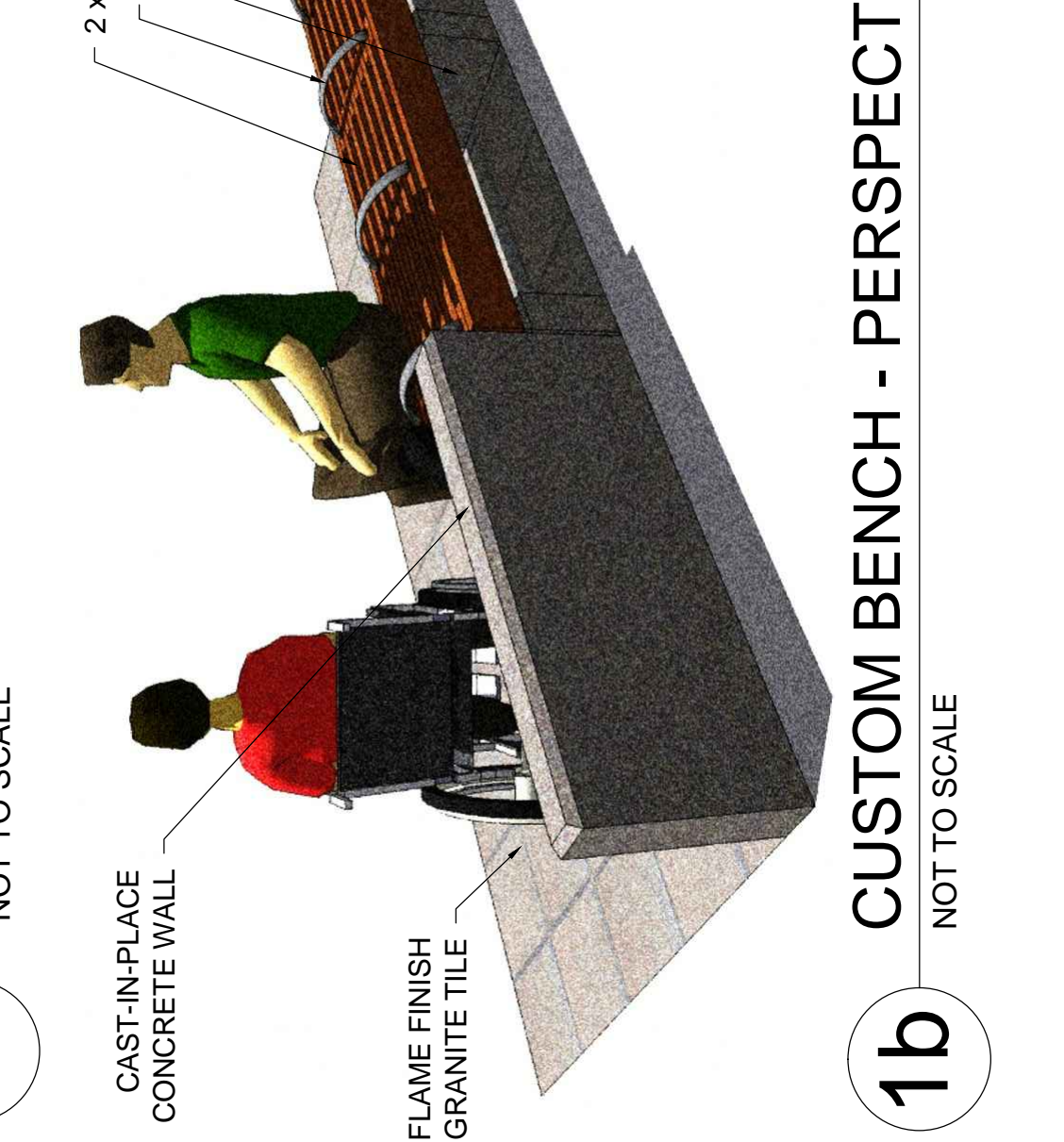
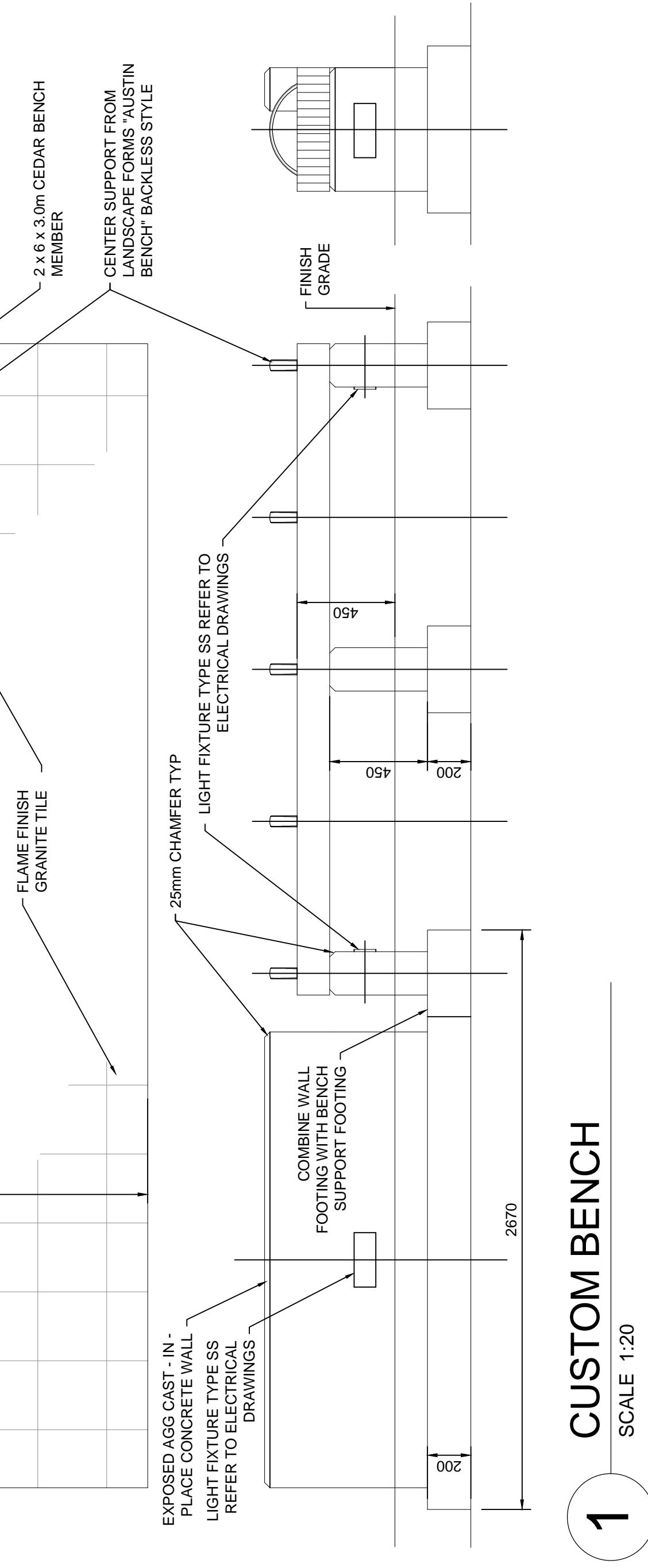
