

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7911-0009-00

Planning Report Date: March 14, 2011

PROPOSAL:

- **Partial Land Use Contract discharge**

in order to allow the underlying RA-G Zone to come into effect and permit the construction of an accessory building.

LOCATION:

13462 - 25 Avenue

OWNERS:

Laurence Anschell and Jodi Zak

ZONING:

LUC No. 483

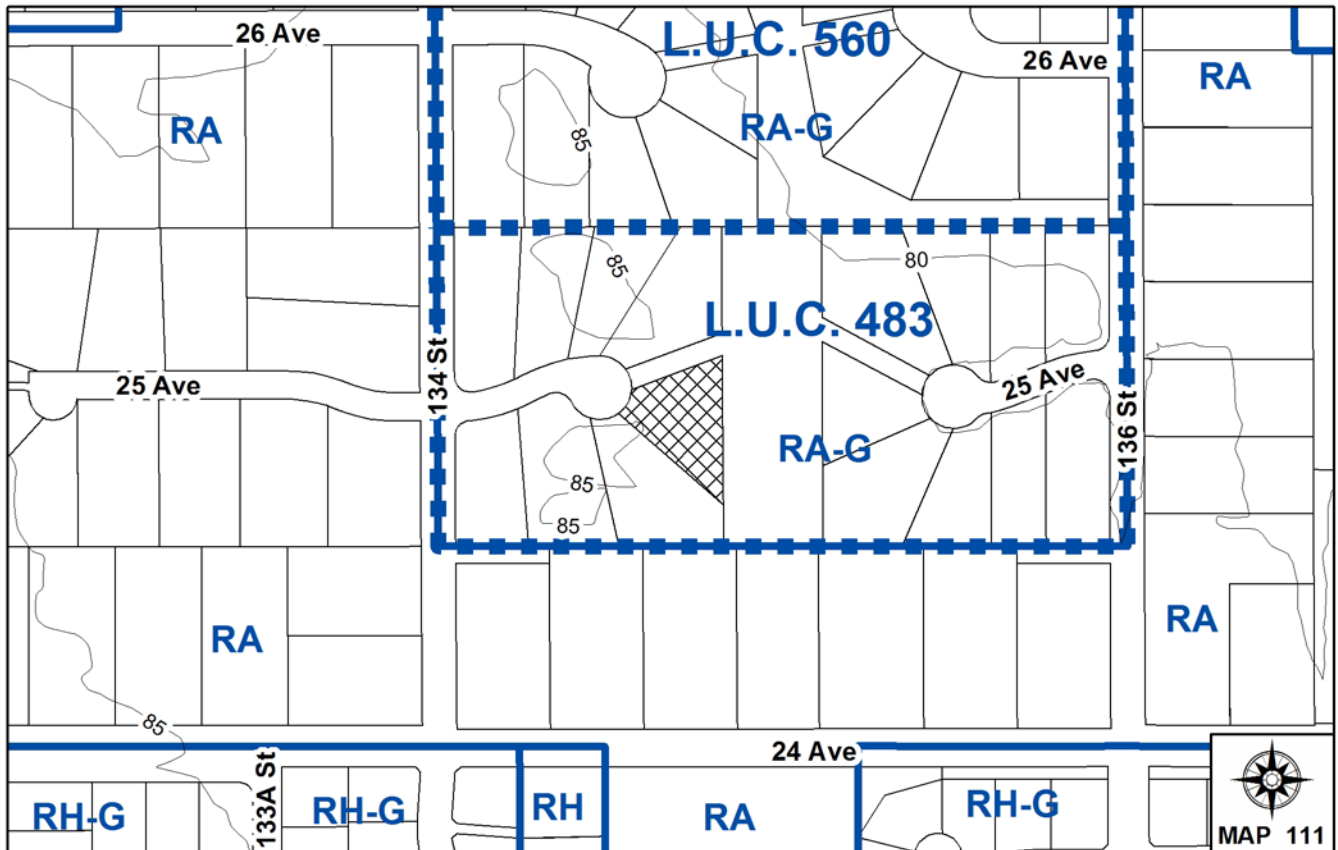
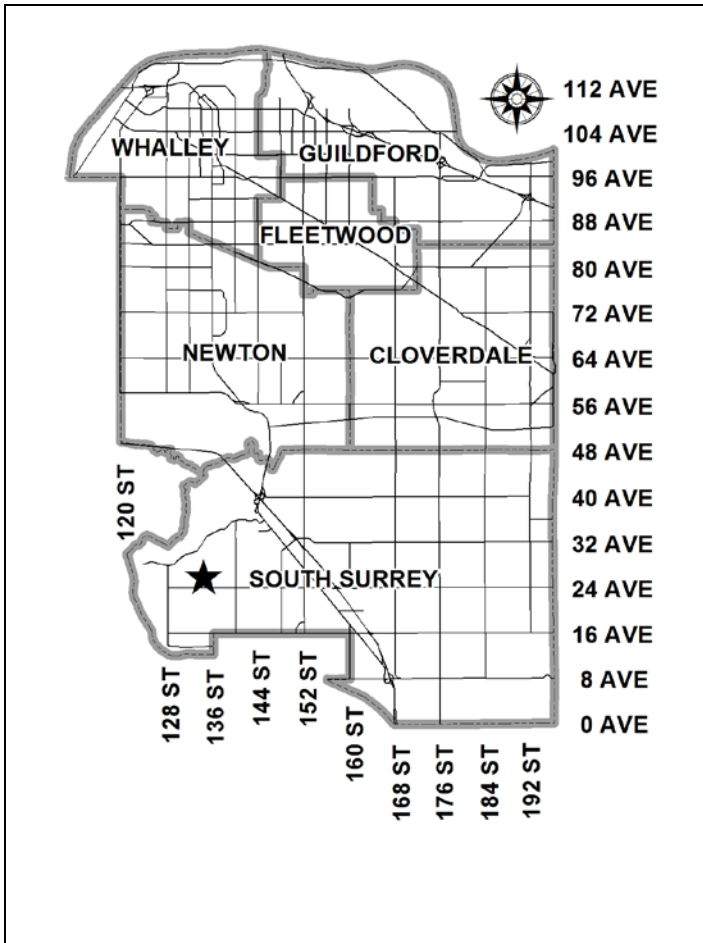
OCP DESIGNATION:

Suburban

NCP/LAP

Suburban Residential One-Acre

DESIGNATION:



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for partial Land Use Contract discharge.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- Complies with the Semiahmoo Peninsula Local Area Plan.
- The partial discharge of LUC No. 483 on the subject property will have a negligible effect on adjacent properties within the surrounding neighbourhood. The underlying RA-G Zone is appropriate for this area and consistent with established land uses, which includes single family dwellings on larger suburban lots.
- The public consultation undertaken for this development application has not generated any significant concerns with regard to the partial Land Use Contract discharge.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to partially discharge Land Use Contract No. 483 from the subject property at 13462 - 25 Avenue and a date for Public Hearing be set.
2. Council instruct staff to resolve the following issue prior to final adoption:
 - (a) registration of a Section 219 Restrictive Covenant to restrict the location of the proposed accessory building to the northeast corner of the subject property, as per the attached site plan (Appendix II).

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Single family dwelling.

Adjacent Area:

Direction	Existing Use	OCP/LA Designation	Existing Zone
North, South and West: :	Single family residential dwelling.	Suburban/ Suburban Residential One-Acre	LUC No. 483
East:	City-owned greenbelt; single family residential dwelling beyond.	Suburban/ Suburban Residential One-Acre and Open Space	LUC No. 483

DEVELOPMENT CONSIDERATIONSBackground/Proposal

- The property is designated "Suburban" in the Official Community Plan (OCP) and "Suburban Residential One-Acre" in the Semiahmoo Peninsula Local Area Plan (LAP).
- The subject property comprises an existing single-family dwelling located on 25 Avenue just east of 134 Street. The property is located within a larger single-family subdivision developed in 1979 and regulated by Land Use Contract No. 483.
- Land Use Contract No. 483 allows a range of single family dwellings on larger suburban lots. The Land Use Contract is based on the R-1 (Residential 1) Zone under Zoning By-law No. 2265, Part VII,

which restricts the building size through a combination of height, lot coverage and setback requirements (Appendix III).

- The applicant is proposing to construct an addition to the existing dwelling thereby permitting a further 94 square metres (1,009 sq. ft.) of floor area. Also, the applicant is proposing to construct an accessory building which includes a garage, exercise room, games room, recreation room and art studio which provides an additional 200 square metres (2,150 sq. ft.) of floor area.
- The R-1 Zone limits the maximum height of accessory buildings located within the rear yard to 3.7 metres (12 feet). In contrast, the underlying RA-G Zone will permit an accessory building with a maximum height of 4 metres (13 feet). The maximum height of an accessory building may be further increased to 5 metres (16 feet) where the roof slope and construction materials are the same as that of the principal dwelling.
- The majority of dwellings within the surrounding neighbourhood are between 7.5 metres (25 feet) and 9 metres (30 feet) in total height. No adjacent properties have accessory buildings.
- The applicant proposes to partially discharge Land Use Contract No. 483 from the subject property in order to allow the underlying RA-G Zone to come into effect and permit the construction of an accessory building with a total height of 5 metres (16 feet). The proposed accessory building will be located at the northeast corner of the subject property directly adjacent to a pedestrian walkway and municipal greenbelt.
- The proposed accessory building and principal dwelling will conform to the regulations set by the underlying RA-G Zone in terms of height, lot coverage, Floor Area Ratio (FAR) and setbacks.

Evaluation of Partial Discharge of Land Use Contract No. 483

- The proposed accessory building will have a negligible impact on current land-uses or residential dwellings located on adjacent properties within the surrounding neighbourhood.
- The proposed accessory building is considered reasonable given its location within the rear yard next to a pedestrian walkway and municipal greenbelt as well as limited visibility from 25 Avenue. In addition, the minimum setback requirements are similar for accessory buildings constructed under the R-1 (Residential 1) and RA-G Zone. Therefore, the proposed accessory building could be sited in a similar manner under both the R-1 and RA-G Zone.
- The existing residential dwellings governed under Land Use Contract No. 483 are not regulated by drawings which control the form, design and character of single family homes within the land use contract area. Therefore, City staff do not require the applicant to register a Section 219 Restrictive Covenant against the subject property with a Building Scheme attached which regulates the future house design.
- Due to the complexity of Land Use Contracts, the discharge of Land Use Contracts, wherever possible, is considered good practice to simplify the administration of land-use regulations.
- The underlying RA-G Zone is considered appropriate and generally conforms with restrictions imposed on single-family dwellings under Land Use Contract No. 483.

PRE-NOTIFICATION

Pre-notification letters were sent out on February 22, 2011 and staff received the following response:

- City staff received one phone call from an adjacent property owner who requested additional information regarding the proposed Land Use Contract discharge. In addition, the adjacent property owner expressed concerns the proposed accessory building could be used in future for an automotive service business.

(City staff informed the adjacent property owner that an automotive service business would not be permitted in a residential zone. Furthermore, the building permit drawings indicate the owner of 13462 – 25 Avenue is proposing an accessory building which includes a two car garage and exercise room on the main floor. Therefore, the proposed accessory building is not considered appropriate to accommodate a commercial automotive repair business.)

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

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|---------------|--|
| Appendix I. | Lot Owners, Action Summary and Project Data Sheets |
| Appendix II. | Site Plan and Building Elevations |
| Appendix III. | R-1 (Residential 1) Zone from Zoning By-law No. 2265 |

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

MRJ/kms

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Laurence Anshell
 Address: 13462 – 25 Avenue
 Surrey, BC
 V4P 1Y8
 Tel: 604-538-2050

2. Properties involved in the Application

(a) Civic Address: 13462 – 25 Avenue

(b) Civic Address: 13462 – 25 Avenue
 Owners: Laurence Ira Anshell and Jodi Marie Zak
 PID: 005-536-693
 Lot 87 Section 20 Township 1 New Westminster District Plan 57248

3. Summary of Actions for City Clerk's Office

(a) Introduce a By-law to partially discharge Land Use Contract No. 483.

