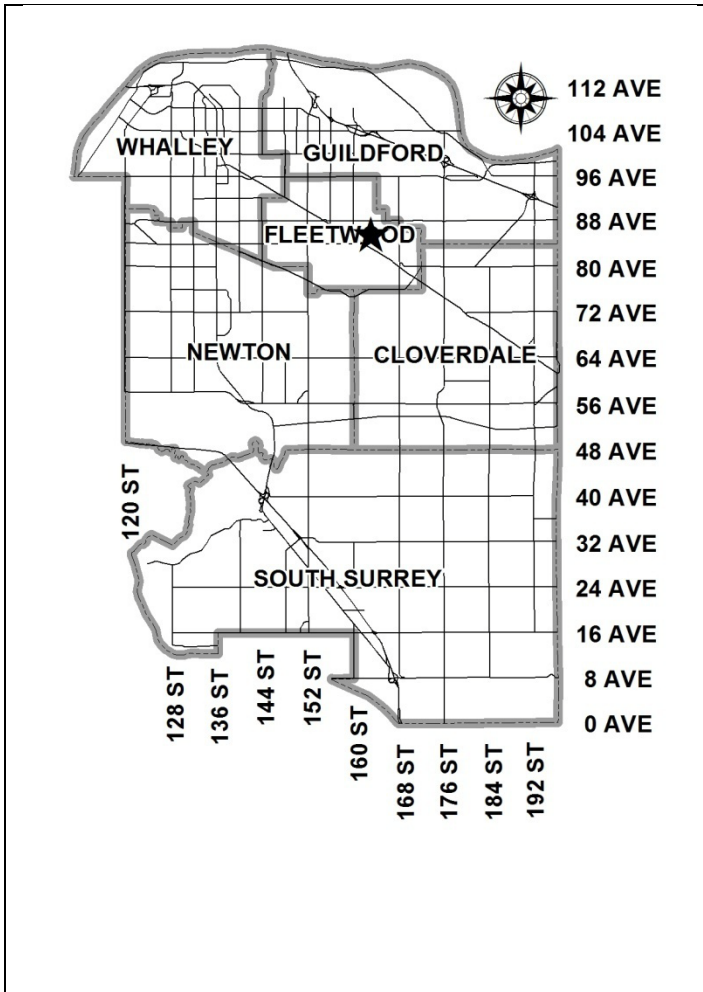


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7911-0079-00

Planning Report Date: July 11, 2011

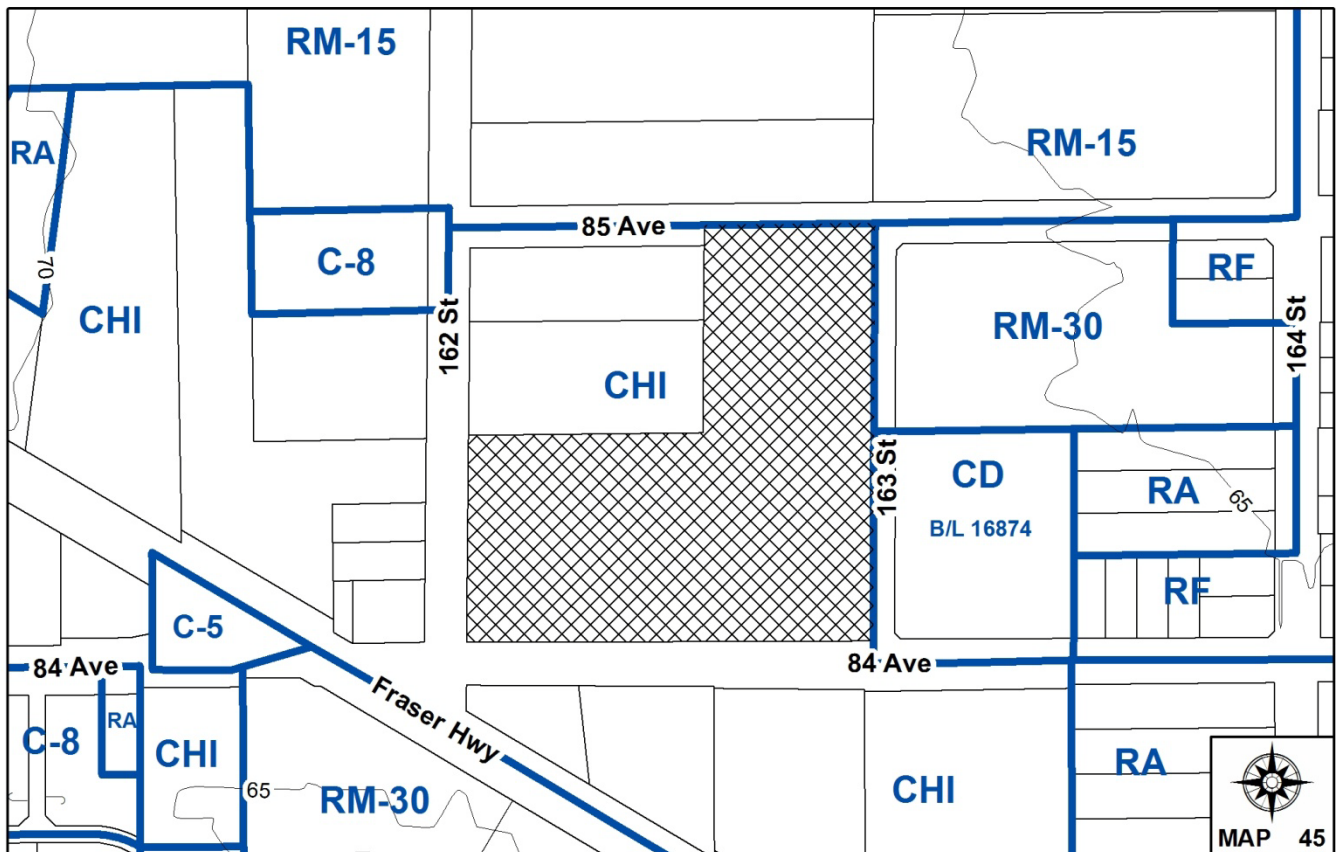


**PROPOSAL:**

- **OCP Amendment** from Commercial and Industrial to Multiple Residential
- **NCP Amendment** from Highway Commercial to Medium Density Townhouses
- **Rezoning** from CHI to RM-30
- **Development Permit**
- **Development Variance Permit**

in order to permit the development of approximately 166 townhouse units.

**LOCATION:** 16241 - 84 Avenue  
**OWNER:** Anthem Fleetwood 3 Developments Ltd.  
**ZONING:** CHI  
**OCP DESIGNATIONS:** Commercial and Industrial  
**NCP DESIGNATION:** Highway Commercial



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - OCP Amendment; and
  - Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The proposal requires an OCP amendment from Commercial and Industrial to Multiple Residential.
- The proposal requires an amendment to the Fleetwood Town Centre Plan from Highway Commercial to Medium Density Townhouses.
- The proposed development requires relaxation of the setbacks of the RM-30 Zone.

### RATIONALE OF RECOMMENDATION

- The proposed land use, density and building form are appropriate for this part of Fleetwood.
- The proposal will replace an existing non-conforming truck park currently operating on the site.
- Proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Fleetwood Town Centre Plan.
- Although the proposal will eliminate 2.38 hectares (5.89 acres) of serviced “business” use land from the Fleetwood Town Centre, the proposed townhouse use is more compatible with surrounding residential development. Industrial uses, in particular, at this location, could result in undesirable conflicts with neighbouring uses.
- The Employment Lands Strategy, approved by Council on November 24, 2008 (Corporate Report No. Co13) acknowledged that the Fleetwood Centre Land Use Plan should be amended to provide higher density mixed-uses along Fraser Highway, in anticipation of rapid transit extension along this corridor.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating the subject site from Commercial and Industrial to Multiple Residential and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from Highway Commercial Industrial Zone (CHI) (By-law No. 12000) to Multiple Residential 30 Zone (RM-30) (By-law No. 12000) and a date be set for Public Hearing.
4. Council approve the applicant's request to reduce the amount of required indoor amenity space from 498 square metres (5,360 square feet) to 232 square metres (2,497 square feet).
5. Council authorize staff to draft Development Permit No. 7911-0079-00 generally in accordance with the attached drawings (Appendix II).
6. Council approve Development Variance Permit No. 7911-0079-00 (Appendix VIII) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum north front yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (16 ft.) measured to the building face from 85 Avenue;
  - (b) to reduce the minimum north side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) measured to the building face (from the shared lot line with 8462/68/84 – 162 Street);
  - (c) to reduce the minimum south rear yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (16 ft.) measured to the building face from 84 Avenue;
  - (d) to reduce the minimum east side yard flanking street setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (16 ft.) measured to the building face from 163 Street;
  - (e) to reduce the minimum west side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) measured to the building face (from the shared lot line with 8462/68/84 – 162 Street);
  - (f) to reduce the minimum west side yard flanking street setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (16 ft.) measured to the building face from 162 Street; and
  - (g) to vary the tandem parking requirements in the RM-30 Zone to allow one (1) tandem parking space to be unenclosed for 64 proposed units.

- 
7. Council instruct staff to resolve the following issues prior to final adoption:
    - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
    - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
    - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
    - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
    - (e) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
    - (f) provision of community benefit to satisfy the OCP Amendment policy for Type 2 OCP Amendment applications;
    - (g) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
    - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
    - (i) the applicant adequately address the impact of reduced indoor amenity space;
    - (j) registration of a statutory right-of-way for public rights-of-passage over the corner plaza area at 162 Street and 84 Avenue; and
    - (k) removal of the existing non-conforming truck park to the satisfaction of the Manager By-law Enforcement and Licensing.
  
  8. Council pass a resolution to amend the Fleetwood Town Centre Plan to redesignate the land from Highway Commercial to Medium Density Townhouses when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirement as outlined in Appendix III.

School District: **Projected number of students from this development:**

27 Elementary students at Frost Road Elementary School  
13 Secondary students at North Surrey Secondary School

(Appendix IV)

The applicant has advised that 21 dwelling units in Phase one of this project are expected to be constructed and ready for occupancy by November 2012.

SITE CHARACTERISTICS

Existing Land Use: Existing, non-conforming truck park.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North and West (South of 85 Avenue)	Existing multi-tenant warehouse complex.	Highway Commercial	CHI
North (Across 85 Avenue):	Townhouse development.	Low Density Townhouses	RM-15
East (Across 163 Street):	Townhouse development.	Medium-Density Townhouses	RM-30 and CD (By-law No. 16874)
South (Across 84 Avenue):	Vacant, auto services and KIA dealership	Highway Commercial	CHI
West (Across 162 Street):	West Star Motors and two single family dwellings.	Highway Commercial	CHI

JUSTIFICATION FOR PLAN AMENDMENTSOCP Amendment

- The approximately 2.38-hectare (5.89-acre) subject site is split-designated Commercial and Industrial in the Official Community Plan (OCP). The applicant is seeking an OCP amendment from Commercial and Industrial to Multiple Residential (see Appendix VII) to permit the proposed townhouses.
- The current Commercial and Industrial designations are historic and reflect the OCP designations for this site prior to the approval of the Fleetwood Town Centre Plan in December 2000 and the desire of the owner at that time, for no change.

- The proposed redesignation to Multiple Residential is in line with the Multiple Residential designation to the east of the subject site, which accommodates existing and recently constructed townhouse developments. Lower density townhouse developments are located to the north of the site (across 85 Avenue) under the Urban designation in the OCP.
- In accordance with the OCP, this application is considered a Type 2 OCP Amendment and as such, the provision of a significant community benefit is required. On June 22, 2011 the applicant confirmed in writing their offer to provide a community benefit contribution for the proposed 166 units in the amount of \$1,200 per unit, for a total of \$199,200, prior to the project being considered for Final Adoption. This offer is consistent with other recently approved Multiple Residential OCP Amendment applications.
- The subject site is located within close walking distance of Fleetwood's commercial core and other supportive services and amenities such as public transportation and several major community amenities including the Fleetwood Community Centre, Fleetwood Library, Bonnie Schrenk Park, Frost Road Elementary and Holy Cross High Schools and the Surrey Sports and Leisure Complex. It is also located within close proximity to existing residential developments.
- The objectives of this project are to support a vibrant, pedestrian-oriented Town Centre and to provide the neighbourhood with a high quality development and a greater diversity of housing options.

#### NCP Amendment

- The proposed townhouse development has a unit density of 28 units per acre. The proposed townhouse form is consistent with the Medium Density Townhouses NCP designation in the Fleetwood Town Centre Plan, which is intended for a maximum density of 30 units per acre.
- The Medium Density Townhouses designation in the NCP allows for the construction of a number of smaller, more affordable townhouse units.
- The proposed NCP redesignation is consistent with the proposed OCP amendment from Commercial and Industrial to Multiple Residential.

#### DEVELOPMENT CONSIDERATIONS

- The subject site at 16241 - 84 Avenue is located on the north-east corner of 84 Avenue and 162 Street. The site is bound by 85 Avenue to the north, 84 Avenue to the south, 162 to the west and 163 Street to the east.
- The 2.38-hectare (5.89-acre) subject site is currently zoned Highway Commercial Industrial Zone (CHI), split-designated Commercial and Industrial in the Official Community Plan (OCP) and designated Highway Commercial in the Fleetwood Town Centre Plan.

- As described previously, the proposal requires an OCP amendment and an NCP amendment to accommodate the proposed rezoning.
- The applicant is proposing to rezone the site from Highway Commercial Industrial Zone (CHI) to Multiple Residential 30 Zone (RM-30), in order to allow the development of a 166-unit townhouse project with a proposed unit density of 28 units per acre (upa) and a floor area ratio (FAR) of 0.83. A companion Development Variance Permit application to vary building setbacks and parking configuration has also been submitted.
- The proposed FAR of 0.83 and 28 upa conforms to the maximum 0.90 FAR and 30 upa of the RM-30 Zone for a 2.38-hectare (5.89-acre) site.
- The proposal consists of sixty (60) 2-bedroom and den units, sixty-four (64) 3-bedroom units and forty-two (42) four-bedroom units, ranging in floor area from 108 square metres (1,167 sq.ft.) to 138 square metres (1,483 sq.ft.), with a total floor area of 19,833 square metres (213,479 sq.ft.).
- The application also includes the dedication and completion of two adjacent roads: 85 Avenue along the north boundary; and 163 Street along the east boundary.

#### Tree Preservation and Replacement

- The applicant has submitted an arborist assessment prepared by Trevor Cox Arborist of Diamond Head Consulting Ltd. The report has identified 16 mature trees. All of the trees are located within the required road dedications or the development footprint and will need to be removed. There are an additional twenty-two (22) undersized London Plane trees located on the site. The applicant has indicated that they intend to work with their landscape architect and staff to potentially relocate and retain these trees on the site. The following chart reflects the trees proposed for removal by species:

Tree Species	Number of Trees	Number to be Retained	Number to be Removed
Cottonwood	4	0	4
Maple	2	0	2
Red Alder	2	0	2
Western Red Cedar	8	0	8
<b>Total</b>	<b>16</b>	<b>0</b>	<b>16</b>

- The proposal indicates that 290 trees will be planted on site, which greatly exceeds the 26 replacement trees required by the Tree Protection By-law.

#### PRE-NOTIFICATION AND PUBLIC INFORMATION MEETING

Pre-notification letters were sent on May 31, 2011 and staff received four phone calls and two written responses from property owners within the pre-notification area. The property owners expressed concerns regarding the number of units proposed and the impact on traffic and parking on the neighbourhood.

- Residents expressed concern with the number of units proposed.

*(Staff explained that the applicant indicated that in order to ensure the project is financially viable, the proposed number of units needs to be achieved.)*

- Residents also expressed concern with the impact of the proposed development on traffic and parking in the area. With the large percentage of units proposed with tandem parking, there is concern that this type of development will exacerbate the existing parking problems in the neighbourhood.

*(The required road widening along 84 Avenue and 85 Avenue, as well as the construction of 163 Street will reduce neighbourhood traffic impacts by dispersing traffic patterns and improving traffic flows. The project will create 53 new on-street parking spaces through road dedications and improvements. New roads and sidewalks will promote walkability and provide better access to existing bus stops.*

*Future transportation plans for Fraser Highway include bus rapid transit (BRT) and possibly, light rail transit or SkyTrain further into the future, supporting the proposed residential density in the area.*

*Although tandem parking is proposed, the project includes 42 units (25%) with double car garages.)*

### Public Information Meeting

- The applicant held a Public Information Meeting (PIM) on June 7, 2011 at the Comfort Inn located at 8255 – 166 Street. Approximately 2,758 invitations were sent by mail informing neighbouring residents of this PIM.
- The meeting was attended by approximately 32 residents. Those in attendance had an opportunity to review the proposal and discuss any concerns with the applicant and their consultants.
- A total of twenty-five (25) comment sheets were submitted in response to the PIM. The PIM comment sheets reflected twenty-one (21) in support of the proposal, two (2) in opposition to the proposal and two (2) did not indicate their position. Parking and traffic congestion were the main points of opposition.
- The concerns can be summarized as follows:
  - Traffic: The proposed development will contribute to existing traffic congestion problems in the area.

#### Applicant's Response:

- The required road widening along 84 Avenue and 85 Avenue, as well as the construction of 163 Street will reduce neighbourhood traffic impacts by dispersing traffic patterns and improving flows.



**Staff Comments:**

- The current proposal will provide road widening and provide options for travel within the neighbourhood.
- Parking: There is a lack of parking in the neighbourhood and the proposed development will contribute to this shortage.

**Applicant's Response:**

- The project will create fifty-three (53) new on-street parking spaces through road dedications and improvements.
- The project includes 1 more visitor parking space than required by the Zoning By-law.

**Staff Comments:**

- In addition to the potential 53 on-street parking spaces which will be provided due to road improvements, the proposed development includes a total of 366 parking spaces, consisting of 332 resident parking spaces and 34 spaces for visitors, which complies with the Surrey Zoning By-law.
- All roads within the area outlined on Appendix IX, except Fraser Highway, can accommodate on-street parking on both sides. The only parking restriction will be implemented within the intersection approaches.

**PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT**

Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

**DESIGN PROPOSAL AND REVIEW****Building Design, Access and Circulation**

- The proposal consists of sixty (60) 2-bedroom and den units, sixty-four (64) 3-bedroom units and forty-two (42) four-bedroom units in 26 buildings, with an average floor area of 119 square metres (1,286 sq.ft.) per dwelling unit.
- The proposal includes 64 units with tandem parking with one enclosed parking space in a garage and one located behind on the parking apron. This proposed parking arrangement requires a variance to the RM-30 Zone (see By-law Variance section).
- There are 60 units with fully enclosed tandem garages and 42 units with fully enclosed double garages.

- The proposal indicates 3-storey buildings with garages at grade. Units with tandem parking with one enclosed parking space in a garage and one located on the parking apron also have a bonus bedroom or den and bathroom at grade. The kitchen, dining and living rooms are located on the second floor, with the bedrooms on the third floor.
- There are two vehicular entry points to the site with a walkway on one side: one from 84 Avenue at the south side of the site; and one from 163 Street at the east side of the site.
- Both driveway entrances include a feature paving area defined by score lines and a distinct pattern.
- There are two pedestrian entrances to the site: one located at the west property line connecting to 162 Street; and one at the north property line connecting to 85 Avenue.
- Buildings 22, 25 and 26 front 162 Street and consist of fifteen (15) street-oriented units with direct street access from the front yard.
- Buildings 12, 13, 15, 19 and 20 front 84 Avenue and consist of thirty-two (32) street-oriented units with direct street access from the front yard.
- Buildings 4, 1, 9 and 10 front 163 Street and consist of twenty-five (25) street-oriented units with direct street access from the front yard.
- Buildings 6 and 7 front 85 Avenue and consist of twelve (12) street-oriented units with direct street access from the front yard.
- The proposed building materials include grey/brown roof shingles. Cladding materials include horizontal hardiplank in dark green, dark blue and dark brown and stained cedar siding. Grey cultured stone is proposed as a chimney feature on the building ends. Balcony railings and downspouts will be in black. Entry doors will be in dark red and dark blue.

#### Indoor Amenity Space

- The proposed indoor amenity space building is located at the site entrance from 163 Street on the east portion of the site. The proposed amenity building is two levels and consists of a lounge, games room, kitchen and children's area and two washrooms on the main level. A fitness room is proposed on the second level.
- The indoor amenity space building is 232 square metres (2,500 sq.ft.) in size, which is 266 square metres (2,863 sq.ft.) less than the 498 square metres (5,360 sq.ft.) required under the RM-30 Zone (based on 3.0 square metres/32 sq.ft. per dwelling unit).
- The applicant has agreed to provide a monetary contribution of \$93,450 (based on \$1,050 per unit) in accordance with the City policy, to address the shortfall in required indoor amenity space.

### Landscaping and Outdoor Amenity Space

- The streetscape elevations include a dark wood rail fence with layered planting in front consisting of Goldmound Spirea, Otto Luyken Laurel and Blue Bird Hydrangea shrubs, Blue Oat Grass and Japanese Snowbell, Kobus Magnolia and Satomi Kousa Dogwood trees in front, with each pedestrian entry defined by a rail gate.
- The common pedestrian entrances are framed by a custom wood arbour painted to match the dark wood rail fence.
- The applicant is proposing a corner feature on the south-west corner of the site that consists of a decorative split-rail fence, naturalized planting area with wild flowers and grasses. The corner feature also includes an historical plaque in recognition of the Frost family homesteaders, an aspen grove with bermed planting and a basalt stone bench seating area.
- A 3-metre (10 ft.) wide landscape buffer is proposed along the north and west property lines adjacent to the existing industrial development, to provide additional screening and setback along this interface.
- An outdoor amenity area is provided in the central portion of the site. This area includes a children's playground and a large flex open space directly accessible to the indoor amenity building.
- The outdoor amenity space measures 504 square metres (5,425 sq.ft.), exceeding the minimum 498 square metres (5,360 sq.ft.) required under the RM-30 Zone based on 3 square metres (32 sq.ft.) per dwelling unit.

### Public Art

- The proposed development application was submitted after March 15, 2011 and is subject to the public art policy (as per Corporate Report No. R051 approved by Council on March 14, 2011).
- The applicant has been working with the Fleetwood Community Association on a corner feature that reflects the history of the area. As described above, the proposed corner feature is located on the south-west corner of the site and consists of a decorative split-rail fence, naturalized planting area with wild flowers and grasses. The corner feature will include an historical plaque, an aspen grove with bermed planting and a basalt stone bench seating area.
- The proposed corner feature is subject to review by the Public Art Advisory Committee in order to determine if the proposed corner feature meets the intent of the public art policy.
- The applicant has indicated that they will work with the Public Art Advisory Committee and the Fleetwood Community Association to satisfy the policy requirements.

### Parking

- The proposed development includes a total of 366 parking spaces for the 166 units, consisting of 332 resident parking spaces and 34 spaces for visitors, which complies with the Surrey Zoning By-law. Visitor parking spaces are located throughout the site.
- Resident parking spaces will be provided in a tandem garage for sixty (60) of the units, in a fully enclosed double garage for 42 units and one parking space to be located inside the garage, with the second space behind on the driveway for sixty-four (64) of the units.
- To ensure that the tandem garage parking spaces are not converted into livable space, the applicants are required to register a Section 219 Restrictive Covenant as a condition of Final Adoption.

### ADVISORY DESIGN PANEL

This application was not referred to the ADP, but was reviewed by staff and found satisfactory.

### BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variances:

- To reduce the minimum north front yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (16 ft.) measured to the building face from 85 Avenue;
- To reduce the minimum north side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) measured to the building face (from the shared lot line with 8462/68/84 – 162 Street);
- To reduce the minimum south rear yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (16 ft.) measured to the building face from 84 Avenue;
- To reduce the minimum east side yard flanking street setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (16 ft.) measured to the building face from 163 Street;
- To reduce the minimum west side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) measured to the building face (from the shared lot line with 8462/68/84 – 162 Street); and
- To reduce the minimum west side yard flanking street setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (16 ft.) measured to the building face from 162 Street.

Applicant's Reasons:

- The reduced setbacks along 84 and 85 Avenues and 162 and 163 Streets reinforce the urban character and are in-keeping with the character of the existing neighbourhood.

- The units are closer to the street and will present a friendly face to the street, promoting social interaction, as well as casual surveillance.
- The reduced north and west yard setbacks along the existing industrial interface include a 3.0-metre (10 ft.) wide landscape buffer in order to buffer the proposed townhouse units. The reduced setback is to the side of the proposed units.

Staff Comments:

- The reduced setbacks are in keeping with what has been approved in similar developments in Fleetwood Town Centre.
- The 3.0-metre (10 ft.) wide landscape buffer will provide an adequate interface to the existing industrial site.
- Staff support the proposed setback variances.

(b) Requested Variance:

- To vary the parking requirement in the RM-30 Zone to allow one tandem parking space to be unenclosed for 64 proposed units.

Applicant's Reasons:

- The proposed change to the parking configuration provides for more marketable units by providing additional habitable floor area.
- Other projects in Surrey have included this parking configuration.

Staff Comments:

- An additional room can be accommodated on the ground level which provides an opportunity for natural surveillance of front yards and sidewalks.
- Staff support the proposed variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations, Perspective and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Proposed NCP Amendment

- Appendix VII. Proposed OCP Amendment
- Appendix VIII. Development Variance Permit No. 7911-0079-00
- Appendix IX. Existing and Future On-Street Parking

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

JLM/kms

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:     Name:             Steve Forrest  
                       Address:       Anthem Properties Group Ltd.  
                                      Suite 300 550 Burrard Street  
                                      Vancouver BC V6C2B5  
  
                       Tel:             604-689-3040
  
2.     Property involved in the Application
  - (a)    Civic Address:       16241 - 84 Avenue
  
  - (b)    Civic Address:       16241 - 84 Avenue  
        Owner:             Anthem Fleetwood 3 Developments Ltd., Inc. No. BC0902973  
        PID:                003-657-922  
        Parcel 52 Section 25 Township 2 New Westminster District Reference Plan 65654
  
3.     Summary of Actions for City Clerk's Office
  - (a)    Introduce a By-law to amend the Official Community Plan to redesignate the property.
  
  - (b)    Introduce a By-law to rezone the property.
  
  - (c)    Proceed with Public Notification for Development Variance Permit No. 7911-0079-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Rezoning By-law and approval of the Development Permit.

## DEVELOPMENT DATA SHEET

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA (in square metres)</b>		
Gross Total		27,261 m <sup>2</sup>
Road Widening area		3,412 m <sup>2</sup>
Undevelopable area		
Net Total		23,849 m <sup>2</sup>
<b>LOT COVERAGE (in % of net lot area)</b>		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	45%	37%
<b>SETBACKS ( in metres)</b>		
Front (85 Avenue)	7.5 m	4.5 m *
Rear (84 Avenue)	7.5 m	4.5 m *
Side #1 (163 Street)	7.5m	4.5 m *
Side #2 (W)	7.5 m	6.0 m *
Side #3 (162 Street)	7.5 m	4.5 m *
Side #4 (N)	7.5 m	6.0 m *
<b>BUILDING HEIGHT (in metres/storeys)</b>		
Principal	13.0 m	13.0 m
Indoor Amenity Building	10.0 m	10.0 m
Other Accessory Buildings	4.5 m	4.5 m
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor		0
One Bed		0
Two Bedroom		60
Three Bedroom +		106
Total		166
<b>FLOOR AREA: Residential</b>		
	21,464.09 m <sup>2</sup>	19,832.72 m <sup>2</sup>
<b>FLOOR AREA: Commercial</b>		
Retail	n/a	
Office		
Total		
<b>FLOOR AREA: Industrial</b>		
	n/a	
<b>TOTAL BUILDING FLOOR AREA</b>		
	21,464.09 m <sup>2</sup>	19,832.72 m <sup>2</sup>

\* *Variiances requested.*



## Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	75 upha/30 upa	69 upha/28 upa
FAR (gross)		
FAR (net)	0.90	0.83
AMENITY SPACE (area in square metres)		
Indoor	498 m <sup>2</sup>	232 m <sup>2</sup>
Outdoor	498 m <sup>2</sup>	504 m <sup>2</sup>
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed	120	120
3-Bed	212	212
Residential Visitors	33	34
Institutional	365	366
Total Number of Parking Spaces		
Number of disabled stalls		4
Number of small cars		0
Tandem Parking Spaces: Number / % of Total Number of Units		75%
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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**ija**  
 INTEGRA ARCHITECTURE INC.  
 411 WEST PENDER STREET  
 VANCOUVER, BC V6B 1T5  
 T 604.683.4220 F 604.683.4279  
 info@integra-arch.com  
 www.integra-arch.com  
 100% BUILT GREEN CERTIFIED  
 LEED ACCREDITED  
 GREEN SOURCE CERTIFIED



1. EXISTING SITE  
 INTERSECTION OF 84TH AVE & 162ND ST



2. VIEW SOUTH  
 INTERSECTION OF FRASER HWY & 162ND ST



4. VIEW WEST AT EXISTING SITE



3. VIEW SOUTH  
 INTERSECTION OF FRASER HWY & 162ND ST - VERANDA TOWNHOUSE DEVELOPMENT



8. VIEW SOUTH FROM 85TH AVENUE  
 AT PROPERTY LINE WITH CAMELOT VILLAGE



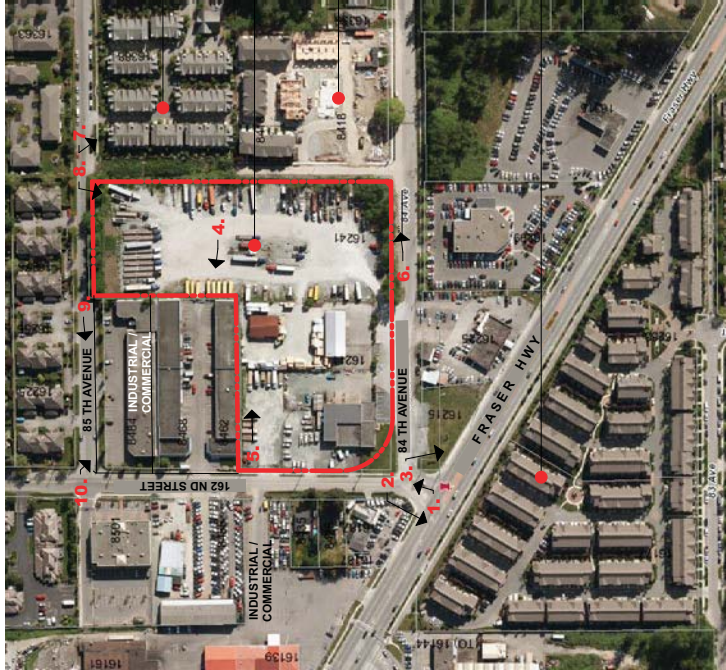
7. VIEW EAST ALONG 85TH AVENUE  
 ADJACENT TOWNHOUSE DEVELOPMENT - CAMELOT VILLAGE



10. VIEW EAST - SOUTH  
 INTERSECTION OF 85TH AVENUE & 162ND STREET



9. VIEW WEST ALONG 85TH AVENUE  
 ADJACENT SITE AND TOWNHOUSE DEVELOPMENT



TOWNHOUSE DEVELOPMENT  
 CAMELOT VILLAGE

PROPOSED  
 TOWNHOUSE DEVELOPMENT

54 UNIT  
 TOWNHOUSE DEVELOPMENT  
 U/ CONSTRUCTION  
 VERANDA

200 TOWNHOUSE DEVELOPMENT  
 VERANDA



5. VIEW EAST ALONG  
 NORTH PROPERTY LINE - EXISTING SITE



6. VIEW EAST ALONG 84TH AVENUE  
 AT EXISTING SITE

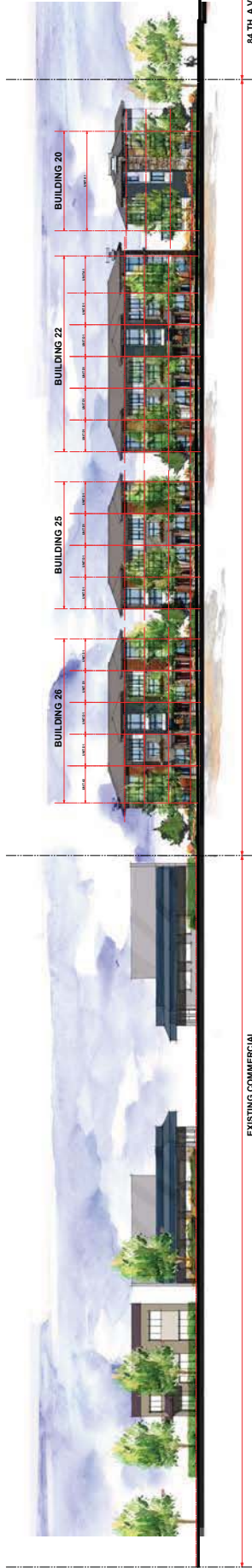
DATE	17/07/2017
BY	ANTHEM
PROJECT	FLEETWOOD
LOCATION	162ND AVENUE CAMELOT VILLAGE
SCALE	1:1000
DATE	17/07/2017
BY	N/A
PROJECT	JUN21.2011
SCALE	4

A-0.002



**INTERIA ARCHITECTURE INC.**  
 415 WEST PENDER STREET  
 VANCOUVER, BC V6B 1T5  
 T: 604.684.4226 F: 604.684.4270  
 WWW.INTERIAARCH.COM

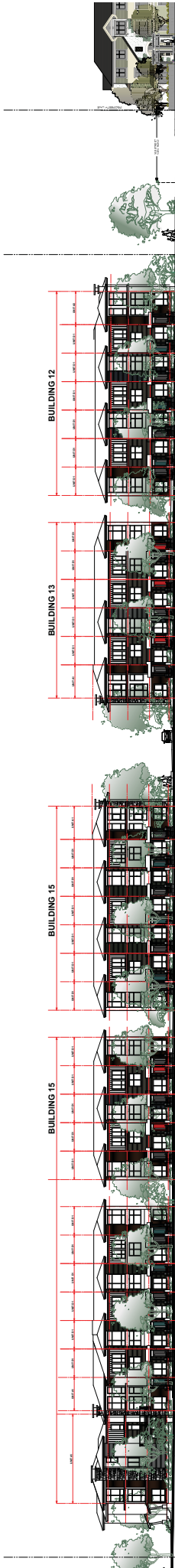
CONCEPTUAL ARCHITECTURE  
 10011 84TH AVENUE  
 SUITE 100  
 SURREY, BC V3W 2G7  
 T: 604.591.1111 F: 604.591.1112  
 WWW.IAARCH.COM



EXISTING COMMERCIAL

84 TH AVENUE

**STREETSCAPE - 162ND STREET**

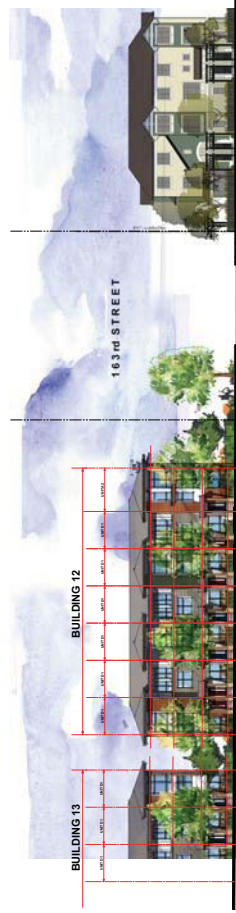


PROPOSED TOWNHOUSE DEVELOPMENT

163 RD STREET

54-TOWNHOUSE DEVELOPMENT UNDER CONSTRUCTION

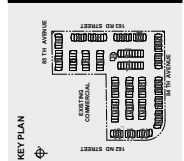
**STREETSCAPE - 84TH AVENUE**



PROPOSED TOWNHOUSE DEVELOPMENT

163 RD STREET

54 TOWNHOUSE DEVELOPMENT UNDER CONSTRUCTION



CLIENT	ANTHEM
PROJECT	FLEETWOOD
DATE	10011 84TH AVENUE SURREY, BC, CANADA
SCALE	STREET ELEVATIONS
DATE	10/25
DATE	1/20/11
DATE	1/20/11
DATE	JUN 21, 2011
DATE	10/25/11
DATE	4

**A-0.010**

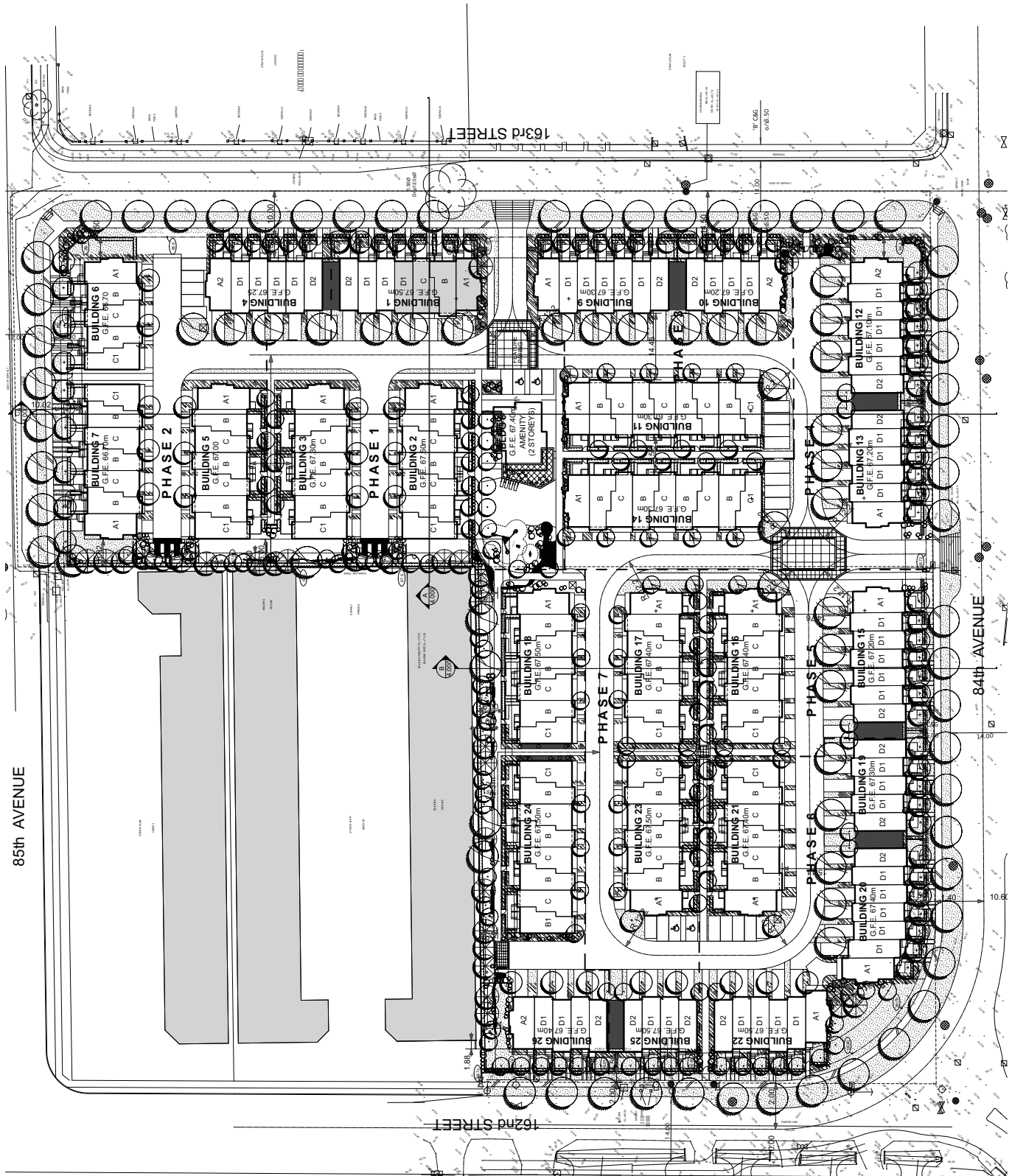


**INTEGRAL ARCHITECTURE INC.**  
 416 WEST PENDER STREET  
 VANCOUVER, BC V6B 1T5  
 T: 604.683.4226 F: 604.683.4270  
 WWW.IAARCHITECTURE.COM  
 1181 WEST 10TH AVENUE  
 SUITE 100  
 VANCOUVER, BC V6E 2V6  
 T: 604.683.4226 F: 604.683.4270  
 WWW.IAARCHITECTURE.COM



PROJECT NAME	FLEETWOOD
CLIENT	ANTHEM
PROJECT ADDRESS	1024 L. 84TH AVENUE SURREY, BC, CANADA
DATE	JUN 27, 2011
SCALE	AS SHOWN
DESIGNER	INTEGRAL ARCHITECTURE INC.

A-1.001





**INTEGRAL ARCHITECTURE INC.**  
 416 WEST PENDER STREET  
 VANCOUVER, BC V6B 1T5  
 T 604.683.4226 F 604.683.4270  
 WWW.IAARCHITECT.COM



PREPARED BY  
 INTEGRAL ARCHITECTURE INC.

DATE  
 JUN 27, 2011

PROJECT  
 FLEETWOOD

LOCATION  
 1634-1644 AVENUE  
 SURVEY, BC, CANADA

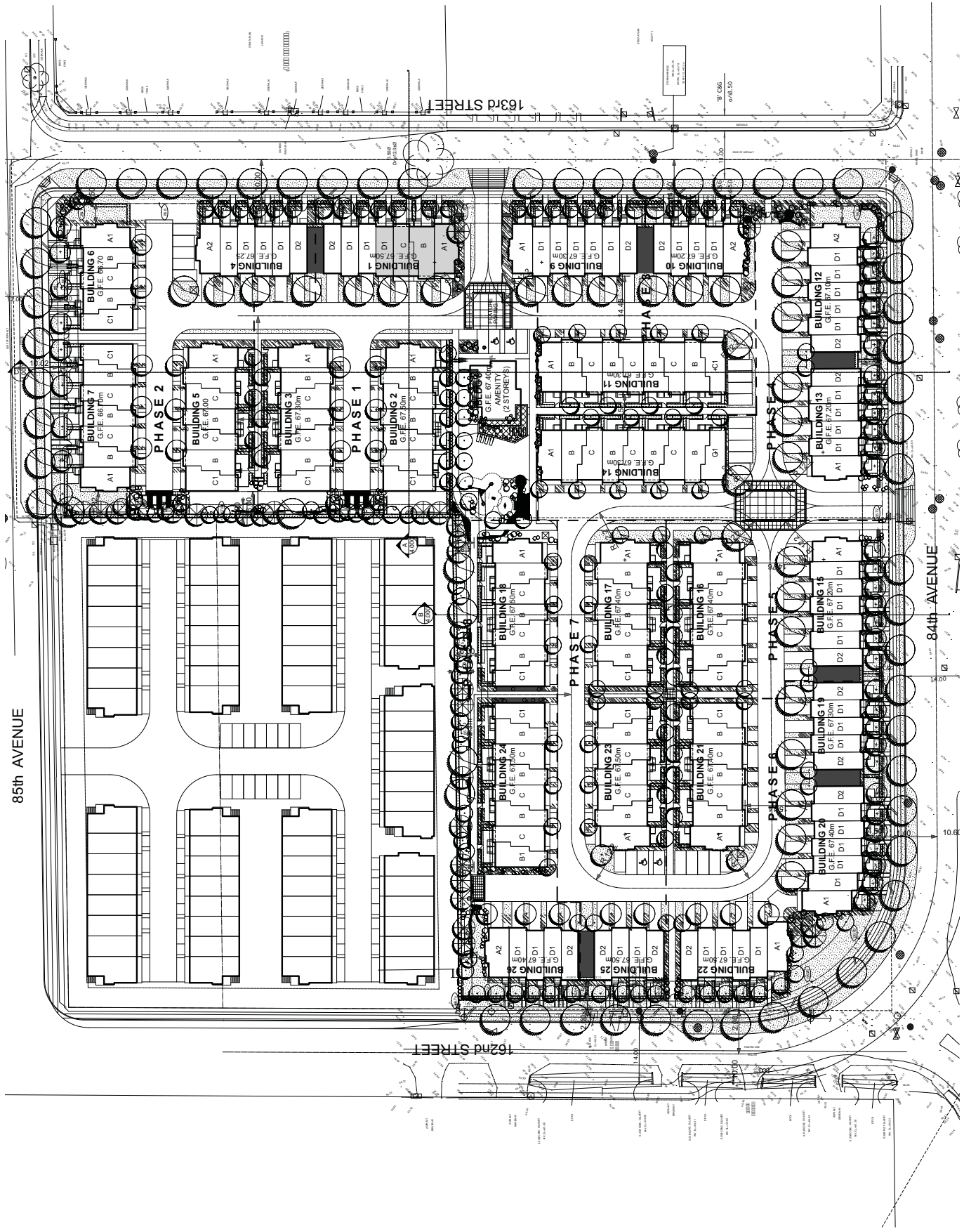
**SITE PLAN**  
 w/future  
 n/w development

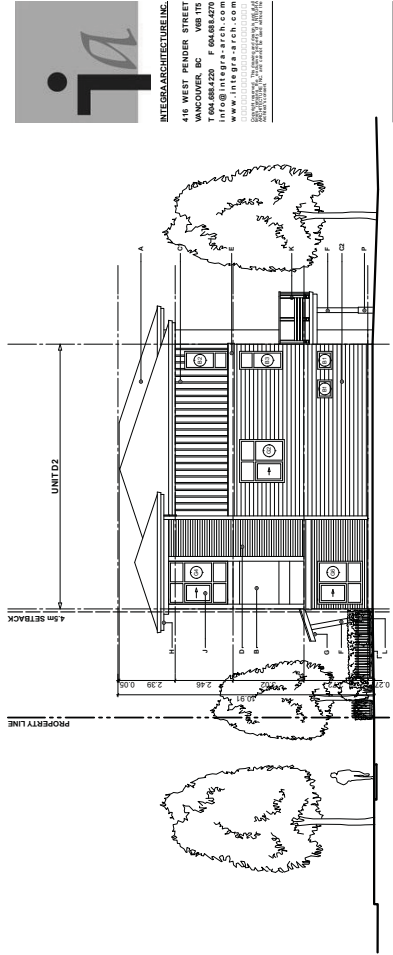
SCALE  
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DATE  
 JUN 27, 2011

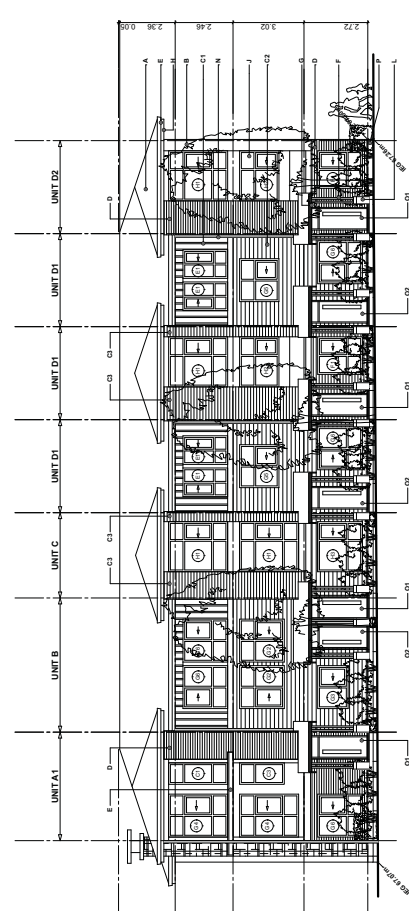
BY  
 INTEGRAL ARCHITECTURE INC.

**A-1.002**

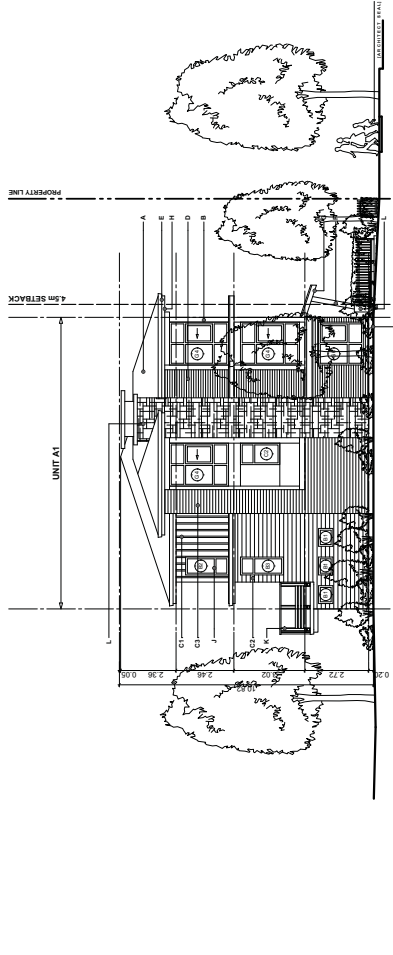




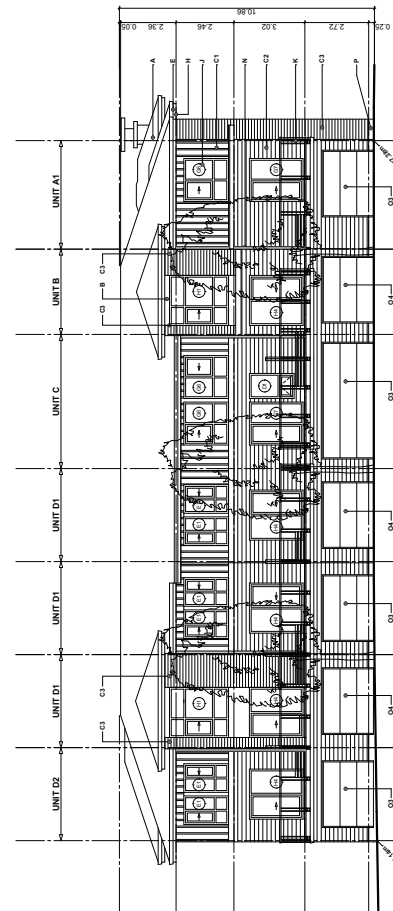
② BUILDING 1 - NORTH ELEVATION (INTERNAL SIDEWALK)



① BUILDING 1 - EAST ELEVATION (163rd STREET)



④ BUILDING 1 - SOUTH ELEVATION (ENTRY ROAD)



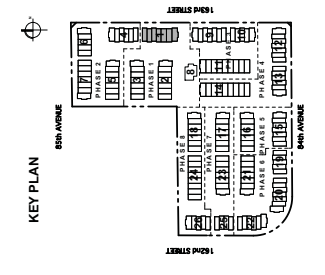
③ BUILDING 1 - WEST ELEVATION (INTERNAL STREET)

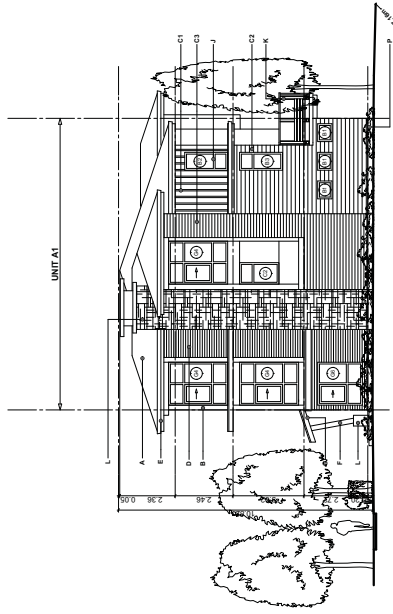
**5 MATERIAL & COLOUR LEGEND**  
**SK-2 DARK GREEN**

Colour	Manufacturer	Reference No.	Element
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint

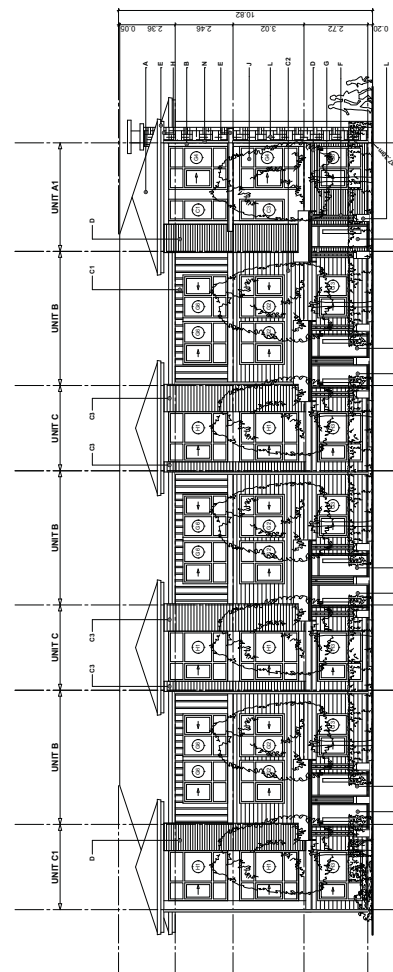
Material	Manufacturer	Reference No.	Element
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
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SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint

Material	Manufacturer	Reference No.	Element
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
SK-2	Benjamin Moore	2147	Paint
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SK-2	Benjamin Moore	2147	Paint

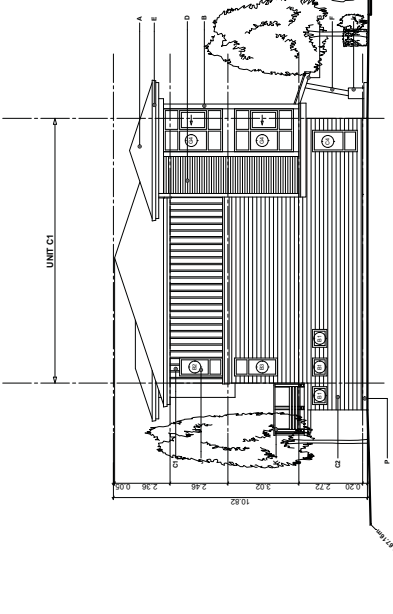




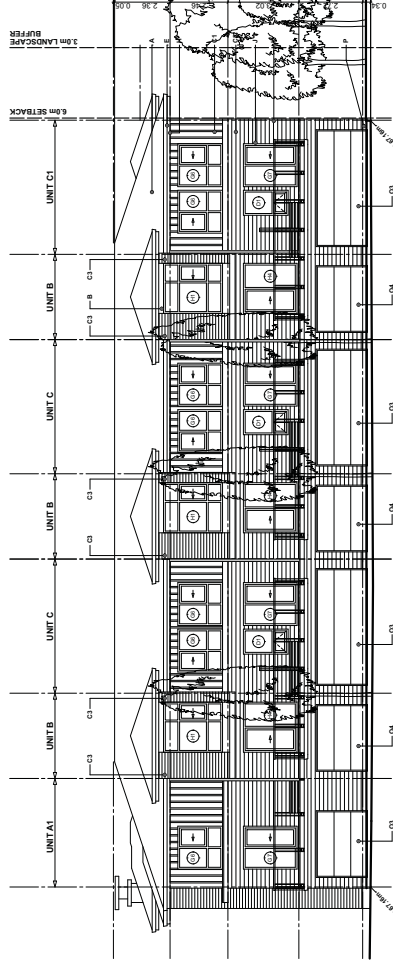
1 BUILDING 2 - SOUTH ELEVATION (AMENITY)



2 BUILDING 2 - EAST ELEVATION (INTERNAL STREET)



3 BUILDING 2 - WEST ELEVATION (LANDSCAPE BUFFER)



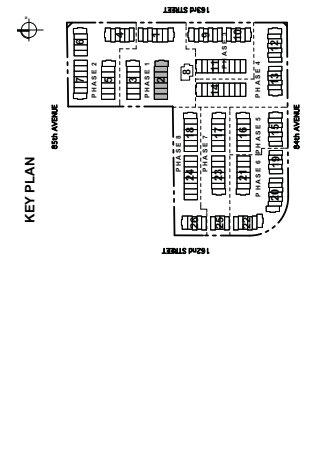
4 BUILDING 2 - NORTH ELEVATION (INTERNAL STREET)

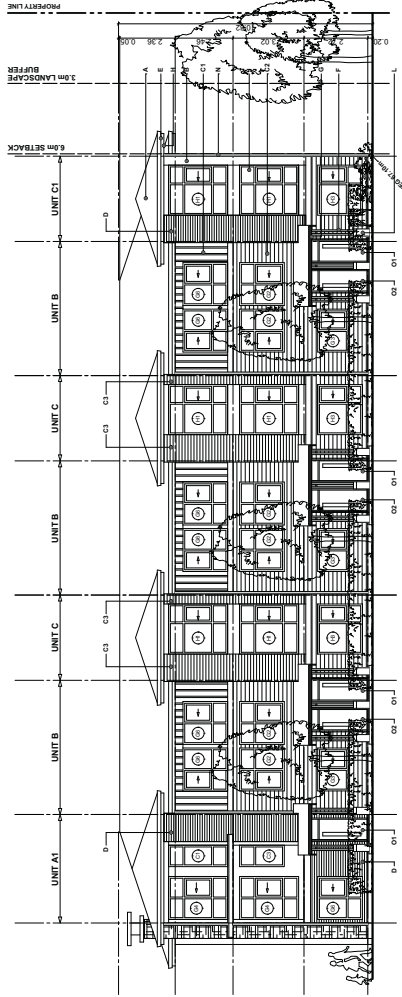
5 MATERIAL & COLOUR LEGEND  
SK-1 DARK BLUE

Colour	Manufacturer	Reference No.	Equivalent
SK-1	Marby	SK-1	SK-1
SK-2	Marby	SK-2	SK-2
SK-3	Marby	SK-3	SK-3
SK-4	Marby	SK-4	SK-4
SK-5	Marby	SK-5	SK-5
SK-6	Marby	SK-6	SK-6
SK-7	Marby	SK-7	SK-7
SK-8	Marby	SK-8	SK-8
SK-9	Marby	SK-9	SK-9
SK-10	Marby	SK-10	SK-10

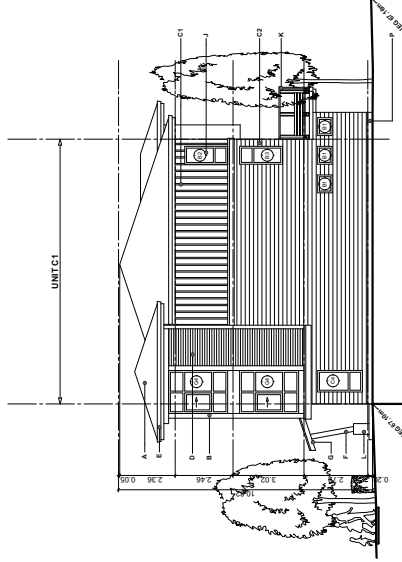
Colour	Manufacturer	Reference No.	Equivalent
SK-11	Marby	SK-11	SK-11
SK-12	Marby	SK-12	SK-12
SK-13	Marby	SK-13	SK-13
SK-14	Marby	SK-14	SK-14
SK-15	Marby	SK-15	SK-15
SK-16	Marby	SK-16	SK-16
SK-17	Marby	SK-17	SK-17
SK-18	Marby	SK-18	SK-18
SK-19	Marby	SK-19	SK-19
SK-20	Marby	SK-20	SK-20

Material	Manufacturer	Reference No.	Equivalent
SK-21	Marby	SK-21	SK-21
SK-22	Marby	SK-22	SK-22
SK-23	Marby	SK-23	SK-23
SK-24	Marby	SK-24	SK-24
SK-25	Marby	SK-25	SK-25
SK-26	Marby	SK-26	SK-26
SK-27	Marby	SK-27	SK-27
SK-28	Marby	SK-28	SK-28
SK-29	Marby	SK-29	SK-29
SK-30	Marby	SK-30	SK-30

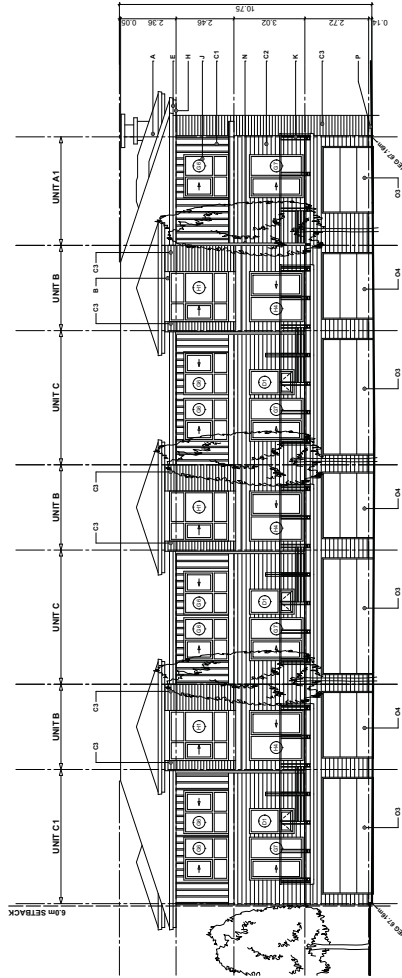




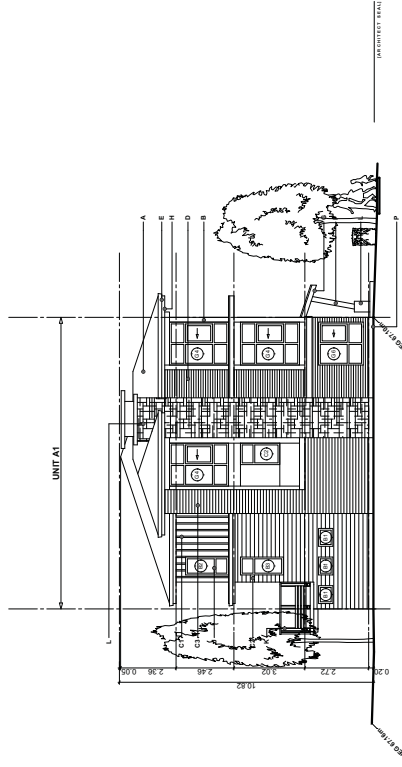
1 BUILDING 3 - NORTH ELEVATION (COURTYARD)



2 BUILDING 3 - WEST ELEVATION (LANDSCAPE BUFFER)



3 BUILDING 3 - SOUTH ELEVATION (INTERNAL STREET)



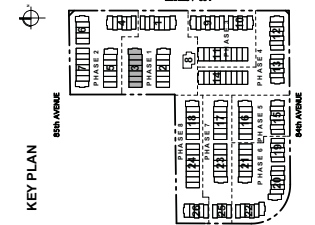
4 BUILDING 3 - EAST ELEVATION (INTERNAL STREET)

5 MATERIAL & COLOUR LEGEND  
 SK-3 DARK BROWN

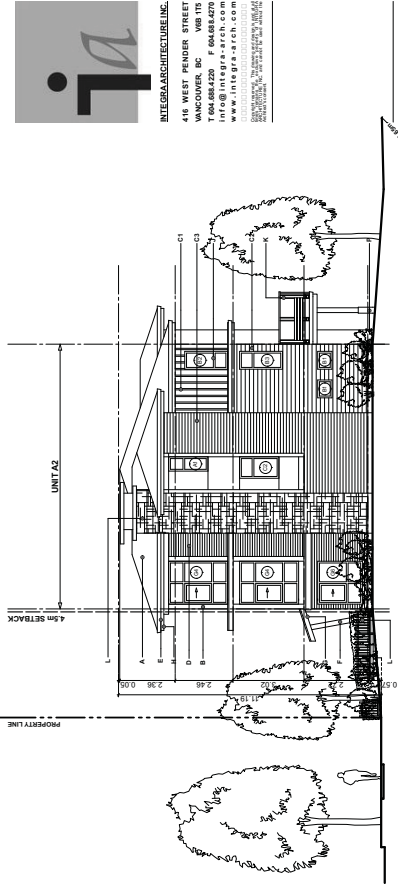
Colour	Manufacturer	Reference/Code	Element
A	Grey/Black	DP Wood	Staircase
B	White	CC-08	Handrails
C	White	F12	Handrails
D	Light Grey	F20	Handrails
E	Dark Brown	SK-3	Handrails
F	White	SK-3	Handrails
G	Dark Brown	SK-3	Handrails

Code	Material	Notes
H	Dark Grey	Brick
J	White	Brick
K	Dark Grey	Brick
L	Dark Grey	Brick
M	Dark Grey	Brick
N	Dark Grey	Brick
O	Dark Grey	Brick
P	Dark Grey	Brick

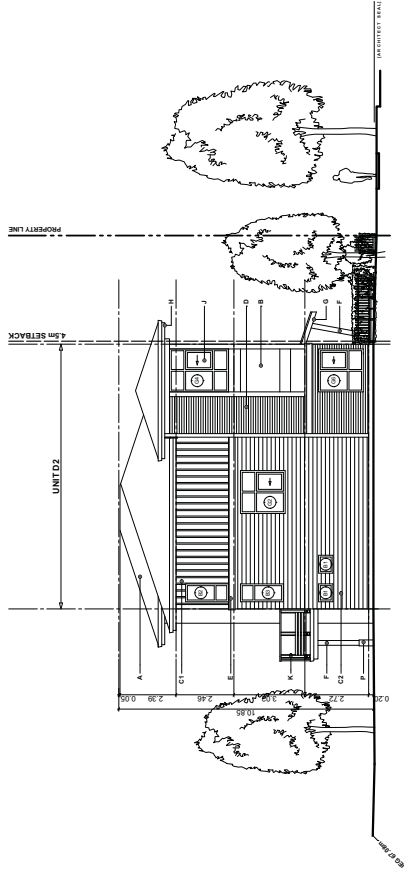
Code	Material	Notes
Q	Dark Grey	Brick
R	Dark Grey	Brick
S	Dark Grey	Brick
T	Dark Grey	Brick
U	Dark Grey	Brick
V	Dark Grey	Brick
W	Dark Grey	Brick
X	Dark Grey	Brick
Y	Dark Grey	Brick
Z	Dark Grey	Brick



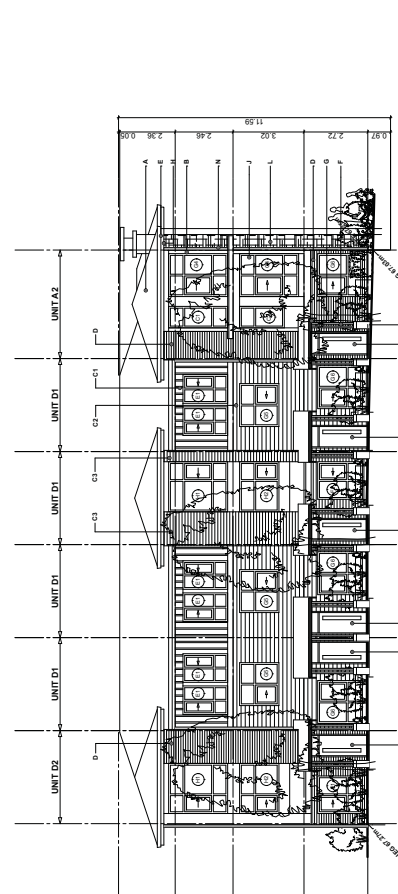




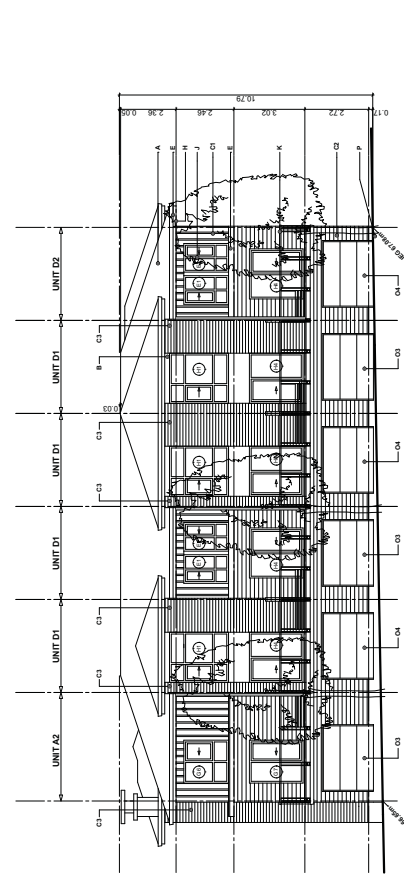
② BUILDING 4 - NORTH ELEVATION (INTERNAL STREET)



④ BUILDING 4 - SOUTH ELEVATION (INTERNAL SIDEWALK)



① BUILDING 4 - EAST ELEVATION (163rd STREET)

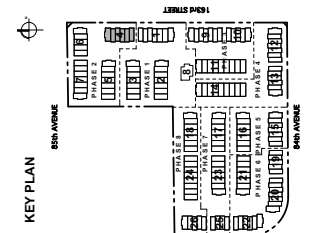


③ BUILDING 4 - WEST ELEVATION (INTERNAL STREET)

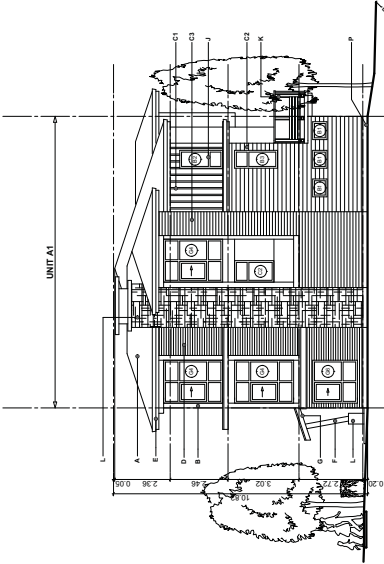
**5 MATERIAL & COLOUR LEGEND**  
**SK-1 DARK BLUE**

Colour	Manufacturer	Reference	Element	Colour to match
SK-A	Grey / Blue	Marbury	SP Wood	Element
SK-B	White	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-C1	White	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-C2	White	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-C3	White	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-C4	White	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-C5	White	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-D	White	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-E	White	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-F	White	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-G	White	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-H	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-I	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-J	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-K	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-L	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-M	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-N	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-O	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-P	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-Q	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-R	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-S	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-T	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-U	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-V	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-W	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-X	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-Y	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-Z	Dark Grey	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)

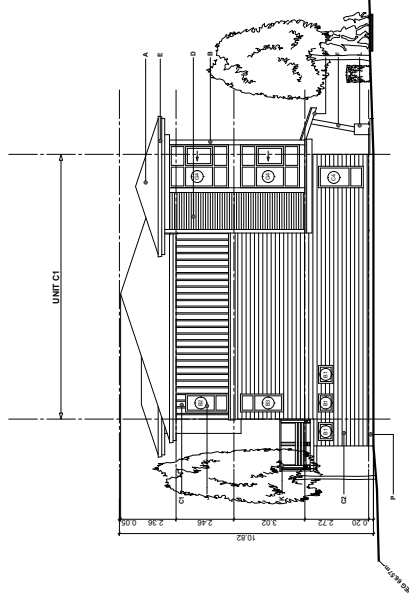
Material	Manufacturer	Reference	Element
SK-1	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-2	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-3	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-4	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-5	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-6	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-7	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-8	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-9	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-10	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-11	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-12	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-13	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-14	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-15	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-16	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-17	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-18	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-19	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)
SK-20	Benjamin Moore	OC-228	Lightest Ashlar (Shingles)



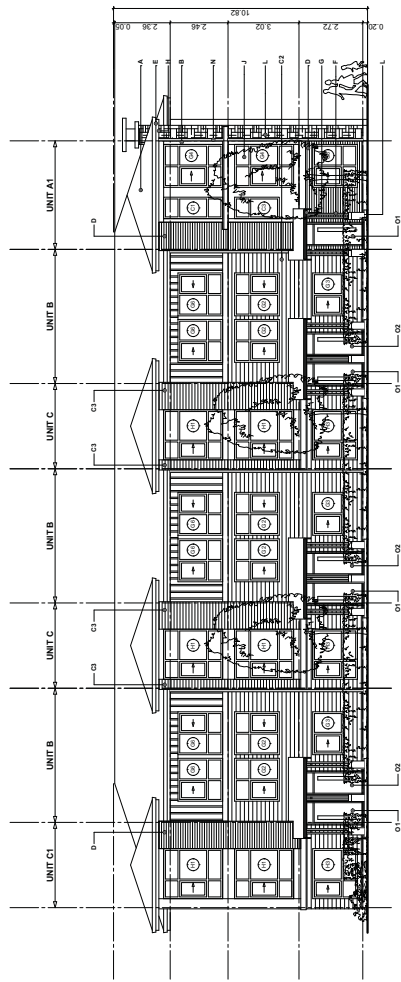
**ANTHEM**  
**FLEETWOOD**  
 1501 LEXINGTON AVENUE  
 SURREY, BC CANADA  
**BUILDING 4 ELEVATIONS**  
 15258  
 1100  
 JUN 21, 2011  
 4  
**A-2.042**



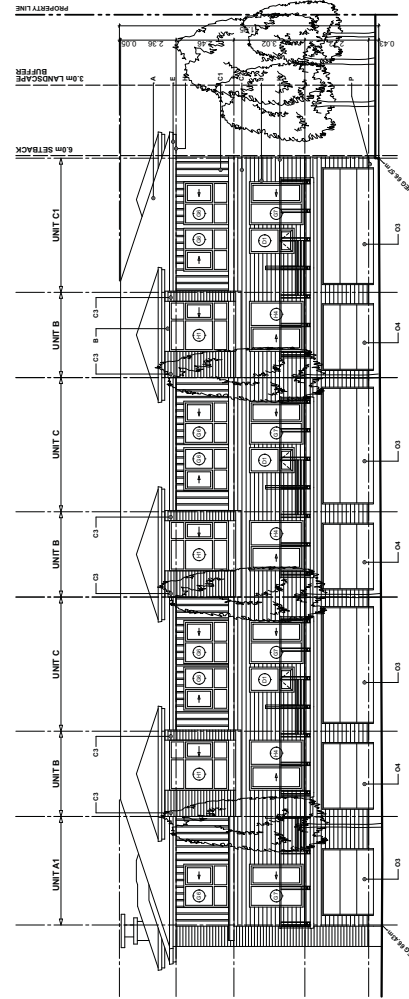
② BUILDING 5 - EAST ELEVATION (INTERNAL STREET)



④ BUILDING 5 - WEST ELEVATION (LANDSCAPE BUFFER)



① BUILDING 5 - SOUTH ELEVATION (COURTYARD)



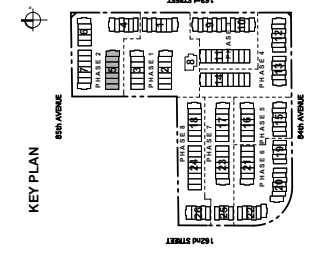
③ BUILDING 5 - NORTH ELEVATION (INTERNAL STREET)

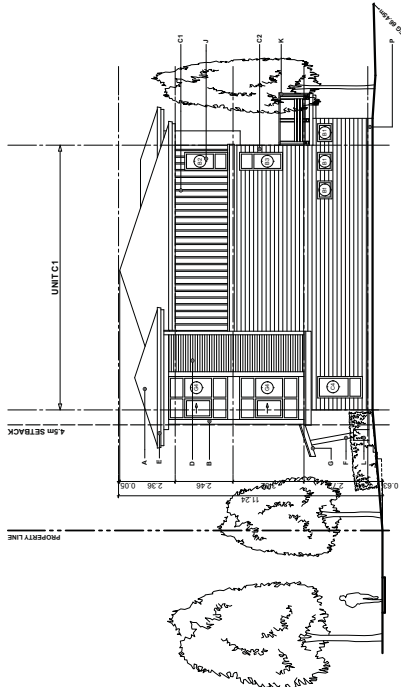
**5 MATERIAL & COLOUR LEGEND**  
**SK-2 DARK GREEN**

Colour	Manufacturer	Reference No.	Equivalent
A	Grey / Silver	Marble	DP Wood
B	White	Background	CC-BB Grey Blue
C1	White	Concrete	112
C2	Light Grey	Concrete	114
C3	Dark Green	Concrete	115
D	Stone	Stone	116
E	Dark Brown	Stone	117
F	Stone	Stone	118
G	Stone	Stone	119

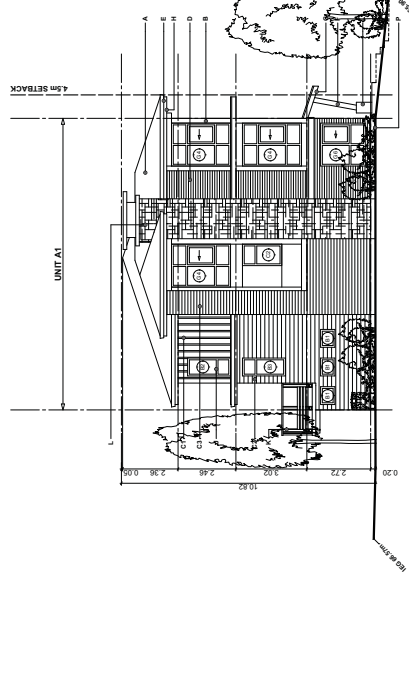
Colour	Material	Finish	Notes
H	Dark Grey	Brick	Brick made from grey bricks
J	Edge	Brick	Brick made from grey bricks
K	Black	Brick	Brick made from black bricks
L	Grey / Silver	Brick	Brick made from grey bricks
M	Black	Brick	Brick made from black bricks
MT	No	Brick	Brick made from black bricks
N	Dark Grey	Brick	Brick made from grey bricks
O1	Dark Red	Brick	Brick made from red bricks
O2	Dark Blue	Brick	Brick made from blue bricks

Material	Finish	Notes
DC-2	Aluminum	Aluminum overhead door assembly
DC-3	Aluminum	Aluminum overhead door assembly
DC-4	Aluminum	Aluminum overhead door assembly
DC-5	Aluminum	Aluminum overhead door assembly
DC-6	Aluminum	Aluminum overhead door assembly
DC-7	Aluminum	Aluminum overhead door assembly
DC-8	Aluminum	Aluminum overhead door assembly
DC-9	Aluminum	Aluminum overhead door assembly
DC-10	Aluminum	Aluminum overhead door assembly
DC-11	Aluminum	Aluminum overhead door assembly
DC-12	Aluminum	Aluminum overhead door assembly
DC-13	Aluminum	Aluminum overhead door assembly
DC-14	Aluminum	Aluminum overhead door assembly
DC-15	Aluminum	Aluminum overhead door assembly
DC-16	Aluminum	Aluminum overhead door assembly
DC-17	Aluminum	Aluminum overhead door assembly
DC-18	Aluminum	Aluminum overhead door assembly
DC-19	Aluminum	Aluminum overhead door assembly
DC-20	Aluminum	Aluminum overhead door assembly
DC-21	Aluminum	Aluminum overhead door assembly
DC-22	Aluminum	Aluminum overhead door assembly
DC-23	Aluminum	Aluminum overhead door assembly
DC-24	Aluminum	Aluminum overhead door assembly
DC-25	Aluminum	Aluminum overhead door assembly
DC-26	Aluminum	Aluminum overhead door assembly
DC-27	Aluminum	Aluminum overhead door assembly
DC-28	Aluminum	Aluminum overhead door assembly
DC-29	Aluminum	Aluminum overhead door assembly
DC-30	Aluminum	Aluminum overhead door assembly
DC-31	Aluminum	Aluminum overhead door assembly
DC-32	Aluminum	Aluminum overhead door assembly
DC-33	Aluminum	Aluminum overhead door assembly
DC-34	Aluminum	Aluminum overhead door assembly
DC-35	Aluminum	Aluminum overhead door assembly
DC-36	Aluminum	Aluminum overhead door assembly
DC-37	Aluminum	Aluminum overhead door assembly
DC-38	Aluminum	Aluminum overhead door assembly
DC-39	Aluminum	Aluminum overhead door assembly
DC-40	Aluminum	Aluminum overhead door assembly
DC-41	Aluminum	Aluminum overhead door assembly
DC-42	Aluminum	Aluminum overhead door assembly
DC-43	Aluminum	Aluminum overhead door assembly
DC-44	Aluminum	Aluminum overhead door assembly
DC-45	Aluminum	Aluminum overhead door assembly
DC-46	Aluminum	Aluminum overhead door assembly
DC-47	Aluminum	Aluminum overhead door assembly
DC-48	Aluminum	Aluminum overhead door assembly
DC-49	Aluminum	Aluminum overhead door assembly
DC-50	Aluminum	Aluminum overhead door assembly
DC-51	Aluminum	Aluminum overhead door assembly
DC-52	Aluminum	Aluminum overhead door assembly
DC-53	Aluminum	Aluminum overhead door assembly
DC-54	Aluminum	Aluminum overhead door assembly
DC-55	Aluminum	Aluminum overhead door assembly
DC-56	Aluminum	Aluminum overhead door assembly
DC-57	Aluminum	Aluminum overhead door assembly
DC-58	Aluminum	Aluminum overhead door assembly
DC-59	Aluminum	Aluminum overhead door assembly
DC-60	Aluminum	Aluminum overhead door assembly
DC-61	Aluminum	Aluminum overhead door assembly
DC-62	Aluminum	Aluminum overhead door assembly
DC-63	Aluminum	Aluminum overhead door assembly
DC-64	Aluminum	Aluminum overhead door assembly
DC-65	Aluminum	Aluminum overhead door assembly
DC-66	Aluminum	Aluminum overhead door assembly
DC-67	Aluminum	Aluminum overhead door assembly
DC-68	Aluminum	Aluminum overhead door assembly
DC-69	Aluminum	Aluminum overhead door assembly
DC-70	Aluminum	Aluminum overhead door assembly
DC-71	Aluminum	Aluminum overhead door assembly
DC-72	Aluminum	Aluminum overhead door assembly
DC-73	Aluminum	Aluminum overhead door assembly
DC-74	Aluminum	Aluminum overhead door assembly
DC-75	Aluminum	Aluminum overhead door assembly
DC-76	Aluminum	Aluminum overhead door assembly
DC-77	Aluminum	Aluminum overhead door assembly
DC-78	Aluminum	Aluminum overhead door assembly
DC-79	Aluminum	Aluminum overhead door assembly
DC-80	Aluminum	Aluminum overhead door assembly
DC-81	Aluminum	Aluminum overhead door assembly
DC-82	Aluminum	Aluminum overhead door assembly
DC-83	Aluminum	Aluminum overhead door assembly
DC-84	Aluminum	Aluminum overhead door assembly
DC-85	Aluminum	Aluminum overhead door assembly
DC-86	Aluminum	Aluminum overhead door assembly
DC-87	Aluminum	Aluminum overhead door assembly
DC-88	Aluminum	Aluminum overhead door assembly
DC-89	Aluminum	Aluminum overhead door assembly
DC-90	Aluminum	Aluminum overhead door assembly
DC-91	Aluminum	Aluminum overhead door assembly
DC-92	Aluminum	Aluminum overhead door assembly
DC-93	Aluminum	Aluminum overhead door assembly
DC-94	Aluminum	Aluminum overhead door assembly
DC-95	Aluminum	Aluminum overhead door assembly
DC-96	Aluminum	Aluminum overhead door assembly
DC-97	Aluminum	Aluminum overhead door assembly
DC-98	Aluminum	Aluminum overhead door assembly
DC-99	Aluminum	Aluminum overhead door assembly
DC-100	Aluminum	Aluminum overhead door assembly

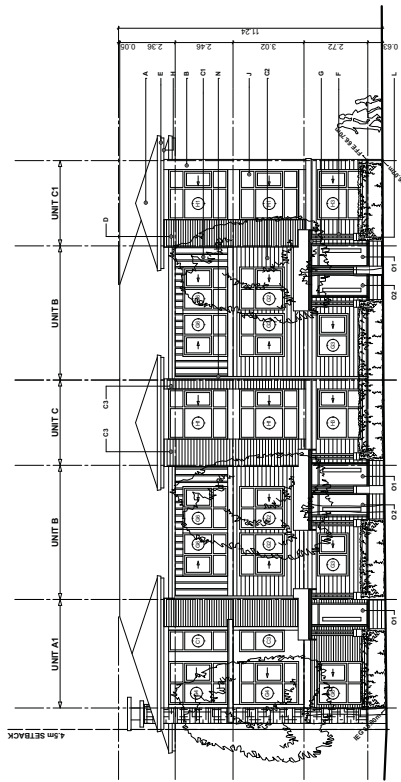




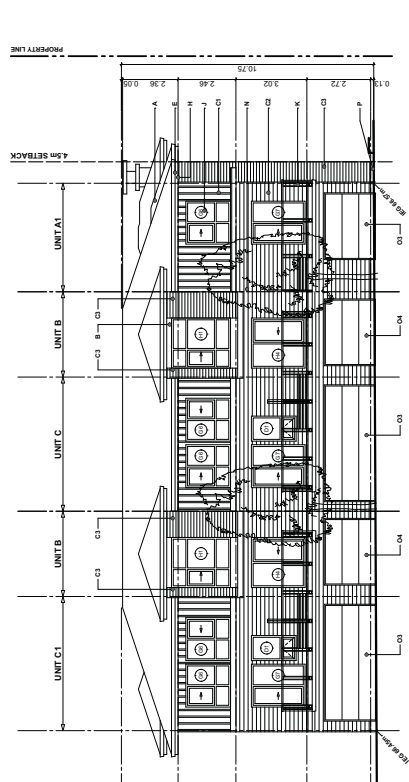
② BUILDING 6 - WEST ELEVATION (INTERNAL SIDEWALK)



④ BUILDING 6 - EAST ELEVATION (163rd STREET)



① BUILDING 6 - NORTH ELEVATION (85th AVENUE)



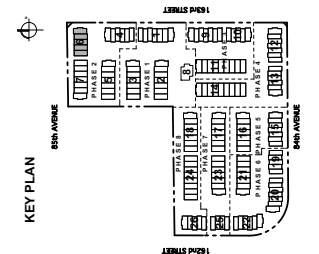
③ BUILDING 6 - SOUTH ELEVATION (INTERNAL STREET)

**5 MATERIAL & COLOUR LEGEND  
 SK-3 DARK BROWN**

Colour / Material	Material	Colour to match	Element
SK-3	Dark Brown	Dark Brown	Window frames
SK-3	Dark Brown	Dark Brown	Door frames
SK-3	Dark Brown	Dark Brown	Window sills
SK-3	Dark Brown	Dark Brown	Door sills
SK-3	Dark Brown	Dark Brown	Window lintels
SK-3	Dark Brown	Dark Brown	Door lintels
SK-3	Dark Brown	Dark Brown	Window casings
SK-3	Dark Brown	Dark Brown	Door casings
SK-3	Dark Brown	Dark Brown	Window surrounds
SK-3	Dark Brown	Dark Brown	Door surrounds
SK-3	Dark Brown	Dark Brown	Window frames (interior)
SK-3	Dark Brown	Dark Brown	Door frames (interior)
SK-3	Dark Brown	Dark Brown	Window sills (interior)
SK-3	Dark Brown	Dark Brown	Door sills (interior)
SK-3	Dark Brown	Dark Brown	Window lintels (interior)
SK-3	Dark Brown	Dark Brown	Door lintels (interior)
SK-3	Dark Brown	Dark Brown	Window casings (interior)
SK-3	Dark Brown	Dark Brown	Door casings (interior)
SK-3	Dark Brown	Dark Brown	Window surrounds (interior)
SK-3	Dark Brown	Dark Brown	Door surrounds (interior)

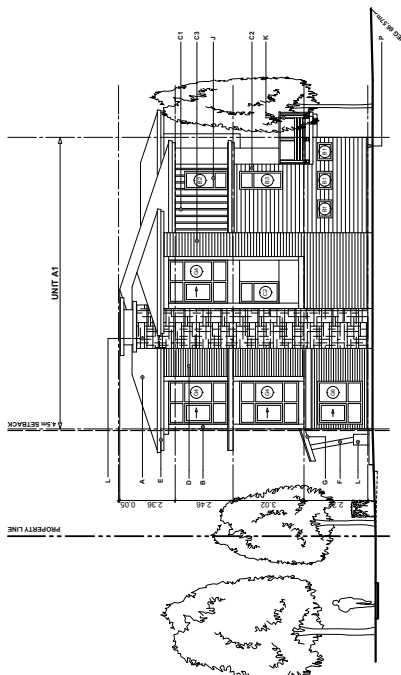
Colour / Material	Material	Colour to match	Element
SK-3	Dark Brown	Dark Brown	Window frames
SK-3	Dark Brown	Dark Brown	Door frames
SK-3	Dark Brown	Dark Brown	Window sills
SK-3	Dark Brown	Dark Brown	Door sills
SK-3	Dark Brown	Dark Brown	Window lintels
SK-3	Dark Brown	Dark Brown	Door lintels
SK-3	Dark Brown	Dark Brown	Window casings
SK-3	Dark Brown	Dark Brown	Door casings
SK-3	Dark Brown	Dark Brown	Window surrounds
SK-3	Dark Brown	Dark Brown	Door surrounds
SK-3	Dark Brown	Dark Brown	Window frames (interior)
SK-3	Dark Brown	Dark Brown	Door frames (interior)
SK-3	Dark Brown	Dark Brown	Window sills (interior)
SK-3	Dark Brown	Dark Brown	Door sills (interior)
SK-3	Dark Brown	Dark Brown	Window lintels (interior)
SK-3	Dark Brown	Dark Brown	Door lintels (interior)
SK-3	Dark Brown	Dark Brown	Window casings (interior)
SK-3	Dark Brown	Dark Brown	Door casings (interior)
SK-3	Dark Brown	Dark Brown	Window surrounds (interior)
SK-3	Dark Brown	Dark Brown	Door surrounds (interior)

Colour / Material	Material	Colour to match	Element
SK-3	Dark Brown	Dark Brown	Window frames
SK-3	Dark Brown	Dark Brown	Door frames
SK-3	Dark Brown	Dark Brown	Window sills
SK-3	Dark Brown	Dark Brown	Door sills
SK-3	Dark Brown	Dark Brown	Window lintels
SK-3	Dark Brown	Dark Brown	Door lintels
SK-3	Dark Brown	Dark Brown	Window casings
SK-3	Dark Brown	Dark Brown	Door casings
SK-3	Dark Brown	Dark Brown	Window surrounds
SK-3	Dark Brown	Dark Brown	Door surrounds
SK-3	Dark Brown	Dark Brown	Window frames (interior)
SK-3	Dark Brown	Dark Brown	Door frames (interior)
SK-3	Dark Brown	Dark Brown	Window sills (interior)
SK-3	Dark Brown	Dark Brown	Door sills (interior)
SK-3	Dark Brown	Dark Brown	Window lintels (interior)
SK-3	Dark Brown	Dark Brown	Door lintels (interior)
SK-3	Dark Brown	Dark Brown	Window casings (interior)
SK-3	Dark Brown	Dark Brown	Door casings (interior)
SK-3	Dark Brown	Dark Brown	Window surrounds (interior)
SK-3	Dark Brown	Dark Brown	Door surrounds (interior)

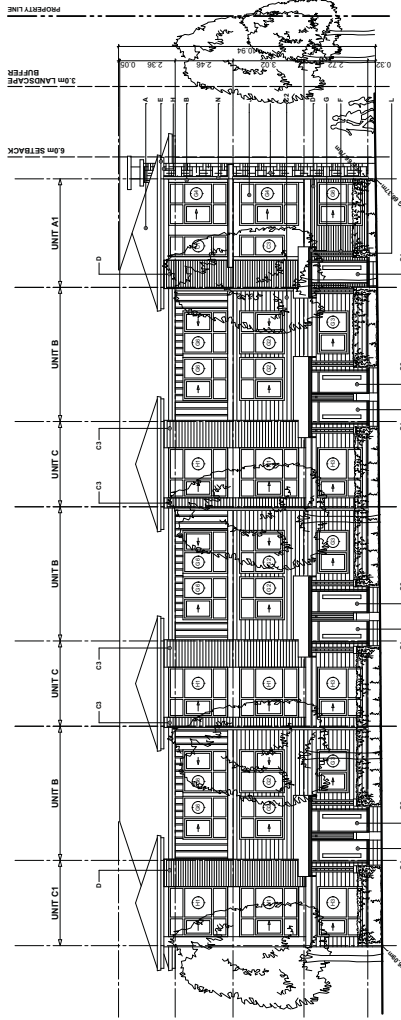




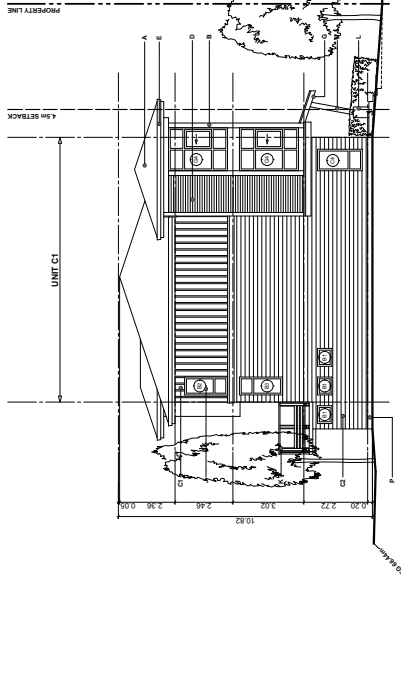
**INTEGRARCHITECTURE INC.**  
 416 WEST PENDER STREET  
 VANCOUVER, BC V6B 1T5  
 T: 604.884.4220 F: 604.884.4270  
 WWW.INTARCH.COM



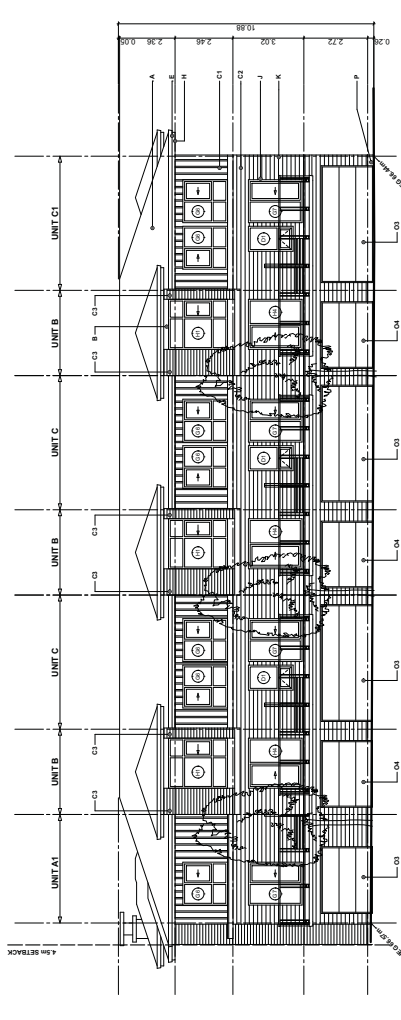
1 BUILDING 7 - NORTH ELEVATION (85th AVENUE)



2 BUILDING 7 - WEST ELEVATION (LANDSCAPE BUFFER)



4 BUILDING 7 - EAST ELEVATION (INTERNAL SIDEWALK)



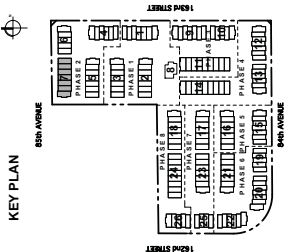
3 BUILDING 7 - SOUTH ELEVATION (INTERNAL STREET)

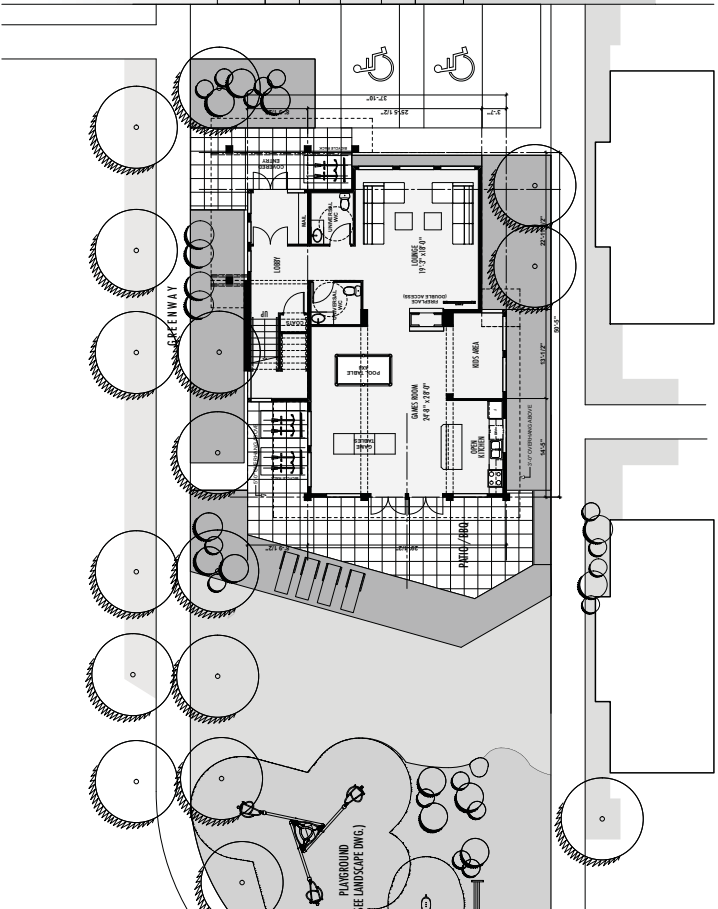
5 MATERIAL & COLOUR LEGEND  
 SK-1 DARK BLUE

Color	Material	Reference No.	Element
A	White	SP Wood	Exterior
B	White	CC-BB	Horizontal ribbed concrete finish with panels @ corner windows
C1	White	F12	White form concrete (typical)
C2	Light Gray	STW	White form concrete (typical)
C3	Dark Blue	SK-1	Dark Blue form concrete (typical)
D	Stained	SK-1	Dark Blue form concrete (typical)
E	Dark Blue	SK-1	Dark Blue form concrete (typical)
F	Stained	SK-1	Dark Blue form concrete (typical)
G	Stained	SK-1	Dark Blue form concrete (typical)

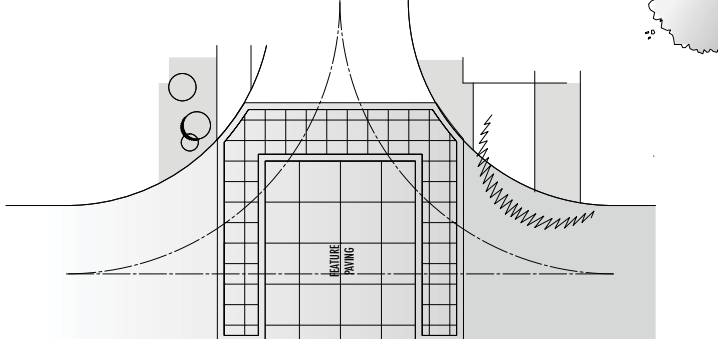
H	Dark Gray	SK-1	Dark Gray form concrete (typical)
J	Black	SK-1	Dark Gray form concrete (typical)
K	Black	SK-1	Dark Gray form concrete (typical)
L	Dark Gray	SK-1	Dark Gray form concrete (typical)
M	Black	SK-1	Dark Gray form concrete (typical)
N	Black	SK-1	Dark Gray form concrete (typical)
O1	Dark Blue	SK-1	Dark Gray form concrete (typical)
O2	Dark Blue	SK-1	Dark Gray form concrete (typical)

DC-1	Aluminum overhead door assembly	Dark Blue	Aluminum overhead door assembly
DC-2	Aluminum overhead door assembly	Dark Blue	Aluminum overhead door assembly
DC-3	Aluminum overhead door assembly	Dark Blue	Aluminum overhead door assembly
DC-4	Aluminum overhead door assembly	Dark Blue	Aluminum overhead door assembly
P	Aluminum overhead door assembly	Dark Blue	Aluminum overhead door assembly

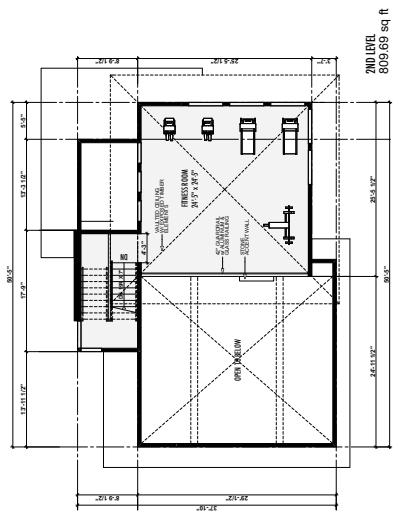




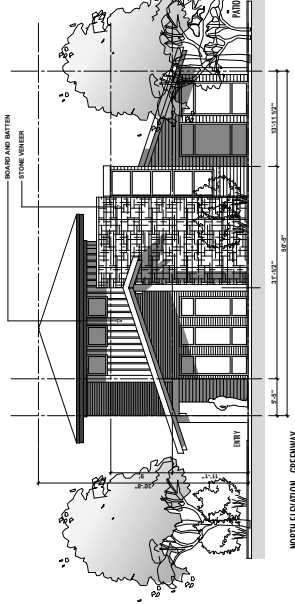
**SITE PLAN**  
 1ST LEVEL  
 1,581.55 sq ft  
 TOTAL INDOOR AMBIGUITY AREA 2,392 SF



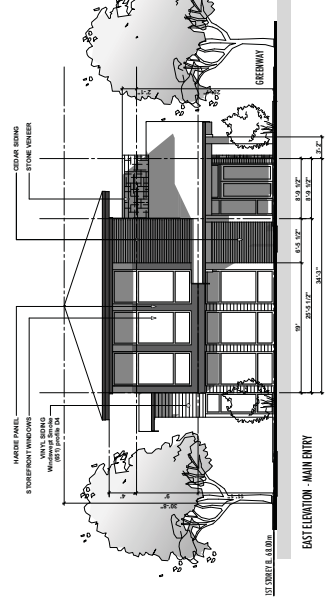
**INTEGRAL ARCHITECTURE INC.**  
 444 WEST PENDER STREET  
 VANCOUVER BC V6B 1T5  
 T 604.683.8220 F 604.683.8270  
 info@integral-arch.com  
 www.integral-arch.com



2ND LEVEL  
 809.69 sq ft



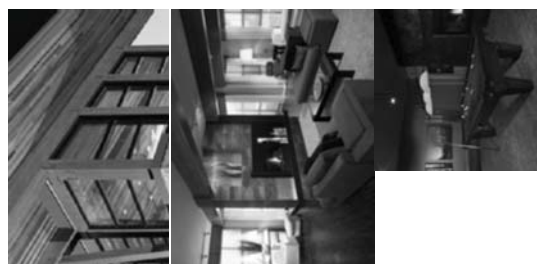
NORTH ELEVATION - GREENWAY



EAST ELEVATION - MAIN ENTRY

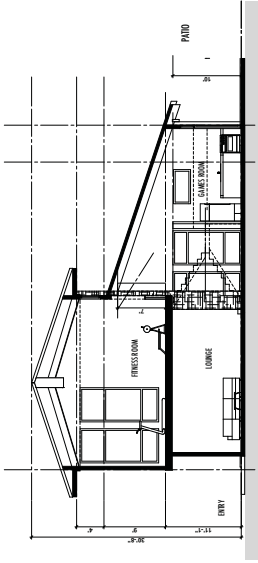
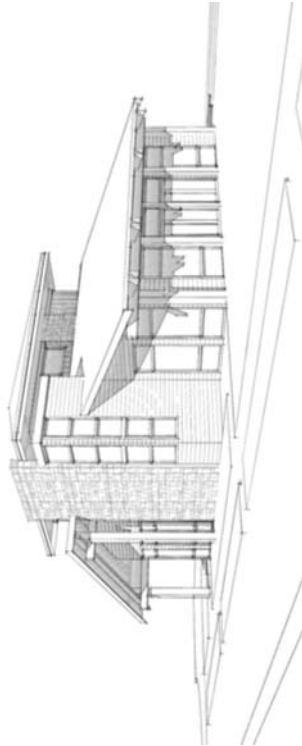
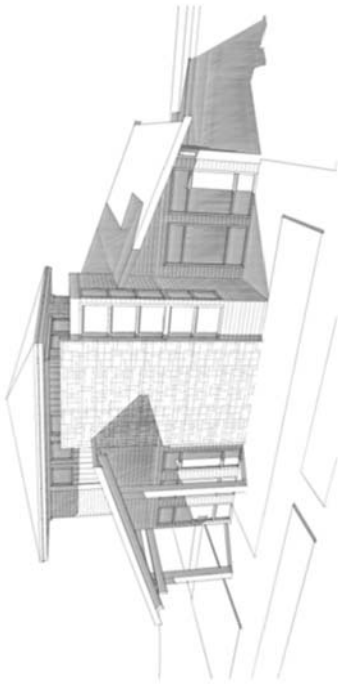
**ANTHEM**  
 FLEETWOOD  
 19-258  
 1777-17-47  
 JUN 21, 2011

**A-2.080**

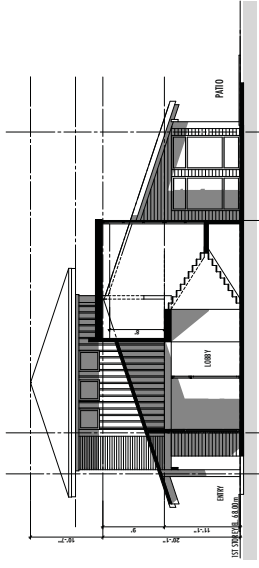




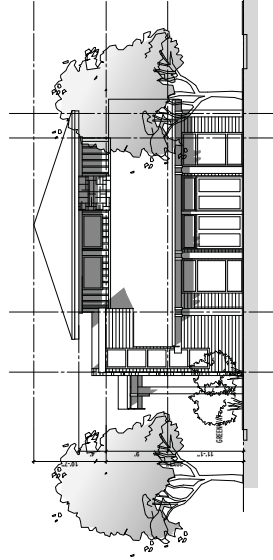
**INTEGRA ARCHITECTURE INC.**  
 414 WEST BRANDER STREET  
 VANCOUVER BC V6B 1T5  
 T 604.688.4220 F 604.688.4270  
 info@integra-arch.com  
 www.integra-arch.com  
 CONSULTING ARCHITECTS  
 2010 B.C. ARCHITECTS ACT  
 2010 B.C. ARCHITECTS REG. NO. 12014



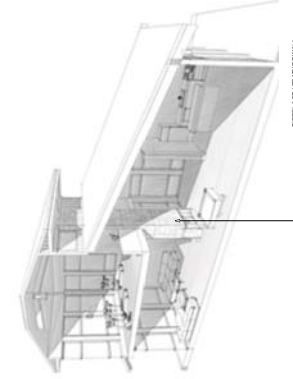
SECTION 1-1



SECTION 2-2



WEST ELEVATION - PAUDO



FURNITURE / FURNITURE WALL

**CLIENT**  
 ANTHEM

**PROJECT**  
 FLEETWOOD  
 2010 B.C. ARCHITECTS REG. NO. 12014

**DATE**  
 AMENITY BUILDING 8

**PROJECT**  
 19-258

**SCALE**  
 1/8"=1'-0"

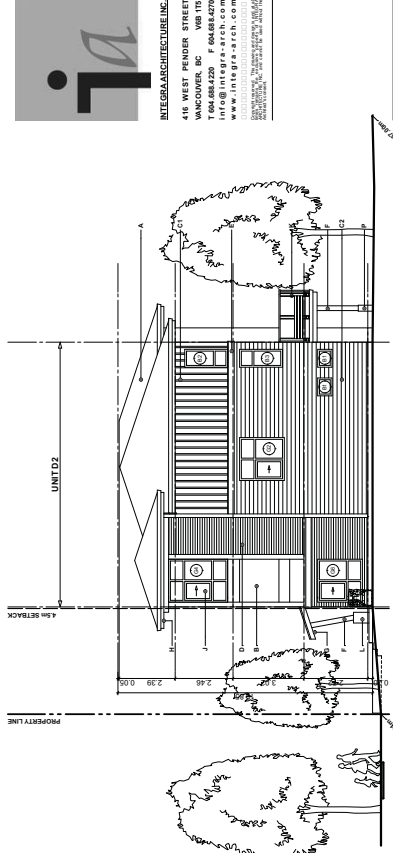
**DATE**  
 JUN 21, 2011

**DATE**  
 4

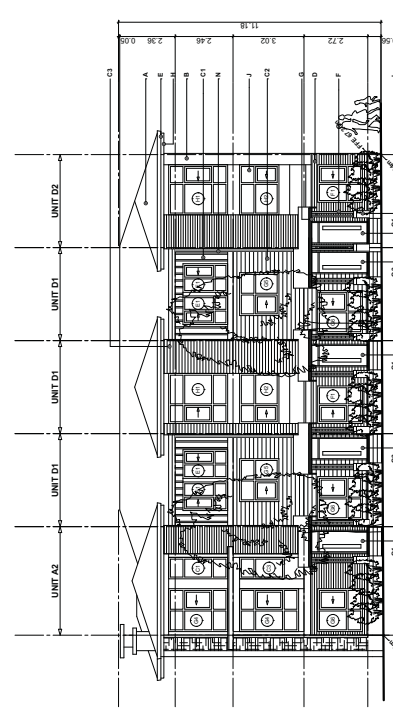
**DATE**  
 4

**A-2.081**

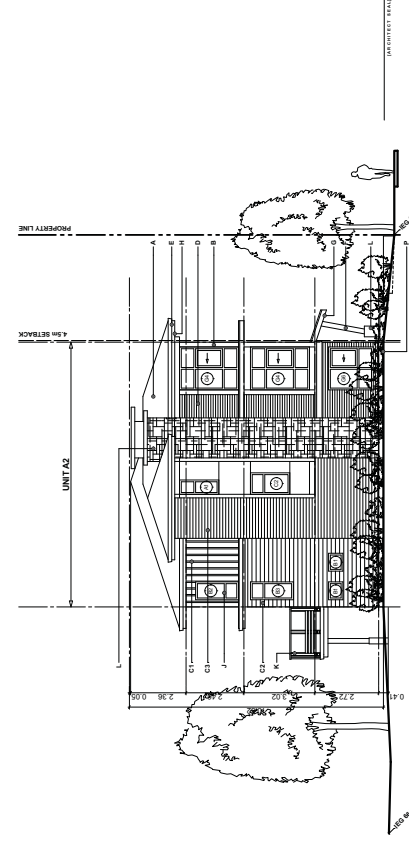




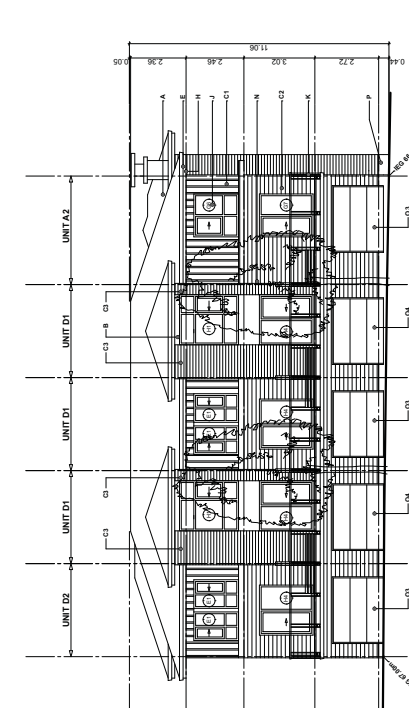
**2 BUILDING 10 - NORTH ELEVATION (INTERNAL SIDEWALK)**



**1 BUILDING 10 - EAST ELEVATION (163rd STREET)**



**4 BUILDING 10 - SOUTH ELEVATION (INTERNAL STREET)**

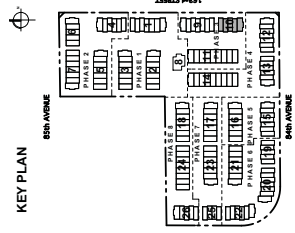


**3 BUILDING 10 - EAST ELEVATION (INTERNAL STREET)**

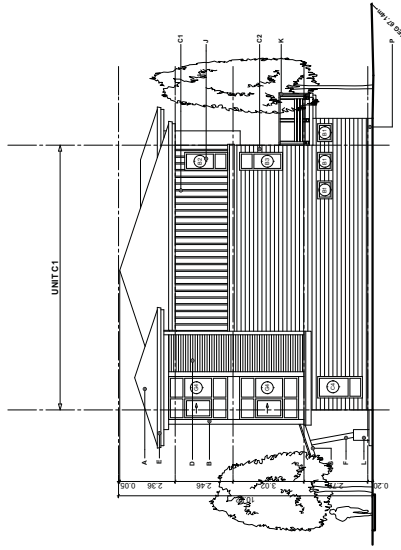
**5 MATERIAL & COLOUR LEGEND  
 SK-1 DARK BLUE**

Colour / Material	Reference No.	Element
Grey / Brick	MC10	Manufacture of brickwork (Interlocking bricks)
White	OC-18	Manufacture of concrete/brickwork with panels @ corner windows
White	F2	2772 (brown and black), 1 (typical)
Light Grey / Glass	C1	100 Series, 100 Series
Dark Blue / Glass	C2	100 Series, 100 Series
Dark Blue / Glass	C3	100 Series, 100 Series
Stained	C4	100 Series, 100 Series
Dark Blue / Glass	C5	100 Series, 100 Series
Stained	C6	100 Series, 100 Series
Dark Blue / Glass	C7	100 Series, 100 Series
Stained	C8	100 Series, 100 Series
Dark Blue / Glass	C9	100 Series, 100 Series
Stained	C10	100 Series, 100 Series
Dark Blue / Glass	C11	100 Series, 100 Series
Stained	C12	100 Series, 100 Series
Dark Blue / Glass	C13	100 Series, 100 Series
Stained	C14	100 Series, 100 Series
Dark Blue / Glass	C15	100 Series, 100 Series
Stained	C16	100 Series, 100 Series
Dark Blue / Glass	C17	100 Series, 100 Series
Stained	C18	100 Series, 100 Series
Dark Blue / Glass	C19	100 Series, 100 Series
Stained	C20	100 Series, 100 Series
Dark Blue / Glass	C21	100 Series, 100 Series
Stained	C22	100 Series, 100 Series
Dark Blue / Glass	C23	100 Series, 100 Series
Stained	C24	100 Series, 100 Series

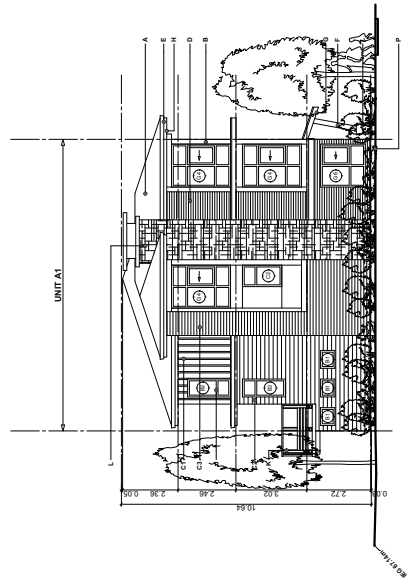
Colour / Material	Reference No.	Element
Dark Blue / Glass	C1	100 Series, 100 Series
Dark Blue / Glass	C2	100 Series, 100 Series
Dark Blue / Glass	C3	100 Series, 100 Series
Dark Blue / Glass	C4	100 Series, 100 Series
Dark Blue / Glass	C5	100 Series, 100 Series
Dark Blue / Glass	C6	100 Series, 100 Series
Dark Blue / Glass	C7	100 Series, 100 Series
Dark Blue / Glass	C8	100 Series, 100 Series
Dark Blue / Glass	C9	100 Series, 100 Series
Dark Blue / Glass	C10	100 Series, 100 Series
Dark Blue / Glass	C11	100 Series, 100 Series
Dark Blue / Glass	C12	100 Series, 100 Series
Dark Blue / Glass	C13	100 Series, 100 Series
Dark Blue / Glass	C14	100 Series, 100 Series
Dark Blue / Glass	C15	100 Series, 100 Series
Dark Blue / Glass	C16	100 Series, 100 Series
Dark Blue / Glass	C17	100 Series, 100 Series
Dark Blue / Glass	C18	100 Series, 100 Series
Dark Blue / Glass	C19	100 Series, 100 Series
Dark Blue / Glass	C20	100 Series, 100 Series
Dark Blue / Glass	C21	100 Series, 100 Series
Dark Blue / Glass	C22	100 Series, 100 Series
Dark Blue / Glass	C23	100 Series, 100 Series
Dark Blue / Glass	C24	100 Series, 100 Series
Dark Blue / Glass	C25	100 Series, 100 Series
Dark Blue / Glass	C26	100 Series, 100 Series
Dark Blue / Glass	C27	100 Series, 100 Series
Dark Blue / Glass	C28	100 Series, 100 Series
Dark Blue / Glass	C29	100 Series, 100 Series
Dark Blue / Glass	C30	100 Series, 100 Series



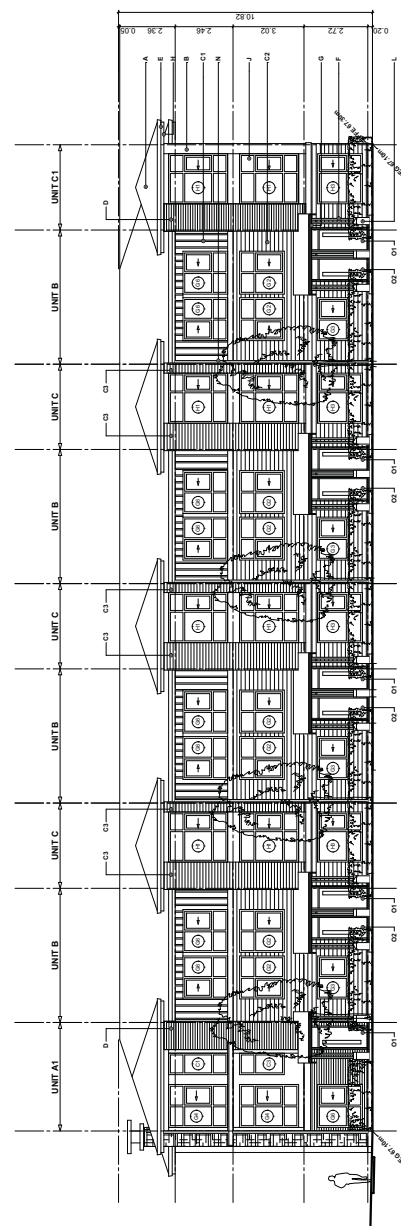




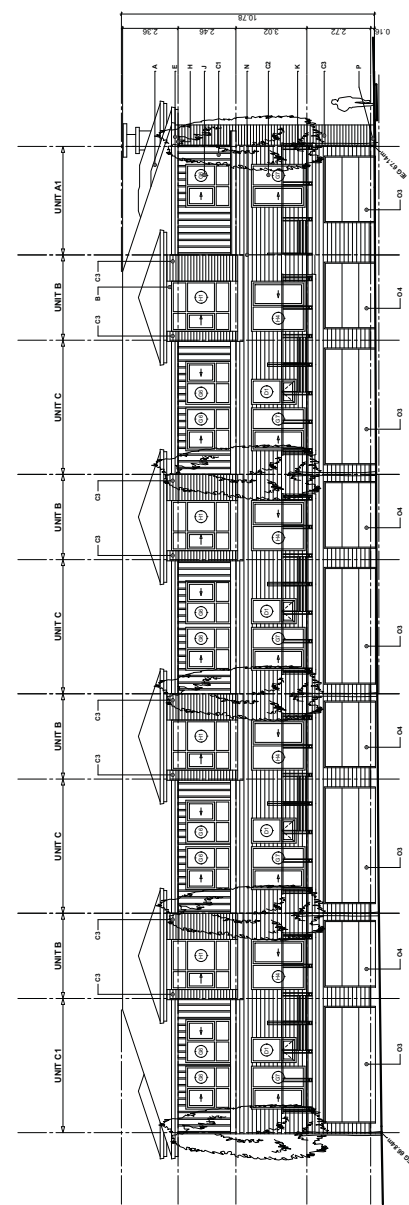
**2 BUILDING 11 - SOUTH ELEVATION (INTERNAL STREET)**



**4 BUILDING 11 - NORTH ELEVATION (INTERNAL SIDEWALK)**



**1 BUILDING 11 - WEST ELEVATION (COURTYARD)**

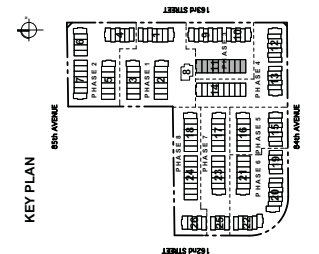


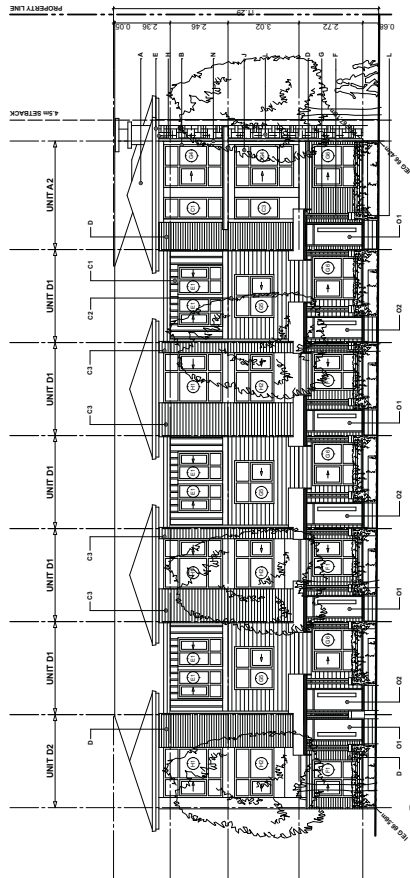
**3 BUILDING 11 - EAST ELEVATION (INTERNAL STREET)**

**5 MATERIAL & COLOUR LEGEND  
 SK-1 DARK BLUE**

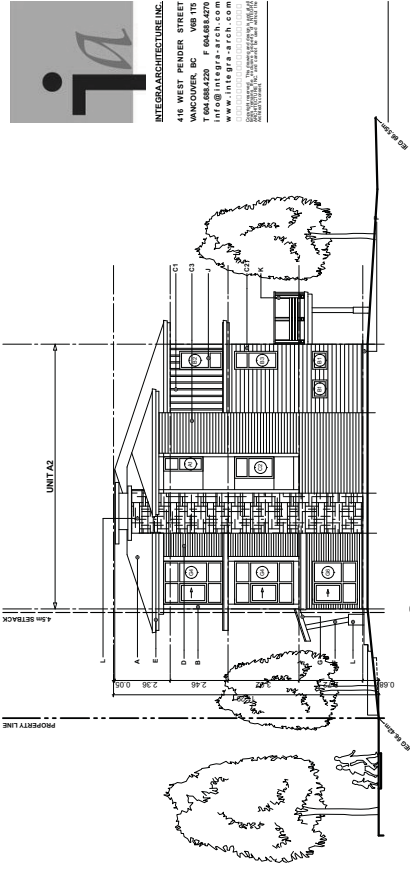
Colour	Material	Reference	Element
A	Grey / Dark Grey	DP Wood	Entrance
B	White	CC-28	Horizontal Slats (Shingles)
C	White	CC-28	Horizontal Slats (Shingles)
D	White	CC-28	Horizontal Slats (Shingles)
E	Dark Blue	CC-28	Horizontal Slats (Shingles)
F	Dark Blue	CC-28	Horizontal Slats (Shingles)
G	Dark Blue	CC-28	Horizontal Slats (Shingles)

Code	Material	Reference	Element
H	Dark Grey	CC-28	Aluminum overhead door assembly
J	Dark Grey	CC-28	Aluminum overhead door assembly
K	Dark Grey	CC-28	Aluminum overhead door assembly
L	Dark Grey	CC-28	Aluminum overhead door assembly
M	Dark Grey	CC-28	Aluminum overhead door assembly
N	Dark Grey	CC-28	Aluminum overhead door assembly
O	Dark Grey	CC-28	Aluminum overhead door assembly
P	Dark Grey	CC-28	Aluminum overhead door assembly

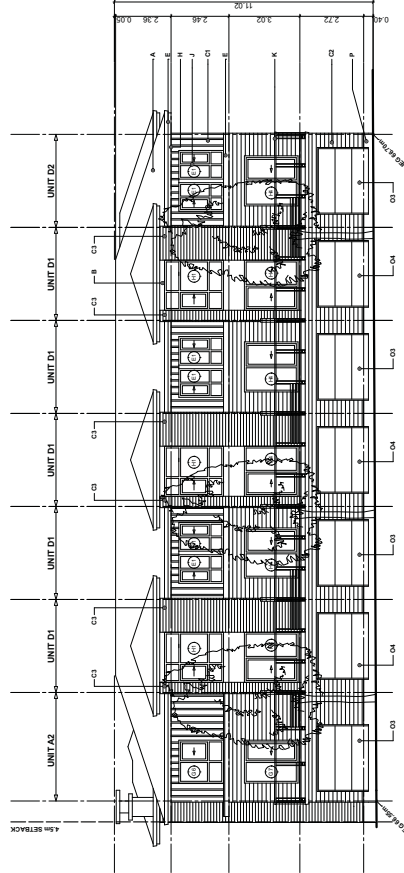




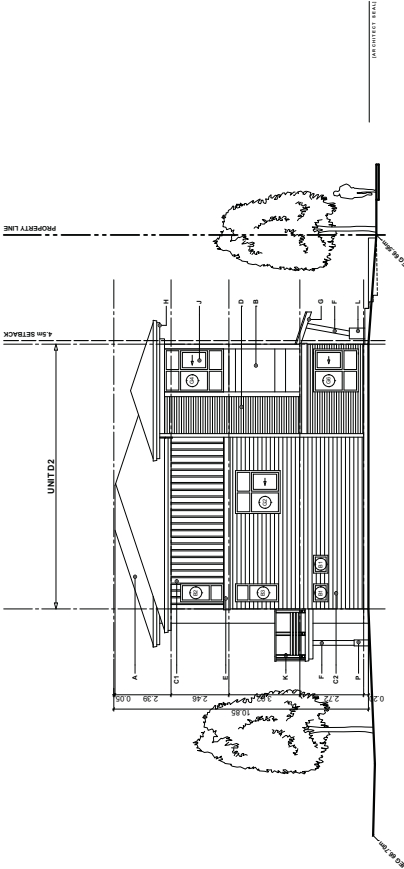
① BUILDING 12 - SOUTH ELEVATION (84th AVENUE)



② BUILDING 12 - EAST ELEVATION (163rd STREET)



③ BUILDING 12 - NORTH ELEVATION (INTERNAL STREET)



④ BUILDING 12 - WEST ELEVATION (INTERNAL SIDEWALK)

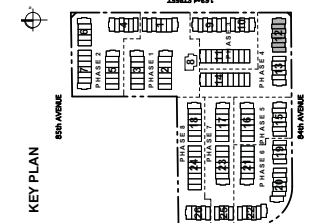
**5 MATERIAL & COLOUR LEGEND**  
**SK-2 DARK GREEN**

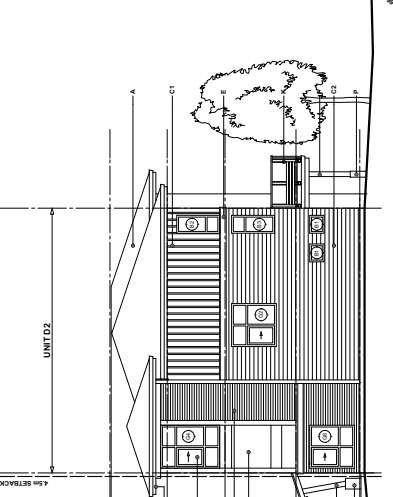
Colour	Manufacturer	Reference	Element	Colour to match
A	Grey / Blue	Marbury	SP Wood	Dark Grey
B	White	Benjamin Moore	OC-225	White
C1	White	Benjamin Moore	OC-225	White
C2	Light Grey	Benjamin Moore	OC-225	Light Grey
C3	Dark Green	Benjamin Moore	OC-225	Dark Green
D	Stained	Benjamin Moore	OC-225	Stained
E	Dark Brown	Benjamin Moore	OC-225	Dark Brown
F	Stained / Painted	Benjamin Moore	OC-225	Stained / Painted
G	Stained	Benjamin Moore	OC-225	Stained

Colour	Manufacturer	Reference	Element	Colour to match
H	Dark Grey	Benjamin Moore	OC-225	Dark Grey
J	Edge	Benjamin Moore	OC-225	Edge
K	Black	Benjamin Moore	OC-225	Black
L	Grey / Blue	Benjamin Moore	OC-225	Grey / Blue
M	Black	Benjamin Moore	OC-225	Black
N	Black	Benjamin Moore	OC-225	Black
O	Dark Grey	Benjamin Moore	OC-225	Dark Grey
P	Dark Blue	Benjamin Moore	OC-225	Dark Blue
Q	Dark Blue	Benjamin Moore	OC-225	Dark Blue

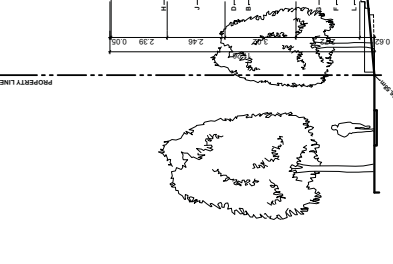
**5 MATERIAL & COLOUR LEGEND**  
**SK-2 DARK GREEN**

Colour	Manufacturer	Reference	Element	Colour to match
R	Dark Grey	Benjamin Moore	OC-225	Dark Grey
S	Dark Blue	Benjamin Moore	OC-225	Dark Blue
T	Grey	Benjamin Moore	OC-225	Grey

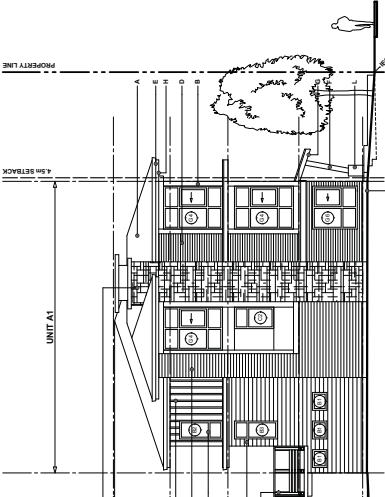




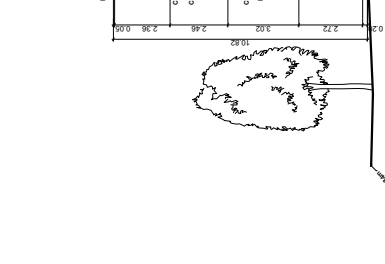
① BUILDING 13 - SOUTH ELEVATION (84th AVENUE)



② BUILDING 13 - EAST ELEVATION (ENTRY ROAD)



③ BUILDING 13 - NORTH ELEVATION (INTERNAL STREET)



④ BUILDING 13 - WEST ELEVATION (INTERNAL SIDEWALK)



KEY PLAN

ANTIEM  
 FLEETWOOD  
 1821 L-84th AVENUE  
 SURREY, BC CANADA

**BUILDING 13  
 ELEVATIONS**  
 1/25/20  
 1/100  
 JUN 21, 2011  
 4

**A-2-132**

Colour	Manufacturer	Reference No.	Element
Grey / Silver	Marquary	GF Wood	Column
White	Cortina	CC-16	Horizontal blinds on windows with panels @ corner windows
White	Cortina	CC-16	Horizontal blinds on windows
White	Cortina	CC-16	Vertical blinds on windows
Grey / Silver	Cortina	CC-16	Vertical blinds on windows
Dark Brown	Cortina	CC-16	Vertical blinds on windows
Stained	Cortina	CC-16	Vertical blinds on windows
Dark Brown	Cortina	CC-16	Vertical blinds on windows
Stained	Cortina	CC-16	Vertical blinds on windows
Stained	Cortina	CC-16	Vertical blinds on windows
Stained	Cortina	CC-16	Vertical blinds on windows

⑤ MATERIAL & COLOUR LEGEND  
 SK-3 DARK BROWN

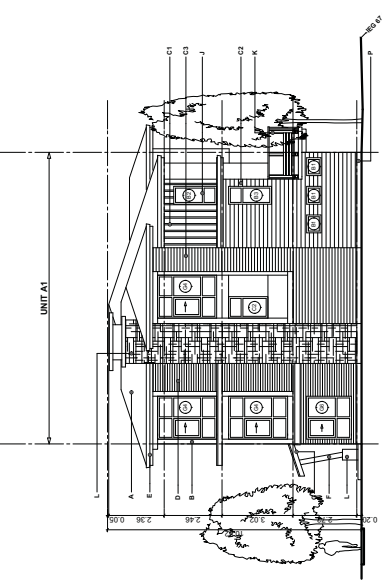
Colour	Manufacturer	Reference No.	Element
Dark Grey	Daniel Healy	DF-16	Brick
White	Daniel Healy	DF-16	Brick
White	Daniel Healy	DF-16	Brick
White	Daniel Healy	DF-16	Brick
White	Daniel Healy	DF-16	Brick
White	Daniel Healy	DF-16	Brick
White	Daniel Healy	DF-16	Brick
White	Daniel Healy	DF-16	Brick
White	Daniel Healy	DF-16	Brick
White	Daniel Healy	DF-16	Brick
White	Daniel Healy	DF-16	Brick
White	Daniel Healy	DF-16	Brick
White	Daniel Healy	DF-16	Brick
White	Daniel Healy	DF-16	Brick
White	Daniel Healy	DF-16	Brick

⑥ BUILDING 13 - SOUTH ELEVATION (84th AVENUE)

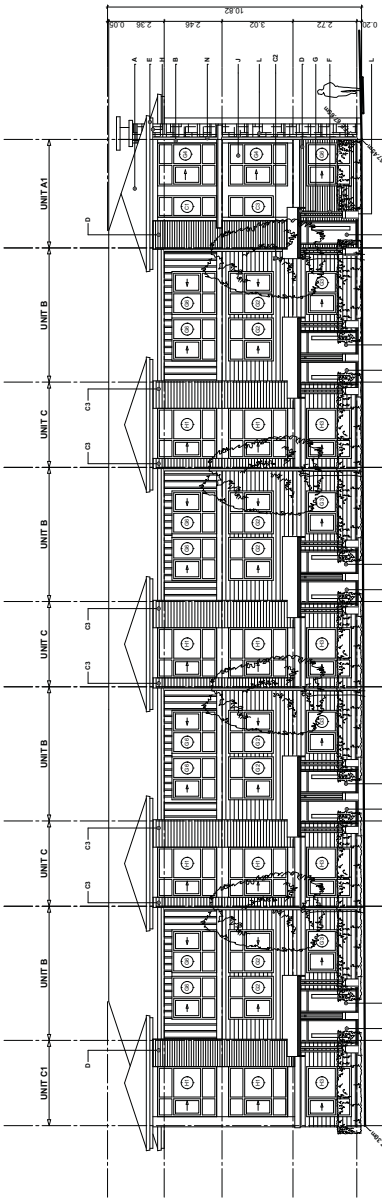
ANTIEM  
 FLEETWOOD  
 1821 L-84th AVENUE  
 SURREY, BC CANADA

**BUILDING 13  
 ELEVATIONS**  
 1/25/20  
 1/100  
 JUN 21, 2011  
 4

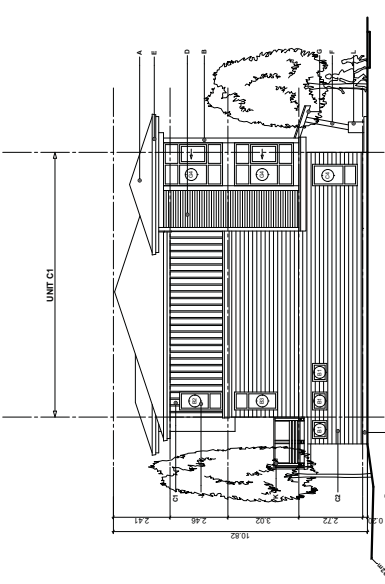
**A-2-132**



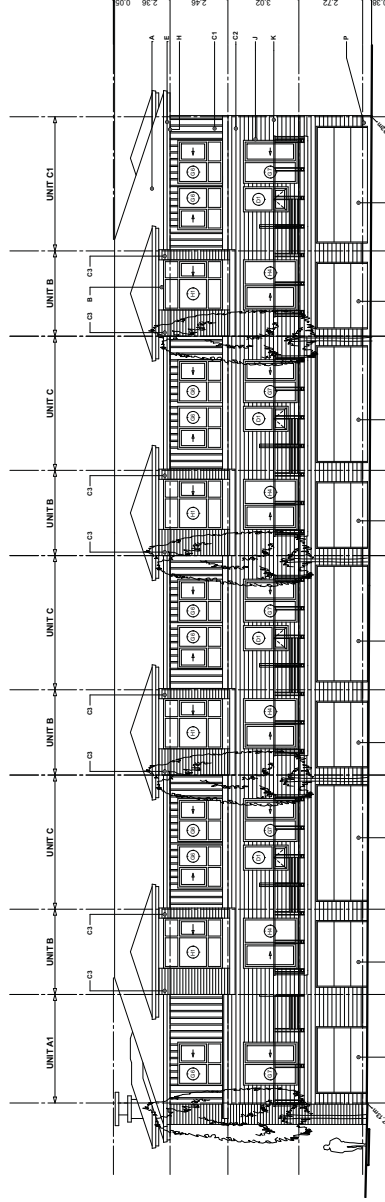
**② BUILDING 14 - NORTH ELEVATION (OPEN SPACE)**



**① BUILDING 14 - EAST ELEVATION (COURTYARD)**



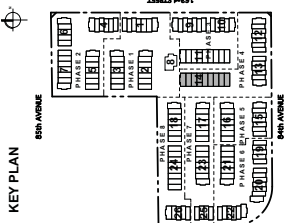
**④ BUILDING 14 - SOUTH ELEVATION (INTERNAL STREET)**

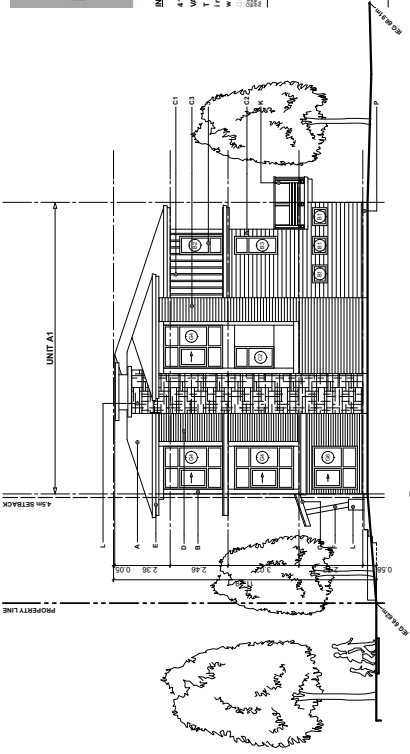


**③ BUILDING 14 - WEST ELEVATION (INTERNAL STREET)**

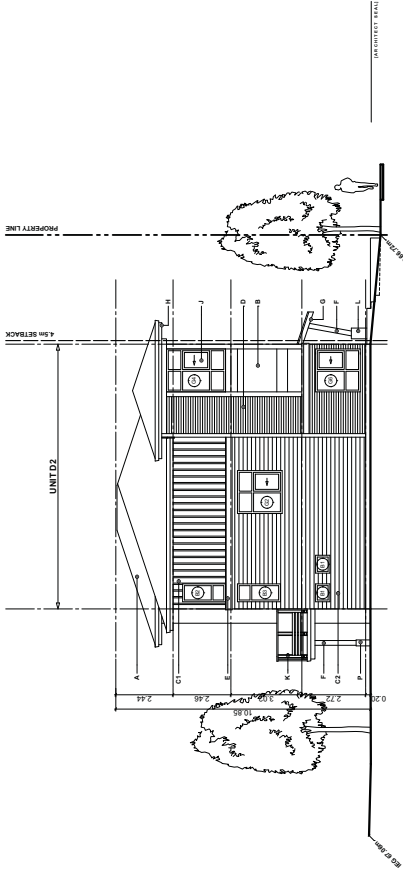
**⑤ MATERIAL & COLOUR LEGEND**  
**SK-2 DARK GREEN**

Colour	Manufacturer	Reference No.	Comments
■ A	Grey / Silver	DP Hooded	Embossed Aluminum (Shades & Light Grey) (R.F. Products)
■ B	White	BO-88	Horizontal rib concrete texture with panels @ corner windows
■ C1	White	Concrete	270 (form a cast in place) (Tyrod)
■ C2	Light Grey	Concrete	117 (form a cast in place) (Tyrod)
■ C3	Dark Green	Concrete	141 (form a cast in place) (Tyrod)
■ D	Stained	Concrete	147 (form a cast in place) (Tyrod)
■ E	Dark Green	Concrete	148 (form a cast in place) (Tyrod)
■ F	Stained	Concrete	149 (form a cast in place) (Tyrod)
■ G	Stained	Concrete	150 (form a cast in place) (Tyrod)
■ H	Dark Grey	Dark	Stained metal (Army Softs)
■ J	Edge	Edge	Stained metal (Army Softs)
■ K	Dark	Dark	Stained metal (Army Softs)
■ L	Dark Grey	Dark	Stained metal (Army Softs)
■ M	Dark	Dark	Stained metal (Army Softs)
■ N	Dark Grey	Dark	Stained metal (Army Softs)
■ O1	Dark	Dark	Stained metal (Army Softs)
■ O2	Dark	Dark	Stained metal (Army Softs)
■ P	Grey	Grey	Stained metal (Army Softs)
■ Q1	Grey	Grey	Stained metal (Army Softs)
■ Q2	Grey	Grey	Stained metal (Army Softs)
■ Q3	Grey	Grey	Stained metal (Army Softs)
■ Q4	Grey	Grey	Stained metal (Army Softs)
■ Q5	Grey	Grey	Stained metal (Army Softs)
■ Q6	Grey	Grey	Stained metal (Army Softs)
■ Q7	Grey	Grey	Stained metal (Army Softs)
■ Q8	Grey	Grey	Stained metal (Army Softs)
■ Q9	Grey	Grey	Stained metal (Army Softs)
■ Q10	Grey	Grey	Stained metal (Army Softs)
■ Q11	Grey	Grey	Stained metal (Army Softs)
■ Q12	Grey	Grey	Stained metal (Army Softs)
■ Q13	Grey	Grey	Stained metal (Army Softs)
■ Q14	Grey	Grey	Stained metal (Army Softs)
■ Q15	Grey	Grey	Stained metal (Army Softs)
■ Q16	Grey	Grey	Stained metal (Army Softs)
■ Q17	Grey	Grey	Stained metal (Army Softs)
■ Q18	Grey	Grey	Stained metal (Army Softs)
■ Q19	Grey	Grey	Stained metal (Army Softs)
■ Q20	Grey	Grey	Stained metal (Army Softs)
■ Q21	Grey	Grey	Stained metal (Army Softs)
■ Q22	Grey	Grey	Stained metal (Army Softs)
■ Q23	Grey	Grey	Stained metal (Army Softs)
■ Q24	Grey	Grey	Stained metal (Army Softs)
■ Q25	Grey	Grey	Stained metal (Army Softs)
■ Q26	Grey	Grey	Stained metal (Army Softs)
■ Q27	Grey	Grey	Stained metal (Army Softs)
■ Q28	Grey	Grey	Stained metal (Army Softs)
■ Q29	Grey	Grey	Stained metal (Army Softs)
■ Q30	Grey	Grey	Stained metal (Army Softs)
■ Q31	Grey	Grey	Stained metal (Army Softs)
■ Q32	Grey	Grey	Stained metal (Army Softs)
■ Q33	Grey	Grey	Stained metal (Army Softs)
■ Q34	Grey	Grey	Stained metal (Army Softs)
■ Q35	Grey	Grey	Stained metal (Army Softs)
■ Q36	Grey	Grey	Stained metal (Army Softs)
■ Q37	Grey	Grey	Stained metal (Army Softs)
■ Q38	Grey	Grey	Stained metal (Army Softs)
■ Q39	Grey	Grey	Stained metal (Army Softs)
■ Q40	Grey	Grey	Stained metal (Army Softs)

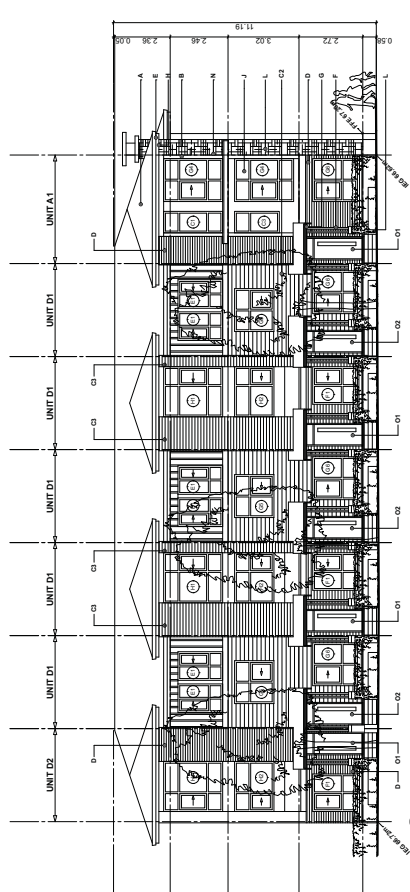




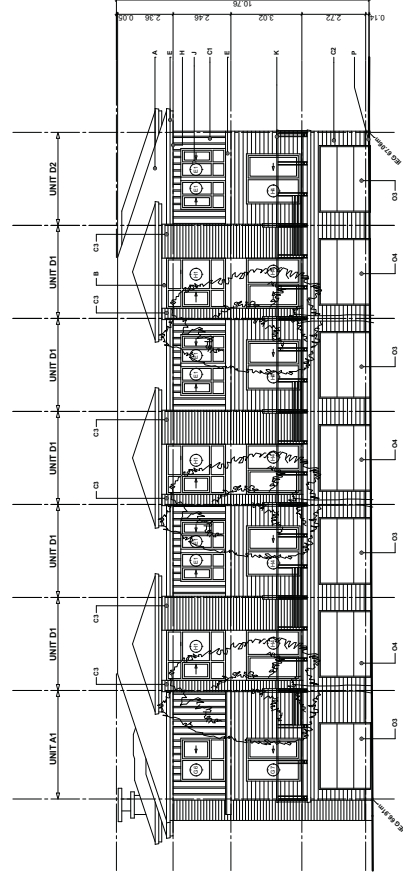
② BUILDING 15 - EAST ELEVATION (ENTRY ROAD)



④ BUILDING 15 - WEST ELEVATION (INTERNAL SIDEWALK)



① BUILDING 15 - SOUTH ELEVATION (84th AVENUE)



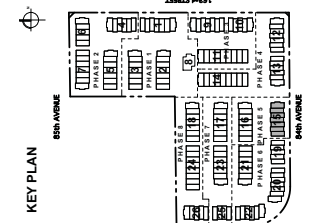
③ BUILDING 15 - NORTH ELEVATION (INTERNAL STREET)

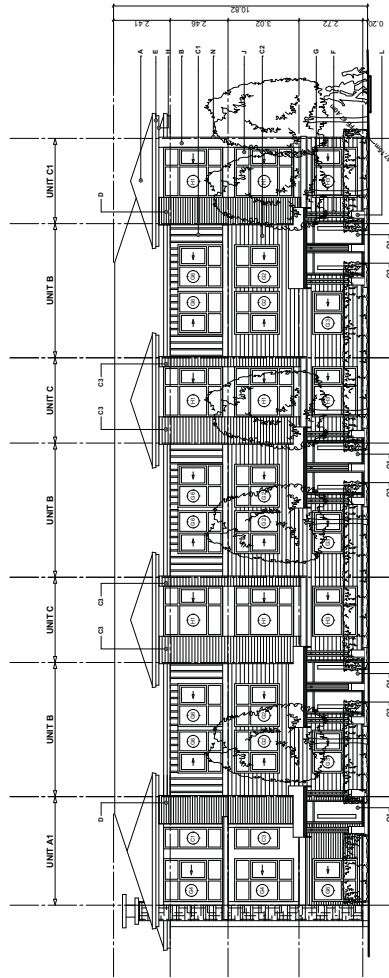
**MATERIAL & COLOUR LEGEND**  
**SK-1 DARK BLUE**

Colour	Material	Reference	Element	Colour to match
SK-A	Grey / Dark Grey	DP Wood	Entrance	SK-1
SK-B	White	CC-BB	Horizontal / Glass window frames	SK-1
SK-C1	White	CC-BB	Horizontal / Glass window frames	SK-1
SK-C2	Light Grey	CC-BB	Horizontal / Glass window frames	SK-1
SK-C3	Dark Blue	CC-BB	Horizontal / Glass window frames	SK-1
SK-D	Stained	CC-BB	Horizontal / Glass window frames	SK-1
SK-E	Dark Blue	CC-BB	Horizontal / Glass window frames	SK-1
SK-F	Stained	CC-BB	Horizontal / Glass window frames	SK-1
SK-G	Stained	CC-BB	Horizontal / Glass window frames	SK-1

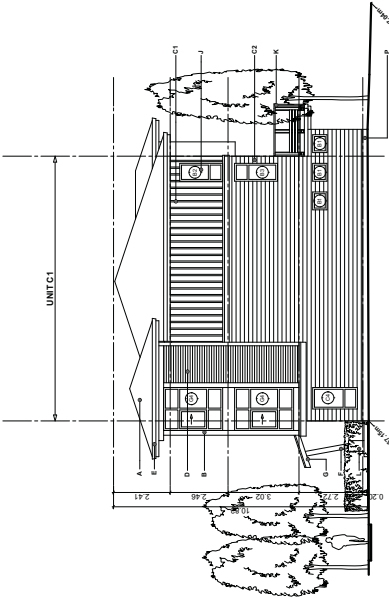
Colour	Material	Reference	Element	Colour to match
SK-H	Dark Grey	CC-BB	Horizontal / Glass window frames	SK-1
SK-I	Dark Grey	CC-BB	Horizontal / Glass window frames	SK-1
SK-J	Dark Grey	CC-BB	Horizontal / Glass window frames	SK-1
SK-K	Dark Grey	CC-BB	Horizontal / Glass window frames	SK-1
SK-L	Dark Grey	CC-BB	Horizontal / Glass window frames	SK-1
SK-M	Dark Grey	CC-BB	Horizontal / Glass window frames	SK-1
SK-N	Dark Grey	CC-BB	Horizontal / Glass window frames	SK-1
SK-O1	Dark Grey	CC-BB	Horizontal / Glass window frames	SK-1
SK-O2	Dark Grey	CC-BB	Horizontal / Glass window frames	SK-1

Colour	Material	Reference	Element	Colour to match
SK-P	Dark Grey	CC-BB	Horizontal / Glass window frames	SK-1
SK-Q	Dark Grey	CC-BB	Horizontal / Glass window frames	SK-1
SK-R	Dark Grey	CC-BB	Horizontal / Glass window frames	SK-1
SK-S	Dark Grey	CC-BB	Horizontal / Glass window frames	SK-1

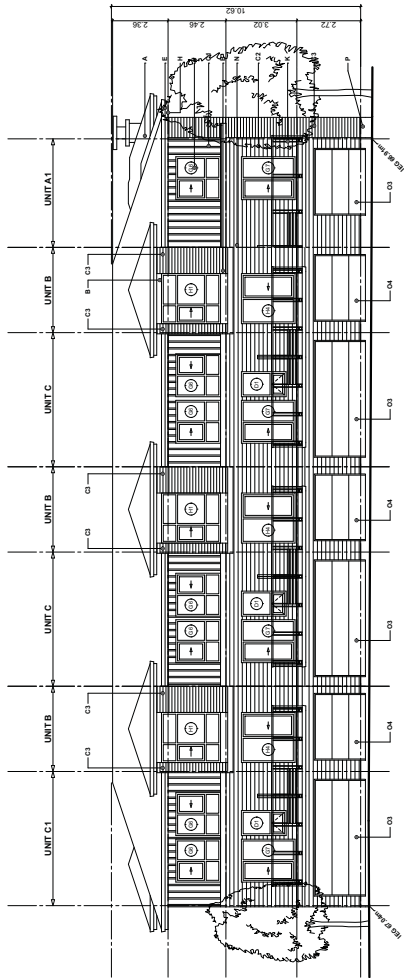




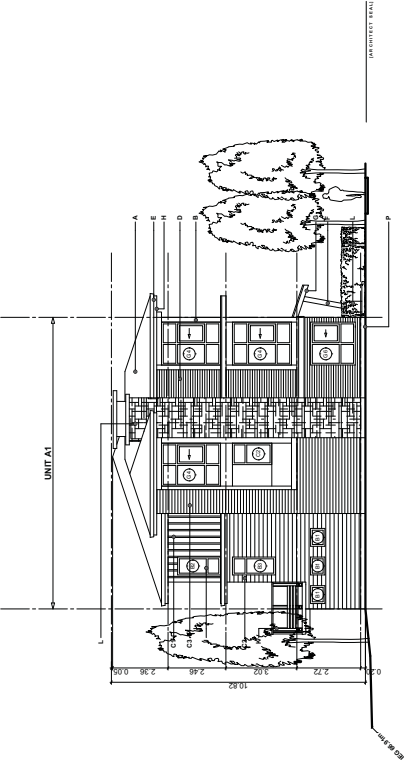
1 BUILDING 16 - NORTH ELEVATION (COURTYARD)



2 BUILDING 16 - WEST ELEVATION (INTERNAL SIDEWALK)



3 BUILDING 16 - SOUTH ELEVATION (INTERNAL STREET)



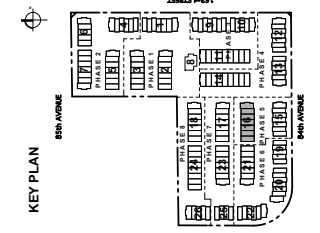
4 BUILDING 16 - EAST ELEVATION (INTERNAL STREET)

5 MATERIAL & COLOUR LEGEND  
 SK-3 DARK BROWN

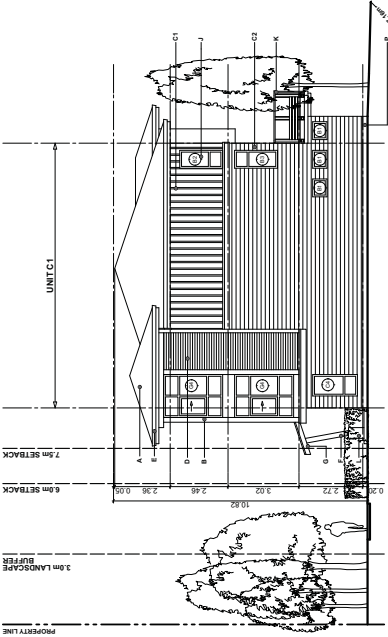
Colour	Manufacturer	Reference No.	Element
SK-3	Benjamin Moore	DP1000	Interior Wall
SK-3	Benjamin Moore	DP1000	Interior Wall
SK-3	Benjamin Moore	DP1000	Interior Wall
SK-3	Benjamin Moore	DP1000	Interior Wall
SK-3	Benjamin Moore	DP1000	Interior Wall
SK-3	Benjamin Moore	DP1000	Interior Wall
SK-3	Benjamin Moore	DP1000	Interior Wall
SK-3	Benjamin Moore	DP1000	Interior Wall
SK-3	Benjamin Moore	DP1000	Interior Wall
SK-3	Benjamin Moore	DP1000	Interior Wall

Colour	Material	Element
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall

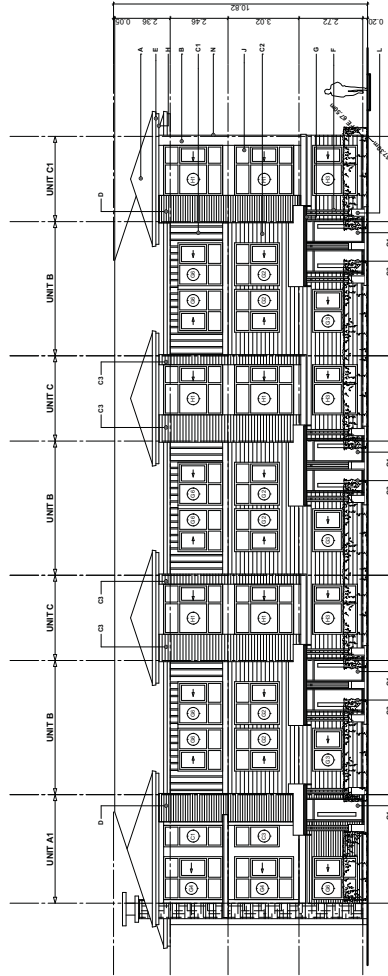
Colour	Material	Element
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall
SK-3	Benjamin Moore	Interior Wall



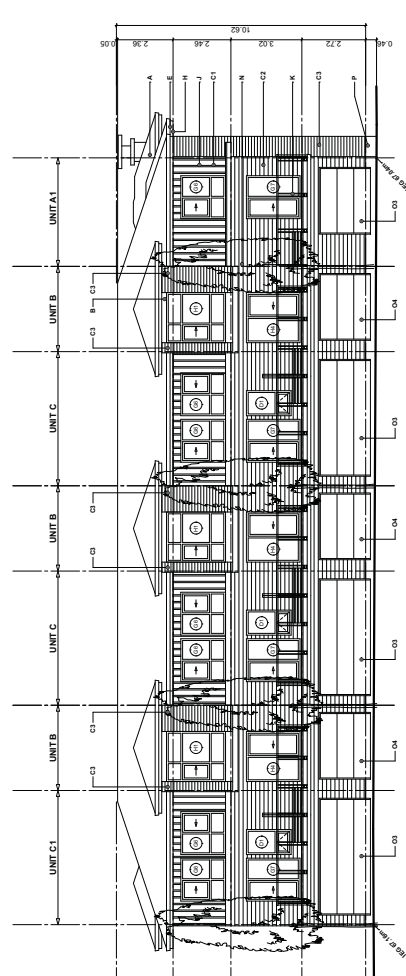




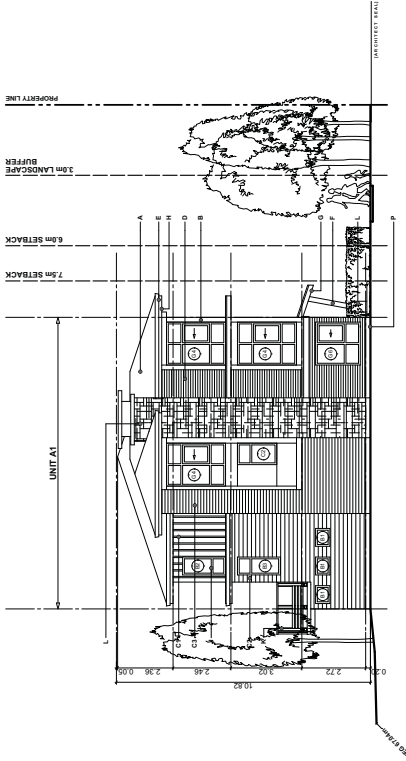
**1** BUILDING 18 - NORTH ELEVATION (LANDSCAPE BUFFER)



**2** BUILDING 18 - WEST ELEVATION (INTERNAL SIDEWALK)



**3** BUILDING 18 - SOUTH ELEVATION (INTERNAL STREET)



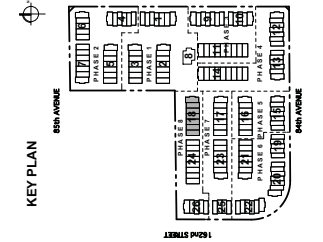
**4** BUILDING 18 - WEST ELEVATION (OPEN SPACE)

**5 MATERIAL & COLOUR LEGEND  
 SK-2 DARK GREEN**

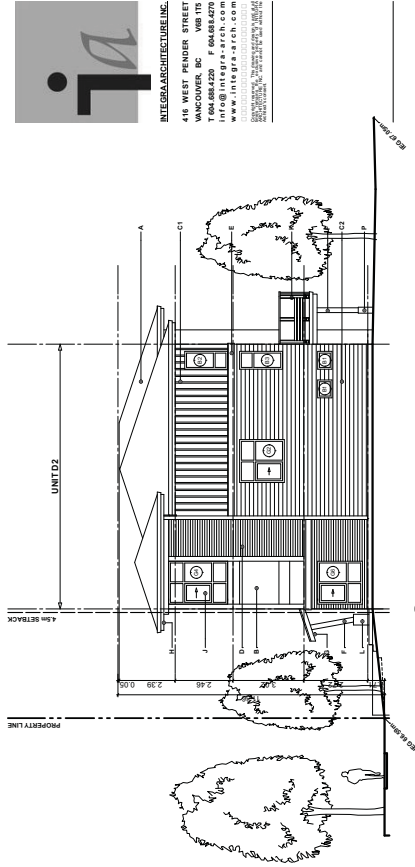
Colour	Manufacturer	Reference No.	Element
Grey / Silver	Metaltek	DT1000	Stainless Steel
White	Benjamin Moore	OC-22	White
White	Benjamin Moore	OC-119	White
White	Benjamin Moore	OC-123	White
Light Grey	Benjamin Moore	OC-22	Light Grey
Dark Green	Benjamin Moore	OC-22	Dark Green
Stainless	Benjamin Moore	OC-22	Stainless
Dark Brown	Benjamin Moore	OC-22	Dark Brown
Stainless	Benjamin Moore	OC-22	Stainless
Stainless	Benjamin Moore	OC-22	Stainless

Material	Manufacturer	Reference No.	Element
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey

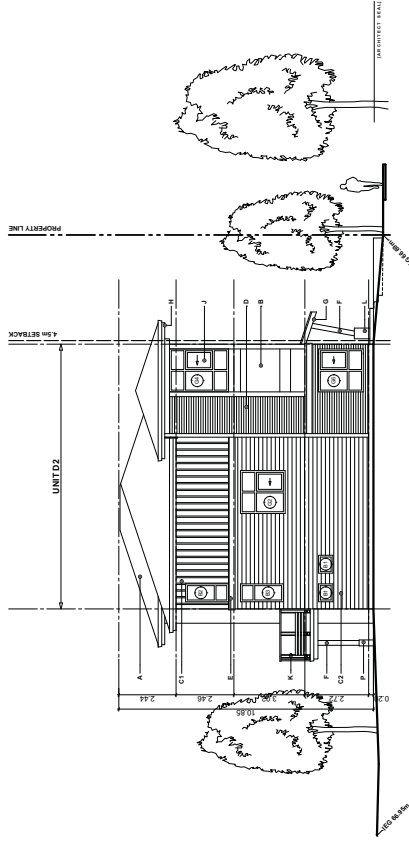
Material	Manufacturer	Reference No.	Element
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey
Dark Grey	Benjamin Moore	OC-22	Dark Grey



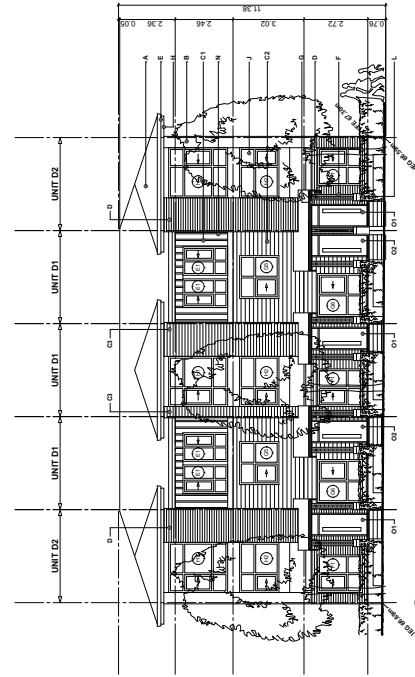




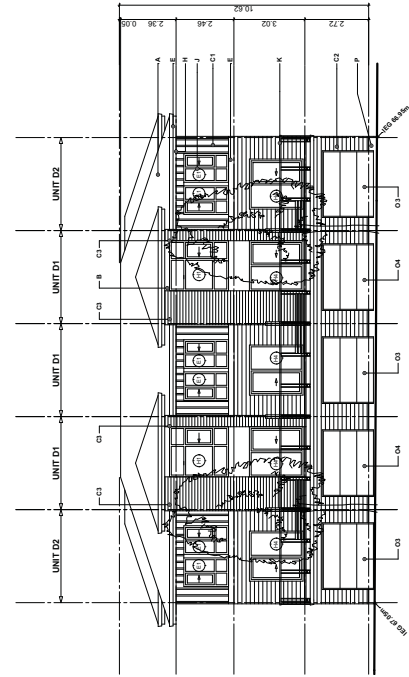
② BUILDING 19 - EAST ELEVATION (INTERNAL SIDEWALK)



④ BUILDING 19 - WEST ELEVATION (INTERNAL SIDEWALK)



① BUILDING 19 - SOUTH ELEVATION (84th AVENUE)



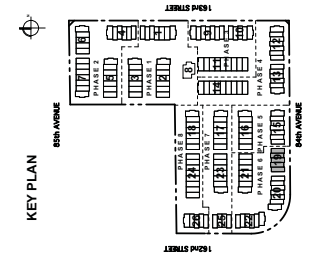
③ BUILDING 19 - NORTH ELEVATION (INTERNAL STREET)

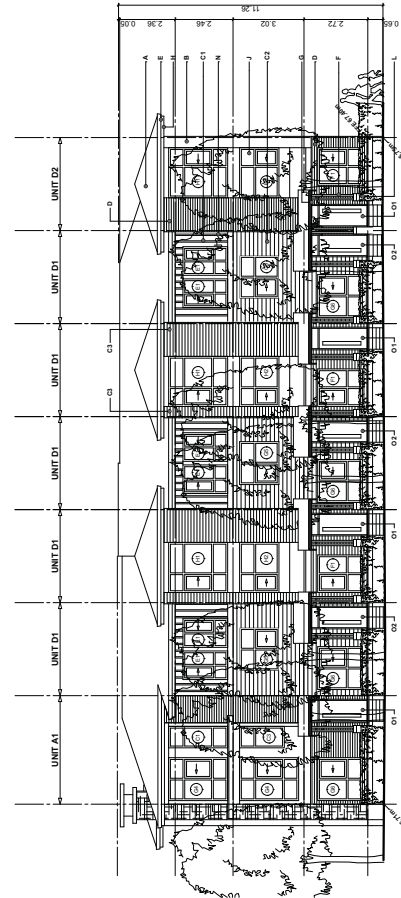
**5 MATERIAL & COLOUR LEGEND**  
**SK-3 DARK BROWN**

Colour	Manufacturer	Reference No.	Element
SK-A	Marley	EP Wood	Horizontal Slatted Aluminum (Shingles)
SK-B	Benjamin Moore	OC-65	Horizontal Slatted Aluminum (Shingles)
SK-C	White	OC-65	Horizontal Slatted Aluminum (Shingles)
SK-D	White	OC-65	Horizontal Slatted Aluminum (Shingles)
SK-E	White	OC-65	Horizontal Slatted Aluminum (Shingles)
SK-F	White	OC-65	Horizontal Slatted Aluminum (Shingles)
SK-G	White	OC-65	Horizontal Slatted Aluminum (Shingles)

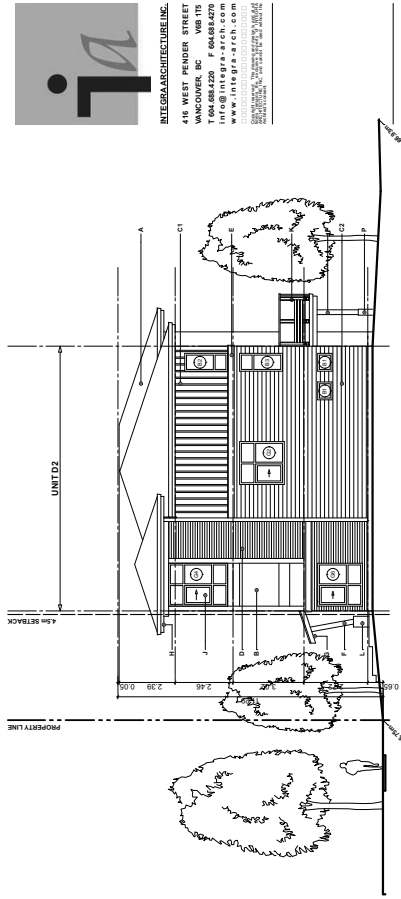
Colour	Manufacturer	Reference No.	Element
SK-H	Dark Grey	Dark Grey	Dark Grey
SK-I	Edge	Edge	Edge
SK-J	Black	Black	Black
SK-K	Black	Black	Black
SK-L	Grey/Black	Grey/Black	Grey/Black
SK-M	Black	Black	Black
SK-N	Black	Black	Black
SK-O	Black	Black	Black
SK-P	Black	Black	Black
SK-Q	Black	Black	Black
SK-R	Black	Black	Black
SK-S	Black	Black	Black
SK-T	Black	Black	Black
SK-U	Black	Black	Black
SK-V	Black	Black	Black
SK-W	Black	Black	Black
SK-X	Black	Black	Black
SK-Y	Black	Black	Black
SK-Z	Black	Black	Black

Colour	Manufacturer	Reference No.	Element
SK-1	Black	Black	Black
SK-2	Black	Black	Black
SK-3	Black	Black	Black
SK-4	Black	Black	Black
SK-5	Black	Black	Black
SK-6	Black	Black	Black
SK-7	Black	Black	Black
SK-8	Black	Black	Black
SK-9	Black	Black	Black
SK-10	Black	Black	Black
SK-11	Black	Black	Black
SK-12	Black	Black	Black
SK-13	Black	Black	Black
SK-14	Black	Black	Black
SK-15	Black	Black	Black
SK-16	Black	Black	Black
SK-17	Black	Black	Black
SK-18	Black	Black	Black
SK-19	Black	Black	Black
SK-20	Black	Black	Black
SK-21	Black	Black	Black
SK-22	Black	Black	Black
SK-23	Black	Black	Black
SK-24	Black	Black	Black
SK-25	Black	Black	Black
SK-26	Black	Black	Black
SK-27	Black	Black	Black
SK-28	Black	Black	Black
SK-29	Black	Black	Black
SK-30	Black	Black	Black
SK-31	Black	Black	Black
SK-32	Black	Black	Black
SK-33	Black	Black	Black
SK-34	Black	Black	Black
SK-35	Black	Black	Black
SK-36	Black	Black	Black
SK-37	Black	Black	Black
SK-38	Black	Black	Black
SK-39	Black	Black	Black
SK-40	Black	Black	Black
SK-41	Black	Black	Black
SK-42	Black	Black	Black
SK-43	Black	Black	Black
SK-44	Black	Black	Black
SK-45	Black	Black	Black
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SK-47	Black	Black	Black
SK-48	Black	Black	Black
SK-49	Black	Black	Black
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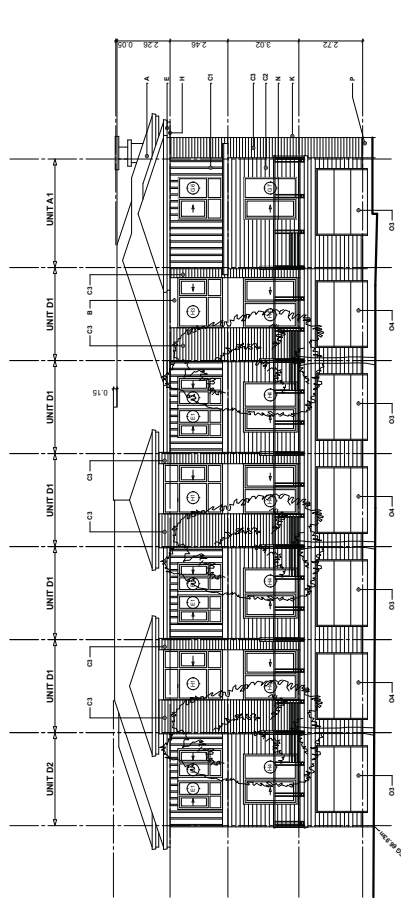




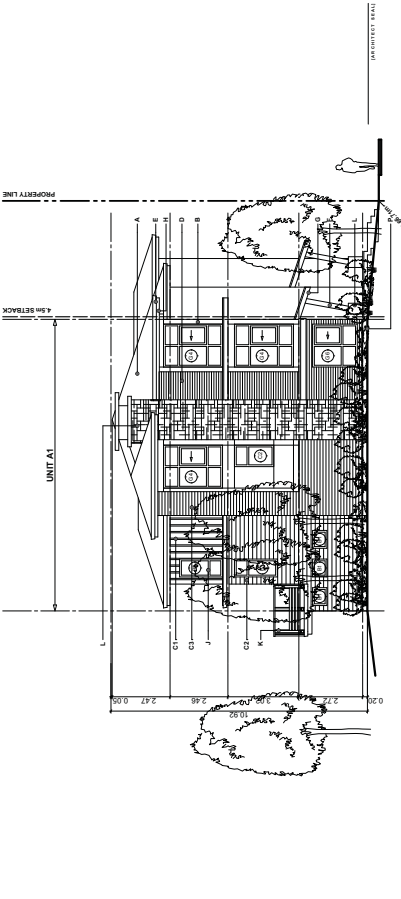
1 BUILDING 20 - SOUTH ELEVATION (84th AVENUE)



2 BUILDING 20 - EAST ELEVATION (INTERNAL SIDEWALK)



3 BUILDING 20 - NORTH ELEVATION (INTERNAL STREET)



4 BUILDING 20 - WEST ELEVATION (162 STREET)

5 MATERIAL & COLOUR LEGEND  
 SK-2 DARK GREEN

Colour	Manufacturer	Reference No.	Element
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall

Colour	Manufacturer	Reference No.	Element
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall
SK-2	Benetton	SK-2	Exterior Wall

**KEY PLAN**

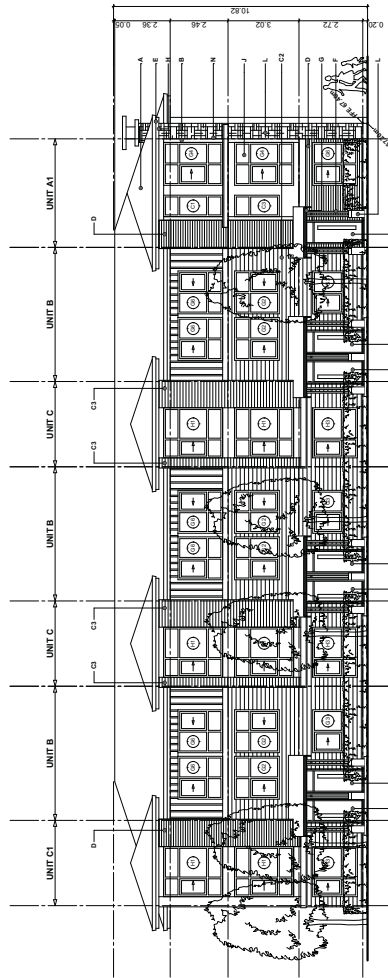
**ANthem**

**FLEETWOOD**  
 1601 L. 84th AVENUE  
 SURREY, BC, CANADA

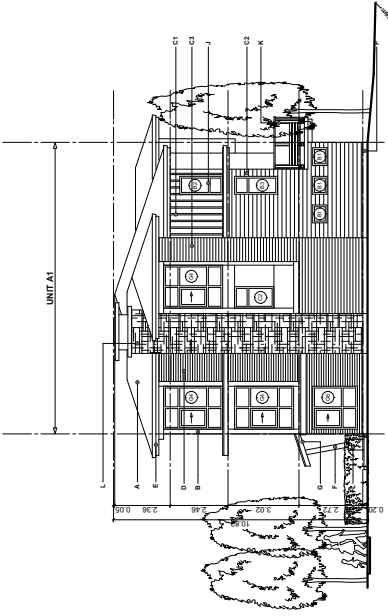
**BUILDING 20 ELEVATIONS**

1628  
 1100  
 JUN 21, 2011  
 4

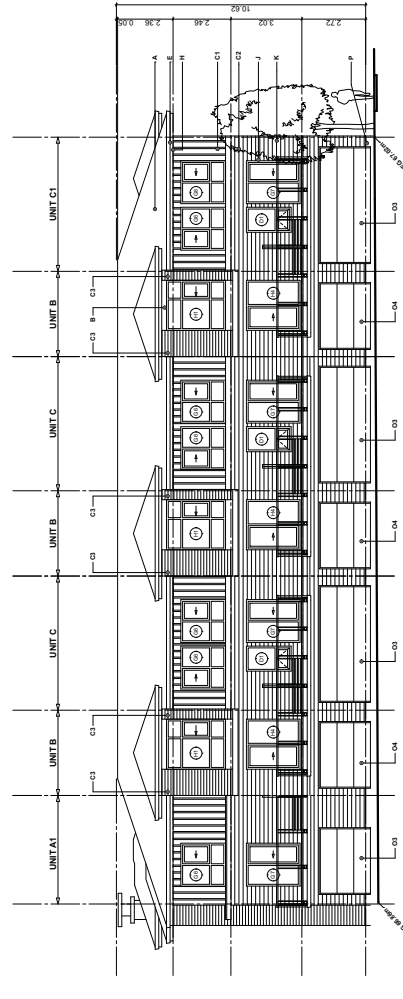
**A-2.202**



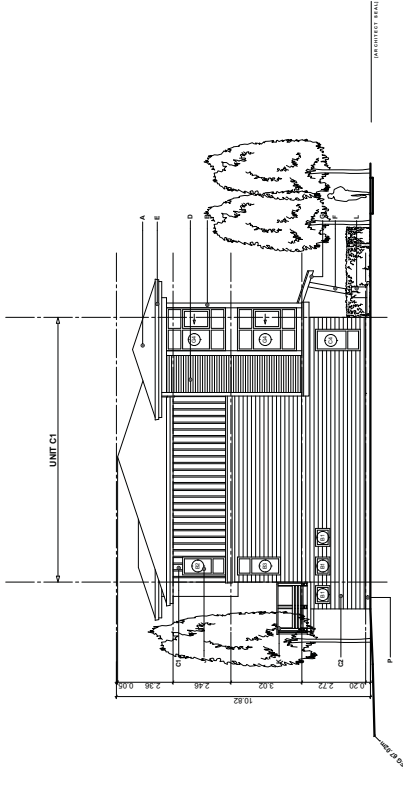
1 BUILDING 21 - NORTH ELEVATION (COURTYARD)



2 BUILDING 21 - WEST ELEVATION (INTERNAL STREET)



3 BUILDING 21 - SOUTH ELEVATION (INTERNAL STREET)



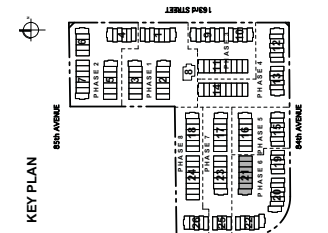
4 BUILDING 21 - EAST ELEVATION (INTERNAL SIDEWALK)

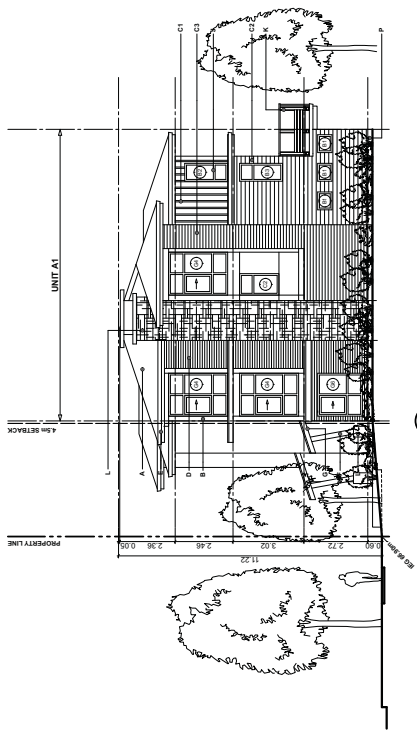
5 MATERIAL & COLOUR LEGEND  
 SK-1 DARK BLUE

Colour	Manufacturer	Reference No.	Equivalent
SK-1	Benetton	SK-1	Benetton SK-1
SK-2	Benetton	SK-2	Benetton SK-2
SK-3	Benetton	SK-3	Benetton SK-3
SK-4	Benetton	SK-4	Benetton SK-4
SK-5	Benetton	SK-5	Benetton SK-5
SK-6	Benetton	SK-6	Benetton SK-6
SK-7	Benetton	SK-7	Benetton SK-7
SK-8	Benetton	SK-8	Benetton SK-8

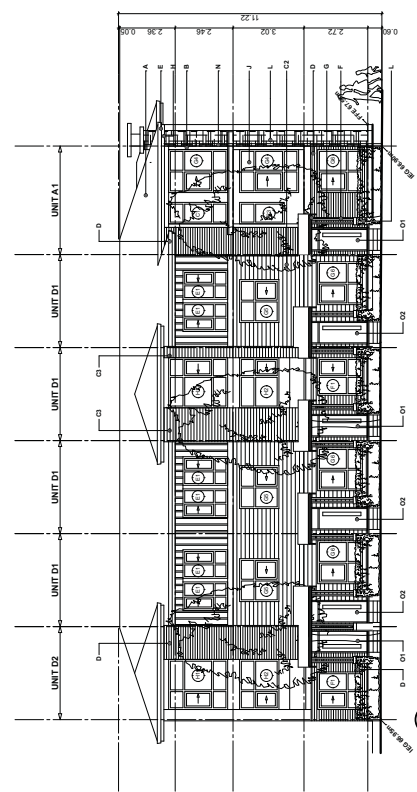
Colour	Manufacturer	Reference No.	Equivalent
SK-9	Benetton	SK-9	Benetton SK-9
SK-10	Benetton	SK-10	Benetton SK-10
SK-11	Benetton	SK-11	Benetton SK-11
SK-12	Benetton	SK-12	Benetton SK-12
SK-13	Benetton	SK-13	Benetton SK-13
SK-14	Benetton	SK-14	Benetton SK-14
SK-15	Benetton	SK-15	Benetton SK-15
SK-16	Benetton	SK-16	Benetton SK-16
SK-17	Benetton	SK-17	Benetton SK-17
SK-18	Benetton	SK-18	Benetton SK-18
SK-19	Benetton	SK-19	Benetton SK-19
SK-20	Benetton	SK-20	Benetton SK-20

Material	Manufacturer	Reference No.	Equivalent
SK-21	Benetton	SK-21	Benetton SK-21
SK-22	Benetton	SK-22	Benetton SK-22
SK-23	Benetton	SK-23	Benetton SK-23
SK-24	Benetton	SK-24	Benetton SK-24
SK-25	Benetton	SK-25	Benetton SK-25
SK-26	Benetton	SK-26	Benetton SK-26
SK-27	Benetton	SK-27	Benetton SK-27
SK-28	Benetton	SK-28	Benetton SK-28
SK-29	Benetton	SK-29	Benetton SK-29
SK-30	Benetton	SK-30	Benetton SK-30

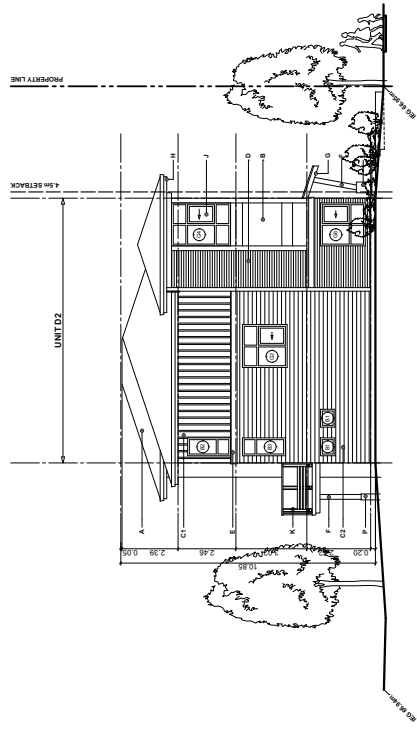




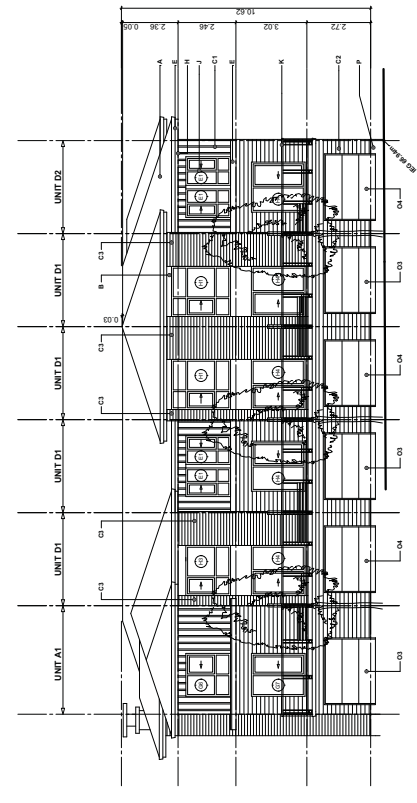
① BUILDING 22 - SOUTH ELEVATION (84th AVENUE)



② BUILDING 22 - WEST ELEVATION (162nd STREET)



③ BUILDING 22 - NORTH ELEVATION (INTERNAL SIDEWALK)



④ BUILDING 22 - EAST ELEVATION (INTERNAL STREET)

**MATERIAL & COLOUR LEGEND**  
**SK-1 DARK BLUE**

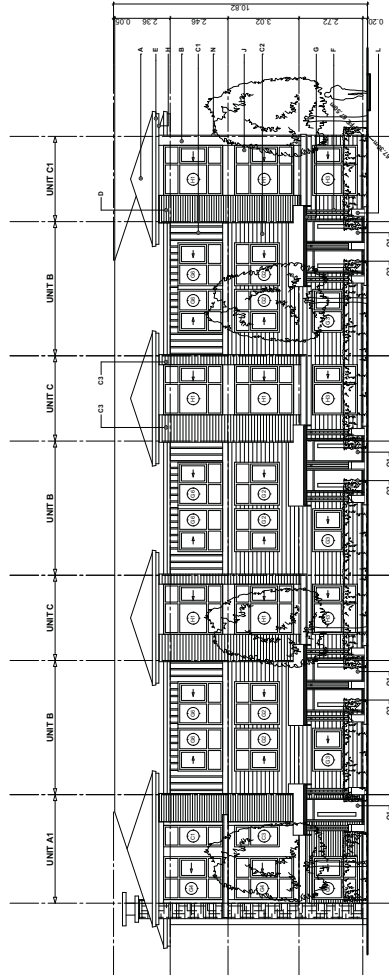
Colour	Manufacturer	Reference	Element	Colour to match
■ A	Grey / Ply	Mansueto	SP Wood	Black
■ B	White	Benjamin Moore	OC-228	White
■ C-1	White	Benjamin Moore	OC-228	White
■ C-2	White	Benjamin Moore	OC-228	White
■ C-3	White	Benjamin Moore	OC-228	White
■ D	White	Benjamin Moore	OC-228	White
■ E	White	Benjamin Moore	OC-228	White
■ F	White	Benjamin Moore	OC-228	White
■ G	White	Benjamin Moore	OC-228	White
■ H	Dark Grey	Benjamin Moore	OC-228	Dark Grey
■ I	White	Benjamin Moore	OC-228	White
■ J	White	Benjamin Moore	OC-228	White
■ K	White	Benjamin Moore	OC-228	White
■ L	White	Benjamin Moore	OC-228	White
■ M	White	Benjamin Moore	OC-228	White
■ N	White	Benjamin Moore	OC-228	White
■ O-1	White	Benjamin Moore	OC-228	White
■ O-2	White	Benjamin Moore	OC-228	White

**KEY PLAN**

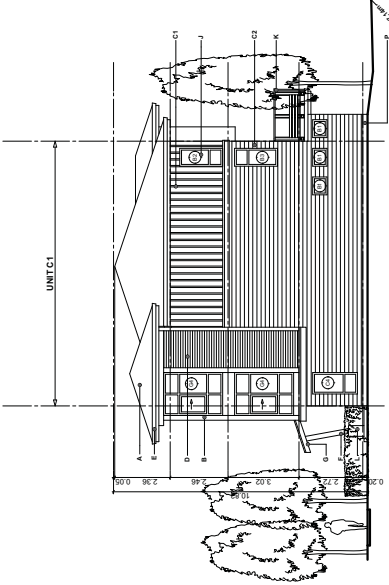
**ANTRIM**  
**FLEETWOOD**  
 10241-84TH AVENUE  
 SURREY, BC, CANADA  
**BUILDING 22 ELEVATIONS**  
 1:2500  
 1:1000  
 JUN 21, 2011  
 4

**A-2.222**

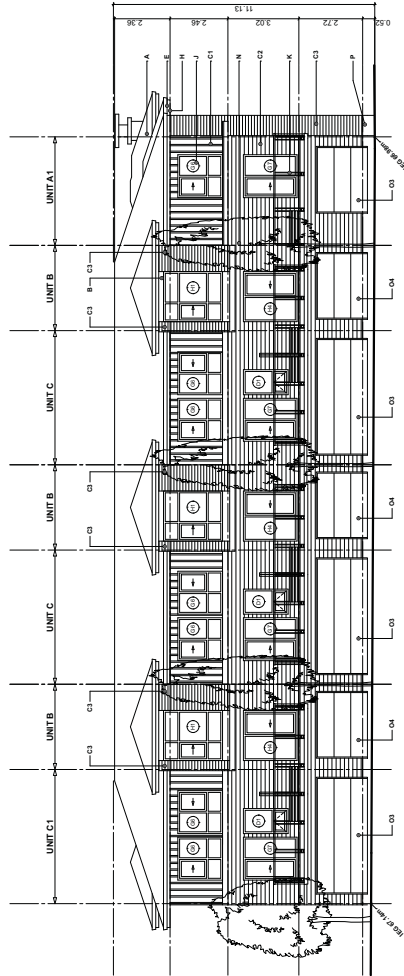
Material	OC-228	Dark Grey	Aluminum overhead door assembly
Material	OC-228	Dark Grey	Aluminum overhead door assembly
Material	OC-228	Dark Grey	Aluminum overhead door assembly
Material	OC-228	Dark Grey	Aluminum overhead door assembly
Material	OC-228	Dark Grey	Aluminum overhead door assembly



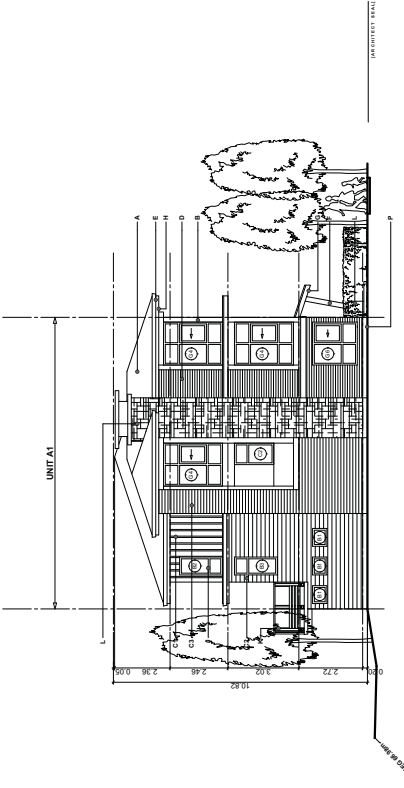
① BUILDING 23 - SOUTH ELEVATION (COURTYARD)



② BUILDING 23 - EAST ELEVATION (INTERNAL SIDEWALK)



③ BUILDING 23 - NORTH ELEVATION (INTERNAL STREET)



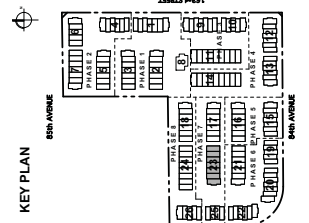
④ BUILDING 23 - WEST ELEVATION (INTERNAL STREET)

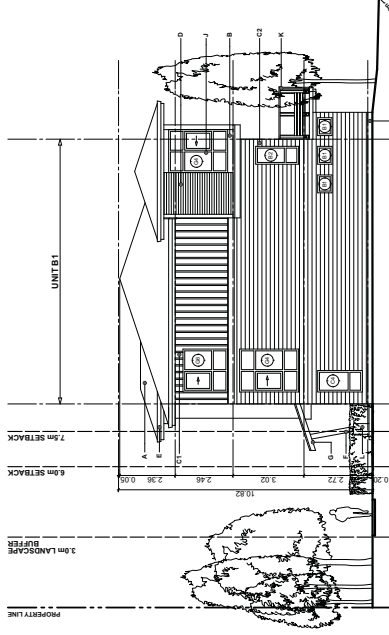
**5 MATERIAL & COLOUR LEGEND**  
**SK-2 DARK GREEN**

Colour	Material	Reference	Element
A	Grey / Silver	Marble	DT Wood
B	White	Brickwork	CC-28 Dry Brick
C1	White	Concrete	12 Formwork 12 Formwork 12 Formwork
C2	Light Grey	Concrete	12 Formwork 12 Formwork 12 Formwork
C3	Dark Green	Concrete	12 Formwork 12 Formwork 12 Formwork
D	Stone	Stone	12 Formwork 12 Formwork 12 Formwork
E	Dark Brown	Brickwork	12 Formwork 12 Formwork 12 Formwork
F	Stone	Stone	12 Formwork 12 Formwork 12 Formwork
G	Stone	Stone	12 Formwork 12 Formwork 12 Formwork

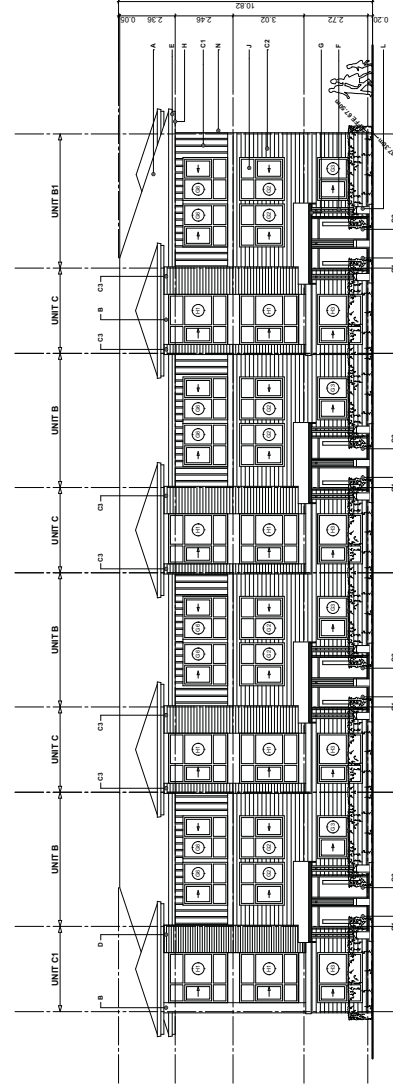
Colour	Material	Reference	Element
H	Dark Grey	Brickwork	12 Formwork 12 Formwork 12 Formwork
J	Edge	Brickwork	12 Formwork 12 Formwork 12 Formwork
K	Black	Brickwork	12 Formwork 12 Formwork 12 Formwork
L	Grey / Silver	Brickwork	12 Formwork 12 Formwork 12 Formwork
M	Black	Brickwork	12 Formwork 12 Formwork 12 Formwork
MT	Black	Brickwork	12 Formwork 12 Formwork 12 Formwork
N	Dark Grey	Brickwork	12 Formwork 12 Formwork 12 Formwork
O1	Dark Red	Brickwork	12 Formwork 12 Formwork 12 Formwork
O2	Dark Blue	Brickwork	12 Formwork 12 Formwork 12 Formwork

Colour	Material	Reference	Element
O3	Dark Red	Brickwork	12 Formwork 12 Formwork 12 Formwork
O4	Dark Blue	Brickwork	12 Formwork 12 Formwork 12 Formwork
P	Grey	Brickwork	12 Formwork 12 Formwork 12 Formwork

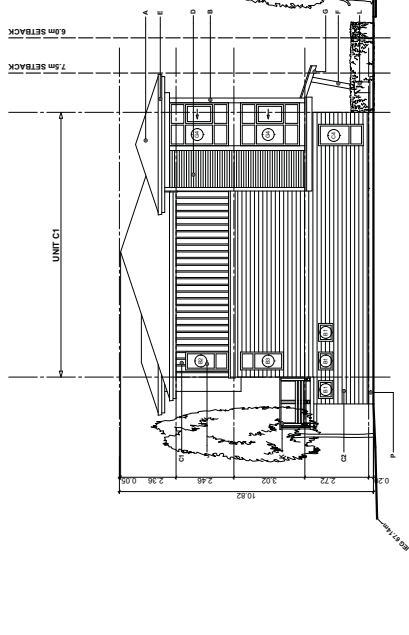




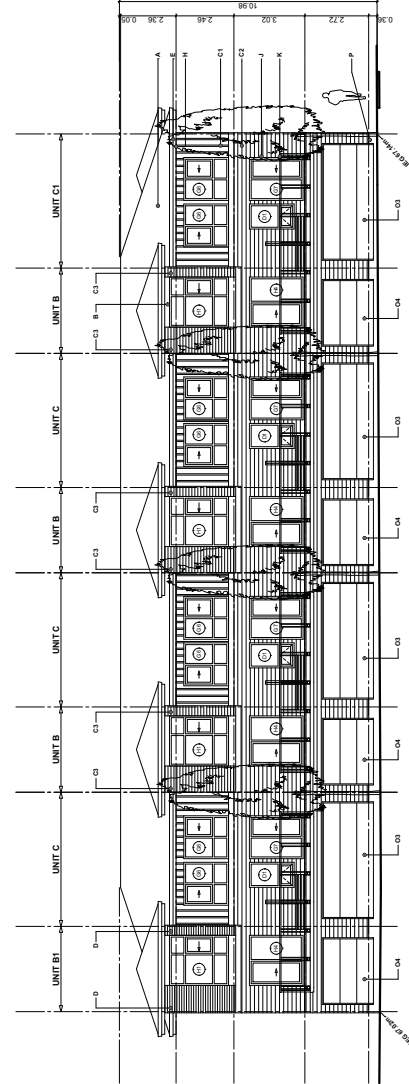
1 BUILDING 24 - NORTH ELEVATION (LANDSCAPE BUFFER)



2 BUILDING 24 - WEST ELEVATION (INTERNAL STREET)



3 BUILDING 24 - EAST ELEVATION (INTERNAL SIDEWALK)



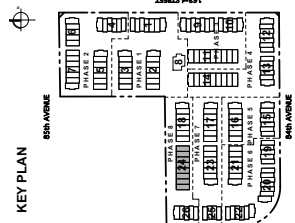
4 BUILDING 24 - SOUTH ELEVATION (INTERNAL STREET)

5 MATERIAL & COLOUR LEGEND  
 SK-3 DARK BROWN

Colour	Material	Reference No.	Element	Colour to match
A	Grey / Silver	ST-1000	Stainless Steel	Grey / Silver
B	White	CC-01	White Paint	White
C	White	CC-02	White Paint	White
D	Dark Brown	SK-3	Dark Brown Paint	Dark Brown
E	Dark Brown	SK-3	Dark Brown Paint	Dark Brown
F	Dark Brown	SK-3	Dark Brown Paint	Dark Brown
G	Dark Brown	SK-3	Dark Brown Paint	Dark Brown

Colour	Material	Reference No.	Element	Colour to match
H	Dark Grey	SK-1	Dark Grey Paint	Dark Grey
I	Dark Grey	SK-1	Dark Grey Paint	Dark Grey
J	Dark Grey	SK-1	Dark Grey Paint	Dark Grey
K	Dark Grey	SK-1	Dark Grey Paint	Dark Grey
L	Dark Grey	SK-1	Dark Grey Paint	Dark Grey
M	Dark Grey	SK-1	Dark Grey Paint	Dark Grey
N	Dark Grey	SK-1	Dark Grey Paint	Dark Grey
O	Dark Grey	SK-1	Dark Grey Paint	Dark Grey
P	Dark Grey	SK-1	Dark Grey Paint	Dark Grey

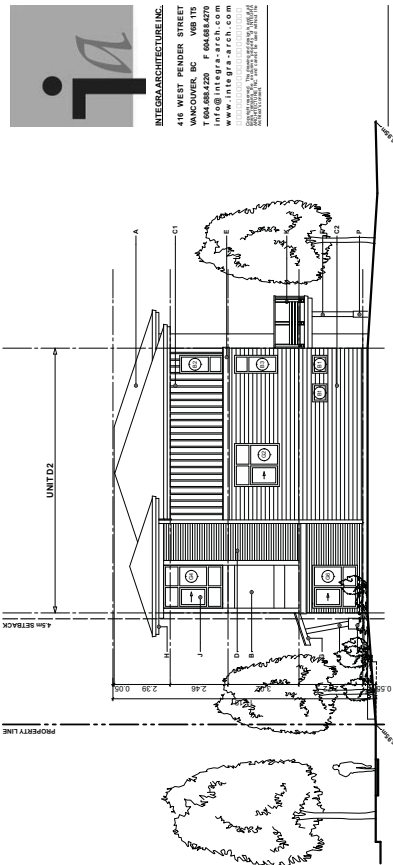
Material	Reference No.	Element
Aluminum overhead door assembly	OC-01	Aluminum overhead door assembly
Aluminum overhead door assembly	OC-02	Aluminum overhead door assembly
Aluminum overhead door assembly	OC-03	Aluminum overhead door assembly
Aluminum overhead door assembly	OC-04	Aluminum overhead door assembly
Aluminum overhead door assembly	OC-05	Aluminum overhead door assembly



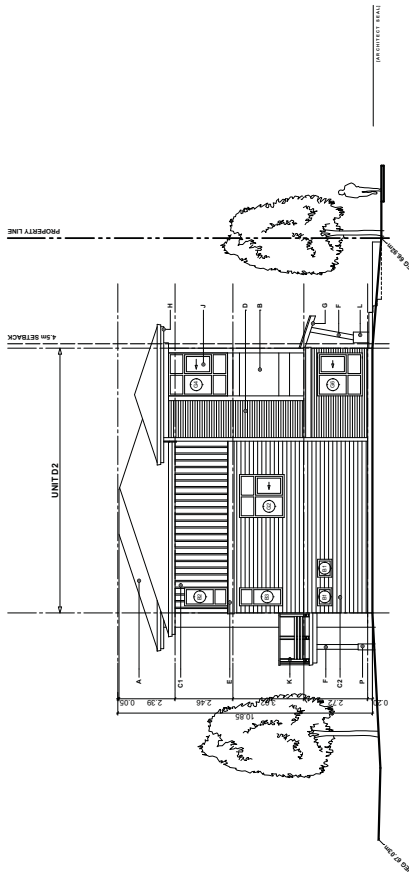
ANTHEM  
 FLEETWOOD  
 1031 LEXINGTON AVENUE  
 SUITE 100  
 SURREY, BC CANADA  
 JUN 21, 2011  
 4

**BUILDING 24 ELEVATIONS**

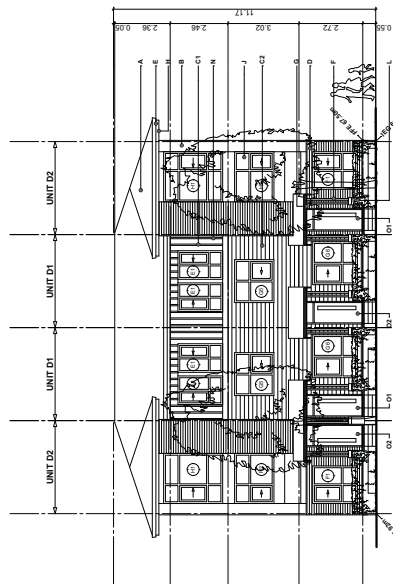
A-2.242



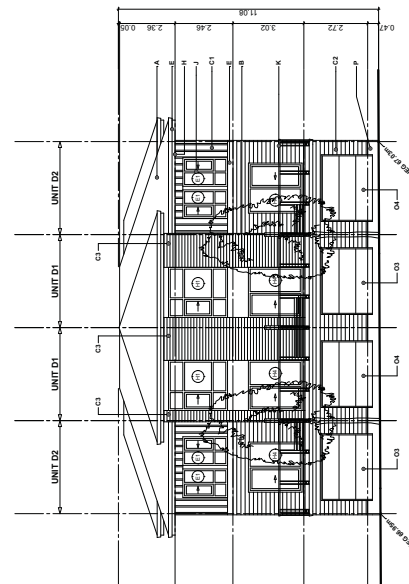
② BUILDING 25 - SOUTH ELEVATION (INTERNAL SIDEWALK)



④ BUILDING 25 - NORTH ELEVATION (INTERNAL SIDEWALK)



① BUILDING 25 - WEST ELEVATION (162nd STREET)



③ BUILDING 25 - EAST ELEVATION (INTERNAL STREET)

### 5 MATERIAL & COLOUR LEGEND SK-1 DARK BLUE

Colour	Manufacturer	Reference/Colour to match	Element
A	Grey/Grey	Masonry	SP Woodwork
B	White	Background	CC-16 Grey Paint
C1	White	Background	CC-16 White Paint
C2	Light Grey	Concrete	CC-16 Light Grey Paint
C3	Dark Blue	Steel	CC-16 Dark Blue Paint
D	Steel	Colours	CC-16 Steel
E	Dark Blue	Background	CC-16 Dark Blue Paint
F	Steel	Background	CC-16 Steel
G	Steel	Background	CC-16 Steel

Code	Material	Notes
HC-1	Aluminum	Aluminum overhead door assembly
HC-2	Aluminum	Aluminum overhead door assembly
HC-3	Aluminum	Aluminum overhead door assembly
HC-4	Aluminum	Aluminum overhead door assembly
HC-5	Aluminum	Aluminum overhead door assembly

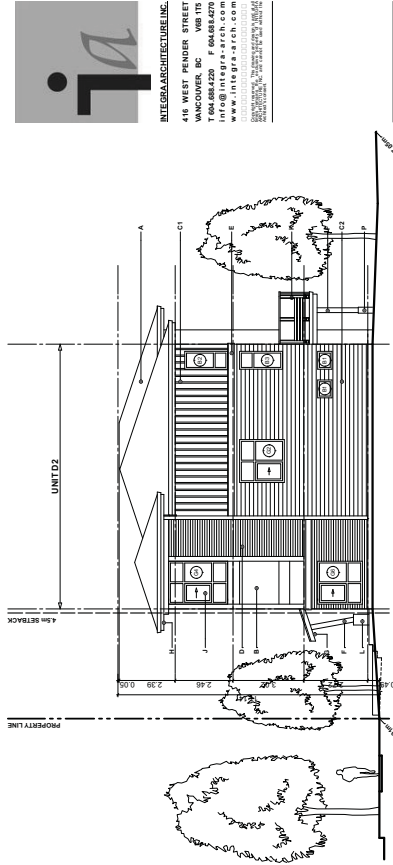
**KEY PLAN**

**Material & Colour Legend**

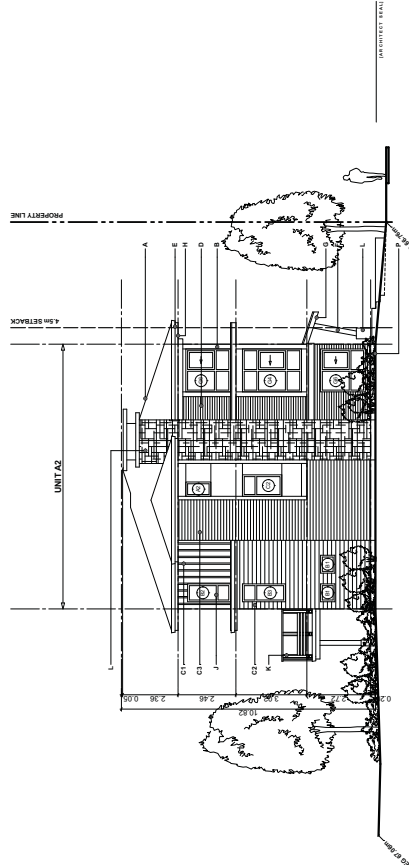
- HC-1: Aluminum overhead door assembly
- HC-2: Aluminum overhead door assembly
- HC-3: Aluminum overhead door assembly
- HC-4: Aluminum overhead door assembly
- HC-5: Aluminum overhead door assembly

**Legend**

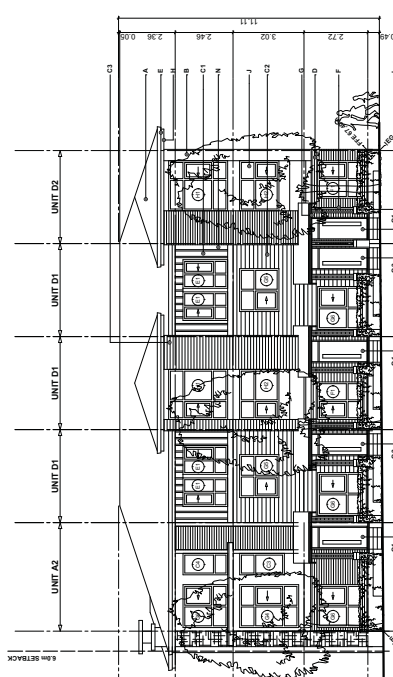
- HC-1: Aluminum overhead door assembly
- HC-2: Aluminum overhead door assembly
- HC-3: Aluminum overhead door assembly
- HC-4: Aluminum overhead door assembly
- HC-5: Aluminum overhead door assembly



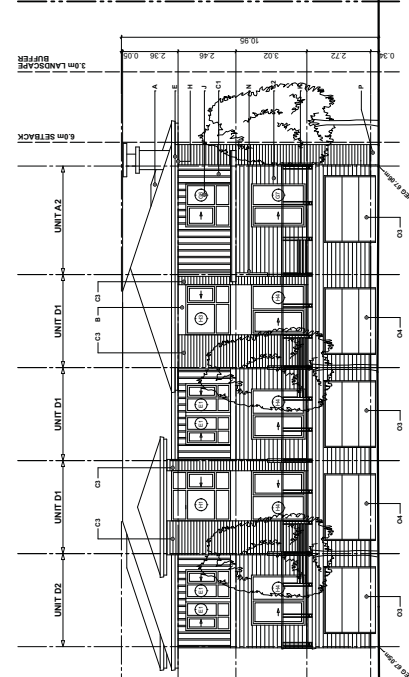
② BUILDING 26 - SOUTH ELEVATION (INTERNAL SIDEWALK)



④ BUILDING 26 - NORTH ELEVATION (LANDSCAPE BUFFER)



① BUILDING 26 - WEST ELEVATION (162nd STREET)



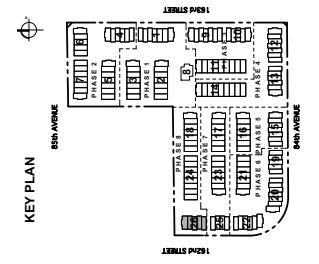
③ BUILDING 26 - EAST ELEVATION (INTERNAL STREET)

**5 MATERIAL & COLOUR LEGEND**  
**SK-1 DARK BLUE**

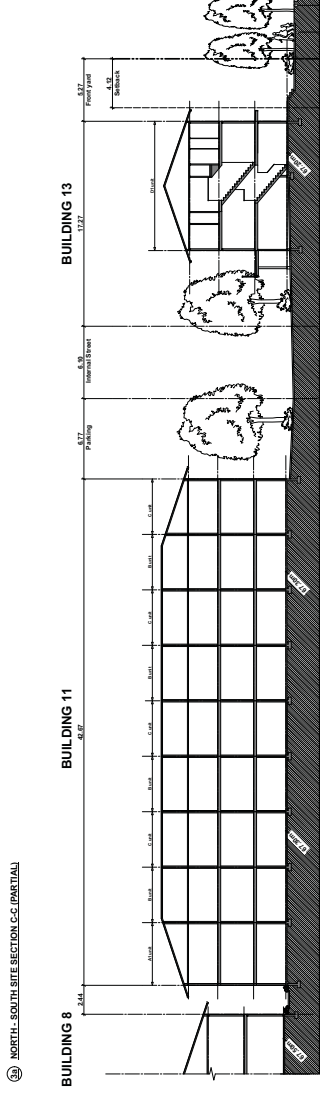
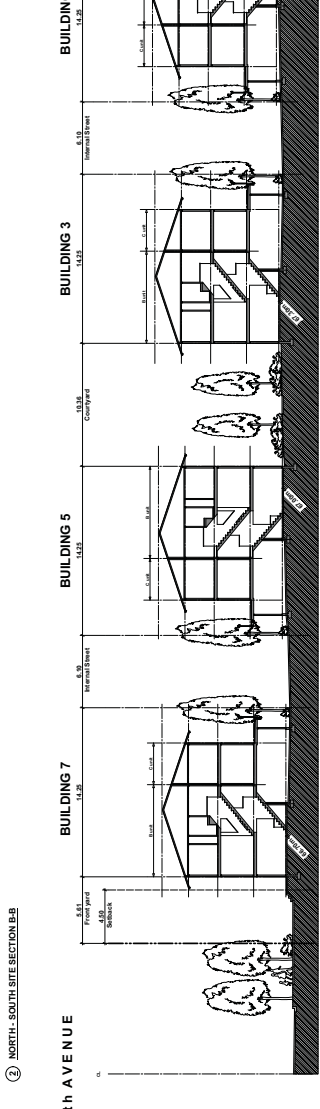
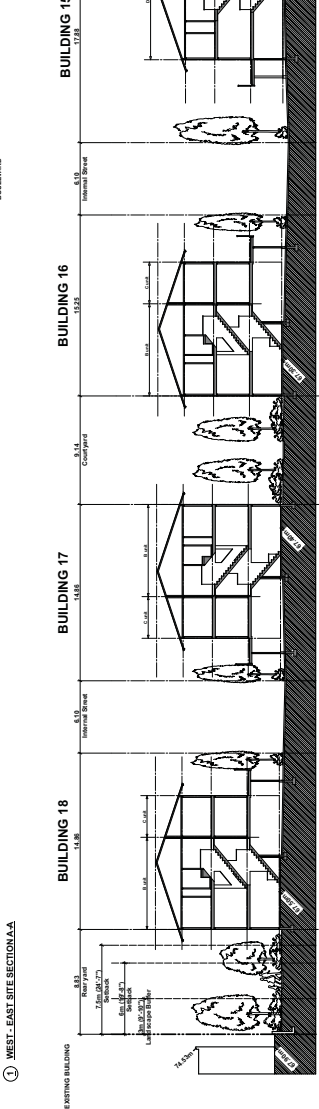
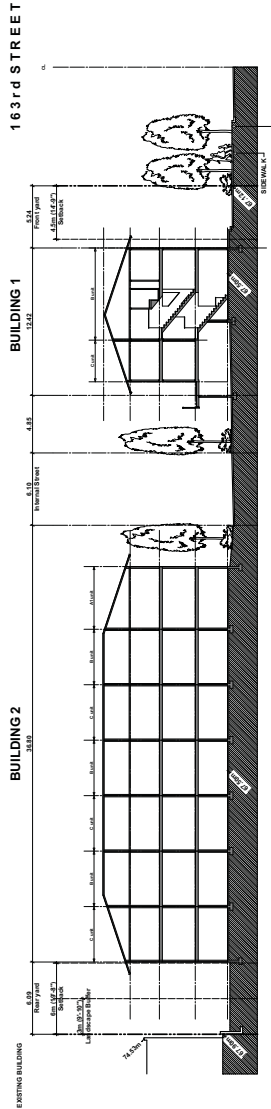
Colour	Manufacturer	Reference No.	Element	Colour to match
SK-A	Masonry	SP Wood	Exterior	Exterior
SK-B	White	CC-BB	Interior	Interior
SK-C1	White	CC-BB	Interior	Interior
SK-C2	White	CC-BB	Interior	Interior
SK-C3	White	CC-BB	Interior	Interior
SK-D	White	CC-BB	Interior	Interior
SK-E	White	CC-BB	Interior	Interior
SK-F	White	CC-BB	Interior	Interior
SK-G	White	CC-BB	Interior	Interior

Colour	Manufacturer	Reference No.	Element	Colour to match
SK-H	White	CC-BB	Interior	Interior
SK-I	White	CC-BB	Interior	Interior
SK-J	White	CC-BB	Interior	Interior
SK-K	White	CC-BB	Interior	Interior
SK-L	White	CC-BB	Interior	Interior
SK-M	White	CC-BB	Interior	Interior
SK-N	White	CC-BB	Interior	Interior
SK-O	White	CC-BB	Interior	Interior
SK-P	White	CC-BB	Interior	Interior

Colour	Manufacturer	Reference No.	Element	Colour to match
SK-Q	White	CC-BB	Interior	Interior
SK-R	White	CC-BB	Interior	Interior
SK-S	White	CC-BB	Interior	Interior
SK-T	White	CC-BB	Interior	Interior
SK-U	White	CC-BB	Interior	Interior
SK-V	White	CC-BB	Interior	Interior
SK-W	White	CC-BB	Interior	Interior
SK-X	White	CC-BB	Interior	Interior
SK-Y	White	CC-BB	Interior	Interior
SK-Z	White	CC-BB	Interior	Interior









SURREY FLEETWOOD NEIGHBOURHOOD



TOWNHOUSE CONCEPTUAL STUDY - ENTRY ELEVATION



TOWNHOUSE CONCEPTUAL STUDY - TYPICAL SIDE ELEVATION



EXISTING SITE - VIEW EAST ALONG 88TH AVENUE



PROPOSED TOWNHOMES - VIEW EAST ALONG 85TH AVENUE



INTEGRA ARCHITECTURE INC.  
 416 WEST PENDER STREET  
 VANCOUVER, BC V6C 2M7  
 TEL: 604.686.4220 FAX: 604.686.4270  
 info@integrarch.com  
 www.integrarch.com

CONCEPTUAL PLAN

PROJECT NAME: ANTHEM  
 PROJECT NO.: FLEETWOOD  
 PROJECT ADDRESS: 16241 - 84TH AVENUE, SURREY, BC, CANADA

DATE: 2011  
 DRAWING NO.: 4

DATE: 2011  
 DRAWING NO.: 4

A-9.000

- 62711 9 ISSUED FOR DP 3
- 572611 7 ISSUED FOR DP 2
- 517111 6 MARKING AND SIGNAGE AND DP APPLICATION
- 330111 5 ISSUED FOR REVIEW
- 329111 4 ISSUED FOR REVIEW
- 325111 3 ISSUED FOR REVIEW
- 321111 2 ISSUED FOR REVIEW
- 218111 1 ISSUED FOR CONSTRUCTION

DATE: 01/11/2019  
 PROJECT: ANTHEM PROPERTIES  
 DRAWING: LANDSCAPE PLAN  
 SHEET: L-1.0

PROJECT TITLE: FLEETWOOD DEVELOPMENT  
 DRAWING TITLE: LANDSCAPE PLAN

DATE: 01/11/2019  
 PROJECT: ANTHEM PROPERTIES  
 DRAWING: LANDSCAPE PLAN  
 SHEET: L-1.0

DATE: 01/11/2019  
 PROJECT: ANTHEM PROPERTIES  
 DRAWING: LANDSCAPE PLAN  
 SHEET: L-1.0

DATE: 01/11/2019  
 PROJECT: ANTHEM PROPERTIES  
 DRAWING: LANDSCAPE PLAN  
 SHEET: L-1.0

DATE: 01/11/2019  
 PROJECT: ANTHEM PROPERTIES  
 DRAWING: LANDSCAPE PLAN  
 SHEET: L-1.0

DATE: 01/11/2019  
 PROJECT: ANTHEM PROPERTIES  
 DRAWING: LANDSCAPE PLAN  
 SHEET: L-1.0

DATE: 01/11/2019  
 PROJECT: ANTHEM PROPERTIES  
 DRAWING: LANDSCAPE PLAN  
 SHEET: L-1.0



162ND STREET  
 163RD STREET  
 85TH AVENUE  
 86TH AVENUE

DATE: 01/11/2019  
 PROJECT: ANTHEM PROPERTIES  
 DRAWING: LANDSCAPE PLAN  
 SHEET: L-1.0

DATE: 01/11/2019  
 PROJECT: ANTHEM PROPERTIES  
 DRAWING: LANDSCAPE PLAN  
 SHEET: L-1.0

DATE: 01/11/2019  
 PROJECT: ANTHEM PROPERTIES  
 DRAWING: LANDSCAPE PLAN  
 SHEET: L-1.0

DATE: 01/11/2019  
 PROJECT: ANTHEM PROPERTIES  
 DRAWING: LANDSCAPE PLAN  
 SHEET: L-1.0



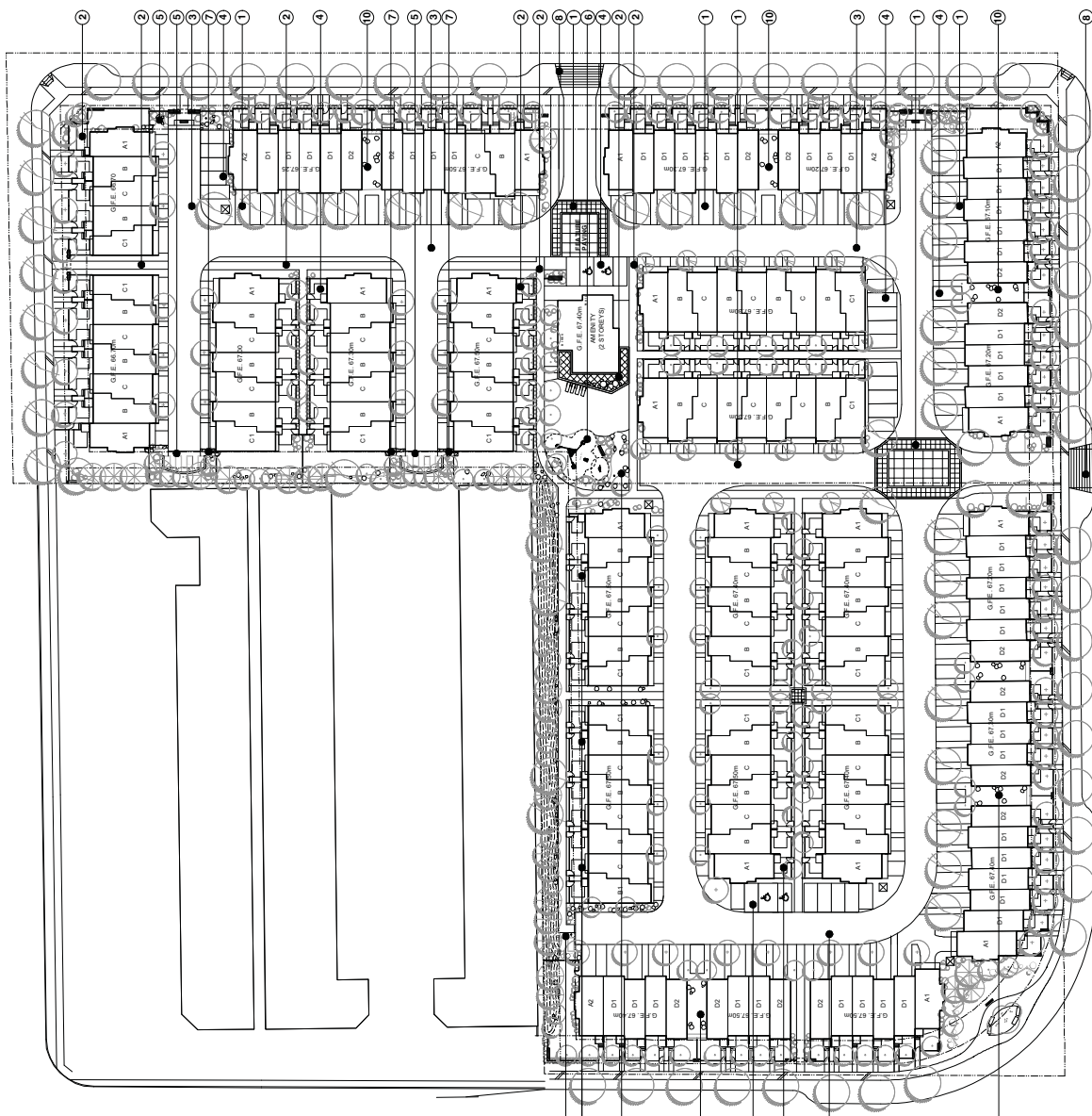
Perry + Associates  
 5482 202-1558-690 Avenue  
 Wisconsin, E.C. 53182  
 1 800 258 4178  
 1 262 284 1178  
 info@perryandassociates.com

- 9 ISSUED FOR DP 3 6/27/11
- 8 ISSUED FOR DP 2 5/26/11
- 7 ISSUED FOR DP 1 5/17/11
- 6 ISSUED FOR REVISION 3/30/11
- 5 ISSUED FOR REVISION 3/29/11
- 4 ISSUED FOR REVISION 3/29/11
- 3 ISSUED FOR REVISION 3/29/11
- 2 ISSUED FOR REVISION 3/29/11
- 1 ISSUED FOR REVISION 2/18/11
- COORDINATION

Revision No. \_\_\_\_\_ Date \_\_\_\_\_  
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 Client: ANTHEM PROPERTIES

Project Title: FLEETWOOD DEVELOPMENT  
 Drawing Title: PAVING KEY PLAN

Drawn By: JM  
 Checked By: MP  
 Scale: 1/8"=1'-0"  
 Job No.: 09-055  
 Sheet No.: L-2.0



NO.	Detail	REMARKS
1	Concrete Paving Vehicle	Per my instructions, will have an 8' x 10' Engineer Design. Seven (7) inch thick concrete. All other details as per attached drawing.
2	Concrete / Paving	Seven (7) inch concrete. All other details as per attached drawing.
3	Asphalt by Auto/Cut	Per my instructions, will have an 8' x 10' Engineer Design. Seven (7) inch thick concrete. All other details as per attached drawing.
4	Reinforced Concrete	Per my instructions, will have an 8' x 10' Engineer Design. Seven (7) inch thick concrete. All other details as per attached drawing.
5	Stone Drape Retention Detail	Concrete and stone. All other details as per attached drawing.
6	Other Surface	Per my instructions, will have an 8' x 10' Engineer Design. Seven (7) inch thick concrete. All other details as per attached drawing.
7	Staircase	Per my instructions, will have an 8' x 10' Engineer Design. Seven (7) inch thick concrete. All other details as per attached drawing.
8	MAINT. ROOM	Per my instructions, will have an 8' x 10' Engineer Design. Seven (7) inch thick concrete. All other details as per attached drawing.
9	Entrance Ramp and Driveway	Per my instructions, will have an 8' x 10' Engineer Design. Seven (7) inch thick concrete. All other details as per attached drawing.
10	River Stone Strip/Paving	Per my instructions, will have an 8' x 10' Engineer Design. Seven (7) inch thick concrete. All other details as per attached drawing.

- 9 ISSUED FOR DP 3
- 8 ISSUED FOR DP 2
- 7 ISSUED FOR DP 1
- 6 APPROVED FOR PERMITS AND APPLICATION
- 5 ISSUED FOR REVIEW
- 4 ISSUED FOR REVIEW
- 3 ISSUED FOR REVIEW
- 2 ISSUED FOR REVIEW
- 1 ISSUED FOR PERMITS AND APPLICATION

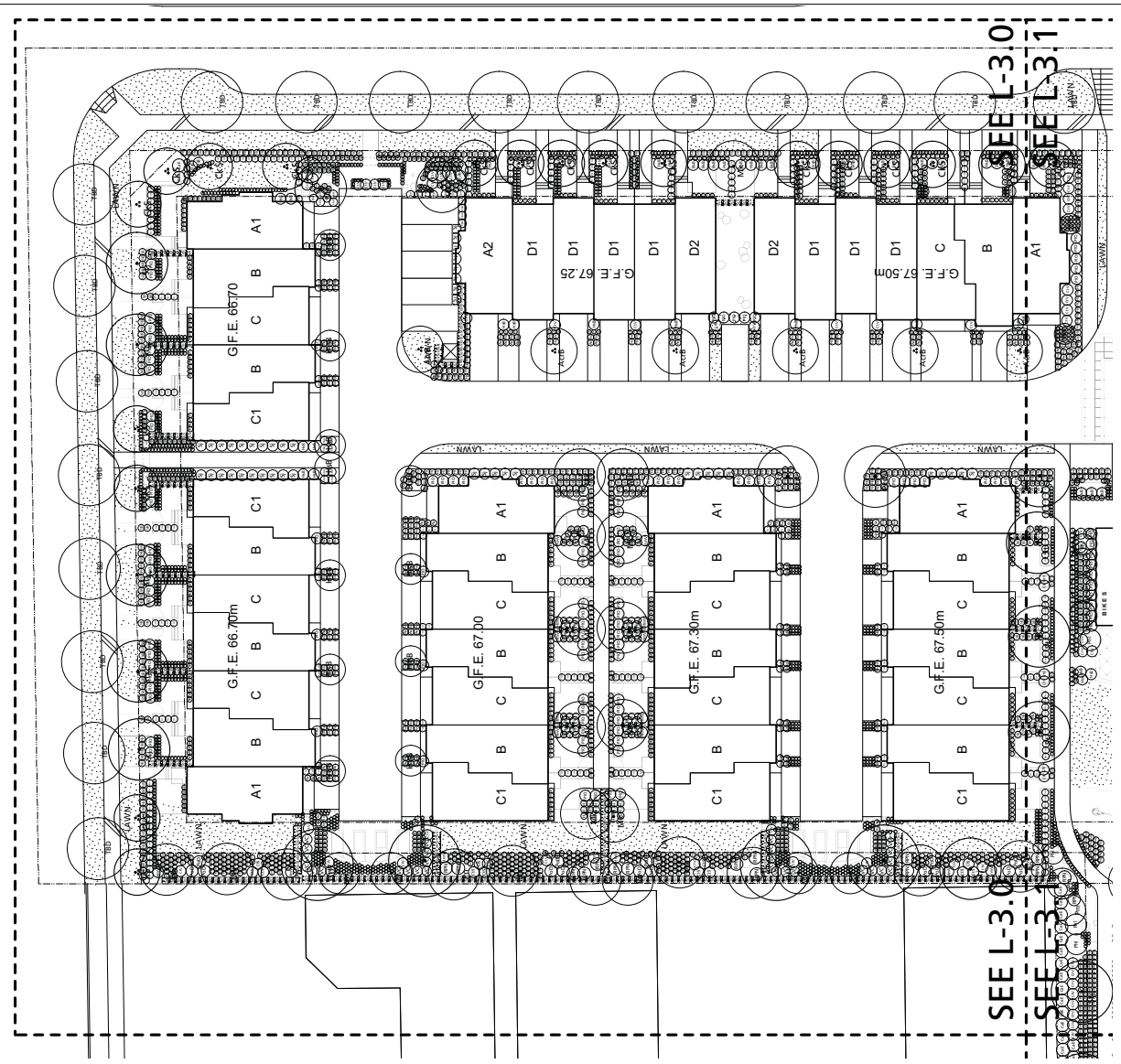
CONTRACT NUMBER: 19-0066  
 THIS DRAWING IS THE PROPERTY OF P. A. PERLY + ASSOCIATES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF P. A. PERLY + ASSOCIATES, INC. IS STRICTLY PROHIBITED.

**ANTHEM PROPERTIES**

Project Title: **FLEETWOOD DEVELOPMENT**

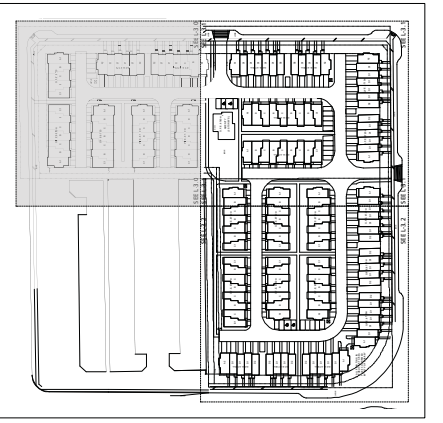
Drawing Title: **PLANTING PLAN**

Project No: 19-0066  
 Drawn By: JM  
 Checked By: MP  
 Scale: 1:200  
 Job No.: 19-0066  
 Sheet No.: L-3.0



Plant List	Commonwealth Name	Site Remarks
1) Tree	...	...
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100) Tree	...	...

**LOCATION PLAN**



Revision No.	Date
9	ISSUED FOR DP 3
8	ISSUED FOR DP 2
7	ISSUED FOR BEGINNING AND DP APPLICATION
6	AND DP APPLICATION
5	ISSUED FOR REVIEW
4	ISSUED FOR REVIEW
3	ISSUED FOR REVIEW
2	ISSUED FOR REVIEW
1	COORDINATION

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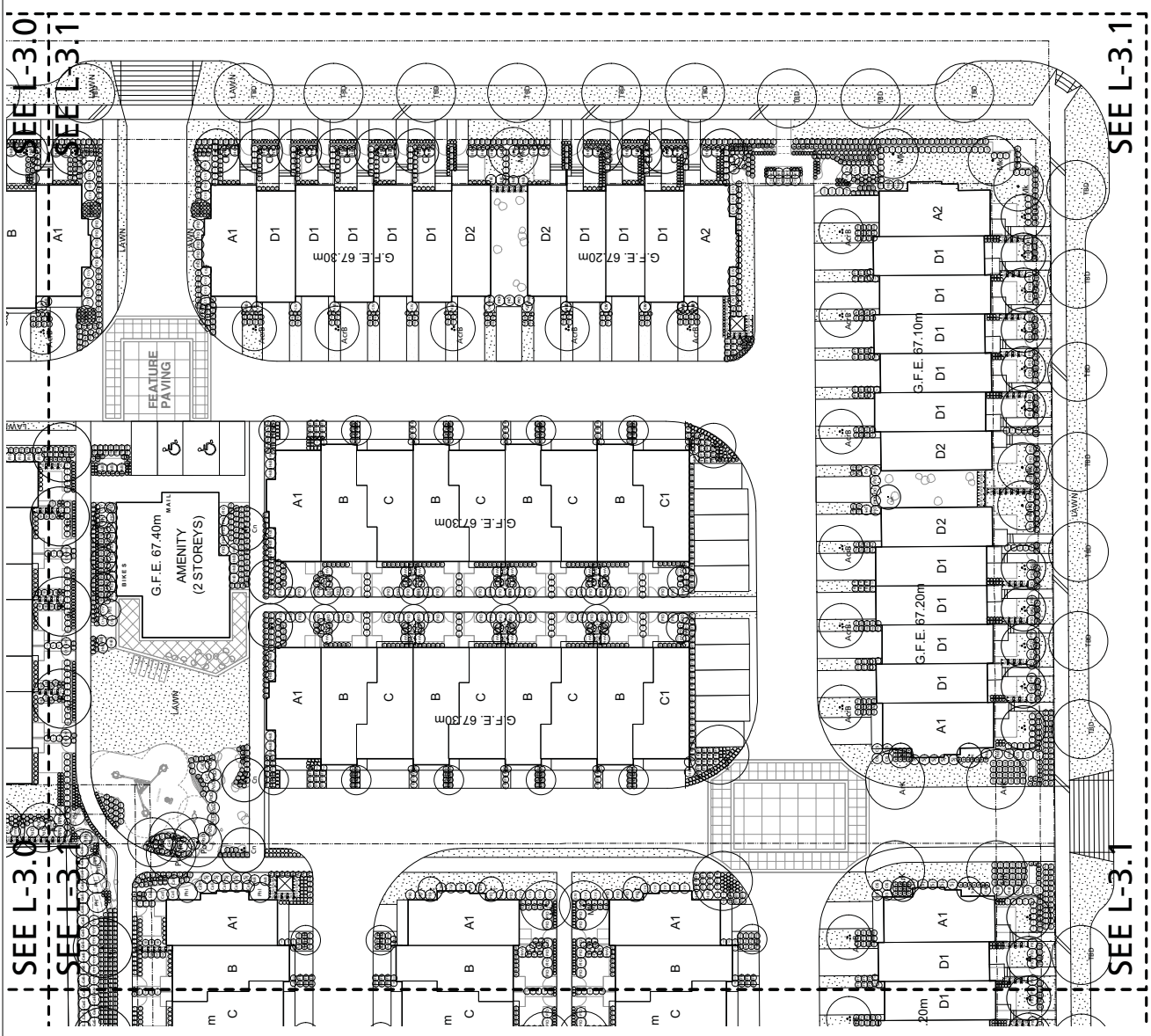
CLIENT: ANTHEM PROPERTIES

Project Title: FLEETWOOD DEVELOPMENT

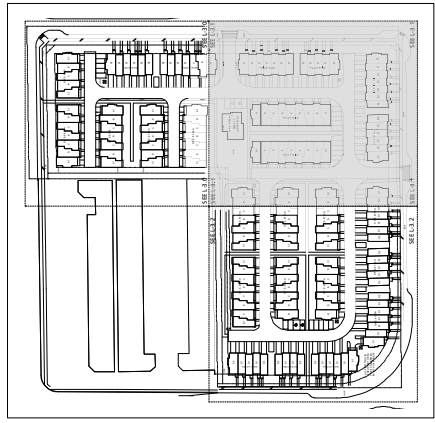
Drawing Title: PLANTING PLAN

Project No.	Drawn By	JM
Checked By	MP	
Scale	Job No.	10-046
1:200		

Sheet No.: L-3.1



LOCATION PLAN



- 9 ISSUED FOR DP3 6/27/11
- 8 ISSUED FOR DP2 5/27/11
- 7 ISSUED FOR DP 3/29/11
- 6 ISSUED FOR REZONING AND DP APPLICATION 3/29/11
- 5 ISSUED FOR REVIEW SK-30 3/29/11
- 4 ISSUED FOR REVIEW 3/24/11
- 3 ISSUED FOR REVIEW 3/21/11
- 2 ISSUED FOR REVIEW 2/28/11
- 1 COORDINATION 2/28/11

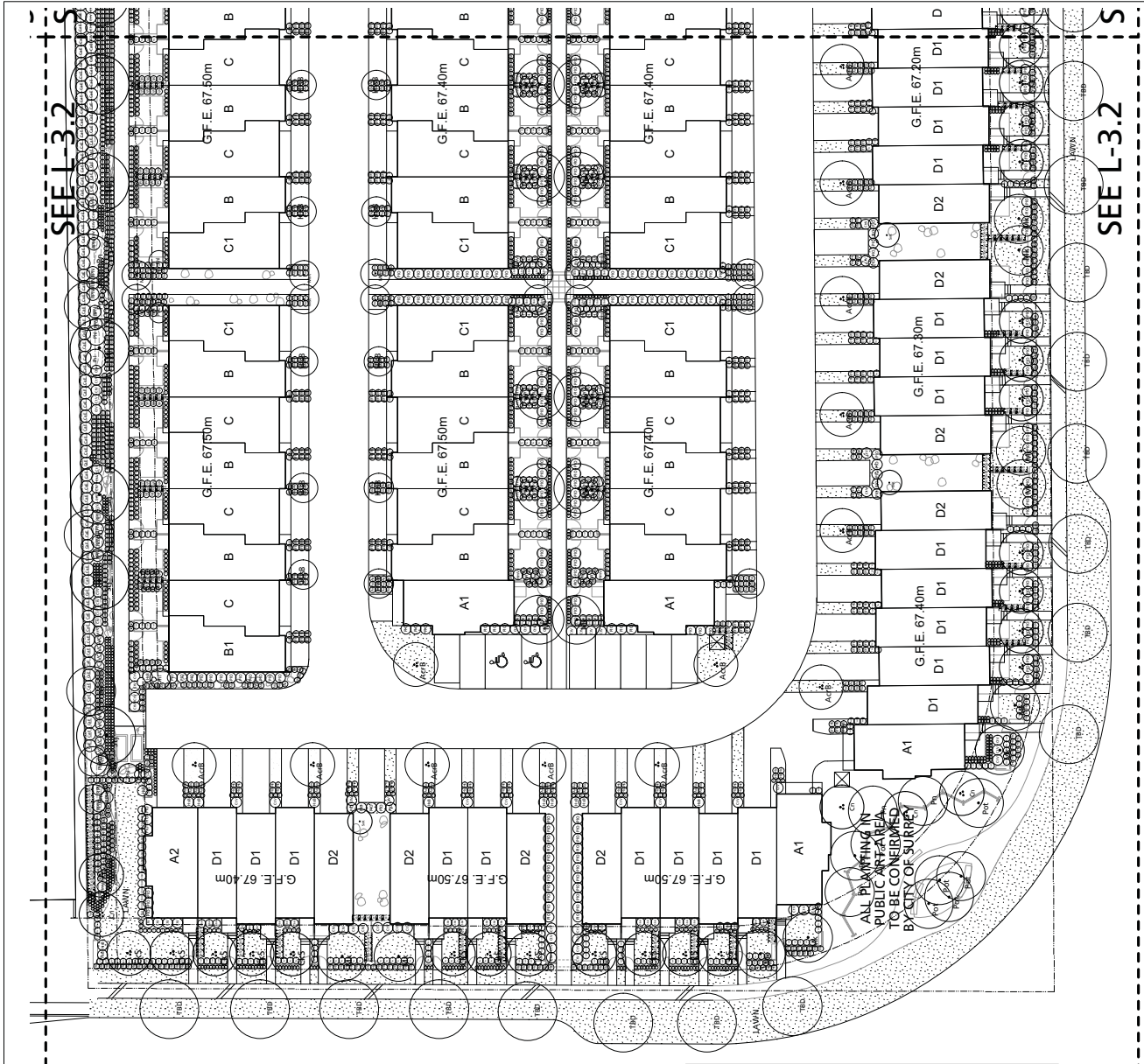
Revision No. \_\_\_\_\_ Date \_\_\_\_\_  
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**ANTHEM PROPERTIES**

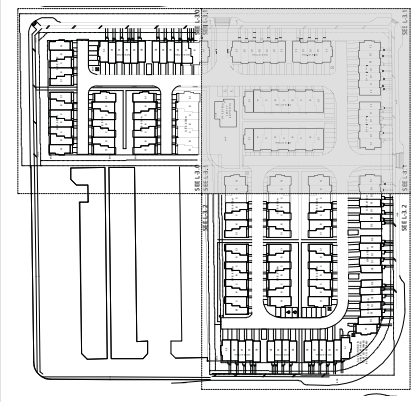
**FLEETWOOD DEVELOPMENT**

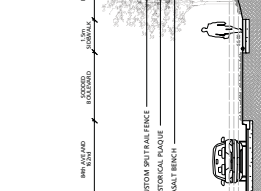
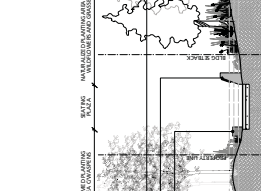
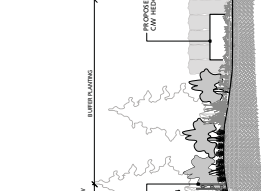
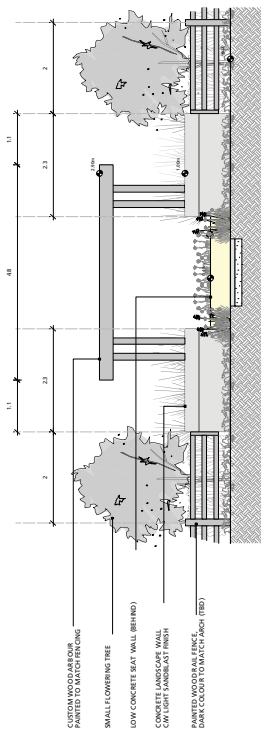
**PLANTING PLAN**

Project Name:	AM
Drawn By:	MP
Checked By:	
Scale:	1:200
Job No.:	10-086
Sheet No.:	L-3.2



LOCATION PLAN





SECTION THROUGH NEIGHBOURHOOD ENTRANCE - ELEVATION  
 1:50

SECTION THROUGH PUBLIC ART AREA  
 1:50

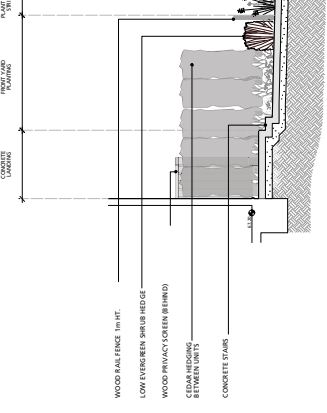
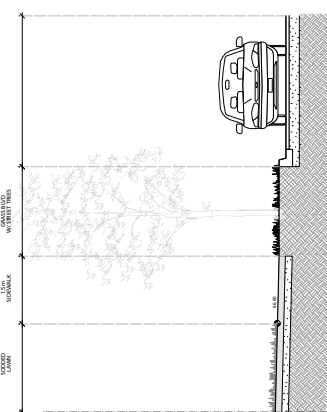
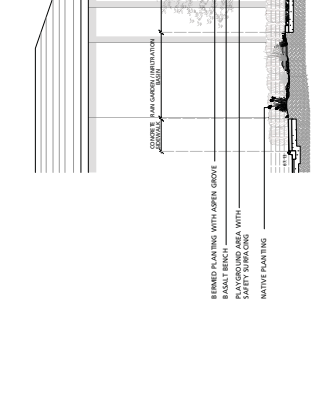
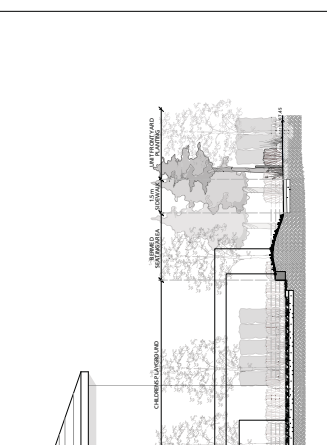
SECTION THROUGH FRONT YARD @ 1630 STREET  
 1:50

FEATURE LANDSCAPE CORNER AREA - ELEVATION  
 1:50

SECTION THROUGH PUBLIC ART AREA  
 1:50

PEDESTRIAN ENTRY @ 85TH AVENUE  
 1:100

SECTION THROUGH WALKWAY @ BLDG 24  
 1:100



SECTION THROUGH PUBLIC ART AREA  
 1:50

Revision No.	Description	Date
9	ISSUED FOR EP 3	6/27/11
8	ISSUED FOR EP 2	5/28/11
7	ISSUED FOR EP 1	5/17/11
6	ISSUED FOR PRELIMINARY AND DP APPLICATION	3/30/11
5	ISSUED FOR REVIEW	3/29/11
4	ISSUED FOR REVIEW	3/29/11
3	ISSUED FOR REVIEW	3/21/11
2	ISSUED FOR REVIEW	3/11/11
1	ISSUED FOR PRELIMINARY AND DP APPLICATION	2/18/11

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**ANTHEM PROPERTIES**

**FLEETWOOD DEVELOPMENT**

**LANDSCAPE SECTIONS**

Project Title: \_\_\_\_\_  
 Drawing Title: \_\_\_\_\_  
 Drawing No.: \_\_\_\_\_  
 Date: \_\_\_\_\_

Drawn by: JMK  
 Checked by: JMK  
 Scale: As Shown  
 Sheet No.: 10 of 06

**L-4.0**





## INTER-OFFICE MEMO

---

TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **July 5, 2011** PROJECT FILE: **7811-0079-00**

---

RE: **Engineering Requirements  
Location: 16241 84 Ave**

**OCP AMENDMENT/NCP AMENDMENT/ALR EXCLUSION**

There are no engineering requirements relative to the OCP Amendment/NCP Amendment.

**REZONE/SUBDIVISION*****Property and Right-of-Way Requirements***

- Dedicate 1.942 metres on 162 Street for a total of 24.0 metres;
- Dedicate 9.942 metres on 163 Street for a total of 20.0 metres ;
- Dedicate 1.942 metres on 84 Avenue for a total of 24.0 metres;
- Dedicate 10.000 metres on 85 Avenue for a total of 20.0 metres;
- Dedicate 3.0m x 3.0m corner cut at the intersection of 163 Street and 84 Avenue;
- Dedicate 3.0m x 3.0m corner cut at the intersection of 163 Street and 85 Avenue; and
- Dedicate 48.0 metre radius curve at the intersection of 162 Street and 84 Avenue.

***Works and Services***

- Construct 84 Avenue to Major Collector standard;
- Construct 85 Avenue to Through Local standard;
- Construct 162 Street to Major Collector standard;
- Construct 163 Street to Through Local standard;
- Construct sanitary sewer main and watermain on 163 Street; and
- Construct storm sewer main on 162 Street, 163 Street and 84 Avenue.

A Servicing Agreement is required prior to Rezone/Subdivision.

**DEVELOPMENT PERMIT**

There are no engineering requirements relative to issuance of the Development Permit.

Bob Ambardar, P.Eng.  
Development Project Engineer  
HB



Monday, June 13, 2011  
 Planning

**THE IMPACT ON SCHOOLS**

APPLICATION #: 11 0079 00

**SUMMARY**

The proposed 166 townhouse units are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

Elementary Students:	27
Secondary Students:	13

September 2010 Enrolment/School Capacity

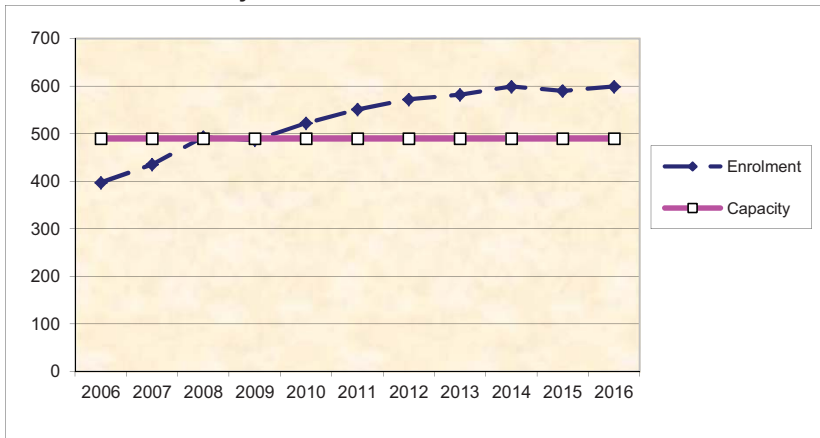
<b>Frost Road Elementary</b>	
Enrolment (K/1-7):	69 K + 453
Capacity (K/1-7):	40 K + 450
<b>North Surrey Secondary</b>	
Enrolment (8-12):	1528
Nominal Capacity (8-12):	1175
Functional Capacity*(8-12):	1269

**School Enrolment Projections and Planning Update:**

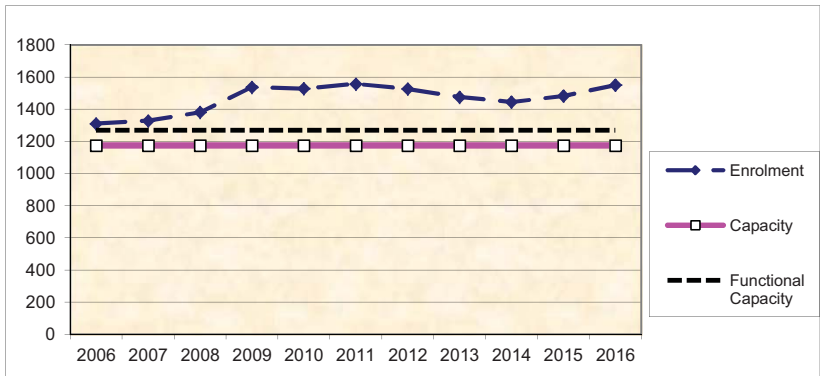
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

The elementary school capacity below is adjusted to full day K implementation (full day K implementation in 2011 will result in two modular classrooms added to Frost Road Elementary). There are no new capital space projects proposed at Frost Road Elementary and no new capital projects identified for North Surrey Secondary. The school district has a future secondary school planned in North Clayton Area (Site has been approved for acquisition and is in the land assembly stage but the proposed funding for a new secondary school is in year four (2013) in the five year capital plan ). When completed the new Clayton North Area Secondary should reduce projected overcrowding at Lord Tweedsmuir Secondary, North Surrey Secondary and Clayton Heights Secondary.

**Frost Road Elementary**



**North Surrey Secondary**



\*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.



### TREE PRESERVATION SUMMARY

Surrey Project No.: \_\_\_\_\_  
 Project Location: 16211 7 16241 84<sup>th</sup> Ave., Surrey BC  
 Registered Arborist: Trevor Cox, MCIP  
 ISA Certified Arborist (PN1920A)  
 Certified Tree Risk Assessor (43)  
 BC Parks Wildlife and Danger Tree Assessor

Detailed Assessment of the existing trees of an Arborist's Report is submitted on file. The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment of the Subject Site: Five and a half acre site with two industrial buildings and vast open areas. Protected sized pioneer species trees found within site.
2. Summary of Proposed Tree Removal and Placement:

- The summary will be available before final adoption.

Number of Protected Trees Identified	16	(A)
Number of Protected Trees declared high risk due to natural causes	_____	(B)
Number of Protected Trees to be removed	16	(C)
Number of Protected Trees to be Retained (A-B-C)	0	(D)
Number of Replacement Trees Required (C-B) × 2 <i>6 alder/cottonwood at 1:1 and 10 trees at 2:1</i>	26	(E)
Number of Replacement Trees Proposed	50	(F)
Number of Replacement Trees in Deficit (E-F)	0	(G)
Total Number of Protected and Replacement Trees on Site (D+F)	50	(H)
Number of Lots Proposed in the Project - <i>Strata</i>	1	(I)
Average Number of Trees per Lot (H / I)	50	

3. Tree Survey and Preservation / Replacement Plan

- Tree Survey and Preservation / Replacement Plan is attached \_\_\_\_\_  
 This plan will be available before final adoption \_\_\_\_\_

Summary prepared and submitted by:

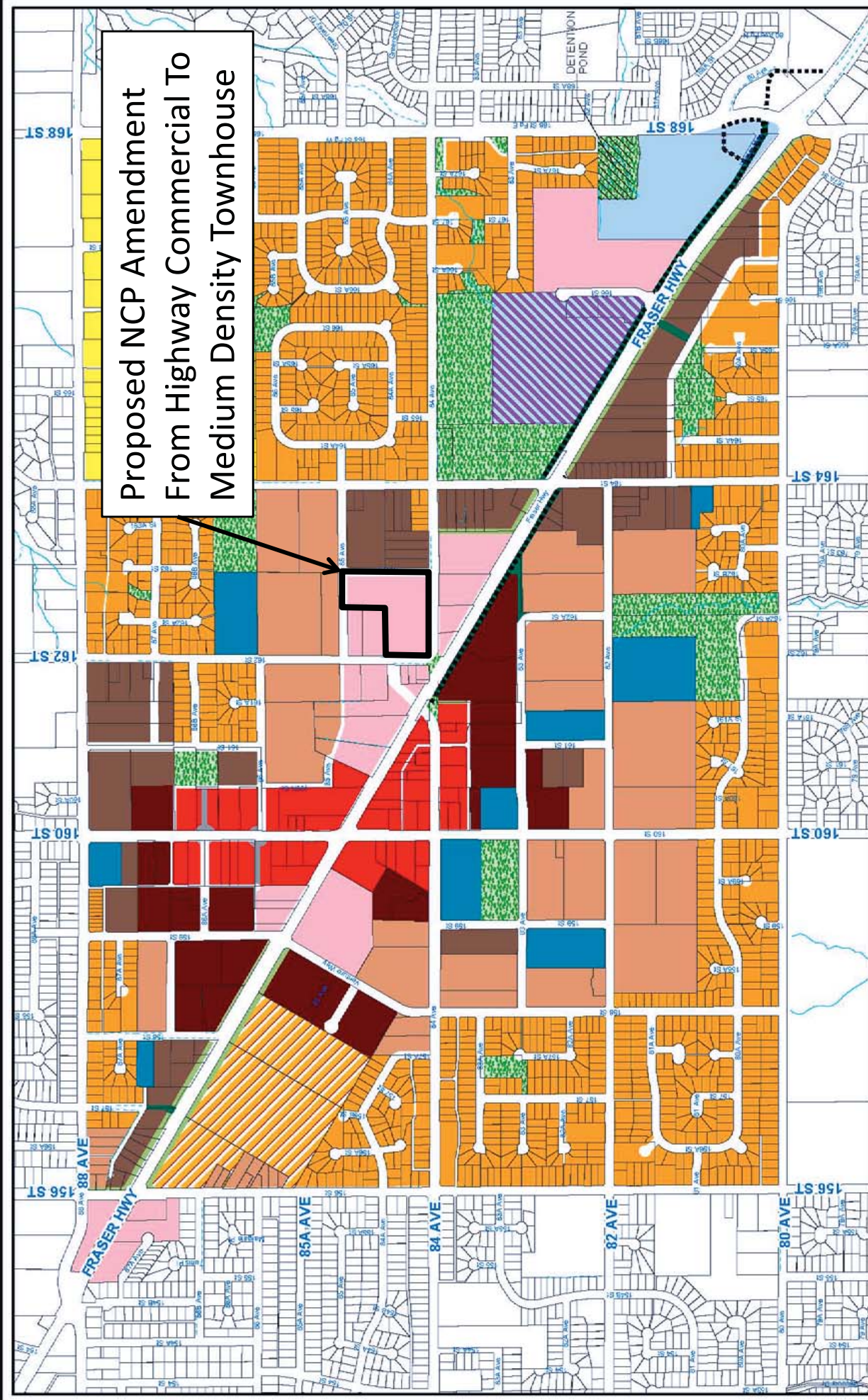
Arborist

January 20,  
2010

Date



Proposed NCP Amendment  
From Highway Commercial To  
Medium Density Townhouse



- Institutional / Commercial
- Multiuse Corridor / Landscape Buffer
- Buffer Within Private Land

- Industrial
- Institutional
- Parks & Linear Corridors
- 4m Wide Paved Path

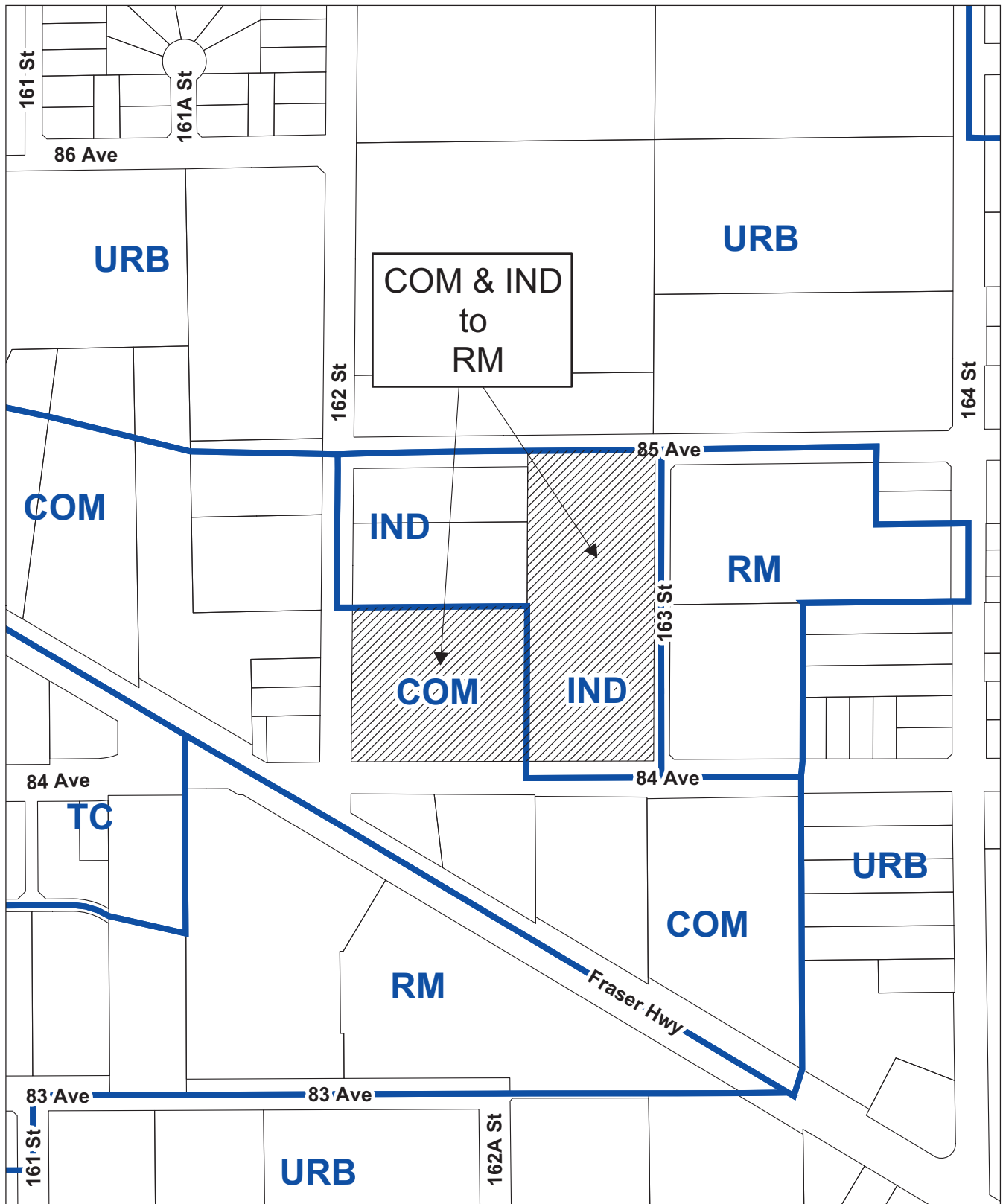
- Low Density Townhouses
- Single Family Urban
- Single Family Suburban
- Manufactured Homes

- Community Commercial
- Highway Commercial
- Apartments and/or High Density Townhouses
- Medium Density Townhouses

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

**FLEETWOOD TOWN CENTRE LAND USE PLAN**

Approved by Council Nov. 1, 2000 - Amended Dec. 17, 2004 - Last printed September 16, 2008



### OCP Amendment

Proposed amendment from Commercial & Industrial to Multiple Residential



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7911-0079-00

Issued To: ANTHEM FLEETWOOD 3 DEVELOPMENTS LTD.,  
INC. NO. BC0902973  
  
("the Owner")

Address of Owner: 16241 - 84 Avenue  
Surrey, BC  
V4N 1B3

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 003-657-922

Parcel "52" Section 25 Township 2 New Westminster District Reference Plan 65654

16241 - 84 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

---

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) to reduce the minimum north front yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (16 ft.) measured to the building face from 85 Avenue;

- (b) to reduce the minimum north side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) measured to the building face (from the shared lot line with 8462/68/84 – 162 Street);
  - (c) to reduce the minimum south rear yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (16 ft.) measured to the building face from 84 Avenue;
  - (d) to reduce the minimum east side yard flanking street setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (16 ft.) measured to the building face from 163 Street;
  - (e) to reduce the minimum west side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) measured to the building face (from the shared lot line with 8462/68/84 – 162 Street);
  - (f) to reduce the minimum west side yard flanking street setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (16 ft.) to the building face from 162 Street; and
  - (g) to vary the tandem parking requirements in the RM-30 Zone to allow one (1) tandem parking space to be unenclosed for 64 proposed units.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
  6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
  7. This development variance permit shall lapse if the Owner does not substantially start any construction within two (2) years after Development Permit No. 7911-0079-00 is issued.
  8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  9. This development variance permit is not a building permit.

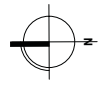
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20   .  
ISSUED THIS      DAY OF      , 20   .

---

Mayor – Dianne L. Watts

---

City Clerk – Jane Sullivan

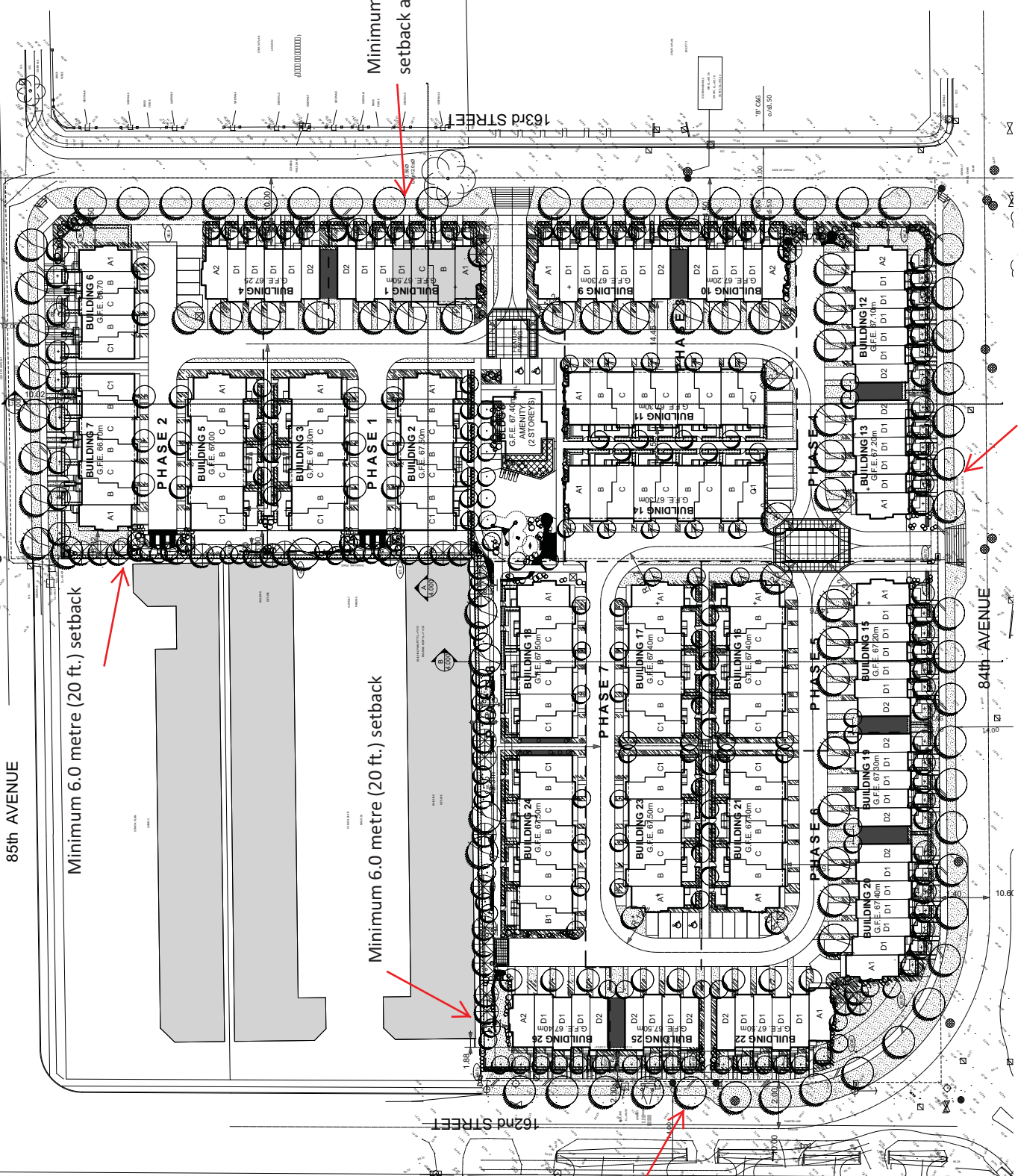


PROJECT NAME	FLEETWOOD
CLIENT	ANTHEM
DATE	1380
SCALE	1:300
DATE	JUN 27, 2011
DESIGNER	A-1.001

Minimum 4.5 metre (15 ft.) setback along 85 Avenue

Minimum 4.5 metre (15 ft.) setback along 163 Street

Minimum 4.5 metre (15 ft.) setback along 84 Avenue



Minimum 6.0 metre (20 ft.) setback

Minimum 6.0 metre (20 ft.) setback

Minimum 4.5 metre (15 ft.) setback along 162 Street

85th AVENUE



84th AVENUE

162nd STREET

163rd STREET





-  Existing on-street parking (east side of 164 Street)
-  Future on-street parking (both sides)