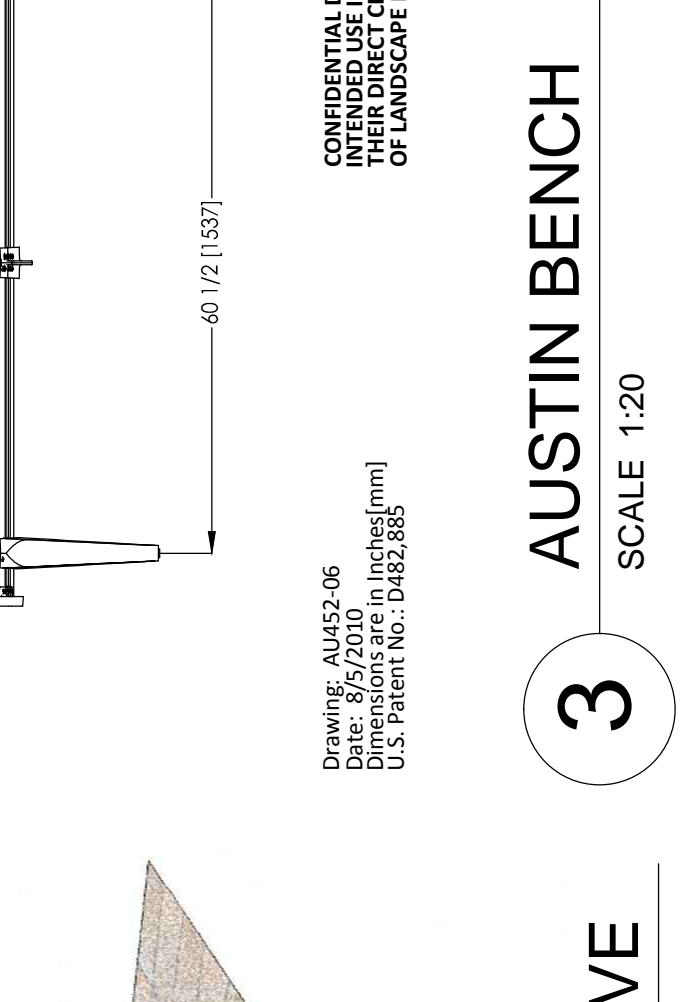
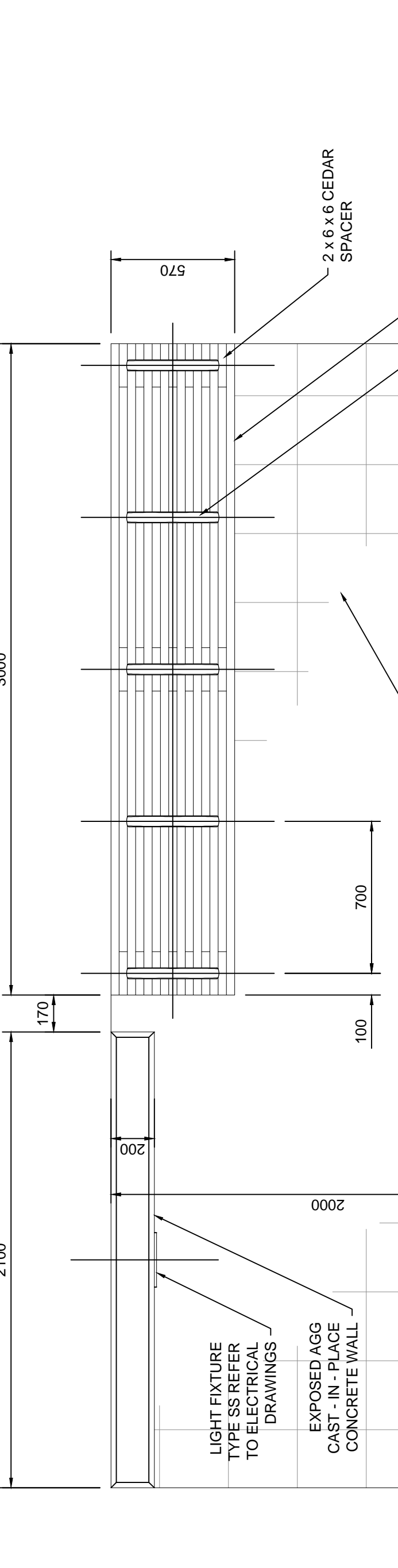