DEVELOPMENT DATA SHEET

Proposed Zoning: RA-G

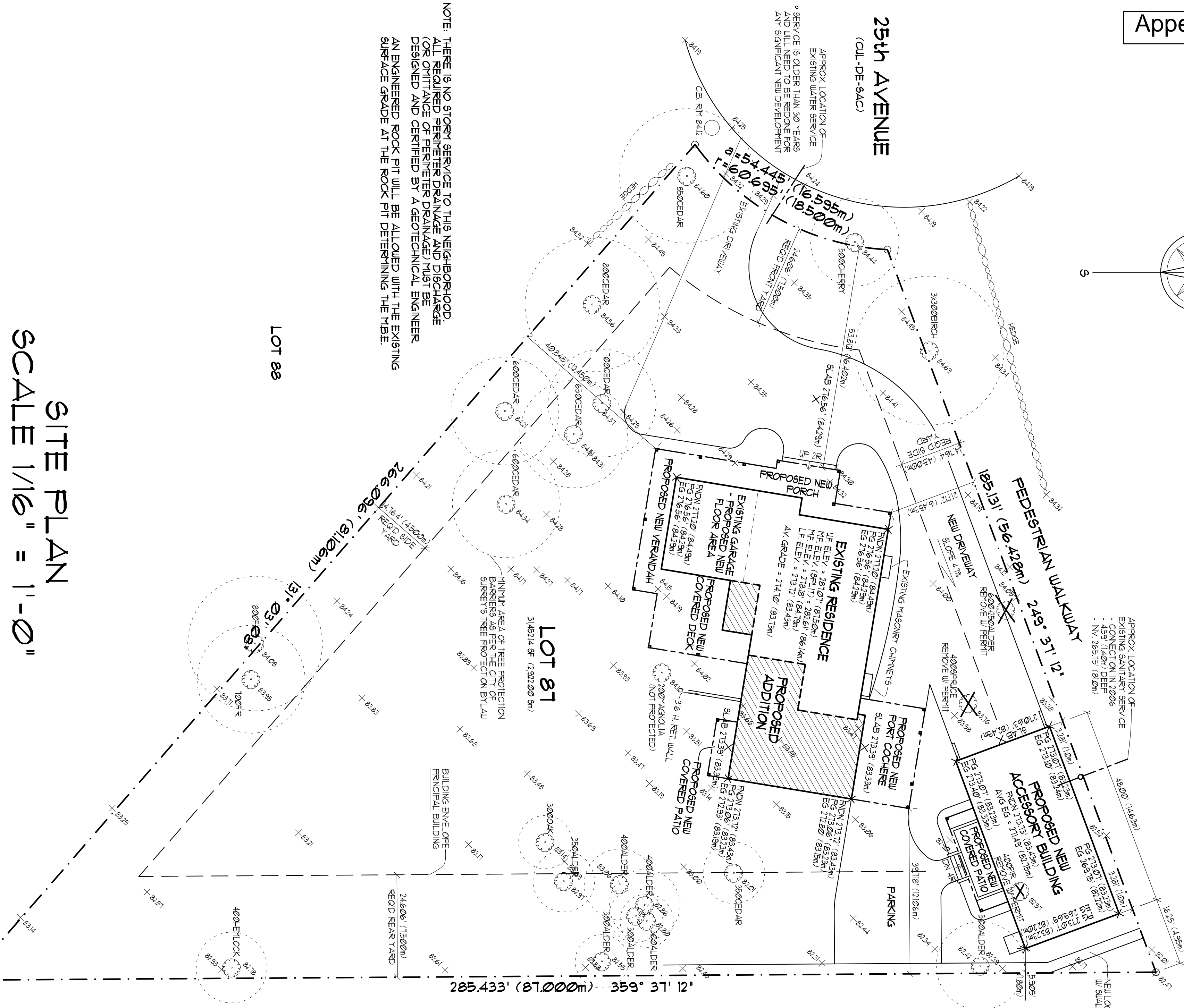
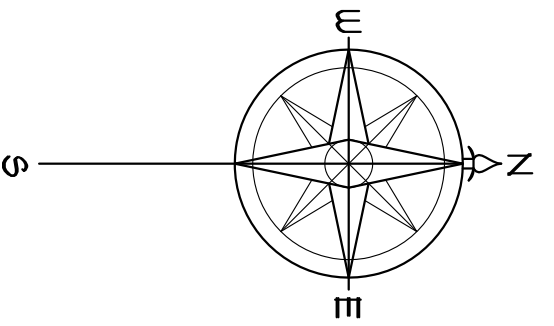
Required Development Data	Minimum Required / Maximum Allowed		Proposed	
LOT AREA* (in square metres)				
Gross Total				
Road Widening area				
Undevelopable area				
Net Total			2,920 m ²	
LOT COVERAGE (in % of net lot area)				
Buildings & Structures				
Paved & Hard Surfaced Areas				
Total Site Coverage	20%		16.5%	
SETBACKS (in metres)	Principal	Accessory	Principal	Accessory
Front	7.5 m	1.8 m	16.4 m	+18 m
Rear	7.5 m	1.8 m	12.1 m	1.8 m
Side #1 (North)	4.5 m	1.0 m	6.4 m	1.0 m
Side #2 (South)	4.5 m	1.0 m	12.4 m	1.0 m
BUILDING HEIGHT (in metres/storeys)				
Principal	9 m		7.4 m	
Accessory	5 m		5 m	
NUMBER OF RESIDENTIAL UNITS				
Bachelor				
One Bed				
Two Bedroom				
Three Bedroom +				
Total				
FLOOR AREA: Residential			613.2 m ²	
FLOOR AREA: Commercial				
Retail				
Office				
Total				
FLOOR AREA: Industrial				
FLOOR AREA: Institutional				
TOTAL BUILDING FLOOR AREA			613.2 m ²	

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

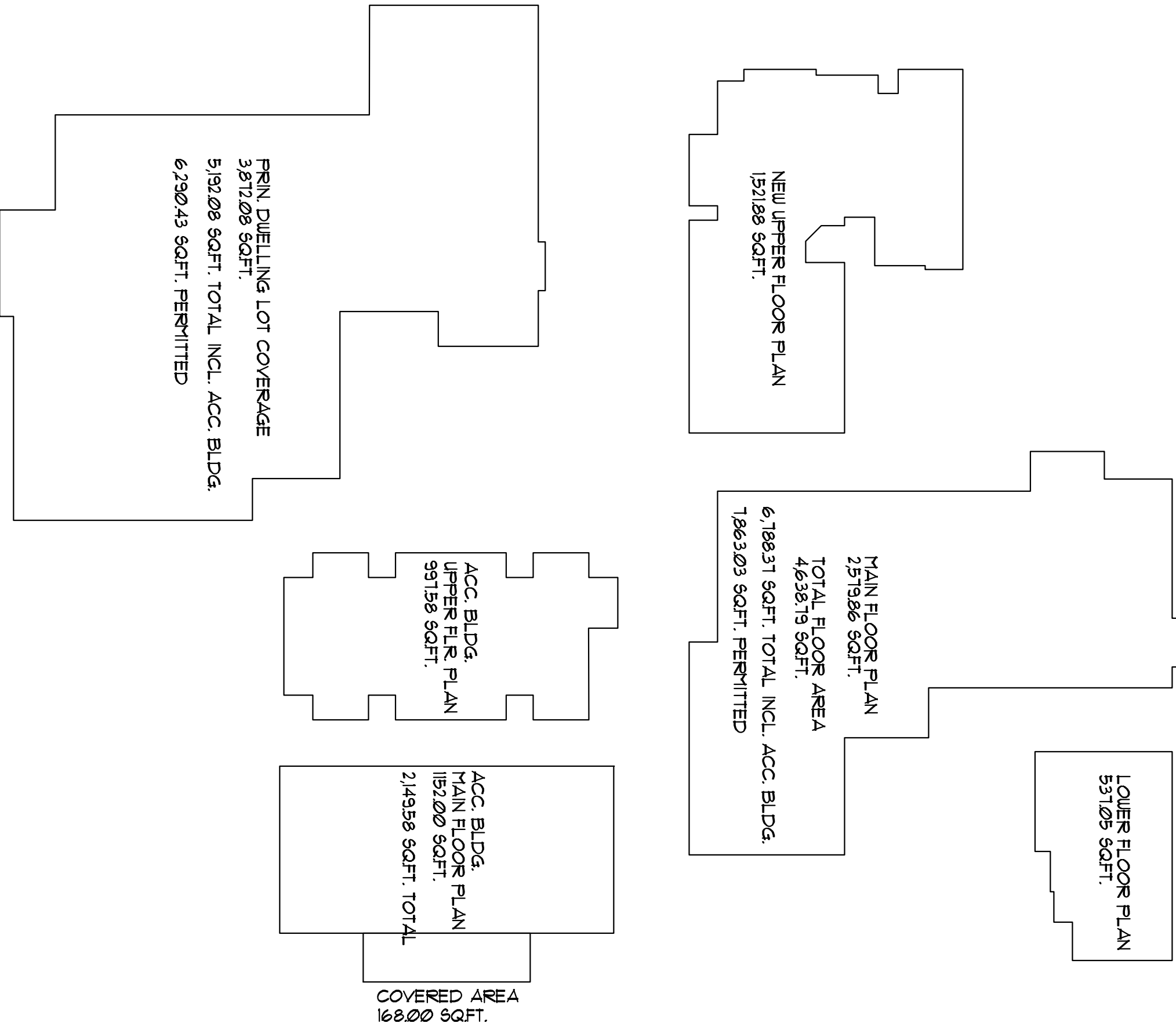
Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	0.25	0.22
FAR (net)		
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	2	2
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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SITE PLAN
SCALE 1/16" = 1'-0"



AREA SCHEMATICS
SCALE 1/16" = 1'-0"

PROJECT INFORMATION

PROPERTY OWNER	LARRY ANSCHELL
SITE ADDRESS	1948 25TH AVENUE, SURREY, BC
PROJECT TYPE	RENOVATION/ADDITION
ADJACENT HAVING JURISDICTION	LOT 81 (SEC 20 TWP 11 R. 51) & WUD
LEGAL DESCRIPTION	P.L.D. 005-556-653
ZONE	R4-G
SUBDIVISION	SINGLE LOT
DESIGN CONTROL	NOT REQUIRED
DESIGN CONTROL CONSULTANT	TBD.

GENERAL PROJECT NOTES

1. DIMENSIONS TO BE TAKEN FROM OUTSIDE FACE OF BUILDING FOR EXT. WALLS
2. ALL HEIGHT DIMENSIONS ON FLOOR PLANS ARE FROM TOP OF FLOOR FINISH
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND TO ENFORCE ALL WORK CONFORMS TO ALL LOCAL BY-LAW AND MUNICIPAL CODES
4. THE OWNER AND/OR CONTRACTOR IS TO ENSURE THAT THE LANDSCAPING MEETS THE REQUIREMENTS OF THE APPLICABLE BY-LAW AND REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THE FINISHED LOT GRADING SHOULD BE AS SHOWN ON EXISTING LOT GRADING
5. FINISH FLOORING TO BE INDICATED ON FOUNDATION WALLS & BELOW FLOOR LINE
6. FOUNDATION CONCRETE STRENGTH TO BE MIN. 30 MPa
7. INTERIOR SLAB CONCRETE STRENGTH TO BE MIN. 20 MPa WITH 5.8% AIR ENTRAINMENT
8. EXTERIOR SLAB CONCRETE STRENGTH TO BE MIN. 25 MPa WITH 5.8% AIR ENTRAINMENT
9. LUGS IN CONCRETE TO BE PROTECTED, AND ANCHORED WITH STRUCTURAL LUGS TO BE IN DRILL HOLE
10. LISTEN TO BE 2,240 DRILL HOLE
11. PROVIDE SOLID LAMINATED BUILDING & BEARING POINTS
12. DOUBLE JOISTS & PARALLEL PARTITIONS (OFT. 240 BLOCKING & 1" OC)
13. BEDROOM WINDOWS MUST CONFORM TO B.C.B.C. SEC. 9113
14. DWELLING MUST MEET CURRENT B.C. VENTILATION CODE
15. IMPROVED DOORS ARE NOT PERMITTED & WALK-IN CLOSET'S
16. LIND OR EQUAL, READ ON BATHROOM FLOORS
17. WATERPROOF WALLBOARD READ AT THE SURREY'S 1185 AND 5485
18. PROVIDE A BOND-BREAKING MATERIAL BETWEEN FOUNDATION OR ROCK AND SLABS

ZONING ANALYSIS

BUILDING SETBACKS

STRUCTURE	FRONT YARD	REAR YARD	SIDE YARD	FLANKING ST.
PRINCIPAL BUILDING	24.60% (7.5m)	24.60% (7.5m)	4.16% (1.1m)	24.60% (7.5m)
ACCESSORY BUILDING X 20' 5" (6.05m)	5.90% (1.6m)	5.90% (1.6m)	3.30% (0.9m)	24.60% (7.5m)

THE REAR YARD SETBACK FROM A NATURAL GAS REAR-VENTILATION BOILER IS 24.6% (7.5m)

PERMITTED ENCROACHMENTS

STRUCTURE	FRONT YARD	REAR YARD	SIDE YARD	FLANKING ST.
ENCROACH. 1	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 2	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 3	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 4	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 5	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 6	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 7	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 8	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 9	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 10	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 11	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 12	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 13	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 14	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 15	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 16	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 17	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 18	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 19	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
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ENCROACH. 45	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 46	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 47	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 48	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 49	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)
ENCROACH. 50	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)	2.0' (0.61m)

LOT AREA 3,451.14 sq ft **2,292,000 sq m**

FLOOR AREA RATIO

GROSS ALLOWABLE PERCENT	25%	INCLUDED REAL CANADIAN FLOORS
GROSS ALLOWABLE AREA	1,725.00 sq ft	NON INCLUDED CANADIAN FLOORS
DEDUCT GARAGE RESERVATION	1,710.00 sq ft	BOYD WINDOWS
DEDUCT ACC. BLDG. RESERVATION	300.00 sq ft	NET STAIRS & FLOOR
NET ALLOWABLE AREA	6,840.16 sq ft	BOYD WINDOWS
GROSS PROPOSED PERCENT	216%	CRUMBLES 5/8" MAX
GROSS PROPOSED AREA	6,180.31 sq ft	

FLOOR AREA RATIO NOTES:

