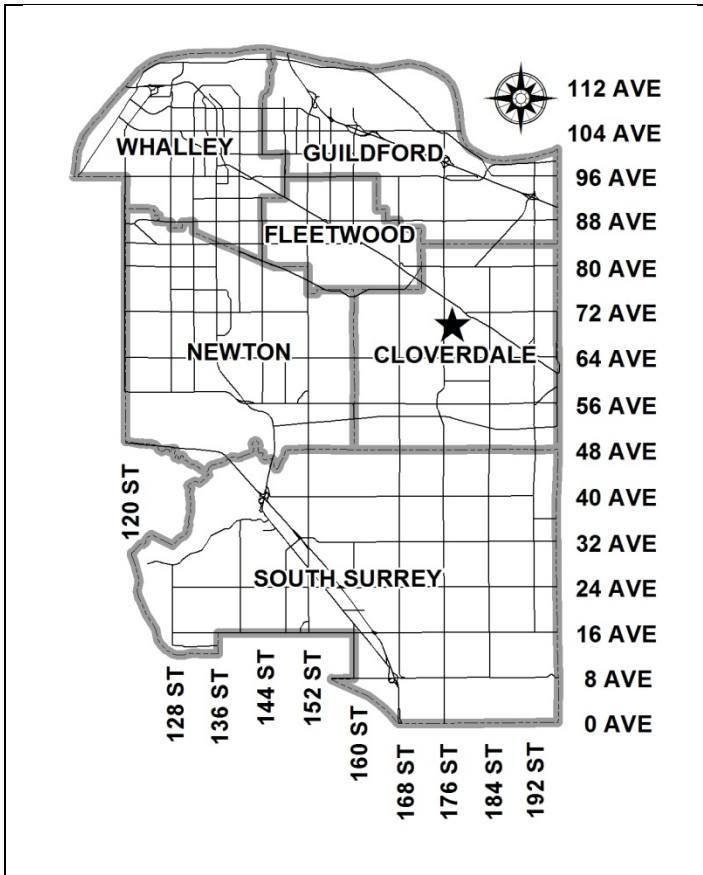


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7911-0065-00

Planning Report Date: July 9, 2012

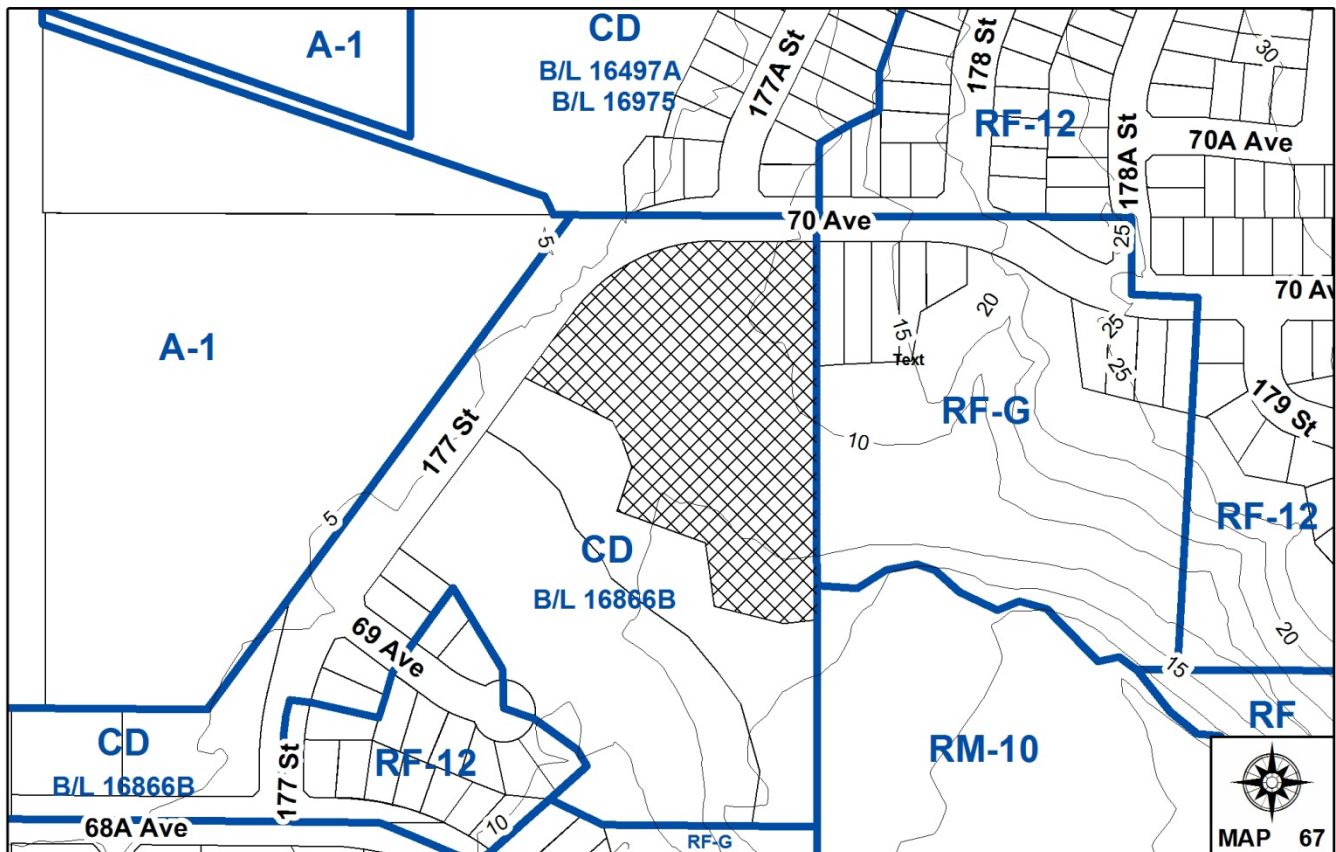


PROPOSAL:

- **NCP Amendment** of a portion from Creek Area to Small Lots
- **Amend CD By-law No. 16866B**

in order to allow subdivision into one (1) small single family lot and one (1) lot for open space purposes to protect the riparian area.

LOCATION: 17750 - 70 Avenue
OWNER: Vesta Properties Ltd., Inc. No. 592940
ZONING: CD By-law No. 16866B
OCP DESIGNATION: Suburban
NCP DESIGNATION: Creek Area



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for amending CD By-law No. 16866B.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The proposal requires an amendment to the North Cloverdale West Neighbourhood Concept Plan (NCP) from Creek Area to Small Lots for a portion of the site.

RATIONALE OF RECOMMENDATION

- Proposed Lot 1 is similar in size to the existing small lots in the area, and will not negatively impact the immediate neighbourhood.
- To satisfy the Department of Fisheries and Oceans (DFO), the remainder of the subject lot will be dedicated to the City as open space to protect the riparian area.
- City ownership of the riparian area parcel will enhance stewardship of the land and will continue the City-owned greenbelt that exists to the east.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend Comprehensive Development By-law No. 16686B and a date be set for Public Hearing.
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) completion of environmental works and requirements from Senior Government Environmental Agencies, including the dedication of riparian areas and environmental enhancement works to the satisfaction of the City Environmental Coordinator and the General Manager, Parks, Recreation and Culture;
 - (e) finalization of a P-15 agreement with the City to ensure completion and maintenance of riparian enhancement works on dedicated lands, to the satisfaction of the General Manager, Engineering and the General Manager, Parks, Recreation and Culture;
 - (f) the applicant satisfy the deficiency in tree replacement to the satisfaction of the City Landscape Architect; and
 - (g) discharge of the "no build" Restrictive Covenant currently registered on the subject property.
3. Council pass a resolution to amend the North Cloverdale West NCP to redesignate a portion of the land from Creek Area to Small Lots when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements, as outlined in Appendix III.

School District: Projected number of students from this development:

- o Elementary students at Adams Road Elementary School
- o Secondary students at Lord Tweedsmuir Secondary School

(Appendix IV)

The applicant has advised that the house in this project is expected to be constructed and ready for occupancy by Spring 2013.

Parks, Recreation & Culture:

The applicant's proposal to dedicate the remainder of the subject lot to the City to protect the riparian area is acceptable. A P-15 Agreement is required for monitoring and maintenance of replanting in the dedicated riparian areas.

Environmental Review Committee (ERC):

The proposal was most recently presented to ERC on October 19, 2011. ERC, which includes a representative from the Department of Fisheries & Oceans (DFO) reviewed the applicant's proposal and supports the project provided a number of conditions are met including the full dedication, to the City, of the remainder of the subject lot as open space to protect the riparian area.

SITE CHARACTERISTICS

Existing Land Use: Vacant lot with North Creek traversing the site.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North (Across 70 Avenue):	Single family lots.	Half Acre Cluster (2 u.p.a.)	CD (By-law No. 16497A amended by By-law No. 16975)
East:	Single family residential lots, City-owned greenbelt and a 56-unit townhouse development.	Single Family Cluster (6 u.p.a), Creek Area and Townhouse Cluster (10 u.p.a.)	RF-G and RM-10
South:	Creek in parkland and 15-unit townhouse development.	Creek Area and Townhouse Cluster (10 u.p.a.)	CD (By-law No. 16866B)
West (Across 177 Street):	Farm.	Agricultural in the OCP	A-1

JUSTIFICATION FOR PLAN AMENDMENT

- The subject site is approximately 1.47 hectares (3.63 acres) in area and is designated Creek Area in the North Cloverdale West Neighbourhood Concept Plan (NCP).
- The applicant is proposing to redesignate the northeast corner of the site from Creek Area to Small Lots to permit the creation of one (1) single family small lot (Appendix VI). The remainder of the subject lot, which represents over 97% of the subject site, will be dedicated to the City as open space to protect the riparian area.
- The proposed single family small lot is similar in size to the existing single family lots in the area.
- The overall density of the proposed and existing Suburban lots created in the original plan of subdivision is 4.7 units per gross hectare (1.9 units per gross acre), which complies with the maximum density of five (5) dwelling units per gross hectare (2 upga) within Suburban-designated areas within 200 metres (650 ft.) of the Agricultural Land Reserve (ALR).
- The development application was reviewed by the Environmental Review Committee (ERC), as the applicant proposes minor creek encroachments. The committee supports the proposal.

DEVELOPMENT CONSIDERATIONS

Background

- The subject site is located at 17750 – 70 Avenue in the North Cloverdale West Neighbourhood Concept Plan (NCP) area. The property is designated Suburban in the Official Community Plan (OCP) and Creek Area in the NCP, and is zoned CD By-law No. 16866B.
- The property contains a steep ravine with a red-coded creek (North Creek) traversing the site.
- The subject property was rezoned under Development Application No. 7904-0201-00, which was approved by Council on June 7, 2010. The development resulted in the creation of 24 single family lots (zoned CD, RF-12 and RF-G), 15 townhouse units and open space for riparian protection.
- Under Development Application No. 7904-0201-00, the applicant proposed to preserve 48% (2.9 hectares / 7.2 acres) of the original site area (6.1 hectares / 15 acres) in order to protect the riparian area. Specifically, the applicant dedicated 1.0 hectare (2.5 acres) to the City as open space in order to satisfy the 5% parkland requirement, while the remainder (the subject site) was retained under private ownership with a "no-build" Restrictive Covenant (RC) registered on title to protect the riparian area.

Current Proposal

- The applicant proposes an NCP Amendment from Creek Area to Small Lots for the extreme northeast corner of the subject property and an amendment to CD By-law No. 16866B to allow one (1) single family small lot. The applicant has agreed to dedicate the remainder of the subject lot to the City as open space to protect the riparian area. The total area of the proposed open space parcel is approximately 1.43 hectares (3.53 acres).
- The proposed single family lot (proposed Lot 1) is located at the northeast corner of the subject site, fronting 70 Avenue. The proposed lot is 402 square metres (4,327 sq.ft.) in area with a lot width of 13.4 metres (44 ft.) and a lot depth of 30 metres (98 ft.), which is similar to an RF-12 (Type II) lot.
- The existing CD By-law No. 16866B permits subdivision on the original lands (Appendix IX) up to a maximum density of five (5) dwelling units per gross hectare (two units per gross acre) within the Suburban-designated areas. The current subdivision will comply with this density regulation.
- Under the previous Land Development Application No. 7904-0201-00, a minimum of 1.04 hectares (2.6 acres) of the original lands was required as open space dedication to the City. This open space is currently part of the City-owned greenbelt.
- An excess of 1.92 hectares (4.7 acres) of the original lands (the subject site) was protected under a "no-build" Restrictive Covenant (RC), but not dedicated to the City at the time. After road dedication requirements, the subject site is now 1.47 hectares (3.63 acres) in size. As part of the current proposal, the applicant proposes to dedicate the remainder lot (1.43 hectares /3.53 acres) to the City as open space, and as such, the proposed subdivision will comply with the intent of the open space and density requirements of the existing CD By-law (No. 16866B).

Environmental Issues

- The proposal was most recently reviewed by the Environmental Review Committee (ERC) on October 19, 2011. At ERC, the applicant requested a minor relaxation in the 15-metre (49 ft.) riparian area setback in order to allow the creation of proposed Lot 1.
- ERC, which includes a representative from the Department of Fisheries & Oceans (DFO), reviewed the applicant's proposal and supports the project provided a number of conditions are met including the full dedication, to the City, of the remaining parcel as open space.
- The proposed riparian encroachment area is approximately 71.7 square metres (235 sq.ft.). Based on a 2 to 1 ratio, a minimum area of 143.4 square metres (470 sq.ft.) is required for environmental habitat compensation. Currently, the applicant is proposing 200 square metres (2,153 sq.ft.) of habitat compensation on the open space parcel along the western property line of proposed Lot 1 (Appendix VIII).
- The applicant is to install appropriate landscaping for the habitat compensation, as required under City Policy No. P-15 (Habitat Replacement on City Land). An agreement

with the applicant, for maintenance purposes, will ensure that the trees and landscaping are installed and maintained.

Proposed CD By-law Amendment

- The applicant proposes to amend CD By-law No. 16866B (Appendix X) by supplementing the existing Schedule A and Schedule B with a new Block Survey Plan (Schedule C in Appendix VII).
- CD By-law No. 16866B identifies four (4) Blocks (A, B, C, D) on the Survey Plan. Block D is further divided into Blocks D1, D2, and D3. Each block corresponds to specific site regulations such as permitted uses, densities, setbacks, and lot sizes.
- The proposed CD By-law Amendment proposes a new Block Survey Plan with an additional D2 block in order to accommodate proposed Lot 1. CD By-law No. 16866B states that the intent of Block D2, which is based on the RF-12 Zone, is to regulate the development of single family dwellings on individual lots. Proposed Lot 1 complies with the intent of Block D2.
- The proposed open space parcel will remain under the existing Block D of CD By-law No. 16866B.

Neighbourhood Character Study and Building Design Guidelines

- Tynan Consulting Ltd. conducted a character study of the area and recommended a Neo-Traditional house style.
- The design and style of the future dwelling on the subject lot will be regulated by a Restrictive Covenant. The proposed house plans for a two-storey home with basement, have been reviewed by the Building Division and deemed acceptable (see Appendix V).

Lot Grading and Tree Preservation

- Preliminary lot grading plans were prepared and submitted by Hunter Laird Engineering Ltd. The plans were reviewed by staff and found generally acceptable.
- The applicant proposes an in-ground basement on proposed Lot 1 with minimal fill required. However, final confirmation on whether an in-ground basement is achievable will be determined once final Engineering drawings have been reviewed and accepted by the City's Engineering Department.
- Diamond Head Consulting Ltd. prepared the Arborist Report and Tree Preservation / Replacement Plans. City staff have reviewed the report and have no concerns regarding the proposal.
- The chart below provides a summary of the tree retention and removal by species:

Tree Species	Total On-Site Trees (on proposed Lot 1)	Total Proposed for Retention	Total Proposed for Removal
Black Cottonwood	3	0	3

- According to the tree summary, a total of three (3) mature trees are identified on proposed Lot 1. These trees are proposed for removal as they are within the building envelope.
- Based on the tree replacement ratio in accordance with the Tree Protection By-law (No. 16100), three (3) replacement trees are required. Currently, two (2) replacement trees are proposed on the subject site. The applicant will be required to provide cash-in-lieu for the shortfall of one (1) replacement tree.
- Trees within the proposed open space parcel will be retained, and additional trees and landscaping are to be planted as environmental habitat compensation.

PRE-NOTIFICATION

- Pre-notification letters were sent on June 4, 2012, and staff received four (4) telephone calls from area residents requesting additional information regarding the proposal. The callers had no concerns with the proposal after discussing the matter and obtaining the appropriate information from staff.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I	Lot Owners, Action Summary and Project Data Sheets
Appendix II	Proposed Subdivision Layout
Appendix III	Engineering Summary
Appendix IV	School District Comments
Appendix V	Proposed House Plans
Appendix VI	NCP Redesignation Plan
Appendix VII	Proposed CD By-law Amendment
Appendix VIII	Environmental Plan
Appendix IX	Previous Subdivision Plan (Development Application No. 7904-0201-00)
Appendix X	CD By-law No. 16866B

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

DN/kms

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. 7/5/12 10:01 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. Agent: Name: Mr. Clarence Arychuk
 Hunter Laird Engineering Ltd.
 Address: 65 Richmond Street, Suite 300
 New Westminster, BC V3L 5P5

 Tel: (604)525-4651

2. Properties involved in the Application

(a) Civic Address: 17750 - 70 Avenue

(b) Civic Address: 17750 - 70 Avenue
Owner: Vesta Properties Ltd., Inc. No. 592940
PID: 028-281-942
Lot 23 Section 17 Township 8 New Westminster District Plan BCP45446

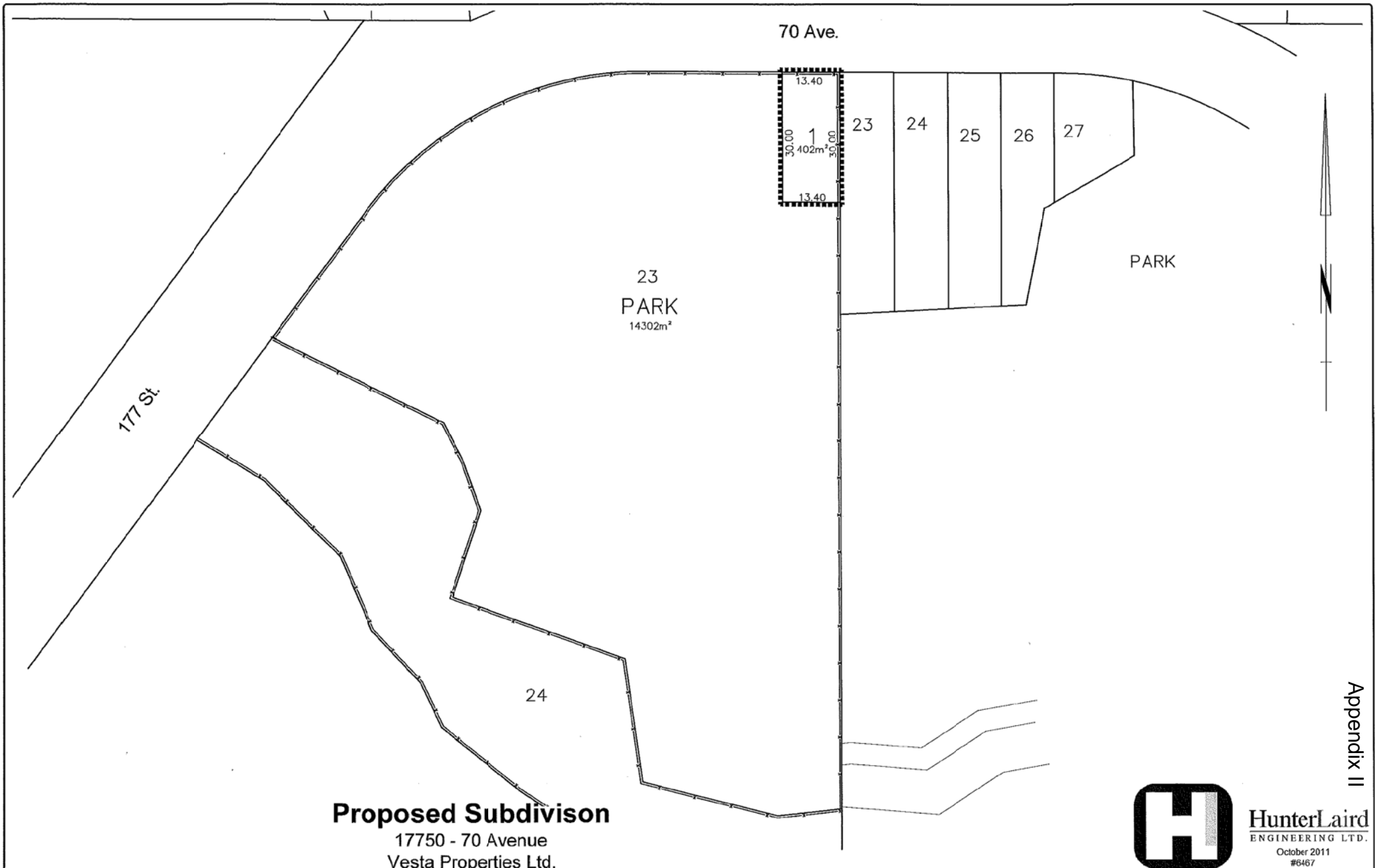
3. Summary of Actions for City Clerk's Office

(a) Introduce a By-law to amend the CD By-law.

SUBDIVISION DATA SHEET

Existing Zoning: CD By-law No. 16866B

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	3.63 acres
Hectares	1.47 hectares
NUMBER OF LOTS	
Existing	1
Proposed	1 single family lot + 1 park lot
SIZE OF LOTS	
Lot width for proposed Lot 1	13.4 metres (44 ft.)
Lot area for proposed Lot 1	402 sq.m. (4,327 sq.ft.)
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	4.7 uph (1.9 upa)
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	50%
Estimated Road, Lane & Driveway Coverage	12%
Total Site Coverage	62%
PARKLAND	
Area (square metres)	14,302 sq.m. (153,945 sq.ft.)
% of Gross Site	97%
Required	
PARKLAND	
5% money in lieu	NO
TREE SURVEY/ASSESSMENT	
	YES
MODEL BUILDING SCHEME	
	YES
HERITAGE SITE Retention	
	NO
BOUNDARY HEALTH Approval	
	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO



Proposed Subdivison
17750 - 70 Avenue
Vesta Properties Ltd.



HunterLaird
ENGINEERING LTD.
October 2011
#6467

Appendix II



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **June 19, 2012** PROJECT FILE: **7811-0065-00**

RE: **Engineering Requirements
Location: 17750 70 Ave.**

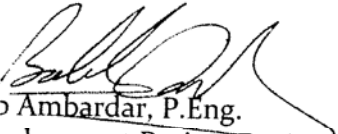
OCP AMENDMENT/NCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment/NCP Amendment.

REZONE/SUBDIVISION***Works and Services***

- construct driveway access to 70 Ave; and
- construct service connections to the new lot.

A Servicing Agreement is required prior to Rezone/Subdivision.



Bob Ambardar, P.Eng.
Development Project Engineer

BA



Monday, May 07, 2012
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 11-0065-00

SUMMARY

The proposed 1 Single family lots are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	0
Secondary Students:	0

September 2011 Enrolment/School Capacity

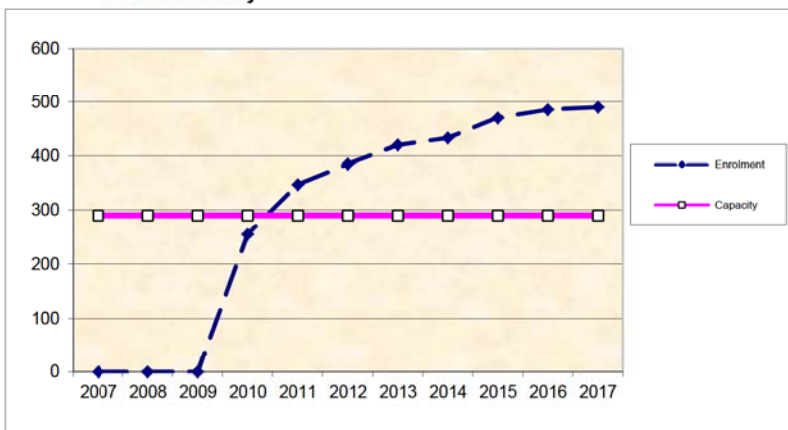
Adams Road Elementary	
Enrolment (K/1-7):	50 K + 297
Capacity (K/1-7):	40 K + 250
Lord Tweedsmuir Secondary	
Enrolment (8-12):	1820
Nominal Capacity (8-12):	1400
Functional Capacity*(8-12):	1512

School Enrolment Projections and Planning Update:

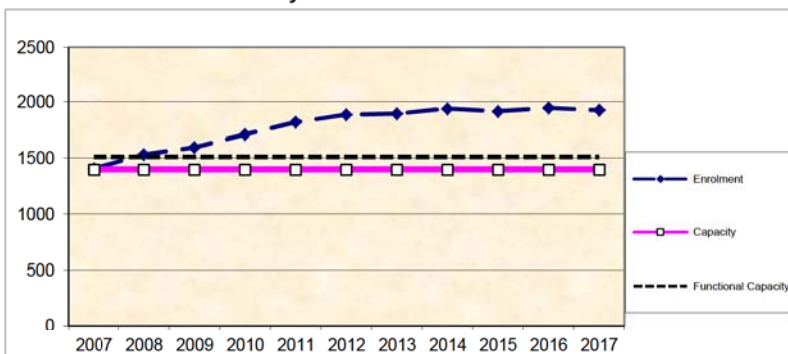
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

A new elementary school (Adams Road Elementary Site #153) serving this neighbourhood opened in 2010-2011. The schools capacity, shown in the table below, is adjusted to full day Kindergarten implementation (reduction of Kindergarten by 40 seats-only 2 Kindergarten rooms-must accommodate two full day instead of four half day divisions)-this contributed to the school filling to capacity much faster. Overcrowding at Don Christian Elementary has been eliminated with enrolment moves to the new school. The school district is also in the process of assembling land for a proposed future secondary school in North Clayton Area (new school is proposed in year four in the 2010-2014 Five Year Capital Plan). The construction of a new secondary school is subject to future capital project approval by the Province. The proposed development will not have an impact on these projections, which are based on the residential buildout of the Land Use designations in the NCP.

Adams Road Elementary



Lord Tweedsmuir Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

BEAM AND LINTEL TABLE

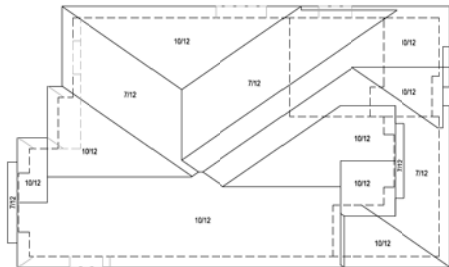
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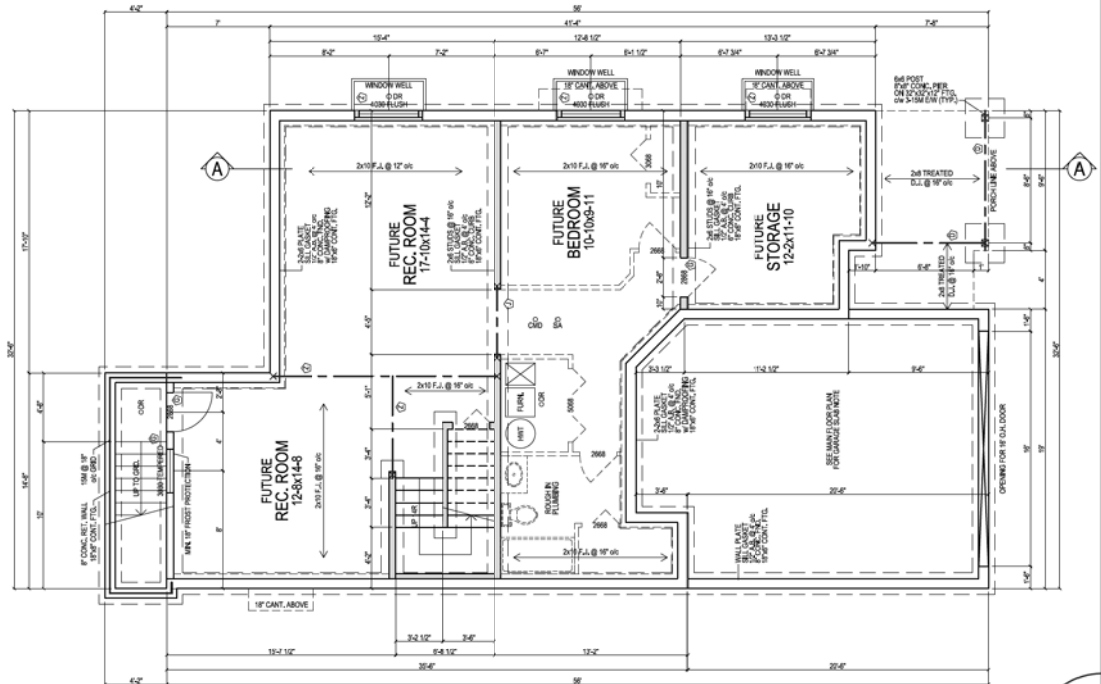
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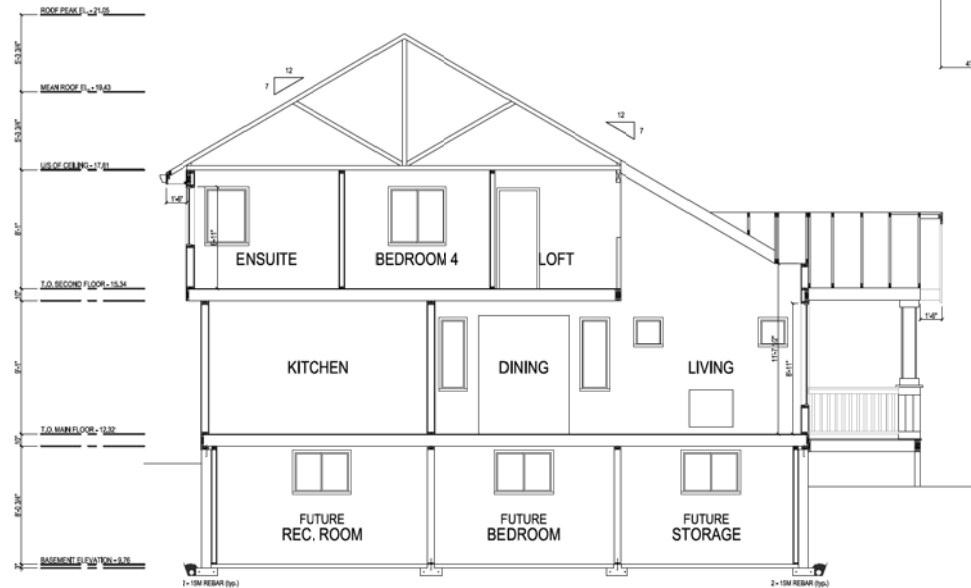
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- ⑮ ENL. DROP
- ⑯ ENL. FLUSH



ROOF PLAN
SCALE: 1/4" = 1'-0"



BASEMENT/FOUNDATION PLAN
1170 SF



SECTION A-A

FRAMING NOTES:

- THE TOP PLATE OF THE FRONT WALL MUST BE TREATED AND LARGER 9x12 TO THE GAR AND CREATE A FIRE STOP.
- BASEMENT BEARING WALLS MUST HAVE ORITS INSTALLED AT THE MIDPOINT OF THE WALL FOR THE ENTIRE LENGTH OF THE WALL.
- BRICK ANGLE BOLTED TO CONG. WALL TO SUPPORT BRICK.

MAIN FLOOR NOTES:

- DOUBLE 2x10 INSTALLED VERTICALLY INSIDE WALL TO ALLOW FOR BACKING OF BRICK WALL UNDER BRICK.
- TRISTOPPING IN FIREPLACE CANTILEVER TO RUN FROM FLOOR TO 2' CEILING HEIGHT.
- INSTALL OBS SHEATHING ON HOUSE-GARAGE COMMON WALL INSIDE THE GARAGE.
- PREPLACE R.O. SIZE IS 34 5/8" X 1/2"
- INSTALL STAR WALKING BACKING AROUND STAIRWELL.
- MD WALL ORITS REQUIRED ON ALL WALLS TALLER THAN 10'-0"
- ENSURE TOILET PAPER, TOWEL BAR AND PEDESTAL SINK BACKING.
- ALL STUD SPACES ABOVE AND BELOW WINDOWS AND DOORS REQUIRE VENTING.

SECOND FLOOR NOTES:

- ALL TUB DECKS ARE TO BE CONSTRUCTED OF 1/2" PLYWOOD.
- ENSURE TOILET PAPER, TOWEL BAR AND PEDESTAL SINK BACKING.
- MINIMUM DOUBLE STUD REQUIRED UNDER ORDER TRUSSES.
- ALL STUD SPACES ABOVE AND BELOW WINDOWS AND DOORS REQUIRE VENTING.
- INSTALL STAR WALKING BACKING AROUND STAIRWELL.

FLOOR JOIST LAYOUT NOTES:

- PROVIDE SOLID BLOCKING @ 4'-0" ON DOUBLE JOIST UNDER LONG GAD BEARING PARTITION WALLS.
- ALL HEADERS ARE 2x10 UNLESS OTHERWISE NOTED.
- SUBSTITUTION:
- ALL JOIST WEATHING MATERIAL TO BE BRAND NAME "EDGE GOLD".

SECTION NOTES:

- DOUBLE 2x6 TOP PLATE ON CONG. WALL.

GENERAL NOTES	ROOF: ASPHALT SHINGLES UNDERLAY 3" OSB SHEATHING ENGL. TRUSSES @ 24" OC	EXTERIOR WALLS: HORIZONTAL BRICK BUILDING PAPER 3" OSB SHEATHING 2x6 STUDS @ 16" OC MF 2x6 STUDS @ 24" OC UF	FLOORS: 1/2" TAG PLY. SHEATHING 2x10 FLOOR JOISTS ENGL. JOISTS UNDER PARALLEL PARTITIONS (LONGER THAN 8')	TYPICAL FOUNDATION: WALL PLATE S&L GASKET 3" ANCH. BOLTS @ 4' OC 2x10 FLOOR JOISTS 1 1/2" CONG. FOOTING	FIRST LEVEL (1F): CLEARANCES 8" GRADE TO EXT. FINISH FLOOR FINISHING (CROSS BRACING OR SOLID BLOCKING @ 7')	CRIPPLES: ROOF FRAMING: - ALL TRUSSES TO BE ENL. BY MANUF. - ALL TRUSS SPACES TO BE CONFIRMED BY MANUF. BEFORE FABRICATION. FLOOR FRAMING: - ALL CHIMNEYS TO BE 24" ABOVE ROOF WITHIN 120" HORIZ. RADIIUS & 30" VERTICAL RADIIUS. - ALL LINTELS (UNLESS UN NOTED). - JMTLS SUPPORTING POINT LOADS SHALL HAVE DOUBLE BLOCKING TO VERIFY ALL DIMENSIONS AND SPICES.	PRIOR TO CONSTRUCTION: FRAMER TO INSTALL 2x4 BLOCKING BETWEEN BOTTOM CHORDS OF TRUSSES WHERE COLLING DRYPALLS WILL BE APPLIED PARALLEL TO TRUSS DIRECTION. CONCRETE FOUNDATIONS AND ALL BEAMS AND LINTELS SUPPORTING POINT LOADS TO BE CONFIRMED BY ENGINEER.
SAVES: ALUM. GUTTER 2x6 ROUGH FACIA PERF. ALUMINUM SOFFIT	INSULATION: CEILING R40 WALLS R15 UNDER SLAB NA	INTERIOR PARTITIONS: 2" GYP. ON EACH SIDE 2x4 STUDS @ 24" OC 1" CONG. SLAB @ 18" OC (MINIMUM)	GARAGE SLAB: 3 1/2" CONG. SLAB 1" COMPACTED FILL	BASEMENT SLAB: 3 1/2" CONG. SLAB 8ML POLY V.E. 9" GRANULAR FILL	DRAINAGE: DOWNPOUTS EXTERIOR OPENINGS 4" AGRI GRATE @ 4' OC		

Provincetown - Pond

THESE PLANS ARE IN COMPLIANCE WITH THE 2006 I.C. BUILDING CODE

VESTA

Suite 101A - 9770 196A St.
Langley, B.C.
V1M 2X5
Tel: (604) 888-7869
Fax: (604) 888-7895
Info @ vestaproperties.com

SHEET: **2**

DATE:	JUNE 22, 2012	OF: 4
REV. DATE:	JUNE 27, 2012	
SCALE:	1/4" = 1'	
DRAWN BY:	DM	
PLAN NO.:	CUSTOM	
JOB NO.:		

035

BEAM AND LINTEL TABLE

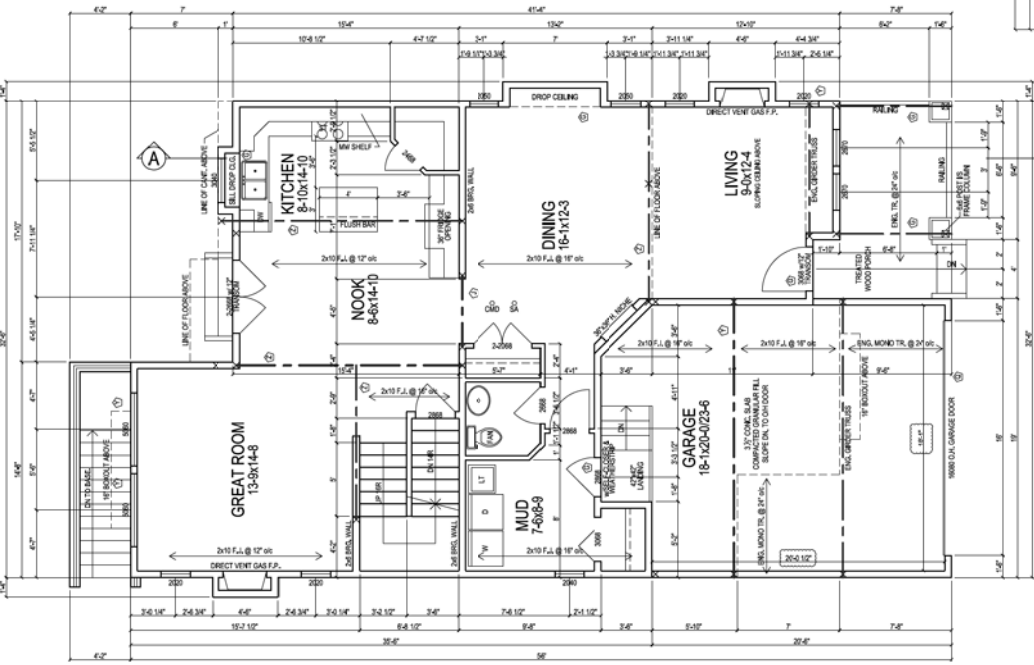
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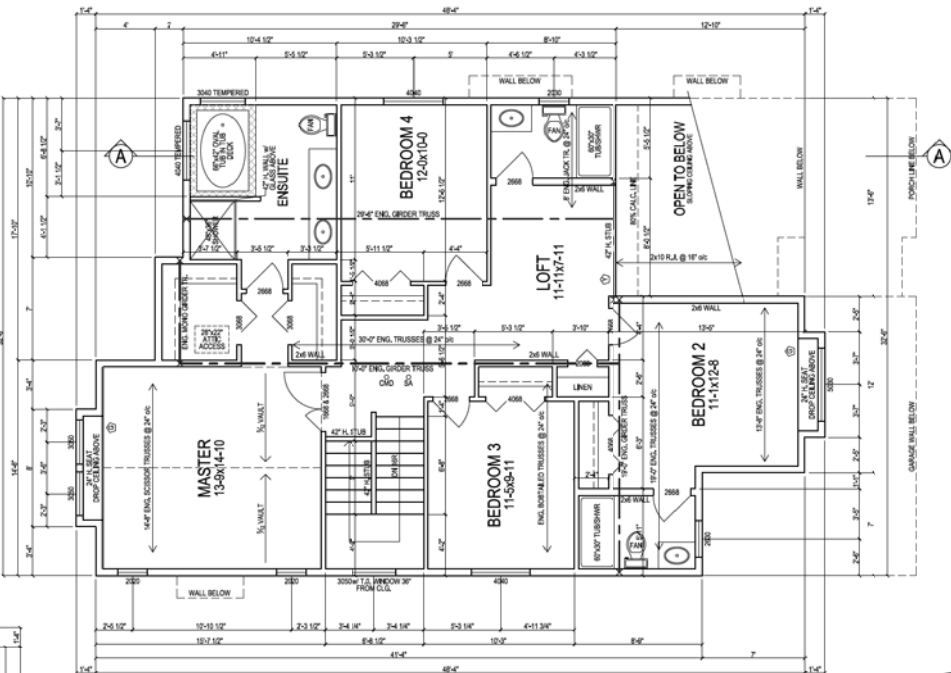
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- ⑭ 4-2X12 FLUSH
- ⑮ 4-2X12 DROP
- ⑯ 4-2X12 FLUSH



MAIN FLOOR PLAN
1170 SF (425 SF Garage) - 1595



SECOND FLOOR PLAN
TOTAL AREA (GROSS) - 1269 SF
OPEN AREA - 64 SF
TOTAL AREA (NET) - 1205 SF

Province - Pond
PROJNO: 11-11-12-8

THESE PLANS ARE IN COMPLIANCE WITH THE 2006 I.C. BUILDING CODE

VESTA
Suite 101A - 9770 196A St.
Langley, B.C.
V1M 2X5
Tel: (604) 888-7869
Fax: (604) 888-7895
Info @ vestaproperties.com

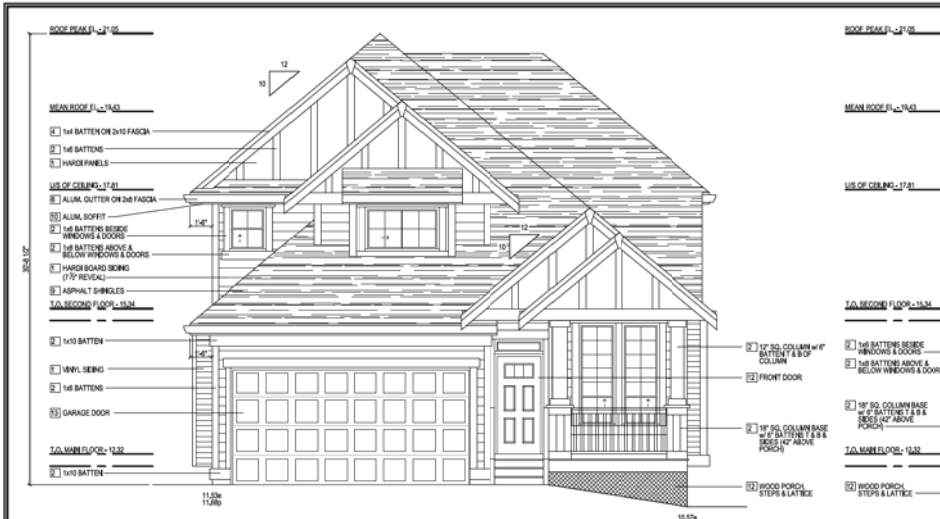
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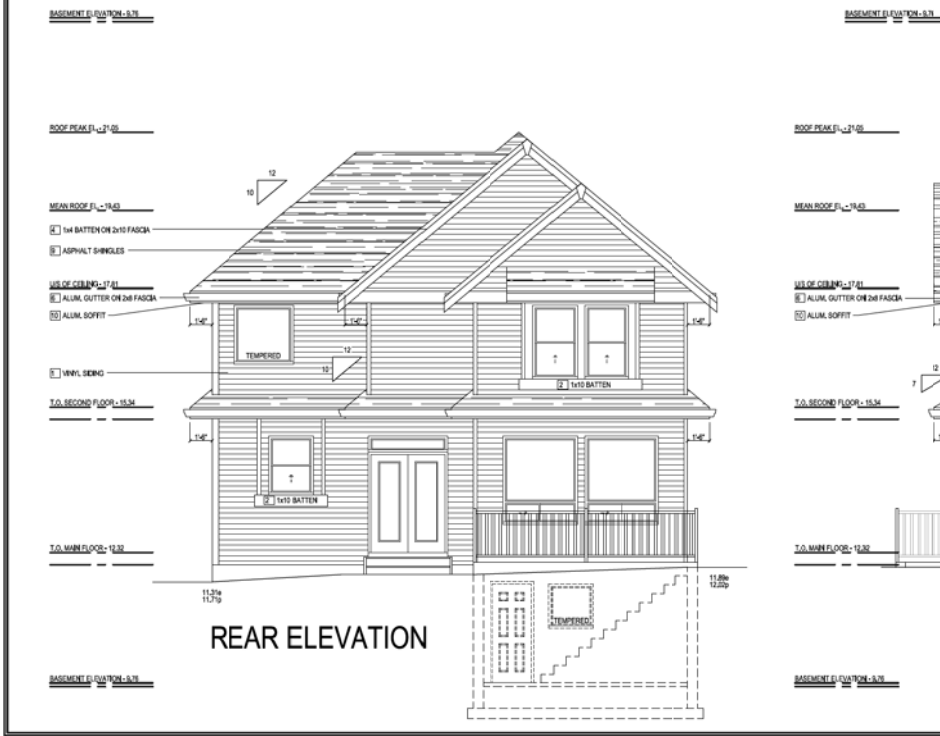
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DATE:	JUNE 22, 2012
REV. DATE:	JUNE 27, 2012
SCALE:	1/8"=1'
DRAWN:	DM
PLAN NO.:	CUSTOM
JOB NO.:	

035



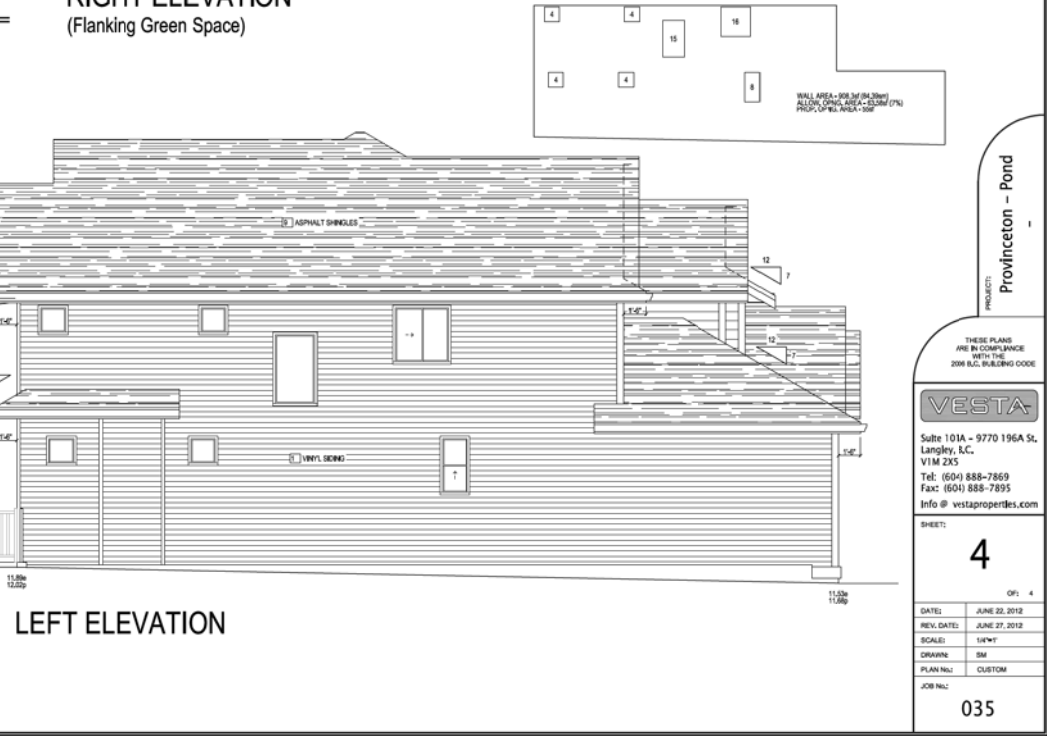
FRONT ELEVATION



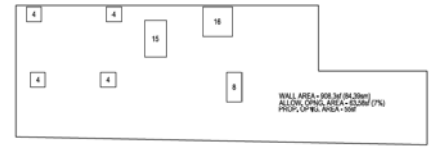
REAR ELEVATION



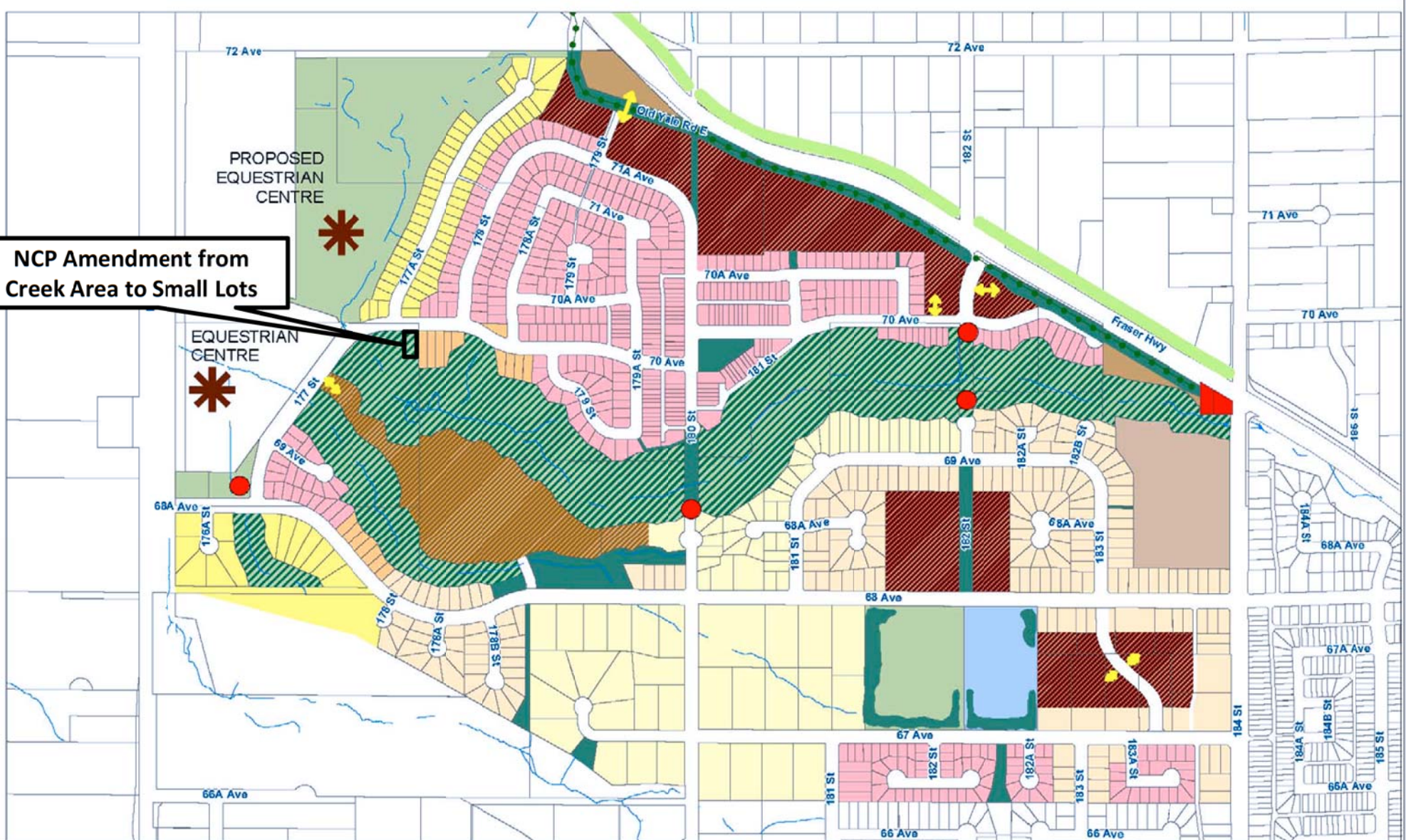
RIGHT ELEVATION
(Flanking Green Space)



LEFT ELEVATION



PRODUCT: Provincetown - Pond
 THESE PLANS ARE IN COMPLIANCE WITH THE 2006 IBC BUILDING CODE
VESTA
 Suite 101A - 9770 196A St. Langley, B.C.
 V1M 2X5
 TEL: (604) 888-7869
 FAX: (604) 888-7895
 Info @ vestaproperties.com
 SHEET: **4**
 OF: 4
 DATE: JUNE 22, 2012
 REV. DATE: JUNE 27, 2012
 SCALE: 1/8"=1'
 DRAWING: 0M
 PLAN NO.: CUSTOM
 JOB NO.:
035



**NCP Amendment from
Creek Area to Small Lots**

- | | | | |
|---------------------------------|----------------------------------|---------------|--------------------------------------|
| Existing Homes | Small Lots | Commercial | Open Space/Linear Park/Buffer |
| Half Acre Cluster (2 u.p.a.) | Townhouse (9 u.p.a.) | Creek Area | Park |
| Single Family Residential | Townhouse Cluster (10 u.p.a.) | Access Points | Elementary School |
| Single Family Cluster (6u.p.a.) | Townhouse Cluster (10-12 u.p.a.) | View Points | Landscape Buffer & Multi Use Pathway |
| | Townhouse (15 u.p.a.) | | Creeks |

NORTH CLOVERDALE WEST LAND USE PLAN

CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT

PHASE II Adopted by Council July 8, 1996 Amended 7 Feb. 2012



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2008, No. 16866B

.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2008, No. 16866B is hereby amended as follows:
 - a) Section 2. A. Intent is amended by deleting the "." after 2008 and inserting the following sentence: " , and as shown on the Survey Block Plan attached hereto and forming part of this By-law as Schedule C, certified correct by Gary Sundvick, B.C.L.S. on the 13th day of June 2012."; and
 - b) To add the attached Schedule C after Schedule B.

- 2. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2008, No. 16866B, Amendment By-law, 2012, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____ , 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____ , 20__ .

READ A THIRD TIME ON THE _____ th day of _____ , 20__ .

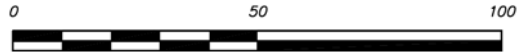
RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____ , 20__ .

_____ MAYOR

_____ CLERK

**BLOCK SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING
 BYLAW NO. _____ OF LOT 23 PLAN BCP45446
 SECTION 17 TOWNSHIP 8
 NEW WESTMINSTER DISTRICT
 FOR PROPOSED CD ZONE (BASED UPON RC)**

B.C.G.S. 92G.017



SCALE 1 : 1000 DISTANCES ARE IN METRES

THIS PLAN SHOWS GROUND LEVEL
 MEASURED DISTANCES.
 PRIOR TO COMPUTATION OF
 U.T.M. CO-ORDINATES
 MULTIPLY OF COMBINE FACTOR
 0.9996064 (NAD83) CSRS

GRID BEARINGS ARE DERIVED FROM
 OBSERVATIONS BETWEEN CONTROL
 MONUMENTS 78H8254 AND 87B2

m2 DENOTES SQUARE METRES
 ha DENOTES HECTARES

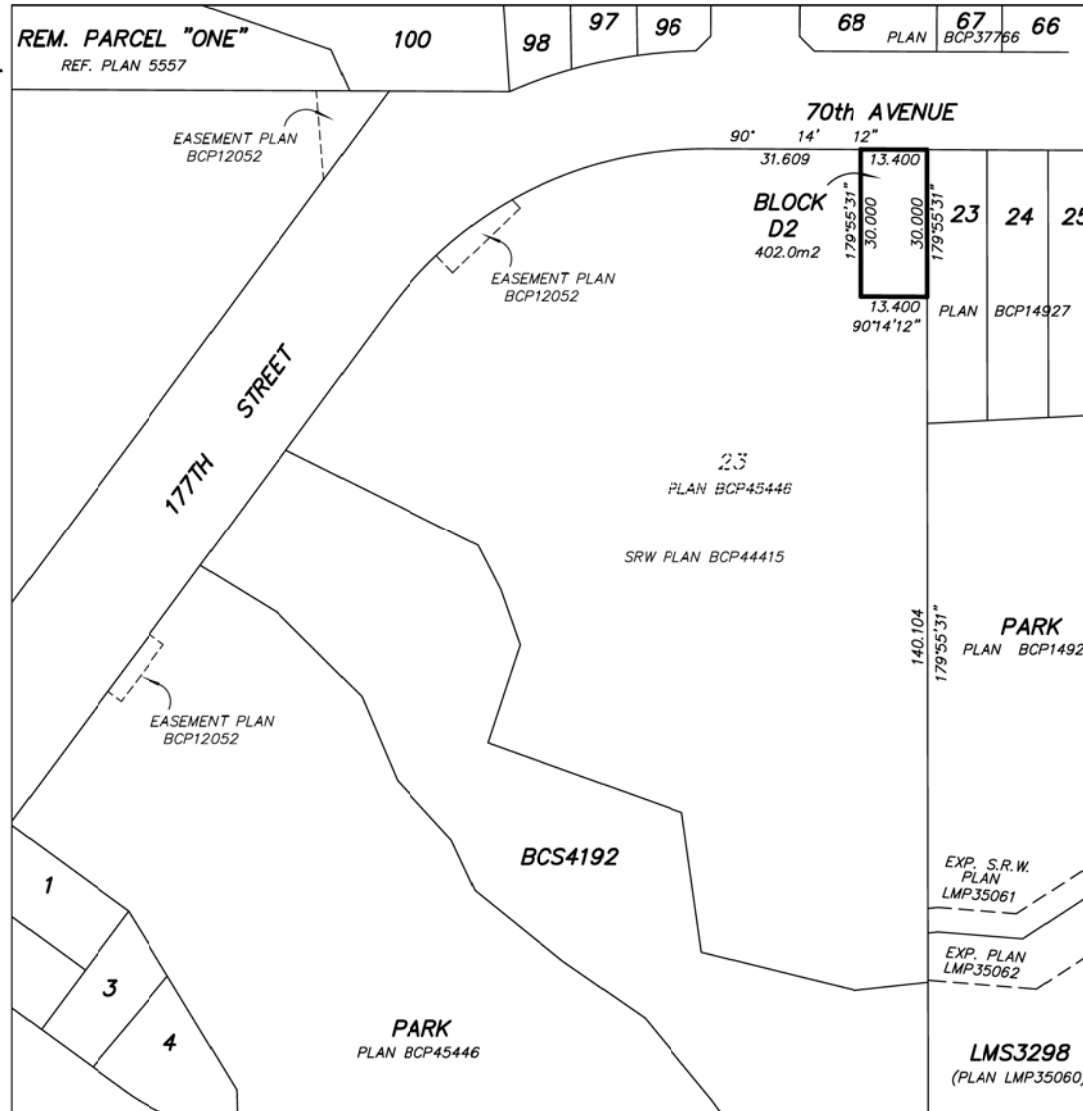
NOTE:
 LOT DIMENSIONS ARE DERIVED FROM
 FIELD SURVEY



CERTIFIED CORRECT
 THIS 13th DAY OF JUNE, 2012

DRAFT-13 JUNE 2012

GARY SUNDVICK B.C.L.S.

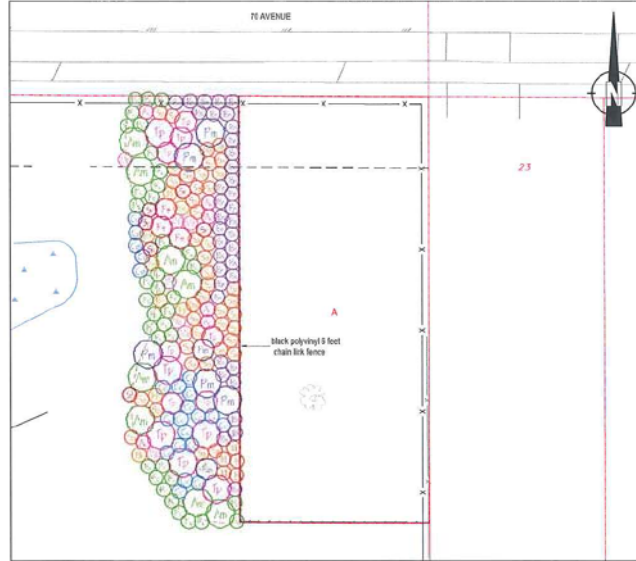


BUTLER SUNDVICK
 4 - 19089 94th Ave
 Surrey, BC V4N 3S4
 www.butlersundvick.ca
 Tel. 604-513-9611
 File: 4238
 Dwg: 4238-ZN1

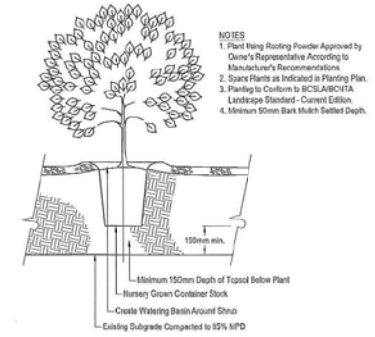
LOCATION
SCALE 1:7500



PLAN
SCALE 1:150

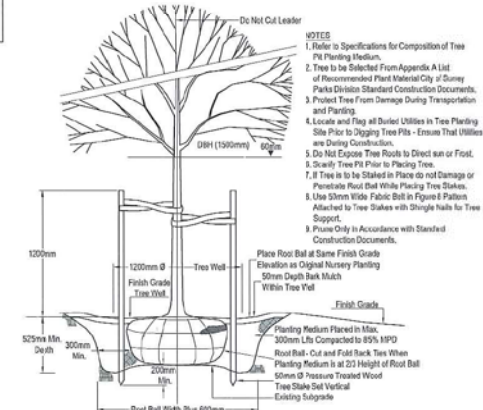


CITY OF SURREY
SHRUB PLANTING DETAIL
N.T.S.



- NOTES**
1. Plant Using Rooting Powder Approved by Owner's Representative According to Manufacturer's Recommendations.
 2. Spare Plants as Indicated in Planting Plan.
 3. Planting to Conform to BC S/LA/B/C/I/T/A Landscape Standard - Current Edition.
 4. Minimum 50mm Bark Mulch Setback Depth.

CITY OF SURREY
TREE PLANTING DETAIL
N.T.S.



- NOTES**
1. Refer to Specifications for Composition of Tree Planting Medium.
 2. Tree to be Selected From Appendix A List of Recommended Plant Material Only at Surrey Parks Division Standard Construction Documents, and Planting.
 3. Protect Tree From Damage During Transportation and Planting.
 4. Locate and Flag all Existing Utilities in Tree Planting Site Prior to Digging Tree Pits - Ensure That Utilities are During Construction.
 5. Do Not Expose Tree Roots to Direct Sun or Frost.
 6. Stake Tree Prior to Planting Tree.
 7. If Tree is to be Staked in Place do not Damage or Penetrate Root Ball While Planting Tree Stake.
 8. Use 50mm Wide Fabric Bolt in Figure 8 Pattern Attached to Tree Stake with Single nails for Tree Support.
 9. Prune Only in Accordance with Standard Construction Documents.

PLANT SPECIES LIST AND SPECIFICATIONS

SYMBOL	COMMON NAME	LATIN NAME	NUMBER	COMMENTS
A	lanceleaf maple	Acer macrophyllum	8	5.0cm to 6.0cm caliper; densely branched; well established
P	Douglas fir	Pseudotsuga menziesii	5	2.5m tall; container grown; densely branched; well established
F	Douglas fir	Pseudotsuga menziesii	2	1.0m tall (no. 5 pot); densely branched; well established
SP	western redcedar	Thuja plicata	6	2.5m tall; container grown; densely branched; well established
S	western redcedar	Thuja plicata	7	1.0m tall (no. 5 pot); densely branched; well established
H	Silky sycamore	Platanus albertensis	3	1.0m tall (no. 5 pot); densely branched; well established
C	leaved hazelnut	Corylus cornuta	17	no. 2 pot; densely branched; well established
N	black gooseberry	Ribes lacustris	5	no. 2 pot; densely branched; well established
M	black hawthorn	Crataegus douglasii	5	no. 2 pot; densely branched; well established
H	osage	Rhus purshiana	8	no. 2 pot; densely branched; well established
C	Nootka rose	Rosa nutkana	37	no. 2 pot; multi-stemmed; densely branched; well established
N	Pacific crabapple	Malus fusca	7	no. 2 pot; densely branched; well established
C	Pacific rim bark	Physocarpus opulifolius	37	no. 2 pot; densely branched; well established
S	red elderberry	Sambucus racemosa	6	no. 2 pot; densely branched; well established
C	strawberry	Symphoricarpos albus	41	no. 2 pot; densely branched; well established
V	wine maple	Acer circinatum	6	no. 2 pot; densely branched; well established

GENERAL LANDSCAPE SPECIFICATIONS

1. Plant material and the planting of such material are to be in accordance with the British Columbia Landscape Standard (seventh edition) jointly published by the British Columbia Society of Landscape Architects and the British Columbia Landscape Nursery Association.
2. All works are to be conducted in accordance with the sediment control provisions of the "Land Development Guidelines for the Protection of Aquatic Habitat" jointly published by BC Ministry of Environment and Fisheries and Oceans Canada.
3. All plant material is to be inspected and approved by Environment prior to installation.
4. Growing medium is to be free of any subsoils, roots, noxious grass, weeds, toxic materials, stone over 36 mm diameter, foreign objects, and possess an acidity range (pH) of 5.5 to 7.5. Growing medium is to be inspected by Environment prior to placement.
5. All blackberry (*Rubus discolor* and *R. occidentalis*) to be cleared and grubbed from project site to a minimum of 50 metres and disposed at an approved landfill.
6. All debris and/or excess material from landscape operations are to be collected and disposed offsite in accordance with all regulatory requirements.
7. Disturbed areas to be seeded with Pictoued Nature Pro BC Coastal Facilitation seed mix or equivalent.
8. All western redcedar (*Thuja plicata*) must be of native stock; any cultivars, such as *T. plicata* var. *arcolata*, are not to be planted.
9. The contractor is to provide three (3) years of plant maintenance. Plant maintenance is to include watering, selective pruning and clearing of blackberry. Species survivorship is to equal one hundred (100) percent three (3) years from planting. Replacement of dead stock may be required to fulfil this specification. Replacement stock is also subject to one hundred (100) percent survivorship three (3) years from planting.
10. Saturated topsoil is to be planted at a minimum depth of 0.4 metres, it is cleared and grubbed areas.

REFERENCE DRAWINGS

1. Drawing No. 450-24-03, Rev. 02, "Setbacks", October 04, 2011, Envirowest Consultants Limited.
2. 2011 Lega Base from City of Surrey.

VESTA PROPERTIES LTD.
Surrey, BC

PROPOSED SUBDIVISION
17750 70 AVENUE
Surrey, BC



envirowest consultants inc.

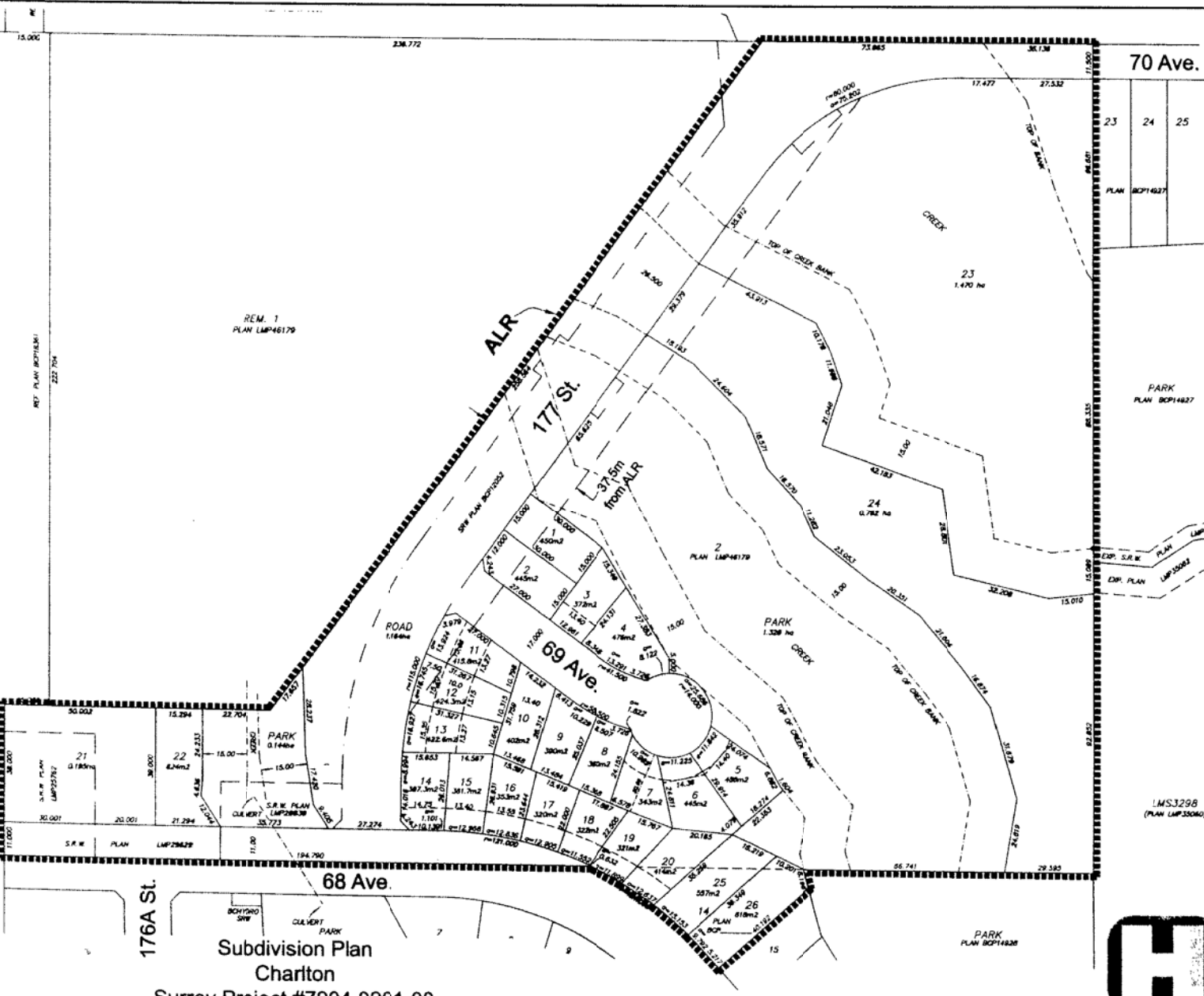
Suite 130 - 3760 North Fraser Way
Burnaby, British Columbia
Canada V5J 9V4
office: 604-451-0505
facsimile: 604-451-0557

www.envirowest.ca

LANDSCAPE PLAN

DESIGN CG	DRAWN CEV/SCM	CHECKED:	REVISION 00	REVISION DATE
SCALE As Shown			DRAWING NUMBER	
DATE May 18, 2012				450-24-04

176 St.



Hunterland
 ENGINEERING LTD
 December 2008
 #4757

CITY OF SURREY

BY-LAW NO. 16866B

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: GENERAL AGRICULTURE ZONE (A-1)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 024-957-976

Lot 2 Section 17 Township 8 New Westminster District Plan LMP46179

As shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A, certified correct by Grant Butler, B.C.L.S. on the 2nd day of December 2008, containing 5.326 hectares, called Block D.

Portion of 6890 - 176 Street

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended, where *density* bonus is provided, to accommodate and regulate the development of *single family dwellings* on individual *lots* and *ground-oriented multiple unit residential buildings* with substantial public *open space* set aside within the development site in accordance with a *comprehensive design*. This Zone shall only be considered if there are special amenities such as watercourses and mature vegetation.

The *Lands* are divided into Blocks D₁, D₂ and D₃, as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule B, certified correct by Grant Butler, B.C.L.S. on the 2nd day of December 2008.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses provided such combined uses are part of a *comprehensive design*:

1. Blocks D1 and D2

Single family dwellings on individual lots.

2. Block D3

Ground-oriented multiple unit residential buildings.

C. Lot Area

Not applicable to this Zone.

D. Density

1. For the purpose of subdivision:

(a) The maximum *unit density* shall not exceed 2.5 *dwelling units* per gross hectare [1 u.p.a];

(b) The maximum *unit density* may be increased from 2.5 *dwelling units* per hectare [1 u.p.a] to 3.95 *dwelling units* per hectare [1.6 u.p.a] calculated on the basis of the entire *Lands*, if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended; and

(c) The maximum *unit density* may be increased from 3.95 *dwelling units* per hectare [1.6 u.p.a] to 5 *dwelling units* per gross hectare [2 u.p.g.a.] on the basis of the entire *Lands*, provided:

i. *Open space* is preserved in its natural state or retained for park and recreational purposes as follows:

Cluster Housing Type	Minimum Open Space*
Block D1 <i>Single Family Dwellings</i>	50% of the site area for subdivision
Block D2 <i>Single Family Dwellings</i>	70% of the site area for subdivision
Block D3 <i>Ground-Oriented Multiple Unit Residential Buildings</i>	80% of the site area for subdivision

* The amount of *open space* shall be calculated in proportion to the housing types;

- ii. *Open space*, in the amount of not less than 54% of the *Lands*; and
 - iii. The said *open space* shall be accessible by the public from a *highway*.
2. For *building* construction within a *lot*, the maximum *floor area ratio* (FAR) shall be as follows:

Cluster Housing Type	Maximum FAR
Block D1 <i>Single Family Dwellings</i>	0.45*
Block D2 <i>Single Family Dwellings</i>	0.70*
Block D3 <i>Ground-Oriented Multiple Unit Residential Buildings</i>	0.50**

* For Blocks D1 and D2, the maximum *floor area ratio* is based on the *lot* area on which the *single family dwelling* is constructed, provided that, of the resulting allowable floor area, 35 square metres [380 sq.ft.] shall be reserved for use only as a garage or carport and further provided that where any *accessory building* is greater than 10 square metres [105 sq.ft.] in size that the area in excess of 10 square metres [105 sq.ft.] shall be included as part of the floor area for the purpose of calculating *floor area ratio*.

** For Block D3, the maximum *floor area ratio* is based upon on the *lot* area of Block D3 excluding all the *open space* set aside pursuant to Sub-section D.1(c).

E. Lot Coverage

1. Where Blocks D1 and D2 refer to *single family dwellings* and Block D3 refers to *ground-oriented multiple unit residential buildings*:
- (a) Block D1: The maximum *lot coverage* is 25% and is to be calculated based on the *lot* area on which the *buildings* are constructed;
 - (b) Block D2: The maximum *lot coverage* is 50% and is to be calculated based on the *lot* area on which the *buildings* are constructed; and
 - (c) Block D3: The maximum *lot coverage* is 30% and is to be calculated based on the *lot* area of Block D3 excluding all the *open space* set aside pursuant to Sub-section D.1(c).

F. Yards and Setbacks

1. Blocks D1 and D2

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard</i>	<i>Side Yard on Flanking Street</i>
<i>Principal Buildings</i>		7.5 m. [25 ft.]	7.5 m. ¹ [25 ft.]	1.2 m. [4 ft.]	2.4 m. [11 ft.]
<i>Accessory Buildings and Structures</i>		10.0 m. [33 ft.]	1.0 m [3 ft.]	0.0 m. [0 ft.]	6.0 m. [20 ft.]

Measurements to be determined as per Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.

¹ The minimum *rear yard setback* shall be reduced to 6.0 metres [20 ft.] for a maximum of 50% of the width of the rear of the *principal building* by an unenclosed and uninhabitable space such as a deck, provided that the said deck is an integral part of the *principal building*.

2. Block D3

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard</i>
<i>Principal Buildings and Accessory Buildings and Structures</i>		6.0 m. [20 ft.]	3.0 m. [10 ft.]	7.5 m. [25 ft.]

Measurements to be determined as per Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 9.5 metres [31 feet].

2. Accessory buildings and structures: The *building height* shall not exceed 3 metres [10 feet] except where the roof slope and construction materials of an *accessory building* are the same as that of the *principal building*, the *building height* of the *accessory building* may be increased to 5 metres [16.5 ft.].

H. Off-Street Parking

1. Blocks D1 and D2

- (a) A minimum of 2 off-street *parking spaces* shall be provided in a garage;
- (b) The width of a *driveway* on the *lot* shall not exceed 6.0 metres [20 ft.];
- (c) Notwithstanding the width of the *parking space* required for a double garage in Section B.1 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, a double garage to accommodate two *vehicles* parked side by side shall be a minimum of 5.5 metres [18 ft.] in width where the maximum width of the garage is measured between the interior faces of the side walls of the garage;
- (d) A triple garage to accommodate three *vehicles* parked side by side is not permitted;
- (e) Outside parking of *vehicles* ancillary to a *residential* use shall be limited to a maximum of 2 cars or trucks;
- (f) Outside parking or storage of *campers*, boats or *house trailers* shall not be permitted; and
- (g) No parking is permitted on a *corner lot* within an area bounded by the intersecting *lot lines* at a street corner and a straight line joining points 6.0 metres [20 ft.] along the said *lot lines* from the point of intersection of the two *lot lines*.

2. Block D3

- (a) Resident and visitor *parking spaces* shall be provided as stated in Table C.6 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended; and
- (b) All resident *parking spaces* shall be provided *underground* or as *parking within building envelope*.

I. Landscaping

1. Blocks D1 and D2

- (a) All portions of the *lot* not covered by the *principal buildings* and *accessory buildings* and *structures*, non-porous or paved surfaces shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained;
- (b) Non-porous or paved surfaces, including a *driveway*, shall not cover more than 30% of the *lot* area that is not occupied by the *principal* and *accessory buildings* or *structures*; and
- (c) At least 50% of the area of the required *front yard* shall be landscaped, which shall not include any non-porous or paved surfaces.

2. Block D3

- (a) All developed portions of the *lot* not covered by *buildings*, *structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained;
- (b) Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 5 metres [16 ft.] in width shall be provided within the *lot*;
- (c) The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*; and
- (d) Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

- 3. The *open space* set aside pursuant to Section D.1(c) of this Zone, shall be improved with a basic level of *landscaping* work including brushing and seeding of the ground, limbing of low branches on trees and providing and constructing paths for public passages, wherever appropriate.

J. Special Regulations

Not applicable to this Zone.

K. Subdivision

1. Where amenities are not provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended, or where *open space* is not provided in accordance with Subsection D.1(c) of this Zone, the *lots* created shall conform to the minimum standards prescribed in Section K of Part 12 One-Acre Residential Zone (RA) of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. *Lots* created through subdivision in accordance with Sub-section D.1(c) of this Zone, shall conform to the following minimum standards:

	Lot Size	Lot Width	Lot Depth
Block D1	700 sq. m [7,500 sq.ft.]	18 metres [60 ft]	30 metres [100 ft.]
Block D2	365 sq. m. [3,929 sq.ft.]	13.4 metres [44 ft]	26 metres [85 ft.]
Block D3	7,500 sq.m. [1.8 acre]	29 metres [95 ft]	258 metres [846 ft.]

Dimensions shall be measured in accordance with Section E.21, Part 4 General Provisions, of Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RC Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking, of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. *Sign* regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.

6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
 7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
 8. For Block D3, *building* permits shall be subject to Surrey Development Cost Charge By-law, 2008, No. 16494, as may be amended or replaced from time to time, and the development cost charges shall be based on the RC Zone (Type III).
 9. For Blocks D1 and D2, subdivisions shall be subject to the applicable Surrey Development Cost Charge By-law, 2008, No. 16494, as may be amended or replaced from time to time, and the development cost charges shall be based on the RC Zone (Type I for Block D1 and Type II for Block D2).
 10. Surrey Tree Protection By-law, 2006, No. 16100, as amended.
 11. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
 12. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2008, No. 16866B."

READ A FIRST AND SECOND TIME on the 15th day of December, 2008.

PUBLIC HEARING HELD thereon on the 19th day of January, 2009.

READ A THIRD TIME ON THE 19th day of January, 2009.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the 7th day of June, 2010.

_____ MAYOR

_____ CLERK

SCHEDULE A

BLOCK SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING
 BYLAW NO. ~~1684~~ OF LOT 2 PLAN LMP46179 AND PART OF LOT 14
 PLAN BCP14928 BOTH OF SECTION 17 TOWNSHIP 8
 NEW WESTMINSTER DISTRICT
 B.C.G.S. 92G.017

0 75 150



SCALE 1 : 1500 DISTANCES ARE IN METRES

THIS PLAN SHOWS GROUND LEVEL
 MEASURED DISTANCES
 PRIOR TO COMPUTATION OF
 U.T.M. CO-ORDINATES
 MULTIPLY OF COMBINE FACTOR
 0.9996064 (NAD83) CSRS

GRID BEARINGS ARE DERIVED FROM
 OBSERVATIONS BETWEEN CONTROL
 MONUMENTS 78H8254 AND 8782

m2 DENOTES SQUARE METRES
 ha DENOTES HECTARES

NOTE:
 LOT DIMENSIONS ARE DERIVED FROM
 FIELD SURVEY

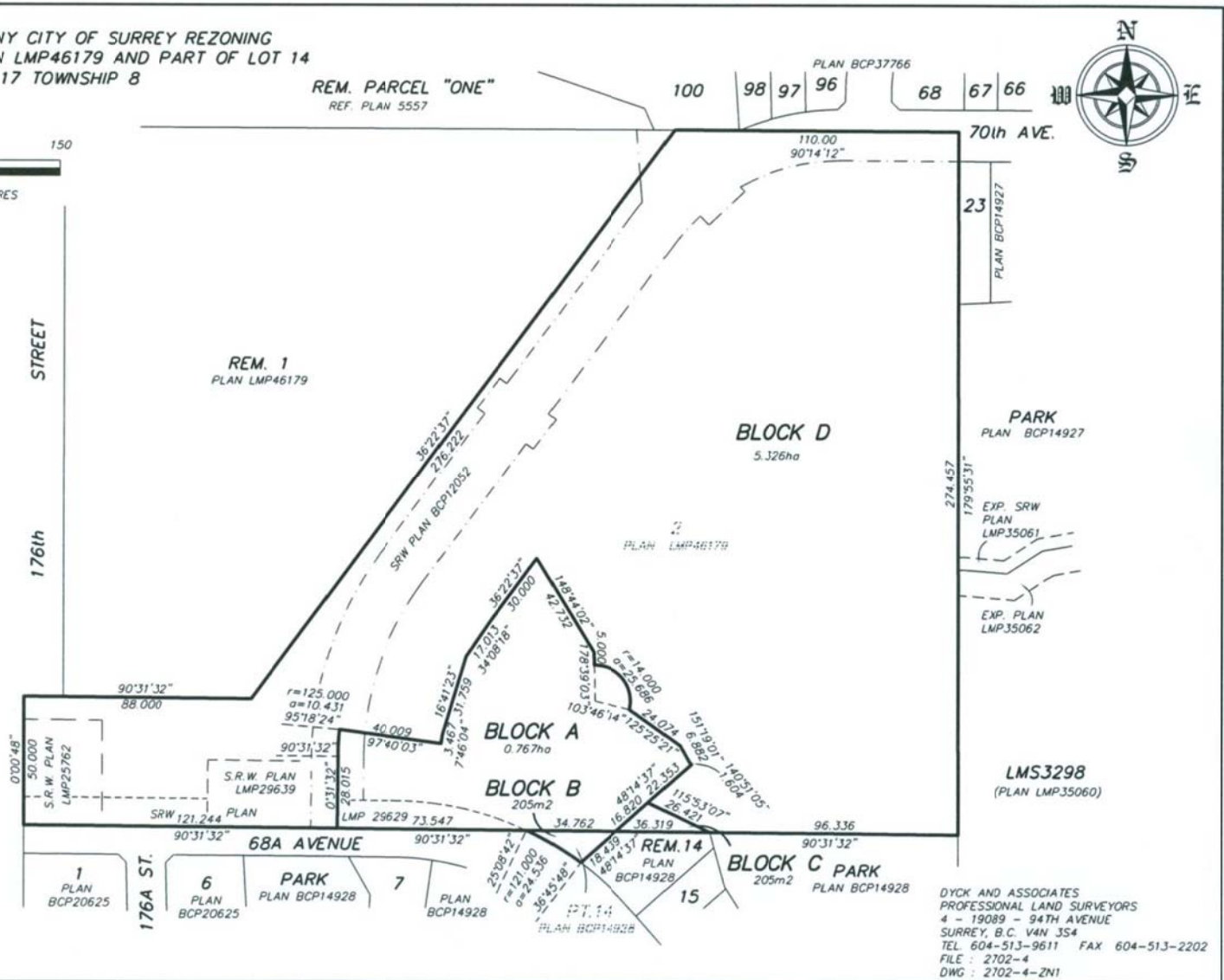
TABLE OF AREAS

BLOCK	AREA
A	0.767ha
B	205m ²
C	205m ²
D	5.326ha
TOTAL	6.134ha

CERTIFIED CORRECT
 THIS 2nd DAY OF DECEMBER, 2008

GRANT BUTLER

B.C.L.S.



DYCK AND ASSOCIATES
 PROFESSIONAL LAND SURVEYORS
 4 - 19089 - 94TH AVENUE
 SURREY, B.C. V4N 3S4
 TEL 604-513-9611 FAX 604-513-2202
 FILE : 2702-4
 DWG : 2702-4-ZN1

SCHEDULE B

BLOCK SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING
 BYLAW NO. ~~1686B~~ OF LOT 2 PLAN LMP46179 AND PART OF LOT 14
 PLAN BCP14928 BOTH OF SECTION 17 TOWNSHIP 8
 NEW WESTMINSTER DISTRICT
 FOR PROPOSED CD ZONE (BASED UPON RC)

REM. PARCEL "ONE"
 REF. PLAN 5557

B.C.G.S. 92G.017

0 75 150

SCALE 1 : 1500 DISTANCES ARE IN METRES

THIS PLAN SHOWS GROUND LEVEL
 MEASURED DISTANCES
 PRIOR TO COMPUTATION OF
 U.T.M. CO-ORDINATES
 MULTIPLY OF COMBINE FACTOR
 0.9996064 (NAD83) CSRS

GRID BEARINGS ARE DERIVED FROM
 OBSERVATIONS BETWEEN CONTROL
 MONUMENTS 78H8254 AND 8782

m² DENOTES SQUARE METRES
 ha DENOTES HECTARES

NOTE:
 LOT DIMENSIONS ARE DERIVED FROM
 FIELD SURVEY

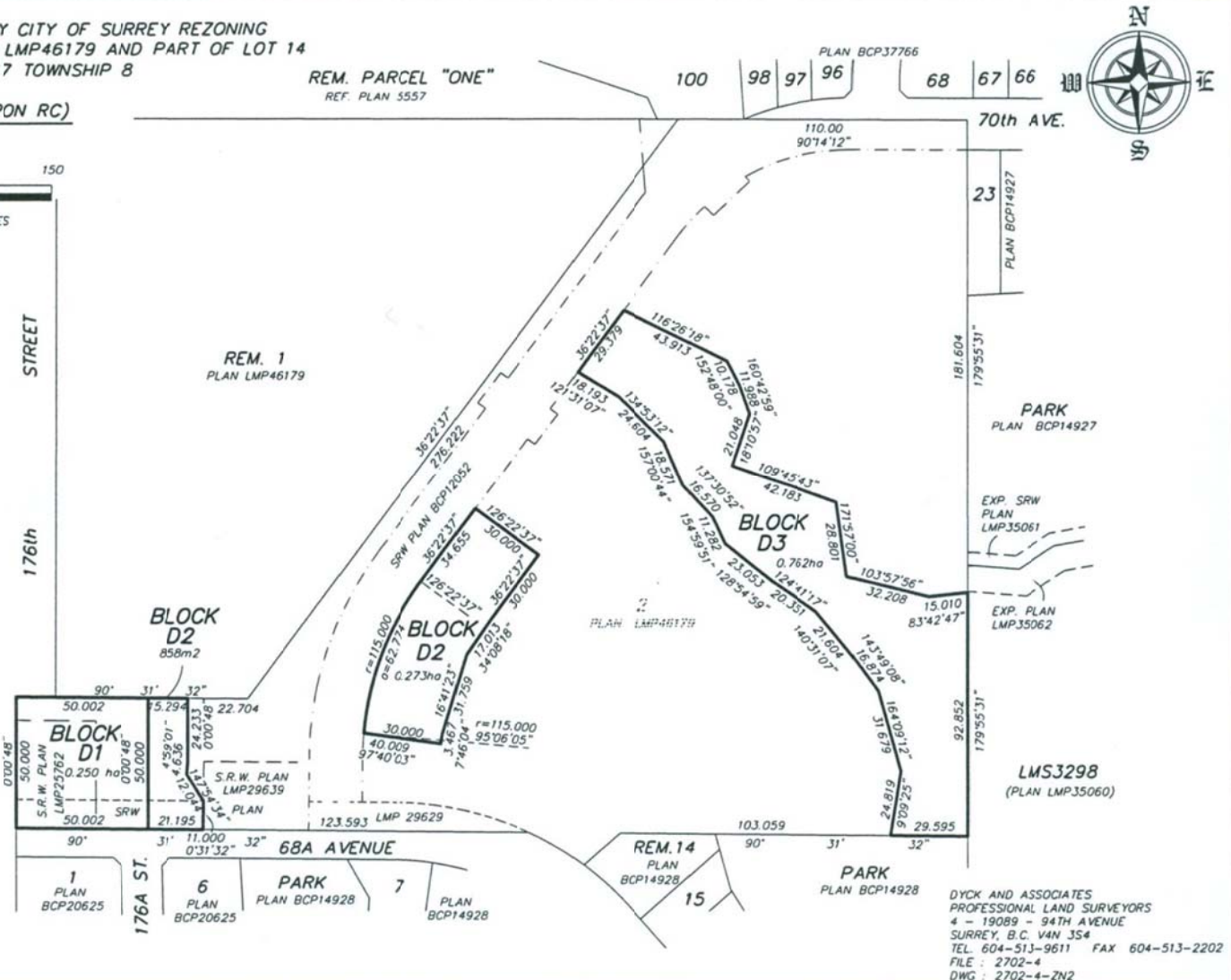
TABLE OF AREAS	
BLOCK	AREA
D1	0.250ha
D2	0.359ha
D3	0.762ha
TOTAL	1.371ha

CERTIFIED CORRECT
 THIS 2nd DAY OF DECEMBER, 2008



B.C.L.S.

GRANT BUTLER



DYCK AND ASSOCIATES
 PROFESSIONAL LAND SURVEYORS
 4 - 19089 - 94TH AVENUE
 SURREY, B.C. V4N 3S4
 TEL. 604-513-9611 FAX 604-513-2202
 FILE : 2702-4
 DWG : 2702-4-2N2