

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7911-0053-00

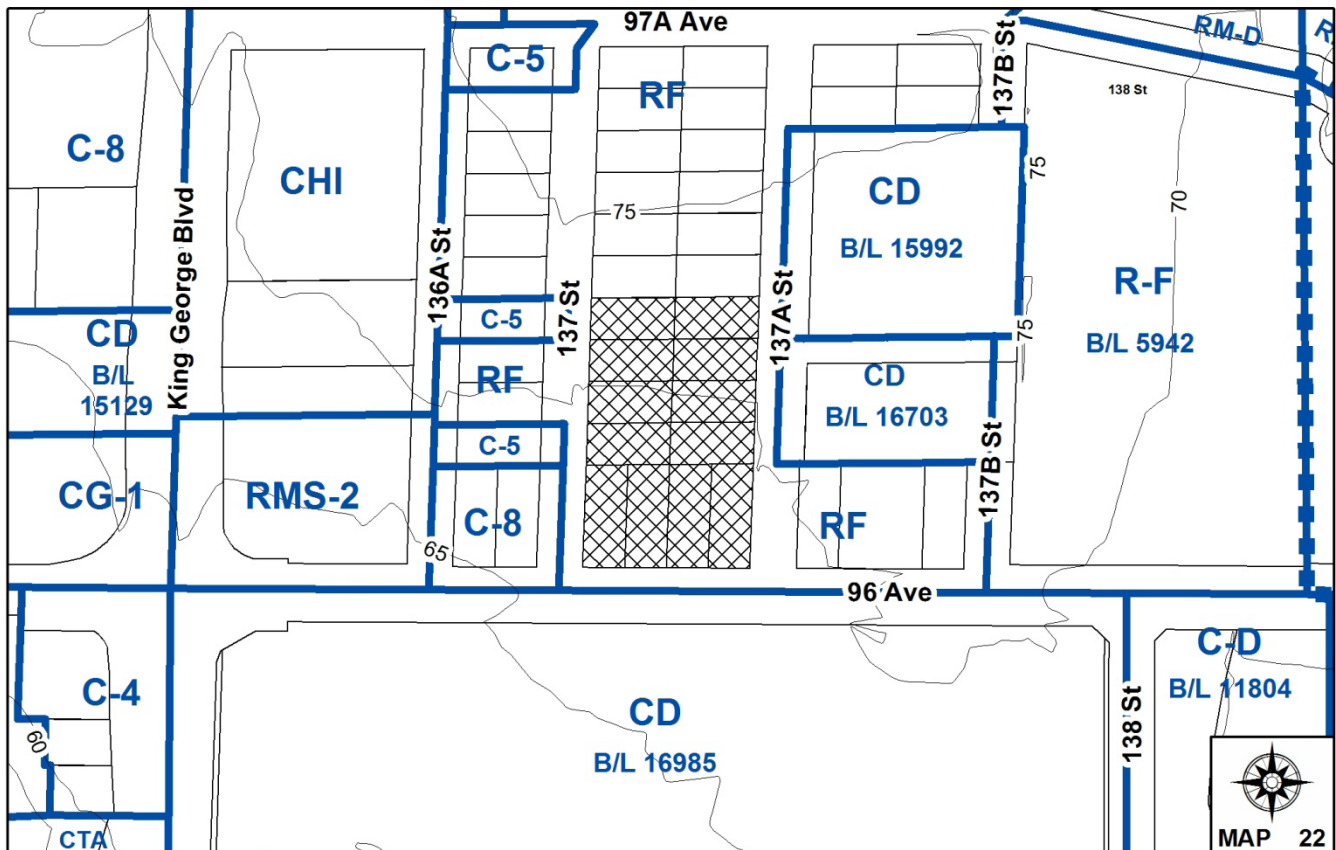
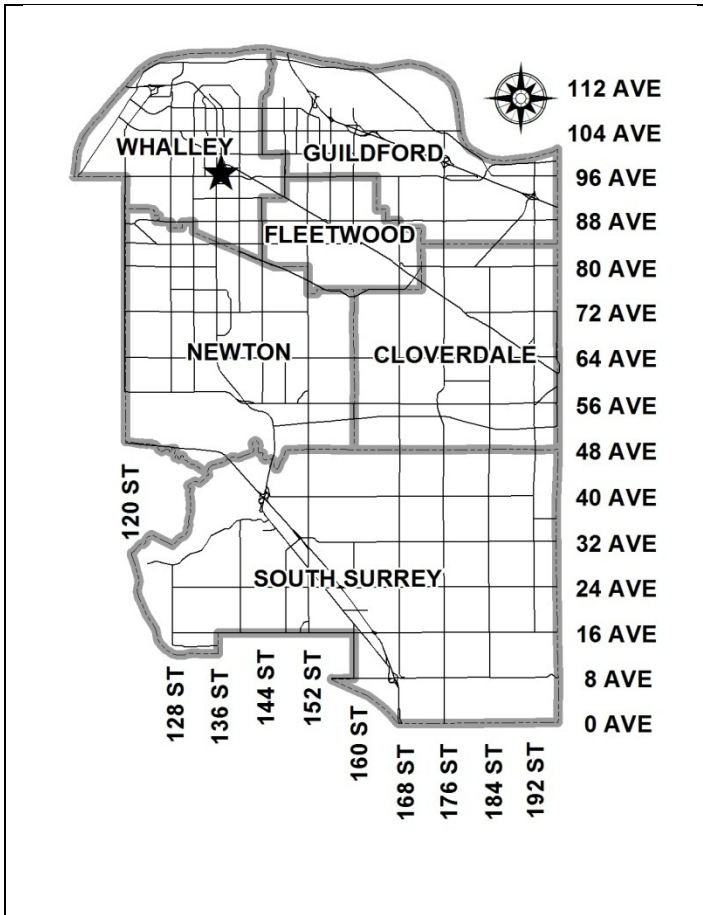
Planning Report Date: June 27, 2011

PROPOSAL:

- **OCP Amendment** for a portion from Multiple Residential to Commercial
- **Rezoning** from RF to CD (based on C-35)
- **Development Permit**

in order to permit the development of two 12-storey commercial buildings in two phases.

LOCATION: 9600 Block of 137 Street
OWNER: South Harper Lands Development Ltd. et al
ZONING: RF
OCP DESIGNATIONS: Commercial & Multiple Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment for a portion of the site; and
 - Rezoning.
- Approval to draft Development Permit No. 7911-0053-00.
- Approval to draft Development Permit No. 7911-0053-01.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Requires OCP redesignation for 2 of the 12 lots.

RATIONALE OF RECOMMENDATION

- Complies with the Surrey City Centre Plan.
- The proposed density, building form and siting are appropriate for this part of Surrey City Centre.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating the two most northerly subject lots from Multiple Residential to Commercial and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from Single Family Residential Zone (RF) (By-law No. 12000) to Comprehensive Development Zone (CD) (By-law No. 12000) and a date be set for Public Hearing.
4. Council authorize staff to draft the General Development Permit, Development Permit No. 7911-0053-00, generally in accordance with the attached drawings (Appendix II).
5. Council authorize staff to draft the Phase 1 Development Permit, Development Permit No. 7911-0053-01, generally in accordance with the attached drawings (Appendix II).
6. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a financial contribution, proportional to the area of the subject site in relation to the total area of the subject block, to assist in the purchase of the lots at 9664 - 137 Street and 9661 - 137A Street on which a new east-west pedestrian lane is proposed to be located, to the satisfaction of the General Manager, Engineering;
 - (c) submission of funds for the construction of the south half of the new east-west pedestrian lane proposed to be located along the northern extent of the subject site, on the lots at 9664 - 137 Street and 9661 - 137A Street, to the satisfaction of the General Manager, Engineering;
 - (d) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (g) resolution of all urban design issues to the satisfaction of the Planning and Development Department;

- (h) registration of a statutory right-of-way for public passage over the proposed east-west service road within the subject site; and
- (i) registration of a volumetric lease for the proposed pedestrian tunnel under 96 Avenue, to the specification and satisfaction of the General Manager, Engineering.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

SITE CHARACTERISTICS

Existing Land Use: Temporary surface parking lot.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Older single family residences.	Multiple Residential	RF
East (Across 137A Street):	Two care facilities, and temporary offices for Cancer Society.	Multiple Residential	CD By-law No. 15992, CD By-law No. 16703 and RF
South (Across 96 Avenue):	Surrey Memorial Hospital.	City Centre	CD By-law No. 16985
West (Across 137 Street):	Small commercial buildings and older single family residences.	Commercial	C-5, C-8 and RF

JUSTIFICATION FOR PLAN AMENDMENT

- The subject site is within the Hospital Precinct area of City Centre. The applicant is proposing to develop two, 12-storey commercial buildings in two phases.
- To accommodate the development, the applicant is proposing to redesignate, in the Official Community Plan (OCP), the two most northerly of the subject lots from Multiple Residential to Commercial, to be consistent with the Commercial designation for the remaining 10 lots of the subject site. A companion rezoning to Comprehensive Development Zone (CD) is proposed for all 12 lots.
- The Surrey City Centre Land Use and Density Concept endorsed by Council in February, 2009, indicates that the subject lands are appropriate for commercial uses or mixed uses

with a floor area ratio (FAR) of 3.5 with an opportunity to increase this density by up to 20% to an FAR of 4.2.

- The proposal is consistent with the Surrey City Centre Plan and, therefore, redesignation for the two most northerly lots from Multiple Residential to Commercial is supported.

DEVELOPMENT CONSIDERATIONS

- Ten of the 12 existing single family lots that form the 0.784-hectare (1.9 acre) subject development site north of 96 Avenue between 137 and 137A Streets in Surrey City Centre are designated Commercial under the Official Community Plan (OCP), while the remaining two lots are designated Multiple Residential. All 12 lots are currently zoned Single Family Residential Zone (RF).
- The site is currently occupied by a temporary surface parking lot that is operated by the applicant.
- The applicant has applied to redesignate the two most northerly of the subject lots from Multiple Residential to Commercial and to rezone the 12 subject lots from RF Zone to a Comprehensive Development Zone (CD), based on the C-35 Zone, in order to permit the development of 2, 12-storey office buildings.
- The applicant proposes to consolidate the 12 existing lots into two larger lots.
- The applicant proposes to construct the development in two phases, with the first phase being located along 96 Avenue.
- The proposed Phase 1 building, containing 17,200 square metres (185,000 sq. ft.) results in a floor area ratio (FAR) of 3.6. Therefore, although Phase 1 conforms in terms of use height, setbacks, etc. with the requirements of the C-35 Zone, the proposed FAR slightly exceeds the maximum FAR of 3.5 permitted in the C-35 Zone.
- As the proposed Phase 2 lot is smaller than the proposed Phase 1 lot and, as the Phase 2 building is proposed to contain approximately 14,000 square metres (150,000 sq. ft.), the resulting FAR for the Phase 2 lot is 4.7, which exceeds the maximum FAR of 3.5 permitted in the C-35 Zone.
- The Surrey City Centre Land Use and Density Concept endorsed by Council in February, 2009, indicates that the subject lands are appropriate for commercial uses or mixed uses with a density of up to 3.5 FAR, with an option of increasing this density by up to 20% to a maximum FAR of 4.2.
- When the proposed building areas of Phases 1 and 2 are combined, the overall density on the subject site results in an FAR of 4.02, which is below the maximum density of 4.2 FAR prescribed in the Surrey City Centre Land Use and Density Concept.
- Therefore, although the proposed project generally conforms to the Surrey City Centre Land Use and Density Concept, and although the proposal generally conforms to the provisions of the C-35 Zone, the proposed density of both Phase 1 and Phase 2 exceeds the

maximum density of the C-35 Zone and, as a result, the applicant has applied to rezone the site to a Comprehensive Development Zone (CD) in order to achieve the proposed density.

- As well as the changes in density noted above, the proposed CD Zone revises the setback and building height requirements of the C-35 Zone so that the CD Zone is more tailored to the actual development being proposed.

Development Permits

- Although the applicant is proposing to rezone all 12 of the subject lots, the applicant is proposing to move forward with the construction of Phase 1 only at this time.
- As a result, a General Development Permit for the entire site is required. The General Development Permit (No. 7911-0053-00) will guide the general building siting, access and orientation of both Phase 1 and Phase 2 and will ensure that Phase 2 is consistent with the urban design parameters established with the Phase 1 building.
- Along with the rezoning and General Development Permit, the applicant is also applying for a Development Permit (No. 7911-0053-01) for Phase 1 of the project.

ROAD NETWORK

- One of the principal goals of the Surrey City Centre Plan is to create a finer-grained road network in City Centre in order to improve vehicle and pedestrian movement and connectivity and to create a more pedestrian-oriented urban environment.
- In accordance with this goal, a need was identified for an additional east-west road through the Hospital Precinct area of City Centre between 96 Avenue and 97A Avenue.
- Based on projected traffic volumes in the area at anticipated build-out densities and land uses, it was determined that the City's new 12-metre (40 ft.) wide pedestrian lane (a lane with street trees and sidewalks on at least one side) would be adequate to accommodate both vehicle movements and the desired pedestrian connectivity.
- In response to the subject land development application, the Roads & Transportation Division of the Engineering Department undertook an in-depth review of the existing and proposed road network in the Hospital Precinct and evaluated numerous options for the location of the new east-west pedestrian lane.
- As a result of this review, the Engineering Department determined that the preferred location for the east-west pedestrian lane is at a point midway between 96 Avenue and 97A Avenue which, in terms of the subject application, would place the new east-west road just outside the northern boundary of the subject site, on the adjoining lots at 9664 - 137 Street and 9661-137A Street (Appendix IV).
- It is anticipated that, eventually, this pedestrian lane will be extended west to King George Boulevard, through the lot at 9661 - 137 Street and over the common property line between the properties at 9656 and 9666 King George Boulevard.

- The preferred location for the new east-west pedestrian lane at mid-block, results in the new east-west pedestrian lane being off-set from the existing pedestrian lane located east of 137A Street, between the existing Laurel Place care facility at 9688 – 137A Street and the new Kinsmen care facility currently under construction at 9650 – 137A Street.
- However, the Engineering Department has determined that the benefits of a mid-block location outweigh the disadvantages of the pedestrian lane off-set and does not believe that the off-set will substantively impact the functionality of the pedestrian lane network within the Hospital Precinct.
- Some of the benefits of locating the pedestrian lane mid-block include the achievability of the full alignment, the location of the connection at King George Boulevard, and more equitable impact on properties along King George Boulevard.
- Although one of the principal goals of the Surrey City Centre plan is to create a finer-grained road network, achieving this finer-grained network has proved challenging.
- Many areas of City Centre are characterized by small, older, single family homes on lots approximately 18 to 20 metres (60 to 66 ft.) in width. As most roads in City Centre range from 20 to 27 metres (66 to 88 ft.) in width, in many cases, entire existing lots, or major portions of existing lots, are needed to achieve a full road dedication.
- Developers often state that it is not economical for them to purchase lots with occupied, single family homes simply to dedicate them as road allowances, even with transfers in density from these lots to the larger development sites. However, it would not be possible for the City to purchase all the lands needed to achieve a finer-grained road network in City Centre.
- As developments within the vicinity of new proposed roads benefit from the increased accessibility that these new roads provide, it is appropriate that developments contribute to the purchase and construction of these new roads.
- It would appear that an equitable approach to securing future road allowances in City Centre is for developers to pay proportionally for the purchase of lots for new roads based on the area of the block being developed by each applicant.
- With this approach, each developer within an existing block would contribute, proportionately, to the cost of purchasing lots within the block needed to achieve the finer-grained road network, based on the value of the lands to be purchased as established by Surrey's Realty Division.
- In order to achieve the finer-grained road network within the Hospital Precinct area of City Centre, it is recommended that this approach be applied to the block bounded by 96 Avenue, 137 Street, 97A Avenue and 137A Street in which the subject site is located. It is anticipated that the same approach will also be applied to new applications received within the two adjacent blocks to the west, lying between 96 Avenue, King George Boulevard, 97A Avenue and 137 Street, when rezoning is requested within these blocks. Two applications within the immediate block to the west will be exempt from this cost sharing requirement as they are in-stream (file nos. 7910-0324-00 and 7907-0392-00).

- If this approach is applied to the subject block, as the subject site comprises approximately 56.4% of the block not required for road purposes, the applicant will be required to provide funds for 56.4% of the purchase of the lots at 9664 - 137 Street and 9661 - 137A Street, based on a value to be established by the Realty Division
- When the lands in the remaining 43.6% of the subject block redevelop, these remaining lands would be expected to contribute toward the purchase of the lots at 9664 - 137 Street and 9661 - 137A Street proportional to the area of the lands being redeveloped.

PRE-NOTIFICATION

- Pre-notification letters were sent on May 6, and May 13, 2011. In response to the pre-notification letters and Development Proposal signs, staff received comments from two area land owners who expressed concern about the location of the proposed east-west pedestrian lane through the block between King George Boulevard and 137A Street. The area landowners feel that there should be no dedicated lane in the location proposed and that, if there is a need for a lane/road in the Hospital Precinct, the existing pedestrian lane east of the subject lands should be extended west toward King George Boulevard to create an unbroken connection between King George Boulevard and the future Whalley Boulevard.

(As noted in the previous section of this Report, the Engineering Department undertook an extensive review of the road network in the Hospital Precinct, including the examination of numerous options for the location of the east-west pedestrian lane. As a result, of this review, it was determined that the preferred location for the east-west pedestrian lane is just north of the subject site, on the lots at 9664 - 137 Street and 9661 - 137A Street as shown on Appendix IV.)

- The owners of the properties at 9664 - 137 Street and 9661 - 137A Street met with City staff to discuss the impacts on their properties as a result of the location of the new east-west pedestrian lane.

(City staff indicated to the owners of the two properties that, should Council endorse the subject proposal and road network as outlined in this Report, the City would be in a position to purchase these two properties at some time in the future. However, City staff indicated that discussions with respect to the timing and other details of the purchase of the two properties could not commence until after Third Reading of the proposed Rezoning By-law associated with the subject proposal.)

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

- Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

DESIGN PROPOSAL AND REVIEW

Site Layout

- The proposed Phase 1 building will be located on the southern portion of the site, along 96 Avenue.
- As part of Phase 1, the developer proposes to construct a private, internal east-west service road along the northern edge of the Phase 1 lot that will provide access to the surface parking on the north side of the Phase 1 building and to the underground parking ramp for the future Phase 2 building.
- The subject site slopes upward from south to north and, to take advantage of the grade, the applicant is proposing to locate the access to the underground parking garage for Phase 1 along 137 Street, near the southwest corner of the site rather than from the east-west service road.

Building Design

- The proposed Phase 1 building will be 12 storeys in height and will be oriented parallel to 96 Avenue.
- The building incorporates a 2-storey podium on which is set a 10-storey office tower.
- The ground floor of the building, most of which will be glazed, will contain retail units oriented primarily to 96 Avenue, but also toward 137A Street and the surface parking area at the north side of the building.
- The ground level of the proposal will also incorporate two plaza areas, one at the southeast corner of the site, which will form the main entry to the building, and one at the northeast corner of the building, next to the service road.
- The main entry plaza, which will open toward the intersection of 96 Avenue and 137A Street, will be hard surfaced with granite paving stones and highlighted by a water feature comprising granite blocks of varying heights over which water cascades down into a sunken pool that surrounds the granite blocks.
- The architecture of the building further highlights the main entry through the use of a dramatic cantilevered second floor space that is characterized by floor to ceiling glass and a dramatic, angled roof.
- A smaller plaza will be created at the north side of the northeast corner of the building, framed by a glass-enclosed second storey with an angled roof to match the angled roof over the front entry.
- Glass canopies will provide weather protection around the base of the building.
- The exterior of the podium will be characterized by substantial amounts of glazing, off-set by punched windows and bronze-coloured metal panels.

- Above the two-storey podium, the building steps back at the third floor, and again at the fifth floor, to create a series of terraces along the south façade of the building.
- The terraces and balconies created by the articulated building form will be treated as a combination of landscaped and usable spaces and as green roofs.
- The exterior of the tower will be clad, primarily, in a horizontal-oriented glass curtain wall consisting of clear anodized aluminum panels and blue-green tinted low-energy window glazing.
- The horizontality of the tower will be further strengthened by the incorporation of glass sun shades on the south, east and west façades of the building.
- The bronze-coloured metal panels on the podium will extend up the east and west sides of the building to help anchor the tower, visually, to the podium and to provide additional contrast and interest.
- On the western façade of the building, the glass curtain wall will be broken by a vertically-oriented curtain wall comprised of champagne-coloured aluminum panels, charcoal-coloured aluminum trim and grey-tinted low-energy window glazing.

Sustainability

- The project is targeting LEED gold certification.
- As noted previously, landscaped and green roofs and terraces will be incorporated throughout the upper levels of the building.
- Low-energy glazing will be used throughout the building. Sunshades will be incorporated on the south, west and east façades to respond to solar heating.
- Rainwater will be re-used for irrigation and water features.

Parking

- As part of Phase 1, the applicant is proposing to construct four levels of underground parking that will be accessed by a vehicle access ramp along 137 Street.
- The underground parking facility will contain a total of 506 parking spaces.
- The applicant is proposing to construct an additional 13 surface parking spaces along the north side of the building that will be accessed from the proposed east-west internal service road.
- As a result, the applicant is proposing to construct a total of 519 parking spaces which is 242 more parking spaces than the 271 parking spaces required under the Zoning By-law.

- The applicant is also proposing to construct a pedestrian tunnel under 96 Avenue at the P3 level of the underground parking to allow doctors and other medical practitioners who may occupy the building to move back and forth between the proposed medical building and the adjacent Surrey Memorial Hospital, without having to go outside or to cross 96 Avenue, an extremely busy arterial road. A volumetric lease will be required to permit the tunnel to pass beneath the 96 Avenue road allowance.

Phase 2

- The applicant intends to construct Phase 2 on the subject lands at some point in the future when economic conditions and market demand warrant construction.
- As this stage, it is anticipated that the applicant will construct another 12-storey office building on the Phase 2 lands, similar to the 12-storey office building proposed for Phase 1.
- It is anticipated that the proposed office building will consist of a floor area of approximately 14,000 sq. m. (150,000 sq. ft.).
- A four-level underground parking structure with approximately 300 parking spaces could be constructed as part of Phase 2. A possible vehicle connection between the Phase 1 and Phase 2 underground parking structures could be accommodated on the P-1 level.

ADVISORY DESIGN PANEL

ADP Meeting: June 2, 2011

- The proposal was well received by the Advisory Design Panel (Appendix V) but the Panel members felt that the proposed building could be further enhanced by simplifying some of the exterior elements and articulation and by reducing the number of exterior finishing materials.
- In response to the ADP comments the applicant has undertaken major revisions to the exterior of the building by simplifying both the design and variety of exterior cladding materials and by removing the angled roof structures and replacing them with a flat roof.
- A number of landscaping issues remain outstanding, however, including improvements to the surface parking area and a re-evaluation of on-site storm water retention. As well, the grading of City sidewalks around the perimeter of the site needs to be revisited to ensure that the grades on the sidewalks do not exceed the maximum permitted by the City.
- The applicant has agreed to work closely with City staff to ensure that all Advisory Design Panel comments and concerns and all urban design and landscaping issues identified by City staff are adequately addressed prior to Council's consideration of Final Reading of the Rezoning By-law and the issuance of the General Development Permit and the Development Permit for Phase 1.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspectives
Appendix III.	Engineering Summary
Appendix IV	Hospital Precinct Road Network
Appendix V	ADP Comments
Appendix VI	OCP Redesignation Map
Appendix VII	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Wensley Architecture Ltd and Mark van der Zalm, respectively, dated June 2, 2011.

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

GAG/kms

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Kirk Fisher, Lark Group
Address: 17802 - 66 Avenue, Building A, Unit A - 101
Surrey, BC V3S 7X1
Tel: 6045762935 - Work
6045762935 - Fax

2. Properties involved in the Application
 - (a) Civic Address: 9656 137 Street, 9655 - 137A Street, 9646 - 137 Street, 9647 137A Street, 9638 - 137 Street, 9637 - 137A Street, 9630 - 137 Street, 9631 - 137A Street, 13695 - 96 Avenue, 13705 - 96 Avenue, 13715 - 96 Avenue and 13725 - 96 Avenue

 - (b) Civic Address: 9656 - 137 Street
Owner: North Harper Lands Development Ltd
PID: 002-598-523
Lot 28 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

 - (c) Civic Address: 9655 - 137A Street
Owner: North Harper Lands Development Ltd
PID: 010-013-458
Lot 29 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

 - (d) Civic Address: 9646 - 137 Street
Owner: North Harper Lands Development Ltd
PID: 002-254-298
Lot 30 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

 - (e) Civic Address: 9647 - 137A Street
Owner: North Harper Lands Development Ltd
PID: 002-325-420
Lot 31 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

 - (f) Civic Address: 9638 - 137 Street
Owner: North Harper Lands Development Ltd
PID: 002-633-850
Lot 32 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

 - (g) Civic Address: 9637 - 137A Street
Owner: North Harper Lands Development Ltd
PID: 010-013-482
Lot 33 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

- (h) Civic Address: 9630 - 137 Street
Owner: South Harper Lands Development Ltd
PID: 010-013-512
Lot 34 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725
- (i) Civic Address: 9631 - 137A Street
Owner: South Harper Lands Development Ltd
PID: 010-013-539
Lot 35 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725
- (j) Civic Address: 13695 - 96 Avenue
Owner: South Harper Lands Development Ltd
PID: 010-013-547
Lot 36 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725
- (k) Civic Address: 13705 - 96 Avenue
Owner: South Harper Lands Development Ltd
PID: 010-013-555
Lot 37 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725
- (l) Civic Address: 13715 - 96 Avenue
Owner: South Harper Lands Development Ltd
PID: 010-013-563
Lot 38 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725
- (m) Civic Address: 13725 - 96 Avenue
Owner: South Harper Lands Development Ltd
PID: 010-013-571
Lot 39 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to amend the Official Community Plan to redesignate the two most northerly lots of the site.
- (b) Introduce a By-law to rezone the site.

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on C-35)

Required Development Data	Minimum Required / Maximum Allowed in Proposed CD Zone	Proposed
LOT AREA* Phase 1 (in square metres)		
Gross Total		5,410 sq. m.
Road Widening area		638 sq. m.
Undevelopable area		
Net Total		4,772 sq. m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	44%
Paved & Hard Surfaced Areas		46%
Total Site Coverage		90%
SETBACKS (in metres)(for Phase 1)		
North	6.0 metres	24 metres
South	2.0 metres	3.4 metres
West	Zero	zero
East	Zero	0.4 metres
BUILDING HEIGHT (in metres/storeys)		
Principal	60 metres	54 metres
Accessory	4.5 metres	
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Phase 1		17,000 sq. m.
Phase 2		14,000 sq. m.
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		31,000 sq. m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed in Proposed CD Zone	Proposed
DENSITY		
FAR (net) Phase 1	3.8 FAR	3.6 FAR
FAR (net)Phase 2	4.8 FAR	4.7 FAR
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls) (Phase 1)		
Commercial	271	519
Total Number of Parking Spaces	271	519
Number of disabled stalls		
Number of small cars		88 / 17%
Tandem Parking Spaces	0	0

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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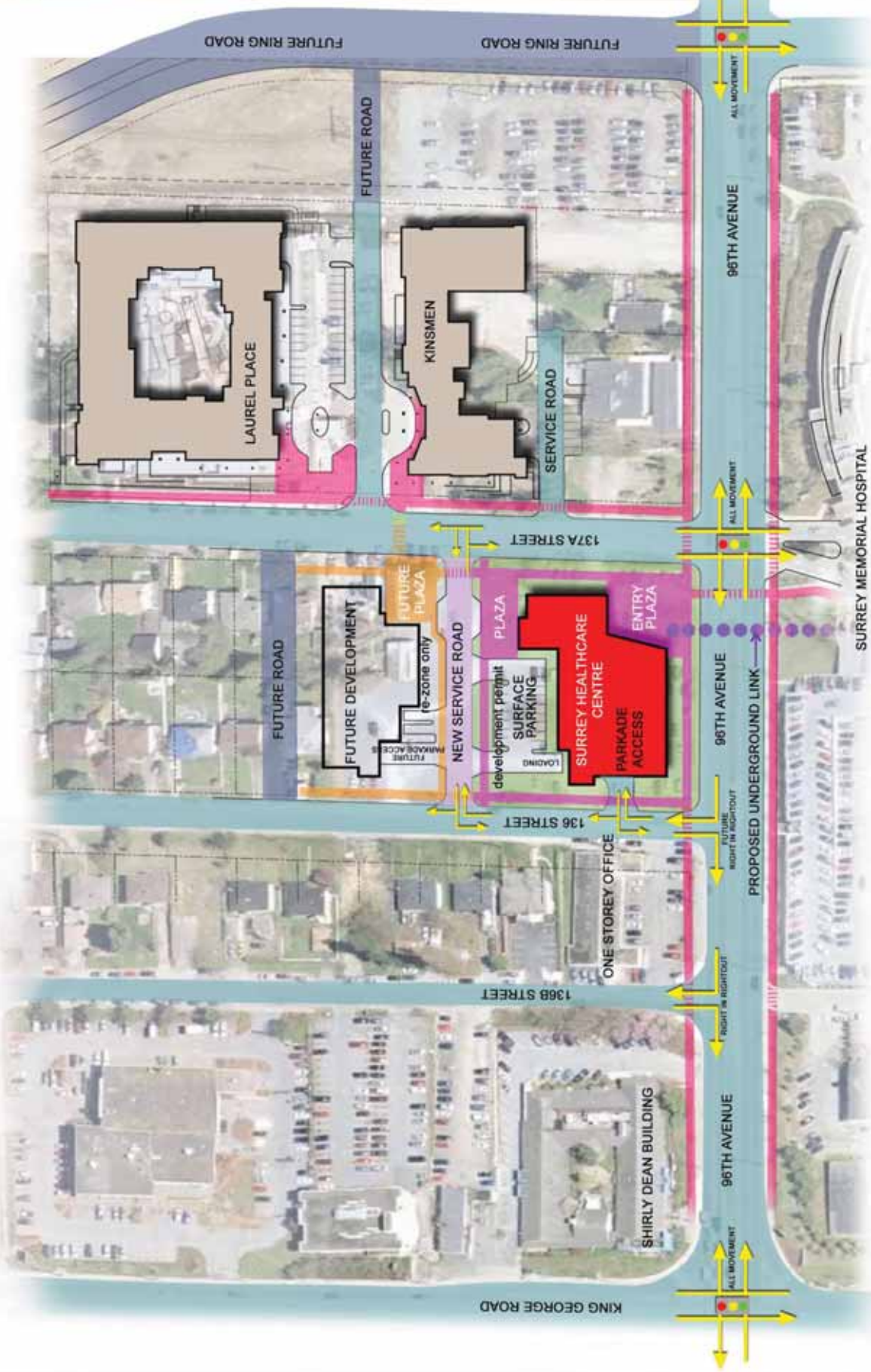
PROPOSED SURREY HEALTHCARE CENTRE



CITY OF SURREY FILE # DP: 7911-0053-00
REVISED DEVELOPMENT PERMIT SUBMISSION JUNE 17 2011



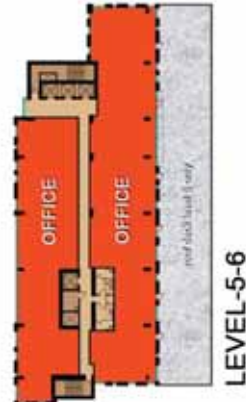
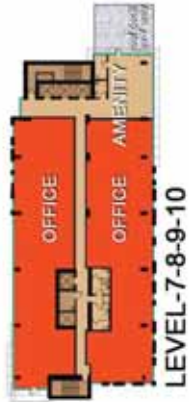
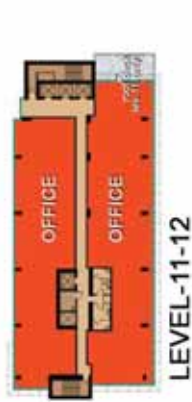
SURREY HEALTHCARE CENTRE



SITE ANALYSIS PLAN

REVISED DEVELOPMENT PERMIT SUBMISSION JUNE 17 2011

SURREY HEALTHCARE CENTRE



REVISED DEVELOPMENT PERMIT SUBMISSION JUNE 17 2011

SITE PLAN/FLOOR PLANS

SURREY HEALTHCARE CENTRE



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION
REVISED DEVELOPMENT PERMIT SUBMISSION JUNE 17 2011



EAST ELEVATION

COLOURED ELEVATIONS



SURREY HEALTHCARE CENTRE



VIEW FROM 96TH AVE. LOOKING NORTH



VIEW FROM 136B ST. LOOKING WEST



REVISED DEVELOPMENT PERMIT SUBMISSION JUNE 17 2011

STREETSCAPE WITH BUILDING

SURREY HEALTHCARE CENTRE



SURREY HEALTHCARE CENTRE



SOUTH-WEST VIEW



SOUTH-EAST VIEW



NORTH-EAST VIEW



NORTH-WEST VIEW

REVISED DEVELOPMENT PERMIT SUBMISSION JUNE 17 2011

CONTEXT MODEL SHOTS



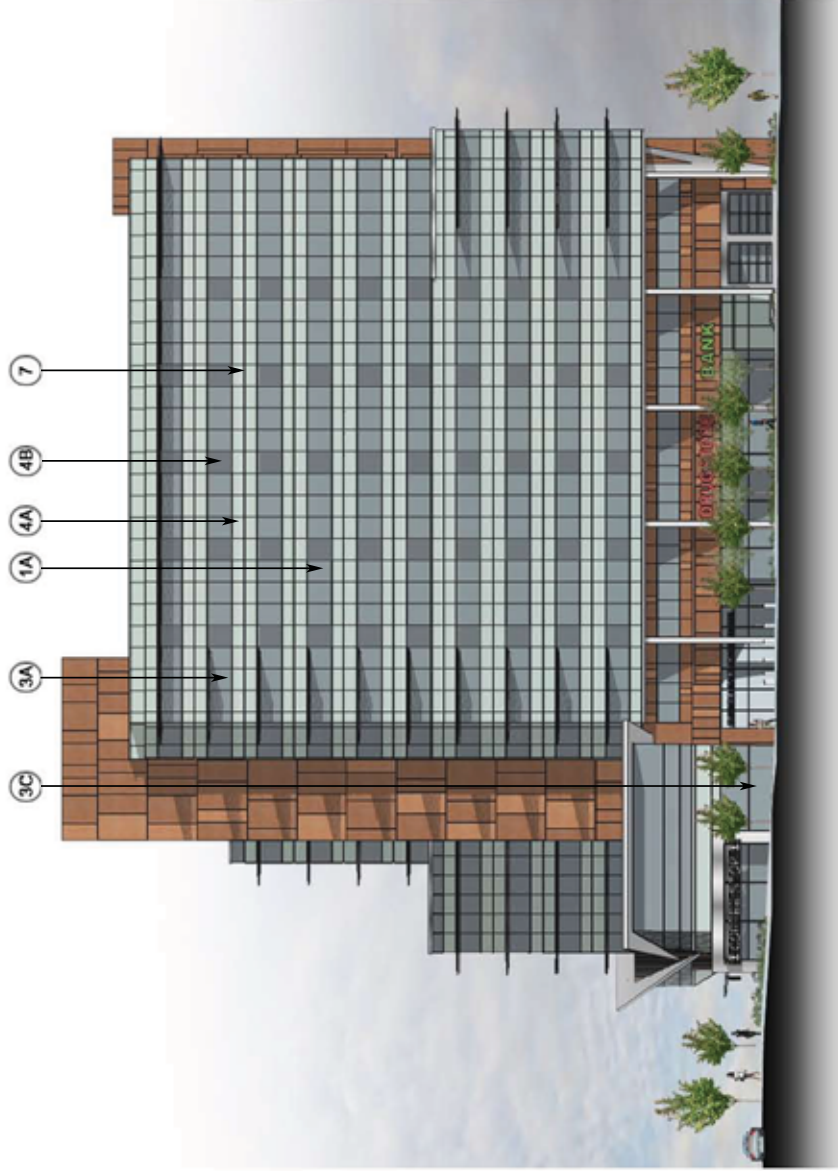
SURREY HEALTHCARE CENTRE



3A GLAZING
TINTED BLUE-GREEN LOW-E GLAZING



3C GLAZING
CLEAR LOW-E GLAZING



3C

3A

1A

4A

4B

7

4A

SPANDREL GLAZING
COLOR: ICI #10 GG 53/030
SOUVENIR



4B

SPANDREL GLAZING
COLOR: ICI #90 BG 16/060
INLAND WATERS



1A & 7

CURTAIN WALL FRAME
CLEAR ANODIZED ALUMINUM



MATERIALS SAMPLE BOARD

REVISED DEVELOPMENT PERMIT SUBMISSION JUNE 17 2011

SURREY HEALTHCARE CENTRE



② PREFINISHED METAL PANEL
COLOR: BRONZE WITH VARIATIONS

MATERIAL FINISH LEGEND

- ② COMPOSITE PANELS
- ③A GLAZING - TINTED BLUE-GREEN
- ③B GLAZING - TINTED GREY
- ③C GLAZING - CLEAR
- ④ SPANDREL GLAZING
- ⑤ ALUMINUM SUNSHADES SYSTEM
- ⑥ VERTICAL ALUMINUM FIN
- ⑦ ALUMINUM CURTAIN WALL

THESE DIMENSIONS ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES BEFORE COMMENCING WORK.

PROJECT DATA - PHASE 1

PROPOSED ZONE: COMPREHENSIVE DEVELOPMENT ZONE (C0)
 GROSS SITE AREA: 58,293 S.F. (5,415.64m²)
 ROAD WIDENING AREA: (EAST, SOUTH, WEST) = 6,812.67 S.F. (632.92m²)
 PROPOSED SERVICE ROAD = 9,442.44 S.F. (877.23m²)
 NET LOT AREA = GROSS AREA - ROAD WIDENING
 TOTAL = 51,480.84 S.F. (4,782.75m²)
 LOT COVERAGE = 28.19% S.F. (2,619.40m²)
 PERCENTAGE % OF LOT AREA = 54.6 %
 F.A.R.: (GROSS BUILDING AREA/ NET LOT AREA) = .36

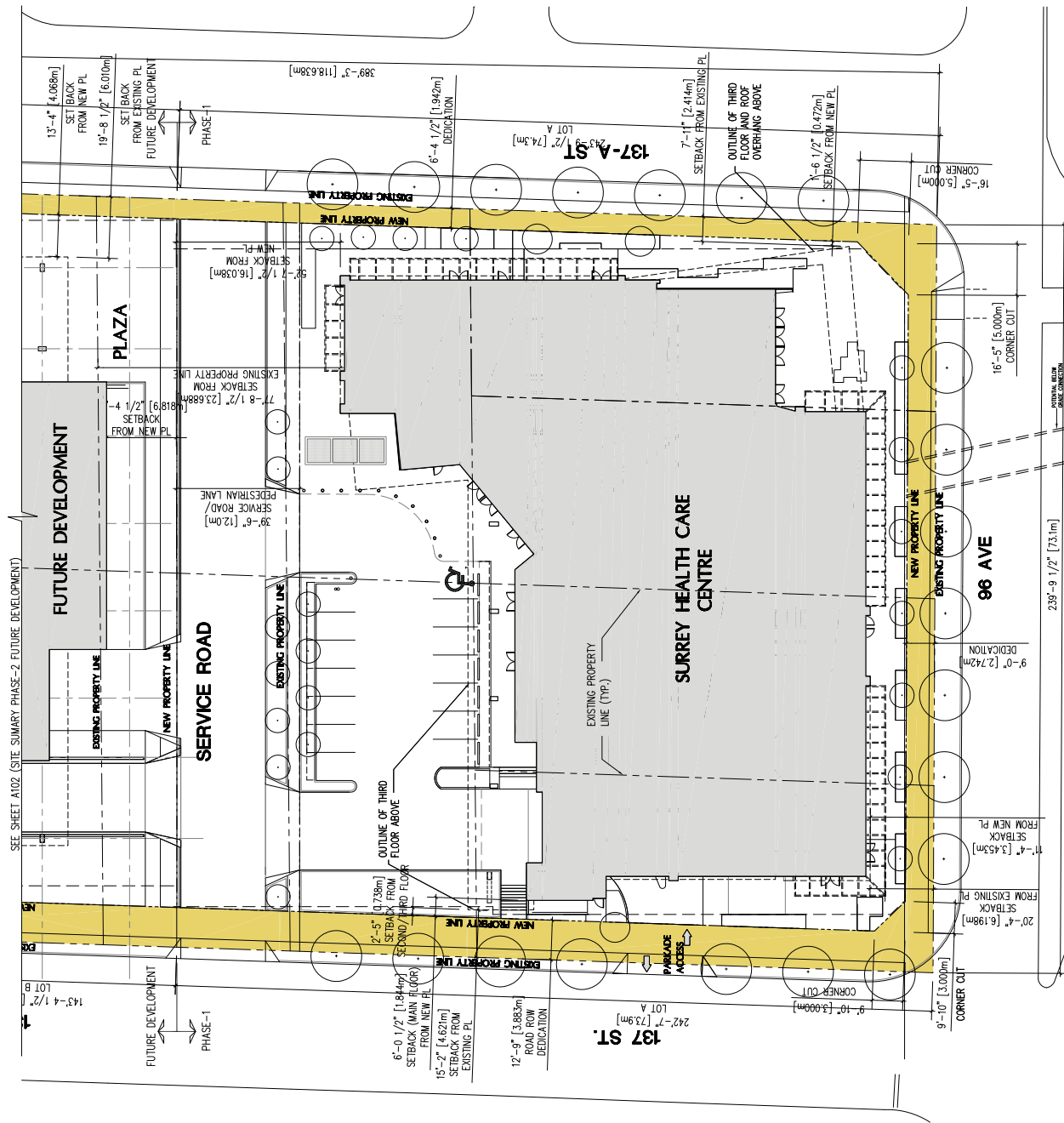
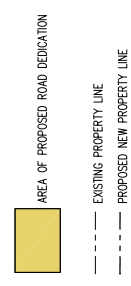
SETBACKS:
 DIMENSIONS TAKEN FROM EXISTING PROPERTY LINE
 DIMENSIONS TAKEN FROM PROPOSED NEW PROPERTY LINE
 FRONT: 20'-4" (6.20m)
 REAR: 77'-8 1/2" (23.69m)
 SIDE YARD (EAST): 7'-11" (2.41m)
 SIDE YARD (WEST): 15'-2" (4.62m)
 BUILDING HEIGHT: 12 FLOORS = 177'-8 1/2" (53.31m)

GROSS BUILDING FLOOR AREA

LEVEL-P1	12,143 S.F.
LEVEL-1	33,099 S.F.
LEVEL-2	20,956 S.F.
LEVEL-3	24,254 S.F.
LEVEL-4	17,546 S.F.
LEVEL-5	17,607 S.F.
LEVEL-6	12,476 S.F.
LEVEL-7	12,522 S.F.
LEVEL-8	11,522 S.F.
LEVEL-9	11,522 S.F.
LEVEL-10	11,522 S.F.
LEVEL-11	11,522 S.F.
LEVEL-12	11,128 S.F.
TOTAL GROSS BUILDING AREA	196,302 S.F. (17,308.02 m ²)

PARKING

LEVEL-P4	GROSS AREA PARKING	49,654 S.F.	138 STALLS
LEVEL-P3	GROSS AREA PARKING	49,654 S.F.	138 STALLS
LEVEL-P2	GROSS AREA PARKING	49,654 S.F.	135 STALLS
LEVEL-P1	GROSS AREA PARKING	33,011 S.F.	95 STALLS
TOTAL GROSS PARKING AREA	181,973 S.F.	(16,850.1 m ²)	506 STALLS
STRUCTURED PARKING STALLS			13 STALLS
SURFACE PARKING STALLS			519 STALLS
TOTAL PARKING STALLS			532 STALLS
REGULAR STALLS			425 STALLS
SMALL CAR			88 STALLS (17%)
PARKING FOR PERSONS WITH DISABILITIES			6 STALLS
(BASED ON RATIO 1 PER 100 STALLS OR PART THEREOF)			



1 ROAD DEDICATION PLAN
 1/4" = 1'-0"



1. REVISIONS TO EXISTING DEVELOPMENT	DATE	BY
2. REVISIONS TO EXISTING DEVELOPMENT	DATE	BY
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29. REVISIONS TO EXISTING DEVELOPMENT	DATE	BY
30. REVISIONS TO EXISTING DEVELOPMENT	DATE	BY

PROPOSED SURREY HEALTHCARE CENTRE SURREY B.C.



SITE SUMMARY PHASE-1

PROJECT NO.	001	DRAWN BY	NS
DATE	1/26/17	CHECKED BY	NS
DATE	02/20/18	DATE	AND

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NO.	REVISION	DATE
1	ISSUED FOR PERMITS	15/02/21
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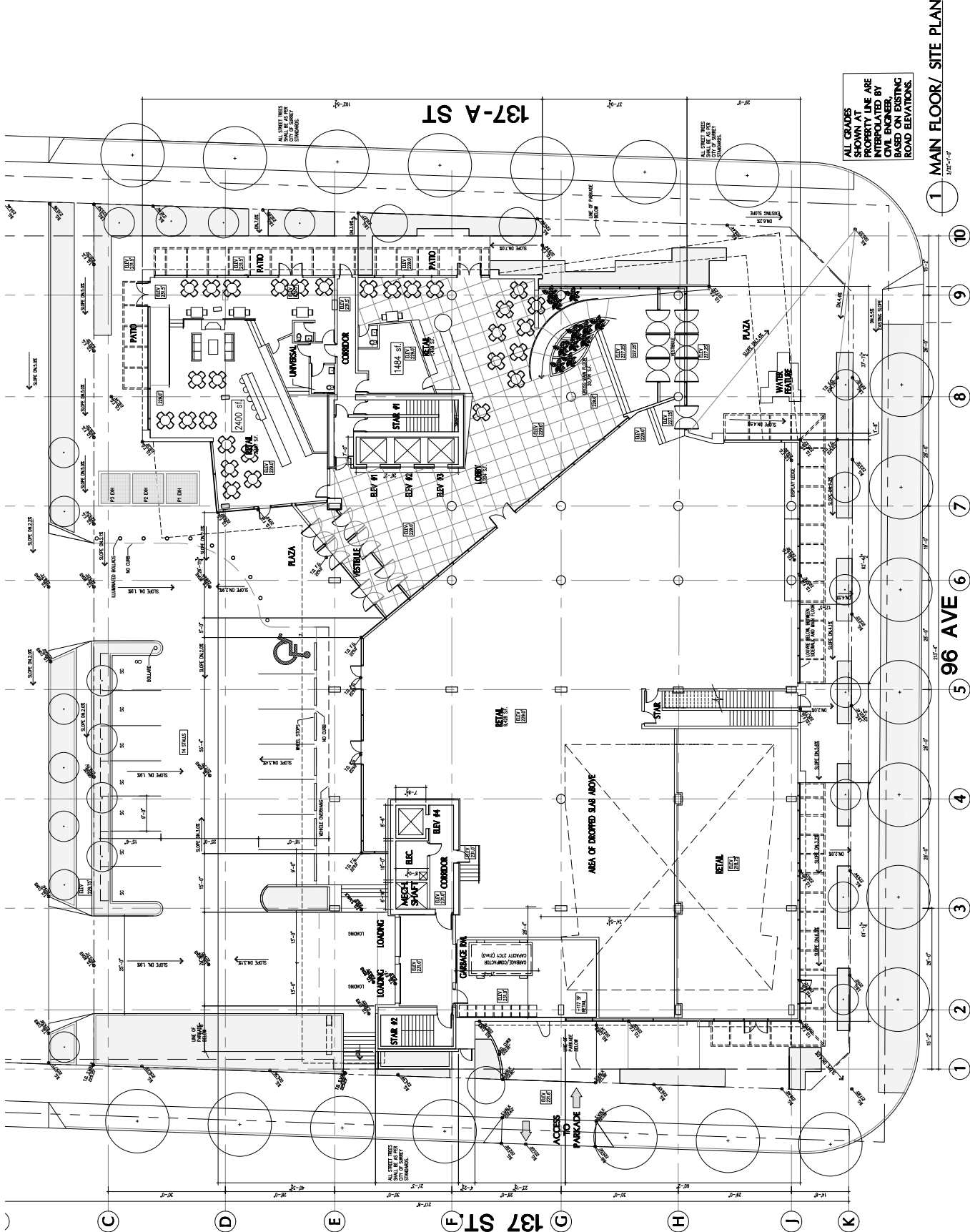
SCALE

PROPOSED
SURREY
HEALTHCARE
CENTRE
SURREY B.C.



