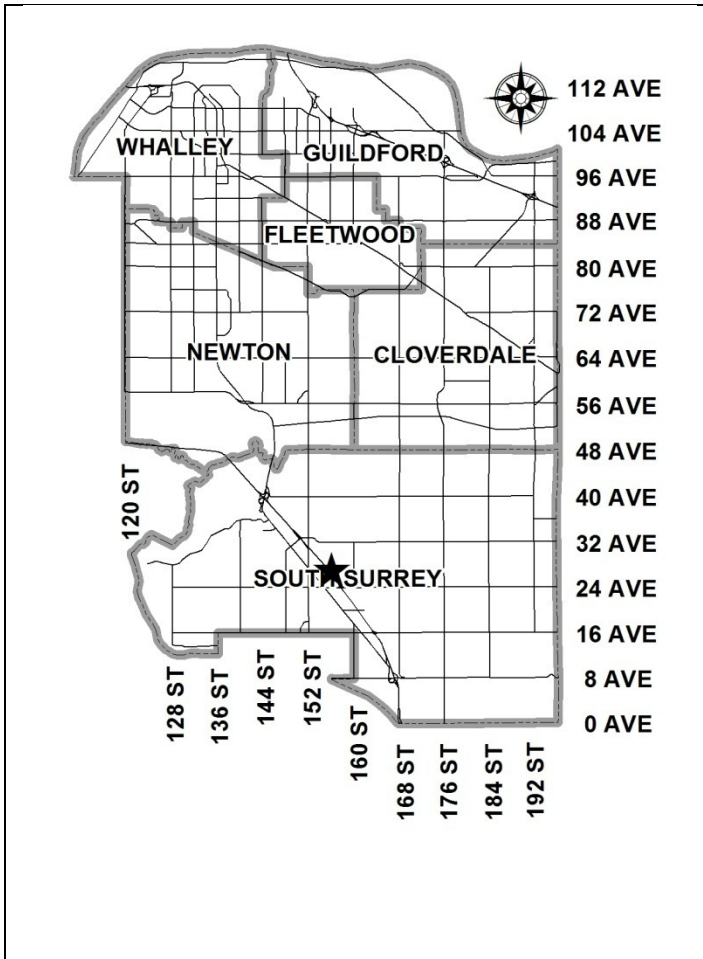


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7911-0051-00

Planning Report Date: June 27, 2011



PROPOSAL:

- **OCP amendment** from Suburban to Industrial
- **Rezoning** from RA to CD (based on IB) and RH
- **Development Permit**

in order to allow subdivision into two lots and to permit the development of a four-storey office building

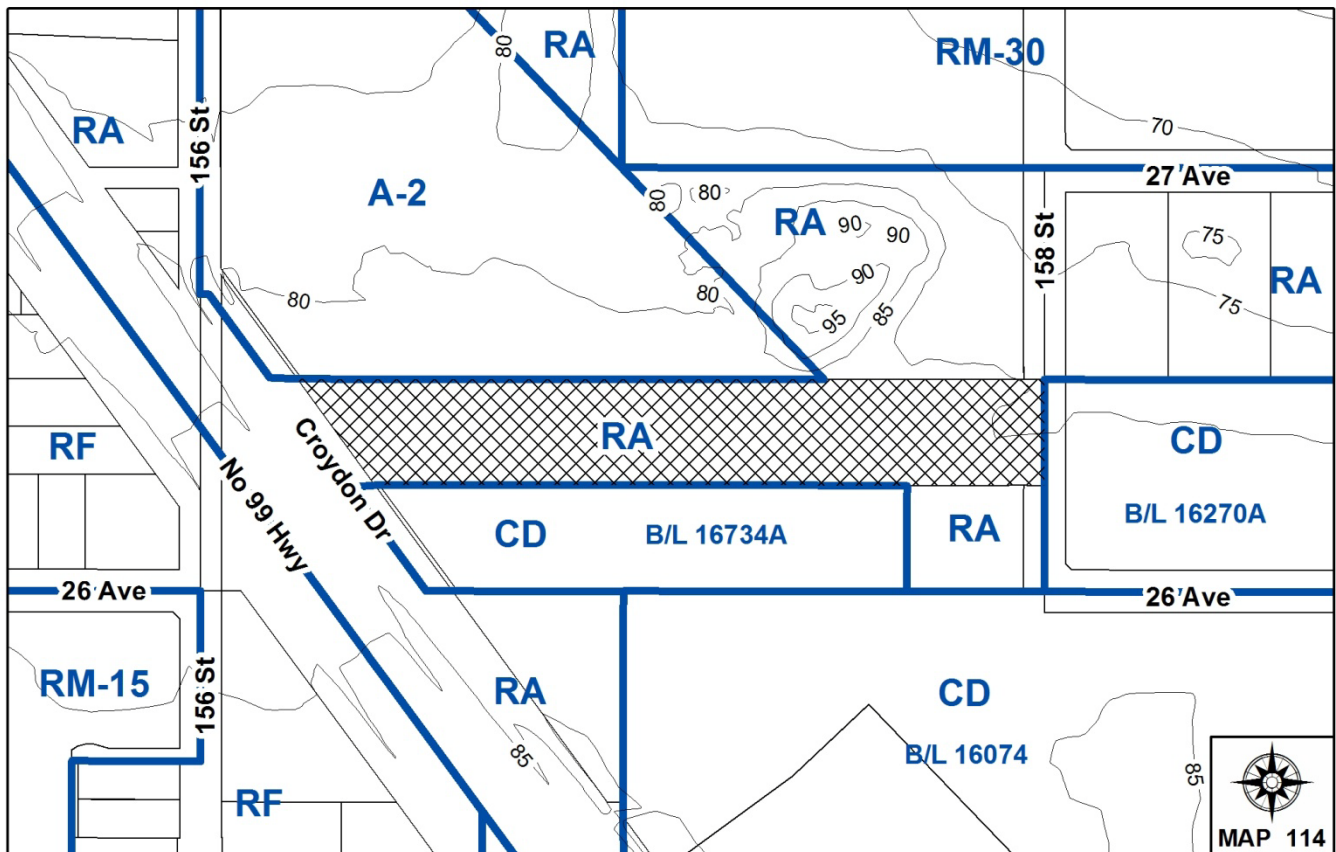
LOCATION: 2638 Croydon Drive

OWNERS: William Edwin Bray
 Pamela Bray

ZONING: RA

OCP DESIGNATION: Suburban

NCP/LAP DESIGNATIONS: Business Park Light Industrial, Buffer, and 20-30 upa Medium-High Density multi-family



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- An OCP amendment from Suburban to Industrial is proposed for the western portion of the site. While the project does not comply with the existing Suburban designation, it does comply with the Highway 99 Corridor Local Area Plan and the Morgan Heights Neighbourhood Concept Plan.
- The applicant proposes a CD Zone based on the IB Zone for the western portion of the site. The applicant would like a more limited range of uses than those permitted in the IB zone, while also allowing for increased FAR and building height.

RATIONALE OF RECOMMENDATION

- The proposed business park use complies with the Highway 99 Corridor Local Area Plan (LAP). The proposed OCP Amendment for the office building development was anticipated as part of the normal approval process for applications in the LAP to achieve the approved land use designation.
- The proposed density and building design mirror those of the project that was recently approved on the property to the south.
- The business park use is appropriate for this location, close to the Morgan Crossing development and public greenways.
- The proposed rezoning of the eastern portion of the site to the RH Zone is required to retain an existing single family home on a remnant lot. The remnant property will be developed in the future for a multi-family use in accordance with the Morgan Heights Neighbourhood Concept Plan.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP by redesignating the portion of the property identified as "Block B" on the survey plan attached as Appendix VIII, from Suburban to Industrial and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
3. A By-law be introduced to rezone the portion of the property identified as "Block B" on the survey plan attached as Appendix VIII, from One-Acre Residential Zone (RA) (By-law No. 12000) to Comprehensive Development Zone (CD) (By-law No. 12000) and a date be set for Public Hearing.
4. A By-law be introduced to rezone the portion of the property identified as "Block A" on the survey plan attached as Appendix VIII, from One-Acre Residential Zone (RA) (By-law No. 12000) to Half-Acre Residential Zone (RH) (By-law No. 12000) and a date be set for Public Hearing.
5. Council authorize staff to draft Development Permit No. 7911-0051-00 generally in accordance with the attached drawings (Appendix II).
6. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (d) final approval from BC Hydro;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (g) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (i) registration of a Section 219 Restrictive Covenant requiring fire sprinklers to NFPA standards and to release and indemnify the City from liability;

- (j) registration of a right-of-way for public passage through a portion of the residential site for a future walkway linkage and construction of this greenway, including a 4.0m public pathway;
- (k) registration of a reciprocal access easement for shared access to Croydon Drive with the property to the north (2660 Croydon Drive); and
- (l) registration of a Section 219 Restrictive Covenant for no new building on the portion of the property east of the BC Hydro right-of-way until it is consolidated with the property at 2609 – 158 Street and redeveloped for multi-family development in accordance with the Morgan Heights NCP.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Fire Department	The Fire Department requires the building to be protected with a sprinkler system, and to conform to the requirements of the E-COMM By-law No. 15740.
BC Hydro	BC Hydro has no objection in principle to the proposed development. Final approval cannot be granted until BC Hydro has reviewed more detailed plans.

SITE CHARACTERISTICS

Existing Land Use: Two existing single family homes on a large lot.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	One property containing a single family home, soil processing and storage, and one vacant property	Suburban in the OCP. Business Park Light Industrial and Buffer in the Highway 99 Corridor LAP. 20-30 upa Medium High Density in the Morgan Heights NCP	A-2 and RA
East (Across 158 Street):	Multi-family development	Multi-family in the OCP. 20-30 upa Medium High Density in the Morgan Heights NCP	CD

Direction	Existing Use	OCP/NCP Designation	Existing Zone
South:	One property containing a four-storey office building under construction. One property with an existing single family home, for future consolidation with a portion of the subject site.	Industrial and Suburban in the OCP. Business Park Light Industrial and Buffer in the Highway 99 Corridor LAP. 20-30 upa Medium High Density in the Morgan Heights NCP.	CD and RH
West (Across Croydon Drive, Highway 99 and Cranley Drive):	Single family residential, multi-family residential and park.	Urban in the OCP. Townhouses (15 upa) in the King George Highway Corridor Land Use Plan.	RF and RM-15

JUSTIFICATION FOR PLAN AMENDMENT

- The subject site is located between Croydon Drive and 158 Street, just north of the Morgan Crossing Lifestyle Village. The site area is approximately 1.7 hectares (4.2 acres). The site is currently zoned "One-Acre Residential Zone" (RA) and is designated "Suburban" in the Official Community Plan (OCP). The western portion of the site is designated "Business Park Light Industrial" and "Buffer" in the Highway 99 Corridor Local Area Plan (LAP). The eastern portion of the site is designated "20-30 upa Medium High Density" multi-family in the Morgan Heights Neighbourhood Concept Plan (NCP).
- The BC Hydro corridor runs through the centre of the property and renders the affected land largely un-buildable. The right-of-way, encompasses a portion of the "Industrial Business Park" and the "Buffer" land use designations. The lands designated for multi-family use are located to the east of the right-of-way.
- The applicant proposes to subdivide the land into two lots; the new property line will run parallel to the eastern edge of the hydro corridor and will coincide with the division between the between the buffer and the multi-family land use designations.
- The western lot is proposed to be approximately 1.2 ha (3.0 acres) and developed with a four-storey office building, in accordance with the Highway 99 Corridor LAP. An OCP amendment is required to redesignate this portion of the site from "Suburban" to "Industrial".
- The proposed OCP amendment was anticipated in order to achieve the land use designation set out in the Highway 99 Corridor LAP. The LAP was approved by Council in February 2004. The majority of the lands within this LAP area must be redesignated in the OCP in order to be developed in accordance with the LAP. A very similar application was approved in May, 2009 for the property immediately to the south of the subject site.

- The eastern 0.4 ha (1.0 acres) is not proposed to be developed at this time. The existing single family dwelling will be retained. As such, this portion of the site will remain under the "Suburban" designation until it is consolidated with the property to the south and developed for a multi-family use in accordance with the Morgan Heights NCP. A rezoning to RH is required as part of the current application because the remnant will be too small to comply with the existing RA zone. A Section 219 restrictive covenant will be required to ensure no new buildings are constructed until the lot is redeveloped.

DEVELOPMENT CONSIDERATIONS

Industrial Development

- On the western portion of the site, in addition to the proposed OCP amendment, the applicant proposes a rezoning from "One-Acre Residential Zone" (RA) to "Comprehensive Development Zone" (CD). The CD Zone is intended to accommodate a four-storey business park/office building. A development permit (DP) is also required.
- The proposed CD Zone is based on the IB Zone, with differences summarized in the table below. The proposed by-law is attached to this report as Appendix VII:

	IB Zone	Proposed CD Zone
Density (FAR)	0.75	1.2
Principal Building Height	12 m (40 ft) [3 storeys]	18 m (59 ft.) [4 storeys]
Lot Coverage	45%	28%
Setbacks	7.5 m (25 ft.) on all sides. One side yard setback may be reduced to 3.6 m (12 ft.) if that side yard abuts commercial or industrial property	West yard: 7.5m (25 ft) East yard: 120 m (390 ft.) North yard: 14 m (46 ft.) South yard: 4.0 m (13 ft)
Uses	<p>The following uses, which are permitted in the IB zone, are proposed to be excluded from the CD zone:</p> <ul style="list-style-type: none"> Accessory retail to an industrial use; Assembly halls; and Child care centres. <p>In addition, eating establishments are proposed to be limited to a maximum area of 185 m² (2,000 ft²) and may be located on the ground floor only.</p>	

- The proposed floor area ratio (FAR) of 1.2 is higher than the 0.75 FAR permitted under the IB Zone. In this case, however, the lands encumbered by the BC Hydro right-of-way are considered undevelopable and therefore excluded from the calculation of FAR. If these lands are considered, the FAR would be 0.59, which is lower than the IB zone would permit.
- The proposed maximum building height of 18 m (59 ft.) is greater than the IB zone would permit. The height is considered appropriate for the area; a very similar four-storey office building is under construction immediately to the south, and similar heights can be found farther south at the Morgan Crossing development.

- Both the increased density and height reflect the impact of the BC Hydro corridor on the site. The lands within the corridor are considered undevelopable, but can be used for parking. As such, the increased FAR and building height allow for more efficient use of the employment lands outside of the right-of-way.
- The proposed 28% lot coverage is well below the 45% maximum permitted under the IB Zone. Again, this reflects the encumbrance of the Hydro right-of-way and allows the applicant to provide appropriate landscaping and the number of parking stalls they require.
- The proposed setbacks are consistent with the requirements of the IB Zone. The 4.0 m (13 ft.) setback identified on the south side is located adjacent to industrially-designated site.
- The applicant has requested that assembly halls and child care centres be excluded from the CD Zone because they may not be compatible with the office and service uses that are anticipated to occupy the building. For the same reason, the size and location of eating establishments are limited at the applicant's request.
- The IB Zone permits light impact industrial businesses to have an accessory retail component. The accessory retail will not be permitted on this site. Staff have noted that the retail provision has been problematic on existing IB-zoned sites throughout the city due to its ambiguity and lack of enforceability. For this reason, retail is discouraged on industrially-designated properties and in IB-based zones.

Remainder Lot

- The applicant proposes to rezone the lands east of the BC Hydro corridor from "One Acre Residential Zone" (RA) to "Half-Acre Residential Zone" (RH). This rezoning will allow the existing single family dwelling to remain on the lot, in compliance with the RH zone.
- The remainder lot is designated for multi-family development (20-30 units per acre) in the Morgan Heights NCP. It will require consolidation with the adjacent property to the south in order to develop. The applicant will be required to register a "no-build" restrictive covenant on this lot to ensure that no new buildings or structures are erected until the land is consolidated for development in accordance with the NCP.
- A 10m (33 ft.) wide right-of-way will be required on the remainder lot for continuity of a greenway, including pedestrian pathway, that has been established on the lot to the south.
- The applicant will be required to construct the greenway as part of the subject application.

PRE-NOTIFICATION

Pre-notification letters were sent on April 21, 2011 and staff received one phone call from a neighbour who was generally concerned about levels of construction traffic in her neighbourhood. She said that she had no specific concerns with the proposal or with the applicants, who are currently constructing an office building on the property to the south of the subject site.

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

DESIGN PROPOSAL AND REVIEW

- The proposed 4-storey business park/office building has an approximate total floor area of 7,165 square metres (77,110 sq.ft.). The building is intended to primarily be an office building, however the proposed CD Zone will permit some other business park uses, similar to the IB Zone. These include warehouse, distribution and service uses, among others. See Appendix VII for the proposed CD by-law.

Access/Parking

- Vehicular access to the site is from Croydon Drive and will be shared with the property to the north when that property develops. Registration of a reciprocal access easement will be required prior to final adoption of the rezoning by-law.
- The applicant proposes 239 parking spaces, which substantially exceeds the minimum 167 spaces required under the Zoning By-law. The applicant has provided data that suggests the additional spaces are required; the data shows that offices in this area are typically populated by approximately three to five employees per 1000 square feet, which would necessitate more parking than the two to three spaces per 1000 square feet required by the Zoning By-law.
- Although the site is adjacent to a future public transit route, the area is not yet well-served by transit and users of the proposed building will be primarily auto dependent.
- The applicant will provide bicycle facilities in order to encourage alternate forms of travel while transit is unavailable, and because the site is located adjacent to the Pioneer Greenway on Croydon Drive. Bicycle parking will include outdoor racks and some secure storage lockers. The outdoor bicycle racks will be located at the northeast and southeast corners of the building. End-of-trip facilities are also proposed in the form of one shower each and change facilities for men and women.
- Additionally, the applicant will reserve three parking spaces for staff carpools. These spaces are located close to the building entrance.
- Pedestrian pathways are proposed to provide access from the building to Croydon Drive, to the eastern end of the parking lot, and south through the adjacent property to the Morgan Crossing shopping centre.

Architectural Design

- The project architect has designed the office building to mirror and complement the building that is currently under construction on the property to the south. The proposed articulation at the southwest corner of the building presents an interesting elevation to Croydon Drive.
- The building is proposed to be made of tilt-up concrete and feature a significant amount of glass and spandrel glass on all four elevations. Glazing features prominently around the building entrance and on the articulated corners at the northeast and southwest.
- Fascia signage is proposed to consist of individually lit channel letters and will be required to comply with the Sign By-law.
- The proposed colour scheme for the building includes beige and grey as the primary colours with green accents.
- The building is set back 7.5m from the west property line on Croydon Drive, with parking located to the north and east.
- Outdoor patios and seating areas for the benefit of those employed in the building will be located at the southwest and southeast corners of the property.
- The building features appropriate lighting on all sides in accordance with Crime Prevention Through Environmental Design (CPTED) principles and the rear parking area under the Hydro Corridor will be gated at night.

Tree Preservation and Landscaping

- The applicant retained Diamond Head Consulting to undertake a site inspection and prepare a report with recommendations for tree retention and removal. Of the 51 mature trees on the site, 18 are proposed to be retained and 33 removed. The majority of the trees designated for retention are located on the remnant lot.
- The table below provides a summary of the proposed tree retention and removal:

Tree Species	Total No. of Protected Trees	Total Proposed for Retention	Total Proposed for Removal
Apple	2	0	2
Birch	1	0	1
Cottonwood	4	1	3
Douglas Fir	21	9	12
Hazelnut	1	0	1
Lombardy Poplar	5	1	4
Maple (big leaf)	1	1	0
Red Alder	7	4	3
Western Red Cedar	8	2	6
Willow	1	0	1
Total	51	18	33

Figure 1: Trees proposed for retention and removal

- To supplement the trees being retained, the applicant's landscape architect proposes a combination of new trees and shrubs in a variety of species. In total, 60 new trees will be added to the site.
- The applicant proposes to construct a bio-swale on the eastern edge of the parking lot, adjacent to the new property line. The bio-swale will be 1.8 m (6 ft.) wide within a 2.7 m (9 ft.) wide landscaping bed. This feature will serve two purposes: first, it will allow infiltration of runoff from the parking area. Second, it will enhance the interface between the parking lot and the residential property to the east.
- The bio-swale, staff patio area, and public right-of-way address the buffering requirement identified in the Highway 99 Corridor Land Use Plan.
- Flowering cherry trees are proposed on both sides of the driveway to enhance and emphasize the entrance to the site.
- The applicant proposes to integrate the landscaping between the buildings on this site and the property to the south to provide continuity and visual appeal between the two similar developments.
- The height of planting within the parking area is limited because of the BC Hydro right-of-way. In this area the landscape architect proposes some globe maples and table top pines, which are low-growing but will help to visually break up the parking area.
- The garbage container will be screened by a decorative enclosure and surrounded by planting on three sides.
- A free-standing sign is proposed near the vehicle entrance on Croydon Drive. The sign will be designed to complement the design of the building; the outside edges and base of the sign will be concrete and the sign face will have a brushed metal finish with engraved letters.

ADVISORY DESIGN PANEL

ADP Meeting Date: May 12, 2011

- Some of the ADP suggestions have been satisfactorily addressed, except for the following which will be addressed prior to final approval:
 - Landscaping refinements; and
 - Clarification of signage details.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV	Summary of Tree Survey and Tree Preservation
Appendix V	ADP Comments
Appendix VI	OCP Redesignation Map
Appendix VII	Proposed CD By-law
Appendix VIII	Zoning block plan

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Ionic Architecture and JHL Design Group, respectively, dated June 14, 2011

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

MJ/kms

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Leigh Sully, Elkay Developments Ltd.
 Address: 15252 - 32 Avenue, Unit 101A
 Surrey, BC

 Tel: 604-531-6573

2. Properties involved in the Application
 - (a) Civic Address: 2638 Croydon Drive

 - (b) Civic Address: 2638 Croydon Drive
 Owners: William Edwin Bray
 Pamela Bray
 PID: 002-396-581
 Lot 1 Except: Part Shown on Plan 25810; Section 23 Township 1 New Westminster District
 Plan 10600

3. Summary of Actions for City Clerk's Office
 - (a) Introduce a By-law to amend the Official Community Plan to redesignate a portion of the
 property.

 - (b) Introduce a By-law to rezone the property.

DEVELOPMENT DATA SHEET

Proposed Zoning: CD and RH

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		12,216
Road Widening area		111
Undevelopable area		5,691
Net Total		6,414
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	32%	29.5%
Paved & Hard Surfaced Areas		32.3%
Total Site Coverage		61.8%
SETBACKS (in metres)		
Front	7.5	7.5
Rear	120	121
Side #1 (south)	4.0	4.1
Side #2 (north)	14.0	14.6
BUILDING HEIGHT (in metres/storeys)		
Principal	18.0	17.9
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		7,400
Total		7,400
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		7,400

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

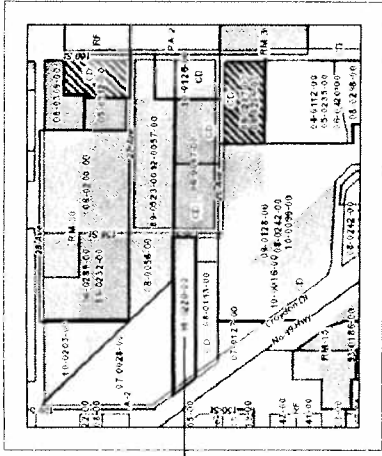
Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)		1.15
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)	167	239
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	167	239
Number of disabled stalls	2	3
Number of small cars	42	30
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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COVER SHEET		PROJECT NO. 1000000000	
PROPOSED OFFICE BUILDING		DATE: 10/14/11	
2638 CROYDON DRIVE		DRAWN BY: [Name]	
SURREY, B.C.		CHECKED BY: [Name]	
ARCHITECT: [Firm Name]		SCALE: [Scale]	
PROJECT NO. 1000000000		DATE: 10/14/11	
DRAWN BY: [Name]		CHECKED BY: [Name]	
SCALE: [Scale]		DATE: 10/14/11	

2630 Croydon Drive
Surrey
Proposed office building



site zoning map

THIS ADDRESS
2638 Croydon Drive, Surrey, B.C. is proposed to change to 2638
LOCAL REGISTRATION
LOT 1, SEC 21, BR 1, MAP PLAN 19976
RG Number: 202-146-583

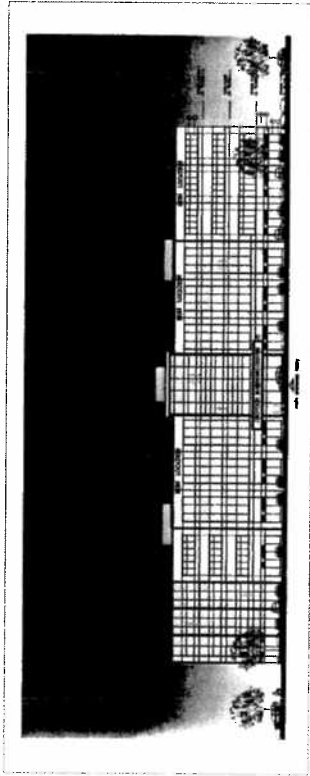
- LEGEND**
- 1.00 - COVER SHEET
 - 1.01 - DESIGN STATEMENT
 - 1.02 - SITE PLAN
 - 1.03 - EXISTING PLAN
 - 1.04 - PROPOSED PLAN
 - 1.05 - EXISTING ELEVATION
 - 1.06 - PROPOSED ELEVATION
 - 1.07 - SECTION TO EXISTING FLOOR
 - 1.08 - SECTION TO EXISTING ROOF
 - 1.09 - SECTION TO EXISTING WALL
 - 1.10 - SECTION TO EXISTING FOUNDATION
 - 1.11 - SECTION TO EXISTING FOUNDATION
 - 1.12 - SECTION TO EXISTING FOUNDATION
 - 1.13 - SECTION TO EXISTING FOUNDATION
 - 1.14 - SECTION TO EXISTING FOUNDATION
 - 1.15 - SECTION TO EXISTING FOUNDATION
 - 1.16 - SECTION TO EXISTING FOUNDATION
 - 1.17 - SECTION TO EXISTING FOUNDATION
 - 1.18 - SECTION TO EXISTING FOUNDATION
 - 1.19 - SECTION TO EXISTING FOUNDATION
 - 1.20 - SECTION TO EXISTING FOUNDATION

REVISED TO JUNE 14 /11



2638 Croydon
2626 Croydon

site environs

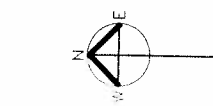


north (entrance) elevation

Croydon Business Centre
2638 Croydon Drive
Surrey B.C.

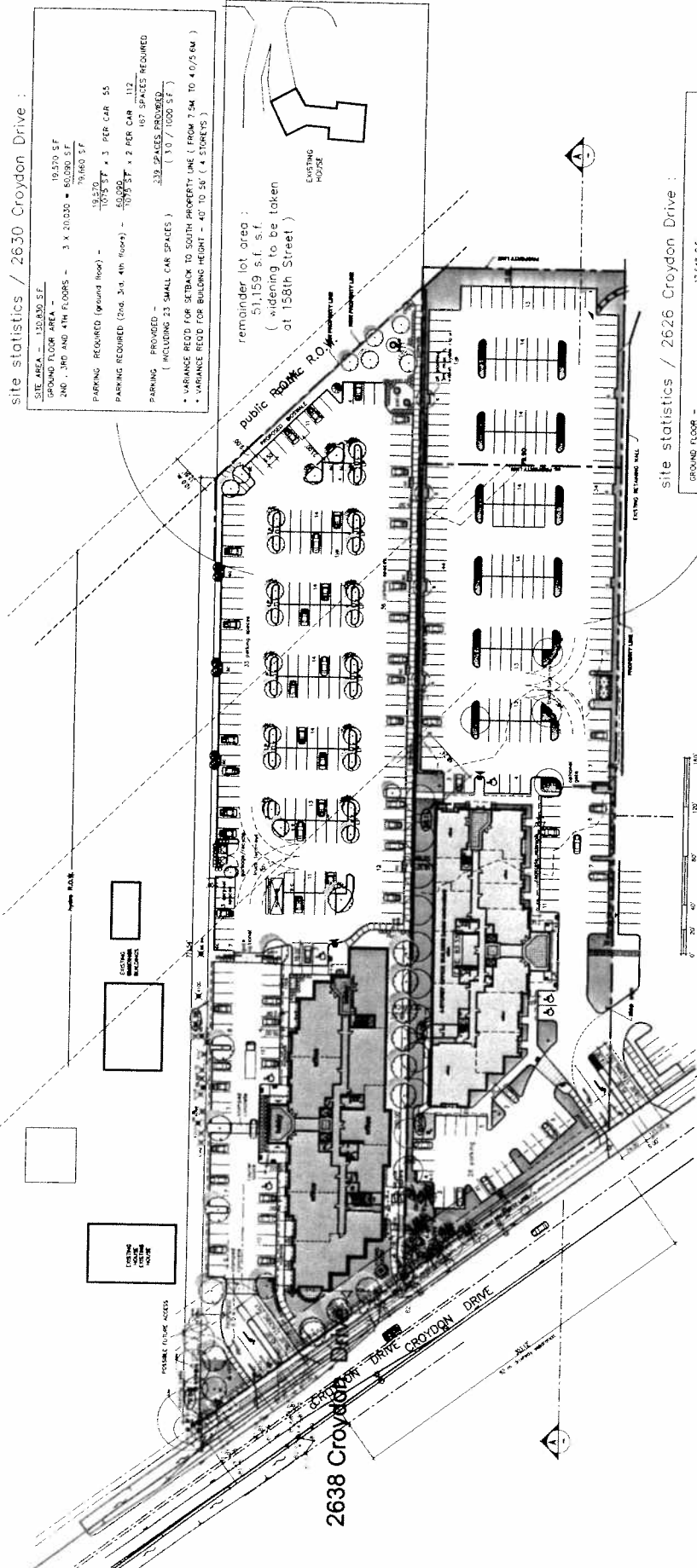
03	10-10-14	A-2	2638 CROYDON DRIVE SURREY B.C.	201 - 6000 156th Street Unit (778) 871-0818 Project No. 1000 Project Name: 2638 CROYDON DRIVE SURREY B.C.
02	5-04-11			201 - 6000 156th Street Unit (778) 871-0818 Project No. 1000 Project Name: 2638 CROYDON DRIVE SURREY B.C.
01	8-20-11			201 - 6000 156th Street Unit (778) 871-0818 Project No. 1000 Project Name: 2638 CROYDON DRIVE SURREY B.C.

revised to June 14 /11



site statistics / 2630 Croydon Drive :

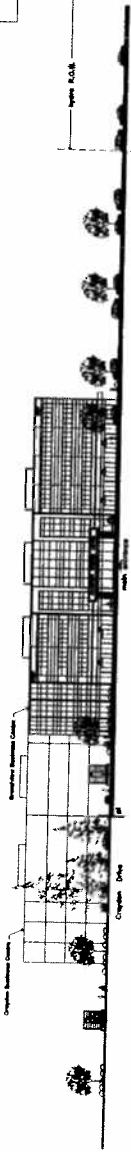
SITE AREA - 120,840 S.F.
 GROUND FLOOR AREA - 3 X 20,030 = 60,090 S.F.
 2ND, 3RD AND 4TH FLOORS - 10,870 S.F. X 3 = 32,610 S.F.
 PARKING REQUIRED (ground floor) - 10,870 S.F. X 3 PER CAR 55
 PARKING REQUIRED (2nd, 3rd, 4th floors) - 50,020 S.F. X 2 PER CAR 112
 PARKING PROVIDED - 238 SPACES PROVIDED (3.0 / 1000 S.F.)
 (INCLUDING 23 SMALL CAR SPACES)
 * VARIANCE REQD FOR SETBACK TO SOUTH PROPERTY LINE (FROM 7.5M TO 4.0/5.0M)
 * VARIANCE REQD FOR BUILDING HEIGHT - 40' TO 55' (4 STORIES)



site statistics / 2626 Croydon Drive :

GROUND FLOOR - 17,648 S.F.
 2ND, 3RD AND 4TH FLOORS - 3 X 17,816 = 53,448 S.F.
 TOTAL AREA - 71,096 S.F.
 PARKING REQUIRED (ground floor) - 17,648 S.F. X 3 PER CAR 50
 PARKING REQUIRED (2nd, 3rd, 4th floors) - 53,448 S.F. X 2 PER CAR 100
 PARKING PROVIDED - 150 SPACES PROVIDED (3.0 / 1000 S.F.)
 (INCLUDING 9 SMALL CAR SPACES)

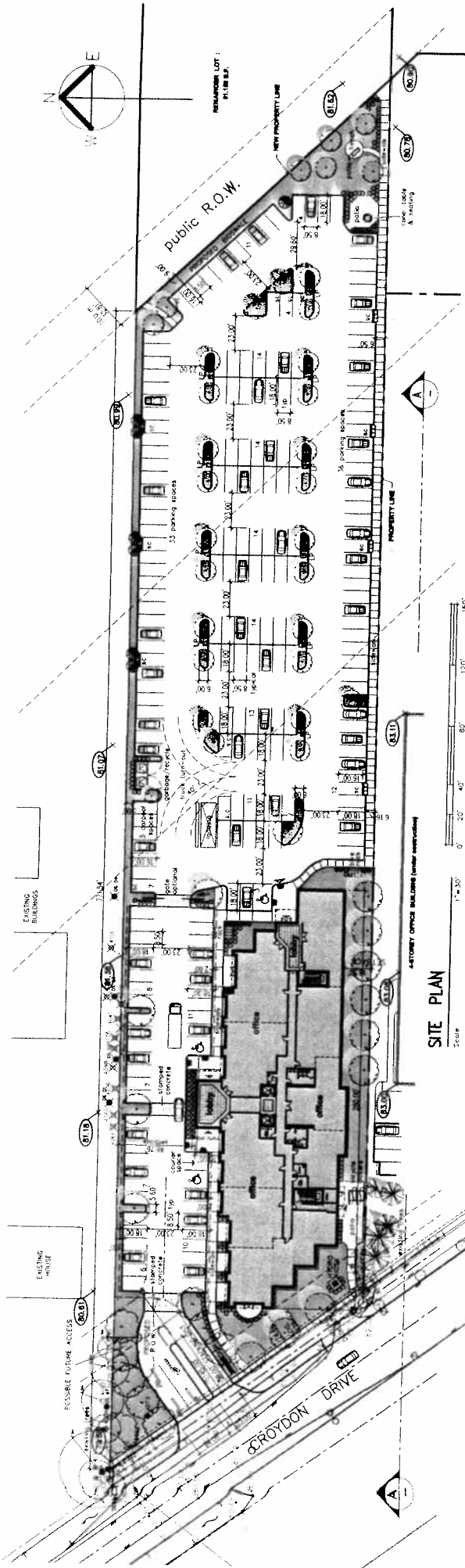
SITE CONTEXT PLAN
 Scale: 1" = 40'



SITE SECTION A-A
 Scale: 1" = 40'

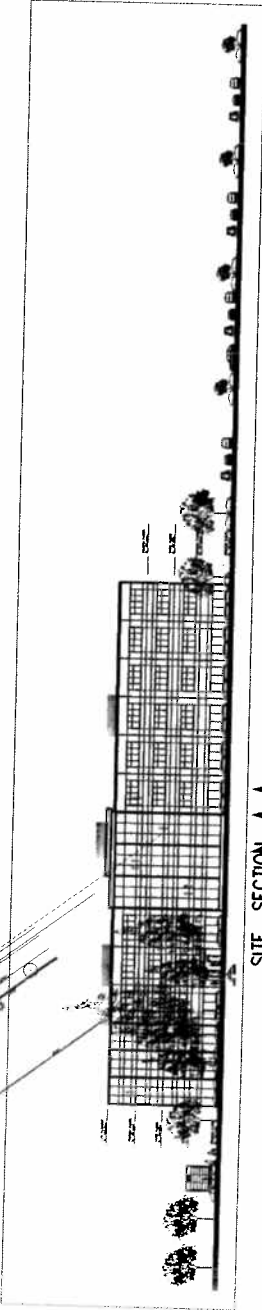
Croydon Business Centre

2638 Croydon Drive
 Surrey B.C.



site statistics :

OVERALL SITE AREA (SEE PROPOSAL SET) - (12.78 ACRES) = 543,200 SF	PROPOSED BUILDING AREA - (1,200 SF)
EXISTING BUILDING AREA - (5,800 SF)	PROPOSED PARKING AREA - (1,200 SF)
NET DEVELOPMENT SITE AREA - (5,414 SQ. FT.) (10.64 ACRES) = 59,043 SF	DENSITY PROVIDED - 10.8 PER ACRE (1.47 PER 1000 SF)
DENSITY PROVIDED - 10.8 PER ACRE (1.47 PER 1000 SF)	FLOOR AREA (PROPOSED) - 1,200 SF
FLOOR AREA (EXISTING) - 5,800 SF	GROUND FLOOR - 1,200 SF
FLOOR AREA (TOTAL) - 7,000 SF	2ND, 3RD & 4TH FLOORS - 0 SF
COVERAGE ALLOWED - 45.8% (TYPE R.O.W. EXCLUDED) = 248,000 SF	COVERAGE PROVIDED - 22.1% (TYPE R.O.W. EXCLUDED) = 115,000 SF
COVERAGE PROVIDED - 22.1% (TYPE R.O.W. EXCLUDED) = 115,000 SF	PROVIDED/ALLOWED - 50.2% (TYPE R.O.W. EXCLUDED)
FRONT (N)	25 FT
REAR (S)	25 FT
SIDE (E)	25 FT
SIDE (W)	25 FT
MAX HEIGHT	40 FT
PARKING REQUIRED (GROUND FLOOR) - 17 SPACES	PARKING PROVIDED - 33 SPACES
PARKING REQUIRED (TOTAL) - 17 SPACES	PARKING PROVIDED - 33 SPACES
ACCESSIBLE SPACES - 1 PER 100 = 2 SPACES	ACCESSIBLE SPACES PROVIDED - 2 SPACES
BICYCLE PARKING REQUIRED - 1 PER 100 = 2 SPACES	BICYCLE PARKING PROVIDED - 2 SPACES
BICYCLE PARKING PROVIDED - 2 SPACES	



SITE SECTION A-A

Scale 1" = 30'

GRADING KEY

(ELEVATIONS IN METRES)

(Symbol)	DESCRIPTION
(Symbol)	EXISTING GRADE
(Symbol)	PROPOSED GRADE
(Symbol)	FINISH FLOOR ELEVATION
(Symbol)	SURFACE DRAINAGE
(Symbol)	CATCH BASIN / MANHOLE

LIGHTING LEGEND

(Symbol)	DESCRIPTION
(Symbol)	POLE LIGHT - 10', 15', 20'
(Symbol)	WALL MOUNTED LIGHT (SINGLE OR DOUBLE SIDE)
(Symbol)	BOLLARD LIGHTING (3 FT)
(Symbol)	POST-TOP LIGHTING

Croydon Business Centre
 2638 Croydon Drive
 Surrey B.C.

REVISED TO: JUNE 20 / 11

NO.	DATE	BY	REVISION
01	10-10-11	...	...
02	10-10-11	...	...
03	10-10-11	...	...

PROJECT NO. 03 10-10-11

PROJECT NAME: PROPOSED OFFICE BUILDING 2638 CROYDON DRIVE, SURREY, B.C.

DATE: 10-10-11

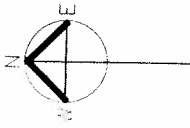
SCALE: AS SHOWN

PROJECT NO. 03 10-10-11

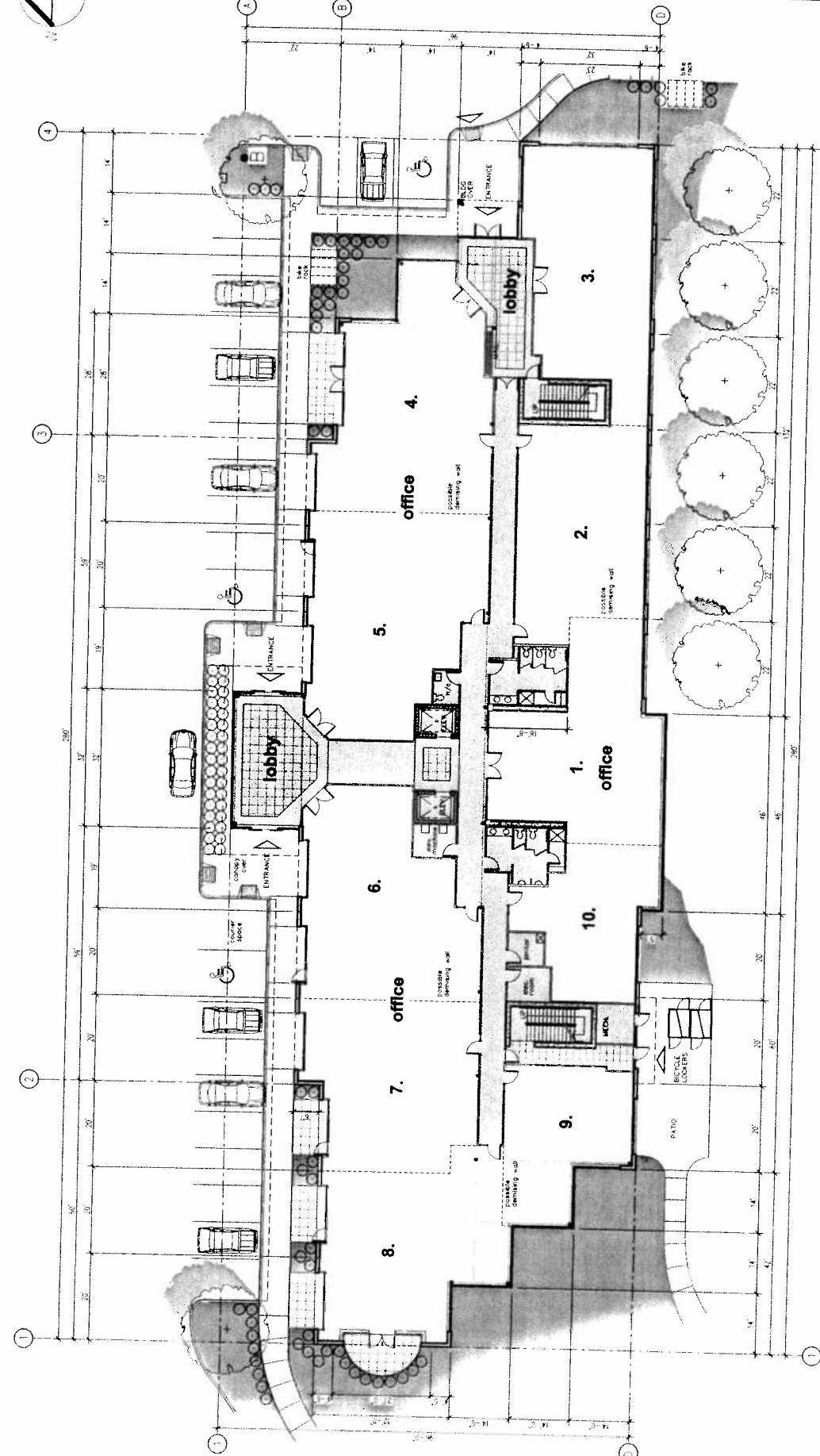
PROJECT NAME: PROPOSED OFFICE BUILDING 2638 CROYDON DRIVE, SURREY, B.C.

DATE: 10-10-11

SCALE: AS SHOWN

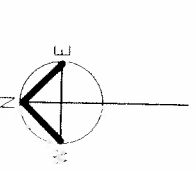


Sheet	03
Project No.	15-1048
Project Title	A-4 PROPOSED OFFICE BUILDING
Client	201-6600 Royal Street 2038 Crystal Drive Surrey, BC
Architect	BONNE ARCHITECTURE architect - member o.l.b.c. 201-6600 Royal Street Surrey, BC V3V 6A6 Tel: (778) 871-0818 www.bonnearchitect.com
Date	03-20-11
Description	RE-DESIGN FOR O.P. RE-DESIGN FOR O.P. RE-DESIGN FOR O.P.



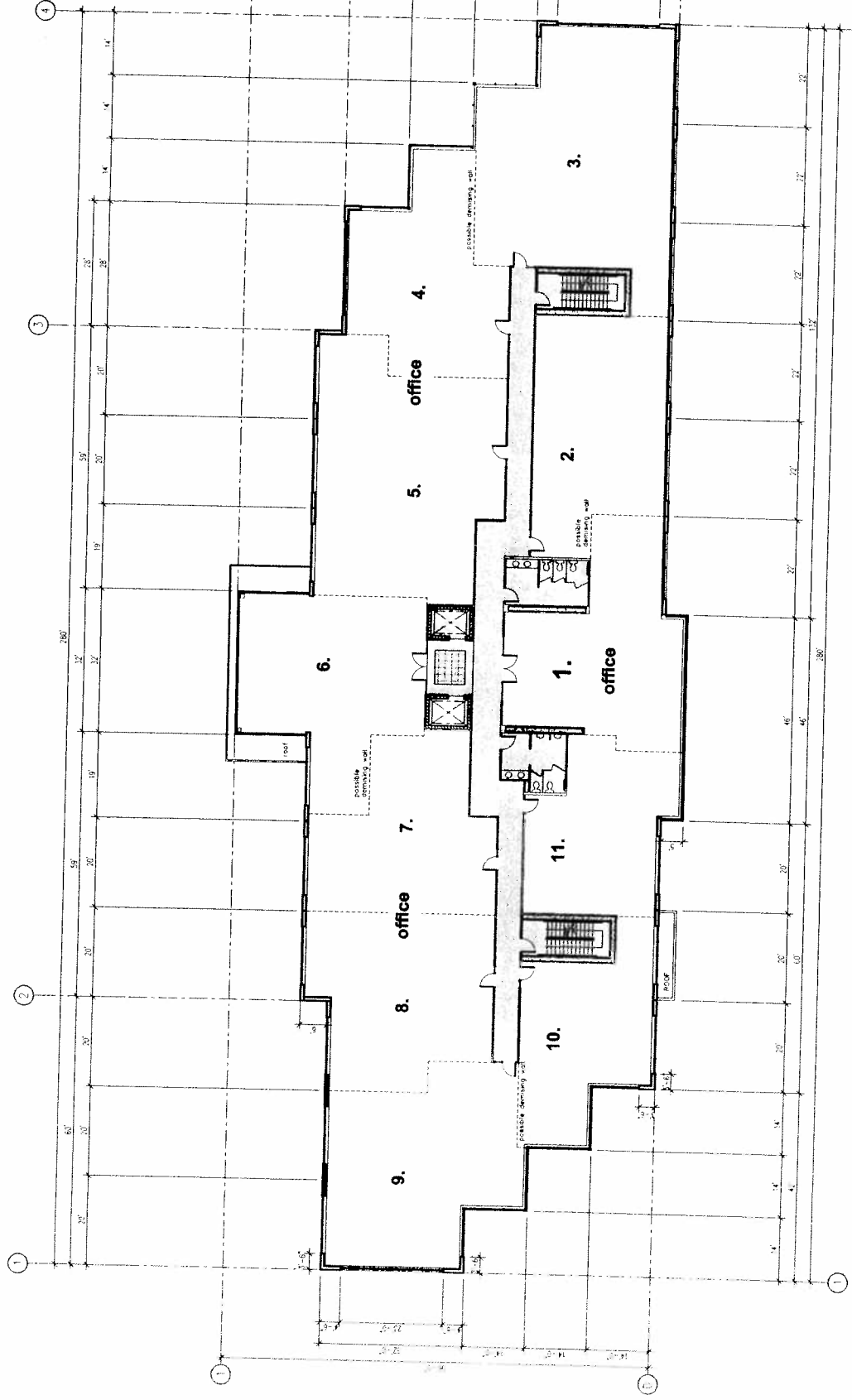
GROUND FLOOR PLAN
Scale: 1/8" = 1'-0"
gross floor area : 19,570 s.f.

REVISED TO: 03-20-11



NO. 03	10-10-03	A-5	PROPOSED OFFICE BUILDING 2658 CROFTON DRIVE SURREY, BC
DATE	REV. 2003	2ND, 3RD & 4TH FLOOR PLANS	
PROJECT NO.	201-5500 FOR D.P.		
DATE	11-04-11		
NO.	11-04-11		
DATE	01-04-11		
NO.	01-04-11		
DATE	01-04-11		
NO.	01-04-11		
DATE	01-04-11		
NO.	01-04-11		
DATE	01-04-11		

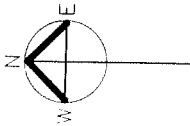
REVISED TO: JUNE 17 /11



2ND, 3RD, 4TH FLOOR PLANS

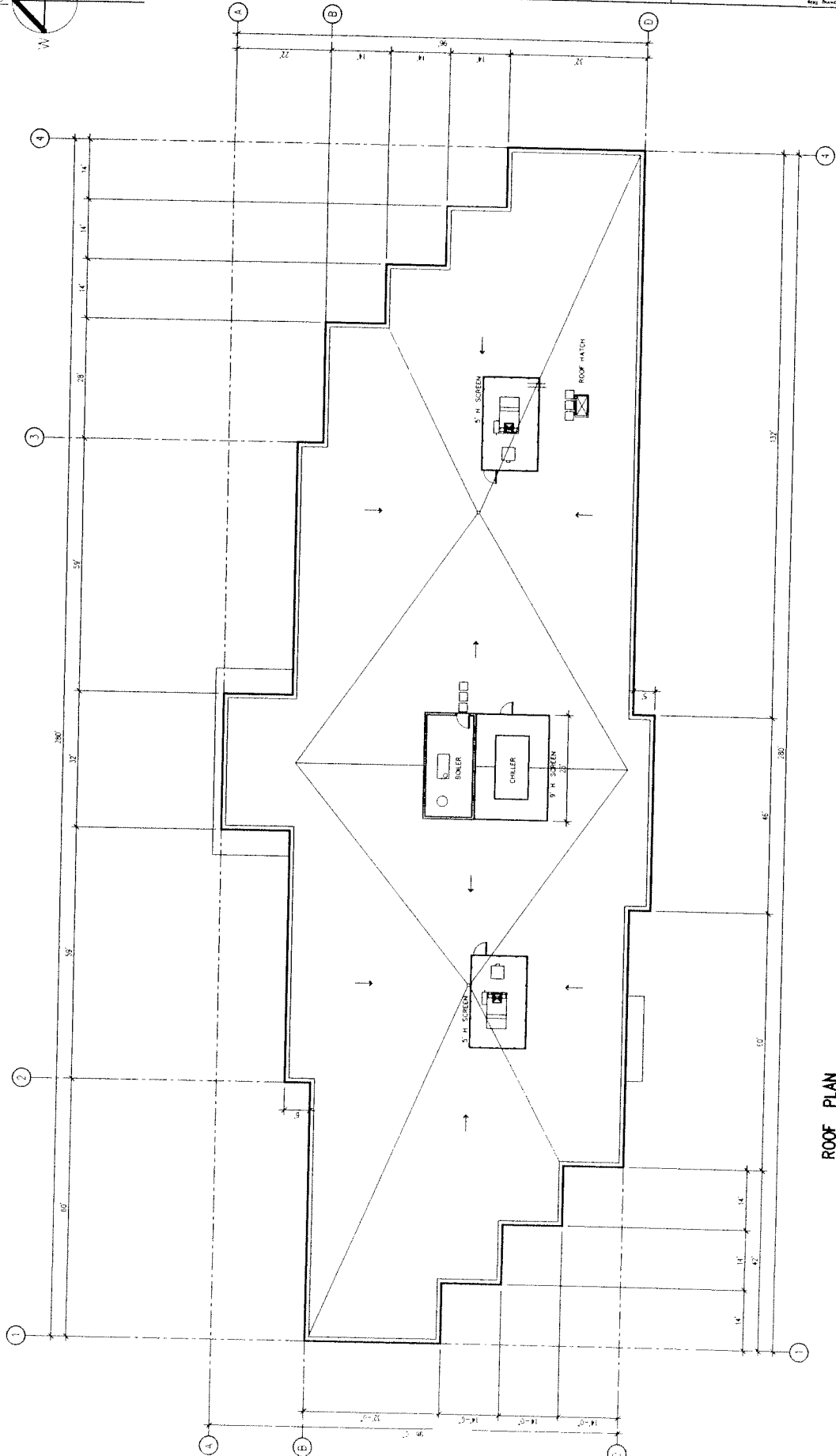


gross floor area : 20,030 s.f.



Sheet	A-6	Project No.	10-1048
Scale	AS SHOWN	Issue	FEB 2011
Client	PROPOSED OFFICE BUILDING	Project Title	PROPOSED OFFICE BUILDING
Architect	2638 Gordon Drive Surrey, BC	Architect	Architect-member a.i.b.c.
Structural Engineer	201-600 1848 Street Surrey, B.C. V4A 0A8 Tel: (778) 871-0818 http://www.mca-architects.com	Date	01 5-20-11
Structural Engineer	Architect-member a.i.b.c.	Date	02 5-24-11
Structural Engineer	Architect-member a.i.b.c.	Date	03 5-24-11
Structural Engineer	Architect-member a.i.b.c.	Date	04 5-24-11
Structural Engineer	Architect-member a.i.b.c.	Date	05 5-24-11

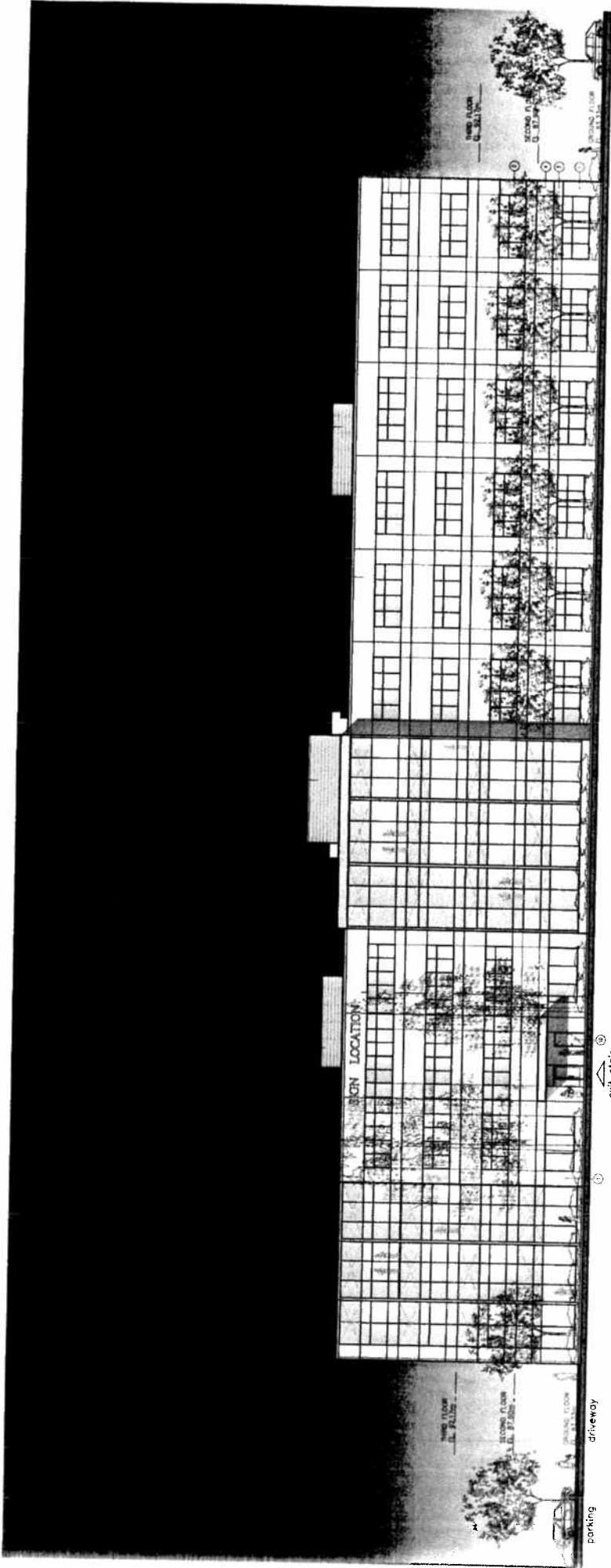
REVISED TO JUNE 14 /11



ROOF PLAN



Scale 1/32" = 1'-0"



south elevation

NOTE: ALL GLASS & GLAZING TO BE SET TO BE REFLECTIVE
 ALL GLASS & GLAZING TO BE REFLECTIVE

EXTERIOR MATERIALS & FINISHES	
①	CONCRETE WALL / FAÇADE
②	CONCRETE WALL / FAÇADE
③	CONCRETE WALL / FAÇADE
④	CONCRETE WALL / FAÇADE
⑤	CONCRETE WALL / FAÇADE
⑥	CONCRETE WALL / FAÇADE
⑦	CONCRETE WALL / FAÇADE
⑧	CONCRETE WALL / FAÇADE
⑨	CONCRETE WALL / FAÇADE
⑩	CONCRETE WALL / FAÇADE
⑪	CONCRETE WALL / FAÇADE
⑫	CONCRETE WALL / FAÇADE
⑬	CONCRETE WALL / FAÇADE
⑭	CONCRETE WALL / FAÇADE
⑮	CONCRETE WALL / FAÇADE
⑯	CONCRETE WALL / FAÇADE
⑰	CONCRETE WALL / FAÇADE
⑱	CONCRETE WALL / FAÇADE
⑲	CONCRETE WALL / FAÇADE
⑳	CONCRETE WALL / FAÇADE
㉑	CONCRETE WALL / FAÇADE
㉒	CONCRETE WALL / FAÇADE
㉓	CONCRETE WALL / FAÇADE
㉔	CONCRETE WALL / FAÇADE
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㉖	CONCRETE WALL / FAÇADE
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㉙	CONCRETE WALL / FAÇADE
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㉜	CONCRETE WALL / FAÇADE
㉝	CONCRETE WALL / FAÇADE
㉞	CONCRETE WALL / FAÇADE
㉟	CONCRETE WALL / FAÇADE
㊱	CONCRETE WALL / FAÇADE
㊲	CONCRETE WALL / FAÇADE
㊳	CONCRETE WALL / FAÇADE
㊴	CONCRETE WALL / FAÇADE
㊵	CONCRETE WALL / FAÇADE
㊶	CONCRETE WALL / FAÇADE
㊷	CONCRETE WALL / FAÇADE
㊸	CONCRETE WALL / FAÇADE
㊹	CONCRETE WALL / FAÇADE
㊺	CONCRETE WALL / FAÇADE

NO.	DESCRIPTION	DATE	BY	CHECKED BY	APPROVED BY
1	ISSUED FOR PERMITS				
2	ISSUED FOR CONSTRUCTION				
3	ISSUED FOR AS-BUILT				
4	ISSUED FOR ARCHIVE				

DATE	REVISION	BY	CHECKED BY	APPROVED BY
03/10/14	03 TO 11/14P			

NO.	DESCRIPTION	DATE	BY	CHECKED BY	APPROVED BY
1	ISSUED FOR PERMITS				
2	ISSUED FOR CONSTRUCTION				
3	ISSUED FOR AS-BUILT				
4	ISSUED FOR ARCHIVE				

NO.	DESCRIPTION	DATE	BY	CHECKED BY	APPROVED BY
1	ISSUED FOR PERMITS				
2	ISSUED FOR CONSTRUCTION				
3	ISSUED FOR AS-BUILT				
4	ISSUED FOR ARCHIVE				

NO.	DESCRIPTION	DATE	BY	CHECKED BY	APPROVED BY
1	ISSUED FOR PERMITS				
2	ISSUED FOR CONSTRUCTION				
3	ISSUED FOR AS-BUILT				
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NO.	DESCRIPTION	DATE	BY	CHECKED BY	APPROVED BY
1	ISSUED FOR PERMITS				
2	ISSUED FOR CONSTRUCTION				
3	ISSUED FOR AS-BUILT				
4	ISSUED FOR ARCHIVE				

NO.	DESCRIPTION	DATE	BY	CHECKED BY	APPROVED BY
1	ISSUED FOR PERMITS				
2	ISSUED FOR CONSTRUCTION				
3	ISSUED FOR AS-BUILT				
4	ISSUED FOR ARCHIVE				

NO.	DESCRIPTION	DATE	BY	CHECKED BY	APPROVED BY
1	ISSUED FOR PERMITS				
2	ISSUED FOR CONSTRUCTION				
3	ISSUED FOR AS-BUILT				
4	ISSUED FOR ARCHIVE				

Croydon Business Centre
 2638 Croydon Drive
 Surrey, B.C.

REVISION TO PLAN NO. 201

PROPOSED OFFICE BUILDING
 2638 CROYDON DRIVE
 Surrey, B.C.

Scale: 1/8" = 1'-0"

Scale: 1/4" = 1'-0"

Scale: 1/2" = 1'-0"

Scale: 3/4" = 1'-0"

Scale: 1" = 1'-0"

Scale: 1 1/4" = 1'-0"

Scale: 1 1/2" = 1'-0"

Scale: 1 3/4" = 1'-0"

Scale: 2" = 1'-0"

ARCHITECT
 u+fo|architect-architecture.com
 201 - 4400 15th Street
 Surrey, B.C. V3R 4K6
 Phone: (778) 578-2818
 Email: ufo|architect-architecture.com

PROPOSED OFFICE BUILDING
 2638 CROYDON DRIVE
 Surrey, B.C.

Scale: 1/8" = 1'-0"

Scale: 1/4" = 1'-0"

Scale: 1/2" = 1'-0"

Scale: 3/4" = 1'-0"

Scale: 1" = 1'-0"

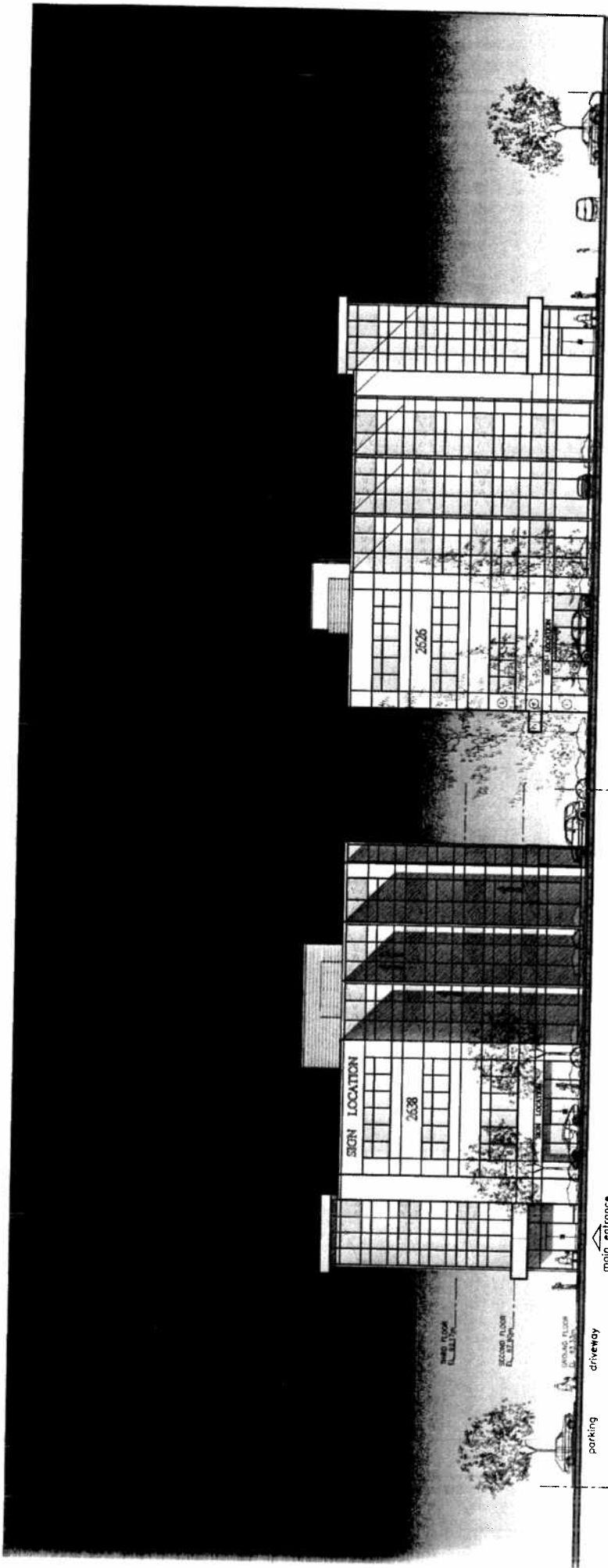
Scale: 1 1/4" = 1'-0"

Scale: 1 1/2" = 1'-0"

Scale: 1 3/4" = 1'-0"

Scale: 2" = 1'-0"

Sheet: A-7



Croydon Business C.
 elevation to Croydon Drive

Grandview Bus. C. (u/c)

EXTERIOR MATERIALS & FINISHES

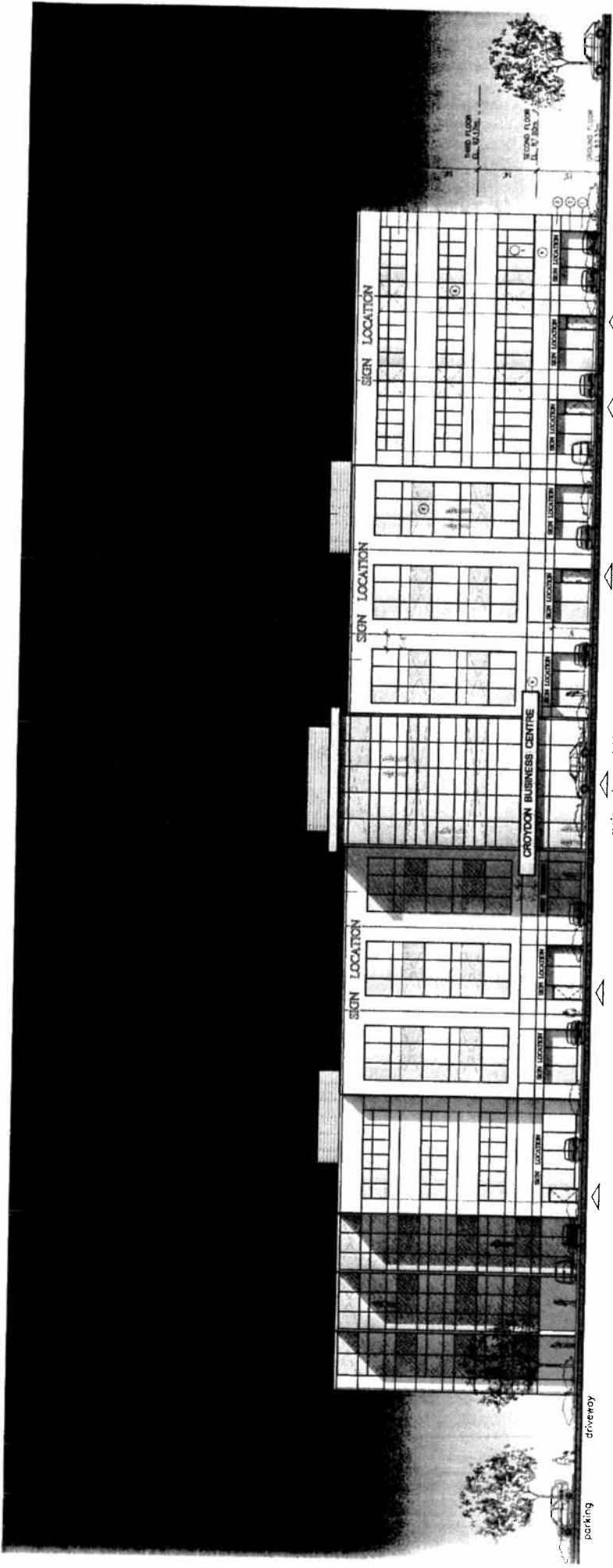
①	CONCRETE FLOOR FINISHES	⑥	CEILING
②	CONCRETE WALL FINISHES	⑦	CONCRETE
③	CONCRETE ROOF FINISHES	⑧	WOOD
④	PAINT	⑨	GLASS
⑤	GLASS	⑩	OTHER

Croydon Business Centre
 2638 Croydon Drive

Surrey, B.C.
 REVISED TO DATE 17 / 11

REVISED TO DATE	17 / 11
ISSUED FOR I/P	10 / 10 / 10
ISSUED FOR O/P	10 / 10 / 10
ISSUED FOR I/P	10 / 10 / 10
ISSUED FOR O/P	10 / 10 / 10
Version	03
Project No.	10-104P
Client	WEST ELEVATION TO CROYDON DR
Project Name	PROPOSED OFFICE BUILDING
Project No.	2638 CROYDON DRIVE
Client	Surrey B.C.

Company	Architectural & Interiors Inc.	Sheet	A-8
Project Name	PROPOSED OFFICE BUILDING	Scale	AS SHOWN
Client	Surrey B.C.	Project No.	10-104P
Address	2638 CROYDON DRIVE	Version	03
City	Surrey, B.C.	Project Name	WEST ELEVATION TO CROYDON DR
Phone	(604) 273-8888	Client	Surrey B.C.
Fax	(604) 273-8889	Project No.	10-104P
Website	www.architectural-interiors.com	Version	03



north (entrance) elevation

NOTE: ALL DIMENSIONS TO BE NON-REFLECTIVE UNLESS SPECIFIED OTHERWISE TO BE REFLECTIVE.

EXTERIOR MATERIALS & FINISHES

NO.	DESCRIPTION	UNIT PRICE	QTY	TOTAL
1	CONCRETE WALL PANEL / PAINTED	12.50	10	125.00
2	CONCRETE WALL PANEL / PAINTED	12.50	10	125.00
3	CONCRETE WALL PANEL / PAINTED	12.50	10	125.00
4	CONCRETE WALL PANEL / PAINTED	12.50	10	125.00
5	CONCRETE WALL PANEL / PAINTED	12.50	10	125.00
6	CONCRETE WALL PANEL / PAINTED	12.50	10	125.00
7	CONCRETE WALL PANEL / PAINTED	12.50	10	125.00
8	CONCRETE WALL PANEL / PAINTED	12.50	10	125.00
9	CONCRETE WALL PANEL / PAINTED	12.50	10	125.00
10	CONCRETE WALL PANEL / PAINTED	12.50	10	125.00
11	CONCRETE WALL PANEL / PAINTED	12.50	10	125.00
12	CONCRETE WALL PANEL / PAINTED	12.50	10	125.00

Croydon Business Centre

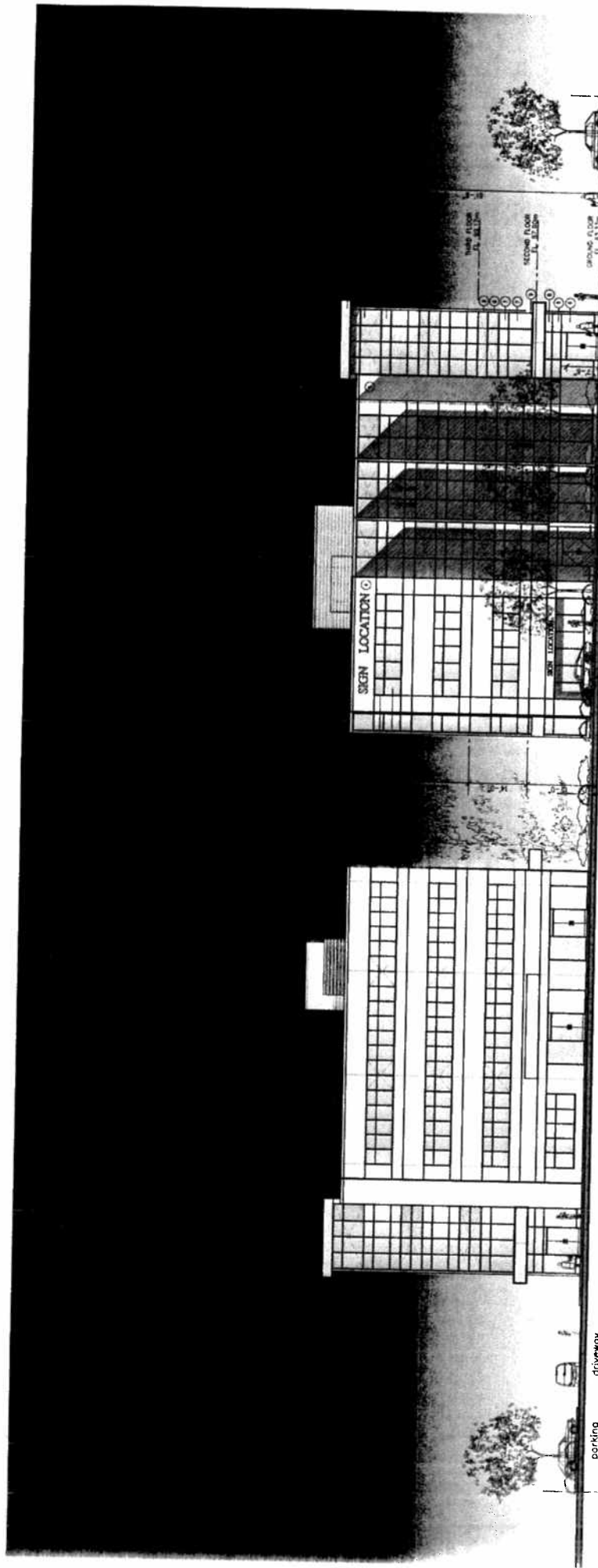
2638 Croydon Drive

Surrey, B.C.

REVISION TO DRAWING NO. 101

DATE	BY	REVISION
2011-06-22	...	REVISED D.P.
2011-07-24	...	REVISED D.P.
2011-08-24	...	REVISED D.P.
2011-09-24	...	REVISED D.P.

DATE	2011-09-14	PROJECT NO.	101
SCALE	1/4" = 1'-0"	PROPOSED OFFICE BUILDING	
DESCRIPTION	2638 CROYDON DRIVE		
LOCATION	SURREY, B.C.		
CLIENT	CROYDON BUSINESS CENTRE		
ARCHITECT	CROYDON ARCHITECTURE INC.		
CONTACT	CROYDON ARCHITECTURE INC.		
PHONE	(778) 571-8888		
FAX	(778) 571-8889		
EMAIL	info@croydon-architecture.com		
PROJECT	A-9		



Grandview Bus. C. (u/c)

east entrance
Croydon Business C.

main entrance

east elevation to parking

EXTERIOR MATERIALS & FINISHES

Symbol	Material / Finish	Code
1	CONCRETE WALL / FINISHES	CC-10K
2	CONCRETE WALL / FINISHES	CC-10K
3	CONCRETE WALL / FINISHES	CC-10K
4	CONCRETE WALL / FINISHES	CC-10K
5	CONCRETE WALL / FINISHES	CC-10K
6	CONCRETE WALL / FINISHES	CC-10K
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47	CONCRETE WALL / FINISHES	CC-10K
48	CONCRETE WALL / FINISHES	CC-10K
49	CONCRETE WALL / FINISHES	CC-10K
50	CONCRETE WALL / FINISHES	CC-10K

NOTE: ALL GLASS TO BE NON-REFLECTIVE
ALL GLASS 2, 3 & 4 FLOOR TO BE REFLECTIVE

Croydon Business Centre
2638 Croydon Drive
Surrey, B.C.

REVISED TO: MINE 16 / 71

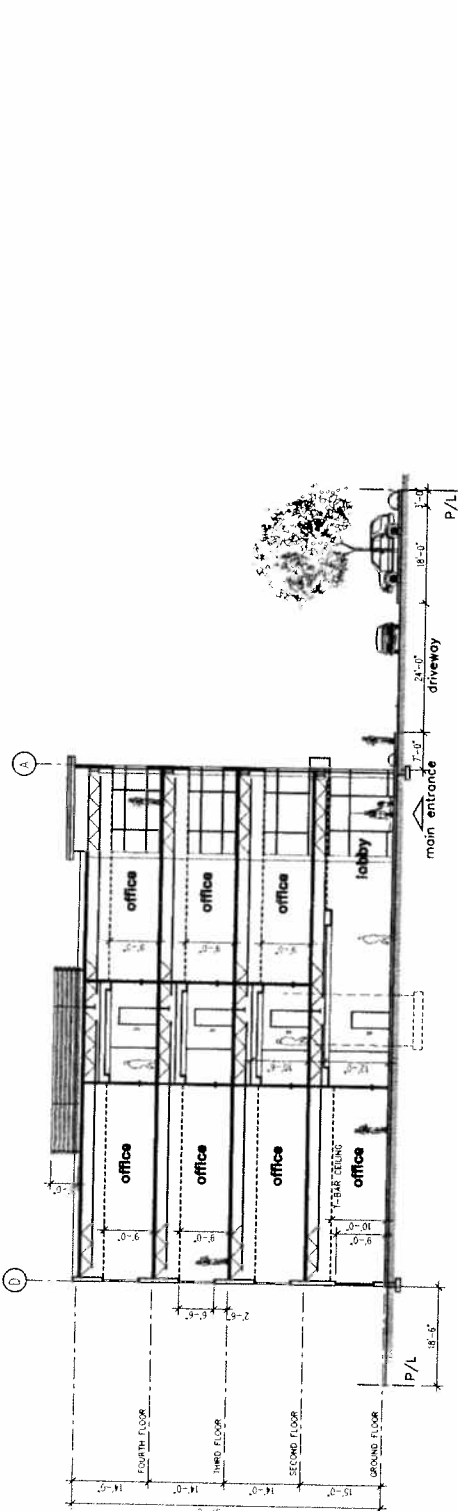
Code	Revised	Checked By	Project No.	Description
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02	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
03	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
04	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
05	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
06	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
07	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
08	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
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10	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
11	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
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14	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
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16	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
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24	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
25	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
26	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
27	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
28	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
29	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
30	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
31	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
32	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
33	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
34	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
35	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
36	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
37	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
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39	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING
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50	03	10-10-48	2638 CROYDON DRIVE	PROPOSED OFFICE BUILDING

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CHECKED BY: [Name]
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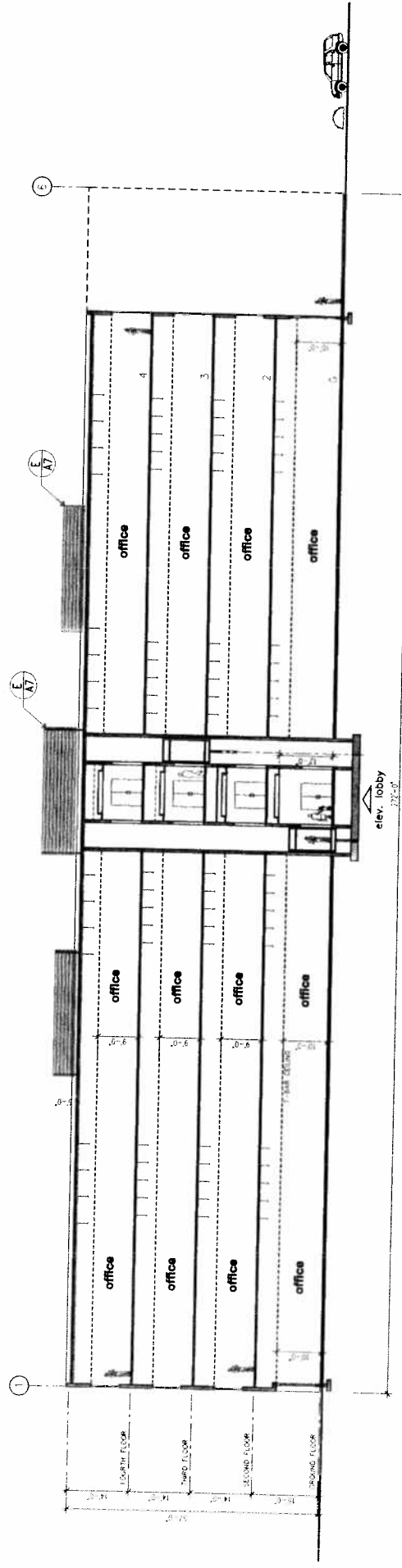
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CHECKED BY: [Name]
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PROJECT NO. 10-10-48
DATE: 10-10-48
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/4" = 1'-0"

PROJECT NO. 10-10-48
DATE: 10-10-48
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/4" = 1'-0"



NORTH - SOUTH SECTION
 Scale: 3/32" = 1'-0"



WEST - EAST SECTION
 Scale: 3/32" = 1'-0"



Scale	Version	Drawn by	Checked by
1/8" = 1'-0"	01	...	...
3/32" = 1'-0"	02	...	...
1/4" = 1'-0"	03	...	...
3/16" = 1'-0"	04	...	...
1/2" = 1'-0"	05	...	...

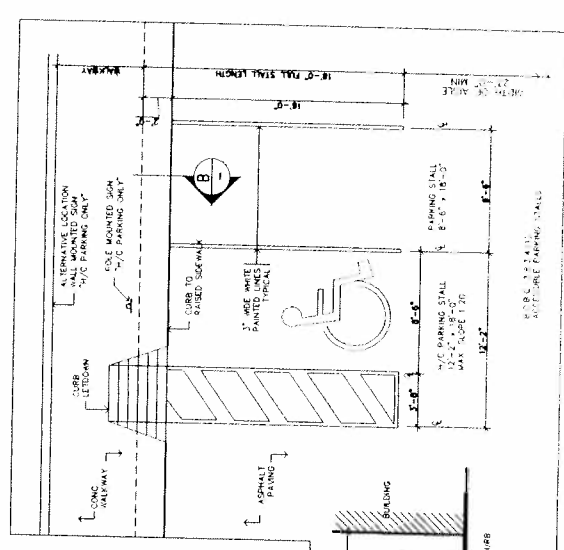
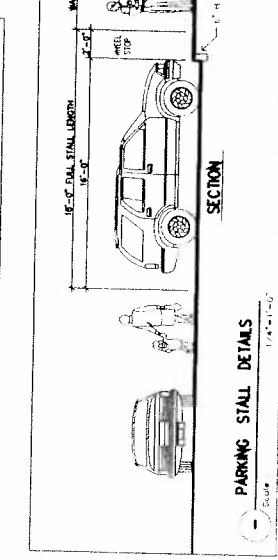
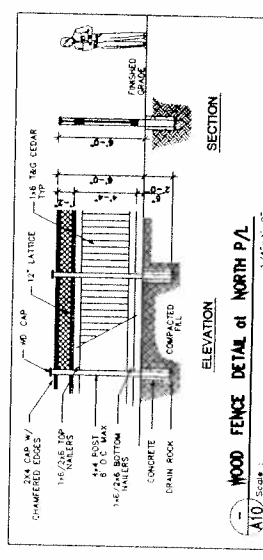
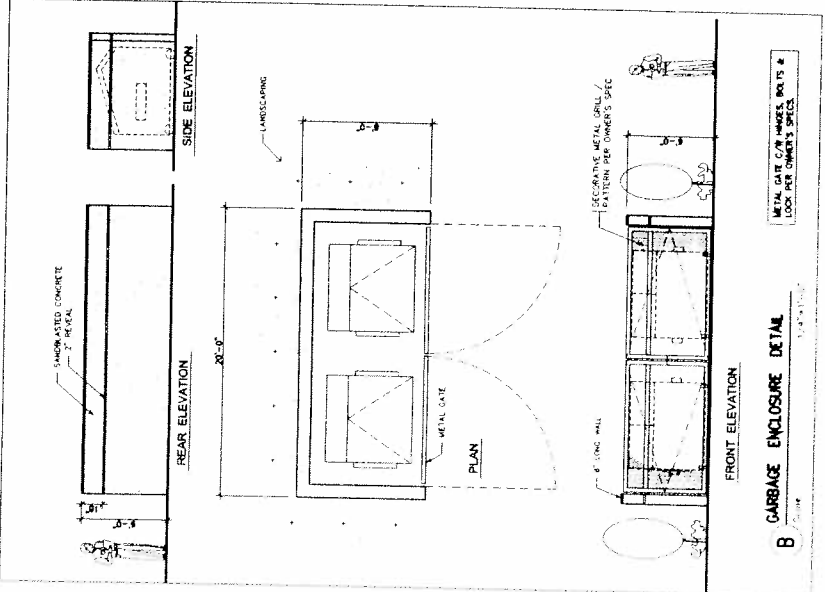
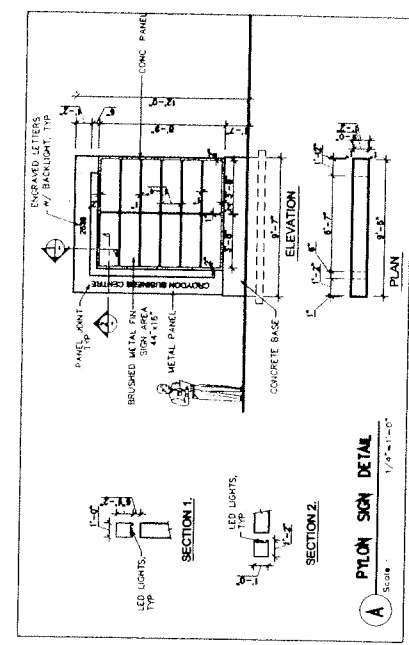
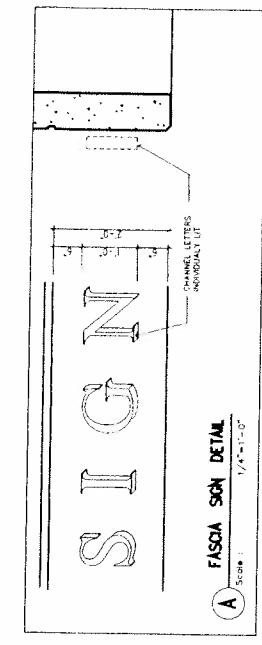
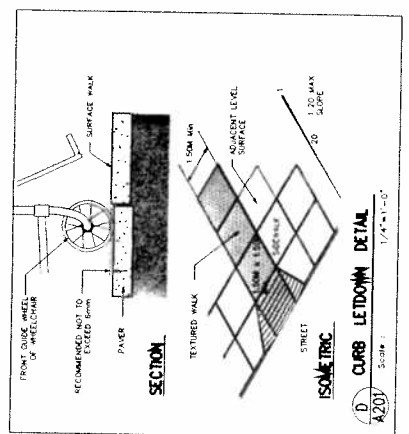
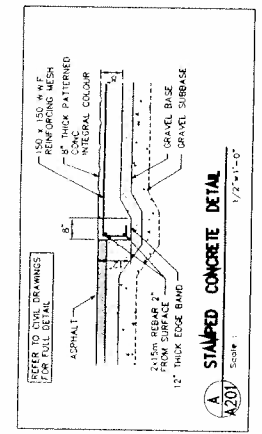
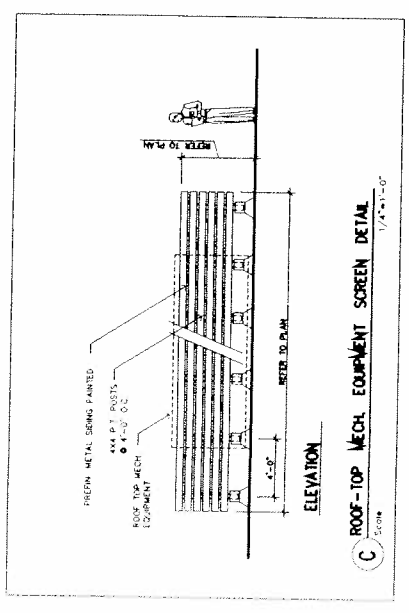
Revised For	By	Date
REVISION FOR I/P		
ISSUED FOR I/P		
ISSUED FOR DP		
ISSUED FOR CP		

Scale	Version	Drawn by	Checked by
1/8" = 1'-0"	01	...	...
3/32" = 1'-0"	02	...	...
1/4" = 1'-0"	03	...	...
3/16" = 1'-0"	04	...	...
1/2" = 1'-0"	05	...	...

Client	Project Title	Project No.	Revision
KOONCE ARCHITECTS/INTERIORS	PROPOSED OFFICE BUILDING	10-1049	03
architect-interior s i o c	2028 PRODCN DRIVE		
2000 222 230 Street	Surry, B.C.		
Phone: 604 270 3888			
Fax: 604 270 3888			
E-mail: office@koonce-interiors.com			

REVISED TO JUNE 14 /11

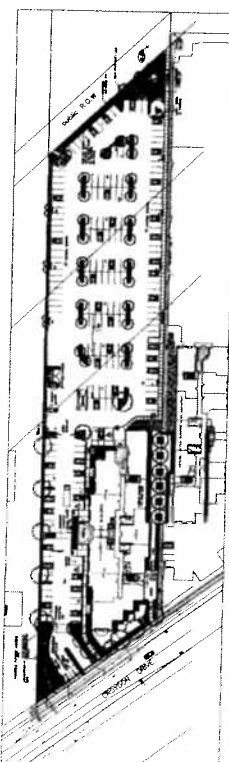
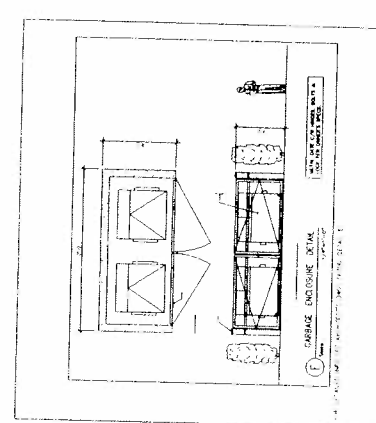
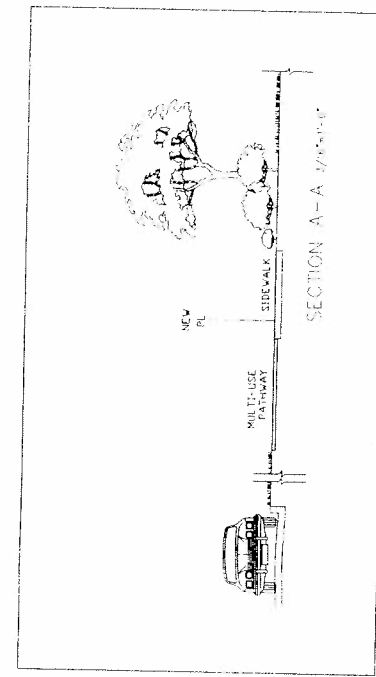
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02-01-11	ISSUED FOR A/P
02-04-11	ISSUED FOR P
02-04-11	ISSUED FOR A/P
02-04-11	ISSUED FOR P
02-04-11	ISSUED FOR A/P
02-04-11	ISSUED FOR P
02-04-11	ISSUED FOR A/P
02-04-11	ISSUED FOR P



rev. to June 20 / 11

NOTES

1. All plants and work to conform to SUSLA Landscaping Standard/Landmark Edition.
2. All plants medium to be listed by PSAL (804-773-4226) and approved for necessary, and to be listed again at Substantial Completion.
3. Minimum spacing medium depths groundcover & trees to be 10' minimum. For detailed info see specifications.
4. All plant material shall meet minimum size requirements as indicated in plan list.
5. Provide underground irrigation system to cover all landscaped areas.



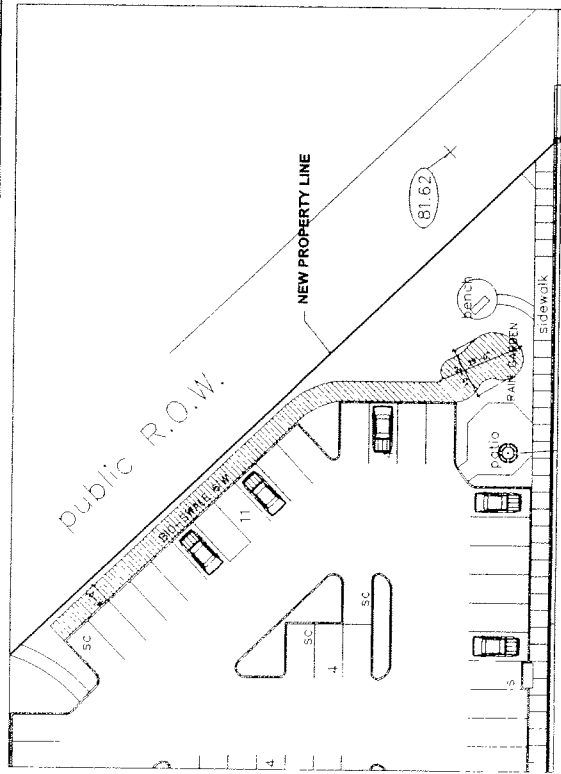
OVERALL REFERENCE PLAN

Quantity	Botanical Name	Common Name	Size	Spacing	Remarks
1	Acacia gommier	Acacia gum	8' x 2' pot	as shown	uniform form, full
2	Acacia saligna	Black wattle	8' x 2' pot	as shown	uniform form, full
3	Acacia saligna	Black wattle	8' x 2' pot	as shown	uniform form, full
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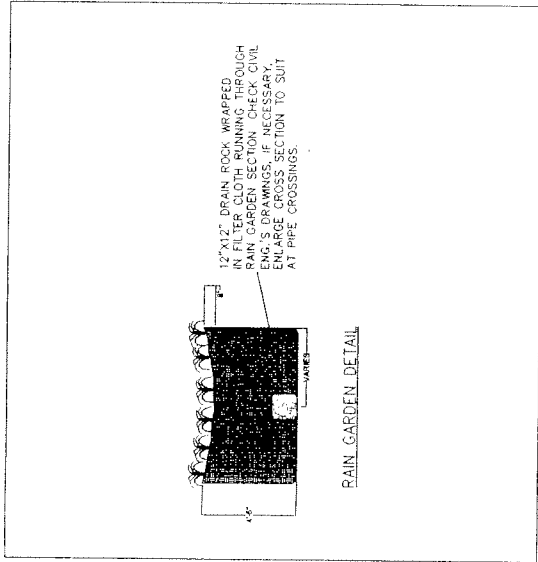
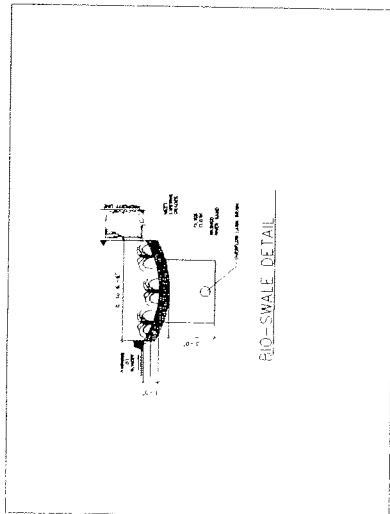
NOTE:
 TOTAL NUMBER OF REQUIRED REPLACEMENT TREE 60
 TOTAL NUMBER OF PROPOSED REPLACEMENT TREE 60
 6 PROPOSED TREES FOR PMT WILL BE PLANTED

JHL Design Group Inc.
 Landscape Architecture + Urban Design
 1370 Maple Street, Raleigh, NC
 Phone: 919.877.7774
 Fax: 919.877.7774

PROJECT TITLE
 GRANDVIEW BUSINESS CENTER PH2
 208 CROFTON DRIVE
 RALEIGH, NC
 DATE: JUNE 2011



LAYOUT OF BIO-SWALE SCALE 1"=10'-0"



1. The client requested this drawing and has signed and sealed this drawing and shall be held responsible for any errors or omissions. The client has been notified of the professional seal and shall be held responsible for any errors or omissions.

DATE: _____

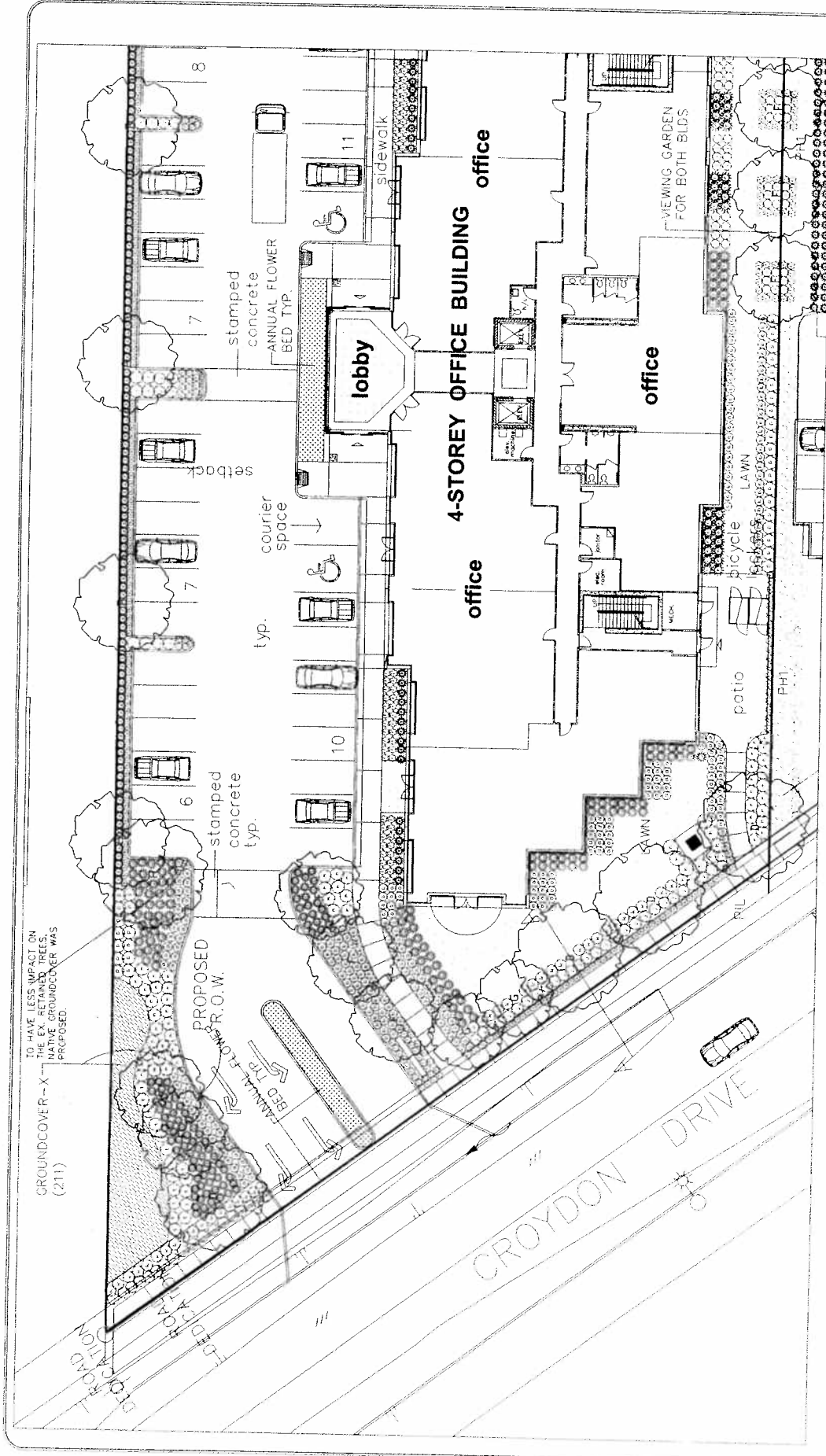
REVISION: _____



JHL Design Group Inc.
 Landscape Architecture + Urban Design
 4370 West Street, Vancouver, BC
 Tel: 604-273-8617
 Fax: 604-273-8618
 www.jhl.ca

SCALE
 1"=10'
 DATE: 2013
 DRAWN: J.A.
 CHECKED: J.A.

PROJECT THE
GRANDVIEW BUSINESS CENTER-PH2
 2638 CHOCOMA DRIVE
 VANCOUVER, BC
 V6K 3R7



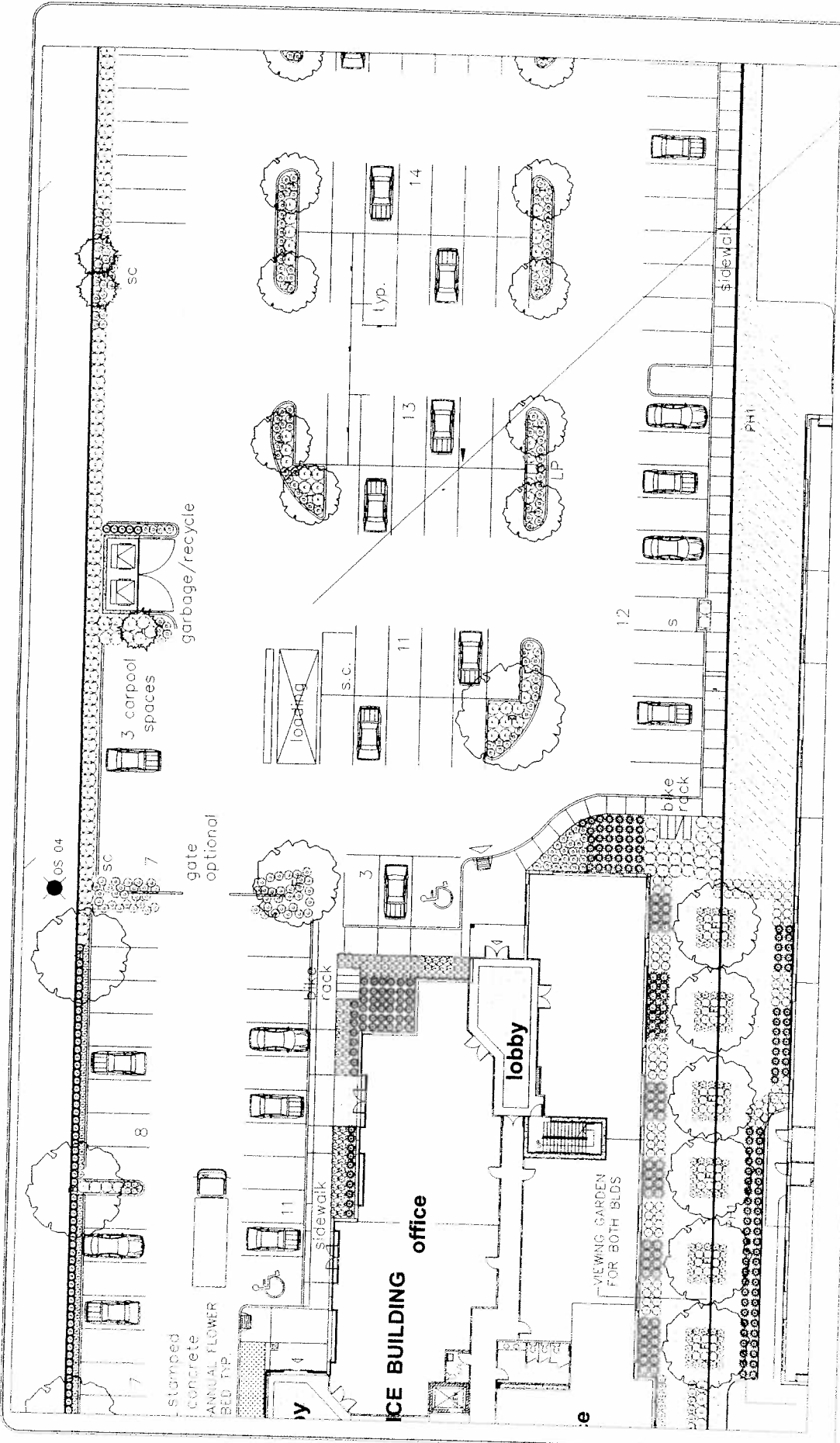
PROJECT NAME
 GRANDVIEW BUSINESS CENTER-PH2
 258 CROYDON DRIVE
 SUDBURY, BC

DATE
 11-11-07
 DATE
 03-07-2007

JHL Design Group Inc.
 Landscape Architecture + Urban Design
 470 West Street, Sudbury, ON
 Tel: (705) 525-1811
 Fax: (705) 525-1812

LANDSCAPE PLAN
 WEST SECTION

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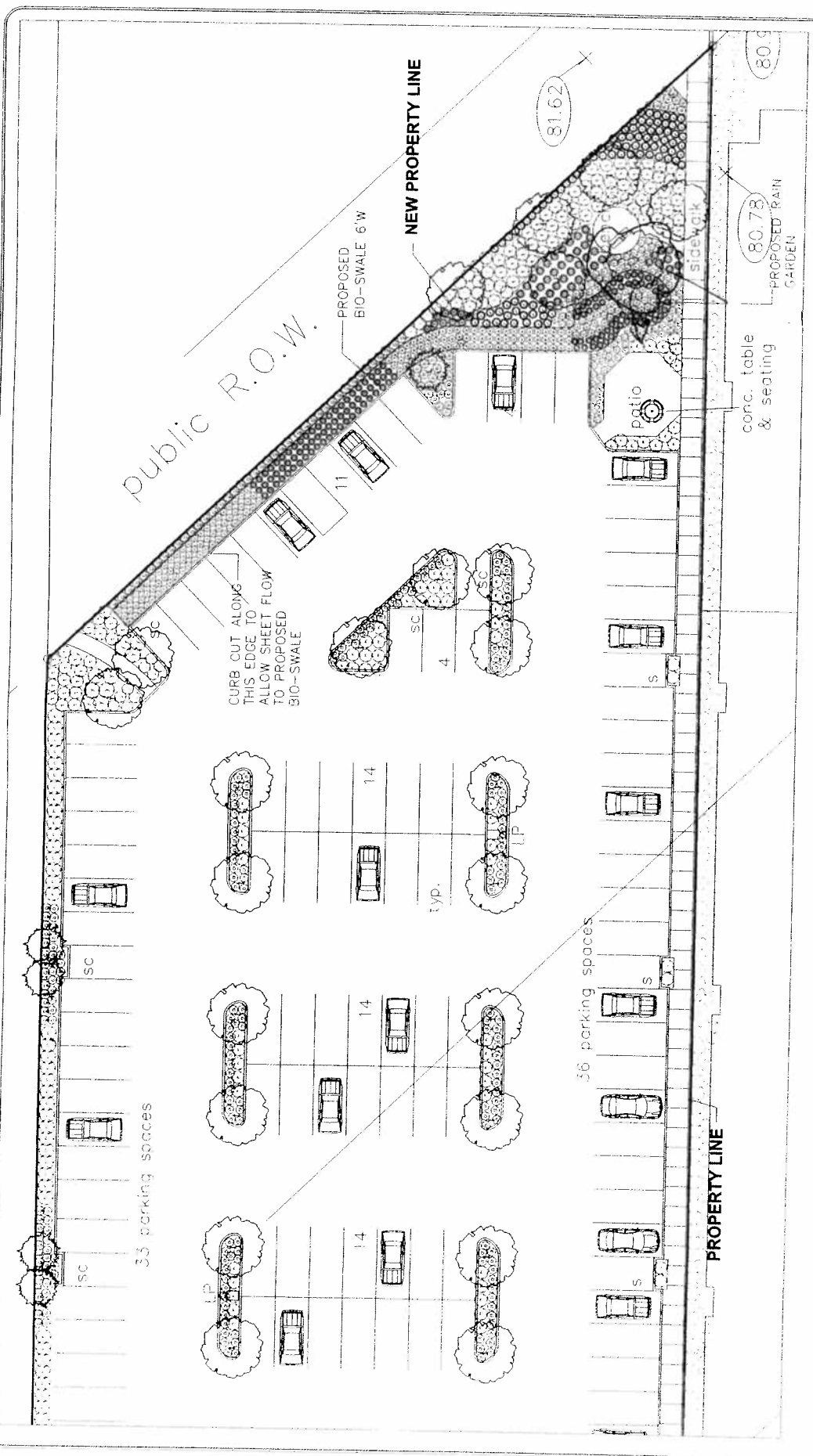
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JHL Design Group Inc.
 Landscape Architecture + Urban Design
 1175, Maple Street, North Vancouver, BC
 Tel: 604-253-8653
 Fax: 604-253-8654
 Email: info@jhl.com

SCALE: 1/8" = 1'-0"
 DATE: 08/20/2013
 SHEET: L-4

PROJECT: THE GRANDVIEW BUSINESS CENTER-PH2
 2788 CROFTON DRIVE
 SURREY, BC
 DRAWING TITLE: LANDSCAPE PLAN
 MIDDLE SECTION



PROJECT: GRANDVIEW BUSINESS CENTER-PH2
 2638 GORDON DRIVE
 SURREY, BC
 DRAWING TITLE: LANDSCAPE PLAN
 EAST SECTION

SCALE: 1/4" = 1'-0"
 DATE: JUNE, 2011
 DRAWN BY: J.L.
 CHECKED BY: J.L.

JHL Design Group Inc.
 Landscape Architecture • Urban Design
 1000 West 4th Avenue, Suite 100
 Vancouver, BC V6P 3E5
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INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Acting Development Services Manager, Engineering Department**

DATE: **May 25, 2011** PROJECT FILE: **7811-0051-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 2638 Croydon Dr**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 2.883 metres on Croydon Drive;
- Dedicate 10.000 metres on 158 Street;
- Provide 0.5 metres wide SROW along 158 Street;
- Provide 1.600 metres wide SROW from new property line along Croydon Drive;
- Provide 10.000 metre SROW on remnant lot under Hydro RoW.

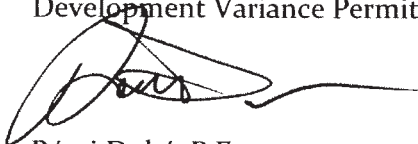
Works and Services

- Construct Croydon Drive to Major Collector standard;
- Construct 158 Street to Neo-Traditional Through Local standard;
- Construct multi-use pathways along Croydon Drive and through Hydro RoW;
- Construct 350mm watermain on Croydon Drive;
- Pay DWA, latecomer charges and 100% DCC's as required;
- Provide required legal documents.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Rémi Dubé, P.Eng.
Acting Development Services Manager

HB



TREE PRESERVATION SUMMARY

Surrey Project No.:

Project Location:

Registered Arborist:

2638 Croydon Drive, Surrey BC

Trevor Cox, MCIP

ISA Certified Arborist (PN1920A)

Certified Tree Risk Assessor (43)

BC Parks Wildlife and Danger Tree Assessor

Detailed Assessment of the existing trees of an Arborist's Report is submitted on file. The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment of the Subject Site: Three acre parcel with two residences upon it. Access is off Croydon Drive in the west and 158th Street to the east. Protected sized pioneer species trees found within site.

2. Summary of Proposed Tree Removal and Placement:

The summary will be available before final adoption.

Number of Protected Trees Identified	51	(A)
Number of Protected Trees declared high risk due to natural causes	1	(B)
Number of Protected Trees to be removed	33	(C)
Number of Protected Trees to be Retained (A-B-C)	18	(D)
Number of Replacement Trees Required (C-B) x 2	60	(E)
Number of Replacement Trees Proposed	60	(F)
Number of Replacement Trees in Deficit (E-F)	0	(G)
Total Number of Protected and Replacement Trees on Site (D+F)	78	(H)
Number of Lots Proposed in the Project	2	(I)
Average Number of Trees per Lot (H / I)	39	

3. Tree Survey and Preservation / Replacement Plan

Tree Survey and Preservation / Replacement Plan is attached

This plan will be available before final adoption

Summary prepared and submitted by:

Arborist

February 24,
2011

Date

Chair:

L. Mickelson

Panel Members:R. Bernstein
R. Ciccozzi
J. Makepeace
R. Myers
Cpl. M. Searle
T. Wolf**Guests:**Lance Barnett, Barnett Dembek Architects, Inc.
Allison Good, DMG Landscape Architects
Samuel Chan, Ionic Architecture Inc.
Jenny Liu, JHL Design Group Inc.
Leigh Sully, Elkay Developments Ltd.**Staff Present:**T. Ainscough, Planning & Development
H. Bello, Planning & Development
J. Hunter, Legislative Services**A. RECEIPT OF MINUTES**

It was Moved by R. Bernstein
Seconded by M. Searle
That the minutes of the Advisory Design
Panel meeting held on April 28, 2011 be received.
Carried

B. SUBMISSIONS

...

2. File No.: 7911-0051-00
New or Resubmit: New
Description: 4 storey commercial office building
Address: 2638 Croydon Drive
Developer: Leigh Sully, Elkay Developments Ltd.
Architect: Sam Chan, Ionic Architecture
Landscape Architect: DMG Landscape Architects
Planner: Melissa Johnson
Urban Design Planner: Hernan Bello

The Urban Design Planner provided background information and an overview of the project and highlighted the following:

- The project is a proposed business centre located at 2638 Croydon Drive adjacent to the Morgan Crossing development to the south
- Will provide a transition from the existing building on site to this new building
- We are promoting a connection to the multi use path to provide linkage, making walking more accessible,
- Crime prevention is an issue.
- In dealing with an identical building adjacent, stronger termination at the top

of the building may be beneficial, and from a site planning perspective, the space between the two buildings presents an important opportunity to do something to respond to the relationship between them.

- The ownership of the two projects is strata.
- Pedestrian connectivity – a multi use pathway runs across the front of the site and links to the Morgan Crossing development to the south - people working in this building may walk to Morgan Crossing to shop or for lunch.
- Surrey City Council has just adopted a Walking Plan to improve connectivity and accessibility and promote pedestrian and transit oriented development - anything we can do to tie in to pedestrian and other modes of transportation is beneficial.

The Project Architect presented an overview of the site plan, elevations, perspectives, CPTED, shadow study, building design and sustainability and highlighted the following:

- This project is very similar to the last project we have done which is quite successful
- Conforming to the Highway 99 plan, the building is situated to the front of the site as much as possible
- To respect the neighbourhood to the north we placed building to south
- Have a very good view to north-west area
- Do plan a continuous walkway to the east along the property line.
- Street view minimizes the overlapping and creates an interesting street view
- Existing Douglas fir trees on corner have been retained.
- Joint access driveway with the site to the north.
- CPTED features include a security gate at night to stop people from getting onto site at night, and site lighting.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- Plant selection includes native, drought resist, ornamental to provide visual interest; height is taken into consideration.
- Planting design – selected trees and shrubs to keep continual interest, e.g., flowers at entrance to the site.
- Provided amenity space for employees outside in summertime
- Major consideration is the interface between 2 buildings
- Native groundcovers, hedge to screen parked cars
- Hydro restriction - chosen plants with consideration of height
- CPTED planting not to create hiding places
- Drip irrigation system proposed.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW
2638 Croydon Drive
File No. 7911-0051-00

It was Moved by R. Ciccozzi

Seconded by T. Wolf

That the Advisory Design Panel (ADP)

recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department.

Carried

STATEMENT OF REVIEW COMMENTS

Context and Site Planning

- Provide patios and plazas for people to relax at lunch time. Want place for workers to go outside for lunch
- Amount of site coverage for parking lots is enormous. More landscaping will help.
- Feels like buildings want to interact because they are so close together. Are areas you can elaborate on, more particularly in front of building. Space between buildings has to have a really strong treatment. Site planning looks like one project two buildings
- Space between is opportunity to do something
- Opportunity to provide a bit more trail around the perimeter of the property to allow staff to go for a walk at lunchtime.

Pedestrian Circulation

- Provide walkway to back of parking for pedestrian access
- Parking lots under hydro - is there a way of improving safety with strong lighting on a pathway to get pedestrians safely through parking lot to building, collect them, give them shelter and lighting at night

Form and Character

- Continue the colonnade at entry along the front of the building.
- Too many different fenestration patterns – at odds with each other – feels forced, e.g., vertical elements. Many different patterns on elevations; not that successful; these buildings need bold expressions.
- Like the building, like the pattern of vertical and horizontal.
- No shading on south side elevation. Consider shading of west and south glazing
- Consider reducing the amount of signage along the top of the building. Limit signage to ground level or incorporate signage into the design of building

Landscaping

- More landscape on Croydon in Phase 1 would help the overall project.
- Better resolution of landscape areas around the building, e.g., outdoor patio
- Poor landscape – not enough, feels too fringy. Landscape is very weak and very peripheral. Lack of landscape area and amenity for tenants.
- Limited amount of landscaping – especially in comparison to Morgan Creek.

- Space between buildings is a disappointment – nothing there; expect to see more as buildings are close together. Find landscape is quite minimal and disappointing given the size of the buildings. Provide landscape all the way down towards the south; recommend more landscaping.
- Irrigation for lawn areas will be required.
- Drip irrigation would be great for the area.
- Provide site furnishings for outside patio areas
- Increase tree size in parking not in Hydro ROW. Provide well developed, bigger trees outside of Hydro ROW.
- Provide bike lockers / storage for cyclists commuters
- Continue trees along front of building north side – create strong colonnade.
- Incorporate walkway to help people get to back end of lot and incorporate landscape swales for drainage; sacrifice some parking to add to the parking lot and incorporate sustainability factor of being able to filter rain water.

Accessibility

- Power doors at all entrances
- Cut-outs to sidewalks be identified for visually disabled

Sustainability

- Showers on the ground floor for people riding bikes – should have bike lockers, shower space is great.
- The submission indicates considerable thought has been put into energy efficiency and other sustainability issues
- Would like to see some type of external shading on the south face to reduce cooling load and reduce annual energy consumption and improve comfort in the building
- Opportunity for rain gardens to deal with parking lot drainage
- Would work well to have passive shading on the south side
- Concern heat gain on south side no shading

C. NEXT MEETING

The revised Advisory Design Panel meeting schedule was circulated.

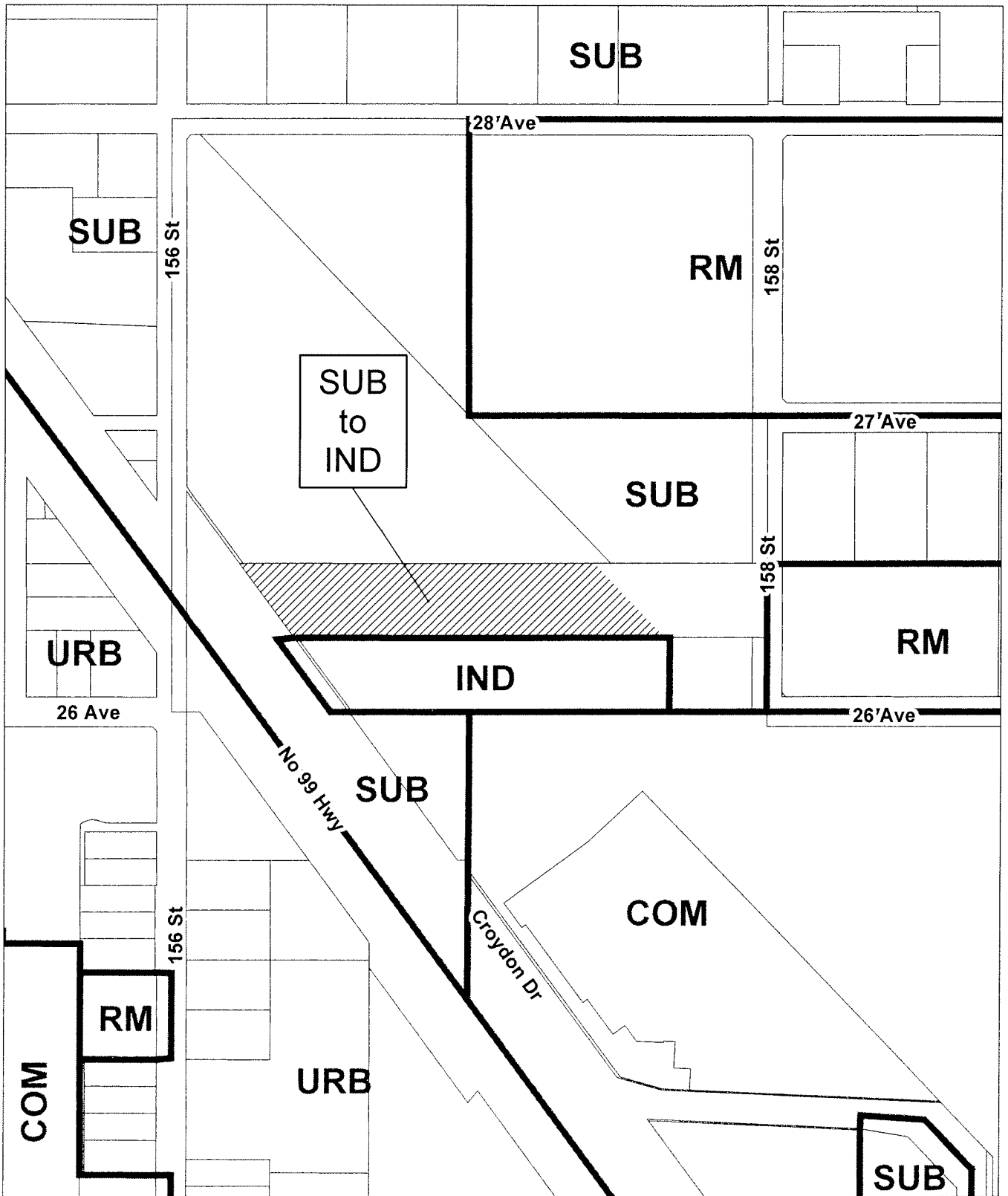
The next Advisory Design Panel is scheduled for June 2, 2011, at 4:00 p.m. in Parks Meeting Room #1.

D. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 5:57

Jane Sullivan, City Clerk

Leroy Mickelson, Advisory Design Panel



OCP Amendment

Proposed amendment from Suburban to Industrial



CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 002-396-581

Lot 1 Except: Part Shown on Plan 25810; Section 23 Township 1 New Westminster District Plan 10600 as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A, certified correct by G.A. Rowbotham, B.C.L.S. on the 22nd day of June, 2011, containing **1.220 hectares, called Block B**

Portion of 2638 Croydon Drive

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of industrial business parks consisting of light impact industrial uses, offices and service uses where density bonus is provided. These uses shall be carried out such that no nuisance is apparent outside an enclosed *building*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. *Light impact industry.*
- 2. Office uses excluding *social escort services* and *methadone clinics*.

3. *General service uses* excluding *drive-through banks*.
4. *Warehouse uses*.
5. *Distribution centres*
6. *Accessory uses* including the following:
 - (a) *Personal service uses* limited to the following:
 - i. Barbershops;
 - ii. Beauty parlours;
 - iii. Cleaning and repair of clothing; and
 - iv. Shoe repair shops;
 - (b) *Recreational facilities*, excluding go-kart operations, drag racing and rifle ranges;
 - (c) *Eating establishments*, excluding *drive-through restaurants*, provided that
 - i. The *eating establishment* does not exceed a total floor area of 185 square metres (2,000 sq. ft.); and
 - ii. The *eating establishment* is located on the ground floor of the *building* only;
 - (d) Community services;
 - (e) Dwelling unit(s) provided that the dwelling unit(s) is (are)
 - i. Contained within a *principal building*;
 - ii. Occupied by the owner or a caretaker, for the protection of the businesses permitted;
 - iii. Restricted to a maximum number of two *dwelling units* on a *lot* and where a *lot* has been subdivided by a strata plan, then there shall be a maximum of 2 *dwelling units* within the strata plan;
 - iv. Restricted to a maximum floor area of
 - a. 140 square metres [1,500 sq. ft.] for one (first) *dwelling unit*;
 - b. 90 square metres [970 sq. ft.] for the second *dwelling unit*; and

- c. Notwithstanding Sub-sections B.6(e)iv.a. and iv.b., the maximum floor area shall not exceed 33% of the total floor area of the *principal building* within which the *dwelling unit* is contained.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The maximum *density* shall not exceed a *floor area ratio* of 0.1 or a *building area* of 300 square metres [3,230 sq. ft.], whichever is smaller.
2. The *density* may be increased to a maximum *floor area ratio* of 1.2 if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.

E. Lot Coverage

The *lot coverage* shall not exceed 32%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>West Yard</i>	<i>East Yard</i>	<i>North Yard</i>	<i>South Yard</i>
<i>Principal and Accessory Buildings and Structures</i>		7.5 m [25 ft.]	12.0 m [390 ft.]	14 m [46 ft.]	4.0 m [13.0 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal building:* The *building height* shall not exceed 18 metres [59 feet].
2. *Accessory buildings and structures:* The *building height* shall not exceed 6 metres [20 feet].

H. Off-Street Parking

1. Refer to Table C.2 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. *Tandem parking* may be permitted for company fleet *vehicles*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

1. The *lands* and *structures* shall be used for the uses permitted in this Zone only if such uses
 - (a) Constitute no unusual fire, explosion or safety hazard;
 - (b) Do not emit noise in excess of 60 dB measured at any point on any boundary of the *lot* on which the use is located; and
 - (c) Do not produce heat or glare perceptible from any boundary of the *lot* on which the use is located.
2. Outdoor storage of any goods, materials or supplies is specifically prohibited.
3. Garbage containers and *passive recycling containers* shall not be located adjacent to the east property line.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
11,500 sq. m. [2.8 acre]	50.0 metres [164 ft.]	230 metres [750 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the IB Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2010, No. 17111, as may be amended or replaced from time to time, and the development cost charges shall be based on the IB Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

READ A THIRD TIME ON THE _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK

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