1. ALL AREAS USED FOR COVERED PARKING ARE TO BE INCLUDED IN THE FAR CALCULATION
2. ALL AREAS USED FOR COVERED PARKING ARE TO BE TAKEN OUT OF FAR
3. GARAGE AREAS EXCEEDING 200 sq ft RESERVATION TO BE TAKEN OUT OF FAR
4. ACCESSORY BUILDING AREA EXCEEDING 200 sq ft RESERVATION TO BE TAKEN OUT OF FAR
5. COVERED PATIOS / PORCH COVERS THAT ARE ACCESSIBLE BY A VEHICLE WILL BE CONSIDERED A GARAGE AND INCLUDED IN THE FAR CALCULATIONS
6. REAL TO THE TOP SURFACE OF FLOORING AND NOT TO THE TOP OF THE COFFER OF THE AVERAGE EXISTING GRADE FINISHED GRADE AS INDICATED ON A LOT GRADING PLAN OR THE AVERAGE PROPOSED GRADE
7. WHEN DETERMINING THE LOWER OF THE AVERAGE EXISTING GRADE OR THE AVERAGE PROPOSED GRADE, THE LOWER OF THE AVERAGE EXISTING GRADE AT EACH CORNER IS NOT TO BE TAKEN SEPARATELY, BUT RATHER THE AVERAGE OF ALL OF THE PROPOSED GRADES OR THE AVERAGE OF ALL OF THE EXISTING GRADES IS TO BE USED
8. BUILDING HEIGHT IS TO BE MEASURED FROM THE FINISH GRADE OF THE FLOOR FINISH OF A ROOF OVERHANG AND IS TYPICALLY TAKEN AS THE INTERIOR OF THE SOFT FINISH

LOT COVERAGE

ALLOWABLE PERCENT	ALLOWABLE AREA	INCLUDED
20%	6,750.15 sq ft	FLOOR AREAS
6.5%	423.26 sq m	GARAGE
15.5%	1,002.59 sq ft	COVERED BUILDING
5.0%	322.00 sq ft	COVERED DECKS
5.0%	322.00 sq ft	DECKS 2' ABOVE GRADE
5.0%	322.00 sq ft	DECKS EXCEEDING 2' ABOVE GRADE
5.0%	322.00 sq ft	BOYD WINDOWS
5.0%	322.00 sq ft	DECK FROGCH 5" MAX

BUILDING HEIGHT

PRINCIPAL BLDG. ALLOWED	PRINCIPAL BLDG. PROPOSED	ACCESSORY BLDG. ALLOWED	ACCESSORY BLDG. PROPOSED
13.55' (3.90m)	14.28' (4.35m)	8.40' (2.56m)	8.40' (2.56m)

BUILDING HEIGHT NOTES:

1. BUILDING HEIGHT IS MEASURED FROM THE LOWER OF THE AVERAGE EXISTING GRADE FINISHED GRADE AS INDICATED ON A LOT GRADING PLAN OR THE AVERAGE PROPOSED GRADE
2. WHEN DETERMINING THE LOWER OF THE AVERAGE EXISTING GRADE OR THE AVERAGE PROPOSED GRADE, THE LOWER OF THE AVERAGE EXISTING GRADE AT EACH CORNER IS NOT TO BE TAKEN SEPARATELY, BUT RATHER THE AVERAGE OF ALL OF THE PROPOSED GRADES OR THE AVERAGE OF ALL OF THE EXISTING GRADES IS TO BE USED
3. BUILDING HEIGHT IS TO BE MEASURED FROM THE FINISH GRADE OF THE FLOOR FINISH OF A ROOF OVERHANG AND IS TYPICALLY TAKEN AS THE INTERIOR OF THE SOFT FINISH

GEOMETRIC ELEVATIONS

ROOF FINISH ELEV.	MAIN FLOOR FIN. ELEV.	FIN. FLOOR FIN. ELEV.
132.53' (40.36m)	129.98' (39.91m)	132.07' (40.25m)
132.53' (40.36m)	129.98' (39.91m)	132.07' (40.25m)
132.53' (40.36m)	129.98' (39.91m)	132.07' (40.25m)
132.53' (40.36m)	129.98' (39.91m)	132.07' (40.25m)

DRIVEWAY

ALLOWABLE SLOPE	PERCENT
5.00%	5.00%
3.25%	3.25%

PARKING:

1. TWO (2) OFF STREET PARKING SPACES ARE REQUIRED FOR EACH SINGLE FAMILY DWELLING
2. MINIMUM CLEAR INSIDE DIMENSIONS FOR A SINGLE GARAGE = 6'0" (1.83m) X 10'0" (3.05m)
3. MINIMUM CLEAR INSIDE DIMENSIONS FOR A DOUBLE GARAGE = 8'0" (2.44m) X 10'0" (3.05m)

ANSCHHELL RENOVATION/ADDITION COPYRIGHTED

DATE	DESCRIPTION	INITIALS	DATE	DESCRIPTION	INITIALS
AUG-19-20	DRAWING	AJM			
SEPT-10-20	REVISE ACC. BLDG. PLAN	AJM			
OCT-14-20	REVISED	AJM			

PERMITS:

PERMITS REQUIRED FOR THIS PROJECT:

- 1. BUILDING PERMIT
- 2. ELECTRICAL PERMIT
- 3. MECHANICAL PERMIT
- 4. PLUMBING PERMIT

PROPOSED ANSCHELL RENOVATION/ADDITION

THESE PLANS CONFORM TO THE B.C. BUILDING CODE 2006 ED.

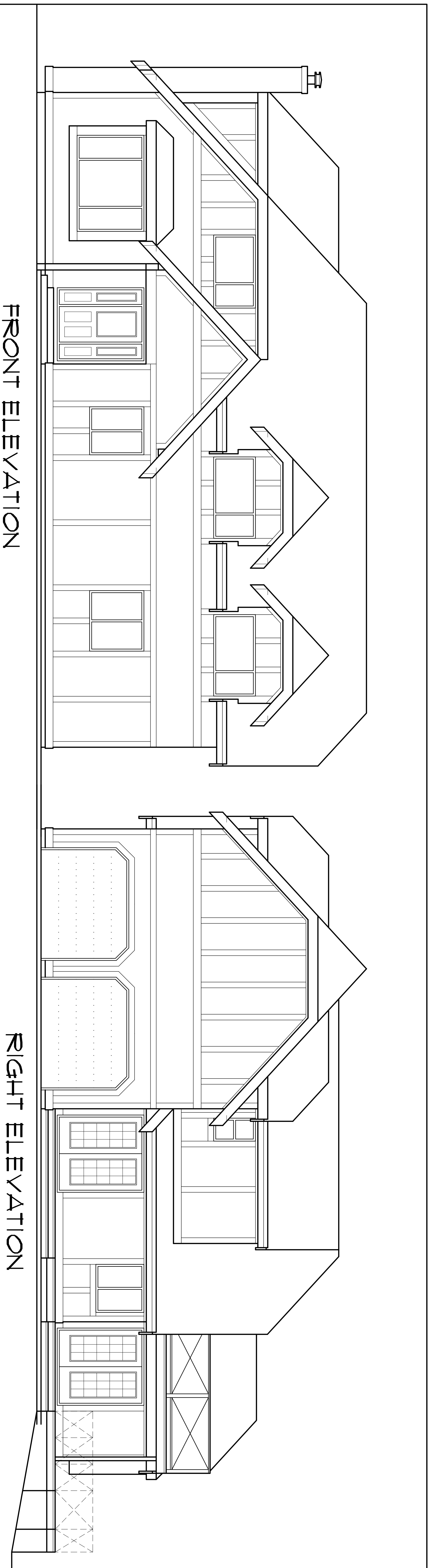
SITE PLAN SCHEMATICS

SCALE 1/16" = 1'-0"

OCTOBER 14, 2020

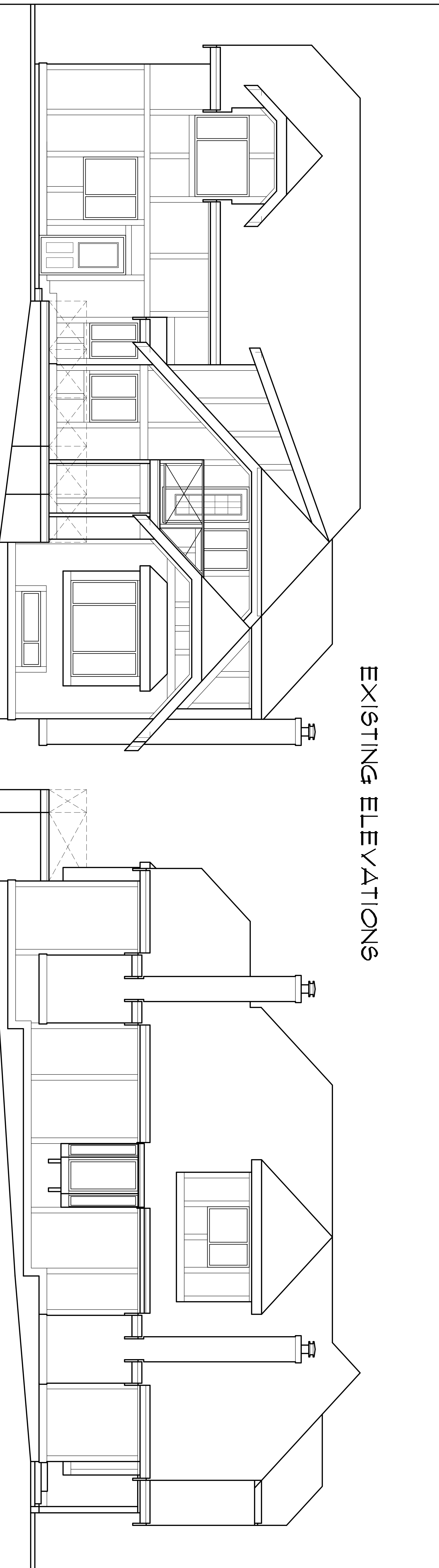
SCALE AS NOTED

SHEET 10 OF 11



FRONT ELEVATION

RIGHT ELEVATION



EXISTING ELEVATIONS

REAR ELEVATION

LEFT ELEVATION

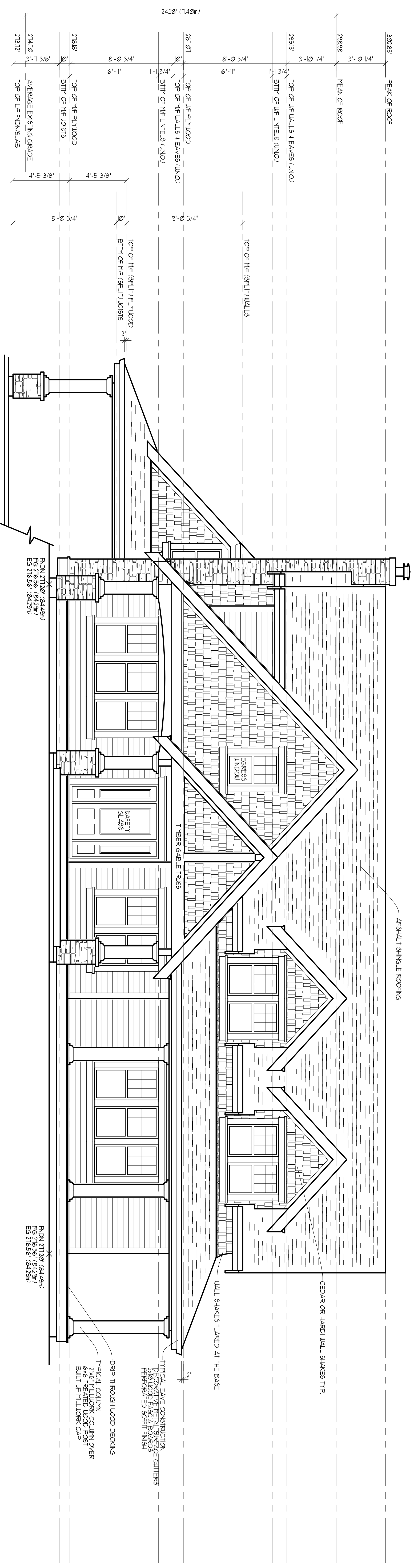
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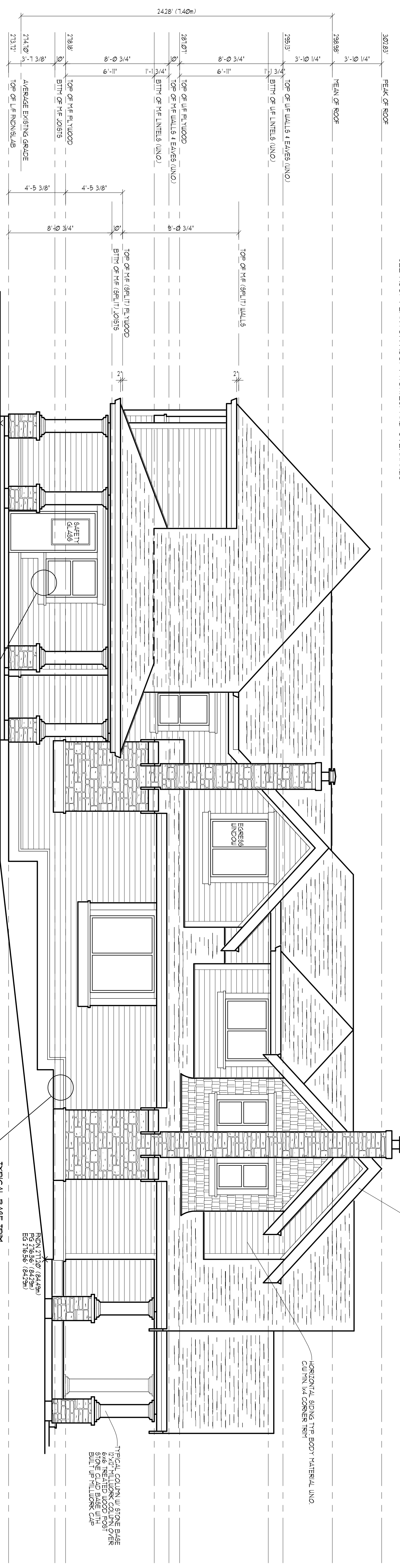
EXISTING ELEVATIONS

OCTOBER 14, 2010 SCALE 1/4" = 1'-0" SHEET 2 OF 11



FRONT ELEVATION

- TYPICAL ELEVATION CONSTRUCTION NOTES**
- WALL CLADDING TO BE ON RAIN SCREEN (MIN 10mm STRAPPING) UNO
 - GABLE JOINTS BETWEEN DISTILLAR MATERIALS
 - FLASH ALL UNPROTECTED EXTERIOR FINISHES
 - FLASH ALL UNPROTECTED EXTERIOR OPENINGS
 - FLASH ALL HORIZONTAL INTERSECTIONS OF DIFFERING WALL FINISHES
 - ALL WINDOW OPENERS TO BE CONFORMED BY THE OWNER
 - DOORS TO CONFORM TO SECTION 96 OF THE BUILDING CODE
 - WINDOWS TO CONFORM TO SECTION 97 OF THE BUILDING CODE
 - SEE ROOF PLAN FOR ROOF PITCHES) AND OVERHANGS

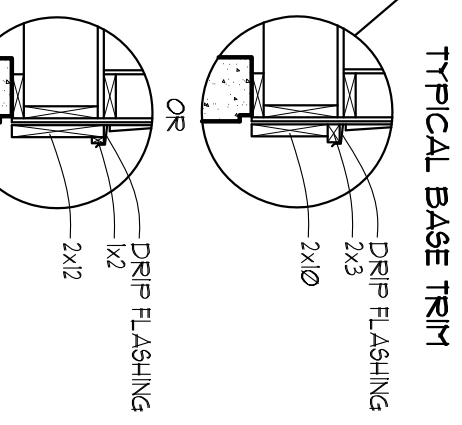
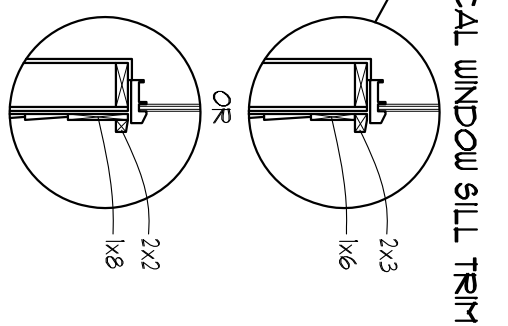


LEFT ELEVATION

RIGHT WALL FACE

SCALE: 1/8" = 1'-0"

LIMITING DISTANCE CALCULATIONS	
EXPOSED BUILDING FACE AREA	1284.06 SF
UNPROTECTED AREA	16.45 SF
LIMITING DISTANCE	26.2' (8.0m)
PERMITTED UNPROTECTED AREA	28.0%
ACTUAL UNPROTECTED AREA	9.8%

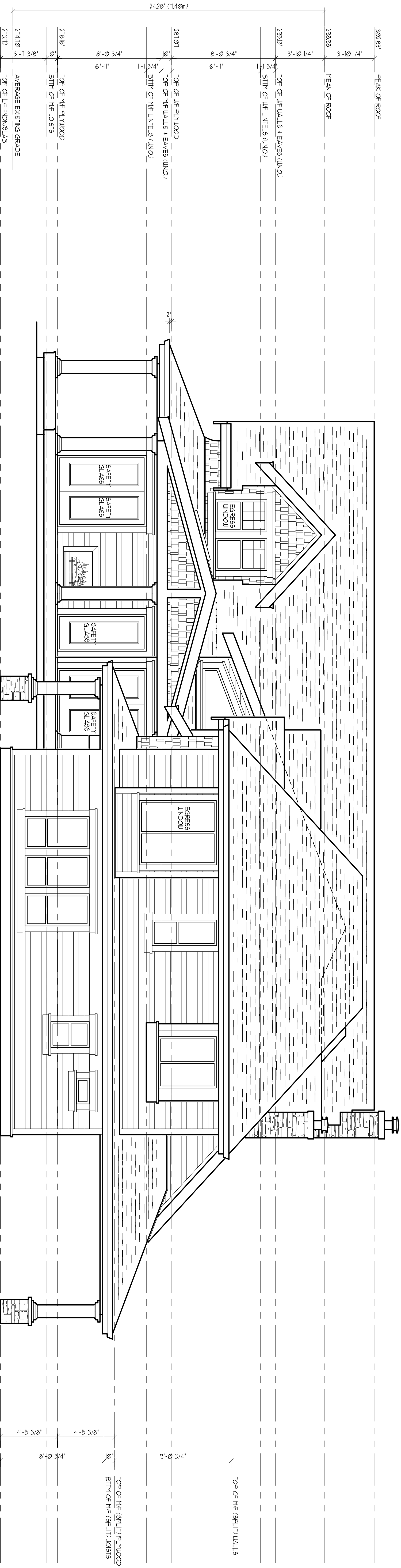


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NEW ELEVATIONS - FRONT, LEFT

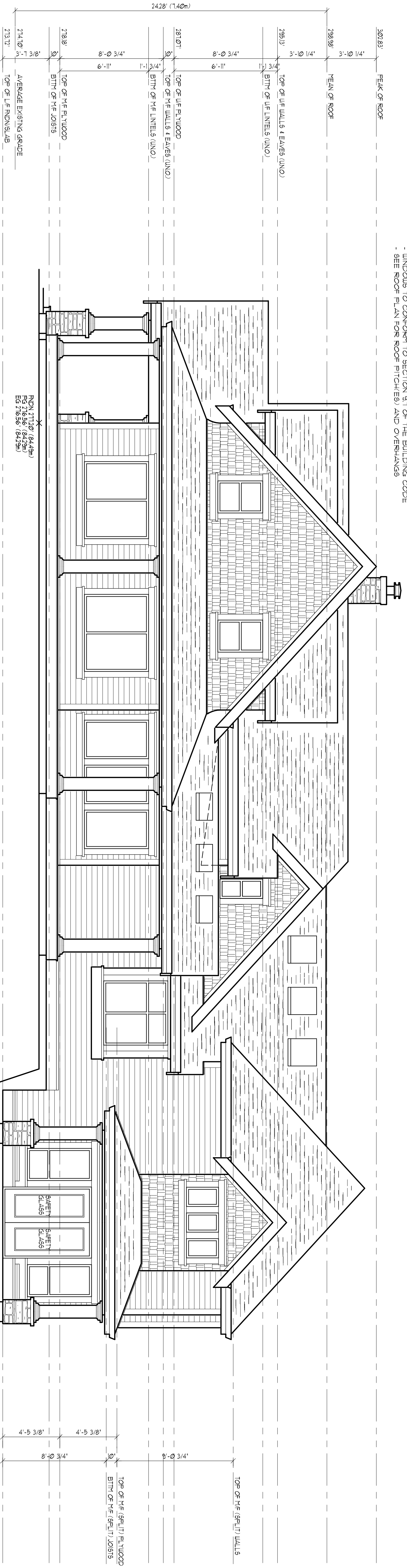
OCTOBER 14, 2010 SCALE 1/4" = 1'-0" SHEET 4 OF 11



TYPICAL ELEVATION CONSTRUCTION NOTES

- WALL CLADDING TO BE ON RAIN SCREEN (PIN 100mm STRAPPING) UNO
- CAULK JOINTS BETWEEN DISTINCT MATERIALS
- FLASH ALL UNSELECTED EXTERIOR FINISHES
- FLASH ALL UNSELECTED INTERIOR FINISHES
- FLASH ALL HORIZONTAL INTERSECTIONS OF DIFFERENT WALL FINISHES
- ALL WINDOW OPENERS TO BE CONFORMED BY THE OWNER
- DOORS TO CONFORM TO SECTION 96 OF THE BUILDING CODE
- WINDOWS TO CONFORM TO SECTION 97 OF THE BUILDING CODE
- SEE ROOF PLAN FOR ROOF PITCHES) AND OVERHANGS

REAR ELEVATION



RIGHT ELEVATION

NOTE: LIMITING DISTANCE IS GREATER THAN 12.0m
ALLOWABLE AREA OF U.P.O. = 100%

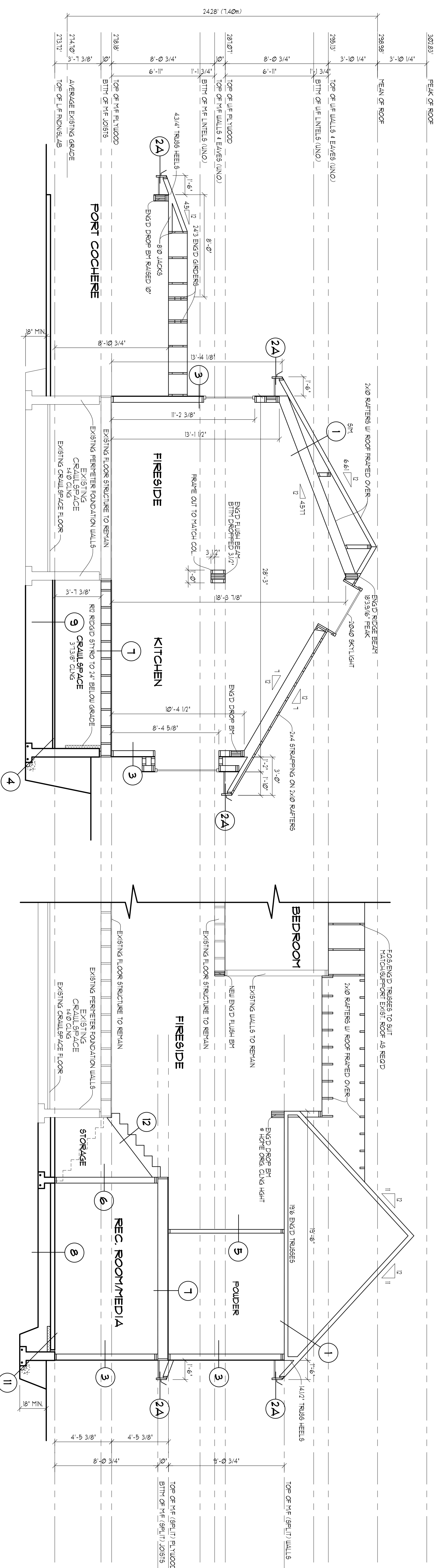
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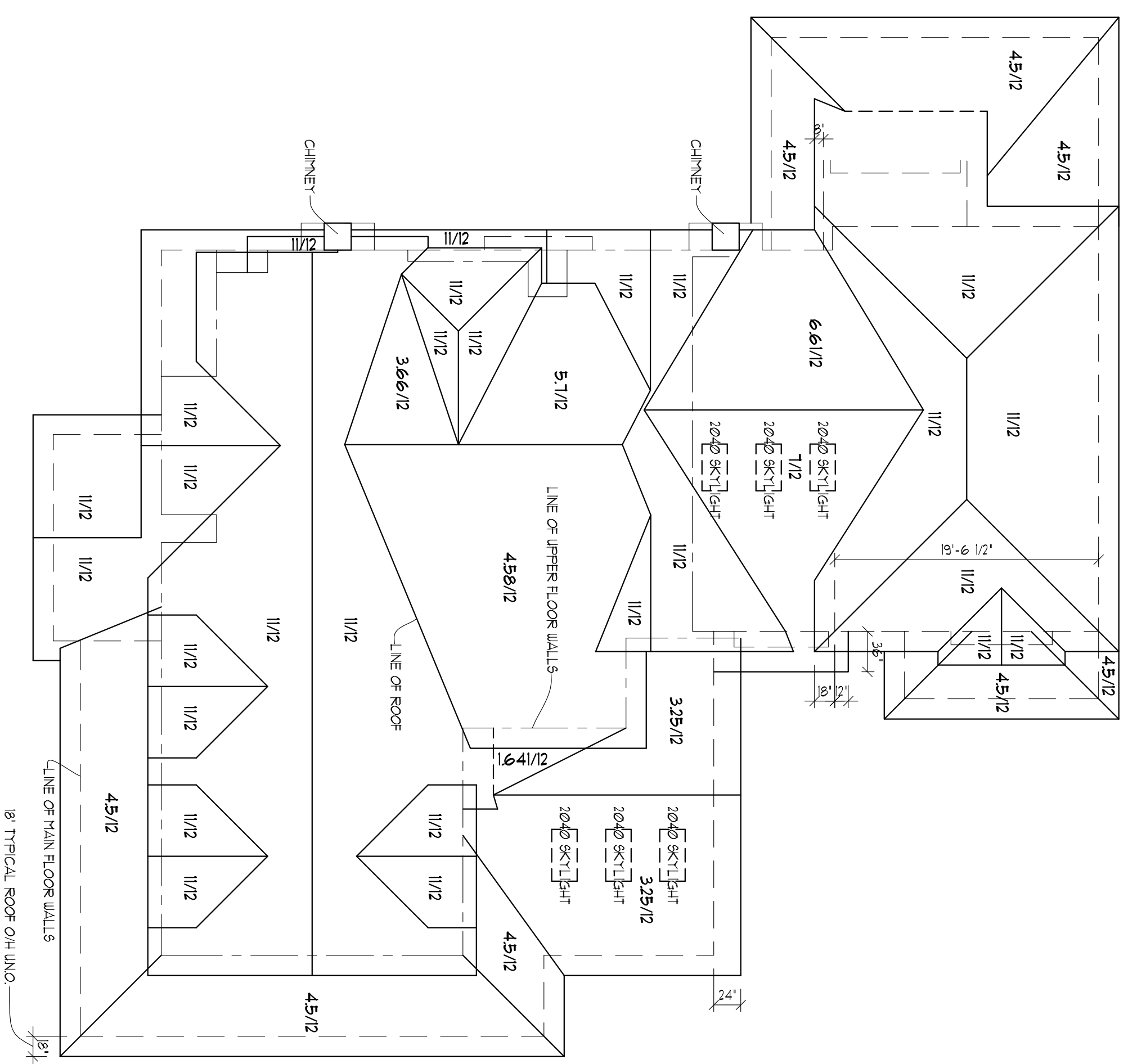
NEW ELEVATIONS - REAR, RIGHT

SCALE 1/4" = 1'-0"
OCTOBER 14, 2010
SHEET 5 OF 11



CROSS SECTION A-A

CROSS SECTION B-B



ROOF PLAN
SCALE: 1/8" = 1'-0"

- 1 TYPICAL TRIANGLE ROOF
4# ASPHALT SHINGLE ROOFING
1/2" FIBREGLASS SHEATHING
PRE-FAB TRUSSES & 2x4 O.C.
R-40 FIBERGLASS INSULATION
& MILL PLY V.B.
GYPSUM WALL BOARD
- 2A TYPICAL EAVE OVERHANG
DECORATIVE METAL SLURGE GUTTERS
2x10 WOOD FASCIA BOARDS
FERROCAST SCOFFIT FINISH
- 2B TYPICAL GABLE OVERHANG
2x10 WOOD BARGE BOARDS
FERROCAST SCOFFIT FINISH
2x6 SCOFFIT TRIM
- 3 TYPICAL EXTERIOR WALLS
CLADDING MATERIAL AS PER ELEVATIONS
BUILT UP FERROCAST FIN. 10mm STRAPPING UNO.
1/2" FIBREGLASS SHEATHING
2x6 STUDS @ 16" O.C.
R-20 FIBERGLASS INSULATION
& MILL PLY V.B.
GYPSUM WALL BOARD
- 4 TYPICAL FOUNDATION WALL
ASPHALT EMULSION
8" END CONCRETE FOUNDATION WALL
2x4 OR 2x6 STRAPPING @ 24" O.C.
R12 F.G. BATT INSULATION
6" MILL PLY VAPOR BARRIER
1/2" GYPROC TO WABY SIDE
END CONCRETE STRIP FOOTING
& MIN DRAIN ROCK
4" PERIMETER DRAIN
- 5 TYPICAL INTERIOR WALLS
GYPSUM WALL BOARD BOTH SIDES
2x4 OR 2x6 STUDS @ 16" O.C.
- 6 TYPICAL BEARING WALL
2x6 STUDS @ 16" O.C.
6" CONCRETE CURB
END CONCRETE STRIP FOOTING
GYPSUM WALL BOARD
- 7 TYPICAL FLOOR
FINISH FLOORING
3/4" T&G FIBREGLASS SHEATHING
(GLUED & NAILLED)
END 2x10 FLOOR JOISTS
GYPSUM WALL BOARD
- 8 TYPICAL BASEMENT FLOOR
4" CONCRETE SLAB
6" MILL PLY V.B.
COMPACT GRANULAR FILL
- 9 TYPICAL CRAWL SPACE FLOOR
2" CONCRETE SKIN COAT
& MILL PLY V.B.
COMPACT GRANULAR FILL
- 10 TYPICAL GARAGE SLAB
4" CONCRETE SLAB
COMPACT GRANULAR FILL
1 1/2" MIN. SLOPE TO ENTRY
- 11 TYPICAL GABLE ROOF FOUNDATION
8" CONCRETE FOUNDATION WALL
END CONCRETE STRIP FOOTING
REINFORCED CONCRETE STRIP
RAISED 1/4" ABOVE GRADE
OR 1/4" FROM PERIMETER
- 12 TYPICAL STAIRS
1" TREAD
1/2" RISE
PROVIDE HANDRAIL @ 32-36" @ STAIRS
w/ 3 OR MORE RISERS
PROVIDE 6" @ MIN FINISHED HEADROOM

TYPICAL ROOF NOTES:
EAVE OVERHANGS ARE MEASURED TO THE OUTSIDE
FACE OF THE 2x10 FASCIA BOARD
GABLE OVERHANGS ARE MEASURED TO THE TOP
FACE OF THE 2x10 FASCIA BOARD
EAVE HEIGHTS ARE MEASURED TO THE TOP
OF THE 2x10 FASCIA BOARD
VENTILATE ATTIC SPACES 1:200 SF

BUILDING SPECIS

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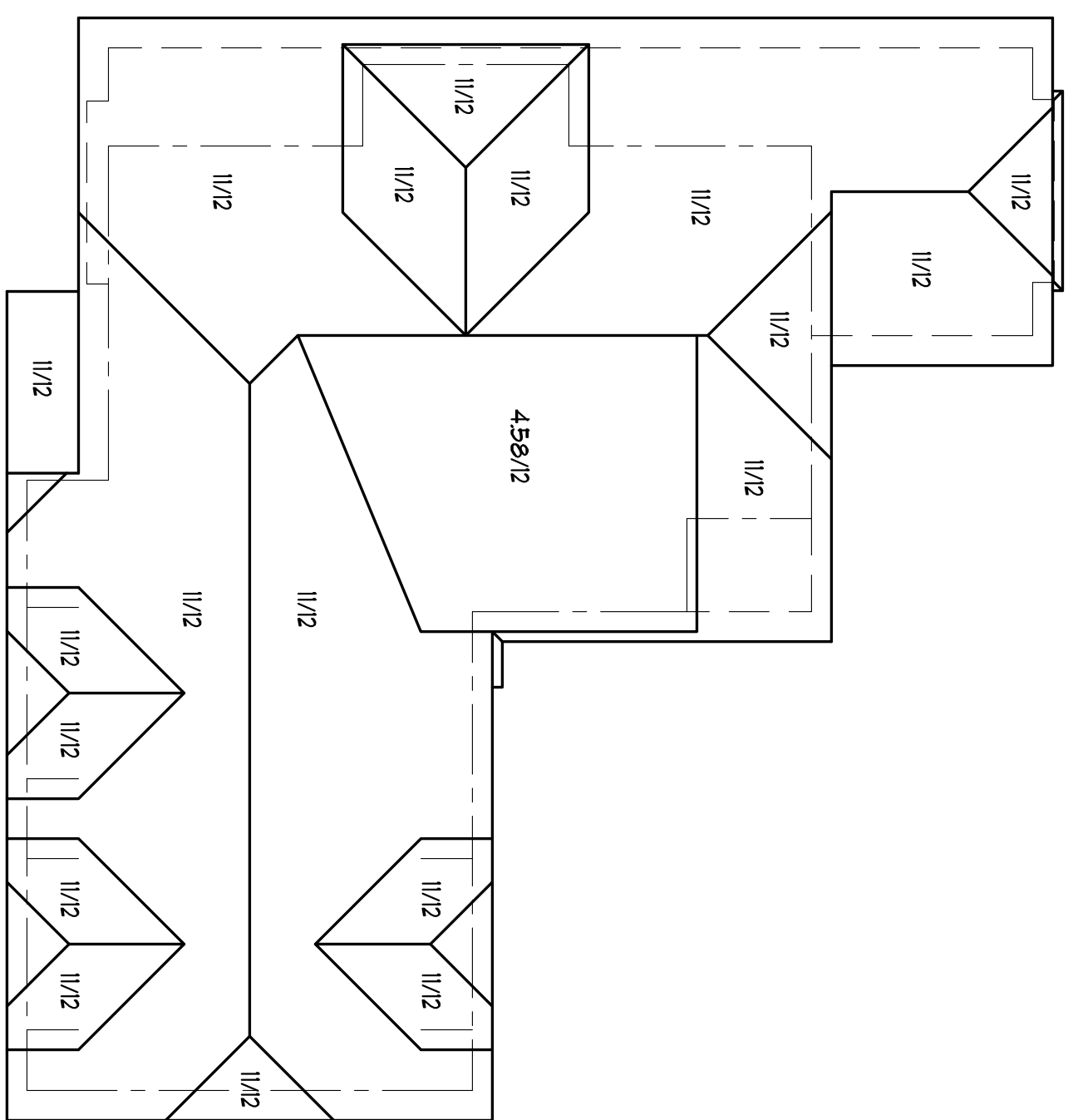
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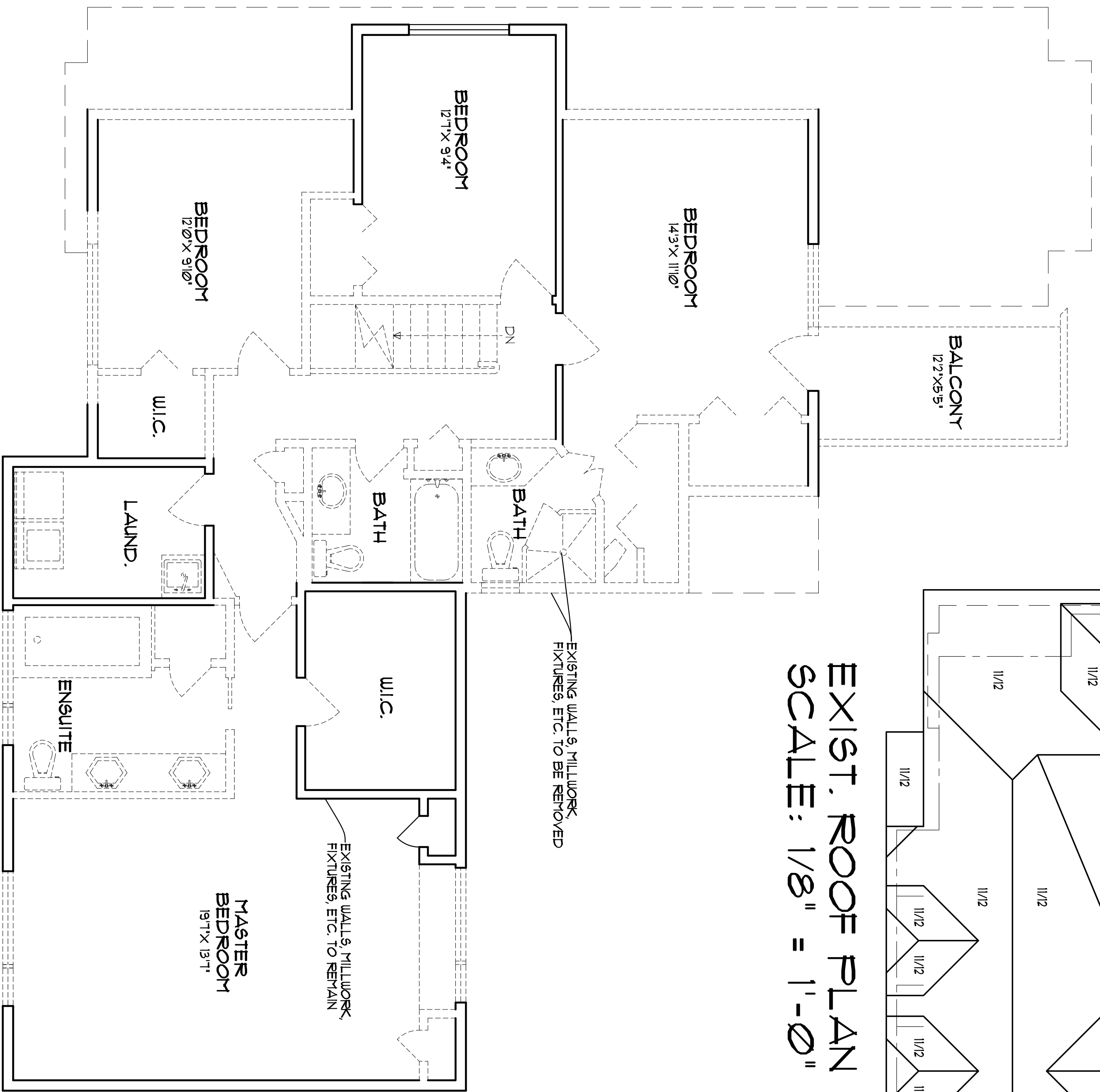
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SECTIONS, SPECIS, ROOF PLAN

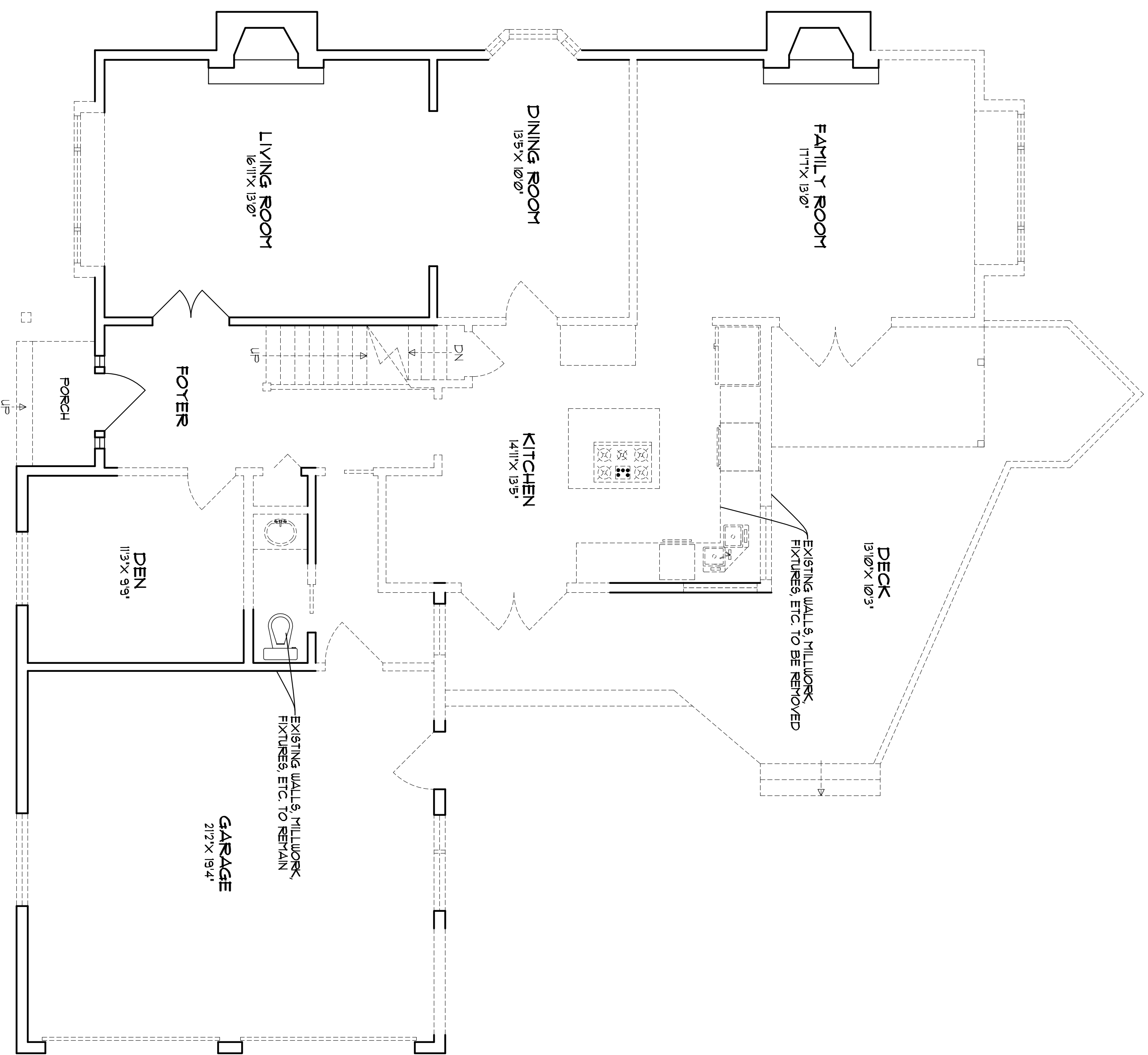
SCALE 1/4" = 1'-0"
OCTOBER 14, 2010 SHEET 9 OF 11



EXIST. ROOF PLAN
SCALE: 1/8" = 1'-0"



EXISTING UPPER FLOOR PLAN
/ DEMOLITION PLAN
137066 SQFT.



EXISTING MAIN FLOOR PLAN
/ DEMOLITION PLAN
127800 SQFT.
PLUS 44480 SQFT. GARAGE

****DEMOLITION PLAN TO BE READ IN CONJUNCTION WITH NEW FLOOR PLANS****
- ENGINEERS TO DESIGN TEMPORARY SUPPORT FOR ALL EXISTING STRUCTURAL COMPONENTS INCLUDING ROOF FLOOR AND BEAMS TO REMAIN
- ENGINEERS TO CONTRIB. STRUCTURAL CAPACITY OF EXISTING STRUCTURAL COMPONENTS WILL SUPPORT NEW LOADS AND BEARINGS

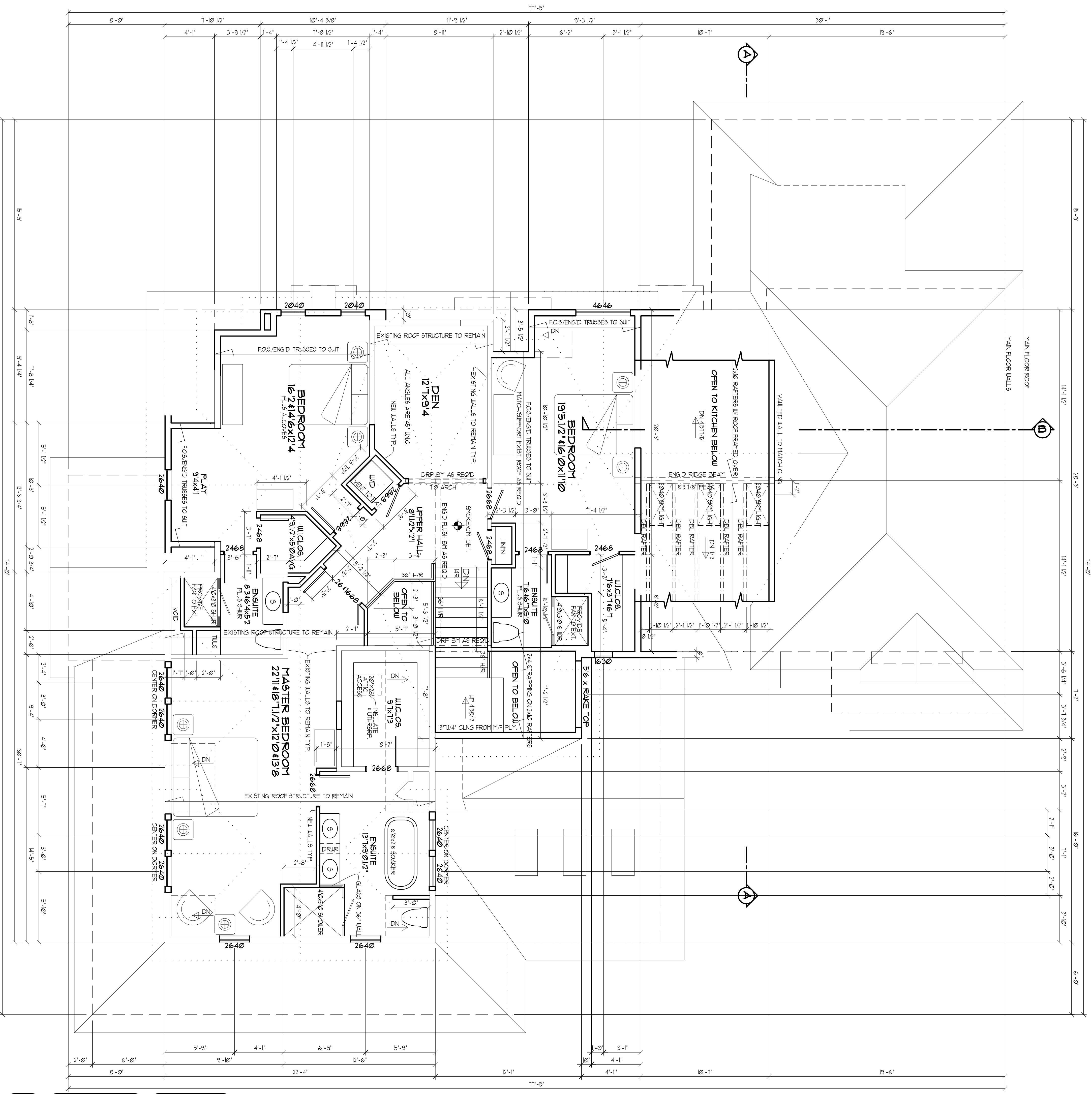
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EXISTING FLOOR / DEMO PLANS

OCTOBER 14, 2010 SCALE 1/4" = 1'-0" SHEET 3 OF 11



ALL ROOM SIZES MEASURED TO 'STUD FACE' NOT 'DRYWALL FACE'

* NOTE:
 - EXTERIOR WALLS ARE DRAIN 6" THICK ASSUMING
 1/2" FLYWOOD SHEATHING ON 5-1/2" STUDS
 - OUTSIDE OF WALL SHEATHING TO LINE UP WITH OUTSIDE OF ROUN
 - ALL INTERIOR WALLS ARE DRAIN 3-1/2" OR 5-1/2" THICK
 - AND DRYWALL IS REPRESENTED ON INTERIOR OR EXTERIOR WALLS
 - SPECIAL WALL HEIGHT DIMENSIONS ARE MATHEMATICAL
 AND MUST BE CONFIRMED ON SITE

UPPER FLOOR PLAN
 1,521.88 SQ.FT.
 1,370.66 SQ.FT. EXISTING
 151.22 SQ.FT. NEW

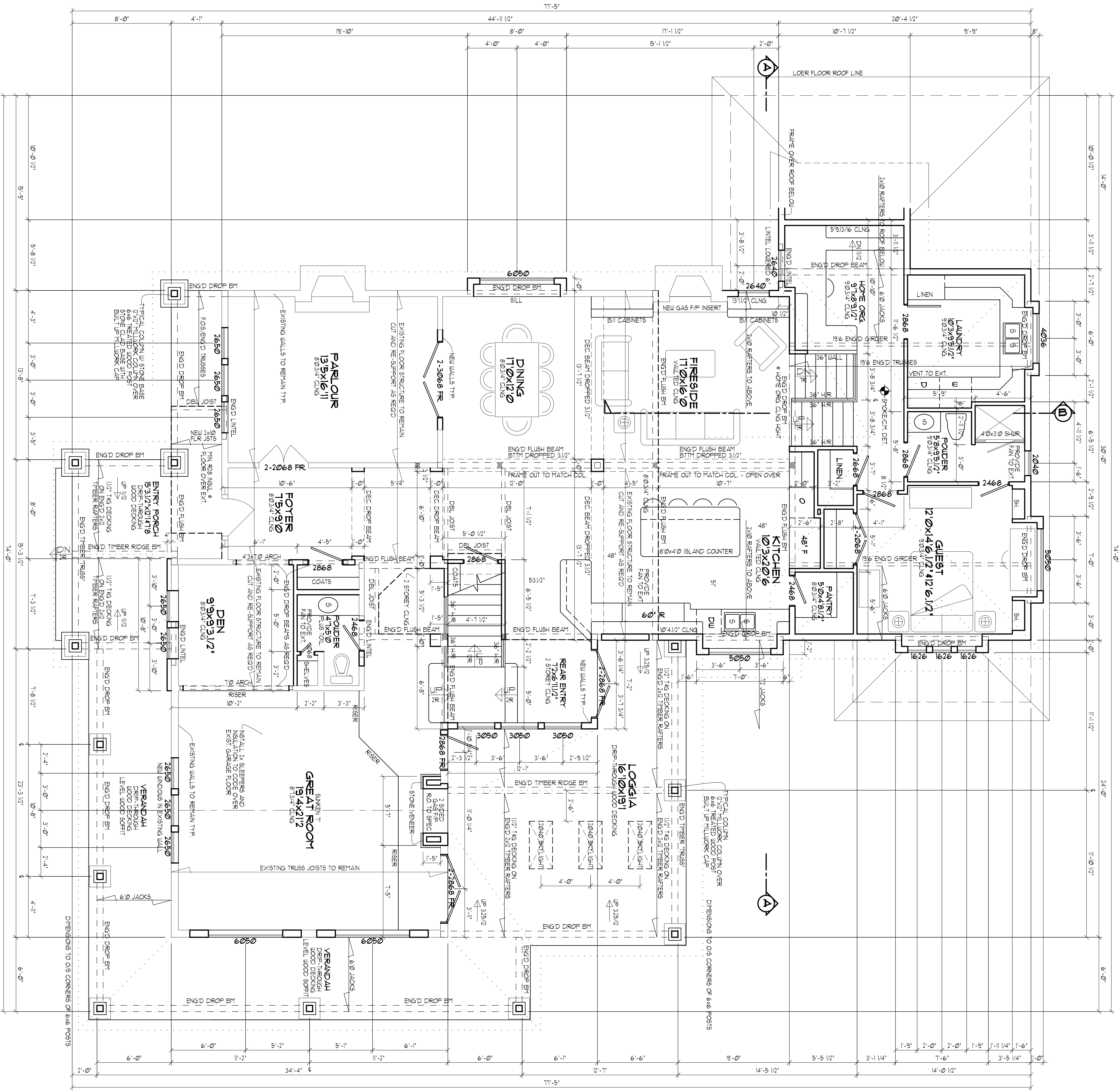
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UPPER FLOOR ROOF FRAMING

OCTOBER 14, 2000 SCALE 1/4" = 1'-0"
 SHEET 6 OF 11



** ALL ROOM SIZES MEASURED TO 'STUD FACE' NOT 'DRYWALL FACE' **

MAIN FLOOR PLAN
2,579.86 SQFT.
 1,722.81 SQFT. EXISTING INCL. GARAGE
 857.05 SQFT. NEW

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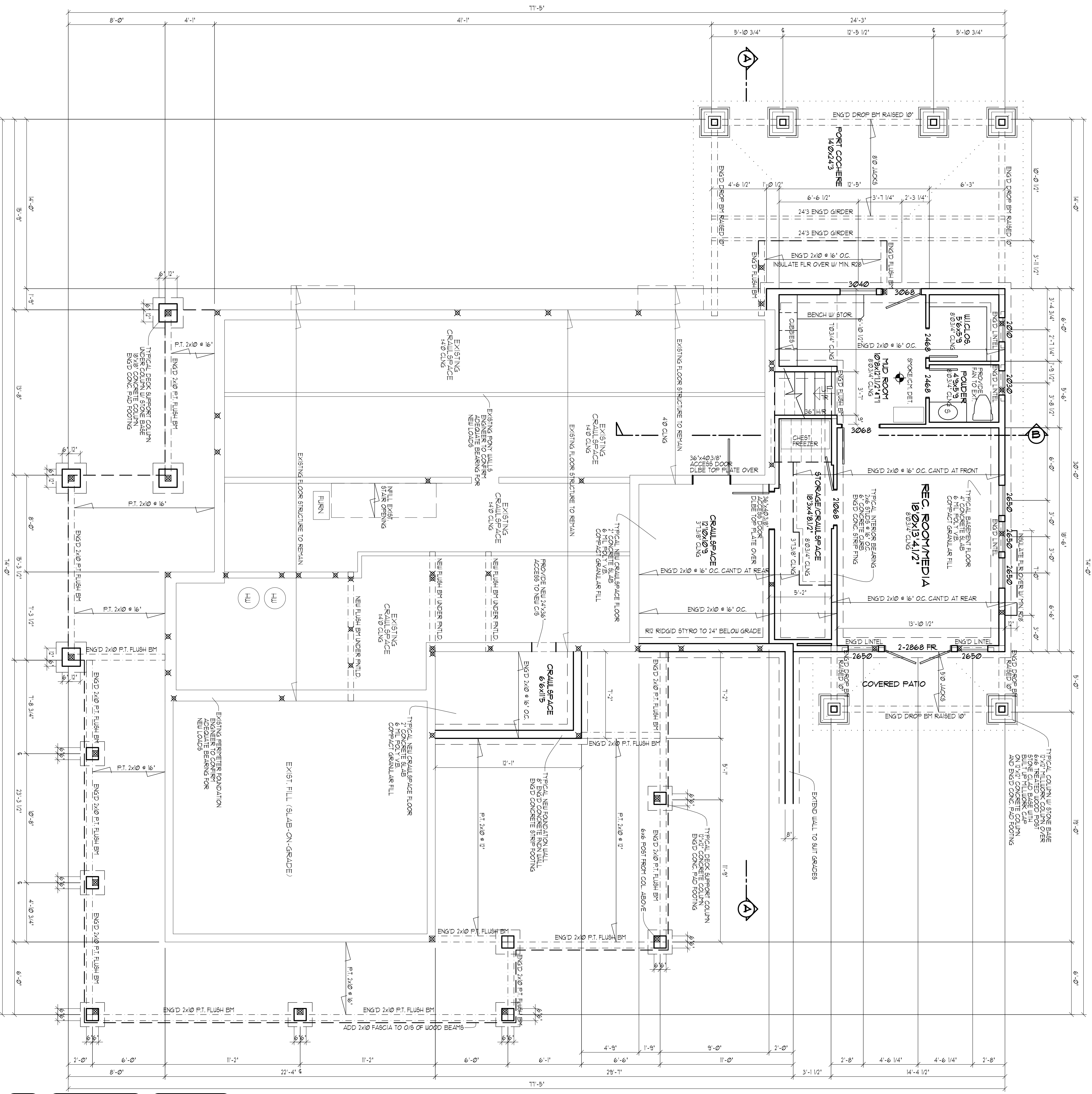
MAIN FLOOR, UPPER FL. FRAMING

OCTOBER 14, 2008

SCALE 1/4" = 1'-0"

SHEET 1 OF 11

* NOTE:
 - EXTERIOR WALLS ARE DRAIN 6" THICK ASSUMING
 - 1/2" FLYWOOD SHEATHING ON 5-1/2" STUDS
 - OUTSIDE OF WALL SHEATHING TO LINE UP WITH OUTSIDE OF RIM JOIST
 - ALL INTERIOR WALLS ARE DRAIN 5-1/2" OR 5-1/2" THICK
 - AND DRYWALL IS REPRESENTED ON INTERIOR OR EXTERIOR WALLS
 - SPECIAL WALL HEIGHT DIMENSIONS ARE MATHEMATICAL
 - AND MUST BE CONFIRMED ON SITE



ALL ROOM SIZES MEASURED TO 'STUD FACE' NOT 'DRYWALL FACE'

* NOTE:
 - EXTERIOR WALLS ARE DRAIN 6" THICK ASSUMING
 1/2" FLYWOOD SHEATHING ON 5-1/2" STUDS
 - OUTSIDE OF WALL SHEATHING TO LINE UP WITH OUTSIDE OF BRN
 - ALL INTERIOR WALLS ARE DRAIN 5-1/2" OR 5-1/2" THICK
 - AND DRYWALL IS REPRESENTED ON INTERIOR OR EXTERIOR WALLS
 - SPECIAL WALL HEIGHT DIMENSIONS ARE MATHEMATICAL
 - AND MUST BE CONFIRMED ON SITE

LOWER FLOOR PLAN 53705 SQFT.

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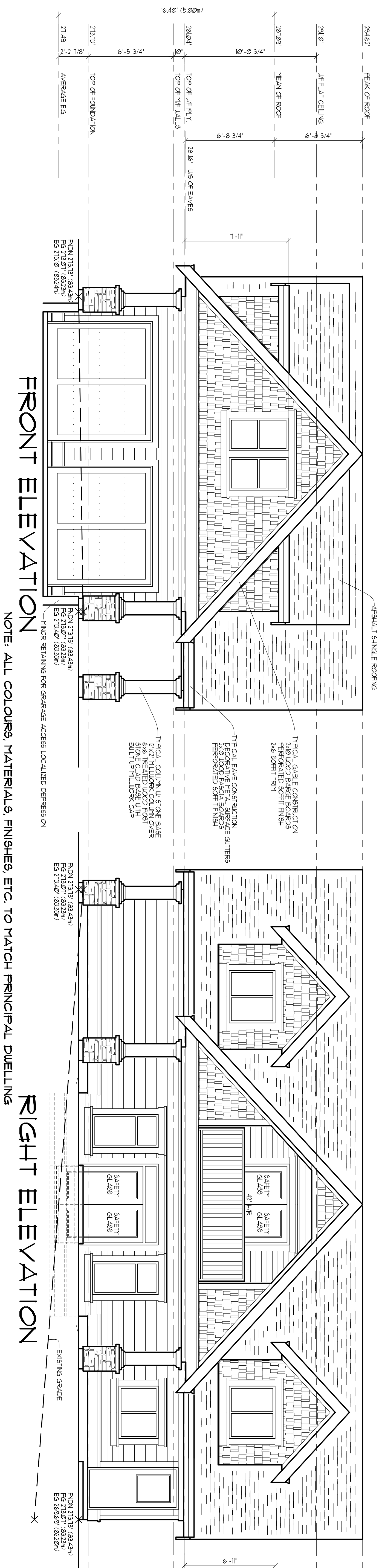
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LOWER FLOOR MAIN FL. FRAMING

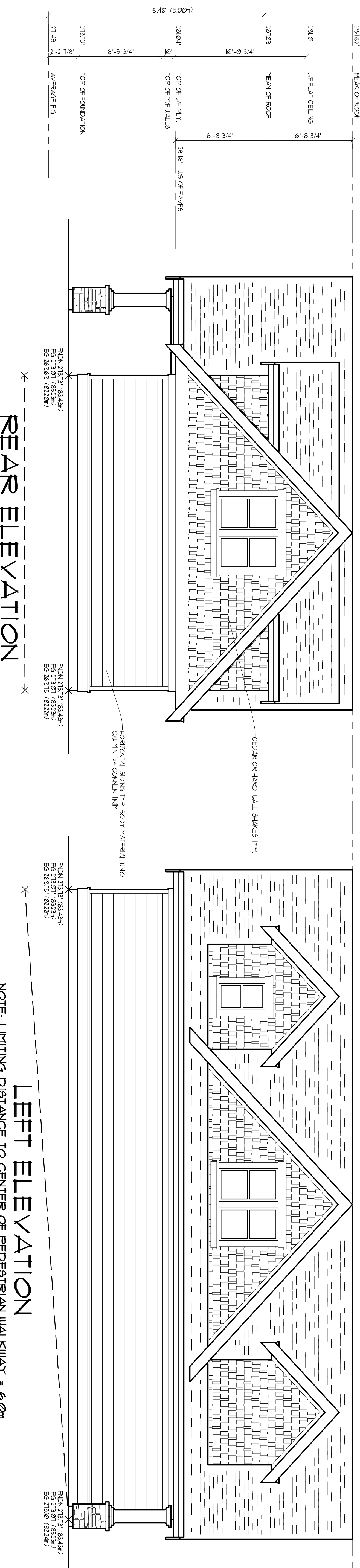
OCTOBER 14, 2000
 SCALE 1/4" = 1'-0"
 SHEET 8 OF 11



FRONT ELEVATION

NOTE: ALL COLOURS, MATERIALS, FINISHES, ETC. TO MATCH PRINCIPAL DWELLING

RIGHT ELEVATION



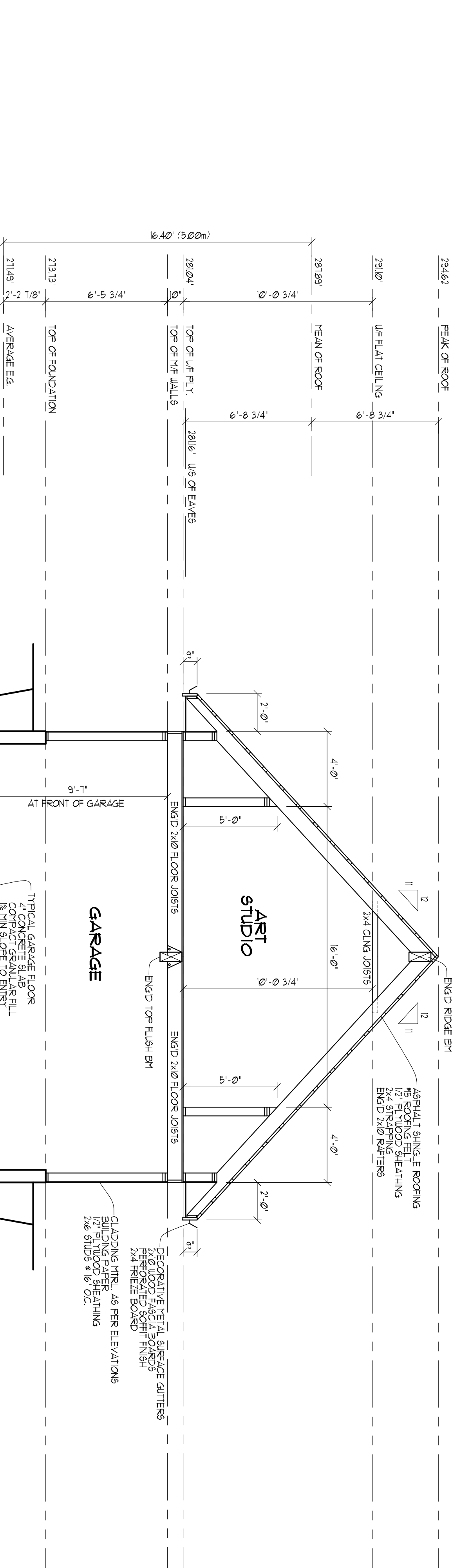
REAR ELEVATION

NOTE: LIMITING DISTANCE TO CENTER OF PEDESTRIAN WALKWAY = 6.0m
ALLOWABLE AREA OF U.P.O. = 34.0%
PROPOSED AREA OF U.P.O. = 4.6%

LEFT ELEVATION

TYPICAL ELEVATION CONSTRUCTION NOTES

- WALL CLADDING TO BE ON RAIN SCREEN FIN. (OEM STRAPPING) UNO.
- CALL OUTS BETWEEN DISHILL AND VIREBILLS
- FLASH ALL UNPROTECTED EXTERIOR OPENINGS
- FLASHINGS TO BE MIN. 6% SLOPE AND HAVE END DAPS
- FLASH ALL HORIZONTAL INTERSECTIONS OF DIFFERING WALL FINISHES
- ALL WINDOW OPENERS TO BE COVERED BY THE OWNER
- DOORS TO CONFORM TO SECTION 9.6 OF THE BUILDING CODE
- WINDOWS TO CONFORM TO SECTION 9.7 OF THE BUILDING CODE
- SEE ROOF PLAN FOR ROOF PITCHES) AND OVERLAYS



CROSS SECTION A-A

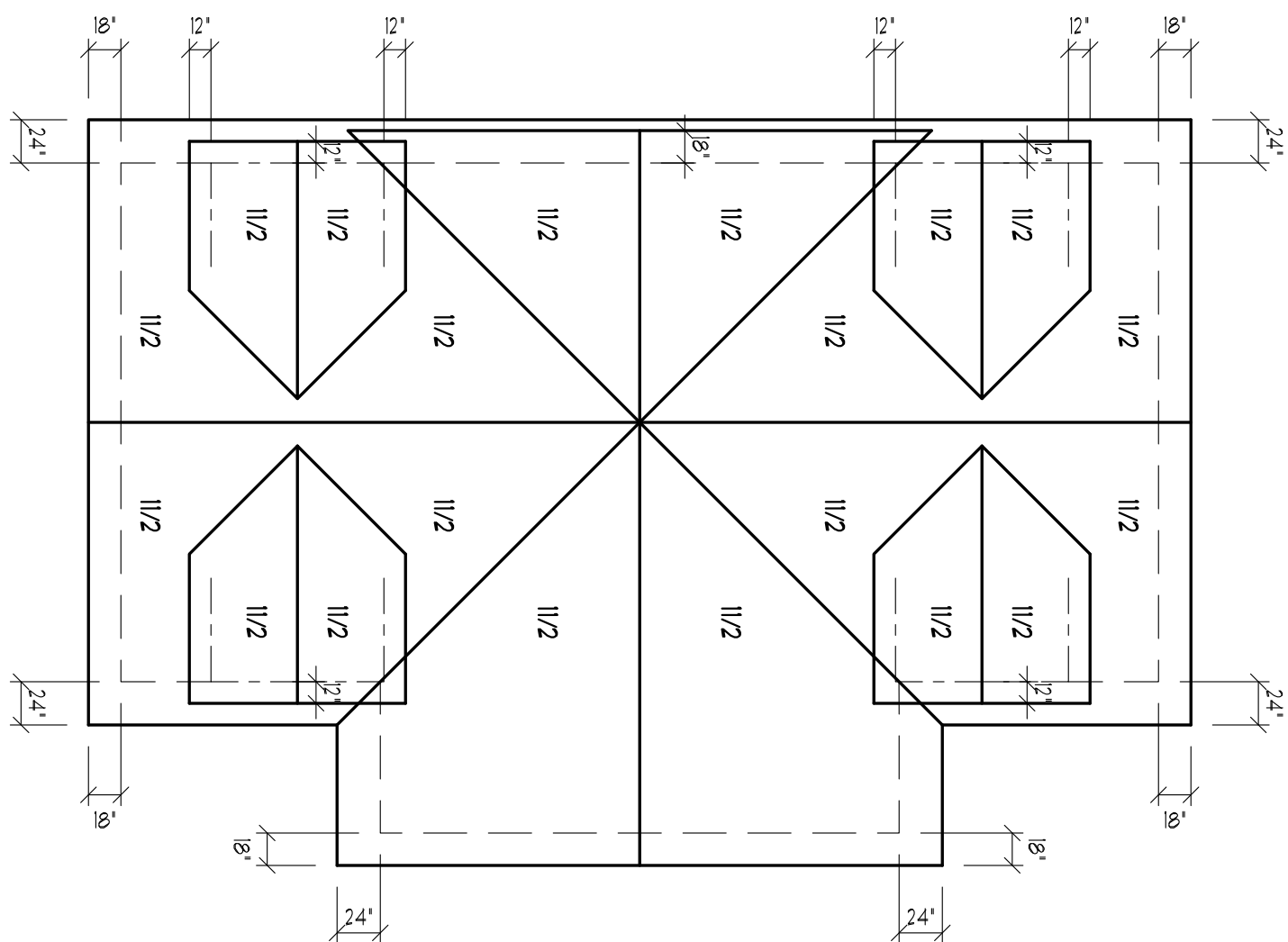
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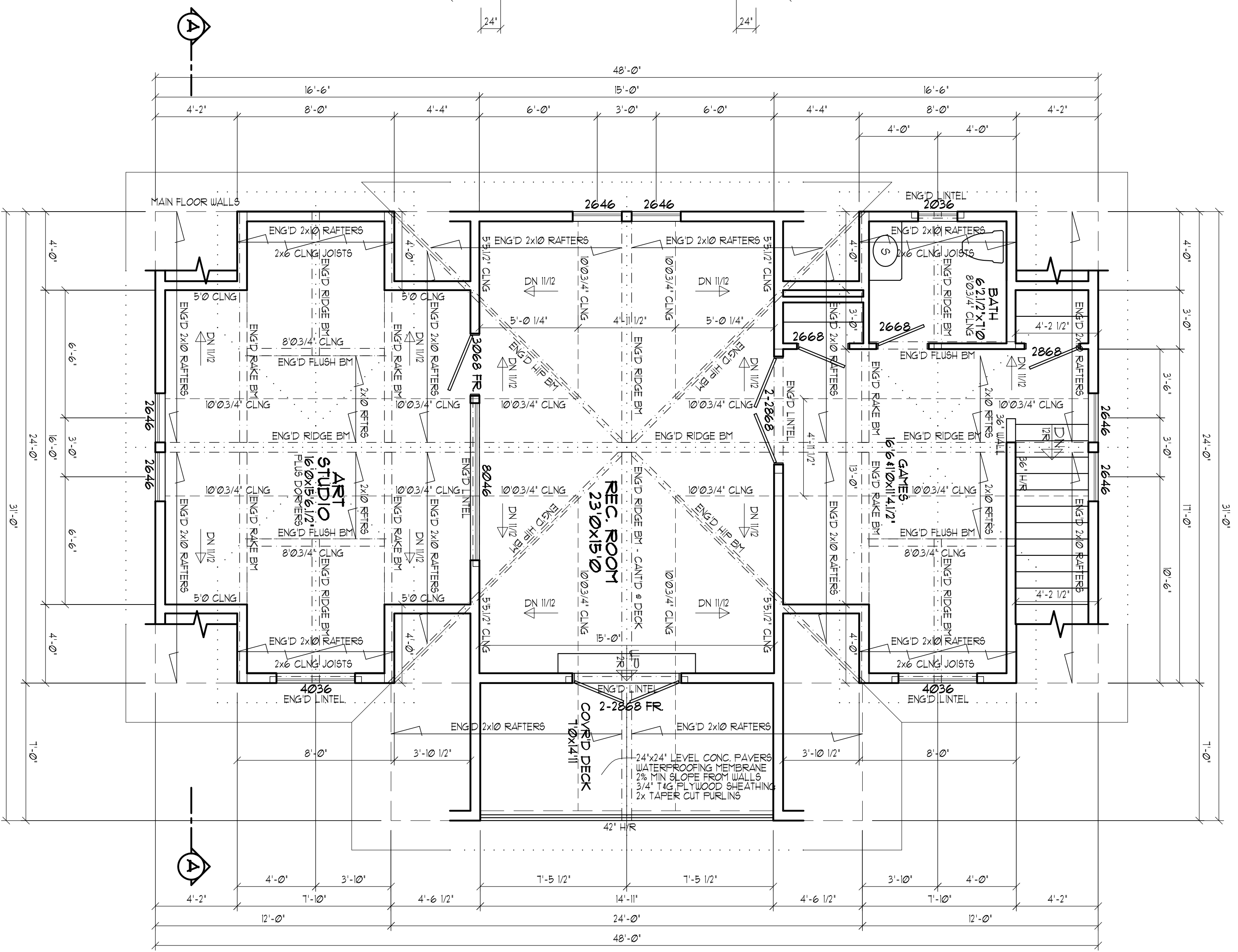
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ACC. BLDG. ELEVATIONS, SECTION

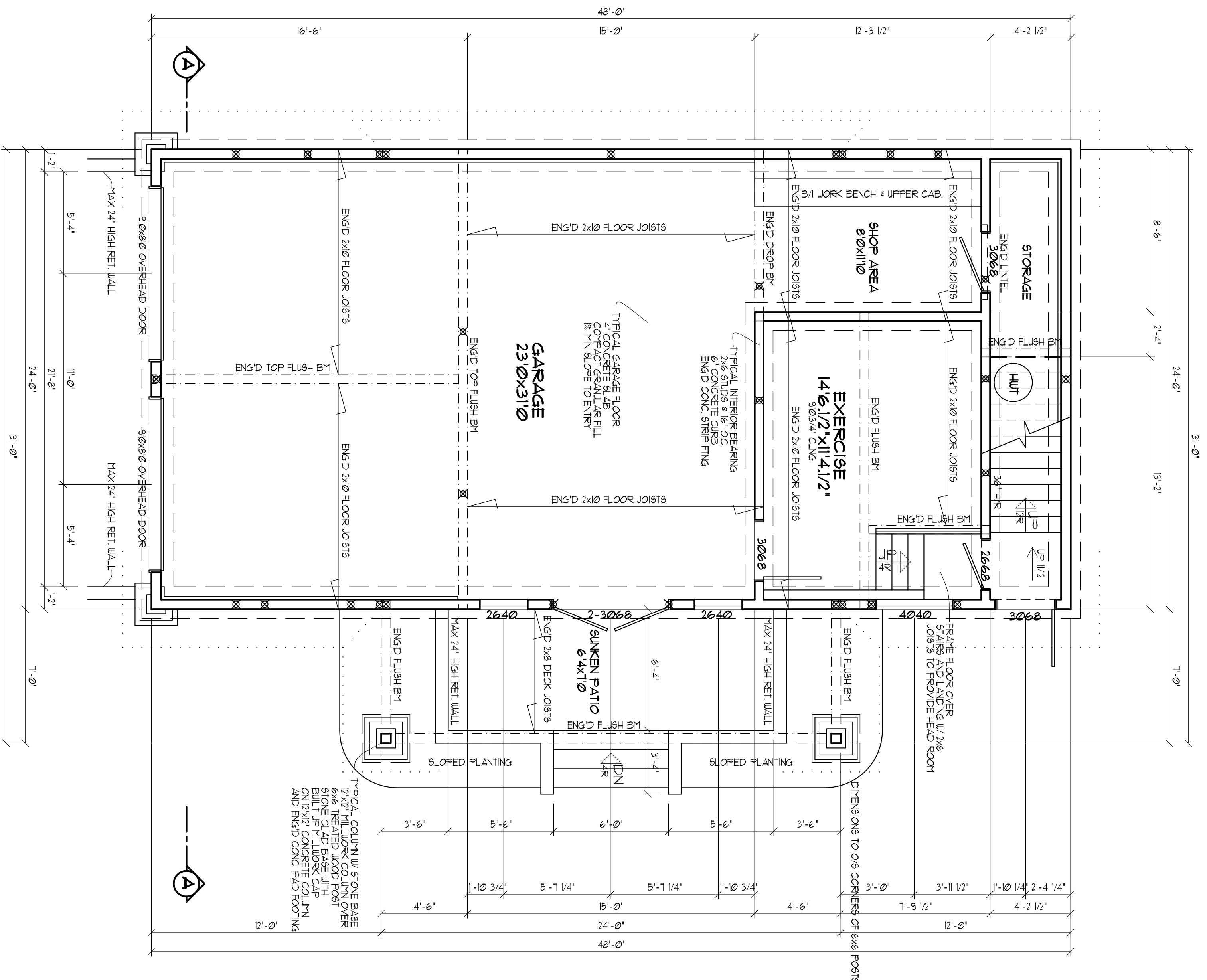
OCTOBER 14, 2008 SCALE 1/4" = 1'-0" SHEET 11 OF 11



ROOF PLAN
SCALE: 1/8" = 1'-0"



LOFT PLAN
997.58 SQFT.



MAIN FLOOR PLAN
1152.00 SQFT.

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THESE PLANS CONFORM TO THE BC BUILDING CODE 2006 ED.

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ACC. BLDG. FLOOR PLANS
SCALE: 1/4" = 1'-0"
OCTOBER 14, 2010
SHEET 02 OF 11

PART VII -- R-1 RESIDENTIAL ZONE NO. ONE (1)

USES

- A. Land and structures shall be used for the following purposes only:
 - 1. A single-family dwelling and customary accessory uses.
 - 2. Agricultural and horticultural uses, excluding mink and fox, poultry and mushroom farming, piggeries and kennels provided that:
 - (a) The minimum site shall be five (5) acres;
 - (b) A building to shelter livestock or poultry shall be located not less than one hundred and fifty (150) feet from any adjoining residence, street or roadway, and fifty (50) feet from any property line.
 - 3. Accessory buildings not exceeding twelve (12) feet in height located in the rear yard of the building to which they are accessory, provided that:
 - A private garage or accessory building shall be situated -
 - (a) From the street line in front..... Minimum sixty (60) feet;
 - (b) From the side lot line Minimum three (3) feet;
 - (c) From the rear lot line Minimum five (5) feet;
 - (d) From the flanking street Minimum twenty-five (25) feet.
 - 4. Storage or parking ancillary to a residential use on the same lot:-
 - (a) Three vehicles, one of which may be a truck not exceeding three-quarter (3/4) ton capacity, and
 - (b) One house trailer and one camper, and
 - (c) Pleasure boats kept for other than gain or sale, and
 - (d) Wrecked vehicles are prohibited.

SUBDIVISION

- B. No land in an R-1 Zone shall be subdivided into parcels of less than twenty thousand (20,000) square feet and it is further provided that the minimum width of the site shall be one hundred (100) feet.

YARD

- C. Minimum yard requirements shall be as follows:-
 - 1. Front yardtwenty-five (25) feet;
 - 2. Rear yardtwenty-five (25) feet;
 - 3. Side yard six (6) feet;
 - 4. Side yard on a corner site.....
twelve and one-half (12.5) feet.

COVERAGE

D. Maximum site coverage Thirty-three (33) percent.

HEIGHT

E. Maximum height of a building thirty (30) feet.

SPECIAL PROVISION

F. The provisions of the Municipal Centre Community Plan By-law, 1962, No. 1917 and amending By-laws shall prevail in the area covered by said By-law 1917.