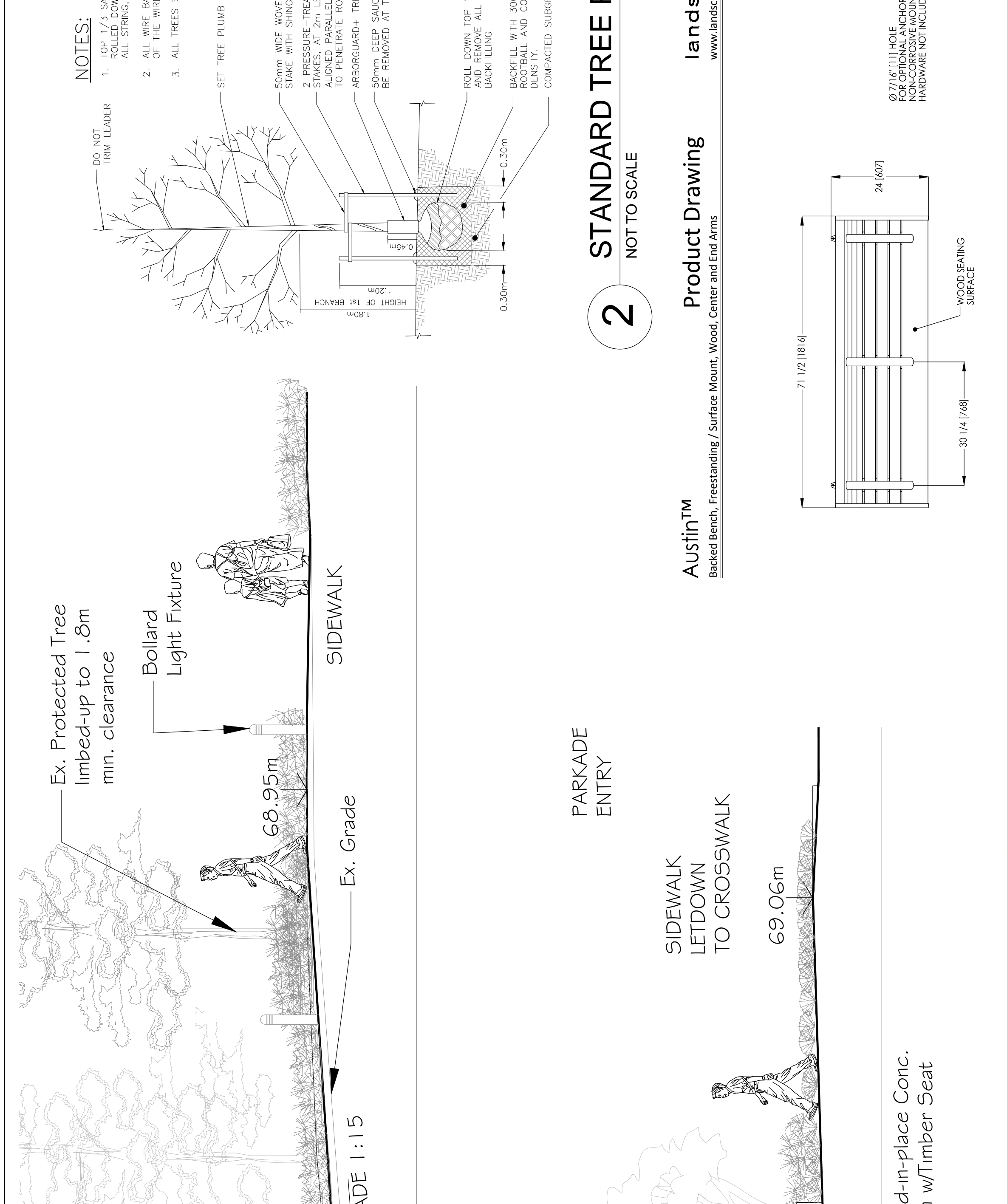
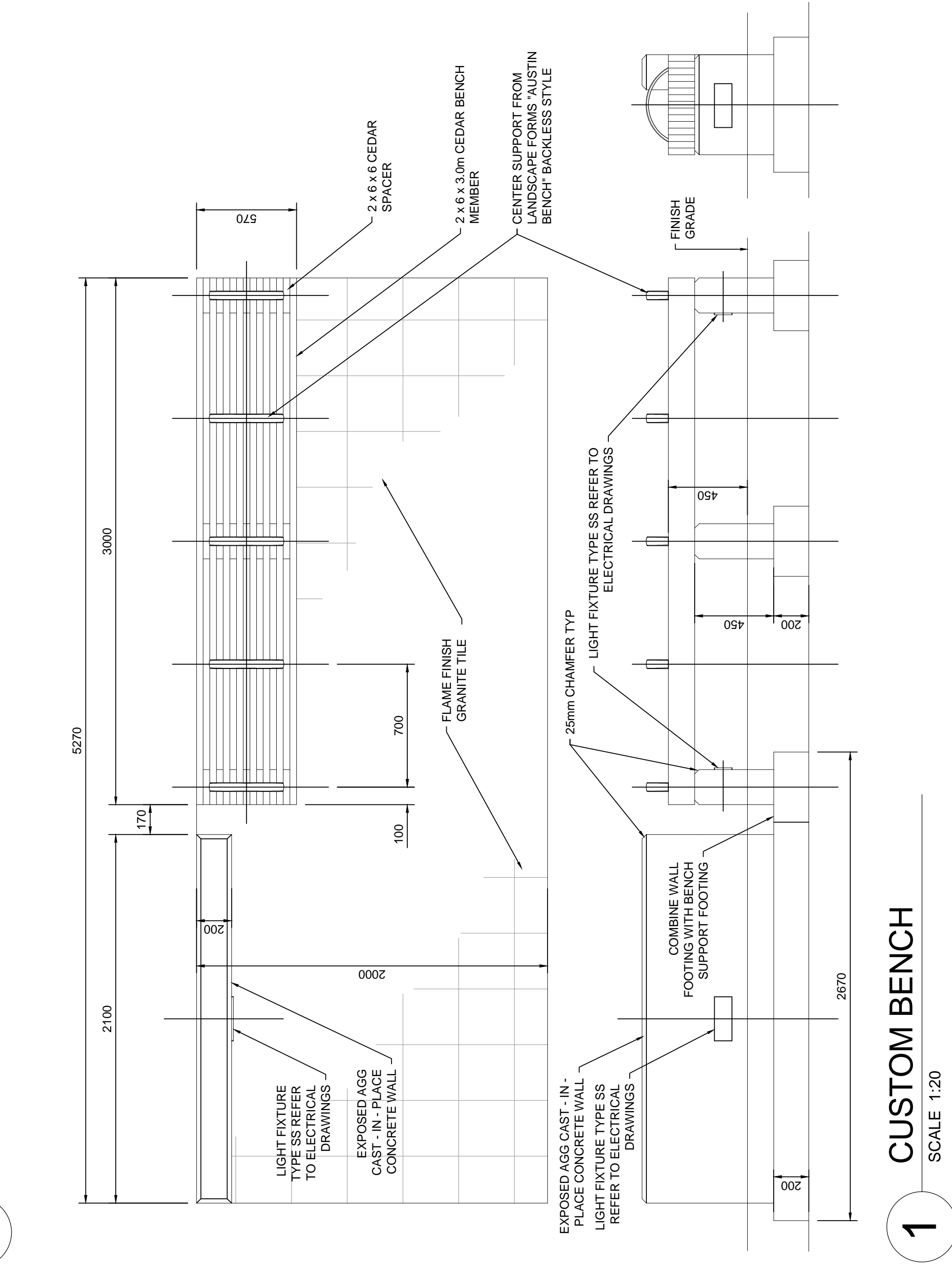
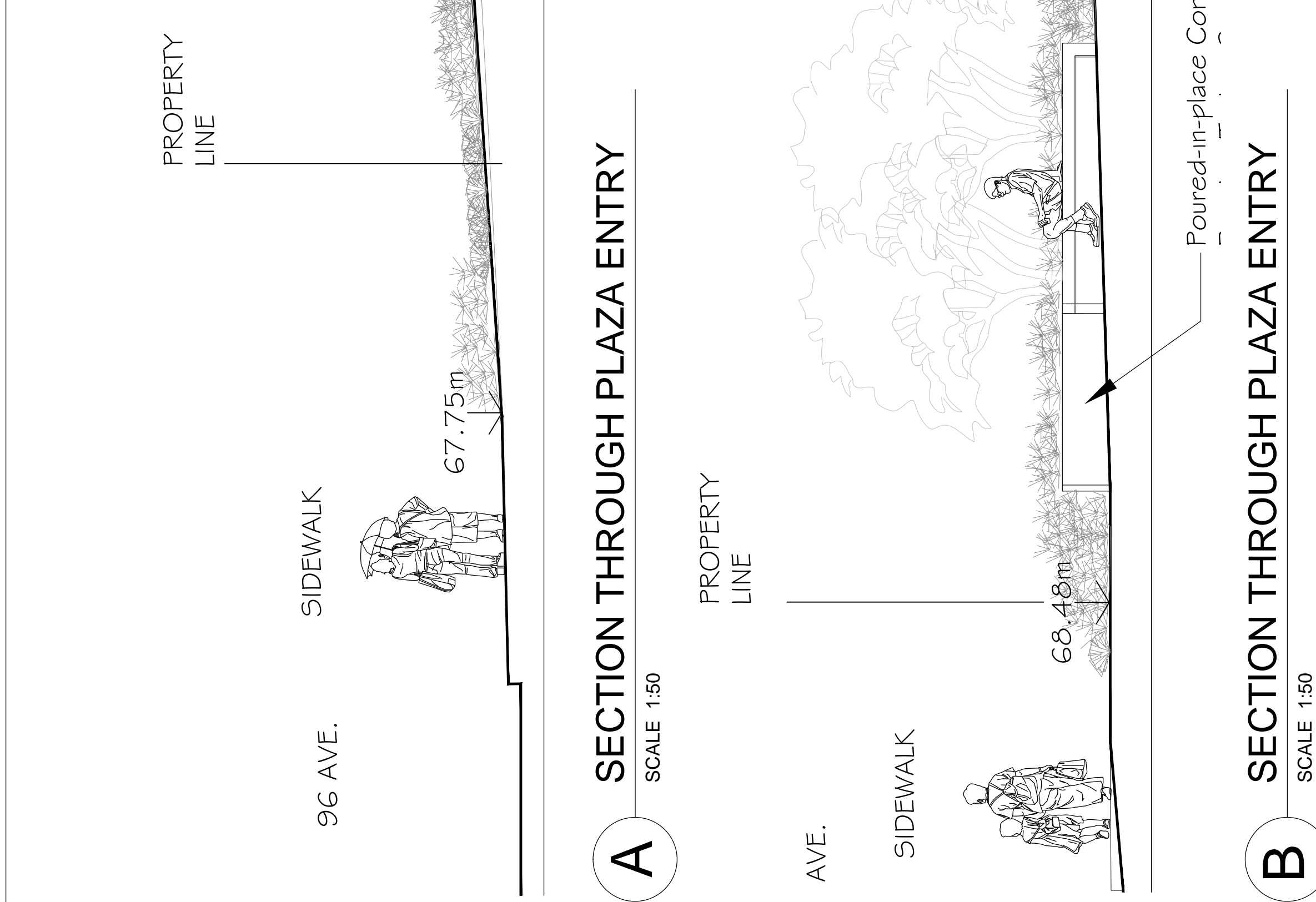
PD GROUP  
 Landscape Architects Ltd.  
 377 - 235 West 1st Street  
 Victoria, British Columbia, Canada  
 Phone: 250-383-7575  
 Fax: 250-383-9813

CLIENT:  
 Fraser Health

PROJECT:  
 Surrey Memorial Hospital  
 North Lobby  
 Surrey, British Columbia, Canada

DWG. TITLE:  
 PLANTING PLAN

DESIGNED	DRLG
CHECKED	DR
SCALE	1:100
DATE	15 Jan, 2011
PROJECT No.	1009
DWG No.	L103
REF	2



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fraser health  
Better health. Best in health care.

kasian

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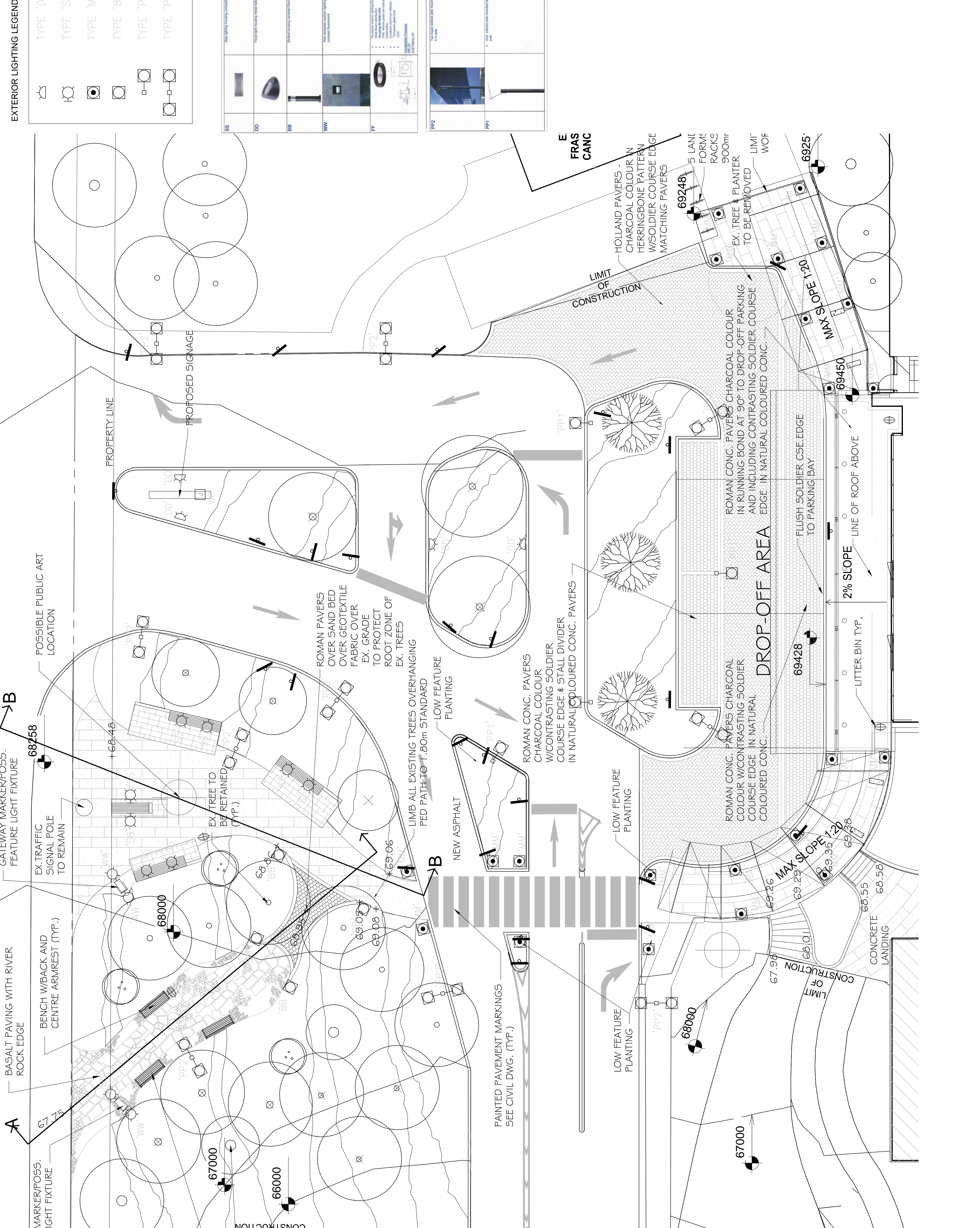
CLIENT: Fraser Health

PROJECT: Surrey Memorial Hospital North Lobby  
13750 - 86th Avenue Surrey, British Columbia, Canada

DWG TITLE: LANDSCAPE DETAILS

7911-0006-00(S)



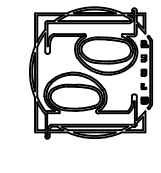
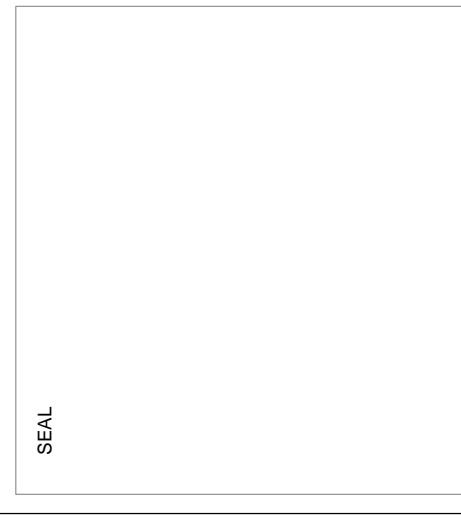
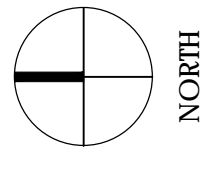


EXTERIOR LIGHTING LEGEND

TYPE	'DD'	'SS'	'MM'	'BB'	'PP1'	'PP2'
REVISIONS						
REV.	DATE	DESCRIPTION				

ISSUE	NO.	DATE	DESCRIPTION
DP RE-SUBMISSION <td>1 <td>18FEB11</td> <td></td> </td>	1 <td>18FEB11</td> <td></td>	18FEB11	

TYPE	'DD'	'SS'	'MM'	'BB'	'PP1'	'PP2'
TYPE 'DD'						
TYPE 'SS'						
TYPE 'MM'						
TYPE 'BB'						
TYPE 'PP1'						
TYPE 'PP2'						



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**CLIENT:**  
 Fraser Health

**PROJECT:**  
 Surrey Memorial Hospital  
 North Lobby  
 13750 56th Avenue  
 Surrey, British Columbia, Canada

**DWG. TITLE:**  
 LIGHTING & SIGNAGE PLAN

DESIGNED	DR
DRAWN	DR
CHECKED	DR

SCALE	1:50
DATE	18FEB 2011
PROJECT NO.	1009
DWG NO.	L106
REV.	0