Wensley Architecture Ltd
110 - 1111 14th Street
Surrey, BC V3R 4C1
Tel: 604.591.1111
www.wensleyarchitecture.com

PROJECT NO.	DATE	SCALE	DATE
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1100	15/02/21	1/8" = 1'-0"	15/02/21



1 MAIN FLOOR/ SITE PLAN
1/8" = 1'-0"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL SERVICES AND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



NO.	REVISION	DATE
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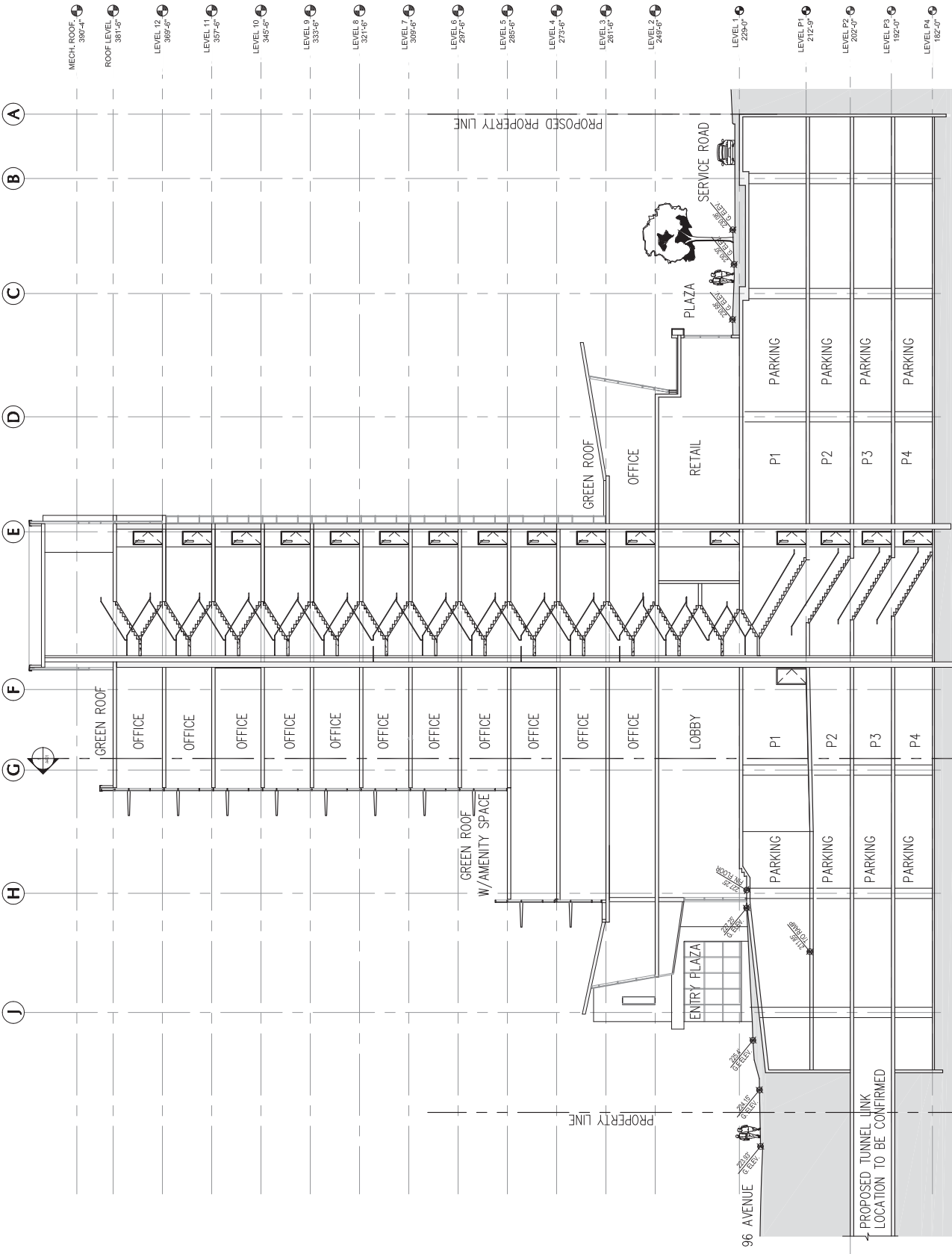
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Wensley Architecture Ltd
300 - 1144 Burrard St.
V6C 1K6
TEL: 604.271.1111
WWW.WENSLYARCHITECTURE.COM

MECHANICAL:
ELECTRICAL:
LANDSCAPE:

PROJECT NO.	014	DRAWN BY	MB
SCALE	1/8" = 1'-0"	CHECKED BY	MB
DATE	03/20/21	DESIGNED BY	A400



1 GENERAL BUILDING SECTION
3/21" = 1'-0"

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NO.	REVISED	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	15/07/21	
2	ISSUED FOR SUBMISSION	15/07/21	
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SCALE

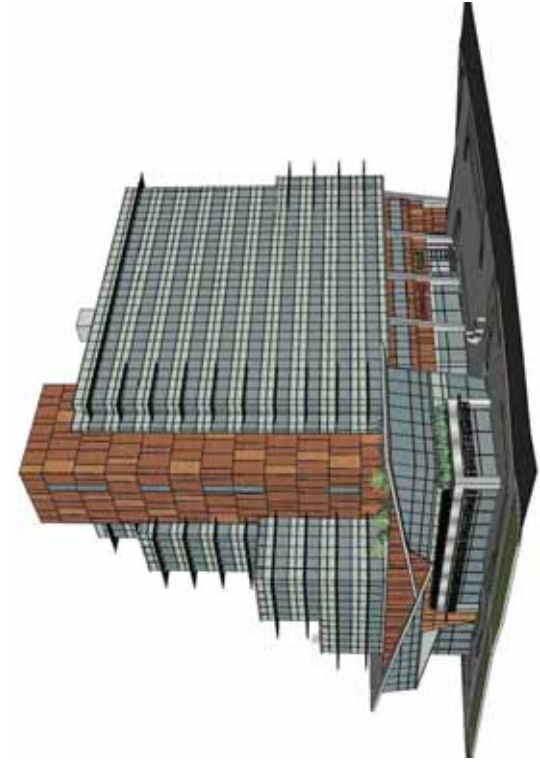
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HEALTHCARE
CENTRE
SURREY B.C.



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1000 West 10th Street
V6Z 1G7
Vancouver, BC
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DRAWING TITLE: PERSPECTIVE SKETCHES

PROJECT NO.	001	DRAWING NO.	05
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DATE	15/07/2020	SCALE	A500



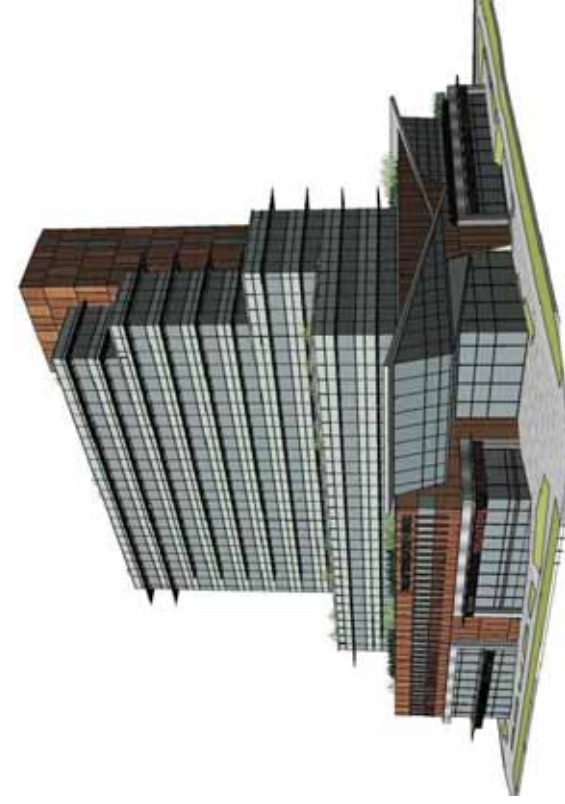
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N.E.C.



4 PERSPECTIVE AT THE NORTH-WEST CORNER
N.E.C.



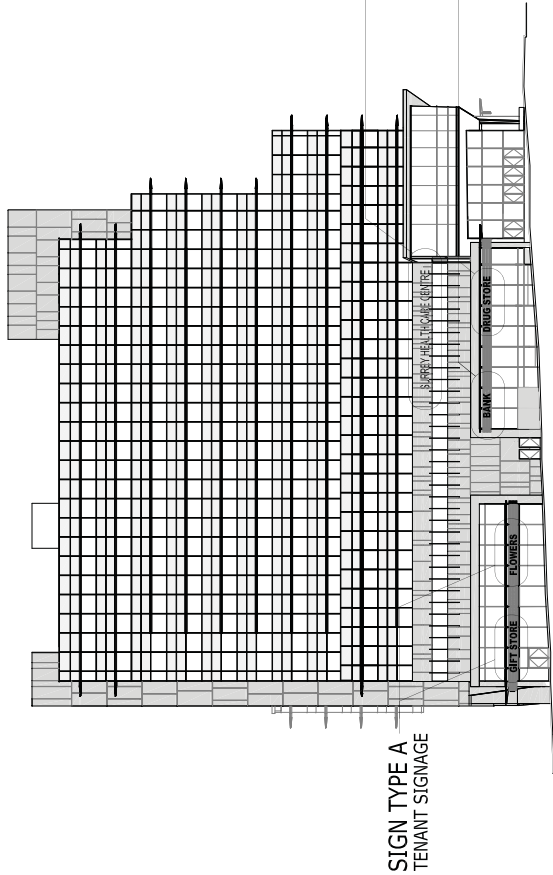
1 PERSPECTIVE AT THE CORNER OF 137 STREET & 96TH AVENUE
N.E.C.



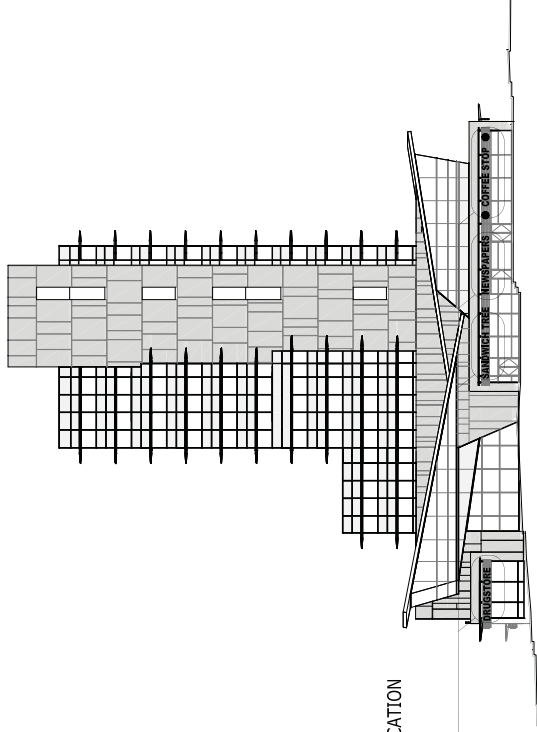
3 PERSPECTIVE AT THE CORNER OF 137-A STREET & 96TH AVENUE
N.E.C.

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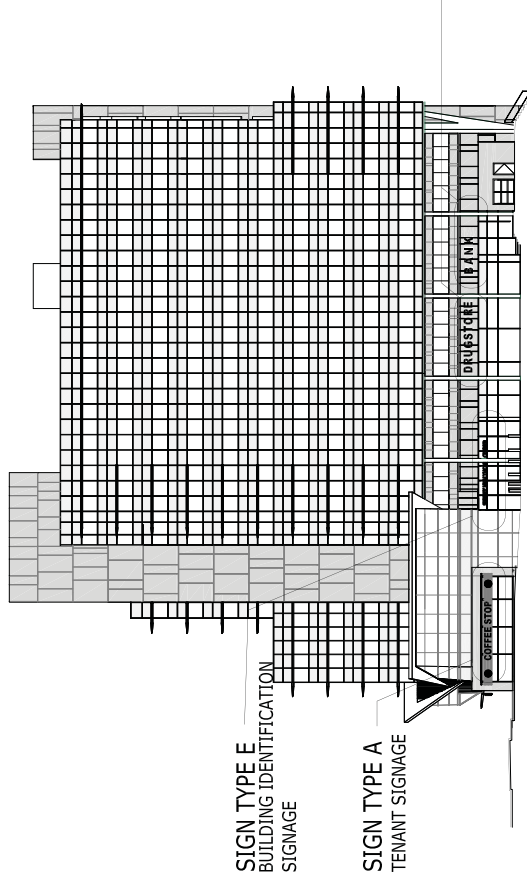
REFER TO
DRAWINGS
A801 & A802
FOR SIGNAGE
DETAILS



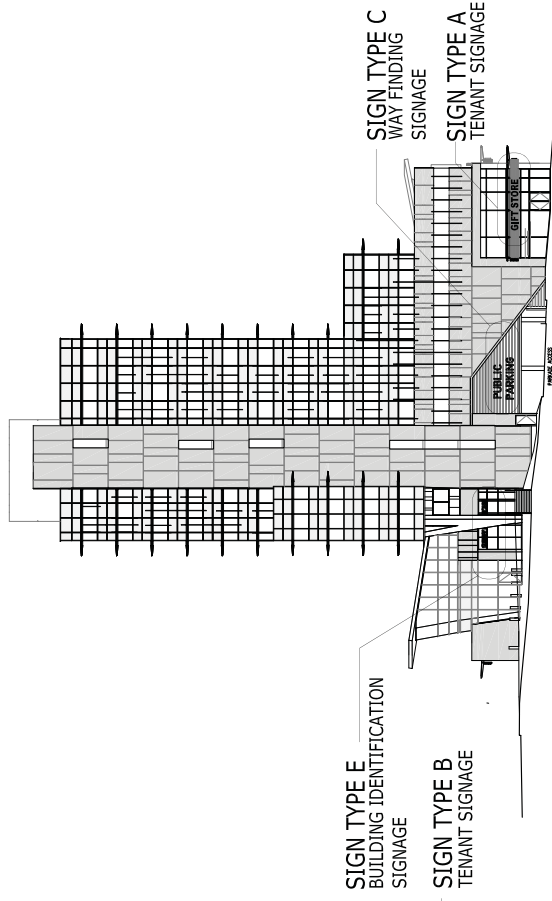
1 SOUTH ELEVATION- SIGNAGE
N.E.S.



2 EAST ELEVATION- SIGNAGE
A.E.S.



3 NORTH ELEVATION- SIGNAGE
N.E.S.



4 WEST ELEVATION- SIGNAGE
W.E.S.

PROPOSED
SURREY
HEALTHCARE
CENTRE
SURREY B.C.



Wensley
Architecture Ltd
100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000

PROJECT NO.	0914	DRAWN BY	AG
SCALE	N.E.S.	CHECKED BY	AG
DATE	MAY 2011	DESIGNED BY	A8000

CONTRACTOR RESPONSIBLE FOR ALL WIRING OF SIG. DRAWING ARE TO BE INSTALLED AND ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF SURREY ELECTRICAL CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURREY PRIOR TO PROCEEDING WITH THE WORK.



NO.	REVISION	DATE
1.	ISSUE FOR PERMIT	04/17/21
2.	REVISED DEVELOPMENT PERMIT SUBMISSION	04/17/21
3.	REVISION TO PERMIT SUBMISSION	04/17/21

SCALE

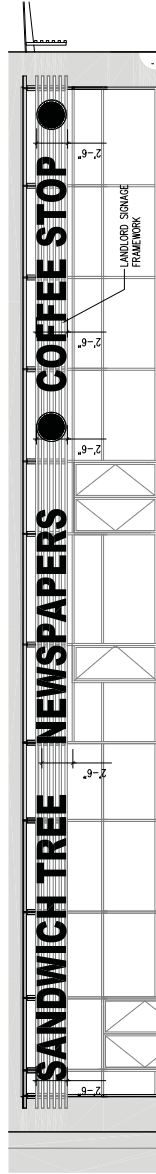
PROPOSED
SURREY
HEALTHCARE
CENTRE
SURREY B.C.



Wensley Architecture Ltd
382 - 24th Street E.
Surrey, BC V4A 4A4
Tel: 604.591.1111
www.wensleyarchitecture.com

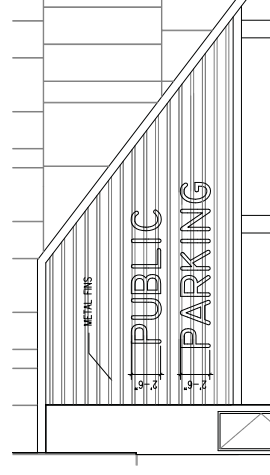
DATE: MAY 2021
SCALE: AS NOTED
PROJECT NO: 0914
DRAWN BY: JMS
CHECKED BY: JMS
DESIGNED BY: JMS
JOB NO: A801

SIGNAGE DETAILS

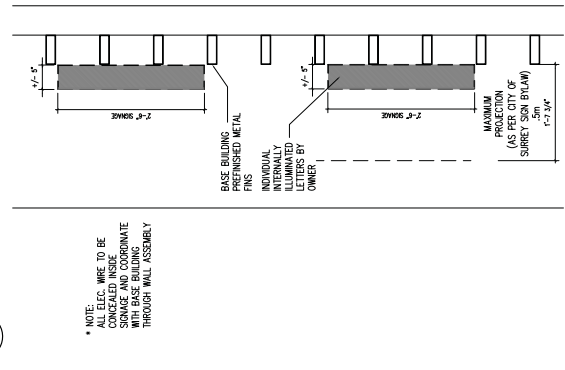


A TYPE A SIGNAGE- ELEVATION
N.E.S.

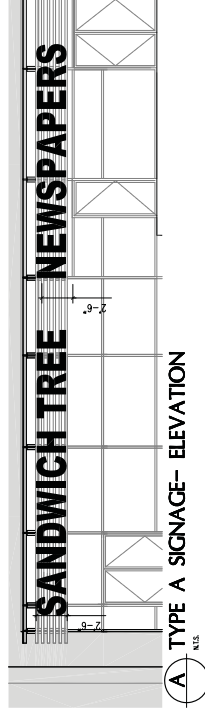
TYPE A- FASCIA SIGNAGE- BY TENANT
LOCATION: GROUND LEVEL RETAIL
2'-6" HIGH INTERNALLY ILLUMINATED INDIVIDUAL LETTERS AND/OR COMPANY LOGOS- ATTACHED TO LANDLORD SIGNAGE FRAMEWORK
SIGNAGE TO BE CONCEALED INSIDE OF SIGNAGE FRAMEWORK
MAXIMUM SIGNAGE AREA: 0.3 SQM (3 SQ FT) PER LINEAR FOOT OF PREMISE FRONTAGE
MAXIMUM COPY AREA: 50% OF SIGN AREA
MAXIMUM PROJECTION: 0.5M (1.6 FT) FROM THE BUILDING FACE TO WHICH IT IS ATTACHED.



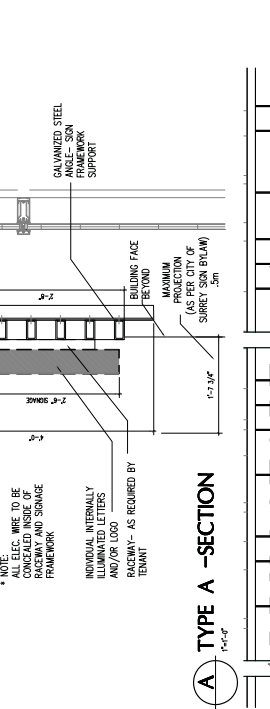
C TYPE C SIGNAGE
N.E.S.



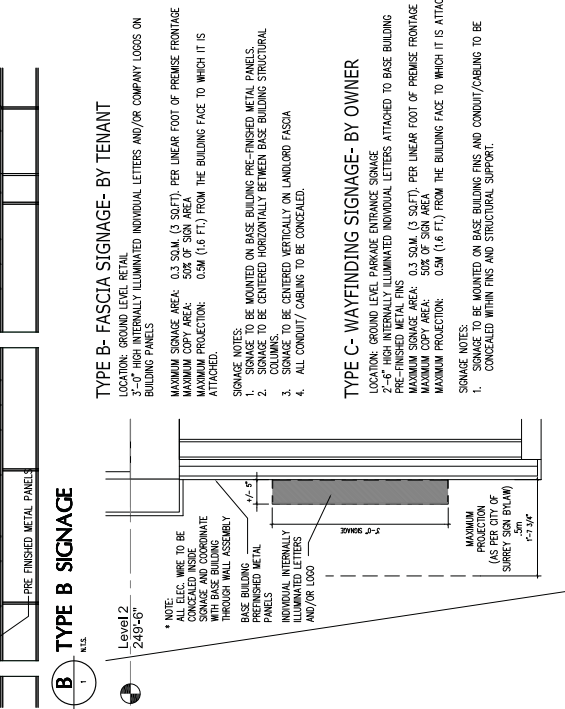
C TYPE C SIGNAGE- TYPICAL DETAIL
N.E.S.



TYPE B- FASCIA SIGNAGE- BY TENANT
LOCATION: GROUND LEVEL RETAIL
3'-0" HIGH INTERNALLY ILLUMINATED INDIVIDUAL LETTERS AND/OR COMPANY LOGOS ON BUILDING PANELS
MAXIMUM SIGNAGE AREA: 0.3 SQM (3 SQ FT) PER LINEAR FOOT OF PREMISE FRONTAGE
MAXIMUM COPY AREA: 50% OF SIGN AREA
MAXIMUM PROJECTION: 0.5M (1.6 FT) FROM THE BUILDING FACE TO WHICH IT IS ATTACHED.



B TYPE B SIGNAGE
N.E.S.



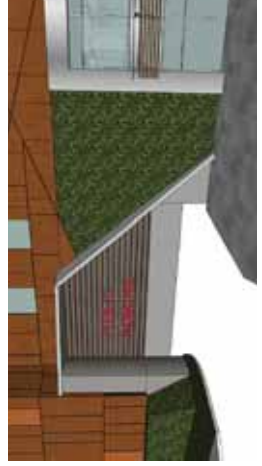
B TYPE B SIGNAGE- TYPICAL DETAIL
N.E.S.



A TYPE A SIGNAGE- CONCEPT RENDERING
N.E.S.



B TYPE B SIGNAGE- CONCEPT RENDERING
N.E.S.



C TYPE C SIGNAGE- CONCEPT RENDERING
N.E.S.

* NOTE:
ALL ELEC. WIRE TO BE CONCEALED INSIDE OF SIGNAGE FRAMEWORK WITH BASE BUILDING THROUGH WALL ASSEMBLY

TYPE C- WAYFINDING SIGNAGE- BY OWNER
LOCATION: GROUND LEVEL PARKING ENTRANCE SIGNAGE
2'-6" HIGH INTERNALLY ILLUMINATED INDIVIDUAL LETTERS ATTACHED TO BASE BUILDING STRUCTURAL FRAMEWORK
MAXIMUM SIGNAGE AREA: 0.3 SQM (3 SQ FT) PER LINEAR FOOT OF PREMISE FRONTAGE
MAXIMUM COPY AREA: 50% OF SIGN AREA
MAXIMUM PROJECTION: 0.5M (1.6 FT) FROM THE BUILDING FACE TO WHICH IT IS ATTACHED.

TYPE A- SECTION
CANOPY GLAZING
LANDLORD SIGNAGE FRAMEWORK
BOLT HOLES TO BE DRILLED AND PRE-FILLED WITH CAULKING
BUILDING FACE/ STOREFRONT BEYOND
GALVANIZED STEEL ANGLE SIGNAGE FRAMEWORK SUPPORT
INDIVIDUAL INTERNALLY ILLUMINATED LETTERS AND/OR LOGO
RACEWAY- AS REQUIRED BY TENANT
BUILDING FACE BEYOND
MAXIMUM PROJECTION (AS PER CITY OF SURREY SIGN BYLAW)
1'-2 3/4"

* NOTE:
ALL ELEC. WIRE TO BE CONCEALED INSIDE OF SIGNAGE FRAMEWORK
INDIVIDUAL INTERNALLY ILLUMINATED LETTERS AND/OR LOGO
RACEWAY- AS REQUIRED BY TENANT

* NOTE:
ALL ELEC. WIRE TO BE CONCEALED INSIDE OF SIGNAGE FRAMEWORK WITH BASE BUILDING THROUGH WALL ASSEMBLY
BASE BUILDING PRE-FINISHED METAL PANELS
INDIVIDUAL INTERNALLY ILLUMINATED LETTERS AND/OR LOGO

* NOTE:
ALL ELEC. WIRE TO BE CONCEALED INSIDE OF SIGNAGE FRAMEWORK WITH BASE BUILDING THROUGH WALL ASSEMBLY
BASE BUILDING PRE-FINISHED METAL PANELS
INDIVIDUAL INTERNALLY ILLUMINATED LETTERS AND/OR LOGO

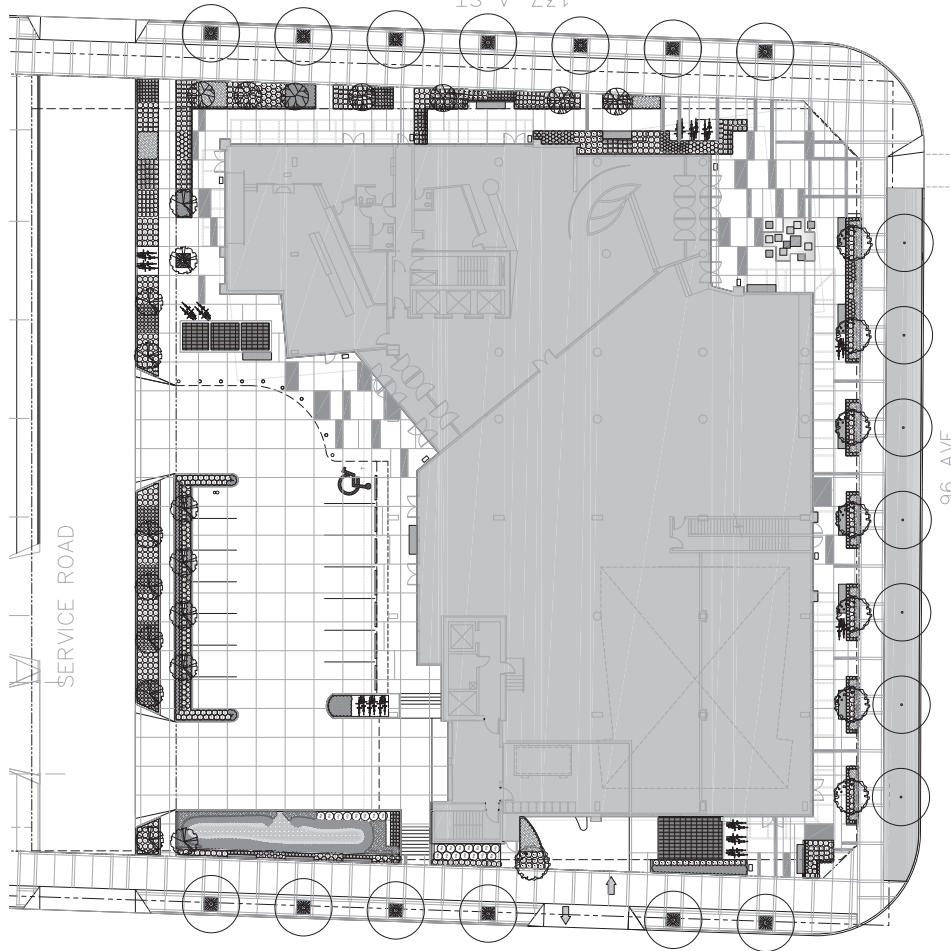
SURREY HEALTHCARE CENTRE - Landscape Development

13695-96th Avenue, Surrey BC

Client/Owner:
LARK GROUP
13695-96th Avenue
Surrey, BC V3V 2Y1 Canada | T (604) 270-2919

Landscape Architect:
van der Zalm + associates Inc.
Suite 1, 1031-120th Street
Surrey, BC V3V 2Y1 Canada
T (604) 270-2919
www.vdz.com

Architect:
Wensley Architecture Ltd.
8911 - 144th Street
Surrey, BC V3V 2Y1 Canada
T (604) 270-2919
www.wensley.com



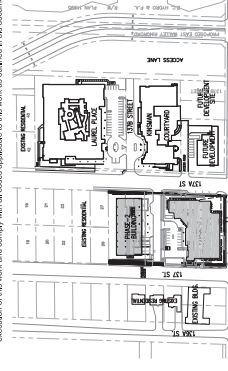
Site Plan Scale: 1:200

SHEET KEY

001	COVER SHEET
002	TREE SURVEY PLAN
003	LEVEL 1 LANDSCAPE PLAN
004	LEVEL 2 LANDSCAPE PLAN
005	LEVEL 3 LANDSCAPE PLAN
006	LEVEL 5 LANDSCAPE PLAN
007	LEVEL 7 LANDSCAPE PLAN
008	LEVEL 11 LANDSCAPE PLAN
009	ROOF LANDSCAPE PLAN
010	DETAILS
011	SECTIONS

General Notes

- Contractor shall verify underground utility lines and is responsible for any damage.
- The contractor shall avoid all existing utilities underground and overhead where applicable. Where underground utilities exist, slight adjustments must be approved by the landscape architect prior to construction.
- Contractor shall verify all existing conditions in the field prior to construction and install any landscape architect of any variance.
- Material quantities shown are for contractor convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- Work shall conform to BCLMA Standards.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- The landscape architect reserves the right to reject landscape material on site whether stock piled or installed in place.
- All plants shall be planted per the landscape plan and specifications. Plantings not found to be in compliance with the specifications shall be replaced to the satisfaction of the landscape architect.
- Plants, walkways and sidewalks shall be installed as shown. All areas shall be completely and shall not pond nor puddle.
- Where planting beds meet turf areas, the contractor shall provide a calibrated edge. Multiple all shrub beds to the line shown.
- For trees planted in turf areas, provide a 3/4" dia. mulch ring (remove existing turf) at 2' tick with a calibrated edge.
- An approved permeant landscape shall be applied to all planting beds at a rate specified by manufacturer for each plant variety.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work as outlined in this document.



Site Location Map scale: NTS

van der Zalm + associates Inc.
Landscape Architects • Urban Design • Visual Branding
Suite 1, 1031-120th Street
Surrey, BC V3V 2Y1 Canada
T (604) 270-2919
www.vdz.com

LARK GROUP
Wensley Architecture Ltd
13695-96th Avenue
Surrey, BC V3V 2Y1 Canada
T (604) 270-2919
www.wensley.com

COVER SHEET

DRAWING TITLE

1	Revised for DP	June 16, 2011
2	ADP Submitted	June 2, 2011
3	Revised for DP	May 2, 2011
4	Revised for DP	May 2, 2011
5	Revised for DP	May 2, 2011
6	Revised for DP	May 2, 2011
7	Revised for DP	May 2, 2011
8	Revised for DP	May 2, 2011
9	Revised for DP	May 2, 2011
10	Revised for DP	May 2, 2011
11	Revised for DP	May 2, 2011
12	Revised for DP	May 2, 2011
13	Revised for DP	May 2, 2011
14	Revised for DP	May 2, 2011
15	Revised for DP	May 2, 2011
16	Revised for DP	May 2, 2011
17	Revised for DP	May 2, 2011
18	Revised for DP	May 2, 2011
19	Revised for DP	May 2, 2011
20	Revised for DP	May 2, 2011
21	Revised for DP	May 2, 2011
22	Revised for DP	May 2, 2011
23	Revised for DP	May 2, 2011
24	Revised for DP	May 2, 2011
25	Revised for DP	May 2, 2011
26	Revised for DP	May 2, 2011
27	Revised for DP	May 2, 2011
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29	Revised for DP	May 2, 2011
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31	Revised for DP	May 2, 2011
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33	Revised for DP	May 2, 2011
34	Revised for DP	May 2, 2011
35	Revised for DP	May 2, 2011
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41	Revised for DP	May 2, 2011
42	Revised for DP	May 2, 2011
43	Revised for DP	May 2, 2011
44	Revised for DP	May 2, 2011
45	Revised for DP	May 2, 2011
46	Revised for DP	May 2, 2011
47	Revised for DP	May 2, 2011
48	Revised for DP	May 2, 2011
49	Revised for DP	May 2, 2011
50	Revised for DP	May 2, 2011

PROJECT:
SURREY
HEALTH CARE CENTER

LOCATION:
13695-96th Avenue
Surrey, BC

PROJECT NO. DP2011 - 01

DRAWING NO. L-001

DRAWN	RS
CHECKED	MVDZ
APPROVED	MVDZ
SCALE	As Noted
DATE	Jan, 21, 2010

NOTES:

1. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. WHERE NECESSARY, THE CONTRACTOR SHALL PROVIDE PROTECTIVE CASING AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. ALL CHANGES AND ADJUSTMENTS MUST BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

L-004

PROJECT NO. DP2011 - 01

LEVEL 2



van der Zahn + associates Inc.
 1000 West Beaver Creek Road
 Suite 1000 West Beaver Creek
 Richmond, BC V6X 3S9
 P: 604.273.2244
 F: 604.273.2242
 info@vanzahn.com

LARK GROUP
Wensley Architecture Ltd
 301 - 1461 Avenue
 18th Floor, West Vancouver, BC
 V8M 2K7
 Tel: 604.273.2244
 Fax: 604.273.2242
 info@wensley.com

NOTES:

1. The contractor shall be responsible for the accuracy of the information provided in this drawing. The contractor shall be responsible for the accuracy of the information provided in this drawing.

NO.	DESCRIPTION	DATE
1	Issue for DP Review by LARK	Nov. 2, 2011
2	Issue for DP Review by LARK	Nov. 2, 2011
3	Issue for DP Review by LARK	Nov. 2, 2011
4	ADP Submission	June 2, 2011
5	Revised for DP	June 16, 2011

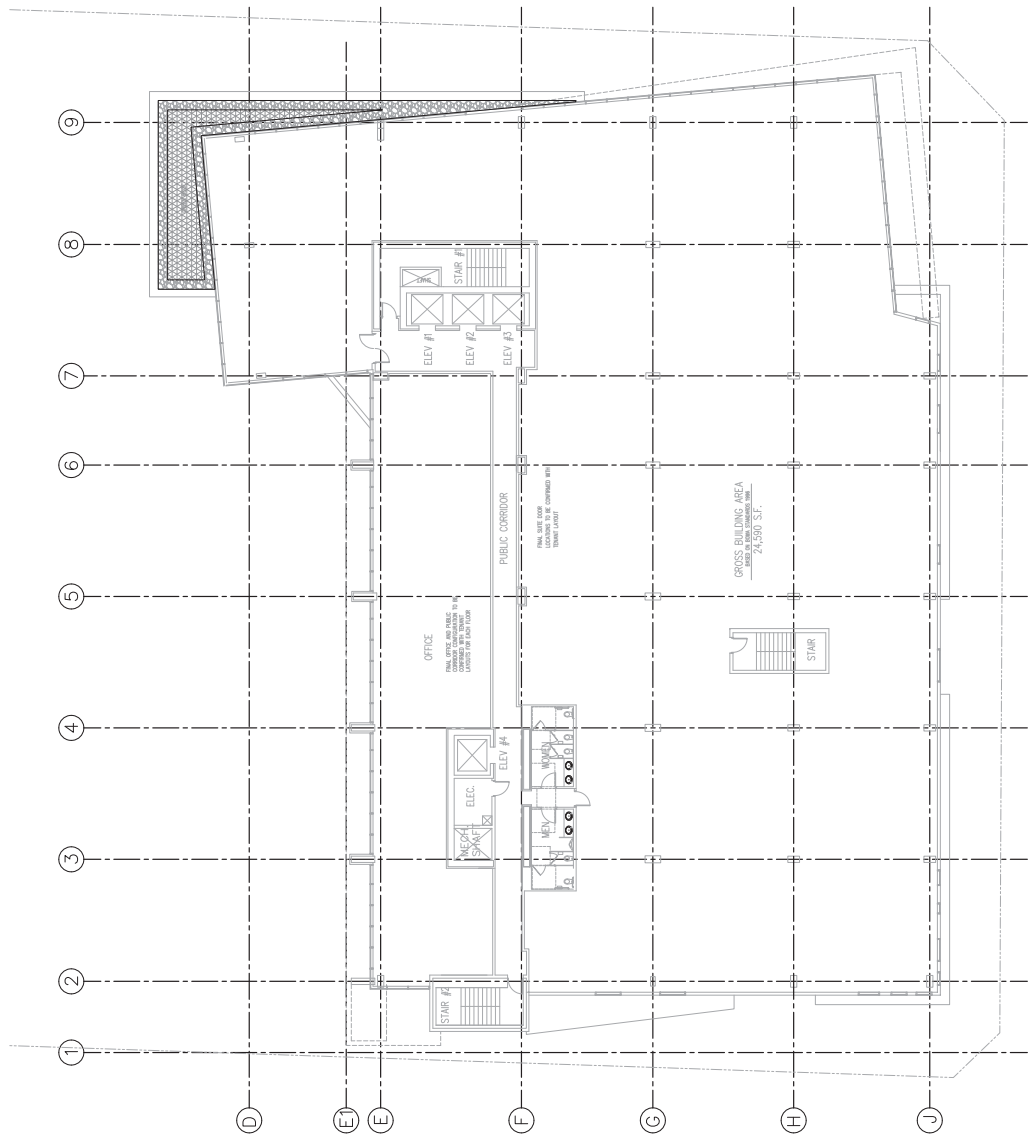
CONTRACTOR SHALL CHECK ALL DIMENSIONS TO THE CONDITIONS OF THE CONTRACT AND THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING.

PROJECT: SURREY HEALTH CARE CENTER
 LOCATION: 13695-96th Avenue
 Surrey, BC

DRAWN	RS
CHECKED	MNDZ
APPROVED	MNDZ
SCALE	1:150
DATE	FEB. 25, 2010

EXTENSIVE GREEN ROOF PLANT HABITAT SCHEDULES

PLANT NAME	COMMON NAME	PLANT CODE
...



LEVEL 2 LANDSCAPE PLAN
 SCALE: 1/150

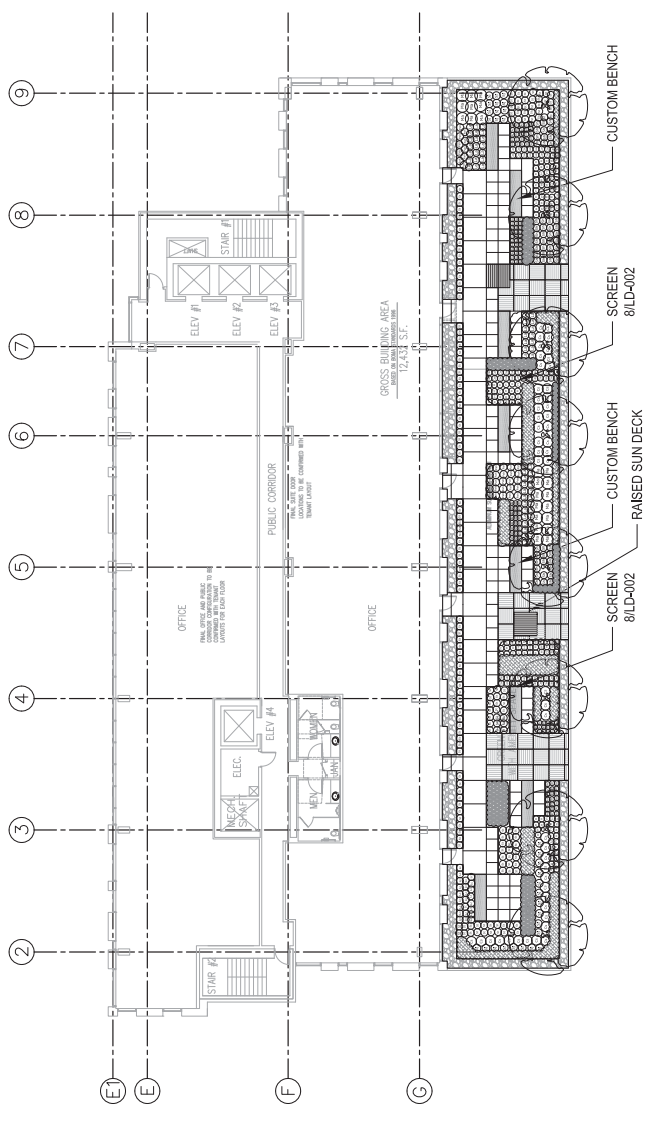
van der Zahn + associates inc.
 Landscaping
 Suite 1000 105 Street
 Surrey, B.C. V4A 1A5
 P: 604.582.0204
 F: 604.582.0262
 info@vanzahn.com
 www.vanzahn.com



NOTES:

1. ALL PLANT MATERIAL SHALL BE OF THE EXCELLENT STANDARD REQUIRED BY BAMA OR BCSA OR OTHER PEST.
2. ALL PLANT MATERIAL SHALL BE PLANTED WITHIN THE SPECIFIED TIME FRAME AND SHALL BE PLANTED WITHIN THE SPECIFIED TIME FRAME.
3. ALL PLANT MATERIAL SHALL BE PLANTED WITHIN THE SPECIFIED TIME FRAME AND SHALL BE PLANTED WITHIN THE SPECIFIED TIME FRAME.
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10. ALL PLANT MATERIAL SHALL BE PLANTED WITHIN THE SPECIFIED TIME FRAME AND SHALL BE PLANTED WITHIN THE SPECIFIED TIME FRAME.

ITEM #	ITEM NAME	QUANTITY	UNIT	PRICE	TOTAL PRICE
PERENNIALS SCHEDULE					
1	Black Star	150	4.17 PM	625.50	625.50
2	Black Star	150	4.17 PM	625.50	625.50
GRASSES SCHEDULE					
1	Black Star	150	4.17 PM	625.50	625.50
2	Black Star	150	4.17 PM	625.50	625.50
GROUNDCOVER SCHEDULE					
1	Black Star	150	4.17 PM	625.50	625.50
2	Black Star	150	4.17 PM	625.50	625.50



REV.	DESCRIPTION	DATE
1	Issue for DP	Nov. 2, 2011
2	Issue for DP	Nov. 2, 2011
3	Issue for DP	Nov. 2, 2011
4	ADP Submission	June 2, 2011
5	Revised for DP	June 16, 2011

CONTRACTOR SHALL CHECK ALL DIMENSIONS FOR THE CONSTRUCTION OF THE LANDSCAPE AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS. THE DIMENSIONS SHALL BE CHECKED AT THE COMPLETION OF THE WORK.

PROJECT: SURREY HEALTH CARE CENTER
 LOCATION: 13695-96th Avenue Surrey, BC

DRAWN	RS
CHECKED	MMDZ
APPROVED	MMDZ
SCALE	1:200
DATE	FEB. 25, 2010

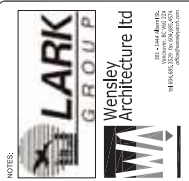
ROOF PLAN



PROJECT NO. DP2011 - 01

DRAWING NO. L-009

van der Zahn + associates inc.
 Consulting Engineers
 Suite 1100 105 Street
 Surrey, BC V4A 3A8
 P 604.852.9244
 F 604.852.9262
 info@vza.com
 www.vza.com



NOTES:

1. CONTRACTOR SHALL CHECK ALL DIMENSIONS TO THE CONSTRUCTION DOCUMENTS FOR ACCURACY TO THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND THE EXISTING DIMENSIONS OF THE OWNER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DISCREPANCIES AT THE COMPLETION OF THE WORK.

No.	Revisions	Date
1	Issue for DP Review by LARK	Nov 3, 2011
2	Revised by DP	Nov 7, 2011
3	Issue for DP	Nov 7, 2011
4	ADP Submitted	June 2, 2011
5	Revised by DP	June 16, 2011

PROJECT: SURREY HEALTH CARE CENTER
 LOCATION: 13695-96th Avenue Surrey, BC

DRAWN	RS
CHECKED	MNDZ
APPROVED	MNDZ
CAD FILE	L-009-ROOF PLANDING
SCALE	1:150
DATE	FEB.25, 2010

PLANT LEGEND

[Symbol]	Plant Name
[Symbol]	Plant Name
[Symbol]	Plant Name

- ALL PLANT MATERIAL SHALL BE FOR TESTING STANDARDS FROM BC OR LOCAL EQUIVALENTS.
- TOPSOIL: 150MM (6") LAYER OF A1 OR A2 TOPSOIL. A 100MM LAYER OF THE TOPSOIL WILL BE REQUIRED UNDER THE PLANTER.
- GRAVEL: 75MM (3") LAYER OF GRANULAR GRAVEL. A 75MM LAYER OF GRANULAR GRAVEL SHALL BE REQUIRED UNDER THE PLANTER.
- PERVIOUS: 75MM (3") LAYER OF PERVIOUS GRANULAR FILL. A 75MM LAYER OF PERVIOUS GRANULAR FILL SHALL BE REQUIRED UNDER THE PLANTER.
- PERVIOUS: 75MM (3") LAYER OF PERVIOUS GRANULAR FILL. A 75MM LAYER OF PERVIOUS GRANULAR FILL SHALL BE REQUIRED UNDER THE PLANTER.
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- PERVIOUS: 75MM (3") LAYER OF PERVIOUS GRANULAR FILL. A 75MM LAYER OF PERVIOUS GRANULAR FILL SHALL BE REQUIRED UNDER THE PLANTER.

TREES SCHEDULE

COMMON NAME	QUANTITY	SIZE	SPACE
[Symbol] Tree	1	10" DBH	10' x 10' x 10'
[Symbol] Tree	2	8" DBH	8' x 8' x 8'
[Symbol] Tree	3	6" DBH	6' x 6' x 6'
[Symbol] Tree	4	4" DBH	4' x 4' x 4'

GRASSES SCHEDULE

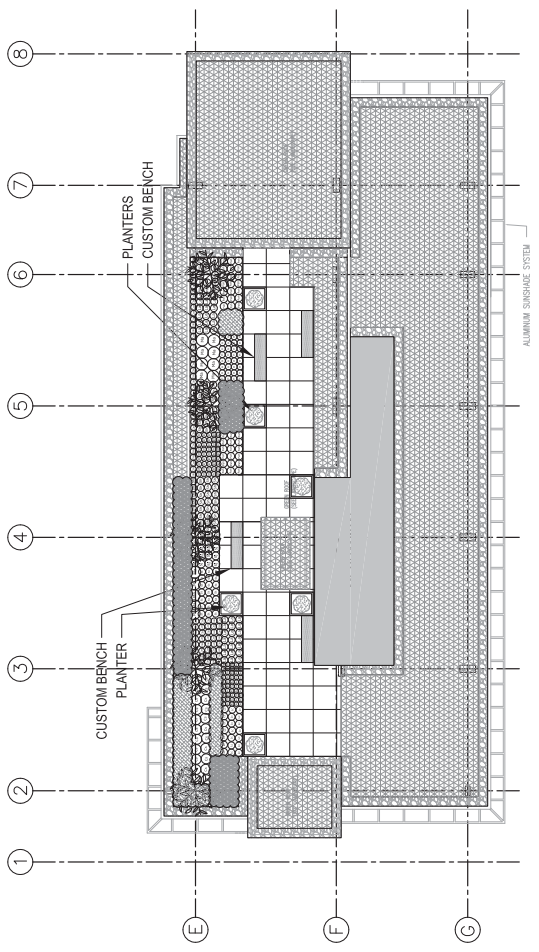
COMMON NAME	QUANTITY	SIZE	SPACE
[Symbol] Grass	500	1" DBH	1' x 1' x 1'
[Symbol] Grass	1000	1" DBH	1' x 1' x 1'
[Symbol] Grass	1500	1" DBH	1' x 1' x 1'

GROUND COVER SCHEDULE

COMMON NAME	QUANTITY	SIZE	SPACE
[Symbol] Groundcover	1000	1" DBH	1' x 1' x 1'
[Symbol] Groundcover	2000	1" DBH	1' x 1' x 1'

EXTENSIVE GREEN ROOF PLANT HABITAT SCHEDULE

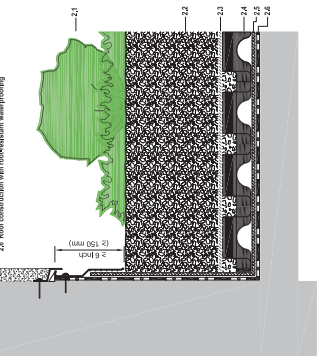
COMMON NAME	QUANTITY	SIZE	SPACE
[Symbol] Plant	1000	1" DBH	1' x 1' x 1'
[Symbol] Plant	2000	1" DBH	1' x 1' x 1'



- 2.1 Lamin, penetrable, white and seal flims.
- 2.2 Growling Membr-ZincCo Insulker, depth: > 200 mm
- 2.3 Drainage Element Flimsdrain, FD 10,
- 2.4 Drainage Element Flimsdrain, FD 10,
- 2.5 Füllfilz on crained aggregate,
- 2.6 Roof construction with consistent waterproofing



- 2.1 Lamin, penetrable, white and seal flims.
- 2.2 Growling Membr-ZincCo Insulker, depth: > 200 mm
- 2.3 Drainage Element Flimsdrain, FD 10,
- 2.4 Drainage Element Flimsdrain, FD 10,
- 2.5 Füllfilz on crained aggregate,
- 2.6 Roof construction with consistent waterproofing



When the waterproofing is not too porous an additional root barrier-ZincCo VSB is to be required between the membrane and the protection layer.

NOTES:
THIS SET OF DRAWINGS IS REFERRED TO THE GREEN ROOF SYSTEM THE ROOF CONSTRUCTION IS ONLY SCHEMATIC.
THE CONTRACTOR SHALL VERIFY THE DIMENSIONS AND MATERIALS OF ALL COMPONENTS AND MATERIALS.
THE CONTRACTOR SHALL VERIFY THE DIMENSIONS AND MATERIALS OF ALL COMPONENTS AND MATERIALS.

NO.	DESCRIPTION	DATE	BY	CHECKED
1	PROPOSED GREEN ROOF SYSTEM	2011.05.10	W. ZAIN	W. ZAIN

NO.	DESCRIPTION	DATE	BY	CHECKED
1	PROPOSED GREEN ROOF SYSTEM	2011.05.10	W. ZAIN	W. ZAIN



2. DECKING ON UPPER LEVELS
SCALE: 1:50



3. PROPOSED PLANTERS ON UPPER LEVELS
SCALE: 1:50



6. PROPOSED CUSTOM BENCH - GRANITE
SCALE: 1:50



5. PROPOSED TRASH RECEPTACLE
SCALE: 1:50



4. PROPOSED BIKE RACK
SCALE: 1:50



8. PROPOSED PRIVACY SCREENS
SCALE: 1:50



9. PROPOSED LED LIGHT PANELS
SCALE: 1:50



7. PROPOSED UNIT PAVING
SCALE: 1:50



SLATE

van der Zain + associates Inc.
Architecture
Suite 1000 105 Street
Surrey, British Columbia
V4N 1V5
P: 604.582.0204
F: 604.582.0262
info@vanderzain.com

LARK GROUP
Wensley Architecture Ltd
301 - West Avenue
Surrey, British Columbia
V4N 1V5
P: 604.582.0204
F: 604.582.0262
info@larkgroup.com

NOTES:

1. The contractor shall verify the dimensions and materials of all components and materials.

NO.	DESCRIPTION	DATE	BY	CHECKED
1	Based on DP Referred by LARK	Nov. 2, 2011		
2	Revised for DP	May 2, 2011		
3	ADP Submission	June 2, 2011		
4	Revised for DP	June 16, 2011		
5	Revised for DP	June 16, 2011		

CONTRACTOR SHALL CHECK ALL DIMENSIONS FOR THE CONTRACTOR'S RESPONSIBILITY TO THE CONSULTANT'S RESPONSIBILITY. THE CONSULTANT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND THE CONTRACTOR'S RESPONSIBILITY IS LIMITED TO THE CONSTRUCTION OF THE WORK.

PROJECT:
SURREY HEALTH CARE CENTER
LOCATION:
13695-96th Avenue
Surrey, BC

DRAWN	RS	CAD FILE	LD-002 DETAILS.DWG
CHECKED	MNDZ	DATE	Jan., 21, 2010
APPROVED	MNDZ	SCALE	

DETAILS



PROJECT NO.
DP2011 - 01

DRAWING NO.
LD-002

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Acting Development Services Manager, Engineering Department**

DATE: **June 2, 2011** PROJECT FILE: **7811-0053-00**

RE: **Engineering Requirements (Commercial)
Location: 9630 137 St**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 2.742 metres on 96 Avenue for a 30 metre road right-of-way.
- dedicate 3.883 metres on 137 Street and 1.942 metres on 137A Street for a 24 metre road rights-of-way.
- dedicate 5m x 5m corner cut at the intersection of 137 A St and 96 Ave and a 3m x 3m corner cut at the intersection of 137 St and 96 Ave.

Works and Services

- construct the west side of 137A Street to full City Centre Standards.
- construct the east side of 137 Street to full City Centre Standards.
- construct the north side 96 Avenue to full City Centre Standards.
- provide City service connections to all lots created as part of this application.
- subject to available funding complete the west side of 137 Street to full City Centre Standards at City cost.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit except as noted in the detailed engineering comments.



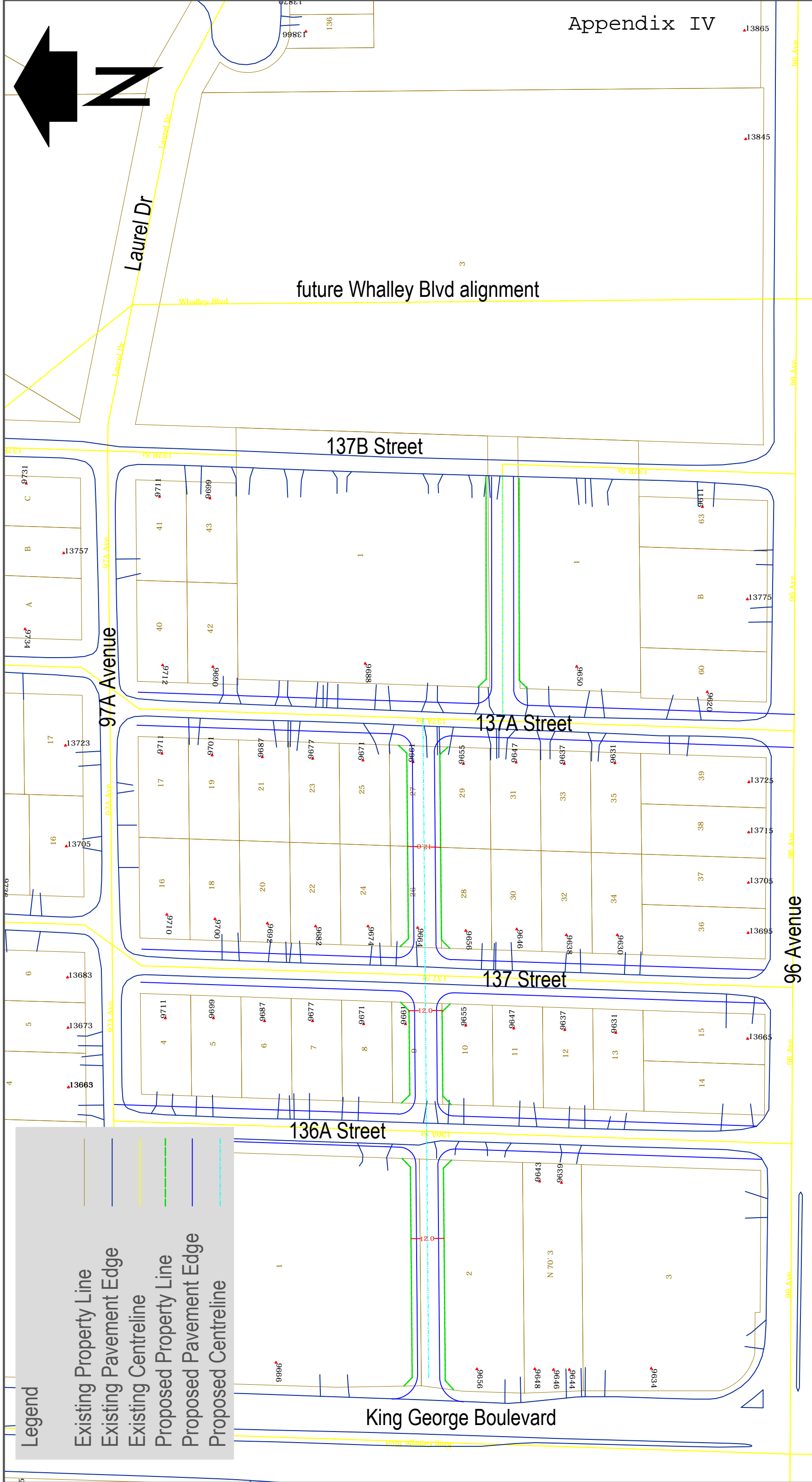
Rémi Dubé, P.Eng.
Acting Development Services Manager

RWB

NOTE: Detailed Land Development Engineering Review available on file

Legend

- Existing Property Line
- Existing Pavement Edge
- Existing Centreline
- Proposed Property Line
- Proposed Pavement Edge
- Proposed Centreline



Appendix IV

Drawing No.: 09650/13650-13750

Surrey File No.: -----
 Date: FEBRUARY 2011

Scale: -
 Designed: LFM/PB
 Drawn: LFM



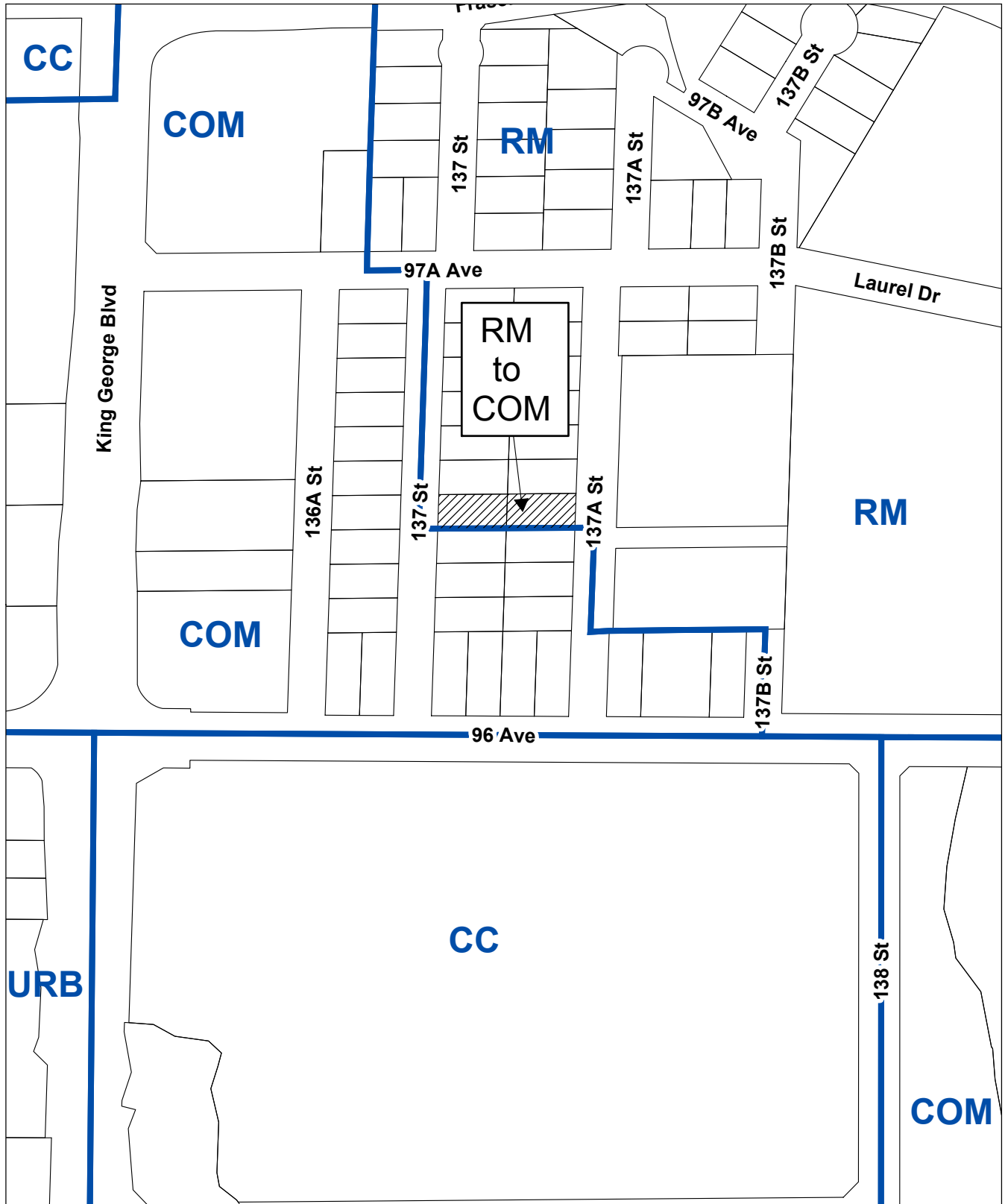
Engineering Department - Transportation Division
 14245 - 56 Ave, Surrey, BC, Canada V3X 3A2
 T 604.598.5852 | F 604.591.8693 | www.surrey.ca

PROPOSED ALIGNMENT FOR 96B AVENUE BETWEEN 136A STREET AND 137A STREET - OPTION 1

Revision No.: 01

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes and legal descriptions must be confirmed at the Land Title Office

No.	Date	Drwn.



OCP Amendment

Proposed amendment from Multiple Residential
to Commercial





Advisory Design Panel Minutes- draft

Parks Boardroom #1
City Hall
14245 - 56 Avenue
Surrey, B.C.
THURSDAY, JUNE 2, 2011
Time: 4:10 p.m.

Chair:

Leroy Mickelson

Guests:

S. Chan, Ionic Architecture Inc.
Meredith Mitchell, DMG Landscape Architects
Tim Clark, Owner Rep
Gordon MacPherson, Remax
Barry Weih, Wensley Architecture
Neil Banich, Wensley Architecture
Joel Smith, Wensley Architecture
Mark Van der Zalm, Van der Zalm & Associations Inc.
Raj Singh, Van der Zalm & Associations Inc
Kirk Fisher, Lark Group
John Therney, Lark Group
Martin Brükner, IBI/HB Architect
Colleen Dixon, IBI/HB Architect
Iris Woo, IBI/HB Architect
Peter Kreuk, Durante Kreuk Ltd. Landscape Architect
Chris Vollan, Developer
Andy Tam, Developer
Patrick Cotter, Patrick Cotter Architects
Jason Olinek, Patrick Cotter Architects

Staff Present:

T. Ainscough, Planning & Development
H. Bello, Planning & Development
J. Hunter, Legislative Services
M. B. Rondeau, Planning & Development

Panel Members:

N. Baldwin
W. Francl
D. Lee
S. Lyon
L. Mickelson
Cpl. M. Searle

A. RECEIPT OF MINUTES

It was

Moved by S. Lyon

Seconded by D. Lee

That the minutes of the Advisory Design

Panel meeting held on May 12, 2011 be received.

Carried

B. SUBMISSIONS

2.	File No.:	7911-0053-00
	New or Resubmit:	New
	Description:	Mid-Rise Office Building
	Address:	96 Avenue between 137 and 137A Streets
	Developer:	Kirk Fisher, Lark Group
	Architect:	Neil Banich, Wensley Architecture
	Landscape Architect:	Mark van der Zalm
	Planner:	Gary Gahr
	Urban Design Planner:	Mary Beth Rondeau

The Urban Design Planner provided background information and an overview of the project and highlighted the following:

- Site is in south of city centre area adjacent to Surrey Memorial Hospital (SMH) with a major critical care tower expansion underway. This building is for private clinics; the use is appropriate.
- 96 Avenue is a busy arterial road but there is a crossing at the corner to this site.
- FAR is targeted at 3.5 and that is what is proposed. Height is approximately 170 ft. which is within the targeted height for this area of 250’.
- Staff have no specific issues on this but there is a new Council objective and planning policy that requires funding for public art.

The Project Architect presented an overview of the site plan, floor plans, elevations, perspectives, building design and sustainability and highlighted the following:

- It is a strata office building, part of overall “campus of care” at SMH.
- It will be a LEED gold project and is in compliance with the OCP and design guidelines.
- Proposal is for a general DP for the overall site and specific DP for the southern portion of property.
- Will be construction of a new service road between 137 A Street and 137 Street on north side.
- There will be 500 underground parking stalls. Parkade is 4 levels and will provide a link that connects to adjacent property.
- Short term parking and drop off area provided close to door for retail.
- Loading facility treated as extension of store front that runs along back half of property.
- As you go up in the tower the floor plates reduce in size and have terraces.
- Site lighting, street lamping, recessed strip lighting along retail, strip lighting under soffit, terracing breaks down massing of building.
- Living walls on 3 sides of building.
- Courtyard area is hardscaped, has bioswales and entry points defined.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- Theme of landscape is to tie into urban grid and break it down with grid responding to sidewalks.
- 137A Street landscape and grade change. Double row of street trees along 96th Ave.
- At entry proposing dramatic water feature.
- 137 Street has a green wall that projects up over parkade entry and bike parking to attain a high LEED standard.
- City Centre objectives for storm water – direct into bioswale at edge of

- property
- Service road – treating this whole back side as a front side and welcoming people into the building, paving continuous throughout, bollards to signify that it is a pedestrian court, service access will be screened
- Plant materials include a mix of native and non native, exotics and native, seasonal change and colour
- Lot of accessible exterior green space moving upwards in the building
- Use of wood materials following Surrey Wood First objective, wood decking, intensive planting on the roof tops
- Roof top green roof and opportunity for people to get outside.
- Slate or granite pavers, granite pieces for seating, and bike racks.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

96 Avenue between 137 and 137A Streets

File No. 7911-0053-00

It was Moved by S. Lyon

Seconded by W. Francl

That the Advisory Design Panel (ADP)

recommends that the applicant address the following issues to the satisfaction of the Planning and Development Department and at the discretion of planning staff, resubmit to the ADP.

Carried

STATEMENT OF REVIEW COMMENTS

Context and Site Planning

- Compliment the applicant for a very thorough proposal.
- A very well crafted project; commend landscape architect on public realm.
- Like the site plan, the general parti is good and the two activated streets with retail.
- Would like many more CRUs.

(The maximum number of retail units have been provided given the size of the ground floor.)

- Minimal information provided on phase 2; difficult to comment.

(Phase 2 is still very conceptual at this stage.)

Form and Character

- Linear nature of the layout, and massing of the building is good.

- Each of the facade treatments are of themselves elegantly rendered and had good amount of attention, but it is a bit random.

(The number of façade treatments have been reduced by deleting the “bumped-out” metal panels.)

- Simplify the facade treatment of the four elevations. Decide what is appropriate for each exposure and apply the design that responds best to that exposure.

(The random metal panel expression has been eliminated. Horizontal sun shades are now provided on the south and east elevations and vertical sun shades on the west elevation.)

- Consider restricting material palette – too many skin treatments.

(The random metal panel expression has been eliminated. Horizontal sun shades are now provided on the south and east elevations and vertical sun shades on the west elevation.)

- Work to simplify and rationalize facade treatments relative to solar exposure or context.

(The random metal panel expression has been eliminated. Horizontal sun shades are now provided on the south and east elevations and vertical sun shades on the west elevation.)

- The level 2 plan is the largest floor plate and has the least amount of exterior glazing. The deepest floor should have the best day lighting possible.

(The random punched windows have been deleted, and a continuous band of glazing has now been provided around the 2nd floor podium.)

- While massing is generally very supportable, some simplification of massing in the SE corner would be beneficial.

(With the simplification of the façade treatments, it was felt to be important to maintain the southeast and northeast massing/entry expression which provides the signature for the building.)

- Stepping is good but has been taken too far.

(Stepping is an appropriate response to reducing the visual mass of the building from the street as well as creating multiple levels of outdoor landscaped terraces.)

- Exit stairs with glass top and raked roofs don't deserve or warrant this type of celebratory treatment. Sloped roofs seem to be part of the language of the building. Could add windows into the stair well walls instead of roof.

(The glazing and sloped roof expression at the top of both east and west stair towers and narrow vertical windows have been added into both stair towers.)

- Stairs should be used for inter-floor movement; no problem with celebrating.
- Building may not need an iconic look, and the emphasis on the top may not be necessary.

(The expression of both stair towers has been simplified.)

- Living walls are great, but pretty expensive application; perhaps one big solid gesture on east side. Consider locating green walls where they could be appreciated, e.g., walking through it. Canted columns are oversized and suggest they are holding up a heavy concrete building; could be lighter.

(The green walls have been illuminated.)

- Resolve some of the inside corner over the north entry.

(This issue has not yet been fully resolved.)

- The angled lobby through the building could be more expressed on the exterior corner of the building.

(This issue has not yet been fully resolved.)

Landscaping

- Applaud the effort of the landscaping and the green roofs.
- Consider opportunity to celebrate the interception of storm water runoff and collection into bioswale – these processes should be visible.

(The bioswale will be celebrated and visible from the street.)

- Integrate public art into the storm water rain garden.

(Art will be integrated into the rain garden.)

- Water feature on SE corner is great; some potential to incorporate seating.

(We have incorporated seating around the water feature. There will also be granite cubes around the water feature for additional seating.)

- Storm water expression – extend into facing court.

(The planting beds along 96th Avenue will be converted into bioswales.)

- Landscape bedding/slope around perimeter of site should be architecturally expressed in areas to provide some structural, urban expression.

(Low concrete walls have been added next to the bioswale and patio along 137A Street to provide a more urban expression.)

- Lighting – consider carefully LED strip lighting which can be quite jarring, focus on illuminating surfaces.

(Lighting will focus on illuminating the surface.)

CPTED

- An open inviting design.
- Parking area is a very massive area, way finding, lighting, emergency access is important; consider CCTV.

(CCTV will be considered.)

- Need a designated point for a security desk.

(This will be reviewed.)

- Appreciate the lighting plan, from a CPTED perspective it is very open and easily observed.

- Have a call box in elevator to connect to central security desk.

(This will be reviewed.)

Accessibility

- Elevator buttons with underground parking - recommend elevator button panels be on their sides.

(This can be provided.)

- Concerned that of 500 parking spaces there are only 6 handicapped in the underground – recommend adding another 3-5 minimum handicapped parking spaces, especially because it is a medical building there will be a lot of disabled people using the parking.

(This will be reviewed along with additional disabled parking spaces in the underground parkade.)

- Washrooms wheelchair accessible.

(All public washrooms will be wheelchair accessible.)

- Power doors at entrances.

(Entrances will be automated by means of disabled push buttons.)

- All spaces to be well identified.

(Way-finding signage will be provided.)

- All washrooms to be wheelchair accessible to code.

(All public washrooms will be wheelchair accessible.)

- Emergency call buttons in parking lobby.

(These can be provided.)

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 002-598-523

Lot 28 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

9656 - 137 Street

Parcel Identifier: 010-013-458

Lot 29 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

9655 - 137A Street

Parcel Identifier: 002-254-298

Lot 30 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

9646 - 137 Street

Parcel Identifier: 002-325-420

Lot 31 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

9647 - 137A Street

Parcel Identifier: 002-633-850

Lot 32 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

9638 - 137 Street

Parcel Identifier: 010-013-482
Lot 33 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

9637 - 137A Street

Parcel Identifier: 010-013-512
Lot 34 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

9630 - 137 Street

Parcel Identifier: 010-013-539
Lot 35 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

9631 - 137A Street

Parcel Identifier: 010-013-547
Lot 36 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

13695 - 96 Avenue

Parcel Identifier: 010-013-555
Lot 37 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

13705 - 96 Avenue

Parcel Identifier: 010-013-563
Lot 38 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

13715 - 96 Avenue

Parcel Identifier: 010-013-571
Lot 39 Section 35 Block 5 North Range 2 West New Westminster District Plan 14725

13725 - 96 Avenue

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of high-rise, high *density* office *buildings* with lower-level *commercial* uses which are developed in accordance with a *comprehensive design*.

The *Lands* are divided into Blocks A and B as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A, certified correct by Darryl Mitchell, B.C.L.S. on the 21st day of June, 2011.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. Block A

- (a) *Retail stores* excluding *adult entertainment stores* and *secondhand stores* and *pawnshops*;
- (b) *Personal service uses* excluding *body rub parlours*;
- (c) *General service uses* excluding *funeral parlours* and *drive-through banks*;
- (d) *Eating establishments* excluding *drive-through restaurants*;
- (e) *Neighbourhood pub*;
- (f) *Liquor store*, permitted only in conjunction with a "liquor-primary" licensed establishment, with a valid license issued under the regulations to the Liquor Control and Licensing Act, R.S.B.C. 1996, chapter 267, s.84, as amended;
- (g) *Office uses* excluding *social escort services* and *methadone clinics*;
- (h) *Community services*; and
- (i) *Child care centres*.

2. Block B

- (a) *Retail stores* excluding *adult entertainment stores* and *secondhand stores* and *pawnshops*;
- (b) *Personal service uses* excluding *body rub parlours*;
- (c) *General service uses* excluding *funeral parlours* and *drive-through banks*;
- (d) *Eating establishments* excluding *drive-through restaurants*;
- (e) *Neighbourhood pub*;
- (f) *Liquor store*, permitted only in conjunction with a "liquor-primary" licensed establishment, with a valid license issued under the regulations to the Liquor Control and Licensing Act, R.S.B.C. 1996, chapter 267, s.84, as amended;
- (g) *Office uses* excluding *social escort services* and *methadone clinics*;
- (h) *Tourist accommodation*;

- (i) *Parking facilities;*
- (j) *Community services;*
- (k) *Child care centres; and*
- (l) *Multiple unit residential buildings and ground-oriented multiple unit residential buildings.*

C. Lot Area

Not applicable to this Zone.

D. Density

1. The *floor area ratio* shall not exceed the following:

	<i>Floor Area Ratio</i>
Block A	3.8
Block B	4.8

2. Notwithstanding Section D.1, if a *lot* is subdivided into air space parcels, none of the air space parcels shall constitute a separate *lot* for the purposes of application of Section D of this Zone and further provided that the *gross floor area* calculated from the cumulative *gross floor area* of all the *buildings* on each parent *lot* from which the air space parcel(s) and remainder *lot* are created, shall not exceed the maximum *gross floor area* permitted for each Block stipulated in Section D.1.
3. *Indoor Amenity Space*: The *amenity space* required in Sub-section J.1.(b) of this Zone is excluded from the calculation of *gross floor area*.
4. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.

E. Lot Coverage

The maximum *lot coverage* shall be as 60%.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

<i>Block</i>	<i>Setback</i>	Northern <i>Yard</i>	Southern <i>Yard</i>	Western <i>Yard</i>	Eastern <i>Yard</i>
A		6.0 m. [20 ft.]	2.0 m. [6.5 ft.]	zero	zero
B		2.0 m. [6.5 ft.]	6.0 m. [20 ft.]	zero	zero

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding Section F.1 *buildings and structures* within air space parcels shall be sited in accordance with the following minimum *setbacks*:

<i>Northern Yard</i>	<i>Southern Yard</i>	<i>Western Yard</i>	<i>Eastern Yard</i>
zero	zero	zero	zero.

Measurements to be determined as per Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.

3. Notwithstanding Section E.17 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended, stairs of more than three risers and pedestrian ramps may encroach into the *setback* on Block A.
4. Notwithstanding the definition of *setback* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, roof overhangs and canopies may encroach up the southern, western and eastern *lot lines*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings:* The maximum *building height* shall be 60 metres [200 ft.].
2. *Accessory buildings and structures:* The maximum *building height* shall be 4.5 metres [15 ft.].

H. Off-Street Parking

1. Commercial *parking spaces* shall be provided as stated in Table C.2, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Resident and visitor *parking spaces* shall be provided as stated in Table C.6, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
3. All resident, visitor and commercial *parking spaces* shall be provided as *underground parking*.
4. Notwithstanding Sub-section H.3, up to 15 surface *parking spaces* may be permitted on Block A.
5. *Tandem parking* is not permitted.
6. Notwithstanding Sub-section A.29(c) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000 as amended, the *underground parking facility* may extend to the *front lot lines* of Blocks A and B.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. The boulevard areas of *highways* abutting a *lot* shall be seeded, sodded with grass, or hard-surfaced on the side of the *highway* abutting the *lot*, except at *driveways*.
3. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

J. Special Regulations

1. Where *dwelling units* are proposed *amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*;
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*; and
 - (c) *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.

K. Subdivision

1. *Lots* created through subdivision other than a subdivision creating any air space parcel(s) shall conform to the following minimum standards:

Lot Size	Lot Width	Lot Depth
3,000 sq. m. [0.7 acre]	40 metres [130 ft]	70 metres [230 ft.]

Dimensions shall be measured in accordance with Section E.21, Part 4 General Provisions of the Surrey Zoning By-law, 1993, No. 12000 as amended.

2. Air space parcels created through subdivision in this Zone, shall comply with the provisions in the Land Title Act. R.S.B.C., 1996 chapter 250, as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the C-35 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking, of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.

8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2011, No. 17330, as may be amended or replaced from time to time, and the development cost charges for Blocks A and B shall be based on the C-35 Zone.
 9. Surrey Tree Protection By-law, 2006, No. 16100, as amended.
 10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
 11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
 12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, Chapter 267, as amended.
3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20__.

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__.

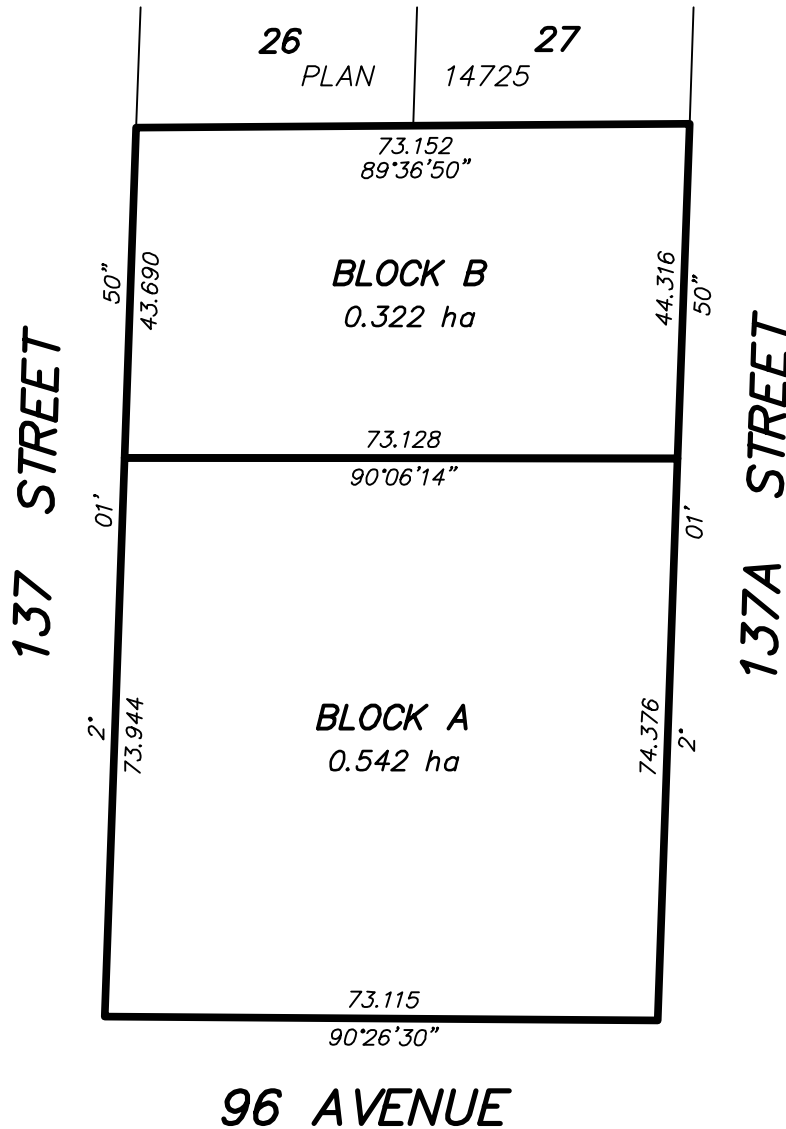
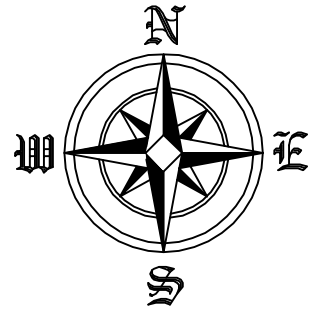
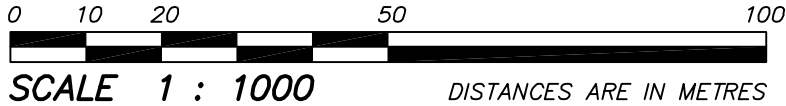
READ A THIRD TIME ON THE _____ th day of _____, 20__.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__.

_____ MAYOR

_____ CLERK

COMPILED PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW No. _____ OF LOTS 28 THROUGH 39 INCLUSIVE SECTION 35 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN 14725



CERTIFIED CORRECT THIS 21st DAY OF JUNE, 2011.

B.C.L.S.

DARRYL MITCHELL

BUTLER SUNDVICK & ASSOCIATES
PROFESSIONAL LAND SURVEYORS
101, 32885 VENTURA AVENUE
ABBOTSFORD, B.C. V2S 6A3
T. 604-853-2700 F. 604-853-2710
FILE : A 4616
DWG : 4616-BLOCK

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT