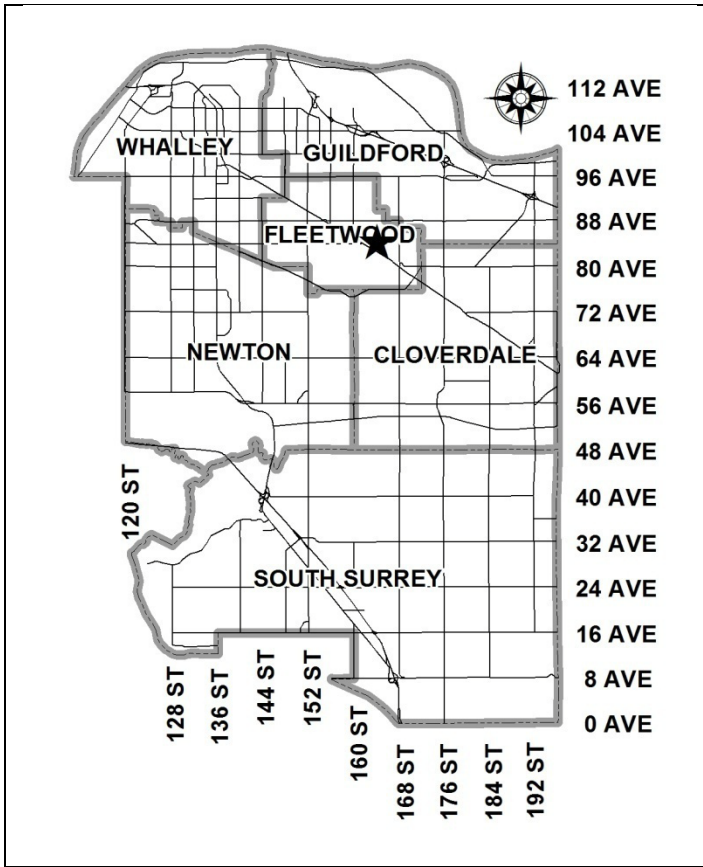


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7911-0072-00

Planning Report Date: May 30, 2011

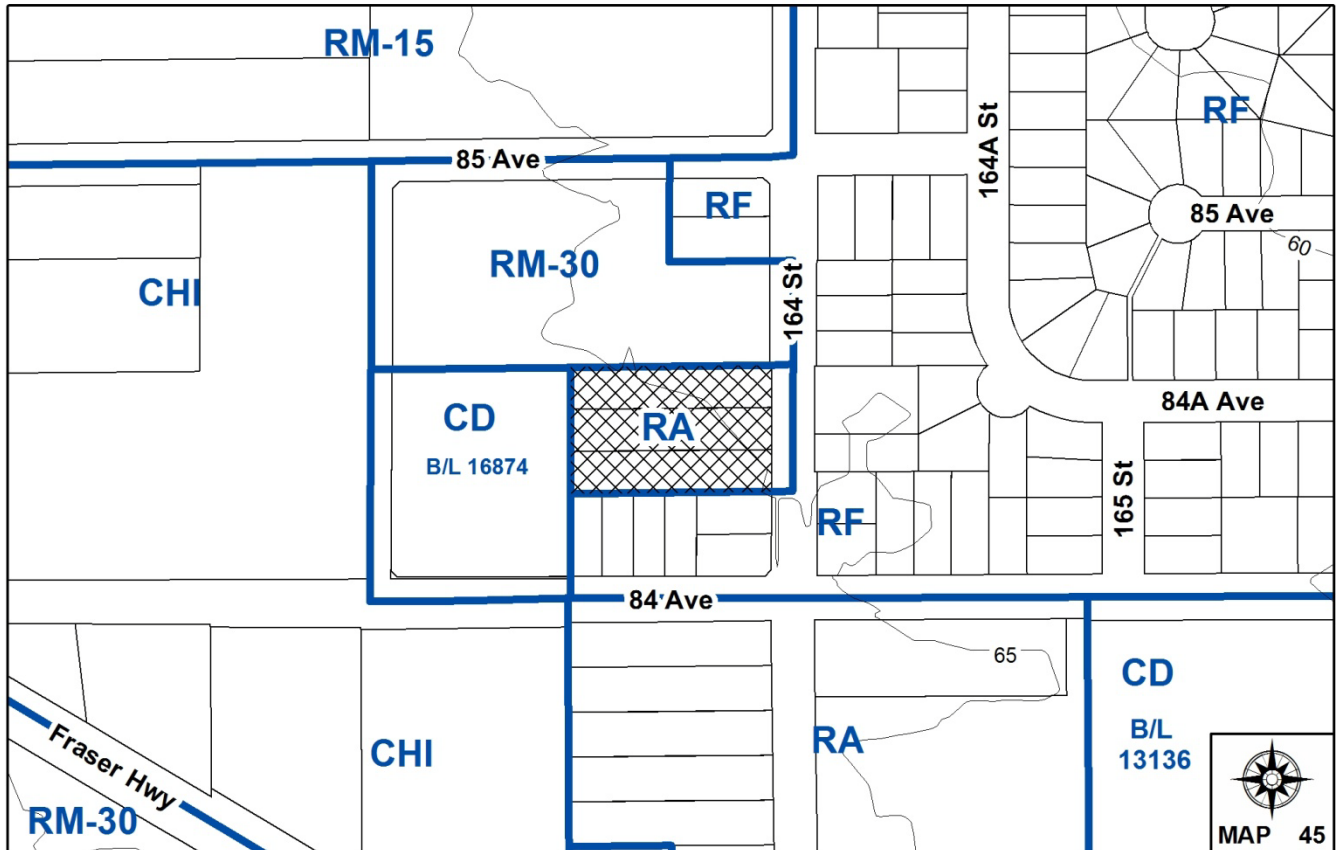


PROPOSAL:

- **OCP Amendment** from Urban to Multiple Residential
- **Rezoning** from RA to CD (based on RM-30)
- **Development Permit**

in order to permit the development of approximately 33 townhouse units.

LOCATION: 8431, 8439 and 8449 - 164 Street
OWNERS: Michael & Clementine Makar, Nada Erdaljac, Karampal S Sahota
ZONING: RA
OCP DESIGNATION: Urban
NCP DESIGNATION: Medium Density Townhouses



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to eliminate indoor amenity space.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with Fleetwood Town Centre Plan.
- The proposed density and building form are appropriate for this part of Fleetwood Town Centre.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating the subject site from Urban to Multiple Residential and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
4. Council approve the applicant's request to eliminate the required indoor amenity space.
5. Council authorize staff to draft Development Permit No. 7911-0072-00 generally in accordance with the attached drawings (Appendix II).
6. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
 - (h) the applicant adequately address the impact of no indoor amenity space; and
 - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: Projected number of students from this development:

5 Elementary students at Frost Road Elementary School
3 Secondary students at North Surrey Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed in 3 phases with the first phase ready for occupancy by March 31, 2012.

Parks, Recreation & Culture: The Parks, Recreation & Culture Department has no concerns.

SITE CHARACTERISTICS

Existing Land Use: Three oversized residential properties with single family dwellings which will be demolished as part of this application.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North:	Townhouses	Medium Density Townhouses	RM-30
East (Across 164 Street):	Single family dwellings	Single Family Residential	RF
South :	Single family dwellings	Single Family Residential	RF
West :	Recently completed townhouses (File No. 7908-0215-00)	Medium Density Townhouses	CD (By-law No. 16874)

JUSTIFICATION FOR PLAN AMENDMENT

- The proposed Official Community Plan (OCP) amendment from Urban to Multiple Residential is consistent with the Fleetwood Town Centre Plan and is appropriate.
- The townhouse sites to the north and west, which have comparable zoning to that proposed for the subject site, are designated Multiple Residential in the OCP.

DEVELOPMENT CONSIDERATIONS

- The subject properties are located on the north side of 84 Avenue, west of 164 Street.
- The lands are designated Medium Density Townhouses in the Fleetwood Town Centre Plan and Urban in the Official Community Plan (OCP).
- The application proposes 33 units consisting of four (4) two-bedroom units and twenty nine (29) three-bedroom units. The thirty-three (33) units will be built in three phases.
- The units range in size from approximately 131 square metres (1,410 sq. ft.) to 175 square metres (1,884 sq. ft.).
- The applicant proposes an OCP amendment from Urban to Multiple Residential and a rezoning from One-Acre Residential Zone (RA) to Comprehensive Development Zone (CD) based on the RM-30 Zone, to permit the development of a 33-unit townhouse project.
- The subject site is less than 1 hectare (2.5 acres) in size and is thus subject to the sliding density scale of the RM-30 Zone. Based on a net site size of 0.57 hectare (1.4 acres), a maximum density of 53 units per hectare (21 upa) and a maximum floor area ratio (FAR) of 0.66 are permitted. While the proposed unit density of 58 units per hectare (24 upa) complies with the RM-30 Zone, the proposed FAR of 0.89 exceeds the FAR permitted under the sliding scale. Therefore a CD Zone is proposed.

Proposed CD By-law

- The proposed CD By-law is based on the RM-30 Zone with modifications to density, building setbacks and visitor parking as illustrated below:

	RM-30 Zone (Based on 1 Ha (2.5 ac.) site)	RM-30 Zone (Based on sliding scale on 0.565 Ha (1.4 ac.) site)	Proposed CD By-law
Density (FAR)	0.90	0.66	0.89
Density (UPHa/upa)	75 UPHa (30 upa)	53 UPHa (21 upa)	58 UPHa (24 upa)
Setbacks	7.5m (25 ft.) from all lot lines	7.5m (25 ft.) from all lot lines	Front (East) 7.0m to building face, 6.0m to front entry Rear (West) 6.0m to building face, 3.6m to balcony columns Side (South) 6.5m to building face, 4.1m to balcony columns Side (North) 2.4m
Visitor parking within required setbacks	Not permitted	Not permitted	Permitted

- Under the RM-30 Zone all buildings and structures are required to be sited a minimum of 7.5 metres (25 ft.) from all lot lines. The proposed CD By-law has reduced setbacks along all four property lines.
- The southern side yard setback is reduced from 7.5 metres (25 ft.) to 6.5 metres (21 ft.) to the building face and to 4.1 metres (13.5 ft.) to the balcony column.
- Five existing single family homes are located to the south. A portion of the rear yard setback of these existing single family homes has been reduced to 6.0 metres (19.6 ft.) as permitted in the Single Family Residential (RF) Zone.
- The applicant has provided the following justification for the reduced south yard setback:
 - The existing townhouse site to the west (8418 - 163 Street) has a similar setback along the east property line, which abuts a single family house.
 - The applicant has mitigated the impact along the south property line by rotating the southwesterly building (Building No. 1) so that the end of the building is adjacent the south property line.
 - Units along the south property line will be buffered from the existing single family homes through the planting of trees and shrubs.
- The front yard setback along 164 Street is reduced from 7.5 metres (25 ft.) to 7.0 metres (23 ft.) to the building face and to 6.0 metres (19.6 ft.) to the front entry. This setback is intended to provide a consistent transition with the neighbouring RM-30-zoned townhouse development to the north, which has a minimum 7.5m (25 ft.) setback from 164 Street. The proposed buildings fronting 164 Street have well-articulated entrances.
- The northern side yard setback is reduced from 7.5 metres (25 ft.) to 2.4 metres (8.0 ft.). This is comparable with the setbacks of the townhouse units to the north. The existing townhouse development to the north is oriented in an east-west direction so the sides of the end units abut the north property line of the subject site.
- The rear yard setback is reduced from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the building face and to 3.6 metres (11.8 ft.) to the balcony columns. This setback is consistent with the east setback of the recently built adjacent townhouse development to the west (Application No. 7908-0215-00).
- Visitor parking is permitted within the required setback to accommodate one of the 7 visitor parking spaces.
- The amount of outdoor amenity space proposed is approximately 175 square metres (1,885 sq. ft.), exceeding the minimum 99 square metres (1,065 sq. ft.) required under the RM-30 Zone based on 3 square metres (32 sq. ft.) per dwelling unit.
- No indoor amenity space is proposed. The applicant will provide a monetary contribution of \$34,650 (based on \$1,050 per unit) in accordance with City policy, to address the shortfall in required indoor amenity space.

- All other aspects of the proposed CD Zone comply with the RM-30 Zone.

PRE-NOTIFICATION

Pre-notification letters were sent on April 19, 2011, and staff received three responses.

- One respondent was concerned about the loss of trees once the site is developed and questioned if the site can remain zoned as single family.

(Staff explained that tree retention will be based on an Arborist Report and the applicant being able to achieve a density consistent with the RM-30 Zone. The site is designated for townhouses in the Fleetwood Town Centre Plan.)

- One respondent noted that a bald eagle was observed hovering above the site.

(Staff advised if a bald eagle is spotted to be nesting on the site, the applicant will be required to provide a Raptor Study. No nesting has been observed by the Arborist.)

- One respondent requested more information about the proposed development.

(Staff outlined the proposed townhouse development and explained that it is similar to the recently built townhouse project to the west (Application No. 7908-0215-00).)

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

DESIGN PROPOSAL AND REVIEW

- The project will be accessed from one driveway entrance on 164 Street.
- The townhouse project is designed with units aligned along the perimeter of the site and accessed by an interior driveway. There are two rows of units running north-south fronting the outdoor amenity area, which is located in the middle of the site.
- The proposed townhouse units are 3 storeys in height.
- The proposed exterior finishing includes hardi-shingles and horizontal siding, vertical board and batten, stone, and wood trim boards. Detailing incorporates entrance archways, wood brackets and upper gable detailing. The proposed colour scheme includes a two-tone gray scheme consistent for all buildings. The upper portion of the elevations will be "Iron Gray", the building base will be "Cobble Stone". The front entrance door and garage doors, detailing and trim boards will be "Arctic White".

- An entry feature is proposed at the southeast corner of the site, consisting of a cultured stone base approximately 1.4-metre (4 ft.) high by 2.5-metre (8 ft.) wide with the project name and address on it in individual raised letters. There is a trellis feature located above the sign.

Parking

- The project includes 66 residential parking spaces, based on 2 spaces per unit as per the Zoning By-law. The proposed spaces are provided as follows:
 - 14 of the proposed 33 units have tandem parking
 - 19 of the proposed 33 units have side-by-side double car garages
- To ensure tandem parking spaces will not be converted into livable spaces, the applicant is required to register a Section 219 Restrictive Covenant as a condition of Final Adoption.
- The proposed development includes 7 visitor parking spaces, based on 0.2 parking space per unit, which complies with the Zoning By-law.

Landscaping and Outdoor Amenity Space

- The proposed outdoor amenity space is located in the middle of the site and has five units fronting it on both the east and west sides. It incorporates a large open lawn with seating areas and a children's play structure. There are landscaping and trellis features located at the north and south entrances to the amenity area, which includes children's play structures.
- Flowering trees are proposed along 164 Street.
- Units along the north, south and west property lines will be buffered from existing development through the planting of trees and shrubs.

Tree Preservation and Replacement

- DMG Landscape Architects were retained by the applicant to prepare an Arborist Report, Tree Retention Plan and Landscape Plan.
- The chart below provides a preliminary summary of tree retention and removal by species for the developable portion of the site:

Species	Number of trees	Number to be retained	Number to be removed
Red Alder	15	0	15
Douglas Fir	10	3	7
Western Red Cedar	15	1	14
Pin Cherry	2	0	2
Big Leaf Maple	5	0	5
Total	47	4	43

- The preliminary report indicates that of the 47 trees, 43 are to be removed. Based upon the 43 trees to be removed, 70 replacement trees are required.
- Most of the trees proposed for removal are either hazardous, or are located within or near the building envelope.

ADVISORY DESIGN PANEL

- This application was not referred to the ADP but was reviewed by staff. Many of the comments identified by staff have been satisfactorily addressed by the applicant, however, there are a few remaining items (related to grading, landscaping, and stormwater management) which the applicant has agreed to address before consideration of final approval.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	OCP Redesignation Map
Appendix VII	Proposed CD By-law

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

JD/kms

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Legendary Construction Management
 Address: #306 16088 84 Ave
 Surrey BC V4N 0V9
 Tel: 604-5078201 - Work
 604-5078201 - Cellular

2. Properties involved in the Application

- (a) Civic Address: 8431, 8439 and 8449 - 164 Street
- (b) Civic Address: 8431 - 164 Street
 Owner: Nada Erdaljac
 PID: 004-696-310
 Lot 3 Section 25 Township 2 New Westminster District Plan 13739
- (c) Civic Address: 8439 - 164 Street
 Owners: Clementine Makar
 Michael Makar
 Irene Makar
 PID: 009-855-165
 Lot 4 Section 25 Township 2 New Westminster District Plan 13739
- (d) Civic Address: 8449 - 164 Street
 Owners: Shillinder Sahota
 Raghbir S Sahota
 Karampal S Sahota
 PID: 004-622-723
 Lot 5 Section 25 Township 2 New Westminster District Plan 13739

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to amend the Official Community Plan to redesignate the property.
- (b) Introduce a By-law to rezone the property.

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RM-30)

Required Development Data	Minimum Required / Maximum Allowed in RM-30 Zone	Proposed
LOT AREA* (in square metres)		
Gross Total		5,775 m ²
Road Widening area		121 m ²
Undevelopable area		
Net Total		5,654 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	41%	41%
Paved & Hard Surfaced Areas		23%
Total Site Coverage		64%
SETBACKS (in metres)		
Front	7.5 m	7.0m to the building face. 6.0 to the front entry
Rear	7.5 m	6.0m to the building face. 3.6m to the balcony
Side #1 (North)	7.5 m	2.4 m
Side #2 (South)	7.5 m	6.5m to the building face. 4.1m to the balcony
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m	11 m
Accessory		n/a
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		4
Three Bedroom +		29
Total		33
FLOOR AREA: Residential		5000 m ²
FLOOR AREA: Commercial		n/a
Retail		
Office		
Total		
FLOOR AREA: Industrial		n/a
FLOOR AREA: Institutional		n/a
TOTAL BUILDING FLOOR AREA		5000 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed in RM-30 Zone	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	53 upha / 21 upa	58 upha / 24 upa
FAR (gross)		
FAR (net)	0.669	0.89
AMENITY SPACE (area in square metres)		
Indoor	99 m ²	0 m ²
Outdoor	99 m ²	175 m ²
PARKING (number of stalls)		
Commercial		n/a
Industrial		n/a
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	66	66
Residential Visitors	7	7
Institutional		n/a
Total Number of Parking Spaces	73	73
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		28/42%
Size of Tandem Parking Spaces width/length		3.2m x 12.5m

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. ANY CHANGES TO THESE DRAWINGS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. THIS DRAWING IS THE PROPERTY OF RGA ARCHITECTURE INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RGA ARCHITECTURE INC.

DATE:	1/15/2024
PROJECT:	ENCORE AT MAPLE ON 64TH
CLIENT:	ENCORE DEVELOPMENT
LOCATION:	6433 64th Street, Surrey, BC

NOTES:
 ENTIRE ROAD TO BE CONSTRUCTED PRIOR TO BUILDING CONSTRUCTION. FOR DETAILED ON-SITE ROAD DESIGN REFER TO CIVIL DRAWINGS BY AP/LIN & MARTIN.
 ENTRY OF THE ROAD TO BE PROVIDED FOR FREE TRUCK ACCESS ROUTE AND COMPLY TO THE CODE.
 REFER ALSO TO LANDSCAPE DRAWINGS BY DMG FOR DETAILED PLANTING AND TREE REPLACEMENT. SITE SURFACE TREATMENTS, LANDSCAPE STEPS, SITE FENCING & TRELLIS.
 FINISHED GRADE TO SLOPE AWAY FROM BUILDING PERIMETER AT 2% MINIMUM IN ALL DIRECTIONS.



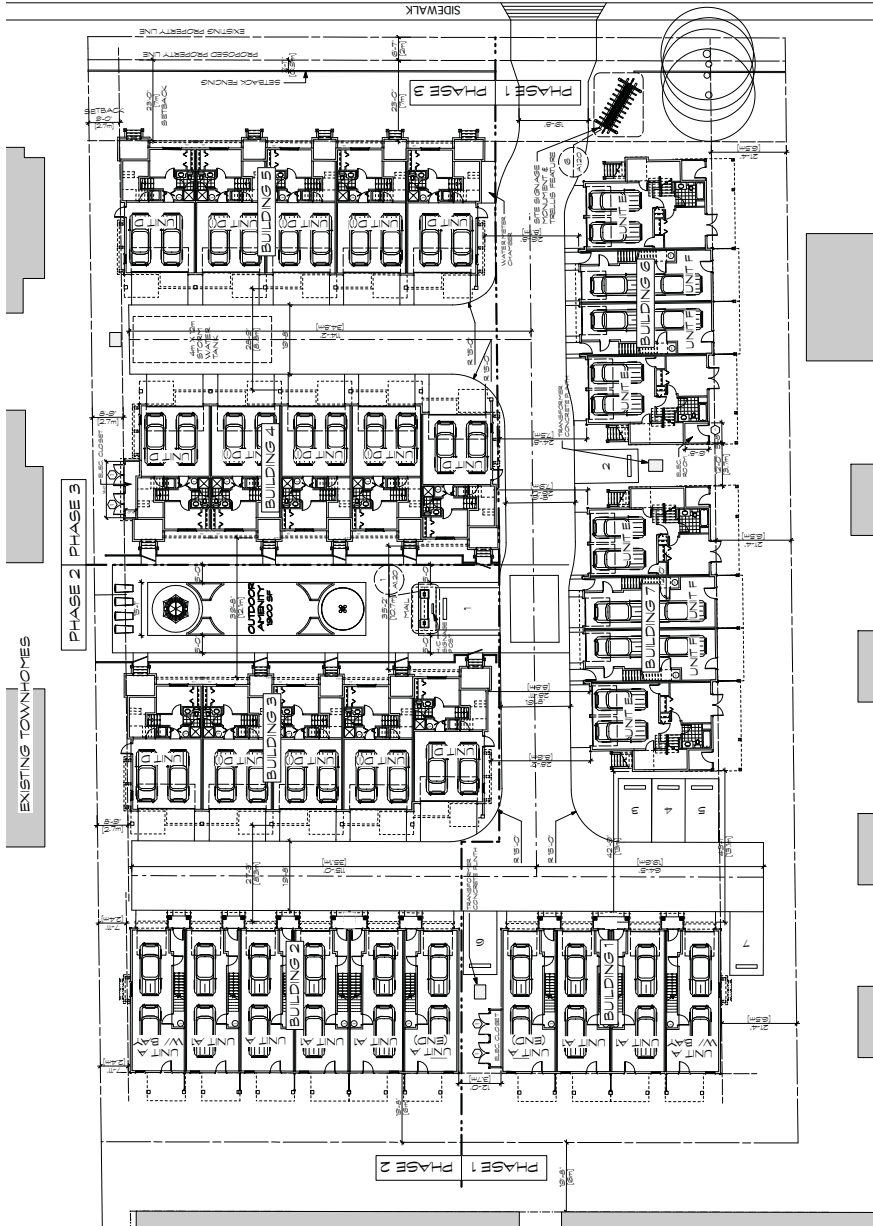
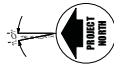
RGA
 Robert Gicozzi Architecture Inc.
 200 - 2339 Columbia Street
 Vancouver, BC
 Tel: (604) 687-4741
 Fax: (604) 687-4841
 admin@robertgicozziarchitecture.com



ENCORE AT Maple on 64th
 6433 64th Street
 SURREY, B.C.

DATE:	1/15/2024
PROJECT:	ENCORE AT MAPLE ON 64TH
CLIENT:	ENCORE DEVELOPMENT
LOCATION:	6433 64th Street, Surrey, BC

APPENDIX II



PROJECT SUMMARY		6433 64th STREET, SURREY, BC	
CIVIC ADDRESS:	6433 64th Street, Surrey, BC		
LEGAL DESCRIPTION:	RA		
ZONING:	CP BASED ON R-10		
CURRENT ZONING:	RA		
PROPOSED ZONING:	CP BASED ON R-10		
LOT # SITE AREA:	179.0 sqm (396 sq ft)		
TOTAL PROPOSED SITE AREA:	179.0 sqm (396 sq ft)		
ROAD DEVIATION:	100% (0% deviation)		
NET DEVELOPABLE SITE AREA:	179.0 sqm (396 sq ft)		
SITE COVERAGE:	38% (68.0 sqm)		
MAX LOT COVERAGE:	38% (68.0 sqm)		
PROPOSED LOT COVERAGE:	40.8% (73.8 sqm)		
SETBACKS:	REQUIRED	PROPOSED	
PROPH LOT LINES:			
NORTH:	27 m	SIDE YARD SETBACK:	
WEST:	6.0 m	REAR YARD SETBACK:	
SOUTH:	4.85 m	SIDE YARD SETBACK:	
EAST:	7.5 m	FRONT YARD SETBACK:	
	10.0 m	FRONT YARD SETBACK:	
DENSITY:			
MAX DENSITY (FAR):	38 (68.0 sqm x 38%)	68.0 FAR	
MAX DENSITY (MIN):	22 (40.0 sqm x 22%)	59 UPM	
(TOTAL FAR) (MAX FAR) (MIN FAR) (MIN FAR) (MIN FAR)			
PROPOSED UPM:	31.0	0.684 FAR	
PROPOSED DENSITY (UPM):	33 per 100 sqm	58 UPM	
PROPOSED DENSITY (UPM):	33 per 100 sqm	23.87 UPA	
RANGES:	REQUIRED	REQUIRED	
RESIDENTIAL PARKING:	68 Resident Spaces (24 x 30 UPA)		
SMALL PARKING SPACES:	5 Small Spaces (20' x 10' UPA)		
VISITOR PARKING:	5 Visitor Spaces (20' x 30 UPA)		
UNIT SUMMARY:			
A	1	AREA PER UNIT	TOTAL AREA
A-ND	2	132.84 m	132.84 m
A-I	5	132.84 m	664.20 m
A-ND	5	132.84 m	664.20 m
D-1	9	183.14 m	1648.26 m
E	4	173.14 m	692.56 m
TOTAL	26	157.66 m	4158.06 m
AVENUE			
OUTDOOR AVENUE REQUIRED:	32.4 x 33 UPM	1068.47	
OUTDOOR AVENUE PROVIDED:		805.47	

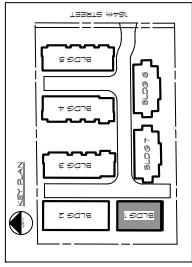
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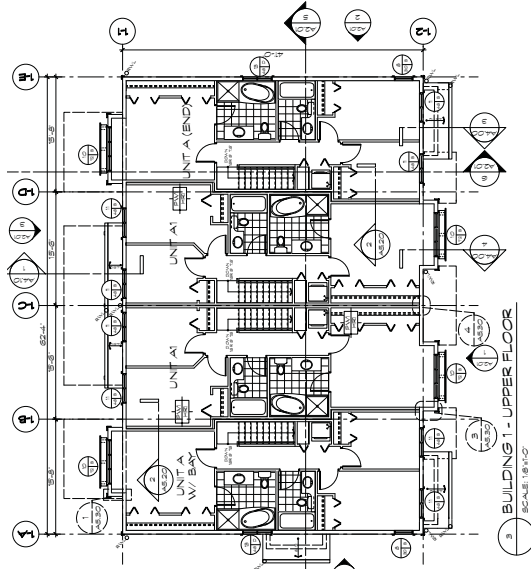
UNIT	UNIT NUMBER
UNIT	UNIT TYPE
UNIT	BUILDING #

FLOOR AREAS - BUILDING 1	FLOOR AREA
GROUND FLOOR	2,387.74 SQ. METERS
MAIN FLOOR	2,839.84 SQ. METERS
UPPER FLOOR	2,839.84 SQ. METERS
ROOF AREA	2,839.84 SQ. METERS
TOTAL AREA	8,907.26 SQ. METERS

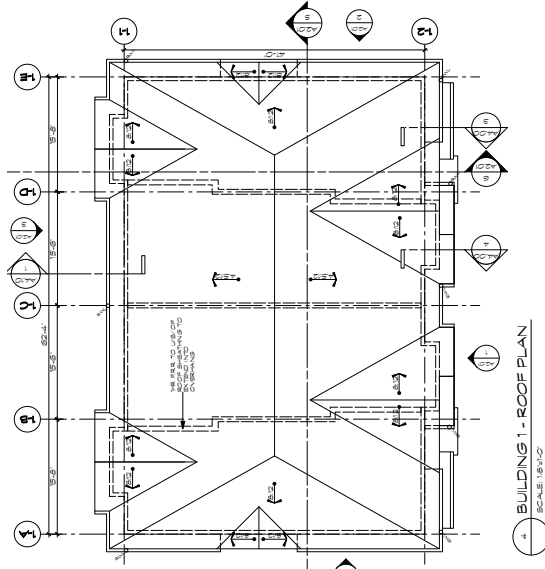


ROOF VENTING

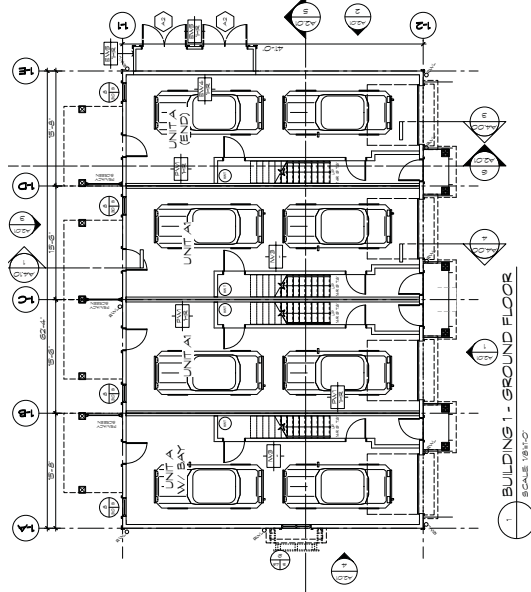
NEALS ROOF AND SKYLIGHT TO ROOF SCOPES UNITS VENTING TO BE PROVIDED TO THE REQUIREMENTS OF B.C.C. ARTICLE 918.12. ENSURE THAT A MIN. OF 25% OF THE VENTING IS VENT AREA AT OPPOSITE SIDE OF ROOF.



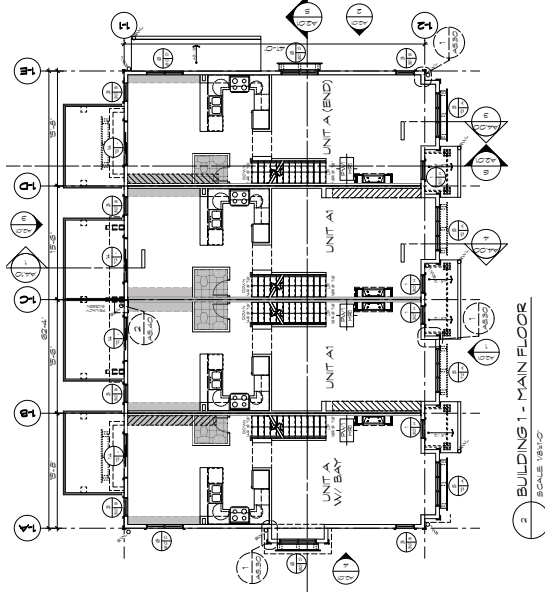
3. BUILDING 1 - UPPER FLOOR
SCALE: 1/8" = 1'-0"



4. BUILDING 1 - ROOF PLAN
SCALE: 1/8" = 1'-0"



1. BUILDING 1 - GROUND FLOOR
SCALE: 1/8" = 1'-0"



2. BUILDING 1 - MAIN FLOOR
SCALE: 1/8" = 1'-0"

RCA

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Canada V6V 3T9
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Fax: (604) 687-4441
admin@cocozziarchitecture.com

ENCORE at Maple on 84th
8435 164th Street
Surrey, BC

PROJECT	ENCORE AT MAPLE ON 84TH
DATE	18-MAY-2023
DESCRIPTION	BUILDING 1 PLANS

SCALE	-
DATE	A2.00

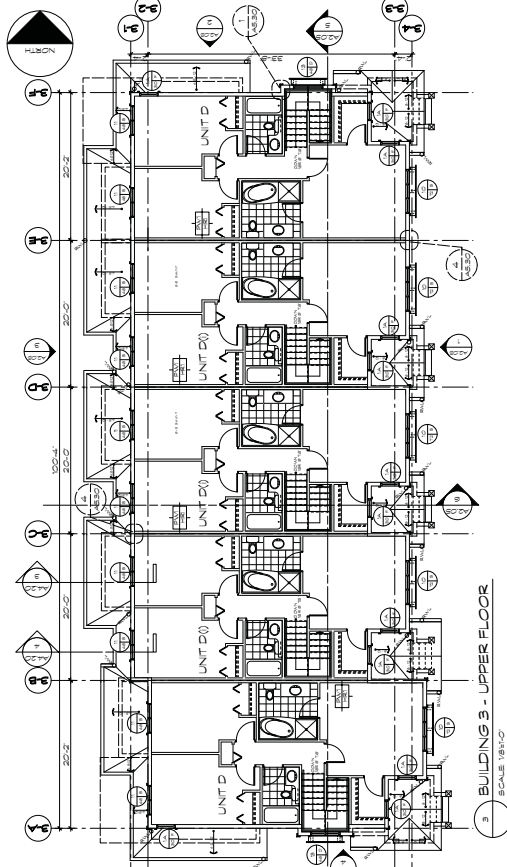
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PROJECT:	ENCORE at Maple on 84th
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SCALE:	AS SHOWN
DESIGNER:	ENCORE ARCHITECTURE INC.
DATE:	18-11-20

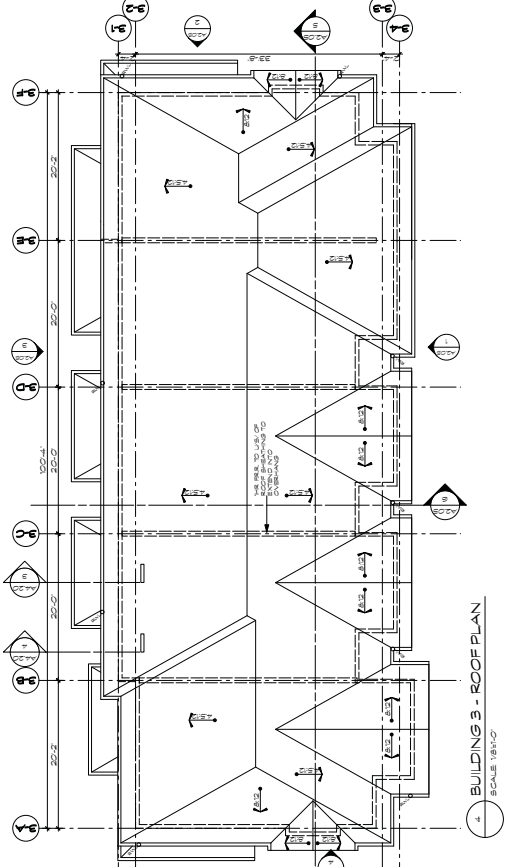
RCA
 Robert (Encore) Architecture Inc.
 200 - 2038 Columbia Street
 Vancouver, BC V6J 1V7
 Canada V6J 1V7
 Tel: (604) 687-4741
 Fax: (604) 687-4741
 admin@encorearchitecture.com

ENCORE at Maple on 84th
 8433 84th Street
 Surrey, BC

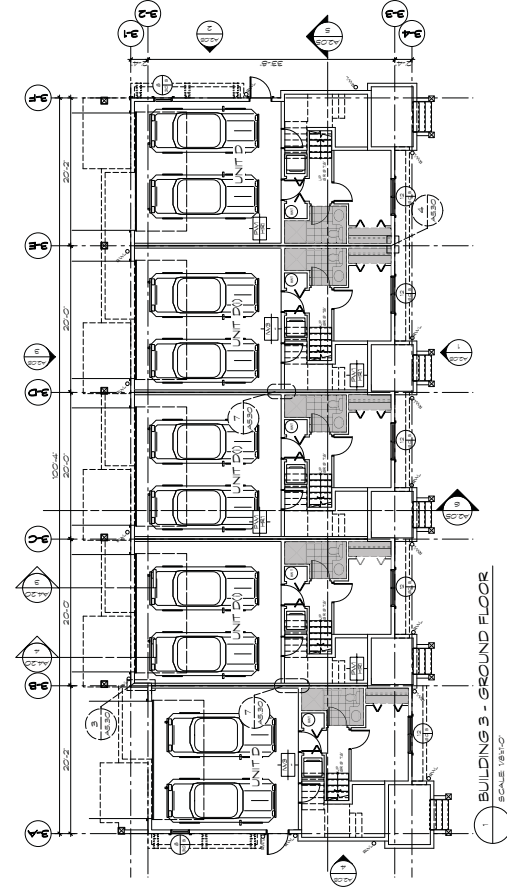
DATE:	18-11-20	SCALE:	AS SHOWN
DESIGNER:	ENCORE ARCHITECTURE INC.	PROJECT NO.:	ENC027
BUILDING 3 PLANS			
DATE:	18-11-20	SCALE:	AS SHOWN



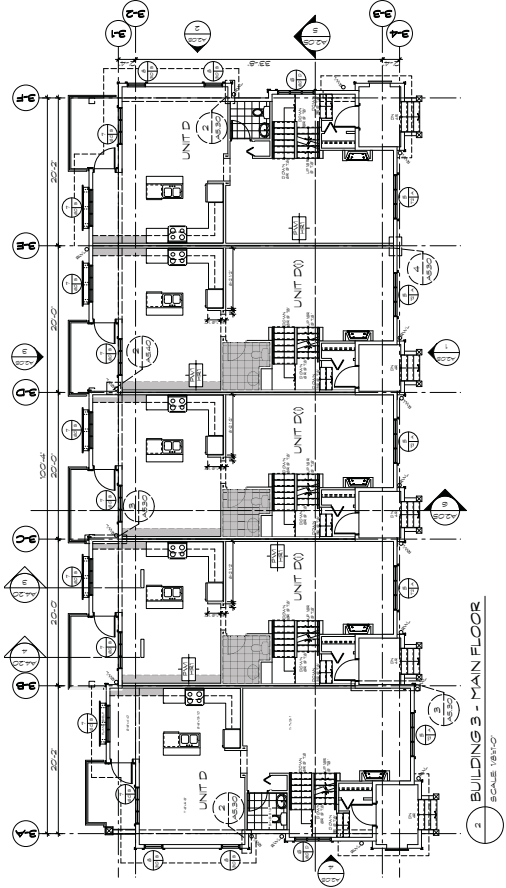
1. BUILDING 3 - UPPER FLOOR
SCALE 1/8"=1'-0"



2. BUILDING 3 - ROOF PLAN
SCALE 1/8"=1'-0"



3. BUILDING 3 - GROUND FLOOR
SCALE 1/8"=1'-0"



4. BUILDING 3 - MAIN FLOOR
SCALE 1/8"=1'-0"

ROOF VENTING
 NO UNIT VENTS TO PENETRATE ROOF VENTS TO EACH UNIT (VENTS CONTIGUOUS BETWEEN UNITS). VENTING TO BE PROVIDED TO THE REQUIREMENTS OF B.C.E.C. ARTICLE B19.12. ENCLOSED AT ALL SIDES OF THE VENTING IS REQUIRED AT ALL SIDES OF THE VENTING IS REQUIRED AT OPPOSITE ENDS OF ROOF VENT AREA AT OPPOSITE ENDS OF ROOF.

LEGEND:
 UNIT NUMBER
 UNIT TYPE
 UNIT TYPE
 UNIT TYPE

FLOOR AREAS - BUILDING 3	
GROUND FLOOR	3,853.34 SQ. FT.
UPPER FLOOR	5,876.04 SQ. FT.
ROOF AREA	1,020.00 SQ. FT.
TOTAL AREA	10,749.38 SQ. FT.

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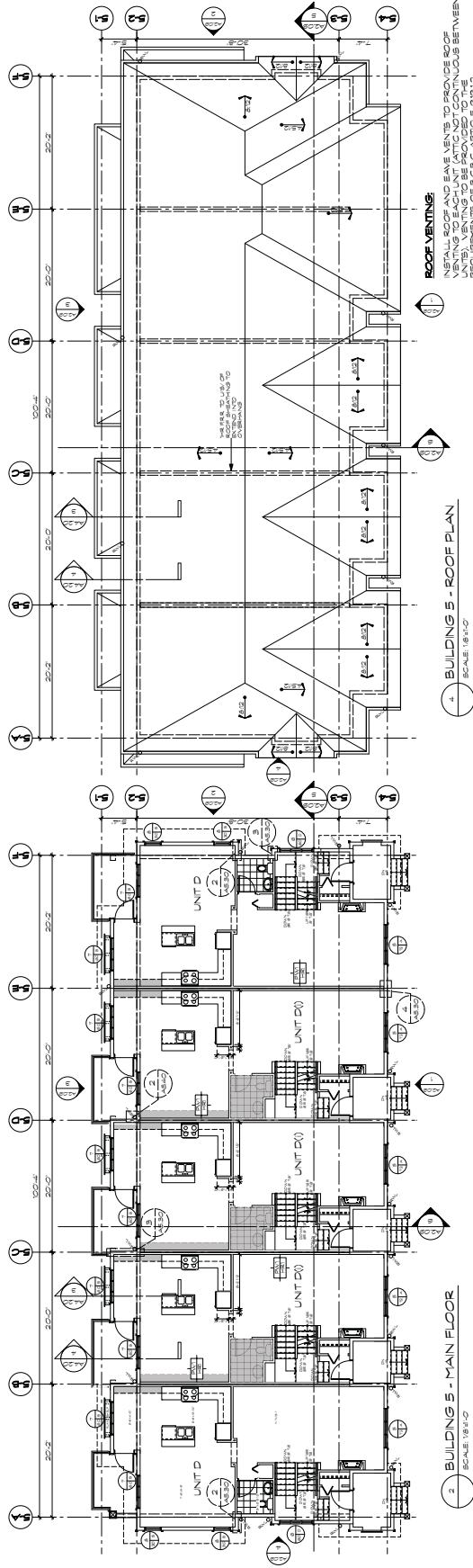
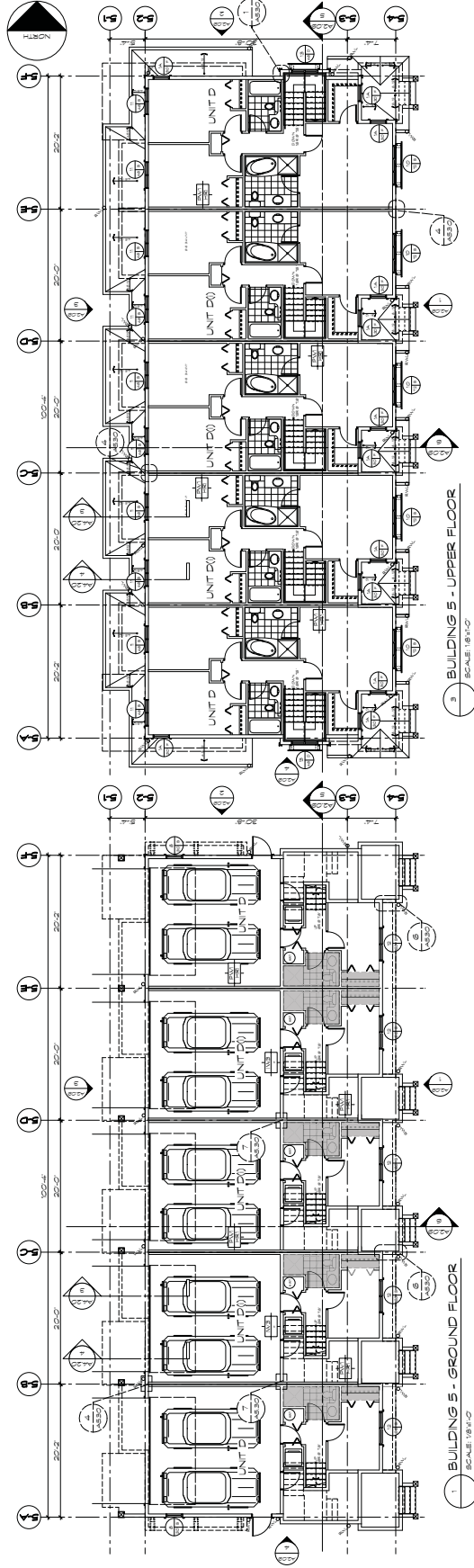
DRAWING NO.	1811-0
	1811-0
REVISION	NO. 1
	NO. 2

RCA
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ENCORE at
Maple on 84th
8433 84th Street
Surrey, BC

DATE	18/11/20
BY / BY	SC / SC
SCALE	AS SHOWN
BUILDING 5 PLANS	

PROJECT NO.	A2.08
DATE	-



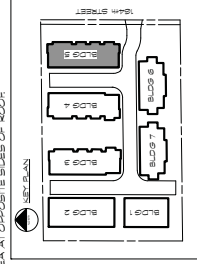
ROOF VENTING

NET AREA TO BE PROVIDED FOR ROOF VENTING SHALL BE PROVIDED TO THE VENTING MANUFACTURER'S REQUIREMENTS OF B.C. ARTICLE 9.9.12. ENDSURE THAT A MIN. OF 25% OF THE VENTING SHALL BE PROVIDED AT OPPOSITE SIDES OF ROOF.

LEGEND:

UNIT NUMBER	UNIT TYPE
1-2078	BUILDING 5
1-2079	BUILDING 5
1-2080	BUILDING 5
1-2081	BUILDING 5
1-2082	BUILDING 5
1-2083	BUILDING 5
1-2084	BUILDING 5
1-2085	BUILDING 5

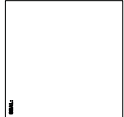
FLOOR AREA	BUILDING 5
GROUND FLOOR	3333.2 SQ. FT.
MAIN FLOOR	3333.2 SQ. FT.
UPPER FLOOR	3333.2 SQ. FT.
ROOF AREA	1022.8 SQ. FT.
TOTAL AREA	10992.8 SQ. FT.



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DATE:	1984-02
BY:	REVISION:
DATE:	1984-02
BY:	REVISION:



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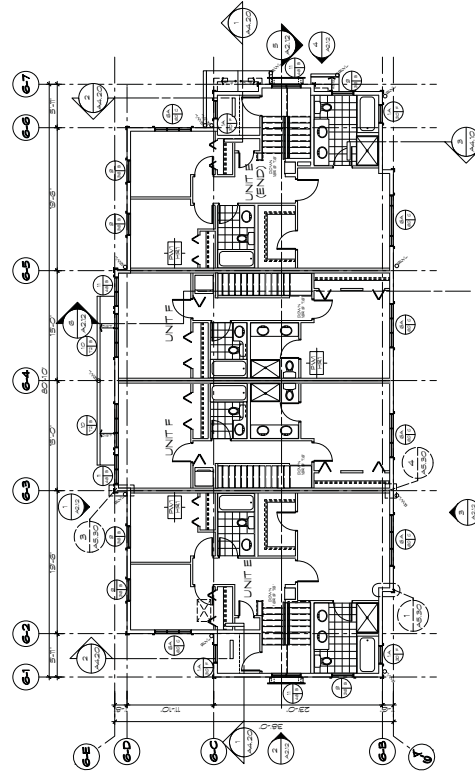
**ENCORE at
 Maple on 84th**
 8433 84th Street
 Surrey, BC

DATE:	1984-02
BY:	REVISION:
DATE:	1984-02
BY:	REVISION:

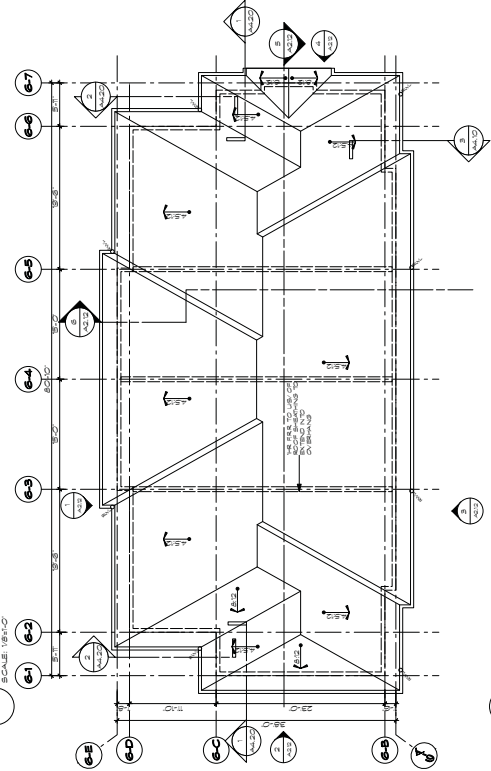
**BUILDING 6
 PLANS**

DATE:	1984-02
BY:	REVISION:
DATE:	1984-02
BY:	REVISION:

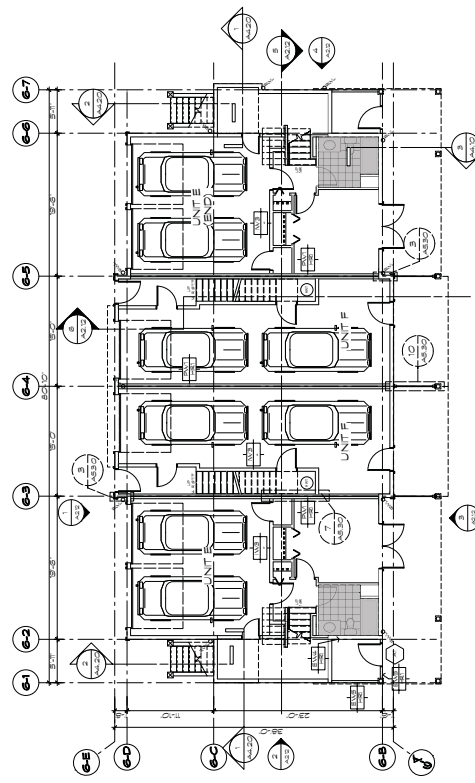
A2.10



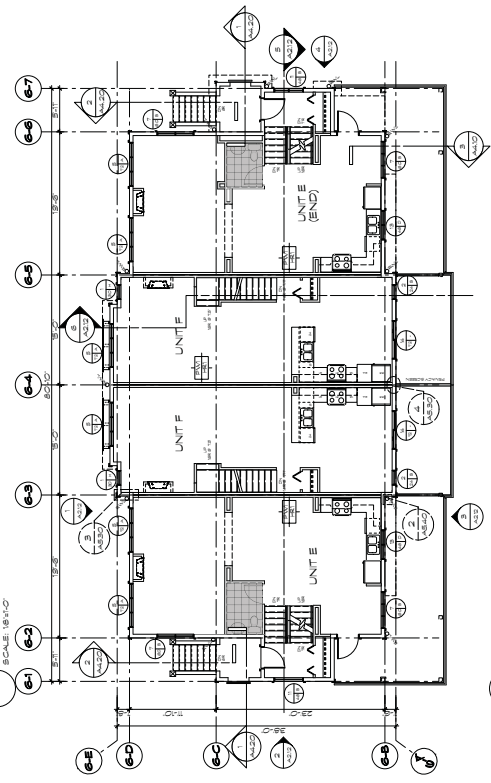
3 BUILDING 6 - UPPER FLOOR
 SCALE: 1/8"=1'-0"



4 BUILDING 6 - ROOF PLAN
 SCALE: 1/8"=1'-0"

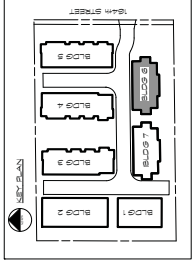


1 BUILDING 6 - GROUND FLOOR
 SCALE: 1/8"=1'-0"



2 BUILDING 6 - MAIN FLOOR
 SCALE: 1/8"=1'-0"

ROOF VENTING
 ALL ROOF VENTS SHALL BE PROVIDED TO PROVIDE ROOF VENTING TO EACH UNIT ATTACHED CONTIGUOUS BETWEEN ROOF VENTS OF ADJACENT UNITS. THE ROOF VENTS SHALL BE PROVIDED AT THE TOP OF ROOF TO PROVIDE EQUAL VENT AREA AT OPPOSITE SIDES OF ROOF.



LEGEND

FLOOR AREAS	BUILDING 6
GROUND FLOOR	2.0000
MAIN FLOOR	2.0000
UPPER FLOOR	2.0000
ROOF AREA	2.0000
STAIRWAYS	2.0000
COMMON AREAS	2.0000

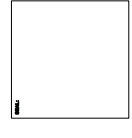
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REVISION:

NO.	DATE	DESCRIPTION

SCALE:

NO.	DATE	DESCRIPTION



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ENCORE at
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8493 84th Street
Surrey, BC

BUILDING 1
ELEVATIONS

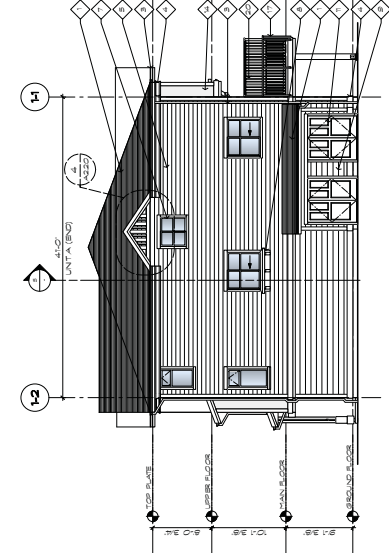
A2.01

GLAZING MATERIAL KEY

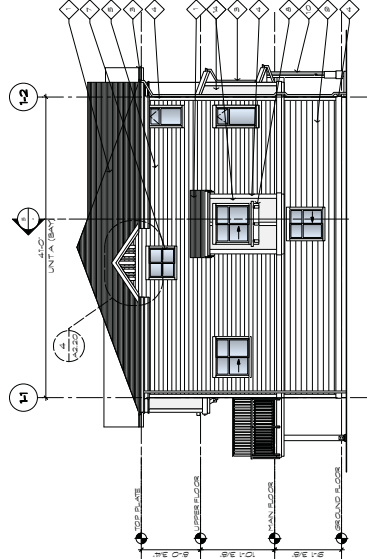
- ◇ ASPHALT SHINGLE ROOFING
- ◇ DECORATIVE GABLE VENT
- ◇ RAU-LUTER, PRIMERED ALUMINUM
- ◇ WOOD TRIM - PAINTED
- ◇ 1/2" HARDPLANK SIDING - PAINTED
- ◇ VINYL SHAKES, TRIPLE GLAZED PAINTED (SEE TO BE S.V. & DETAILS)
- ◇ WINDOWS - VINYL FRAME
- ◇ WOOD PLANTER SHELFS - PAINTED
- ◇ 3/4" HARDPLANK SIDING - PAINTED
- ◇ WOOD ENTRY PORTICO - PAINTED
- ◇ INSULATED METAL DOOR - PAINTED
- ◇ WOOD RAILING - PAINTED
- ◇ PRECAST CONCRETE STEPS
- ◇ HARD-WARE - PAINTED
- ◇ EXTERIOR WOOD DECK - PAINTED
- ◇ METAL GARAGE DOOR - PAINTED
- ◇ ALUMINUM RAILING - PAINTED
- ◇ WOOD POPEL OR BRACKET - PAINTED
- ◇ CURBED STONE
- ◇ WOOD PANCEY SCREEN

BUILDING 1 - Upholstery Choices

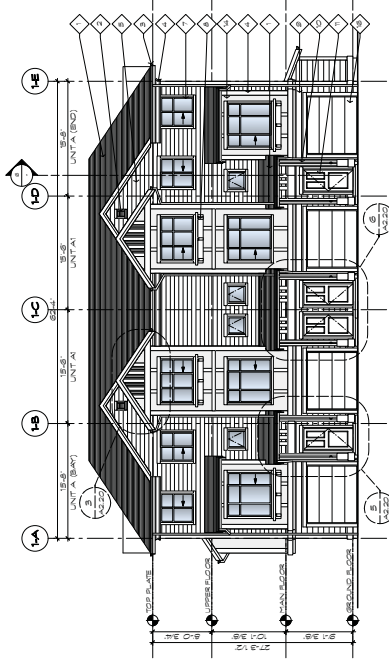
Item	U.C.D.	Almond	Plum	Primal	W.1
Van	1.85	1.85	1.85	1.85	1.85
Bar	8.50	7.50	28.25	7.50	8.50
Bank	8.50	7.50	28.25	7.50	8.50
W.K. S.C.C.	1.50	2.00	2.00	2.00	2.00



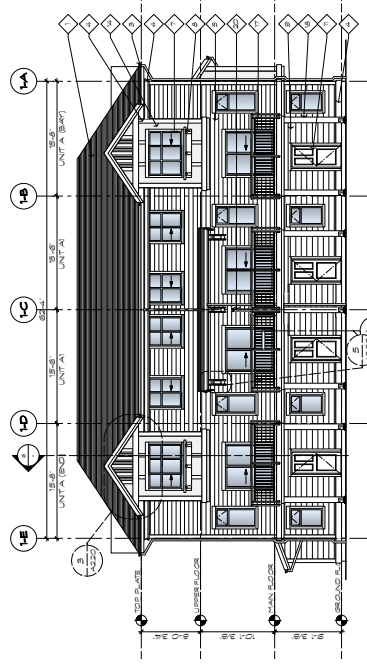
2. BUILDING 1 NORTH ELEVATION
SCALE 1/8"=1'-0"
UNIT: 1/4"



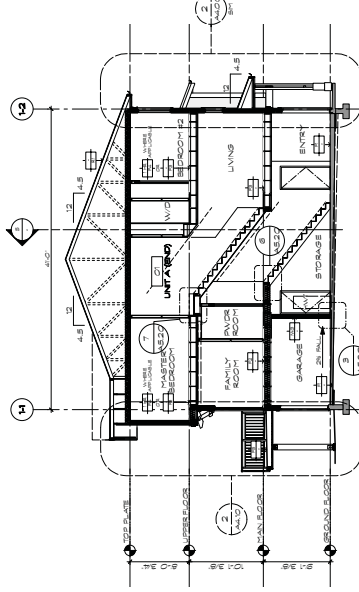
4. BUILDING 1 SOUTH ELEVATION
SCALE 1/8"=1'-0"
UNIT: 1/4"



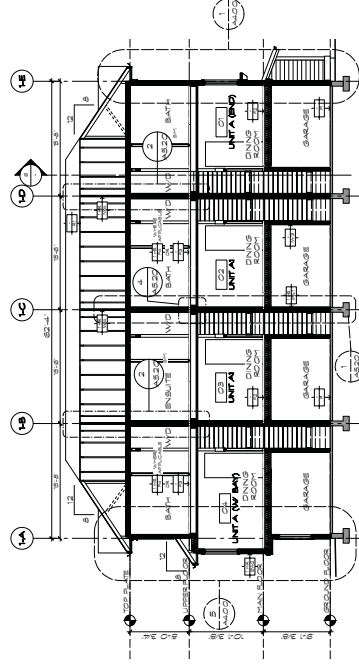
1. BUILDING 1 FRONT (EAST) ELEVATION
SCALE 1/8"=1'-0"
UNIT: 1/4"



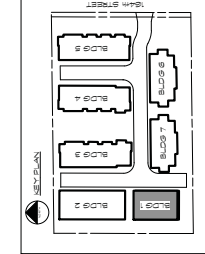
3. BUILDING 1 REAR (WEST) ELEVATION
SCALE 1/8"=1'-0"
UNIT: 1/4"



5. BUILDING 1 UNIT A (END) CROSS SECTION
SCALE 1/8"=1'-0"



5. BUILDING 1 LONGITUDINAL SECTION
SCALE 1/8"=1'-0"



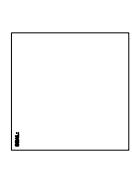
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REVISION:

NO.	DATE	DESCRIPTION

SCALE:

NO.	SCALE



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 admin@rcococazziarchitecture.com

ENCORE at Maple on 84th
 8433 84th Street
 Surrey, BC

BUILDING 3 ELEVATIONS

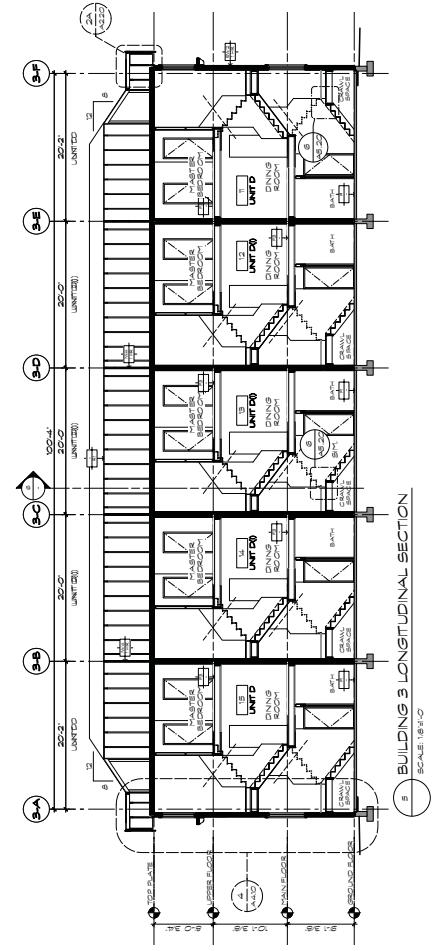
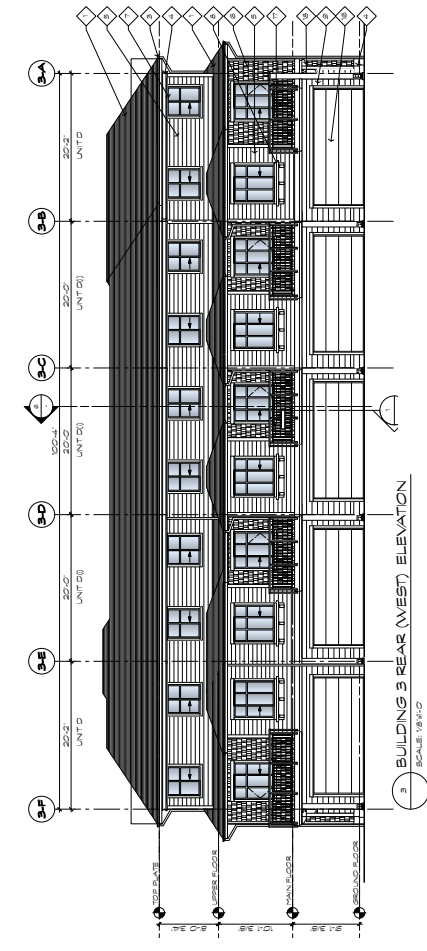
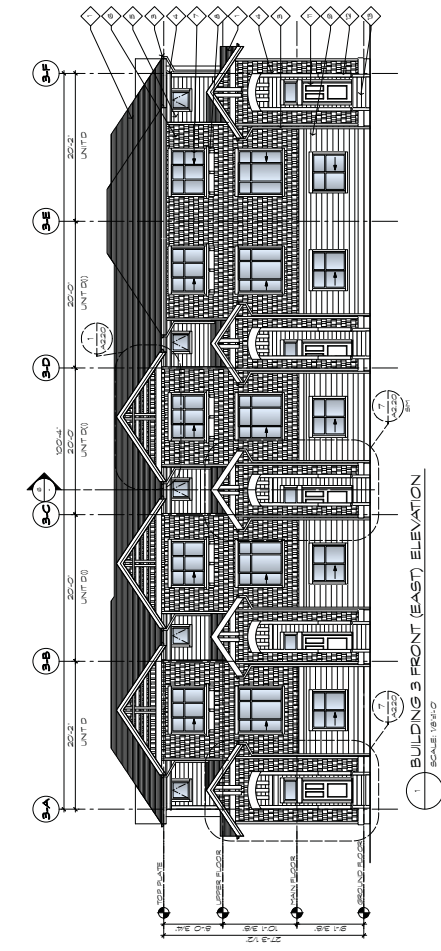
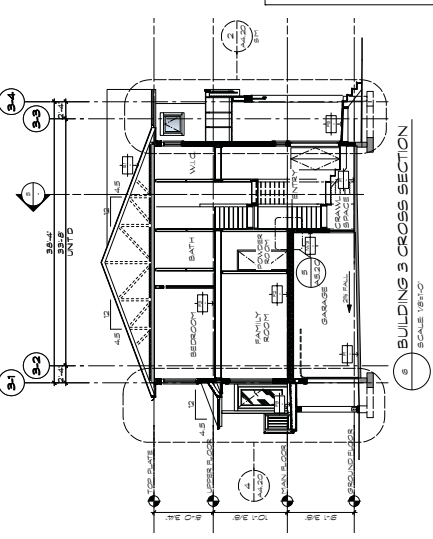
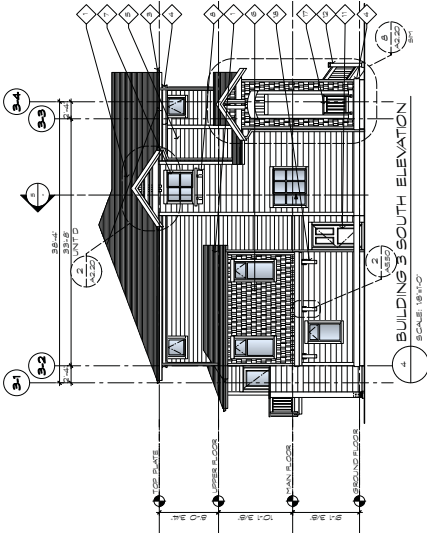
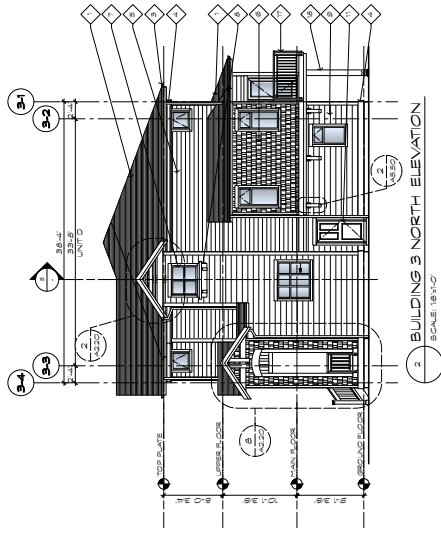
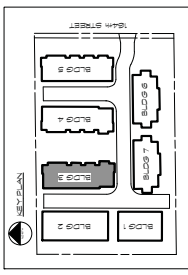
NO.	DATE	SCALE

A2.05

- GLAZING MATERIAL KEY**
- ◇ ASPHALT SINGLE SCOPING
 - ◇ DECORATIVE SABLE VENT
 - ◇ ANGLUTTER - PRIMEFINISH ALUMINUM
 - ◇ WOOD TRIM - PAINTED
 - ◇ 7/8" HARDPLANK SIDING - PAINTED
 - ◇ VINYL SILLING - THIS WINDOW CHANGE MATERIALS REFER TO BULKY & DETAILS
 - ◇ WINDOWS - VINYL FRAME
 - ◇ WOOD PLANTER SHELVE - PAINTED
 - ◇ WOOD ENTRY PORTICO - PAINTED
 - ◇ INSULATED METAL DOOR - PAINTED
 - ◇ WOOD RAILING - PAINTED
 - ◇ PRECAST CONCRETE STEPS
 - ◇ MEDIUM - PAINTED
 - ◇ SYNCHRO WOOD DOOR - PAINTED
 - ◇ METAL GARAGE DOOR - PAINTED
 - ◇ ALUMINUM RAILING - PAINTED
 - ◇ WOOD POOF OR BRACKET - PAINTED
 - ◇ CALIBRED STONE
 - ◇ WOOD FRANCHY SCREEN

BUILDING 3 - Unimproved Change

L.D.	Amount	Priority
North	\$1,120	3
East	\$1,120	3
South	\$1,120	3
West	\$1,120	3
	\$4,480	



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REVISION:

No.	Date	Description

SCALE:

Scale	Description



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 admin@ciocenziarchitecture.com

PROJECT:
ENCORE at Maple on 84th
 8433 84th Street
 Surrey, BC

DATE: 18/11/20
SCALE: 1/8" = 1'-0"
PROJECT NO.: RC-2020
PROJECT NAME: BUILDING 5 ELEVATIONS

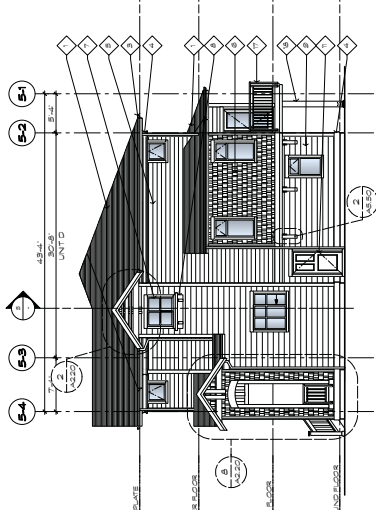
PROJECT NO.: -
SCALE: A2.09

GLAZING MATERIAL KEY

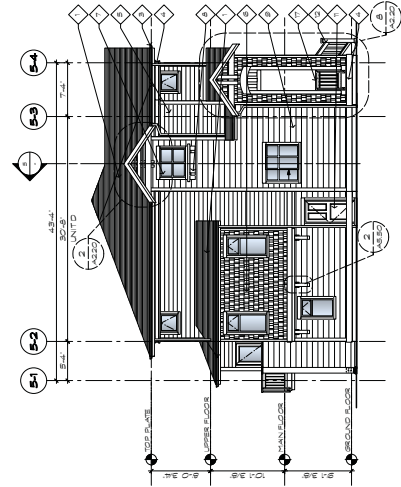
- ◇ ASPHALT SHINGLE ROOFING
- ◇ DECORATIVE GABLE VENT
- ◇ ANGLUTTER - PRIMEGRIP ALUMINUM
- ◇ WOOD TRIM - PAINTED
- ◇ 7/8" HARDPLANK SIDING - PAINTED
- ◇ VINYL SHIMBLE, THIS WINDOW CHANGE MATERIALS REFER TO BLUE & DETAILS
- ◇ WINDOWS - VINYL FRAME
- ◇ WOOD PLANTER SHELF - PAINTED
- ◇ 8/4" HARDPLANK SIDING - PAINTED
- ◇ WOOD ENTRY PORTICO - PAINTED
- ◇ INSULATED METAL DOOR - PAINTED
- ◇ WOOD RAILING - PAINTED
- ◇ PREGRADE CONCRETE STEPS
- ◇ HARDWARE - PAINTED
- ◇ EXTERIOR WOOD DOOR - PAINTED
- ◇ METAL GARAGE DOOR - PAINTED
- ◇ ALUMINUM RAILING - PAINTED
- ◇ WOOD POOF OR BRACKET - PAINTED
- ◇ CALCARED STONE
- ◇ WOOD FRANCHY SCREEN

BUILDING 5 - Unimproved Change

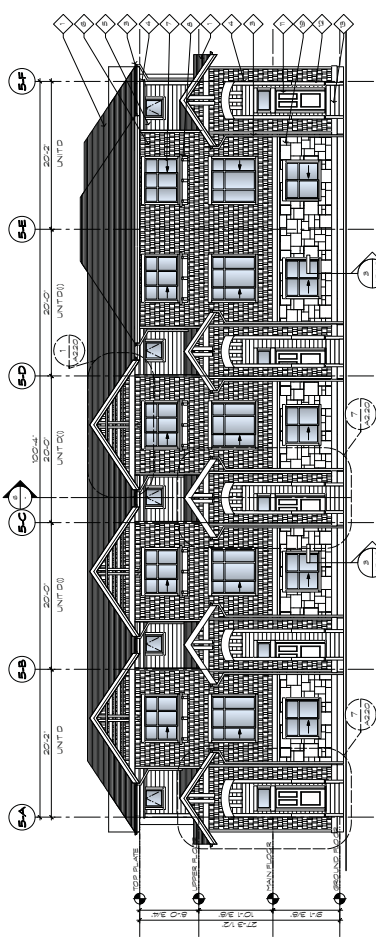
U.D.	Amount	Previous %
North	21.0%	15.0%
East	21.0%	15.0%
South	21.0%	15.0%
West	21.0%	15.0%



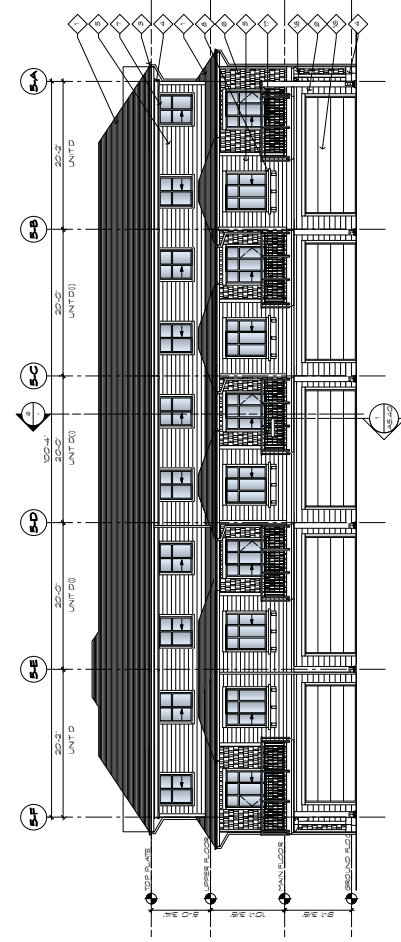
3. BUILDING 5 SOUTH ELEVATION
 SCALE 1/8" = 1'-0"



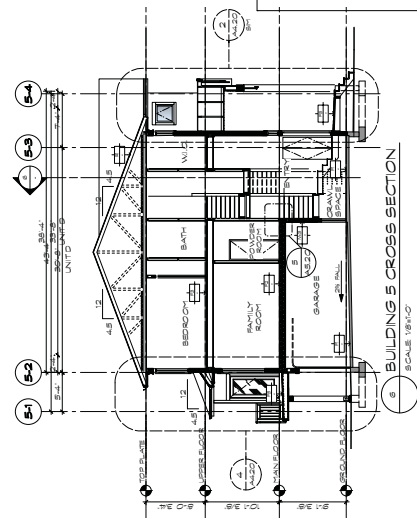
4. BUILDING 4 NORTH ELEVATION
 SCALE 1/8" = 1'-0"



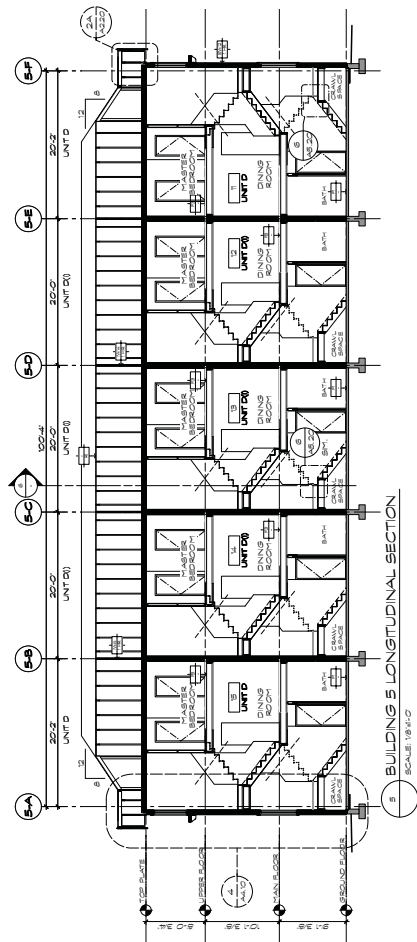
1. BUILDING 5 FRONT (EAST) ELEVATION
 SCALE 1/8" = 1'-0"



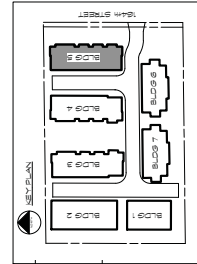
5. BUILDING 5 REAR (WEST) ELEVATION
 SCALE 1/8" = 1'-0"



6. BUILDING 5 CROSS SECTION
 SCALE 1/8" = 1'-0"



8. BUILDING 5 LONGITUDINAL SECTION
 SCALE 1/8" = 1'-0"



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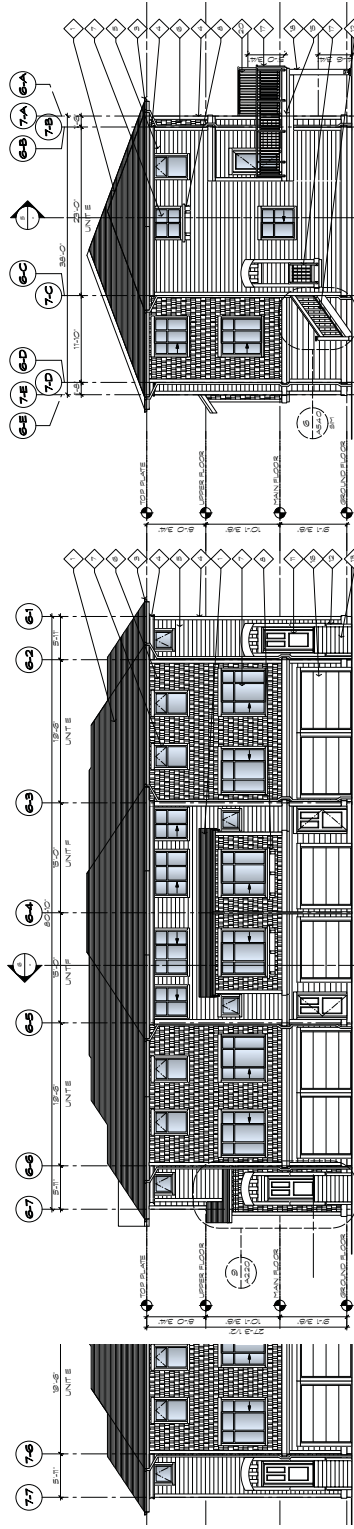
REVISION:	
NO.	DESCRIPTION

DATE:	

SCALE:	

CLADDING MATERIAL KEY

- 1 ASPHALT SHINGLE ROOFS
- 2 DECORATIVE GABLE VENT
- 3 INSULATOR - PERIMETER ALUMINUM
- 4 WOOD TRIM - PAINTED
- 5 1" x 6" HARD-PLANK SIDS - PAINTED
- 6 VERTICAL SLATS - 1/2" x 4" x 6" (3" x 4" DETAILS)
- 7 WINDOW SILL - VERTICAL SLATS
- 8 WINDOW SILL - VERTICAL SLATS
- 9 WOOD PLANTER BENCH - PAINTED
- 10 WOOD ENTRY PORTICO - PAINTED
- 11 INSULATED METAL DOOR - PAINTED
- 12 METAL GARAGE DOOR - PAINTED
- 13 PRECAST CONCRETE STEPS
- 14 HARD-PANEL - PAINTED
- 15 EXTERIOR WOOD DECK - PAINTED
- 16 METAL GARAGE DOOR - PAINTED
- 17 ALUMINUM BALUNS - PAINTED
- 18 WOOD POST OR BRACKET - PAINTED
- 19 CEMENTED STONE
- 20 WOOD VINYL SCREEN



1 PARTIAL BUILDING 6 (SOUTH) ELEVATION SCALE: 1/8"=1'-0"
 2 PARTIAL BUILDING 7 (SOUTH) ELEVATION SCALE: 1/8"=1'-0"
 3 BUILDING 6 REAR (NORTH) ELEVATION SCALE: 1/8"=1'-0"
 4 BUILDING 7 REAR (NORTH) ELEVATION SCALE: 1/8"=1'-0"
 5 BUILDING 6 PARTIAL SECTION SCALE: 1/8"=1'-0"
 6 BUILDING 7 PARTIAL SECTION SCALE: 1/8"=1'-0"
 7 BUILDING 6 & 7 EAST ELEVATION SCALE: 1/8"=1'-0"
 8 BUILDING 6 & 7 WEST ELEVATION SCALE: 1/8"=1'-0"
 9 BUILDING 6 & 7 LONGITUDINAL SECTION SCALE: 1/8"=1'-0"
 10 BUILDING 6 & 7 CROSS SECTION SCALE: 1/8"=1'-0"

BUILDING 6 - Unimproved Changes	
L.C. Allowed	%
North	35.0%
East	35.0%
South	15.0%
West	15.0%

BUILDING 7 - Unimproved Changes	
L.C. Allowed	%
North	35.0%
East	35.0%
South	15.0%
West	15.0%

RCA

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 Coquitlam, B.C. V3K 3R3
 Tel: (604) 677-4641
 admin@robertcorazzoli.com

ENCORE at
 Maple on 84th
 8483 84th Street
 Surrey, BC

PROJECT:	
NO.	DESCRIPTION

BUILDING 6 & 7
 ELEVATIONS

SCALE:	

A2.12

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NO.	DATE	REVISION DESCRIPTION	BY	CHK.
1	2023.05.15	REV. PER CITY COMMENTS	DMG	
2	2023.05.15	REV. PER CITY COMMENTS	DMG	
3	2023.05.15	REV. PER CITY COMMENTS	DMG	
4	2023.05.15	REV. PER CITY COMMENTS	DMG	
5	2023.05.15	REV. PER CITY COMMENTS	DMG	
6	2023.05.15	REV. PER CITY COMMENTS	DMG	
7	2023.05.15	REV. PER CITY COMMENTS	DMG	
8	2023.05.15	REV. PER CITY COMMENTS	DMG	
9	2023.05.15	REV. PER CITY COMMENTS	DMG	
10	2023.05.15	REV. PER CITY COMMENTS	DMG	

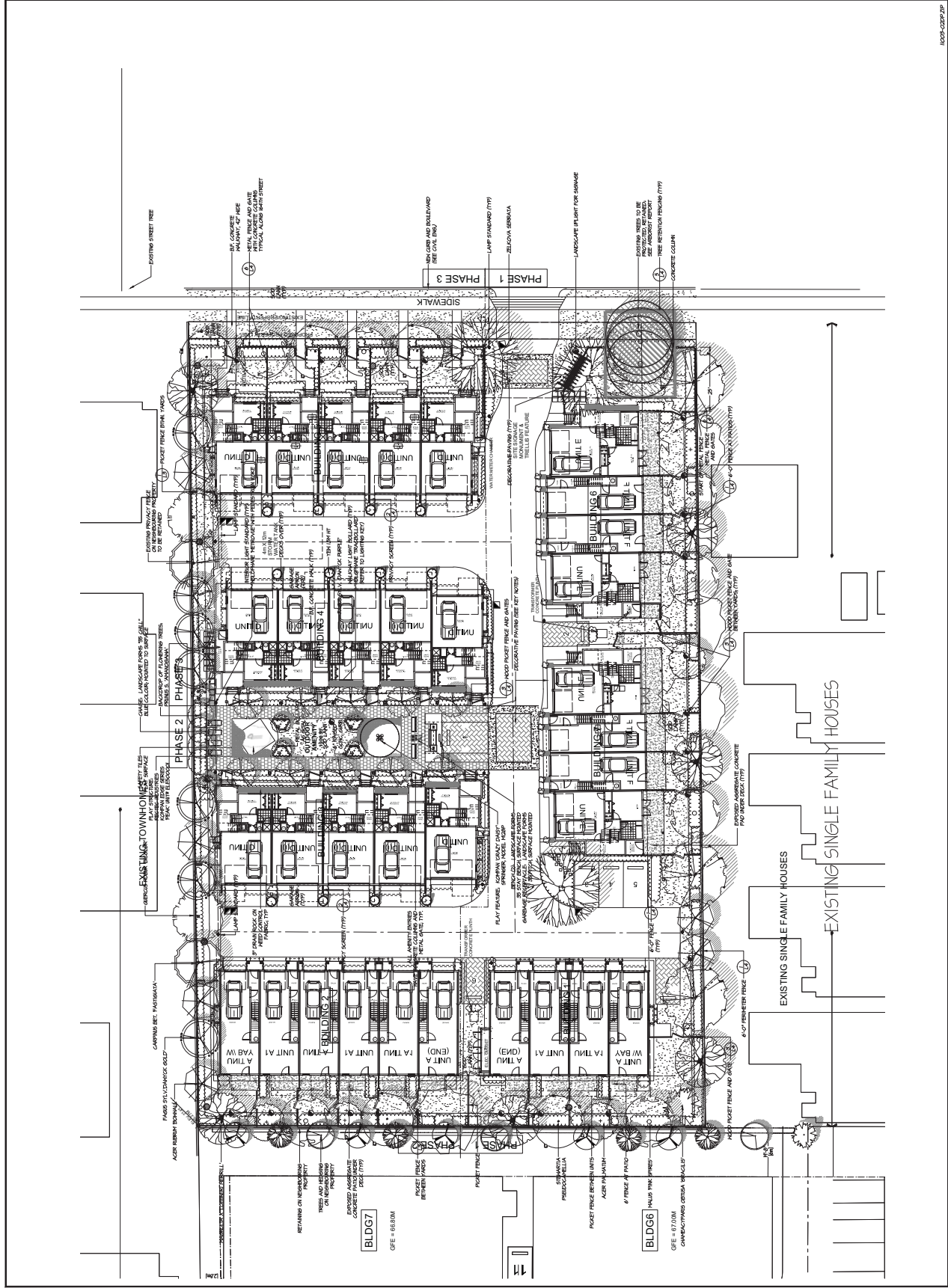


DMG landscape architects
 1100-1100 Street, Suite 1000
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 Website: www.dmg.ca

PROJECT: **TOWNHOUSE DEVELOPMENT**
1847H ST. AND 84ND AVE
SURREY, B.C.

DRAWING TITLE: **LANDSCAPE PLAN**

DATE:	1/20/2023
SCALE:	1/8"=1'-0"
DRAWN BY:	BJ
DESIGN:	
CHKD:	
DMG PROJECT NUMBER:	11-003



DATE: 1/20/2023
 SCALE: 1/8"=1'-0"
 DRAWN BY: BJ
 DESIGN:
 CHKD:
 DMG PROJECT NUMBER: 11-003

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **May 20, 2011** PROJECT FILE: **7811-0072-00**

RE: **Engineering Requirements
Location: 8431, 8439, 8449 164 St.**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment.

REZONE AND SUBDIVISION***Property and Right-of-Way Requirements***

- dedicate 1.942-metres along 164 Street for a 24-metre Major Collector standard; and
- provide a 0.5-metre statutory right-of-way along 164 Street.

Works and Services

- construct 164 Street to a Major Collector standard.

A Servicing Agreement is required prior to Rezone and Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Bob Ambardar, P.Eng.
Development Project Engineer

SSA



SCHOOL DISTRICT #36 (SURREY)

Tuesday, May 03, 2011
Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 11 0072 00

SUMMARY

The proposed 33 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	5
Secondary Students:	3

September 2010 Enrolment/School Capacity

Frost Road Elementary	
Enrolment (K/1-7):	69 K + 453
Capacity (K/1-7):	40 K + 450

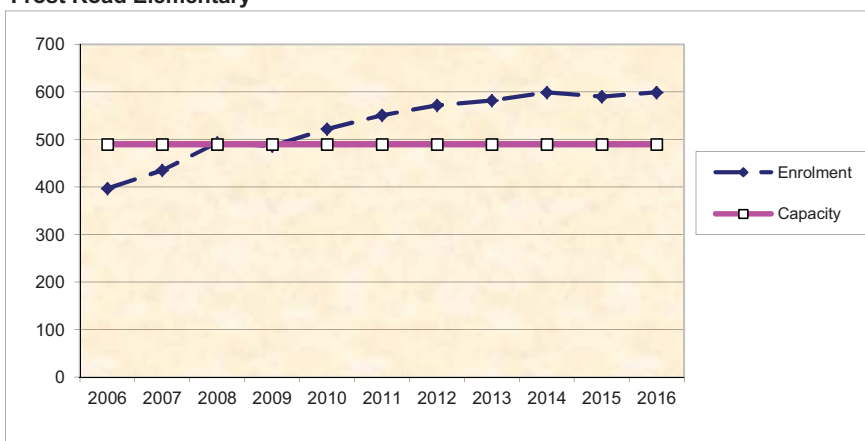
North Surrey Secondary	
Enrolment (8-12):	1528
Nominal Capacity (8-12):	1175
Functional Capacity*(8-12):	1269

School Enrolment Projections and Planning Update:

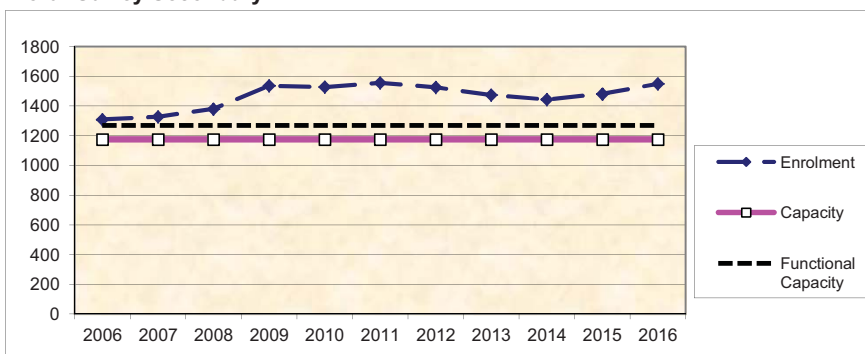
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

The elementary school capacity below is adjusted to full day K implementation (full day K implementation in 2011 may result in two modular classrooms added to Frost Road Elementary). There are no new capital space projects proposed at Frost Road Elementary and no new capital projects identified for North Surrey Secondary. The school district has a future secondary school planned in North Clayton Area (priority #30 in the 2010-2014 Five Year Capital Plan), which when completed will reduce projected overcrowding at Lord Tweedsmuir Secondary, North Surrey Secondary and Clayton Heights Secondary.

Frost Road Elementary



North Surrey Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

TREE PRESERVATION SUMMARY

Surrey Project #

Project Location: 8431, 8439, 8449 164TH Street, Surrey

Register Landscape Architect / Arborist Meredith Mitchell DMG Landscape Architects

Detailed Assessment of the existing trees was prepared for this proposal in 20 May 2011. The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment of the Subject Site

- a. The subject site is located 1 block east of Fleetwood Community Centre.
- b. The site is untouched by demolition at this time.
- c. The site is the second phase of multifamily to the west.
- d. The majority of the existing tree resources are mature Western Red Cedar and Alder.
- e. A total of 15 on-site Western Red Cedar were noted.

2. Summary of Proposed Tree Removal and Replacement


○ Number of Protected Trees Identified	47 (A)
○ Number of Protected Trees declared to be hazardous due to natural causes	0 (B)
○ Number of Protected Trees to be Removed	43 (C)
○ Number of Trees to be Retained (A-B-C)	4 (D)
○ Number of Replacement Trees Required @ 2:1 (27 trees)	54 (E1)
○ Number of Replacement Trees Required @ 1:1	16 (E2)
○ Total Number of Replacement Trees Required	70 (E3)
○ Number of Replacement Trees Proposed	- 72 (F)
○ Number of Replacement Trees in Deficit (E – F)	- 0 (G)
○ Total Number of Protected and Replacement Trees (D+F)	- 76 (H)
○ Number of Lots Proposed in Project	N/A (I)
○ Average Number of Trees / Lot	N/A (J)

3. Tree Survey and Preservation Plan

Tree Survey / Arborist Plan is attached.

_____ This plan will be available before final adoption.

Summary and plan prepared and submitted by: **Meredith Mitchell**
ISA Certified Arborist #PN-6089A
DMG Landscape Architects
20 May 2011



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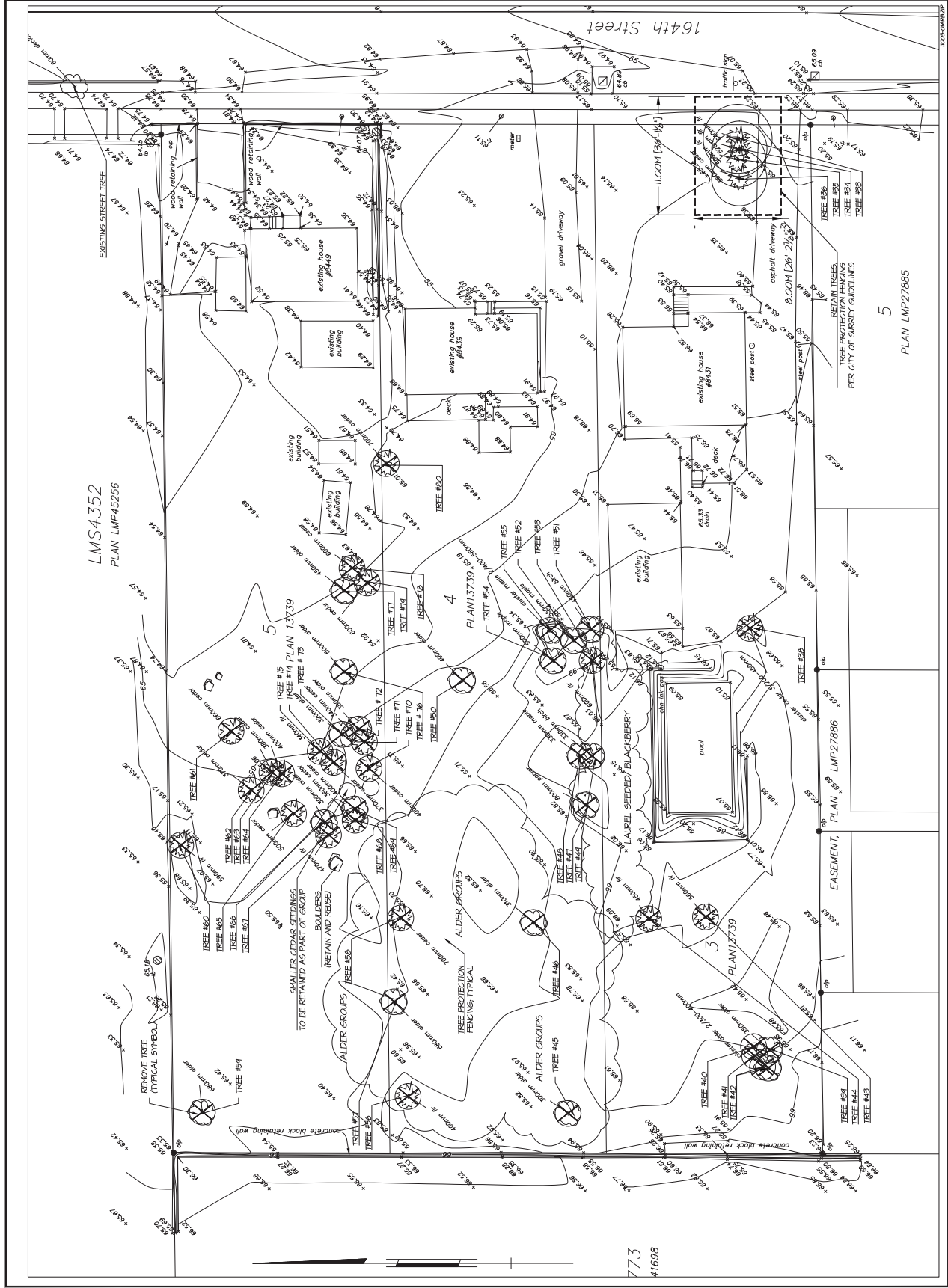
NO.	DATE	REVISION/DESCRIPTION	BY	CHK.
1	JAN 2017	REV. PER CITY COMMENTS	RMZ	
2				
3				
4				
5				
6				
7				



DMG landscape architects
 11000 [26-1/2] Street
 Suite 200, 11000 [26-1/2] Street, New
 Westminster, British Columbia
 V3C 6G3
 PH (604) 273-0302 FAX (604) 273-0323

PROJECT: ENCORE AT MAPLE
 8431, 8433, 8440 164th ST.
 SURREY, B.C.

DRAWING TITLE: ARBORIST PLAN
 DRAWING NUMBER: L1arb
 DATE: JAN 27
 SCALE: AS SHOWN
 DRAWN: RMZ
 REVISION: -
 CHECKED: -
 PROJECT NUMBER: 11-003



LMS4352
 PLAN LMP45256

PLAN #4 PLAN 13739
 TREE # 75
 TREE # 76
 TREE # 77
 TREE # 78
 TREE # 79
 TREE # 80
 TREE # 81
 TREE # 82
 TREE # 83
 TREE # 84
 TREE # 85
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 TREE # 100

PLAN #3 PLAN 13739
 TREE # 101
 TREE # 102
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 TREE # 104
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PLAN #2 PLAN 13739
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 TREE # 140

PLAN #1 PLAN 13739
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 TREE # 160

773
 41698

5
 PLAN LMP27885

EASEMENT, PLAN LMP27886

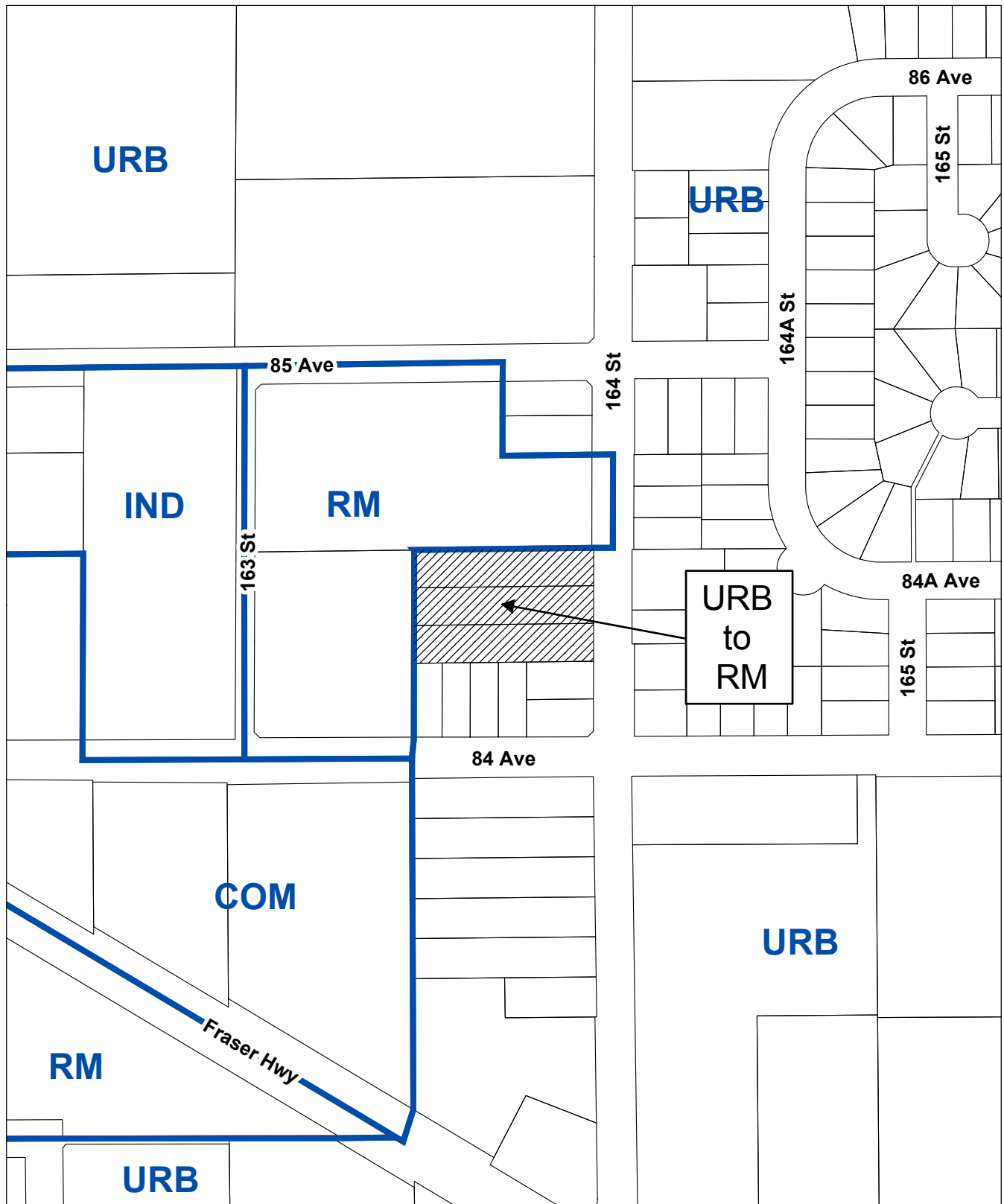
EASEMENT, PLAN LMP27886

EASEMENT, PLAN LMP27886

164th Street

164th Street

164th Street



OCP Amendment

Proposed amendment from Urban to Multiple Residential



CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 004-696-310
 Lot 3 Section 25 Township 2 New Westminster District Plan 13739
 8431 - 164 Street

Parcel Identifier: 009-855-165
 Lot 4 Section 25 Township 2 New Westminster District Plan 13739
 8439 - 164 Street

Parcel Identifier: 004-622-723
 Lot 5 Section 25 Township 2 New Westminster District Plan 13739
 8449 - 164 Street

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density, ground-oriented multiple residential buildings* and related *amenity spaces* which are to be developed in accordance with a *comprehensive design*, where *density* bonus is provided.

B. Permitted Uses

The *Lands and structures* shall be used for *ground-oriented multiple unit residential buildings*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The *floor area ratio* shall not exceed 0.05 and the *unit density* shall not exceed 2.5 *dwelling units* per hectare [1 u.p.a.]. The maximum *density* may be increased to that prescribed in Section D.2 of this Zone if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. (a) The *floor area ratio* shall not exceed 0.90; and
 (b) The *unit density* shall not exceed 58 *dwelling units* per hectare [24 u.p.a.].
3. The *indoor amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

The *lot coverage* shall not exceed 45%.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard</i>	<i>Rear Yard</i>	<i>South Side Yard</i>	<i>North Side Yard</i>
<i>Principal and Accessory Buildings and Structures</i>		7.0 m. [23 ft.]	6.0 m. [20 ft.]	6.5 m. [21 ft.]	2.4 m. [8 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding Section F.1 of this Zone, columns, *balconies*, entry canopies and porches may encroach up to 1.0 metre [3.3 ft.] into the *front yard*, and 2.4 metres [8 ft.] into the *rear yard* and *south side yard*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings: The *building height* shall not exceed 11 metres [36 feet].
2. Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [15 feet].

H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided as stated in Table C.6. of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All required resident *parking spaces* shall be provided as *parking within building envelope*.
3. *Tandem parking* is permitted, subject to the following:
 - (a) *Parking spaces* provided as *tandem parking* must be enclosed and attached to each *dwelling unit*;
 - (b) *Parking spaces* provided as *tandem parking* must be held by the same owner; and
 - (c) Access to *parking spaces* provided as *tandem parking* is not permitted within 6 metres [20 ft.] from *lot* entrances/exits.
4. Visitor parking is permitted within the required *setbacks*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
5,400 sq.m. [1.3 acres]	60 metres [195 ft]	90 metres [295 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-30 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.

5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2010, No. 17111, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-30 Zone.
10. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
11. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

READ A THIRD TIME ON THE _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK